

**VICINITY MAP**  
(NOT TO SCALE)

**FREE CONSENT, DEDICATION & ACKNOWLEDGMENTS**

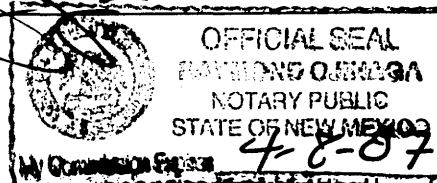
The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional La Cueva Channel drainage right of way to AMAFCA in fee simple with warranty covenants and dedicate Assad Ct., NE, a Portion of Wyoming Boulevard, NE as shown, public right-of-ways as shown hereon to the City of Albuquerque in fee simple with warranty covenants and a portion of Wyoming Boulevard NE as shown and Eagle Rock Ave., NE in fee simple. and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power, water, sewer and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

Esmail Haidari 10-4-2005 Date  
Esmail Haidari (Husband)  
Ghamar Asgharzadeh 10-4-2005 Date  
Ghamar Asgharzadeh (Wife)

STATE OF NEW MEXICO  
SS  
COUNTY OF BERNALILLO

This instrument was acknowledged before me on Oct 4th 2005  
By Esmail Haidari and Ghamar Asgharzadeh (Husband and Wife)

4-8-07  
NOTARY PUBLIC MY COMMISSION EXPIRES



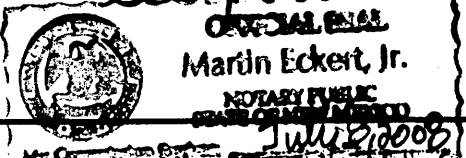
The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and /or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to the creating of lots 1-10, and Tract 1, AMAFCA Drainage Right of Way, as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrants that (he/she) holds complete and indefeasible title in fee simple to lot 18.

John P Kelly 10-5-05 Date  
John P Kelly, Executive Engineer

STATE OF NEW MEXICO  
SS  
COUNTY OF BERNALILLO

This instrument was acknowledged before me on October 5, 2005  
By John P. Kelly, Executive Engineer of AMAFCA

Martin Eckert, Jr. July 8, 2008  
NOTARY PUBLIC MY COMMISSION EXPIRES



**LEGAL**

LOTS NUMBERED FIFTEEN (15), SIXTEEN (16), SEVENTEEN (17) AND EIGHTEEN (18), BLOCK NUMBERED ONE (1) OF NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931 IN PLAT BOOK D1, PAGE 20 TOGETHER WITH A PORTION OF THE TRACT DESIGNATED AS "ADDITIONAL DRAINAGE R.O.W. DEDICATED TO A.M.A.F.C.A. BY THIS PLAT 0.0590 ACRES" AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "DESERT RIDGE TRAILS SUBDIVISION UNIT 1", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 8TH, 2002 IN PLAT BOOK 2002C, PAGE 46, AND THE TRACT IN ITS ENTIRETY, DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT, BEING THE NORTHWEST CORNER OF SAID LOT 15, BLOCK 1 OF NORTH ALBUQUERQUE ACRES, WHENCE, A TIE TO ACS MONUMENT "1-B20" BEARS N 89°49'01" E, AND A DISTANCE OF 2999.46 FEET;

THENCE, FROM THE POINT OF BEGINNING, S 89°37'18" E, A DISTANCE OF 329.04 FEET TO THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, S 00°09'15" W, A DISTANCE OF 527.91 FEET TO THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, N 89°37'23" W, A DISTANCE OF 165.76 FEET;

THENCE, N 00°14'51" E, A DISTANCE OF 30.00 FEET;

THENCE, N 89°37'23" W, A DISTANCE OF 164.14 FEET TO THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, N 00°14'51" E, A DISTANCE OF 236.96 FEET;

THENCE, N 22°45'23" W, A DISTANCE OF 75.77 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY OF PINON VISTA CT., N.E.;

THENCE, COINCIDENTAL WITH SAID RIGHT OF WAY FOR THE FOLLOWING THREE COURSES,

50.55 FEET ALONG AN ARC OF A CURVE NON-TANGENT TO THE PREVIOUS COURSE, HAVING A RADIUS OF 45.00 FEET, A DELTA OF 64°21'30" AND A CHORD OF N 32°32'36" E, A DISTANCE OF 47.93 FEET TO A POINT OF TANGENCY;

THENCE, S 89°37'35" E, A DISTANCE OF 4.00 FEET;

THENCE, N 00°14'51" E, A DISTANCE OF 150.71 FEET TO THE POINT OF BEGINNING, CONTAINING 3.9140 ACRES (170,495 SQ. FT.) MORE OR LESS.

**SUBDIVISION DATA**

GROSS ACREAGE \_\_\_\_\_ 3.9140 AC.  
ZONE ATLAS NO. \_\_\_\_\_ C-19-Z  
NO. OF EXISTING TRACTS/LOTS \_\_\_\_\_ 4 LOTS  
NO. OF TRACTS/LOTS CREATED \_\_\_\_\_ 10 LOTS/1 TRACT  
NO. OF TRACTS/LOTS ELIMINATED \_\_\_\_\_ 4 LOTS  
MILES OF FULL WIDTH STREETS CREATED \_\_\_\_\_ 0.08 MILE  
AREA DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE \_\_\_\_\_ 0.4777 AC.  
AREA DEDICATED TO THE CITY OF ALBUQUERQUE WITH WARRANTY COVENANTS \_\_\_\_\_ 1.0877 AC.

3.914

**DISCLOSURE STATEMENT**

The Purpose of this plat is to:

- Show the Public right of way vacated by DRB 04 \_\_\_\_\_
- Show the location of that portion of A.M.A.F.C.A. property conveyed to Esmail Haidari and Ghamar Asgharzadeh via quitclaim deed that is now incorporated into portions of Lots 5, 6, 8, 9 & 10, La Vista at Desert Trails (QCD filed \_\_\_\_\_, 2005, in Book \_\_\_\_\_, Page \_\_\_\_\_)
- Eliminate the existing interior lot lines and create the 10 new residential lots and 1 new tract as shown hereon.
- Dedicate the additional new public street right of ways as shown hereon to the City of Albuquerque in fee simple with and without warranty covenants.
- Grant the new public utility easements as shown hereon.
- Dedicate Drainage Right of Way to A.M.A.F.C.A. in fee simple with warranty covenants.

**GENERAL NOTES**

- Bearings are New Mexico State Plane Grid Bearings (Central Zone) originated at the Albuquerque Control Survey Monument "1-B20" (NAD 1927).
- All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points, and street intersections and shown thus  $\blacktriangle$ . All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument- Do not disturb, PS Number 14271" and will be set flush with the final asphalt lift.
- Lot lines eliminated with the filing of this Plat Shown Thus . . . . .
- Talos Log number is 2005394420.

**PLAT FOR  
LA VISTA AT  
DESERT RIDGE TRAILS**

(BEING A REPLAT OF LOTS 15 THRU 18  
BLOCK 1, NORTH ALBUQUERQUE ACRES TRACT 2, UNIT 3 AND A  
PORTION OF A.M.A.F.C.A. RIGHT OF WAY)

WITHIN  
THE ELENA GALLEGOS GRANT  
PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE  
4 EAST NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

September 2005

*10 lots shown  
described in plat*

**APPROVED AND ACCEPTED BY:**

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: \_\_\_\_\_

Application Number: \_\_\_\_\_

PLAT APPROVAL

Utility Approvals:

PNM Electric Services \_\_\_\_\_ Date \_\_\_\_\_

PNM Gas Services \_\_\_\_\_ Date \_\_\_\_\_

Qwest \_\_\_\_\_ Date \_\_\_\_\_

Comcast \_\_\_\_\_ Date \_\_\_\_\_

City Approvals: John B. Haidari 10-7-05  
City Surveyor Date

Real Property Division \_\_\_\_\_ Date \_\_\_\_\_

Traffic Engineering, Transportation Division \_\_\_\_\_ Date \_\_\_\_\_

Albuquerque-Bernalillo County Utility Authority \_\_\_\_\_ Date \_\_\_\_\_

Parks and Recreation Department \_\_\_\_\_ Date \_\_\_\_\_

AMAFCA \_\_\_\_\_ Date \_\_\_\_\_

City Engineer \_\_\_\_\_ Date \_\_\_\_\_

DRB Chairperson, Planning Department \_\_\_\_\_ Date \_\_\_\_\_

**SURVEYOR'S CERTIFICATION:**

"I Will W. Plotner Jr., a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Will Plotner Jr. 10/6/05  
WILL PLOTNER JR. DATE  
N.M.P.S. No. 14271

CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896-3050 Fax (505)891-0244



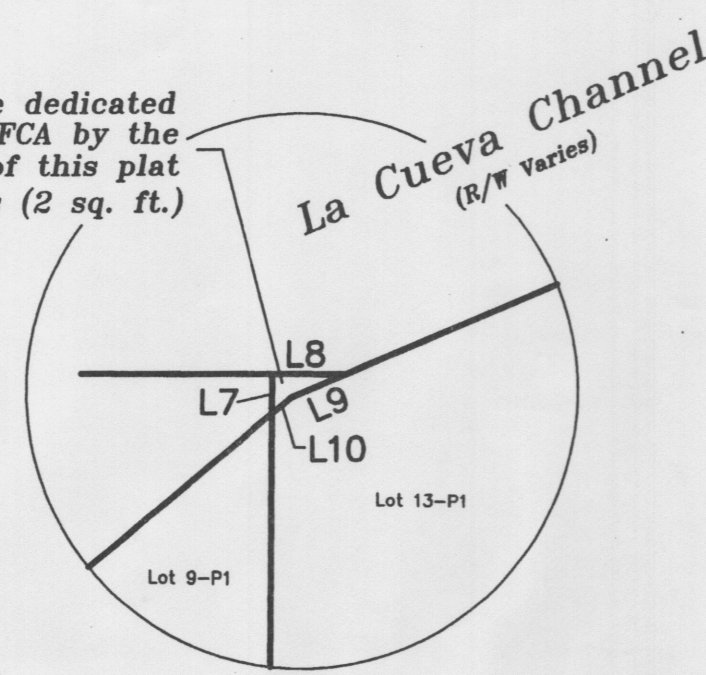
# PLAT FOR LA VISTA AT DESERT RIDGE TRAILS

(BEING A REPLAT OF LOTS 15 THRU 18  
BLOCK 1, NORTH ALBUQUERQUE ACRES TRACT 2, UNIT 3 AND A  
PORTION OF A.M.A.F.C.A. RIGHT OF WAY)

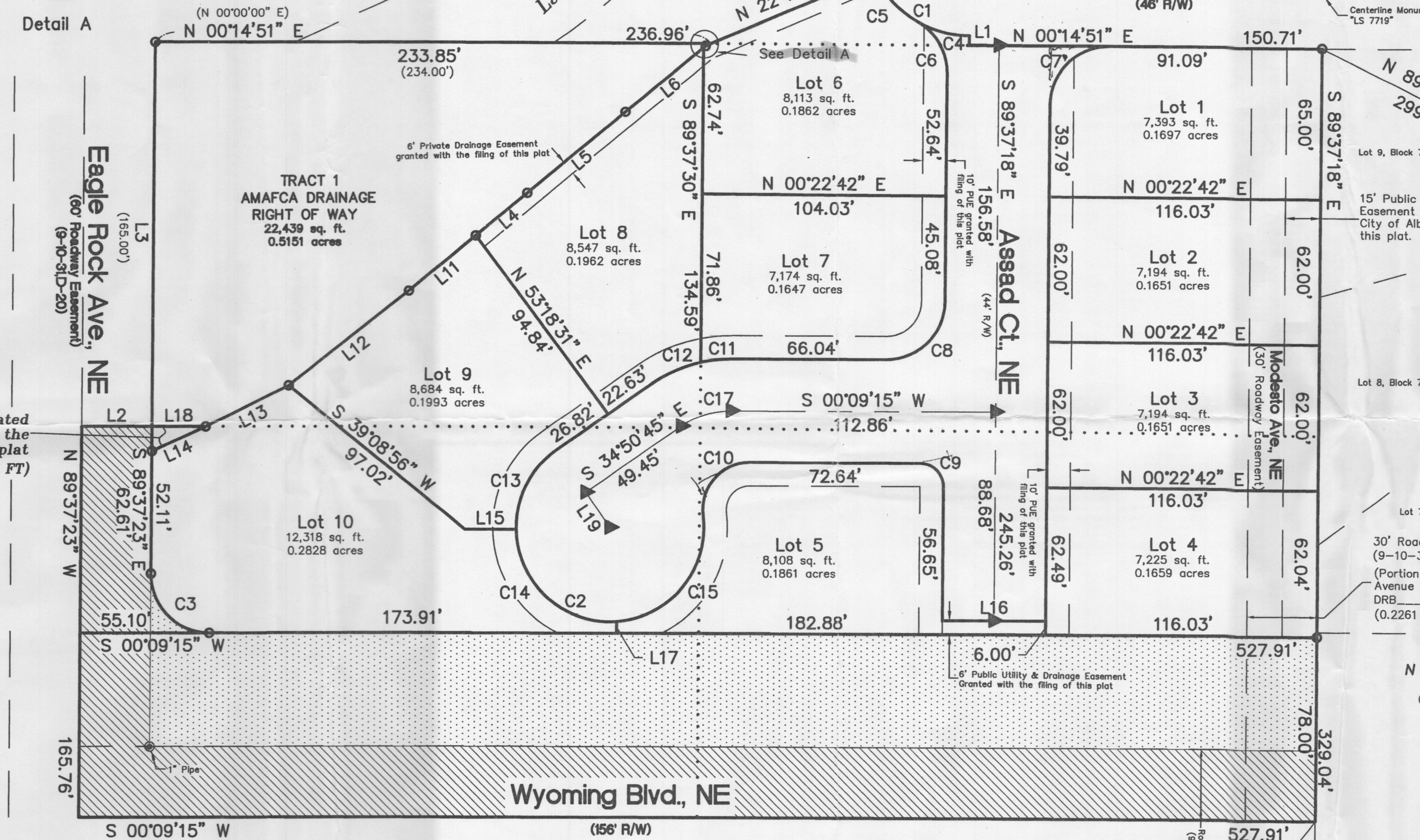
WITHIN  
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PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE  
4 EAST NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

September 2005

Land to be dedicated  
to AMAFCA by the  
filing of this plat  
0.0001 Acres (2 sq. ft.)



