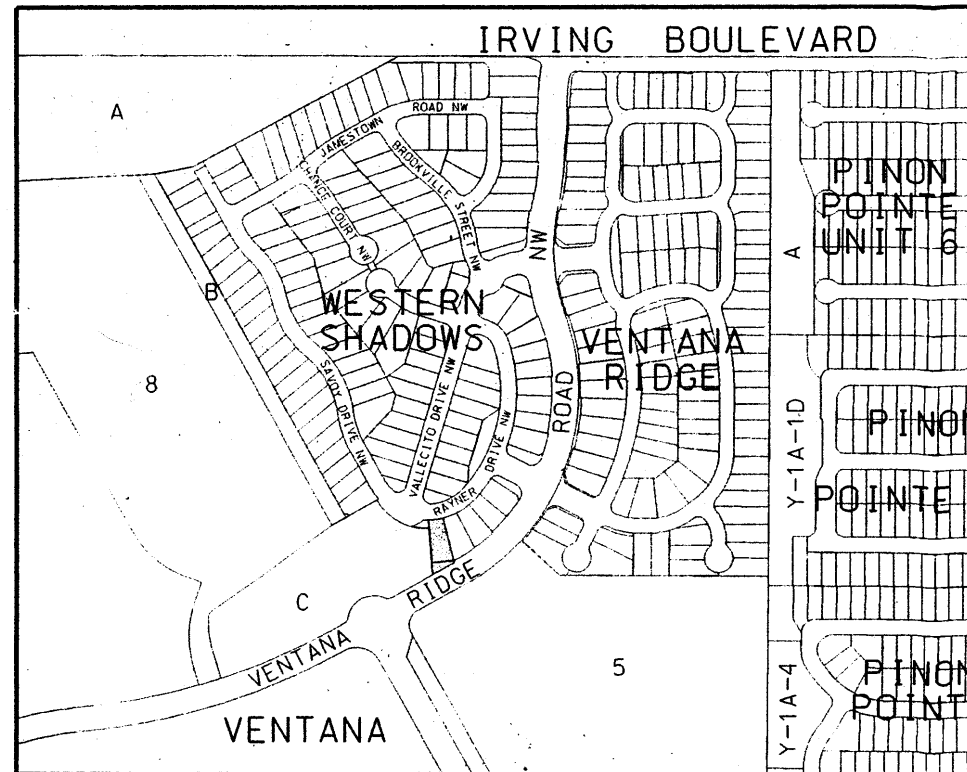


SP-2005381490



**LOCATION MAP**  
ZONE ATLAS INDEX MAP No. B-8  
NOT TO SCALE

**SUBDIVISION DATA**

1. DRB No.
2. Zone Atlas Index Nos. B-8-Z; Zoning: RLT.
3. Gross Acreage: 0.2188 Acres
4. Total Number of Tracts Created: One (1) Lot & One (1) Tract
5. Total Mileage of Full Width Streets created: 0 mile
6. Total Mileage of Partial Width Streets created: 0 mile
7. Date of Survey: November, 2004.
8. Plat is located within the Town of Alameda Grant, within projected Section 8, T11N, R2E, NMPM.

**DISCLOSURE STATEMENT**

The purpose of this Replat is to subdivide all of Lot 14 and Tract O Western Shadows At Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 14, 2005 in Book 2005C, Page 65 as Document No. 2005021546 into One (1) Lot and One (1) Tract and to grant easements.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
- B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- E. New Mexico Utilities, Inc. for the installation, maintenance and service of underground water and sanitary sewer lines across the easement.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgear, as installed shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

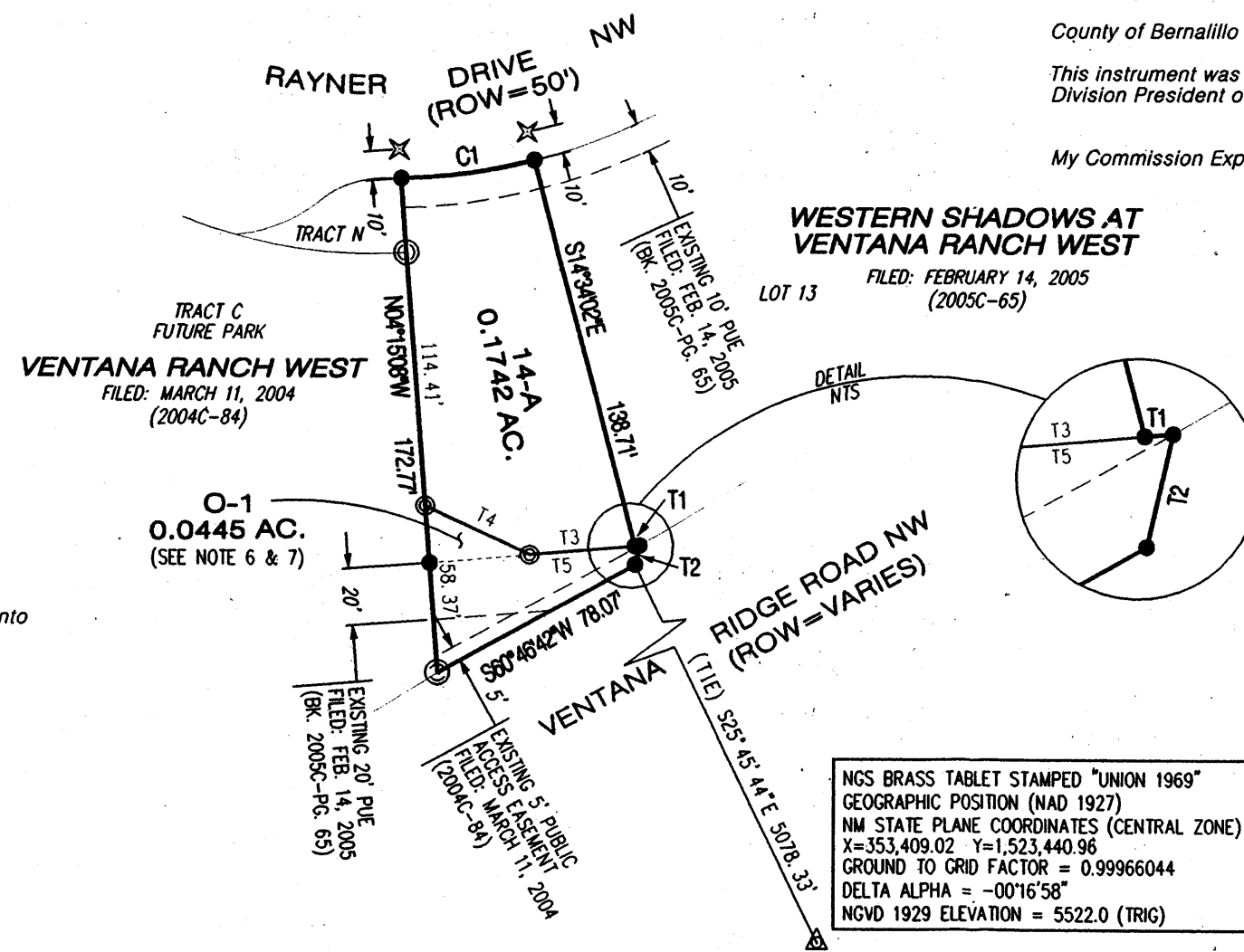
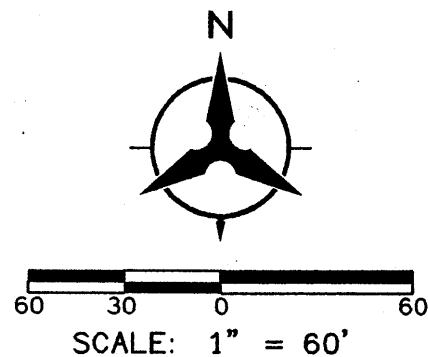
**DESCRIPTION**

A certain tract of land located in the Town of Alameda Grant, projected Section 8, Township 11 North, Range 2 East, N.M.P.M., City of Albuquerque, Bernalillo County, New Mexico, and being and comprising all of Lot 14 and Tract O Western Shadows At Ventana Ranch West as recorded in Book 2005C, Page 65 as document No. 2005021546 on February 14, 2005 in the office of the Bernalillo County Clerk.

Tract contains 0.2188 acres of land, more or less.

Tangent Data		
ID	BEARING	DISTANCE
T1	N84° 53' 48" E	1.62'
T2	S12° 48' 27" W	6.75'
T3	S84° 53' 48" W	36.32'
T4	N64° 59' 02" W	39.91'
T5	N84° 53' 48" E	37.94'

Curve Data						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	12° 59' 50"	23.35'	46.50'	205.00'	46.40'	N81° 55' 54" E



**NOTES**

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 and are the same as shown on the Western Shadows At Ventana Ranch West, Albuquerque, New Mexico, recorded on February 14, 2005 in Book 2005C, Page 65 as Document No. 2005021546.
2. Distances are ground distances.
3. All easements of record are shown.
4. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
5. The front (adjacent to street right-of-way) lot corner will not be staked. A witness corner projected along the property line (10' offset), being a chiseled "+", in the curb and gutter will be set upon completion of all street improvements. Offset may be adjusted by even foot increments where necessary to fall within the plan.
6. Tract O-1 is to be conveyed to and maintained by the Ventana Ranch West Community Association as private open space by separate deed. Tracts are subject to a pedestrian access and community landscaping easement granted with the filing of this plat.
7. There is a Blanket Public Utility Easement granted upon Tract O-1 with the filing of this plat.

**FREE CONSENT AND DEDICATION**

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Lot 14 and Tract O WESTERN SHADOWS AT VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 14, 2005 in Book 2005C, Page 65 as Document No. 2005021546, now comprising Lot 14-A and Tract O-1, WESTERN SHADOWS AT VENTANA RANCH WEST, Albuquerque, New Mexico is with free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s), all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried distribution lines, conduits, pipes for underground Utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. In the event Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's property to access the easement areas for the purposes of performing the Work. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

PULTE HOMES OF NEW MEXICO, INC.

BY: Gerard Sanchez, Division President  
Pulte Homes of New Mexico, Inc.

State of New Mexico )  
County of Bernalillo )

This instrument was acknowledged before me on 28th day of September, 2005, by Gerard Sanchez, Division President of Pulte Homes of New Mexico, Inc.

My Commission Expires: 02-24-07



OFFICIAL SEAL  
STEPHANIE L. STRATTON  
NOTARY PUBLIC-STATE OF NEW MEXICO

My commission expires: 02-24-07

Stephanie L. Stratton  
Notary Public

LEGEND	
—	SUBDIVISION BOUNDARY LINE
—	NEW LOT LINE
- - -	EXISTING EASEMENT LINE
- - -	ADJOINING PROPERTY LINE
- - -	EXISTING (OLD) LOT LINE
- - -	SECTION LINE
- - -	RIGHT OF WAY
▲	CITY OF ALBUQUERQUE CONTROL MONUMENT
●	FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS16469"
○	FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
✱	FOUND CHISELED "+"
○	SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS16469"

**SURVEYOR'S CERTIFICATION**

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.



Robert Gromatzky  
New Mexico Professional Surveyor 16469

Date: 9-28-05

2895149153  
6345262  
Page: 1 of 1  
18/87/2895 18-12R  
Bk-2895C Pg-327

Hary Herrera Bern. Co. PLRT R 7.89

**PLAT OF  
LOT 14-A & TRACT O-1  
WESTERN SHADOWS  
AT VENTANA RANCH WEST**

(A REPLAT OF  
LOT 14 AND TRACT O WESTERN SHADOWS  
AT VENTANA RANCH WEST)  
ALBUQUERQUE, NEW MEXICO  
SEPTEMBER, 2005

**PLAT APPROVAL**

PROJECT NUMBER 1002185

APPLICATION NUMBER 05ORB-01477

- CITY APPROVALS
- CITY SURVEYOR: [Signature] DATE: 9/29/05
  - ENGINEERING & TRANSPORTATION DIVISION: [Signature] DATE: 10-5-05
  - UTILITIES DEVELOPMENT: [Signature] DATE: 10/5/05
  - PARKS & RECREATION DEPARTMENT: [Signature] DATE: 10/5/05
  - CITY ENGINEER: [Signature] DATE: 10/5/05
  - DRB CHAIRPERSON, PLANNING DEPARTMENT: [Signature] DATE: 10-4-05
  - VENTANA RANCH WEST COMMUNITY ASSOCIATION, INC.: [Signature] DATE: 10/5/05
  - AMA FCA: [Signature] DATE: 10/6/05
  - CONCRETE: [Signature] DATE: 10-6-05
  - PNM ELECTRIC SERVICES: [Signature] DATE: 10-4-05
  - PNM GAS SERVICES: [Signature] DATE: 10-4-05
  - NEW MEXICO UTILITIES, INC.: [Signature] DATE: 10-4-05

**TAX CERTIFICATION**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #

SEE TAX CERTIFICATE

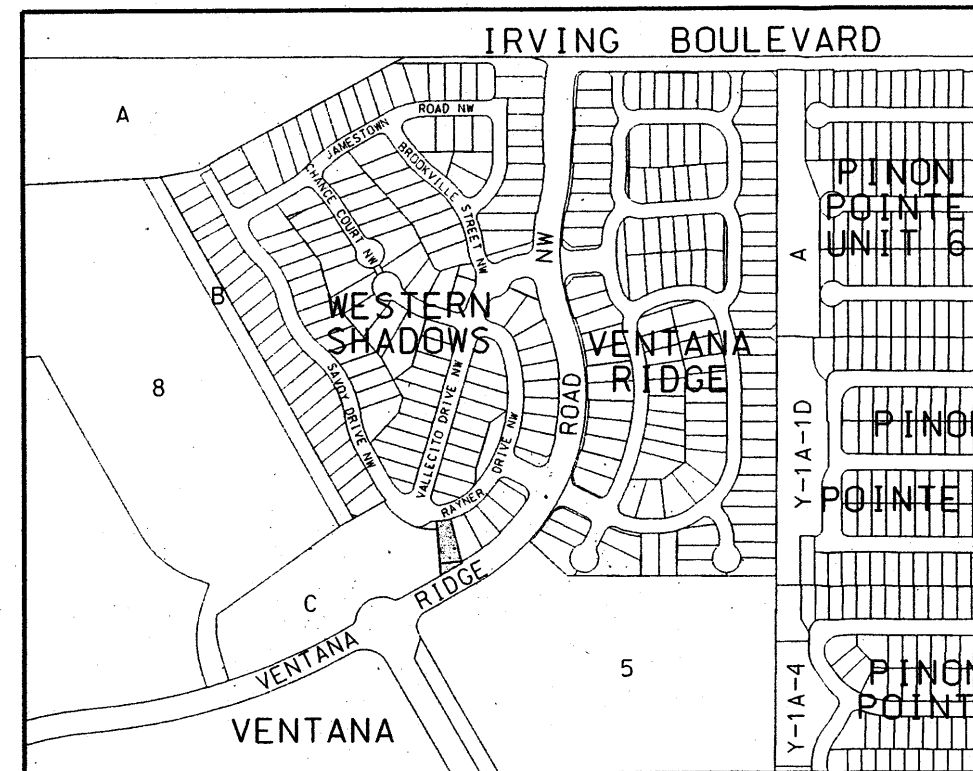
PROPERTY OWNER OF RECORD PULTE HOMES

Francisco Jureb 10/7/05  
BERNALILLO COUNTY TREASURER'S OFFICE DATE

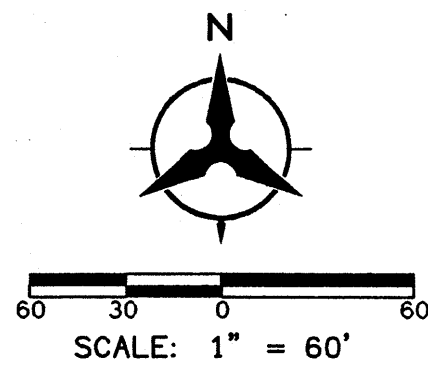
In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

**Bohannon & Huston**  
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

SP-2005381490



**LOCATION MAP**  
ZONE ATLAS INDEX MAP No. B-8  
NOT TO SCALE



**LEGEND**

	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) LOT LINE
	SECTION LINE
	RIGHT OF WAY
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS16469"
	FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
	FOUND CHISELED "+"
	SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS16469"

**FREE CONSENT AND DEDICATION**

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Lot 14 and Tract O WESTERN SHADOWS AT VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 14, 2005 in Book 2005C, Page 65 as Document No. 2005021546, now comprising Lot 14-A and Tract O-1, WESTERN SHADOWS AT VENTANA RANCH WEST, Albuquerque, New Mexico is with free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s). In the event Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's property to access the easement areas for the purposes of performing the Work. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

PULTE HOMES OF NEW MEXICO, INC.

BY: *Gerard Sanchez*  
Gerard Sanchez, Division President  
Pulte Homes of New Mexico, Inc.

State of New Mexico )  
County of Bernalillo )

This instrument was acknowledged before me on 19 day of September, 2005, by Gerard Sanchez, Division President of Pulte Homes of New Mexico, Inc.

My Commission Expires: 0-24-07 *Stephen L. Stratton*  
Notary Public



OFFICIAL SEAL  
STEPHANIE L. STRATTON  
NOTARY PUBLIC-STATE OF NEW MEXICO

My commission expires: 0-24-07

**PLAT OF  
LOT 14-A & TRACT O-1  
WESTERN SHADOWS  
AT VENTANA RANCH WEST**  
(A REPLAT OF  
LOT 14 AND TRACT O WESTERN SHADOWS  
AT VENTANA RANCH WEST)  
ALBUQUERQUE, NEW MEXICO  
SEPTEMBER, 2005

**PLAT APPROVAL**

PROJECT NUMBER \_\_\_\_\_  
APPLICATION NUMBER \_\_\_\_\_

CITY APPROVALS: *[Signature]* 9/19/05  
CITY SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION \_\_\_\_\_ DATE \_\_\_\_\_  
UTILITIES DEVELOPMENT \_\_\_\_\_ DATE \_\_\_\_\_  
PARKS & RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_  
CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
DRB CHAIRPERSON, PLANNING DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_  
VENTANA RANCH COMMUNITY ASSOCIATION, INC. \_\_\_\_\_ DATE \_\_\_\_\_  
NMU \_\_\_\_\_ DATE \_\_\_\_\_

**SUBDIVISION DATA**

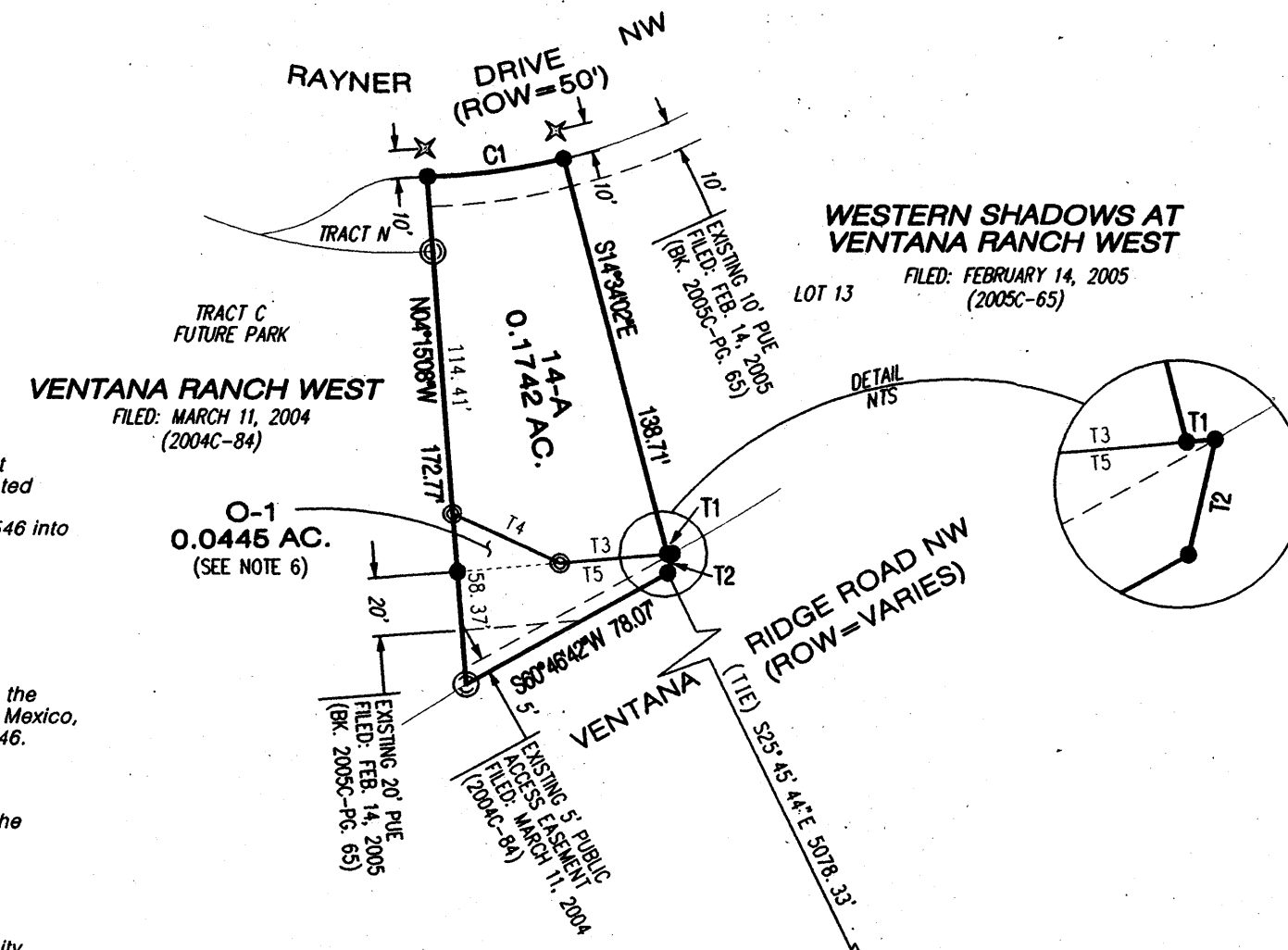
- DRB No.
- Zone Atlas Index Nos. B-8-Z; Zoning: RLT.
- Gross Acreage: 0.2188 Acres
- Total Number of Tracts Created: One (1) Lot & One (1) Tract
- Total Mileage of Full Width Streets created: 0 mile
- Total Mileage of Partial Width Streets created: 0 mile
- Date of Survey: November, 2004
- Plat is located within the Town of Alameda Grant, within projected Section 8, T11N, R2E, NMPM.

