

#8



Complete 1-25-04 Please Close Out  
Bl. Site Plan B.P. +  
Distribute Copies

DRB CASE ACTION LOG  
REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB 01746 Project # 1003671  
Project Name: Ladera Business PK  
Agent: Kera Swannick Phone No.: 417.1404

Project Number

1003671

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 11/17/04 by the DRB with delegation of signature(s) to the following departments.  
**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

TRANSPORTATION: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

UTILITIES: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CITY ENGINEER / AMAFCA: SIA ok BID  
\_\_\_\_\_  
\_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PLANNING (Last to sign): General comments dep Russell for  
J.L. Langsdorf on Seg Block  
OK JLM 12/19/04 mk

- Planning must record this plat. Please submit the following items:
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
- ~~Include 3 copies of the approved site plan along with the originals.~~
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

# PLANNING TRACKING LOG

Date	Project Name & #	Action Request	Action Taken
9/22/04	100367/ 04DRB.01422	Sketch	Reviewed & Comments.
11/17/04	"	SPBP	Given Approved. Delegated to Blug - Russell's Comments. C.E. for SIA.

13412 Osage Orange Rd. NE  
Albuquerque, NM 87111  
(505) 417-1404  
Fax (505) 242-4308  
ksowanick@comcast.net

EXIT ARCHITECTS

November 23, 2004

Sheran Matson  
DRB Chairperson, Planning Manager  
City of Albuquerque Planning Dept.  
Plaza del Sol Bldg.  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

Dear Sheran:

This letter addresses the delegated items for our Site Development Plan for Building Permit approval issued on November 17, 2004.

The Infrastructure List language has been noted on the revised Site Plan.

Russell Brito's required clarifications and additions are as follows:

- ✓ 1 A 10'-0" landscape strip has been added between the parking area and the street right-of-way.
- ② The submitted landscape plan included in the notes: "Landscape areas to be mulched with Santa Fe Brown crusher fines at 2"-3" depth."
- ③ The submitted landscape plan included in the notes: "Plantings to be watered by auto. drip irrigation system." Native seed areas shall be irrigated with a temporary sprinkler system and establishment shall be the responsibility of the property owner. ~~Weed infestation prevention shall be the responsibility of the property owner.~~
- ✓ 4 See Item 1 above.
- 5 A 6-foot wide pedestrian connection with textured paving has been provided from Vista Oriente to the office building sidewalk.
- ✓ 6 Trees have been added along the entry sidewalk at 25'-0" on center. The sidewalk directly to the north of the building will be primarily shaded by the building and by a shade tree at the west end.
- ✓ 7 See Item 6 above.
- ✓ 8 Outdoor patio has been increased to 500 sf. Seating, tables and trees for shade have been provided. Shade is also provided by the 29'-0" tall warehouse adjacent.
- ✓ 9 Earthen berming (3'-0" high) and plants, in addition to the trees, have been provided in the 10'-0" landscape strip adjacent to the street.
- ✓ 10 Light poles have been deleted. All surface mounted building lighting provided for security shall be fully shielded to avoid any light on adjacent properties or right-of-ways.

Added to  
Notes on  
LP

Still  
says  
"gravel"

The SIA for Infrastructure is in process at this time. John MacKenzie, the civil engineer, has submitted the Infrastructure List to the city to calculate our financial guarantee.

Please let me know if you require any additional information.

Sincerely,

Kira Sowanick, AIA

Enclosures: Revised Site Plan (4 copies), Revised Landscape Plan (4 copies)



# MEMO

Date: 15 November 2004  
To: Sheran Matson, DRB Chair  
From: Russell Brito, Senior Planner *RS*  
RE: Project # 1003671: 04DRB-01746

*#8*

Condition 4 of the Environmental Planning Commission (EPC) approval of the Ladera Business Park Site Development Plan for Subdivision (01128-01405) states: "Site Development Plans for Building Permit are delegated to the Development Review Board."

Review by the EPC or its staff is not required. The business park design guidelines are comprehensive and definitive enough to provide a context for review by the DRB for Building Permit requests. The following review is done out of consideration for DRB staff:

The submitted site development plan for building permit does not meet all of the design requirements for the Ladera Business Park. Several clarifications and additions are necessary, including:

- ✓ 1. A landscaping strip of no less than 10 feet shall be maintained between the parking area and the street right-of-way.
- ② 2. All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, shredded bark, or similar materials, which extends completely under the plant material.
- ③ 3. An automatic underground irrigation system is required to support all required landscaping; describe interim irrigation strategy for future phase and native seed areas needed to establish vegetation and prevent weed infestation.
- ✓ 4. Parking areas shall be setback 10 feet from internal roadways (including circulation drives).
- ✓ 5. Show and provide a minimum 6-foot wide pedestrian connection from the sidewalk along Vista Oriente Street to the office building, clearly demarcated with textured paving.
- ✓ 6. All pedestrian walkways shall have adjacent trees spaced approximately 25 feet on center.
- ✓ 7. A shaded sidewalk, that is a minimum of 15 feet wide shall be provided along the entrance side of the office building.
- ✓ 8. Outdoor patio space needs to be 500 square feet minimum with seating, tables and shade provided by trees and/or a shade structure.
- ✓ 9. The parking area shall be screened from the adjacent street with a combination of plant materials, walls, and earthen berming with a minimum height of 3 feet.
10. Describe 16'-0" light poles as having full cut-off/shielded fixtures or provide a detail drawing.

#8



DRB CASE ACTION LOG  
REVISED 2/5/04

Site Plan B.P.

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB01746 Project # 1003671  
Project Name: Ladera Business PK  
Agent: Kira Swannick Phone No.:

Project Number

1003671

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 11/17/04 by the DRB with delegation of signature(s) to the following departments.  
**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

TRANSPORTATION: \_\_\_\_\_  
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\_\_\_\_\_

UTILITIES: \_\_\_\_\_  
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\_\_\_\_\_

CITY ENGINEER / AMAFCA: SIA  
\_\_\_\_\_  
\_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
\_\_\_\_\_  
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PLANNING (Last to sign): General comments from Russell for  
J.L. Langford on sig block me  
\_\_\_\_\_  
\_\_\_\_\_

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- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

November 17, 2004

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.          Adjourned: 11:55 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1000029**  
04DRB-01650 Major-Vacation of Public Easements  
04DRB-01651 Minor-Extension of Preliminary Plat  
BOHANNAN HUSTON INC agent(s) for SAWMILL COMMUNITY LAND & TRUST request(s) the above action(s) for all or a portion of Lot(s) C & B-1-A-1 **DUKE CITY LUMBER CO ADDITION** and Lot(s) D-1-A, **ARBOLERA DE VIDA, PHASE 2**, zoned S-M1, S-DR, located on BELLAMAH AVE NW, between 19<sup>TH</sup> ST NW and 18<sup>TH</sup> ST NW containing approximately 26 acre(s). [REF: 03DRB01785, 03DRB01786] (H-13) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**



2. **Project # 1001273**  
04DRB-01659 Major-SiteDev Plan BldPermit

TIERRA WEST LLC agent(s) for SEDBERRY & ASSOCIATES request(s) the above action(s) for all or a portion of Tract(s) 5B2C1B2A, **RENAISSANCE CENTER**, zoned SU-1 FOR C-2, located on MERCANTILE AVE NE, between I-25 FRONTAGE ROAD and CULTURE AVE NE containing approximately 4 acre(s). [REF: Z-94-13-1] *[Deferred from 11/17/04]* (F-16) **DEFERRED AT THE AGENT'S REQUEST TO 12/1/04.**

3. **Project # 1003420**  
04DRB-01657 Major-Vacation of Pub Right-of-Way

ISAACSON & ARFMAN PA agent(s) for WINDMILL MANOR PLACE LLC request(s) the above action(s) for all or a portion of Tract(s) B-2, VOLCANO CLIFFS SUBDIVISION (to be known as **SUNRISE RIDGE**, zoned R-LT residential zone, located on TESUQUE DR NW, between MONTANO RD NW and CRYSTAL ST NW containing approximately 1 acre(s). [REF: 04EPC00682, 04DRB01508, 04DRB01509] (E-10) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

- 04DRB-01508 Major-Preliminary Plat Approval  
04DRB-01509 Minor-Temp Defer SDWK

ISAACSON & ARFMAN PA agent(s) for WINDMILL MANOR PLACE LLC request(s) the above action(s) for all or a portion of Tract(s) B-2, VOLCANO CLIFFS UNIT 3, (to be known as **SUNRISE RIDGE SUBDIVISION**) zoned R-LT, located on MONTANO RD NW, between TESUQUE DR NW and SHADOW RIDGE DR NW containing approximately 5 acre(s). [REF: 04EPC00682] *[Deferred from 10/27/04 & 11/11/04]* (E-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/17/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11/10/04 THE PRELIMINARY PLAT WAS APPROVED. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALK ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

4. **Project # 1003696**  
04DRB-01654 Major-Vacation of Pub Right-of-Way  
04DRB-01655 Major-Preliminary Plat Approval  
04DRB-01656 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for DAVID SOULE request(s) the above action(s) for all or a portion of Lot(s) 1-17, VINCINTI MONTANO SUBDIVISION AND Tract(s) A, B & C, JUANITA LOPEZ VIGIL SUBDIVISION, (to be known as **TORRENTINO SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on 97<sup>TH</sup> ST SW, between TOWER RD SW and SAN YGNACIO RD SW containing approximately 6 acre(s). [REF:04DRB01495] [Deferred from 11/17/04] (L-9) **DEFERRED AT THE AGENT'S REQUEST TO 12/1/04.**

5. **Project # 1003238**  
04DRB-01569 Major-Preliminary Plat Approval  
04DRB-01573 Minor-Vacation of Private Easements  
04DRB-01571 Minor-Sidewalk Waiver  
04DRB-01572 Minor-Temp Defer SDWK

TIERRA WEST LLC agent(s) for AMC DEVELOPMENT SERVICES request(s) the above action(s) for all or a portion of Lot(s) A, B C, Tract(s) 267, 268-B, 270-A-2, 270-A-1-C, 270-A-1-D, 270-B AND 315-A-1-A-1, M.R.G.C.D. MAP 35 AND LAND OF ALBERT PEREZ, TRACT(S) B1 AND B2, LAND OF MACIEL & TRUJILLO (to be known as **FLORAL MEADOWS SUBDIVISION**, zoned R-LT residential zone, located on INTERSTATE 40 between RIO GRANDE BLVD NW and MONTOYA ST NW containing approximately 8 acre(s). [REF: 04EPC00156, 04EPC00157, 04DRB00661, 04DRB01227] [Deferred from 11/3/04] (H-12/H-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/17/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11/10/04 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

6. **Project # 1003571**  
04DRB-01517 Major-Vacation of Public Easements  
04DRB-01518 Major-Preliminary Plat Approval  
04DRB-01519 Minor-Sidewalk Waiver  
04DRB-01520 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) 9-B-1, 9-B-2 and 12-A-2, **EL RANCHO GRANDE 1, UNIT 9B**, zoned R-LT residential zone, located on BLAKE RD NW, between AMOLE CHANNEL and 98<sup>TH</sup> ST NW containing approximately 36 acre(s). [REF: 04DRB01134] [Deferred from 11/3/04 & 11/10/04 & 11/17/04] (N-9) **DEFERRED AT THE AGENT'S REQUEST TO 12/1/04.**



**SITE DEVELOPMENT PLANS, AMENDED PLANS, AND MASTER DEVELOPMENT PLANS**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THE REQUEST MAY BE INDEFINITELY DEFERRED.**

7. **Project # 1003775**  
04DRB-01745 Minor-SiteDev Plan BldPermit

SCHLEGEL LEWIS ARCHITECTS agent(s) for DGM LLC request(s) the above action(s) for all or a portion of Tract(s) G-1A-1, **SEVEN BAR RANCH**, zoned SU-1 FOR C-2 USES, located on COTTONWOOD DR NW, between COTTONWOOD PARK NW and OLD AIRPORT AVE NW containing approximately 2 acre(s). [REF: Z-96-92, AA-98-138] *[Deferred from 11/17/04]* (A-14) **DEFERRED AT THE AGENT'S REQUEST TO 12/1/04.**

8. **Project # 1003671**  
~~04DRB-01746 Minor-SiteDev Plan BldPermit~~

KIRA SOWANICK agent(s) for SOUTHWEST GLASS AND GLAZING request(s) the above action(s) for all or a portion of Tract(s) 27, **LADERA BUSINESS PARK**, zoned SU-1, located on UNSER BLVD NW, between LADERA DR NW and 98<sup>TH</sup> ST NW containing approximately 3 acre(s). [REF: 04DRB01422] **[Russell Brito for Lola Bird, EPC Case Planner]** (H-9/H-10) **THE INFRASTRUCTURE LIST DATED 11/17/04 WAS APPROVED. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR EPC COMMENTS AND INFRASTRUCTURE LIST LANGUAGE ON SIGNATURE BLOCK.**

9. **Project # 1001946**  
04DRB-01670 Minor-SiteDev Plan  
BldPermit/EPC

WADE-TRIM agent(s) for TARGET CORPORATION request(s) the above action(s) for all or a portion of Tract(s) A-1, **LOS ANGELES CENTER**, zoned M-1 light manufacturing zone, located on PASEO DEL NORTE NE, between I-25 and SAN PEDRO NE containing approximately 11 acre(s). [REF: 04EPC01032, 04DRB01177, 04DRB01178, 04DRB01176] **[Makita Hill, EPC Case Planner]** *[Deferred from 11/3/04 & 11/17/04]* (D-18) **DEFERRED AT THE AGENT'S REQUEST TO 12/15/04.**

10. **Project # 1003010**  
04DRB-01687 Minor-SiteDev Plan  
BldPermit/EPC

DEKKER/PERICH/SABATINI agent(s) for T. S. MCNANEY & ASSOCIATES request(s) the above action(s) for all or a portion of Tract(s) A, (to be known as **HOUSING @ ALBUQUERQUE LITTLE THEATRE**, zoned SU-2 CLD, located on CENTRAL AVE SW, between LAGUNA BLVD SW and SAN PASQUALE AVE SW containing approximately 2 acre(s). [REF: 02EPC01669, 03EPC0670, 02EPC01671, 03EPC01704, 04DRB00366, 04EPC00860] [11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04] [Makita Hill, EPC Case Planner] (J-13) **THE INFRASTRUCTURE LIST DATED 11/17/04 WAS APPROVED. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU AND CITY ENGINEER FOR SIA AND THREE COPIES OF THE SITE PLAN.**

11. **Project # 1002786**  
04DRB-01635 Minor-SiteDev Plan BldPermit

JIM MILLER & ASSOCIATES agent(s) for DEKE NOFTSKER request(s) the above action(s) for all or a portion of Lot(s) 2 & 3, Block(s) 5, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 IP, located on SAN MATEO NE, between SAN DIEGO NE and BEVERLY HILLS AVE NE containing approximately 2 acre(s). [REF: 03DRB01075, 03DRB01508, 03DRB01457, 04DRB000365] [Deferred from 10/27/04 & 11/10/04] (B-18) **THE INFRASTRUCTURE LIST DATED 11/17/04 WAS APPROVED. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR REVIEW OF COMMENTS ON SITE PLAN.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