Detail A



ACS Monument "1-B20"  
NAD 1927 CENTRAL ZONE  
X=410,237.56  
Y=1,524,092.46  
Z=5474.510 (NAVD 1929)  
G-G=0.99964740  
Delta Alpha=-0°10'23"

15' Public Storm Drainage  
Easement Granted to the  
City of Albuquerque by  
this plat.

Desert Ridge Trails  
Subdivision, Unit 1  
Lot 8, Block 7  
(BK-2002C, Pg-46)

Lot 7, Block 7

30' Roadway Easement  
(9-10-31, d-21)  
(Portion of Existing Modesto  
Avenue N.E. VACATED by  
DRB \_\_\_\_\_  
(0.2261 Ac.)

N 90°00'00" E MEASURED BEARING AND DISTANCES

- (N 90°00'00" E)
- RECORD BEARINGS AND DISTANCES  
PER PLAT OF RECORD
- FOUND AS INDICATED
- SET BATHEY MARKER "LS 14271"
- ▲ SET CENTERLINE MONUMENT "LS 14271"
- DEDICATED TO THE CITY OF ALBUQUERQUE  
IN FEE SIMPLE WITH WARRANTY COVENANTS
- ▨ DEDICATED TO THE CITY OF  
ALBUQUERQUE IN FEE SIMPLE

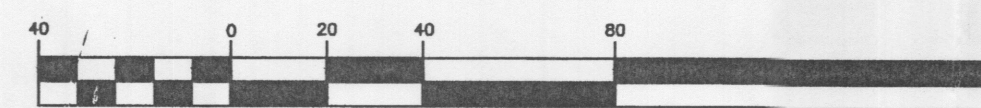
ACS Monument "7-C19"  
NAD 1927 CENTRAL ZONE  
X=410,171.36  
Y=1,522,006.02  
Z=5483.076 (NAVD 1929)  
G-G=0.999647055  
Delta Alpha=N/A

LINE TABLE		
LINE	LENGTH	BEARING
L1	4.00	S 89°37'35" E
L2	30.00	N 00°14'51" E
L3	164.14 (165.00')	N 89°37'23" W
L4	28.50	S 39°48'55" E
L5	54.45	S 39°48'55" E
L6	43.10	S 39°39'16" E
L7	1.66	N 89°37'50" W
L8	3.10	N 00°14'51" E
L9	2.48	S 22°45'23" E
L10	1.08	S 39°39'16" E
L11	36.85	N 39°48'55" W
L12	65.15	N 37°57'34" W
L13	39.44	S 25°59'21" E
L14	25.21	S 24°21'49" E
L15	21.95	S 00°09'15" W
L16	44.00	S 00°09'15" W
L17	5.00	S 89°50'45" E
L18	22.90	S 00°14'51" W
L19	18.00	S 55°09'15" W

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.	CHORD
C1	45.00'	50.55'	64°21'30"	N 32°32'36" E	47.93'
C2	40.00'	169.27'	242°28'01"	N 23°55'15" E	68.40'
C3	25.00'	39.37'	90°13'22"	N 45°15'56" E	35.42'
C4	45.00'	23.06'	29°21'36"	N 15°02'39" E	22.81'
C5	45.00'	27.49'	34°59'56"	N 47°13'24" E	27.06'
C6	25.00'	26.47'	60°39'16"	S 60°03'04" W	25.25'
C7	25.00'	39.21'	89°52'09"	S 44°41'13" E	35.31'
C8	25.00'	39.17'	89°46'33"	N 44°44'01" W	35.29'
C9	10.00'	15.75'	90°13'27"	S 45°15'59" W	14.17'
C10	20.00'	34.02'	97°28'01"	S 48°34'45" E	30.07'
C11	59.00'	13.19'	12°48'22"	S 06°14'56" E	13.16'
C12	59.00'	22.85'	22°11'38"	S 23°44'56" E	22.71'
C13	40.00'	39.29'	56°16'18"	S 62°58'54" E	37.73'
C14	40.00'	64.96'	93°02'28"	N 42°21'43" E	58.05'
C15	40.00'	65.03'	93°09'14"	N 50°44'08" W	58.10'
C16	345.32'	13.46'	2°14'01"	N 25°21'48" W	13.46'
C17	37.00'	22.60'	35°00'00"	S 17°20'45" E	22.25'



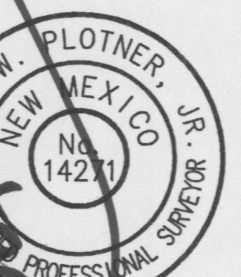
GRAPHIC SCALE



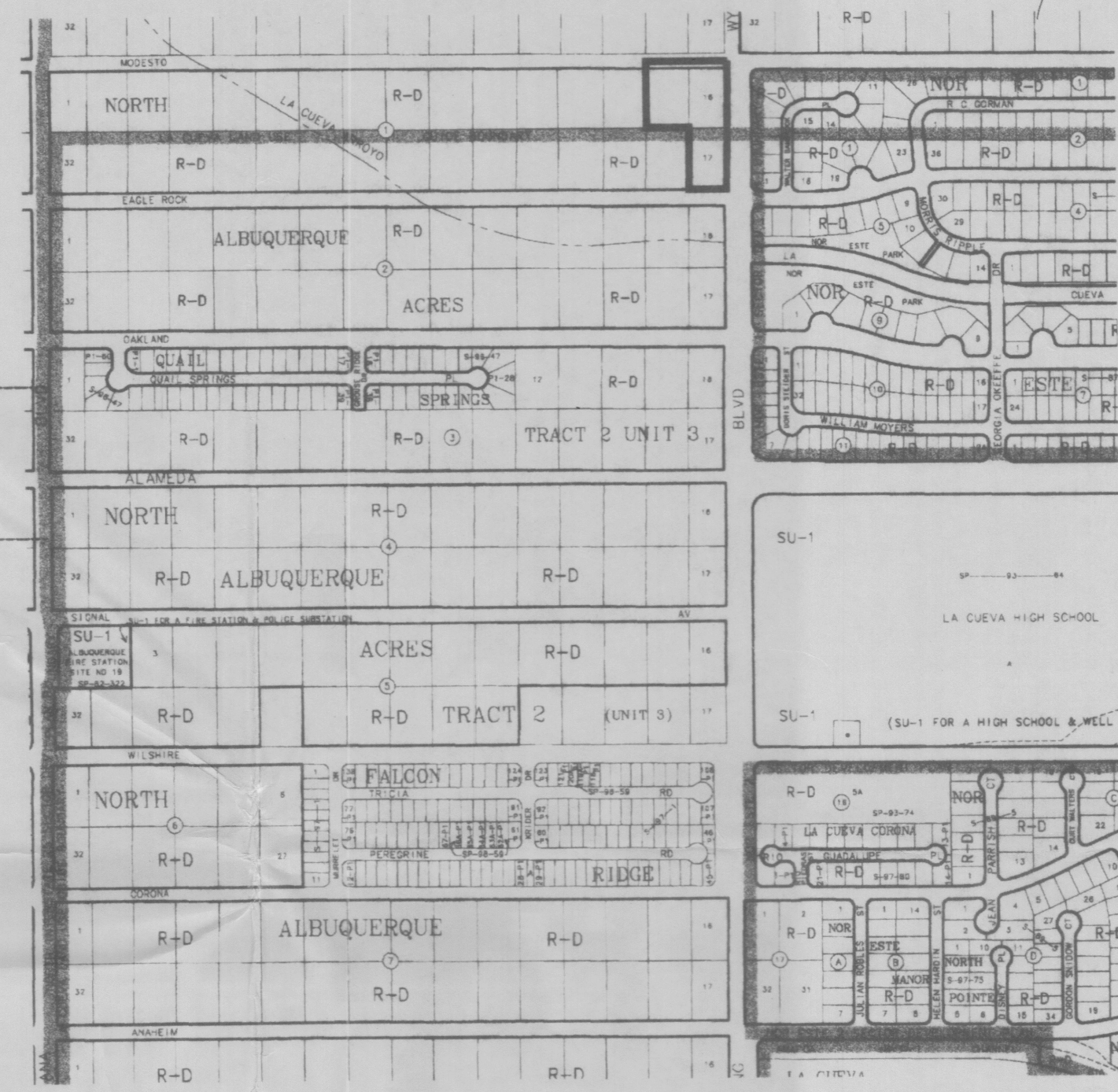
( IN FEET )  
1 inch = 40 ft.

*Handwritten notes:*  
1.88 ac = 1.88 ac  
W/Trail = 9.40  
1.88 ac = 1.88 ac  
1.88 ac = 1.88 ac  
1.88 ac = 1.88 ac

