

# DEKKER PERICH SABATINI

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

SEAL

### DRB SUBMITAL

DECEMBER 11, 2015

PROJECT

GENERATIONS AT WEST MESA  
57TH STREET AND CENTRAL AVE  
ALBUQUERQUE, NM

REVISIONS

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DRAWN BY MJH, CWW

REVIEWED BY RAW

DATE 12/11/2015

PROJECT NO 14-0701

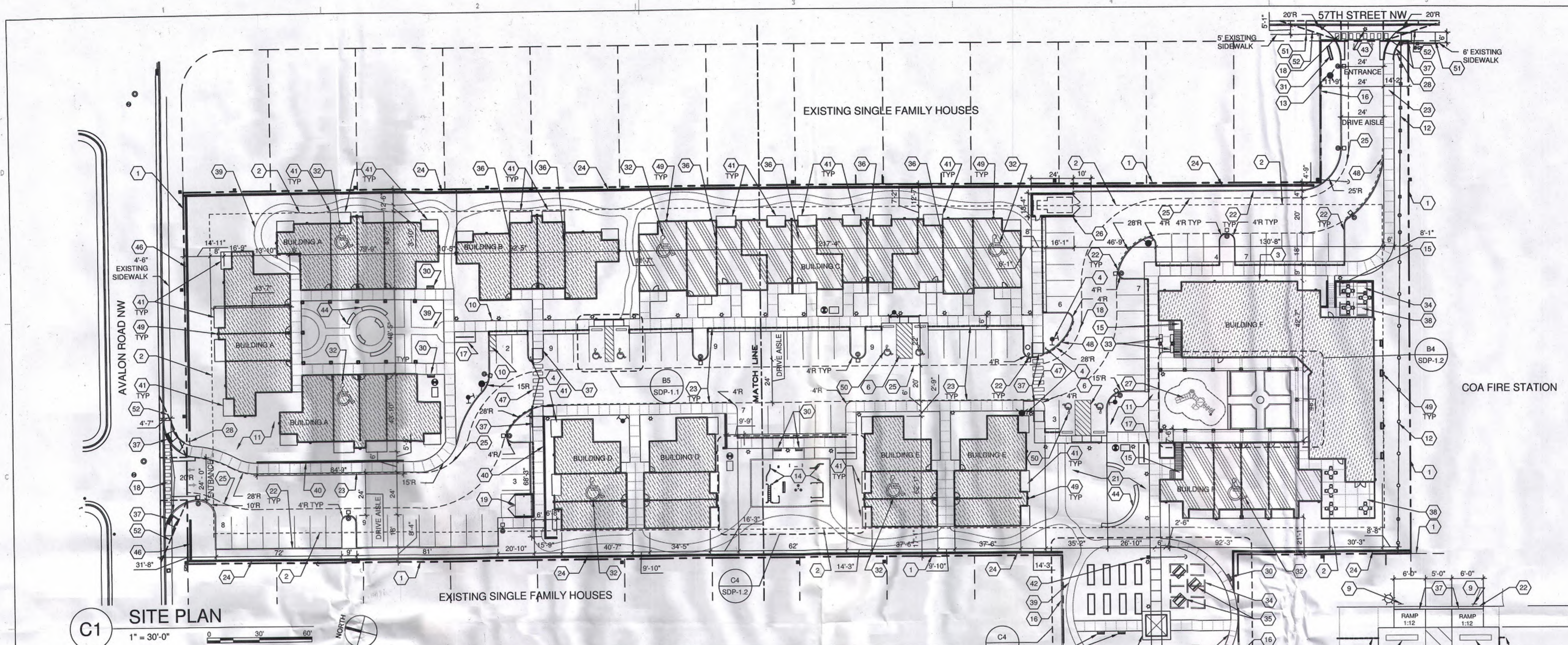
DRAWING NAME

### SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SHEET NO

# SDP-1.1V4

1 OF 15



## C1 SITE PLAN

1" = 30'-0"

## B5 TYP ACCESSIBLE PARKING

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PROJECT NUMBER: 1003675

APPLICATION NUMBER:

Is an Infrastructure List Required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN APPROVAL:

*Roguel M. Mui* 1/15/16  
TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE

*Kristy Anne KC* 01/13/16  
DATE

*Brandon* 1/13/16  
DATE

*Ali* 1/22/16  
DATE

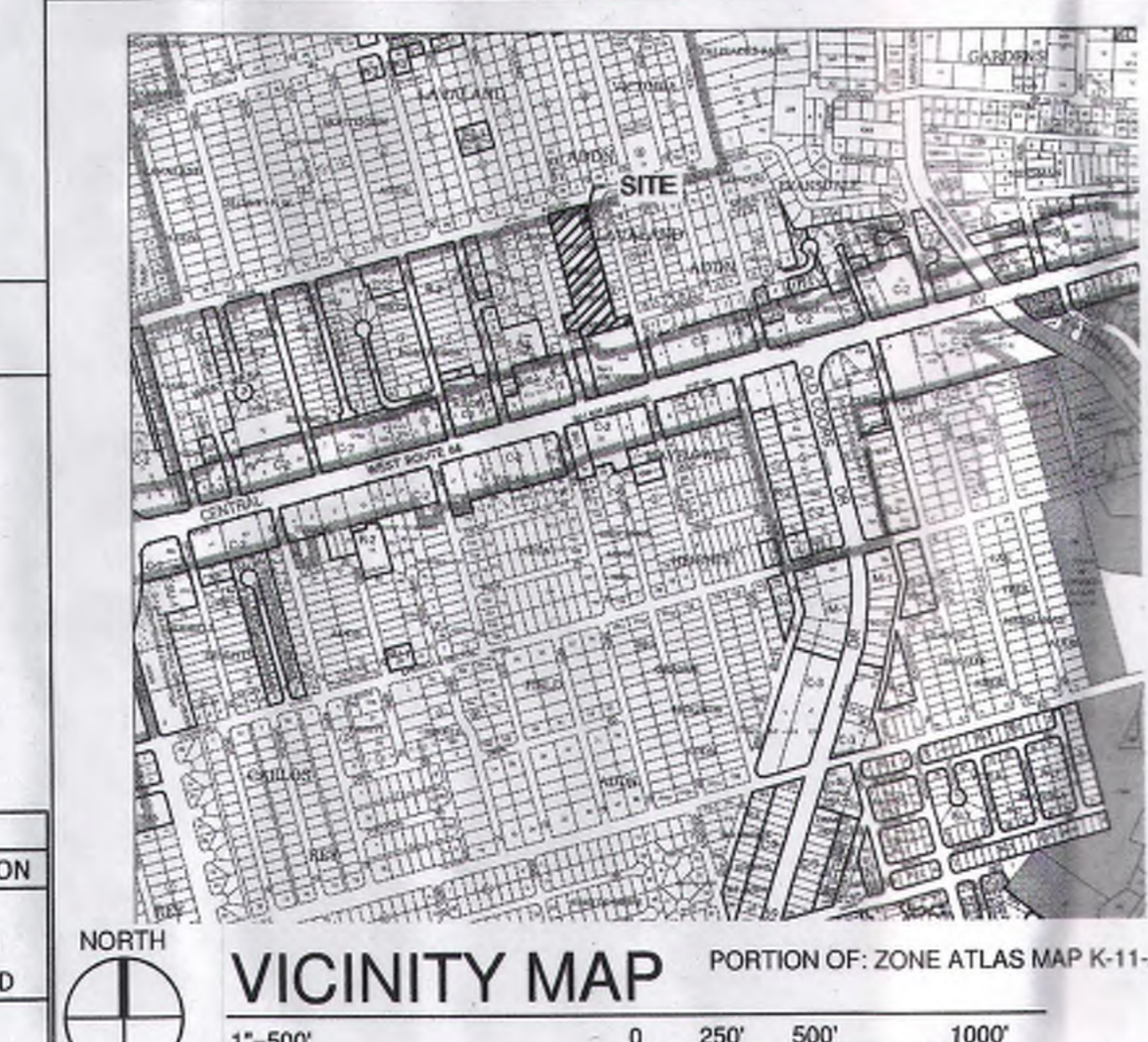
*Chris Williams* 8-25-15  
DATE

*Carl* 1-22-16  
DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT

### BUILDING DATA

Building	Heated NSF		Gross SF		UNIT MIX		TOTAL UNITS
	1 BD	2 BD	1 BD	2 BD	1 BD	2 BD	
Building A	8,607.4	10,978.1	8,607.4	10,978.1	6	6	0
Building B	2,824.6	3,174.0	2,824.6	3,174.0	2	2	4
Building C	7,838.0	8,549.2	7,838.0	8,549.2	0	4	6
Building D & E	4,168.0	4,688.2	4,168.0	4,688.2	4	2	0
Building F	8,336.0	9,376.4	8,336.0	9,376.4	1 BD	2 BD	3 BD
Building G	9,514.9	12,813.7	9,514.9	12,813.7	2	2	0
Total	38,127.5	44,523.2	38,127.5	44,523.2	16	16	0



### GENERAL SHEET NOTES

- A. SITE PLAN SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS
- B. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED
- C. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS
- D. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT, THE CITY OF ALBUQUERQUE ZONING CODE SECTION 14-16-9-9 AREA LIGHTING REGULATIONS, RE: LIGHT POLE DETAIL SHEET D1/SDP-1.2
- E. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE
- F. SEE UNIT DATA TABLE AND LANDSCAPE SHEET SDP-3.1 FOR OPEN SPACE CALCULATIONS
- G. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS & GUIDELINES
- H. ALL PARKING SPACES TO BE 9'-0" X 18'-0" UNO, RE: C3/SDP-1.2
- I. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER

### LEGEND

- PAINTED DIRECTIONAL ARROWS
- PEDESTRIAN POLE LIGHTS, 12" HIGH MAX, DARK BRONZE FINISH
- PARKING LOT LIGHT, 25" HIGH MAX AT PERIMETER PARKING, 16" HIGH MAX WITHIN 100' OF SINGLE FAMILY RESIDENTIAL NEIGHBORHOOD
- ONE STORY MULTIFAMILY BUILDING
- TWO STORY MULTIFAMILY BUILDING
- TWO STORY MULTIFAMILY & COMMUNITY BUILDING
- FIRE LANE STRIPPING AT CURB, RE: B1/SDP-1.2
- FIRE HYDRANT, RE: CONCEPTUAL UTILITIES PLAN
- FIRE DEPARTMENT CONNECTION (FDC), RE: CONCEPTUAL UTILITIES PLAN
- POST INDICATOR VALVE (PIV), BACK FLOW PREVENTER AND HOT BOX, RE: CONCEPTUAL UTILITIES PLAN

### PARKING

TOTAL PARKING AND ROAD AREA #SF

PARKING REQUIRED - PER OFF-STREET PARKING REG. 14-16-3-1

SPACES PER BATH	QUANTITY OF UNITS	UNITS < 1000SF	UNITS > 1000SF	PARKING SPACES REQUIRED
1.5	18	1.1		27
1.5	6	1.1A		9
1.5	8	2.1		12
2	2		2.2T	4
2	12	2.2P		24
2	2	2.2A		4
2	6		3.2	12
TOTAL UNITS				92
10% PARKING REDUCTION WITH A BUS STOP				9.2
TOTAL PARKING REQUIRED				82.8
TOTAL PROVIDED				83

ACCESSIBLE SPACES REQUIRED = 4, PROVIDED = 6  
MOTORCYCLE SPACES REQUIRED = 0, PROVIDED = 1  
BICYCLE PARKING REQUIRED = 27, PROVIDED = 30

### SHEET KEYED NOTES

1. PROPERTY LINE
2. PROPERTY SETBACK
3. COMMUNITY BUILDING, SEE BUILDING DATA BUILDING F
4. PEDESTRIAN CROSSING SIGN, RE: SDP-1.2
5. 8'-6" x 20' ADA PARKING STALL, RE: C3/SDP-1.2
6. 8'-6" x 20' ADA VAN ACCESS AISLE, RE: C3/SDP-1.2
7. 3'-6" x 20' ADA ACCESS AISLE, RE: C3/SDP-1.2
8. PAINTED ADA PAVEMENT SIGN
9. POLE MOUNTED ADA SIGN, RE: B2/SDP-1.2
10. TYPICAL MOTORCYCLE PARKING SPACE, 4'-0" x 8'-0", WITH POLE MOUNTED SIGNAGE, RE: B2/SDP-1.2
11. LANDSCAPED AREA, RE: LANDSCAPE PLAN SHEET SDP-2.1
12. 6' METAL FENCE, EXISTING TO REMAIN
13. EXISTING FIRE HYDRANT TO BE RELOCATED, RE: CONCEPTUAL UTILITIES PLAN
14. ADULT OUTDOOR FITNESS EQUIPMENT
15. EXTERIOR STAIR
16. EXISTING MASONRY WALL TO REMAIN
17. METAL BIKE RACK W/ CONCRETE SIDEWALK, PAINTED DARK GRAY, CAPACITY 10 BIKES PER RACK AREA, RE: A2/SDP-1.2
18. ACCESSIBLE PEDESTRIAN CROSSWALK
19. CONVENIENCE TRASH BIN AND ENCLOSURE, 6' HIGH SOLID MASONRY WALLS, RE: A1/SDP-1.2 SIMILAR
20. PRIMARY BUILDING ENTRY
21. DRAINAGE AREA, RE: CIVIL GRADING AND DRAINAGE PLAN SHEET SDP-3.1
22. 6" CONCRETE CURB
23. CONCRETE SIDEWALK, WIDTH AS NOTED
24. PERIMETER MASONRY WALL TO BE REPLACED WITH 6" SOLID MASONRY WALL, RETAINING AND/OR FENCE AS NEEDED BY GRADING PLAN PAINTED NEUTRAL EARTH TONE RE: A3/SDP-1.3
25. FIRE LANE, 20' WIDTH STANDARD
26. 20' TRASH COMPACTOR WITH 6' HIGH CMU ENCLOSURE WALL AND GATE, RE: A5/SDP-1.3
27. PLAYGROUND AREA AND EQUIPMENT AGES 5-12 WITH WARNING SIGN
28. STOP SIGN
29. CONCRETE WHEEL STOP
30. BENCH, BENCHES WILL BE ACCESSIBLE ALONG SIDEWALKS
31. MONUMENT SIGN, RE: C1/SDP-1.2
32. ACCESSIBLE GROUND FLOOR DWELLING UNIT
33. CLUSTER MAILBOXES
34. SHADE STRUCTURE
35. BBQ GRILL AND PICNIC TABLES
36. STEP IN BUILDING FINISHED FLOOR ELEVATION
37. CONCRETE ADA RAMP WITH 1:12 MAXIMUM SLOPE AND TRUNCATED DOMES PER COA STANDARD
38. PATIO FURNITURE
39. COMPACTED GRAVEL PATH, RE: LANDSCAPE PLAN
40. SOLID MASONRY RETAINING WALL, PAINTED, RE: A3/SDP-1.2
41. DWELLING UNIT PATIO
42. EXISTING POWER POLE TO REMAIN, RE: CONCEPTUAL UTILITIES PLAN
43. EXISTING FIRE LANE STRIPPING ON CURB RE: B1/SDP-1.2
44. CONCRETE SEAT WALLS AT 18" HIGH
45. PEDESTRIAN SWING GATE W/ LOCK
46. MASONRY WALL W/ STEEL PICKET DESIGN, DESIGN TO COMPLIMENT EXISTING NEIGHBORHOOD WALLS AND MEET COA STANDARDS AND REGULATIONS RE: C2/SDP-1.2
47. 6 FT WIDE PATTERNED AND INTEGRALLY COLORED CONCRETE CROSSWALK PAVING
48. PAINTED FIRE LANE STRIPPING ON CURB RE: B1/SDP-1.2
49. DOWNSPOUT LOCATION
50. VAN ACCESSIBLE PARKING WITH POLE MOUNTED SIGN, RE: DETAIL B2/SDP-1.2
51. CONNECT NEW CONCRETE SIDEWALK TO BE FLUSH AND ALIGNED WITH THE EXISTING SIDEWALK
52. SIGHT TRIANGLE, 7' LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 9' (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.

### SITE DATA

SITE ADDRESS: 5710 57TH STREET NW, ALBUQUERQUE, NM

LEGAL DESCRIPTION: Tract c-8-B, Town of Atrisco Grant, Airport Unit, as the same is shown on the plat thereof, filed Feb. 6, 2012, in Plat Book 2012C, Page 14, AND, Lots 5 and 8, Torres Addition, as the same is shown on the plat thereof, filed April 1, 1947, in volume, And, Vacated Portion, of Esperanza Drive, N.W. as the same is shown on the plat filed November 18, 1947, in Volume A1, Folio 80.

ACRES: 3.651 AC (159,037.56 SF)

DEVELOPMENT PLANS: WEST MESA SECTOR PLAN, AREA PLAN: WESTSIDE STRATEGIC PLAN

ZONING SUMMARY: ZONE CHANGE PROPOSED FROM R-1 TO SU-1 FOR R2 USES AND COMMUNITY CENTER

CONSTRUCTION TYPE: VB, FULLY SPRINKLERED

DENSITY: PERMITTED 30 DU PER AC, ACTUAL 14.8 DU PER AC, RE: UNIT DATA

FLOOR AREA RATIO: FAR OF .5 PERMITTED, FAR OF .31 ACTUAL, RE: BUILDING DATA

BUILDING SETBACKS:  
15' FRONT SETBACK  
10' SIDE SETBACK AT STREET SIDE  
5' SIDE SETBACK AT INTERNAL PROPERTY LINE  
15' REAR SETBACK

BUILDING HEIGHT: HEIGHT UP TO 26' PERMITTED AT ANY LEGAL LOCATION. HEIGHT OVER 26' SHALL FALL WITHIN 60 DEGREE ANGLE - INTERNAL BOUNDARY HEIGHT OVER 26' SHALL FALL WITHIN 60 DEGREE ANGLE - R.O.W. CENTERLINE SOLAR ACCESS PROTECTION, NORTHERN BOUNDARY MUST: HEIGHT OVER 26' SHALL FALL WITHIN 45 DEGREE ANGLE - INTERNAL BOUNDARY HEIGHT SHALL NOT EXCEED 26' WITHIN 85' OF LOT ZONED FOR HOUSES

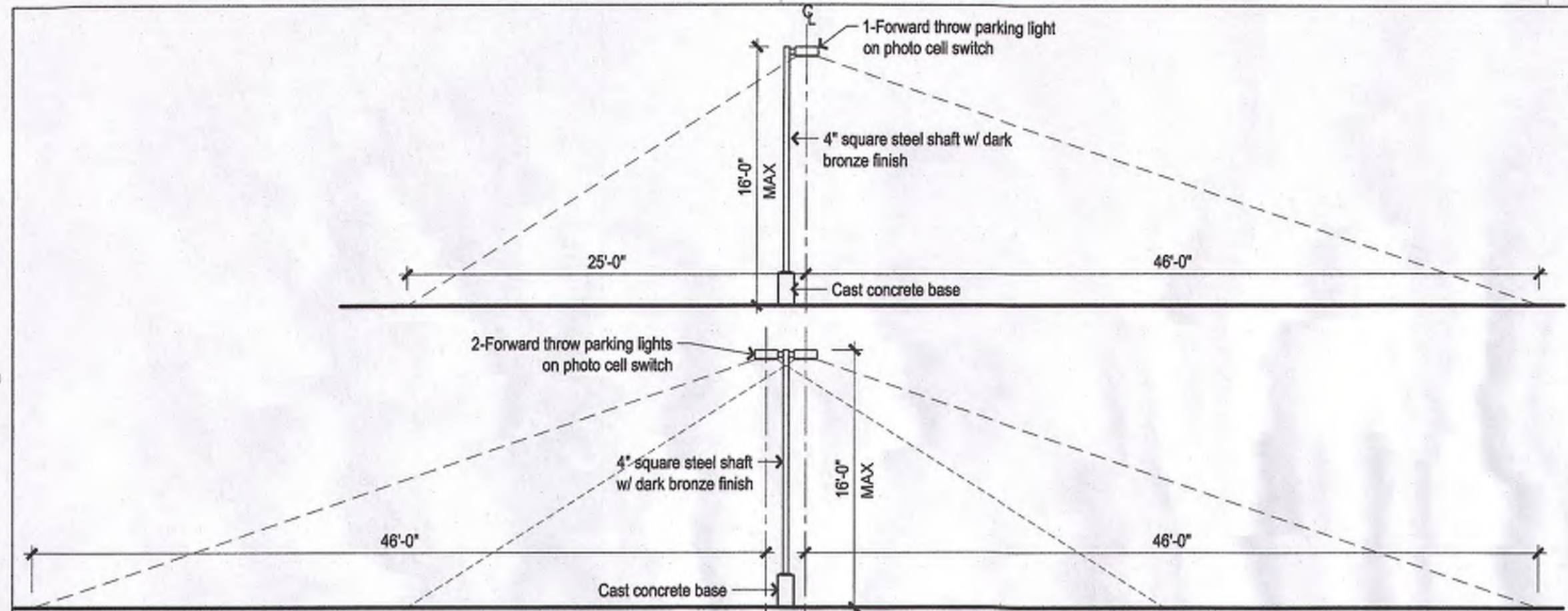
PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS  
CENTRAL AVENUE AT 57TH STREET PROVIDES THE MAJOR SIGNALIZED ACCESS INTO THE GENERATIONS AT WEST MESA DEVELOPMENT. PRIMARY PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS FROM AVALON ROAD NW, PEDESTRIAN INGRESS AND EGRESS IS ALSO AVAILABLE FROM THE COMMUNITY GARDEN ALONG 58TH STREET NW.

BIKEWAY AND TRAIL ACCESS  
BICYCLE ACCESS IS PROVIDED BY A BIKE WAY ON CENTRAL AVENUE, A BIKE PATH ON YUCCA DRIVE NW 3BLOCKS TO THE EAST OF THE SITE, AND ON BLUEWATER ROAD NW 1 BLOCK NORTH OF THE SITE.

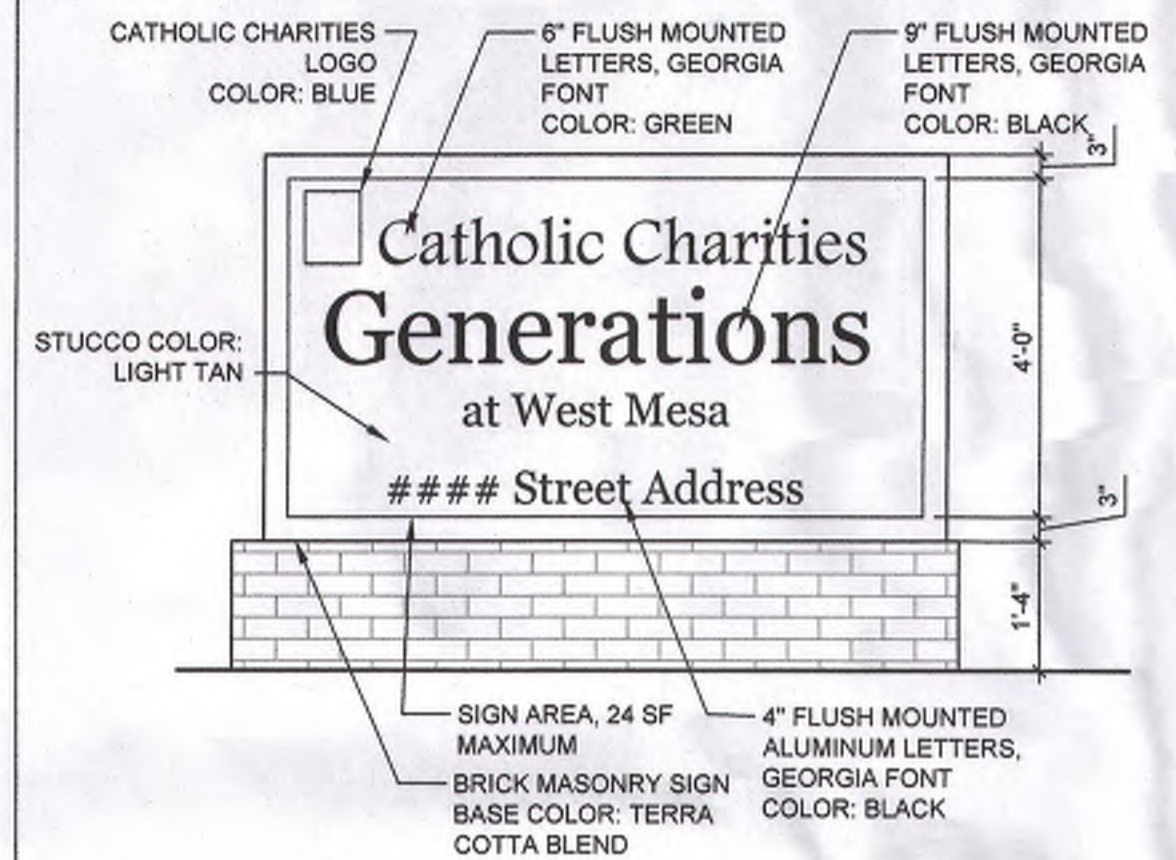
TRANSIT ACCESS  
CENTRAL BOULEVARD IS A DESIGNATED MAJOR TRANSIT CORRIDOR WITH REGULAR DAILY BUS ROUTES AND DAILY RAPID RIDE ROUTE.