12. **Project # 1003236**  
04DRB-01739 Major-Final Plat Approval

RIO GRANDE ENGINEERING agent(s) for CLEARBROOK INVESTMENTS INC request(s) the above action(s) for all or a portion of Lot(s) 1, MARIN SUBDIVISION, (to be known as **VILLA DE LA CHAMISA, UNIT 1**, zoned SU-1 FOR PRD, located on PARADISE BLVD NW, between VIVALDI TRAIL NW and BIG SAGE NW containing approximately 9 acre(s). [REF: 04DRB00801, 04DRB00802, 04DRB00799, 04DRB00800, 04DRB00804] (B-10) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU AND PLANNING FOR PERIMETER WALLS AND AGIS DXF FILE.**

13. **Project # 1001463**  
04DRB-01736 Minor-Prelim&Final Plat  
Approval

LLAVE CONSTRUCTION request(s) the above action(s) for all or a portion of Lot(s) 5 & 6, **VENTURA VILLAGE SUBDIVISION**, zoned SU-2 RT, located on VILLAGE AVE NE, between VENTURA NE and HOLBROOK NE containing approximately 1 acre(s). [REF: 0A2EPC01148, 02EPC01150, 02DRB01494, 02DRB01366, 02DRB01365, 01DRB0129, 03DRB00479, 02DRB01550, 02DRB01549] (C-20) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR ENCROACHMENT AGREEMENT AND CLARIFICATION OF DIMENSION ON PEDESTRIAN EASEMENTS.**

14. **Project # 1002858**  
04DRB-01744 Minor-Amended Prelim&Final  
Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for ANDERSON HILLS LLC request(s) the above action(s) for all or a portion of Tract(s) G, H & I ARROWWOOD RANCH DEVELOPMENT, **MESA @ ANDERSON HILLS**, zoned R-2 residential zone, located on DENNIS CHAVEZ BLVD SW, between UNSER BLVD SW and GRACE VIGIL RD SW containing approximately 43 acre(s). [REF: Z-99-58, SPR-95-2-2, SD-87-4-1] (N-9/P-9) **THE AMENDED PRELIMINARY PLAT AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

15. **Project # 1001926**  
04DRB-01394 Major-Final Plat Approval

TIERRA WEST, LLC agent(s) for JD HOME, INC & JOHN LORENTZEN request(s) the above action(s) for all or a portion of Tract(s) 225, **MUSTANG MESA SUBDIVISION, TOWN OF ATRISCO GRANT, AIRPORT UNIT**, zoned R-2, located on 72<sup>ND</sup> PL NW, between INTERSTATE 40 WEST and GLEN RIO RD NW containing approximately 5 acre(s). [REF: 03DRB01224, 03DRB01115] *[Final Plat was Indefinitely Deferred for SIA on 10/13/04].* (J-10) **THE FINAL PLAT WAS APPROVED AND DELEGATED TO PLANNING FOR PROPERTY MANAGEMENT'S SIGNATURE.**



16. **Project # 1003688**  
04DRB-01463 Minor-Prelim&Final Plat  
Approval

SURV-TEK INC., agent(s) for JAMES BAKER, THE TRAILS LLC, LONGFORD GROUP INC., request(s) the above action(s) for all or a portion of Tract(s) H, **THE TRAILS**, zoned RD, located on RAINBOW BLVD NW south of PASEO DEL NORTE NW containing approximately 6 acre(s). [*Deferred from 11/17/04*] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 12/1/04.**

17. **Project # 1003231**  
04DRB-01743 Minor-Amnd Prelim Plat  
Approval

WILSON & COMPANY agent(s) for LONGFORD AT ARROWWOOD LLC request(s) the above action(s) for all or a portion of Tract(s) 30A-1 LANDS OF SALAZAR/QUATRO/J.S.J.HANNETT, **LONGFORD @ ARROWWOOD**, zoned R-LT residential zone, located on 98<sup>TH</sup> ST SW, between RIO BRAVO SW and BLAKE SW containing approximately 30 acre(s). [REF: 04DRB00261, 04DRB00263] (N-9) **THE AMENDED INFRASTRUCTURE LIST DATED 11/17/04 WAS APPROVED. THE AMENDED GRADING PLAN DATED 11/8/04 WAS APPROVED. THE AMENDED PRELIMINARY PLAT WAS APPROVED WITH CONDITION OF FINAL PLAT: TO REVISIT THE WIDTH OF COLOBEL AND AMOLE MESA AT THE INTERSECTION OF 98<sup>TH</sup> STREET. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT DATED 6/16/04.**

18. **Project # 1003774**  
04DRB-01742 Minor-Prelim&Final Plat  
Approval

COMMUNITY SCIENCES CORPORATION agent(s) for GEORGE MCCLELLAN request(s) the above action(s) for all or a portion of Tract(s) 5-A-1 and 5-A-2, **SANDIA MANOR SUBDIVISION**, zoned R-1 residential zone, located on PIEDRAS RD NE, between CAMINO DE LA SIERRA NE and OAXWOOD NE containing approximately 1 acre(s). (L-23) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

19. **Project # 1003187**  
04DRB-01704 Minor-Final Plat Approval  
04DRB-01705 Minor-Temp Defer SDWK

ABQ ENGINEERING INC agent(s) for AMERI-CONTRACTORS LLC request(s) the above action(s) for all or a portion of Lot(s) 5E, LANDS OF UNM AND PARADISE VALLEY SUBDIVISION, (to be known as **VISTA DEL RINCON SUBDIVISION**) zoned R-1 residential zone, located on the southeast corner of GOLF COURSE RD NW and MARNA LYNN AVE NW between PARADISE BLVD NW and PASEO DEL NORTE NW containing approximately 2 acre(s). [REF: 04DRB00037, 04DRB00910, 04DRB01365, 04DRB01366, 04DRB001586] [11/10/04 *NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04*] (C-12) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU RECEIPT. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

20. **Project # 1003673**  
04DRB-01637 Minor-Prelim&Final Plat  
Approval  
04DRB-01638 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES LTD request(s) the above action(s) for all or a portion of Lot(s) 7, 8 and 9, Block(s) 3, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **OAKLAND SOUTH SUBDIVISION**) zoned RD, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). [REF: 04DRB01424] [Deferred from 10/27/04 & 11/3/04, [11/10/04 *NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04*] (C-20) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/17/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11/9/04 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

21. **Project # 1002397**  
04DRB-01668 Minor-Prelim&Final Plat  
Approval

SURV-TEK INC agent(s) for LA ORILLA GROUP LLC request(s) the above action(s) for all or a portion of Tract(s) 10, **BOSQUE PLAZA**, zoned C-1 (SC), located on COORS BLVD NW, between COORS BLVD NW and LA ORILLA RD WEST containing approximately 3 acre(s). [REF: 02DRB-01925, 01926, 03DRB00634, 04DRB00768, 04DRB01588, 04DRB01587, 04DRB00707, 04DRB00798] *[Deferred from 11/3/04 & 11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04]*(E-12) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

22. **Project # 1003634**  
04DRB-01297 Minor-Final Plat Approval

WAYJOHN SURVEYING INC agent(s) for HABITAT FOR HUMANITY request(s) the above action(s) for all or a portion of Lot(s) 4, 5 & 6, Block(s) 12, **EASTERN ADDITION**, zoned SU-2 MR, located on CROMWELL AVE SE, between HIGH ST SE and WALTER ST SE containing approximately 1 acre(s). *[Deferred from 9/1/04] [Final Plat indefinitely deferred for SIA, 11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04]*(K-14) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

23. **Project # 1003668**  
04DRB-01414 Minor-Prelim&Final Plat  
Approval

TERRAMETRICS OF NEW MEXICO agent(s) for LLAVE CONSTRUCTION request(s) the above action(s) for all or a portion of Lot(s) 5, Block(s) 3, Tract(s) 3, Unit(s) 3, **NORTH ALBUQUERQUE ACRES**, zoned RD-3, located on OAKLAND AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 1 acre(s). *[Was indefinitely deferred at the agent's request, 11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04]**[Deferred from 11/17/04]* (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 12/29/04.**



**NO ACTION IS TAKEN ON THESE CASES:**

**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

24. **Project # 1001685**  
04DRB-01741 Minor-Sketch Plat or Plan

WILSON & COMPANY agent(s) for the CITY OF ALBUQUERQUE AND GOLF COURSE MCMAHON LLC request(s) the above action(s) for all or a portion of Tract(s) 1B, **PARADISE NORTH SUBDIVISION**, zoned SU-1 IP, located on GOLF COURSE RD NW, between MCMAHON BLVD NW and IRVING BLVD NW containing approximately 24 acre(s). [REF: 02DRB00005, 04DRB01566] (A-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

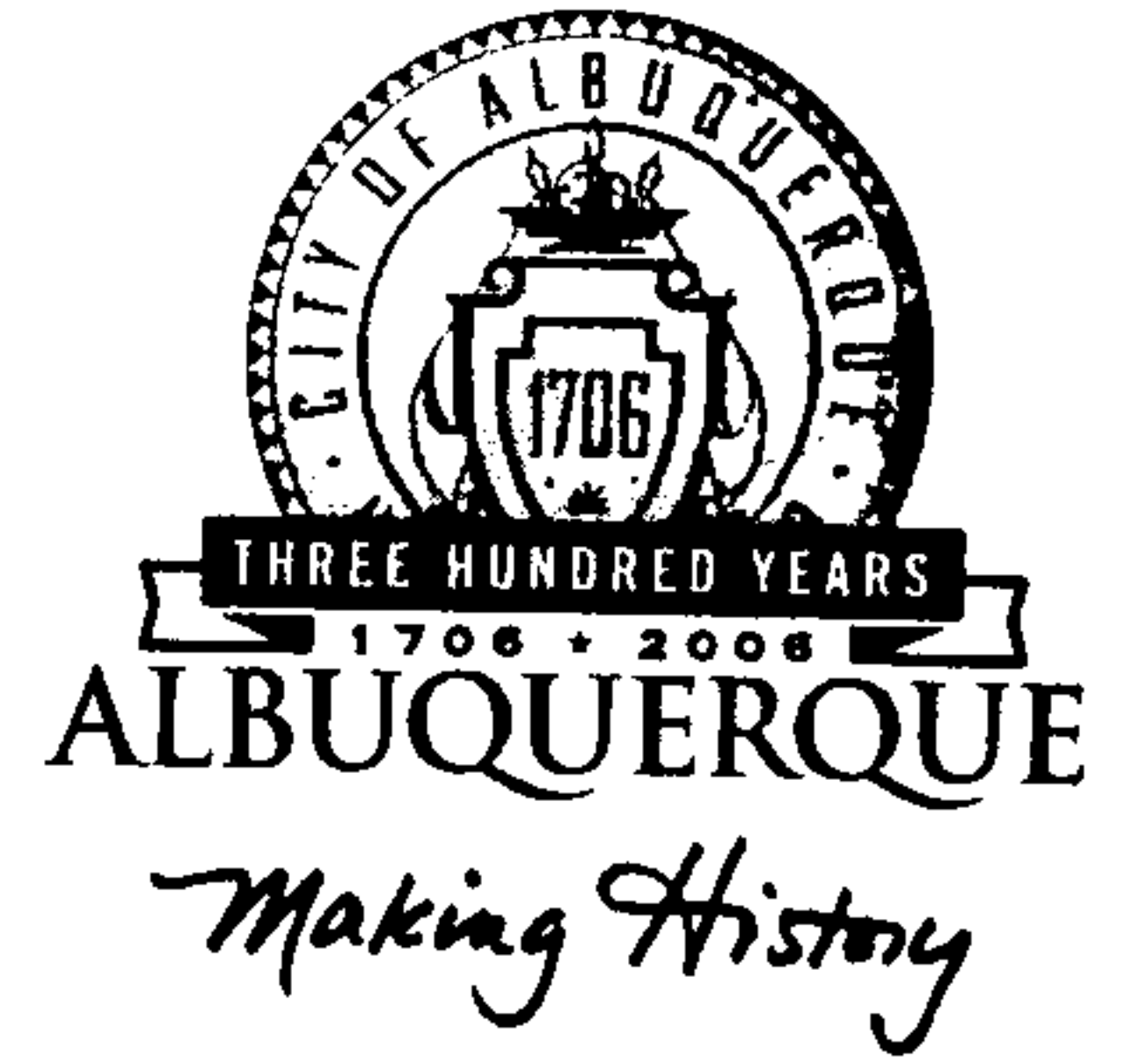
25. Approval of the Development Review Board Minutes for November 3, 2004. **THE DRB MINUTES FOR NOVEMBER 3, 2004 WERE APPROVED.**

Other Matters:

The Development Review Board signed a plat for Project #1001785/04DRB-01775.

ADJOURNED: 11:55 a.m.

# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1003671**

**AGENDA ITEM NO: 8**

**SUBJECT:**

- |                         |                          |                           |
|-------------------------|--------------------------|---------------------------|
| (01) Sketch Plat/Plan   | (05) Site Plan for Subd  | (10) Sector Dev Plan      |
| (02) Bulk Land Variance | (06) Site Plan for BP    | (11) Grading Plan         |
| (03) Sidewalk Variance  | (07) Vacation            | (12) SIA Extension        |
| (03a) Sidewalk Deferral | (08) Final Plat          | (13) Master Dev. Plan     |
| (04) Preliminary Plat   | (09) Infrastructure List | (14) Cost Allocation Plan |

**ACTION REQUESTED:**

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

Albuquerque

No adverse comments on Site Plan.  
An approved Subdivision Improvements Agreement with financial guarantees is required for Site Development Plan sign-off.