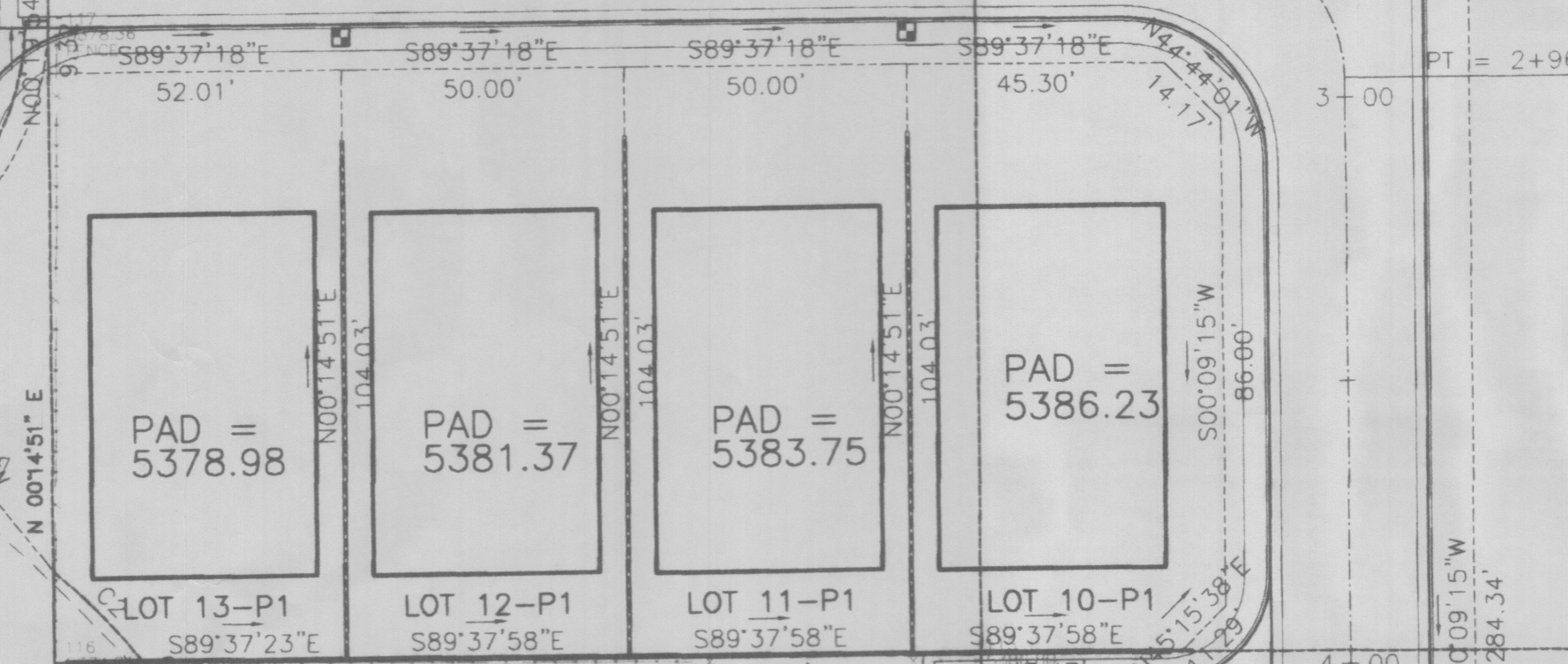
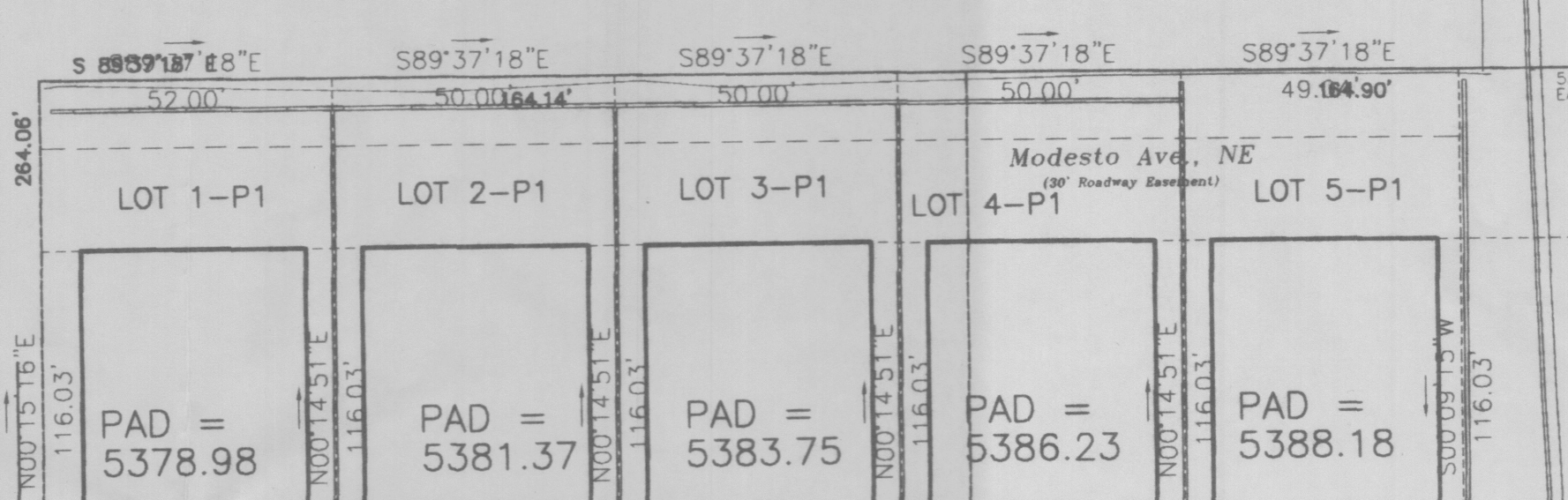
**CARTESIAN SURVEYS, INC.**  
P.O. BOX 44414 RIO RANCHO, NM 87174  
Phone (505) 896-3050 Fax (505) 896-0244



1003655



AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK STARTED BY	DATE
ACCEPTANCE BY	DATE
FIELD DESIGNATION BY	DATE
DRAWINGS CORRECTED BY	DATE
MICRO-FILM INFORMATION	DATE
RECORDED BY	DATE
RECORDED BY	DATE



CURVE	LENGTH	RADIUS	TANGENT	DELTA
C1	66.90	49.00	39.84	78°13'40"
C2	22.59	100.00	11.34	12°56'41"
C3	8.70	100.00	4.36	4°59'15"
C4	43.18	125.19	21.81	19°45'49"
C5	64.52	241.08	32.45	15°20'04"
C6	47.19	241.08	23.67	11°12'52"
C7	25.29	1321.34	12.65	1°05'48"
C8	15.68	10.00	9.97	89°48'45"

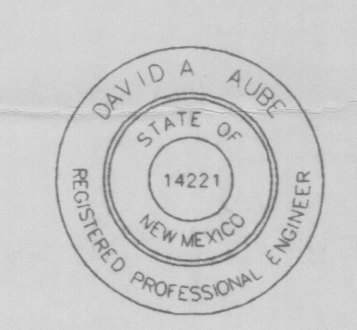
### LEGEND

- NEW RESIDENTIAL PAVING
- NEW CONC FILLETS AND APRONS
- NEW STD CURB & GUTTER
- NEW 4' WIDE SIDEWALK PER COA STD DWG 2430
- SUB DIVISION BOUNDARY
- LOT LINE
- STREET CENTERLINE
- EDGE OF EXIST. PAVEMENT
- PROPOSED MANHOLE
- PROPOSED WATER METER
- PAD FOR RESIDENCE

### EXISTING FEATURES

- TRAFFIC SIGN
- FIRE HYDRANT
- EXISTING MANHOLE
- WATER VALVE
- LIGHT POLE

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	BY



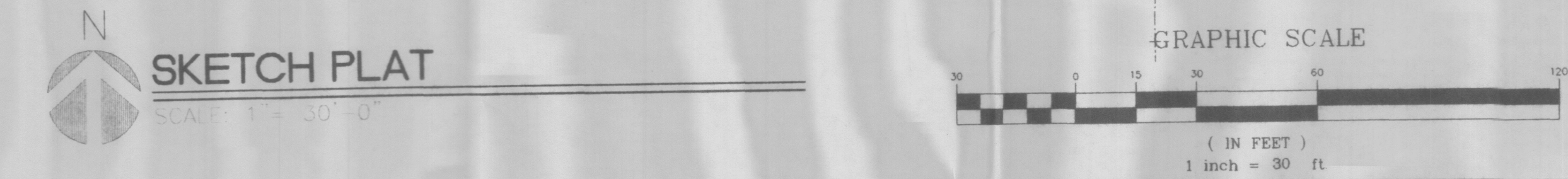
**THE group** TELCK-HENSLEY ENGINEERING GROUP  
 4001 JUAN TABO NE, SUITE A  
 ALBUQUERQUE, NEW MEXICO 87111  
 Phone (505)292-3202 FAX (505)292-3904

CITY OF ALBUQUERQUE  
 PUBLIC WORKS DEPARTMENT  
 ENGINEERING GROUP

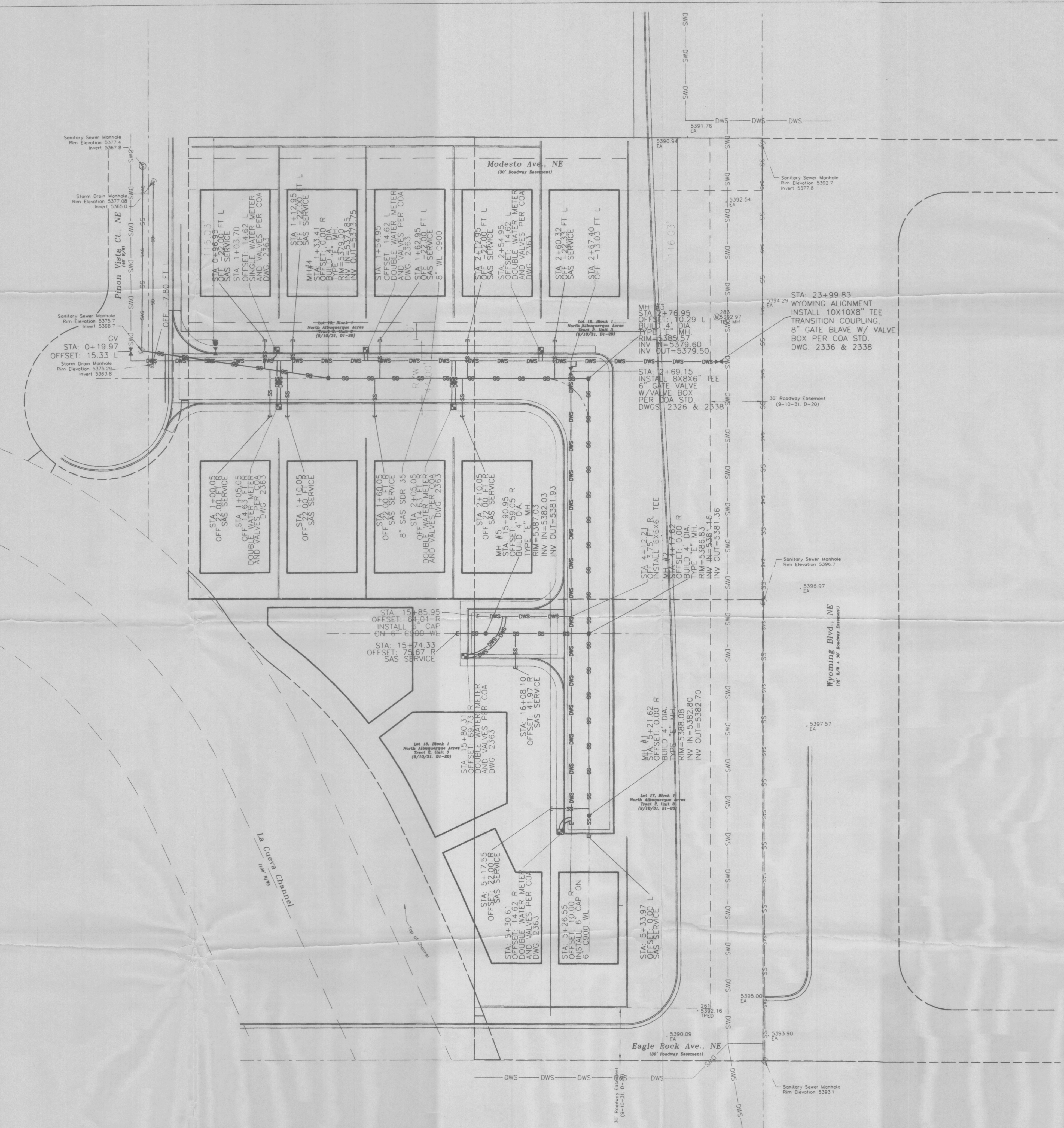
TITLE: WYOMING AT EAGLE ROCK SUBDIVISION SKETCH PLAT

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. 100XXXX Zone Map C-19-Z Sheet 2 Of 14



SKETCH PLAT  
 SCALE: 1" = 30'-0"



**GENERAL NOTES**

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
2. ALL CURVE DATA AND DIMENSIONS ARE CALCULATED FROM CENTERLINE OF PIPE OR MANHOLE. ALL SAS & SD SLOPES ARE CALCULATED TO TRUE PIPE DIMENSIONS FROM INVERT TO INVERT. (PAY ITEMS ARE SHOWN IN PARENTHESIS)
3. GRADE ELEVATIONS, WHERE NOTED, ARE FOR FLOWLINE OF CURB UNLESS OTHERWISE SPECIFIED.
4. CONTRACTOR IS TO INSTALL A 4" x 4" x 5' POST AND EMD AT THE END OF EACH SANITARY SEWER SERVICE.
5. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
6. CONTRACTOR SHALL PROVIDE THE INSPECTORS WITH THE PROPOSED TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
7. CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
8. ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS' EXPENSE.
9. MH RIMS & CATCH BASIN INLET ELEVATIONS, VALVE BOXES, ARV, FIRE HYDRANT & FLANGE ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY AND ADJUST TO FINAL PAVEMENT GRADES.
10. SAS STATIONING FOLLOWS CL OF ROAD UNLESS OTHERWISE NOTED.
11. FLOWLINE ELEVATIONS FOR DROP INLETS ARE PROJECTED FORM FLOWLINE OF STANDARD CURB TO MIDDLE OF DOWNHILL GRATE.
12. ALL WATERLINE APPURTENANCES SHALL USE BLOCKING.
13. FOR STORM DRAIN CONSTRUCTION: ALL RECP JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION SHALL DETERMINE WHICH JOINTS ARE TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.
14. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.