**DISCLOSURE STATEMENT**

The purpose of this Replat is to subdivide all of Lot 14 and Tract O Western Shadows At VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 14, 2005 in Book 2005C, Page 65 as Document No. 2005021546 into One (1) Lot and One (1) Tract.

**NOTES**

- Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 and are the same as shown on the Western Shadows At Ventana Ranch West, Albuquerque, New Mexico, recorded on February 14, 2005 in Book 2005C, Page 65 as Document No. 2005021546.
- Distances are ground distances.
- All easements of record are shown.
- These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
- The front (adjacent to street right-of-way) lot corner will not be staked. A witness corner projected along the property line (10' offset), being a chiseled "+" in the curb and gutter will be set upon completion of all street improvements. Offset may be adjusted by even foot increments where necessary to fall within the pan.
- Tract O-1 is to be conveyed to and maintained by the Ventana Ranch West Community Association as private open space by separate deed. Tract is subject to a pedestrian access and community landscaping easement granted with the filing of this plat.



**Tangent Data**

ID	BEARING	DISTANCE
T1	N84°53'48"E	1.62'
T2	S12°48'27"W	6.75'
T3	S84°53'48"W	36.32'
T4	N64°59'02"W	39.91'
T5	N84°53'48"E	37.94'

NGS BRASS TABLET STAMPED "UNION 1969"  
GEOGRAPHIC POSITION (NAD 1927)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
X=353,409.02 Y=1,523,440.96  
GROUND TO GRID FACTOR = 0.99966044  
DELTA ALPHA = -0°16'58"  
NGVD 1929 ELEVATION = 5522.0 (TRIG)

**Curve Data**

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	12°59'50"	23.35'	46.50'	205.00'	46.40'	N81°55'54"E

**DESCRIPTION**

A certain tract of land located in the Town of Alameda Grant, projected Section 8, Township 11 North, Range 2 East, N.M.P.M., City of Albuquerque, Bernalillo County, New Mexico, and being and comprising all of Lot 14 and Tract O Western Shadows At Ventana Ranch West as recorded in Book 2005C, Page 65 as document No. 2005021546 on February 14, 2005 in the office of the Bernalillo County Clerk.

Tract contains 0.2188 acres of land, more or less.

**TAX CERTIFICATION**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # \_\_\_\_\_

**SURVEYOR'S CERTIFICATION**

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

*Robert Gromatzky*  
Robert Gromatzky  
New Mexico Professional Surveyor 16469

Date: 9-16-05



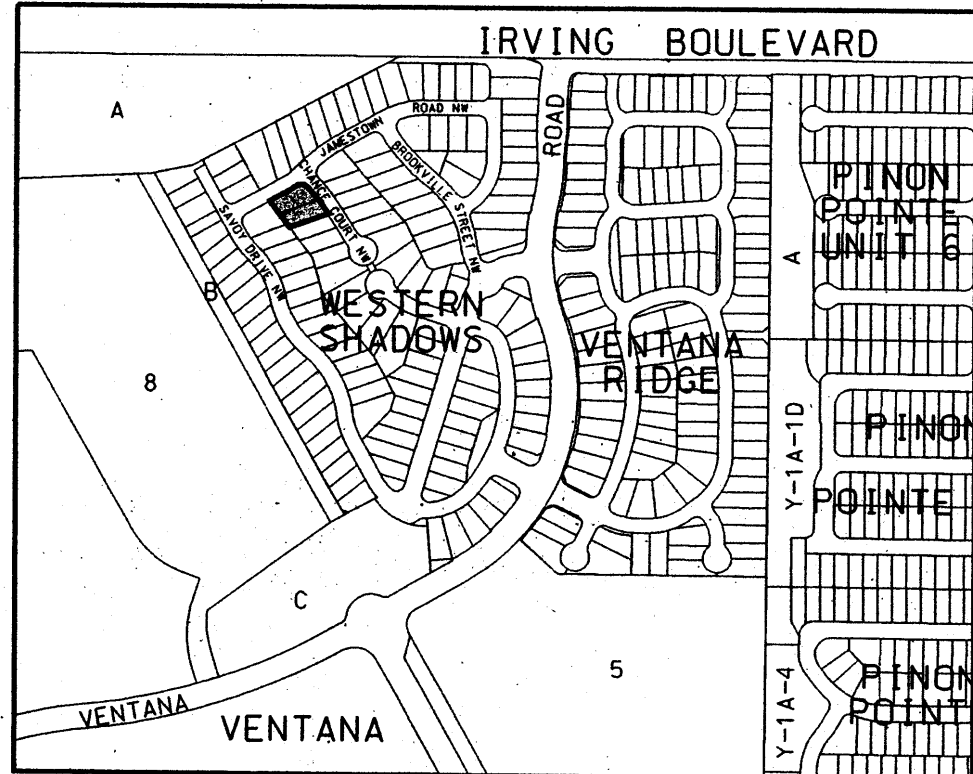
In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

**Bohannon & Huston**  
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

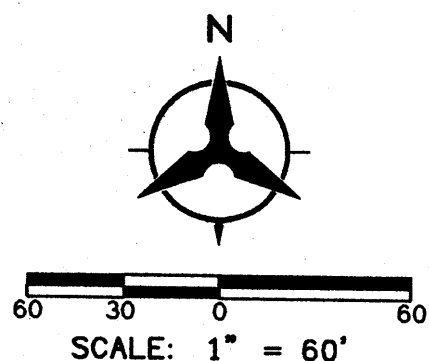




SP-2005373268



**LOCATION MAP**  
ZONE ATLAS INDEX MAP No. B-8  
NOT TO SCALE



**LEGEND**

—	SUBDIVISION BOUNDARY LINE
—	NEW LOT LINE
- - -	CENTERLINE
- - -	EXISTING EASEMENT LINE
- - -	ADJOINING PROPERTY LINE
- - -	EXISTING (OLD) LOT LINE
- - -	SECTION LINE
- - -	RIGHT OF WAY
▲	CITY OF ALBUQUERQUE CONTROL MONUMENT
●	FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS16469"
+	FOUND CHISELED "+"
○	SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS16469"

**SUBDIVISION DATA**

1. DRB No.
2. Zone Atlas Index Nos. B-8-Z; Zoning: RLT.
3. Gross Acreage: 0.3154 Acres
4. Total Number of Lots Created: Two (2)
5. Total Mileage of Full Width Streets created: 0 mile
6. Total Mileage of Partial Width Streets created: 0 mile.
7. Date of Survey: November, 2004.
8. Plat is located within the Town of Alameda Grant, within projected Section 8, T11N, R2E, NMPM.

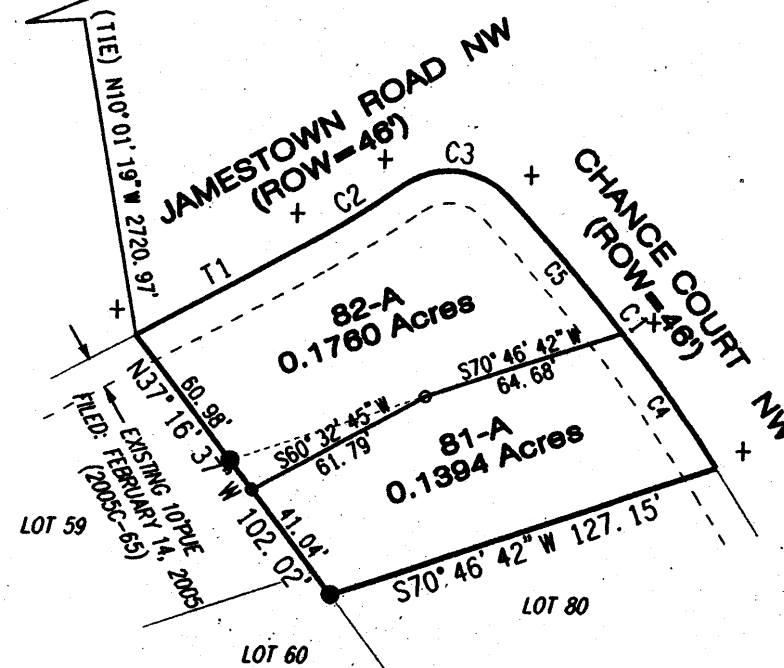
**DISCLOSURE STATEMENT**

The purpose of this Replat is to subdivide all of Lots 81 and 82 Western Shadows At VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 14, 2005 in Book 2005C, Page 65 as Document No. 2005021546 into Two (2) lots.

**NOTES**

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 and are the same as shown on the Western Shadows At Ventana Ranch West, Albuquerque, New Mexico, recorded on February 14, 2005 in Book 2005C, Page 65 as Document No. 2005021546.
2. Distances are ground distances.
3. All easements of record are shown.
4. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
5. The front (adjacent to street right-of-way) lot corner will not be staked. A witness corner projected along the property line (10' offset), being a chiseled "+" in the curb and gutter will be set upon completion of all street improvements. Offset may be adjusted by even foot increments where necessary to fall within the pan.

ACS BRASS TABLET STAMPED "1-AB 1980"  
GEOGRAPHIC POSITION (NAD 1927)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
X=350,152.25 Y=1,531,818.60  
GROUND TO GRID FACTOR = 0.9996593  
DELTA ALPHA = -00°17'21"  
NGVD 1929 ELEVATION = 5570.04



**WESTERN SHADOWS AT VENTANA RANCH WEST**  
FILED: FEBRUARY 14, 2005  
(2005C-65)

**Tangent Data**

NO	BEARING	DISTANCE
T1	N60°46'42"E	62.65'

**Curve Data**

NO	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	10°41'41"	54.01'	107.70'	577.00'	107.55'	S38°01'33"E
C2	06°33'09"	16.71'	33.38'	291.89'	33.36'	N57°30'07"E
C3	82°24'04"	21.89'	35.95'	25.00'	32.93'	S84°34'26"E
C4	05°10'04"	26.04'	52.04'	577.00'	52.03'	S35°15'45"E
C5	05°31'37"	27.85'	55.66'	577.00'	55.64'	S40°36'35"E

**FREE CONSENT AND DEDICATION**

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Lots 81 and 82 WESTERN SHADOWS AT VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 14, 2005 in Book 2005C, Page 65 as Document No. 2005021546, now comprising Lots 81-A AND 82-A, WESTERN SHADOWS AT VENTANA RANCH WEST, Albuquerque, New Mexico is with free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s). In the event Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's property to access the easement areas for the purposes of performing the Work. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

PULTE HOMES OF NEW MEXICO, INC.  
BY: Gerard Sanchez, Division President  
Pulte Homes of New Mexico, Inc.  
State of New Mexico )  
County of Bernalillo )

**OFFICIAL SEAL**  
Rebecca Mestas  
NOTARY PUBLIC  
STATE OF NEW MEXICO  
My Commission Expires: 6-9-07

This instrument was acknowledged before me on 13 day of Sept 2005, by Gerard Sanchez, Division President of Pulte Homes of New Mexico, Inc.  
My Commission Expires: 6-9-07  
Rebecca Mestas  
Notary Public

PRELIMINARY AT APPROVED BOARD ON

**PLAT OF LOTS 81-A & 82-A WESTERN SHADOWS AT VENTANA RANCH WEST**  
(A REPLAT OF LOTS 81 AND 82 WESTERN SHADOWS AT VENTANA RANCH WEST)  
ALBUQUERQUE, NEW MEXICO  
SEPTEMBER, 2005

**PLAT APPROVAL**

PROJECT NUMBER \_\_\_\_\_  
APPLICATION NUMBER \_\_\_\_\_  
CITY APPROVALS: \_\_\_\_\_ 9/13/05  
CITY SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_  
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION \_\_\_\_\_ DATE \_\_\_\_\_  
UTILITIES DEVELOPMENT \_\_\_\_\_ DATE \_\_\_\_\_  
PARKS & RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_  
CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
DRB CHAIRPERSON, PLANNING DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_  
VENTANA RANCH COMMUNITY ASSOCIATION, INC. \_\_\_\_\_ DATE \_\_\_\_\_  
NMU \_\_\_\_\_ DATE \_\_\_\_\_

**DESCRIPTION**

A certain tract of land located in the Town of Alameda Grant, projected Section 8, Township 11 North, Range 2 East, N.M.P.M., City of Albuquerque, Bernalillo County, New Mexico, and being and comprising all of Lots 81 and 82 Western Shadows At Ventana Ranch West as recorded in Book 2005C, Page 65 as document No. 2005021546 on February 14, 2005 in the office of the Bernalillo County Clerk.

Tract contains 0.3154 acres of land, more or less.

**TAX CERTIFICATION**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # \_\_\_\_\_

**SURVEYOR'S CERTIFICATION**

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.



Robert Gromatzky  
New Mexico Professional Surveyor 16469  
Date: 9-12-05

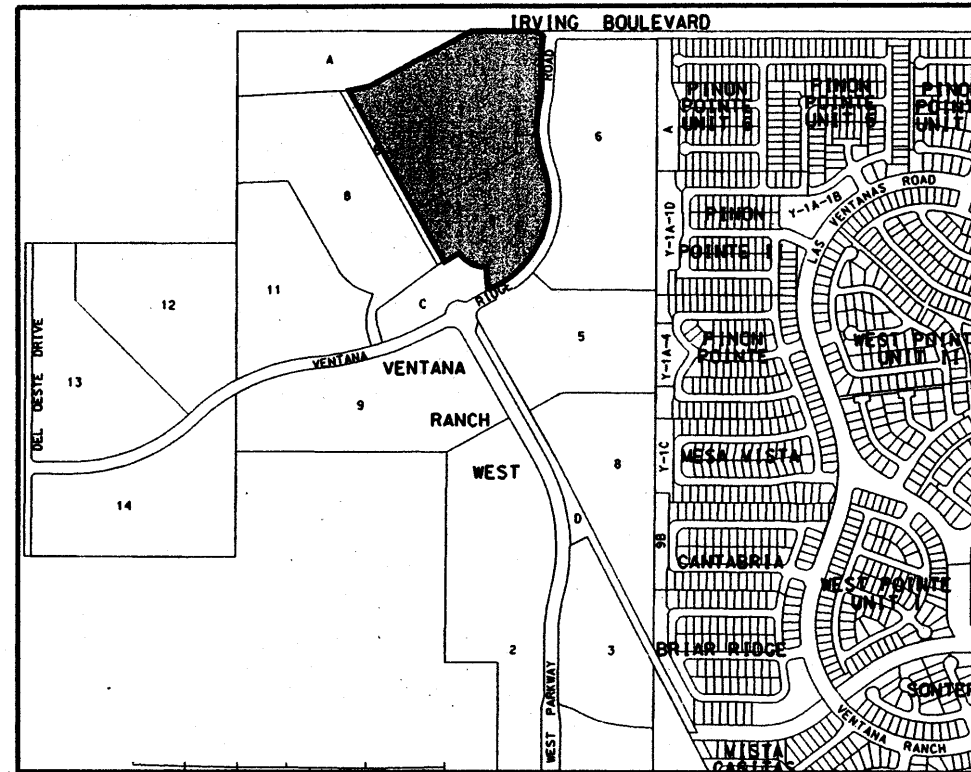
PROPERTY OWNER OF RECORD \_\_\_\_\_  
BERNALILLO COUNTY TREASURER'S OFFICE \_\_\_\_\_ DATE \_\_\_\_\_  
In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

**Bohannon & Huston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES



SP-2005050388



LOCATION MAP  
ZONE ATLAS INDEX MAP No. B-8  
NOT TO SCALE

SUBDIVISION DATA

- 1. DRB No. 1003685.
2. Zone Atlas Index Nos. B-8-Z; Zoning: RL.T.
3. Gross Subdivision Acreage: 29.4426 Acres
4. Total Number of Tracts Created: One hundred thirty-one (131) Lots & fifteen (15) Tracts.
5. Total Mileage of Full Width Streets created: 1.0450 miles.
6. Total Mileage of Partial Width Streets created: 0.3303 mile.
7. Date of Survey: November, 2004.
8. Plat is located within the Town of Alameda Grant, within projected Section 8, T11N, R2E, NMPM.

DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide all of Tracts 7 & 8, BULK LAND PLAT FOR VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553 into one hundred thirty-one (131) lots and fifteen (15) tracts, to dedicate additional public street right-of-way to the City of Albuquerque, to grant easements, and to vacate easements.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
E. New Mexico Utilities, Inc. for the installation, maintenance and service of underground water and sanitary sewer lines across the easement.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgear, as installed shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DESCRIPTION

A certain tract of land located in the Town of Alameda Grant, projected Section 8, Township 11 North, Range 2 East, N.M.P.M., City of Albuquerque, Bernalillo County, New Mexico, and being more particularly described as follows:

BEGINNING at the most southerly corner of said Tract 8, a point on the westerly line of Ventana Ridge Road NW of said Bulk Land Plat, and identical to the southeast corner of Tract C of said Bulk Land Plat, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544", WHENCE a brass tablet stamped "UNION" with NAD 27 New Mexico State Plane Central Zone coordinates of X=353,409.02" and Y=1,523440.96 bears S26°38'32"E a distance of 5,074.22 feet;

THENCE leaving said westerly line of Ventana Ridge Road NW and along the westerly line of said Tract 8 also being the easterly line of said Tract C, N04°15'08"W a distance of 147.35 feet to the beginning of a curve of said westerly line of Tract 8, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE continuing along said westerly line of Tract 8 and said easterly line of Tract C, along the arc of a curve to the right having an arc length of 197.83 feet, a radius of 175.00 feet, a central angle of 64°46'13", and a chord of N61°52'01"W a distance of 187.46 feet to a point of non-tangency of said westerly line of Tract 8, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE continuing along said westerly line of Tract 8 also being the northerly line of said Tract C S60°31'05"W a distance of 110.00 feet to an angle point of said Tract 8, identical to the southeast corner of said Tract B, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE leaving said northerly line of Tract C and continuing along said westerly line of Tract 8 and along the westerly line of said Tract 7 also being the easterly line of said Tract B N29°13'18"W a distance of 1,227.57 feet to the South line of Tract A of said Bulk Land Plat, identical to the northeast corner of said Tract B, and identical to the most westerly corner of said Tract 7, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE leaving said easterly line of said Tract B and along the northerly line of said Tract 7 also being the South line of said Tract A N79°38'01"E a distance of 122.53 feet to an angle point of the northerly line of said Tract 7, identical to an angle point of said Tract A, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE continuing along the northerly line of said Tract 7 and the southerly line of said Tract A N61°57'39"E a distance of 730.10 feet to the most northerly corner of said Tract 7, identical to the most easterly corner of said Tract A, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE leaving the southerly line of said Tract 7 and continuing along the northerly line of said Tract 7 S89°50'36"E a distance of 393.17 feet to the beginning of a curve of the northerly line of said Tract 7 and the westerly line of said Ventana Ridge Road NW, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE continuing along the northerly line of said Tract 7 also being the westerly line of said Ventana Ridge Road NW along the arc of a curve to the left having an arc length of 40.85 feet, a radius of 688.00 feet, a central angle of 03°24'07", and a chord of S72°24'45"E a distance of 40.85 feet to a point of reverse curvature of the northerly line of said Tract 7 and the westerly line of said Ventana Ridge Road NW, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE continuing along the northerly line of said Tract 7 and along the easterly line of said Tract 7 also being the westerly line of said Ventana Ridge Road NW along the arc of a curve to the left having an arc length of 123.43 feet, a radius of 841.00 feet, a central angle of 08°24'34", and a chord of S04°21'41"W a distance of 123.32 feet to a point of tangency of the easterly line of said Tract 7 and westerly line of said Ventana Ridge Road NW;

THENCE continuing along the easterly line of said Tract 7 and the westerly line of said Ventana Ridge Road NW along the arc of a curve to the left having an arc length of 123.43 feet, a radius of 841.00 feet, a central angle of 08°24'34", and a chord of S04°21'41"W a distance of 123.32 feet to a point of tangency of the easterly line of said Tract 7 and westerly line of said Ventana Ridge Road NW;

THENCE continuing along the easterly line of said Tract 7 and the westerly line of said Ventana Ridge Road NW S00°09'24"W a distance of 68.02 feet to a point of curvature of the easterly line of said Tract 7 and westerly line of said Ventana Ridge Road NW, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE continuing along the easterly line of said Tract 7 and the westerly line of said Ventana Ridge Road NW along the arc of a curve to the left having an arc length of 25.70 feet, a radius of 315.00 feet, a central angle of 04°40'28", and a chord of S02°10'50"E a distance of 25.69 feet to a point of reverse curvature of the easterly line of said Tract 7 and westerly line of said Ventana Ridge Road NW, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE continuing along the easterly line of said Tract 7 and the westerly line of said Ventana Ridge Road NW along the arc of a curve to the right having an arc length of 60.37 feet, a radius of 585.00 feet, a central angle of 05°54'47", and a chord of S01°33'40"E a distance of 60.35 feet to a point of compound curvature of the easterly line of said Tract 7 and westerly line of said Ventana Ridge Road NW, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE continuing along the easterly line of said Tract 7 and the westerly line of said Ventana Ridge Road NW along the arc of a curve to the right having an arc length of 125.97 feet, a radius of 612.00 feet, a central angle of 11°47'35", and a chord of S07°17'31"W a distance of 125.75 feet to a point of reverse curvature of the easterly line of said Tract 7 and westerly line of said Ventana Ridge Road NW, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE continuing along the easterly line of said Tract 7 and along the easterly line of said Tract 8 also being the westerly line of said Ventana Ridge Road NW along the arc of a curve to the left having an arc length of 399.12 feet, a radius of 688.00 feet, a central angle of 33°14'17", and a chord of S03°25'50"E a distance of 393.54 feet to a point of reverse curvature of the easterly line of said Tract 8 and westerly line of said Ventana Ridge Road, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE continuing along the easterly line of said Tract 8 and the westerly line of said Ventana Ridge Road NW along the arc of a curve to the right having an arc length of 863.36 feet, a radius of 612.00 feet, a central angle of 80°49'40", and a chord of S20°21'52"W a distance of 793.53 feet to a point of tangency of the easterly line of said Tract 8 and the westerly line of said Ventana Ridge Road NW, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE continuing along the easterly line of said Tract 8 and westerly line of said Ventana Ridge Road NW S60°46'42"W a distance of 78.07 feet to the POINT OF BEGINNING.

Tract contains 29.4426 acres of land, more or less.