New Mexico 87103

**RESOLUTION:**

www.cabq.gov

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

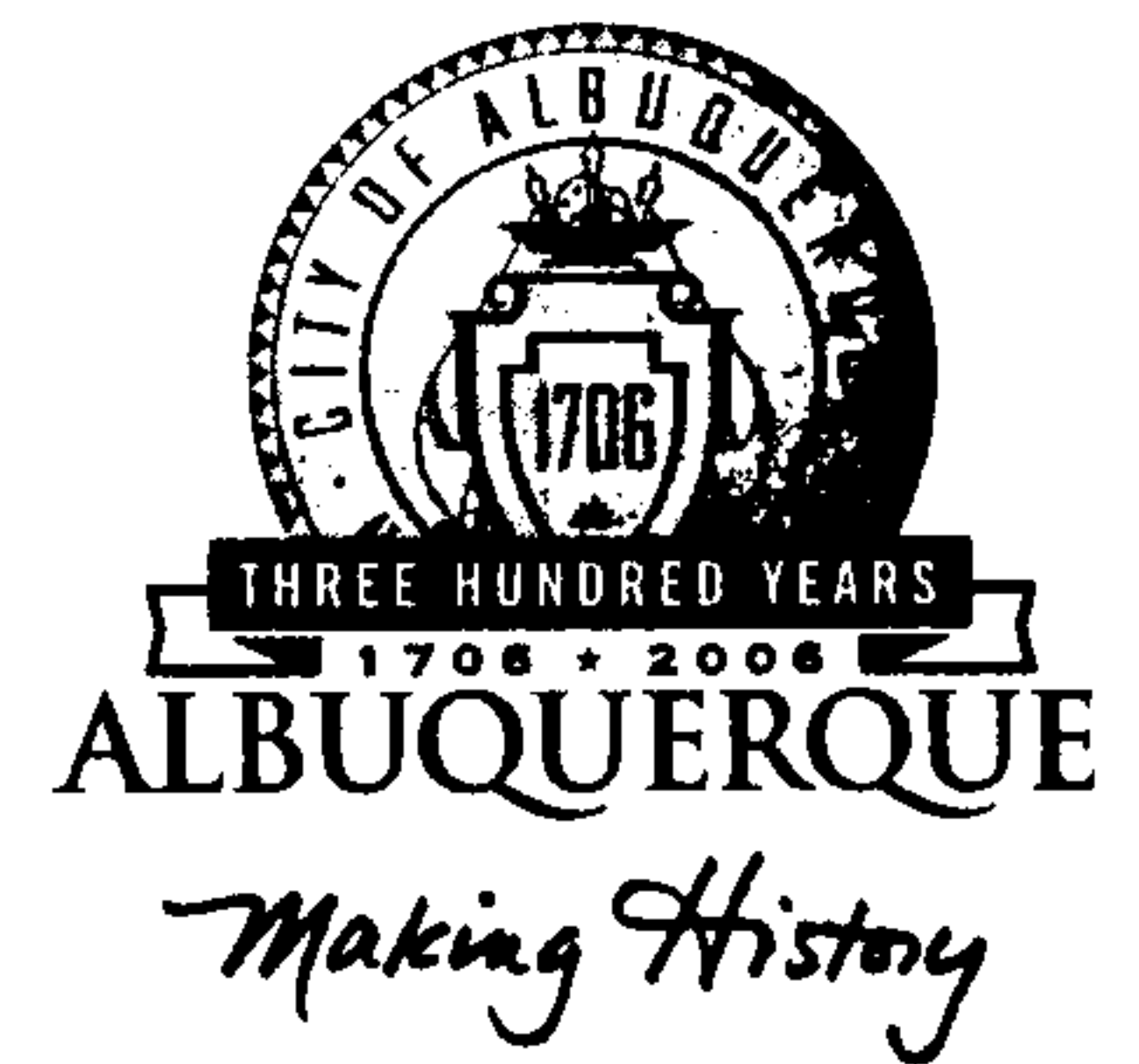
**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** November 17, 2004





# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1003671**

**AGENDA ITEM NO: 25**

**SUBJECT:**

- |                                |                                 |                                  |
|--------------------------------|---------------------------------|----------------------------------|
| <b>(01)</b> Sketch Plat/Plan   | <b>(05)</b> Site Plan for Subd  | <b>(10)</b> Sector Dev Plan      |
| <b>(02)</b> Bulk Land Variance | <b>(06)</b> Site Plan for BP    | <b>(11)</b> Grading Plan         |
| <b>(03)</b> Sidewalk Variance  | <b>(07)</b> Vacation            | <b>(12)</b> SIA Extension        |
| <b>(03a)</b> Sidewalk Deferral | <b>(08)</b> Final Plat          | <b>(13)</b> Master Dev. Plan     |
| <b>(04)</b> Preliminary Plat   | <b>(09)</b> Infrastructure List | <b>(14)</b> Cost Allocation Plan |

**ACTION REQUESTED:**

P.O. Box 1293

REV/CMT:(x) APP:() SIGN-OFF:() EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

Albuquerque

An approved conceptual grading and drainage plan is required for site plan sign-off by the City Engineer.

New Mexico 87103

**RESOLUTION:**

www.cabq.gov

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED *discussal* X; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** September 22, 2004

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
9/22/04 DRB  
Comments**

**ITEM # 25**

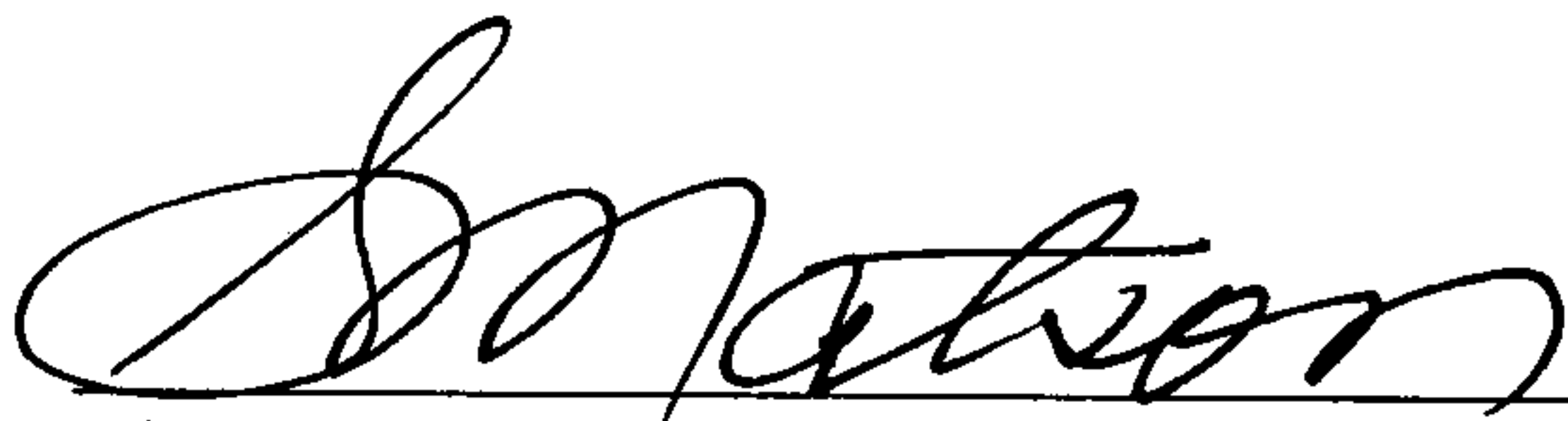
**PROJECT # 1003671**

**APPLICATION # 04-01422**

**RE: Tract 27, Ladera Industrial Park/sketch**

There is an approved Site Development Plan for Subdivision for Ladera Industrial Park with design requirements to follow in developing individual lots. A Site Plan for Building Permit must be submitted for DRB approval as a non-advertised case. The One Stop Shop Front Counter has the required checklist to be followed as well as the DRB application form. The Front Counter can also arrange to have a copy of the approved Site Plan for Subdivision made for you if you need one.

Application deadline is any Tuesday at noon to be heard Wednesday of the following week.



Sheran Matson, AICP DRB Chair

924-3880 Fax 924-3864 smatson@cabq.gov

*Claire*

Date Submitted: 11/17/04  
 Date Site Plan Approved: 11/17/04  
 Date Preliminary Plat Approved: N/A  
 Date Preliminary Plat Expires: N/A  
 DRB Project No.: 1001523  
 DRB Application No.: DRB-01746

**ORIGINAL**

**INFRASTRUCTURE LIST**

**EXHIBIT "A"**  
**TO SUBDIVISION IMPROVEMENTS AGREEMENT**  
**DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**Ladera Business Park, Lot 27**  
 PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

**Lot 27, Ladera Industrial Center**  
 EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

**AND SITE PLAN FOR SUBDIVISION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		40' FF	* Pavement/ C & G (south side)	Vista Oriente		Lot 27 Frontage	/	/	/
		6'	* Conc. SW (south side)				/	/	/
			<b>PUBLIC UTILITES</b>				/	/	/
		10"	* WL	Vista Oriente		Lot 27 Frontage	/	/	/
		8"	* SAS	Vista Oriente		Lot 27 Frontage	/	/	/

- 1 *\$1583.47 + 3% TIS modified c cash payment (off-site)*  
 Storm Drain to include Manholes, laterals, inlets & outfalls- all outlets to AMAFCA facilities shall be approved by AMAFCA prior to work order or Final Plat (SIA)  
 2 Grading & Drainage Plan Certification Required before release of financial guarantee  
 3 Water/ SAS infrastructure to include valves, fittings, manholes etc.

\* *All items are included already with DRB Project 1001523 (The SIA)*

AGENT / OWNER: John Mackenzie  
 NAME (print)  
 FIRM: Mark Goodwin  
 SIGNATURE - date: John Mackenzie 11/9/04

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS  
 DRB CHAIR - date: Robert Peterson 11/17/04  
 PARKS & GENERAL SERVICES - date: Christina Sandoval 11/17/04  
 TRANSPORTATION DEVELOPMENT - date: 11-17-04  
 UTILITY DEVELOPMENT - date: Roger Dean 11/17/04  
 CITY ENGINEER - date: Bradley & Bjork 11/17/04

AMAFCA - date: \_\_\_\_\_  
 - date: \_\_\_\_\_  
 - date: \_\_\_\_\_

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: \_\_\_\_\_

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

#8

13412 Osage Orange Rd. NE  
Albuquerque, NM 87111  
(505) 417-1404  
Fax (505) 242-4308  
ksowanick@comcast.net

EXIT ARCHITECTS

May/00 3691

November 9, 2004

Site Development Plan for Building Permit

PROJECT SUMMARY

SOUTHWEST GLASS AND GLAZING, Inc.  
2220 Vista Oriente NW  
Albuquerque, NM 87120  
Lot 27, Ladera Business Park

A combined office / warehouse building for Southwest Glass and Glazing is being proposed for a site in the Ladera Business Park. Lot 27 is located on a minor street and is not adjacent to a residential area. The zoning is SU-1 Light Industrial and the business is a glass and glazing company manufacturing windows and doors for commercial projects.

The building is set back from the street approximately 60'-0" with buffers of landscape and parking. A 4,400 SF office is sited between the larger 22,400 SF warehouse and Vista Oriente Street. The project utilizes recycled glass and over-run concrete masonry units. A black split-face CMU is used for a broad cornice on both the office and warehouse. A smooth black CMU is used below the windows to create a material change and emphasize the vertical glazing punctuating the facades. Vertical window strips are used in the warehouse, breaking up the large blank walls typically found in industrial buildings. The loading dock is 4'-0" below grade and is screened from the adjacent lot by a 6'-0" tall block wall, for a total of 10'-0" of screening.

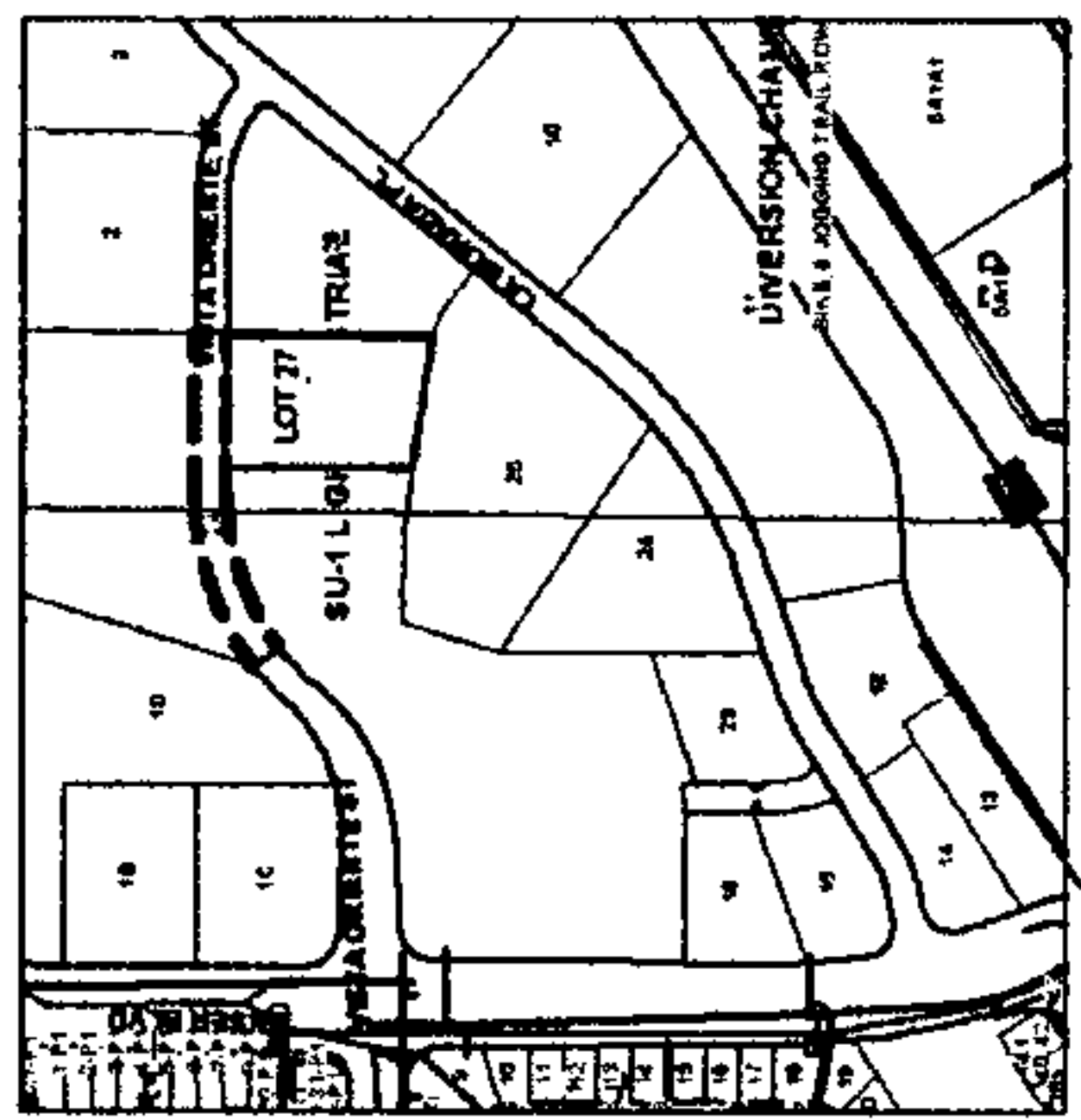
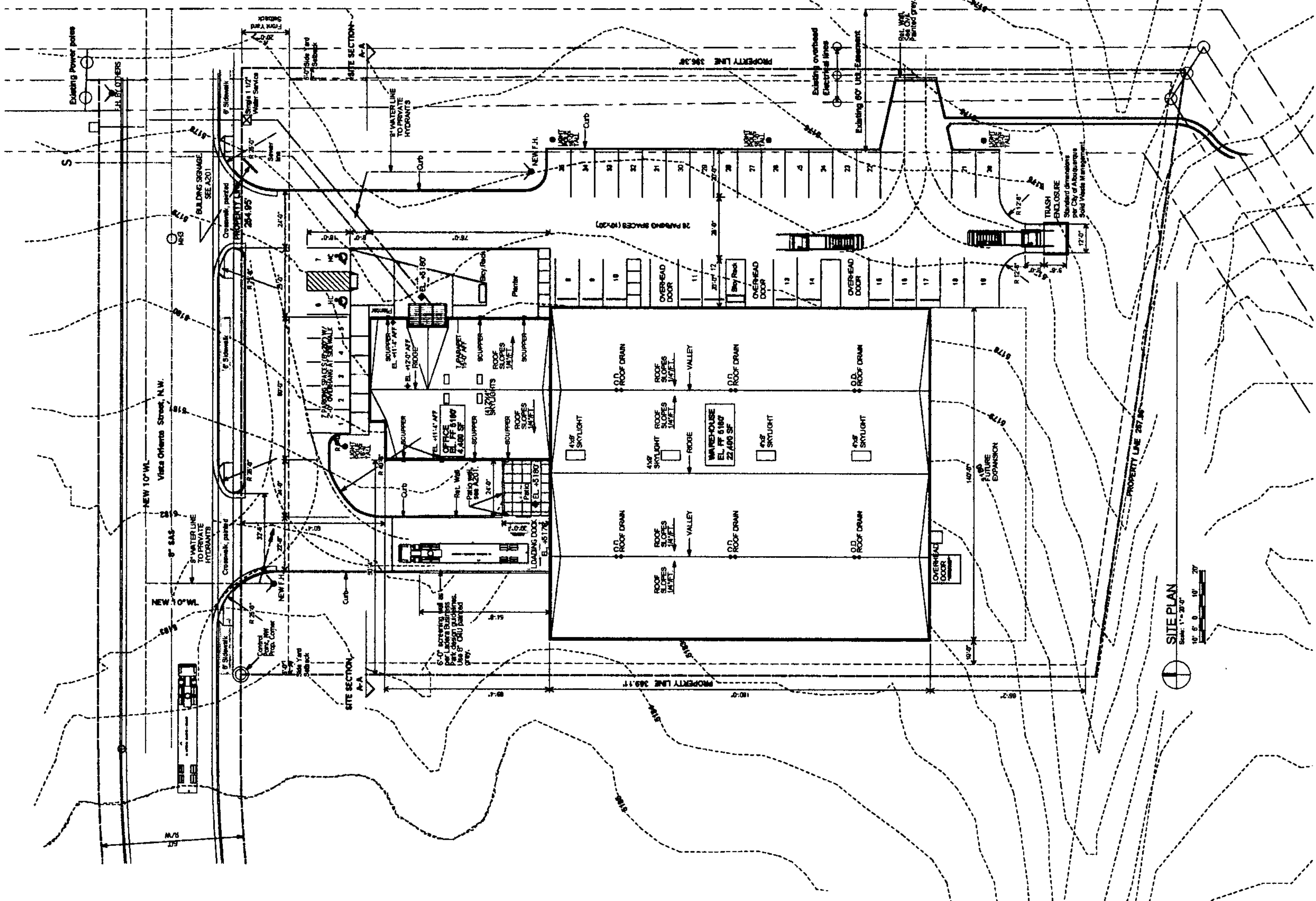
The landscape is a xeriscape scheme, offering shade trees along Vista Oriente Street as required by the CC&R's.