**UTILITY LEGEND**

- PROPERTY LINE
- NEW EASEMENT
- EX\_SAS - EXISTING SANITARY SEWER
- EX\_WL - EXISTING WATER LINE
- EX\_SD - EXISTING STORM DRAIN
- SS - PROPOSED SANITARY SEWER
- DWS - PROPOSED WATER LINE
- SD - PROPOSED STORM DRAIN
- W - PROPOSED VALVE
- - PROPOSED HYDRANT
- ] - PROPOSED SAS CAP
- - PROPOSED WATER METER
- - PROPOSED SANITARY SEWER MANHOLE
- - PROPOSED STORM DRAIN
- NEW 4' WIDE SIDEWALK PER COA STD DWG 2430

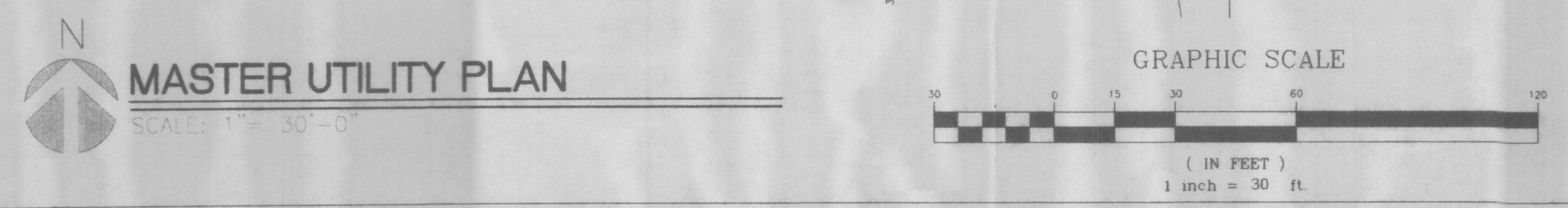
AS-BUILT INFORMATION		BENCH MARK		SURVEY INFORMATION	
CONTRACTOR	DATE	ACS MONUMENT "1-B20" HAVING AN ELEVATION	NO.	FIELD NOTES	DATE
WORK STAMPED BY:	DATE	OF 5474.51			
ACCEPTANCE BY:	DATE				
FIELD DRAWING BY:	DATE				
DRAWINGS CORRECTED BY:	DATE				
MICRO-FILM INFORMATION	DATE				
RECORDED BY:	DATE				
RECORDED BY:	DATE				



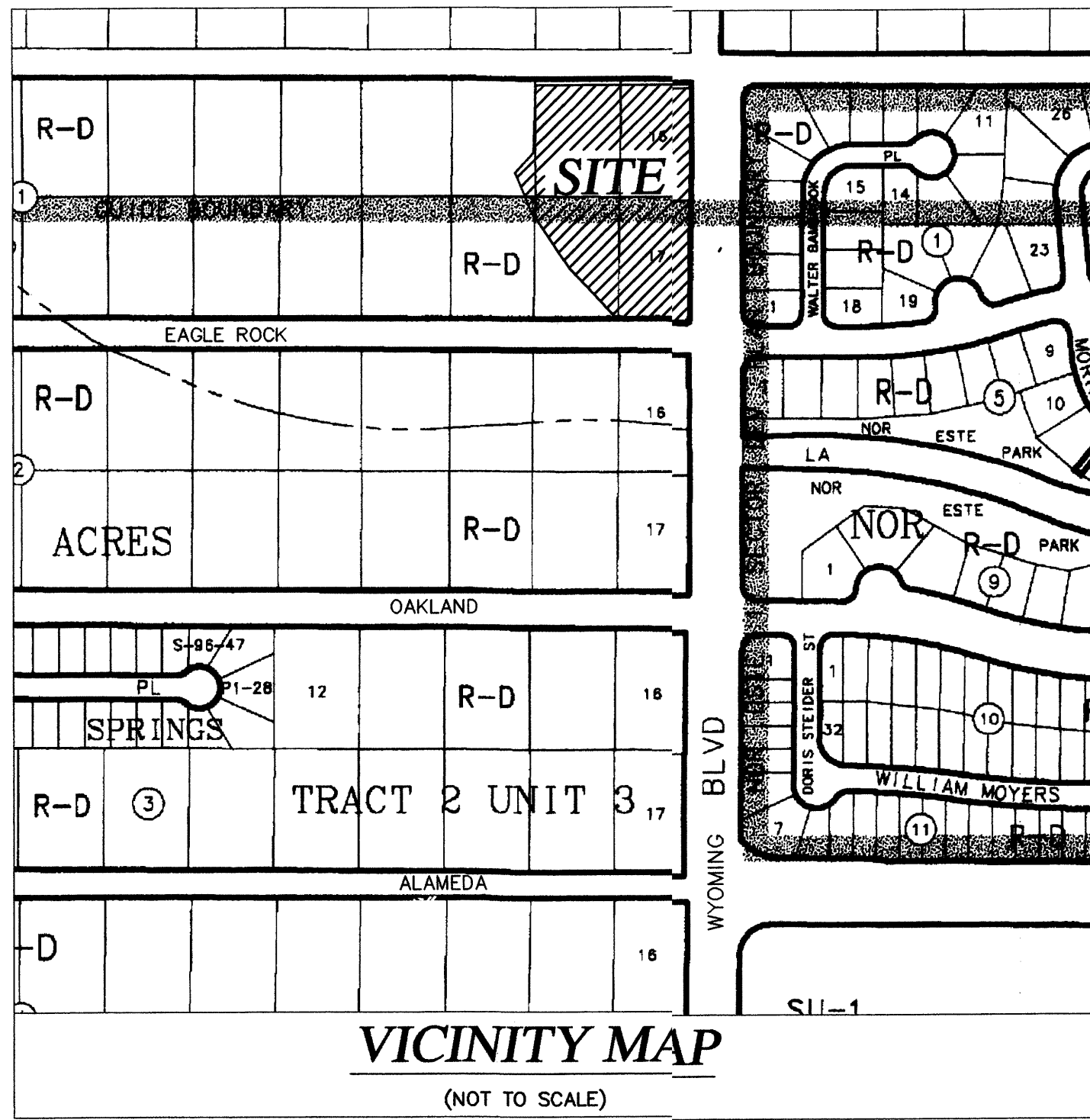
NO.	DATE	REMARKS	BY
		DESIGN REVISIONS	
	1-16-04		DAVID A. AUBE, P.E.
	1-16-04		DAVID A. AUBE, P.E.
	1-16-04		DAVID A. AUBE, P.E.

**THE group** **TELCK-HENSLEY ENGINEERING GROUP**  
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CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP		Mo./Day/Yr.	
TITLE: WYOMING AT EAGLE ROCK SUBDIVISION MASTER UTILITY PLAN			
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	
Last Design Update		Mo./Day/Yr.	
City Project No	100XXXX	Zone Map	C-19-Z
Sheet	6	Of	14



**MASTER UTILITY PLAN**  
 SCALE: 1" = 30'-0"



**PRELIMINARY PLAT**  
**LA VISTA AT DESERT RIDGE TRAILS**  
 (BEING A REPLAT OF LOTS 15 THRU 17, AND A PORTIONS OF LOT 18, BLOCK 1, NORTH ALBUQUERQUE ACRES TRACT 2, UNIT 3 AND A PORTION OF A.M.A.F.C.A. RIGHT OF WAY)  
 WITHIN  
**THE ELENA GALLEGOS GRANT**  
 IN  
**PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST NEW MEXICO PRINCIPAL MERIDIAN**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**

May 2005

**LEGAL**

LOTS NUMBERED FIFTEEN (15), SIXTEEN (16), SEVENTEEN (17), AND LOT EIGHTEEN (18) EXCEPT SOUTH 30', BLOCK NUMBERED ONE (1) OF NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931 IN PLAT BOOK D1, PAGE 20 TOGETHER WITH A PORTION OF AMAFCA DRAINAGE R.O.W. DEDICATED TO A.M.A.F.C.A. BY THE PLAT ENTITLED "DESERT RIDGE TRAILS SUBDIVISION UNIT 1", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 8TH, 2002 IN PLAT BOOK 2002C, PAGE 46.

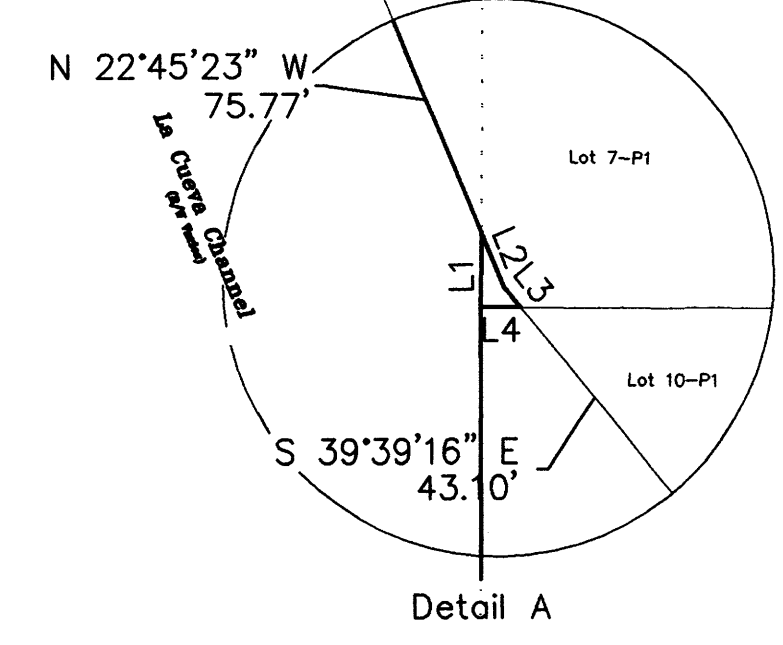
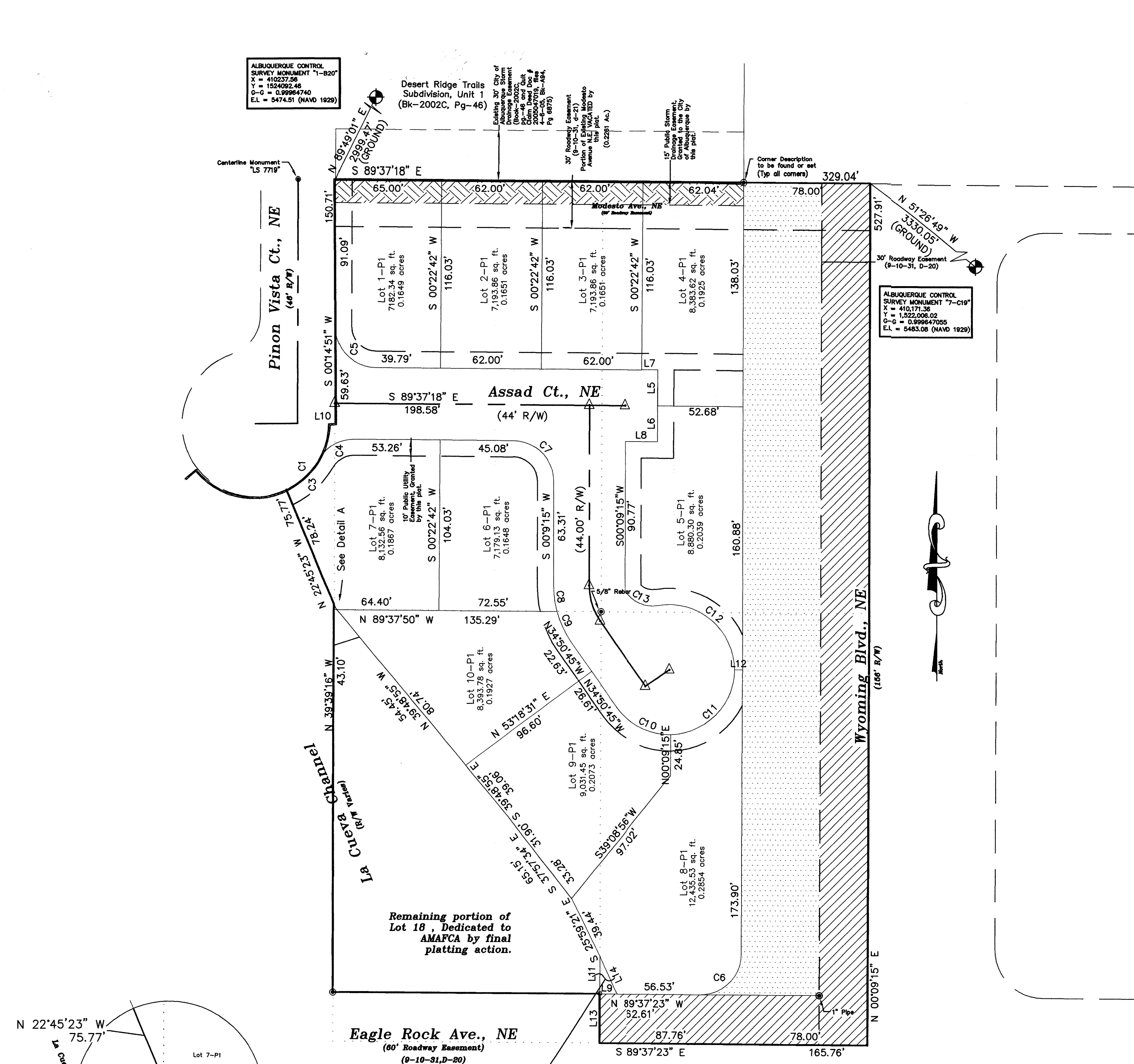
**PRELIMINARY PLAT**  
**APPROVED BY DRB**  
**ON 5/25/05**

**GENERAL NOTES**

- Bearings are New Mexico State Plane Grid Bearings (Central Zone) originated at the Albuquerque Control Survey Monument "1-B20" Located 2999.47' @ N89°49'01"E of northwest corner of Lot 15. (NAD 1929). Bearing and distance are ground distances.
- All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points, and street intersections and shown thus  $\Delta$ . All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument- Do not disturb, PS Number 14271" and will be set flush with the final asphalt lift.
- Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.
- Total number of existing Lots: 4.
- Total number of Lots created: 10.
- Total number of Tracts created: 1.
- Total mileage of full width streets created: 0.12 mile.
- City of Albuquerque Zone Atlas Page: C-19-Z.
- Lot lines eliminated with the filing of this Plat Shown Thus  $\cdots$ .
- Total area 3.4019 acres.
- See Quit Claim Deed files \_\_\_\_\_, 2005 as Document # \_\_\_\_\_ from AMAFCA to Esmail Haidari and Ghamar Asgharzadeh.
- Property corners to be set with  $\frac{3}{8}$ " rebar 18" long and to have car designating PS Number 14271. Typical of all new corners established.
- The Zoning of Lots 15, 16 17 and portion of 18 shall be R-D 70U/Acre. Surrounding properties on all sides are currently R-D of various densities.