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tracts 7 & 8 of the BULK LAND PLAT FOR VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553, now comprising Lots 1 thru 131 inclusive and Tracts A thru O inclusive, WESTERN SHADOWS AT VENTANA RANCH WEST, Albuquerque, New Mexico is with free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional public street rights-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants and do hereby grant: All access, Utility and Drainage Easements hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried distribution lines, conduits, pipes for underground Utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. In the event Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's property to access the easement areas for the purposes of performing the Work. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

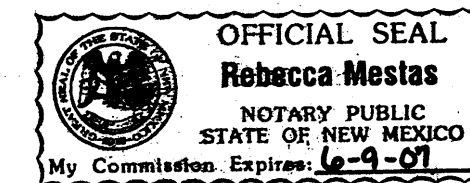
PULTE HOMES OF NEW MEXICO, INC.

BY: Gerard Sanchez, Division President, Pulte Homes of New Mexico, Inc.

State of New Mexico )
County of Bernalillo )

This instrument was acknowledged before me on 25 day of Jan, 2005, by Gerard Sanchez, Division President of Pulte Homes of New Mexico, Inc.

My Commission Expires: Rebecca Mestas, Notary Public



NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 and are the same as shown on the Bulk Land Plat for Ventana Ranch West, Albuquerque, New Mexico, recorded on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553.
2. Distances are ground distances.
3. All easements of record are shown.
4. No individual lots shall be allowed direct access to Irving Boulevard, Ventana Ridge Road or Tract A, Tract B & Tract C, Ventana Ranch West and Tract F & Tract M of this Plat.
5. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
6. Centerline (in lieu of R/W monumentation) to be installed at centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard 3-1/4" aluminum alloy cap stamped "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS 16469".
7. Tracts A thru O are to be conveyed to and maintained by the Ventana Ranch West Community Association as private open space by separate deed. Tracts are subject to a pedestrian access and community landscaping easement granted with the filing of this plat.
8. Park Dedication Requirements shall be met with Tract C, a future park site, as shown on the Bulk Land Plat for Ventana Ranch West, Albuquerque, New Mexico, recorded on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553 and in accordance with the Park Dedication Agreement between the City of Albuquerque and Ventana West, LLC dated: March 10, 2004, Document No. 2004031336. Dedication shall be by separate deed.
9. Tract 7 is subject to an existing thirty foot wide floating Public Sanitary Sewer Easement granted to New Mexico Utilities, Inc. and the City of Albuquerque by plat filed: March 11, 2004 in book 2004C, Page 84. Easement vacated by Vacation Action 04DRB-01449.
10. The front (adjacent to street right-of-way) lot corner will not be staked. A witness corner projected along the property line (10' offset), being a chiseled "x" in the curb and gutter will be set upon completion of all street improvements. Offset may be adjusted by even foot increments where necessary to fall within the pan.
11. Tracts F, K, and L are subject to a blanket water and sewer easement granted to NMU and the City of Albuquerque with the filing of this plat.
12. Tracts F and K are subject to a blanket storm drain and drainage easement granted to the City of Albuquerque with the filing of this plat.

SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky, New Mexico Professional Surveyor 16469, Date: January 24, 2005



SHEET 1 OF 5



PLAT OF WESTERN SHADOWS AT VENTANA RANCH WEST (A REPLAT OF TRACTS 7 & 8 VENTANA RANCH WEST) ALBUQUERQUE, NEW MEXICO JANUARY, 2005

PROJECT NUMBER DRB# 1003685
APPLICATION NUMBER 050RB-00127

PLAT APPROVAL

Table with columns for City Approval, City Surveyor, Traffic Engineering, Utilities Development, Parks & Recreation, City Engineer, Real Property Division, and Ventana Ranch West Community Association, Inc. with signatures and dates.

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #
Please see attached
PROPERTY OWNER OF RECORD Ventana West LLC
JAMES A. ABRAHAM, BERNALILLO COUNTY TREASURER'S OFFICE, 02-14-05

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

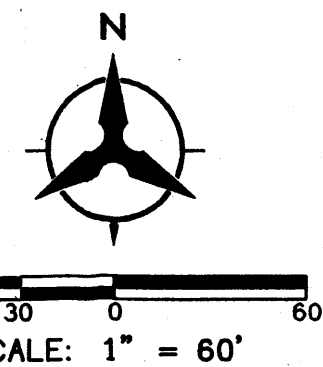


Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING - SPATIAL DATA - ADVANCED TECHNOLOGIES

ACS BRASS TABLE STAMPED "1-A8 1980"  
 GEOGRAPHIC POSITION (NAD 1927)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X=350,152.25 Y=1,531,818.60  
 GROUND TO GRID FACTOR = 0.9996593  
 DELTA ALPHA = -00°17'21"  
 NGVD 1929 ELEVATION = 5570.04

2005021546  
 8217088  
 Page: 2 of 5  
 02/14/2005 03:13P  
 Mary Herrera Bern. Co. PLRT R 27.00 Bk-2005C Pg-65

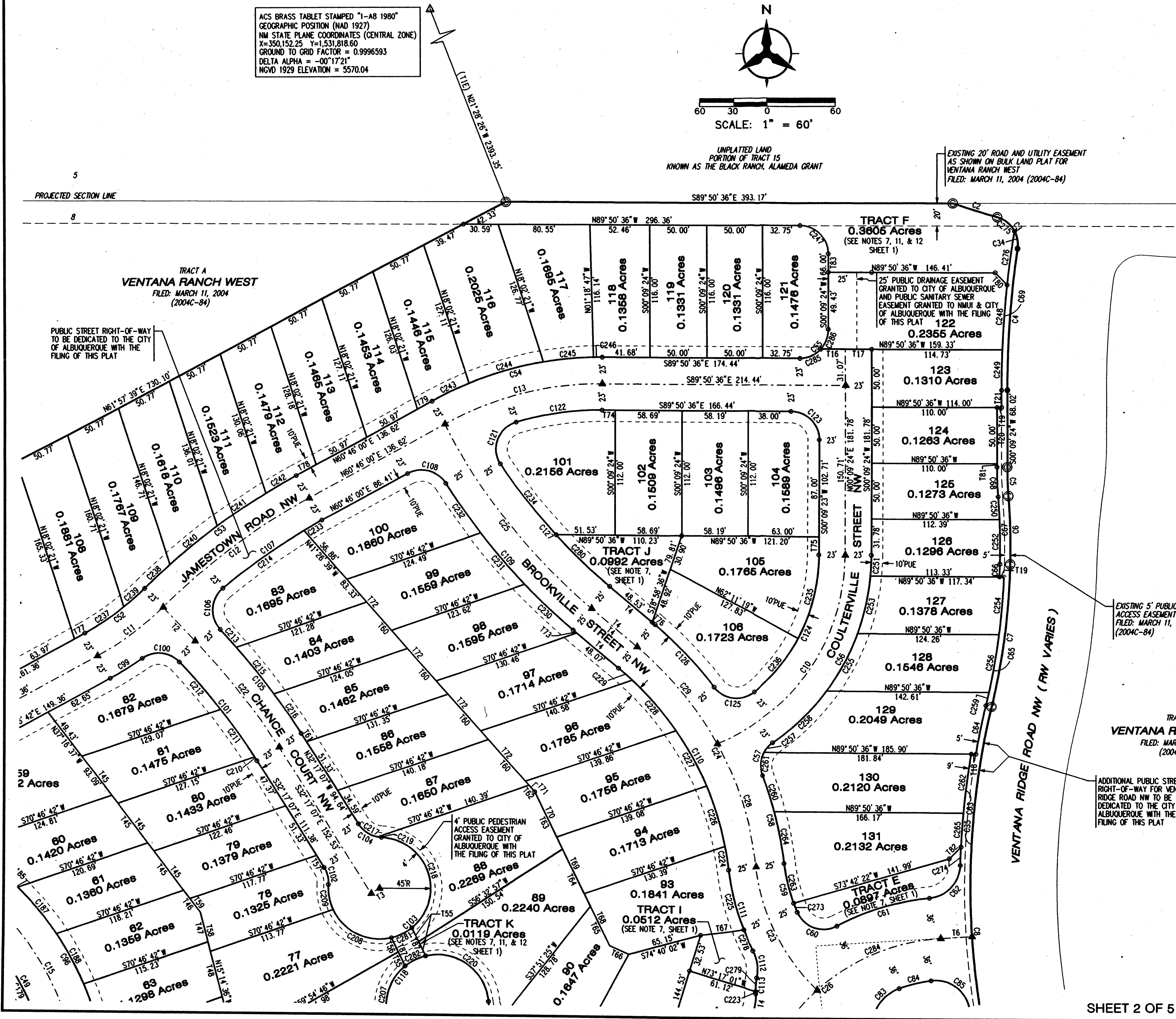
**PLAT OF  
 WESTERN SHADOWS  
 AT VENTANA RANCH WEST**  
 (A REPLAT OF TRACTS 7 & 8  
 VENTANA RANCH WEST)  
 ALBUQUERQUE, NEW MEXICO  
 JANUARY, 2005



UNPLATTED LAND  
 PORTION OF TRACT 15  
 KNOWN AS THE BLACK RANCH, ALAMEDA GRANT

EXISTING 20' ROAD AND UTILITY EASEMENT  
 AS SHOWN ON BULK LAND PLAT FOR  
 VENTANA RANCH WEST  
 FILED: MARCH 11, 2004 (2004C-84)

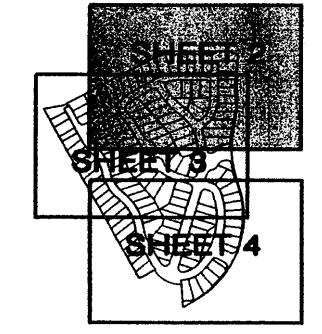
LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) LOT LINE
	SECTION LINE
	RIGHT OF WAY
	10' PUE 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS16469"
	FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"



EXISTING 5' PUBLIC ACCESS EASEMENT  
 FILED: MARCH 11, 2004  
 (2004C-84)

TRACT 6  
 VENTANA RANCH WEST  
 FILED: MARCH 11, 2004  
 (2004C-84)

ADDITIONAL PUBLIC STREET  
 RIGHT-OF-WAY FOR VENTANA  
 RIDGE ROAD NW TO BE  
 DEDICATED TO THE CITY OF  
 ALBUQUERQUE WITH THE  
 FILING OF THIS PLAT



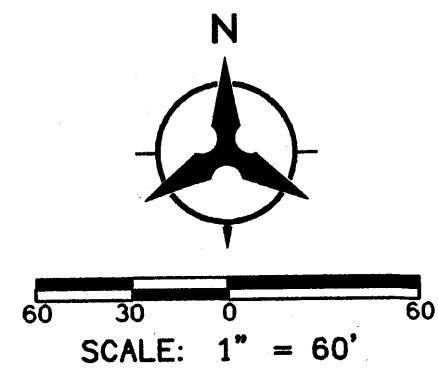
**Bohannon & Huston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

SHEET 2 OF 5

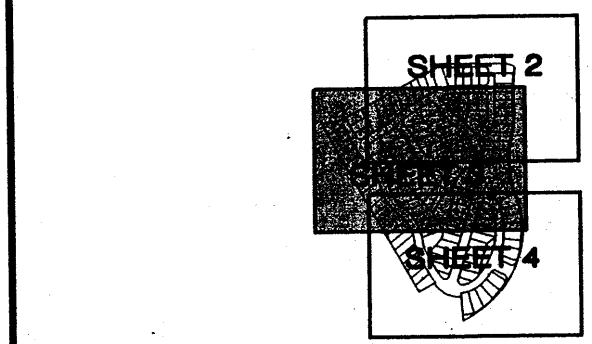


PLAT OF  
**WESTERN SHADOWS**  
**AT VENTANA RANCH WEST**  
 (A REPLAT OF TRACTS 7 & 8  
 VENTANA RANCH WEST)  
 ALBUQUERQUE, NEW MEXICO  
 JANUARY, 2005



EXISTING 5' PUBLIC ACCESS EASEMENT FILED: MARCH 11, 2004 (2004C-84)

ADDITIONAL PUBLIC STREET RIGHT-OF-WAY FOR VENTANA RIDGE ROAD NW TO BE DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT



38' PUBLIC DRAINAGE EASEMENT GRANTED TO CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

PUBLIC STREET RIGHT-OF-WAY TO BE DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

TRACT 10  
**VENTANA RANCH WEST**  
 FILED: MARCH 11, 2004  
 (2004C-84)

EXISTING 50' SOUTHERN UNION GAS COMPANY EASEMENT RECORDED SEPTEMBER 16, 1930 (BK. 112, PG. 515) AND RIGHT-OF-WAY GRANTED TO ALBUQUERQUE NATURAL GAS COMPANY RECORDED DECEMBER 11, 1931 (BK. 123, PG. 152) AND RIGHT-OF-WAY GRANT AND RELEASE OF CLAIMS RECORDED: MARCH 29, 1956 (VOLUME D346, FOLIO 356-360) DOCUMENT NO. 90568

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) LOT LINE
	SECTION LINE
	RIGHT OF WAY
	10' PUE 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"

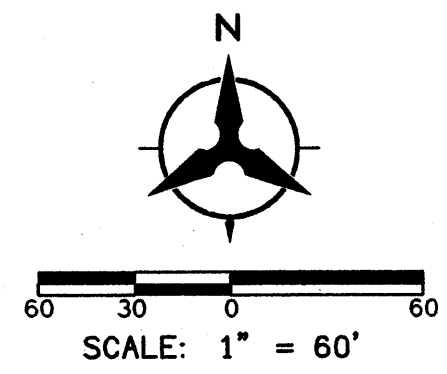


**Bohannon & Huston**  
 Engineering & Spatial Data & Advanced Technologies

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335

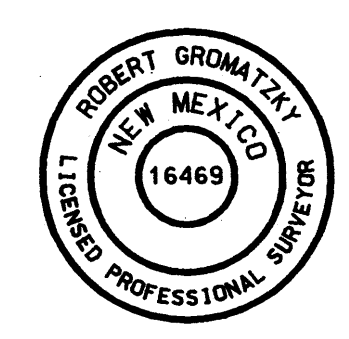
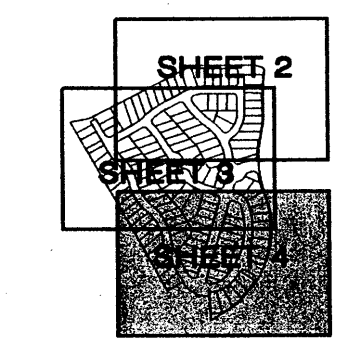
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

**PLAT OF  
WESTERN SHADOWS  
AT VENTANA RANCH WEST**  
(A REPLAT OF TRACTS 7 & 8  
VENTANA RANCH WEST)  
ALBUQUERQUE, NEW MEXICO  
JANUARY, 2005



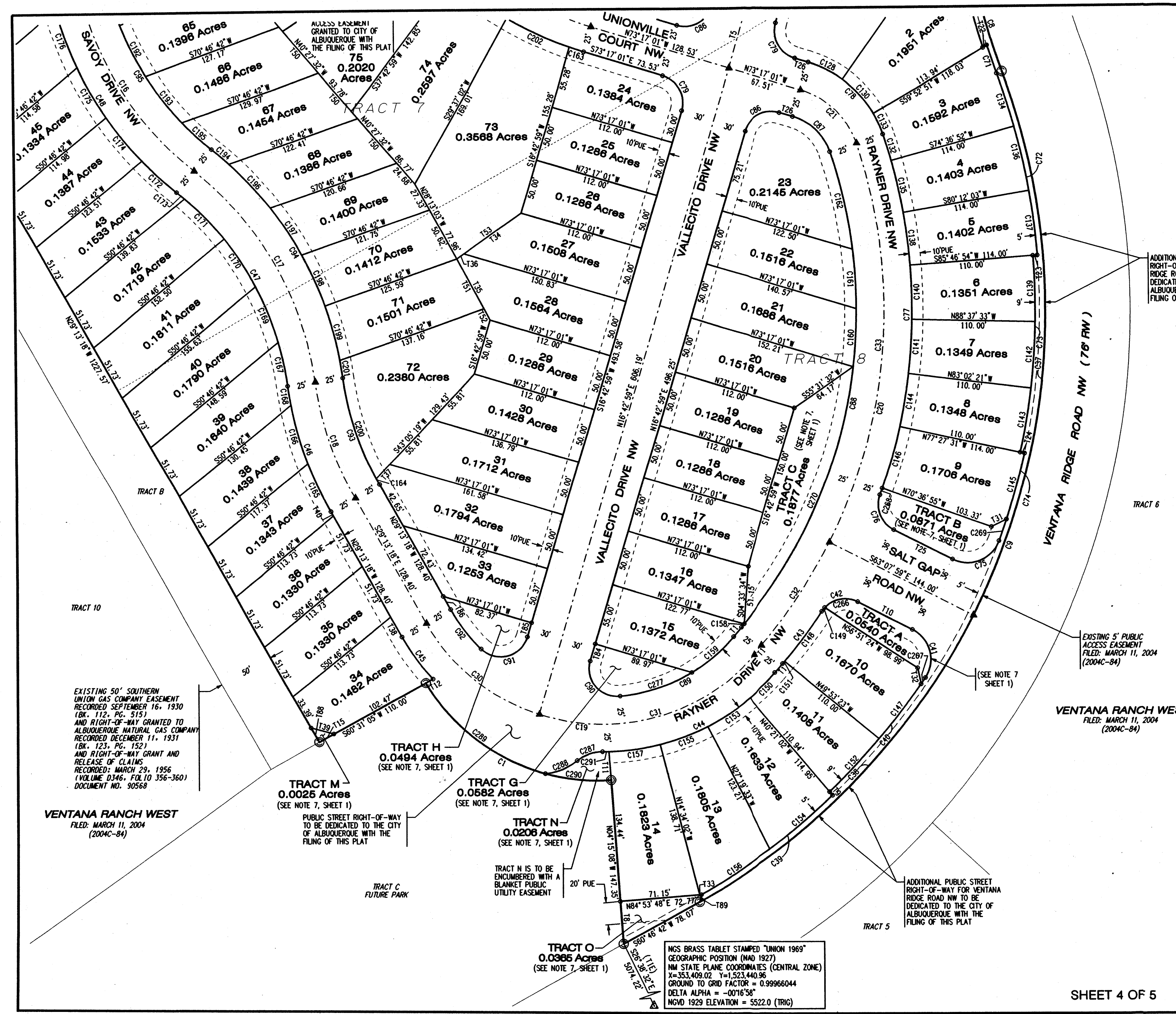
ADDITIONAL PUBLIC STREET  
RIGHT-OF-WAY FOR VENTANA  
RIDGE ROAD NW TO BE  
DEDICATED TO THE CITY OF  
ALBUQUERQUE WITH THE  
FILING OF THIS PLAT

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) LOT LINE
	SECTION LINE
	RIGHT OF WAY
10' PUE	10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	FOUND 5/8" REBAR WITH 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"

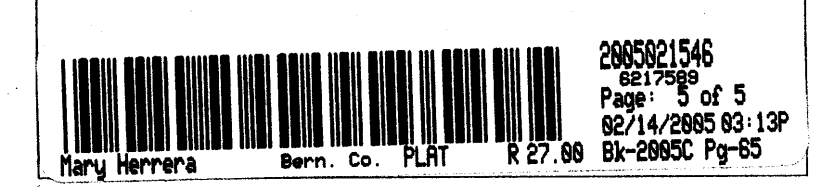


**Bohannon & Huston**  
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

SHEET 4 OF 5







PLAT OF WESTERN SHADOWS AT VENTANA RANCH WEST (A REPLAT OF TRACTS 7 & 8 VENTANA RANCH WEST) ALBUQUERQUE, NEW MEXICO JANUARY, 2005



Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

SHEET 5 OF 5

Curve Data

Table with columns: ID, DELTA, TANGENT, ARC, RADIUS, CHORD, CHORD BRG. Contains curve data for points C1 through C100.

Table with columns: ID, DELTA, TANGENT, ARC, RADIUS, CHORD, CHORD BRG. Contains curve data for points C101 through C200.

Table with columns: ID, DELTA, TANGENT, ARC, RADIUS, CHORD, CHORD BRG. Contains curve data for points C201 through C291.

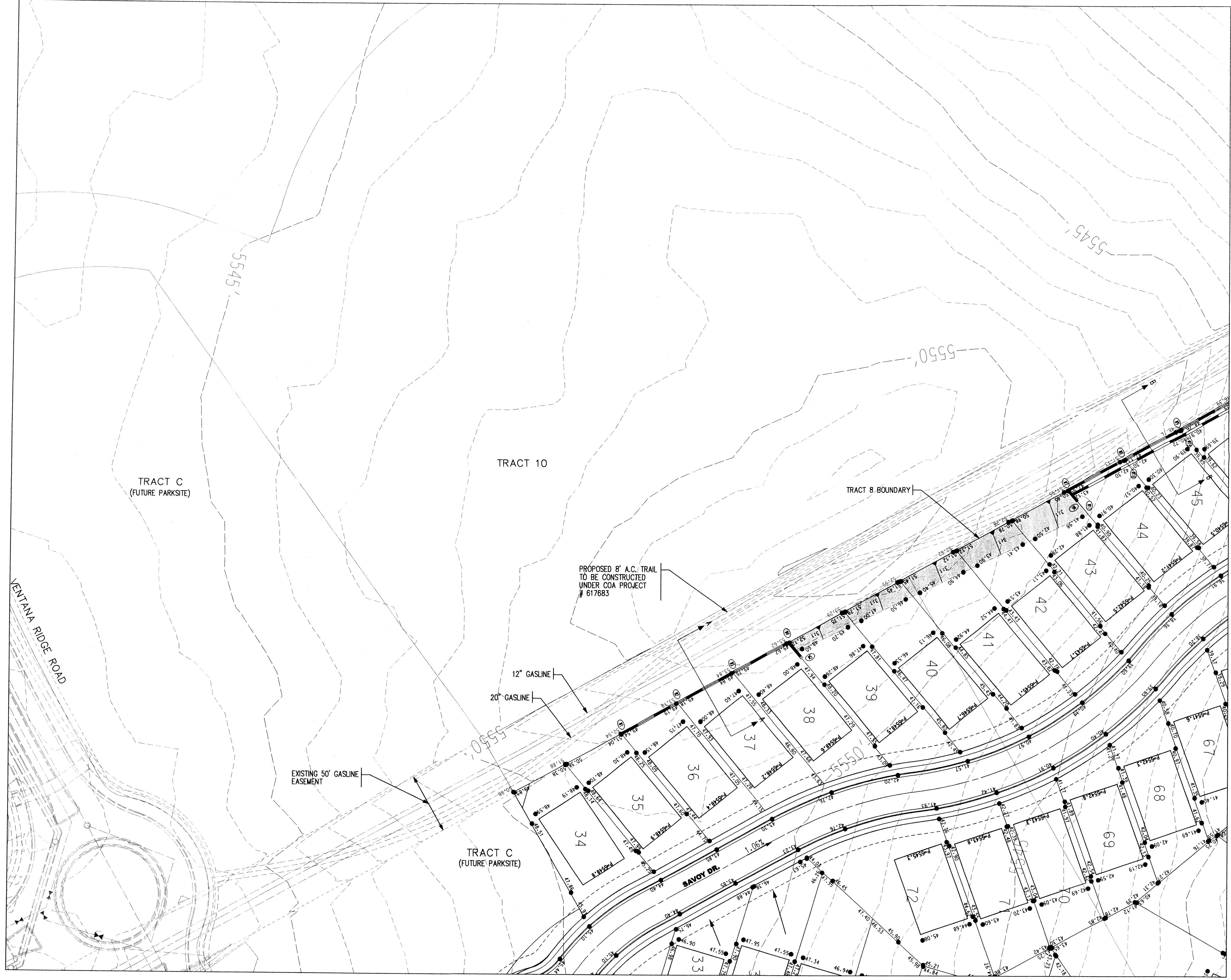
Tangent Data

Table with columns: ID, BEARING, DISTANCE. Contains tangent data for points T1 through T89.