Local Description:  
 Tract 27, Ladera Business Park  
 Address:  
 2220 Vista Oriente St. N.W.  
 Albuquerque, NM 87120  
 Building Zone: SL-1 LIGHT INDUSTRIAL  
 Type of Construction: Type II, B, SkyMeeked  
 2008 International Building Code  
 Allowed Occupancy: B-2, F-2, S-2  
 Building Area:  
 Office: 7,400 SF  
 Warehouse: 22,400 SF  
 Parking:  
 Office: 4,400 / 200 = 22  
 Warehouse: 22,400 / 200 = 112  
 Total: 134  
 134 parking spaces provided  
 2 H.C. spaces required, 1 provided  
 Lot = 80,303 SF  
 Proposed Bldg. SF Total = 29,800 SF  
 Does not exceed 50% building to lot ratio

KRS Architects, P.A. 18412 Coors Center Drive, N.W. Albuquerque, NM 87111 P: 505-425-5555 F: 505-417-4141 E: krsarchitects@comcast.net	SOUTHWEST GLASS & GLAZING, INC. Ladera Business Park 2220 Vista Oriente NW Albuquerque, NM 87120	Sheet No.: <b>A001</b> Sheet Title: <b>SITE PLAN</b> Date: 11.02.04
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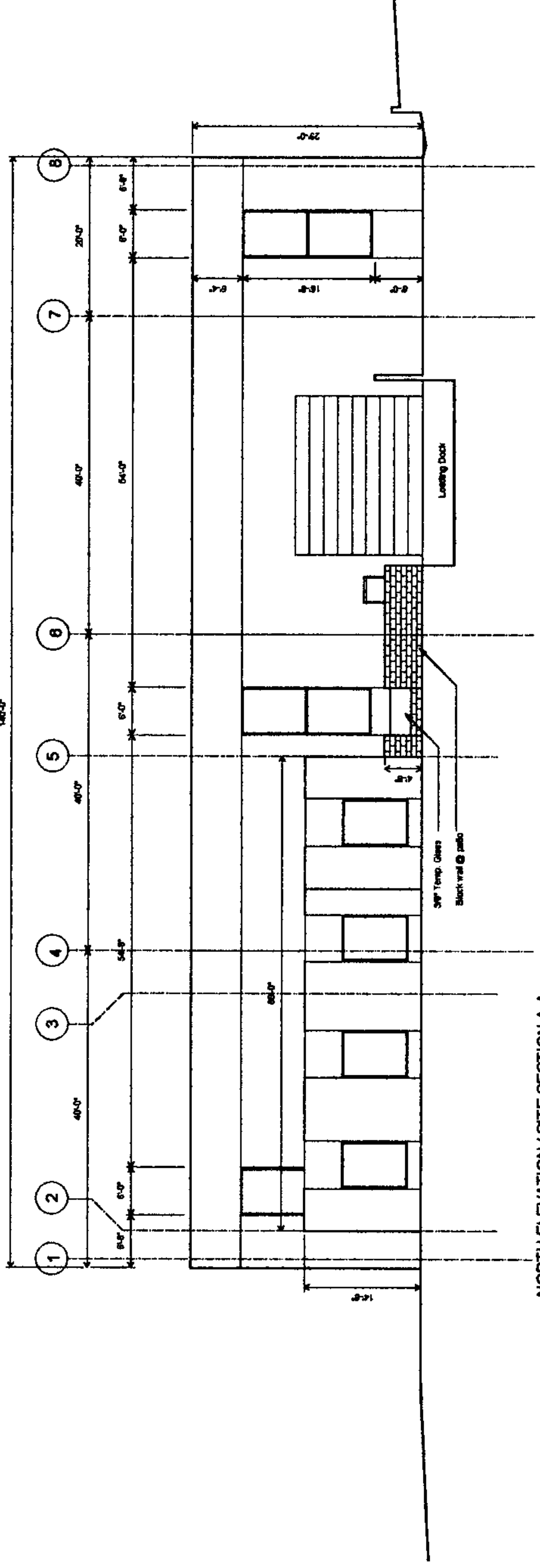
**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**  
 APPROVED AND ACCEPTED BY:  
 PROJ. NO. 1003671  
 APPLICATION NO. \_\_\_\_\_  
 Planning Department, DRB Chair  
 City Engineer  
 Transportation Development  
 Utility Development  
 Parks and Recreation



VICINITY MAP  
 Scale: 1" = 400'  
 Zone Atlas Page H-9  
 Zone Atlas Page H-10

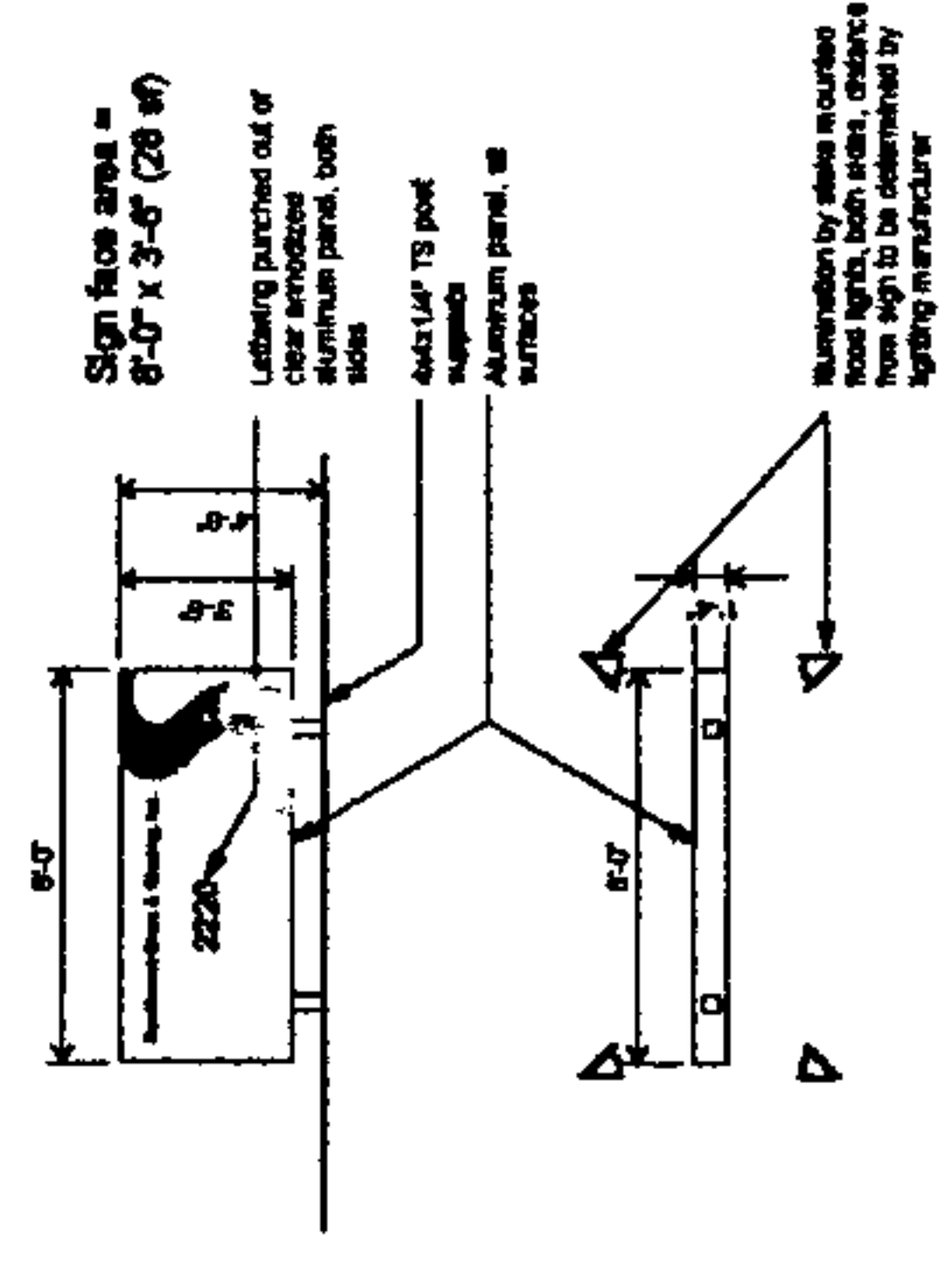
**SITE PLAN**  
 Scale: 1" = 20'  
 10' 0" 0' 10' 20'

K&S ARCHITECTS 1002 Orange Street, N.J. 08711 908-426-8000 ksa@ksa.com	SOUTHWEST GLASS & GLAZING, INC. 2220 Vista Orange N.J. Abington, NJ 08720	Sheet No.: <b>A201</b> Sheet Title: <b>ELEVATIONS</b> Date: 11.02.04
--	---	---

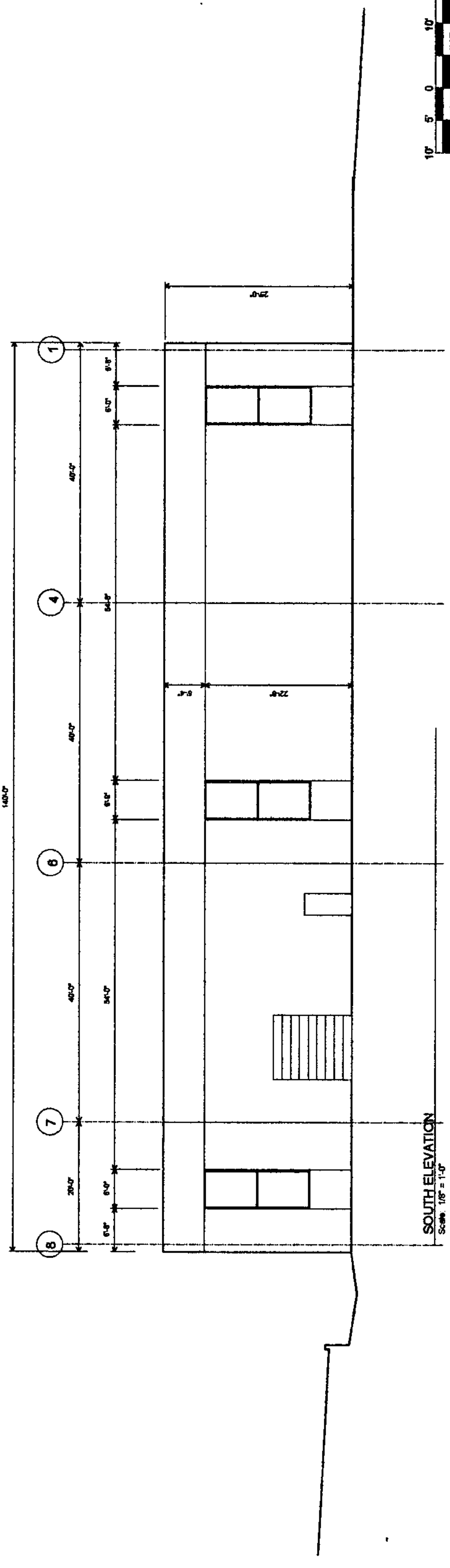


NORTH ELEVATION / SITE SECTION A-A  
 Scale: 1/8" = 1'-0"