**DISCLOSURE STATEMENT**

- The Purpose of this plat is to:
- Show the Public right of way and easement vacated by DRB 04.
  - Vacate a portion of A.M.A.F.C.A. La Cueva Channel Drainage Right of Way within Lot 18, Block 1, Tract 2, Unit 3, NAA and as dedicated to A.M.A.F.C.A. by the plat of Desert Ridge Trails, Unit 1, filed \_\_\_\_\_.
  - Eliminate the existing interior lot lines and create the 10 new residential lots and 1 new tract as shown hereon.
  - Dedicate the additional new public street right of ways as shown hereon to the City of Albuquerque in fee simple with warranty covenants.
  - Grant the new public utility easements as shown hereon.
  - Dedicate Right of Way to A.M.A.F.C.A. in fee simple with warranty covenants.



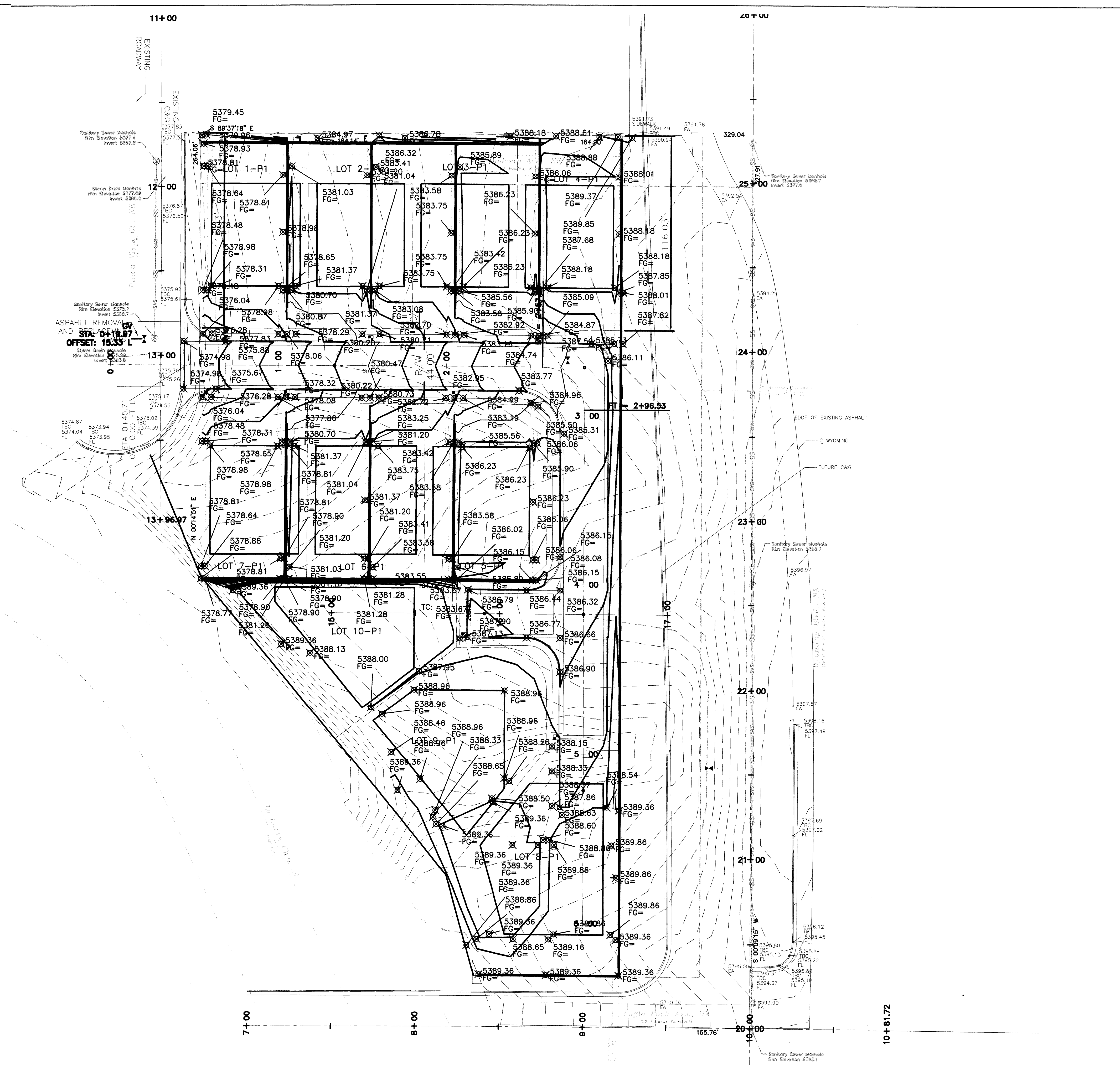
LINE	LENGTH	BEARING
L1	3.10	N00°14'51"E
L2	2.48	N22°45'23"W
L3	1.08	N39°39'16"W
L4	1.66	N89°37'50"W
L5	22.00	S00°09'15"W
L6	22.00	S00°09'15"W
L7	9.81	S89°37'18"E
L8	20.00	N89°37'18"W
L9	10.50	S89°37'23"E
L10	4.00	S89°37'35"E
L11	22.90	S00°14'51"W
L12	5.00	S89°50'45"E
L13	30.00	N00°14'51"E
L14	25.21	S24°21'49"E

CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.	CHORD
C1	45.00	50.55	64°21'30"	N22°32'36"E	47.93
C2	45.00	27.49	34°59'54"	N47°13'24"E	27.06
C3	25.00	26.47	60°39'15"	S60°03'05"W	25.25
C4	25.00	39.21	89°52'09"	S44°41'13"E	35.31
C5	25.00	39.37	90°13'22"	N45°15'56"E	35.42
C6	25.00	39.17	89°46'33"	N44°44'01"W	35.29
C7	59.00	16.01	15°32'39"	S07°37'05"E	15.96
C8	59.00	20.63	19°27'21"	S28°07'05"E	19.94
C9	40.00	39.40	54°25'56"	S63°03'43"E	37.82
C10	40.00	61.94	88°43'19"	N44°21'39"E	55.93
C11	40.00	69.88	100°05'58"	N50°02'59"W	61.33
C12	20.00	23.90	68°27'55"	S65°52'01"E	22.50

**LEGEND**

- (HATCHED AREA) STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE BY THIS PLAT, IN FEE SIMPLE (0.4574 Ac.)
- (HATCHED AREA) STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE BY THIS PLAT, IN FEE SIMPLE WITH WARRANTY COVENANTS (0.5515 Ac.)
- (HATCHED AREA) PUBLIC STORM DRAINAGE EASEMENT DEDICATED TO THE CITY OF ALBUQUERQUE BY THIS PLAT (0.08645 Ac.)

CARTESIAN SURVEYS INC.  
 P.O. BOX 44414 RIO RANCHO, N.M. 87174  
 Phone (505) 896-3050 Fax (505) 891-0244



### LEGEND

- NEW RESIDENTIAL PAVING
- NEW CONC FILLETS AND APRONS
- NEW CURB & GUTTER
- NEW 4' WIDE SIDEWALK PER COA STD DWG 2430
- SUB DIVISION BOUNDARY
- LOT LINE
- STREET CENTERLINE
- EDGE OF EXIST. PAVEMENT
- PROPOSED MANHOLE
- PROPOSED WATER METER
- PAD FOR RESIDENCE

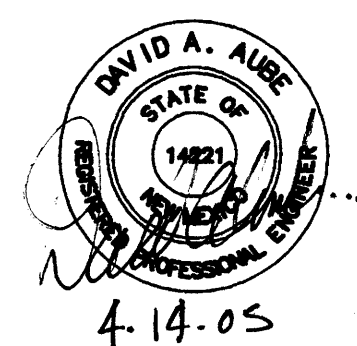
#### EXISTING FEATURES:

- TRAFFIC SIGN
- FIRE HYDRANT
- WATER VALVE
- LIGHT POLE
- EXISTING MANHOLE

AS-BUILT INFORMATION	
CONTRACTOR	DATE
DESIGNED BY	DATE
INSPECTOR'S ACCEPTANCE BY:	DATE
VERIFY BY:	DATE
DRAWINGS CORRECTED BY:	DATE
MICRO-FILM INFORMATION	
RECORDED BY:	DATE
RECORDED BY:	DATE
RECORDED BY:	DATE

BENCH MARK	
ACS MONUMENT "1-B20" HAVING AN ELEVATION OF 5474.51	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE
BY	
NO.	



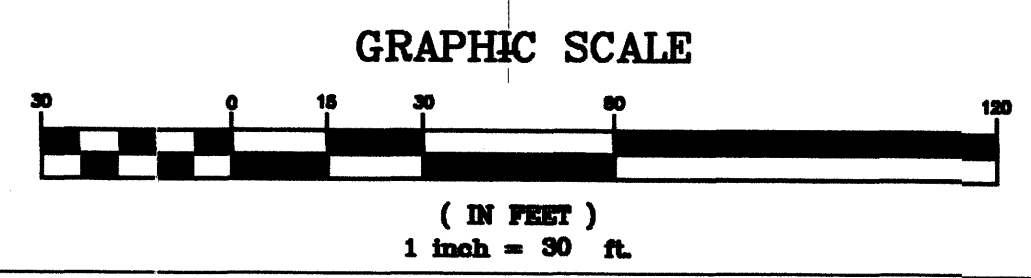
REVISIONS	
NO.	DATE
REMARKS	BY
DESIGN	DATE 1-16-04
DESIGNED BY: DAVID A. AUBE, P.E.	DATE 1-16-04
DRAWN BY: DAA	DATE 1-16-04
CHECKED BY: DAA	DATE 1-16-04