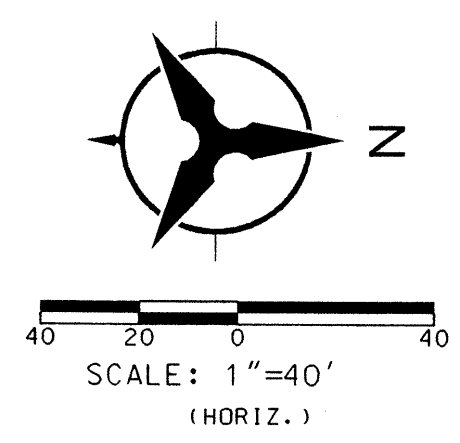




**LEGEND**

- PROPOSED SPOT ELEVATION 5235.25
- PROPOSED SPOT ELEVATION 5235.25
- EXISTING CONTOUR
- PHASE BOUNDARY
- DIRECTION OF FLOW
- EXISTING STORM DRAIN LINE
- EXISTING STORM DRAIN INLET
- EXISTING WATER LINE
- EXISTING SAS LINE
- EXISTING SAS MANHOLE
- PROPOSED WATER BLOCK
- RETAINING WALL
- GARDEN WALL
- POND CONTOUR
- PAD
- PROPOSED LANDSCAPE TRACT

**NOTES:**  
 NO WORK SHALL BE UNDERTAKEN  
 WITHIN EXISTING 50' GASLINE EASEMENT  
 WITHOUT FIRST CONTACTING PNM.



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**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**  
**ENGINEERING DEVELOPMENT GROUP**

**TRACT 7 & 8 SUBDIVISION AT VENTANA RANCH WEST**  
**OVERALL GRADING PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. 749484      ZONE MAP NO. B-8-Z      SHEET 2 OF 8

AS-BUILT INFORMATION	
CONTRACTOR	WORK
STAKED BY	DATE
ACCEPTANCE BY	DATE
FIELD CHECK BY	DATE
DRAWINGS CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	NO.

BENCH MARKS	
ACS BRASS TABLET STAMPED "2-B10, 1980"	DATE
GEOGRAPHIC POSITION (NAD 1927)	DATE
(CENTRAL ZONE)	DATE
NO.	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	DATE

ENGINEER'S SEAL

*James Paul Poore*  
 JAMES PAUL POORE  
 NEW MEXICO  
 16586  
 11-17-04  
 PROFESSIONAL ENGINEER

REVISIONS	DATE
DESIGN	DATE
JL/JPP	DATE
ARR	DATE
KGP	DATE

19-NOV-2004  
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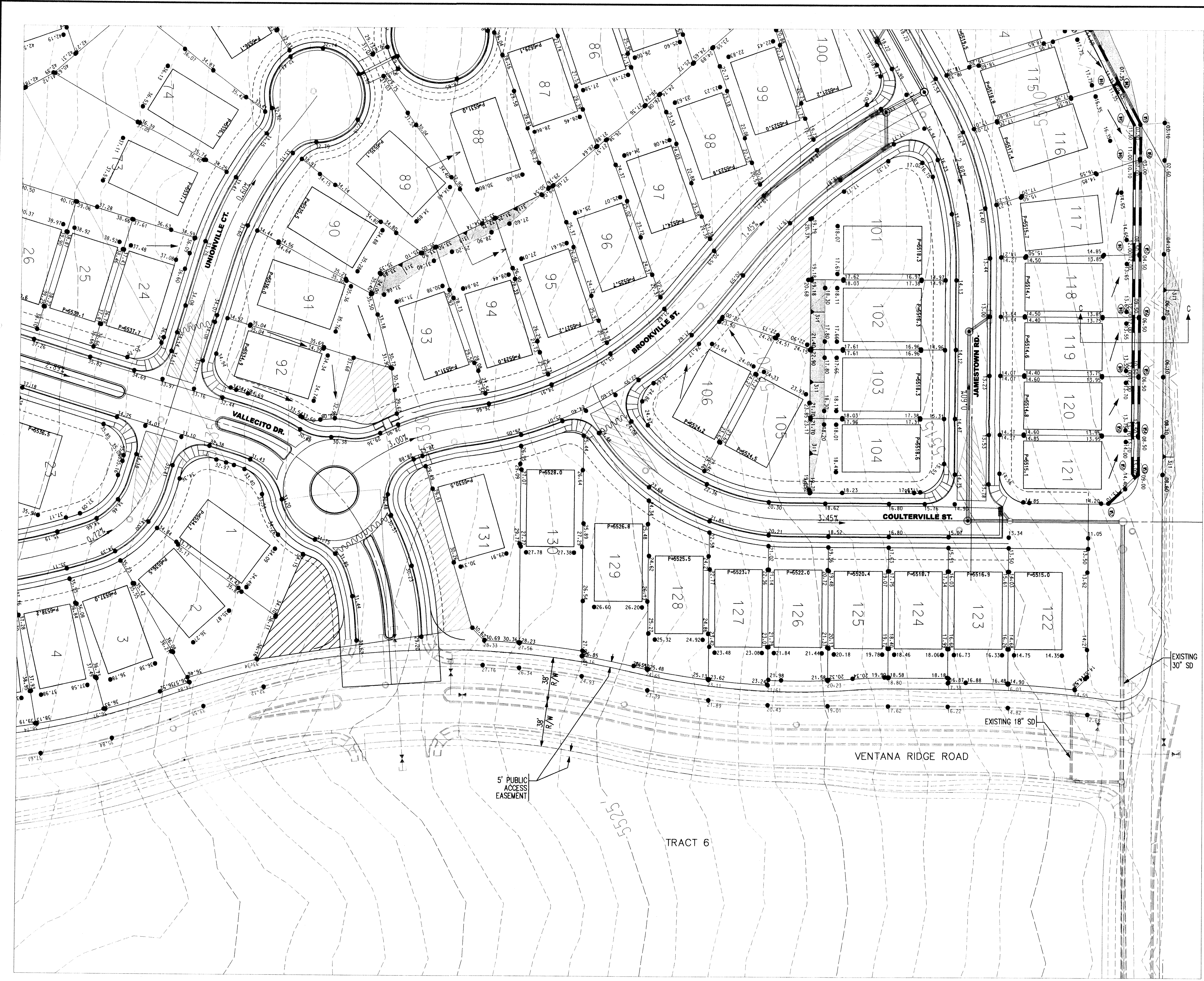








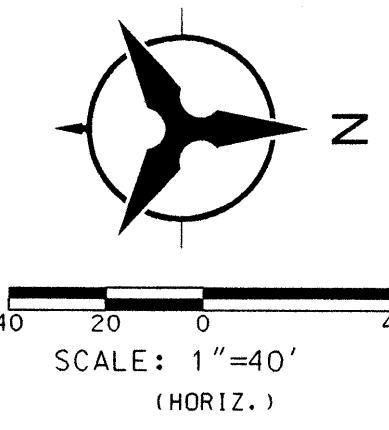




**LEGEND**

- PROPOSED SPOT ELEVATION 5235.25
- EXISTING CONTOUR
- PHASE BOUNDARY
- DIRECTION OF FLOW
- EXISTING STORM DRAIN LINE
- EXISTING STORM DRAIN INLET
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING GAS MANHOLE
- PROPOSED WATER BLOCK
- RETAINING WALL
- GARDEN WALL
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**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**  
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**TRACT 7 & 8 SUBDIVISION AT VENTANA RANCH WEST**  
**OVERALL GRADING PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. **749484** ZONE MAP NO. **B-8-Z** SHEET **5** OF **8**

AS-BUILT INFORMATION	
CONTRACTOR	NO.
DATE	DATE
INSPECTOR'S ACCEPTANCE BY	DATE
REVISION BY	DATE
DRAWINGS CORRECTED BY	DATE
MICRO-FILM INFORMATION	DATE
RECORDED BY	DATE
BENCH MARKS	
ACS BRASS TABLET STAMPED 2-B10 1980"	NO.
GEOGRAPHIC POSITION (NAD 1927)	DATE
(CENTRAL ZONE)	BY
SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	BY
ENGINEER'S SEAL	
REMARKS	BY
REVISIONS	DATE
DESIGN	DATE
JL/JPP	DATE
ARR	DATE
KGP	DATE

18-MAY-2004  
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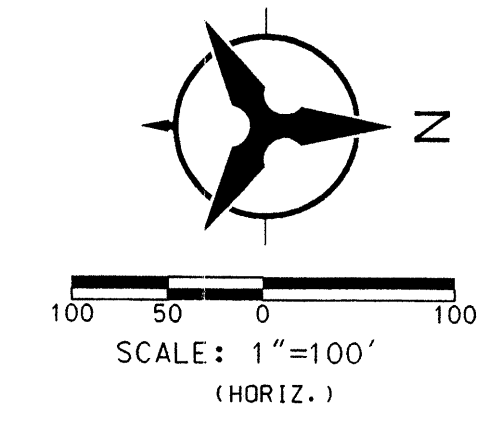




Curve Data						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	64° 46' 13"	110.99	197.83	175.00	187.46	N61° 52' 01" W
C2	03° 24' 07"	20.43	40.85	688.00	40.85	S72° 24' 45" E
C3	82° 40' 47"	21.99	36.08	25.00	33.03	S32° 46' 25" E
C4	08° 24' 34"	61.83	123.43	841.00	123.32	S04° 21' 41" W
C5	04° 40' 28"	12.86	25.70	315.00	25.69	S02° 10' 50" E
C6	05° 54' 47"	30.21	60.37	585.00	60.35	S01° 33' 40" E
C7	11° 47' 35"	63.21	125.97	612.00	125.75	S07° 17' 31" W
C8	33° 14' 17"	205.35	399.12	688.00	393.54	S03° 25' 50" E
C9	80° 49' 40"	521.11	863.36	612.00	793.53	S20° 21' 52" W

Tangent Data		
ID	BEARING	DISTANCE
T1	N04° 15' 08" W	147.35'
T2	S60° 31' 05" W	110.00'
T3	N79° 38' 01" E	122.53'
T4	S00° 09' 24" W	68.02'
T5	S60° 46' 42" W	78.07'

# PRELIMINARY PLAT WESTERN SHADOWS (REPLAT OF TRACT 7 & 8 AT VENTANA RANCH WEST) ALBUQUERQUE, NEW MEXICO SEPTEMBER, 2004



**PRELIMINARY PLAT  
APPROVED BY DRB  
ON 10/13/04**

**LEGAL DESCRIPTION**  
TRACTS 7&8 OF VENTANA RANCH WEST  
FILED: MARCH 11, 2004 (2004C-84)

- EXISTING ZONING: RL1  
PROPOSED ZONING: RL1  
PROPOSED DEVELOPMENT:  
SINGLE FAMILY DETACHED RESIDENTIAL
- TOTAL ACREAGE: 29.4426 ACRES  
TOTAL NUMBER OF LOTS: 131 LOTS  
PROPOSED DENSITY: 4.45 D.U. PER ACRE
- MINIMUM LOT DIMENSIONS 45' x 105'
- ALL STREETS AND DRAINAGE IMPROVEMENTS ARE TO BE PUBLIC, TO BE DEDICATED FOR MAINTENANCE TO THE CITY OF ALBUQUERQUE.
- THIS SUBDIVISION LIES WITHIN THE NEW MEXICO UTILITIES, INC. (NMU) FRANCHISE AREA. WATER AND SANITARY SEWER CAPABILITIES AREA BASED ON NMU'S FACILITIES, AND NOT ON THE CITY OF ALBUQUERQUE'S. WATER AND SANITARY SEWER INFRASTRUCTURE IMPROVEMENTS MUST BE APPROVED BY BOTH THE CITY OF ALBUQUERQUE AND NMU.
- ALL SANITARY AND WATER UTILITIES IN THE STREET R/W ARE TO BE OWNED AND MAINTAINED BY NMU.
- NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO IRVING BOULEVARD, VENTANA RIDGE ROAD OR TRACT A, TRACT B & TRACT C OF VENTANA RANCH WEST AND TRACT F AND TRACT M OF WESTERN SHADOWS.
- LOT SETBACKS SHALL CONFORM TO RL1 ZONE REGULATIONS. REQUIRED SETBACKS SHALL INCLUDE:  
FRONT YARD: 20'(TYP.)  
(15' W/ 20' TO GARAGE MIN.)  
SIDE YARD: 5' (MIN.)  
BACK YARD: 15' (MIN.)  
CORNER SIDEYARD: 10' TO R/W
- PARK DEDICATION REQUIREMENTS HAVE BEEN MET WITH PARK SITE WITHIN TRACT C AND IN ACCORDANCE WITH THE PARK DEDICATION AGREEMENT BETWEEN THE CITY OF ALBUQUERQUE AND VENTANA WEST, LLC DATED: MARCH 10, 2004, DOCUMENT NO. 2004031306.
- TRACT 7 IS SUBJECT TO AN EXISTING THIRTY (30') WIDE FLOATING PUBLIC SANITARY SEWER EASEMENT GRANTED TO NEW MEXICO UTILITIES, INC. AND CITY OF ALBUQUERQUE. FILED: MARCH 11, 2004 IN BOOK 2004C, PAGE 84. EASEMENT TO BE VACATED BY VACATION ACTION AND WILL BE SHOWN ON FINAL PLAT.
- TRACTS A THRU M ARE TO BE DEDICATED TO AND MAINTAINED BY THE VENTANA RANCH WEST COMMUNITY ASSOCIATION BY SEPARATE DEED AND SOLELY AS PRIVATE OPEN SPACE, PEDESTRIAN ACCESS AND COMMUNITY LANDSCAPING.
- A BLANKET WATER AND SEWER EASEMENT TO BE GRANTED TO NEW MEXICO UTILITIES, INC. AND THE CITY OF ALBUQUERQUE WITH THE FINAL PLAT FOR TRACTS F, K, AND L.
- A BLANKET STORM DRAIN AND DRAINAGE EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FINAL PLAT FOR TRACTS F AND K.
- A 25' PUBLIC STORM DRAIN EASEMENT WILL BE DEDICATED TO THE CITY OF ALBUQUERQUE AND A 25' PUBLIC SANITARY SEWER EASEMENT WILL BE DEDICATED TO THE CITY OF ALBUQUERQUE AND NEW MEXICO UTILITIES, INC., ACROSS LOT 122 WITH THE FINAL PLAT.
- A PUBLIC STORM DRAIN EASEMENT WILL BE DEDICATED TO THE CITY OF ALBUQUERQUE ACROSS LOTS 55 AND 56 OF WESTERN SHADOWS SUBDIVISION. SAID EASEMENT SHALL FURTHER BE DEFINED WITH THE FINAL PLAT.

UNPLATTED LAND  
PORTION OF TRACT 15  
KNOWN AS THE BLACK RANCH, ALAMEDA GRANT

ACS BRASS TABLET STAMPED "1-A8 1980"  
GEOGRAPHIC POSITION (NAD 1927)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
X=350,152.25 Y=1,531,818.60  
GROUND TO GRID FACTOR = 0.9996593  
DELTA ALPHA = -00°17' 21"  
NGVD 1929 ELEVATION = 5570.04

**SURVEY NOTES:**

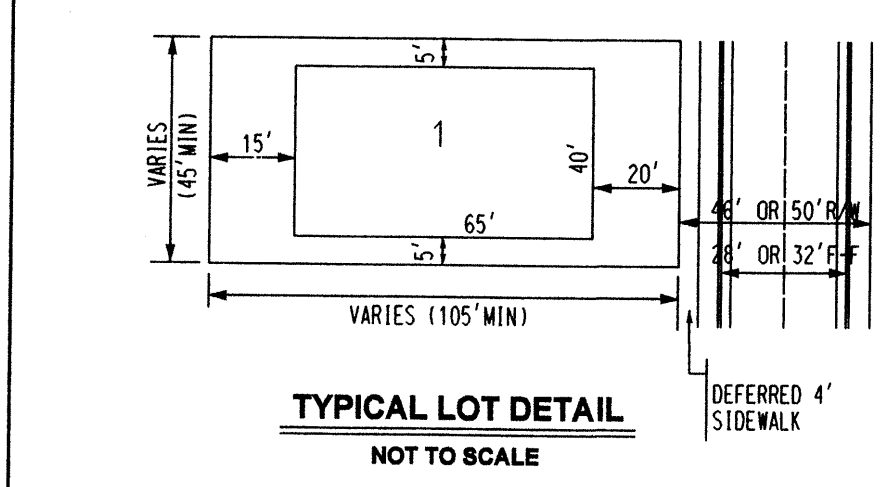
- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS (●) SHALL BE MARKED BY A #5 REBAR STAMPED "WEAVER LS 6544".
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT DESIGNATED CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN THUS (▲) WILL BE MARKED BY A FOUR (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE, CENTERLINE MONUMENTATION, DO NOT DISTURB, P.L.S. 6544".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW THE USE OF CENTERLINE MONUMENTATION.

APPROVED

*[Signature]*  
CITY SURVEYOR

9-17-04  
DATE

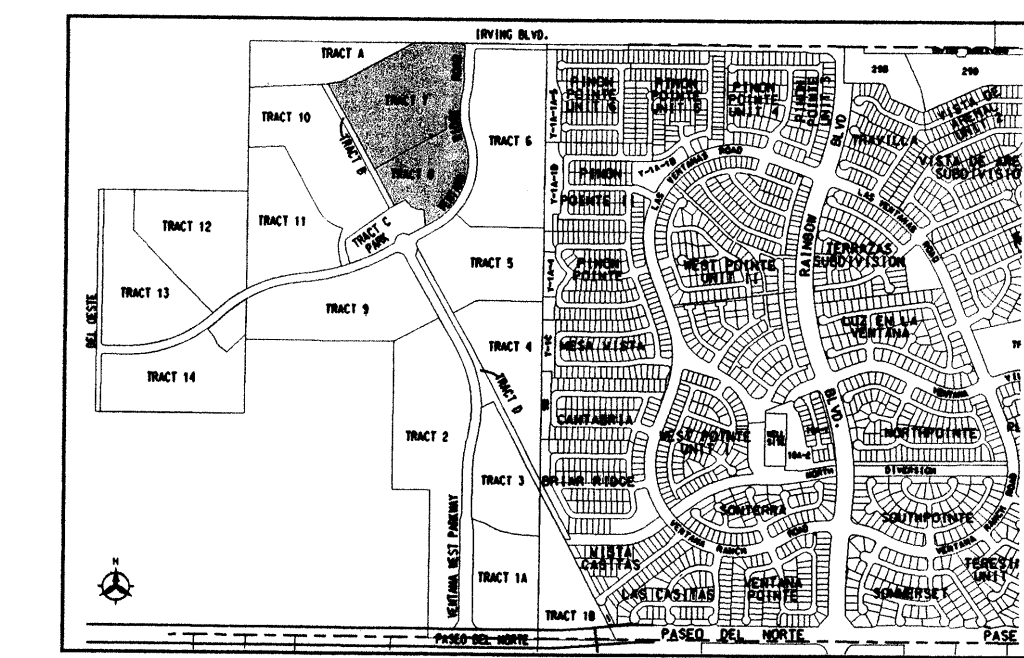
*[Signature]* *[Signature]*  
ROBERT M. MURPHY, PRESIDENT  
SANDIA PROPERTIES LTD. CO.  
MANAGING PARTNER.



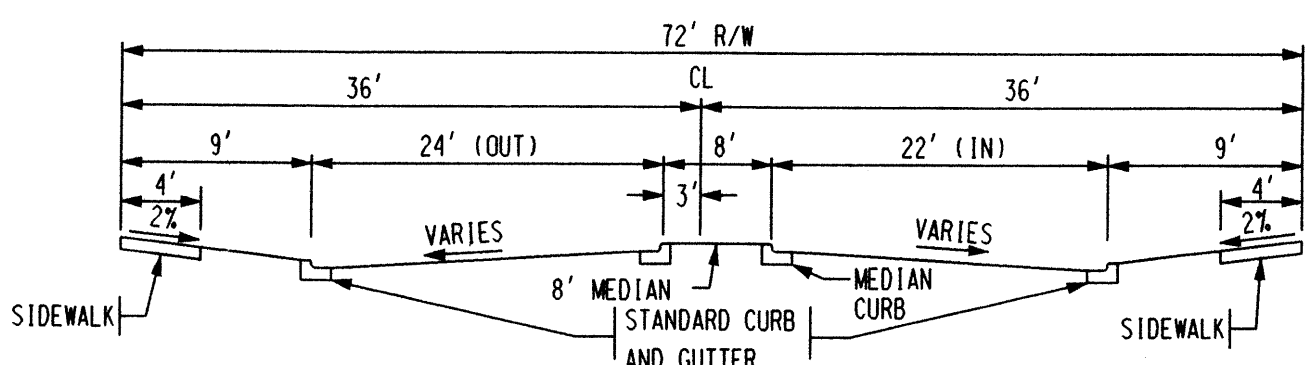
**TYPICAL LOT DETAIL**  
NOT TO SCALE

NGS BRASS TABLET STAMPED "UNION 1969"  
GEOGRAPHIC POSITION (NAD 1927)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
X=353,409.02 Y=1,523,440.96  
GROUND TO GRID FACTOR = 0.99966044  
DELTA ALPHA = -00°16' 58"  
NGVD 1929 ELEVATION = 5522.0 (TRIG)

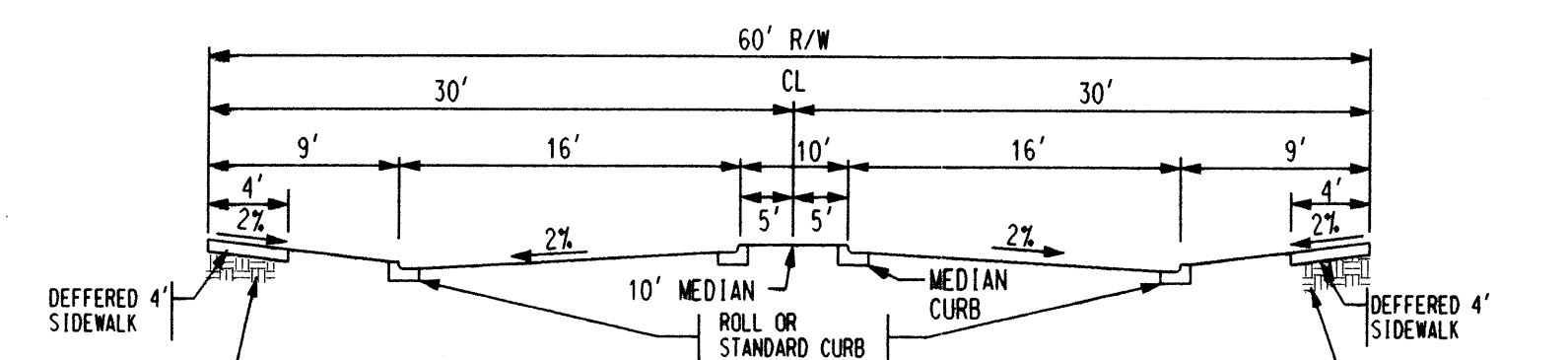
EXISTING 5' PUBLIC ACCESS EASEMENT  
GRANTED TO THE CITY OF ALBUQUERQUE  
FILED: MARCH 11, 2004 (2004C-84)  
TO REMAIN.



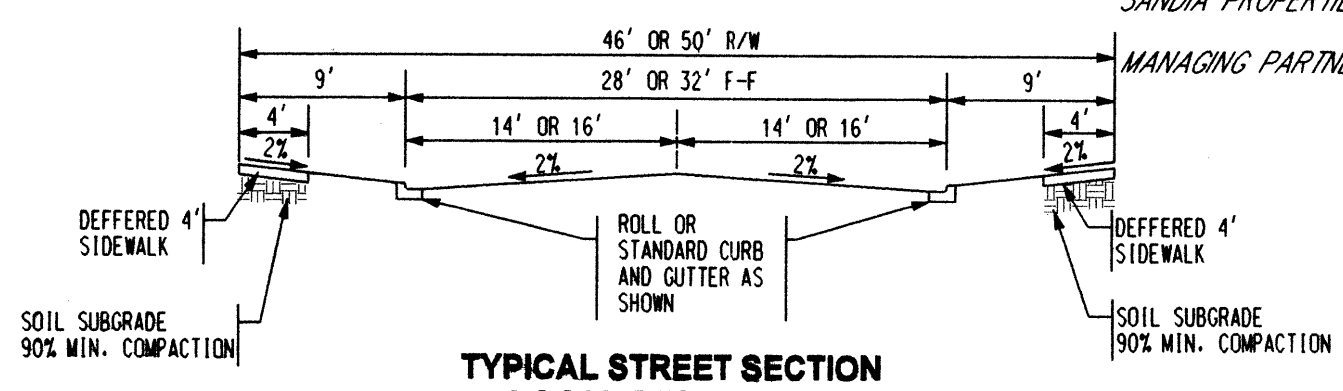
**LOCATION MAP**  
ZONE ATLAS MAP NOS. B-9  
NOT TO SCALE



**SECTION A-A  
ENTRANCE TO SUBDIVISION STREET**  
NOT TO SCALE



**SECTION B-B  
ENTRANCE TO SUBDIVISION STREET**  
NOT TO SCALE



**TYPICAL STREET SECTION  
LOCAL RESIDENTIAL**  
NOT TO SCALE

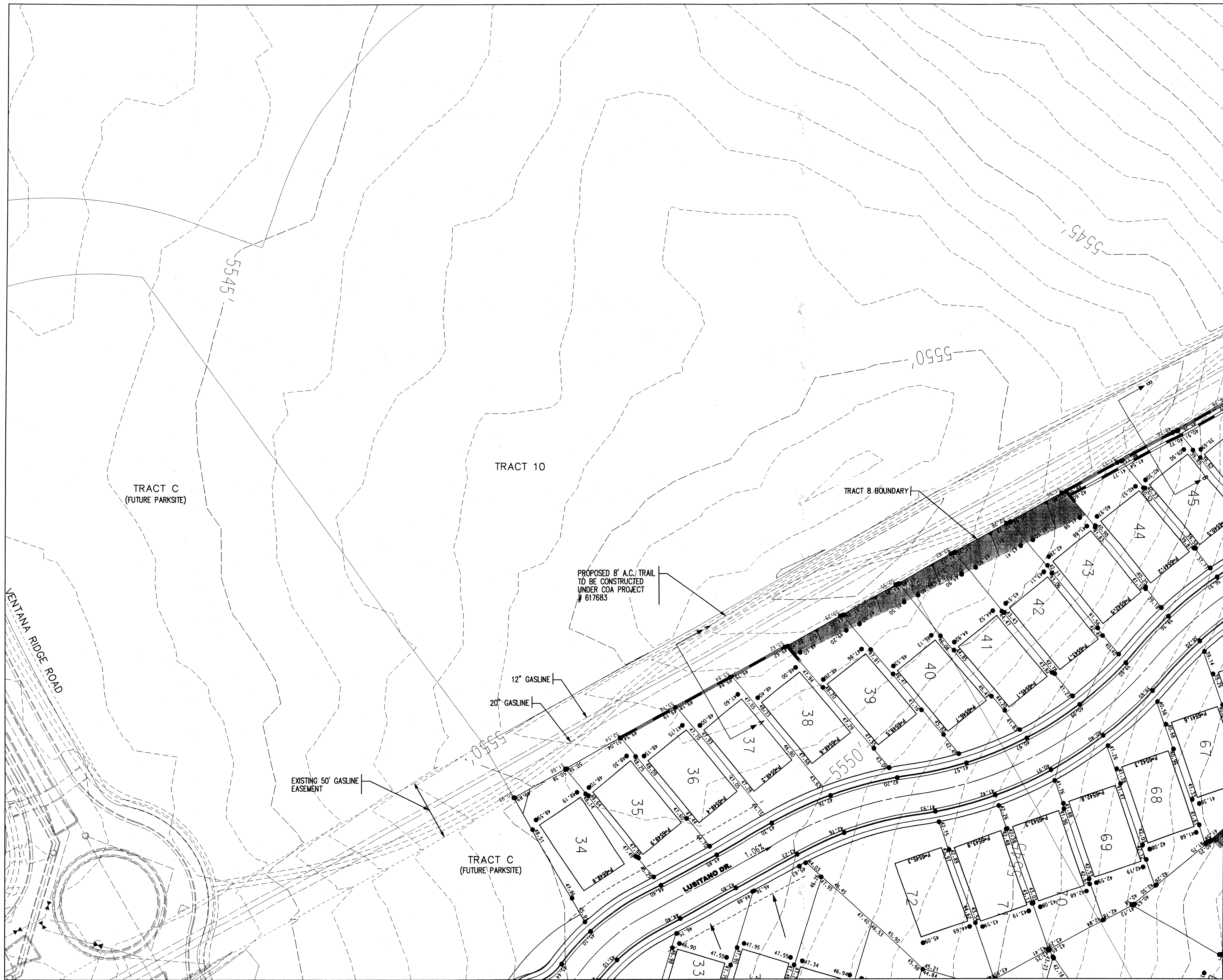
**Bohannon & Huston**  
Engineering • Spatial Data • Advanced Technologies  
Court yard 1 7500 Jefferson St. NE Albuquerque, NM 87108-4335

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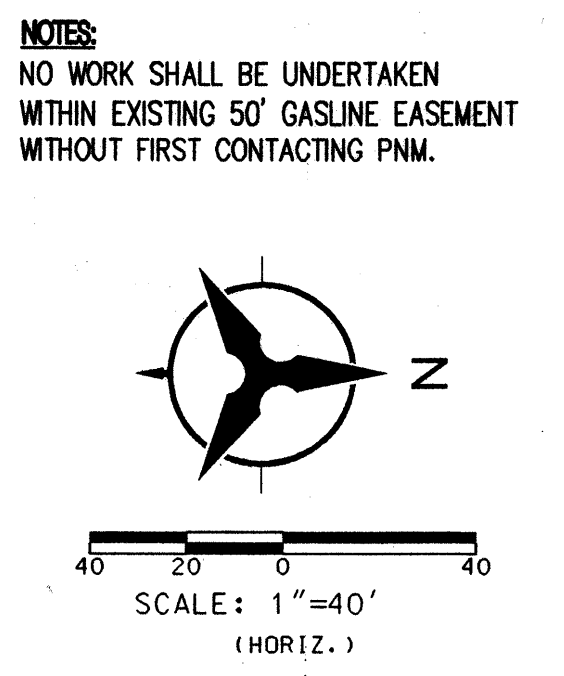






**LEGEND**

- PROPOSED SPOT ELEVATION ● 5235.25
- PROPOSED SPOT ELEVATION ● 5235.25
- EXISTING CONTOUR - - - - -
- PHASE BOUNDARY ————
- DIRECTION OF FLOW →
- EXISTING STORM DRAIN LINE [Symbol]
- EXISTING STORM DRAIN INLET [Symbol]
- EXISTING WATER LINE [Symbol]
- EXISTING SAS LINE [Symbol]
- EXISTING SAS MANHOLE [Symbol]
- PROPOSED WATER BLOCK [Symbol]
- RETAINING WALL [Symbol]
- GARDEN WALL [Symbol]
- POND CONTOUR [Symbol]
- PAD [Symbol]
- PROPOSED LANDSCAPE TRACT [Symbol]



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**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**  
**ENGINEERING DEVELOPMENT GROUP**

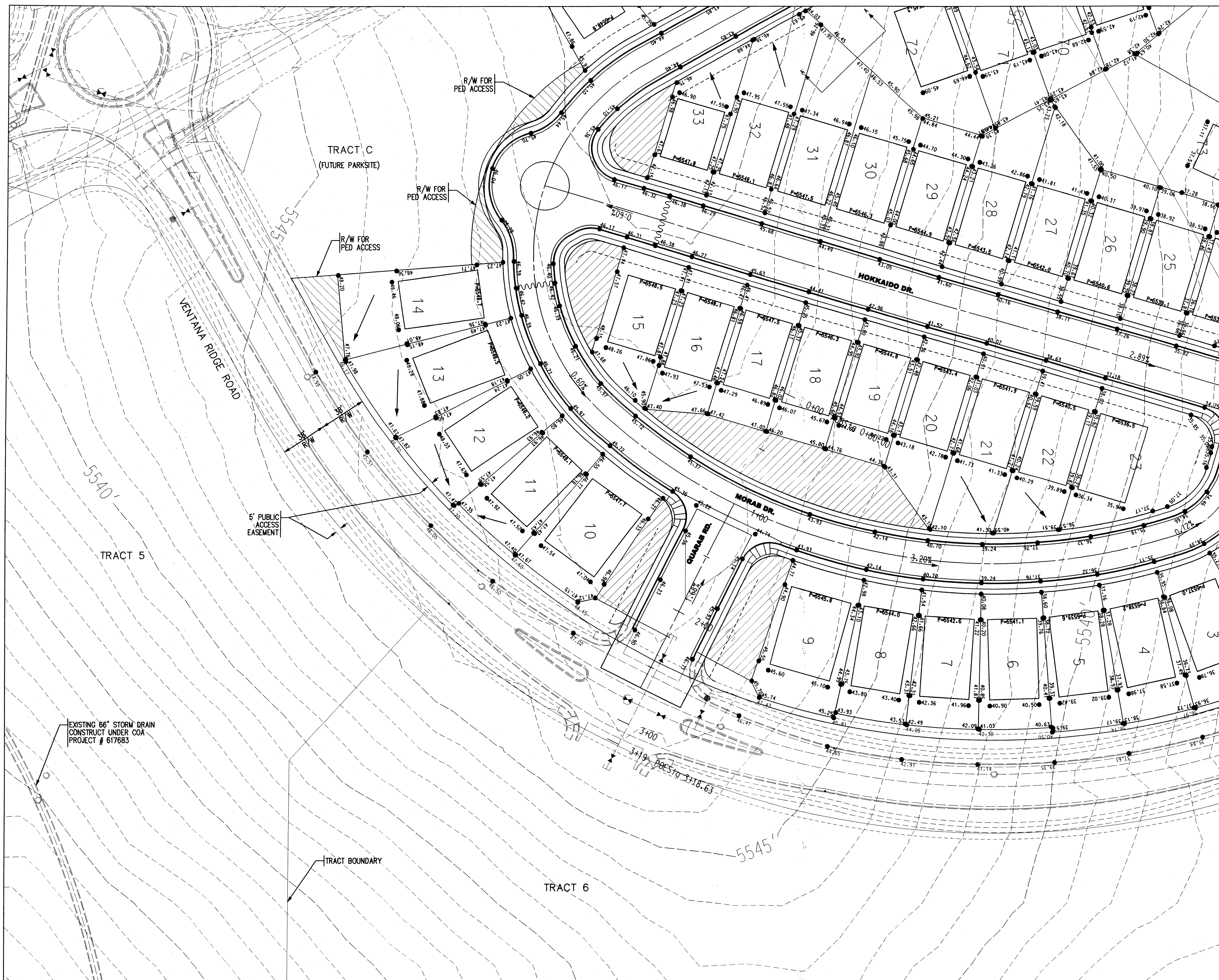
**TRACT 7 & 8 SUBDIVISION AT VENTANA RANCH WEST**  
**OVERALL GRADING PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO. XXXXXX		ZONE MAP NO. B-8-Z	SHEET 2 OF 6

SURVEY INFORMATION		FIELD NOTES		ENGINEER'S SEAL		AS-BUILT INFORMATION	
NO.	BY	DATE		NO.	BY	DATE	NO.
BENCH MARKS		ACROSS BRASS TABLE STAMPED "2-B10 1980"		ENGINEER'S SEAL		CONTRACTOR	
GEOGRAPHIC POSITION (NAD 1927)		N.M. STATE PLANE COORDINATES		16586		STAMPED BY	
(CENTRAL ZONE)		X=357,543.73 Y=1,527,976.48		16586		ACCEPTANCE BY	
GROUND-TO-GRID FACTOR = .99966354		DELTA ALPHA = -0016.30"		16586		DATE	
NAD 1929 ELEVATION = 5429.35				16586		DRAWN BY	
				16586		ARR	
				16586		CHECKED BY	
				16586		KGP	
				16586		DATE SEPT 04	
				16586		DATE SEPT 04	
				16586		DATE SEPT 04	

07-03-2004  
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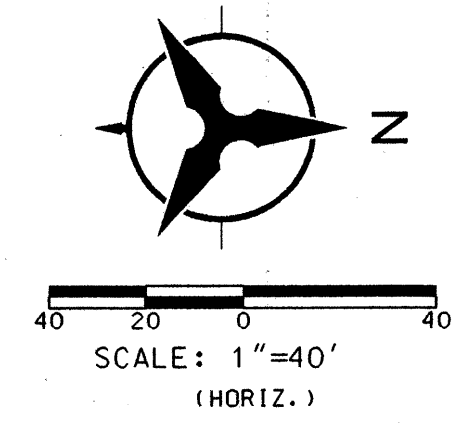




**LEGEND**

- PROPOSED SPOT ELEVATION: ● 5235.25
- EXISTING CONTOUR: ---
- PHASE BOUNDARY: - - - -
- DIRECTION OF FLOW: →
- EXISTING STORM DRAIN LINE: [Symbol]
- EXISTING STORM DRAIN INLET: [Symbol]
- EXISTING WATER LINE: [Symbol]
- EXISTING GAS LINE: [Symbol]
- EXISTING GAS MANHOLE: [Symbol]
- PROPOSED WATER BLOCK: [Symbol]
- RETAINING WALL: [Symbol]
- GARDEN WALL: [Symbol]
- POND CONTOUR: [Symbol]
- PAD: [Symbol]
- PROPOSED LANDSCAPE TRACT: [Symbol]

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 PUBLIC WORKS DEPARTMENT  
 ENGINEERING DEVELOPMENT GROUP

TRACT 7 & 8 SUBDIVISION AT VENTANA RANCH WEST  
 OVERALL GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
XXXXXX	B-8-Z	3	6

AS-BUILT INFORMATION	
CONTRACTOR	
MARK	
STARTED BY	
DATE	
ACCEPTANCE BY	
DATE	
FIELD GATION BY	
DATE	
DRAWINGS CORRECTED BY	
DATE	
MICRO-FILM INFORMATION	
RECORDED BY	
DATE	
NO.	

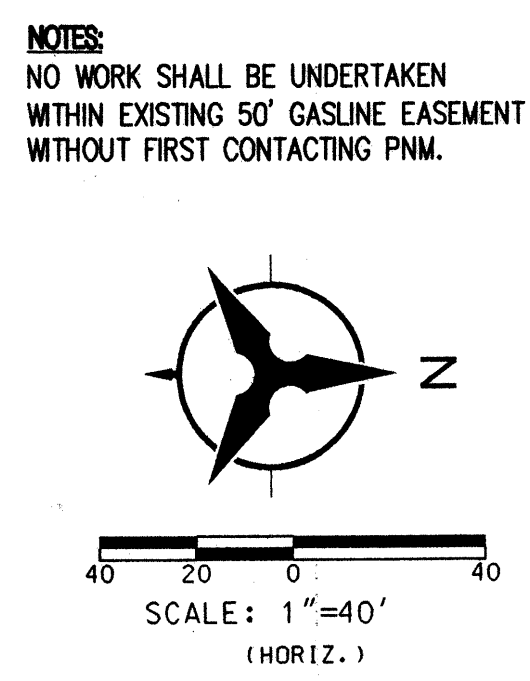
ENGINEER'S SEAL	
SURVEY INFORMATION	
FIELD NOTES	
NO.	
BY	
DATE	
REVISIONS	
NO.	DATE
BY	DATE
DESIGNED BY	JL/JPP
DRAWN BY	ARR
CHECKED BY	KGP
DATE	SEPT 04
DATE	SEPT 04
DATE	SEPT 04





**LEGEND**

- PROPOSED SPOT ELEVATION ● 5235.25
- PROPOSED SPOT ELEVATION ● 5235.25
- EXISTING CONTOUR - - - - -
- PHASE BOUNDARY ————
- DIRECTION OF FLOW →
- EXISTING STORM DRAIN LINE ————
- EXISTING STORM DRAIN INLET [Symbol]
- EXISTING WATER LINE ————
- EXISTING SAS LINE ————
- EXISTING SAS MANHOLE [Symbol]
- PROPOSED WATER BLOCK [Symbol]
- RETAINING WALL [Symbol]
- GARDEN WALL [Symbol]
- POND CONTOUR [Symbol]
- PAD [Symbol]
- PROPOSED LANDSCAPE TRACT [Symbol]



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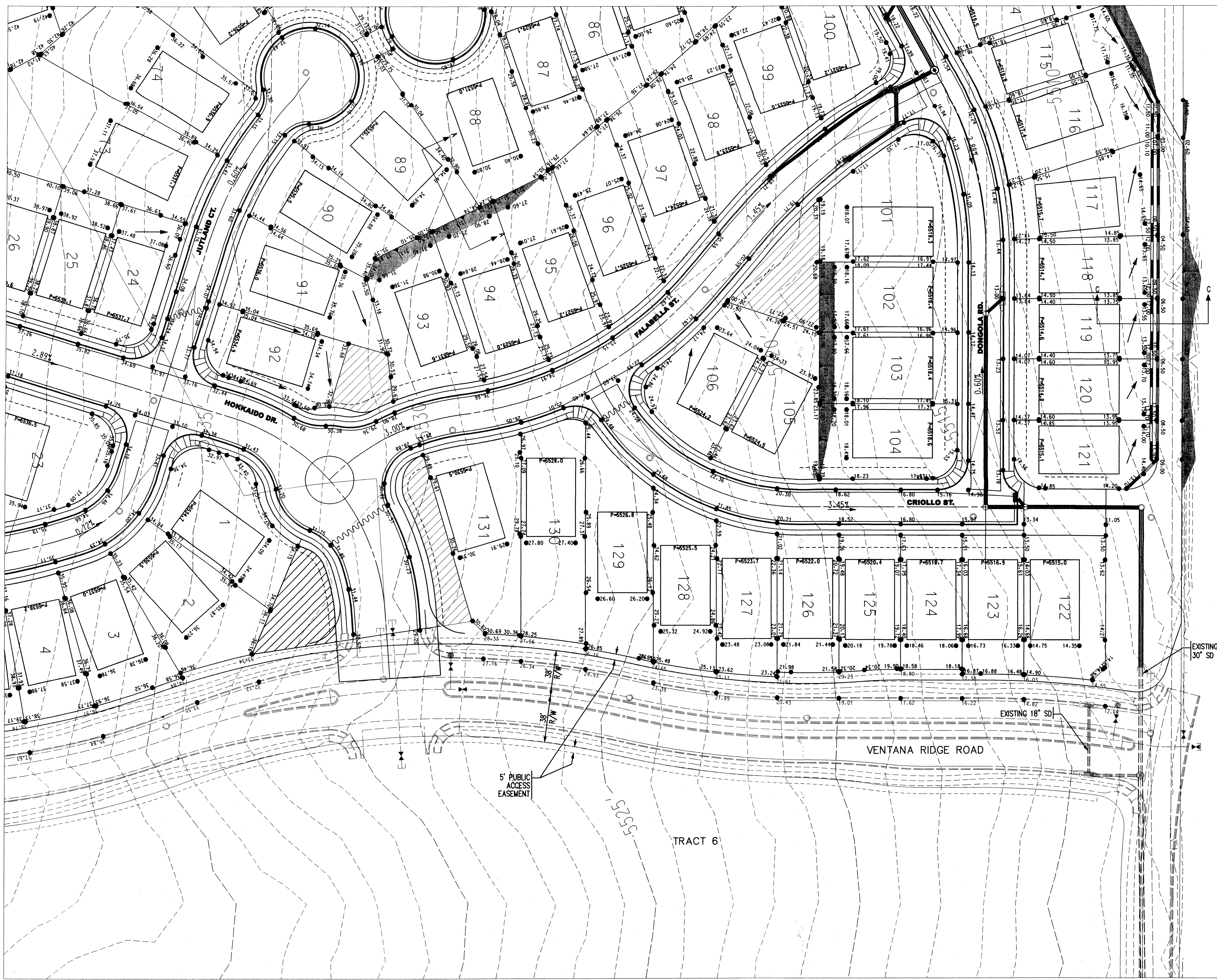
**TRACT 7 & 8 SUBDIVISION AT VENTANA RANCH WEST**  
 OVERALL GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			

CITY PROJECT NO. XXXXXX      ZONE MAP NO. B-8-Z      SHEET 4 OF 6

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
		NO.	BY	DATE	CONTRACTOR	MARKED BY	DATE
					ACS BRASS TABLET STAMPED "2-B10 1980"	SURVEYOR'S ACCEPTANCE BY	DATE
		REMARKS			N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	FIELD LOCATION BY	DATE
		DESIGNED BY			X=37,543.73 Y=1,527,976.48	DRAWINGS CORRECTED BY	DATE
		DRAWN BY	JL/JPP	DATE SEPT 04	GROUND-TO-GRID FACTOR = .99966354	MICRO-FILM INFORMATION	DATE
		CHECKED BY	KGP	DATE SEPT 04	DELTA ALPHA = .0016'30"	RECORDED BY	DATE
					NGVD 1929 ELEVATION = 5429.35		

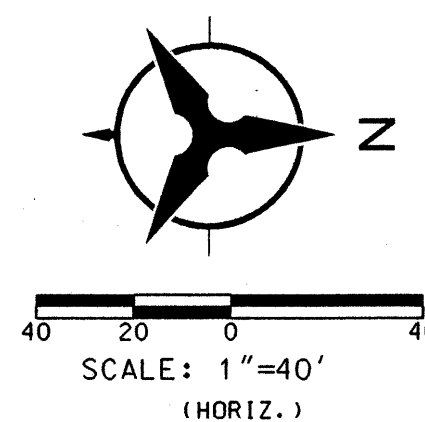




**LEGEND**

- PROPOSED SPOT ELEVATION: • 5235.25
- EXISTING CONTOUR: - - -
- PHASE BOUNDARY: ———
- DIRECTION OF FLOW: ———>
- EXISTING STORM DRAIN LINE: ———
- EXISTING STORM DRAIN INLET: [Symbol]
- EXISTING WATER LINE: - - -
- EXISTING SAS LINE: - - -
- EXISTING SAS MANHOLE: [Symbol]
- PROPOSED WATER BLOCK: [Symbol]
- RETAINING WALL: [Symbol]
- GARDEN WALL: [Symbol]
- POND CONTOUR: [Symbol]
- PAD: [Symbol]
- PROPOSED LANDSCAPE TRACT: [Symbol]

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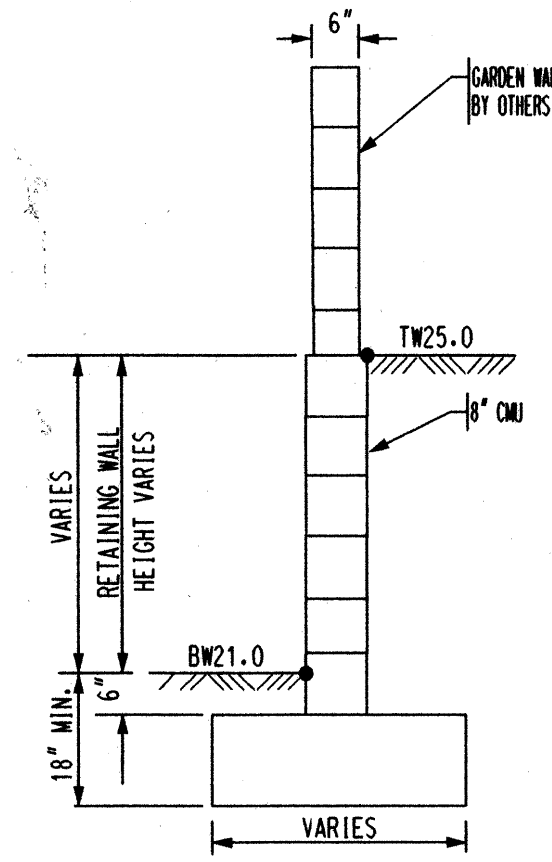
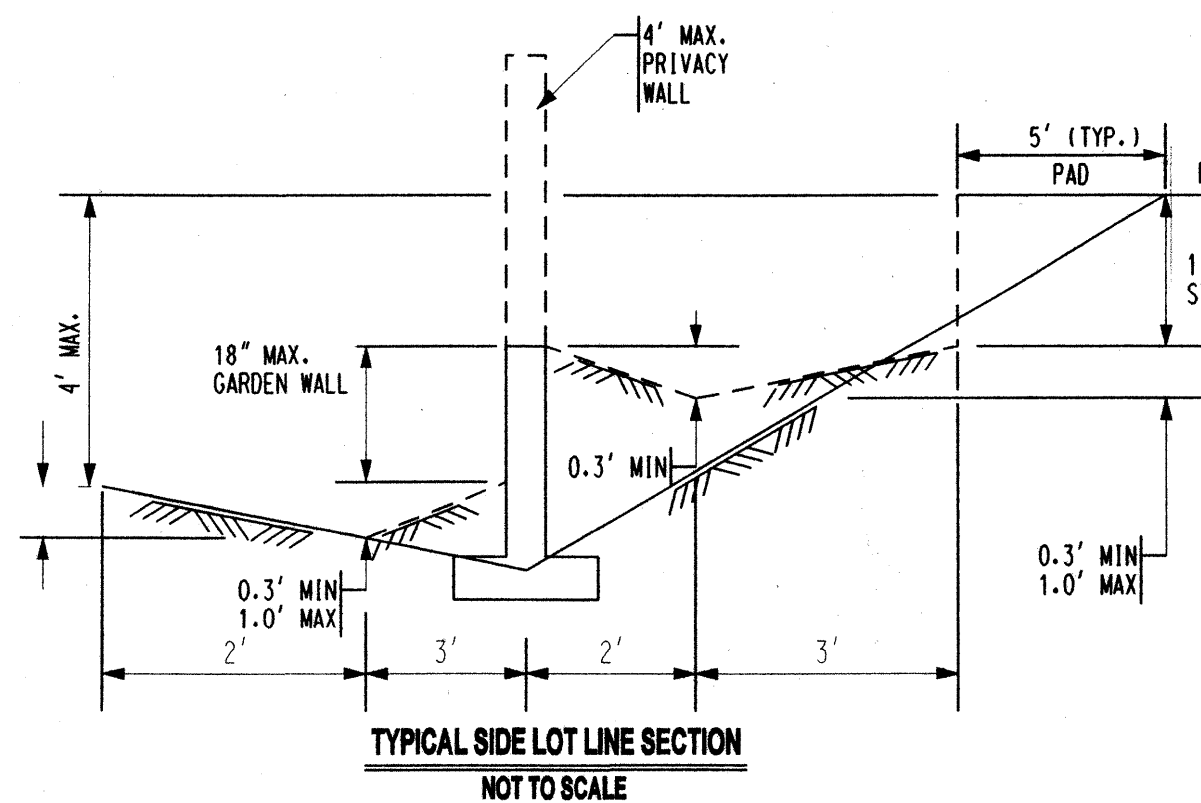
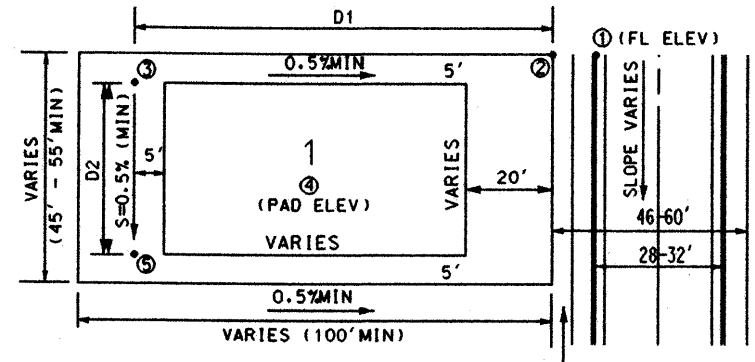
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

LAST DESIGN UPDATE

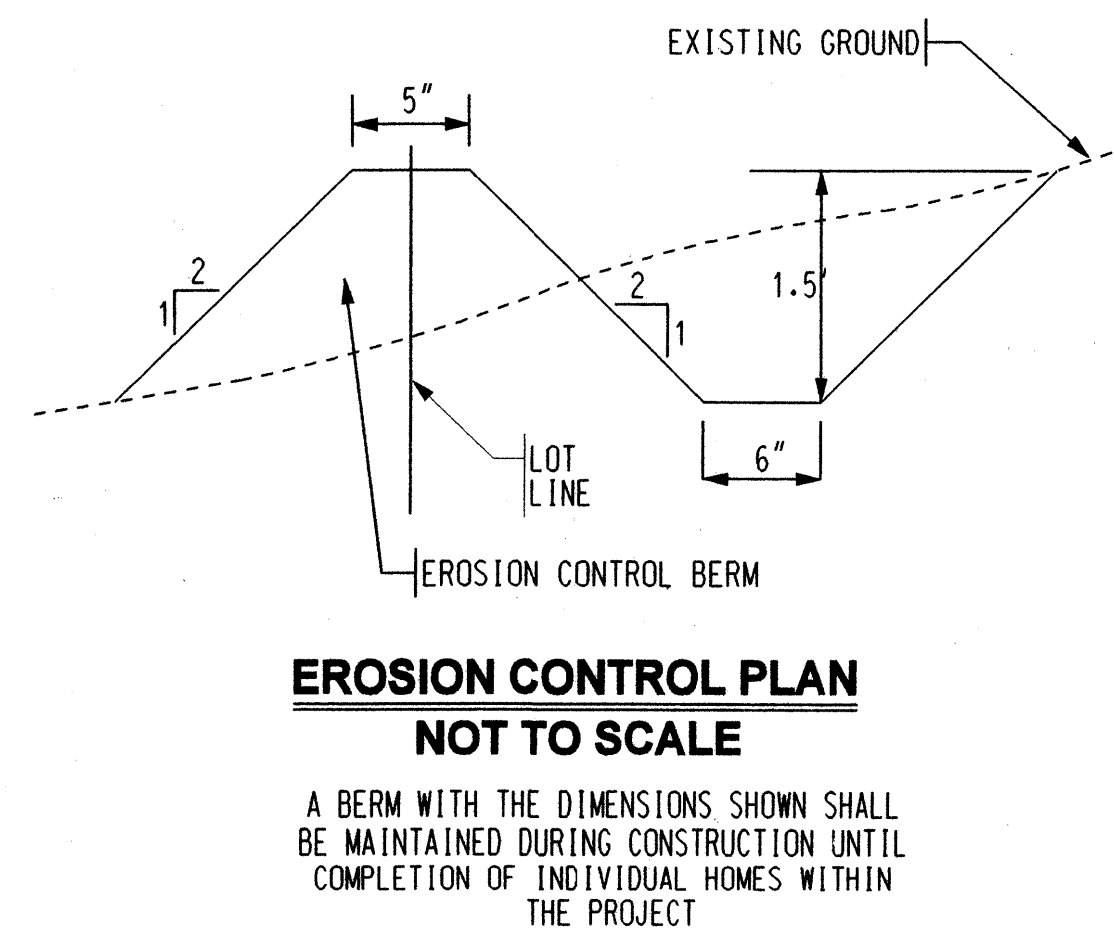
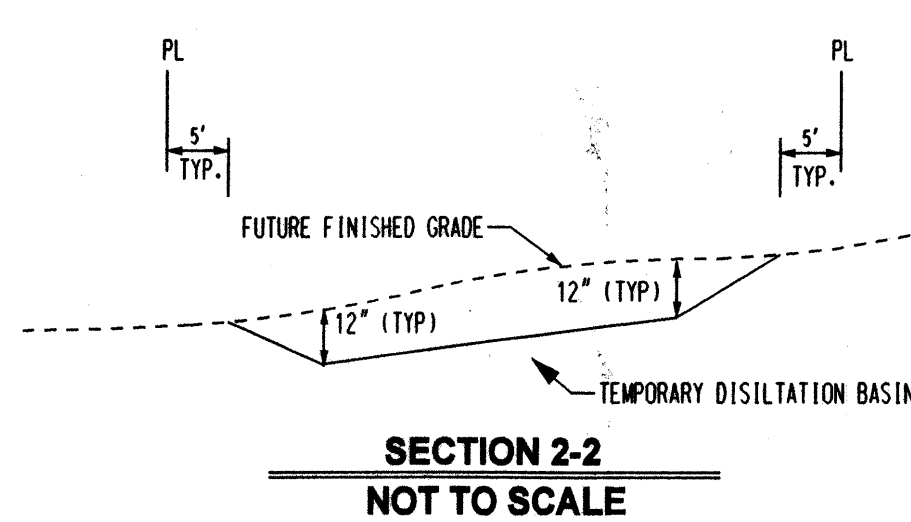
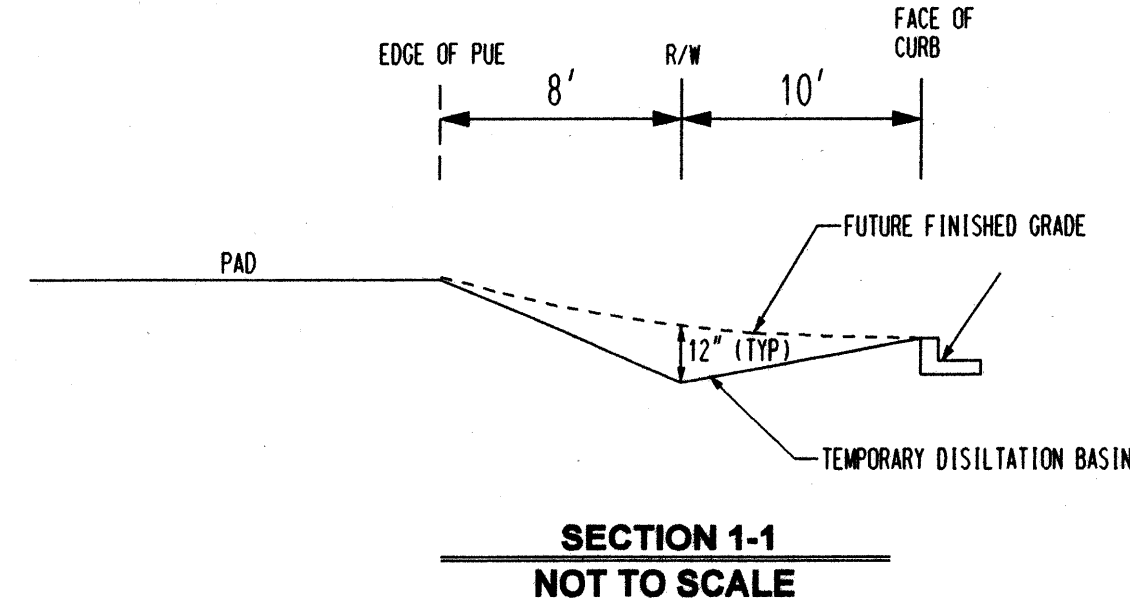
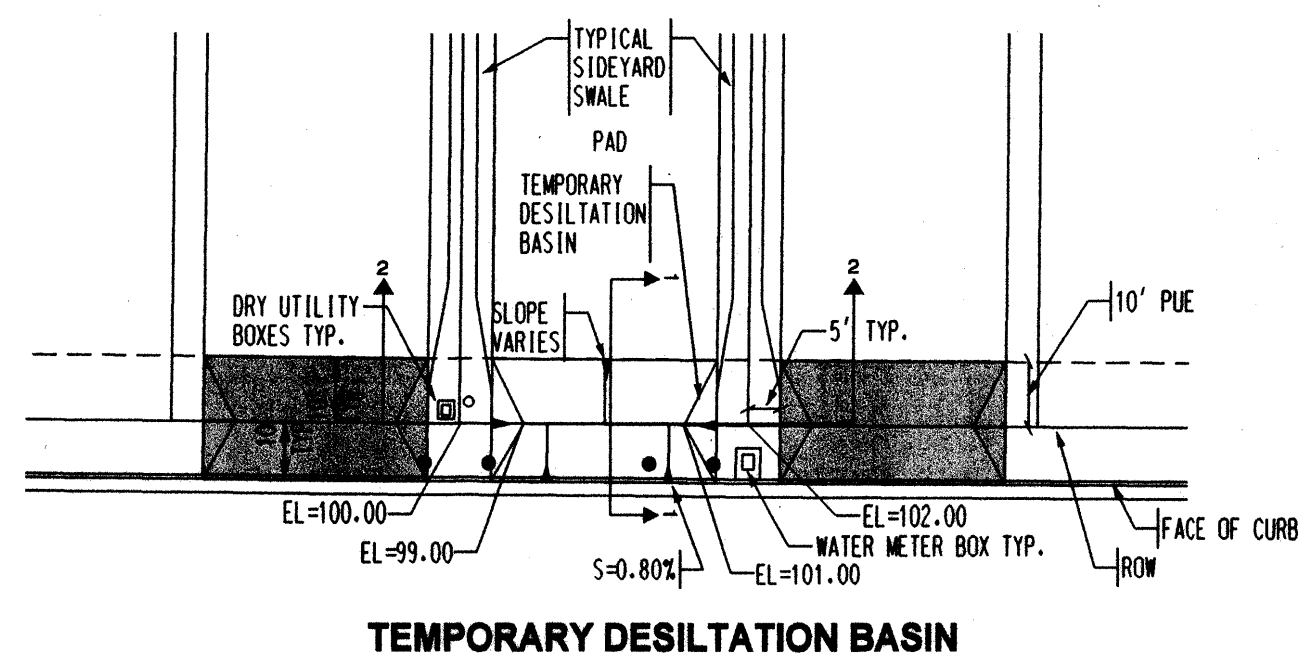
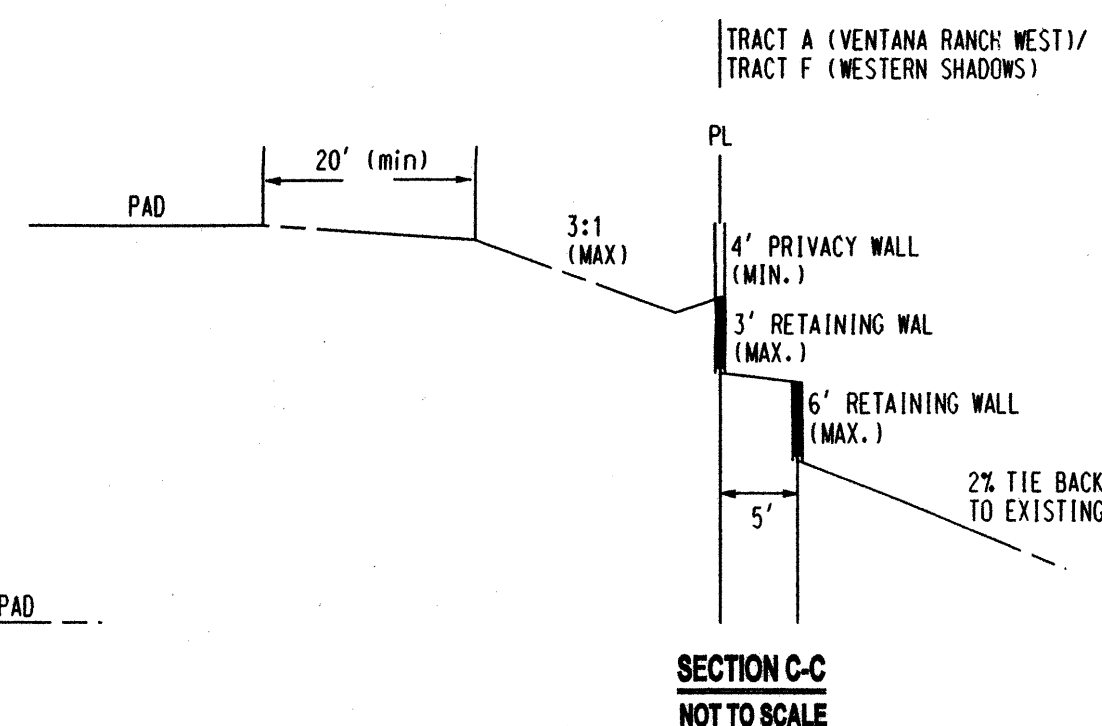
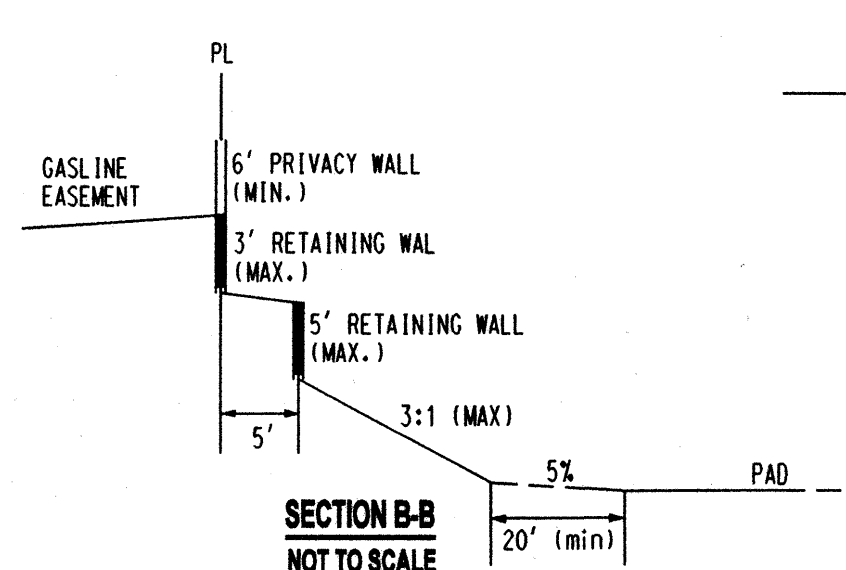
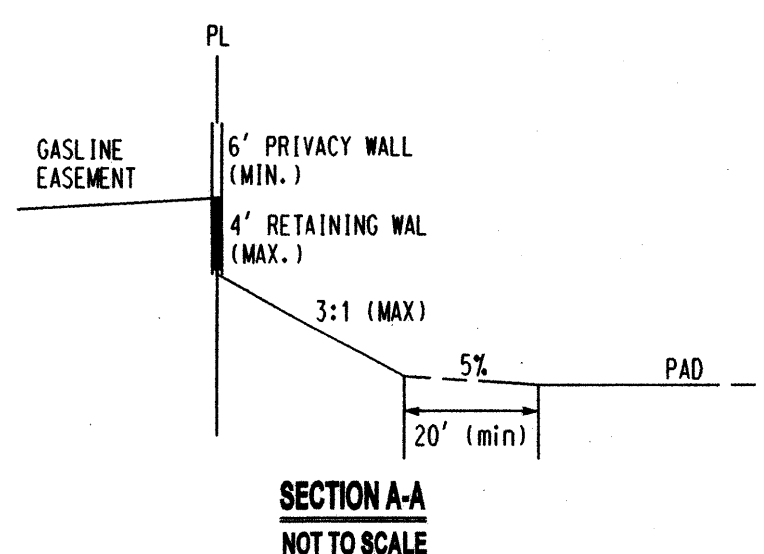
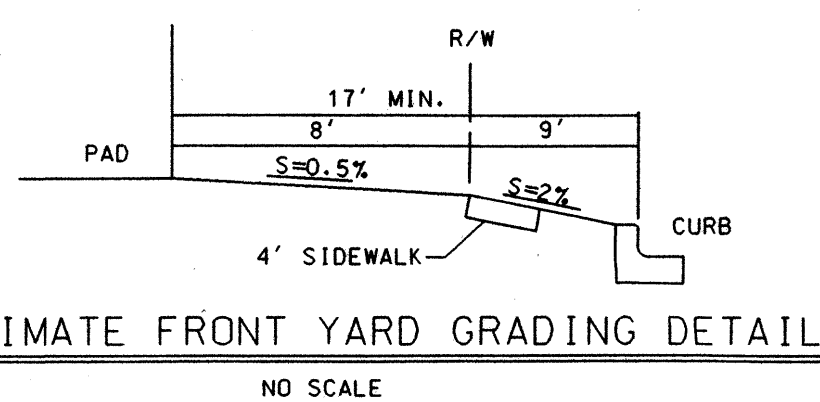
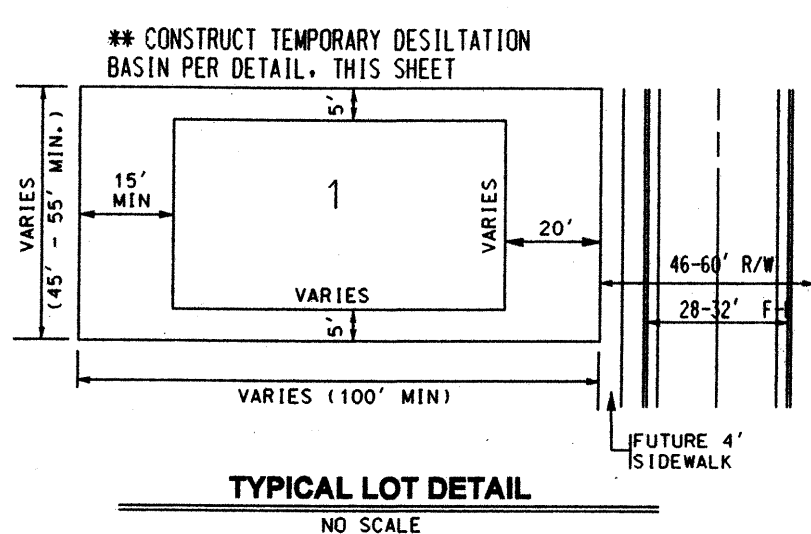
CITY PROJECT NO. XXXXXX      ZONE MAP NO. B-8-Z      SHEET 5 OF 6

ENGINEER'S SEAL		SURVEY INFORMATION		AS-BUILT INFORMATION	
		NO.	DATE	CONTRACTOR	DATE
		FIELD NOTES		ACS BRASS TABLET STAMPED "2-BIO 1980"	DATE
BY	DATE	NO.	DATE	INSPECTOR'S ACCEPTANCE BY	DATE
REVISIONS	DATE	NO.	DATE	INSPECTOR'S VERIFICATION BY	DATE
DESIGN	DATE	NO.	DATE	DRAWING NO.	DATE
	DATE	NO.	DATE	GROUND-TO-GRID FACTOR = .99966354	DATE
	DATE	NO.	DATE	DELTA ALPHA = .0016'30"	DATE
	DATE	NO.	DATE	NOVD 1929 ELEVATION = 5429.35	DATE





(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)



**GENERAL NOTES:**

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION, PRIOR TO CONSTRUCTION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION FOR SUNDORO SUBDIVISION AT THE PETROGLYPHS, PREPARED BY VINEYARD & ASSOCIATES, DATED JULY, 2003. ALL OTHER WORK, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1264) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE OR ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROJECT BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- CONTRACTOR SHALL RESEED ALL DISTURBED AREAS PER COA STANDARD SPECIFICATION 1012.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES PER DETAIL THIS SHEET 2 OF 2 AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ALL EXCESS EXCAVATION AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE 1/2" - 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE 1/2" - 0.05' FROM BUILDING PLAN ELEVATIONS.
- ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATION.
- ALL INTERIOR CURBS ARE ROLL CURB AND GUTTER UNLESS OTHERWISE NOTED.
- ALL GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THE GEO-TECHNICAL REPORT PREPARED BY VINEYARD & ASSOC.

AS-BUILT INFORMATION		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE
INSPECTED BY	DATE	NO.	DATE	NO.	DATE
ACCEPTANCE BY	DATE	NO.	DATE	NO.	DATE
REVISIONS	DATE	NO.	DATE	NO.	DATE
DESIGNED BY	DATE	NO.	DATE	NO.	DATE
DRAWN BY	DATE	NO.	DATE	NO.	DATE
CHECKED BY	DATE	NO.	DATE	NO.	DATE

**Bohannon & Huston**  
Court yard | 7500 Jefferson St NE Albuquerque, NM 87109-4335  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**CITY OF ALBUQUERQUE**  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DEVELOPMENT GROUP

TRACT 7 & 8 SUBDIVISION AT VENTANA RANCH WEST  
OVERALL GRADING PLAN DETAILS

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
XXXXXX	B-8-Z	6	6



Curve Data						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRC
C1	64° 46' 13"	110.99'	197.83'	175.00'	187.46'	N61° 52' 01" W
C2	03° 24' 07"	20.43'	40.85'	688.00'	40.85'	S72° 24' 45" E
C3	82° 40' 47"	21.99'	36.08'	25.00'	33.03'	S32° 46' 25" E
C4	08° 24' 34"	61.83'	123.43'	841.00'	123.32'	S04° 21' 41" W
C5	04° 40' 28"	12.86'	25.70'	315.00'	25.69'	S02° 10' 50" E
C6	05° 54' 47"	30.21'	60.37'	585.00'	60.35'	S01° 33' 40" E
C7	11° 47' 35"	63.21'	125.97'	612.00'	125.75'	S07° 17' 31" W
C8	33° 14' 17"	205.35'	399.12'	688.00'	393.54'	S03° 25' 50" E
C9	80° 49' 40"	521.11'	863.36'	612.00'	793.53'	S20° 21' 52" W

Tangent Data		
ID	BEARING	DISTANCE
T1	N04° 15' 08" W	147.35'
T2	S60° 31' 05" W	110.00'
T3	N79° 38' 01" E	122.53'
T4	S00° 09' 24" W	68.02'
T5	S60° 46' 42" W	78.07'

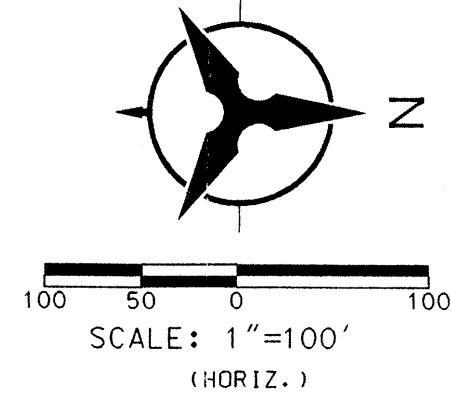
PROPOSED 35' WIDE WATER & SEWER EASEMENT TO BE GRANTED TO NEW MEXICO UTILITIES, INC. AND THE CITY OF ALBUQUERQUE WITH THE FINAL PLAT AND A 35' WIDE PRIVATE PEDESTRIAN ACCESS EASEMENT TO BE GRANTED TO THE VENTANA RANCH COMMUNITY ASSOCIATION.

EXISTING 50' SOUTHERN UNION GAS COMPANY EASEMENT RECORDED SEPTEMBER 16, 1930 (BK. 112, PG. 515) AND RIGHT-OF-WAY GRANTED TO ALBUQUERQUE NATURAL GAS COMPANY RECORDED DECEMBER 11, 1931 (BK. 123, PG. 152) AND RIGHT-OF-WAY GRANT AND RELEASE OF CLAIMS RECORDED MARCH 29, 1956 (VOLUME 0346, FOLIO 356-360) DOCUMENT NO. 90568

PROPOSED 4' WIDE PUBLIC PEDESTRIAN ACCESS EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FINAL PLAT.

*Original*

# PRELIMINARY PLAT WESTERN SHADOWS (REPLAT OF TRACT 7 & 8 AT VENTANA RANCH WEST) ALBUQUERQUE, NEW MEXICO SEPTEMBER, 2004



**LEGAL DESCRIPTION**  
TRACTS 7&8 OF VENTANA RANCH WEST  
FILED: MARCH 11, 2004 (2004C-84)

- EXISTING ZONING: RL  
PROPOSED ZONING: RL  
PROPOSED DEVELOPMENT:  
SINGLE FAMILY DETACHED RESIDENTIAL
- TOTAL ACREAGE: 29.4426 ACRES  
TOTAL NUMBER OF LOTS: 131 LOTS  
PROPOSED DENSITY: 4.45 D.U. PER ACRE
- MINIMUM LOT DIMENSIONS: 45' x 105'
- ALL STREETS AND DRAINAGE IMPROVEMENTS ARE TO BE PUBLIC, TO BE DEDICATED FOR MAINTENANCE TO THE CITY OF ALBUQUERQUE.
- THIS SUBDIVISION LIES WITHIN THE NEW MEXICO UTILITIES, INC. (NMUI) FRANCHISE AREA. WATER AND SANITARY SEWER CAPABILITIES AREA BASED ON NMUI'S FACILITIES, AND NOT ON THE CITY OF ALBUQUERQUE'S. WATER AND SANITARY SEWER INFRASTRUCTURE IMPROVEMENTS MUST BE APPROVED BY BOTH THE CITY OF ALBUQUERQUE AND NMUI.
- ALL SANITARY AND WATER UTILITIES IN THE STREET R/W ARE TO BE OWNED AND MAINTAINED BY NMUI.
- NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO IRVING BOULEVARD, VENTANA RIDGE ROAD OF TRACT A, TRACT B & TRACT C OF VENTANA RANCH WEST AND TRACT F AND TRACT M OF WESTERN SHADOWS.
- LOT SETBACKS SHALL CONFORM TO RL ZONE REGULATIONS. REQUIRED SETBACKS SHALL INCLUDE:  
FRONT YARD: 20'(TYP.)  
(15' W/20' TO GARAGE MIN.)  
SIDE YARD: 5' (MIN.)  
BACK YARD: 15' (MIN.)  
CORNER SIDEYARD: 10' TO R/W
- PARK DEDICATION REQUIREMENTS HAVE BEEN MET WITH PARK SITE WITHIN TRACT C, AND IN ACCORDANCE WITH THE PARK DEDICATION AGREEMENT BETWEEN THE CITY OF ALBUQUERQUE AND VENTANA WEST, LLC DATED: MARCH 10, 2004, DOCUMENT NO. 2004031536.
- TRACT 7 IS SUBJECT TO AN EXISTING THIRTY (30') WIDE FLOATING PUBLIC SANITARY SEWER EASEMENT GRANTED TO NEW MEXICO UTILITIES, INC. AND CITY OF ALBUQUERQUE. FILED: MARCH 11, 2004 IN BOOK 2004C, PAGE 84. EASEMENT TO BE VACATED BY VACATION ACTION AND WILL BE SHOWN ON FINAL PLAT.
- TRACTS A THRU M ARE TO BE DEDICATED TO AND MAINTAINED BY THE VENTANA RANCH WEST COMMUNITY ASSOCIATION BY SEPARATE DEED AND SOLELY AS PRIVATE OPEN SPACE, PEDESTRIAN ACCESS AND COMMUNITY LANDSCAPING.
- A BLANKET WATER AND SEWER EASEMENT TO BE GRANTED TO NEW MEXICO UTILITIES, INC., AND THE CITY OF ALBUQUERQUE WITH THE FINAL PLAT FOR TRACTS F, K, AND L.
- A BLANKET STORM DRAIN AND DRAINAGE EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FINAL PLAT FOR TRACTS F AND K.
- A 25' PUBLIC STORM DRAIN EASEMENT WILL BE DEDICATED TO THE CITY OF ALBUQUERQUE AND A 25' PUBLIC SANITARY SEWER EASEMENT WILL BE DEDICATED TO THE CITY OF ALBUQUERQUE AND NEW MEXICO UTILITIES, INC., ACROSS LOT 122 WITH THE FINAL PLAT.
- A PUBLIC STORM DRAIN EASEMENT WILL BE DEDICATED TO THE CITY OF ALBUQUERQUE ACROSS LOTS 55 AND 56 OF WESTERN SHADOWS SUBDIVISION. SAID EASEMENT SHALL FURTHER BE DEFINED WITH THE FINAL PLAT.

UNPLATTED LAND  
PORTION OF TRACT 15  
KNOWN AS THE BLACK RANCH, ALAMEDA GRANT

ACS BRASS TABLET STAMPED "1-48 1980"  
GEOGRAPHIC POSITION (NAD 1927)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
X=350,152.25 Y=1,531,818.60  
GROUND TO GRID FACTOR = 0.9996593  
DELTA ALPHA = -00°17' 21"  
NGVD 1929 ELEVATION = 5570.04

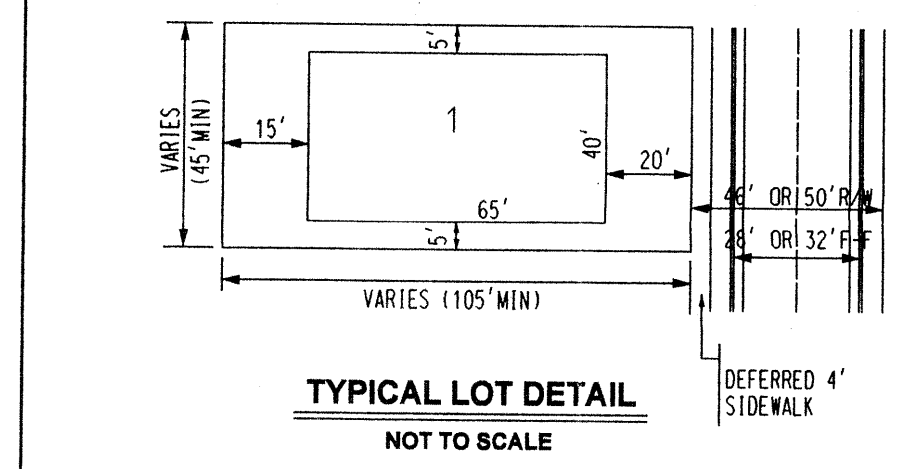
**SURVEY NOTES:**

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS (●) SHALL BE MARKED BY A #5 REBAR STAMPED "WEAVER LS 6544".
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT DESIGNATED CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN THUS (▲) WILL BE MARKED BY A FOUR (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE, CENTERLINE MONUMENTATION, DO NOT DISTURB, P.L.S. 6544".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW THE USE OF CENTERLINE MONUMENTATION.

APPROVED  
*[Signature]*  
CITY SURVEYOR

9-17-04  
DATE

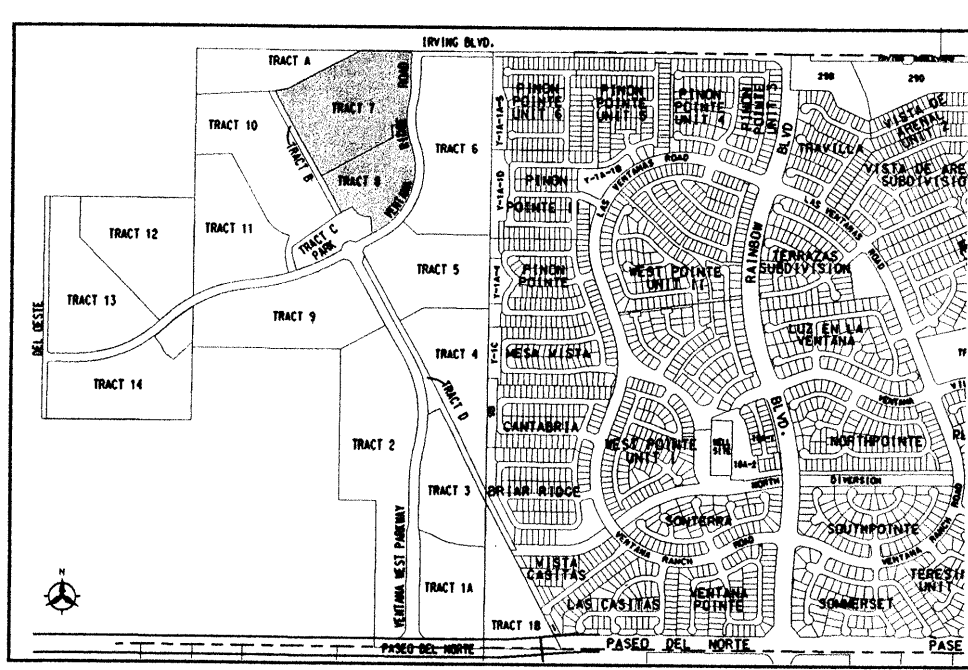
*[Signature]* 9-16-04  
ROBERT M. MURPHY, PRESIDENT  
SANDIA PROPERTIES LTD. CO.  
MANAGING PARTNER



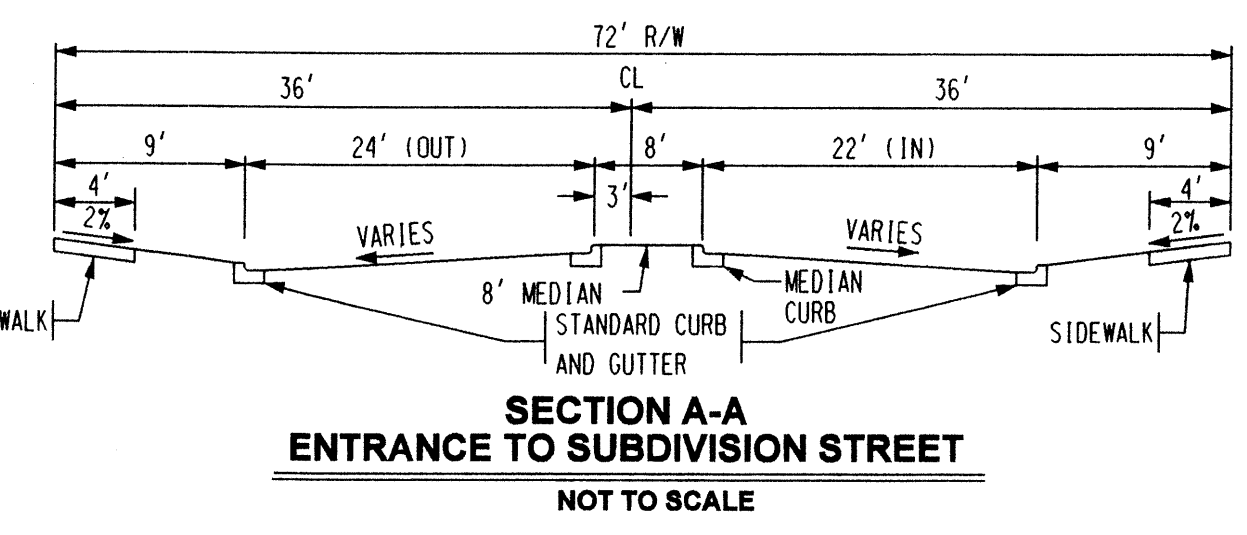
TYPICAL LOT DETAIL  
NOT TO SCALE

NGS BRASS TABLET STAMPED "UNION 1969"  
GEOGRAPHIC POSITION (NAD 1927)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
X=353,409.02 Y=1,523,440.96  
GROUND TO GRID FACTOR = 0.99966044  
DELTA ALPHA = -00°16' 58"  
NGVD 1929 ELEVATION = 5522.0 (TRIG)

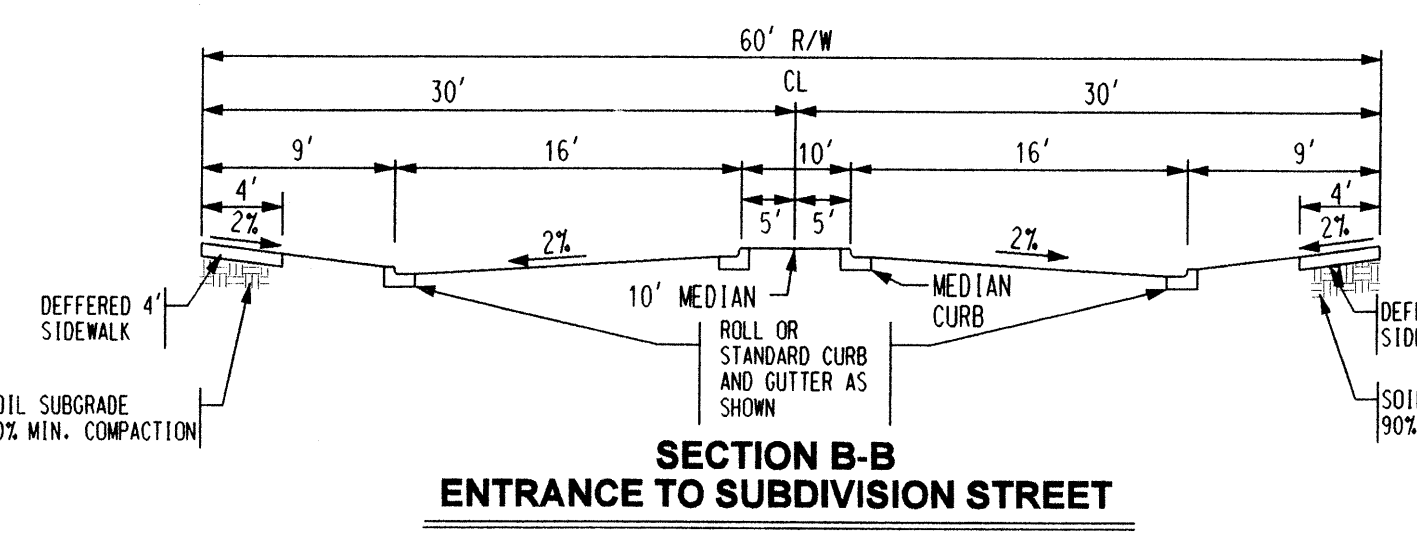
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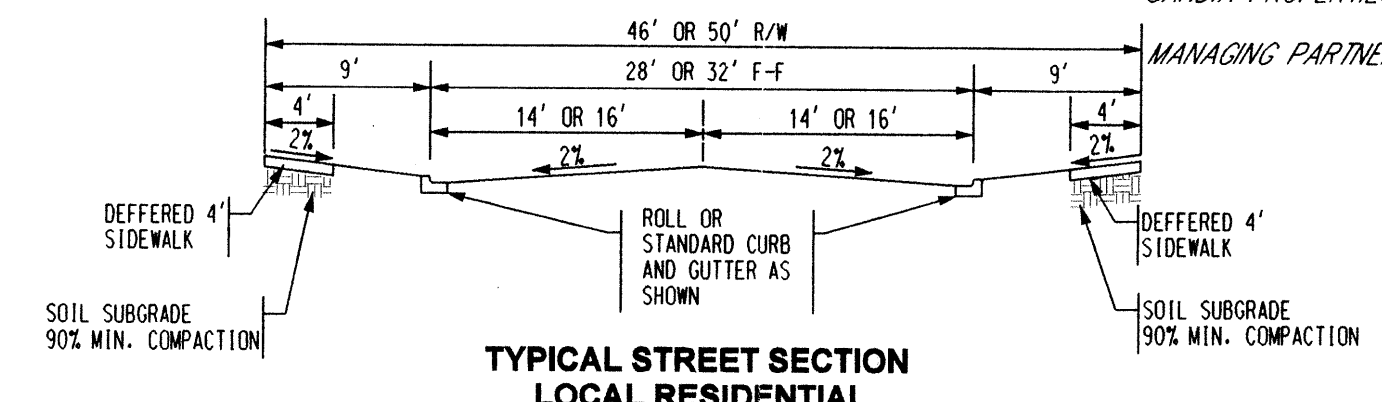
LOCATION MAP  
ZONE ATLAS MAP NOS. B-9  
NOT TO SCALE



SECTION A-A  
ENTRANCE TO SUBDIVISION STREET  
NOT TO SCALE



SECTION B-B  
ENTRANCE TO SUBDIVISION STREET  
NOT TO SCALE



TYPICAL STREET SECTION  
LOCAL RESIDENTIAL  
NOT TO SCALE

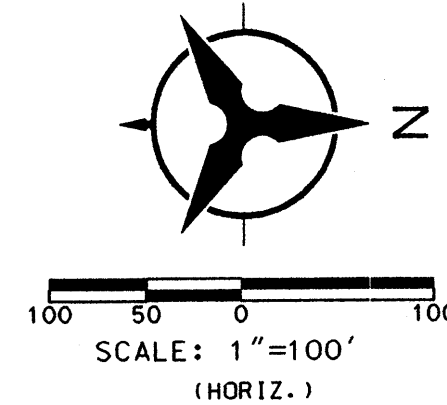
**Bohannon & Huston**  
Engineering • Spatial Data • Advanced Technologies  
Courttyard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335



Curve Data						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	64°46'13"	110.99'	197.83'	175.00'	187.46'	N61°52'01"W
C2	03°24'07"	20.43'	40.85'	688.00'	40.85'	S72°24'45"E
C3	82°40'47"	21.99'	36.08'	25.00'	33.03'	S32°46'25"E
C4	08°24'34"	61.83'	123.43'	841.00'	123.32'	S04°21'41"W
C5	04°40'28"	12.86'	25.70'	315.00'	25.69'	S02°10'50"E
C6	05°54'47"	30.21'	60.37'	585.00'	60.35'	S01°33'40"E
C7	11°47'35"	63.21'	125.97'	612.00'	125.75'	S07°17'31"W
C8	33°14'17"	205.35'	399.12'	688.00'	393.54'	S03°25'50"E
C9	80°49'40"	521.11'	863.36'	612.00'	793.53'	S20°21'52"W

Tangent Data		
ID	BEARING	DISTANCE
T1	N04°15'08"W	147.35'
T2	S60°31'05"W	110.00'
T3	N79°38'01"E	122.53'
T4	S00°09'24"W	68.02'
T5	S60°46'42"W	78.07'

AMENDED  
**PRELIMINARY PLAT**  
**WESTERN SHADOWS**  
 (REPLAT OF TRACT 7 & 8  
 AT VENTANA RANCH WEST)  
 ALBUQUERQUE, NEW MEXICO  
 SEPTEMBER, 2004



APPROVED  
**PRELIMINARY PLAT**  
 APPROVED BY DRB  
 ON 12/20/04

LEGAL DESCRIPTION:  
 TRACTS 7 & 8 OF VENTANA RANCH WEST  
 FILED: MARCH 11, 2004 (2004C-84)

- EXISTING ZONING: R-7  
 PROPOSED ZONING: R-7  
 PROPOSED DEVELOPMENT: SINGLE FAMILY DETACHED RESIDENTIAL
- TOTAL ACREAGE: 29.4426 ACRES  
 TOTAL NUMBER OF LOTS: 131 LOTS  
 PROPOSED DENSITY: 4.45 D.U. PER ACRE
- MINIMUM LOT DIMENSIONS 45' x 105'
- ALL STREETS AND DRAINAGE IMPROVEMENTS ARE TO BE PUBLIC, TO BE DEDICATED FOR MAINTENANCE TO THE CITY OF ALBUQUERQUE.
- THIS SUBDIVISION LIES WITHIN THE NEW MEXICO UTILITIES, INC. (NMUI) FRANCHISE AREA. WATER AND SANITARY SEWER CAPABILITIES AREA BASED ON NMUI'S FACILITIES, AND NOT ON THE CITY OF ALBUQUERQUE'S. WATER AND SANITARY SEWER INFRASTRUCTURE IMPROVEMENTS MUST BE APPROVED BY BOTH THE CITY OF ALBUQUERQUE AND NMUI.
- ALL SANITARY AND WATER UTILITIES IN THE STREET R/W ARE TO BE OWNED AND MAINTAINED BY NMUI.
- NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO IRVING BOULEVARD, VENTANA RIDGE ROAD OR TRACT A, TRACT B OR TRACT C OF VENTANA RANCH WEST AND TRACT F AND TRACT M OF WESTERN SHADOWS.
- LOT SETBACKS SHALL CONFORM TO RLT ZONE REGULATIONS. REQUIRED SETBACKS SHALL INCLUDE:  
 FRONT YARD: 20' (TYP.)  
 (15' W/20' TO GARAGE MIN.)  
 SIDE YARD: 5' (MIN.)  
 BACK YARD: 15' (MIN.)  
 CORNER SIDE YARD: 10' TO R/W
- PARK DEDICATION REQUIREMENTS HAVE BEEN MET WITH PARK SITE WITHIN TRACT C IN ACCORDANCE WITH THE PARK DEDICATION AGREEMENT BETWEEN THE CITY OF ALBUQUERQUE AND VENTANA WEST, LLC DATED: MARCH 10, 2004 AS DOCUMENT NO. 2004031336.
- TRACT 7 IS SUBJECT TO AN EXISTING THIRTY (30') WIDE FLOATING PUBLIC SANITARY SEWER EASEMENT GRANTED TO NEW MEXICO UTILITIES, INC. AND THE CITY OF ALBUQUERQUE. FILED: MARCH 11, 2004 IN BOOK 2004C, PAGE 84. EASEMENT TO BE VACATED BY VACATION ACTION.
- TRACTS A THRU M ARE TO BE DEDICATED TO AND MAINTAINED BY VENTANA RANCH WEST COMMUNITY ASSOCIATION BY SEPARATE DEED AND SOLELY AS PRIVATE OPEN SPACE, PEDESTRIAN ACCESS AND COMMUNITY LANDSCAPING.
- A BLANKET WATER AND SEWER EASEMENT TO BE GRANTED TO NEW MEXICO UTILITIES, INC., AND THE CITY OF ALBUQUERQUE WITH THE FINAL PLAT FOR TRACTS F, K, AND L.
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UNPLATTED LAND  
 PORTION OF TRACT 15  
 KNOWN AS THE BLACK RANCH, ALAMEDA GRANT

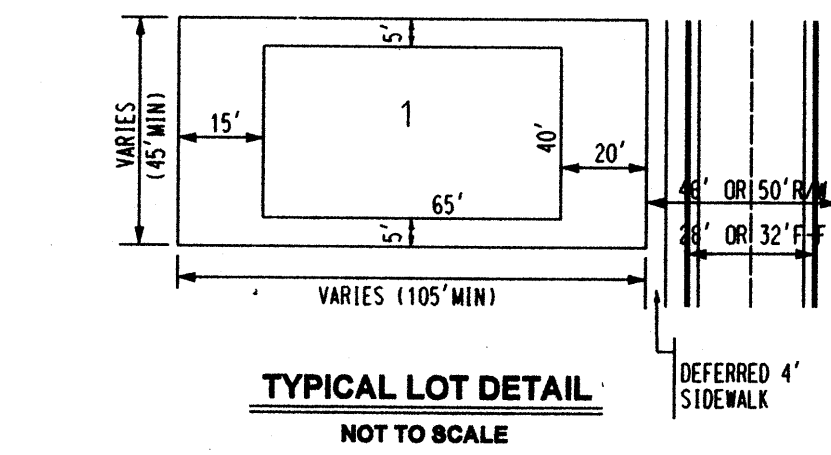
ACS BRASS TABLET STAMPED "1-A8 1980"  
 GEOGRAPHIC POSITION (NAD 1927)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X=350,152.25 Y=1,531,818.60  
 GROUND TO GRID FACTOR = 0.9996593  
 DELTA ALPHA = -001°17'21"  
 NGVD 1929 ELEVATION = 5570.04

**SURVEY NOTES:**

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS (●) SHALL BE MARKED BY A #8 REBAR STAMPED "NEVER LS 6544".
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT DESIGNATED CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN THUS (▲) WILL BE MARKED BY A FOUR (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE, CENTERLINE MONUMENTATION, DO NOT DISTURB, P.L.S. 6544".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW THE USE OF CENTERLINE MONUMENTATION.

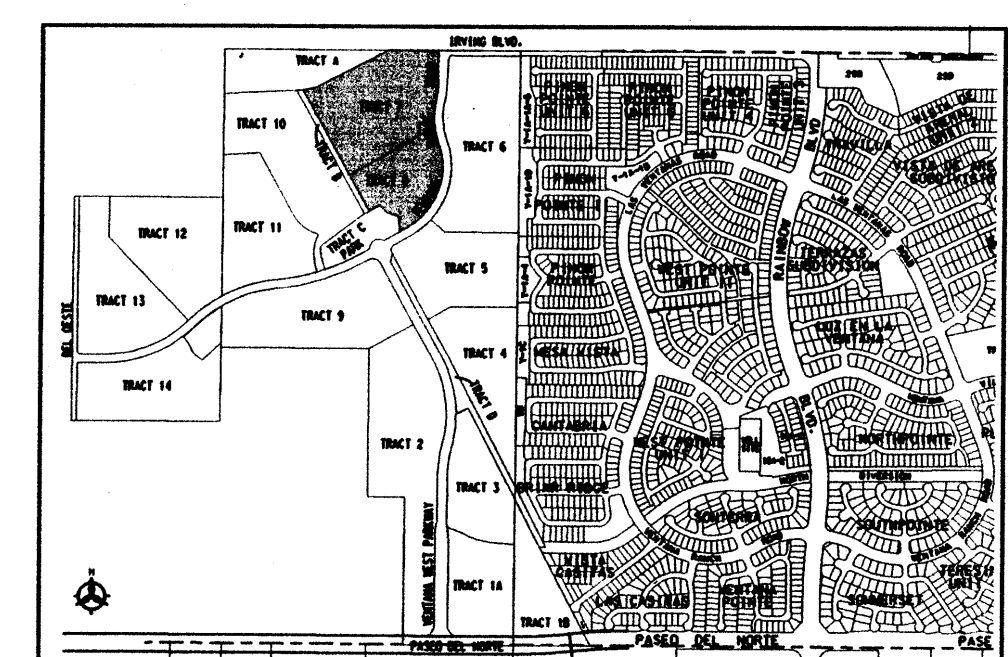
APPROVED  
  
 CITY SURVEYOR  
 DATE: 11-30-04

VENTANA WEST, LLC  
 A NEW MEXICO LIMITED LIABILITY COMPANY  
  
 ROBERT M. MURPHY, PRESIDENT  
 SANDIA PROPERTIES LTD. CO.  
 MANAGING PARTNER  
 DATE: 11/30/04

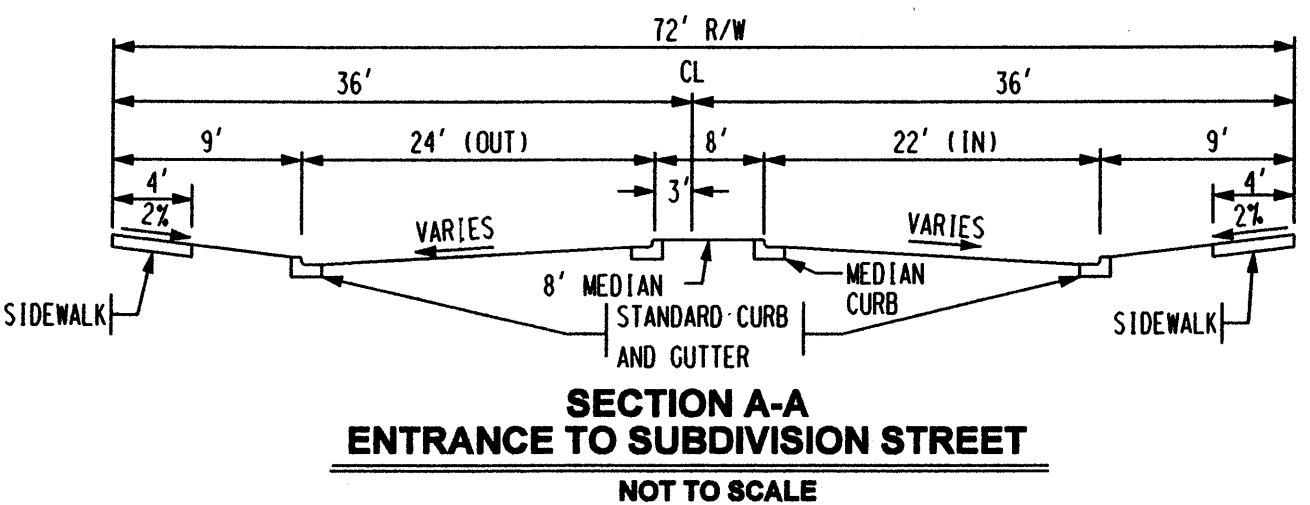


NGS BRASS TABLET, STAMPED "UNION 1969"  
 GEOGRAPHIC POSITION (NAD 1927)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X=353,409.02 Y=1,523,440.96  
 GROUND TO GRID FACTOR = 0.99966044  
 DELTA ALPHA = -001°16'58"  
 NGVD 1929 ELEVATION = 5522.0 (TRIG)

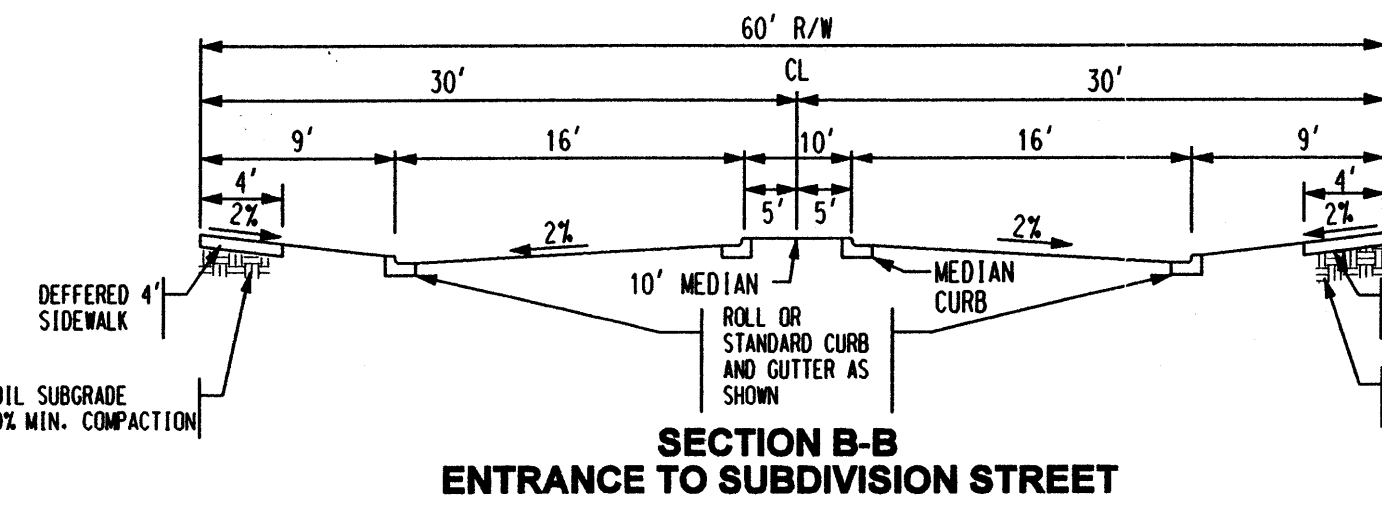
EXISTING 5' PUBLIC ACCESS EASEMENT  
 GRANTED TO THE CITY OF ALBUQUERQUE  
 FILED: MARCH 11, 2004 (2004C-84)  
 TO REMAIN.



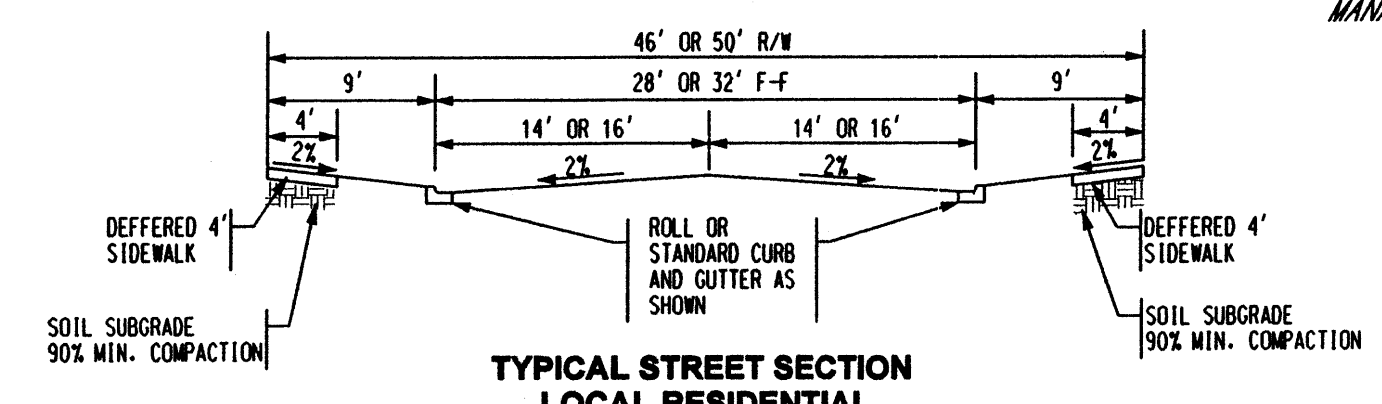
**LOCATION MAP**  
 ZONE ATLAS MAP NOS. B-9  
 NOT TO SCALE



**SECTION A-A**  
 ENTRANCE TO SUBDIVISION STREET  
 NOT TO SCALE



**SECTION B-B**  
 ENTRANCE TO SUBDIVISION STREET  
 NOT TO SCALE



**TYPICAL STREET SECTION**  
 LOCAL RESIDENTIAL  
 NOT TO SCALE

PROPOSED 35' WIDE WATER & SEWER EASEMENT  
 TO BE GRANTED TO NEW MEXICO UTILITIES, INC.  
 AND THE CITY OF ALBUQUERQUE WITH THE FINAL  
 PLAT AND A 35' WIDE PRIVATE PEDESTRIAN ACCESS  
 EASEMENT TO BE GRANTED TO THE VENTANA RANCH  
 COMMUNITY ASSOCIATION.

EXISTING 50' SOUTHERN UNION  
 GAS COMPANY EASEMENT  
 RECORDED SEPTEMBER 16, 1930  
 (BK. 112, PG. 515)  
 AND RIGHT-OF-WAY GRANTED TO  
 ALBUQUERQUE NATURAL GAS COMPANY  
 RECORDED DECEMBER 11, 1931  
 (BK. 123, PG. 152)  
 AND RIGHT-OF-WAY GRANT AND  
 RELEASE OF CLAIMS  
 RECORDED: MARCH 29, 1956  
 (VOLUME D346, FOLIO 356-360)  
 DOCUMENT NO. 90568

PROPOSED 4' WIDE PUBLIC PEDESTRIAN  
 ACCESS EASEMENT GRANTED TO THE CITY OF  
 ALBUQUERQUE WITH THE FINAL PLAT.

HATCHED AREA DESIGNATES  
 PROPOSED PUBLIC R-2-W TO  
 BE GRANTED TO THE CITY OF  
 ALBUQUERQUE WITH THE FINAL  
 PLAT

P:\050148\cadd\general\050148Pre-Plat.dgn  
 P:\050148\cadd\general\050148Pre-Plat.dgn  
 11/30/04  
 08:46

**Bohannon & Huston**  
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