SEE A001 SITE PLAN FOR SIGN LOCATION ON PROPERTY

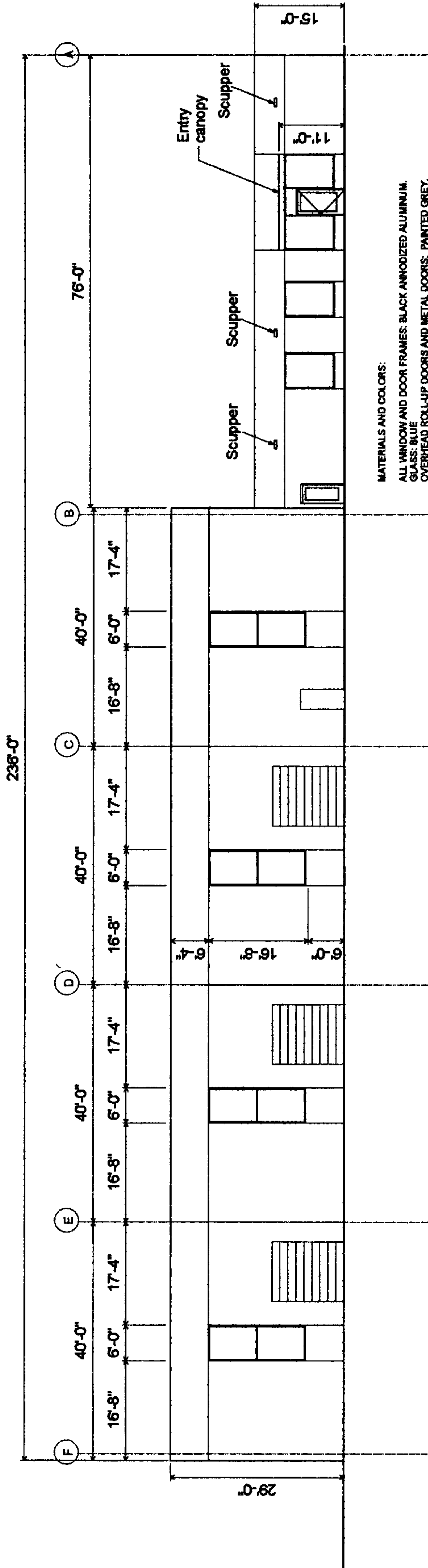


PLAN - BUILDING SIGNAGE  
 Scale: 1/4" = 1'-0"



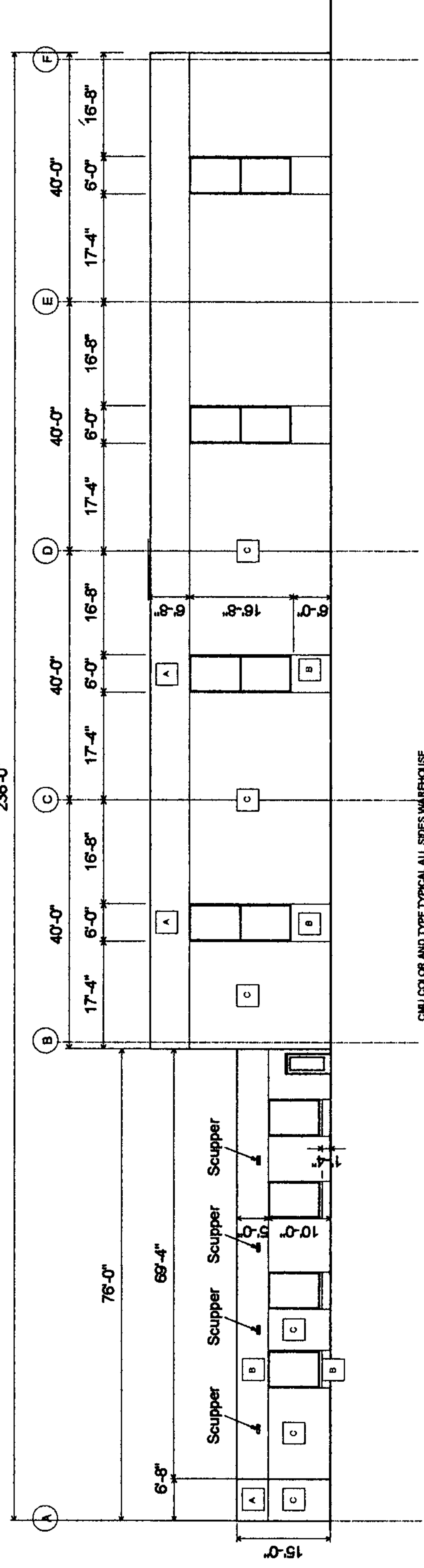
SOUTH ELEVATION  
 Scale: 1/8" = 1'-0"





EAST ELEVATION  
Scale: 1" = 20'-0"

MATERIALS AND COLORS:  
ALL WINDOW AND DOOR FRAMES: BLACK ANODIZED ALUMINUM.  
GLASS: BLUE  
OVERHEAD ROLL-UP DOORS AND METAL DOORS: PAINTED GREY.



WEST ELEVATION  
Scale: 1" = 20'-0"

CMU COLOR AND TYPE TYPICAL ALL SIDES WAREHOUSE AND OFFICE.

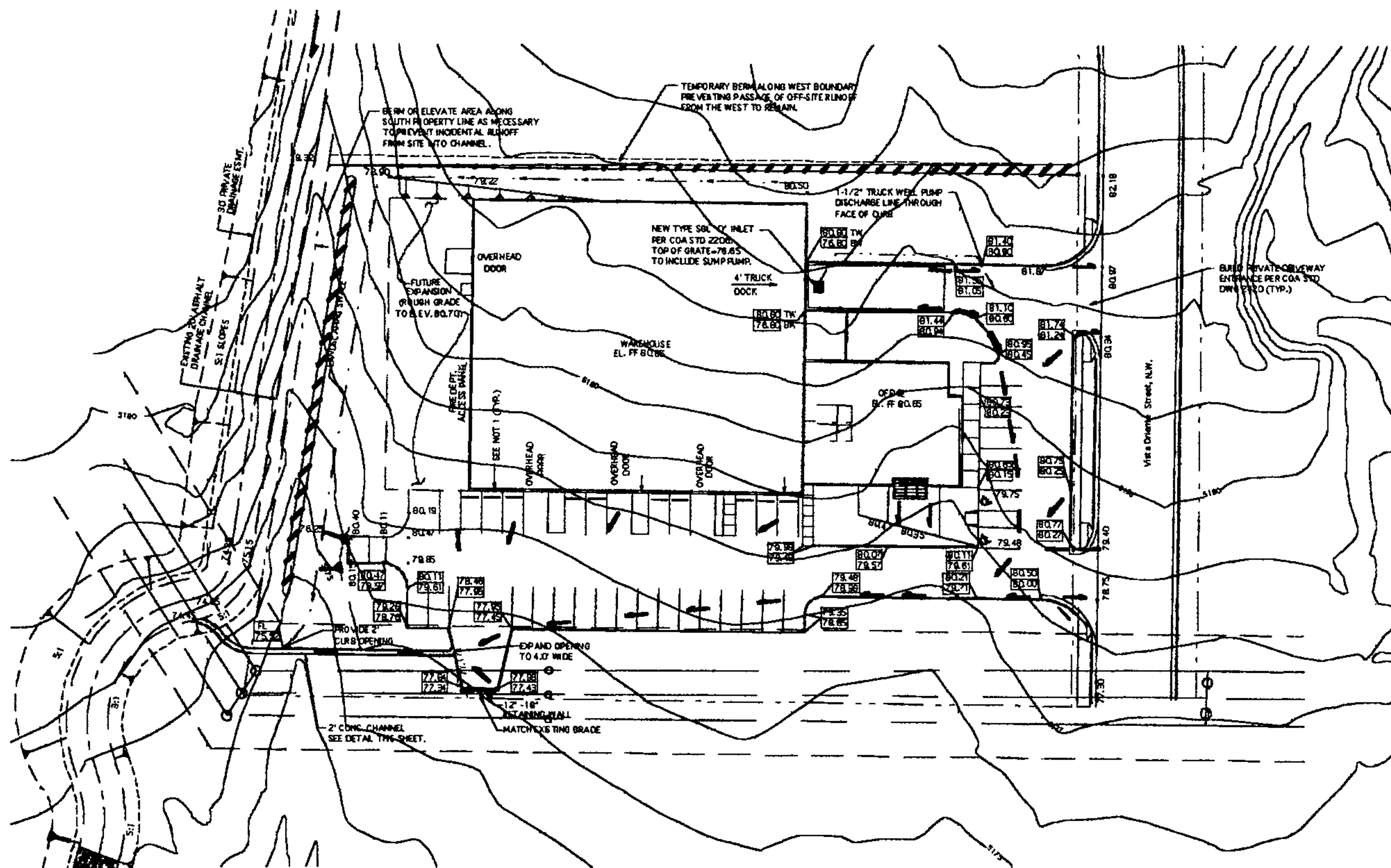
A	BLACK BUTT-FACE, OVERLAIN
B	BLACK SMOOTH, NEW
C	PAINTED GREY, MISED SMOOTH, OVERLAIN



SOUTH WEST GLASS & GLAZING, INC. LeDra Business Park 2220 Vesta Centre NW Albuquerque, NM 87120				SHEET NO. <b>A202</b> SHEET TITLE: <b>ELEVATIONS</b> DATE: 11.02.04
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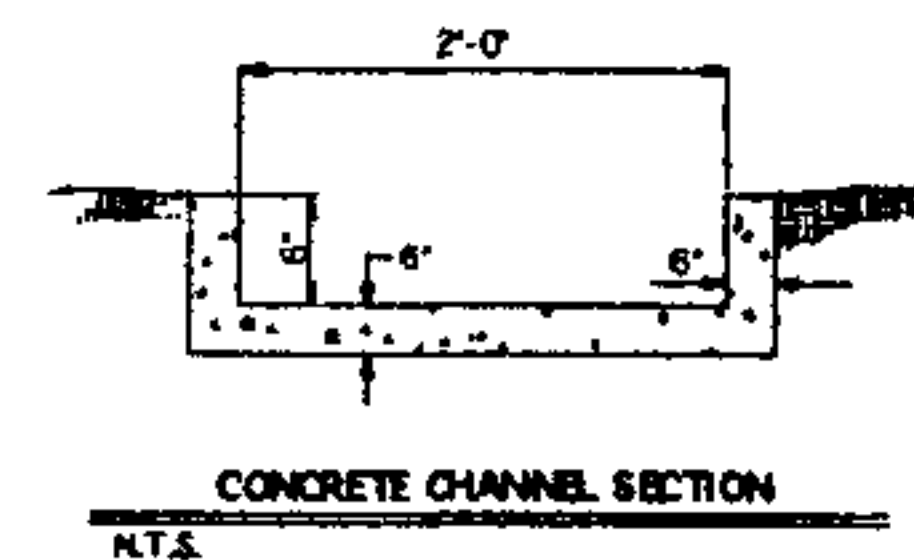
KIM SWANSON, AIA  
 1412 OLIVE STREET, N.E.  
 ALBUQUERQUE, NM 87111  
 (505) 243-4333  
 WWW.SWANSONARCHITECTS.COM



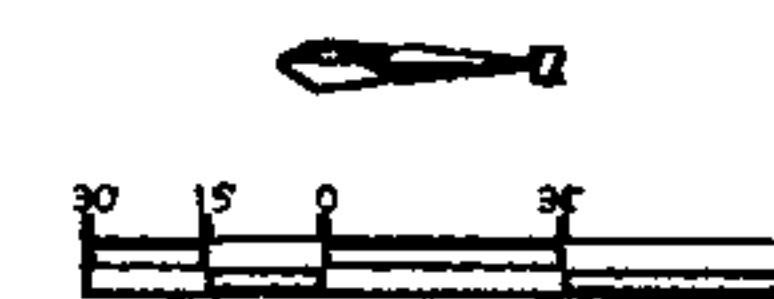


**LEGEND**

— S105 —	EXISTING CONTOUR (MAJOR)	■	EXISTING UNDERGROUND GAS MARKER
— S104 —	EXISTING CONTOUR (MINOR)	●	EXISTING GAS VALVE/METER
x 0000	EXISTING SPOT ELEVATION	○	EXISTING STORM SEWER MANHOLE
—	EXISTING ASPHALT CURB	○	EXISTING DROP INLET
—	EXISTING CONCRETE CURB	—	EXISTING DRAINAGE BASIN BOUNDARY
■	EXISTING UNDERGROUND GAS MARKER	—	NEW CONCRETE HEADER CURB
—	EXISTING WALL OR HEAD WALL	—	EXISTING CHAINLINK FENCE
X X X X	EXISTING SKIN	—	PROPOSED FIELD SWALE OR FLOWLINE
—	EXISTING FENCE	—	EXISTING SIDEWALK CULVERT
○	EXISTING SANITARY SEWER MANHOLE	FF=00.00	FINISH FLOOR ELEVATION
○	EXISTING CLEANOUT	02.02	NEW SPOT ELEVATION
—	EXISTING WATER VALVE	02.02	ESTIMATED SPOT ELEVATION (SHADED)
○	EXISTING FIRE HYDRANT	07.07	TOP OF CURB
—	EXISTING OVERHEAD UTILITY LINES	07.17	FLOWLINE
OP	EXISTING POWER POLE	—	FLOW DIRECTION
—	EXISTING GUYWIRE	—	ROOF DRAIN
—	EXISTING LIGHT POLE	—	3:1 SLOPE
—	EXISTING TELEPHONE PEDESTAL	—	NEW RETAINING WALL (STRUCTURAL DESIGN BY OTHERS)



RAIN SIX - 2.18 IN.  
 DT - 0.0333 HR.  
 AREA - 2.21 ACRES  
 PERCENT B - 20%  
 PERCENT D - 80%  
 Q<sub>avg</sub> 8.24 CFS  
 VOL = 0.2988 AF



M:\08\SW08\A\080003\11-01-04 KJS NHE



VICINITY MAP ZONE MAP: H-9, H-10

TBM (TEMPORARY BENCHMARK)

TO BE DETERMINED

ACS BENCHMARK

TO BE DETERMINED

LEGAL DESCRIPTION

TRACT 27, LADERA BUSINESS PARK, UNIT 11

**NOTES**

1. ROOF DRAINS PASS BLINDLY THROUGH THE BUILDING AND THEN DISCHARGE EAST FROM THE EAST BUILDING FACADE INTO THE EAST PARKING LOT.
2. RETAINING WALL SHALL BE DESIGNED BY OTHERS.
3. EARTHWORK CONTRACTOR SHALL OBTAIN A SURFACE DISTURBANCE PERMIT PRIOR TO BEGINNING EARTHWORK OPERATIONS.