UNIT DATA

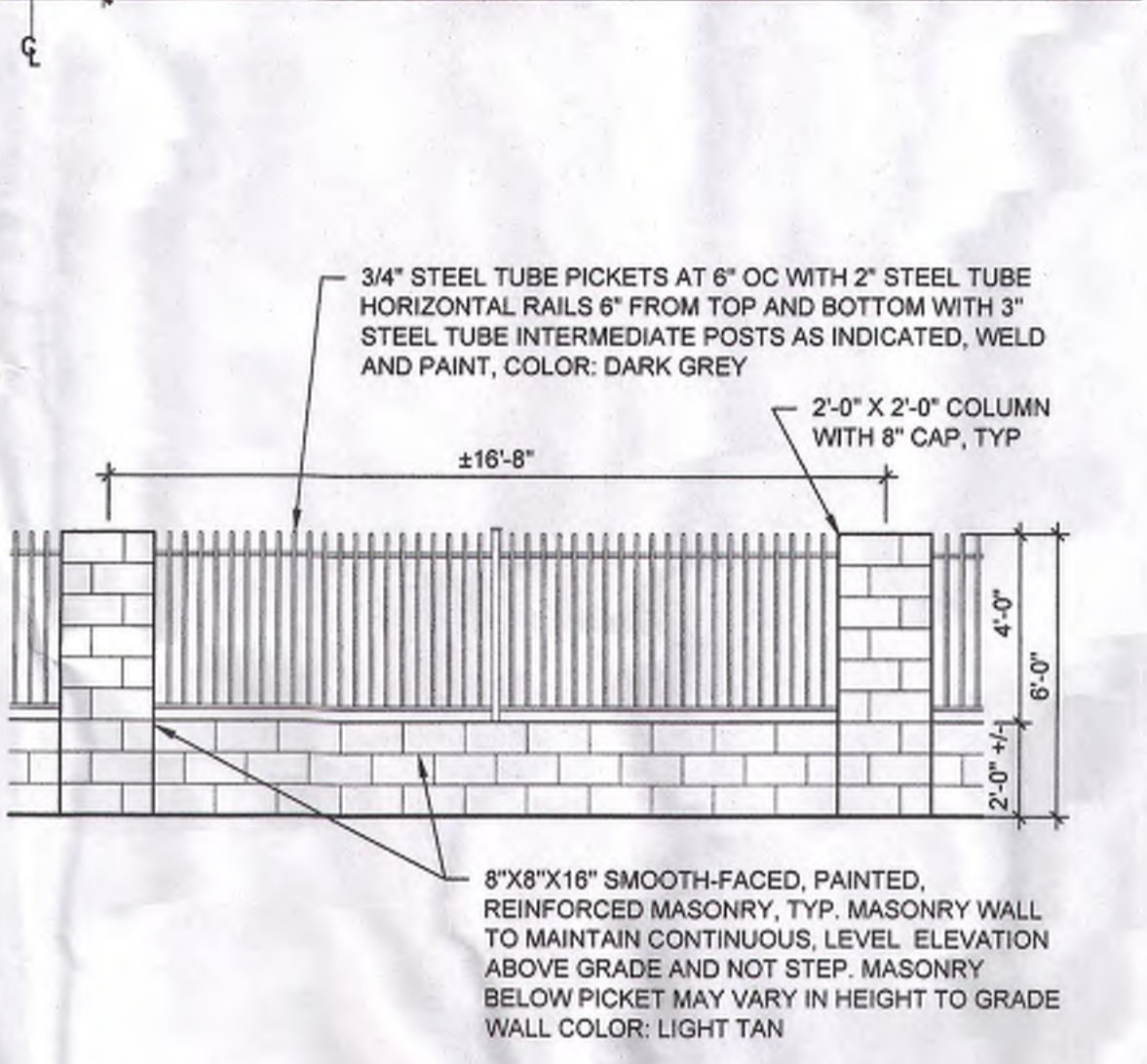
QUANTITY	UNIT TYPE	BD/BA QUANTITY	GROSS SF.	NET SF.	OPEN SPACE REQUIRED PER UNIT	TOTAL OPEN SPACE REQUIRED	TOTAL OPEN SPACE PROVIDED
8	1A-HC	180/18A	597.4	584.4	400	3,200	
2	2A-HC	280/18A	841.7	826.9	500	1,000	
2	2C-HC	280/28A	1,011.6	997.2	500	1,000	
9	2B	280/18A	841.7	826.9	500	4,500	
2	2C-HC	280/28A	1,011.6	997.2	500	1,000	
9	2D	280/28A	911.6	896.8	500	4,500	
2	2E	280/28A	1,159.2	1,046.4	500	1,000	
6	3	380/28A	1,162.8	1,151.1	600	3,600	
54	TOTAL UNITS					25,200	58,600



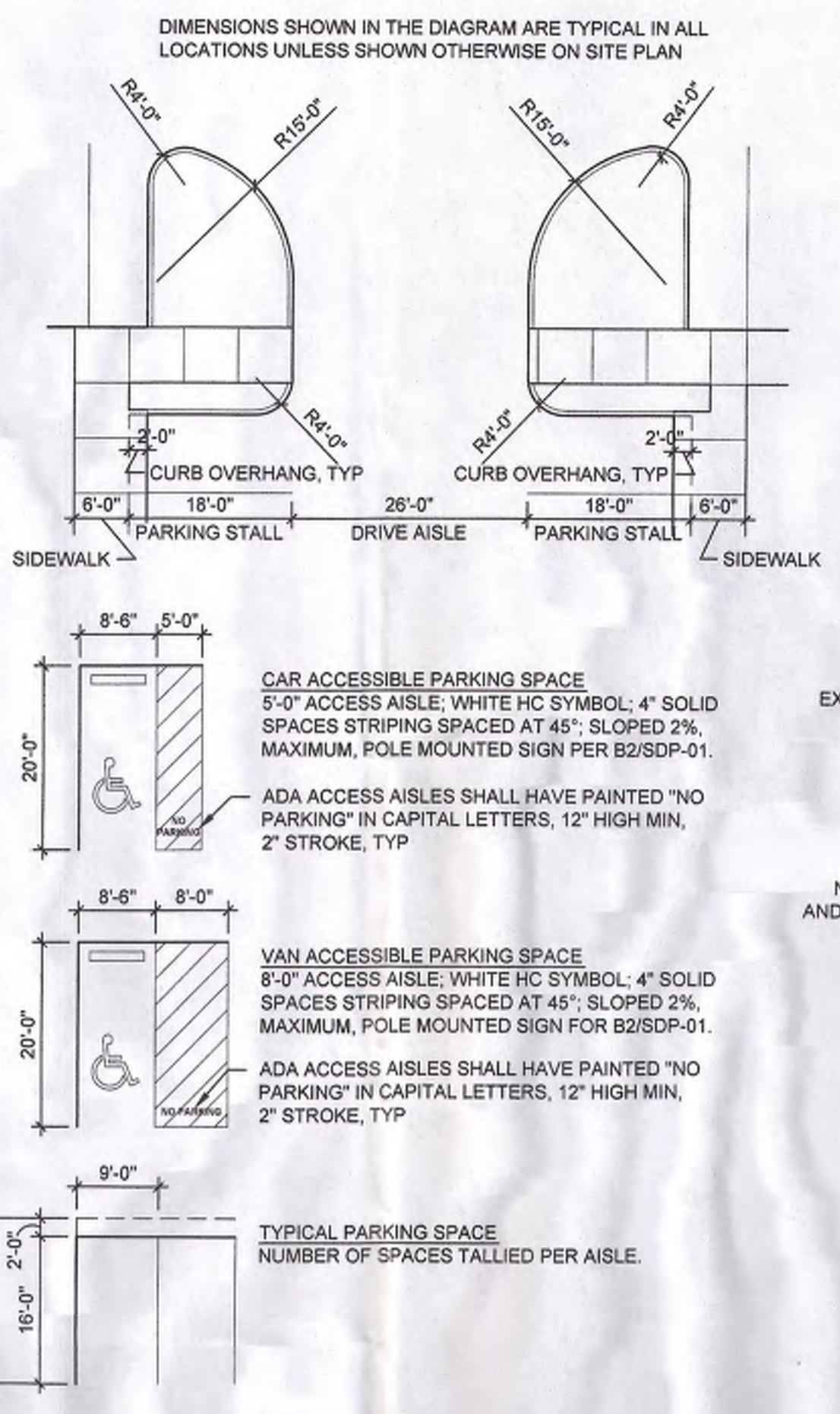
D1 16 FT LIGHT POLE 1/8" = 1'-0"



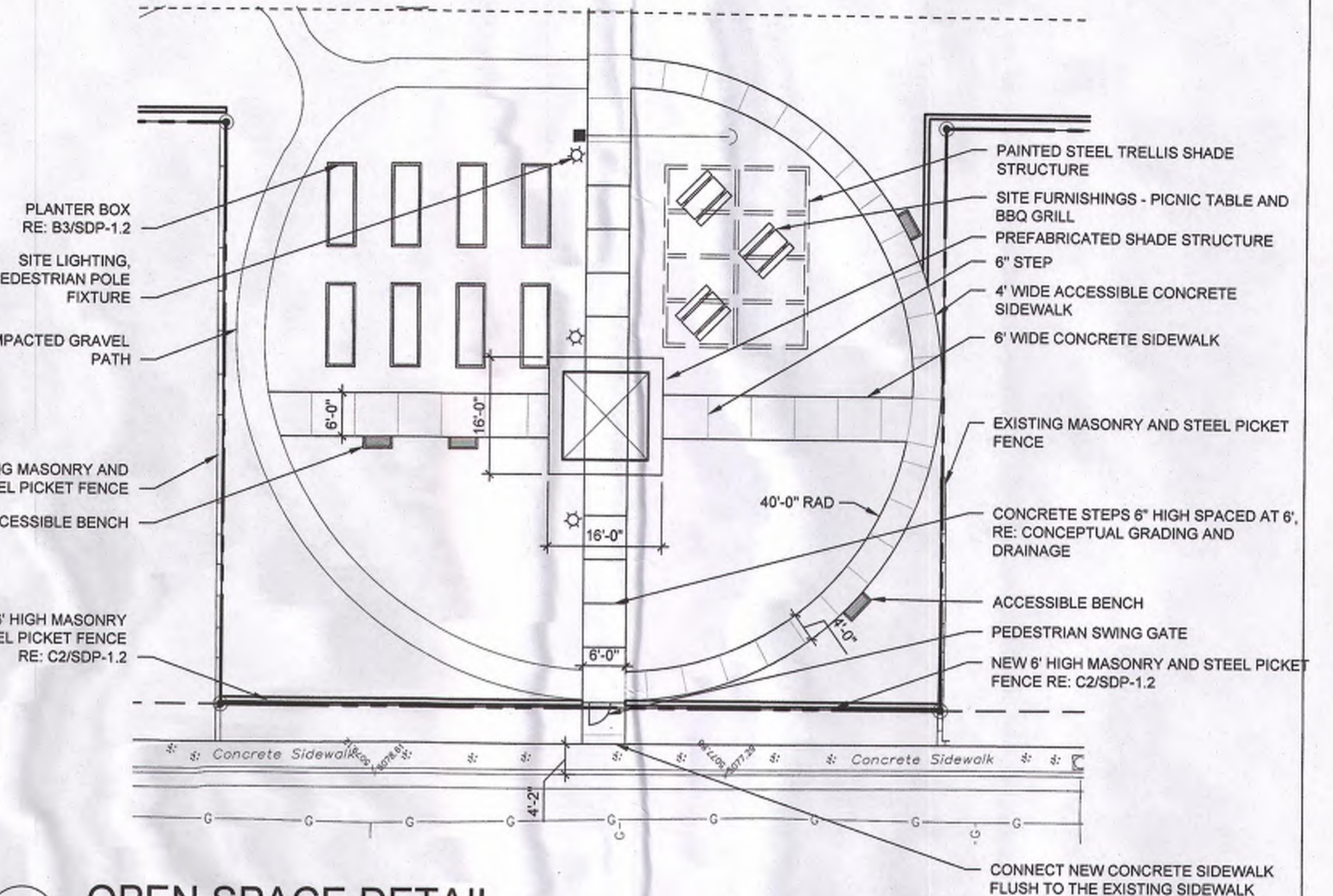
C1 MONUMENT SIGN 1/2" = 1'-0"



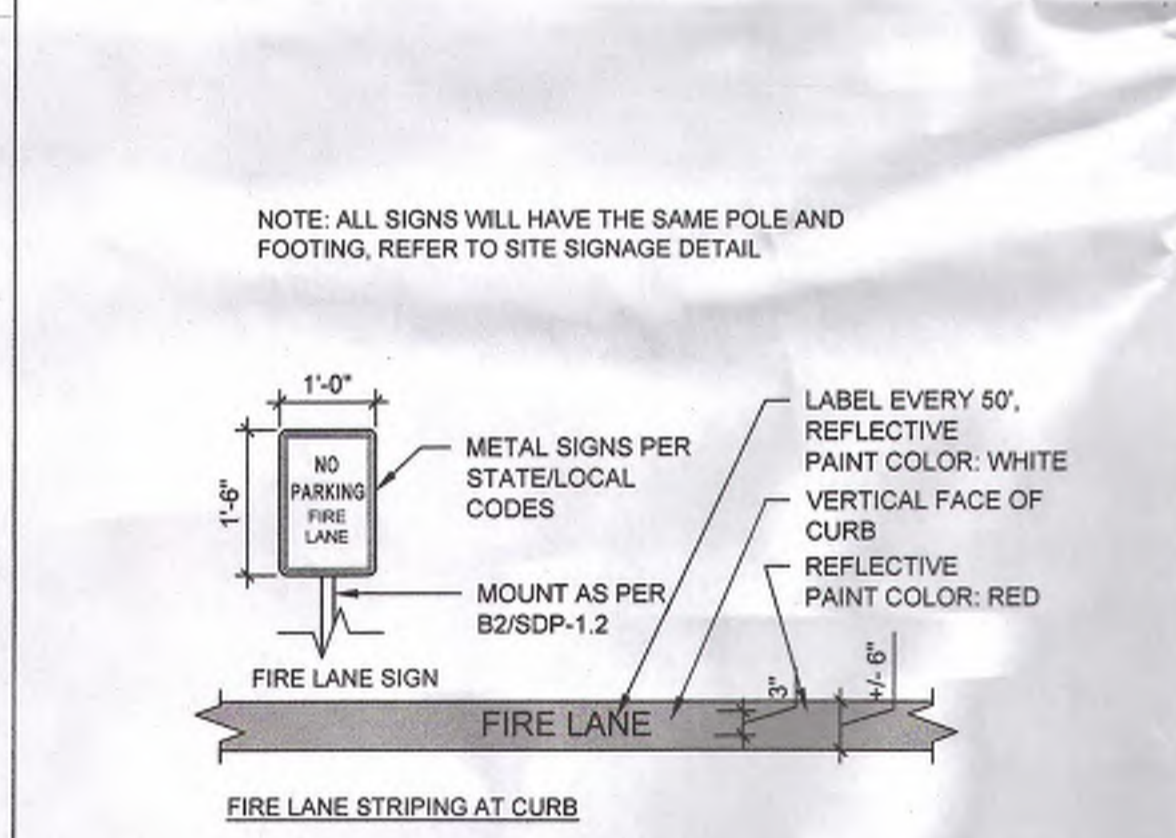
C2 MASONRY & PICKET FENCE 1/4" = 1'-0"



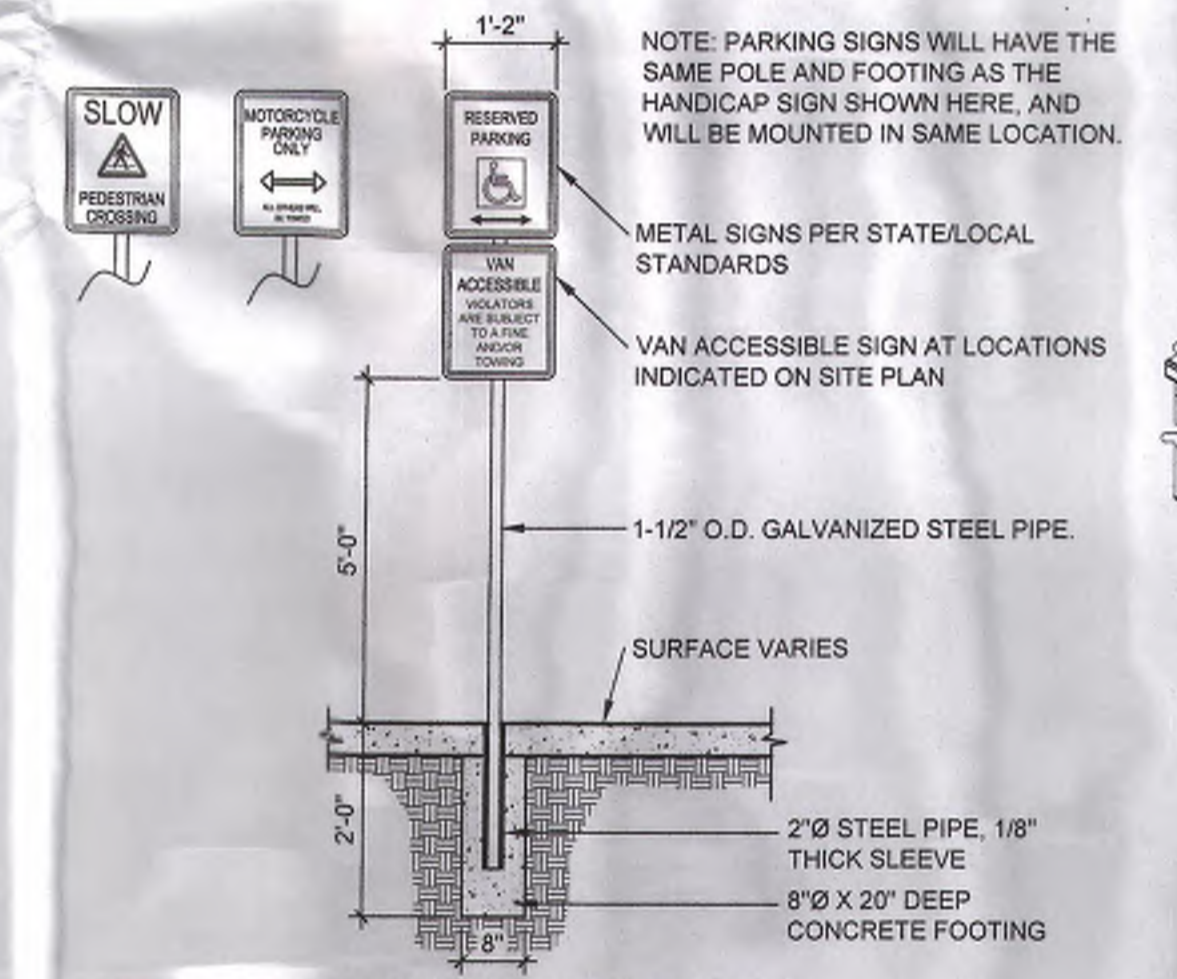
C3 TYP. PARKING DIMENSIONS 1/4" = 1'-0"



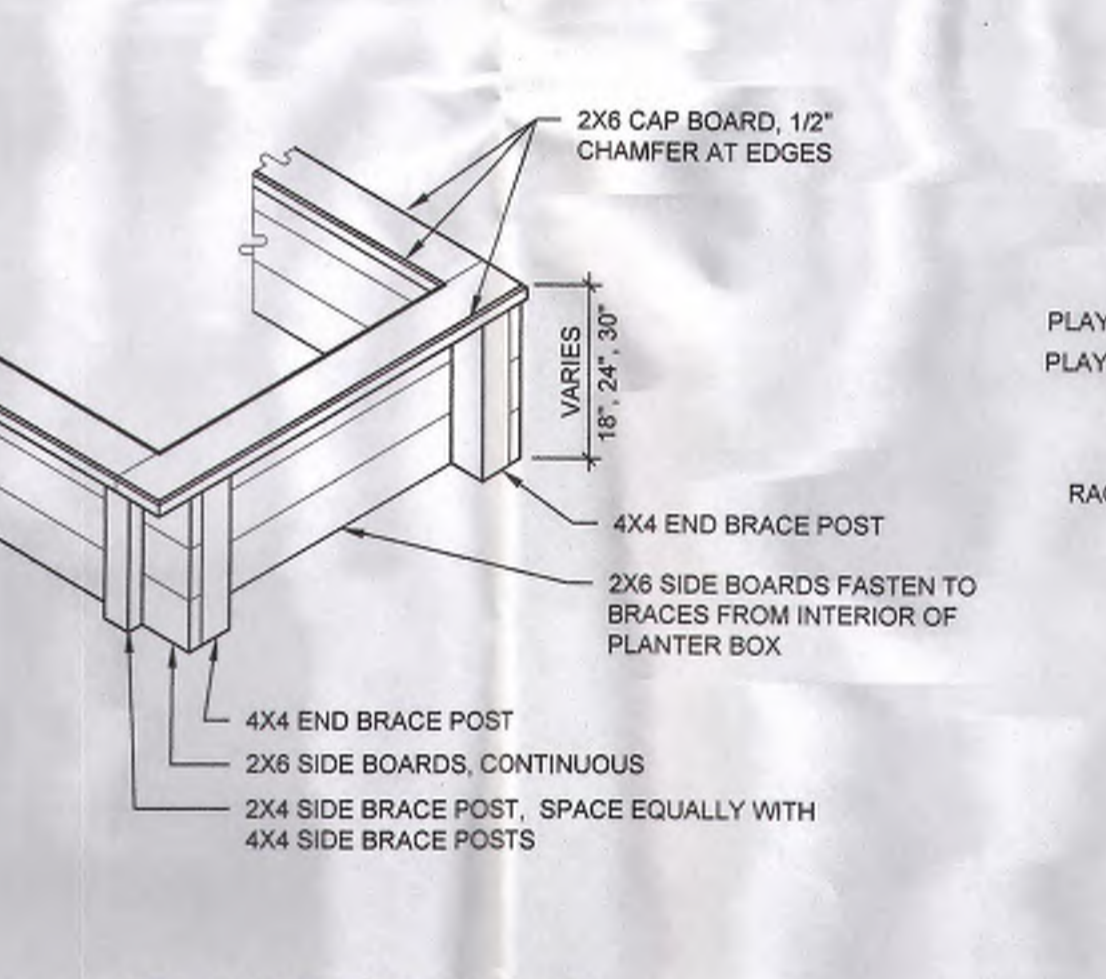
C4 OPEN SPACE DETAIL 1/16" = 1'-0"



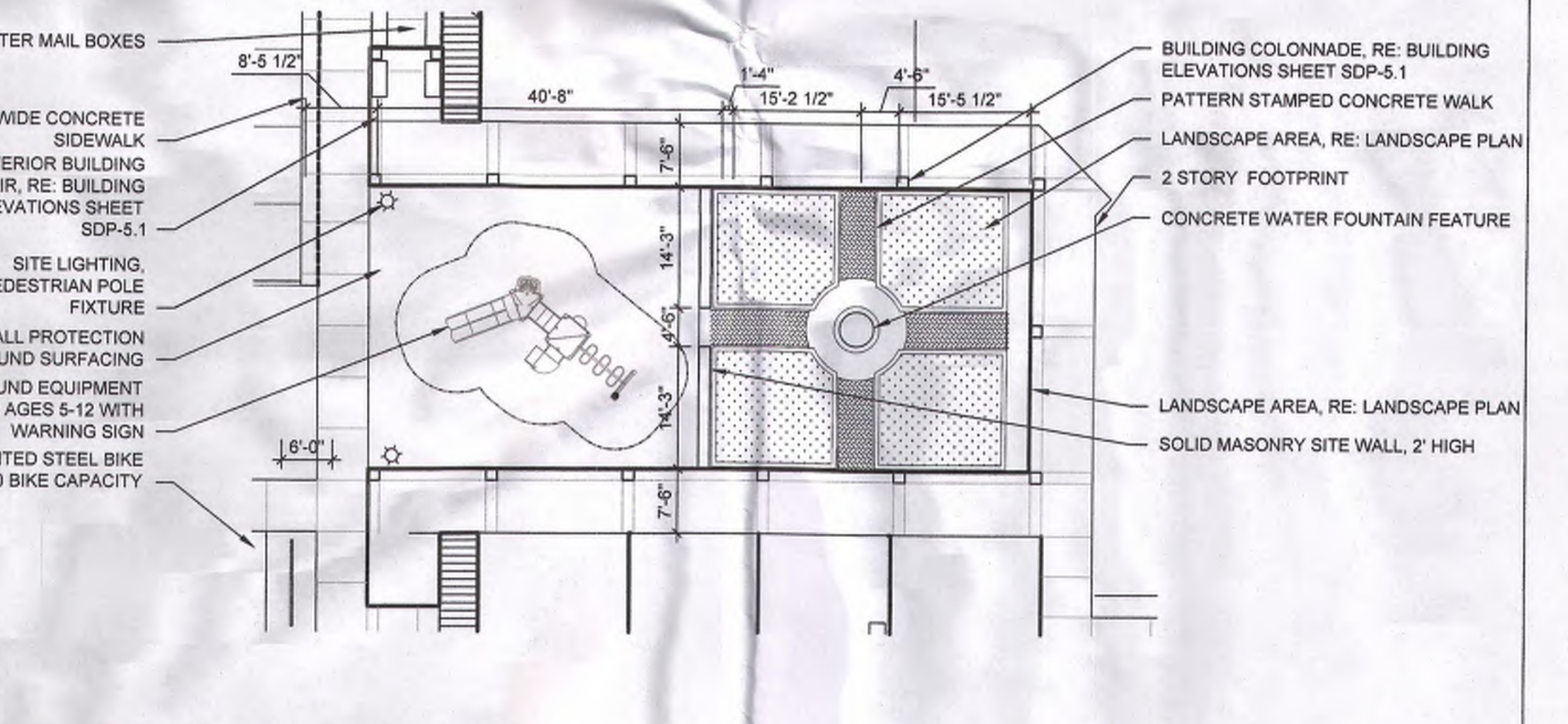
B1 FIRE LANE STRIPING AND SIGNAGE 1/2" = 1'-0"



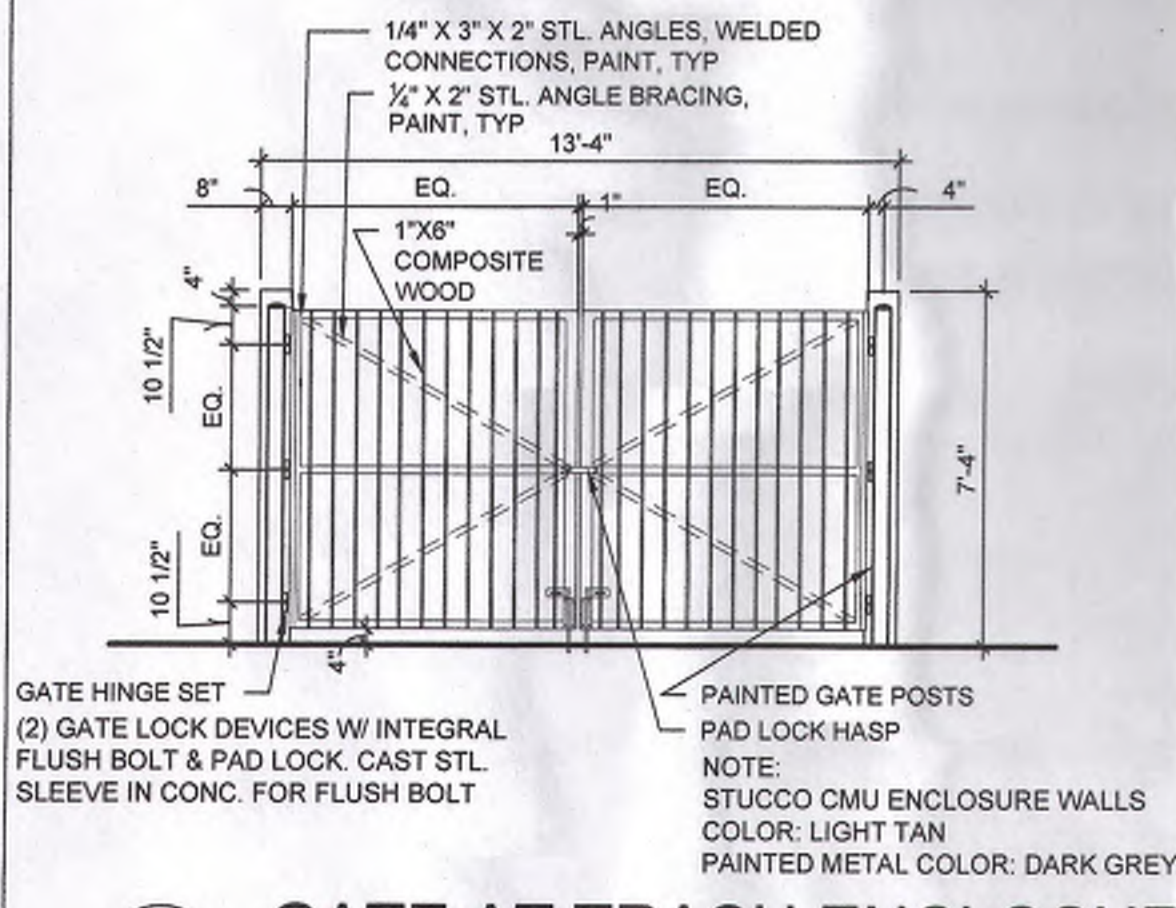
B2 PARKING SIGNS 1/2" = 1'-0"