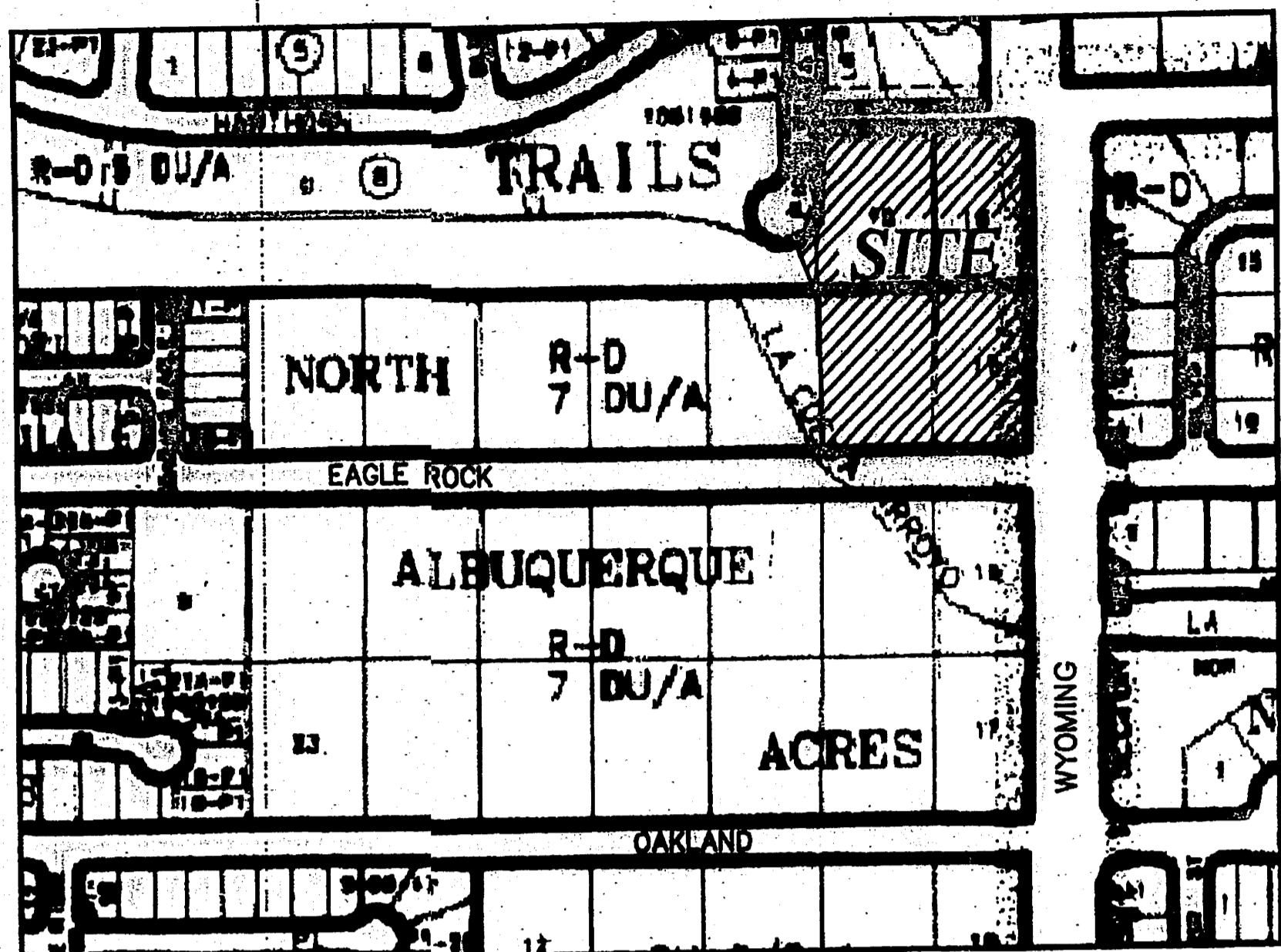
**THE group** TELCK-HENSLEY ENGINEERING GROUP  
 4001 JUAN TABO NE, SUITE A  
 ALBUQUERQUE, NEW MEXICO 87111  
 Phone: (505) 292-3202 FAX: (505) 292-3904

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP	
TITLE: LA VISTA AT DESERT RIDGE SUBDIVISION GRADING AND DRAINAGE PLAN	
Design Review Committee	City Engineer Approval
Ma./Day/Yr.	Ma./Day/Yr.

City Project No.	1003655	Zone Map	C-19-Z	Sheet	3	Of	14
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**GRADING AND DRAINAGE PLAN**  
 SCALE: 1" = 30'-0"





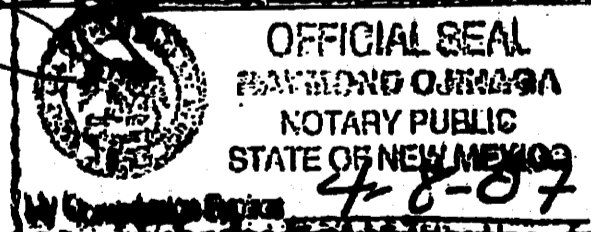
VICINITY MAP  
(NOT TO SCALE)

**FREE CONSENT, DEDICATION & ACKNOWLEDGMENTS**

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional La Cueva Channel drainage right of way to AMAFCA in fee simple with warranty covenants and dedicate Assad Ct., NE, a Portion of Wyoming Boulevard, NE as shown, public right-of-ways as shown hereon to the City of Albuquerque in fee simple with warranty covenants and a portion of Wyoming Boulevard NE as shown and Eagle Rock Ave., NE in fee simple, and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power, water, sewer and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

Esmail Haidari 10-4-2005  
Esmail Haidari (Husband) Date  
Ghamar Asgharzardeh 10-4-2005  
Ghamar Asgharzardeh (Wife) Date  
STATE OF NEW MEXICO  
SS  
COUNTY OF BERNALILLO

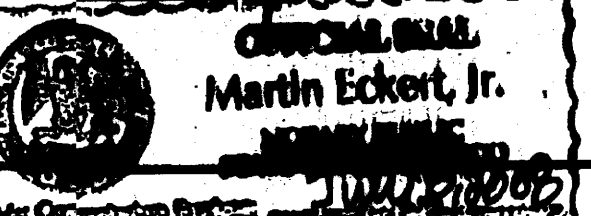
This instrument was acknowledged before me on Oct 4th 2005  
By Esmail Haidari and Ghamar Asgharzardeh (Husband and Wife)  
4-8-07  
NOTARY PUBLIC MY COMMISSION EXPIRES



The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to the creating of lots 1-10, and Tract 1, AMAFCA Drainage Right of Way, as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrants that (he/she) holds complete and indefeasible title in fee simple to lot 18.

John P Kelly 10-5-05  
John P Kelly, Executive Engineer Date  
STATE OF NEW MEXICO  
SS  
COUNTY OF BERNALILLO

This instrument was acknowledged before me on October 5, 2005  
By John P. Kelly, Executive Engineer of AMAFCA  
Martin Eckert, Jr. July 8, 2008  
NOTARY PUBLIC MY COMMISSION EXPIRES



**LEGAL**

LOTS NUMBERED FIFTEEN (15), SIXTEEN (16), SEVENTEEN (17) AND EIGHTEEN (18), BLOCK NUMBERED ONE (1) OF NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931 IN PLAT BOOK D1, PAGE 20 TOGETHER WITH A PORTION OF THE TRACT DESIGNATED AS "ADDITIONAL DRAINAGE R.O.W. DEDICATED TO A.M.A.F.C.A. BY THIS PLAT 0.0590 ACRES" AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "DESERT RIDGE TRAILS SUBDIVISION UNIT 1", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 8TH, 2002 IN PLAT BOOK 2002C, PAGE 46, AND THE TRACT IN ITS ENTIRETY, DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT, BEING THE NORTHWEST CORNER OF SAID LOT 15, BLOCK 1 OF NORTH ALBUQUERQUE ACRES, WHENCE, A TIE TO ACS MONUMENT "1-B20" BEARS N 89°49'01" E, AND A DISTANCE OF 2999.46 FEET;

THENCE, FROM THE POINT OF BEGINNING, S 89°37'18" E, A DISTANCE OF 329.04 FEET TO THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, S 00°09'15" W, A DISTANCE OF 527.91 FEET TO THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, N 89°37'23" W, A DISTANCE OF 165.76 FEET;

THENCE, N 00°14'51" E, A DISTANCE OF 30.00 FEET;

THENCE, N 89°37'23" W, A DISTANCE OF 164.14 FEET TO THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, N 00°14'51" E, A DISTANCE OF 236.96 FEET;

THENCE, N 22°45'23" W, A DISTANCE OF 75.77 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY OF PINON VISTA CT., N.E.;

THENCE, COINCIDENTAL WITH SAID RIGHT OF WAY FOR THE FOLLOWING THREE COURSES,

50.55 FEET ALONG AN ARC OF A CURVE NON-TANGENT TO THE PREVIOUS COURSE, HAVING A RADIUS OF 45.00 FEET, A DELTA OF 64°21'30" AND A CHORD OF N 32°32'36" E, A DISTANCE OF 47.93 FEET TO A POINT OF TANGENCY;

THENCE, S 89°37'35" E, A DISTANCE OF 4.00 FEET;

THENCE, N 00°14'51" E, A DISTANCE OF 150.71 FEET TO THE POINT OF BEGINNING, CONTAINING 3.9140 ACRES (170,495 SQ. FT.) MORE OR LESS.

**SUBDIVISION DATA**

GROSS ACREAGE \_\_\_\_\_ 3.9140 AC.  
ZONE ATLAS NO. \_\_\_\_\_ C-19-Z  
NO. OF EXISTING TRACTS/LOTS \_\_\_\_\_ 4 LOTS  
NO. OF TRACTS/LOTS CREATED \_\_\_\_\_ 10 LOTS/1 TRACT  
NO. OF TRACTS/LOTS ELIMINATED \_\_\_\_\_ 4 LOTS  
MILES OF FULL WIDTH STREETS CREATED \_\_\_\_\_ 0.08 MILE  
AREA DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE \_\_\_\_\_ 0.4777 AC.  
AREA DEDICATED TO THE CITY OF ALBUQUERQUE WITH WARRANTY COVENANTS \_\_\_\_\_ 1.0877 AC.

3.914

**DISCLOSURE STATEMENT**

The Purpose of this plat is to:

- Show the Public right of way vacated by DRB 04.
- Show the location of that portion of A.M.A.F.C.A. property conveyed to Esmail Haidari and Ghamar Asgharzardeh via quitclaim deed that is now incorporated into portions of Lots 5, 6, 8, 9 & 10, La Vista at Desert Trails (QCD) filed \_\_\_\_\_, 2005, in Book \_\_\_\_\_, Page \_\_\_\_\_.
- Eliminate the existing interior lot lines and create the 10 new residential lots and 1 new tract as shown hereon.
- Dedicate the additional new public street right of ways as shown hereon to the City of Albuquerque in fee simple with and without warranty covenants.
- Grant the new public utility easements as shown hereon.
- Dedicate Drainage Right of Way to A.M.A.F.C.A. in fee simple with warranty covenants.

**GENERAL NOTES**

- Bearings are New Mexico State Plane Grid Bearings (Central Zone) originated at the Albuquerque Control Survey Monument "1-B20" (NAD 1927).
- All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points, and street intersections and shown thus  $\blacktriangle$ . All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument- Do not disturb, PS Number 14271" and will be set flush with the final asphalt lift.
- Lot lines eliminated with the filing of this Plat Shown Thus . . . . .
- Talos Log number is 2005394420.

PLAT FOR  
**LA VISTA AT  
DESERT RIDGE TRAILS**

(BEING A REPLAT OF LOTS 15 THRU 18  
BLOCK 1, NORTH ALBUQUERQUE ACRES TRACT 2, UNIT 3 AND A  
PORTION OF A.M.A.F.C.A. RIGHT OF WAY)

WITHIN  
THE ELENA GALLEGOS GRANT  
PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE  
4 EAST NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

September 2005

**APPROVED AND ACCEPTED BY:**

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque Subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: \_\_\_\_\_

Application Number: \_\_\_\_\_

PLAT APPROVAL

Utility Approvals:

PNM Electric Services \_\_\_\_\_ Date \_\_\_\_\_

PNM Gas Services \_\_\_\_\_ Date \_\_\_\_\_

Qwest \_\_\_\_\_ Date \_\_\_\_\_

Comcast \_\_\_\_\_ Date \_\_\_\_\_

City Approvals: W.B. Jant 10-7-05  
City Surveyor Date

Real Property Division \_\_\_\_\_ Date \_\_\_\_\_

Traffic Engineering, Transportation Division \_\_\_\_\_ Date \_\_\_\_\_

Albuquerque-Bernalillo County Utility Authority \_\_\_\_\_ Date \_\_\_\_\_

Parks and Recreation Department \_\_\_\_\_ Date \_\_\_\_\_

AMAFCA \_\_\_\_\_ Date \_\_\_\_\_

City Engineer \_\_\_\_\_ Date \_\_\_\_\_

DRB Chairperson, Planning Department \_\_\_\_\_ Date \_\_\_\_\_

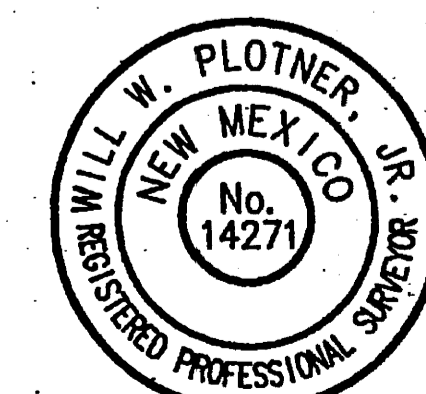
**SURVEYOR'S CERTIFICATION:**

"I Will W. Plotner Jr., a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Will Plotner Jr. 10/6/05  
WILL PLOTNER JR. DATE  
N.M.P.S. No. 14271

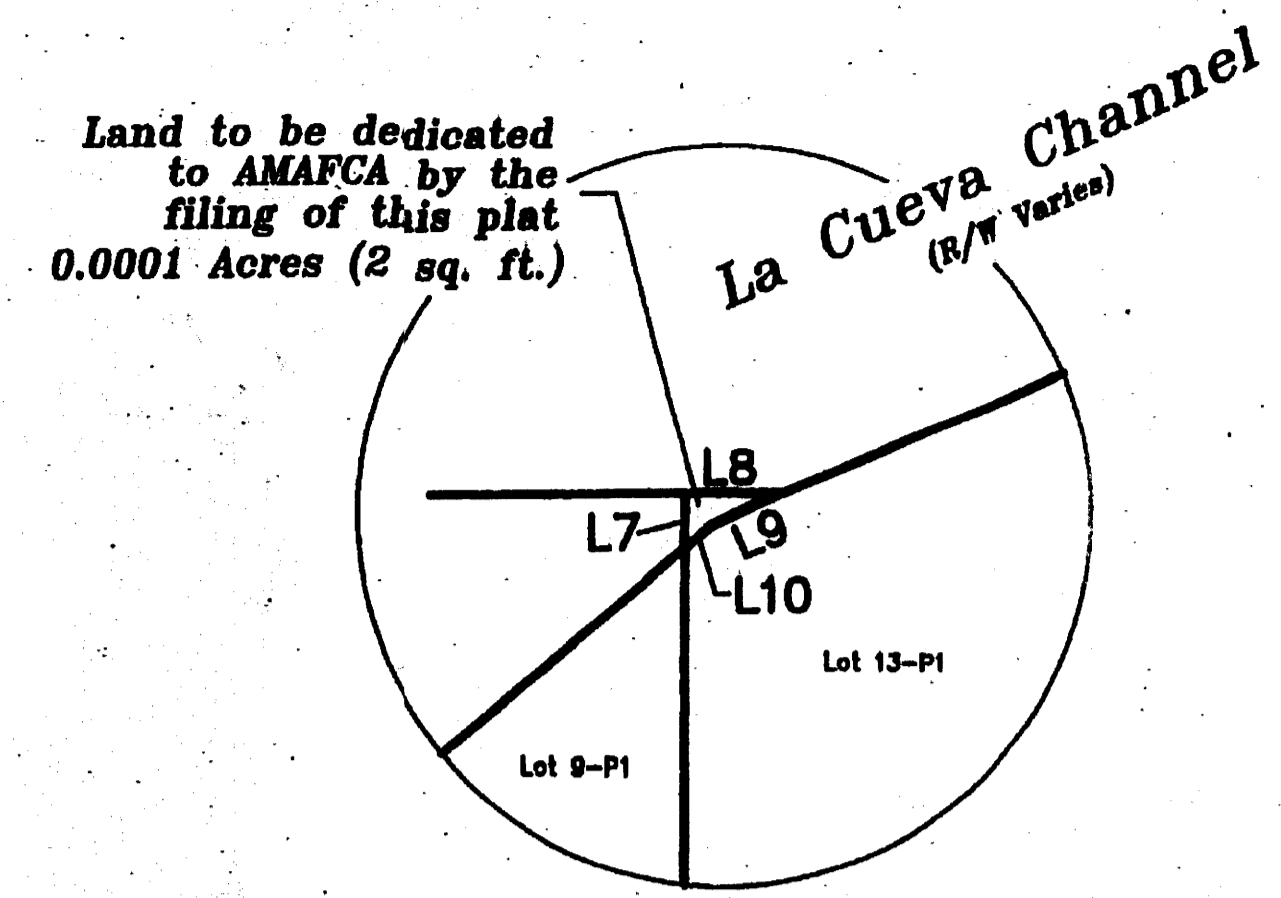
CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896-3050 Fax (505)891-0244



# PLAT FOR LA VISTA AT DESERT RIDGE TRAILS

(BEING A REPLAT OF LOTS 15 THRU 18  
BLOCK 1, NORTH ALBUQUERQUE ACRES TRACT 2, UNIT 3 AND A  
PORTION OF A.M.A.F.C.A. RIGHT OF WAY)  
WITHIN  
THE ELENA GALLEGOS GRANT  
PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE  
4 EAST NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
September 2005



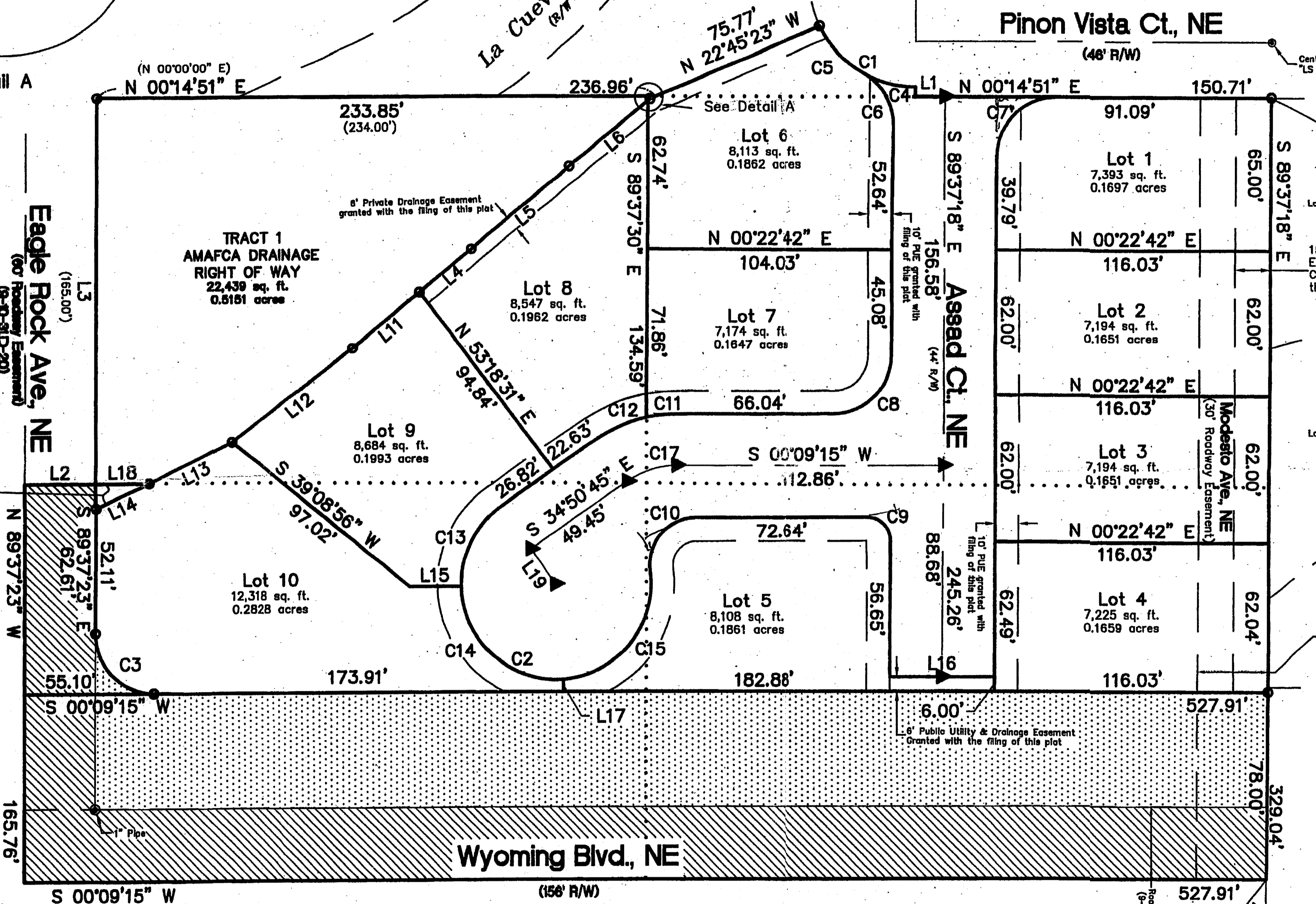
Detail A

Land to be dedicated to AMAFCA by the filing of this plat 0.0001 Acres (2 sq. ft.)

**Eagle Rock Ave., NE**  
(65' R/W)  
(9-10-31-D-20)

Land to be dedicated to AMAFCA by the filing of this plat 0.0275 acres (120 SQ FT)

**Wyoming Blvd., NE**  
(156' R/W)



ACS Monument #1-B20  
NAD 1927 CENTRAL ZONE  
X=410,237.56  
Y=1,524,092.46  
Z=5474.510 (NAVD 1929)  
G-g=0.99964740  
Delta Alpha=-0'10'23"

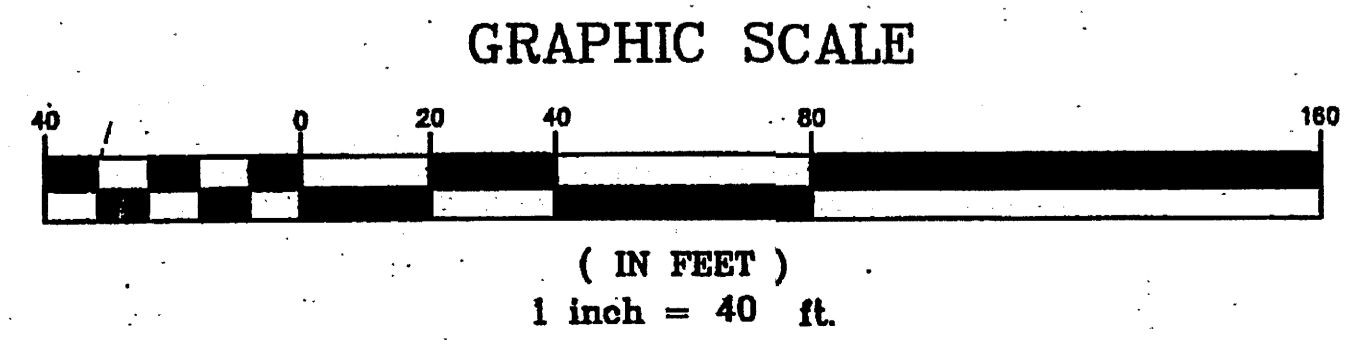
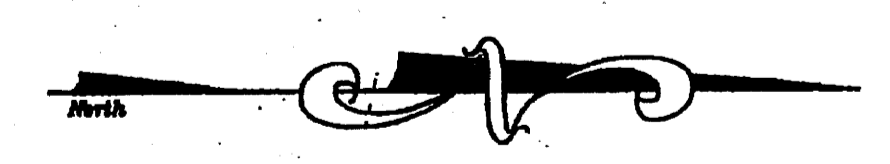
Desert Ridge Trails Subdivision, Unit 1 (Bk-2002C, Pg-46)

- N 90°00'00" E MEASURED BEARING AND DISTANCES  
(N 90°00'00" E)
- RECORD BEARINGS AND DISTANCES PER PLAT OF RECORD
  - FOUND AS INDICATED
  - ▲ SET BATHEY MARKER "LS 14271"
  - ▲ SET CENTERLINE MONUMENT "LS 14271"
  - ▨ DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS
  - ▨ DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE

ACS Monument #7-C19  
NAD 1927 CENTRAL ZONE  
X=410,171.36  
Y=1,522,006.02  
Z=5483.076 (NAVD 1929)  
G-g=0.999647055  
Delta Alpha=N/A

LINE	LENGTH	BEARING
L1	4.00	S 89°37'35" E
L2	30.00	N 00°14'51" E
L3	164.14 (165.00)	N 89°37'23" W
L4	28.50	S 39°48'55" E
L5	54.45	S 39°48'55" E
L6	43.10	S 39°39'16" E
L7	1.66	N 89°37'50" W
L8	3.10	N 00°14'51" E
L9	2.48	S 22°45'23" E
L10	1.08	S 39°39'16" E
L11	36.85	N 39°48'55" W
L12	65.15	N 37°57'34" W
L13	39.44	S 26°59'21" E
L14	25.21	S 24°21'49" E
L15	21.95	S 00°09'15" W
L16	44.00	S 00°09'15" W
L17	5.00	S 89°30'45" E
L18	22.90	S 00°14'51" W
L19	18.00	S 55°09'15" W

CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.	CHORD
C1	45.00'	50.55'	64°21'30"	N 32°32'36" E	47.93'
C2	40.00'	169.27'	242°28'01"	N 23°55'15" E	68.40'
C3	25.00'	39.37'	90°13'22"	N 45°15'58" E	35.42'
C4	45.00'	23.06'	29°21'36"	N 15°02'39" E	22.81'
C5	45.00'	27.49'	34°59'56"	N 47°13'24" E	27.06'
C6	25.00'	26.47'	60°39'16"	S 60°03'04" W	25.25'
C7	25.00'	39.21'	89°52'09"	S 44°41'13" E	35.31'
C8	25.00'	38.17'	88°46'33"	N 44°44'01" W	35.29'
C9	10.00'	15.75'	90°13'27"	S 45°15'59" W	14.17'
C10	20.00'	34.02'	97°28'01"	S 48°34'45" E	30.07'
C11	59.00'	13.19'	12°48'22"	S 08°14'58" E	13.16'
C12	59.00'	22.85'	22°11'38"	S 23°44'56" E	22.71'
C13	40.00'	39.29'	56°18'18"	S 62°58'54" E	37.73'
C14	40.00'	84.96'	93°02'28"	N 42°21'43" E	58.05'
C15	40.00'	65.03'	93°09'14"	N 50°44'08" W	58.10'
C16	345.32'	13.46'	2°14'01"	N 25°21'48" W	13.46'
C17	37.00'	22.60'	35°00'00"	S 17°20'45" E	22.25'



**CARTESIAN SURVEYS INC.**  
P.O. BOX 44414 RIO RANCHO, NM 87174  
Phone (505) 898-3050 FAX (505) 891-0244

Sheet 2 of 2  
031741

*Handwritten notes:*  
1.88 ACRES WITHIN 1.00 ACRES  
1.88 ACRES WITHIN 1.00 ACRES  
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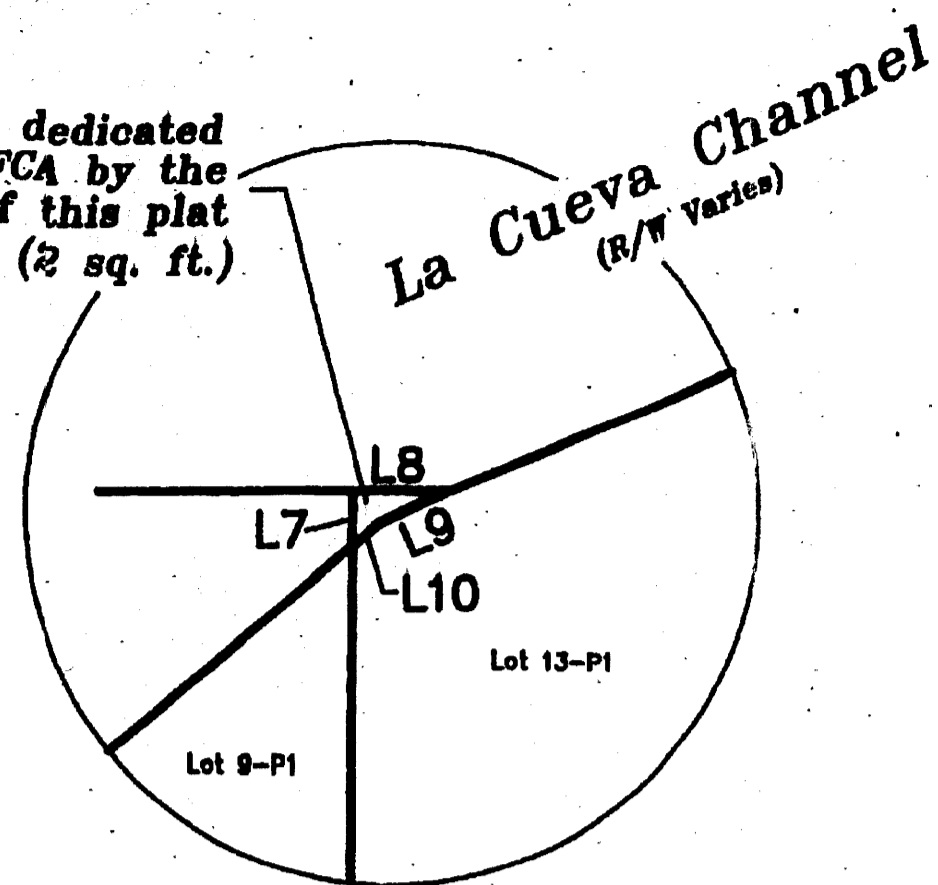


# PLAT FOR LA VISTA AT DESERT RIDGE TRAILS

(BEING A REPLAT OF LOTS 15 THRU 18  
BLOCK 1, NORTH ALBUQUERQUE ACRES TRACT 2, UNIT 3 AND A  
PORTION OF A.M.A.F.C.A. RIGHT OF WAY)  
WITHIN  
THE ELENA GALLEGOS GRANT  
PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE  
4 EAST NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

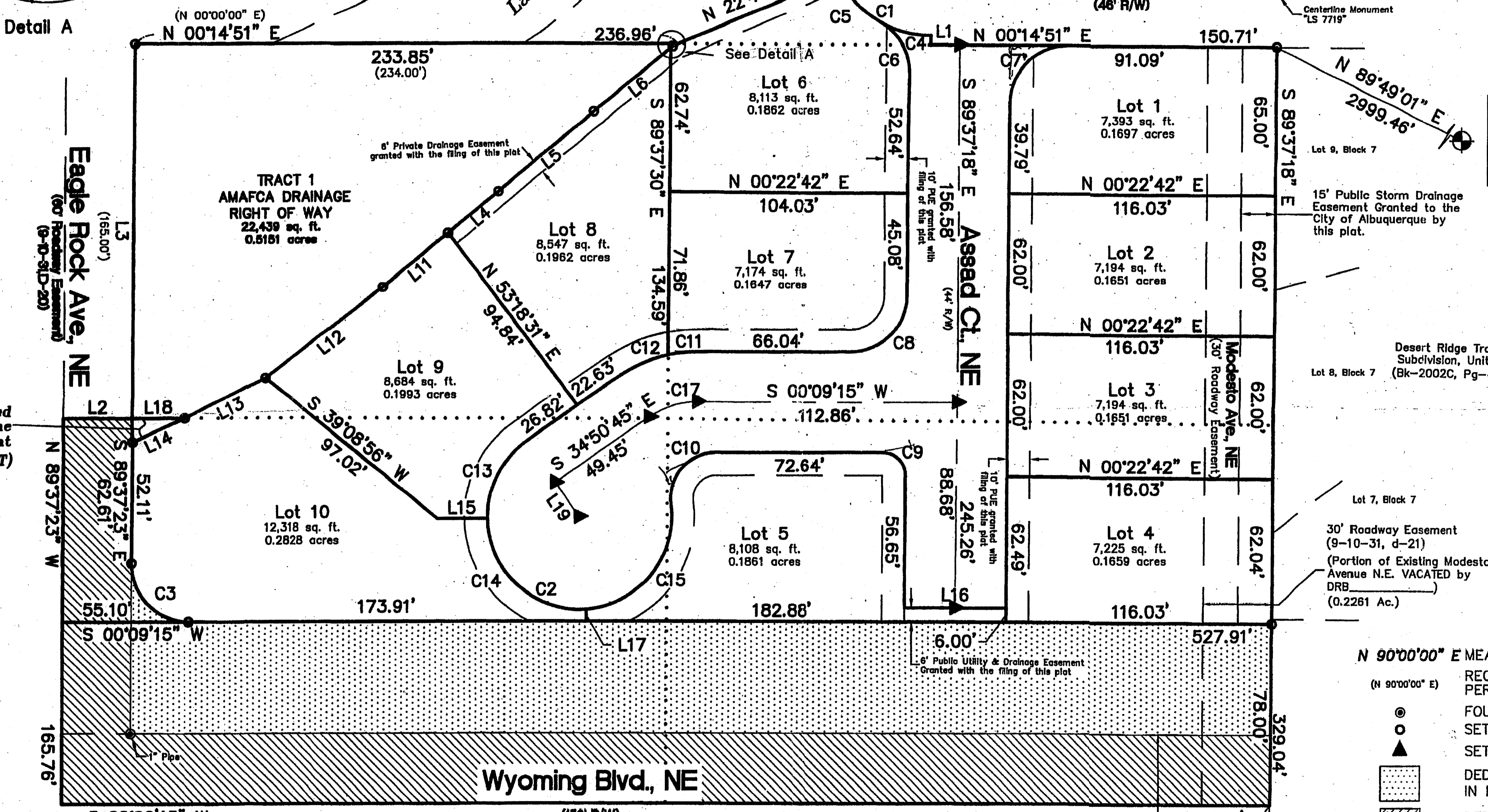
September 2005

Land to be dedicated  
to AMAFCA by the  
filing of this plat  
0.0001 Acres (2 sq. ft.)



Detail A

Land to be dedicated  
to AMAFCA with the  
filing of this plat  
0.0275 acres (120 SQ FT)



ACS Monument 1-B20  
NAD 1927 CENTRAL ZONE  
X=410,237.56  
Y=1,524,092.46  
Z=5474.510 (NAVD 1929)  
G=0.99984740  
Delta Alpha=0.01023"

Desert Ridge Trails  
Subdivision, Unit 1  
(Bk-2002C, Pg-46)

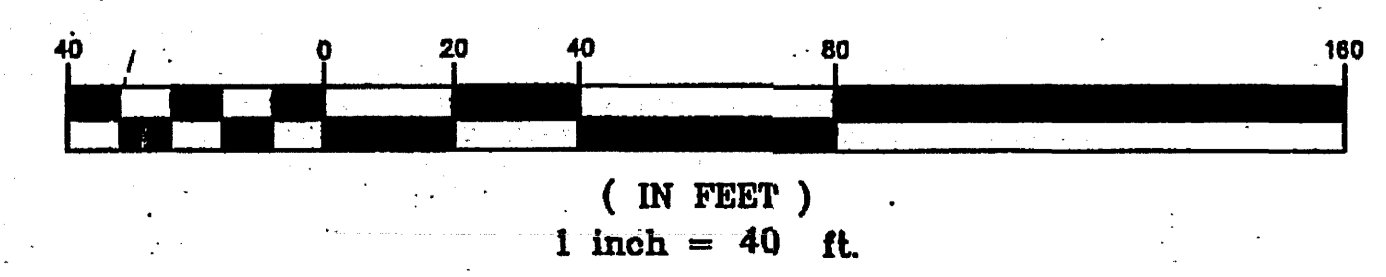
N 90°00'00" E MEASURED BEARING AND DISTANCES  
RECORD BEARINGS AND DISTANCES  
PER PLAT OF RECORD  
FOUND AS INDICATED  
SET BATHEY MARKER "LS 14271"  
SET CENTERLINE MONUMENT "LS 14271"  
DEDICATED TO THE CITY OF ALBUQUERQUE  
IN FEE SIMPLE WITH WARRANTY COVENANTS  
DEDICATED TO THE CITY OF  
ALBUQUERQUE IN FEE SIMPLE

LINE	LENGTH	BEARING
L1	4.00	S 89°37'35" E
L2	30.00	N 00°14'51" E
L3	184.14 (185.00')	N 89°37'23" W
L4	28.50	S 39°48'55" E
L5	54.45	S 39°48'55" E
L6	43.10	S 39°38'18" E
L7	1.66	N 89°37'50" W
L8	3.10	N 00°14'51" E
L9	2.48	S 22°45'23" E
L10	1.08	S 39°38'18" E
L11	36.85	N 39°48'55" W
L12	65.15	N 37°57'34" W
L13	39.44	S 25°59'21" E
L14	25.21	S 24°21'49" E
L15	21.95	S 00°09'15" W
L16	44.00	S 00°09'15" W
L17	5.00	S 89°50'45" E
L18	22.90	S 00°14'51" W
L19	22.90	S 55°09'15" W

CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.	CHORD
C1	45.00'	50.55'	64°21'30"	N 32°32'36" E	47.93'
C2	40.00'	169.27'	242°28'01"	N 23°55'15" E	68.40'
C3	25.00'	39.37'	90°13'22"	N 45°15'58" E	35.42'
C4	45.00'	23.06'	29°21'36"	N 15°02'39" E	22.81'
C5	45.00'	27.49'	34°59'56"	N 47°13'24" E	27.08'
C6	25.00'	26.47'	60°39'18"	S 60°03'04" W	25.25'
C7	25.00'	39.21'	89°52'09"	S 44°41'13" E	35.31'
C8	25.00'	39.17'	88°48'33"	N 44°44'01" W	35.29'
C9	10.00'	15.75'	90°13'27"	S 45°15'59" W	14.17'
C10	20.00'	34.02'	97°28'01"	S 48°34'45" E	30.07'
C11	59.00'	13.19'	12°48'22"	S 08°14'58" E	13.16'
C12	59.00'	22.85'	22°11'38"	S 23°44'56" E	22.71'
C13	40.00'	39.29'	58°18'18"	S 82°58'54" E	37.73'
C14	40.00'	64.98'	93°02'28"	N 42°21'43" E	58.05'
C15	40.00'	65.03'	93°09'14"	N 50°44'08" W	58.10'
C16	345.32'	13.46'	2°14'01"	N 25°21'48" W	13.48'
C17	37.00'	22.60'	35°00'00"	S 17°20'45" E	22.25'



GRAPHIC SCALE



CARTESIAN SURVEYS, INC.

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Phone (505) 896-3050 Fax (505) 91-0244