SOUTHWEST GLASS & GLAZING

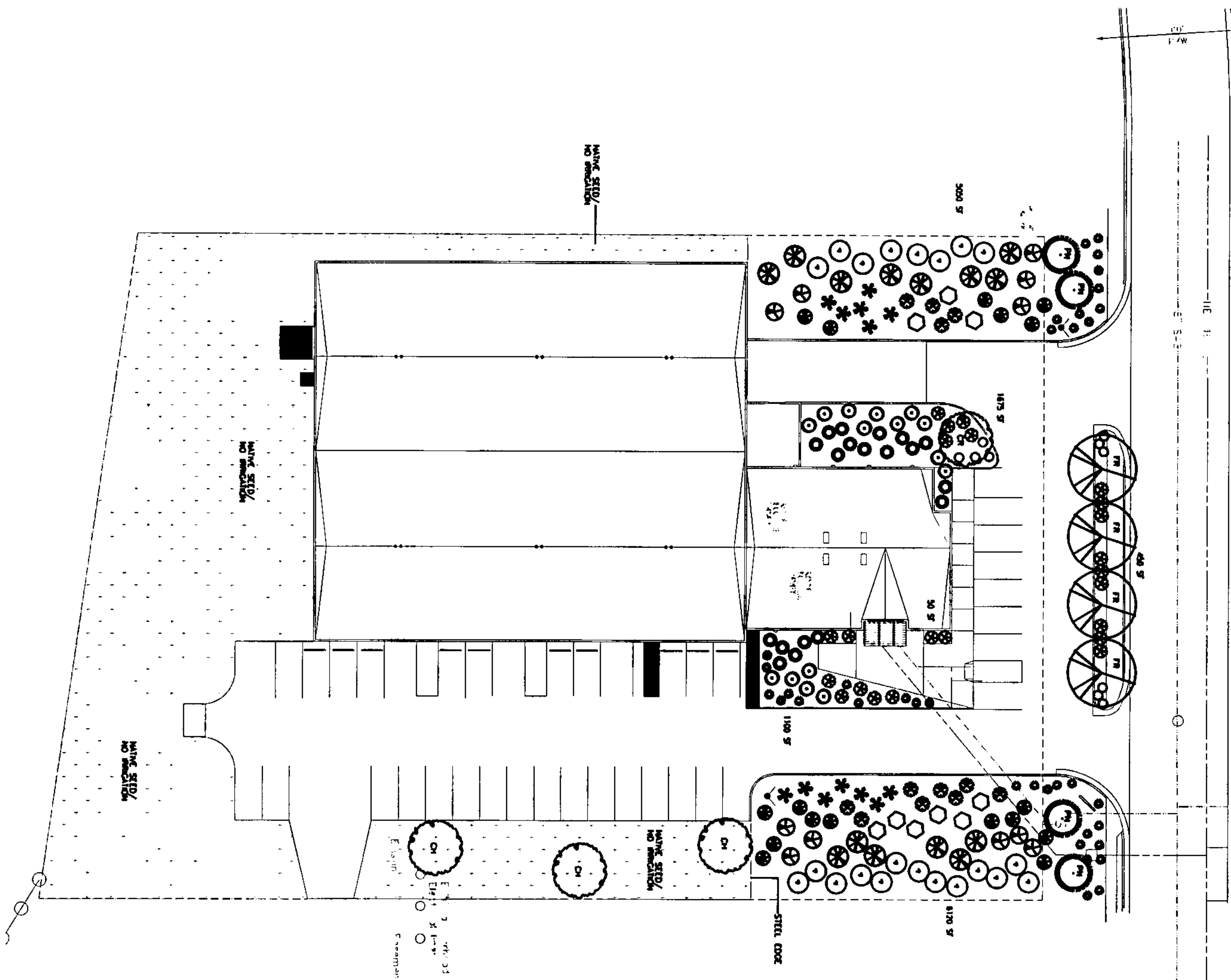
GRADING & DRAINAGE PLAN

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
 CONSULTING ENGINEERS

P.O. BOX 80606  
 ALBUQUERQUE, NEW MEXICO 87199  
 (505) 828-2200, FAX (505) 797-9539

Designed: JMH	Drawn: KJS	Checked: DMG	Sheet 1 of 1
Scale: 1" = 30'	Date: 10/04	Job: A04088	





**PLANT LEGEND**

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME
○	21	EUFRASIA	SAUCEWOOD
○	14	BLOODLIL	BUTTERFLY BUSH
○	11	CERTONIANUS	CHAMA
○	19	UCALYPTUS	WILLOW DRESS
○	9	WALNUT	ROSEWOOD
○	17	FINOYSA	RUSSIAN SAGE
○	15	ROSEMARY	ROSEMARY
○	23	RAHWOLDS	SEA WILLOW
○	13	CITRUS PARQUAS	BROOK
○	12	CAMPIDENS	BLUE YEST
○	36	LAMARCKIA	LAUREL
○	10	ROSEMARYS	CREEPING ROSEMARY

**SITE DATA**

GROSS LOT AREA: 10,000 SF  
 LESS BUILDING: 1,000 SF  
 NET LOT AREA: 9,000 SF  
 REQUIRED LANDSCAPE: 15% OF NET LOT AREA  
 PROPOSED LANDSCAPE: 15% OF NET LOT AREA  
 PERCENT OF NET LOT AREA: 15%  
 REQUIRED STREET TREES: PROVIDED AT 25 SPACING ALONG STREET  
 1 TREE 10 SPACES  
 25 SPACES/104 TREES MIN. PROVIDED

**PLANTING RESTRICTIONS APPROACH**

A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE A MIXTURE OF 20% OF THE LANDSCAPE AREA TO BE NON WATER USE TYPE

**NOTE**

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER  
 PLANTINGS TO BE WATERED BY AUTO. DWP  
 IRRIGATION SYSTEM  
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY  
 OF THE PROPERTY OWNER  
 THIS PLAN IS TO COMPLY WITH CALIF. LANDSCAPE  
 AND WATER WASTE ORDINANCE  
 PLANTING RESTRICTIONS APPROACH  
 1. AS THE AUTHOR OF THIS PLAN TO PROVIDE A  
 25% LINE CROSSOVER OF LANDSCAPE AREAS  
 AT VARIETY  
 LANDSCAPE AREAS TO BE MARKED WITH SANTA FE BROWN  
 CURBING FINES AT 3'-5" DEPTH  
 APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE  
 OR ANY CONSULTANT WITH OR EXISTENCE FROM THE  
 CALIF. LANDSCAPE AND WATER WASTE ORDINANCE  
 TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY DEPARTMENTS  
 NO PARKING SPACE SHALL BE MORE THEN 100'  
 FROM A TREE

sheet

SOUTHWEST GLASS & GLAZING  
 LADERA BUSINESS PARK  
 2220 VISTA ORIENTE NW  
 ALB. 87120

LANDSCAPE

**HeadsUp**  
 LANDSCAPE CONTRACTORS  
 7520 SECOND ST. NW  
 ALBUQUERQUE, NM  
 (505) 888-9615  
 LICENSE 18880

DATE  
 11/23/04  
 REVISIONS

NORTH

SCALE  
 1"=20'-0"



Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: Southwest Glass and Glazing PHONE: 345-5565  
 ADDRESS: 5809 Jefferson Blvd. NE FAX: 345-5964  
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: tonyb@southwestglass.com  
 Proprietary interest in site: Owners List all owners: Antony Baca, Kira Sowanick  
 AGENT (if any): Kira Sowanick PHONE: 417-1404  
 ADDRESS: 13412 Osage Orange Rd. NE FAX: 242-4308  
 CITY: Albuquerque STATE NM ZIP 87111 E-MAIL: ksowanick@comcast.net

DESCRIPTION OF REQUEST: Site development plan for building permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Tract No. 27, Ladera Business Park Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv. / Addn. \_\_\_\_\_  
 Current Zoning: SU-1 Light Industrial Proposed zoning: N/A  
 Zone Atlas page(s): H-9 and H-10 No. of existing lots: 1 No. of proposed lots: 1  
 Total area of site (acres): 2.21 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO  
 UPC No. \_\_\_\_\_ MRGCD Map No. \_\_\_\_\_

LOCATION OF PROPERTY BY STREETS: On or Near: Unser Boulevard NW  
 Between: Ladera Dr. and 98th Street / Vista Oriente St. NW

CASE HISTORY: Russell Brito as Sole Agent EPC Case Planner  
 List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):  
DRB # 1001523, Const. Proj. # 693392

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: Sept. 22, 2004

SIGNATURE Kira Sowanick DATE November 9, 2004  
 (Print) Kira Sowanick  Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 9/01, 3/03, 7/03, 10/03, 3/04, 4/04

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>04DRB</u>	<u>SBP</u>		<u>\$ 385.00</u>
<input type="checkbox"/> All fees have been collected		<u>CMF</u>		<u>\$ 20.00</u>
<input type="checkbox"/> All case #s are assigned				\$
<input type="checkbox"/> AGIS copy has been sent				\$
<input type="checkbox"/> Case history #s are listed				\$
<input type="checkbox"/> Site is within 1000ft of a landfill				\$
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate				<u>\$ 405.00</u>

Hearing date 11-17-04  
 Planner signature / date [Signature] Project # 1003671



**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

**SKETCH PLAN REVIEW AND COMMENT**

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION**

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist
  - ~~2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)~~
  - Blue-line copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
  - Infrastructure List, if relevant to the site plan
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Kira Sowanick  
 Applicant name (print)  
Kira Sowanick 11/9/04  
 Applicant signature / date



Form revised September 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
04DRB - - 01746  
 \_\_\_\_\_  
 \_\_\_\_\_

[Signature] 11/9/04  
 Planner signature / date

**Project #** 1003691









City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: November 16, 2001

Unser-98<sup>th</sup> Street Partnership LLC.  
P.O. Box 90548  
Albuquerque, NM 87199

**OFFICIAL NOTIFICATION OF DECISION**

FILE: 01128-01405 (Project 1001523)

**LEGAL DESCRIPTION:** Request a Master Development Plan for Lot 2, Ladera Industrial Center, located on Unser Boulevard NW between 98<sup>th</sup> Street and Ladera Drive NW containing approximately 105 acres. (H-10) Lola Bird, Staff Planner

On November 15, 2001, the Environmental Planning Commission voted to approve 01128-01405, a Master Development Plan, based on the following Findings and subject to the following Conditions:

**FINDINGS:**

1. This is a request for a site development plan for subdivision for Lot 2, Ladera Industrial Center, containing approximately 105 acres and located on Unser Boulevard between Ladera Drive and 98<sup>th</sup> Street, NW.
2. The applicant is proposing to create 26 lots with areas ranging from 1.2 acres to 5.38 acres.
3. This request furthers the applicable goals and policies of the *Comprehensive Plan* by allowing for an urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in housing, transportation, and life styles with a location and intensity that shall respect existing neighborhood values, natural environmental conditions and carrying capacities, and scenic resources.
4. This request furthers the applicable goals and policies of the *West Side Strategic Plan* by locating employment uses on the West Side which is critical to achieving the Plan's goals of reducing vehicle trip distances, decreasing commuter demand across the Rio Grande and establishing healthy community and Village Centers.
5. The submitted site plan generally meets the requirements of the *Zoning Code* for site development plan for subdivision. The site plan covers at least one lot and specifies the site, proposed use, pedestrian and vehicular ingress and egress and internal circulation requirements. The submittal also includes design guidelines regulating building architecture, materials, colors and height as well as building setbacks.
6. The submittal will be adequate with some changes and additions.

01128-01405 (Project 100-3)

November 16, 2001

Page 2

**CONDITIONS:**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. The design guidelines shall be modified as follows:

**Screening Walls and Fences**

✓ 8<sup>th</sup> Bullet: shall be changed to read, "Barbed wire or concertina wire are not allowed in the Ladera Site. Chain link fencing shall not be permitted in the first two rows of lots along Unser."

✓ A new bullet should be added which states, "Loading docks visible from residential areas shall be screened by walls which match building architecture, material and color."

**Lighting Standards**

✓ 2<sup>nd</sup> Bullet: shall be changed to read, "20 feet for street lights and parking area lights (restricted to 16 feet within 150 feet of residential). The height of street lights and parking area lights shall be kept to a minimum necessary to meet safety requirements."

**Signage Standards**

A new bullet shall be added which reads, "No illuminated signage shall face any residential area, except along Unser Boulevard."

3. Conditions of approval for the proposed site plan for building permit should include:

An update of the TIS prior to the submittal for development of any of the tracts within the industrial park. Access to Unser Boulevard is limited to 98<sup>th</sup> Street and a right-turn-only at La Mirada Street. Internal streets, water and sewer lines must be constructed to City standards.

4. Site Development Plans for Building Permit are delegated to the Development Review Board.

5. Any agreement between the applicant and the neighborhoods that further restricts the allowed uses on the site shall be filed with the County Clerk and cross referenced on the site plan. The agreed upon restrictions and additional design guidelines shall be listed on the site plan and on the design guidelines.

**IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY NOVEMBER 30, 2001 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATOR COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.**



01128-01405 (Project 1001)

November 16, 2001

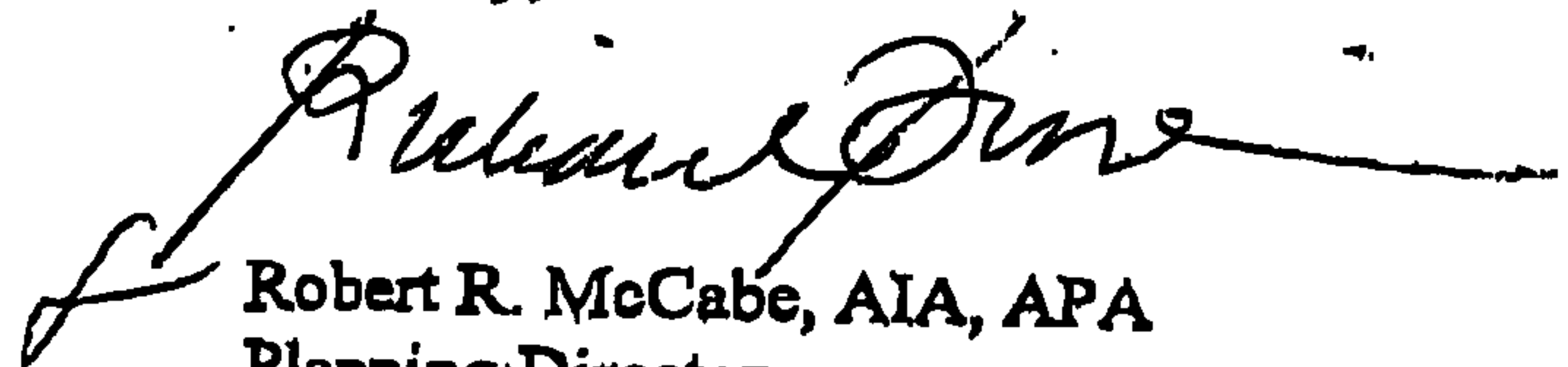
Page 3

**Appeal to the City Council:** Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

**YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).**

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

Sincerely,



Robert R. McCabe, AIA, APA  
Planning Director

RM/RD/nat

cc: Consensus Planning, Inc., 924 Park Avenue SW 87102.  
Robert McCannon, Ladera West Neigh. Assoc., 2808 El Tesoro Escondido, NW 87120  
Barry King, Ladera West Neigh. Assoc., 3808 Todos Santos, NW; 87120  
Randy Summery, Las Lomas Neigh. Assoc., 8310 Camino Paisano, NW; 87120  
JoAnn Barnett, Las Lomas Neigh. Assoc., 8106 Calle Ensueno, NW; 87120  
John Duff, Park West/Court Yards Neigh. Assoc., 2408 Wetbrook Drive, NW; 87120  
Cheri LaCourt, Park West/Court Yard Neigh. Assoc., 2204 Windward, NW; 87120  
J.R. & Felicia Wood, 2124 Corte de Loma NW, Albuquerque, NM 87120  
Jack Dettweiler, 2340 Mepaul NE, #211, Albuquerque, NM 87107  
Valerie Turnbow, 8300 Camino del Venado, NW, Albuquerque, NM 87120  
Darlene Motly, 8139 Corte de Aguila NW, Albuquerque, NM 87120

13412 Osage Orange Rd. NE  
Albuquerque, NM 87111  
(505) 417-1404  
Fax (505) 242-4308  
ksowanick@comcast.net

EXIT ARCHITECTS

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November 9, 2004

Sheran Matson  
DRB Chairperson, Planning Manager  
City of Albuquerque Planning Dept.  
Plaza del Sol Bldg.  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

Dear Sheran:

Southwest Glass and Glazing is planning to construct an office / warehouse building on Tract 27 in the Ladera Business Park. Attached are the checklist items required for the Site Development Plan for Building Permit submission to be reviewed at the meeting scheduled for November 17, 2004.