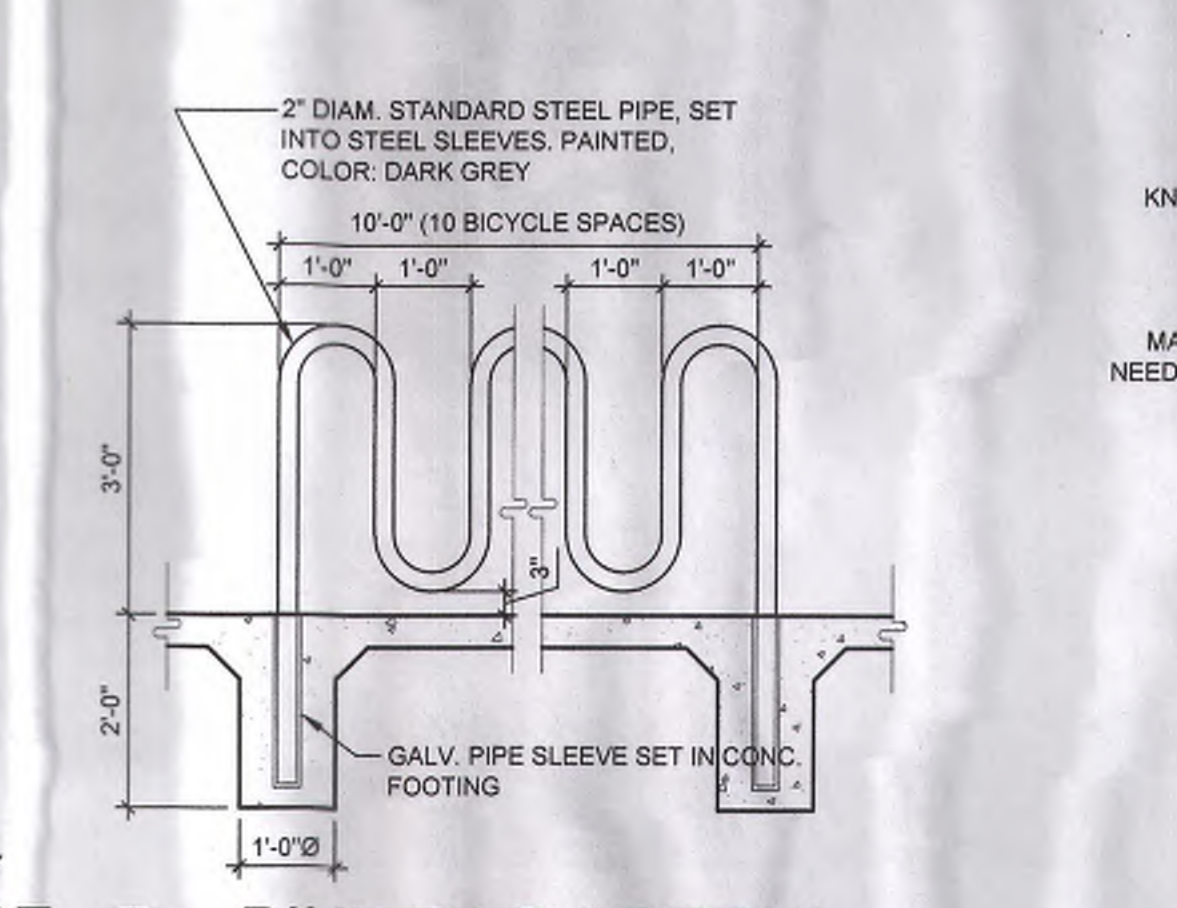
B3 PLANTER BOX 1/2" = 1'-0"



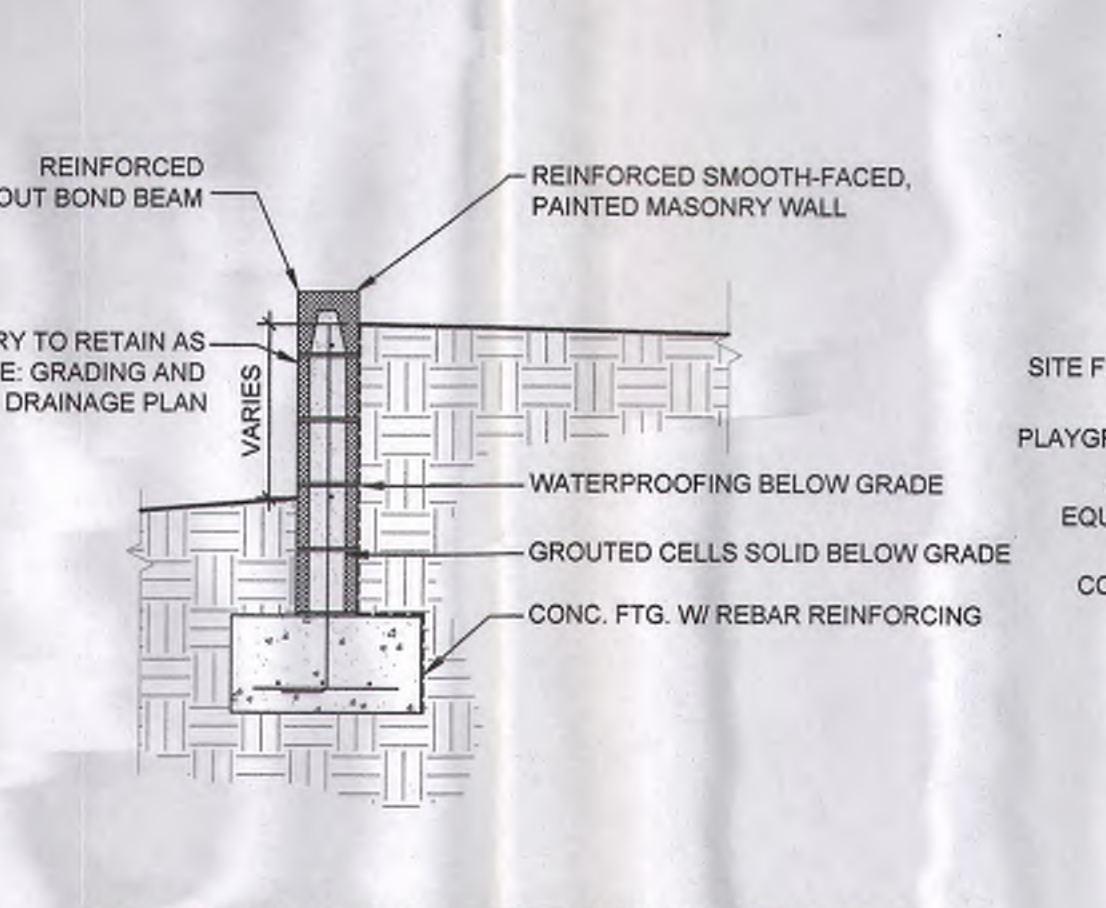
B4 COURTYARD DETAIL 1/16" = 1'-0"



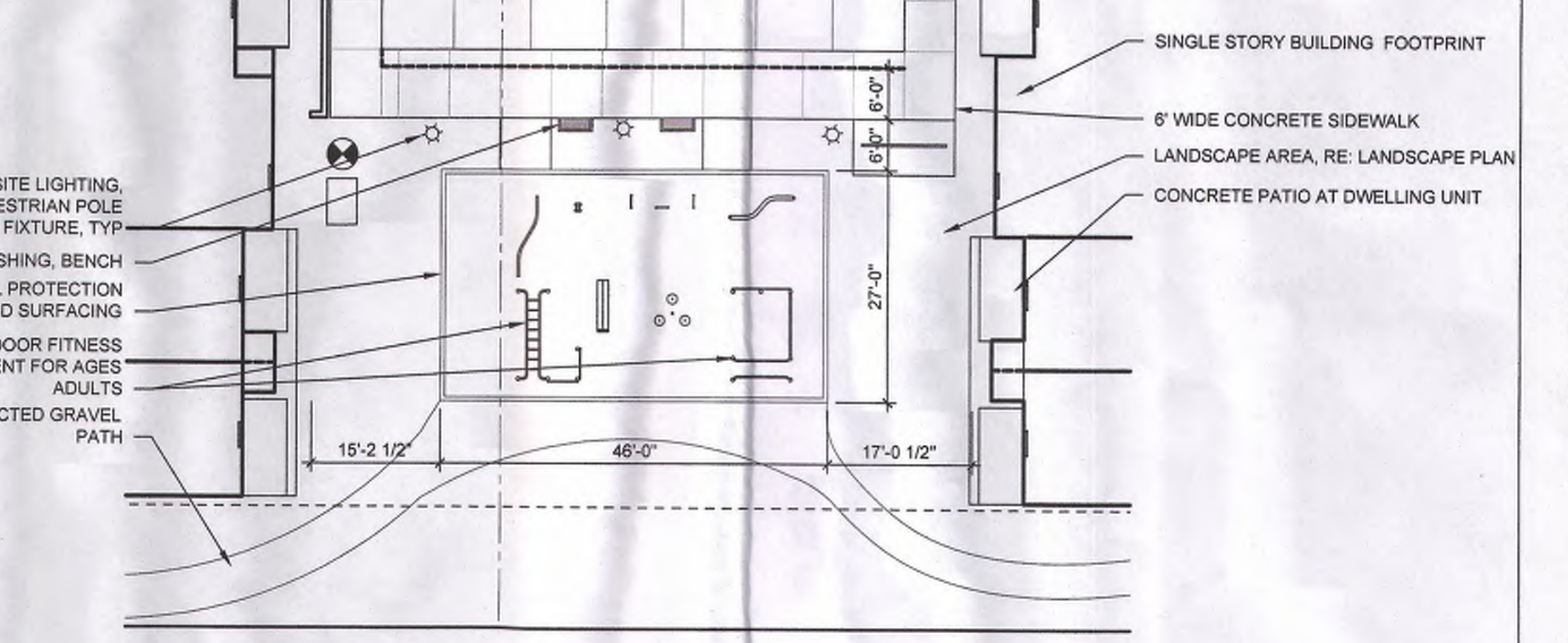
A1 GATE AT TRASH ENCLOSURE 1/4" = 1'-0"



A2 BIKE RACK DETAIL 1/2" = 1'-0"



A3 MASONRY RETAINING WALL 1/2" = 1'-0"



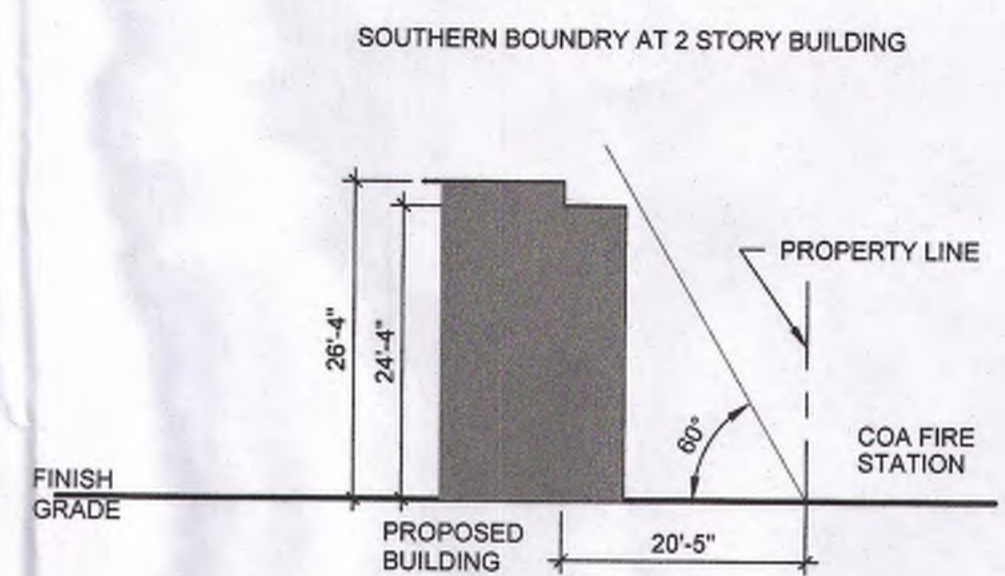
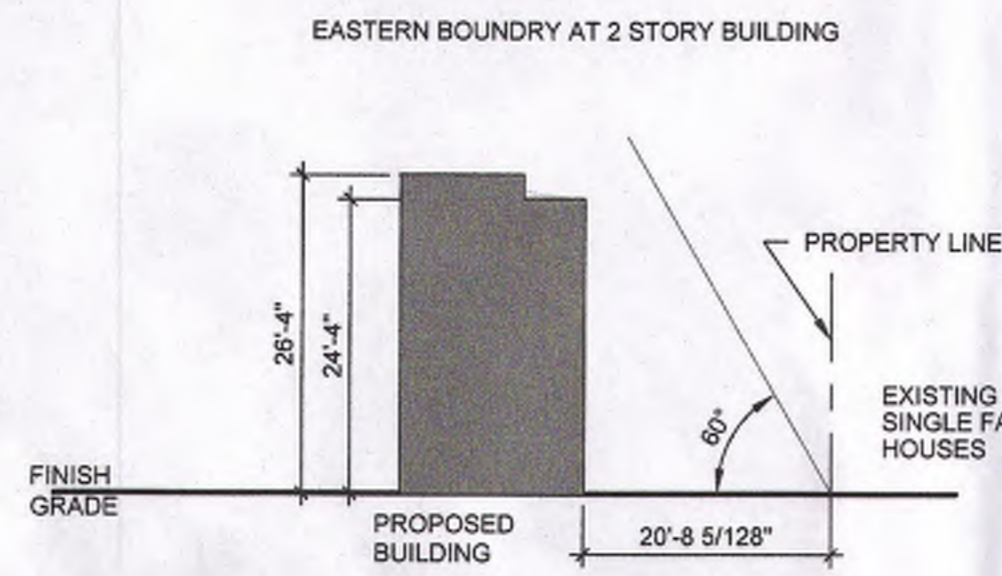
A4 FITNESS AREA DETAIL 1/16" = 1'-0"

REVISIONS

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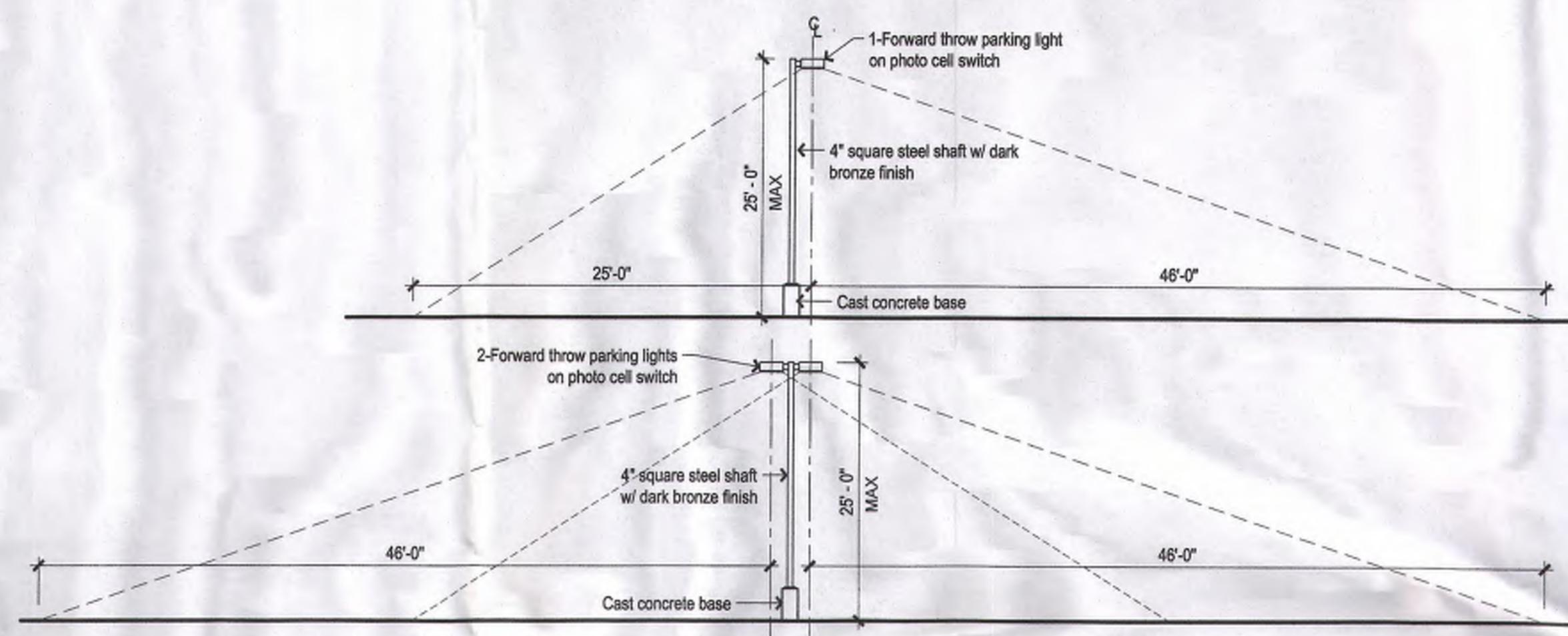
DRAWN BY	MJH
REVIEWED BY	RAW
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DRAWING NAME PROJECT DETAILS



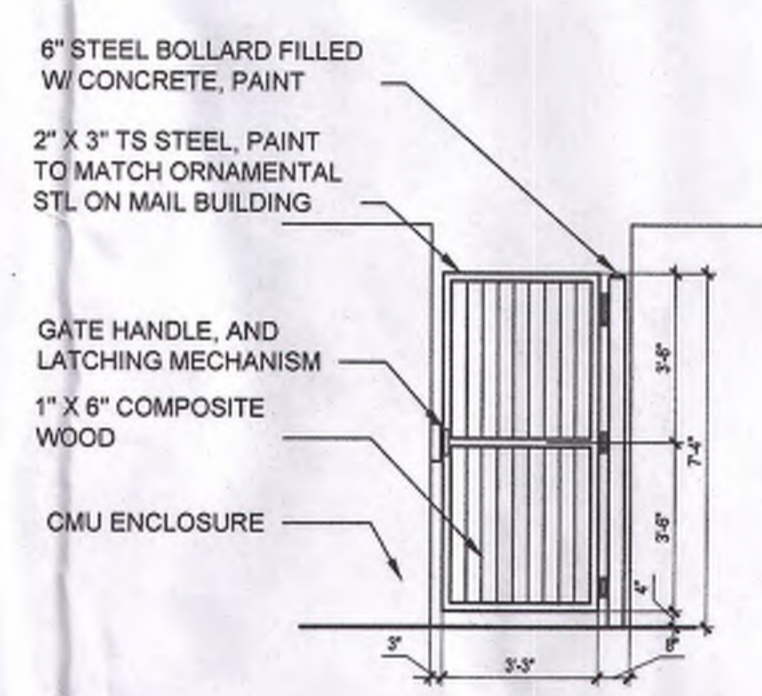
**D4 ANGLE PLANE DETAIL EAST PROPERTY LINE**  
1/16" = 1'-0"  
0 8' 16' 32'

NOTE: CONDITIONS VARY ON SITE AT MULTIPLE BUILDINGS. DIMENSIONS FROM BUILDING TO PROPERTY LINE ARE AT CONDITIONS WITH THE SHORTEST DISTANCE.



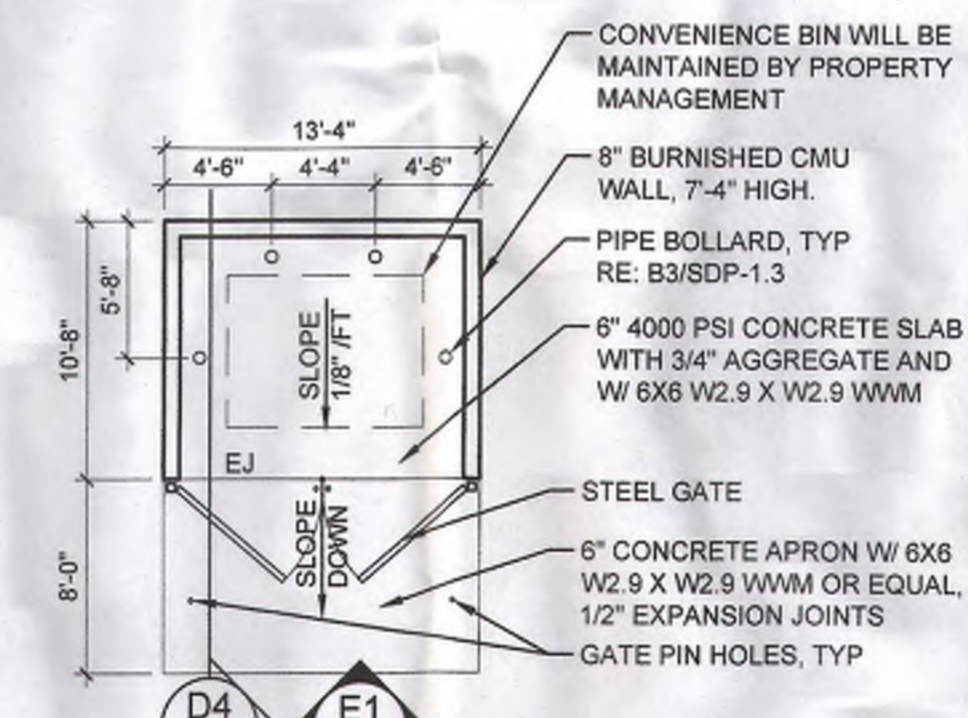
**D2 25 FT LIGHT POLE**  
1/8" = 1'-0"  
0 4' 8' 16'

NOTE: NO LIGHT POLE OVER 16' SHALL FALL WITHIN 100' OF ABUTTING RESIDENTIAL ZONE

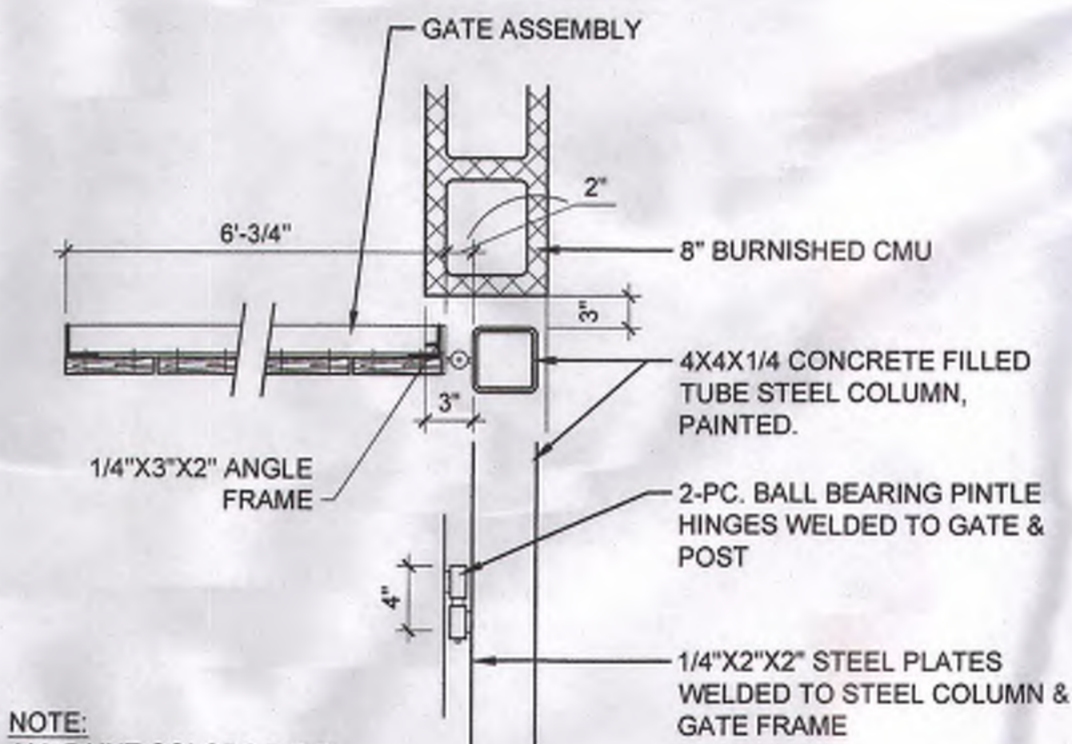


**C5 GATE ELEVATION**  
1/4" = 1'-0"  
0 2' 4' 8'

NOTE: STUCCO CMU AT ENCLOSURE WALLS  
COLOR: LIGHT TAN  
PAINTED METAL COLOR: DARK GREY

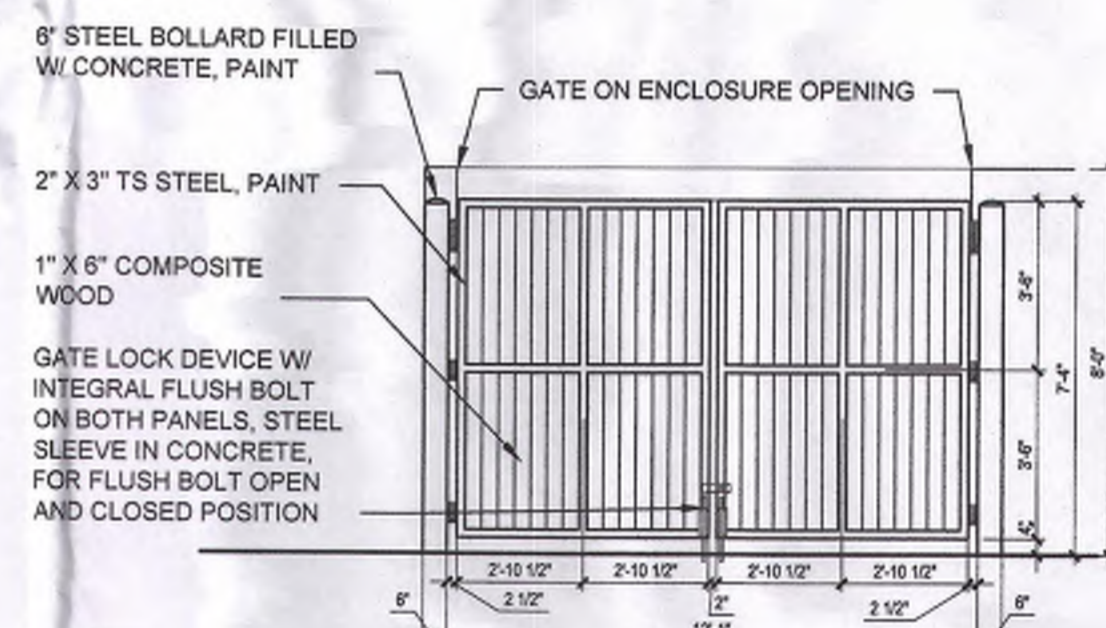


**C3 CONVENIENCE TRASH ENCLOSURE**  
1/8" = 1'-0"  
0 4' 8' 16'



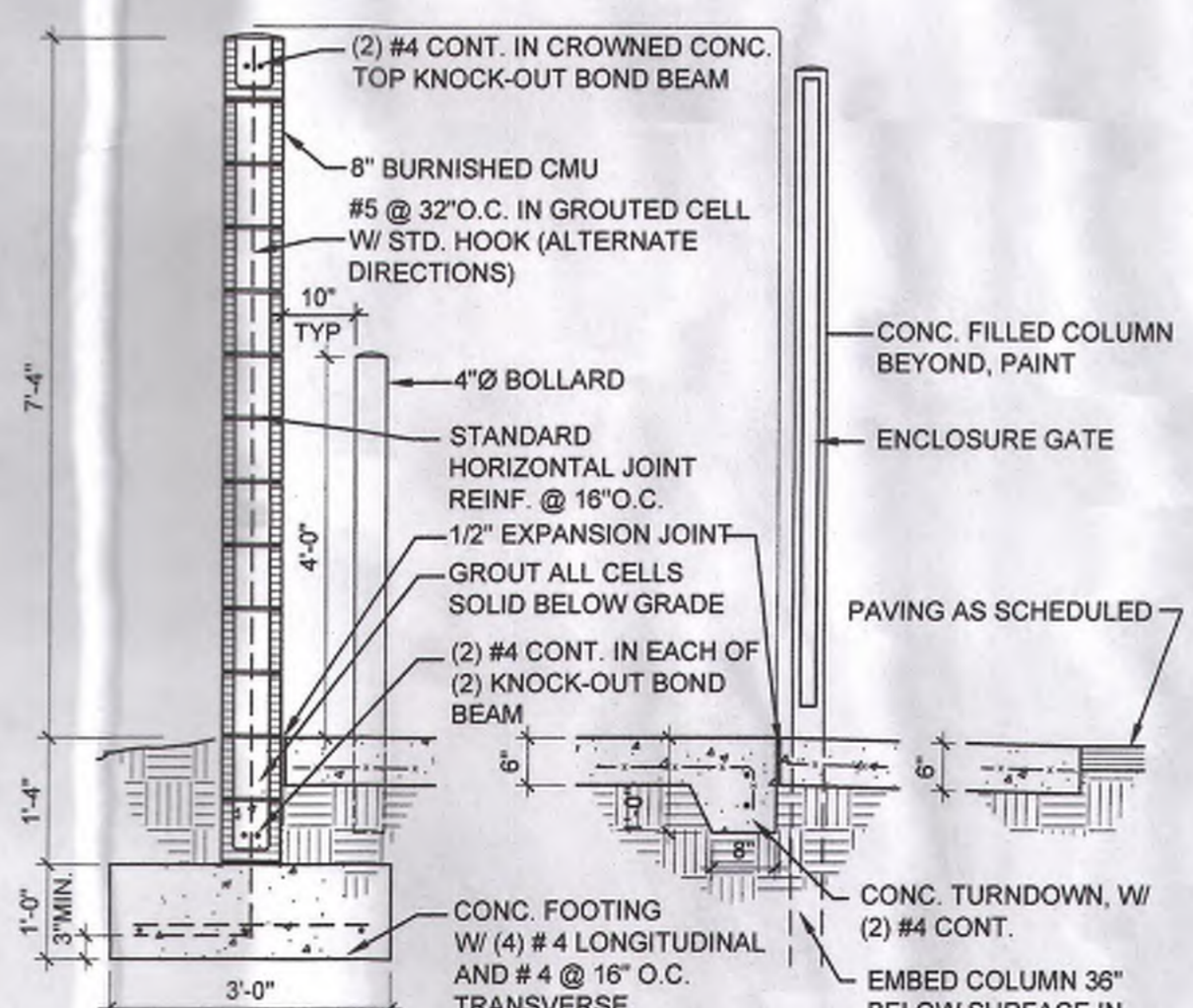
**B3 CORNER DETAIL**  
1" = 1'-0"  
0 1/2' 1' 2'

NOTE: ALL PAINT COLORS T.B.D.

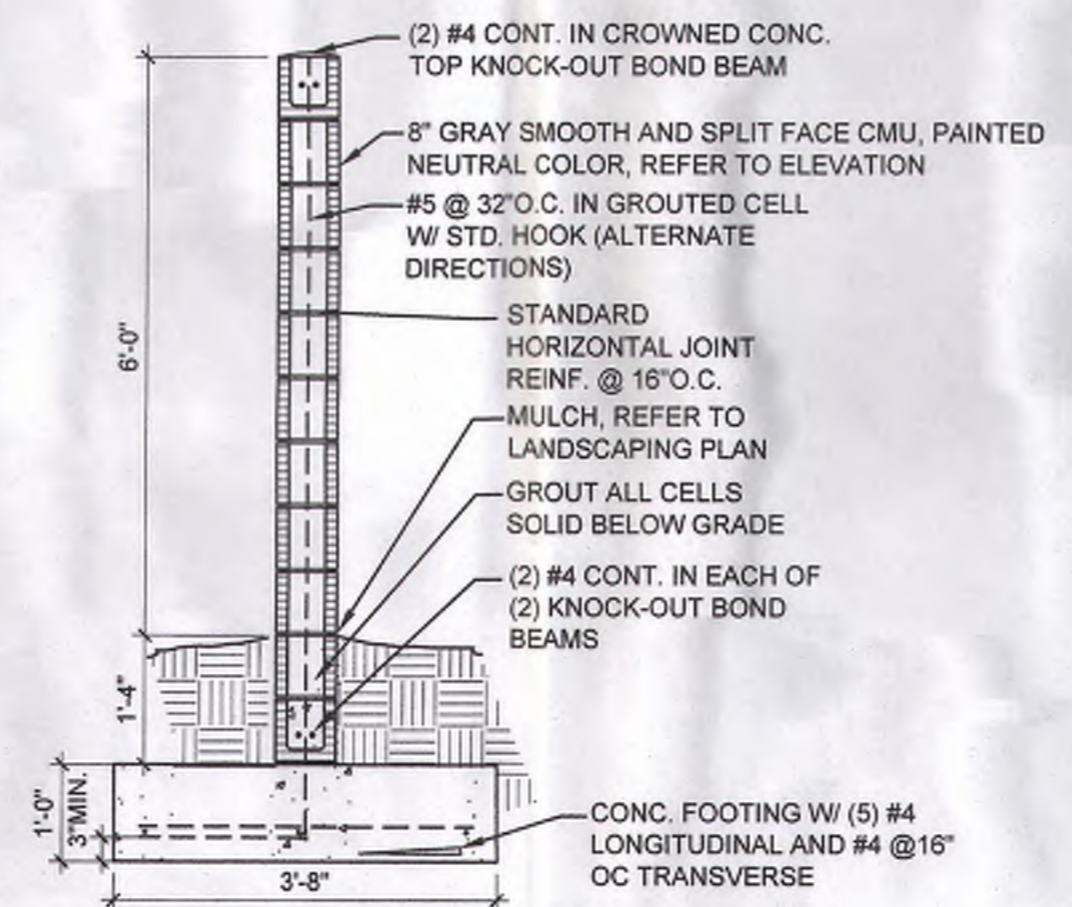


**B5 GATE ELEVATION**  
1/4" = 1'-0"  
0 2' 4' 8'

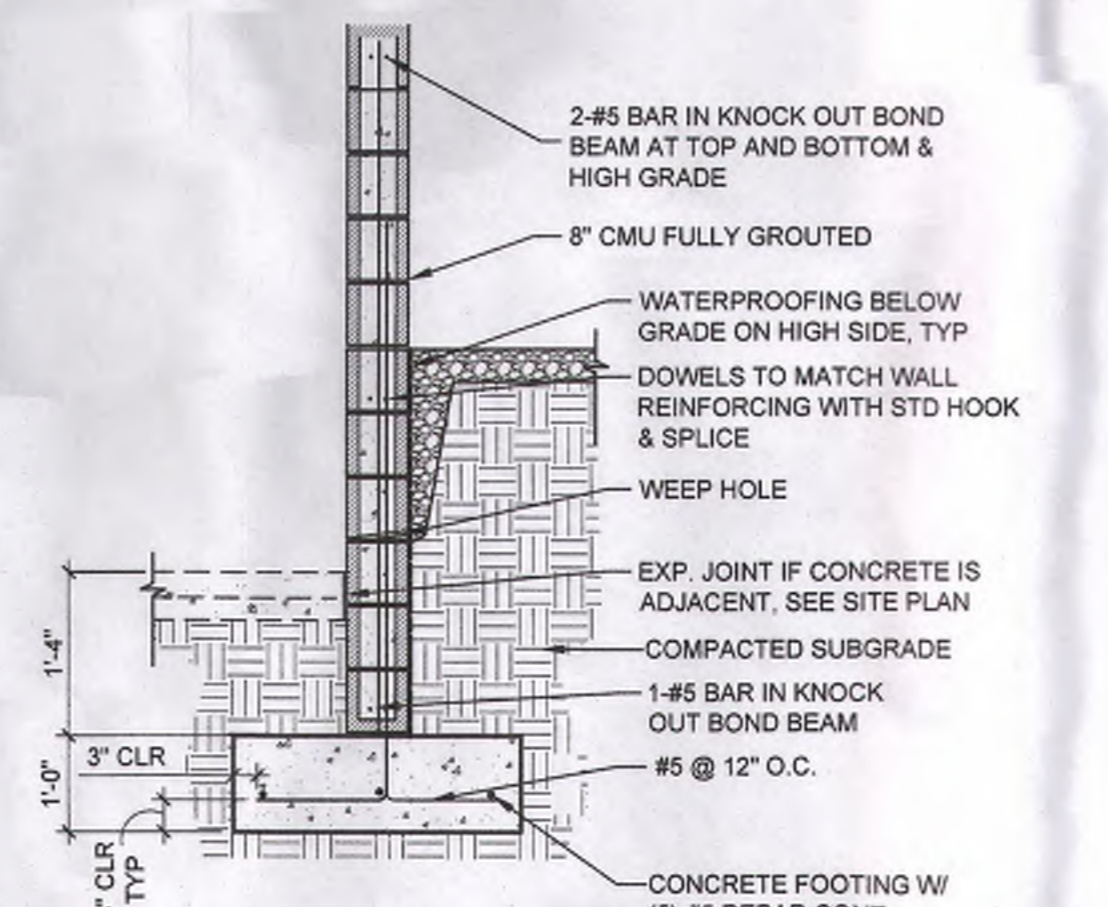
NOTE: STUCCO CMU AT ENCLOSURE WALLS  
COLOR: LIGHT TAN  
PAINTED METAL COLOR: DARK GREY



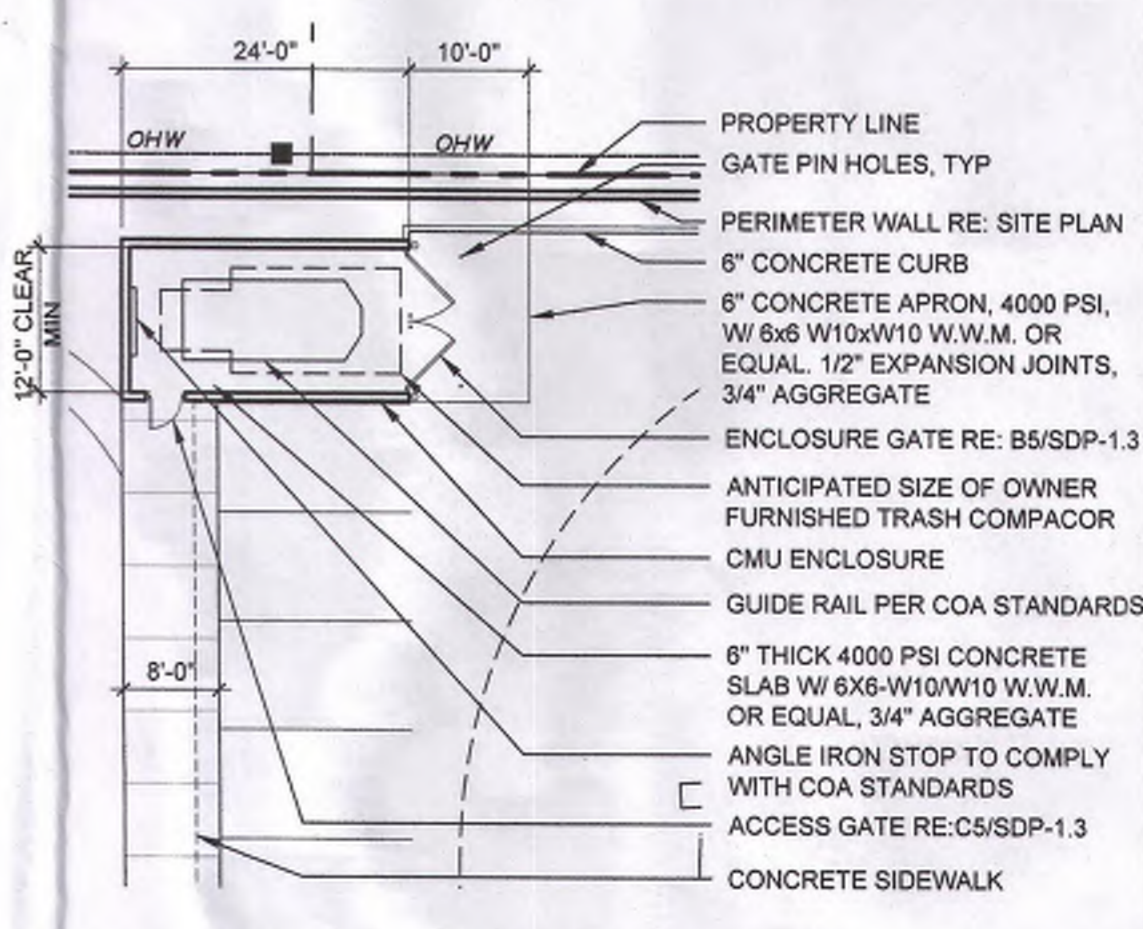
**A2 REFUSE ENCLOSURE SECTION**  
1/2" = 1'-0"  
0 1' 2' 4'



**A3 CMU WALL SECTION**  
1/2" = 1'-0"  
0 1' 2' 4'



**A4 CMU RETAINING WALL**  
1/2" = 1'-0"  
0 1' 2' 4'



**A5 TRASH ENCLOSURE DETAIL**  
1/16" = 1'-0"  
0 8' 16' 32'

**DEKKER  
PERICH  
SABATINI**

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57TH STREET AND CENTRAL AVE  
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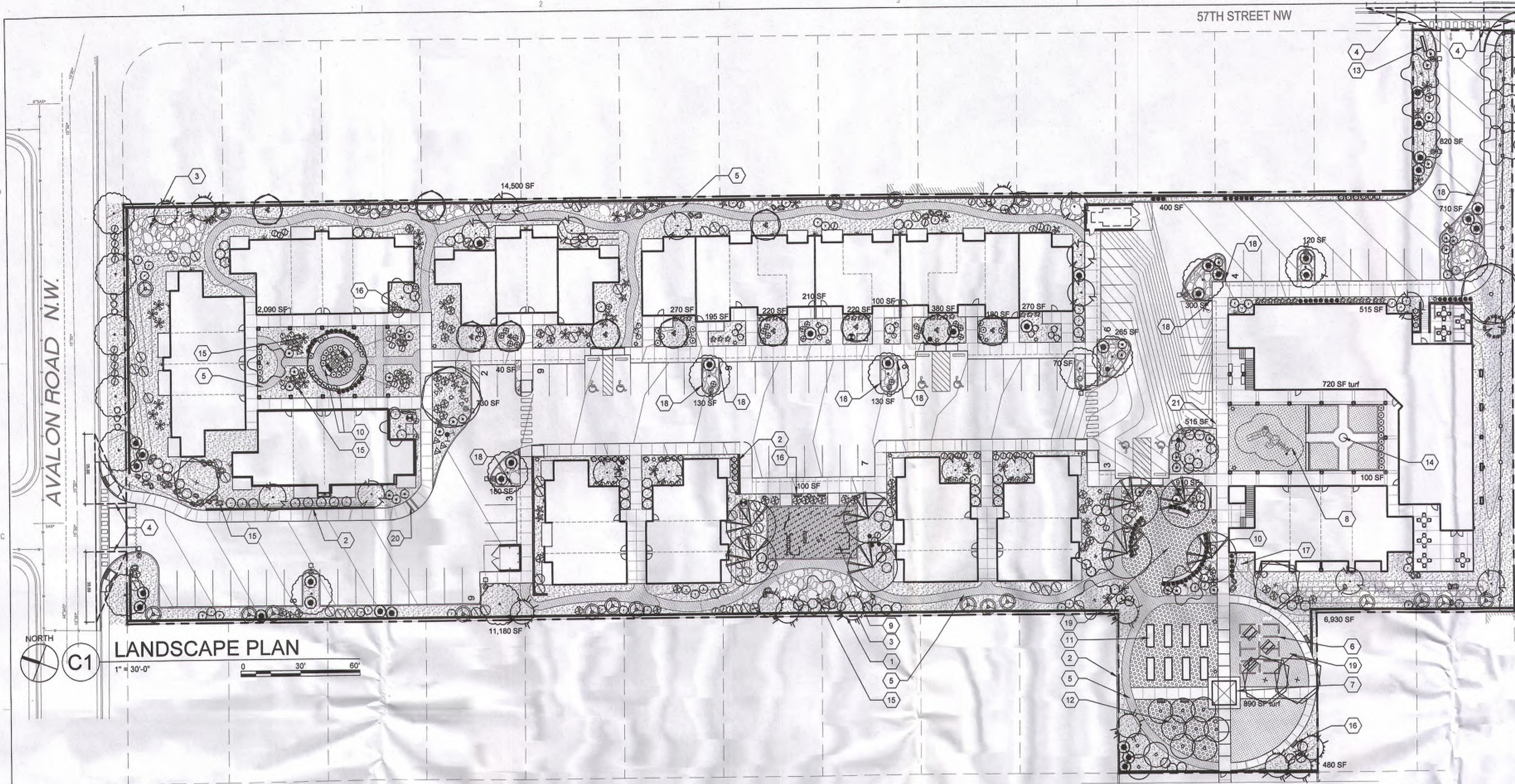
DRAWN BY: JD  
REVIEWED BY: MB  
DATE: 12/11/2015  
PROJECT NO: 14-0701

DRAWING NAME  
**LANDSCAPE PLAN**

SHEET NO  
**SDP-2.1V4**  
4 OF 15

**SHEET KEYED NOTES**

1. PROPERTY LINE
2. RETAINING WALL. SEE CIVIL DRAWINGS
3. STORM WATER PONDING AREA. SEE CIVIL DRAWINGS FOR SIZING
4. CLEAR SIGHT TRIANGLE
5. COMPACTED CRUSHER FINES PATH DEFINED BY BROWN STEEL EDGE
6. SHADE STRUCTURE
7. PERGOLA
8. PLAY EQUIPMENT (LANDSCAPE STRUCTURES)
9. EXERCISE EQUIPMENT (LANDSCAPE STRUCTURES)
10. SEAT WALL
11. GARDEN RAISED BED (COMMUNITY GARDEN)
12. COMMUNITY ORCHARD
13. ENTRY SIGNAGE
14. WATER FEATURE
15. ACCENT BOULDER
16. BENCH
17. PROPOSED COMPOSTING / UTILITY AREA
18. CURB CUT. SEE CIVIL DRAWINGS
19. GATHERING SPACE
20. COVERED SIDEWALK CULVERT. SEE CIVIL DRAWINGS
21. THREE 2" PIPES THROUGH SIDEWALK. SEE CIVIL DRAWINGS



**LANDSCAPE PLAN**

1" = 30'-0"  
0 30' 60'

**PLANTING LEGEND**

TREES	
SYMBOL	COMMON NAME
●	DESERT WILLOW
○	COCKSPUR HAWTHORN
○	NEW MEXICO OLIVE
○	THORNLESS HONEY LOCUST
○	ONESEED JUNIPER - female only
○	GOLDEN RAIN TREE
○	CHINESE PISTACHE
○	DWARF FRUIT TREE - various sp
○	DESERT LIVE OAK
○	FRONTIER ELM

SHRUBS / DESERT ACCENTS	
SYMBOL	COMMON NAME
●	THOMPSON BROOM
○	BLUE MIST SPIREA
○	MOUNTAIN MAHAGONY
○	COTONEASTER PYRENEES
○	MORMON TEA
○	TURPENTINE BUSH
○	RED YUCCA
○	BLUE CHIP JUNIPER - female only
○	LAVENDER 'GROSSO'
○	RUSSIAN SAGE
○	'GRO LOW' SUMAC
○	KNOCKOUT ROSE
○	CHERRY SAGE
○	SOFT-LEAF YUCCA

PERENNIALS	
SYMBOL	COMMON NAME
◇	MOONSHINE YARROW
◇	RED VALERIAN
▽	CATMINT
△	PINELEAF PENSTEMON
△	MAY NIGHT SALVIA

GRASSES	
SYMBOL	COMMON NAME
●	REED GRASS 'Karl Foester'
○	MAIDEN GRASS
○	MUHLER GRASS 'EL TORO'
○	BEARGRASS
○	SWITCHGRASS

**GENERAL SHEET NOTES**

1. RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE INSTALLATION DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
2. STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: GENERAL LANDSCAPE REGULATIONS SECTION 14-16-3-10. THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S GENERAL LANDSCAPING REGULATIONS APPLICABLE TO NON-RESIDENTIAL DEVELOPMENT AND WATER CONSERVATION ORDINANCE. ALL TREES ON AVALON ROAD SW WILL BE DESIGNED TO MEET THE STREET TREE ORDINANCE 6-6-2-1.
3. STREET TREE PLAN: STREET TREES ARE PLANTED 30' ON CENTER OR LESS AS INDICATED ON THE PLANS.
4. TURF AREA: THERE ARE MINIMAL TURF AREAS ON THIS PROJECT THAT ARE DEDICATED TO RESIDENT PLAY AND RECREATION AREAS.
5. TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
6. SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH VEGETATION, MULCH OR SEED.
7. LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
8. LANDSCAPE BEDS SHALL BE DEPRESSED BELOW GRADE.
9. ALL TREES WITHIN PNM EASEMENT SHALL NOT EXCEED 25' HEIGHT AT MATURITY.
10. MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6" HEIGHT CONIFERS, AND 1 GALLON SHRUBS.
11. ROOF DRAINS: SURFACE DRAINAGE OFF DOWNSPOUTS SHALL BE DIRECTED AWAY FROM BUILDINGS INTO LANDSCAPE AREAS. PLACE COBBLE UNDERNEATH ROOF DRAINS AS SHOWN ON PLANS.
12. ALL VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED

**SITE CALCULATIONS**

TRANSFORMERS AND UTILITY PADS SHALL ALLOW TEN FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND FIVE TO SIX FEET OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.

13. THE IRRIGATION SYSTEM SHALL BE FULLY AUTOMATED WITH IRRIGATION CONTROLLER AND RAIN SENSOR. RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND ESTABLISHMENT. RUN TIMES SHALL BE ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION, AND PLANT PERFORMANCE.

14. ALL PLANT MATERIALS SHALL BE IRRIGATED BY DRIP EMITTERS. USE SIX 2-GAL EMITTERS PER EACH TREE AND TWO 2-GAL EMITTERS PER EACH SHRUB. TURF GRASS SHALL BE IRRIGATED BY SPRAY HEADS DESIGNED TO AVOID OVERSPRAY ONTO ADJACENT HARDCAPE.

15. IRRIGATION POINT OF CONNECTION TO THE CITY WATER WILL BE LOCATED ON THE PROPERTY. THE IRRIGATION POINT OF CONNECTION SHALL COMPLY WITH THE CITY OF ALBUQUERQUE BACKFLOW PREVENTER STANDARDS.

TOTAL SITE AREA = 3.651 AC = 159,038 SF  
AREA OF LOT COVERED BY BUILDINGS = 50,094 SF  
NET LOT AREA = 108,944 SF  
OPEN SPACE REQUIRED = 25,200 SF  
OPEN SPACE PROVIDED = 58,600 SF  
SEE SDP 1.1 FOR TABULATION

REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA) = 16,342 SF  
PROVIDED LANDSCAPE AREA = 46,280 SF = 42% (turf and planted landscape)  
PROVIDED LANDSCAPE AREA CALCULATION DOES NOT INCLUDE THE FOLLOWING:  
PUBLIC R.O.W. (1,650 SF), TRAILS (5,490 SF),  
GARDEN, ORCHARD, AND GATHERING SPACES (4,375 SF)  
PLAY AREAS / FITNESS AREAS = 2,455 SF

HIGH WATER USE TURF GRASS = 1,610 SF = 3.5% OF PROVIDED LANDSCAPE

TREES PER PARKING SPACES - REQUIRED = 1 TREE / 10 PARKING SPACES  
TOTAL NUMBER OF PARKING = 83 SPACES  
REQUIRED NUMBER OF PARKING LOT TREES = 8 TREES  
PROVIDED NUMBER OF PARKING LOT TREES = 10 TREES  
NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK

REQUIRED STREET TREES = 6  
PROVIDED STREET TREES = 6 placed at 30' on center

REQUIRED VEGETATIVE GROUND COVERAGE = 12,257 SF = 75% OF REQUIRED LANDSCAPE  
PROVIDED VEGETATIVE GROUND COVERAGE = 14,473 SF = 89% OF REQUIRED LANDSCAPE  
THE LANDSCAPE PLAN MEETS THE 75% MATURE LIVE/VEGETATIVE GROUND COVERAGE REQUIREMENT AS STATED IN THE ZONING CODE  
REQUIRED TREES PER MULTI-FAMILY RESIDENTIAL DEVELOPMENT = 48  
(42 ground floor dwelling units and 12 second-story dwelling units)  
PROVIDED TREES = 52 (28 of them deciduous trees capable to reach 25' diameter canopy)

**SURFACE / HATCH LEGEND**

SYMBOL	SYMBOL
[Hatched Box]	ROCK MULCH, 3" DEPTH, 3/4" CRUSHED MULCH OVER WEED BARRIER FABRIC, COLOR: AMARETTO
[Hatched Box]	PARK BLEND TURFGRASS
[Hatched Box]	ENGINEERED WOODCHIPS AT 12" DEPTH MINIMUM
[Hatched Box]	ROCK MULCH, 4" DEPTH, 2"-4" COBBLE OVER WEED BARRIER FABRIC, COLOR: GOLD
[Hatched Box]	COMPACTED ANGULAR CRUSHER FINES PATH, 4" DEPTH, DEFINED BY BROWN STEEL EDGE, COLOR: GREY
[Hatched Box]	ROCK MULCH, 3" DEPTH, ANGULAR CRUSHER FINES, COLOR: BEIGE
[Hatched Box]	MONOLITHIC SAFETY RUBBER SURFACING INSTALLED PER MANUFACTURER'S INSTRUCTIONS
[Hatched Box]	BOULDERS, 2' x 2' x 2' TO 3' x 2' x 2'

DEKKER  
PERICH  
SABATINI

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ALBUQUERQUE, NM 87109

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SEAL

DRB  
SUBMITAL  
DECEMBER 11, 2015

PROJECT

GENERATIONS AT WEST MESA  
57TH STREET AND CENTRAL AVE  
ALBUQUERQUE, NM

REVISIONS

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DRAWN BY JD  
REVIEWED BY MB  
DATE 12/11/2015  
PROJECT NO 14-0701

DRAWING NAME  
LANDSCAPE PLAN

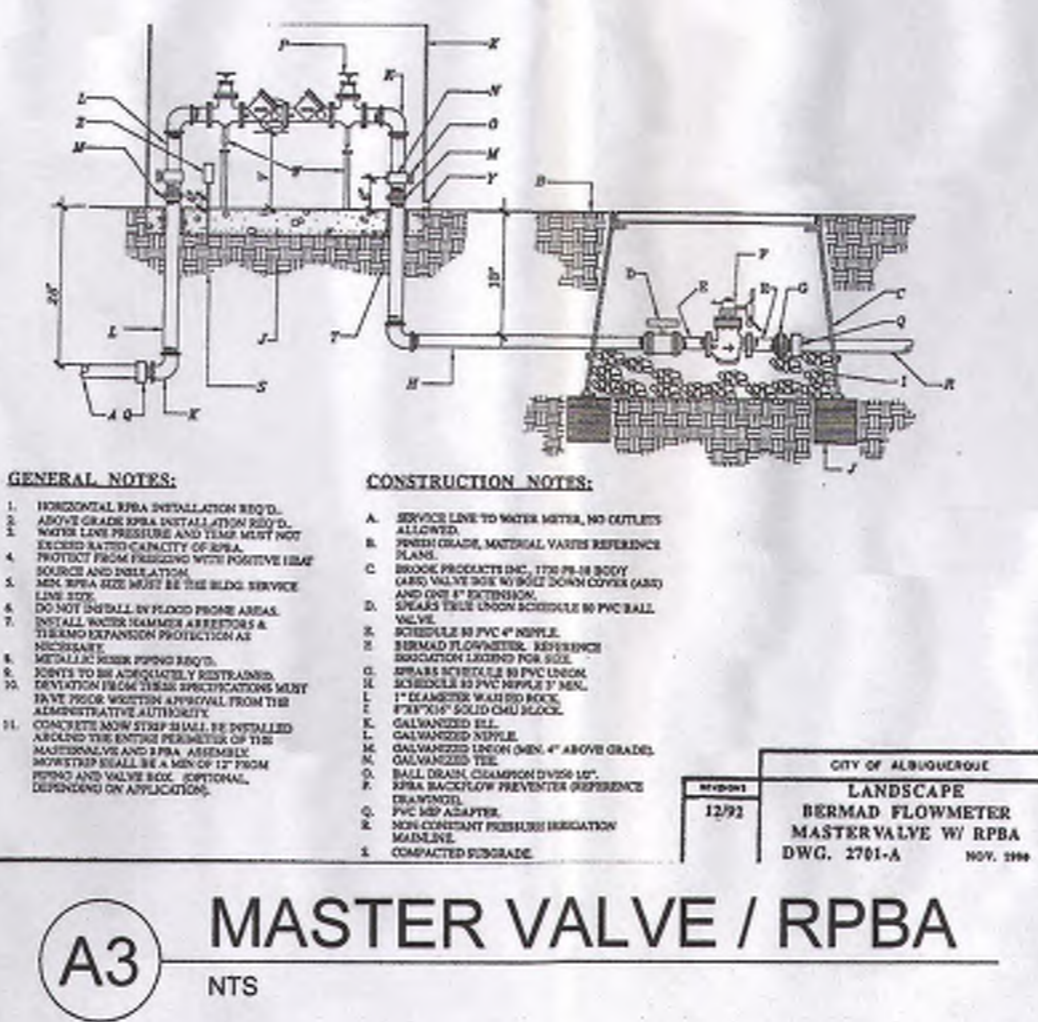
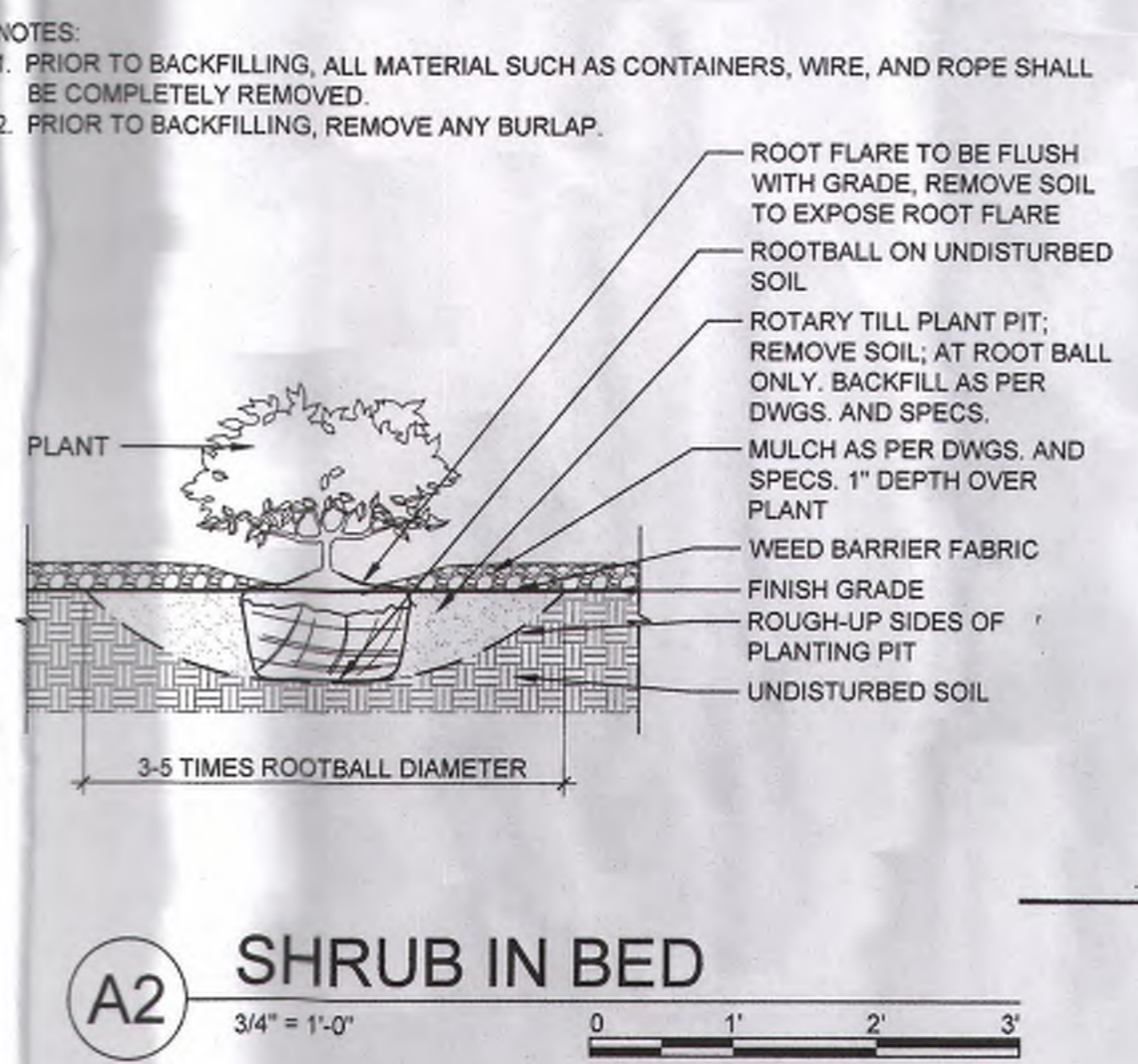
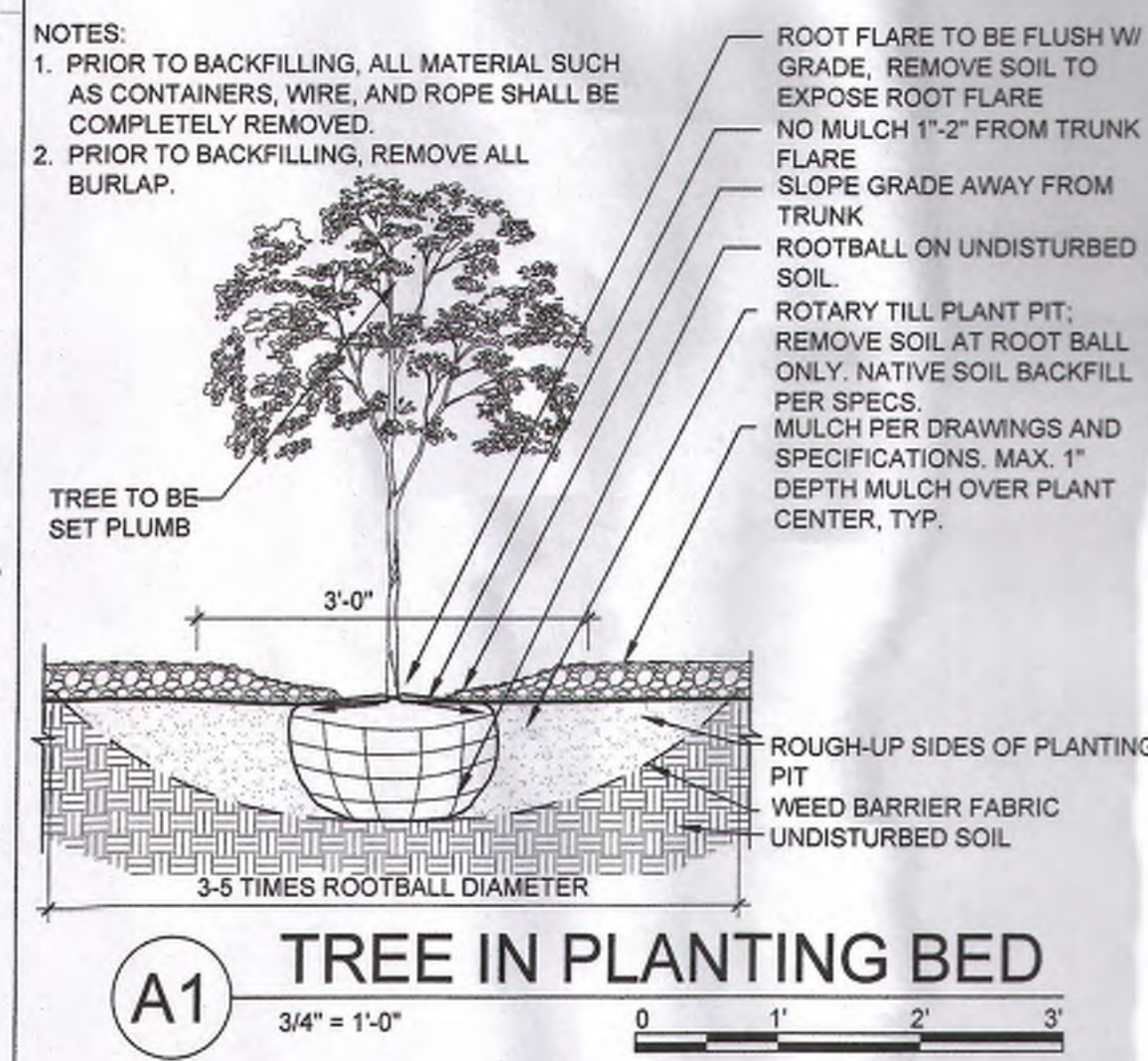
SHEET NO  
SDP-2.2V4

PLANTING SCHEDULE

TREES							
SYMBOL	QTY	INSTALLED SIZE	Botanical name	COMMON NAME	HEIGHT	WIDTH	WATER REQUIREMENTS
	11	15 GAL	Chilopsis linearis	DESERT WILLOW	20.00	25.00	Low
	17	2" CAL	Crataegus crus-galli inermis	COCKSPUR HAWTHORN	20.00	15.00	Medium
	16	15 GAL	Forestiera neomexicana	NEW MEXICO OLIVE	15.00	15.00	Medium
	8	2" CAL	Gleditsia triacanthos 'Shademaster'	SHADEMASTER HONEY LOCUST	35.00	30.00	Medium
	1	10' HT	Juniperus monosperma	ONESEED JUNIPER - female only	15.00	12.00	Low
	13	2" CAL	Koeleria paniculata	GOLDEN RAIN TREE	20.00	25.00	Medium
	4	2" CAL	Pistachia chinensis	CHINESE PISTACHE	30.00	25.00	Medium
	11	2" CAL	Prunus sp., Malus sp.	DWARF FRUIT TREE - various sp	12.00	15.00	Medium
	12	15 GAL	Quercus turbinella	DESERT LIVE OAK	12.00	12.00	Low
	3	2" CAL	Ulmus parviflora 'Frontier'	FRONTIER ELM	30.00	25.00	Medium
SHRUBS / DESERT ACCENTS							
SYMBOL	QTY	INSTALLED SIZE	Botanical name	COMMON NAME	HEIGHT	WIDTH	WATER REQUIREMENTS
	35	5 GAL	Baccharis x 'Starr Thompson'	THOMPSON BROOM	3.00	3.00	Low
	51	5 GAL	Caryopteris x clandonensis	BLUE MIST SPIREA	3.00	4.00	Low
	23	5 GAL	Cercocarpus intricatus	LITTLE LEAF MAHAGONY	6.00	5.00	Low
	26	5 GAL	Cotoneaster congestus	COTONEASTER PYRENEES	3.00	3.00	Medium
	53	1 GAL	Ephedra viridis	MORMON TEA	4.00	5.00	Low
	21	1 GAL	Ericameria laricifolia	TURPENTINE BUSH	3.00	3.00	Low
	30	5 GAL	Hesperaloe parviflora	RED YUCCA	4.00	5.00	Low
	32	1 GAL	Juniperus horizontalis 'Blue Chip'	BLUE CHIP JUNIPER - female only	1.00	5.00	Low
	24	5 GAL	Lavandula angustifolia	LAVENDER 'GROSSO'	2.50	3.00	Medium
	53	1 GAL	Perovskia atriplicifolia 'Little Spire'	LITTLE SPIRE RUSSIAN SAGE	3.00	3.00	Low
	36	5 GAL	Rhus aromatica 'Gro Low'	'GRO LOW' SUMAC	2.50	5.00	Low
	55	5 GAL	Rosa x 'Knockout'	KNOCKOUT ROSE	3.00	3.00	Medium
	34	1 GAL	Salvia greggii	CHERRY SAGE	2.00	3.00	Low
	35	5 GAL	Yucca recurvifolia	SOFT-LEAF YUCCA	4.00	4.00	Low
PERENNIALS							
SYMBOL	QTY	INSTALLED SIZE	Botanical name	COMMON NAME	HEIGHT	WIDTH	WATER REQUIREMENTS
	8	1 GAL	Achillea taygetea	MOONSHINE YARROW	1.50	2.00	Low
	5	1 GAL	Centranthus ruber 'Red'	RED VALERIAN	2.50	2.00	Medium
	8	1 GAL	Nepeta x faasseni	CATMINT	2.00	2.50	Low
	6	1 GAL	Penstemon pinifolius	PINELEAF PENSTEMON	1.50	2.00	Low
	5	1 GAL	Salvia nemorosa	MAY NIGHT SALVIA	2.00	2.00	Low
GRASSES							
SYMBOL	QTY	INSTALLED SIZE	Botanical name	COMMON NAME	HEIGHT	WIDTH	WATER REQUIREMENTS
	88	5 GAL	Calamagrostis acutiflora 'Karl Foerster'	KARL FOERSTER REED GRASS	2.50	2.00	Medium
	43	5 GAL	Miscanthus sinensis	MAIDEN GRASS	5.00	4.00	Medium
	17	5 GAL	Muhlenbergia emersleyi 'El Toro'	EL TORO MUHLY GRASS	2.50	3.00	Low
	24	5 GAL	Nolina microcarpa	BEARGRASS	5.00	5.00	Low
	23	5 GAL	Panicum virgatum 'Shenandoah'	SHENANDOAH SWITCHGRASS	3.00	3.00	Medium

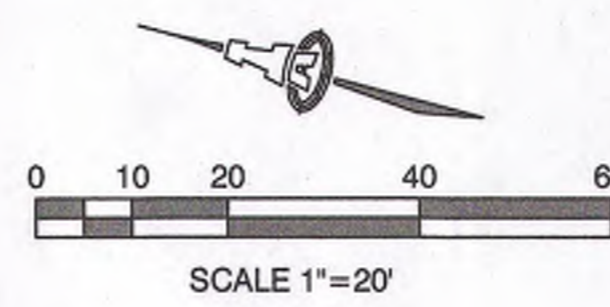
HATCH LEGEND

SYMBOL	DESCRIPTION
	ROCK MULCH, 3" DEPTH, 3/4" CRUSHED MULCH OVER WEED BARRIER FABRIC, COLOR: AMARETTO
	PARK BLEND TURF GRASS
	ENGINEERED WOODCHIPS AT 12" DEPTH MINIMUM
	ROCK MULCH, 4" DEPTH, 2"-4" COBBLE OVER WEED BARRIER FABRIC, COLOR: SAN LAZARUS GOLD
	COMPACTED ANGULAR CRUSHER FINES PATH, 4" DEPTH, DEFINED BY BROWN STEEL EDGE, COLOR: GRAY / BLACK
	ROCK MULCH, 3" DEPTH, ANGULAR CRUSHER FINES, COLOR: BEIGE / BROWN / GOLD
	MONOLITHIC SAFETY RUBBER SURFACE INSTALLED PER MANUFACTURER'S INSTRUCTIONS
	BOULDERS, 2' x 2' x 2' TO 3' x 2' x 2' MOSSROCK, GRANITE, OR SIMILAR



CITY OF ALBUQUERQUE  
LANDSCAPE  
BERNARD FLOWMETER  
MASTER VALVE W/ RPBA  
DWG. 278-A NOV 2014

57TH STREET N.W.



LAVALAND ADDITION, BLOCK C  
Filed January 3, 1942, Volume D, Folio 10

LOT 16-A-1  
Volume B19, Folio 115

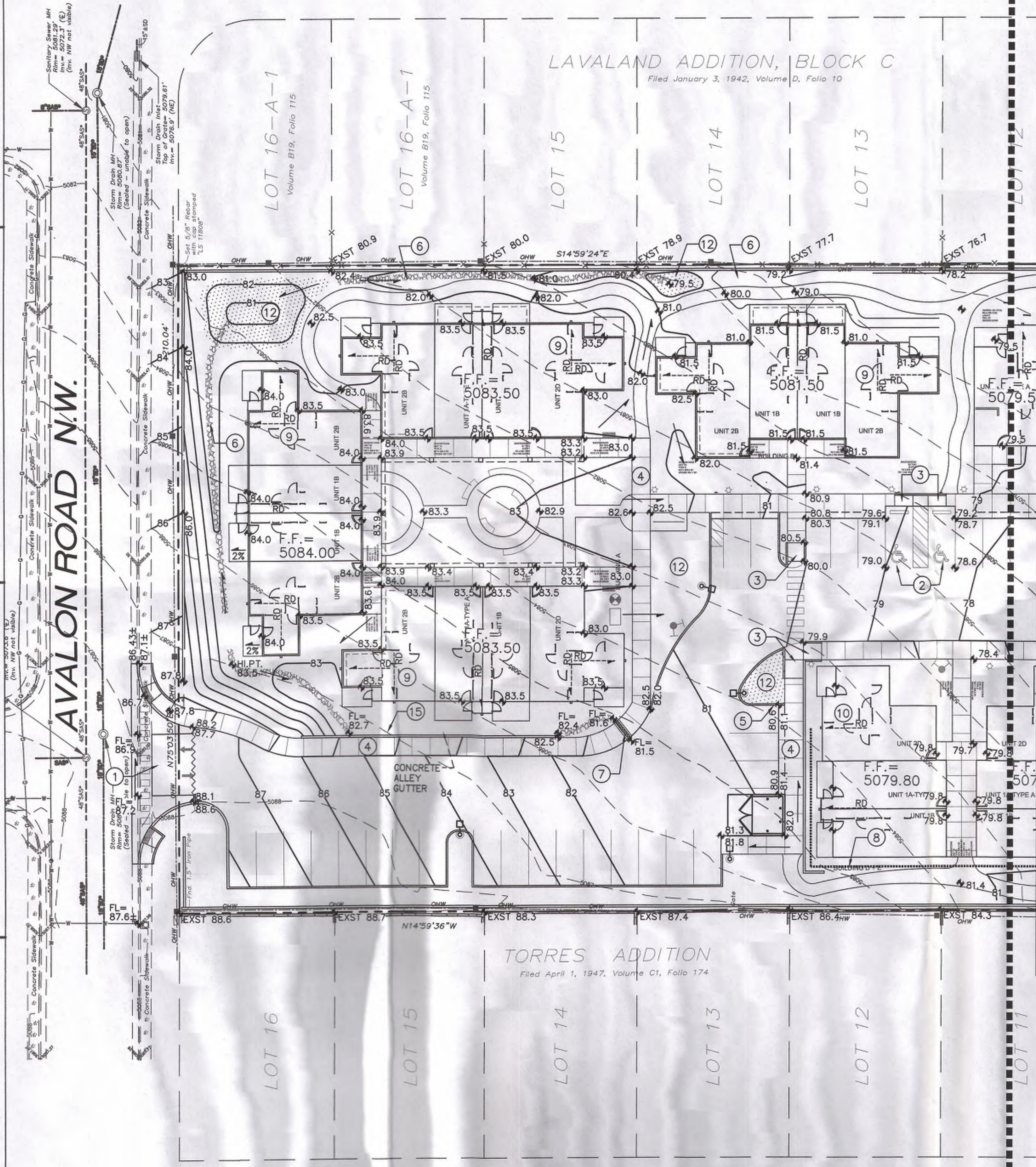
LOT 16-A-1  
Volume B19, Folio 115

LOT 15

LOT 14

LOT 13

AVALON ROAD N.W.



TORRES ADDITION  
Filed April 1, 1947, Volume C1, Folio 174

58TH STREET N.W.

PROJECT INFORMATION

LEGAL DESCRIPTION: TRACT C - 8 - B, TOWN OF ATRISCO GRANT AND LOTS 5 AND 6 TORRES ADDITION AND VACATED PORTION OF ESPERANZA DRIVE N.W., CITY OF ALBUQUERQUE, NEW MEXICO.

PROPERTY: THE SITE IS AN UNDEVELOPED INFILL PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP K-11. THE SITE IS BOUND TO THE SOUTH BY FIRE STATION NO. 7, TO THE EAST BY FULLY DEVELOPED RESIDENTIAL PROPERTIES AND ACCESS TO 57TH STREET NW, TO THE WEST BY FULLY DEVELOPED RESIDENTIAL PROPERTIES AND ACCESS TO 58TH STREET NW, AND TO THE NORTH BY AVALON ROAD SW.

SITE AREA: 3.6506 ACRES

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE AN AFFORDABLE HOUSING COMMUNITY FOR SENIORS AND GRANDFAMILIES ALONG WITH A COMMUNITY CENTER, ASSOCIATED ASPHALT PAVED DRIVES, PARKING, PLAYGROUNDS, PEDESTRIAN WALKS AND LANDSCAPING.

BENCHMARK: VERTICAL DATUM IS BASED ON THE ALBUQUERQUE CONTROL SURVEY MONUMENT "NM-448-C1" HAVING A PUBLISHED ELEVATION OF 5076.696' (NAVD 1988).

OFF-SITE FLOW: NO OFF-SITE FLOW IMPACTS THIS PROPERTY.

FLOODZONE: THE SUBJECT PROPERTY LIES WITHIN "ZONE X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NUMBER 35001C0329H, MAP REVISED AUGUST 16, 2012.

RETAINING WALLS: ON-SITE RETAINING WALLS AND RETAINING / EXTENDED BUILDING STEMWALLS WILL BE REQUIRED THROUGHOUT THE DEVELOPMENT TO ACHIEVE THE PROPOSED GRADE TRANSITIONS. NO PERIMETER PROPERTY LINE RETAINING WALLS WILL EXCEED 4' RETAINING AT THE POINT OF THE GREATEST GRADE CHANGE.

SITE DISCHARGE: DEPRESSED LANDSCAPING AND FIRST FLUSH RETENTION PONDS SIZED TO RETAIN THE REQUIRED VOLUME ARE PROVIDED THROUGHOUT THE PROPERTY. LIMITED ON-SITE PRIVATE STORM DRAIN WILL BE PROVIDED TO CAPTURE THE MAJORITY OF FIRST FLUSH RUNOFF.

PREDESIGN MEETING NOTES: PER A PREDESIGN MEETING WITH COA HYDROLOGY ENGINEERS CURTIS CHERNE, P.E. AND RITA HARMON P.E. THIS SITE IS PERMITTED FREE DISCHARGE AFTER THE FIRST FLUSH VOLUME IS RETAINED. DISCHARGE CAN BE TO 57TH STREET AS SURFACE FLOW AND/OR VIA STORM DRAIN CONNECTION TO THE EXISTING 57TH STREET STORM DRAIN. THE EXISTING DOUBLE 'A' INLET DOWNSTREAM (NEAR THE FIRE STATION) CAN PICK UP ALL STREET FLOW INCLUDING STREET FLOW FROM THIS DEVELOPMENT.

ENGINEER: ASA M. NILSSON-WEBER, P.E., NMPE 17631  
ISAACSON & ARFMAN, PA  
128 MONROE NE, 87111  
TELEPHONE: (505) 268-8828

SURVEYOR: RUSS P. HUGG, NMPS 9750  
SURV-TEK CONSULTING SURVEYORS  
9384 VALLEY VIEW DRIVE, 87114  
TELEPHONE: (505) 897-3366

FIRST FLUSH MEASURES

STORMWATER CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF 'FIRST FLUSH' (DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.34" [0.44" LESS 0.1" FOR INITIAL ABSTRACTION] OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM).

THE PONDING VOLUME REQUIRED IS 0.34" \* TYPE 'D' AREA:  
0.34/12 \* 3.7 AC \* 62% LAND TREATMENT 'D' \* 43560 = 2,793 CF

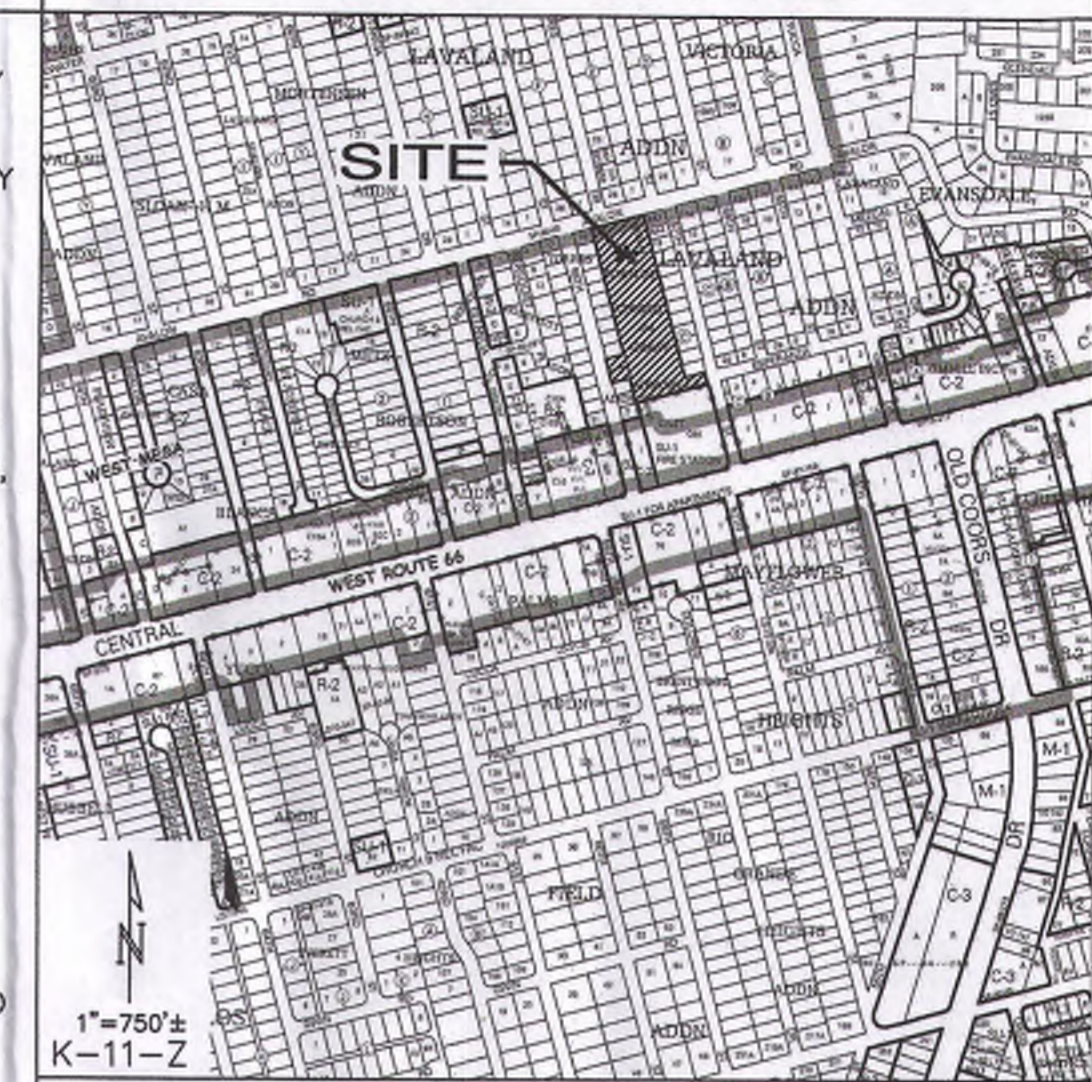
THERE ARE 'FIRST FLUSH' RETENTION PONDING AREAS THROUGHOUT THE SITE (HATCHED PER LEGEND). STORMWATER FROM THE IMPERVIOUS AREAS ARE DIRECTED TO THESE BASINS VIA CURB OPENINGS AND ON-SITE STORM DRAINS. FLOW IN EXCESS OF FIRST FLUSH POND CAPACITY WILL FREE DISCHARGE TO 57TH STREET.

THE CUMULATIVE AREA SHOWN HATCHED FOR FIRST FLUSH PONDING IS APPROXIMATELY 4,770 SF SO THE AVERAGE DEPTH WILL BE 7".

LEGEND

- 4620- EXISTING CONTOUR
- 23- PROPOSED 1' CONTOUR
- 39.5- PROPOSED 0.5' CONTOUR
- 39.4- PROPOSED 0.1' CONTOUR
- 40.2 PROPOSED SPOT ELEVATION
- PROPOSED STORM SEWER
- FLOW ARROW
- F.F. = 5081.50 FINISH FLOOR ELEVATION
- 40.2 TOP OF CURB ELEVATION
- 39.7 FLOWLINE
- RIM= STORM DRAIN INLET RIM ELEVATION
- STORM DRAIN INLET
- INV PROPOSED INVERT ELEVATION
- FL FLOWLINE
- GRADE BREAK
- FF ROCK
- FIRST FLUSH RETENTION LIMITS

VICINITY MAP K-11



KEYED NOTES

KEYED NOTES ARE FOR USE ON SHEETS CG-101 AND CG-102. NOT ALL NOTES ARE USED ON EACH SHEET. UNDERLINED TEXT CORRESPONDS TO SPECIFIC DETAILS ON SHEET CG-501

- NEW ENTRANCE WITH WIDE ADA ACCESSIBLE PATH AND RAMPS TO BE CONSTRUCTED BY PUBLIC WORK ORDER. GRADES SHOWN ARE FOR INFORMATION ONLY.
- SLOPES WITHIN HANDICAP PARKING AREA SHALL MEET ADA REQUIREMENTS. (MAX. SLOPE = 2% IN ANY DIRECTION).
- CONSTRUCT ADA ACCESSIBLE RAMP THIS AREA. SEE PAVING DETAILS FOR ADDITIONAL INFORMATION.
- CONSTRUCT CONCRETE PEDESTRIAN WALKS AT ELEVATIONS SHOWN.
- PROVIDE CURB OPENING - SEE PLAN FOR WIDTH. CONSTRUCT 4'X4'X12" DEEP GROUDED ROCK PAD WITHIN LANDSCAPING.
- CONSTRUCT ROCK SWALE.
- CONSTRUCT 18" BOTTOM WIDTH COVERED SIDEWALK CULVERT AT FLOWLINE ELEVATIONS SHOWN.
- PRIVATE STORM DRAIN SYSTEM. SEE CG-502 FOR SIZES, SLOPES, INLET RIM AND INVERT INFORMATION AND DETAILS.
- ROOF DISCHARGE TO SURFACE. INSTALL PRECAST CONCRETE SPLASH PAD (O.E.) AT ALL CONCENTRATED ROOF DISCHARGE LOCATIONS.
- EXTEND ROOF DRAIN(S) TO STORM DRAIN SYSTEM. SEE CG-502 FOR SPECIFIC LOCATIONS.
- CONSTRUCT STORM DRAIN BUBBLE-UP OUTLET. SEE CG-502.
- DEPRESS LANDSCAPING FOR FIRST FLUSH RETENTION. (12" DEPTH) AT ELEVATIONS SHOWN. TYPICAL SIDE SLOPE = 6:1. GRADES SHOWN WITHIN LANDSCAPE AREAS REFLECT FINAL TOP OF LANDSCAPE MATERIAL. CONTRACTOR TO COORDINATE WITH LANDSCAPERS TO ENSURE FIRST FLUSH RETENTION POND VOLUME IS PROVIDED IN ORDER TO RECEIVE ENGINEER'S CERTIFICATION FOR C.O..
- CONSTRUCT PERCOLATION PIT. SEE CG-501 FOR DETAIL.
- STAIRS TO ACHIEVE GRADE TRANSITION. SEE ARCHITECTURAL FOR DETAILS.
- CONSTRUCT CONCRETE ALLEY GUTTER AT FLOWLINE ELEVATIONS SHOWN.

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ARCHITECT

ENGINEER

DRB SUBMITAL  
DECEMBER 11, 2015

PROJECT

GENERATIONS AT WEST MESA  
57TH STREET AND CENTRAL AVE  
ALBUQUERQUE, NM

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DRAWN BY

REVIEWED BY

DATE 12/11/2015

PROJECT NO. 14-0701

DRAWING NAME

GRADING & DRAINAGE PLAN

ISAACSON & ARFMAN, P.A.  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.iacivil.com  
2124 CG-101.dwg Jan 08, 2016

SHEET NO. SDP 3.1 V4

CG-101

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SABATINI**

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DATE 12/11/2015

PROJECT NO. 14-0701

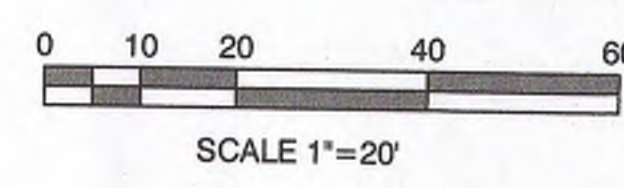
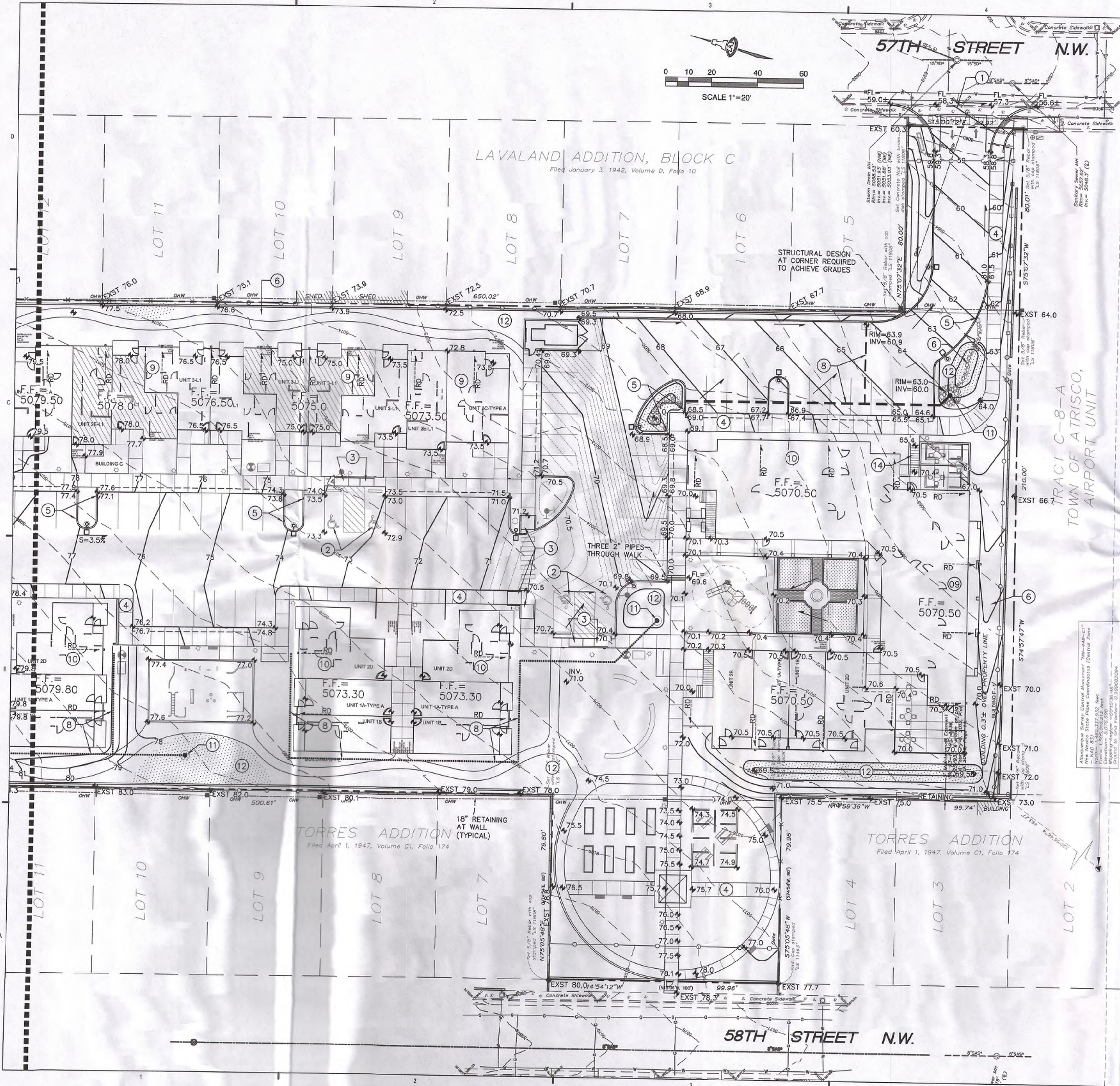
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**GRADING &  
DRAINAGE PLAN**  
(2)

**ISAACSON & AREMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.iaacivil.com  
2124 CG-101.dwg Jan 08,2016

SHEET NO. SDP 3.2 V4

**CG-102**



Albuquerque Storm Drainage Control Ordinance - 780-440-1217  
Area: New Mexico State Survey - 780-440-1217  
City: Albuquerque - 780-440-1217  
County: Bernalillo - 780-440-1217  
Elevation: 5000.000 to 5000.000 feet  
Municipality: Albuquerque - 780-440-1217  
Ground to Grid Factor: 0.999852004

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PERICH  
SABATINI**

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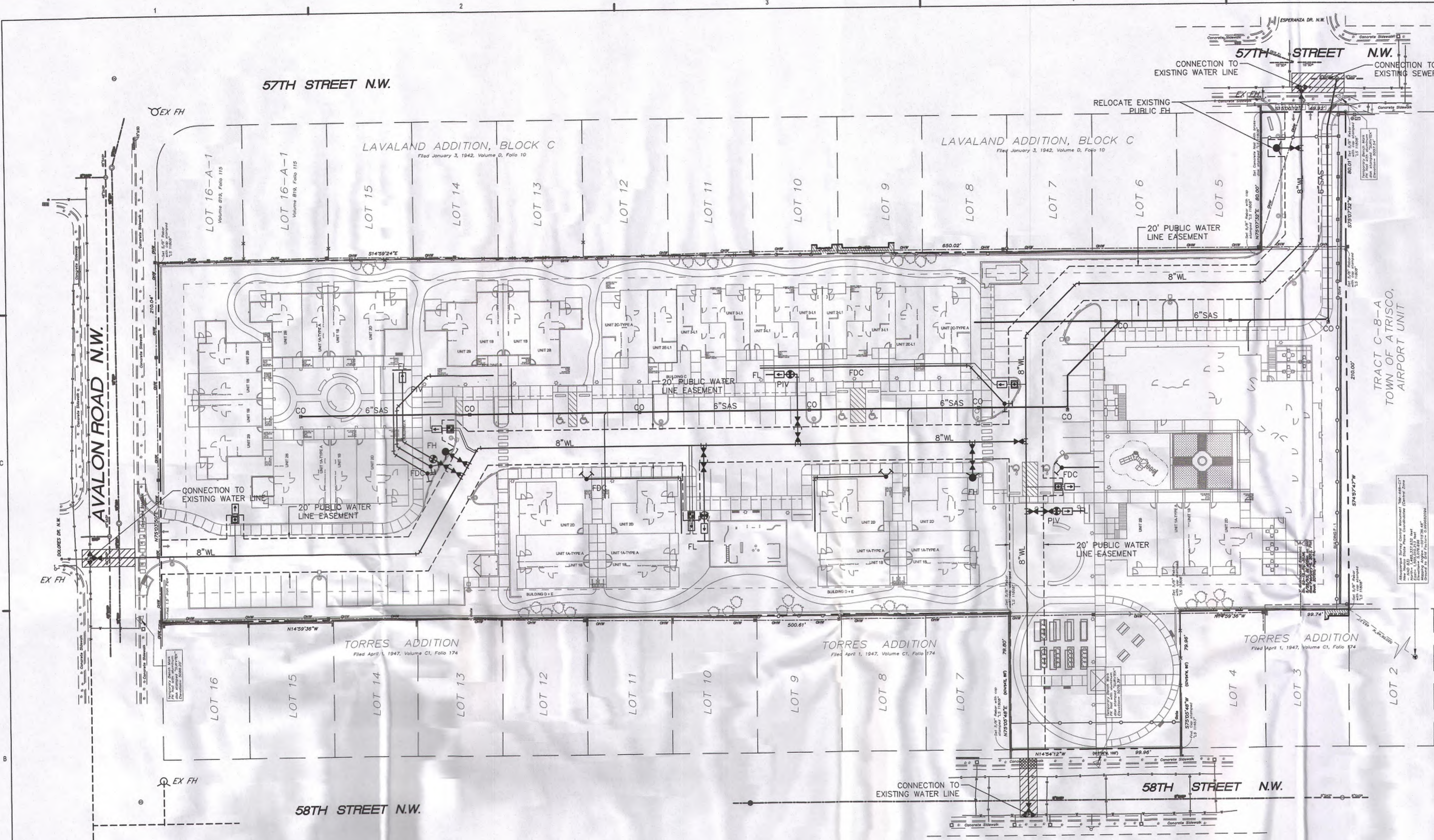
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ENGINEER

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SUBMITAL**  
DECEMBER 11, 2015

PROJECT

**GENERATIONS AT WEST MESA**  
57TH STREET AND CENTRAL AVE  
ALBUQUERQUE, NM



LEGEND	
6" WL	6" PUBLIC WATERLINE
	GATE VALVE
	POST INDICATOR VALVE (PIV)
	FIRE HYDRANT
	FIRE DEPT. CONNECTION (FDC)
	WATER METERS (SINGLE/DOUBLE)
	BACK FLOW PREVENTER (MAY BE LOCATED IN BUILDING)
FL	PRIVATE FIRE SPRINKLER LINE
6" SAS	6"-8" PRIVATE SEWER LINE
	SINGLE DIRECTIONAL CLEAN-OUT

**FIRE PROTECTION**

ONSITE FIRE PROTECTION REQUIRES 5 FIRE HYDRANTS PER BUILDING PER THE EXISTING DPM FIRE FLOW REQUIREMENTS.

FIRE PROTECTION LINES ARE PRIVATE AND PROVIDE TWO (2) OR MORE FIRE HYDRANTS AND /OR FIRE SUPPRESSION LINES (SPRINKLERS).

**SANITARY SEWER**

ALL ONSITE SANITARY SEWER LINES ARE PRIVATE AND WILL BE CONSTRUCTED PER THE LATEST EDITION OF THE U.P.C.

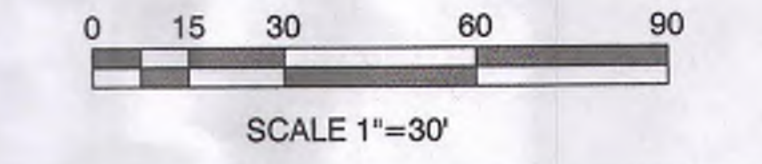
**WATER SERVICED**

EACH BUILDING WILL BE SERVED BY A 2" WATER SERVICE.

REVISIONS	
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REVIEWED BY	
DATE	12/11/2015
PROJECT NO.	14-0701
DRAWING NAME	



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Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.iactcivil.com

2124 CU-101 DRB.dwg Dec 11, 2015

**CONCEPTUAL  
UTILITY PLAN**

SHEET NO.

**SDP-4.1 V4**



KEYNOTES

- 1. STUCCO COLOR 1 - LIGHT TAN
- 2. STUCCO COLOR 2 - GREY
- 3. BRICK VENEER - TERRA COTTA BLEND COLOR
- 4. SOLID CONCRETE WALL AT BALCONIES
- 5. BUILDING SIGNAGE - FONT, SIZE, AND PLACEMENT TO MEET CURRENT FIRE DEPARTMENT REQUIREMENTS. LIT FROM DUSK THRU DAWN
- 6. EXTERIOR LIGHTING W/ PHOTO SENSOR TO MAINTAIN FROM DUSK THRU DAWN
- 7. GLAZED SLIDING DOOR
- 8. HOLLOW METAL DOOR
- 9. WINDOW
- 10. METAL DOWNSPOUT, PAINTED DARK GREY COLOR
- 11. METAL COPING, PAINTED DARK GREY COLOR
- 12. METAL SUNSHADE, PAINTED DARK GREY COLOR
- 13. STUCCO CONTROL JOINT

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DECEMBER 11, 2015

GENERATIONS AT WEST MESA  
57th Street and Central Avenue  
Albuquerque, NM

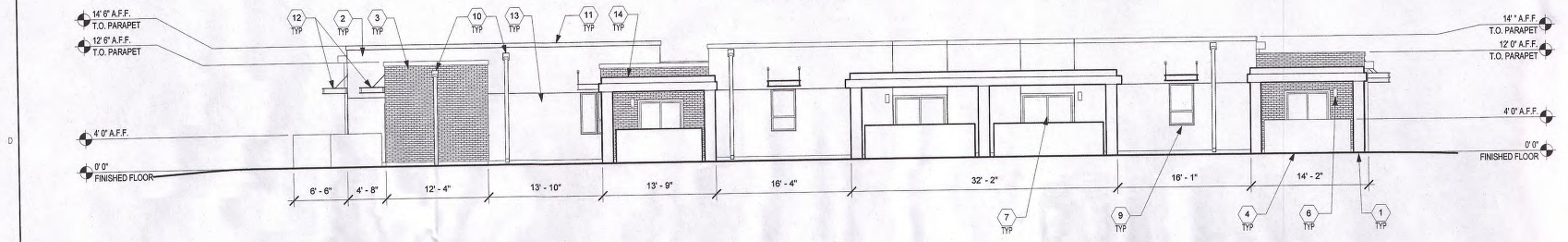
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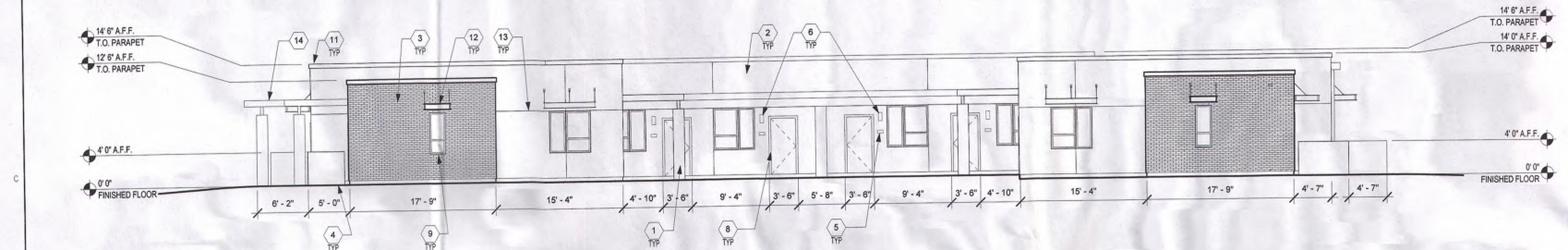
DRAWN BY	WBL, CWW
REVIEWED BY	RAW, DKM
DATE	12/11/2015
PROJECT NO.	14-0701

DRAWING NAME  
BUILDING  
ELEVATIONS  
BUILDING A

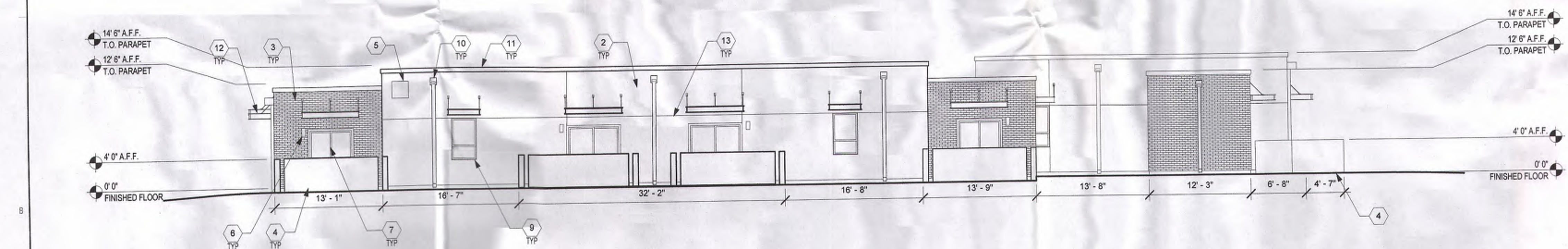
SHEET NO  
SDP-5.1 V3  
9 OF 15



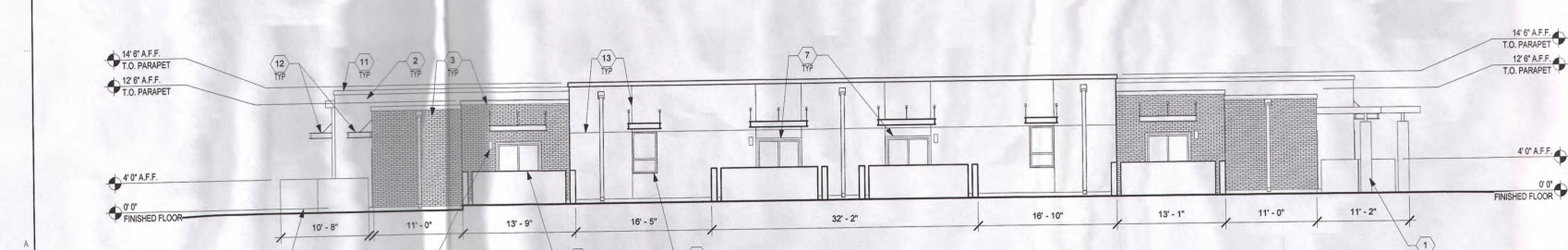
D1 BUILDING A - WEST ELEVATION  
1/8" = 1'-0"



C1 BUILDING A - SOUTH ELEVATION  
1/8" = 1'-0"



B1 BUILDING A - EAST ELEVATION  
1/8" = 1'-0"



A1 BUILDING A - NORTH ELEVATION  
1/8" = 1'-0"

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**KEYNOTES**

1. STUCCO COLOR 1 - LIGHT TAN
2. STUCCO COLOR 2 - GREY
3. BRICK VENEER - TERRA COTTA BLEND COLOR
4. SOLID CONCRETE WALL AT BALCONIES
5. BUILDING SIGNAGE - FONT, SIZE, AND PLACEMENT TO MEET CURRENT FIRE DEPARTMENT REQUIREMENTS. LIT FROM DUSK THRU DAWN
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7. GLAZED SLIDING DOOR
8. HOLLOW METAL DOOR
9. WINDOW
10. METAL DOWNSPOUT, DARK GREY COLOR
11. METAL COPING, DARK GREY COLOR
12. METAL SUNSHADE, DARK GREY COLOR
13. STUCCO CONTROL JOINT
14. SOLID AWNING WEATHER SHIELD
15. CONTINUOUS SOLID ROOF COVERING W/ GALVALUME CORRUGATED ROOF PANELS

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PROJECT

**GENERATIONS AT WEST MESA**

57th Street and Central Avenue  
Albuquerque, NM

REVISIONS

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REVIEWED BY	RAW, DKM
DATE	12/11/2015
PROJECT NO.	14-0701

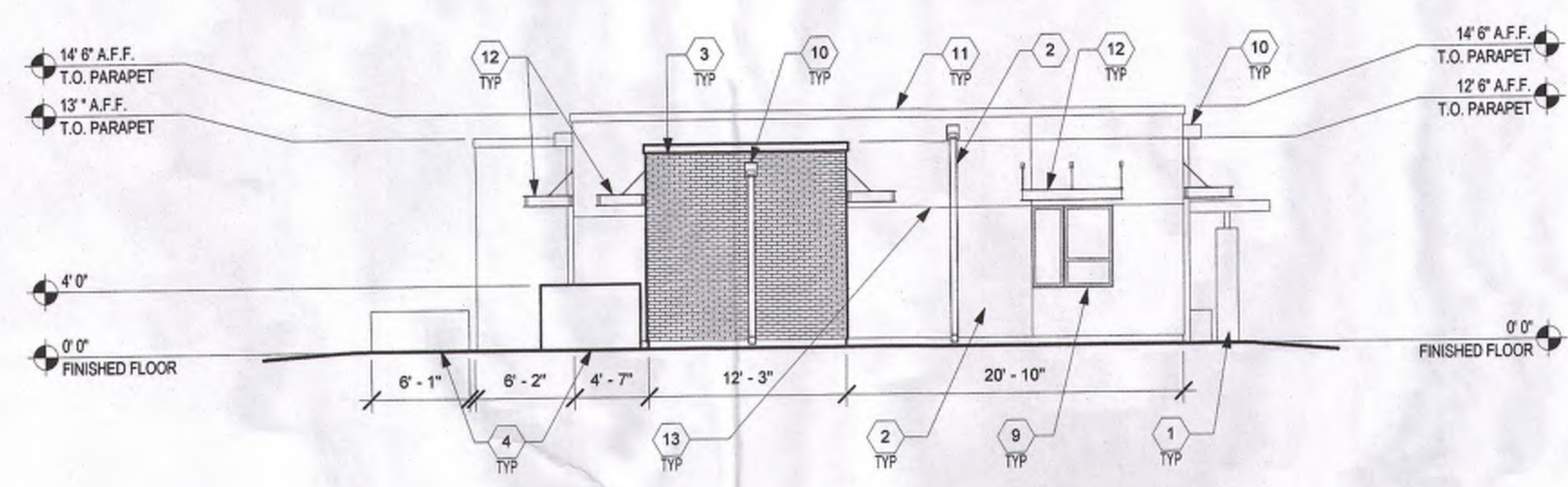
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**BUILDING  
ELEVATIONS  
BUILDING B**

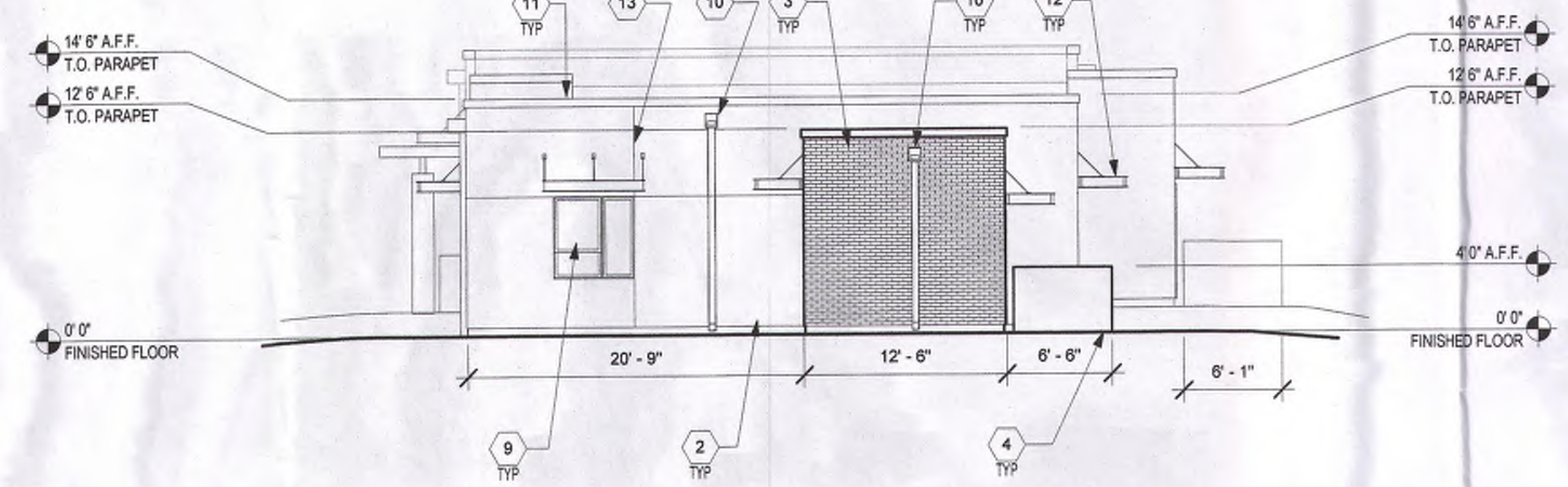
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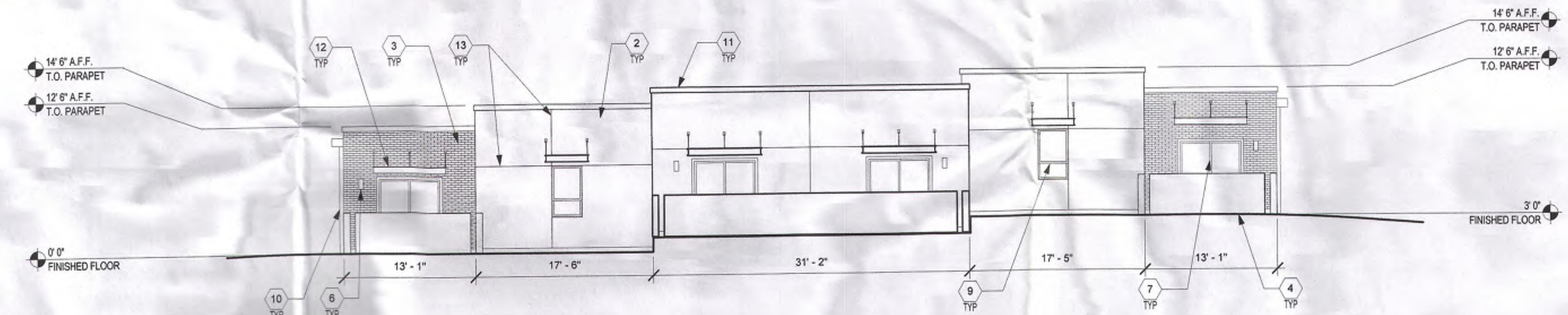
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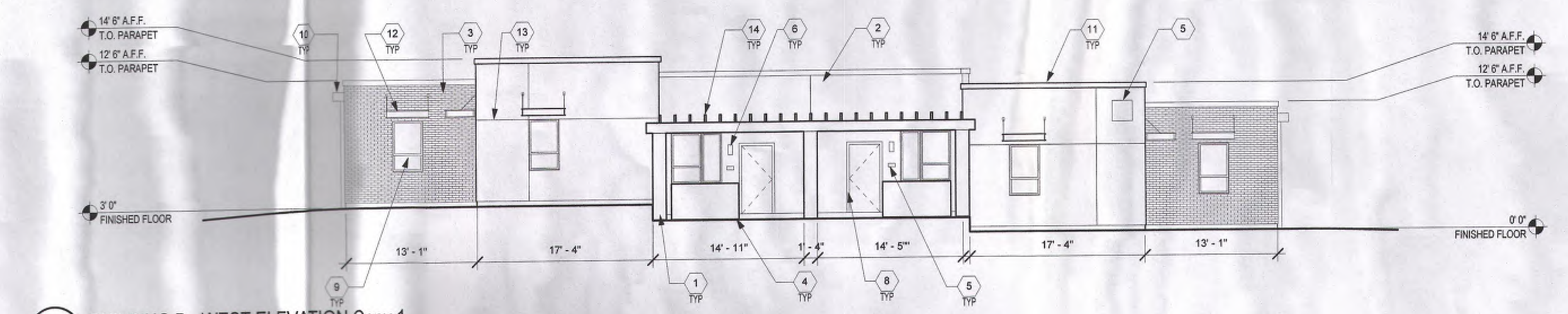
**C1 BUILDING B - NORTH ELEVATION**  
1/8" = 1'-0"  
0' 8' 16' 24'



**C3 BUILDING B - SOUTH ELEVATION**  
1/8" = 1'-0"  
0' 8' 16' 24'



**B1 BUILDING B - EAST ELEVATION Copy 1**  
1/8" = 1'-0"  
0' 8' 16' 24'



**A1 BUILDING B - WEST ELEVATION Copy 1**  
1/8" = 1'-0"  
0' 8' 16' 24'

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**GENERATIONS AT WEST MESA**  
57th Street and Central Avenue  
Albuquerque, NM

REVISIONS

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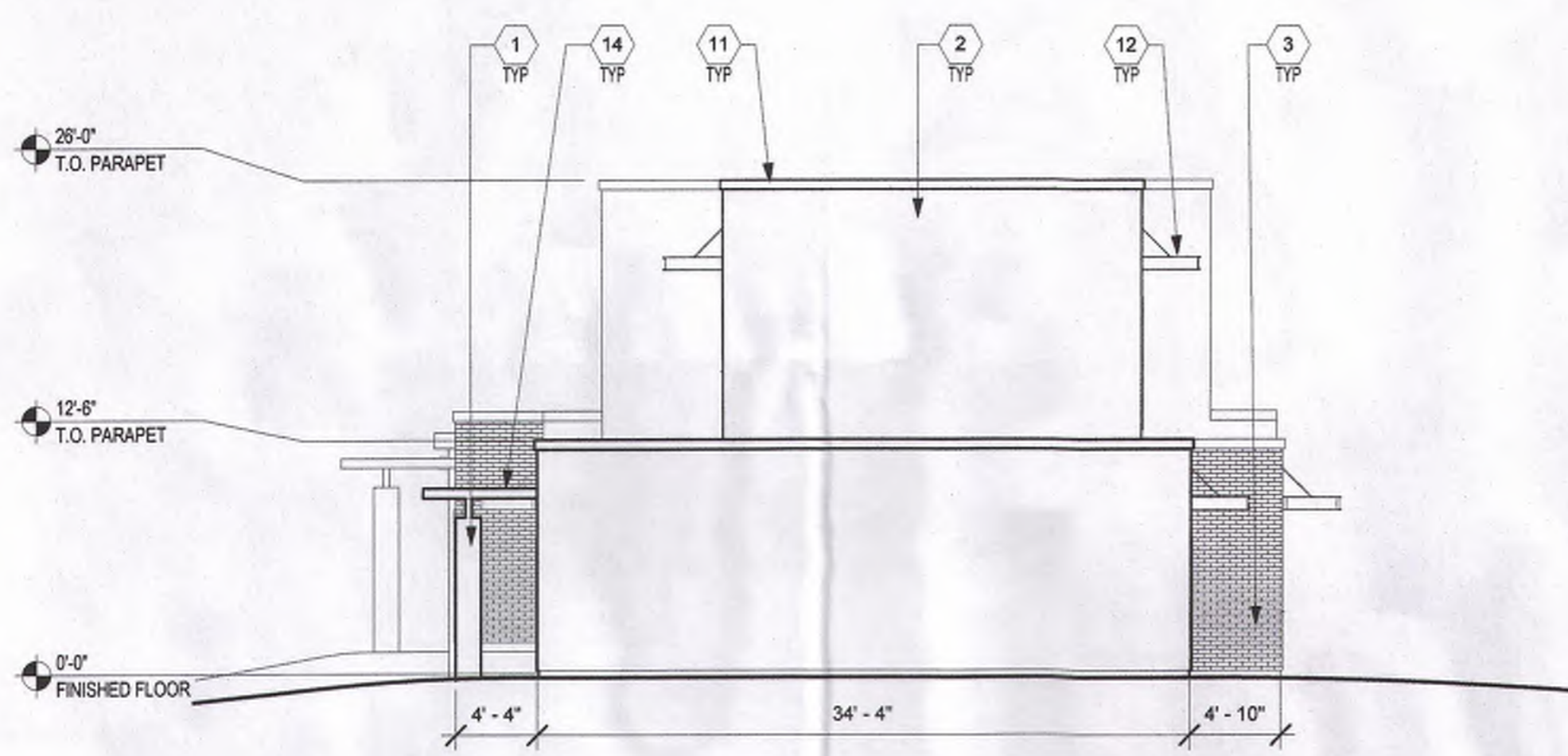
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REVIEWED BY: RAW, DKM  
DATE: 12/11/2015  
PROJECT NO.: 14-0701

DRAWING NAME  
**BUILDING  
ELEVATIONS  
BUILDING C**

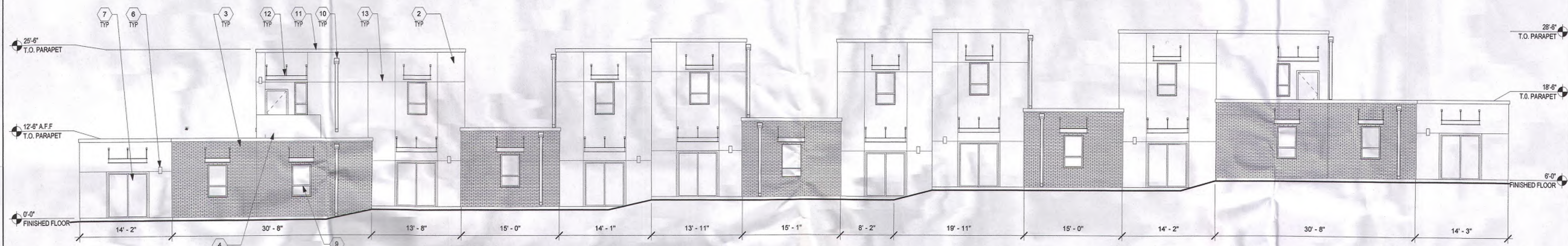
SHEET NO  
**SDP-5.3 V3**

**KEYNOTES**

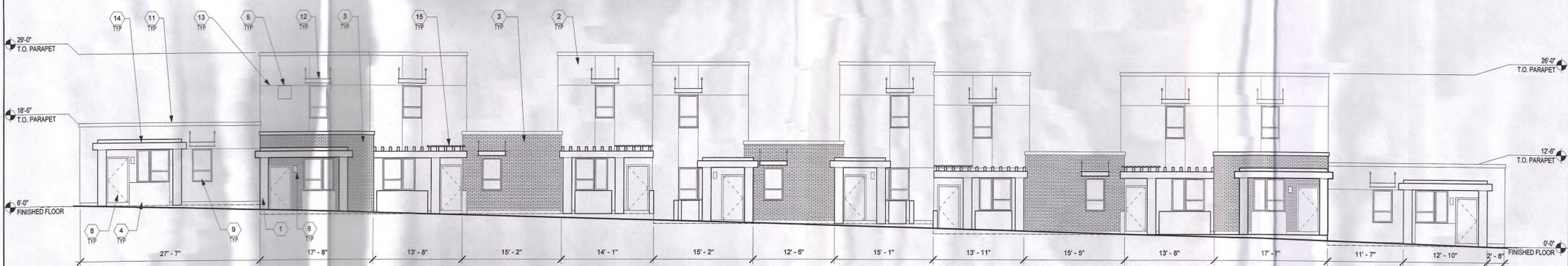
1. STUCCO COLOR 1 - LIGHT TAN
2. STUCCO COLOR 2 - GREY
3. BRICK VENEER - TERRA COTTA BLEND
4. SOLID CONCRETE WALL AT BALCONIES
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12. METAL SUNSHADE, DARK GREY COLOR
13. STUCCO CONTROL JOINT
14. SOLID AWNING WEATHER SHIELD
15. CONTINUOUS SOLID ROOF COVERING W/ GALVALUME CORRUGATED ROOF PANELS



**BUILDING C - SOUTH ELEVATION (NORTH SIMILAR)**  
D3  
1/8" = 1'-0"  
0' 8' 16' 24'



**BUILDING C - WEST ELEVATION**  
B1  
1/8" = 1'-0"  
0' 8' 16' 24'



**BUILDING C - EAST ELEVATION**  
A1  
1/8" = 1'-0"  
0' 8' 16' 24'

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KEYNOTES

1. STUCCO COLOR 1 - LIGHT TAN
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5. BUILDING SIGNAGE - FONT, SIZE, AND PLACEMENT TO MEET CURRENT FIRE DEPARTMENT REQUIREMENTS, LIT FROM DUSK THRU DAWN
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8. HOLLOW METAL DOOR
9. WINDOW
10. METAL DOWNSPOUT, DARK GREY PAINT COLOR
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12. METAL SUNSHADE, DARK GREY PAINT COLOR
13. STUCCO CONTROL JOINT
14. SOLID AWNING WEATHER SHIELD

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PROJECT

GENERATIONS AT WEST MESA  
57th Street and Central Avenue  
Albuquerque, NM

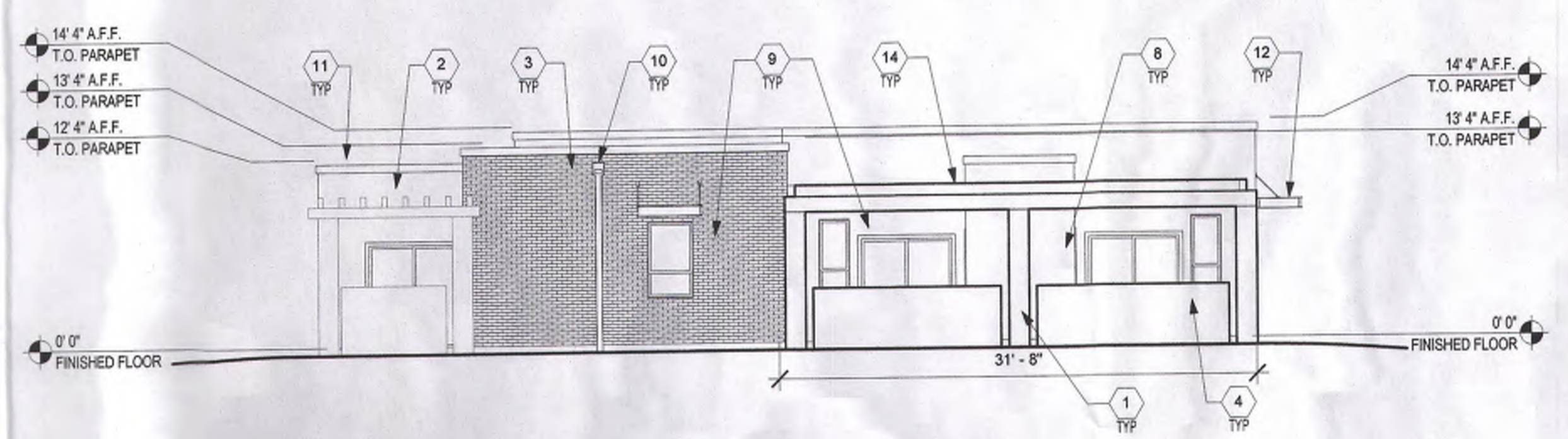
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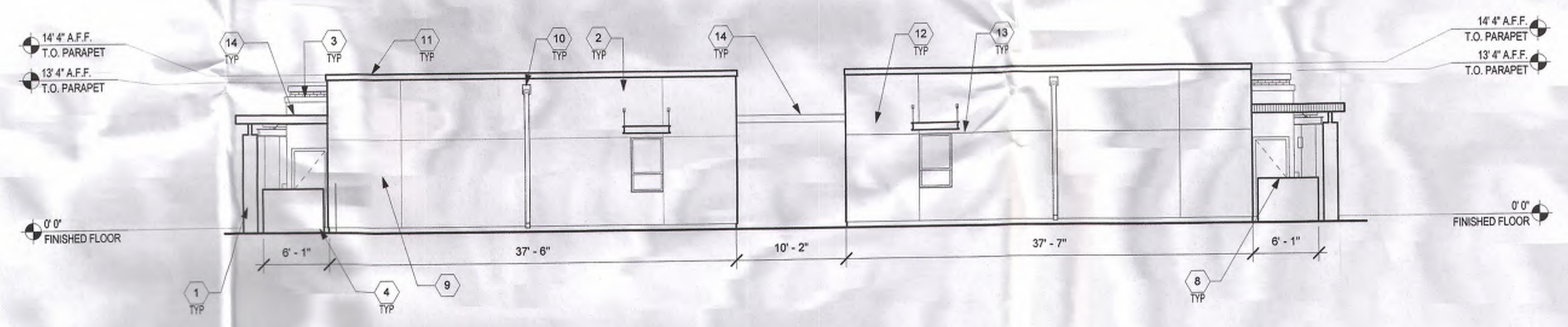
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REVIEWED BY	RAW, DKM
DATE	12/11/2015
PROJECT NO:	14-0701

DRAWING NAME  
BUILDING  
ELEVATIONS  
BUILDING D + E

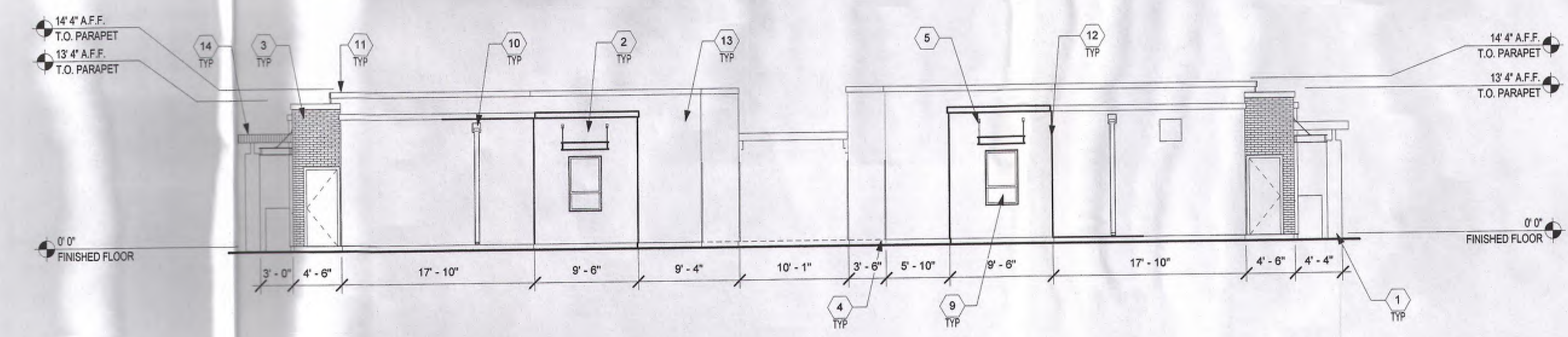
SHEET NO  
**SDP-5.4 V3**



**C1** BUILDING D+ E - NORTH ELEVATION  
(SOUTH SIMILAR)  
1/8" = 1'-0"  
0' 8' 16' 24'



**B1** BUILDING D+ E - WEST ELEVATION  
1/8" = 1'-0"  
0' 8' 16' 24'



**A1** BUILDING D+ E - EAST ELEVATION  
1/8" = 1'-0"  
0' 8' 16' 24'

KEYNOTES

1. STUCCO COLOR 1 - LIGHT TAN
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13. STUCCO CONTROL JOINT
14. SOLID AWNING WEATHER SHIELD
15. METAL HANDRAIL, DARK GREY PAINT COLOR

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PROJECT

GENERATIONS AT WEST MESA  
57th Street and Central Avenue  
Albuquerque, NM

REVISIONS

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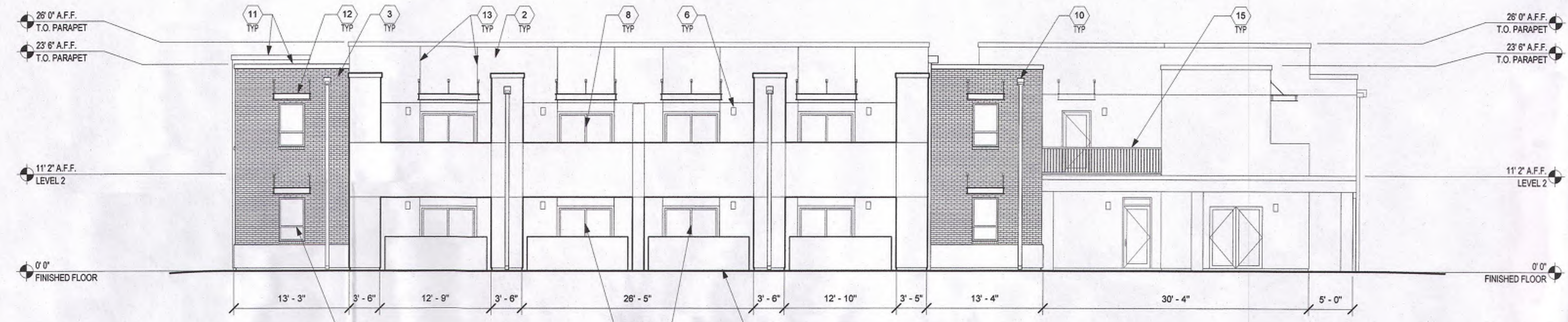
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 REVIEWED BY: RAW, DKM  
 DATE: 12/11/2015  
 PROJECT NO: 14-0701

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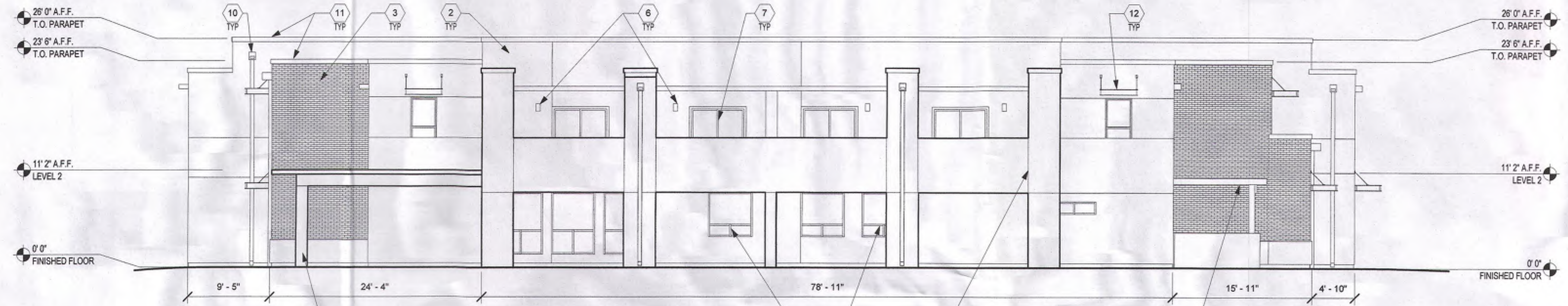
BUILDING ELEVATIONS BUILDING F

SHEET NO

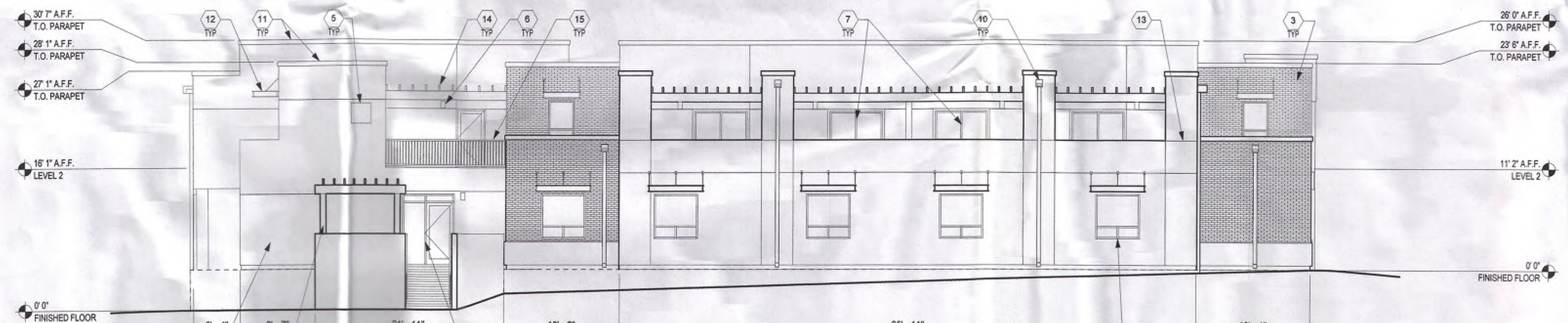
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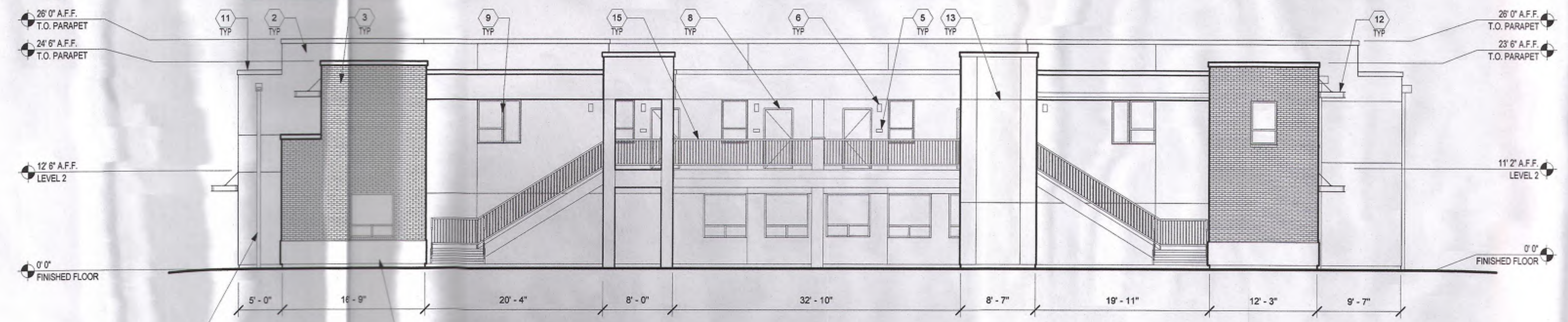
D1 BUILDING F - WEST ELEVATION  
1/8" = 1'-0"



C1 BUILDING F - SOUTH ELEVATION  
1/8" = 1'-0"



B1 BUILDING F - EAST ELEVATION  
1/8" = 1'-0"



A1 BUILDING F - NORTH ELEVATION  
1/8" = 1'-0"

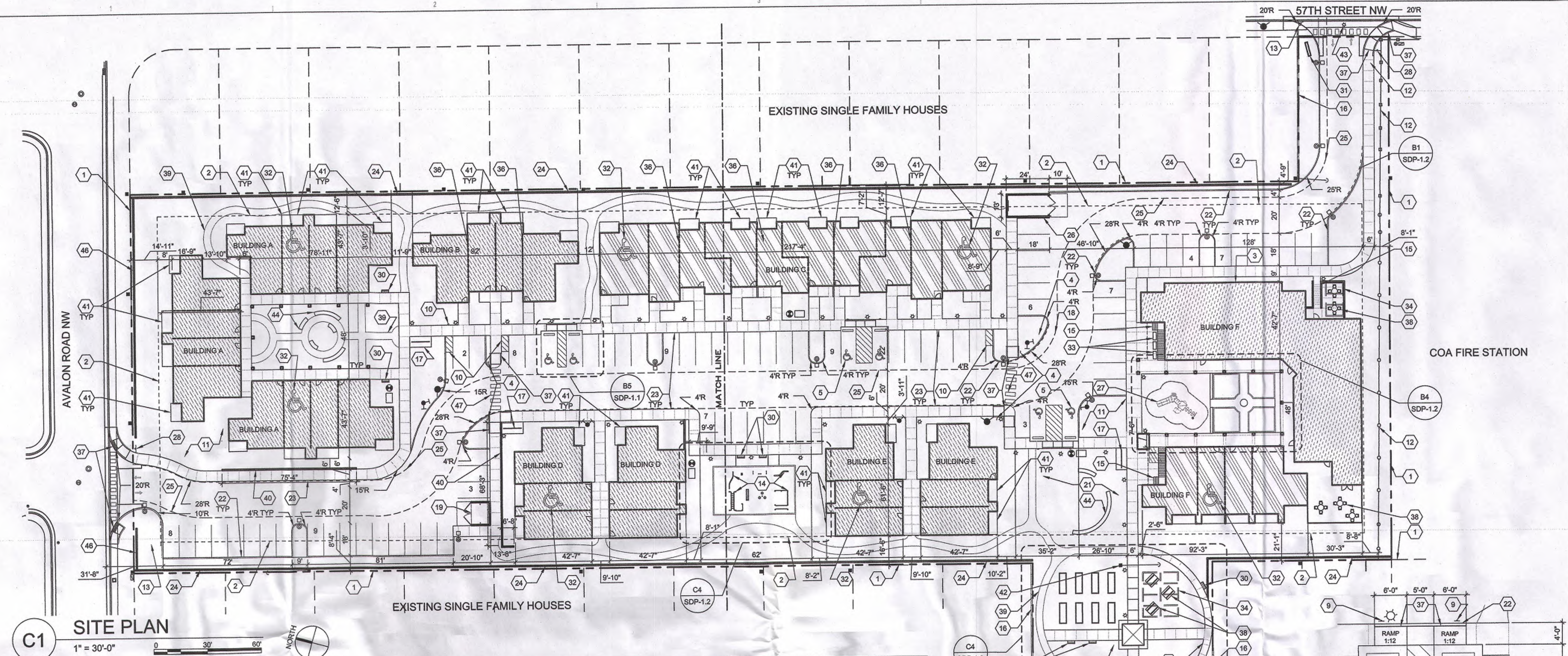
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AUGUST 26 2015

PROJECT

GENERATIONS AT WEST MESA  
57TH STREET AND CENTRAL AVE  
ALBUQUERQUE, NM



**C1 SITE PLAN**  
1" = 30'-0"

**SITE DATA**

**SITE ADDRESS:** 5710 57TH STREET NW, ALBUQUERQUE, NM  
**LEGAL DESCRIPTION:** Tract o-8-B, Town of Atresco Grant, Airport Unit, as the same is shown on the plat thereof, filed Feb. 6, 2012, in Plat Book 2012C, Page 14, AND, Lots 5 and 6, Torres Addition, as the same is shown on the plat thereof, filed April 1, 1947, in Volume, And, Vacated Portion, of Esperanza Drive, N.W. as the same is shown on the plat filed November 18, 1947, in Volume A1, Folio 60.  
**ACRES:** 3.651 AC (159,037.56 SF)  
**DEVELOPMENT PLANS:** WEST MESA SECTOR PLAN, AREA PLAN: WESTSIDE STRATEGIC PLAN  
**ZONING SUMMARY:** ZONE CHANGE PROPOSED FROM R-1 TO SU-1 FOR R2 USES AND COMMUNITY CENTER  
**CONSTRUCTION TYPE:** VB, FULLY SPRINKLERED  
**DENSITY:** PERMITTED 30 DU PER AC, ACTUAL 14.8 DU PER AC, RE: UNIT DATA  
**FLOOR AREA RATIO:** FAR OF .5 PERMITTED, FAR OF .31 ACTUAL, RE: BUILDING DATA  
**BUILDING SETBACKS:**  
15' FRONT SETBACK  
10' SIDE SETBACK AT STREET SIDE  
5' SIDE SETBACK AT INTERNAL PROPERTY LINE  
15' REAR SETBACK  
**BUILDING HEIGHT:** HEIGHT UP TO 26' PERMITTED AT ANY LEGAL LOCATION. HEIGHT OVER 26' SHALL FALL WITHIN 60 DEGREE ANGLE - INTERNAL BOUNDARY HEIGHT OVER 26' SHALL FALL WITHIN 60 DEGREE ANGLE - R.O.W. CENTERLINE SOLAR ACCESS PROTECTION, NORTHERN BOUNDARY MUST: HEIGHT OVER 26' SHALL FALL WITHIN 45 DEGREE ANGLE - INTERNAL BOUNDARY HEIGHT SHALL NOT EXCEED 26' WITHIN 85° OF LOT ZONED FOR HOUSES  
**PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:** CENTRAL AVENUE AT 57TH STREET PROVIDES THE MAJOR SIGNALIZED ACCESS INTO THE GENERATIONS AT WEST MESA DEVELOPMENT. PRIMARY PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS FROM AVALON ROAD NW, PEDESTRIAN INGRESS AND EGRESS IS ALSO AVAILABLE FROM THE COMMUNITY GARDEN ALONG 58TH STREET NW.  
**BIKEWAY AND TRAIL ACCESS:** BICYCLE ACCESS IS PROVIDED BY A BIKE WAY ON CENTRAL AVENUE. A BIKE PATH ON YUCCA DRIVE NW PROVIDES TO THE EAST OF THE SITE, AND ON BLUEWATER ROAD NW 1 BLOCK NORTH OF THE SITE.  
**TRANSIT ACCESS:** CENTRAL BOULEVARD IS A DESIGNATED MAJOR TRANSIT CORRIDOR WITH REGULAR DAILY BUS ROUTES AND DAILY RAPID RIDE ROUTE.

**UNIT DATA**

GENERATIONS AT WEST MESA - UNIT DATA				
QUANTITY	UNIT TYPE	BD/BA QUANTITY	OPEN SPACE REQUIRED	OPEN SPACE PROVIDED
18	1.1	18D/18A	577	400
6	1.1A	18D/18A	583	400
8	2.1	28D/18A	823	500
2	2.2P	28D/18A	1204	500
12	2.2P	28D/18A	895	500
2	2.2A	28D/18A	984	500
6	3.2	38D/28A	1218	600
			25,200	25,200

**SHEET KEYED NOTES**

- PROPERTY LINE
- PROPERTY SETBACK
- COMMUNITY BUILDING, SEE BUILDING DATA BUILDING F
- PEDESTRIAN CROSSING SIGN, RE: SDP-1.2
- 6'-6" X 18' ADA PARKING STALL, RE: C3/SDP-1.2
- 6'-6" X 18' ADA ACCESS AISLE, RE: C3/SDP-1.2
- 3'-6" X 18' ADA ACCESS AISLE, RE: C3/SDP-1.2
- PAINTED ADA PAVEMENT SIGN
- POLE MOUNTED ADA SIGN, RE: B2/SDP-1.2
- TYPICAL MOTORCYCLE PARKING SPACE, 4'-0" X 8'-0", WITH POLE MOUNTED SIGNAGE, RE: B2/SDP-1.2
- LANDSCAPED AREA, RE: LANDSCAPE PLAN SHEET SDP-2.1
- 6' METAL FENCE, EXISTING TO REMAIN
- EXISTING FIRE HYDRANT TO BE RELOCATED, RE: CONCEPTUAL UTILITIES PLAN
- ADULT OUTDOOR FITNESS EQUIPMENT EXTERIOR STAIR
- EXISTING MASONRY WALL TO REMAIN
- METAL BIKE RACK W/ CONCRETE SIDEWALK, PAINTED NEUTRAL COLOR, CAPACITY 10 BIKES PER RACK AREA, RE: A2/SDP-1.2
- ACCESSIBLE PEDESTRIAN CROSSWALK
- CONVENIENCE TRASH BIN AND ENCLOSURE (1115 SF), 6' HIGH SOLID MASONRY WALLS, RE: A1/SDP-1.2 SIMILAR
- PRIMARY BUILDING ENTRY
- DRAINAGE AREA, RE: CIVIL GRADING AND DRAINAGE PLAN SHEET SDP-3.1
- 6" CONCRETE CURB
- CONCRETE SIDEWALK, WIDTH AS NOTED
- PERIMETER MASONRY WALL OR FENCE, EXISTING TO REMAIN OR REPLACE WITH 6' HIGH SOLID MASONRY WALL, RETAINING AND/OR FENCE AS NEEDED BY GRADING PLAN. WALL REPLACEMENT IS OPTIONAL AND RETAINING WILL BE PROVIDED THROUGH 18" SOLID MASONRY GARDEN WALLS WHERE PERIMETER WALLS ARE NOT REPLACED.
- FIRE LANE, 20' WIDTH STANDARD
- 20' TRASH COMPACTOR WITH 6' HIGH CMU ENCLOSURE WALL AND GATE, RE: A1/SDP-1.2
- PLAYGROUND AREA AND EQUIPMENT AGES 5-12 WITH WARNING SIGN
- STOP SIGN
- CONCRETE WHEEL STOP
- BENCH, BENCHES WILL BE ACCESSIBLE ALONG SIDEWALKS
- MONUMENT SIGN, RE: C1/SDP-1.2
- ACCESSIBLE GROUND FLOOR DWELLING UNIT
- CLUSTER MAILBOXES
- OPTIONAL SHADE STRUCTURE
- BBQ GRILL AND PICNIC TABLES
- STEP IN BUILDING FINISHED FLOOR ELEVATION
- CONCRETE ADA RAMP WITH 1:12 MAXIMUM SLOPE AND TRUNCATED DOMES PER COA STANDARD
- PATIO FURNITURE
- COMPACTED GRAVEL PATH, RE: LANDSCAPE PLAN
- SOLID MASONRY RETAINING WALL, PAINTED NEUTRAL EARTH TONE, RE: A3/SDP-1.2
- DWELLING UNIT PATIO
- EXISTING POWER POLE TO REMAIN, RE: CONCEPTUAL UTILITIES PLAN
- OPTIONAL CONCRETE SEAT WALLS AT 18" HIGH
- PEDESTRIAN SWING GATE W/ LOCK
- MASONRY WALL W/ STEEL PICKET DESIGN, DESIGN TO COMPLIMENT EXISTING NEIGHBORHOOD WALLS AND MEET COA STANDARDS AND REGULATIONS RE: C2/SDP-1.2
- PATTERNED AND INTEGRALLY COLORED CONCRETE CROSSWALK PAVING

**GENERAL SHEET NOTES**

- SITE PLAN SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS
- DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED
- ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS
- ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT, THE CITY OF ALBUQUERQUE ZONING CODE: SECTION 14-10-3-9 AREA LIGHTING REGULATIONS, RE: LIGHT POLE DETAIL SHEET D1/SDP-1.2
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE
- SEE UNIT DATA TABLE AND LANDSCAPE SHEET SDP-3.1 FOR OPEN SPACE CALCULATIONS
- SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS & GUIDELINES
- ALL PARKING SPACES TO BE 9'-0" X 18'-0" UNO, RE: C3/SDP-1.2

**LEGEND**

- PAINTED DIRECTIONAL ARROWS
- PEDESTRIAN POLE LIGHTS, 12' HIGH MAX
- PARKING LOT LIGHT, 25' HIGH MAX AT PERIMETER PARKING, 16' HIGH MAX WITHIN 100' OF SINGLE FAMILY RESIDENTIAL NEIGHBORHOOD
- SINGLE STORY MULTIFAMILY BUILDING
- TWO STORY MULTIFAMILY BUILDING
- TWO STORY MULTIFAMILY & COMMUNITY BUILDING
- FIRE LANE STRIPPING AT CURB, RE: B1/SDP-1.2
- FIRE HYDRANT, RE: CONCEPTUAL UTILITIES PLAN
- FIRE DEPARTMENT CONNECTION (FDC), RE: CONCEPTUAL UTILITIES PLAN
- POST INDICATOR VALVE (PIV), BACK FLOW PREVENTER AND HOT BOX, RE: CONCEPTUAL UTILITIES PLAN

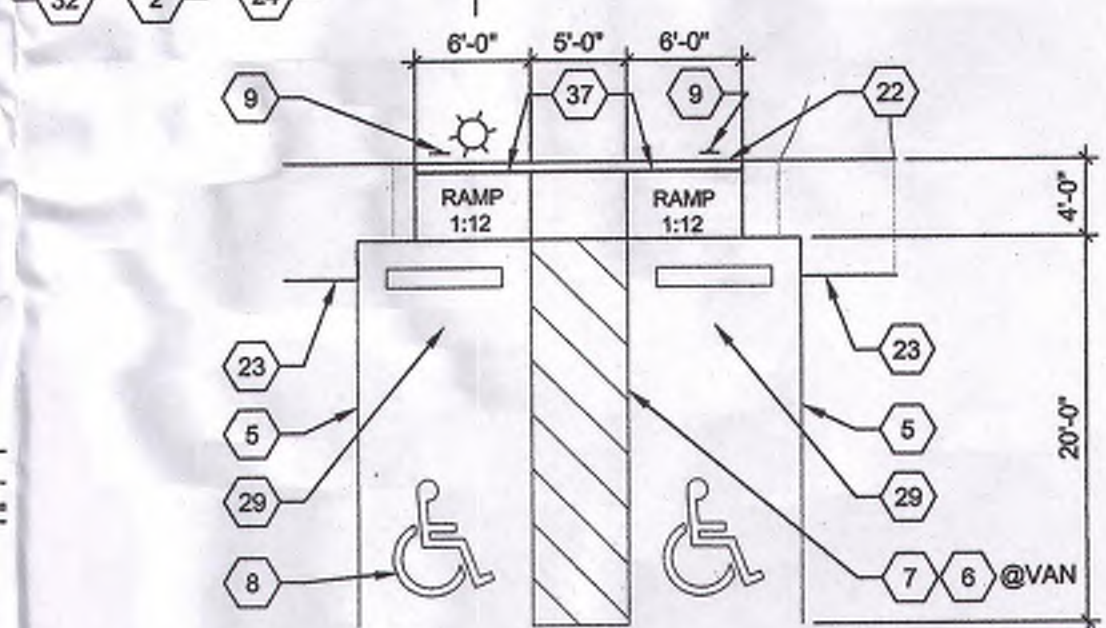
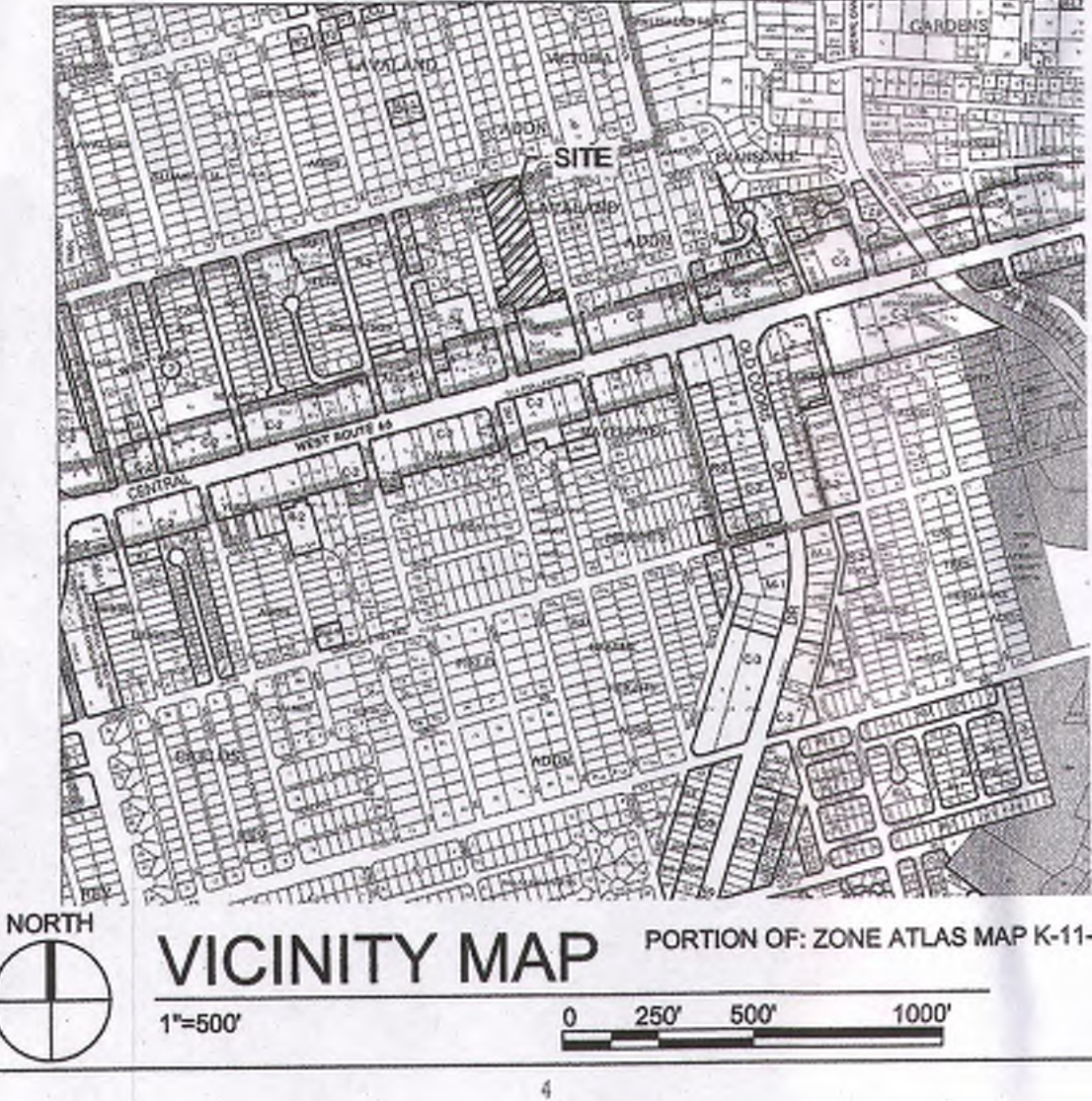
**PARKING**

TOTAL PARKING AND ROAD AREA #SF  
PARKING REQUIRED - PER OFF-STREET PARKING REG. 14-16-3-1

SPACES PER BATH	QUANTITY OF UNITS < 1000SF	UNITS >1000SF	PARKING SPACES REQUIRED
1.5	18	1.1	27
1.5	6	1.1A	9
1.5	8	2.1	12
1.5	2	2.2T	3
2	12	2.2P	24
2	2	2.2A	4
2	6	3.2	12
			91
10% PARKING REDUCTION WITH A BUS STOP			9.1
			81.9
ACCESSIBLE SPACES REQUIRED = 4, PROVIDED = 6			
MOTORCYCLE SPACES REQUIRED = 3, PROVIDED = 3			
BICYCLE PARKING REQUIRED = 29, PROVIDED = 30			

**BUILDING DATA**

Generations at West Mesa - BUILDING DATA		UNIT MIX	
Building	Heated NSF Gross SF	1 BD	2 BD
Building A	8,544.0	6	380
Level 1	8,544.0	6	380
Total	8,544.0	6	380
Building B	2,864.0	2	2
Level 1	2,864.0	2	2
Total	2,864.0	2	2
Building C	7,924.0	0	4
Level 1	7,924.0	0	4
Level 2	3,526.0	0	4
Total	11,450.0	0	8
Building D & E	4,110.0	4	2
Level 1	4,110.0	4	2
Level 2	4,110.0	4	2
Total	8,220.0	8	4
Building F	9,458.0	1 BD	2 BD
Level 1	9,458.0	1 BD	2 BD
Level 2	8,529.0	6	6
Total	17,987.0	7	8
Total Bldg SF on site	44,859.0	50,994.0	48



**B5 TYP ACCESSIBLE PARKING**

**DRAWING INDEX**

NO	DESCRIPTION
1 OF 11	SDP-1.1 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
2 OF 11	SDP-1.2 PROJECT DETAILS
3 OF 11	SDP-2.1 LANDSCAPE PLAN
4 OF 11	SDP-3.1 CONCEPTUAL GRADING AND DRAINAGE PLAN SHEET 1 OF 2
5 OF 11	SDP-3.2 CONCEPTUAL GRADING AND DRAINAGE PLAN SHEET 2 OF 2
6 OF 11	SDP-4.1 CONCEPTUAL UTILITY PLAN
7 OF 11	SDP-5.1 BUILDING ELEVATIONS
8 OF 11	SDP-5.2 BUILDING ELEVATIONS
9 OF 11	SDP-5.3 BUILDING ELEVATIONS
10 OF 11	SDP-5.4 BUILDING ELEVATIONS
11 OF 11	SDP-5.5 BUILDING ELEVATIONS

**PROJECT NUMBER:** \_\_\_\_\_  
**APPLICATION NUMBER:** \_\_\_\_\_  
Is an Infrastructure List Required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

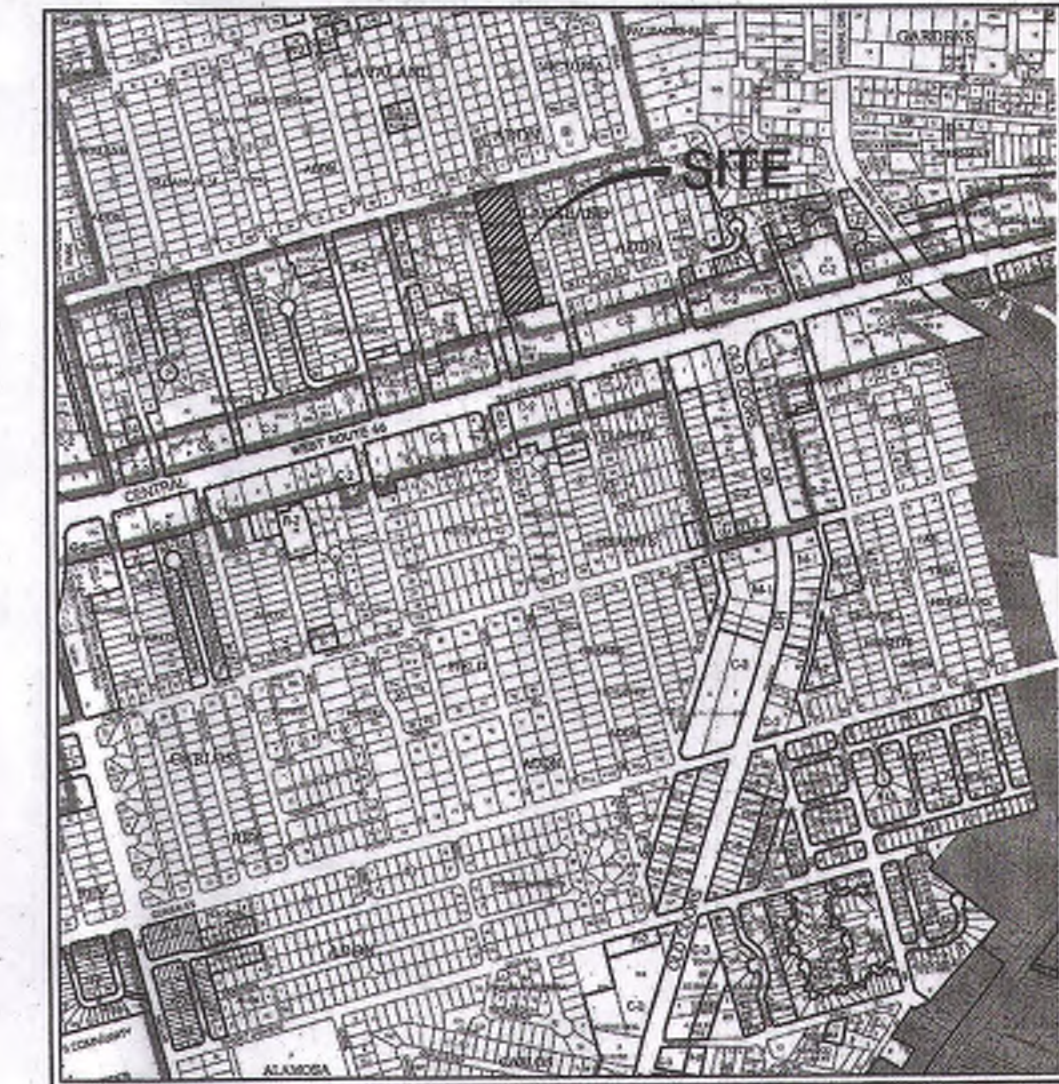
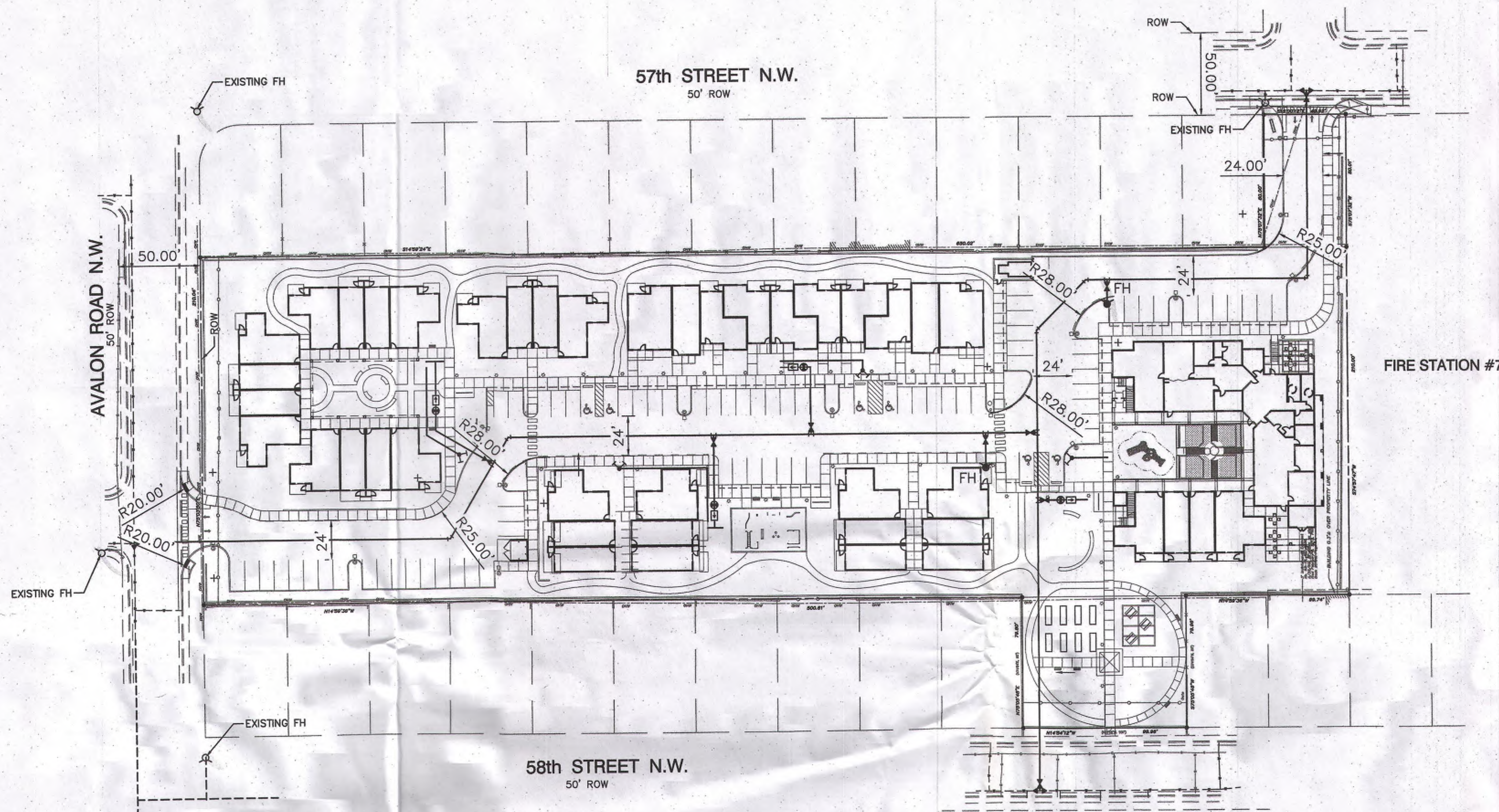
**SITE DEVELOPMENT PLAN APPROVAL:**

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
<i>Carla Williams</i>	8-25-15
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

**REVISIONS**

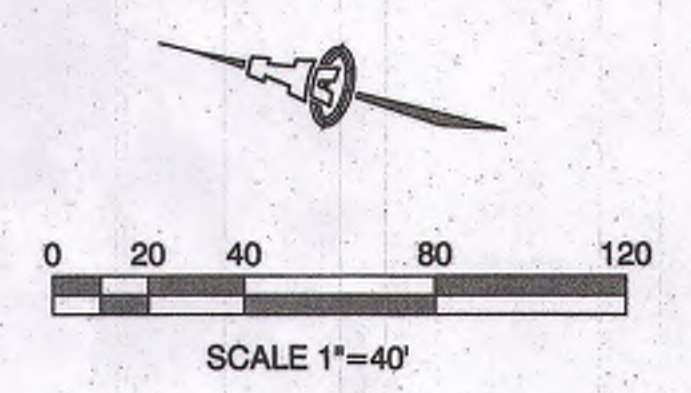
NO	DESCRIPTION
1	HYDRANT AND FIRE ACCESS ALBUQUERQUE FIRE MARSHAL'S OFFICE PLANS CHECKING DIVISION APPROVED / DISAPPROVED

**DRAWN BY:** MJH, CWW  
**REVIEWED BY:** RAW  
**DATE:** \_\_\_\_\_  
**PROJECT NO:** 8/26/2015  
**DRAWING NAME:** SDP-1.1A  
**SHEET NO:** 14 OF 15



K-11

BUILDINGS = 11  
 UNITS = 54  
 LARGES BUILDING = 24,520 SF  
 CONSTRUCTION TYPE = V B  
 BUILDING HEIGHTS = 14'-4" TO 26'-0"  
 SPRINKLED



**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph. 505-268-8828 www.isacsv.com  
 2124 FH LOC-ACCESS PLAN.dwg Nov 20, 2015

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**GENERATIONS AT WEST MESA  
 APARTMENTS**  
**57TH ST & CENTRAL AVE NW**  
**FIRE HYDRANT LOCATION  
 AND ACCESS PLAN**

Date:	No. / Revision:	Date:	Job No.
Drawn By:			1
Ckd By:			15 OF 15

6182-15  
 HYDRANT AND FIRE ACCESS  
 ALBUQUERQUE FIRE MARSHAL'S OFFICE  
 PLANS CHECKING DIVISION  
 SOFT COPY CONSTRUCTION TYPE V B  
 GPM 4227 NUMBER OF HYDRANTS 5  
 APPROVED / DISAPPROVED  
 SIGNATURE / MAN NUMBER / DATE