I spoke to Wilfred Gallegos last week regarding the Conceptual Utility Plan and he said I could include the site utilities on the Site Plan. If you require a separate Utility Plan, please notify me immediately.

Sincerely,



Kira Sowarnick, AIA

Enclosures: See attached DRB Checklist



# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 10/19/2004

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

**I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.**

Kira Savanich 11/9/04  
Applicant or Agent Signature / Date

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Preliminary Grading Plan (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. Building and Structure Elevations
5. Conceptual Utility Plan (*see site plan*)

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

### Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. Written project summary. Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

## SHEET #1 - SITE PLAN

### A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'  
                                   1.0 - 5.0 acres 1" = 20' ✓  
                                   Over 5 acres 1" = 50'  
                                   Over 20 acres 1" = 100' [Other scales as approved by staff]
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- N/A 6. Existing structures on the site and within 20 feet of the site boundaries
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 10/19/2004

## B. Proposed Development

### 1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

### 2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. Location and typical dimensions, including handicapped spaces
  - 2. Calculations: spaces required: 34 provided: 34  
 Handicapped spaces required: 2 provided: 2
- B. Bicycle parking & facilities
  - 1. Bicycle racks, spaces required: 2  
 provided: 2
  - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
  - 4. Location & orientation of refuse enclosure, with dimensions
  - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths
  - 2. Location and dimension of drive aisle crossings, including paving treatment
  - 3. Location and description of amenities, including patios, benches, tables, etc.

### 3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
  - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
  - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - 3. Location of traffic signs and signals related to the functioning of the proposal
  - 4. Identify existing and proposed medians and median cuts
  - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
  - 1. Bikeways and bike-related facilities



**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST**

Revised. 10/19/2004

- N/A 2. Pedestrian trails and linkages  
N/A 3. Bus facilities, including routes, bays and shelters existing or required
- 4. Utilities**
- 1. Fire hydrant locations, existing and proposed.
  - 2. Distribution lines
  - 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
  - 4. Existing water, sewer, storm drainage facilities (public and/or private).
  - 5. Proposed water, sewer, storm drainage facilities (public and/or private)
- 5. Phasing**
- N/A A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

**SHEET #2 - LANDSCAPING PLAN**

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
  - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
  - A. Existing, indicating whether it is to be preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)

**SHEET #3 - PRELIMINARY GRADING PLAN -**

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST**

Revised: 10/19/2004

**A. General Information**

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

**B. Grading Information**

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

**SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS****General Information**

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  - 1. Identify facade orientation
  - 2. Dimensions of facade elements, including overall height and width
  - 3. Location, material and colors of windows, doors and framing
  - 4. Materials and colors of all building elements and structures

N/A E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discuss submittal requirements with Planning Department staff.

**Signage**

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

*Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.*



ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

PAID RECEIPT

APPLICANT NAME

*Southwest Glass & Glazing*

AGENT

*Kira Swornick*

ADDRESS

PROJECT & APP #

*1003671*

PROJECT NAME

*Tract 27 Ladera Business Park*

\$ 20<sup>00</sup> 441032/3424000 Conflict Management Fee

\$ 385<sup>00</sup> 441006/4983000 DRB Actions

\$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ \_\_\_\_\_ 441018/4971000 Public Notification

\$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
( ) Traffic Impact Study

\$ 405<sup>00</sup> TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

CITY TREASURY DIVISION  
RECEIVED \$ 405<sup>00</sup> DATE 11-9-04

*YGP*



<p style="text-align: right;">Supplemental form</p> <p><b>SUBDIVISION</b> <span style="float: right;"><b>S</b></span></p> <p><input type="checkbox"/> Major Subdivision action</p> <p><input checked="" type="checkbox"/> Minor Subdivision action</p> <p><input type="checkbox"/> Vacation <span style="float: right;"><b>V</b></span></p> <p><input type="checkbox"/> Variance (Non-Zoning)</p> <p><b>SITE DEVELOPMENT PLAN</b> <span style="float: right;"><b>P</b></span></p> <p><input type="checkbox"/> ...for Subdivision Purposes</p> <p><input type="checkbox"/> ...for Building Permit</p> <p><input type="checkbox"/> IP Master Development Plan</p> <p><input type="checkbox"/> Cert. of Appropriateness (LUCC) <span style="float: right;"><b>L</b></span></p> <p><b>STORM DRAINAGE</b> <span style="float: right;"><b>D</b></span></p> <p><input type="checkbox"/> Storm Drainage Cost Allocation Plan</p>	<p style="text-align: right;">Supplemental form</p> <p><b>ZONING &amp; PLANNING</b> <span style="float: right;"><b>Z</b></span></p> <p><input type="checkbox"/> Annexation</p> <p><input type="checkbox"/> County Submittal</p> <p><input type="checkbox"/> EPC Submittal</p> <p><input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)</p> <p><input type="checkbox"/> Sector Plan (Phase I, II, III)</p> <p><input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan</p> <p><input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)</p> <p><b>APPEAL / PROTEST of...</b> <span style="float: right;"><b>A</b></span></p> <p><input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals</p>
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PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: Southwest Glass and Glazing PHONE: 345-5565

ADDRESS: 5809 Jefferson Blvd. NE FAX: 345-5964

CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: tonyb@southwestglass.com

Proprietary interest in site: Owners List all owners: Antony Baca, Kira Sowanick

AGENT (if any): Kira Sowanick PHONE: 417-1404

ADDRESS: 13412 Osage Orange Rd. NE FAX: 242-4308

CITY: Albuquerque STATE NM ZIP 87111 E-MAIL: ksowanick@comcast.net

DESCRIPTION OF REQUEST: SKETCH PLAT REVIEW & Comment  
 Permit to construct 27,560 SF office / warehouse for commercial glazing company

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Tract No. 27, Ladera Business Park Block:            Unit:           

Subdiv. / Addn.           

Current Zoning: SU-1 Light Industrial Proposed zoning: N/A

Zone Atlas page(s): H-9 and H-10 No. of existing lots: 1 No. of proposed lots: 1

Total area of site (acres): 2.21 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A

Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO

UPC No.            MRGCD Map No.           

LOCATION OF PROPERTY BY STREETS: On or Near: Unser Boulevard NW

Between: Ladera Dr. and 98th Street / Vista Oriente St. NW

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.): DRB # 1001523, Const. Proj. # 693392

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: September 14, 2004

SIGNATURE Kira Sowanick DATE September 14, 2004

(Print) Kira Sowanick  Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 9/01, 3/03, 7/03, 10/03, 3/04, 4/04

<p><input type="checkbox"/> INTERNAL ROUTING</p> <p><input checked="" type="checkbox"/> All checklists are complete</p> <p><input checked="" type="checkbox"/> All fees have been collected</p> <p><input checked="" type="checkbox"/> All case #s are assigned</p> <p><input checked="" type="checkbox"/> AGIS copy has been sent</p> <p><input checked="" type="checkbox"/> Case history #s are listed</p> <p><input checked="" type="checkbox"/> Site is within 1000ft of a landfill</p> <p><input type="checkbox"/> F.H.D.P. density bonus</p> <p><input type="checkbox"/> F.H.D.P. fee rebate</p>	<p>Application case numbers</p> <p><u>04DRB - 01422</u> Action <u>SK</u></p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Hearing date <u>9-22-04</u></p> <p><u>9/14/04</u></p> <p>Planner signature / date</p>	<p>Fees</p> <p>\$ <u>0-</u></p> <p>\$ _____</p> <p>\$ _____</p> <p>\$ _____</p> <p>\$ _____</p> <p>\$ _____</p> <p>Total</p> <p>\$ <u>0-</u></p>
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Project # 1003671



**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

**SKETCH PLAN REVIEW AND COMMENT**

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION**

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - Blue-line copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
  - Infrastructure List, if relevant to the site plan
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Kira Sowanick  
 Applicant name (print)  
Kira Sowanick 9/14/04  
 Applicant signature / date



Form revised September 2001

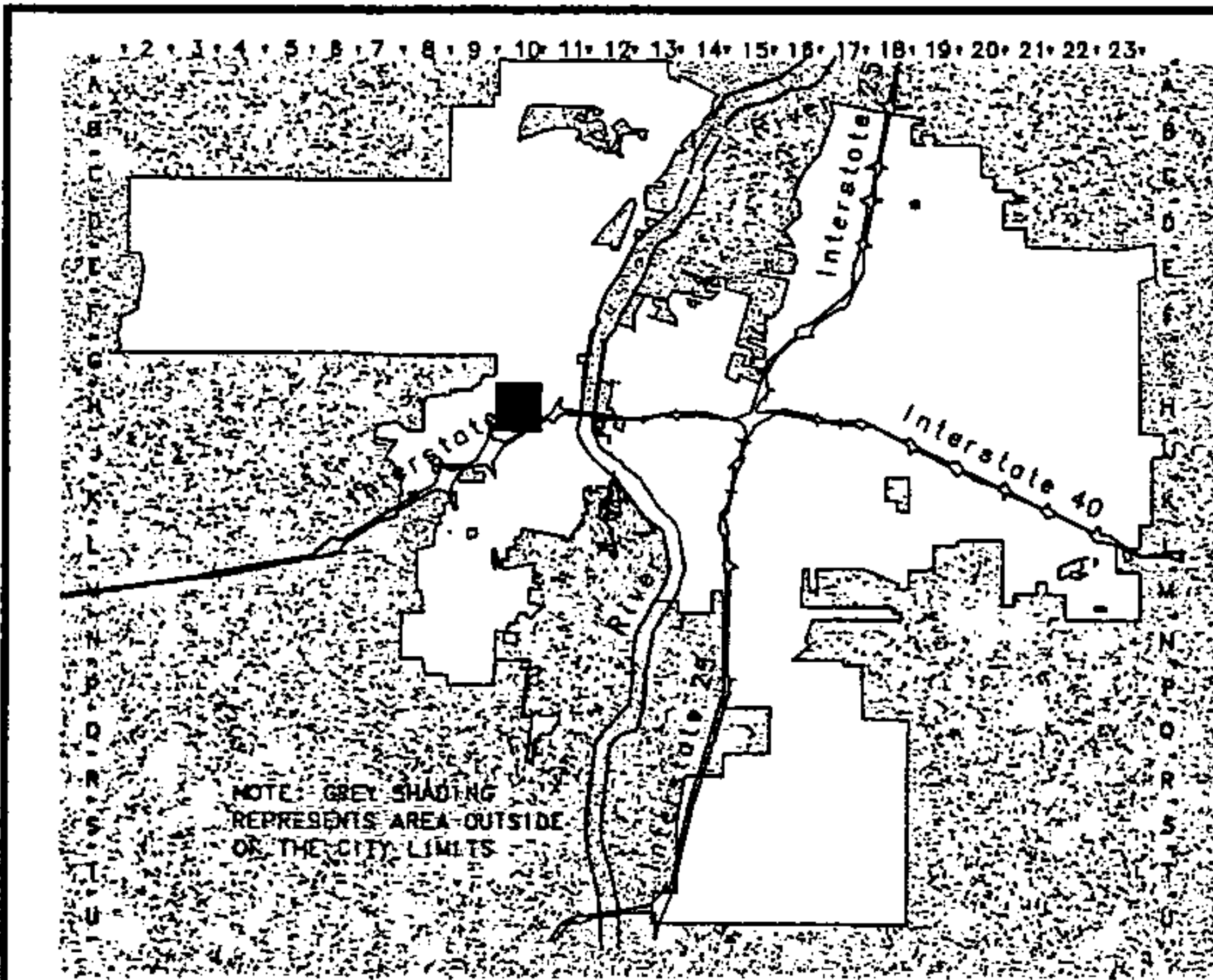
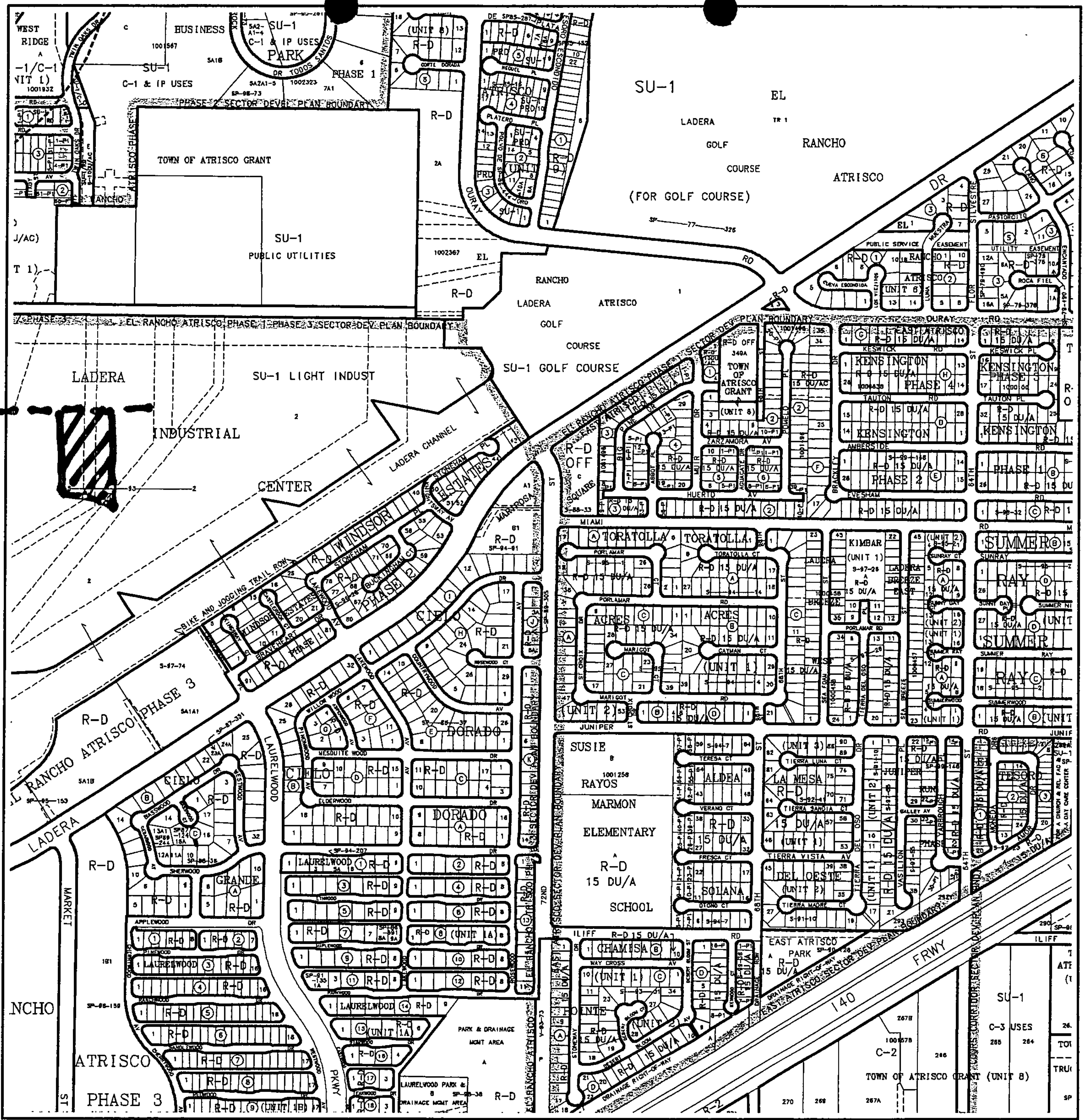
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
04DRB - 0422

[Signature] 9/14/04  
 Planner signature / date

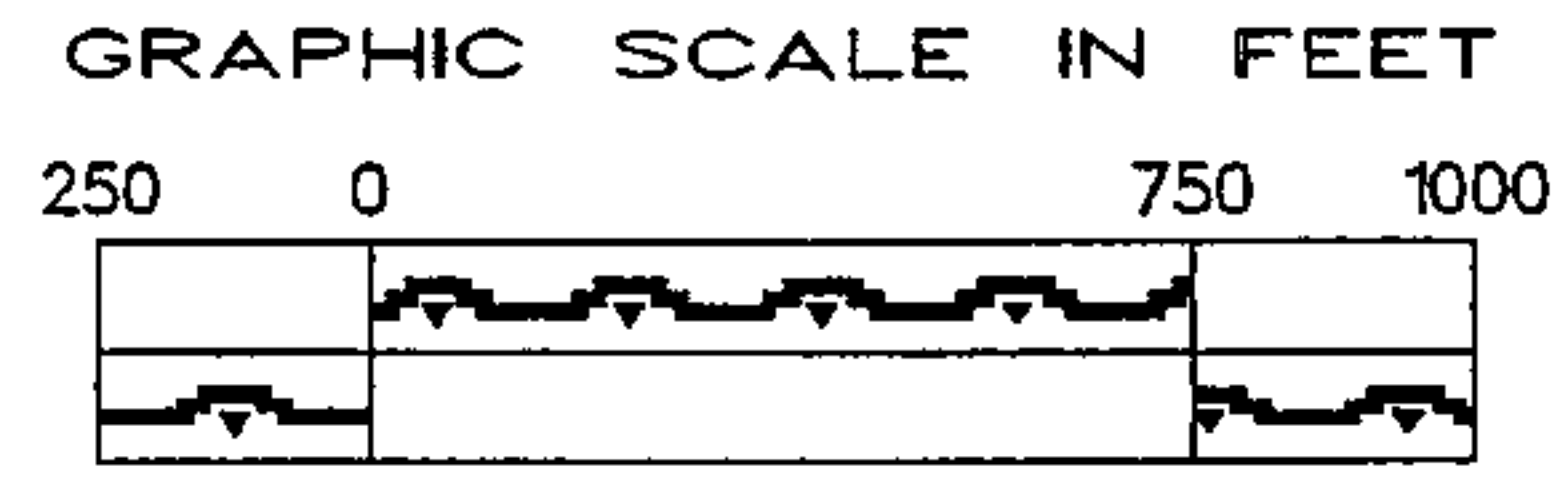
**Project #** 1003671





CITY OF  
Albuquerque  
Albuquerque Geographic Information System  
PLANNING DEPARTMENT

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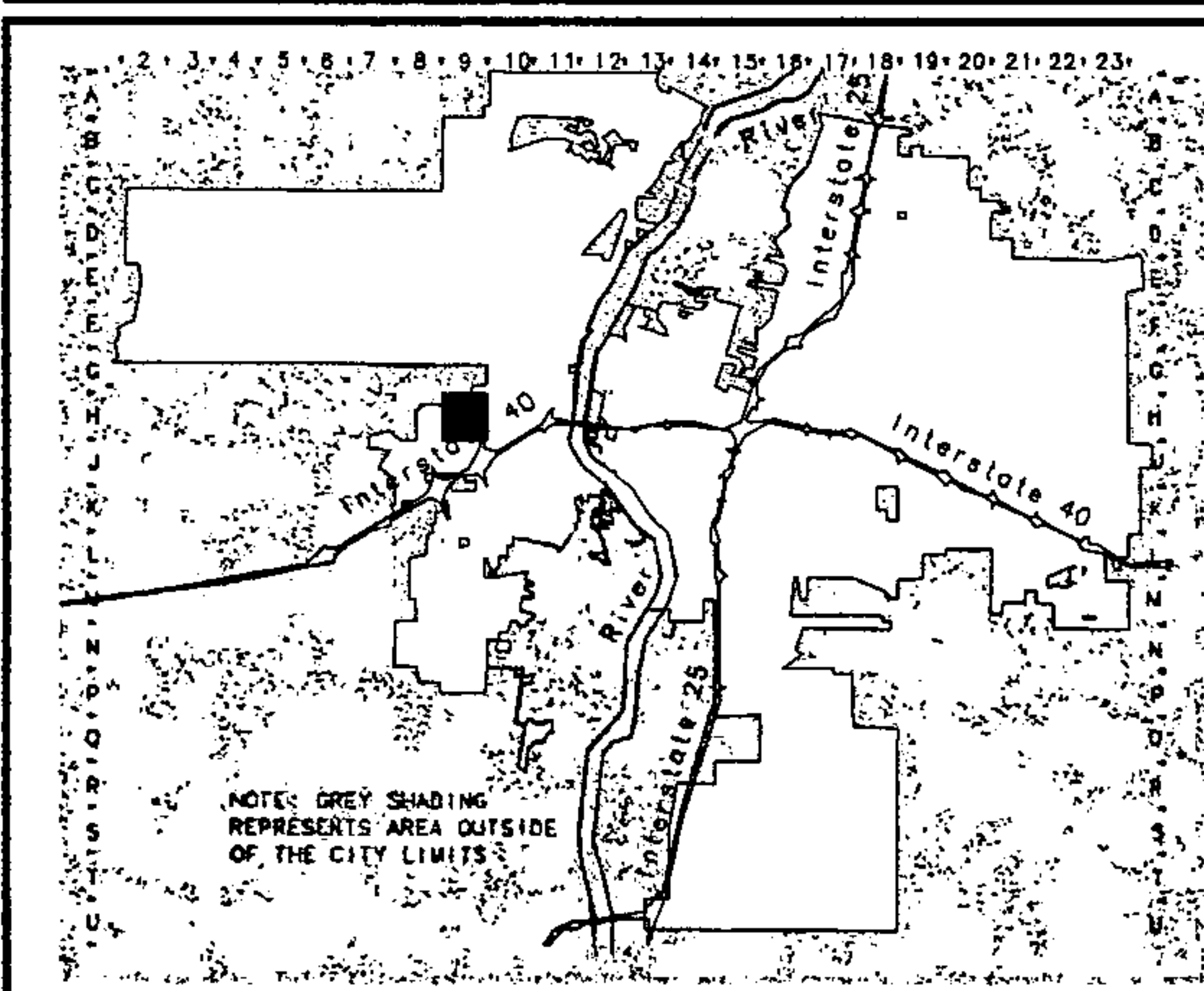
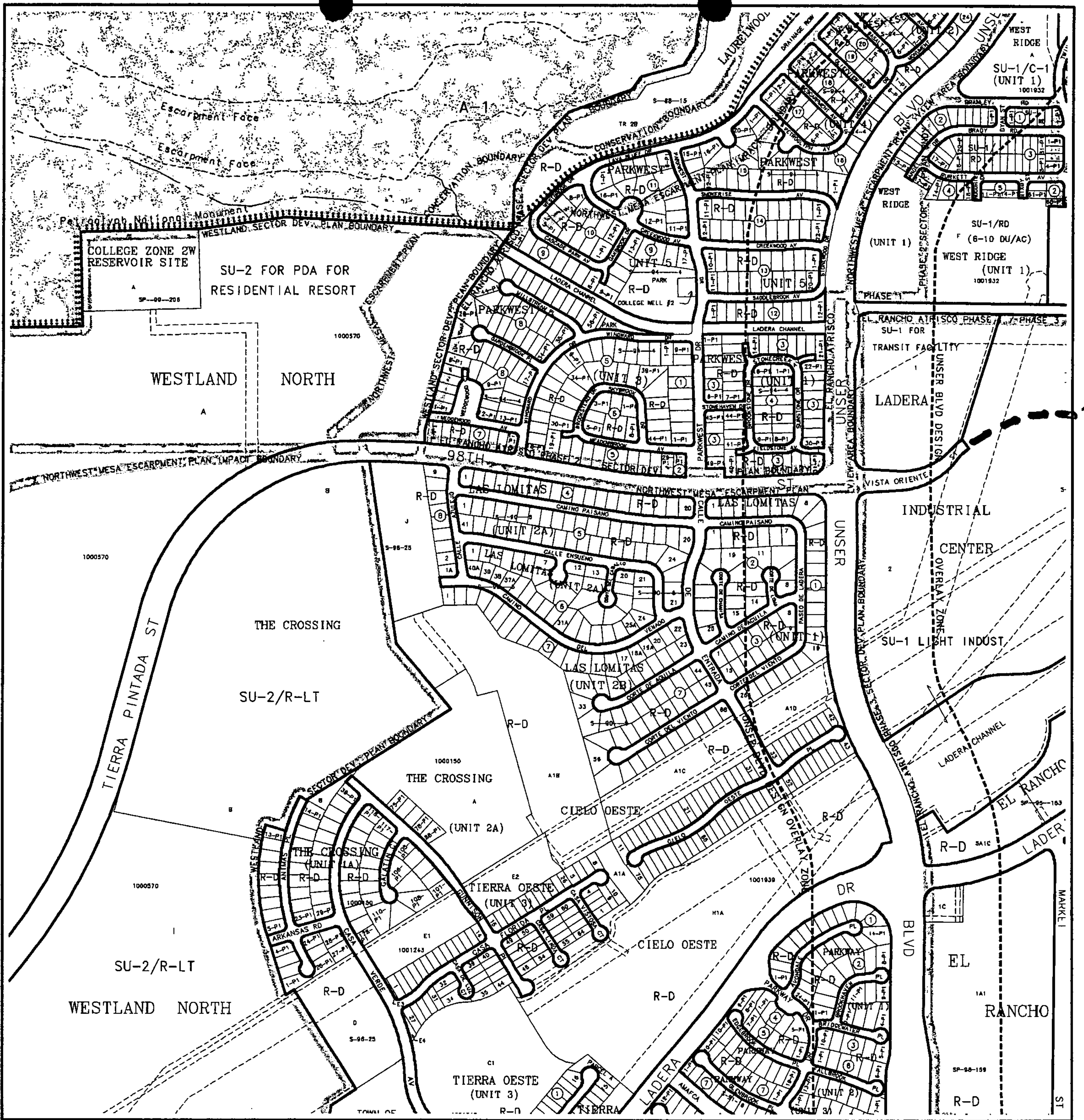


Zone Atlas Page

**H-10-Z**

Map Amended through July 10, 2003





CITY OF Albuquerque

Albuquerque Geographic Information System  
PLANNING DEPARTMENT

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Zone Atlas Page

H-9-Z

Map Amended through July 10, 2003

13412 Osage Orange Rd. NE  
Albuquerque, NM 87111  
(505) 417-1404  
Fax (505) 242-4308  
ksowanick@comcast.net

EXIT ARCHITECTS

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September 14, 2004

Sheran Matson  
DRB Chairperson, Planning Manager  
City of Albuquerque Planning Dept.  
Plaza del Sol Bldg.  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

Dear Sheran:

Southwest Glass and Glazing is planning to construct an office / warehouse building on Tract 27 in the Ladera Business Park. Attached are the checklist items required for the Sketch Plan Review and Comment meeting scheduled for September 22, 2004.

Let me know if any additional information is required for this submittal.

Sincerely,

*Kira Sowanick*  
Kira Sowanick, AIA

Enclosures:

Development / Plan Review Application  
Site Plan and Elevation sheet (24"x36")  
Zone Atlas Map (H-10)  
Fire Hydrant requirements



**FIRE HYDRANT AND INSTANTANEOUS  
FIRE FLOW REQUIREMENTS**

ALBUQUERQUE FIRE DEPARTMENT  
FIRE MARSHAL'S PLAN CHECKING OFFICE  
600 2<sup>ND</sup> ST N.W, 8<sup>TH</sup> Floor, Plaza del Sol  
Albuquerque, New Mexico 87102  
(505) 924-3611 / FAX (505) 924-3619

ZONE MAP NUMBER H-10

REFERRAL # \_\_\_\_\_

SITE ADDRESS XKI VISTA ORIENTE ST NW

LEGAL DESCRIPTION: SUBJECT TRACT \_\_\_\_\_

NUMBER HYDRANTS REQUIRED FOR THE LARGEST BUILDING 2-3  
INSTANTANEOUS FLOW REQUIRED 2390  
SQUARE FOOTAGE - LARGEST BUILDING 201560  
TYPE CONSTRUCTION TB

**PERTINENT DATA FOR DETERMINATION AND LOCATION OF FIRE HYDRANTS**

**ALL REQUIRED HYDRANTS SHALL BE INSTALLED AND OPERABLE PRIOR TO CONSTRUCTION**

- ALL REQUIRED HYDRANTS SHALL BE WITHIN 450 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.
- ALL REQUIRED HYDRANTS SHALL BE WITHIN 300 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

TOTAL NUMBER HYDRANTS REQUIRED FOR THIS PHASE OF CONSTRUCTION OR SITE 2-3

DATE: 9-13-04

FIRE DEPARTMENT INSPECTOR: [Signature]

RECEIVED BY: Kira Gowanich TELEPHONE: 247-2303

**NOTES:**

1. ALL HYDRANTS NEEDED TO PROTECT AN INDIVIDUAL BUILDING MUST BE ABLE TO PROVIDE A MINIMUM RESIDUAL OF 20 PSI, UNDER REQUIRED FIRE FLOW CONDITIONS.
2. DETERMINATION OF THE WATER SYSTEM CAPASITY TO PROVIDE REQUIRED FIRE FLOW SHALL BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION (924-3987), BASED ON PEAK DAY CRITERIA.
3. DESIGN OF PRIVATE FIRE PROTECTION SYSTEMS IS THE RESPOSIBILITY OF THE DEVELOPER'S CONSULTANT. APPROVAL OF DESIGN MUST BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION.