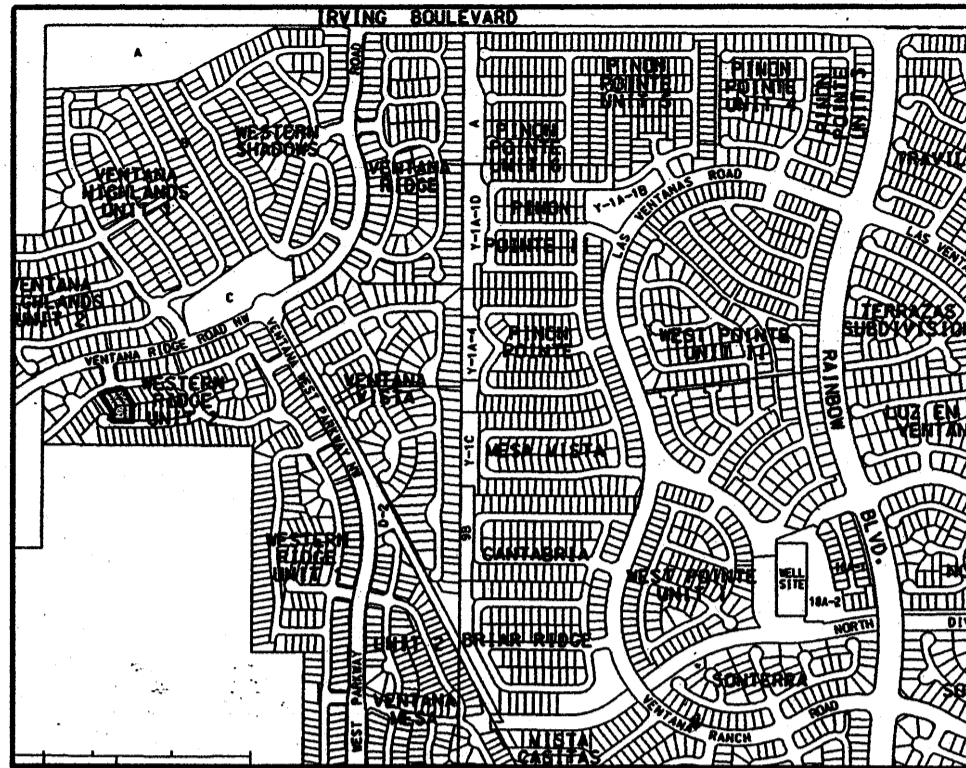


SP-2006163282



**LOCATION MAP**  
ZONE ATLAS INDEX MAP No. B-8  
NOT TO SCALE

**SUBDIVISION DATA**

1. DRB No.
2. Zone Atlas Index Nos. B-8-Z; Zoning: RLT.
3. Gross Subdivision Acreage: 0.6276 Acre.
4. Total Number of Tracts Created: Five (5) Lots.
5. No streets were created with this plat.
6. Date of Survey: January, 2006.
7. Plat is located within the Town of Alameda Grant, within projected Section 8, T11N, R2E, NMPM.

**DISCLOSURE STATEMENT**

The purpose of this Plat is to subdivide all of Lots 195, 196, 197, 212 & 213 of the Plat of Western Ridge Subdivision, Unit 2 at Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on January 19, 2006 in Book 2006C, Page 19 as Document No. 2006008601 into five (5) lots.

**NOTES**

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 and are the same as shown on the Plat of Western Ridge Subdivision, Unit 2 at Ventana Ranch West, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on January 19, 2006 in Book 2006C, Page 19 as Document No. 2006008601.
2. Distances are ground distances.
3. All easements of record are shown.
4. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	00° 09' 21"	3.15'	6.30'	2317.00'	6.30'	S83° 34' 22" W
C2	66° 25' 19"	16.37'	28.98'	25.00'	27.39'	N56° 35' 40" W
C3	10° 29' 58"	4.13'	8.25'	45.00'	8.23'	N28° 37' 59" W
C4	18° 22' 24"	56.60'	112.24'	350.00'	111.76'	N73° 20' 57" E
C5	01° 38' 17"	14.91'	29.82'	1043.00'	29.82'	N83° 21' 18" E
C6	07° 28' 28"	22.86'	45.66'	350.00'	45.63'	N67° 54' 00" E
C7	07° 42' 47"	23.59'	47.12'	350.00'	47.08'	N75° 29' 37" E
C8	03° 11' 08"	9.73'	19.46'	350.00'	19.46'	N80° 56' 35" E

ID	BEARING	DISTANCE
T1	N56° 07' 02" E	26.71'
T2	S31° 20' 35" W	22.62'
T3	S10° 11' 41" W	37.29'
T4	S84° 30' 57" W	41.21'
T5	S58° 23' 33" W	8.00'
T6	S84° 30' 57" W	2.61'
T7	S84° 30' 57" W	43.82'

**DESCRIPTION**

A certain tract of land being located within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, N.M.P.M., Bernalillo County, New Mexico, and being the same as Lots 195, 196, 197, 212 & 213 of the Plat of Western Ridge Subdivision, Unit 2 at Ventana Ranch West filed in the office of the County Clerk of Bernalillo County, New Mexico on January 19, 2006 in Book 2006C, Page 19 as Document No. 2006008601.

Tract contains 0.6276 acre of land, more or less.



**FREE CONSENT AND DEDICATION**

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Lots 195, 196, 197, 212 & 213 of the Plat of Western Ridge Subdivision, Unit 2 at Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on January 19, 2006 in Book 2006C, Page 19 as Document No. 2006008601, now comprising Lots 195-A, 196-A, 197-A, 212-A & 213-A Western Ridge Subdivision, Unit 2 at Ventana Ranch West, Albuquerque, New Mexico is with free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s). In the event Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's and/or assigns property to access the easement areas for the purposes of performing the Work. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

PULTE HOMES OF NEW MEXICO, INC.

BY: *[Signature]*

Garret Price, Vice President of Land  
Pulte Homes of New Mexico, Inc.

State of New Mexico )  
County of Bernalillo )

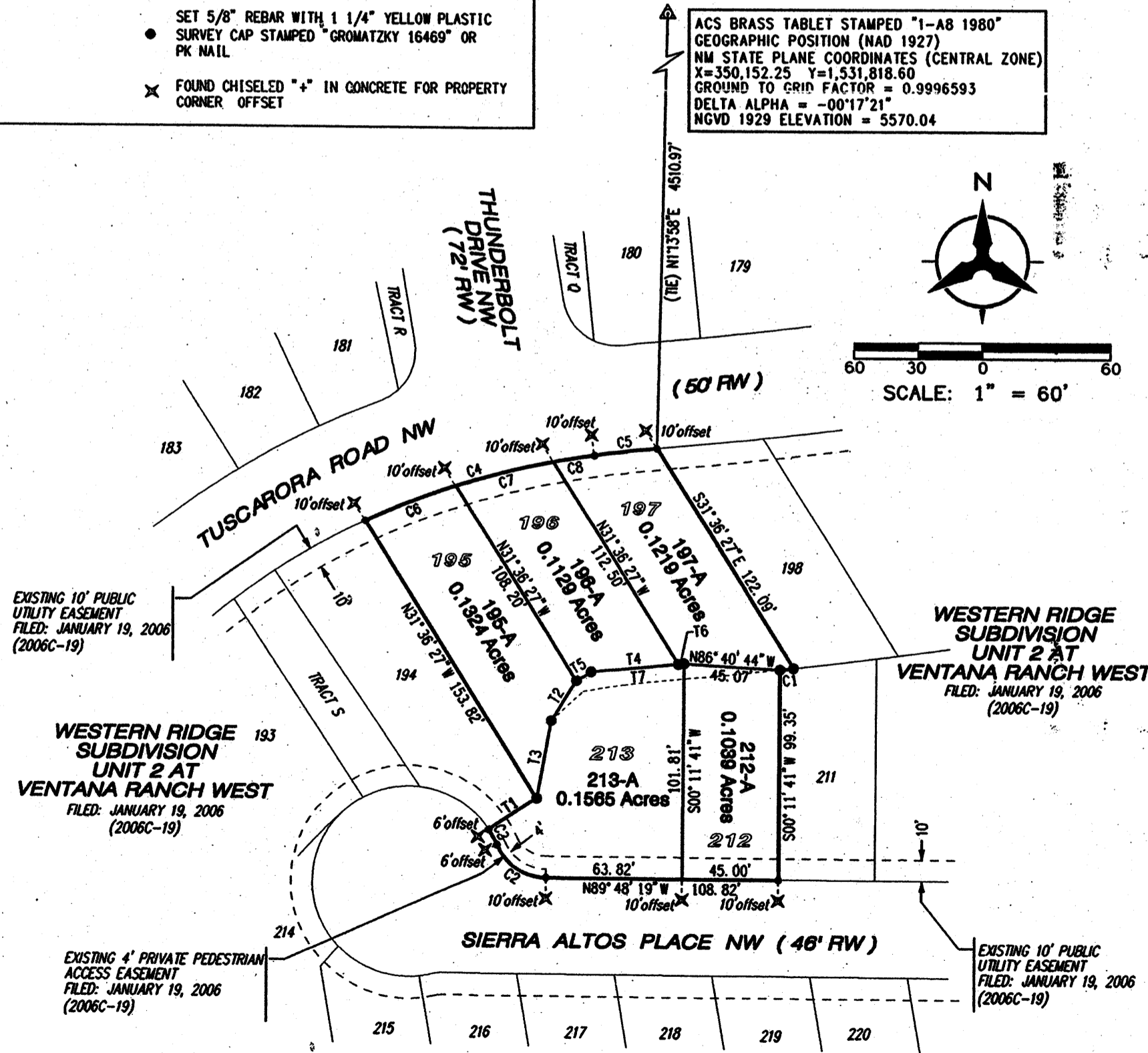
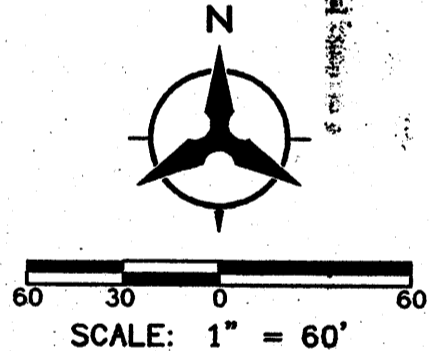
This instrument was acknowledged before me on 20<sup>th</sup> day of April, 2006, by Garret Price, Vice President of Land, Pulte Homes of New Mexico, Inc.

My Commission Expires: 1-31-2010 *[Signature]*  
Notary Public

**LEGEND**

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- EXISTING EASEMENT LINE
- ADJOINING PROPERTY LINE
- EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
- SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469" OR PK NAIL
- FOUND CHISELED "+" IN CONCRETE FOR PROPERTY CORNER OFFSET

ACS BRASS TABLET STAMPED "1-A8 1980" GEOGRAPHIC POSITION (NAD 1927) NM STATE PLANE COORDINATES (CENTRAL ZONE) X=350,152.25 Y=1,531,818.60 GROUND TO GRID FACTOR = 0.9996593 DELTA ALPHA = -00°17'21" NGVD 1929 ELEVATION = 5570.04



**PLAT OF**  
**LOTS 195-A, 196-A, 197-A,**  
**212-A & 213-A**  
**WESTERN RIDGE SUBDIVISION**  
**UNIT 2**  
**AT VENTANA RANCH WEST**  
(A REPLAT OF LOTS 195, 196, 197, 212 & 213 WESTERN RIDGE SUBDIVISION UNIT 2)  
ALBUQUERQUE, NEW MEXICO  
APRIL, 2006

PROJECT NUMBER **1003087**  
APPLICATION NUMBER **06028-00584**

**PLAT APPROVAL**

- UTILITY APPROVALS:
- NEW MEXICO UTILITIES, INC. DATE: 5-1-06
  - CITY APPROVALS: DATE: 4-25-06
  - CITY SURVEYOR DATE: 5-2-06
  - TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE: 5-3-06
  - UTILITIES DEVELOPMENT DATE: 5/3/06
  - PARKS & RECREATION DEPARTMENT DATE: 5/3/06
  - DELTA ALPHA DATE: 5/3/06
  - DRB CHALLENGERSON, PLANNING DEPARTMENT DATE: 5/03/06
  - VENTANA RANCH WEST COMMUNITY ASSOCIATION DATE: 5/03/06

**TAX CERTIFICATION**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #  
**100801053422810301**  
PROPERTY OWNER OF RECORD **Pulte Homes**  
**Timothy Marks** 5-4-06  
BERNALILLO COUNTY TREASURER'S OFFICE DATE

**SURVEYOR'S CERTIFICATION**

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

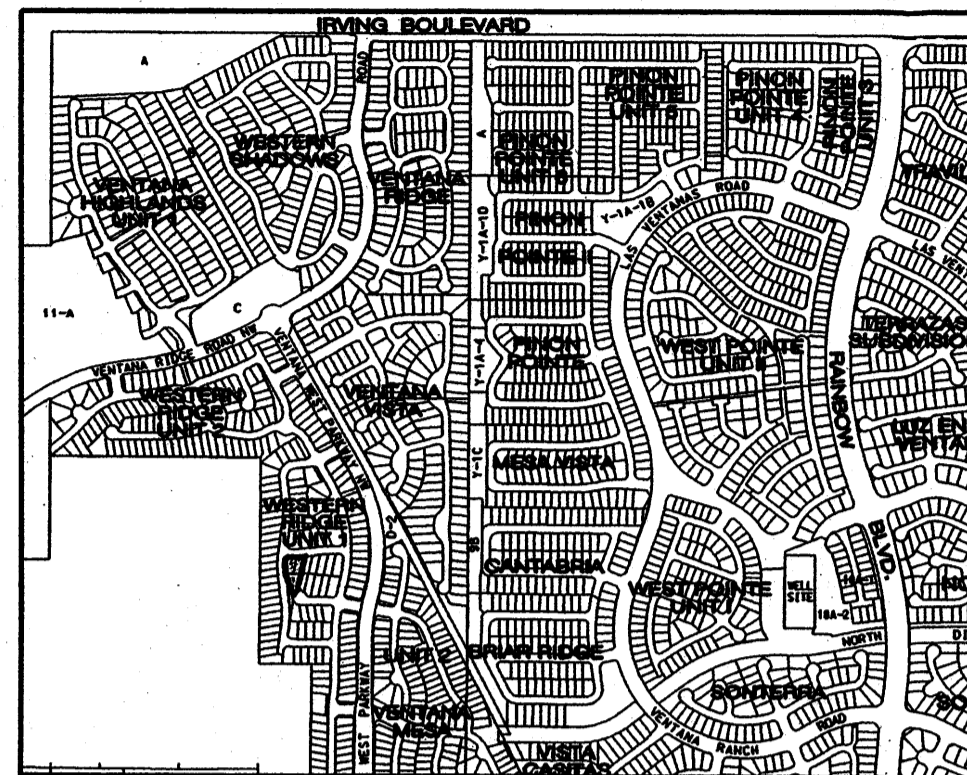
*[Signature]*  
Robert Gromatzky  
New Mexico Professional Surveyor 16469  
Date: April 13, 2006



**Bohannon & Huston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

SP-2006123691



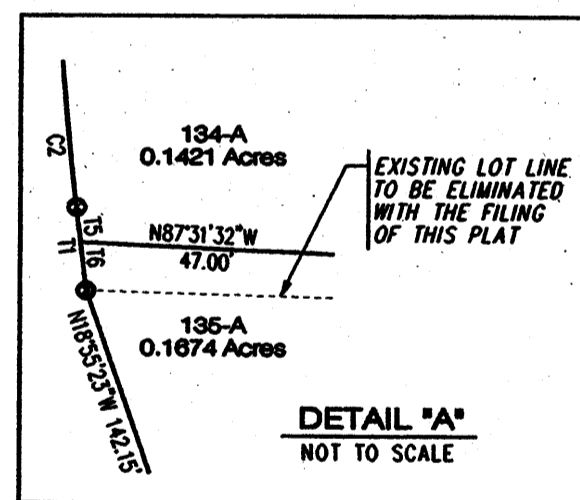
**LOCATION MAP**  
ZONE ATLAS INDEX MAP No. B-8  
NOT TO SCALE

**SUBDIVISION DATA**

1. DRB No.
2. Zone Atlas Index Nos. B-8-Z; Zoning: RLT.
3. Gross Subdivision Acreage: 0.4277 Acre.
4. Total Number of Tracts Created: Three (3) Lots.
5. No streets were created with this plat.
6. Date of Survey: January, 2006.
7. Plat is located within the Town of Alameda Grant, within projected Section 8, T11N, R2E, NMPM.

**DISCLOSURE STATEMENT**

The purpose of this Plat is to subdivide all of Lots 133, 134 & 135 of the Plat of Western Ridge Subdivision, Unit 1 at Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 4, 2005 in Book 2005C, Page 140 as Document No. 2005062521 into three (3) lots.



**DETAIL 'A'**  
NOT TO SCALE

**LEGEND**

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- - - EXISTING EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- - - EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
- SET 5/8" REBAR WITH 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469" OR PK NAIL
- ⊙ FOUND PK NAIL
- ✕ FOUND CHISELED "\*" IN CONCRETE FOR PROPERTY CORNER OFFSET

**DESCRIPTION**

A certain tract of land being located within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, N.M.P.M., Bernalillo County, New Mexico, and being the same as Lots 133, 134 & 135 of the Plat of Western Ridge Subdivision, Unit 1 at Ventana Ranch West filed in Book 2005C, Page 140 as Document No. 200506251 on the May 4, 2005 in the office of the Bernalillo County Clerk.  
Tract contains 0.4277 acre of land, more or less.

**NOTES**

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 and are the same as shown on the Plat of Western Ridge Subdivision, Unit 1 at Ventana Ranch West, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 4, 2005 in Book 2005C, Page 140 as Document No. 200506251.
2. Distances are ground distances.
3. All easements of record are shown.
4. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
5. The front (adjacent to street right-of-way) lot corner will not be staked. A witness corner projected along the property line (10' offset), being a chiseled "\*" in the curb and gutter will be set upon completion of all street improvements. Offset may be adjusted by even foot increments where necessary to fall within the plan. Front corners that mark a "pc,pi" will be marked by a chiseled "\*" in the curb and gutter at an even foot offset parallel or radial to the centerline of roadway.

**FREE CONSENT AND DEDICATION**

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Lots 133, 134 & 135 of the Plat of Western Ridge Subdivision, Unit 1 at Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 4, 2005 in Book 2005C, Page 140 as Document No. 200506251, now comprising Lots 133-A, 134-A & 135-A, Western Ridge Subdivision, Unit 1 at Ventana Ranch West, Albuquerque, New Mexico is with free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s). In the event Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's and/or assigns property to access the easement areas for the purposes of performing the Work. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

PULTE HOMES OF NEW MEXICO, INC.

By: *Garret Price*  
Garret Price, Vice President of Land  
Pulte Homes of New Mexico, Inc.

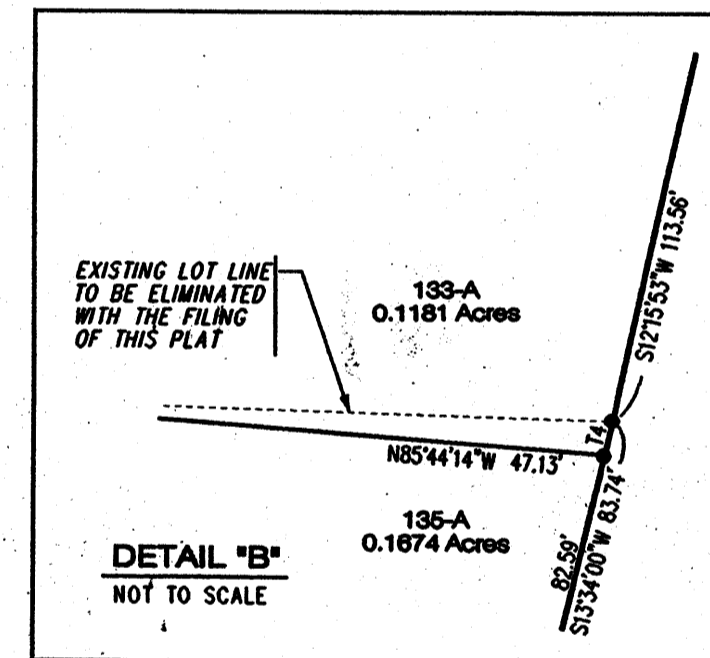
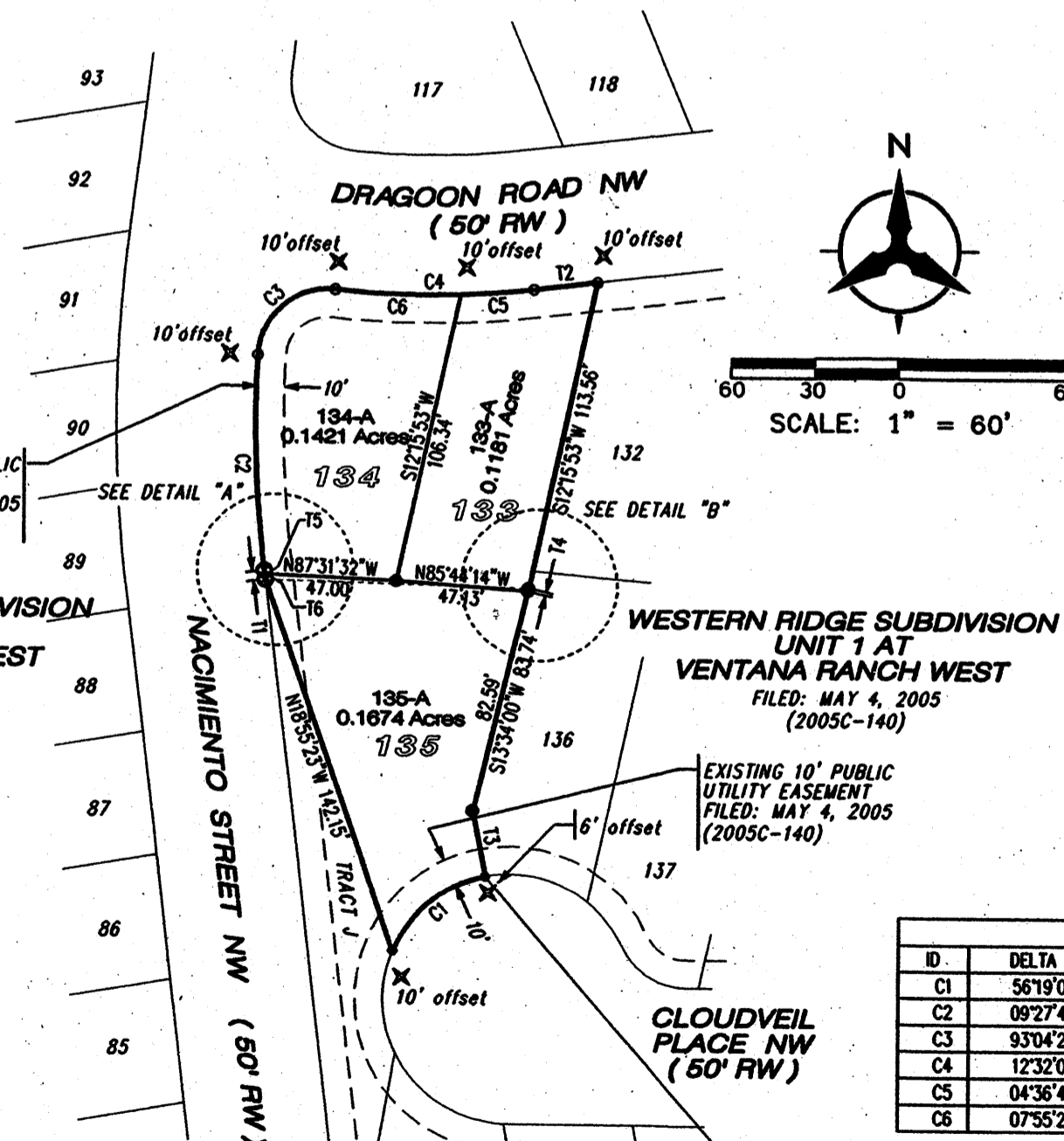


OFFICIAL SEAL  
STEPHANIE L. WALTON  
NOTARY PUBLIC - STATE OF NEW MEXICO  
My Commission Expires: 6-24-07

State of New Mexico )  
County of Bernalillo )

This instrument was acknowledged before me on 3 day of April, 2006, by Garret Price, Vice President of Land, Pulte Homes of New Mexico, Inc.

My Commission Expires: 6-24-07. *Stephanie L. Walton*  
Notary Public



**DETAIL 'B'**  
NOT TO SCALE

ID	BEARING	DISTANCE
T1	N06°42'06"W	3.39'
T2	N83°17'54"E	22.89'
T3	S11°03'56"E	24.25'
T4	S13°34'00"W	1.16'
T5	N06°42'06"W	1.38'
T6	N06°42'06"W	2.02'

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	56°19'04"	24.09'	44.23'	45.00'	42.47'	S50°46'32"W
C2	09°27'48"	39.32'	78.45'	475.00'	78.37'	N01°58'12"W
C3	93°04'20"	26.38'	40.61'	25.00'	36.29'	N49°17'52"E
C4	12°32'08"	35.70'	71.11'	325.00'	70.96'	N89°33'58"E
C5	04°36'43"	13.09'	26.16'	325.00'	26.15'	N85°36'16"E
C6	07°55'25"	22.51'	44.94'	325.00'	44.91'	S88°07'40"E

N6S BRASS TABLET STAMPED "UNION 1969"  
GEOGRAPHIC POSITION (NAD 1927)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
X=353,409.02 Y=1,523,440.96  
GROUND TO GRID FACTOR = 0.99966044  
DELTA ALPHA = -00°16'58"  
NGVD 1929 ELEVATION = 5522.0 (TRIG)

2006054363  
6441664  
Page: 1 of 1  
04/18/2006 11:11:18  
Bk-2006C Pg-122

Mary Herrera Bern. Co. PLRT R 7.00

**PLAT OF**  
**LOTS 133-A, 134-A & 135-A**  
**WESTERN RIDGE SUBDIVISION**  
**UNIT 1**  
**AT VENTANA RANCH WEST**  
(A REPLAT OF LOTS 133, 134 & 135, WESTERN RIDGE SUBDIVISION UNIT 1 AT VENTANA RANCH WEST)  
ALBUQUERQUE, NEW MEXICO  
MARCH, 2006

PROJECT NUMBER **026-1003087**  
APPLICATION NUMBER **06028-00434**

**PLAT APPROVAL**

CITY APPROVAL: *[Signature]* 4-3-06  
CITY SURVEYOR: *[Signature]* DATE 4-12-06  
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION: *[Signature]* DATE 4/12/06  
UTILITIES DEVELOPMENT: *[Signature]* DATE 4/12/06  
PARKS & RECREATION DEPARTMENT: *[Signature]* DATE 4/12/06  
A.M.A.F.C.A.: *[Signature]* DATE 4/12/06  
CITY ENGINEER: *[Signature]* DATE 4/12/06  
DRB CHAIRPERSON, PLANNING DEPARTMENT: *[Signature]* DATE 4.4.06  
VENTANA RANCH WEST HOMEOWNERS ASSOCIATION: *[Signature]* DATE 4-12-06

**TAX CERTIFICATION**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #  
**00806542515040130**

PROPERTY OWNER OF RECORD **Pulte Homes of New Mexico**  
*[Signature]* 4-18-06  
BERNALILLO COUNTY TREASURER'S OFFICE DATE

**SURVEYOR'S CERTIFICATION**

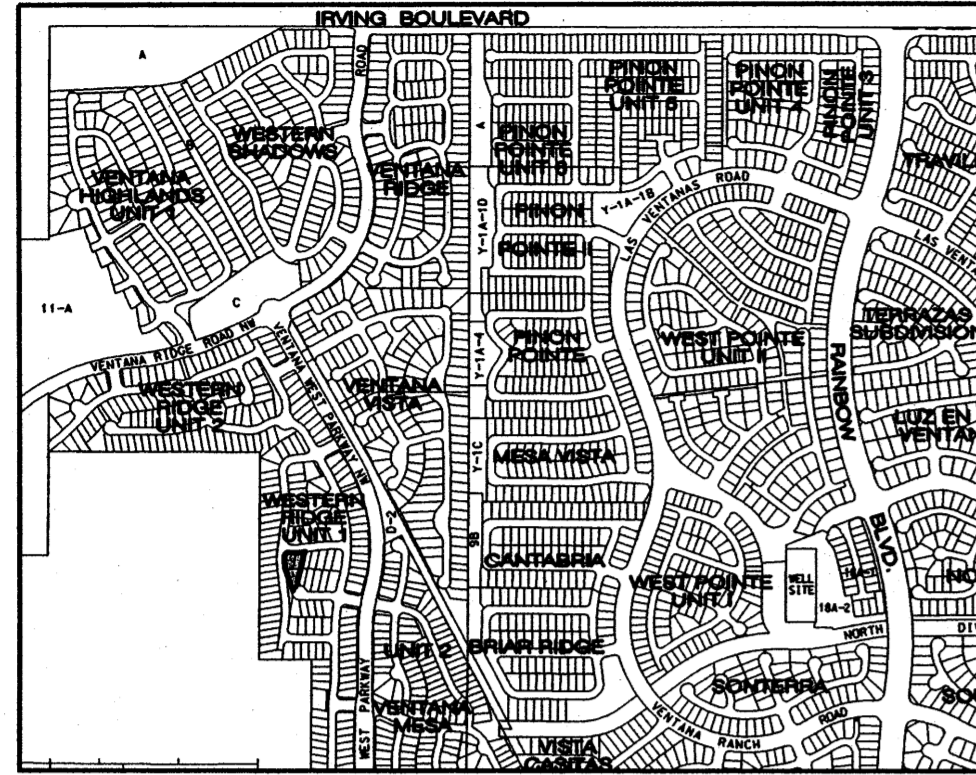
I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

*Robert Gromatzky*  
Robert Gromatzky  
New Mexico Professional Surveyor 16469  
Date: March 28, 2006

**Bohannon & Huston**  
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES



SP-2006123691



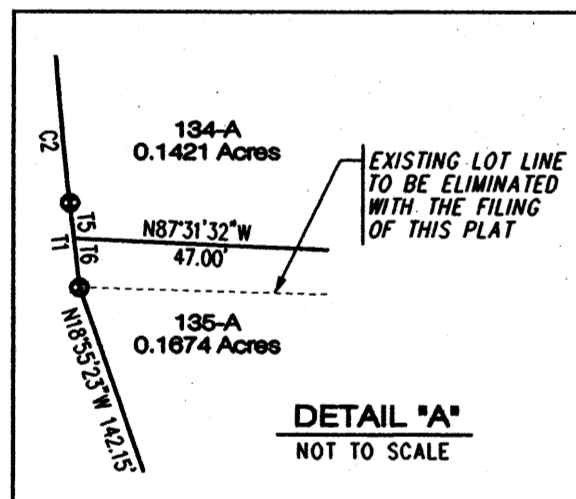
**LOCATION MAP**  
ZONE ATLAS INDEX MAP No. B-8  
NOT TO SCALE

**SUBDIVISION DATA**

1. DRB No.
2. Zone Atlas Index Nos. B-8-Z; Zoning: RL.T.
3. Gross Subdivision Acreage: 0.4277 Acre.
4. Total Number of Tracts Created: Three (3) Lots.
5. No streets were created with this plat.
6. Date of Survey: January, 2006.
7. Plat is located within the Town of Alameda Grant, within projected Section 8, T11N, R2E, NMPM.

**DISCLOSURE STATEMENT**

The purpose of this Plat is to subdivide all of Lots 133, 134 & 135 of the Plat of Western Ridge Subdivision, Unit 1 at Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 4, 2005 in Book 2005C, Page 140 as Document No. 200506251 into three (3) lots.



**DETAIL "A"**  
NOT TO SCALE

**DESCRIPTION**

A certain tract of land being located within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, N.M.P.M., Bernalillo County, New Mexico, and being the same as Lots 133, 134 & 135 of the Plat of Western Ridge Subdivision, Unit 1 at Ventana Ranch West filed in Book 2005C, Page 140 as Document No. 200506251 on the May 4, 2005 in the office of the Bernalillo County Clerk.

Tract contains 0.4277 acre of land, more or less.

**NOTES**

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 and are the same as shown on the Plat of Western Ridge Subdivision, Unit 1 at Ventana Ranch West, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 4, 2005 in Book 2005C, Page 140 as Document No. 200506251.
2. Distances are ground distances.
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4. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
5. The front (adjacent to street right-of-way) lot corner will not be staked. A witness corner projected along the property line (10' offset), being a chiseled "+" in the curb and gutter will be set upon completion of all street improvements. Offset may be adjusted by even foot increments where necessary to fall within the pan. Front corners that mark a "pc,pt" will be marked by a chiseled "+" in the curb and gutter at an even foot offset parallel or radial to the centerline of roadway.

**FREE CONSENT AND DEDICATION**

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Lots 133, 134 & 135 of the Plat of Western Ridge Subdivision, Unit 1 at Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 4, 2005 in Book 2005C, Page 140 as Document No. 200506251, now comprising Lots 133-A, 134-A & 135-A, Western Ridge Subdivision, Unit 1 at Ventana Ranch West, Albuquerque, New Mexico is with free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s). In the event Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's and/or assigns property to access the easement areas for the purposes of performing the Work. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

PULTE HOMES OF NEW MEXICO, INC

BY: *Garret Price*  
Garret Price, Vice President of Land  
Pulte Homes of New Mexico, Inc.

OFFICIAL SEAL  
STEPHANIE L. WALTON  
NOTARY PUBLIC - STATE OF NEW MEXICO  
My Commission Expires: 6-24-07

State of New Mexico )  
County of Bernalillo )

This instrument was acknowledged before me on 3 day of April, 2006, by Garret Price, Vice President of Land, Pulte Homes of New Mexico, Inc.

My Commission Expires: 6-24-07 *Stephanie L. Walton*  
Notary Public

**PLAT OF**  
**LOTS 133-A, 134-A & 135-A**  
**WESTERN RIDGE SUBDIVISION**  
**UNIT 1**  
**AT VENTANA RANCH WEST**  
**(A REPLAT OF LOTS 133, 134 & 135, WESTERN RIDGE SUBDIVISION UNIT 1 AT VENTANA RANCH WEST)**

ALBUQUERQUE, NEW MEXICO  
MARCH, 2006  
**PRELIMINARY PLAT**  
**APPROVED BY DRE**  
ON 4/12/06

PROJECT NUMBER  
APPLICATION NUMBER

**PLAT APPROVAL**

CITY APPROVALS:	4-3-06
CITY SURVEYOR	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS & RECREATION DEPARTMENT	DATE
A. M. A. F. C. A.	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
VENTANA RANCH WEST COMMUNITY ASSOCIATION	DATE

**TAX CERTIFICATION**

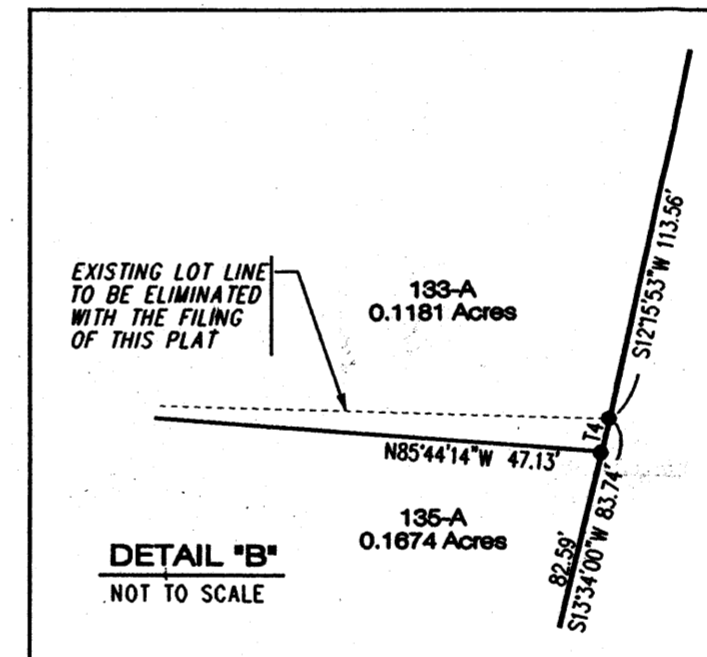
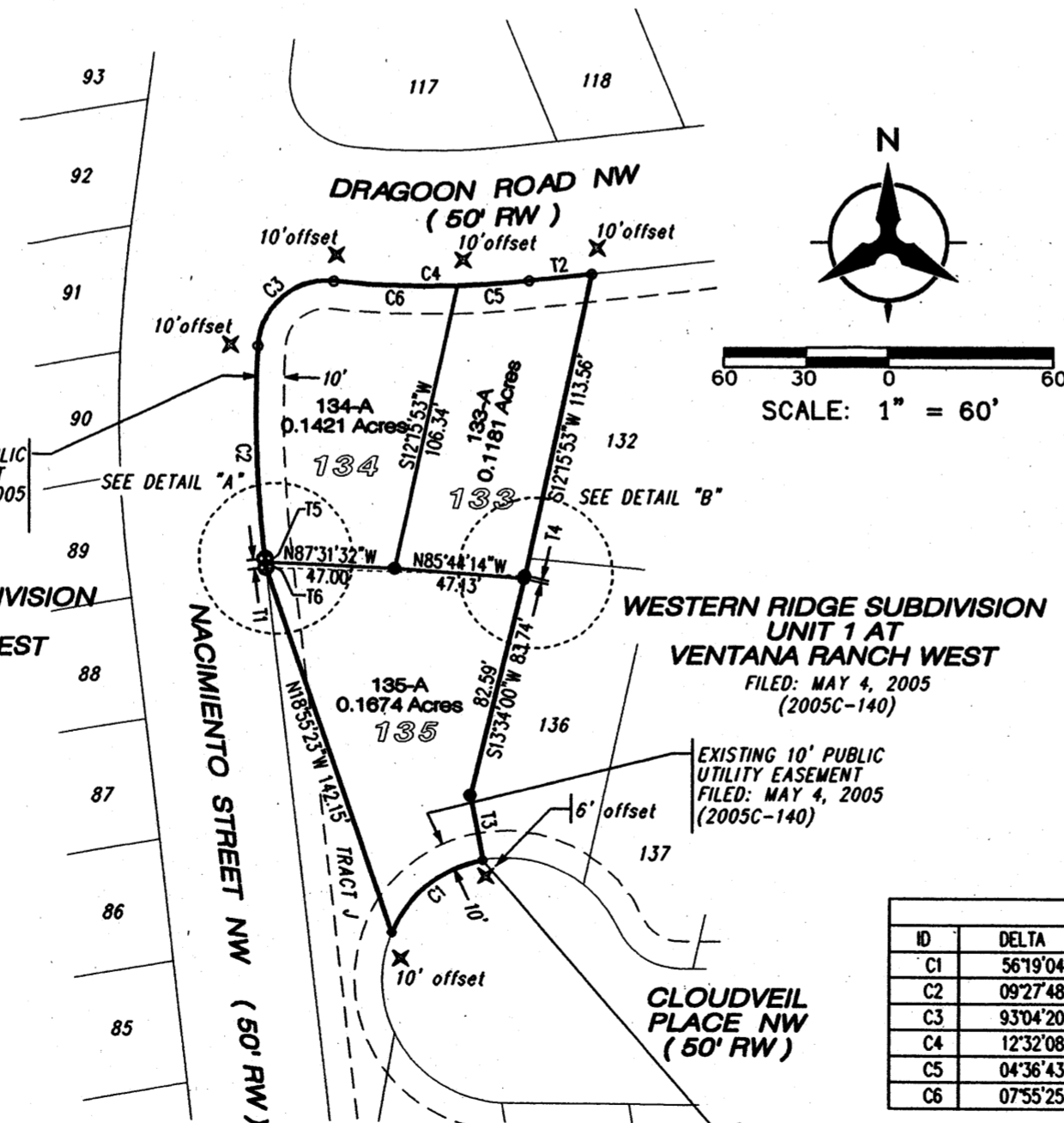
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #

PROPERTY OWNER OF RECORD  
BERNALILLO COUNTY TREASURER'S OFFICE DATE

**SURVEYOR'S CERTIFICATION**

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentalation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

*Robert Gromatzky*  
Robert Gromatzky  
New Mexico Professional Surveyor 16469  
Date: March 28, 2006



**DETAIL "B"**  
NOT TO SCALE

Tangent Data			
ID	BEARING	RADIUS	DISTANCE
T1	N06°42'06"W	44.23'	3.39'
T2	N83°17'54"E	45.00'	22.89'
T3	S11°03'56"E	47.13'	24.25'
T4	S13°34'00"W	26.38'	1.16'
T5	N06°42'06"W	26.16'	1.38'
T6	N06°42'06"W	22.51'	2.02'

Curve Data						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	56°19'04"	24.09'	44.23'	45.00'	42.47'	S50°46'32"W
C2	09°27'48"	39.32'	78.45'	475.00'	78.37'	N01°58'12"W
C3	93°04'20"	26.38'	40.61'	25.00'	36.29'	N49°17'52"E
C4	12°32'08"	35.70'	71.11'	325.00'	70.96'	N89°33'58"E
C5	04°36'43"	13.09'	26.16'	325.00'	26.15'	N85°36'16"E
C6	07°55'25"	22.51'	44.94'	325.00'	44.91'	S88°07'40"E

NGS BRASS TABLET STAMPED "UNION 1969"  
GEOGRAPHIC POSITION (NAD 1927)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
X=353,409.02 Y=1,523,440.96  
GROUND TO GRID FACTOR = 0.99966044  
DELTA ALPHA = -00°16'58"  
NGVD 1929 ELEVATION = 5522.0 (TRIG)

**LEGEND**

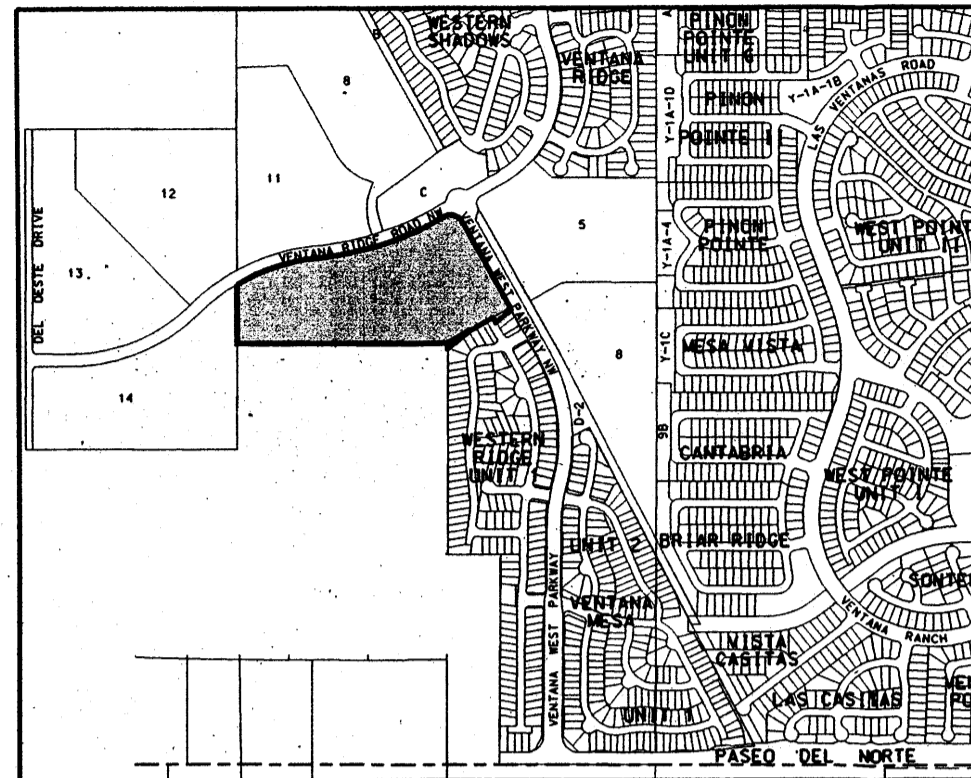
- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- EXISTING EASEMENT LINE
- ADJOINING PROPERTY LINE
- EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
- SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469" OR PK NAIL
- FOUND PK NAIL
- FOUND CHISELED "+" IN CONCRETE FOR PROPERTY CORNER OFFSET

**Bohannon & Huston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

PRELIMINARY PLAT  
 APPROVED BY DRB  
 ON 1/18/06

SP-2005600222



LOCATION MAP  
 ZONE ATLAS INDEX MAP No. B-8  
 NOT TO SCALE

**SUBDIVISION DATA**

1. DRB No.
2. Zone Atlas Index Nos. B-8-Z; Zoning: RLT.
3. Gross Subdivision Acreage: 21.2772 Acres
4. Total Number of Tracts Created: One hundred five (105) Lots & Eleven (11) Tracts.
5. Total Mileage of Full Width Streets created: 0.790 mile.
6. Total Mileage of Partial Width Streets created: 0.377 mile.
7. Date of Survey: January, 2005.
8. Plat is located within the Town of Alameda Grant, within projected Section 8, T11N, R2E, NMPM.

**DISCLOSURE STATEMENT**

The purpose of this Plat is to subdivide all of Tract 9, BULK LAND PLAT FOR VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553 and Tracts 1A and 1B, WESTERN RIDGE SUBDIVISION UNIT 1 AT VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the Plat thereof, recorded in the office of the county clerk of Bernalillo County, New Mexico on May 4, 2005 in Book 2005C, Page 140 as Document No. 2005062521 into one hundred five (105) lots and eleven (11) tracts, to dedicate additional public street right-of-way to the City of Albuquerque, and to grant easements.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- PNM Electric Services** for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
- PNM Gas services** for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWEST** for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Comcast Cable** for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- New Mexico Utilities, Inc.** for the installation, maintenance and service of underground-water and sanitary sewer lines across the easement.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

**DESCRIPTION**

A certain tract of land being located within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, N.M.P.M., Bernalillo County, New Mexico, and being the same as Tract 9 of the Bulk Land Plat of Ventana Ranch West filed in Book 2004C, Page 84 on March 11, 2004 in the office of the Bernalillo County Clerk, and Tracts 1A and 1B of the Plat of Western Ridge Subdivision Unit 1 at Ventana Ranch West filed in Book 2005C, Page 140 on May 04, 2005 in the office of the Bernalillo County Clerk, being more particularly described as follows:

BEGINNING at the northwest corner of said Tract 9, a point on the southern right-of-way line of Ventana Ridge Road NW, for a point of curvature of this tract, WHENCE the brass cap for Albuquerque City Survey (ACS) Monument "1-A8 1980", having New Mexico State Plane Grid Coordinates Central Zone (NAD 27) of X=350,152.25' and Y=1,531,818.60' bears N07°34'02"E a distance of 4,537.66 feet;

THENCE along the northerly line of said Tract 9, identical to said Ventana Ridge Road NW, along a curve to the right that has an arc length of 521.39 feet, a radius of 1212.00 feet, a central angle of 24°38'52", and a chord of N72°18'07"E a distance of 517.37 feet to a point of reverse curvature;

THENCE continuing along said northerly line of Tract 9, along a curve to the left that has an arc length of 848.25 feet, a radius of 2038.00 feet, a central angle of 23°50'51", and a chord of N72°42'08"E a distance of 842.15 feet to a point of tangency;

THENCE continuing along said northerly line of Tract 9, N60°46'42"E a distance of 7.00 feet to the most northerly point of said Tract 9, a point of tangency;

THENCE continuing along said northerly line of said Tract 9 and said southerly right-of-way line of Ventana Ridge Road NW, along a curve to the right that has an arc length of 125.66 feet, a radius of 80.00 feet, a central angle of 90°00'00", and a chord of S7°13'18"E a distance of 113.14 feet to a point of tangency, point being on the easterly line of said Tract 9, and the westerly right-of-way line of Ventana West Parkway NW;

THENCE along said easterly line of said Tract 9 and the westerly right-of-way line of said Ventana West Parkway NW, S29°13'18"E a distance of 610.26 feet to the southeast corner of said Tract 9, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE along the southerly line of said Tract 9, S60°46'42"W a distance of 5.00 feet to the northeast corner of Tract 1B of the Plat of Western Ridge Subdivision Unit 1 at Ventana Ranch West;

THENCE along the easterly line of said Tract 1B, S29°13'17"E a distance of 14.94 feet to the southeast corner of said Tract 1B;

THENCE along the southerly line of said Tract 1B, S50°46'42"W a distance of 116.31 feet to the southwest corner of said Tract 1B, a point of curvature;

THENCE along westerly line of Tract 1B, along a curve to the left that has an arc length of 35.64 feet, a radius of 205.00 feet, a central angle of 09°57'38", and a chord of N38°21'30"W a distance of 35.59 feet to a point on the southerly line of said Tract 9;

THENCE continuing along said southerly line of said Tract 9, S60°46'42"W a distance of 170.80 feet to the northeast corner of Tract 1A;

THENCE continuing along the southerly line of Tract 1A, S51°12'23"W a distance of 171.43 feet to the southwest corner of said Tract 1A;

THENCE along the westerly line of Tract 1A, N00°17'54"E a distance of 32.76 feet to the northwest corner of said Tract 1A, identical to an angle point on the southerly boundary line of said Tract 9, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE along the said southerly line of said Tract 9, N89°48'19"W a distance of 1320.00 feet to the southwest corner of said Tract 9, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE along the westerly line of said Tract 9, N00°17'55"E a distance of 366.92 feet to the POINT OF BEGINNING.

Tract contains 21.2772 acres of land, more or less.

**FREE CONSENT AND DEDICATION**

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract 9 of the BULK LAND PLAT FOR VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553, and Tracts 1A and 1B, WESTERN RIDGE SUBDIVISION UNIT 1 AT VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the Plat thereof, recorded in the office of the county clerk of Bernalillo County, New Mexico on May 4, 2005 in Book 2005C, Page 140 as Document No. 2005062521 now comprising Lots 153 through 257 inclusive, Tracts N thru X inclusive, WESTERN RIDGE SUBDIVISION UNIT 2 AT VENTANA RANCH WEST, Albuquerque, New Mexico is with free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional public street rights-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants, and do hereby grant: All access, Utility and Drainage Easements hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried distribution lines; conduits, pipes for underground Utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. In the event Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within an easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's and/or assigns property to access the easement areas for the purposes of performing the Work. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

PULTE HOMES OF NEW MEXICO, INC.

Garret Price, Vice President of Land  
 Pulte Homes of New Mexico, Inc.

State of New Mexico )  
 County of Bernalillo )

This instrument was acknowledged before me on 10 day of JUNE, 2006, by Garret Price, Vice President of Land, Pulte Homes of New Mexico, Inc.

My Commission Expires: 6-24-07

STEPHANIE L. STRATTON  
 NOTARY PUBLIC-STATE OF NEW MEXICO  
 My commission expires: 6-24-07

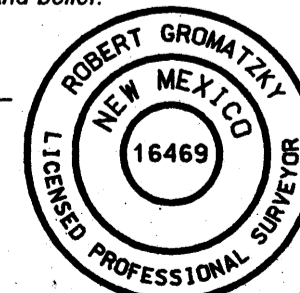
**NOTES**

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 and are the same as shown on the Bulk Land Plat For Ventana Ranch West, Albuquerque, New Mexico, recorded on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553.
2. Distances are ground distances.
3. All easements of record are shown.
4. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
5. Centerline (in lieu of R/W monumentation) to be installed at centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard 3-1/4" aluminum alloy cap stamped "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS 16469".
6. Tracts N thru U and Tract X are to be conveyed to and maintained by the Ventana Ranch West Community Association as private open space by separate deed. Tracts are subject to a pedestrian access and community landscaping easement granted with the filing of this plat. Tracts N thru U and Tract X are subject to an underground public utility easement granted with the filing of this plat.
7. Park Dedication Requirements shall be met with Tract C of the Bulk Land Plat of Ventana Ranch West a future park site, and in accordance with the Park Dedication Agreement between the City of Albuquerque and Ventana West, LLC dated: March 10, 2004, Document No. 2004031336. Conveyance shall be by separate deed.
8. No individual lots or tracts shall be allowed direct access to any lands adjacent to the South Boundary of Ventana Ranch West or Ventana West Parkway NW and Ventana Ridge Road NW.
9. The front (adjacent to street right-of-way) lot corner will not be staked. A witness corner projected along the property line (10' offset), being a chiseled "+" in the curb and gutter will be set upon completion of all street improvements. Offset may be adjusted by even foot increments where necessary to fall within the pan.
10. Tract V is to be dedicated to the City of Albuquerque as part of a city park (Ventana Ranch West Park #2) with the development of Tract H (future development) Ventana at Sol (DRB project # 1004388)

**SURVEYOR'S CERTIFICATION**

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky  
 Robert Gromatzky  
 New Mexico Professional Surveyor 16469  
 Date: January 10, 2006



PLAT OF  
**WESTERN RIDGE SUBDIVISION  
 UNIT 2  
 AT VENTANA RANCH WEST**  
 (A REPLAT OF TRACT 9, VENTANA RANCH WEST  
 AND TRACTS 1A & 1B, WESTERN RIDGE SUBDIVISION  
 UNIT 1)  
 ALBUQUERQUE, NEW MEXICO  
 JANUARY, 2006

PROJECT NUMBER \_\_\_\_\_  
 APPLICATION NUMBER \_\_\_\_\_

**PLAT APPROVAL**

UTILITY APPROVALS:	DATE
QWEST	_____
COMCAST CABLE	_____
PNM ELECTRIC SERVICES	_____
PNM GAS SERVICES	_____
NEW MEXICO UTILITIES, INC.	_____
CITY APPROVALS:	_____
CITY SURVEYOR	1-10-06
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	_____
UTILITIES DEVELOPMENT	_____
PARKS & RECREATION DEPARTMENT	_____
A. M. A. F. C. A.	_____
CITY ENGINEER	_____
DRB CHAIRPERSON, PLANNING DEPARTMENT	_____
VENTANA RANCH WEST COMMUNITY ASSOCIATION	_____

**TAX CERTIFICATION**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # \_\_\_\_\_

PROPERTY OWNER OF RECORD \_\_\_\_\_  
 BERNALILLO COUNTY TREASURER'S OFFICE \_\_\_\_\_ DATE \_\_\_\_\_

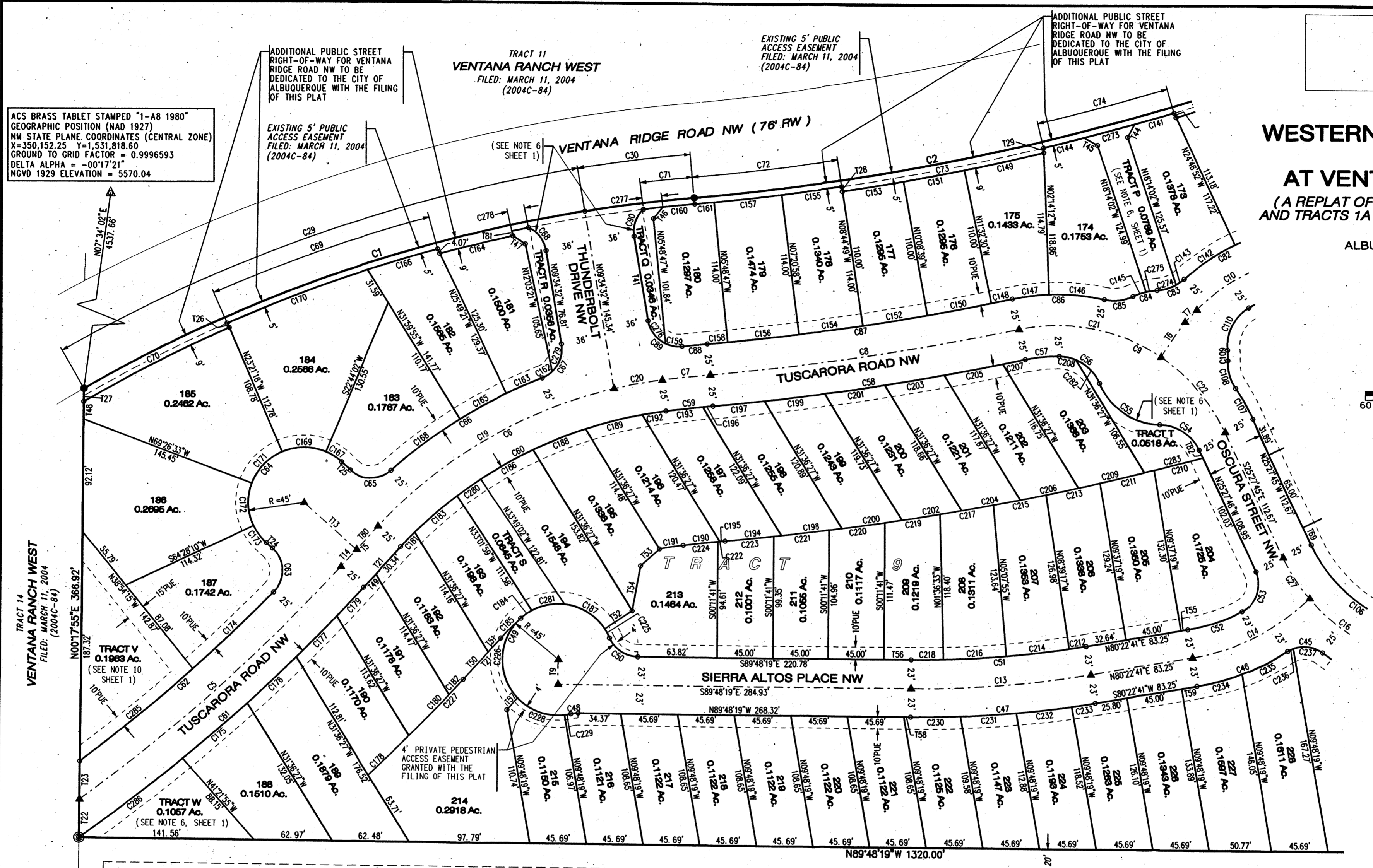
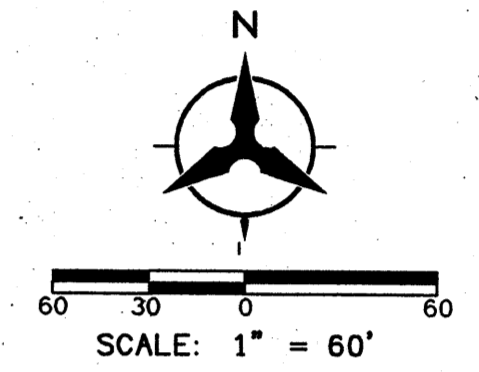
In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES



ACS BRASS TABLE STAMPED "1-A8 1980"  
 GEOGRAPHIC POSITION (NAD 1927)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X=350,152.25 Y=1,531,818.60  
 GROUND TO GRID FACTOR = 0.9996593  
 DELTA ALPHA = -00°17'21"  
 NGVD 1929 ELEVATION = 5570.04

**PLAT OF  
 WESTERN RIDGE SUBDIVISION  
 UNIT 2  
 AT VENTANA RANCH WEST**  
 (A REPLAT OF TRACT 9, VENTANA RANCH WEST  
 AND TRACTS 1A & 1B, WESTERN RIDGE SUBDIVISION  
 UNIT 1)  
 ALBUQUERQUE, NEW MEXICO  
 JANUARY, 2006



NOTE: SEE SHEET 4 FOR CURVE & TANGENT DATA

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
	RIGHT OF WAY
	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469"
	FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6644"

UNPLATTED LAND IN PROJECTED SECTION 8 T11N, R2E NMPM WARRANTY DEED FILED: NOVEMBER 13, 1986 (BK D287A, PG 100) DOCUMENT NO. 86111195

EXISTING 20' ROAD & UTILITY EASEMENT AS SHOWN ON BULK LAND PLAT FOR VENTANA RANCH WEST FILED: MARCH 11, 2004 (2004C-84)

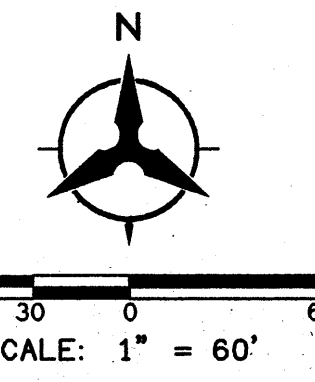


**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

**BULKLAND PLAT FOR VENTANA RANCH WEST**  
FILED: MARCH 11, 2004  
(2004C-84)

15' PUBLIC PEDESTRIAN ACCESS EASEMENT GRANTED WITH THE FILING OF THIS PLAT.

EXISTING 5' PUBLIC ACCESS EASEMENT FILED: MARCH 11, 2004 (2004C-84)



**PLAT OF WESTERN RIDGE SUBDIVISION UNIT 2 AT VENTANA RANCH WEST**  
(A REPLAT OF TRACT 9, VENTANA RANCH WEST AND TRACTS 1A & 1B, WESTERN RIDGE SUBDIVISION UNIT 1)  
ALBUQUERQUE, NEW MEXICO  
JANUARY, 2006

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
	RIGHT OF WAY
	PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469"
	FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"

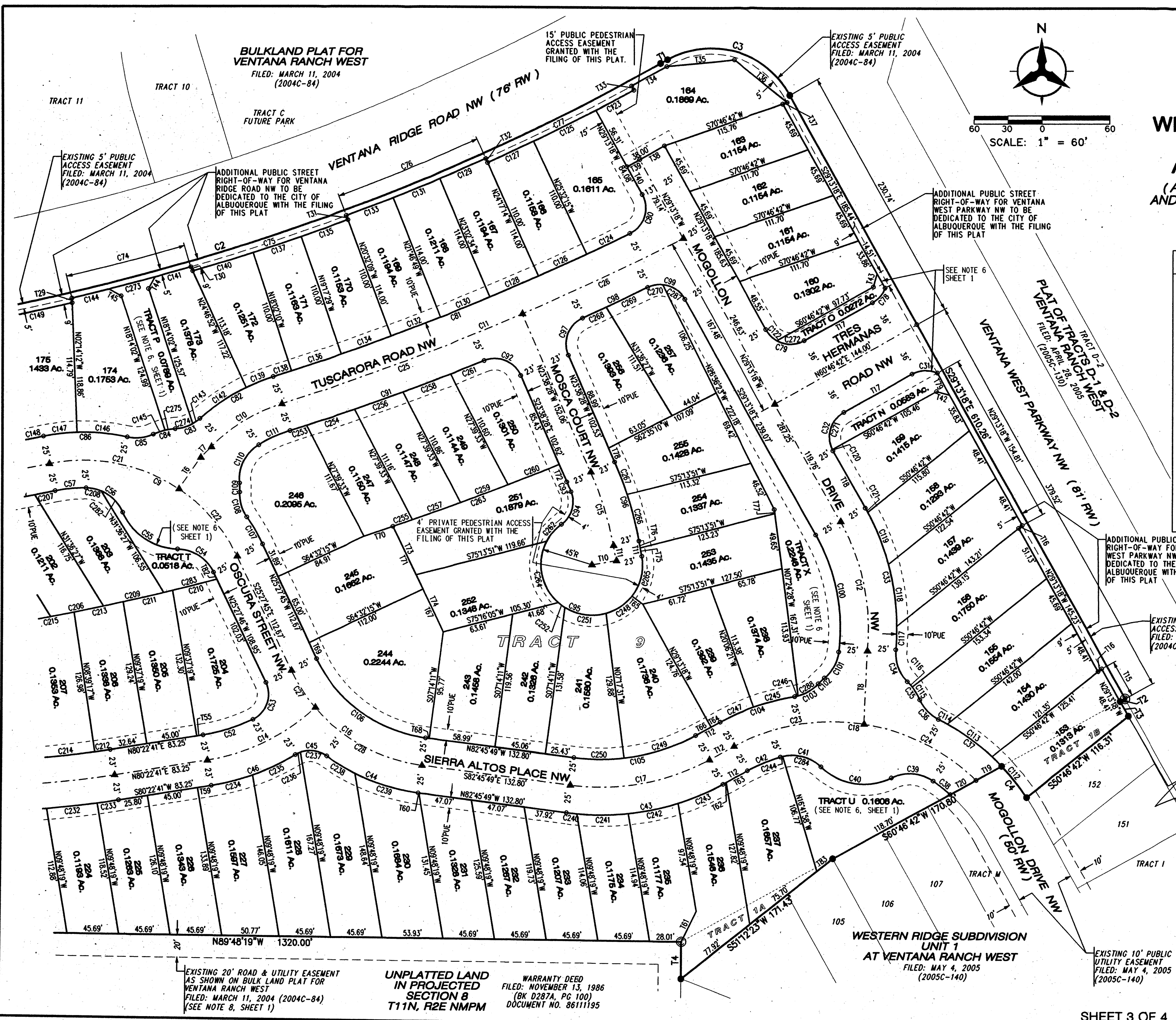
NOTE: SEE SHEET 4 FOR CURVE & TANGENT DATA



EXISTING 50' SOUTHERN UNION GAS COMPANY EASEMENT RECORDED SEPTEMBER 16, 1930 (BK. 112, PG. 515) AND RIGHT-OF-WAY GRANTED TO ALBUQUERQUE NATURAL GAS COMPANY RECORDED DECEMBER 11, 1931 (BK. 123, PG. 152) AND RIGHT-OF-WAY GRANT AND RELEASE OF CLAIMS RECORDED: MARCH 29, 1956 (VOLUME D346, FOLIO 10 356-360) DOCUMENT NO. 90568

NGS BRASS TABLET STAMPED "UNION 1969" GEOGRAPHIC POSITION (NAD 1927) NM STATE PLANE COORDINATES (CENTRAL ZONE) X=353,409.02 Y=1,523,440.96 GROUND TO GRID FACTOR = 0.99966044 DELTA ALPHA = -00'16"58" NGVD 1929 ELEVATION = 5522.0 (TRIG)

**Bohannon & Huston**  
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



EXISTING 20' ROAD & UTILITY EASEMENT AS SHOWN ON BULK LAND PLAT FOR VENTANA RANCH WEST FILED: MARCH 11, 2004 (2004C-84) (SEE NOTE 8, SHEET 1)

UNPLATTED LAND IN PROJECTED SECTION 8 T11N, R2E NMPM WARRANTY DEED FILED: NOVEMBER 13, 1986 (BK D287A, PG 100) DOCUMENT NO. 86111195

TRACT U 0.1608 Ac. (SEE NOTE 6, SHEET 1)

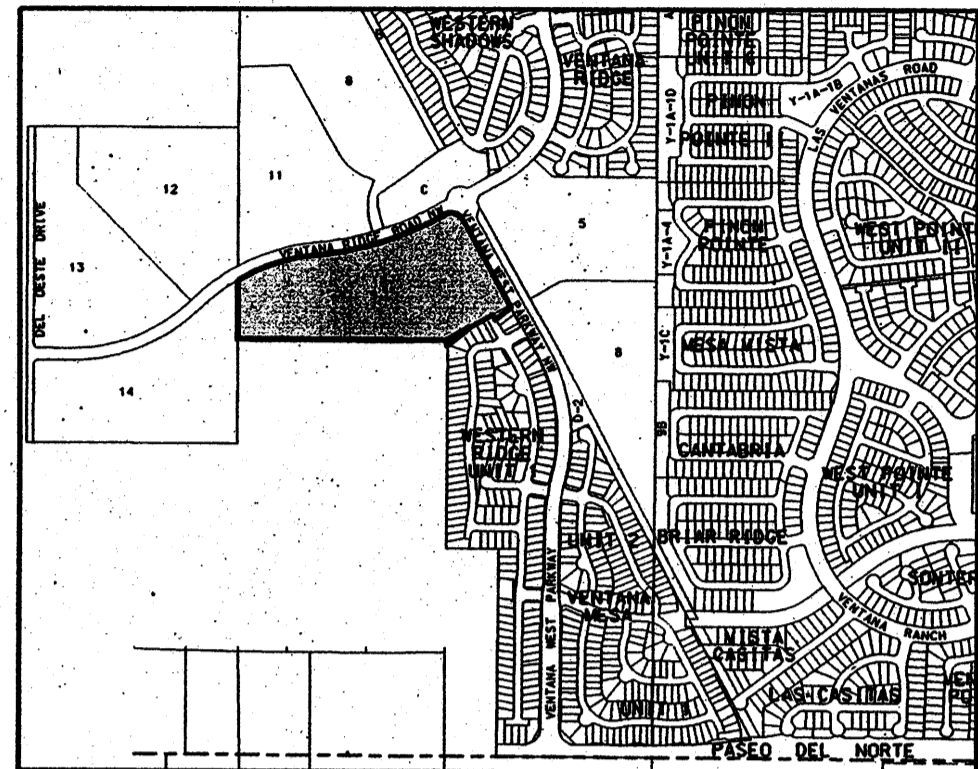
EXISTING 10' PUBLIC UTILITY EASEMENT FILED: MAY 4, 2005 (2005C-140)



CURVE DATA																				
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG	ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG	ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	24°38'52"	264.79'	521.39'	1212.00'	517.37'	N72°18'07"E	C101	42°43'44"	14.08'	26.85'	36.00'	26.23'	S28°12'22"W	C201	01°16'17"	24.49'	48.97'	2207.00'	48.97'	N81°37'23"E
C2	23°50'51"	430.36'	848.25'	2038.00'	842.15'	N72°42'08"E	C102	08°00'33"	3.78'	7.55'	54.00'	7.54'	S45°33'58"W	C202	01°12'03"	24.28'	48.56'	2317.00'	48.56'	S80°27'37"W
C3	09°00'00"	80.00'	125.66'	80.00'	113.14'	S74°13'18"E	C103	38°51'22"	12.70'	24.41'	36.00'	23.95'	S60°59'22"W	C203	01°15'35"	24.26'	48.52'	2207.00'	48.52'	N80°21'27"E
C4	09°57'38"	17.86'	35.64'	205.00'	35.59'	N38°21'30"W	C104	19°38'21"	35.48'	70.27'	205.00'	69.92'	S70°35'53"W	C204	01°11'27"	24.08'	48.16'	2317.00'	48.16'	S79°15'52"W
C5	10°52'04"	142.69'	284.52'	1500.00'	284.09'	N47°35'57"E	C105	36°27'29"	57.64'	111.35'	175.00'	109.49'	S79°00'26"W	C205	01°14'56"	24.06'	48.11'	2207.00'	48.11'	N79°06'11"E
C6	40°22'00"	137.85'	264.20'	375.00'	258.77'	N62°21'09"E	C106	57°18'04"	68.30'	125.01'	125.00'	119.87'	N54°06'47"W	C206	01°10'55"	23.90'	47.79'	2317.00'	47.79'	S78°04'41"E
C7	02°05'24"	19.48'	38.96'	1068.00'	38.96'	N83°34'51"E	C107	09°11'40"	14.07'	28.08'	175.00'	28.05'	N30°03'35"W	C207	00°28'47"	9.24'	18.48'	2207.00'	18.48'	N78°14'20"E
C8	06°37'37"	126.33'	252.38'	2182.00'	252.24'	N81°18'45"E	C108	37°31'34"	12.23'	23.58'	36.00'	23.16'	N15°53'38"W	C208	21°38'27"	6.88'	13.60'	36.00'	13.52'	S78°33'09"E
C9	57°32'19"	118.33'	200.38'	150.00'	185.81'	S63°43'54"E	C109	08°51'37"	4.18'	8.35'	54.00'	8.34'	N01°33'39"W	C209	01°21'18"	27.40'	54.79'	2317.00'	54.79'	S76°48'35"E
C10	28°07'15"	37.57'	73.62'	150.00'	72.88'	N58°21'08"E	C110	64°27'01"	22.69'	40.50'	36.00'	38.39'	N26°14'03"E	C210	01°00'04"	20.24'	40.48'	2317.00'	40.48'	N75°25'41"E
C11	10°08'15"	193.54'	386.07'	2182.00'	385.56'	N67°20'38"E	C111	13°57'11"	15.30'	30.44'	125.00'	30.37'	N65°26'10"E	C211	01°06'55"	22.55'	45.10'	2317.00'	45.10'	N76°29'11"E
C12	34°53'23"	61.59'	119.35'	196.00'	117.52'	N11°46'37"W	C112	13°21'24"	24.00'	47.79'	205.00'	47.68'	N40°03'24"W	C212	00°58'02"	6.98'	13.96'	827.00'	13.96'	S80°51'42"W
C13	09°49'00"	73.00'	145.63'	850.00'	145.46'	N85°17'11"E	C113	13°47'28"	24.79'	49.34'	205.00'	49.22'	N53°37'50"W	C213	01°06'03"	22.26'	44.51'	2317.00'	44.51'	N77°35'40"E
C14	34°33'42"	56.00'	108.58'	180.00'	106.94'	N63°05'50"E	C114	02°29'37"	4.46'	8.92'	205.00'	8.92'	N61°46'22"W	C214	03°31'22"	25.43'	50.85'	827.00'	50.85'	S83°06'24"E
C15	13°12'21"	34.73'	69.15'	300.00'	68.99'	N17°02'17"W	C115	13°50'25"	6.55'	13.04'	54.00'	13.01'	N31°05'01"W	C215	01°04'12"	21.63'	43.27'	2317.00'	43.27'	N78°40'47"E
C16	57°18'04"	81.95'	150.01'	150.00'	143.84'	S54°06'47"E	C116	06°54'45"	3.26'	6.51'	54.00'	6.51'	N41°27'37"W	C216	03°31'22"	25.43'	50.85'	827.00'	50.85'	S86°37'46"W
C17	36°27'29"	65.87'	127.26'	200.00'	125.13'	N79°00'26"E	C117	05°16'52"	10.19'	20.37'	221.00'	20.36'	N02°03'23"E	C217	01°04'52"	21.86'	43.72'	2317.00'	43.71'	N79°45'19"E
C18	73°52'20"	135.33'	232.00'	180.00'	216.33'	S82°17'08"E	C118	14°31'00"	28.15'	55.99'	221.00'	55.84'	N07°50'33"W	C218	01°48'14"	13.02'	26.04'	827.00'	26.03'	S89°17'34"W
C19	34°21'02"	115.91'	224.82'	375.00'	221.47'	N59°20'40"E	C119	12°59'48"	25.17'	50.13'	221.00'	50.02'	N21°35'57"W	C219	01°06'33"	22.43'	44.86'	2317.00'	44.86'	N80°51'01"E
C20	06°00'58"	19.71'	39.38'	375.00'	39.36'	N79°31'40"E	C120	03°03'39"	0.67'	1.34'	25.00'	1.34'	N27°41'29"W	C220	01°07'28"	22.74'	45.47'	2317.00'	45.47'	N81°58'02"E
C21	45°54'27"	63.53'	120.19'	150.00'	117.00'	S79°02'50"E	C121	01°07'26"	2.17'	4.34'	221.00'	4.34'	N28°39'35"W	C221	01°07'17"	22.68'	45.35'	2317.00'	45.35'	N83°05'24"E
C22	30°37'52"	41.08'	80.19'	150.00'	79.24'	S40°46'41"E	C122	31°52'54"	7.14'	13.91'	25.00'	13.73'	N45°09'45"W	C222	00°21'25"	2.91'	5.81'	933.00'	5.81'	N84°26'51"E
C23	37°55'14"	61.84'	119.13'	180.00'	116.97'	N79°44'19"E	C123	01°03'50"	19.01'	38.01'	2047.00'	38.01'	N62°12'21"E	C223	00°58'31"	19.72'	39.44'	2317.00'	39.44'	N84°08'18"E
C24	35°57'06"	58.40'	112.95'	180.00'	111.10'	S63°19'31"E	C124	01°07'49"	21.27'	42.55'	2157.00'	42.55'	S63°53'50"W	C224	01°43'59"	14.11'	28.22'	933.00'	28.22'	N83°24'09"E
C25	06°00'04"	114.37'	228.54'	2182.00'	228.43'	N69°24'44"E	C125	01°43'28"	30.81'	61.61'	2047.00'	61.61'	N63°36'01"E	C225	10°29'58"	4.13'	8.25'	45.00'	8.23'	N28°37'59"W
C26	04°08'11"	78.80'	157.53'	2182.00'	157.49'	S63°19'31"E	C126	01°15'02"	23.54'	47.07'	2157.00'	47.07'	S65°05'16"W	C226	01°14'08"	45.98'	91.96'	1635.00'	91.96'	S01°59'52"W
C27	15°04'19"	19.84'	39.46'	150.00'	39.34'	S32°59'54"E	C127	01°15'02"	23.54'	47.07'	2157.00'	47.07'	N65°05'16"E	C227	03°50'40"	54.87'	109.71'	1635.00'	109.69'	N44°05'29"E
C28	42°13'45"	57.92'	110.56'	150.00'	108.07'	S61°38'56"E	C128	01°14'40"	23.42'	46.85'	2157.00'	46.85'	S86°20'06"W	C228	53°18'36"	22.59'	41.87'	45.00'	40.38'	S70°16'30"E
C29	20°26'46"	218.58'	432.51'	1212.00'	430.22'	N70°12'04"E	C129	01°15'45"	22.79'	44.37'	2157.00'	44.37'	N66°20'06"E	C229	06°36'16"	2.60'	5.19'	45.00'	5.18'	N79°46'04"E
C30	04°12'06"	44.46'	88.88'	1212.00'	88.86'	N82°31'30"E	C130	01°15'45"	22.79'	44.37'	2157.00'	44.37'	S67°35'19"E	C230	02°37'47"	20.04'	40.07'	873.00'	40.06'	N88°52'48"E
C31	53°07'49"	12.50'	23.18'	25.00'	22.36'	S87°20'38"W	C131	01°15'45"	22.51'	45.02'	2043.00'	45.01'	S67°35'19"W	C231	02°58'10"	22.63'	45.24'	873.00'	45.24'	N86°04'49"E
C32	90°00'00"	25.00'	39.27'	25.00'	35.36'	S15°46'42"W	C132	01°14'40"	23.42'	46.85'	2157.00'	46.85'	S68°50'31"E	C232	02°57'27"	22.54'	45.06'	873.00'	45.06'	N83°07'01"E
C33	33°55'07"	67.39'	130.83'	221.00'	128.93'	S12°15'45"E	C133	01°14'40"	23.42'	46.85'	2157.00'	46.85'	N68°50'31"E	C233	01°15'36"	9.60'	19.20'	873.00'	19.20'	N81°00'29"E
C34	49°36'48"	16.64'	31.17'	36.00'	30.21'	S20°06'35"E	C134	01°14'40"	23.42'	46.85'	2157.00'	46.85'	S70°05'11"E	C234	10°39'25"	18.93'	37.76'	203.00'	37.76'	N75°02'59"E
C35	20°45'11"	9.89'	19.56'	54.00'	19.45'	S34°32'21"E	C135	01°14'40"	23.42'	46.85'	2157.00'	46.85'	N70°05'11"E	C235	11°53'00"	21.13'	42.10'	203.00'	42.10'	N63°46'46"E
C36	38°51'22"	12.70'	24.41'	36.00'	23.95'	S43°35'30"E	C136	01°15'19"	22.63'	47.26'	2157.00'	47.26'	S71°20'10"W	C236	11°13'53"	2.46'	4.90'	25.00'	4.89'	N63°27'13"E
C37	19°40'52"	35.56'	70.42'	205.00'	70.07'	S53°10'45"E	C137	01°15'19"	22.42'	44.85'	2157.00'	44.85'	S71°20'10"W	C237	57°07'06"	13.61'	24.92'	25.00'	23.90'	S82°22'18"E
C38	07°07'42"	9.65'	19.28'	155.00'	19.27'	N51°36'18"W	C138	00°26'58"	8.45'	16.90'	2157.00'	16.90'	S72°11'18"W	C238	09°39'49"	14.79'	29.52'	175.00'	29.48'	S58°38'39"E
C39	61°44'55"	21.52'	38.80'	36.00'	36.89'	N66°02'36"W	C139	08°26'39"	12.92'	25.78'	175.00'	25.77'	S68°11'26"W	C239	19°17'16"	29.74'	58.91'	175.00'	58.63'	S73°07'11"E
C40	11°14'52"	38.68'	77.14'	54.00'	62.89'	N81°18'04"W	C140	01°33'54"	27.96'	55.92'	2047.00'	55.91'	N72°44'47"E	C240	02°19'00"	4.55'	9.10'	225.00'	9.10'	S63°55'19"E
C41	61°44'52"	21.52'	38.80'	36.00'	36.95'	N76°33'30"E	C141	01°33'54"	27.96'	55.92'	2047.00'	55.91'	N74°00'40"E	C241	11°37'09"	22.89'	45.63'	225.00'	45.55'	N89°06'37"E
C42	11°47'20"	16.00'	31.89'	155.00'	31.84'	S66°40'22"W	C142	16°10'53"	16.61'	33.22'	175.00'	49.26'	S54°52'40"E	C242	11°29'26"	22.64'	45.12'	225.00'	45.05'	N75°33'19"E
C43	36°27'29"	74.10'	143.17'	225.00'	140.77'	S79°00'26"W	C143	12°46'44"	4.03'	8.03'	36.00'	8.01'	S54°10'36"W	C243	11°01'54"	21.73'	43.32'	225.00'	43.25'	N66°17'39"E
C44	28°57'04"	45.18'	88.43'	175.00'	87.49'	N67°59'14"W	C144	00°56'44"	16.86'	33.72'	36.00'	33.72'	N76°07'42"E	C244	03°09'28"	0.99'	1.98'	36.00'	37.60'	N75°09'21"E
C45	68°21'00"	16.97'	29.82'	25.00'	28.09'	N87°59'14"W	C145	11°47'36"	5.58'	11.12'	54.00'	11.10'	S70°50'25"W	C245	10°31'24"	18.88'	37.65'	205.00'	37.60'	N75°09'21"E
C46	22°32'25"	40.45'	79.86'	203.00'	79.35'	S69°06'28"W	C146	14°42'23"	22.58'	44.92'	175.00'	44.79'	N84°53'01"W	C246	04°50'40"	1.52'	3.04'	36.00'	3.04'	N77°59'43"E
C47	09°49'00"	74.97'	149.57'	873.00'	149.39'	S85°17'11"W	C147	09°45'51"	14.95'	29.82'	175.00'	29.79'	S82°52'52"E	C247	09°06'57"	16.34'	32.62'	205.00'	32.58'	S65°20'11"E
C48	13°43'45"	3.01'	5.99'	25.00'	5.98'	S83°19'49"W	C148	00°27'34"	8.65'	17.30'	2157.00'	17.30'	S78°13'43"W	C248	36°02'36"	14.64'	28.31'	45.00'	27.84'	N55°31'14"E
C49	260°09'03"	-----	204.32'	45.00'	68.87'	N26°32'28"E	C149	01°50'07"	32.79'	65.56'	2047.00'	65.56'	N77°32'27"E	C249	21°55'47"	33.91'	66.98'	175.00'	66.57'	S71°44'35"W
C50	66°25'19"	16.37'	28.98'	25.00'	27.39'	S56°35'40"E	C150	01°23'51"	26.31'	52.61'	2157.00'	52.61'	S79°09'26"W	C250	14°31'42"	22.31'	44.37'	175.00'	44.26'	S89°58'20"W
C51	09°49'00"	71.02'	141.69'	827.00'	141.52'	N85°17'11"E	C151	01°23'51"	26.31'	52.61'	2157.00'	52.61'	N79°09'26"W	C251	48°11'44"	20.13'	37.85'	45.00'	36.75'	S82°21'36"E
C52	16°58'30"	23.43'	46.51'	157.00'	46.34															



SP-2005500222



LOCATION MAP  
ZONE ATLAS INDEX MAP No. B-8  
NOT TO SCALE

**SUBDIVISION DATA**

1. DRB No.
2. Zone Atlas Index Nos. B-8-Z; Zoning: RLT.
3. Gross Subdivision Acreage: 21.2772 Acres
4. Total Number of Tracts Created: One hundred five (105) Lots & Eleven (11) Tracts.
5. Total Mileage of Full Width Streets created: 0.790 mile.
6. Total Mileage of Partial Width Streets created: 0.377 mile.
7. Date of Survey: January, 2005.
8. Plat is located within the Town of Alameda Grant, within projected Section 8, T11N, R2E, NMPM.

**DISCLOSURE STATEMENT**

The purpose of this Plat is to subdivide all of Tract 9, BULK LAND PLAT FOR VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553 and Tracts 1A and 1B, WESTERN RIDGE SUBDIVISION UNIT 1 AT VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the Plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 4, 2005 in Book 2005C, Page 140 as Document No. 2005062521 into one hundred five (105) lots and eleven (11) tracts, to dedicate additional public street right-of-way to the City of Albuquerque, and to grant easements.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
- B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- E. New Mexico Utilities, Inc. for the installation, maintenance and service of underground water and sanitary sewer lines across the easement.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

**DESCRIPTION**

A certain tract of land being located within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, N.M.P.M., Bernalillo County, New Mexico, and being the same as Tract 9 of the Bulk Land Plat of Ventana Ranch West filed in Book 2004C, Page 84 on March 11, 2004 in the office of the Bernalillo County Clerk, and Tracts 1A and 1B of the Plat of Western Ridge Subdivision Unit 1 at Ventana Ranch West filed in Book 2005C, Page 140 on May 04, 2005 in the office of the Bernalillo County Clerk, being more particularly described as follows:

BEGINNING at the northwest corner of said Tract 9, a point on the southern right-of-way line of Ventana Ridge Road NW, for a point of curvature of this tract, WHENCE the brass cap for Albuquerque City Survey (ACS) Monument "1-A8 1880", having New Mexico State Plane Grid Coordinates Central Zone (NAD 27) of X=350,152.25' and Y=1,531,818.60' bears N07°34'02"E a distance of 4,537.68 feet;

THENCE along the northerly line of said Tract 9, identical to said Ventana Ridge Road NW, along a curve to the right that has an arc length of 521.39 feet, a radius of 1212.00 feet, a central angle of 24°38'52", and a chord of N72°18'07"E a distance of 517.37 feet to a point of reverse curvature;

THENCE continuing along said northerly line of Tract 9, along a curve to the left that has an arc length of 848.25 feet, a radius of 2038.00 feet, a central angle of 2°59'51", and a chord of N72°42'08"E a distance of 842.15 feet to a point of tangency;

THENCE continuing along said northerly line of Tract 9, N60°46'42"E a distance of 7.00 feet to the most northerly point of said Tract 9, a point of curvature;

THENCE continuing along said northerly line of said Tract 9 and said southerly right-of-way line of Ventana Ridge Road NW, along a curve to the right that has an arc length of 125.66 feet, a radius of 80.00 feet, a central angle of 90°00'00", and a chord of S74°13'18"E a distance of 113.14 feet to a point of tangency, point being on the easterly line of said Tract 9, and the westerly right-of-way line of Ventana West Parkway NW;

THENCE along said easterly line of said Tract 9 and the westerly right-of-way line of said Ventana West Parkway NW, S29°13'18"E a distance of 610.26 feet to the southeast corner of said Tract 9, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE along the southerly line of said Tract 9, S60°46'42"W a distance of 5.00 feet to the northeast corner of Tract 1B of the Plat of Western Ridge Subdivision Unit 1 at Ventana Ranch West;

THENCE along the easterly line of said Tract 1B, S29°13'17"E a distance of 14.94 feet to the southeast corner of said Tract 1B;

THENCE along the southerly line of said Tract 1B, S50°46'42"W a distance of 116.31 feet to the southwest corner of said Tract 1B, a point of curvature;

THENCE along westerly line of Tract 1B, along a curve to the left that has an arc length of 35.84 feet, a radius of 205.00 feet, a central angle of 09°57'38", and a chord of N38°21'30"W a distance of 35.59 feet to a point on the southerly line of said Tract 9;

THENCE continuing along said southerly line of said Tract 9, S60°46'42"W a distance of 170.80 feet to the northeast corner of Tract 1A;

THENCE continuing along the southerly line of Tract 1A, S51°12'23"W a distance of 171.43 feet to the southwest corner of said Tract 1A;

THENCE along the westerly line of Tract 1A, N00°17'54"E a distance of 32.76 feet to the northwest corner of said Tract 1A, identical to an angle point on the southerly boundary line of said Tract 9, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE along the said southerly line of said Tract 9, N89°48'19"W a distance of 1320.00 feet to the southwest corner of said Tract 9, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE along the westerly line of said Tract 9, N00°17'55"E a distance of 366.92 feet to the POINT OF BEGINNING.

Tract contains 21.2772 acres of land, more or less.

**FREE CONSENT AND DEDICATION**

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract 9 of the BULK LAND PLAT FOR VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553; and Tracts 1A and 1B, WESTERN RIDGE SUBDIVISION UNIT 1 AT VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the Plat thereof, recorded in the office of the county clerk of Bernalillo County, New Mexico on May 4, 2005 in Book 2005C, Page 140 as Document No. 2005062521 now comprising Lots 153 through 257 inclusive, Tracts N thru X inclusive, WESTERN RIDGE SUBDIVISION UNIT 2 AT VENTANA RANCH WEST, Albuquerque, New Mexico is with free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional public street rights-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants, and do hereby grant: All access, Utility and Drainage Easements hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried distribution lines, conduits, pipes for underground Utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. In the event Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's and/or assigns property to access the easement areas for the purposes of performing the Work. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

PULTE HOMES OF NEW MEXICO, INC.

BY: *Garret Price*  
Garret Price, Vice President of Land  
Pulte Homes of New Mexico, Inc.

State of New Mexico )  
County of Bernalillo ) SS

This instrument was acknowledged before me on 10 day of January, 2006, by Garret Price, Vice President of Land, Pulte Homes of New Mexico, Inc.

My Commission Expires: 0-24-07 *Stephanie L. Stratton*

OFFICIAL SEAL  
**STEPHANIE L. STRATTON**  
NOTARY PUBLIC-STATE OF NEW MEXICO

**NOTES**

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 and are the same as shown on the Bulk Land Plat for Ventana Ranch West, Albuquerque, New Mexico, recorded on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553.
2. Distances are ground distances.
3. All easements of record are shown.
4. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
5. Centerline in (lieu of R/W monumentation) to be installed at centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard 3-1/4" aluminum alloy cap stamped "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS 16469".
6. Tracts N thru U and Tract X are to be conveyed to and maintained by the Ventana Ranch Community Association as private open space by separate deed. Tracts are subject to a pedestrian access and community landscaping easement granted with the filing of this plat. Tracts N thru U and Tract X are subject to an underground public utility easement granted with the filing of this plat.
7. Park Dedication Requirements shall be met with Tract C of the Bulk Land Plat of Ventana Ranch West a future park site, and in accordance with the Park Dedication Agreement between the City of Albuquerque and Ventana West, LLC dated: March 10, 2004, Document No. 2004031336. Conveyance shall be by separate deed.
8. No individual lots or tracts shall be allowed direct access to any lands adjacent to the South Boundary of Ventana Ranch West or Ventana West Parkway NW and Ventana Ridge Road NW.
9. The front (adjacent to street right-of-way) lot corner will not be staked. A witness corner projected along the property line (10' offset), being a chiseled "4" in the curb and gutter will be set upon completion of all street improvements. Offset may be adjusted by even foot increments where necessary to fall within the par.
10. Tract Y is to be dedicated to the City of Albuquerque as part of a city park (Ventana Ranch West Park #2) with the development of Tract H (future development) Ventana at Sol (DRB project # 1004388).

**SURVEYOR'S CERTIFICATION**

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

*Robert Gromatzky*  
Robert Gromatzky  
New Mexico Professional Surveyor 16469  
Date: January 10, 2006



PLAT OF  
**WESTERN RIDGE SUBDIVISION  
UNIT 2  
AT VENTANA RANCH WEST**  
(A REPLAT OF TRACT 9, VENTANA RANCH WEST  
AND TRACTS 1A & 1B, WESTERN RIDGE SUBDIVISION  
UNIT 1)

ALBUQUERQUE, NEW MEXICO  
JANUARY, 2006

PROJECT NUMBER 1003687

APPLICATION NUMBER 06 DEB-00054

**PLAT APPROVAL**

UTILITY APPROVAL:		
OWNER	<i>William A. Balch</i>	1-18-2006
OWNER	<i>Garret Price</i>	1-18-06
COMCAST CABLE	<i>Garret Price</i>	1-18-06
PNM ELECTRIC SERVICES	<i>Garret Price</i>	1-18-06
PNM GAS SERVICES	<i>Garret Price</i>	1-18-06
NEW MEXICO UTILITIES, INC.		

CITY APPROVALS:		
CITY SURVEYOR	<i>Stephanie L. Stratton</i>	1-10-06
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	<i>William A. Balch</i>	1-18-06
UTILITIES DEVELOPMENT	<i>Christina Sandoval</i>	1/18/06
PARKS & RECREATION DEPARTMENT	<i>Bradley J. Bingham</i>	1/18/06
A.M.A.F.C.	<i>Bradley J. Bingham</i>	1/18/06
CITY ENGINEER	<i>Ashley Wilson</i>	01/19/06
DRB CHAIRPERSON, PLANNING DEPARTMENT	<i>Robert Gromatzky</i>	1-19-06
VENTANA RANCH WEST COMMUNITY ASSOCIATION		

**TAX CERTIFICATION**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #

100800534228010301

PROPERTY OWNER OF RECORD Ventana West  
*Robert Gromatzky* 1-19-06  
BERNALILLO COUNTY TREASURER'S OFFICE DATE

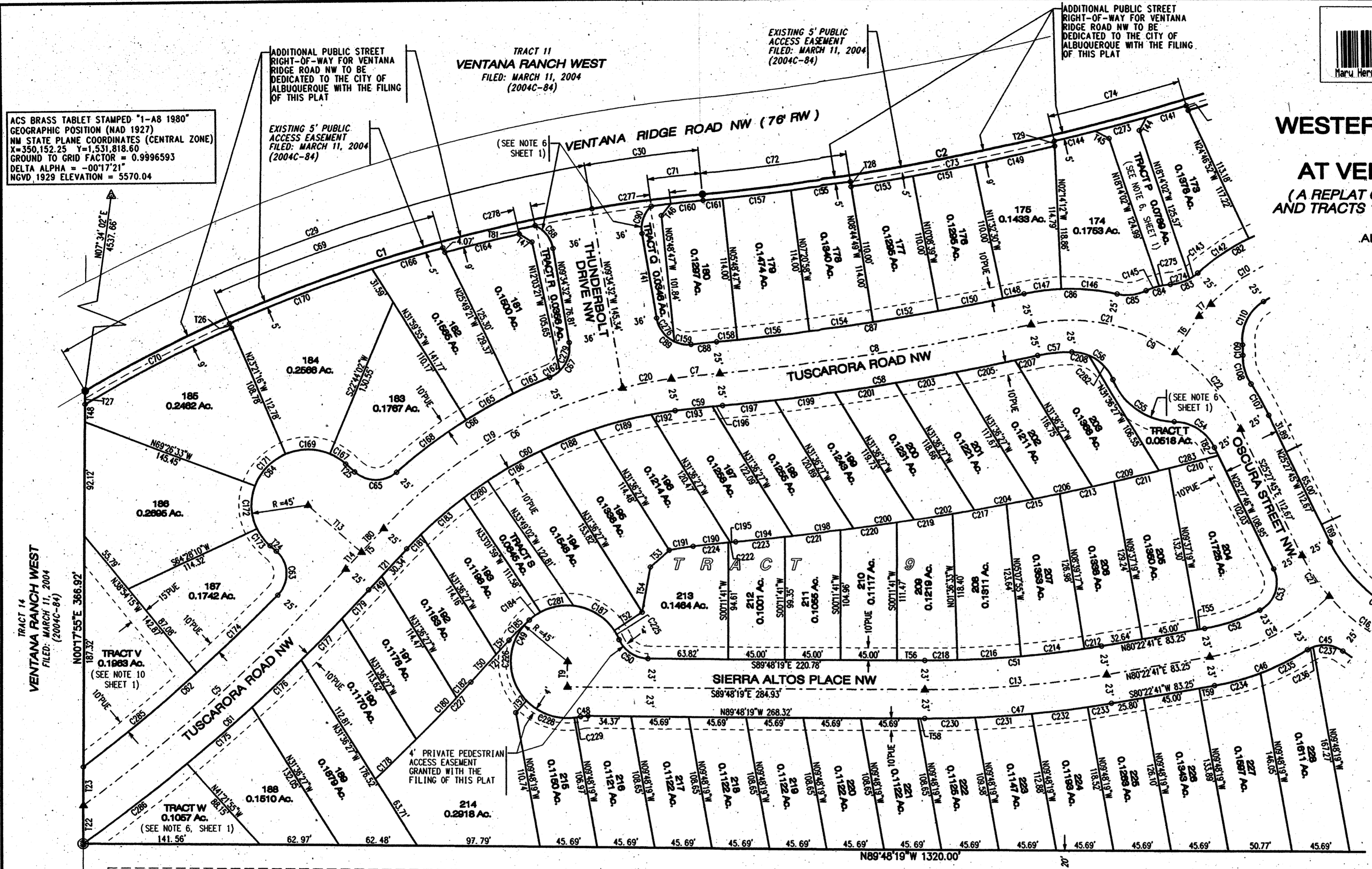
In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

**Bohannon & Huston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



ACS BRASS TABLET STAMPED "1-A8 1980"  
 GEOGRAPHIC POSITION (NAD 1927)  
 X=350,152.25 Y=1,531,818.60  
 GROUND TO GRID FACTOR = 0.9996593  
 DELTA ALPHA = -0°17'21"  
 NGVD, 1929 ELEVATION = 5570.04



TRACT 14  
 VENTANA RANCH WEST  
 FILED: MARCH 11, 2004  
 (2004C-84)

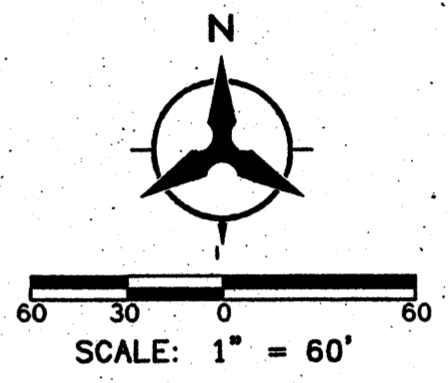
TRACT 11  
 VENTANA RANCH WEST  
 FILED: MARCH 11, 2004  
 (2004C-84)

EXISTING 5' PUBLIC  
 ACCESS EASEMENT  
 FILED: MARCH 11, 2004  
 (2004C-84)

ADDITIONAL PUBLIC STREET  
 RIGHT-OF-WAY FOR VENTANA  
 RIDGE ROAD NW TO BE  
 DEDICATED TO THE CITY OF  
 ALBUQUERQUE WITH THE FILING  
 OF THIS PLAT

2006060601  
 6396149  
 Page: 2 of 4  
 01/19/2006 03:29P  
 Bk-2896C Pg-19

**PLAT OF  
 WESTERN RIDGE SUBDIVISION  
 UNIT 2  
 AT VENTANA RANCH WEST**  
 (A REPLAT OF TRACT 9, VENTANA RANCH WEST  
 AND TRACTS 1A & 1B, WESTERN RIDGE SUBDIVISION  
 UNIT 1)  
 ALBUQUERQUE, NEW MEXICO  
 JANUARY, 2006

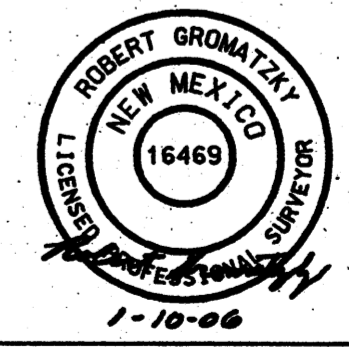


NOTE: SEE SHEET 4 FOR CURVE & TANGENT DATA

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
	RIGHT OF WAY
	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469"
	FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"

UNPLATTED LAND  
 IN PROJECTED  
 SECTION 8  
 T11N, R2E NMPM  
 WARRANTY DEED  
 FILED: NOVEMBER 13, 1986  
 (BK D287A, PG 100)  
 DOCUMENT NO. 86111195

EXISTING 20' ROAD & UTILITY EASEMENT  
 AS SHOWN ON BULK LAND PLAT FOR  
 VENTANA RANCH WEST  
 FILED: MARCH 11, 2004 (2004C-84)

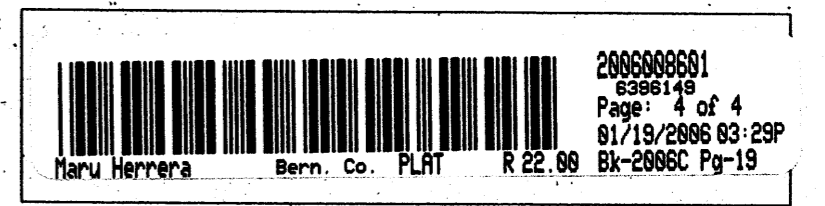


**Bohannon & Huston**  
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CURVE DATA																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																				
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG	ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG	ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
C1	24°38'52"	264.79'	521.39'	1212.00'	517.37'	N72°18'07"E	C101	42°43'44"	14.08'	26.85'	36.00'	26.23'	S28°12'22"W	C201	01°16'17"	24.49'	48.97'	2207.00'	48.97'	N81°37'23"E	C202	01°12'03"	24.28'	48.56'	2317.00'	48.56'	S80°27'37"W	C203	01°15'35"	24.26'	48.52'	2207.00'	48.52'	N80°21'27"E	C204	01°11'27"	24.08'	48.16'	2317.00'	48.16'	S79°15'52"W	C205	01°14'56"	24.06'	48.11'	2207.00'	48.11'	N79°06'11"E	C206	01°10'55"	23.90'	47.79'	2317.00'	47.79'	S78°04'41"W	C207	00°28'47"	9.24'	18.48'	2317.00'	18.48'	N78°14'20"E	C208	21°38'27"	6.88'	13.60'	36.00'	13.52'	S78°33'09"E	C209	01°21'18"	27.40'	54.79'	2317.00'	54.79'	S76°48'35"W	C210	01°00'04"	20.24'	40.48'	2317.00'	40.48'	N75°25'41"E	C211	13°57'11"	15.30'	30.44'	125.00'	45.10'	N76°29'11"E	C212	00°58'02"	6.98'	13.96'	827.00'	13.96'	S80°51'42"W	C213	01°06'03"	22.26'	44.51'	2317.00'	44.51'	N77°35'40"E	C214	03°31'22"	25.43'	50.85'	827.00'	50.84'	S83°06'24"W	C215	01°04'12"	21.63'	43.27'	2317.00'	43.27'	N78°04'47"E	C216	03°31'22"	25.43'	50.85'	827.00'	50.84'	S86°37'46"W	C217	01°04'52"	21.86'	43.72'	2317.00'	43.71'	N79°45'19"E	C218	01°48'14"	13.02'	26.04'	827.00'	26.03'	S89°17'34"W	C219	01°06'33"	22.43'	44.86'	2317.00'	44.86'	N80°51'01"E	C220	01°07'28"	22.74'	45.47'	2317.00'	45.47'	N81°58'02"E	C221	01°07'17"	22.68'	45.35'	2317.00'	45.35'	N83°05'24"E	C222	00°21'25"	2.91'	5.81'	933.00'	5.81'	N84°26'51"E	C223	00°58'31"	19.72'	39.44'	2317.00'	39.44'	N84°08'18"E	C224	01°43'59"	14.11'	28.22'	933.00'	28.22'	N83°24'09"E	C225	10°29'58"	4.13'	8.25'	45.00'	8.23'	S80°37'59"W	C226	91°14'08"	45.98'	71.66'	45.00'	64.32'	S01°59'52"E	C227	03°50'40"	54.87'	109.71'	1635.00'	109.69'	N44°05'29"E	C228	53°18'36"	22.59'	41.87'	45.00'	40.38'	S70°16'30"E	C229	06°36'16"	2.60'	5.19'	45.00'	5.18'	N79°46'04"E	C230	02°37'47"	20.04'	40.07'	873.00'	40.06'	N88°52'48"E	C231	02°58'10"	22.63'	45.24'	873.00'	45.24'	S66°04'49"E	C232	02°57'27"	22.54'	45.06'	873.00'	45.06'	N83°07'01"E	C233	01°15'36"	9.60'	19.20'	873.00'	19.20'	N81°00'29"E	C234	10°39'25"	18.93'	37.76'	203.00'	37.70'	N75°02'59"E	C235	11°53'00"	21.13'	42.10'	203.00'	42.03'	N63°46'46"E	C236	11°13'53"	2.46'	4.90'	25.00'	4.89'	N63°27'13"E	C237	57°07'06"	13.61'	24.92'	25.00'	23.90'	S82°22'18"E	C238	09°39'49"	14.79'	29.52'	175.00'	29.48'	S58°38'39"E	C239	19°17'16"	58.91'	117.82'	175.00'	58.91'	S73°07'11"E	C240	02°19'00"	4.55'	9.10'	225.00'	9.10'	S83°55'19"E	C241	11°37'09"	22.89'	45.63'	225.00'	45.55'	N89°06'37"E	C242	11°29'26"	22.64'	45.12'	225.00'	45.05'	N77°33'19"E	C243	11°01'54"	21.73'	43.32'	225.00'	43.25'	N60°46'42"E	C244	03°09'28"	0.99'	1.98'	36.00'	1.98'	N74°08'49"E	C245	10°31'24"	18.88'	37.65'	205.00'	37.65'	N75°09'21"E	C246	04°50'40"	1.52'	3.04'	36.00'	3.04'	S77°59'43"E	C247	09°06'57"	16.34'	32.62'	205.00'	16.34'	S65°46'46"E	C248	36°02'36"	14.64'	28.31'	45.00'	27.84'	N55°31'14"E	C249	21°55'47"	33.91'	66.98'	175.00'	66.57'	S71°44'35"W	C250	14°31'42"	22.31'	44.37'	175.00'	44.26'	S89°58'20"W	C251	48°11'44"	20.13'	37.85'	45.00'	36.75'	S82°21'36"E	C252	09°21'13"	3.68'	7.35'	45.00'	7.34'	S53°35'07"E	C253	00°23'50"	15.30'	2207.00'	15.30'	N70°12'12"E	C254	01°10'59"	22.79'	45.57'	2207.00'	45.57'	S71°25'27"W	C255	00°27'04"	9.12'	18.24'	2317.00'	18.24'	N70°39'08"E	C256	01°10'46"	22.72'	45.43'	2207.00'	45.43'	S70°14'34"W	C257	01°07'21"	22.70'	45.39'	2317.00'	45.39'	N69°51'55"E	C258	01°10'35"	22.66'	45.31'	2207.00'	45.31'	S69°03'54"W	C259	01°07'11"	22.64'	45.28'	2317.00'	45.28'	N68°44'39"E	C260	01°12'25"	24.41'	48.81'	2317.00'	48.81'	N67°34'51"E	C261	00°50'02"	16.06'	32.12'	2207.00'	32.12'	S68°03'35"W	C262	26°01'22"	10.40'	20.44'	45.00'	20.26'	S40°25'58"W	C263	03°54'01"	157.73'	317.00'	157.73'	157.69'	N68°55'39"E	C264	76°19'47"	35.37'	59.95'	45.00'	55.61'	S10°44'36"E	C265	47°56'03"	20.00'	37.65'	45.00'	36.56'	S10°44'36"E	C266	07°39'09"	21.60'	43.14'	323.00'	43.11'	N14°15'42"W	C267	05°33'12"	15.67'	31.31'	323.00'	31.29'	N20°51'52"W	C268	00°35'48"	11.49'	22.98'	2207.00'	22.98'	N64°52'48"E	C269	01°03'20"	20.33'	40.66'	2207.00'	40.66'	N64°03'14"E	C270	31°37'46"	7.08'	13.80'	25.00'	13.63'	N79°20'27"E	C271	86°58'21"	23.70'	37.93'	25.00'	34.40'	N17°18'31"E	C272	58°07'06"	13.89'	25.36'	25.00'	24.29'	S89°50'15"W	C273	01°10'43"	21.01'	42.02'	2043.00'	42.02'	N75°03'58"E	C274	25°48'01"	8.25'	16.21'	36.00'	16.07'	S73°27'58"W	C275	09°37'46"	4.55'	9.08'	54.00'	9.06'	S81°33'06"W	C276	58°41'11"	13.21'	24.30'	25.00'	23.35'	N37°25'08"W	C277	00°44'49"	7.87'	15.74'	1207.00'	15.74'	N83°01'32"E	C278	00°30'21"	6.91'	13.82'	1207.00'	13.82'	S77°52'07"W	C279	56°16'22"	13.37'	24.55'	25.00'	23.58'	S18°33'39"W	C280	03°50'44"	11.75'	23.49'	350.00'	35.00'	N54°15'36"E	C281	35°02'37"	14.21'	27.52'	45.00'	27.26'	S45°28'51"W	C282	44°30'08"	14.73'	27.96'	36.00'	48.71'	S75°31'48"W	C283	01°12'16"	24.36'	48.71'	2317.00'	48.71'	S74°58'46"E	C284	58°35'23"	20.20'	36.81'	118.45'	147.50'	S49°59'24"W	C285	04°36'04"	59.26'	118.45'	1525.00'	108.08'	N51°45'04"E	C286	03°59'11"	53.07'	106.10'	1525.00'	23.33'	S57°01'59"E	C287	55°37'22"	13.19'	24.27'	25.00'	21.06'	S58°34'02"W	C288	34°00'42"	11.01'	21.37'	36.00'		



**PLAT OF  
WESTERN RIDGE SUBDIVISION  
UNIT 2  
AT VENTANA RANCH WEST  
(A REPLAT OF TRACT 9, VENTANA RANCH WEST  
AND TRACTS 1A & 1B, WESTERN RIDGE SUBDIVISION  
UNIT 1)  
ALBUQUERQUE, NEW MEXICO  
JANUARY, 2006**

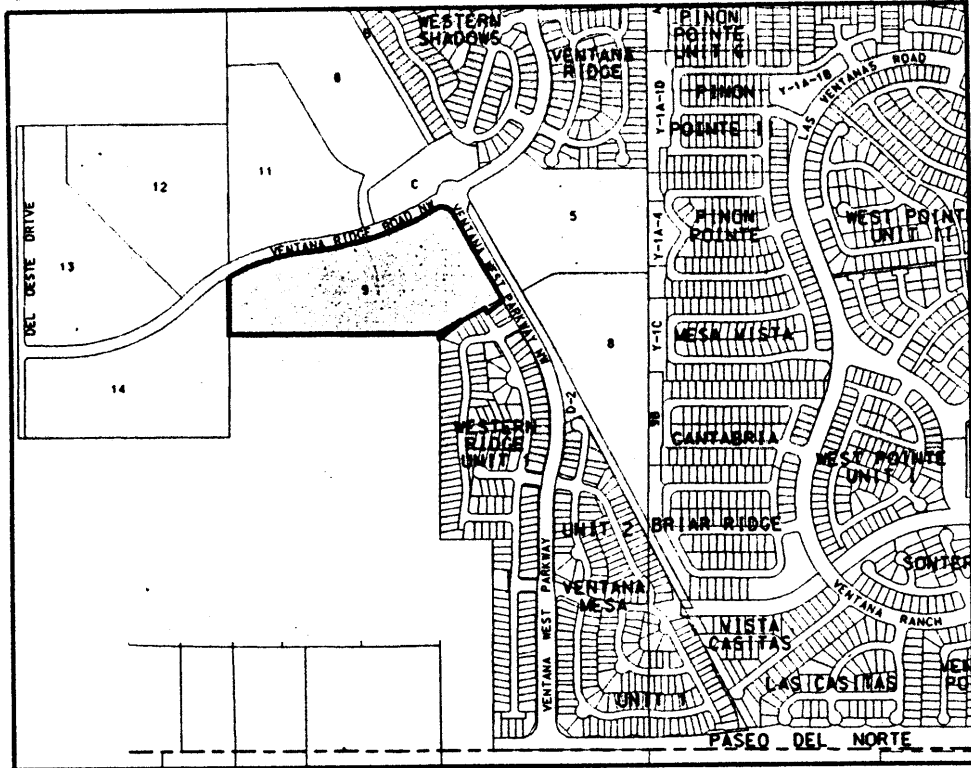
TANGENT DATA					
ID	BEARING	DISTANCE	ID	BEARING	DISTANCE
T1	N60°46'42"E	7.00'	T46	S38°41'25"W	12.13'
T2	S60°46'42"W	5.00'	T47	N57°03'21"W	11.98'
T3	S29°13'17"E	14.94'	T48	S00°17'55"W	14.20'
T4	N00°17'54"E	32.76'	T49	S42°10'09"W	15.04'
T5	N42°10'09"E	45.29'	T50	S42°10'09"W	29.90'
T6	N33°54'23"E	34.46'	T51	S42°10'09"W	15.48'
T7	N44°21'16"E	13.55'	T52	S66°07'02"W	26.71'
T8	N02°18'54"E	65.29'	T53	S47°09'06"W	20.54'
T9	S00°11'41"W	20.00'	T54	S10°11'41"W	37.29'
T10	N79°33'53"E	22.00'	T55	S80°22'41"W	5.61'
T11	N10°26'07"E	13.81'	T56	N89°48'19"W	21.96'
T12	N60°46'42"E	24.90'	T57	S40°28'12"W	12.83'
T13	N47°49'51"W	57.41'	T58	N89°48'19"W	5.48'
T14	N42°10'09"E	18.92'	T59	S80°22'41"W	12.45'
T15	N29°13'18"E	33.47'	T60	N82°45'49"W	0.75'
T16	S50°46'42"W	4.06'	T61	S25°46'57"W	29.92'
T17	S60°46'42"W	69.00'	T62	S60°46'42"W	3.19'
T18	S29°13'18"E	58.76'	T63	S60°46'42"W	21.71'
T19	S60°46'42"W	25.89'	T64	S60°46'42"W	9.32'
T20	S60°46'42"W	26.20'	T65	S52°30'04"W	11.90'
T21	S42°10'09"E	45.39'	T66	S60°46'42"W	15.58'
T22	N00°17'55"E	31.27'	T67	N25°27'45"W	42.18'
T23	N00°17'55"E	31.57'	T68	N82°45'49"W	3.32'
T24	N47°45'24"E	6.60'	T69	N25°27'45"W	15.78'
T25	S47°45'24"W	9.56'	T70	S70°52'40"W	27.25'
T26	S23°21'16"E	4.00'	T71	N25°27'45"W	61.99'
T27	N00°17'55"E	10.44'	T72	N25°27'45"W	17.19'
T28	S08°44'49"E	4.00'	T73	N25°27'45"W	47.78'
T29	N02°14'12"W	4.00'	T74	N25°27'45"W	56.39'
T30	S24°46'52"E	4.04'	T75	N10°26'07"W	7.66'
T31	N20°32'09"W	4.00'	T76	N10°26'07"W	6.15'
T32	S24°17'14"E	4.00'	T77	N07°24'28"W	3.74'
T33	N29°13'18"E	4.00'	T78	N23°38'28"W	13.54'
T34	N61°08'49"E	35.58'	T79	N29°13'18"E	22.17'
T35	N84°22'00"E	60.00'	T80	N40°10'09"E	26.36'
T36	S52°13'07"E	59.99'	T81	S12°27'33"E	4.00'
T37	S70°46'42"W	4.06'	T82	N25°27'45"W	6.91'
T38	S60°46'42"W	25.00'	T83	S51°12'23"W	17.81'



**Bohannon & Huston**  
 Courtyard I 7600 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



SP-2005500222



LOCATION MAP  
ZONE ATLAS INDEX MAP No. B-8  
NOT TO SCALE

**SUBDIVISION DATA**

- 1. DRB No.
2. Zone Atlas Index Nos. B-8-Z; Zoning: RLT.
3. Gross Subdivision Acreage: 21.2772 Acres
4. Total Number of Tracts Created: One hundred five (105) Lots & Eleven (11) Tracts.
5. Total Mileage of Full Width Streets created: 0.790 mile.
6. Total Mileage of Partial Width Streets created: 0.377 mile.
7. Date of Survey: January, 2005.
8. Plat is located within the Town of Alameda Grant, within projected Section 8, T11N, R2E, NMPM.

**DISCLOSURE STATEMENT**

The purpose of this Plat is to subdivide all of Tract 9, BULK LAND PLAT FOR VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553 and Tracts 1A and 1B, WESTERN RIDGE SUBDIVISION UNIT 1 AT VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the Plat thereof, recorded in the office of the county clerk of Bernalillo County, New Mexico on May 4, 2005 in Book 2005C, Page 140 as Document No. 2005062521 into one hundred five (105) lots and eleven (11) tracts, to dedicate additional public street right-of-way to the City of Albuquerque, and to grant easements.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
E. New Mexico Utilities, Inc. for the installation, maintenance and service of underground water and sanitary sewer lines across the easement.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

**DESCRIPTION**

A certain tract of land being located within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, N.M.P.M., Bernalillo County, New Mexico, and being the same as Tract 9 of the Bulk Land Plat of Ventana Ranch West filed in Book 2004C, Page 84 on March 11, 2004 in the office of the Bernalillo County Clerk, and Tracts 1A and 1B of the Plat of Western Ridge Subdivision Unit 1 at Ventana Ranch West filed in Book 2005C, Page 140 on May 04, 2005 in the office of the Bernalillo County Clerk, being more particularly described as follows:

BEGINNING at the northwest corner of said Tract 9, a point on the southern right-of-way line of Ventana Ridge Road NW, for a point of curvature of this tract, WHENCE the brass cap for Albuquerque City Survey (ACS) Monument \*1-A8 1980, having New Mexico State Plane Grid Coordinates Central Zone (NAD 27) of X=350,152.25' and Y=1,531,818.60' bears N07°34'02"E a distance of 4,537.67 feet;

THENCE along the northerly line of said Tract 9, identical to said Ventana Ridge Road NW, along a curve to the right that has an arc length of 521.39 feet, a radius of 1212.00 feet, a central angle of 24°38'52", and a chord of N72°18'07"E a distance of 517.37 feet to a point of reverse curvature;

THENCE continuing along said northerly line of Tract 9, along a curve to the left that has an arc length of 848.25 feet, a radius of 2038.00 feet, a central angle of 23°50'51", and a chord of N72°42'08"E a distance of 842.15 feet to a point of tangency;

THENCE continuing along said northerly line of said Tract 9, N60°46'42"E a distance of 7.00 feet to the most northerly point of said Tract 9, a point of curvature;

THENCE continuing along said northerly line of said Tract 9 and said southerly right-of-way line of Ventana Ridge Road NW, along a curve to the right that has an arc length of 125.66 feet, a radius of 80.00 feet, a central angle of 90°00'00", and a chord of S74°13'18"E a distance of 113.14 feet to a point of tangency, point being on the easterly line of said Tract 9, and the westerly right-of-way line of Ventana West Parkway NW;

THENCE along said easterly line of said Tract 9 and the westerly right-of-way line of said Ventana West Parkway NW, S29°13'18"E a distance of 610.26 feet to the southeast corner of said Tract 9, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE along the southerly line of said Tract 9, S60°46'42"W a distance of 6.00 feet to the northeast corner of Tract 1B of the Plat of Western Ridge Subdivision Unit 1 at Ventana Ranch West;

THENCE along the easterly line of said Tract 1B, S29°13'17"E a distance of 14.94 feet to the southeast corner of said Tract 1B;

THENCE along the southerly line of said Tract 1B, S50°46'42"W a distance of 116.31 feet to the southwest corner of said Tract 1B, a point of curvature;

THENCE along westerly line of Tract 1B, along a curve to the left that has an arc length of 35.64 feet, a radius of 205.00 feet, a central angle of 09°57'38", and a chord of N38°21'30"W a distance of 35.59 feet to a point on the southerly line of said Tract 9;

THENCE continuing along said southerly line of said Tract 9, S60°46'42"W a distance of 170.80 feet to the northeast corner of Tract 1A;

THENCE continuing along the southerly line of Tract 1A, S51°12'23"W a distance of 171.43 feet to the southwest corner of said Tract 1A;

THENCE along the westerly line of Tract 1A, N00°17'54"E a distance of 32.76 feet to the northwest corner of said Tract 1A, identical to an angle point on the southerly boundary line of said Tract 9, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE along the said southerly line of said Tract 9, N89°48'19"W a distance of 1320.00 feet to the southwest corner of said Tract 9, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE along the westerly line of said Tract 9, N00°17'55"E a distance of 368.92 feet to the POINT OF BEGINNING.

Tract contains 21.2772 acres of land, more or less.

**FREE CONSENT AND DEDICATION**

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract 9 of the BULK LAND PLAT FOR VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553; and Tracts 1A and 1B, WESTERN RIDGE SUBDIVISION UNIT 1 AT VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the Plat thereof, recorded in the office of the county clerk of Bernalillo County, New Mexico on May 4, 2005 in Book 2005C, Page 140 as Document No. 2005062521 now comprising Lots 153 through 257 inclusive, Tracts N thru X inclusive, WESTERN RIDGE SUBDIVISION UNIT 2 AT VENTANA RANCH WEST, Albuquerque, New Mexico is with free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional public street rights-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants, and do hereby grant: All access, Utility and Drainage Easements hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried distribution lines, conduits, pipes for underground Utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. In the event Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's and/or assigns property to access the easement areas for the purposes of performing the Work. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

PULTE HOMES OF NEW MEXICO, INC.
BY: Garret Price, Vice President of Land Pulte Homes of New Mexico, Inc.

State of New Mexico )
) SS
County of Bernalillo )
This instrument was acknowledged before me on 10 day of January 2006, by Garret Price, Vice President of Land, Pulte Homes of New Mexico, Inc.

My Commission Expires: 10-24-07

STEPHANIE L. STRATTON
NOTARY PUBLIC-STATE OF NEW MEXICO

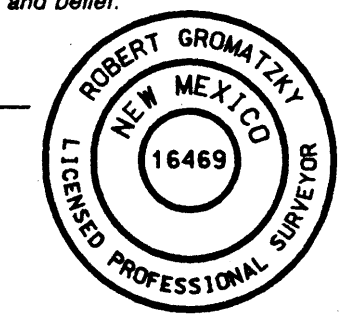
NOTES
My commission expires: 10-24-07

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 and are the same as shown on the Bulk Land Plat For Ventana Ranch West, Albuquerque, New Mexico, recorded on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553.
2. Distances are ground distances.
3. All easements of record are shown.
4. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
5. Centerline (in lieu of R/W monumentation) to be installed at centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard 3-1/4" aluminum alloy cap stamped "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS 16469".
6. Tracts N thru U and Tract X are to be conveyed to and maintained by the Ventana Ranch West Community Association as private open space by separate deed. Tracts are subject to a pedestrian access and community landscaping easement granted with the filing of this plat. Tracts N thru U and Tract X are subject to an underground public utility easement granted with the filing of this plat.
7. Park Dedication Requirements shall be met with Tract C of the Bulk Land Plat of Ventana Ranch West a future park site, and in accordance with the Park Dedication Agreement between the City of Albuquerque and Ventana West, LLC dated: March 10, 2004, Document No. 2004031336. Conveyance shall be by separate deed.
8. No individual lots or tracts shall be allowed direct access to any lands adjacent to the South Boundary of Ventana Ranch West or Ventana West Parkway NW and Ventana Ridge Road NW.
9. The front (adjacent to street right-of-way) lot corner will not be staked. A witness corner projected along the property line (10' offset), being a chiseled "x" in the curb and gutter will be set upon completion of all street improvements. Offset may be adjusted by even foot increments where necessary to fall within the pan.
10. Tract V is to be dedicated to the City of Albuquerque as part of a city park (Ventana Ranch West Park #2) with the development of Tract H (future development) Ventana at Sol (DRB project # 1004388)

**SURVEYOR'S CERTIFICATION**

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky
New Mexico Professional Surveyor 16469
Date: January 10, 2006



PLAT OF
WESTERN RIDGE SUBDIVISION
UNIT 2
AT VENTANA RANCH WEST
(A REPLAT OF TRACT 9, VENTANA RANCH WEST
AND TRACTS 1A & 1B, WESTERN RIDGE SUBDIVISION
UNIT 1)

ALBUQUERQUE, NEW MEXICO
JANUARY, 2006
PROJECT NUMBER 1003687
APPLICATION NUMBER 06 DRB-00054
PLAT APPROVAL

Table with columns for Utility Approvals (PNM Electric Services, PNM Gas Services, City Approvals, Traffic Engineering, etc.) and Dates (1-18-06, 1-19-06, 1-10-06, etc.).

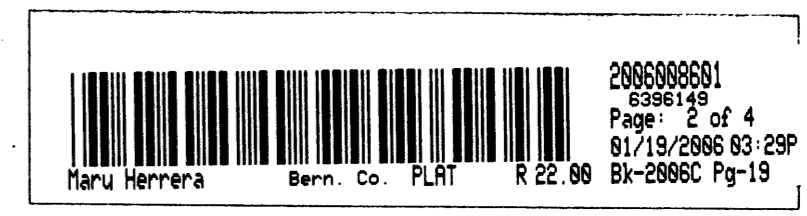
**TAX CERTIFICATION**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #
1008010534228010301
PROPERTY OWNER OF RECORD Ventana West
Bernalillo County Treasurer's Office 1-19-06

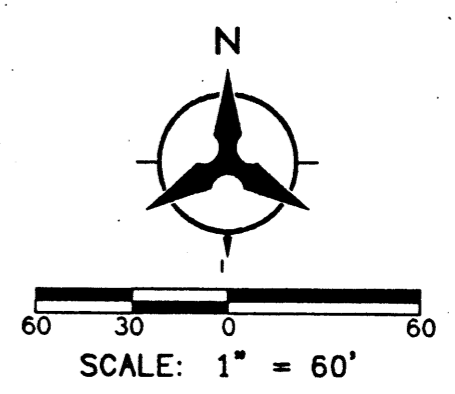
In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

Bohannon & Huston
Engineering & Spatial Data & Advanced Technologies
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335

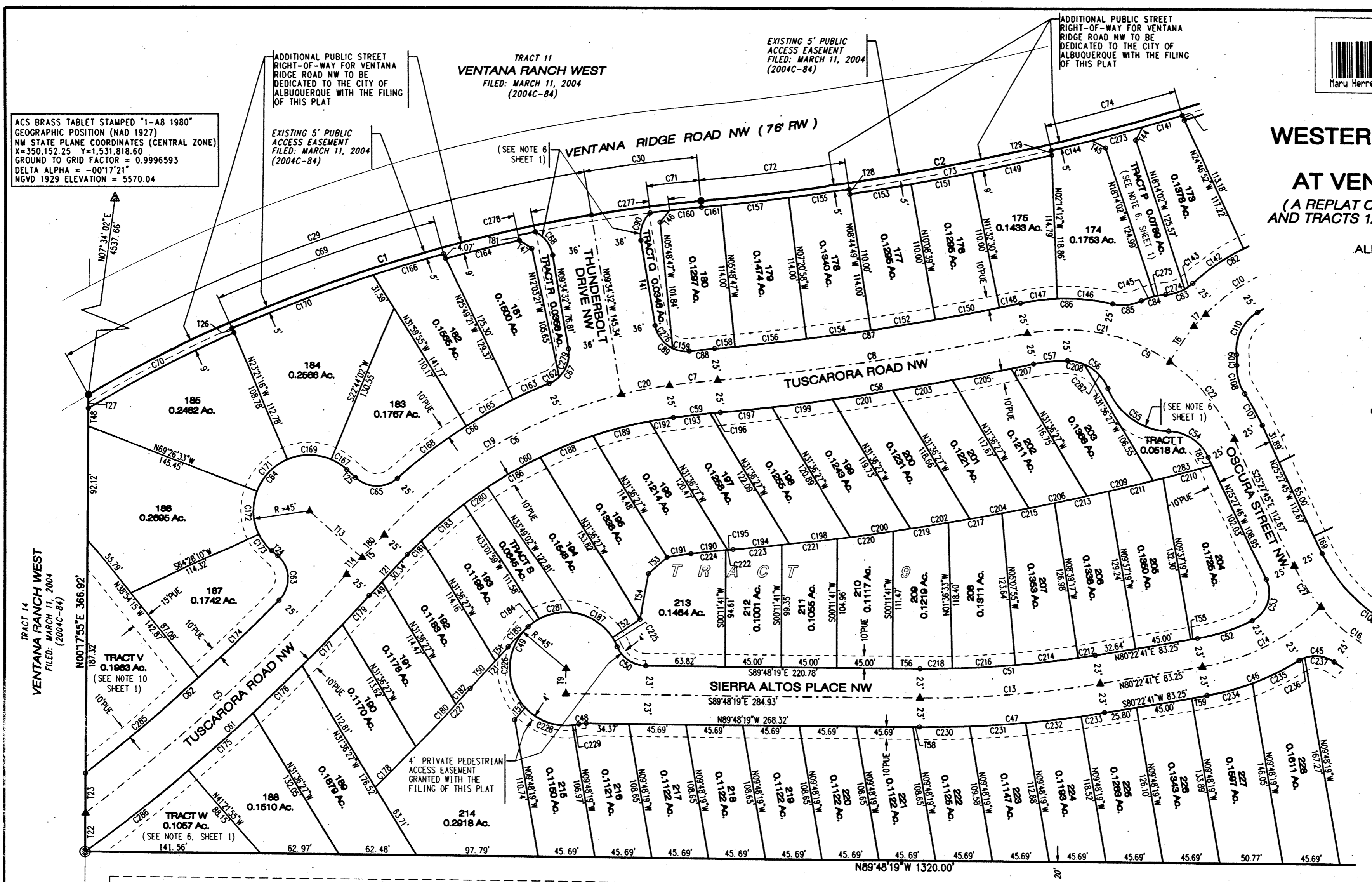




PLAT OF  
**WESTERN RIDGE SUBDIVISION  
 UNIT 2  
 AT VENTANA RANCH WEST**  
 (A REPLAT OF TRACT 9, VENTANA RANCH WEST  
 AND TRACTS 1A & 1B, WESTERN RIDGE SUBDIVISION  
 UNIT 1)  
 ALBUQUERQUE, NEW MEXICO  
 JANUARY, 2006



ACS BRASS TABLET STAMPED "1-A8 1980"  
 GEOGRAPHIC POSITION (NAD 1927)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X=350,152.25 Y=1,531,818.60  
 GROUND TO GRID FACTOR = 0.9996593  
 DELTA ALPHA = -00°17'21"  
 NGVD 1929 ELEVATION = 5570.04

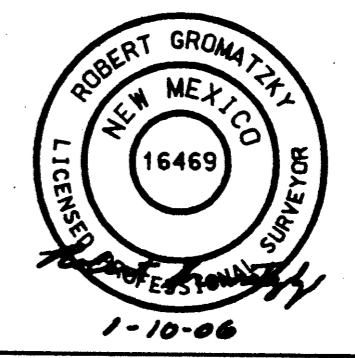


NOTE: SEE SHEET 4 FOR CURVE & TANGENT DATA

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
	RIGHT OF WAY
	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469"
	FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"

UNPLATTED LAND  
 IN PROJECTED  
 SECTION 8  
 T11N, R2E NMPM  
 WARRANTY DEED  
 FILED: NOVEMBER 13, 1986  
 (BK D287A, PG 100)  
 DOCUMENT NO. 86111195

EXISTING 20' ROAD & UTILITY EASEMENT  
 AS SHOWN ON BULK LAND PLAT FOR  
 VENTANA RANCH WEST  
 FILED: MARCH 11, 2004 (2004C-84)

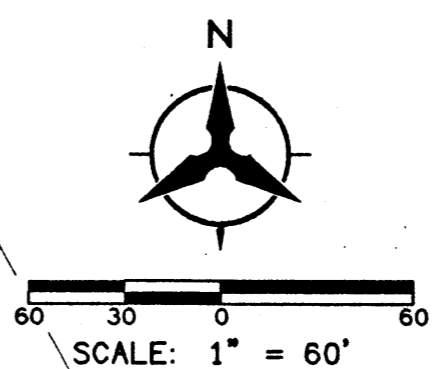


**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**BULKLAND PLAT FOR VENTANA RANCH WEST**  
FILED: MARCH 11, 2004  
(2004C-84)

15' PUBLIC PEDESTRIAN ACCESS EASEMENT GRANTED WITH THE FILING OF THIS PLAT.

EXISTING 5' PUBLIC ACCESS EASEMENT FILED: MARCH 11, 2004 (2004C-84)



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6396149  
Page: 3 of 4  
01/19/2006 03:29P  
Bk-2666C Pg-19

Maru Herrera Bern. Co. PLRT R 22.06 Bk-2666C Pg-19

**PLAT OF WESTERN RIDGE SUBDIVISION UNIT 2 AT VENTANA RANCH WEST**  
(A REPLAT OF TRACT 9, VENTANA RANCH WEST AND TRACTS 1A & 1B, WESTERN RIDGE SUBDIVISION UNIT 1)  
ALBUQUERQUE, NEW MEXICO  
JANUARY, 2006

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
	RIGHT OF WAY
	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469"
	FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"

NOTE: SEE SHEET 4 FOR CURVE & TANGENT DATA



EXISTING 50' SOUTHERN UNION GAS COMPANY EASEMENT RECORDED SEPTEMBER 16, 1930 (BK. 112, PG. 515) AND RIGHT-OF-WAY GRANTED TO ALBUQUERQUE NATURAL GAS COMPANY RECORDED DECEMBER 11, 1931 (BK. 123, PG. 152) AND RIGHT-OF-WAY GRANT AND RELEASE OF CLAIMS RECORDED: MARCH 29, 1956 (VOLUME D346, FOLIO 356-360) DOCUMENT NO. 90568

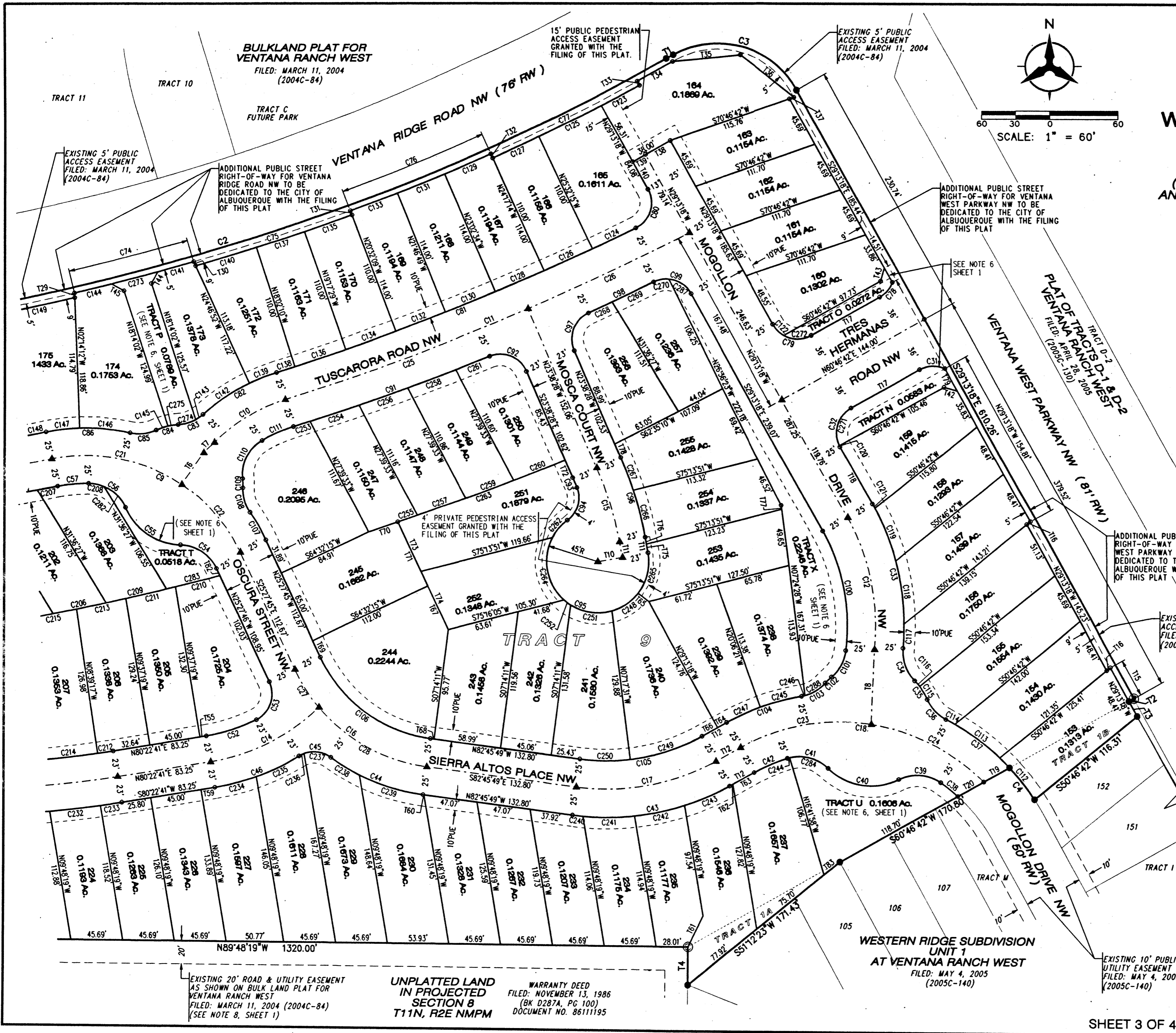
NGS BRASS TABLET STAMPED "UNION 1969"  
GEOGRAPHIC POSITION (NAD 1927)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
X=353,409.02 Y=1,523,440.96  
GROUND TO GRID FACTOR = 0.99966044  
DELTA ALPHA = -00'16"58"  
NGVD 1929 ELEVATION = 5522.0 (TRIG)

**Bohannon & Huston**

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

SHEET 3 OF 4

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10-JAN-2006 -  
09:47  
mcale



EXISTING 20' ROAD & UTILITY EASEMENT AS SHOWN ON BULK LAND PLAT FOR VENTANA RANCH WEST FILED: MARCH 11, 2004 (2004C-84) (SEE NOTE 8, SHEET 1)

UNPLATTED LAND IN PROJECTED SECTION 8 T11N, R2E NMPM

WARRANTY DEED FILED: NOVEMBER 13, 1986 (BK D287A, PG 100) DOCUMENT NO. 86111195

WESTERN RIDGE SUBDIVISION UNIT 1 AT VENTANA RANCH WEST FILED: MAY 4, 2005 (2005C-140)

EXISTING 10' PUBLIC UTILITY EASEMENT FILED: MAY 4, 2005 (2005C-140)



CURVE DATA

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG	ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG	ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	24°38'52"	264.79'	521.39'	1212.00'	517.37'	N72°18'07"E	C101	42°43'44"	14.08'	26.85'	36.00'	26.23'	S28°12'22"W	C201	01°16'17"	24.49'	48.97'	2207.00'	48.97'	N81°37'23"E
C2	23°50'51"	430.36'	848.25'	2038.00'	842.15'	N72°42'08"E	C102	08°00'33"	3.78'	7.55'	54.00'	7.54'	S45°33'58"W	C202	01°12'03"	24.28'	48.56'	2207.00'	48.56'	S80°27'37"W
C3	09°00'00"	80.00'	125.66'	80.00'	113.14'	S74°13'18"E	C103	38°51'22"	12.70'	24.41'	36.00'	23.95'	S60°59'22"W	C203	01°15'35"	24.26'	48.52'	2207.00'	48.52'	N80°21'27"E
C4	09°57'38"	17.86'	35.64'	205.00'	35.59'	N38°21'30"W	C104	19°38'21"	35.48'	70.27'	205.00'	69.92'	S70°35'53"W	C204	01°11'27"	24.08'	48.16'	2317.00'	48.16'	S79°15'52"W
C5	10°52'04"	142.69'	284.52'	1500.00'	284.09'	N47°35'57"E	C105	36°27'29"	57.64'	111.35'	175.00'	109.49'	S79°00'26"W	C205	01°14'56"	24.06'	48.11'	2207.00'	48.11'	N79°06'11"E
C6	40°22'00"	137.85'	264.20'	375.00'	258.77'	N62°21'09"E	C106	57°18'04"	68.30'	125.01'	125.00'	119.87'	N54°06'47"W	C206	01°10'55"	23.90'	47.79'	2317.00'	47.79'	S78°04'41"W
C7	02°05'24"	19.48'	38.96'	1068.00'	38.96'	N83°34'51"E	C107	09°11'40"	14.07'	28.08'	36.00'	23.16'	N15°53'38"W	C207	00°28'47"	9.24'	18.48'	2207.00'	18.48'	N78°14'20"E
C8	06°37'37"	126.33'	252.38'	2182.00'	252.24'	N81°18'45"E	C108	37°31'34"	12.23'	23.58'	54.00'	8.34'	N01°33'39"W	C208	21°38'27"	6.88'	13.60'	36.00'	13.52'	S78°33'09"E
C9	28°32'19"	118.33'	200.38'	150.00'	185.81'	S63°43'54"E	C109	08°51'37"	22.69'	40.50'	36.00'	38.39'	N26°14'03"E	C209	01°21'18"	27.40'	54.79'	2317.00'	54.79'	S76°48'35"W
C10	76°07'15"	37.57'	73.62'	150.00'	72.88'	N58°21'08"E	C110	64°27'01"	22.69'	40.50'	36.00'	38.39'	N26°14'03"E	C210	01°00'04"	20.24'	40.48'	2317.00'	40.48'	N75°25'41"E
C11	10°08'15"	193.54'	386.07'	2182.00'	385.56'	N67°20'38"E	C111	13°57'11"	15.30'	30.44'	125.00'	47.79'	N53°37'50"W	C211	01°06'55"	22.55'	45.10'	2317.00'	45.10'	N76°29'11"E
C12	34°53'23"	61.59'	119.35'	196.00'	117.52'	N11°46'37"W	C112	13°21'24"	24.00'	47.79'	205.00'	47.68'	N40°03'24"W	C212	00°58'02"	6.98'	13.96'	827.00'	13.96'	S80°51'42"W
C13	09°49'00"	73.00'	145.63'	850.00'	145.46'	N85°17'11"E	C113	13°47'28"	24.79'	49.34'	205.00'	8.92'	N61°46'22"W	C213	01°06'03"	22.26'	44.51'	2317.00'	44.51'	N77°35'40"E
C14	34°33'42"	56.00'	108.58'	180.00'	106.94'	N63°05'50"E	C114	02°29'37"	4.46'	8.92'	205.00'	13.01'	N31°05'01"W	C214	03°31'22"	25.43'	50.85'	827.00'	50.84'	S83°06'24"W
C15	13°12'21"	34.73'	69.15'	300.00'	68.99'	N17°02'17"W	C115	13°50'25"	6.55'	13.04'	54.00'	6.51'	N41°27'37"W	C215	01°04'12"	21.63'	43.27'	2317.00'	43.27'	N78°40'47"E
C16	57°18'04"	81.95'	150.01'	150.00'	143.84'	S54°06'47"E	C116	06°54'45"	6.51'	13.04'	54.00'	6.51'	N02°03'23"E	C216	03°31'22"	25.43'	50.85'	827.00'	50.84'	S86°37'46"W
C17	36°27'29"	65.87'	127.26'	200.00'	125.13'	N79°00'26"E	C117	05°16'52"	10.19'	20.37'	221.00'	20.36'	N07°50'33"W	C217	01°48'14"	13.02'	26.04'	827.00'	26.03'	S89°17'34"W
C18	73°52'20"	135.33'	232.08'	180.00'	216.33'	S82°17'08"E	C118	14°31'00"	28.15'	55.99'	221.00'	55.84'	N21°35'57"W	C218	01°06'33"	22.43'	44.86'	827.00'	44.86'	N81°00'29"E
C19	34°21'02"	115.91'	224.82'	375.00'	221.47'	N59°20'40"E	C119	12°59'48"	25.17'	50.13'	221.00'	50.02'	N21°41'29"W	C219	01°07'28"	22.74'	45.47'	2317.00'	45.47'	N81°58'02"E
C20	06°00'58"	19.71'	39.38'	375.00'	39.36'	N79°31'40"E	C120	03°03'39"	0.67'	1.34'	25.00'	1.34'	N89°39'35"W	C220	01°07'17"	22.68'	45.35'	2317.00'	45.35'	N83°05'24"E
C21	45°54'27"	63.53'	120.19'	150.00'	117.00'	S79°02'50"E	C121	01°07'26"	2.17'	4.34'	221.00'	4.34'	N45°09'45"E	C221	00°21'25"	2.91'	5.81'	933.00'	5.81'	N84°26'51"E
C22	30°37'52"	41.08'	80.19'	150.00'	79.24'	S40°46'41"E	C122	31°52'54"	13.91'	27.82'	25.00'	13.91'	N62°12'21"E	C222	00°58'31"	19.72'	39.44'	2317.00'	39.44'	N84°08'18"E
C23	37°55'14"	61.84'	119.13'	180.00'	116.97'	N79°44'19"E	C123	01°03'50"	19.01'	38.01'	2047.00'	38.01'	S63°53'50"W	C223	01°43'59"	14.11'	28.22'	933.00'	28.22'	N83°24'09"W
C24	35°57'06"	58.40'	112.95'	180.00'	111.10'	S63°19'31"E	C124	01°07'49"	21.27'	42.55'	2157.00'	42.55'	N63°36'01"E	C224	10°29'58"	4.13'	8.25'	45.00'	8.23'	N28°37'59"W
C25	06°00'04"	114.37'	228.54'	2182.00'	228.43'	N69°24'44"E	C125	01°43'28"	30.81'	61.61'	2047.00'	61.61'	S85°05'16"W	C225	01°14'08"	45.98'	91.96'	45.00'	64.32'	S01°59'52"E
C26	04°08'11"	78.80'	157.53'	2182.00'	157.49'	N64°20'37"E	C126	01°15'02"	23.54'	47.07'	2157.00'	47.07'	N65°05'16"E	C226	03°50'40"	54.87'	109.71'	1635.00'	109.69'	N48°05'29"E
C27	15°04'19"	19.84'	39.46'	150.00'	39.34'	S32°59'54"E	C127	01°15'02"	22.34'	44.67'	2047.00'	44.67'	S86°20'06"W	C227	53°18'36"	22.59'	45.17'	45.00'	40.38'	S70°16'30"E
C28	42°13'45"	57.92'	110.56'	150.00'	108.07'	S61°38'56"E	C128	01°14'40"	22.19'	44.37'	2043.00'	44.37'	N66°20'06"E	C228	06°36'16"	2.60'	5.19'	45.00'	5.18'	N84°46'04"E
C29	20°26'46"	218.58'	432.51'	1212.00'	430.22'	N70°12'04"E	C129	01°14'40"	22.19'	44.37'	2043.00'	44.37'	N67°35'19"E	C229	02°37'47"	20.04'	40.07'	873.00'	40.06'	N88°52'48"E
C30	04°12'06"	44.46'	88.88'	1212.00'	88.88'	N82°31'30"E	C130	01°15'45"	23.76'	47.53'	2157.00'	47.53'	S67°55'19"E	C230	02°58'10"	22.63'	45.24'	873.00'	45.24'	N86°04'49"E
C31	53°07'49"	12.50'	23.18'	25.00'	22.36'	S87°20'38"W	C131	01°15'45"	22.51'	45.02'	2043.00'	45.01'	S67°55'19"E	C231	02°57'27"	22.54'	45.06'	873.00'	45.06'	N83°07'01"E
C32	90°00'00"	25.00'	39.27'	25.00'	35.36'	S15°46'42"W	C132	01°14'40"	23.42'	46.85'	2157.00'	46.85'	S68°50'31"E	C232	01°15'36"	9.60'	19.20'	873.00'	19.20'	N80°00'29"E
C33	33°55'07"	67.39'	130.83'	221.00'	128.93'	S12°15'45"E	C133	01°14'40"	23.42'	46.85'	2157.00'	46.85'	N68°50'11"W	C233	10°39'25"	18.93'	37.76'	203.00'	37.70'	N75°02'59"E
C34	49°36'48"	16.64'	31.17'	36.00'	30.21'	S20°06'35"E	C134	01°14'40"	23.42'	46.85'	2157.00'	46.85'	S70°05'11"W	C234	11°53'00"	21.13'	42.10'	203.00'	42.03'	N11°53'00"E
C35	20°45'11"	9.89'	19.56'	54.00'	19.45'	S34°32'24"E	C135	01°14'40"	23.42'	46.85'	2047.00'	44.46'	N70°05'11"E	C235	11°53'00"	21.13'	42.10'	203.00'	42.03'	N63°27'13"E
C36	38°51'22"	12.70'	24.41'	36.00'	23.95'	S43°35'30"E	C136	01°15'19"	23.63'	47.26'	2157.00'	47.26'	S71°20'10"E	C236	57°07'06"	13.61'	24.92'	25.00'	23.90'	N86°22'18"E
C37	19°40'52"	35.56'	70.42'	205.00'	70.07'	S53°10'45"E	C137	01°15'19"	22.42'	44.85'	2047.00'	44.85'	N71°20'10"E	C237	09°39'49"	14.79'	29.52'	175.00'	29.48'	S58°38'39"E
C38	07°07'42"	9.65'	19.28'	155.00'	19.27'	N51°36'18"W	C138	00°26'56"	8.45'	16.90'	2157.00'	16.90'	S72°11'18"W	C238	02°19'16"	29.74'	58.91'	175.00'	58.63'	S73°07'11"E
C39	61°44'55"	21.52'	38.80'	36.00'	36.95'	N86°02'36"W	C139	08°26'39"	12.92'	25.79'	175.00'	25.77'	S68°11'26"W	C239	19°17'16"	4.55'	9.10'	225.00'	9.10'	S83°55'19"E
C40	71°14'00"	38.68'	76.14'	54.00'	62.89'	N81°18'04"E	C140	01°33'54"	27.96'	55.92'	2047.00'	55.91'	N72°44'47"E	C240	11°37'09"	22.89'	45.63'	225.00'	45.63'	N65°06'37"E
C41	61°44'52"	21.52'	38.80'	36.00'	36.95'	N76°33'30"E	C141	00°55'54"	16.61'	33.22'	2043.00'	33.22'	N74°00'40"E	C241	11°29'26"	22.64'	45.12'	225.00'	45.05'	N77°33'19"E
C42	11°47'20"	16.00'	31.89'	155.00'	31.84'	S66°40'22"W	C142	16°10'53"	24.88'	49.42'	175.00'	49.26'	S55°52'40"E	C242	11°01'54"	21.73'	43.32'	225.00'	43.25'	N66°17'39"E
C43	36°27'29"	74.10'	143.17'	225.00'	140.77'	S79°00'26"E	C143	12°46'44"	4.03'	8.03'	36.00'	8.01'	S54°10'36"W	C243	03°09'28"	0.99'	1.98'	36.00'	1.98'	N74°08'49"E
C44	28°57'04"	45.18'	88.43'	175.00'	88.43'	N68°17'17"W	C144	00°56'44"	16.86'	33.72'	2043.00'	33.72'	N76°07'42"E	C244	10°31'24"	18.88'	37.65'	205.00'	37.60'	N75°09'21"E
C45	68°21'00"	16.97'	29.82'	25.00'	28.09'	N87°59'14"W	C145	11°42'36"	5.58'	11.12'	54.00'	11.10'	S70°50'25"W	C245	06°02'36"	16.34'	32.62'	205.00'	32.58'	N77°59'43"E
C46	22°32'25"	40.45'	79.86'	203.00'	79.35'	S69°06'28"W	C146	14°42'23"	22.58'	44.92'	175.00'	44.79'	N84°53'01"E	C246	09°06'57"	16.34'	32.62'	205.00'	32.58'	N77°59'43"E
C47	09°49'00"	74.97'	149.57'	873.00'	149.39'	S85°17'11"W	C147	09°45'51"	14.95'	29.82'	175.00'	29.79'	S82°52'52"E	C247	36°02'36"	17.30'	34.60'	175.00'	34.57'	N55°31'14"E
C48	13°43'45"	3.01'	5.99'	25.00'	5.98'	S83°19'49"W	C148	00°27'34"	8.65'</											



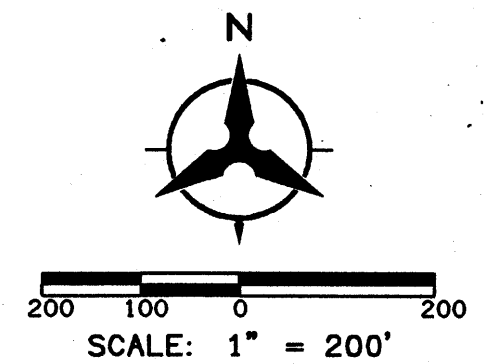




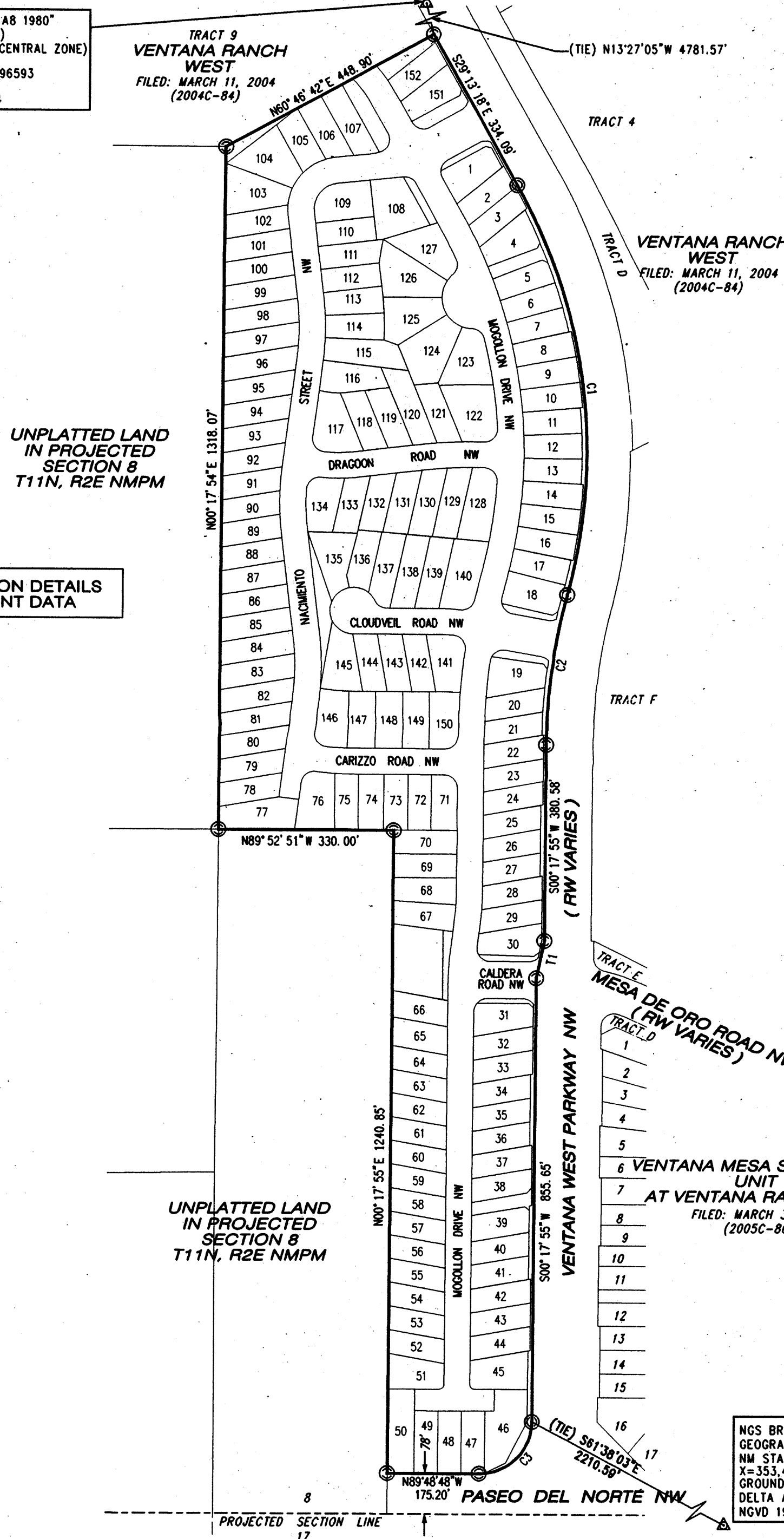
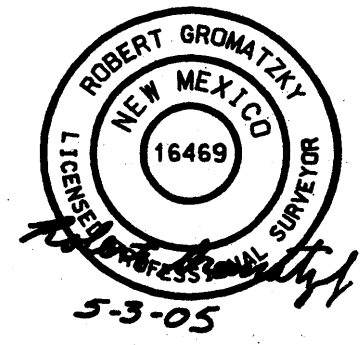
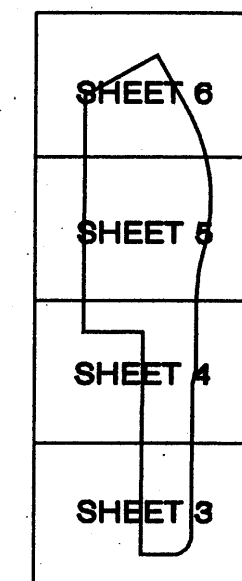
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 DELTA ALPHA = -00°17'21"  
 NGVD 1929 ELEVATION = 5570.04

2805862521  
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 Page: 2 of 7  
 05/04/2005 04:32P  
 Bern. Co. PLRT R 37.00 Bk-2885C Pg-148

PLAT OF  
**WESTERN RIDGE SUBDIVISION  
 UNIT 1  
 AT VENTANA RANCH WEST**  
 (A REPLAT OF TRACT 2, VENTANA RANCH WEST)  
 ALBUQUERQUE, NEW MEXICO  
 APRIL, 2005



LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	PROJECTED SECTION LINE
	RIGHT OF WAY
	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469"
	FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"



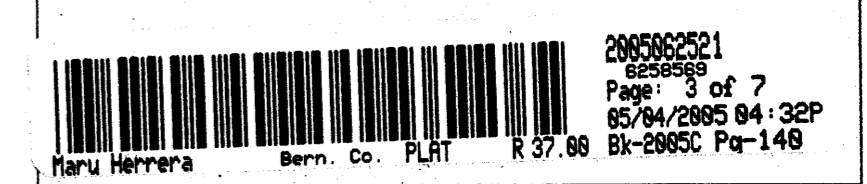
NOTE: SEE SHEETS 3 THRU 6 FOR SUBDIVISION DETAILS  
 SEE SHEET 7 FOR CURVE AND TANGENT DATA

UNPLATTED LAND  
 IN PROJECTED  
 SECTION 8  
 T11N, R2E NMPM

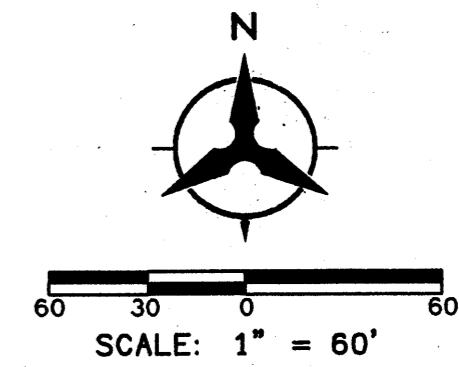
UNPLATTED LAND  
 IN PROJECTED  
 SECTION 8  
 T11N, R2E NMPM

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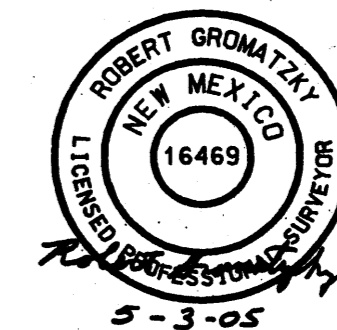
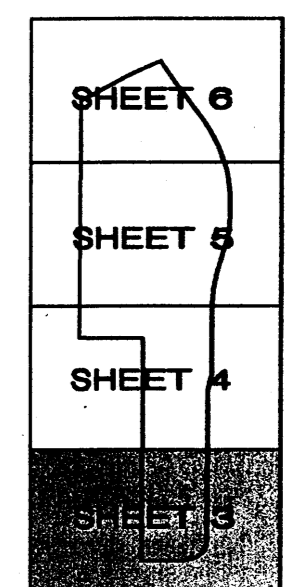
**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



**PLAT OF  
WESTERN RIDGE SUBDIVISION  
UNIT 1  
AT VENTANA RANCH WEST  
(A REPLAT OF TRACT 2, VENTANA RANCH WEST)  
ALBUQUERQUE, NEW MEXICO  
APRIL, 2005**

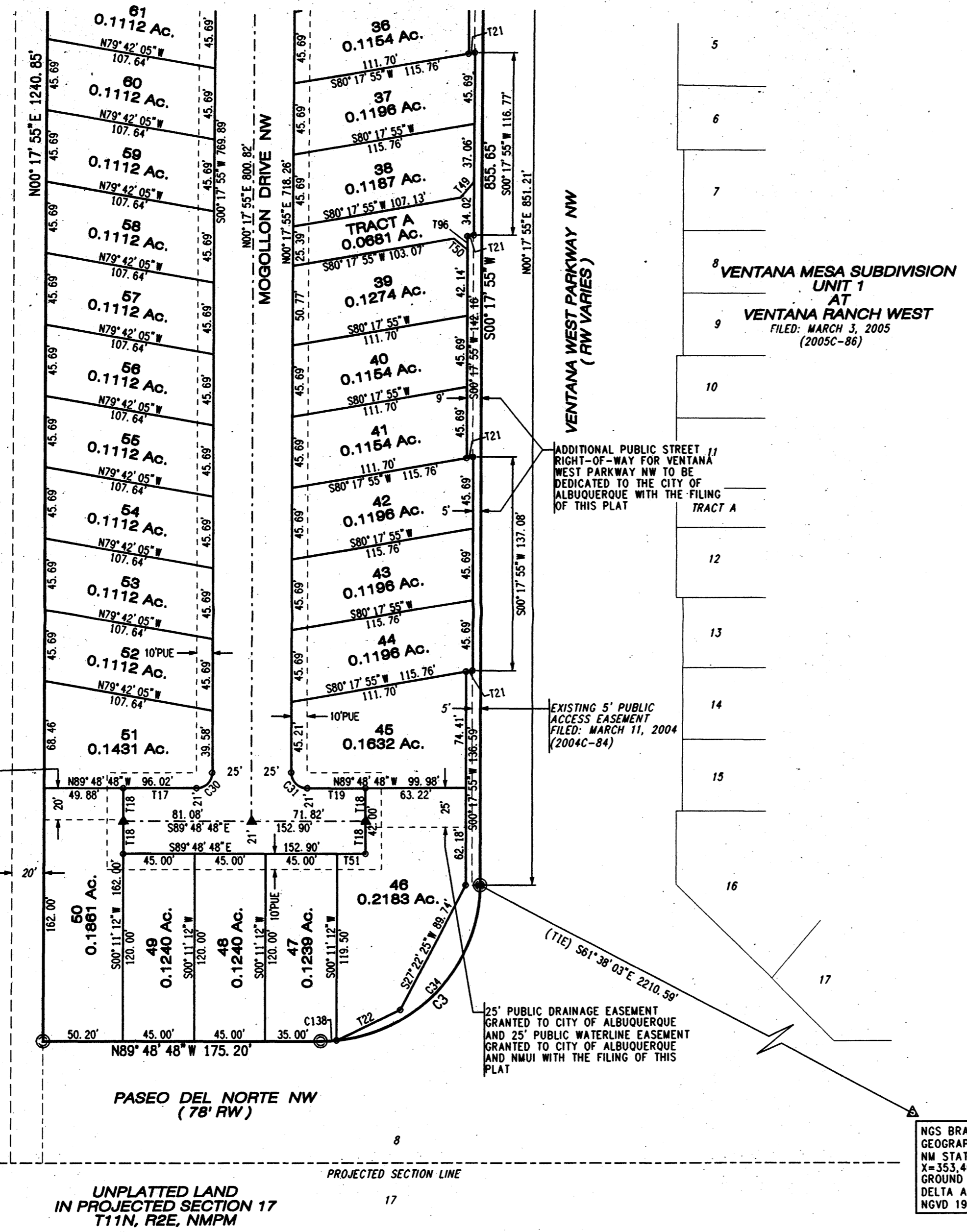


LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	PROJECTED SECTION LINE
	RIGHT OF WAY
	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469"
	FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"



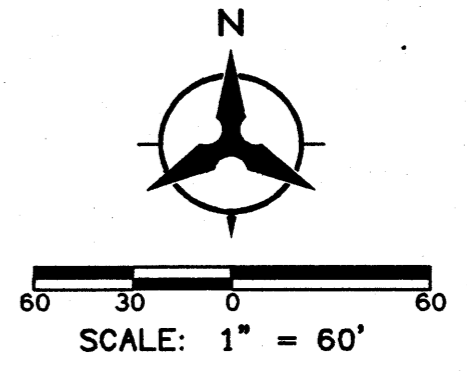
**Bohannon & Huston**  
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

SHEET 3 OF 7

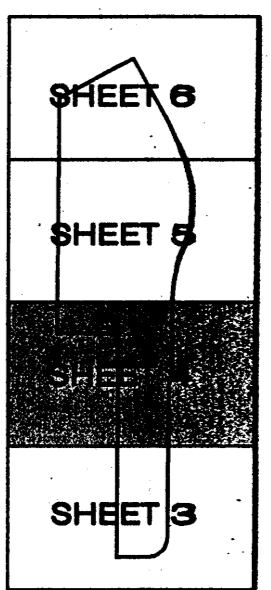
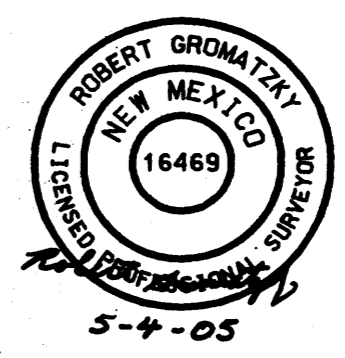




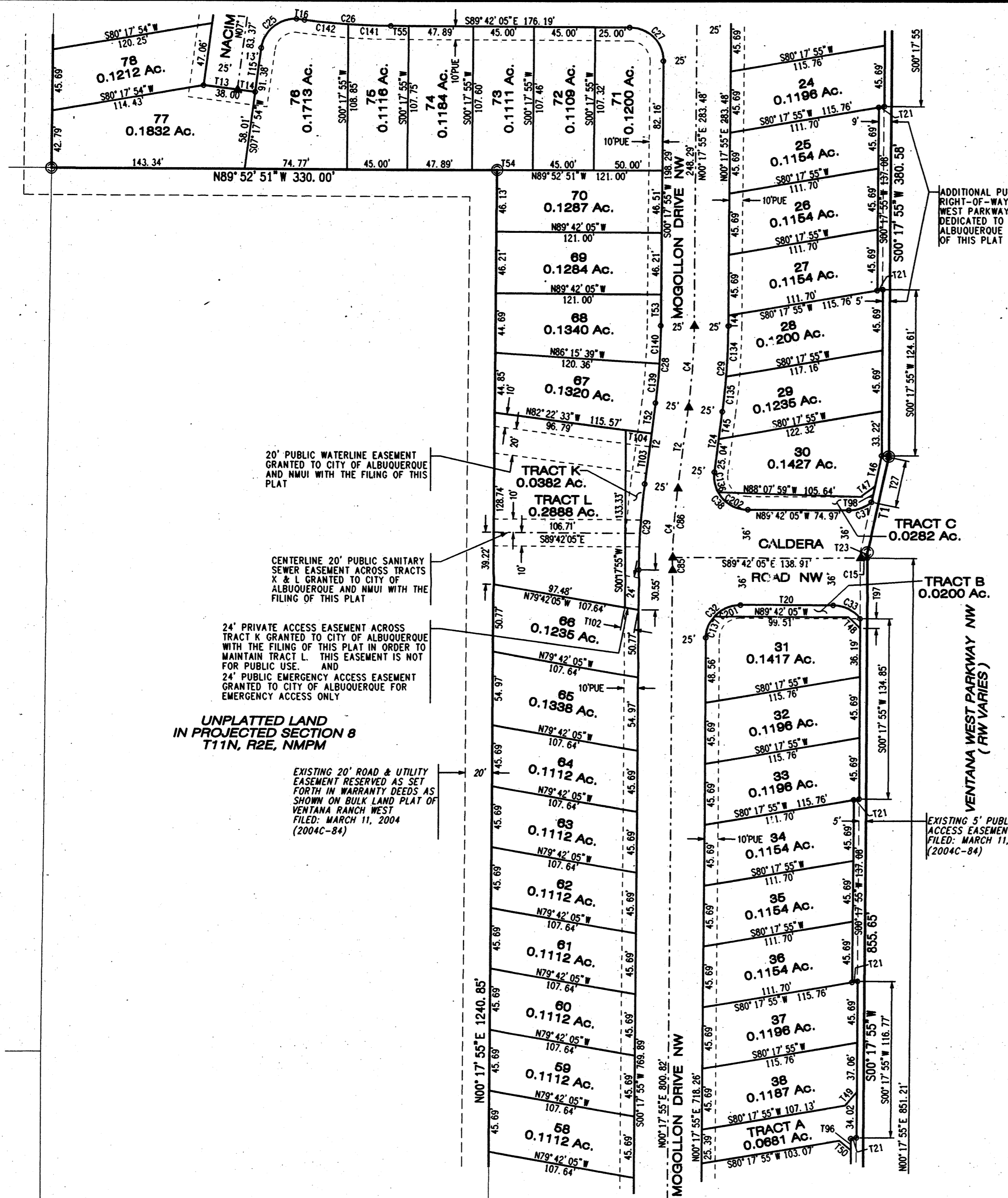
**PLAT OF  
 WESTERN RIDGE SUBDIVISION  
 UNIT 1  
 AT VENTANA RANCH WEST  
 (A REPLAT OF TRACT 2, VENTANA RANCH WEST)**  
 ALBUQUERQUE, NEW MEXICO  
 APRIL, 2005



LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	PROJECTED SECTION LINE
	RIGHT OF WAY
	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469"
	FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"



**Bohannon & Huston**  
 Engineering & Spatial Data & Advanced Technologies  
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES



20' PUBLIC WATERLINE EASEMENT GRANTED TO CITY OF ALBUQUERQUE AND NMUI WITH THE FILING OF THIS PLAT

CENTERLINE 20' PUBLIC SANITARY SEWER EASEMENT ACROSS TRACTS K & L GRANTED TO CITY OF ALBUQUERQUE AND NMUI WITH THE FILING OF THIS PLAT

24' PRIVATE ACCESS EASEMENT ACROSS TRACT K GRANTED TO CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT IN ORDER TO MAINTAIN TRACT L. THIS EASEMENT IS NOT FOR PUBLIC USE. AND 24' PUBLIC EMERGENCY ACCESS EASEMENT GRANTED TO CITY OF ALBUQUERQUE FOR EMERGENCY ACCESS ONLY

UNPLATTED LAND IN PROJECTED SECTION 8 T11N, R2E, NMPM

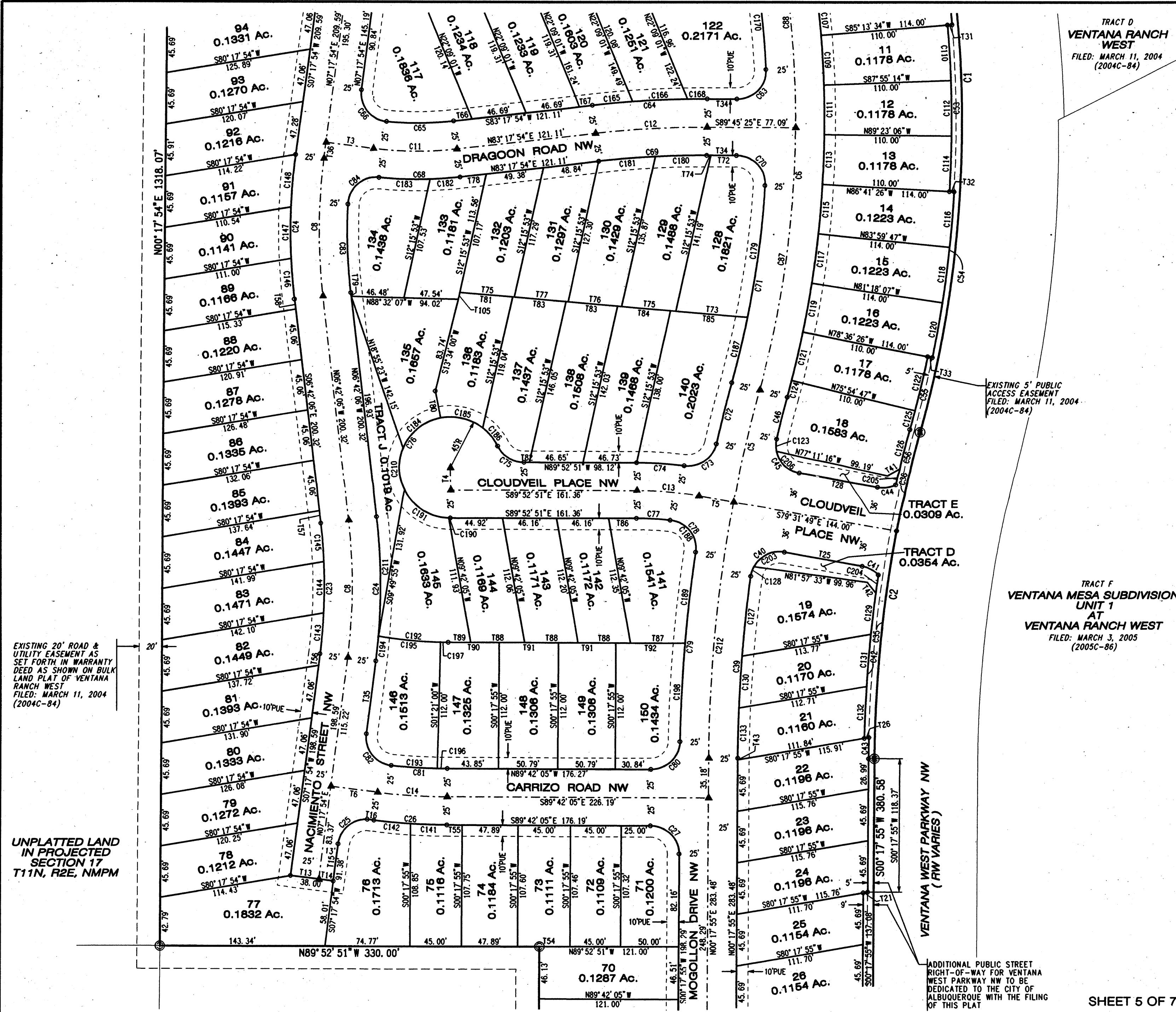
EXISTING 20' ROAD & UTILITY EASEMENT RESERVED AS SET FORTH IN WARRANTY DEEDS AS SHOWN ON BULK LAND PLAT OF VENTANA RANCH WEST FILED: MARCH 11, 2004 (2004C-84)

ADDITIONAL PUBLIC STREET RIGHT-OF-WAY FOR VENTANA WEST PARKWAY NW TO BE DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

TRACT F  
 VENTANA MESA SUBDIVISION UNIT 1  
 AT  
 VENTANA RANCH WEST  
 FILED: MARCH 3, 2005  
 (2005C-86)

TRACT C  
 0.0282 Ac.  
 CALDERA ROAD NW  
 TRACT B  
 0.0200 Ac.  
 VENTANA WEST PARKWAY NW  
 (RW VARIES)

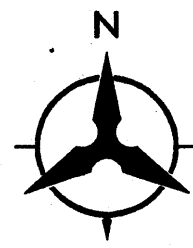
TRACT D  
 1  
 2  
 3  
 4  
 5  
 6  
 7  
 8  
 VENTANA MESA SUBDIVISION UNIT 1  
 AT  
 VENTANA RANCH WEST  
 FILED: MARCH 3, 2005  
 (2005C-86)



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 Page: 5 of 7  
 05/04/2005 04:32P  
 Bern. Co. PLRT R 37.00 BX-2885C Pa-148

**PLAT OF  
 WESTERN RIDGE SUBDIVISION  
 UNIT 1  
 AT VENTANA RANCH WEST  
 (A REPLAT OF TRACT 2, VENTANA RANCH WEST)**

ALBUQUERQUE, NEW MEXICO  
 APRIL, 2005



60 30 0 60  
 SCALE: 1" = 60'

**LEGEND**

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- CENTERLINE
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- ADJOINING PROPERTY LINE
- PROJECTED SECTION LINE
- RIGHT OF WAY
- PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- CITY OF ALBUQUERQUE CONTROL MONUMENT
- CENTERLINE MONUMENT TO BE INSTALLED
- SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469"
- FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"

TRACT F  
**VENTANA MESA SUBDIVISION  
 UNIT 1  
 AT  
 VENTANA RANCH WEST**  
 FILED: MARCH 3, 2005  
 (2005C-86)

TRACT D  
**VENTANA RANCH  
 WEST**  
 FILED: MARCH 11, 2004  
 (2004C-84)

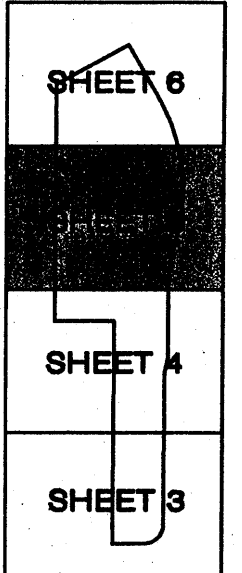
TRACT E  
**0.0309 Ac.**

TRACT D  
**0.0364 Ac.**

EXISTING 20' ROAD & UTILITY EASEMENT AS SET FORTH IN WARRANTY DEED AS SHOWN ON BULK LAND PLAT OF VENTANA RANCH WEST FILED: MARCH 11, 2004 (2004C-84)

UNPLATTED LAND IN PROJECTED SECTION 17 T11N, R2E, NMPM

ADDITIONAL PUBLIC STREET RIGHT-OF-WAY FOR VENTANA WEST PARKWAY NW TO BE DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

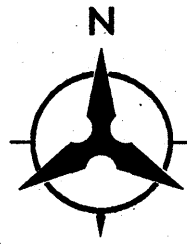


**Bohannon & Huston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
**ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES**

SHEET 5 OF 7





SCALE: 1" = 60'

TRACTS 1A & 1B OF THIS PLAT TO BE INCORPORATED WITH FUTURE PLATING OF TRACT 9 OF BULK PLAT OF VENTANA RANCH WEST FILED: MARCH 11, 2004 (2004C-84)

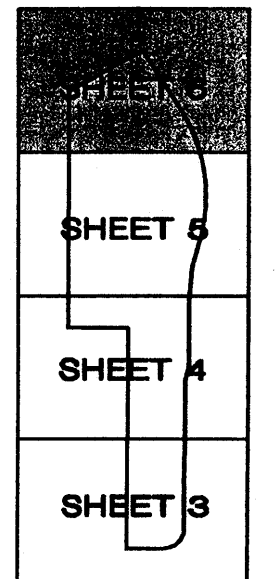
ACS BRASS TABLE STAMPED "1-A8 1980" GEOGRAPHIC POSITION (NAD 1927) NW STATE PLANE COORDINATES (CENTRAL ZONE) X=350,152.25 Y=1,531,818.60 GROUND TO GRID FACTOR = 0.9996593 DELTA ALPHA = -00'17"21" NGVD 1929 ELEVATION = 5570.04

EXISTING 50' SOUTHERN UNION GAS COMPANY EASEMENT RECORDED SEPTEMBER 16, 1930 (BK. 112, PG. 515) AND RIGHT-OF-WAY GRANTED TO ALBUQUERQUE NATURAL GAS COMPANY RECORDED DECEMBER 11, 1931 (BK. 123, PG. 152) AND RIGHT-OF-WAY GRANT AND RELEASE OF CLAIMS RECORDED: MARCH 29, 1956 (VOLUME D346, FOLIO 356-360) DOCUMENT NO. 90568

Barcode with text: 2005062521 6250699 Page: 6 of 7 05/04/2005 04:32P Maru Herrera Bern. Co. PLRT R 37.00 Bk-2065C Pg-149

# PLAT OF WESTERN RIDGE SUBDIVISION UNIT 1 AT VENTANA RANCH WEST (A REPLAT OF TRACT 2, VENTANA RANCH WEST) ALBUQUERQUE, NEW MEXICO APRIL, 2005

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	PROJECTED SECTION LINE
	RIGHT OF WAY
	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469"
	FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"

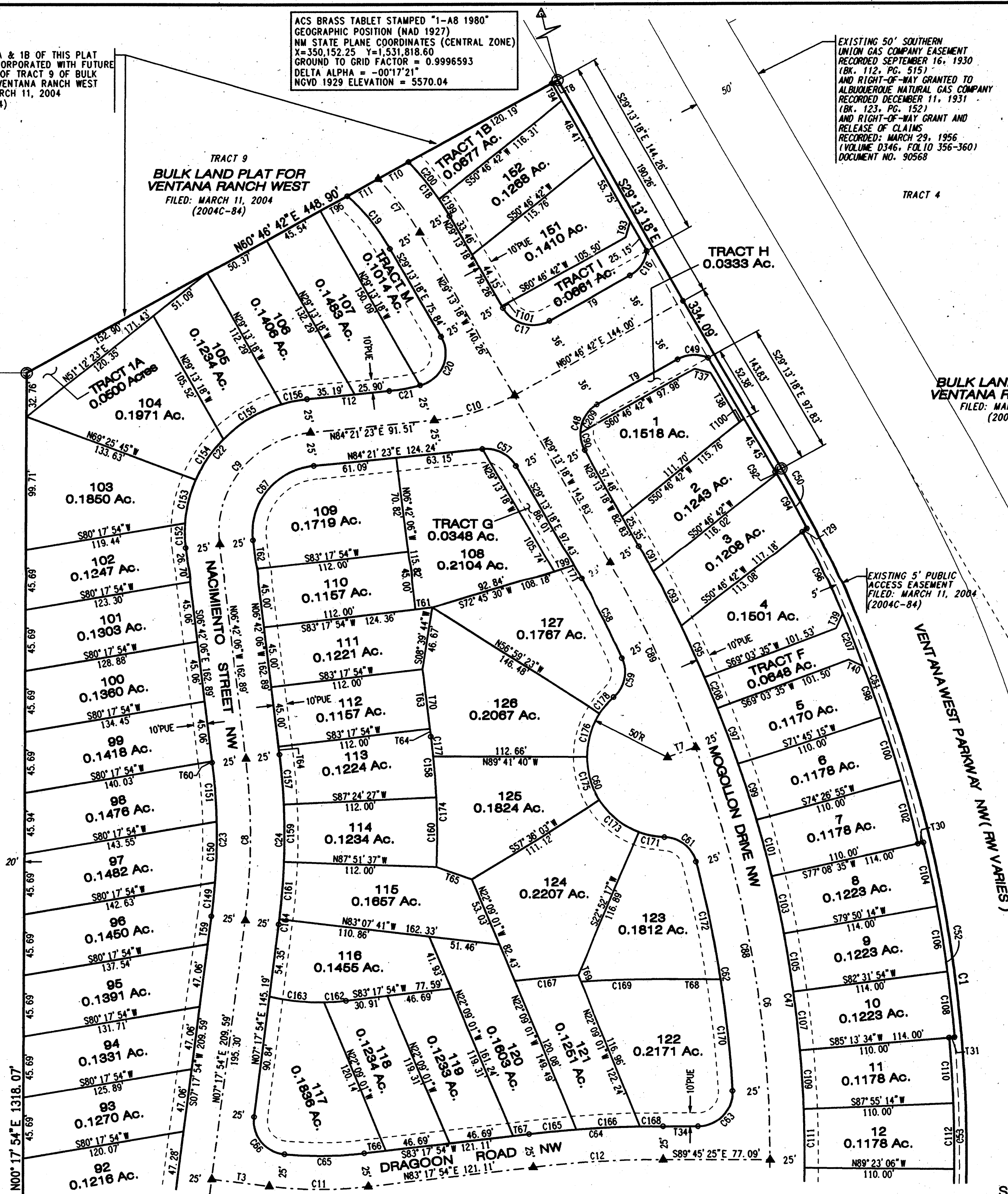


**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

SHEET 6 OF 7

UNPLATTED LAND IN PROJECTED SECTION 17 T11N, R2E, NMPM

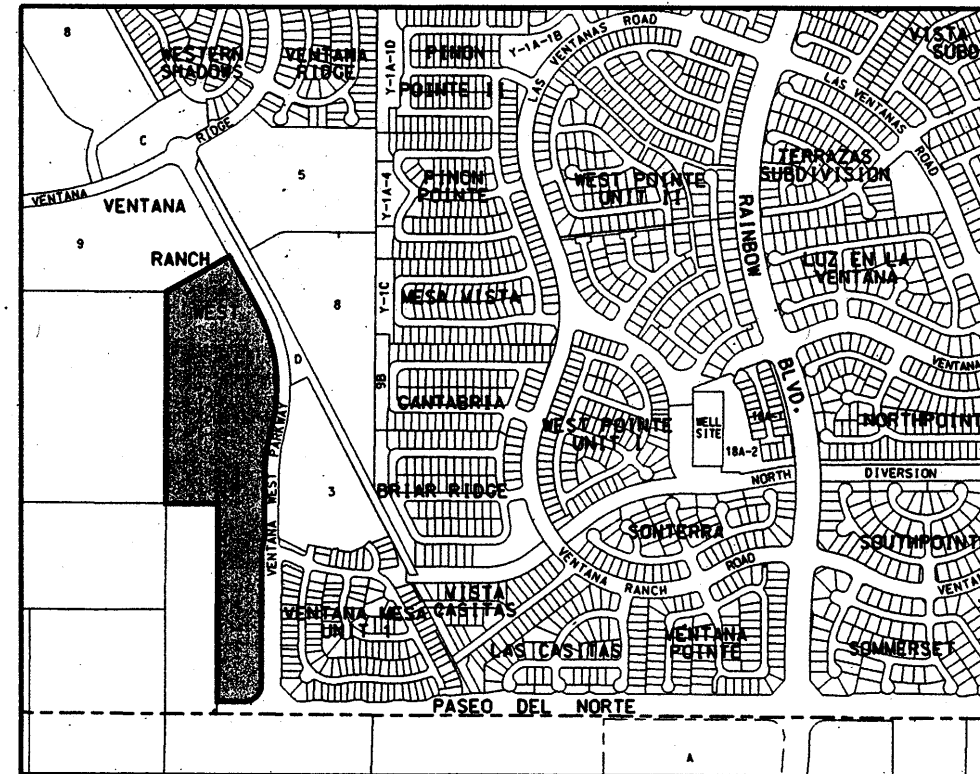
EXISTING 20' ROAD & UTILITY EASEMENT AS SET FORTH IN WARRANTY DEED AS SHOWN ON BULK LAND PLAT OF VENTANA RANCH WEST FILED: MARCH 11, 2004 (2004C-84)



Curve Data																				
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG	ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG	ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	44°15'08"	429.36'	815.60'	1056.00'	795.48'	S07°05'44"E	C91	01°21'23"	11.09'	22.18'	937.00'	22.18'	N28°32'37"W	C181	03°39'13"	24.72'	49.42'	775.00'	49.41'	N85°07'30"E
C2	14°43'55"	147.89'	294.15'	1144.00'	293.34'	S07°39'52"W	C92	00°06'38"	1.02'	2.03'	1051.00'	2.03'	S29°09'59"E	C182	04°36'43"	13.09'	26.16'	325.00'	26.15'	N85°36'16"E
C3	89°53'17"	99.81'	156.88'	100.00'	141.28'	S45°14'33"W	C93	02°49'47"	23.14'	46.28'	937.00'	46.27'	N26°27'02"W	C183	07°55'25"	22.51'	44.94'	325.00'	44.91'	S88°07'40"E
C4	07°02'05"	30.73'	61.39'	500.00'	61.35'	N03°48'57"E	C94	02°30'35"	23.02'	46.04'	1051.00'	46.03'	S27°51'22"E	C184	56°19'04"	24.09'	44.23'	45.00'	42.47'	S50°46'32"W
C5	44°15'08"	370.81'	704.38'	912.00'	687.00'	N07°05'44"W	C95	02°33'59"	20.99'	41.97'	937.00'	41.97'	N23°45'09"W	C185	49°26'34"	20.72'	38.83'	45.00'	37.64'	N76°20'39"W
C6	16°07'40"	25.50'	50.67'	180.00'	50.50'	N37°17'08"W	C96	03°46'42"	34.54'	69.04'	1047.00'	69.03'	S24°39'47"E	C186	26°21'54"	10.54'	20.71'	45.00'	20.52'	N38°26'25"W
C7	14°00'00"	61.39'	122.17'	500.00'	121.87'	N00°17'54"E	C97	02°41'40"	22.04'	44.06'	937.00'	44.06'	N19°35'35"W	C187	03°51'07"	29.83'	59.63'	887.00'	59.62'	N13°06'16"E
C8	14°00'00"	61.39'	122.17'	500.00'	121.87'	N00°17'54"E	C98	02°13'45"	20.37'	40.74'	1047.00'	40.73'	S19°21'38"E	C188	92°05'53"	25.93'	40.19'	25.00'	36.00'	S37°45'02"E
C9	91°03'29"	76.40'	119.19'	75.00'	107.04'	N38°49'39"E	C99	02°41'40"	22.04'	44.06'	937.00'	44.06'	N16°53'55"W	C189	03°33'09"	40.72'	81.41'	1313.00'	81.40'	S06°31'20"W
C10	23°34'41"	31.31'	61.73'	150.00'	61.29'	N72°34'02"E	C100	02°41'40"	22.04'	44.06'	937.00'	44.06'	N16°53'55"W	C190	01°35'26"	0.62'	1.25'	45.00'	1.25'	S89°05'08"E
C11	14°00'00"	36.84'	73.30'	300.00'	73.12'	S89°42'06"E	C101	02°41'40"	22.04'	44.06'	937.00'	44.06'	N14°12'16"W	C191	62°17'07"	27.19'	48.92'	45.00'	46.55'	S57°08'51"E
C12	06°56'41"	48.54'	96.97'	800.00'	96.91'	N86°46'15"E	C102	02°41'40"	22.04'	44.06'	937.00'	44.06'	N11°30'36"E	C192	09°40'58"	30.75'	61.35'	363.00'	61.27'	N84°51'36"W
C13	10°21'02"	27.17'	54.20'	300.00'	54.12'	S84°42'20"E	C103	02°41'40"	22.04'	44.06'	937.00'	44.06'	N11°30'36"E	C193	04°52'08"	20.19'	40.37'	475.00'	40.35'	N86°12'56"W
C14	06°59'59"	30.58'	61.08'	500.00'	61.05'	S86°12'06"E	C104	02°41'40"	22.04'	44.06'	937.00'	44.06'	N11°30'36"E	C194	02°25'15"	11.09'	22.18'	525.00'	22.18'	N06°05'16"E
C15	00°34'23"	2.50'	5.00'	500.00'	5.00'	S89°24'54"E	C105	02°41'40"	22.04'	44.06'	937.00'	44.06'	N08°48'56"E	C195	08°37'53"	27.39'	54.68'	363.00'	54.63'	S84°20'04"E
C16	53°07'48"	12.50'	23.18'	25.00'	22.36'	S34°12'48"W	C106	02°41'40"	22.04'	44.06'	937.00'	44.06'	N08°48'56"E	C196	01°03'05"	4.36'	8.72'	475.00'	8.72'	N89°10'33"E
C17	90°00'00"	25.00'	39.27'	25.00'	35.36'	N74°13'18"W	C107	02°41'40"	22.04'	44.06'	937.00'	44.06'	N06°07'16"W	C197	01°03'05"	3.33'	6.66'	363.00'	6.66'	S89°10'33"E
C18	14°07'01"	25.38'	50.51'	205.00'	50.38'	N36°16'49"W	C108	02°41'40"	22.04'	44.06'	937.00'	44.06'	N06°07'16"W	C198	03°48'47"	43.71'	87.38'	1313.00'	87.36'	S02°50'22"W
C19	18°49'09"	25.69'	50.91'	155.00'	50.68'	S38°37'52"E	C109	02°41'40"	22.04'	44.06'	937.00'	44.06'	N03°25'36"W	C199	04°09'24"	7.44'	14.87'	205.00'	14.87'	N31°18'00"W
C20	104°04'18"	32.04'	45.41'	25.00'	39.42'	S22°48'51"W	C110	02°41'40"	22.04'	44.06'	937.00'	44.06'	N03°25'36"W	C200	09°57'38"	17.86'	35.64'	205.00'	35.59'	S59°56'38"W
C21	09°30'23"	11.56'	23.06'	139.00'	23.04'	S79°36'11"W	C111	02°41'40"	22.04'	44.06'	937.00'	44.06'	N00°43'56"W	C201	49°30'46"	11.53'	21.60'	25.00'	20.94'	N65°32'32"E
C22	91°03'29"	101.86'	158.93'	100.00'	142.72'	S38°49'38"W	C112	02°41'40"	22.04'	44.06'	937.00'	44.06'	N00°43'56"W	C202	61°30'54"	14.88'	26.84'	25.00'	25.57'	N89°45'25"W
C23	14°00'00"	58.32'	116.06'	475.00'	115.78'	S00°17'54"W	C113	02°41'40"	22.04'	44.06'	937.00'	44.06'	N01°57'44"E	C203	72°26'17"	18.31'	31.61'	25.00'	29.54'	N64°15'03"E
C24	14°00'00"	64.46'	128.28'	525.00'	127.96'	S00°17'54"W	C114	02°41'40"	22.04'	44.06'	937.00'	44.06'	N01°57'44"E	C204	00°48'30"	8.13'	16.27'	1153.00'	16.27'	N89°01'22"W
C25	83°31'05"	22.58'	36.86'	25.29'	33.68'	N49°17'48"E	C115	02°41'40"	22.04'	44.06'	937.00'	44.06'	N04°39'24"E	C205	00°43'43"	7.33'	14.66'	1153.00'	14.66'	S12°52'14"W
C26	06°59'59"	32.11'	64.14'	525.00'	64.10'	S86°12'05"E	C116	02°41'40"	22.04'	44.06'	937.00'	44.06'	N04°39'24"E	C206	67°44'35"	16.78'	29.56'	25.00'	27.87'	N45°39'32"E
C27	90°00'00"	25.00'	39.27'	25.00'	35.36'	S44°42'05"E	C117	02°41'40"	22.04'	44.06'	937.00'	44.06'	N07°21'03"E	C207	02°17'55"	21.01'	42.01'	1047.00'	42.00'	S21°37'28"E
C28	07°02'05"	29.20'	58.32'	475.00'	58.28'	S03°48'57"W	C118	02°41'40"	22.04'	44.06'	937.00'	44.06'	S07°21'03"E	C208	01°31'44"	12.50'	25.00'	937.00'	25.00'	N21°42'17"W
C29	07°02'05"	32.27'	64.46'	525.00'	64.42'	S03°48'57"W	C119	02°41'40"	22.04'	44.06'	937.00'	44.06'	N10°02'43"E	C209	59°12'46"	14.21'	25.84'	25.00'	24.70'	N31°10'19"E
C30	89°53'17"	9.98'	15.69'	10.00'	14.13'	S45°14'33"W	C120	02°41'40"	22.04'	44.06'	937.00'	44.06'	S10°02'43"E	C210	48°37'17"	20.33'	38.19'	45.00'	37.05'	S01°41'39"E
C31	90°06'43"	10.02'	15.73'	10.00'	14.16'	N44°45'27"W	C121	02°41'40"	22.04'	44.06'	937.00'	44.06'	N12°44'23"E	C211	11°34'45"	53.23'	106.10'	525.00'	105.92'	N00°54'44"W
C32	90°00'00"	25.00'	39.27'	25.00'	35.36'	N45°17'55"E	C122	02°41'40"	22.04'	44.06'	937.00'	44.06'	S12°44'23"W	C212	10°10'16"	114.62'	228.65'	1288.00'	228.35'	N05°23'03"E
C33	53°07'48"	12.50'	23.18'	25.00'	22.36'	S63°08'11"E	C123	25°04'52"	5.56'	10.94'	25.00'	10.86'	N00°45'12"E							
C34	84°08'57"	90.28'	146.87'	100.00'	134.02'	N42°22'23"E	C124	00°56'37"	7.72'	15.43'	937.00'	15.43'	N14°33'31"E							
C35	10°10'16"	101.81'	203.08'	1144.00'	202.82'	N05°23'03"E	C125	00°56'37"	8.62'	17.24'	1047.00'	17.24'	S14°33'31"W							
C36	04°33'39"	45.56'	91.06'	1144.00'	91.04'	N12°45'00"E	C126	01°47'45"	18.07'	36.14'	1153.00'	36.14'	S14°07'57"W							
C37	41°21'43"	9.44'	18.05'	25.00'	17.66'	S69°37'04"W	C127	03°14'05"	35.66'	71.30'	1263.00'	71.30'	N06°01'41"E							
C38	97°02'05"	28.27'	42.34'	25.00'	37.46'	N41°11'02"W	C128	20°23'11"	4.50'	8.90'	25.00'	8.85'	N17°50'19"E							
C39	07°20'49"	81.09'	161.95'	1263.00'	161.84'	N03°58'19"E	C129	01°49'46"	18.41'	36.81'	1153.00'	36.81'	S06°42'14"W							
C40	92°49'28"	26.26'	40.50'	25.00'	36.22'	N54°03'27"E	C130	02°05'45"	23.10'	46.20'	1263.00'	46.20'	N03°21'46"E							
C41	37°15'12"	8.43'	16.25'	25.00'	15.97'	S60°54'13"E	C131	02°18'30"	23.23'	46.45'	1153.00'	46.45'	S04°38'06"W							
C42	07°13'57"	72.87'	145.54'	1153.00'	145.45'	S04°48'38"W	C132	02°17'12"	23.01'	46.02'	1153.00'	46.01'	S02°20'16"W							
C43	00°56'03"	9.37'	18.74'	1149.00'	18.74'	S00°45'56"W	C133	02°00'59"	22.23'	44.45'	1263.00'	44.45'	N01°18'24"E							
C44	36°46'06"	8.31'	16.04'	25.00'	15.77'	S82°05'08"W	C134	04°09'10"	19.03'	38.05'	525.00'	38.04'	N02°22'30"E							
C45	92°49'27"	26.26'	40.50'	25.00'	36.22'	N33°07'05"W	C135	02°52'55"	13.21'	26.41'	525.00'	26.41'	N05°53'32"E							
C46	01°44'12"	19.14'	38.28'	1263.00'	38.28'	N14°09'44"E	C136	35°31'11"	8.01'	15.50'	25.00'	15.25'	N10°25'35"W							
C47	44°15'08"	380.97'	723.69'	937.00'	705.83'	N07°05'44"W	C137	40°29'15"	9.22'	17.67'	25.00'	17.30'	N20°32'32"E							
C48	90°00'00"	25.00'	39.27'	25.00'	35.36'	N15°46'42"E	C138	05°44'21"	5.01'	10.02'	100.00'	10.01'	S87°19'02"W							
C49	53°07'48"	12.50'	23.18'	25.00'	22.36'	N87°20'36"E	C139	03°35'39"	14.90'	29.80'	475.00'	29.79'	S05°32'10"W							
C50	02°37'13"	24.04'	48.07'	1051.00'	48.06'	S27°54'41"E	C140	03°26'26"	14.27'	28.52'	475.00'	28.52'	S02°01'08"W							
C51	13°41'43"	125.73'	250.26'	1047.00'	249.67'	S19°42'17"E	C141	03°27'44"	15.87'	31.72'	525.00'	31.72'	S87°58'13"E							
C52	08°05'00"	74.26'	148.27'	1051.00'	148.15'	S08°48'56"E	C142	03°32'15"	16.21'	32.41'	525.00'	32.41'	S84°28'13"E							
C53	08°05'00"	73.98'	147.71'	1047.00'	147.59'	S00°43'56"E	C143	04°22'42"	18.16'	36.30'	475.00'	36.29'	S05°06'33"W							
C54	08°05'00"	74.26'	148.27'	1051.00'	148.15'	S07°21'03"W	C144	05°30'42"	22.86'	45.69'	475.00'	45.68'	S00°09'51"W							
C55	03°38'17"	33.25'	66.48'	1047.00'	66.47'	S13°12'42"W	C145	04°06'36"	17.04'	34.07'	475.00'	34.07'	S04°38'48"E							
C56	02°31'28"	25.40'	50.80'	1153.00'	50.79'	S13°46'06"W	C146	03°56'48"	18.09'	36.16'	525.00'	36.15'	S00°43'42"E							
C57	66°25'19"	16.37'	28.98'	25.00'	27.39'	S62°25'57"E	C147	04°58'48"	22.83'	45.63'	525.00'	45.62'	S00°15'54"E							
C58	04°22'21"	33.86'	67.69'	887.00'	67.68'	S27°02'07"E	C148	05°04'24"	23.26'	46.49'	525.00'	46.47'	S04°45'							



SP-2005160426



LOCATION MAP  
ZONE ATLAS INDEX MAP No. B-8  
NOT TO SCALE

SUBDIVISION DATA

- 1. DRB No.
2. Zone Atlas Index Nos. B-8-Z; Zoning: RLT.
3. Gross Subdivision Acreage: 28.5843 Acres
4. Total Number of Tracts Created: One hundred fifty-two (152) Lots & Fourteen (14) Tracts.
5. Total Mileage of Full Width Streets created: 1.0258 mile.
6. Total Mileage of Partial Width Streets created: 0.5512 mile.
7. Date of Survey: January, 2005.
8. Plat is located within the Town of Alameda Grant, within projected Section 8, T11N, R2E, NMPM.

DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide all of Tract 2, BULK LAND PLAT FOR VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553 into one hundred fifty-two (152) lots and fourteen (14) tracts, to dedicate additional public street right-of-way to the City of Albuquerque, to grant easements, and to vacate easements.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
E. New Mexico Utilities, Inc. for the installation, maintenance and service of underground water and sanitary sewer lines across the easement.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DESCRIPTION

A certain tract of land being located within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, N.M.P.M., Bernalillo County, New Mexico, and being the same as Tract 2 of the Bulk Land Plat For Ventana Ranch West filed in Book 2004C, Page 84 on the March 11, 2004 in the office of the Bernalillo County Clerk, and being more particularly described as follows:

BEGINNING at a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" for a point of curvature of this tract, WHENCE the brass cap for Albuquerque City Survey (ACS) Monument "Union", having New Mexico State Plane Grid Coordinates Central Zone (NAD 27) of X=353,409.02' and Y=1,523,440.96' bears S61°38'03"E a distance of 2,210.59 feet;

THENCE along a curve to the right that has an arc length of 156.88 feet, a radius of 100.00 feet, a central angle of 89°53'17", and a chord of S45°14'33"W a distance of 141.28 feet to a point of tangency of the South line of said Tract 2, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE along said South line of Tract 2 N89°48'48"W a distance of 175.20 feet to an angle point of said Tract 2, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE along a mid westerly line of said Tract 2 N00°17'55"E a distance of 1,240.85 feet to an angle point of said Tract 2, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE along a mid southerly line of said Tract 2 N89°52'51"W a distance of 330.00 feet to an angle point of said Tract 2, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE along the West line of said Tract 2 N00°17'54"E a distance of 1,318.07 feet to the northwest corner of said Tract 2, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE along the North line of said Tract 2 N60°46'42"E a distance of 448.90 feet to the northeast corner of said Tract 2, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE along the East line of said Tract 2 S29°13'18"E a distance of 334.09 feet to a point of tangency of said Tract 2, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE continuing along said East line of Tract 2 along a curve to the right that has an arc length of 815.60 feet, a radius of 1,056.00 feet, a central angle of 44°15'08", and a chord of S07°05'44"E a distance of 795.48 feet to a point of reverse curvature of said Tract 2, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE continuing along said East line of Tract 2 along a curve to the left that has an arc length of 294.15 feet, a radius of 1,144.00 feet, a central angle of 14°43'55", and a chord of S07°39'52"W a distance of 293.34 feet to a point of tangency of said Tract 2, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE continuing along said East line of Tract 2 S00°17'55"W a distance of 380.58 feet to an angle point of said Tract 2, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE continuing along said East line of Tract 2 S12°04'00"W a distance of 73.55 feet to an angle point of said Tract 2, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE continuing along said East line of Tract 2 S00°17'55"W a distance of 855.65 feet to the POINT OF BEGINNING.

Tract contains 28.5843 acres of land, more or less.

NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 and are the same as shown on the Bulk Land Plat For Ventana Ranch West, Albuquerque, New Mexico, recorded on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553.
2. Distances are ground distances.
3. All easements of record are shown.
4. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
5. Centerline (in lieu of R/W monumentation) to be installed at centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard 3-1/4" aluminum alloy cap stamped "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS 16469".
6. Tracts A thru K and Tract M are to be conveyed to and maintained by the Ventana Ranch West Community Association as private open space by separate deed. Tracts are subject to a public pedestrian access and community landscaping easement granted with the filing of this plat. An exclusive blanket storm drain and drainage easement is granted to the City of Albuquerque with the filing of this plat.
7. Tract L is dedicated to the City of Albuquerque in fee simple with warranty covenants with the filing of this plat. Tract L is subject to a permanent public drainage easement and will be maintained by the City of Albuquerque for this purpose. A blanket private landscape easement is granted to Ventana Ranch West Community Association, Inc. with the filing of this plat.
8. Park Dedication Requirements shall be met with Tract C of the Bulk Land Plat of Ventana Ranch West a future park site, and in accordance with the Park Dedication Agreement between the City of Albuquerque and Ventana West, LLC dated: March 10, 2004, Document No. 2004031336. Conveyance shall be by separate deed.
9. No individual lots or tracts shall be allowed direct access to any lands adjacent to Ventana Ranch West Boundary or Paseo Del Norte Boulevard NW and Ventana West Parkway NW.
10. The front (adjacent to street right-of-way) lot corner will not be staked. A witness corner projected along the property line (10' offset), being a chiseled "+" in the curb and gutter will be set upon completion of all street improvements. Offset may be adjusted by even foot increments where necessary to fall within the pan.
11. Existing Tract 2 is subject to an existing thirty foot wide floating Public Storm Drain Easement to be located perpendicular to existing pipelines granted to the City of Albuquerque by plat filed: March 11, 2004 in Book 2004C, Page 84. Easement vacated by Vacation Action 04DRB 01510.
12. Existing Tract 2 is subject to an existing thirty-foot wide floating Public Sanitary Sewer Easement granted to New Mexico Utilities, Inc. and the City of Albuquerque by plat filed: March 11, 2004 in book 2004C, Page 84. Easement vacated by Vacation Action 04DRB 01510.

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract 2 of the BULK LAND PLAT FOR VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553, now comprising Lots 1 through 152 inclusive, Tracts A thru M inclusive, and Tract 1 WESTERN RIDGE SUBDIVISION AT VENTANA RANCH WEST, Albuquerque, New Mexico is with free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional public street rights-of-way and Tract L shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants, and do hereby grant: All access, Utility and Drainage Easements hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried distribution lines, conduits, pipes for underground Utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. In the event Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's and/or assigns property to access the easement areas for the purposes of performing the Work. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

PULTE HOMES OF NEW MEXICO, INC.

Garret Price, Vice President of Land Pulte Homes of New Mexico, Inc.

State of New Mexico )
County of Bernalillo )

This instrument was acknowledged before me on 19th day of April 2005, by Garret Price, Vice President of Land, Pulte Homes of New Mexico, Inc.

My Commission Expires: 8-29-05

MIRIAM J. NEWMAN
NOTARY PUBLIC STATE OF NEW MEXICO
My commission expires: 8-29-05

SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky
Robert Gromatzky
New Mexico Professional Surveyor 16469
Date: April 19, 2005



FINAL

PRELIMINARY PLAT
APPROVED BY DRB

DATE 4/19/05

WESTERN RIDGE SUBDIVISION
UNIT 1
AT VENTANA RANCH WEST
(A REPLAT OF TRACT 2, VENTANA RANCH WEST)
ALBUQUERQUE, NEW MEXICO
APRIL, 2005

PROJECT NUMBER
APPLICATION NUMBER

PLAT APPROVAL

UTILITY APPROVALS:

Table with columns for utility name (QWEST, COMCAST CABLE, PNM ELECTRIC SERVICES, PNM GAS SERVICES, NEW MEXICO UTILITIES, INC., CITY SURVEYOR, TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, UTILITIES DEVELOPMENT, PARKS & RECREATION DEPARTMENT, A.M.A.F.C.A., CITY ENGINEER, DRB CHAIRPERSON, PLANNING DEPARTMENT, VENTANA RANCH WEST COMMUNITY ASSOCIATION) and Date.

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #

PROPERTY OWNER OF RECORD

BERNALILLO COUNTY TREASURER'S OFFICE DATE

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

ACS BRASS TABLET STAMPED "1-A8 1980"  
 GEOGRAPHIC POSITION (NAD 1927)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X=350,152.25 Y=1,531,818.60  
 GROUND TO GRID FACTOR = 0.9996593  
 DELTA ALPHA = -00°17'21"  
 NGVD 1929 ELEVATION = 5570.04

TRACT 9  
**VENTANA RANCH WEST**  
 FILED: MARCH 11, 2004  
 (2004C-84)

TRACT 0  
**VENTANA RANCH WEST**  
 FILED: MARCH 11, 2004  
 (2004C-84)

PLAT OF  
**WESTERN RIDGE SUBDIVISION  
 UNIT 1  
 AT VENTANA RANCH WEST**  
 (A REPLAT OF TRACT 2, VENTANA RANCH WEST)

ALBUQUERQUE, NEW MEXICO  
 APRIL, 2005

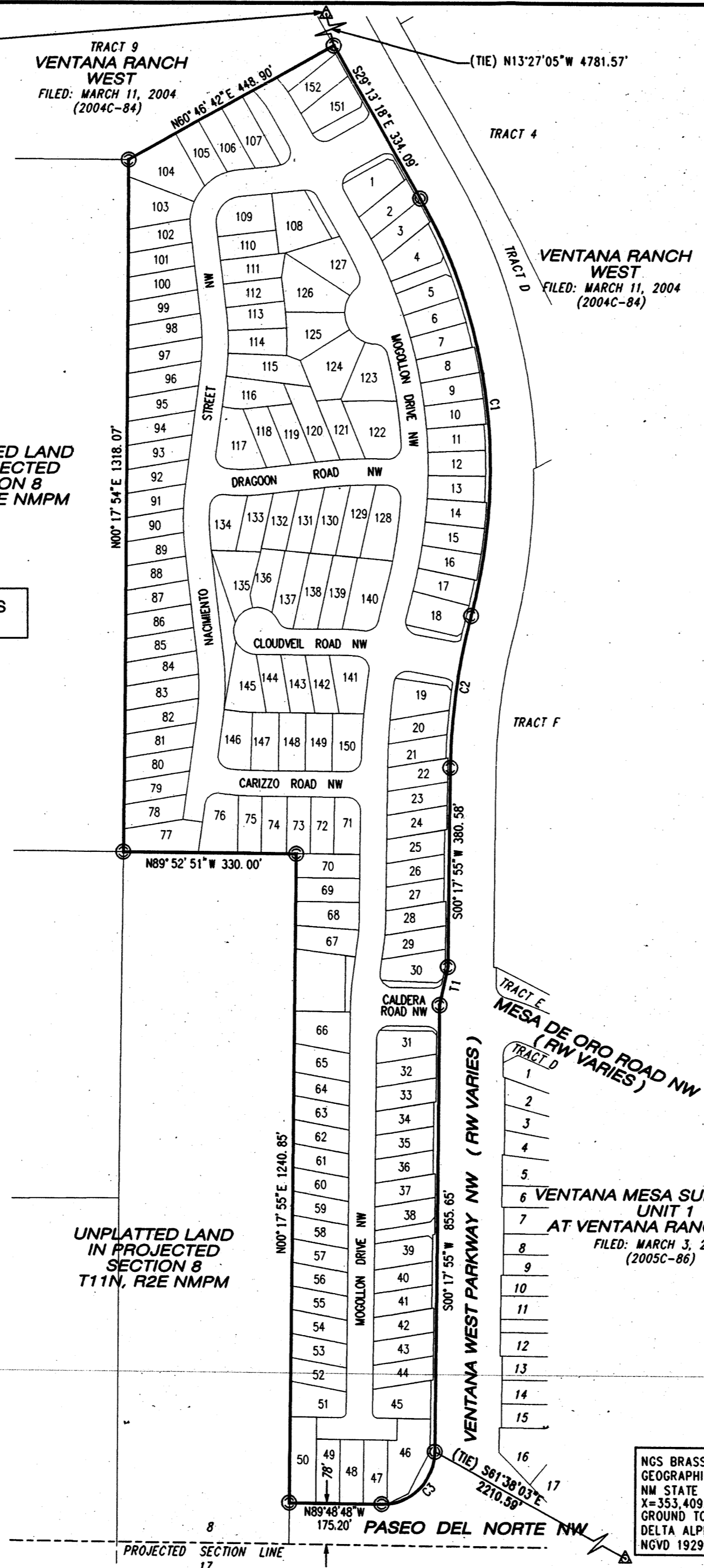


SCALE: 1" = 200'

UNPLATTED LAND  
 IN PROJECTED  
 SECTION 8  
 T11N, R2E NMPM

NOTE: SEE SHEETS 3 THRU 6 FOR SUBDIVISION DETAILS  
 SEE SHEET 7 FOR CURVE AND TANGENT DATA

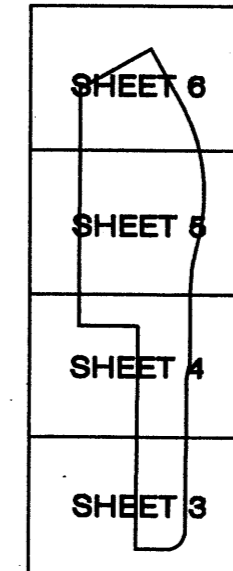
LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	PROJECTED SECTION LINE
	RIGHT OF WAY
	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469"
	SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"



UNPLATTED LAND  
 IN PROJECTED  
 SECTION 8  
 T11N, R2E NMPM

TRACT E  
**MESA DE ORO ROAD NW**  
 (RW VARIES)  
 TRACT D  
 1  
 2  
 3  
 4  
 5  
 6 VENTANA MESA SUBDIVISION  
 UNIT 1  
 7 AT VENTANA RANCH WEST  
 FILED: MARCH 3, 2005  
 (2005C-86)

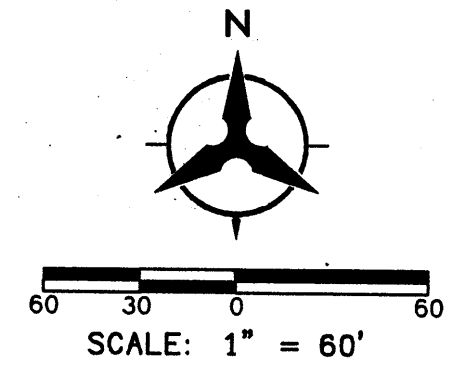
NGS BRASS TABLET STAMPED "UNION 1969"  
 GEOGRAPHIC POSITION (NAD 1927)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X=353,409.02 Y=1,523,440.96  
 GROUND TO GRID FACTOR = 0.99966044  
 DELTA ALPHA = -00°16'58"  
 NGVD 1929 ELEVATION = 5522.0 (TRIG)



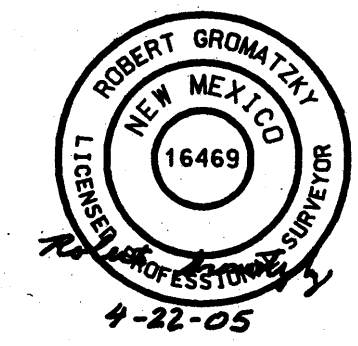
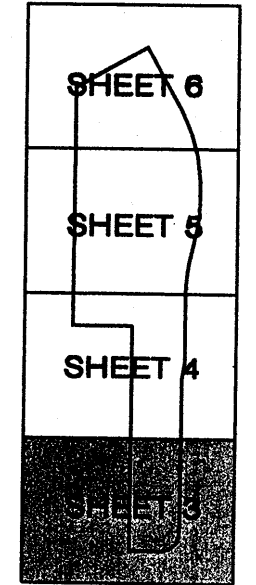
**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES



PLAT OF  
**WESTERN RIDGE SUBDIVISION  
 UNIT 1  
 AT VENTANA RANCH WEST**  
 (A REPLAT OF TRACT 2, VENTANA RANCH WEST)  
 ALBUQUERQUE, NEW MEXICO  
 APRIL, 2005

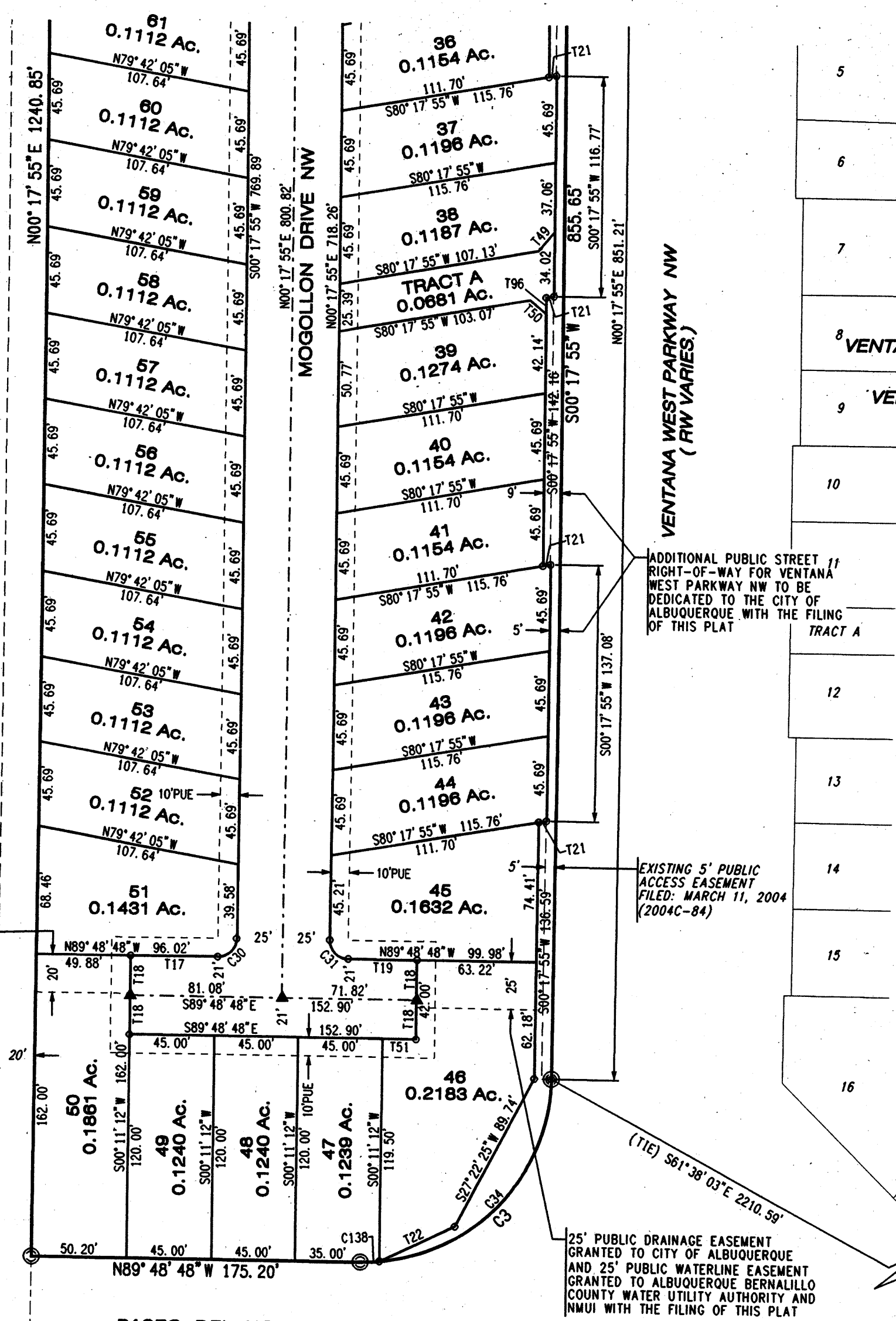


LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	PROJECTED SECTION LINE
	RIGHT OF WAY
	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469"
	FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"



**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

SHEET 3 OF 7



UNPLATTED LAND  
 IN PROJECTED SECTION 8  
 T11N, R2E, NMPM

20' PUBLIC WATERLINE EASEMENT  
 GRANTED TO ALBUQUERQUE BERNALILLO  
 COUNTY WATER UTILITY AUTHORITY AND  
 NMUI WITH THE FILING OF THIS PLAT

EXISTING 20' ROAD & UTILITY  
 EASEMENT RESERVED AS SET  
 FORTH IN WARRANTY DEED AS  
 SHOWN ON BULK LAND PLAT OF  
 VENTANA RANCH WEST  
 FILED: MARCH 11, 2004  
 (2004C-84)

UNPLATTED LAND  
 IN PROJECTED SECTION 17.  
 T11N, R2E, NMPM

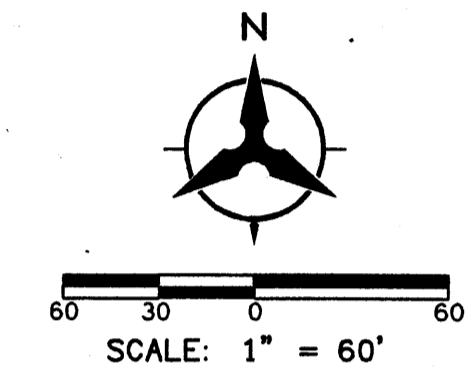
ADDITIONAL PUBLIC STREET  
 RIGHT-OF-WAY FOR VENTANA  
 WEST PARKWAY NW TO BE  
 DEDICATED TO THE CITY OF  
 ALBUQUERQUE WITH THE FILING  
 OF THIS PLAT

EXISTING 5' PUBLIC  
 ACCESS EASEMENT  
 FILED: MARCH 11, 2004  
 (2004C-84)

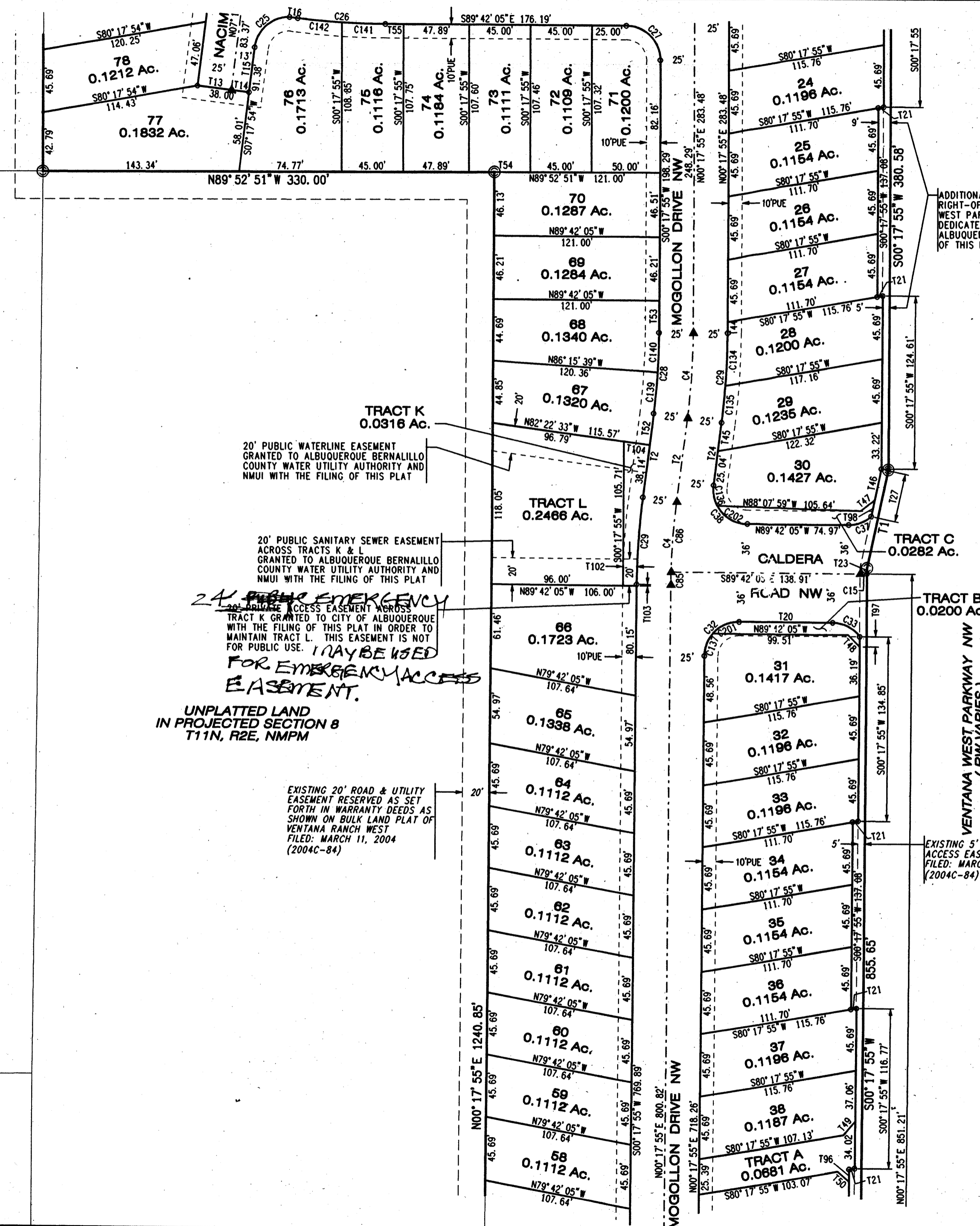
25' PUBLIC DRAINAGE EASEMENT  
 GRANTED TO CITY OF ALBUQUERQUE  
 AND 25' PUBLIC WATERLINE EASEMENT  
 GRANTED TO ALBUQUERQUE BERNALILLO  
 COUNTY WATER UTILITY AUTHORITY AND  
 NMUI WITH THE FILING OF THIS PLAT

NGS BRASS TABLET STAMPED "UNION 1969"  
 GEOGRAPHIC POSITION (NAD 1927)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 Y=353,409.02 X=1,523,440.96  
 GROUND TO GRID FACTOR = 0.99966044  
 DELTA ALPHA = -00'16"58"  
 NGVD 1929 ELEVATION = 5522.0 (TRIG)

PLAT OF  
**WESTERN RIDGE SUBDIVISION  
 UNIT 1  
 AT VENTANA RANCH WEST**  
 (A REPLAT OF TRACT 2, VENTANA RANCH WEST)  
 ALBUQUERQUE, NEW MEXICO  
 APRIL, 2005



LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	PROJECTED SECTION LINE
	RIGHT OF WAY
	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469"
	FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"



TRACT K  
 0.0316 Ac.  
 20' PUBLIC WATERLINE EASEMENT GRANTED TO ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY AND NMUI WITH THE FILING OF THIS PLAT

TRACT L  
 0.2466 Ac.  
 20' PUBLIC SANITARY SEWER EASEMENT ACROSS TRACTS K & L GRANTED TO ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY AND NMUI WITH THE FILING OF THIS PLAT

**24' PUBLIC EMERGENCY ACCESS EASEMENT**  
 TRACT K GRANTED TO CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT IN ORDER TO MAINTAIN TRACT L. THIS EASEMENT IS NOT FOR PUBLIC USE. *IT MAY BE USED FOR EMERGENCY ACCESS EASEMENT.*

UNPLATTED LAND IN PROJECTED SECTION 8 T11N, R2E, NMPM

EXISTING 20' ROAD & UTILITY EASEMENT RESERVED AS SET FORTH IN WARRANTY DEEDS AS SHOWN ON BULK LAND PLAT OF VENTANA RANCH WEST FILED: MARCH 11, 2004 (2004C-84)

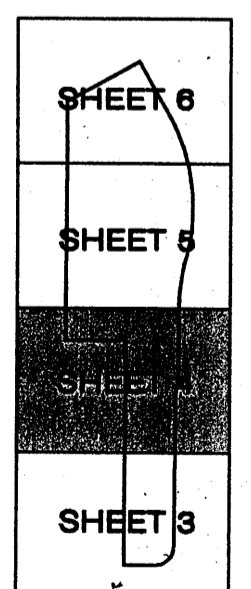
ADDITIONAL PUBLIC STREET RIGHT-OF-WAY FOR VENTANA WEST PARKWAY NW TO BE DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

TRACT F  
 VENTANA MESA SUBDIVISION UNIT 1 AT VENTANA RANCH WEST  
 FILED: MARCH 3, 2005 (2005C-86)

TRACT C  
 0.0282 Ac.  
 CALDERA

TRACT B  
 0.0200 Ac.  
 VENTANA WEST PARKWAY NW (RW VARIES)

TRACT D  
 VENTANA MESA SUBDIVISION UNIT 1 AT VENTANA RANCH WEST  
 FILED: MARCH 3, 2005 (2005C-86)

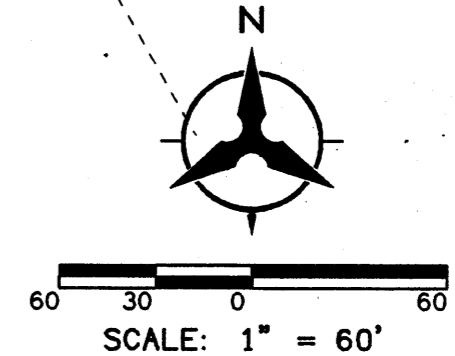


**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



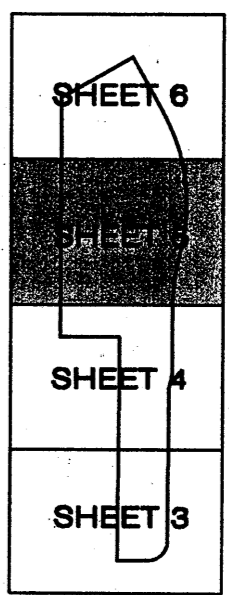
PLAT OF  
**WESTERN RIDGE SUBDIVISION  
 UNIT 1**  
**AT VENTANA RANCH WEST**  
 (A REPLAT OF TRACT 2, VENTANA RANCH WEST)

ALBUQUERQUE, NEW MEXICO  
 APRIL, 2005



**LEGEND**

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- CENTERLINE
- - - PROPOSED EASEMENT LINE
- - - EXISTING EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- - - PROJECTED SECTION LINE
- - - RIGHT-OF-WAY
- PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- SET 5/8" REBAR WITH 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469"
- ◎ FOUND 5/8" REBAR WITH 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"



**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

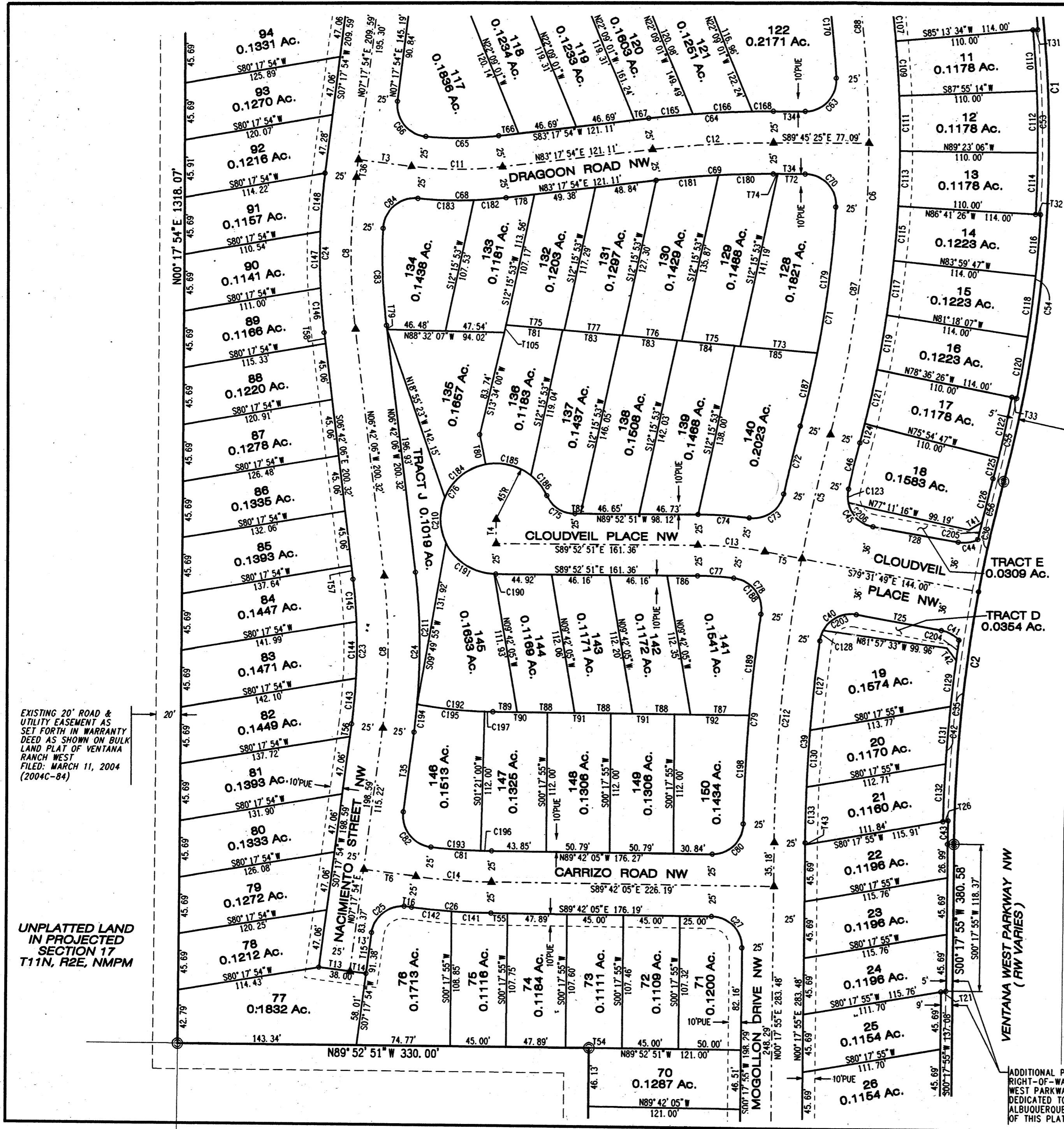
TRACT D  
**VENTANA RANCH  
 WEST**  
 FILED: MARCH 11, 2004  
 (2004C-84)

EXISTING 5' PUBLIC  
 ACCESS EASEMENT  
 FILED: MARCH 11, 2004  
 (2004C-84)

TRACT F  
**VENTANA MESA SUBDIVISION  
 UNIT 1**  
**AT**  
**VENTANA RANCH WEST**  
 FILED: MARCH 3, 2005  
 (2005C-86)

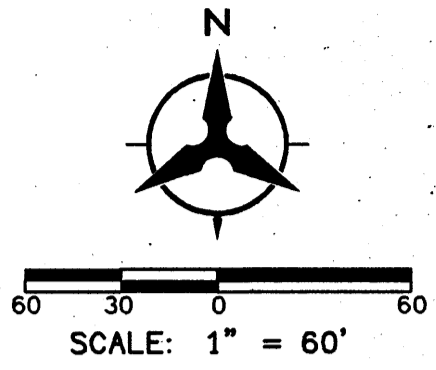
**VENTANA WEST PARKWAY NW  
 (RW VARIES)**

ADDITIONAL PUBLIC STREET  
 RIGHT-OF-WAY FOR VENTANA  
 WEST PARKWAY NW TO BE  
 DEDICATED TO THE CITY OF  
 ALBUQUERQUE WITH THE FILING  
 OF THIS PLAT



EXISTING 20' ROAD &  
 UTILITY EASEMENT AS  
 SET FORTH IN WARRANTY  
 DEED AS SHOWN ON BULK  
 LAND PLAT OF VENTANA  
 RANCH WEST  
 FILED: MARCH 11, 2004  
 (2004C-84)

UNPLATTED LAND  
 IN PROJECTED  
 SECTION 17  
 T11N, R2E, NMPM



ACS BRASS TABLE STAMPED "1-A8 1980"  
 GEOGRAPHIC POSITION (NAD 1927)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X=350,152.25 Y=1,531,818.60  
 GROUND TO GRID FACTOR = 0.9996593  
 DELTA ALPHA = -00°17'21"  
 NGVD 1929 ELEVATION = 5570.04

EXISTING 50' SOUTHERN UNION GAS COMPANY EASEMENT RECORDED SEPTEMBER 16, 1930 (BK. 112, PG. 515) AND RIGHT-OF-WAY GRANTED TO ALBUQUERQUE NATURAL GAS COMPANY RECORDED DECEMBER 11, 1931 (BK. 123, PG. 152) AND RIGHT-OF-WAY GRANT AND RELEASE OF CLAIMS RECORDED: MARCH 29, 1956 (VOLUME D346, FOLIO 356-360) DOCUMENT NO. 90568

**PLAT OF  
 WESTERN RIDGE SUBDIVISION  
 UNIT 1  
 AT VENTANA RANCH WEST  
 (A REPLAT OF TRACT 2, VENTANA RANCH WEST)**  
 ALBUQUERQUE, NEW MEXICO  
 APRIL, 2005

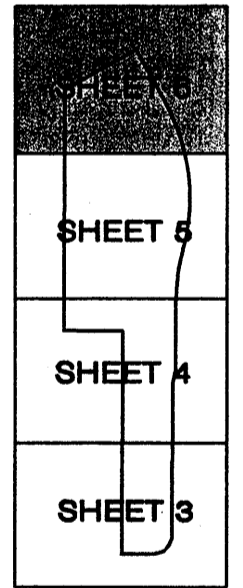
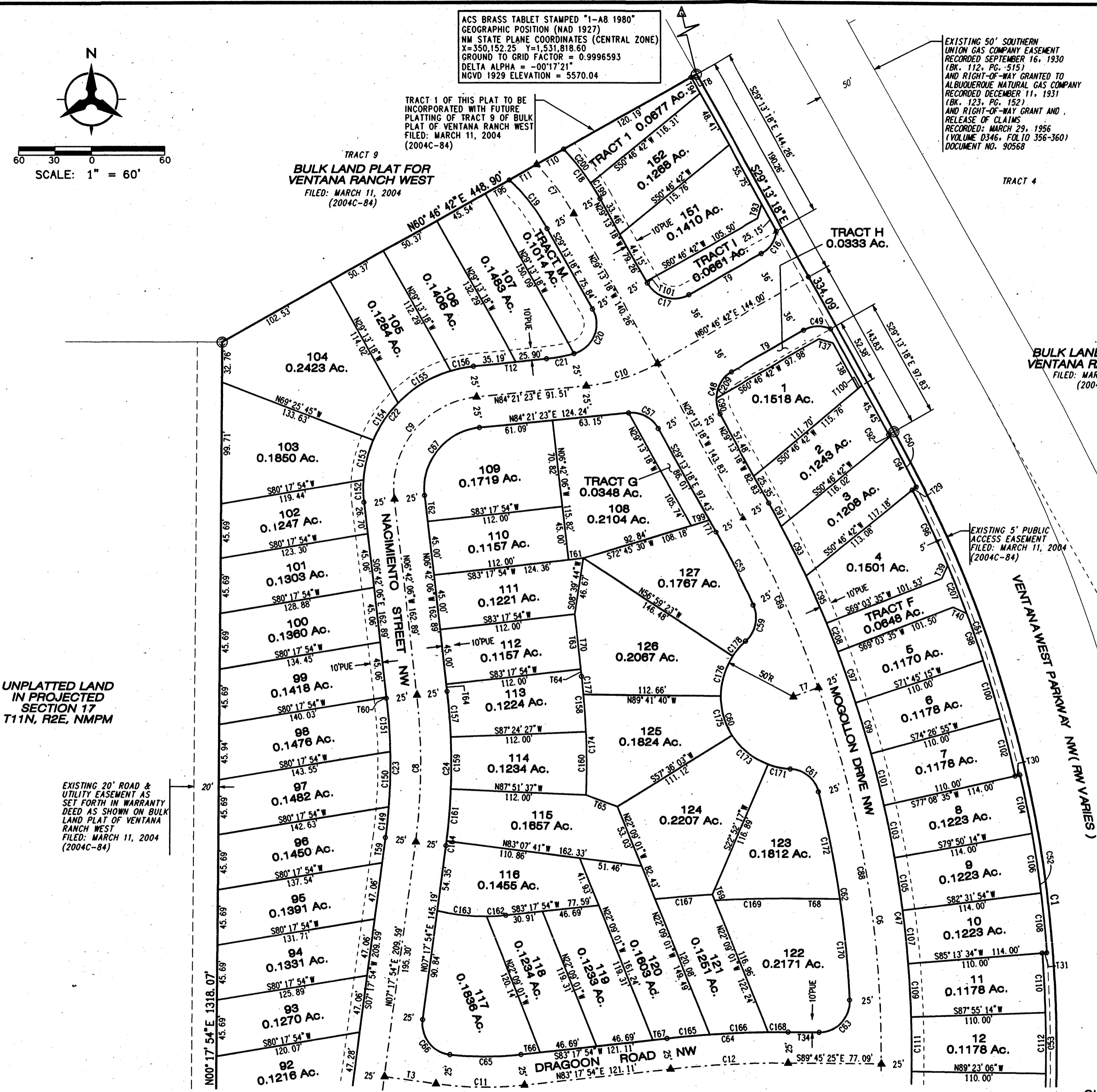
LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	PROJECTED SECTION LINE
	RIGHT OF WAY
	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469"
	FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 654"

UNPLATTED LAND IN PROJECTED SECTION 17 T11N, R2E, NMPM

EXISTING 20' ROAD & UTILITY EASEMENT AS SET FORTH IN WARRANTY DEED AS SHOWN ON BULK LAND PLAT OF VENTANA RANCH WEST FILED: MARCH 11, 2004 (2004C-84)

BULK LAND PLAT FOR VENTANA RANCH WEST FILED: MARCH 11, 2004 (2004C-84)

EXISTING 5' PUBLIC ACCESS EASEMENT FILED: MARCH 11, 2004 (2004C-84)



**Bohannon & Huston**

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

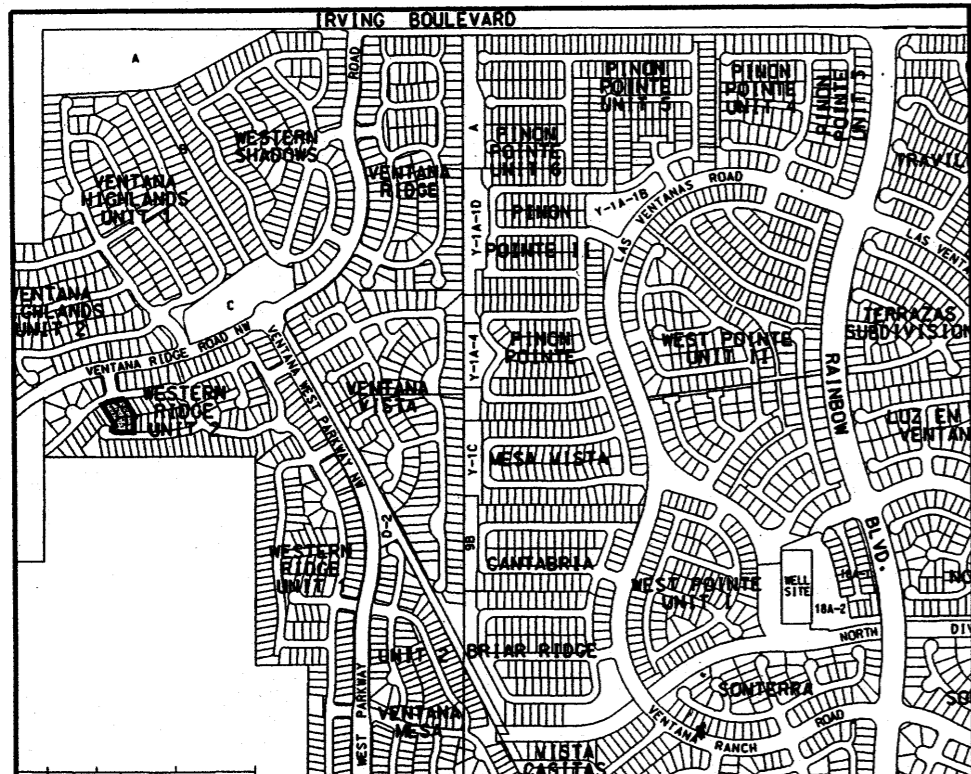


PLAT OF  
**WESTERN RIDGE SUBDIVISION  
 UNIT 1**  
**AT VENTANA RANCH WEST**  
 (A REPLAT OF TRACT 2, VENTANA RANCH WEST)  
 ALBUQUERQUE, NEW MEXICO  
 APRIL, 2005

Curve Data													
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG	ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	44°15'08"	429.36'	815.60'	1056.00'	795.48'	S07°05'44"E	C91	01°21'23"	11.09'	22.18'	937.00'	22.18'	N28°32'37"W
C2	14°43'55"	147.89'	294.15'	1144.00'	293.34'	S07°39'52"W	C92	00°06'38"	1.02'	2.03'	1051.00'	2.03'	S29°09'59"E
C3	89°53'17"	99.81'	156.88'	100.00'	141.28'	S45°14'33"W	C93	02°49'47"	23.14'	46.28'	937.00'	46.27'	N26°27'02"W
C4	07°02'05"	30.73'	61.39'	500.00'	61.35'	N03°48'57"E	C94	02°30'35"	23.02'	46.04'	1051.00'	46.03'	S27°51'22"E
C5	04°33'39"	51.29'	102.53'	1288.00'	102.50'	N12°45'00"E	C95	02°33'59"	20.99'	41.97'	937.00'	41.97'	N23°45'09"W
C6	44°15'08"	370.81'	704.38'	912.00'	687.00'	N07°05'44"W	C96	03°46'42"	34.54'	69.04'	1047.00'	69.03'	S24°39'47"E
C7	16°07'40"	25.50'	50.67'	180.00'	50.50'	N37°17'08"W	C97	02°41'40"	22.04'	44.06'	937.00'	44.06'	N19°35'35"W
C8	14°00'00"	61.39'	122.17'	500.00'	121.87'	N00°17'54"E	C98	02°13'45"	20.37'	40.74'	1047.00'	40.73'	S19°21'38"E
C9	91°03'29"	76.40'	119.19'	75.00'	107.04'	N38°49'39"E	C99	02°41'40"	22.04'	44.06'	937.00'	44.06'	N16°53'55"W
C10	23°34'41"	31.31'	61.73'	150.00'	61.29'	N72°34'02"E	C100	02°41'40"	22.04'	44.06'	937.00'	44.06'	S16°53'55"E
C11	14°00'00"	36.84'	73.30'	300.00'	73.12'	S89°42'06"E	C101	02°41'40"	22.04'	44.06'	937.00'	44.06'	N14°12'16"W
C12	06°56'41"	48.54'	96.97'	800.00'	96.91'	N86°46'15"E	C102	02°41'40"	22.04'	44.06'	1047.00'	44.06'	S14°12'16"E
C13	10°21'02"	27.17'	54.20'	300.00'	54.12'	S84°42'20"E	C103	02°41'40"	22.04'	44.06'	937.00'	44.06'	N11°30'36"W
C14	06°59'59"	30.58'	61.08'	500.00'	61.05'	S86°12'06"E	C104	02°41'40"	22.04'	44.06'	1051.00'	44.06'	S11°30'36"E
C15	00°34'23"	2.50'	5.00'	500.00'	5.00'	S89°24'54"E	C105	02°41'40"	22.04'	44.06'	937.00'	44.06'	N08°48'56"W
C16	53°07'48"	12.50'	23.18'	25.00'	22.36'	S34°12'48"W	C106	02°41'40"	22.04'	44.06'	1051.00'	44.06'	S08°48'56"E
C17	90°00'00"	25.00'	39.27'	25.00'	35.36'	N74°13'18"W	C107	02°41'40"	22.04'	44.06'	937.00'	44.06'	N06°07'16"W
C18	14°07'01"	25.38'	50.51'	205.00'	50.38'	N36°16'49"W	C108	02°41'40"	22.04'	44.06'	1051.00'	44.06'	S06°07'16"E
C19	18°49'09"	25.69'	50.91'	155.00'	50.68'	S38°37'52"E	C109	02°41'40"	22.04'	44.06'	937.00'	44.06'	N03°25'36"W
C20	104°04'18"	32.04'	45.41'	25.00'	39.42'	S22°48'51"W	C110	02°41'40"	22.04'	44.06'	1047.00'	44.06'	S03°25'36"E
C21	09°30'23"	11.56'	23.06'	139.00'	23.04'	S79°36'11"W	C111	02°41'40"	22.04'	44.06'	937.00'	44.06'	N00°43'56"W
C22	91°03'29"	101.86'	158.93'	100.00'	142.72'	S38°49'38"W	C112	02°41'40"	22.04'	44.06'	1047.00'	44.06'	S00°43'56"E
C23	14°00'00"	58.32'	116.06'	475.00'	115.78'	S00°17'54"W	C113	02°41'40"	22.04'	44.06'	937.00'	44.06'	N01°57'44"E
C24	14°00'00"	64.46'	128.28'	525.00'	127.96'	S00°17'54"W	C114	02°41'40"	22.04'	44.06'	1047.00'	44.06'	S01°57'44"W
C25	83°31'05"	22.58'	36.86'	25.29'	33.68'	N49°17'48"E	C115	02°41'40"	22.04'	44.06'	937.00'	44.06'	N04°39'24"E
C26	06°59'59"	32.11'	64.14'	525.00'	64.10'	S86°12'05"E	C116	02°41'40"	22.04'	44.06'	1051.00'	44.06'	S04°39'24"W
C27	90°00'00"	25.00'	39.27'	25.00'	35.36'	S44°42'05"E	C117	02°41'40"	22.04'	44.06'	937.00'	44.06'	N07°21'03"E
C28	07°02'05"	29.20'	58.32'	475.00'	58.28'	S03°48'57"W	C118	02°41'40"	22.04'	44.06'	1051.00'	44.06'	S07°21'03"W
C29	07°02'05"	32.27'	64.46'	525.00'	64.42'	S03°48'57"W	C119	02°41'40"	22.04'	44.06'	937.00'	44.06'	N10°02'43"E
C30	89°53'17"	9.98'	15.69'	10.00'	14.13'	S45°14'33"W	C120	02°41'40"	22.04'	44.06'	1051.00'	44.06'	S10°02'43"W
C31	90°06'43"	10.02'	15.73'	10.00'	14.16'	N44°45'27"W	C121	02°41'40"	22.04'	44.06'	937.00'	44.06'	N12°44'23"E
C32	90°00'00"	25.00'	39.27'	25.00'	35.36'	N45°17'55"E	C122	02°41'40"	22.04'	44.06'	1047.00'	44.06'	S12°44'23"W
C33	53°07'48"	12.50'	23.18'	25.00'	22.36'	S63°08'11"E	C123	25°04'52"	5.56'	10.94'	25.00'	10.86'	N00°45'12"E
C34	84°08'57"	90.28'	146.87'	100.00'	134.02'	N42°22'23"E	C124	00°56'37"	7.72'	15.43'	937.00'	15.43'	N14°33'31"E
C35	10°10'16"	101.81'	203.08'	1144.00'	202.82'	N05°23'03"E	C125	00°56'37"	8.62'	17.24'	1047.00'	17.24'	S14°33'31"W
C36	04°33'39"	45.56'	91.06'	1144.00'	91.04'	N12°45'00"E	C126	01°47'45"	18.07'	36.14'	1153.00'	36.14'	S14°07'57"W
C37	41°21'43"	9.44'	18.05'	25.00'	17.66'	S69°37'04"W	C127	03°14'05"	35.66'	71.30'	1263.00'	71.30'	N06°01'41"E
C38	97°02'05"	28.27'	42.34'	25.00'	37.46'	N41°11'02"W	C128	20°23'11"	4.50'	8.90'	25.00'	8.85'	N17°50'19"E
C39	07°20'49"	81.09'	161.95'	1263.00'	161.84'	N03°58'19"E	C129	01°49'46"	18.41'	36.81'	1153.00'	36.81'	S06°42'14"W
C40	92°49'28"	26.26'	40.50'	25.00'	36.22'	N54°03'27"E	C130	02°05'45"	23.10'	46.20'	1263.00'	46.20'	N03°21'46"E
C41	37°15'12"	8.43'	16.25'	25.00'	15.97'	S60°54'13"E	C131	02°18'30"	23.23'	46.45'	1153.00'	46.45'	S04°38'06"W
C42	07°13'57"	72.87'	145.51'	1153.00'	145.45'	S04°48'38"W	C132	02°17'12"	23.01'	46.02'	1153.00'	46.01'	S02°20'16"W
C43	00°56'03"	9.37'	18.74'	1149.00'	18.74'	S00°45'56"W	C133	02°00'59"	22.23'	44.45'	1263.00'	44.45'	N01°18'24"E
C44	36°46'06"	8.31'	16.04'	25.00'	15.77'	S82°05'08"W	C134	04°09'10"	19.03'	38.05'	525.00'	38.04'	N02°22'30"W
C45	92°49'27"	26.26'	40.50'	25.00'	36.22'	N33°07'05"W	C135	02°52'55"	13.21'	26.41'	525.00'	26.41'	N05°53'32"E
C46	01°44'12"	19.14'	38.28'	1263.00'	38.28'	N14°09'44"E	C136	35°31'11"	8.01'	15.50'	25.00'	15.25'	N10°25'35"W
C47	44°15'08"	380.97'	723.69'	937.00'	705.83'	N07°05'44"W	C137	40°29'15"	9.22'	17.67'	25.00'	17.30'	N20°32'32"E
C48	90°00'00"	25.00'	39.27'	25.00'	35.36'	N15°46'42"E	C138	05°44'21"	5.01'	10.02'	100.00'	10.01'	S87°19'02"W
C49	53°07'48"	12.50'	23.18'	25.00'	22.36'	N87°20'36"E	C139	03°35'39"	14.90'	29.80'	475.00'	29.79'	S05°32'10"W
C50	02°37'13"	24.04'	48.07'	1051.00'	48.06'	S27°54'41"E	C140	03°26'26"	14.27'	28.52'	475.00'	28.52'	S02°01'08"W
C51	13°41'43"	125.73'	250.26'	1047.00'	249.67'	S19°42'17"E	C141	03°27'44"	15.87'	31.72'	525.00'	31.72'	S87°58'13"E
C52	08°05'00"	74.26'	148.27'	1051.00'	148.15'	S08°48'56"E	C142	03°32'15"	16.21'	32.41'	525.00'	32.41'	S84°28'13"E
C53	08°05'00"	73.96'	147.71'	1047.00'	147.59'	S00°43'56"E	C143	04°22'42"	18.16'	36.30'	475.00'	36.29'	S05°06'33"W
C54	08°05'00"	74.26'	148.27'	1051.00'	148.15'	S07°21'03"W	C144	05°30'42"	22.86'	45.69'	475.00'	45.68'	S00°09'51"W
C55	03°38'17"	33.25'	66.48'	1047.00'	66.47'	S13°12'42"W	C145	04°06'36"	17.04'	34.07'	475.00'	34.07'	S04°38'48"E
C56	02°31'28"	25.40'	50.80'	1153.00'	50.79'	S13°46'06"W	C146	03°56'48"	18.09'	36.16'	525.00'	36.15'	S04°43'42"E
C57	66°25'19"	16.37'	28.98'	25.00'	27.39'	S62°25'57"E	C147	04°58'48"	22.83'	45.63'	525.00'	45.62'	S00°15'54"E
C58	04°22'21"	33.86'	67.69'	887.00'	67.68'	S27°02'07"E	C148	05°04'24"	23.26'	46.49'	525.00'	46.47'	S04°45'42"W
C59	73°28'54"	18.66'	32.06'	25.00'	29.91'	S11°53'31"W	C149	03°06'04"	12.86'	25.71'	475.00'	25.71'	S05°44'52"W
C60	136°27'19"	150.22'	142.90'	60.00'	111.44'	S19°35'42"E	C150	05°32'03"	22.96'	45.88'	475.00'	45.86'	S01°25'48"W
C61	73°28'54"	18.66'	32.06'	25.00'	29.91'	S51°04'54"E	C151	05°21'53"	22.25'	44.47'	475.00'	44.46'	S04°01'10"E
C62	11°15'30"	87.43'	174.29'	887.00'	174.01'	S08°42'42"E	C152	10°37'55"	9.30'	18.56'	100.00'	18.53'	S01°23'09"E
C63	93°19'31"	26.49'	40.72'	25.00'	36.37'	S43°34'49"W	C153	19°19'35"	17.03'	33.73'	100.00'	33.57'	S13°35'36"W
C64	06°56'41"	50.06'	100.00'	825.00'	99.94'	S86°46'14"W	C154	20°57'53"	18.50'	36.99'	100.00'	36.39'	S33°44'20"W
C65	12°16'22"	29.57'	58.91'	275.00'	58.79'	S89°26'05"W	C155	29°11'38"	26.04'	50.95'	100.00'	50.40'	S58°49'05"W
C66	91°43'38"	25.77'	40.02'	25.00'	35.88'	N38°33'55"W	C156	10°56'29"	9.58'	19.10'	100.00'	19.07'	S78°53'09"W
C67	91°03'29"	50.93'	79.46'	50.00'	71.36'	N38°49'39"E	C157	04°06'33"	18.83'	37.65'	525.00'	37.64'	N04°38'50"E
C68	12°32'08"	35.70'	71.11'	325.00'	70.96'	N89°33'58"E	C158	04°06'33"	22.85'	45.68'	637.00'	45.67'	S04°38'50"E
C69	06°56'41"	47.03'	93.94'	775.00'	93.88'	N86°46'15"E	C159	04°43'56"	21.69'	43.36'	525.00'	43.35'	N00°13'35"W
C70	93°19'31"	26.49'	40.72'	25.00'	36.37'	S43°05'40"E	C160	04°43'56"	26.32'	52.61'	637.00'	52.60'	S00°13'35"E
C71	11												



SP-2006163282



**LOCATION MAP**  
ZONE ATLAS INDEX MAP No. B-8  
NOT TO SCALE

**SUBDIVISION DATA**

1. DRB No.
2. Zone Atlas Index Nos. B-8-Z; Zoning: FLT.
3. Gross Subdivision Acreage: 0.6276 Acre.
4. Total Number of Tracts Created: Five (5) Lots.
5. No streets were created with this plat.
6. Date of Survey: January, 2006.
7. Plat is located within the Town of Alameda Grant, within projected Section 8, T11N, R2E, NMPM.

**DISCLOSURE STATEMENT**

The purpose of this Plat is to subdivide all of Lots 195, 196, 197, 212 & 213 of the Plat of Western Ridge Subdivision, Unit 2 at Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on January 19, 2006 in Book 2006C, Page 19 as Document No. 2006008601 into five (5) lots.

**NOTES**

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 and are the same as shown on the Plat of Western Ridge Subdivision, Unit 2 at Ventana Ranch West, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on January 19, 2006 in Book 2006C, Page 19 as Document No. 2006008601.
2. Distances are ground distances.
3. All easements of record are shown.
4. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	00°09'21"	3.15'	6.30'	2317.00'	6.30'	S83°34'22"W
C2	66°25'19"	16.37'	28.98'	25.00'	27.39'	N56°35'40"W
C3	10°29'58"	4.13'	8.25'	45.00'	8.23'	N28°37'59"W
C4	18°22'24"	56.60'	112.24'	350.00'	111.76'	N73°20'57"E
C5	01°38'17"	14.91'	29.82'	1043.00'	29.82'	N83°21'18"E
C6	07°28'28"	22.86'	45.66'	350.00'	45.63'	N67°54'00"E
C7	07°42'47"	23.59'	47.12'	350.00'	47.08'	N75°29'37"E
C8	03°11'08"	9.73'	19.46'	350.00'	19.46'	N80°56'35"E

ID	BEARING	DISTANCE
T1	N56°07'02"E	26.71'
T2	S31°20'35"W	22.62'
T3	S10°11'41"W	37.29'
T4	S84°30'57"W	41.21'
T5	S58°23'33"W	8.00'
T6	S84°30'57"W	2.61'
T7	S84°30'57"W	43.82'

**DESCRIPTION**

A certain tract of land being located within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, N.M.P.M., Bernalillo County, New Mexico, and being the same as Lots 195, 196, 197, 212 & 213 of the Plat of Western Ridge Subdivision, Unit 2 at Ventana Ranch West filed in the office of the County Clerk of Bernalillo County, New Mexico on January 19, 2006 in Book 2006C, Page 19 as Document No. 2006008601.

Tract contains 0.6276 acre of land, more or less.

**FREE CONSENT AND DEDICATION**

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Lots 195, 196, 197, 212 & 213 of the Plat of Western Ridge Subdivision, Unit 2 at Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on January 19, 2006 in Book 2006C, Page 19 as Document No. 2006008601, now comprising Lots 195-A, 196-A, 197-A, 212-A & 213-A Western Ridge Subdivision, Unit 2 at Ventana Ranch West, Albuquerque, New Mexico is with free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s). In the event Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's and/or assigns property to access the easement areas for the purposes of performing the Work. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

PULTE HOMES OF NEW MEXICO, INC.

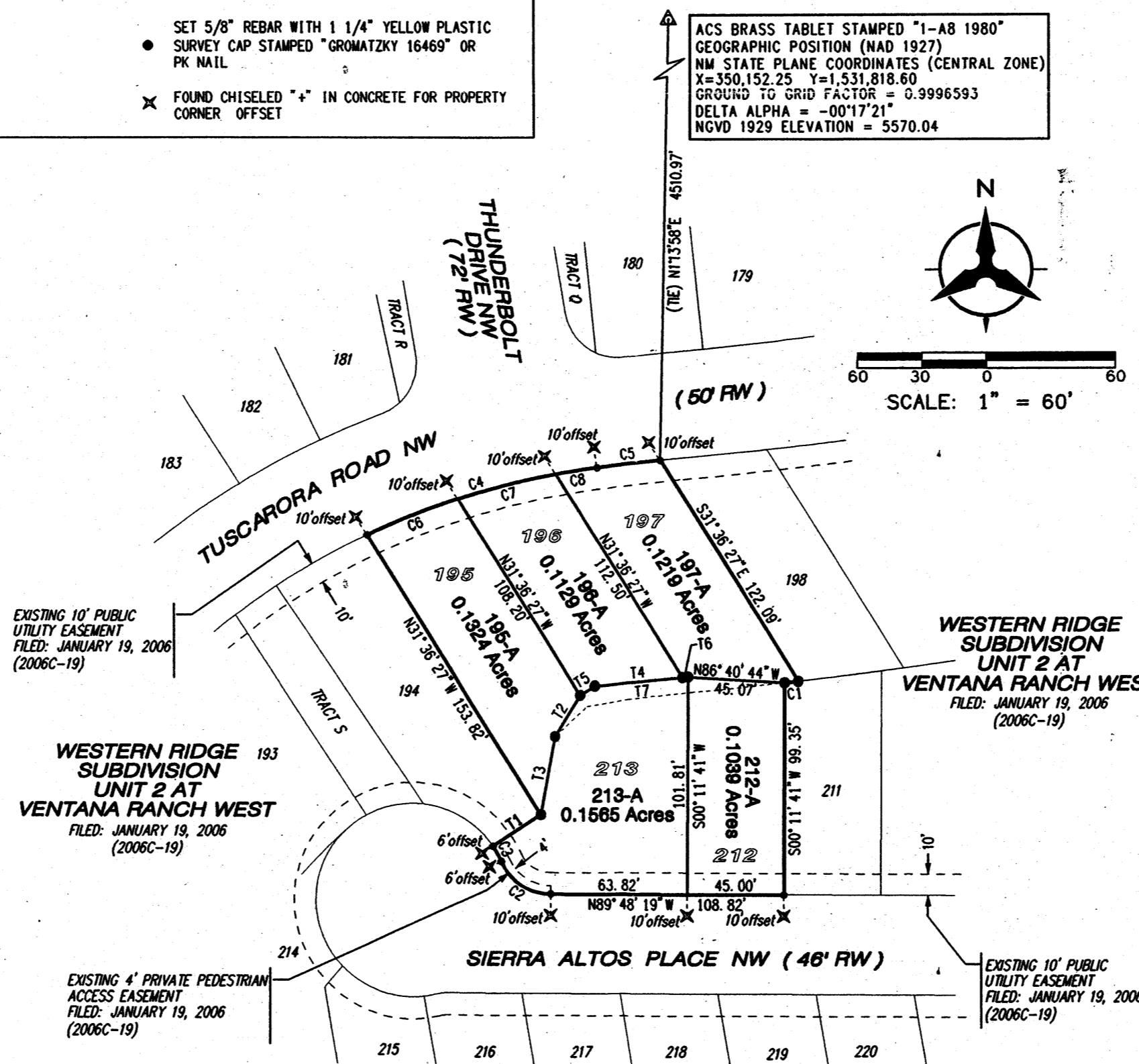
BY: *Garret Price*  
Garret Price, Vice President of Land  
Pulte Homes of New Mexico, Inc.

State of New Mexico )  
County of Bernalillo )

This instrument was acknowledged before me on 20<sup>th</sup> day of April, 2006, by Garret Price, Vice President of Land, Pulte Homes of New Mexico, Inc.

My Commission Expires: 1-31-2010 *Janifer A. Lind*  
Notary Public

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
	SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469" OR PK NAIL
	FOUND CHISELED "+" IN CONCRETE FOR PROPERTY CORNER OFFSET



PLAT OF  
**LOTS 195-A, 196-A, 197-A,  
212-A & 213-A**  
**WESTERN RIDGE SUBDIVISION  
UNIT 2**  
**AT VENTANA RANCH WEST**  
(A REPLAT OF LOTS 195, 196, 197, 212 & 213  
WESTERN RIDGE SUBDIVISION UNIT 2)  
ALBUQUERQUE, NEW MEXICO  
APRIL, 2006

PROJECT NUMBER \_\_\_\_\_  
APPLICATION NUMBER \_\_\_\_\_

**PLAT APPROVAL**

UTILITY APPROVALS:

NEW MEXICO UTILITIES, INC. \_\_\_\_\_ DATE \_\_\_\_\_

CITY APPROVAL: *Robert Gromatzky* 4/25/06  
CITY SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

UTILITIES DEVELOPMENT \_\_\_\_\_ DATE \_\_\_\_\_

PARKS & RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

A. M. A. F. C. A. \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

DRB CHAIRPERSON, PLANNING DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

VENTANA RANCH WEST COMMUNITY ASSOCIATION \_\_\_\_\_ DATE \_\_\_\_\_

**TAX CERTIFICATION**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # \_\_\_\_\_

PROPERTY OWNER OF RECORD \_\_\_\_\_

BERNALILLO COUNTY TREASURER'S OFFICE \_\_\_\_\_ DATE \_\_\_\_\_

**SURVEYOR'S CERTIFICATION**

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

*Robert Gromatzky*  
Robert Gromatzky  
New Mexico Professional Surveyor 16469  
Date: April 13, 2006



**Bohannon & Huston**  
Court yard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES



**PRELIMINARY PLAT**  
**APPROVED BY DRB**  
**ON 10-27-04**

**PRELIMINARY PLAT**  
**WESTERN RIDGE SUBDIVISION**  
**UNIT 1 & UNIT 2**  
**(REPLAT OF TRACT 2, 9 & 14**  
**AT VENTANA RANCH WEST)**  
**ALBUQUERQUE, NEW MEXICO**  
**SEPTEMBER, 2004**

Curve Data						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	89°53'17"	99.81	156.88	100.00'	141.28'	S45°14'33"W
C2	90°00'00"	25.00'	39.27'	25.00'	35.36'	N45°17'49"E
C3	44°38'38"	467.24'	886.71'	1138.00'	864.45'	N67°58'30"E
C4	38°58'22"	428.87'	824.41'	1212.00'	808.61'	N65°08'22"E
C5	23°50'51"	430.36'	848.25'	2038.00'	842.15'	N72°42'08"E
C6	90°00'00"	80.00'	125.66'	80.00'	113.14'	S74°13'18"E
C7	44°15'08"	429.36'	815.60'	1056.00'	795.48'	S07°05'44"E
C8	14°43'55"	147.89'	294.15'	1144.00'	293.34'	S07°39'52"W

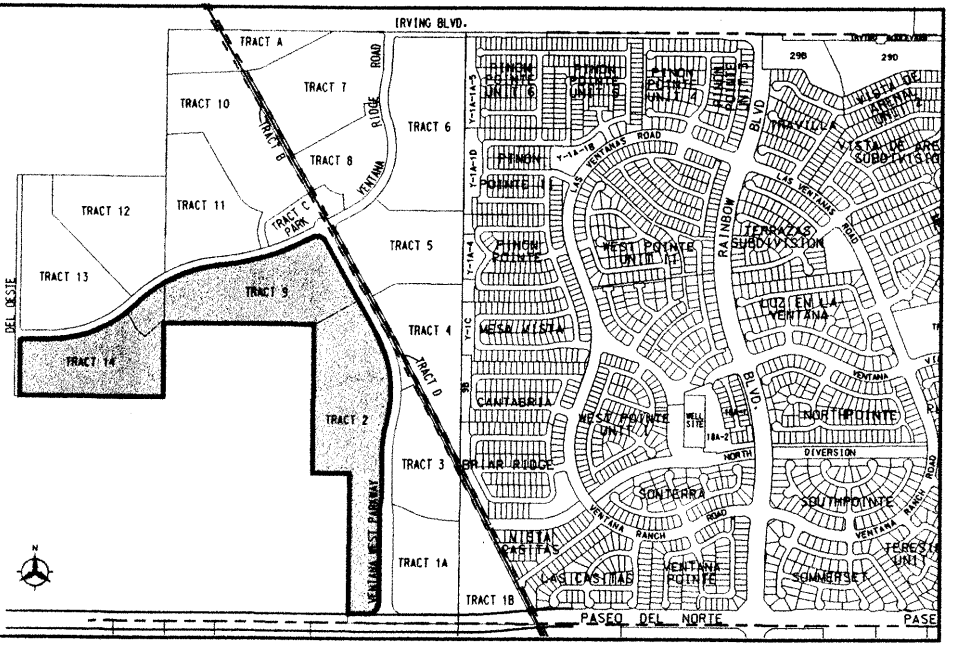
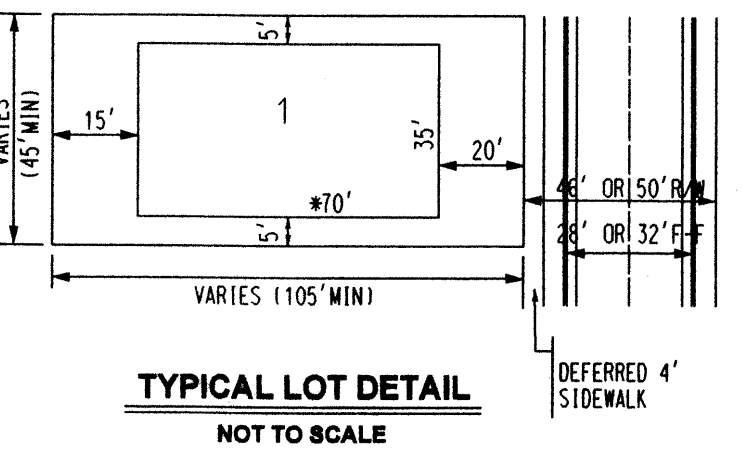
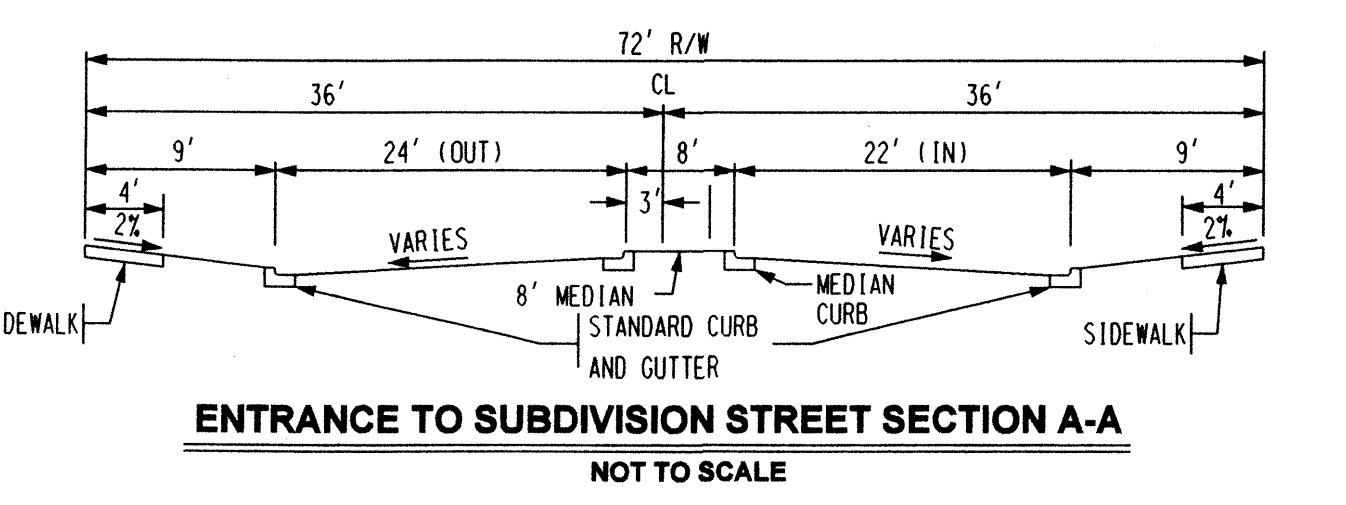
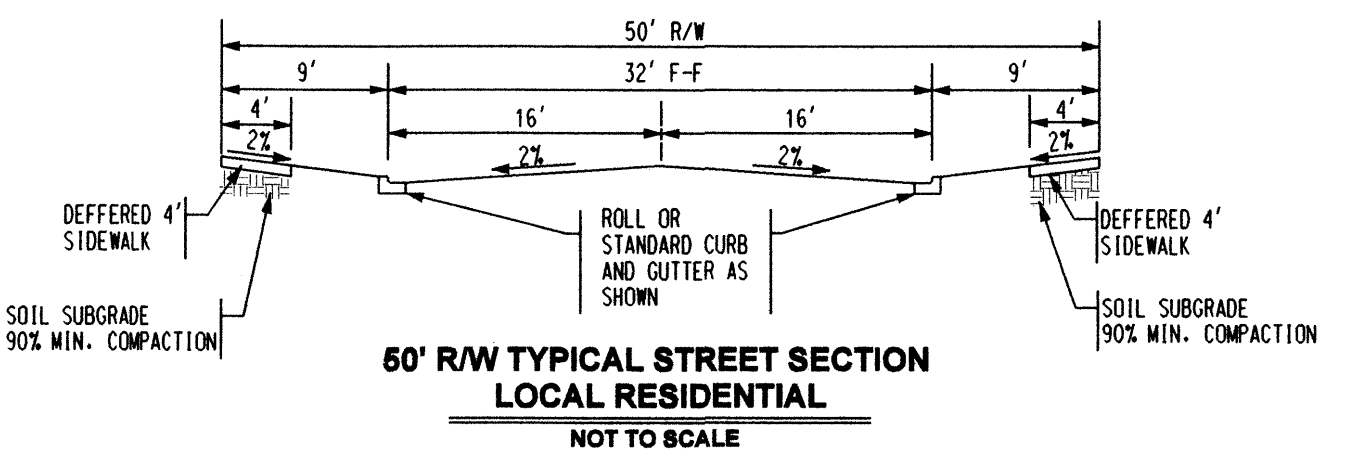
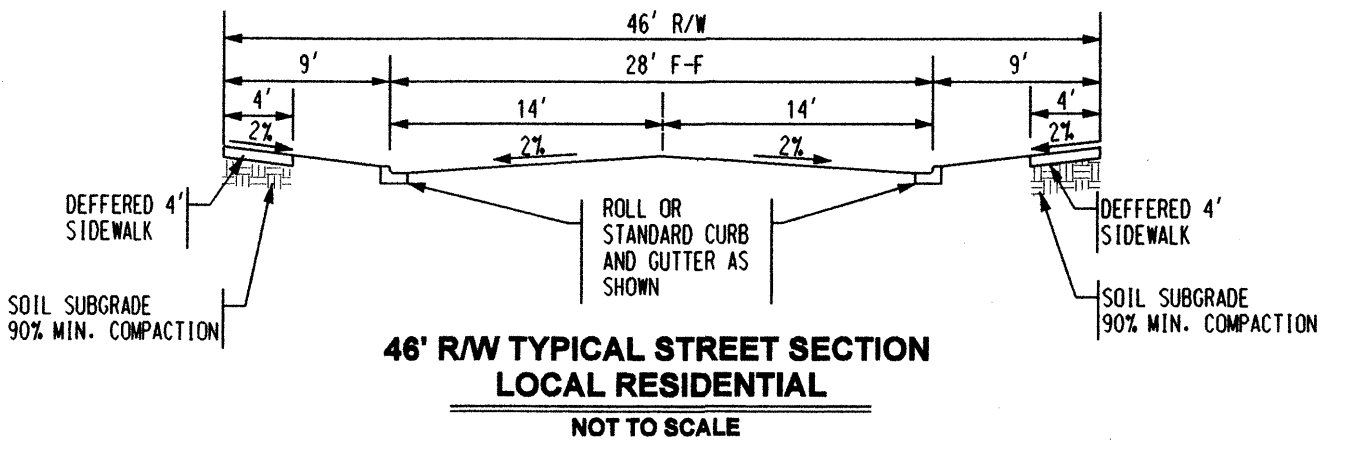
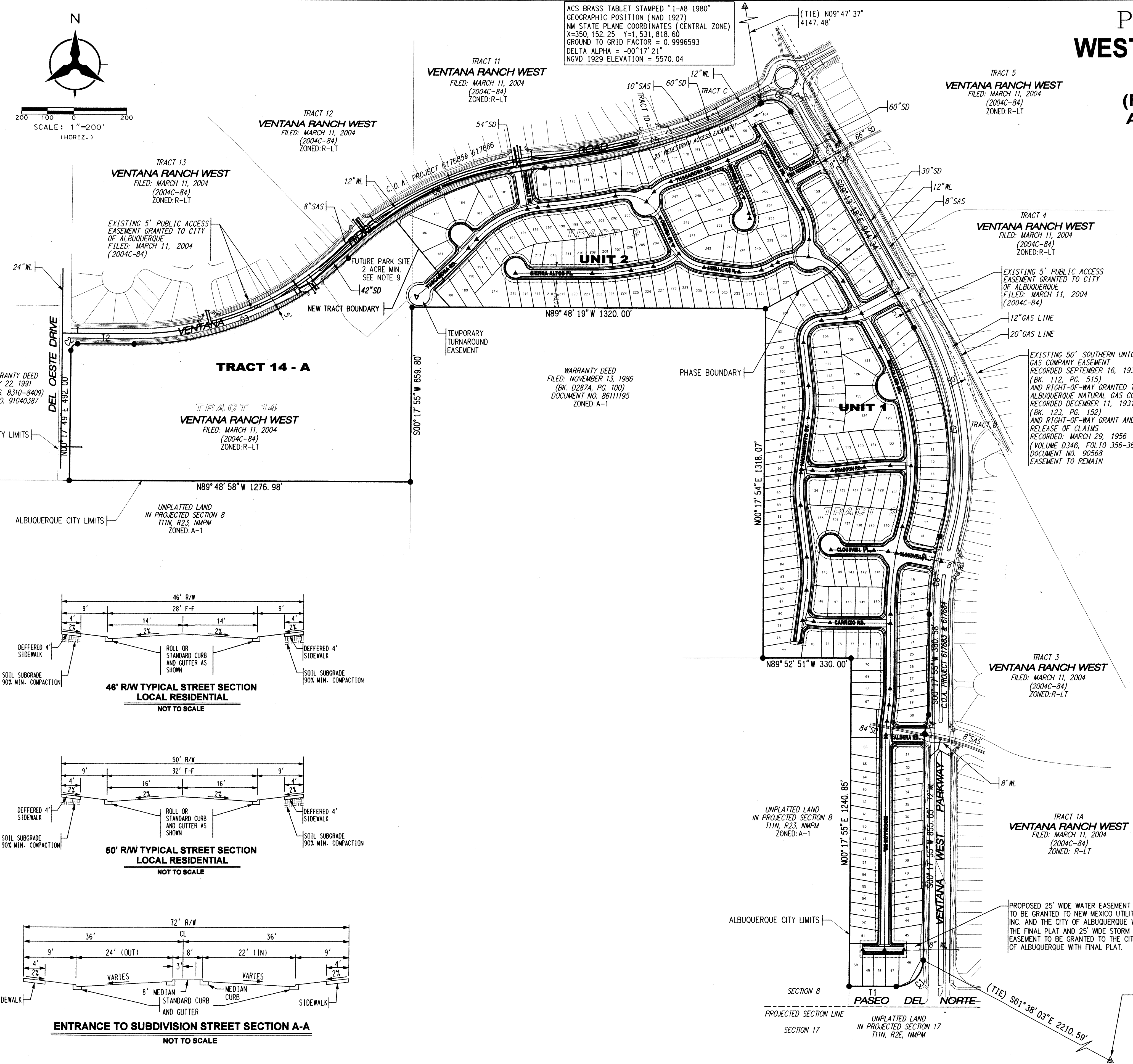
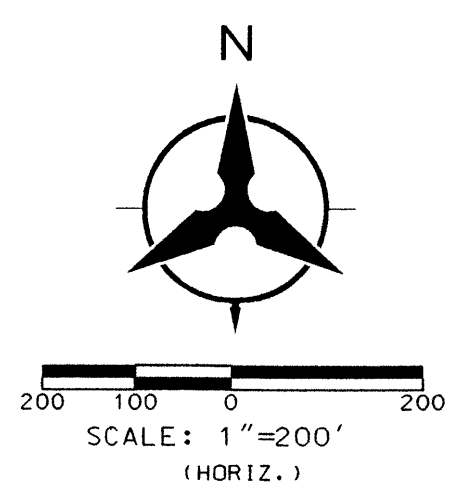
Tangent Data		
ID	BEARING	DISTANCE
T1	N89°48'48"W	175.20'
T2	S89°42'11"E	212.50'
T3	N60°46'42"E	7.00'
T4	S12°04'00"W	73.55'

**SURVEY NOTES:**

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS (●) SHALL BE MARKED BY A #5 REBAR STAMPED "WEAVER LS 6544".
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT DESIGNATED CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN THUS (▲) WILL BE MARKED BY A FOUR (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE, CENTERLINE MONUMENTATION, DO NOT DISTURB, P.L.S. 6544".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW THE USE OF CENTERLINE MONUMENTATION.

APPROVED FOR MONUMENTATION AND STREET NAMES

*[Signature]*  
 CITY SURVEYOR  
 10-1-04  
 DATE



- LEGAL DESCRIPTION:**  
 TRACTS 2, 9 & 14 OF VENTANA RANCH WEST  
 FILED: MARCH 11, 2004 (2004C-84)
- EXISTING ZONING: RL  
 PROPOSED ZONING: RL  
 PROPOSED DEVELOPMENT:  
 SINGLE FAMILY DETACHED RESIDENTIAL
  - TOTAL ACREAGE: 49.7 (69.10) GROSS ACRES  
 TOTAL NUMBER OF LOTS: 257 LOTS  
 PROPOSED DENSITY: 5.17 D.U. PER ACRE  
 TOTAL NUMBER OF LANDSCAPE / PEDESTRIAN ACCESS TRACTS: 21  
 TOTAL NUMBER OF BULK PARCELS REMAINING: 1 (TRACT 14-A)
  - MINIMUM LOT DIMENSIONS 45' x 105'
  - ALL STREETS AND DRAINAGE IMPROVEMENTS ARE TO BE PUBLIC, TO BE DEDICATED FOR MAINTENANCE TO THE CITY OF ALBUQUERQUE.
  - THIS SUBDIVISION LIES WITHIN THE NEW MEXICO UTILITIES, INC. (NMUI) FRANCHISE AREA. WATER AND SANITARY SEWER CAPABILITIES AREA BASED ON NMUI'S FACILITIES, AND NOT ON THE CITY OF ALBUQUERQUE'S WATER AND SANITARY SEWER INFRASTRUCTURE. IMPROVEMENTS MUST BE APPROVED BY BOTH THE CITY OF ALBUQUERQUE AND NMUI.
  - ALL SANITARY AND WATER UTILITIES IN THE STREET R/W ARE TO BE OWNED AND MAINTAINED BY NMUI.
  - NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO VENTANA WEST PARKWAY, PASEO DEL NORTE, VENTANA RIDGE ROAD OF VENTANA RANCH WEST AND TRACT A THRU R.
  - LOT SETBACKS SHALL CONFORM TO RL ZONE REGULATIONS. REQUIRED SETBACKS SHALL INCLUDE:  
 FRONT YARD: 20' (TYP.)  
 (15' W/20' TO GARAGE MIN.)  
 SIDE YARD: 5' (MIN.)  
 BACK YARD: 15' (MIN.)  
 CORNER SIDEYARD: 10' TO R/W
  - PARK DEDICATION REQUIREMENTS HAVE BEEN MET WITH TRACT 2 AS RESERVED AS A PORTION OF TRACT 14-A / TRACT 9 VENTANA RANCH WEST, IN ACCORDANCE WITH THE PARK DEDICATION AGREEMENT BETWEEN THE CITY OF ALBUQUERQUE AND VENTANA WEST, LLC DATED: MARCH 10, 2004 AS DOCUMENT NO. 2004031336.
  - TRACT 2 IS SUBJECT TO AN EXISTING THIRTY (30') WIDE FLOATING PUBLIC STORM DRAIN EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE. FILED: MARCH 11, 2004 IN BOOK 2004C, PAGE 84. EASEMENT TO BE VACATED BY VACATION ACTION.
  - TRACTS A THRU K AND TRACTS M THRU U ARE TO BE DEDICATED TO AND MAINTAINED BY VENTANA RANCH WEST COMMUNITY ASSOCIATION BY SEPARATE DEED AND SOLELY AS PRIVATE OPEN SPACE, PEDESTRIAN ACCESS AND COMMUNITY LANDSCAPING. AN EXCLUSIVE BLANKET STORM DRAIN AND DRAINAGE EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FINAL PLAT.
  - TRACT L IS DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH THE FILING OF THIS PLAT. TRACT L IS ENCUMBERED WITH A PERMANENT PUBLIC DRAINAGE EASEMENT AND WILL BE MAINTAINED BY THE CITY OF ALBUQUERQUE FOR THIS PURPOSE. A PRIVATE LANDSCAPE EASEMENT IS RESERVED FOR THE VENTANA RANCH WEST COMMUNITY ASSOCIATION, INC., OVER TRACT L.
  - NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO ANY LANDS ADJACENT TO VENTANA RANCH WEST BOUNDARY.

VENTANA WEST, LLC  
 A NEW MEXICO LIMITED LIABILITY COMPANY  
*[Signature]*  
 ROBERT M. MURPHY, PRESIDENT  
 SANDIA PROPERTIES LTD. CO.  
 MANAGING MEMBER  
 DATE: 9/30/04

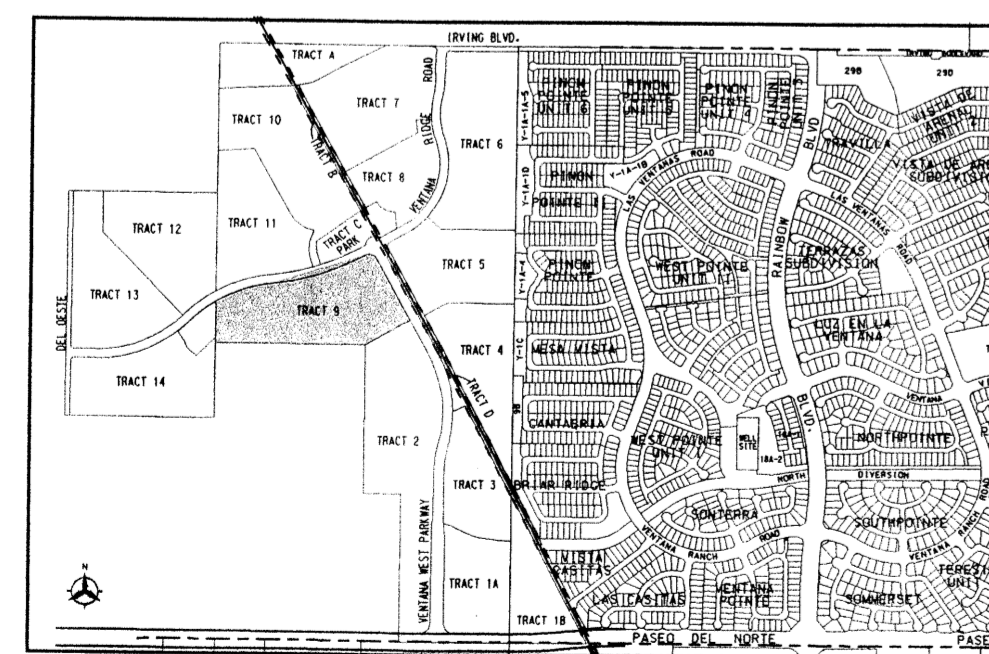
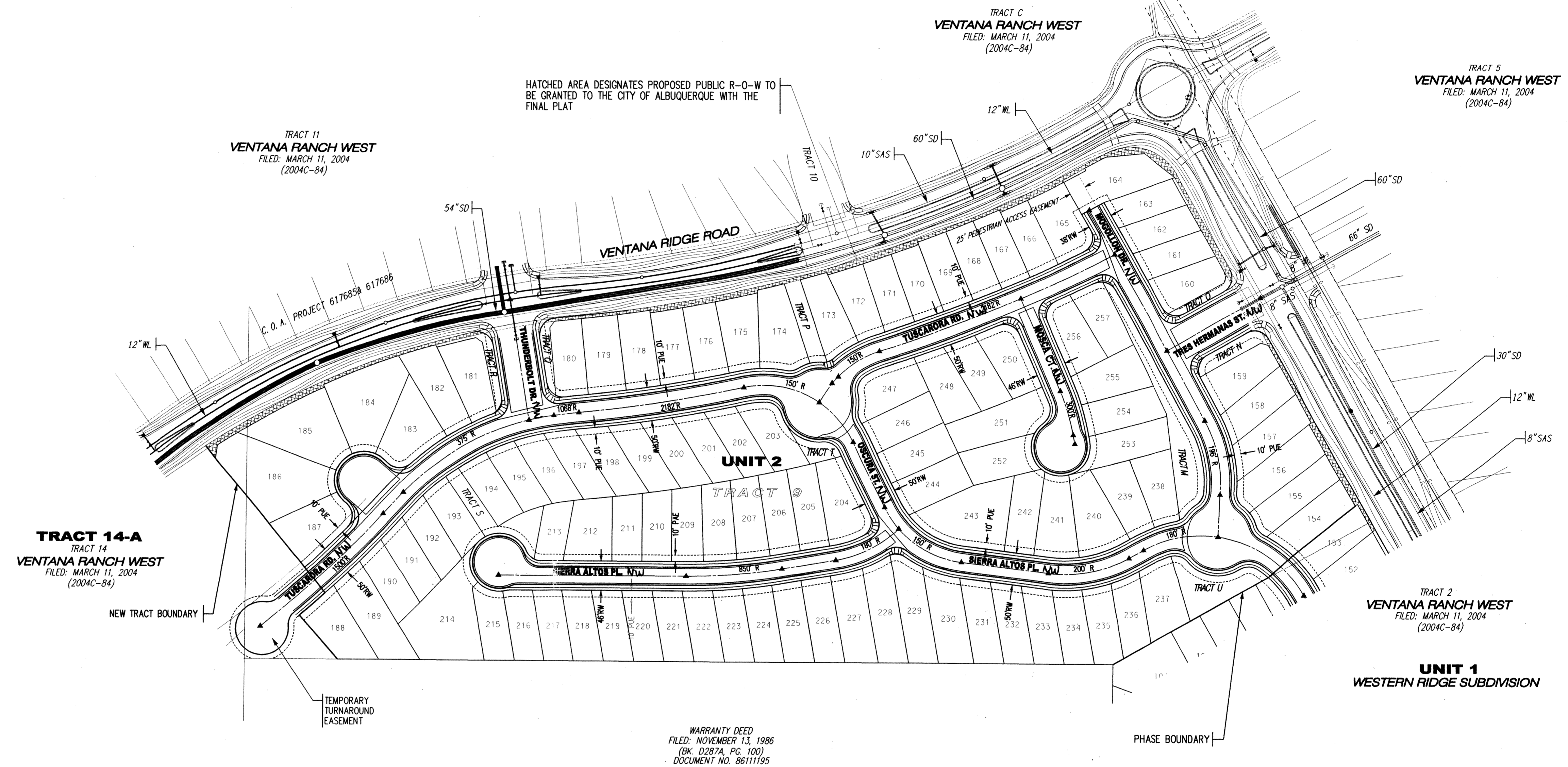
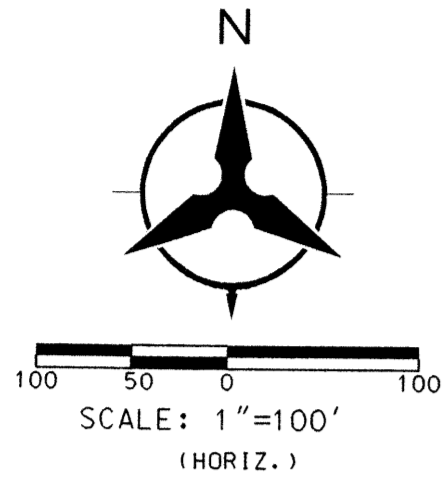
NOS BRASS TABLET STAMPED "UNION 1969"  
 GEOGRAPHIC POSITION (NAD 1927)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X=353,409.02 Y=1,523,440.96  
 GROUND TO GRID FACTOR = 0.99966044  
 DELTA ALPHA = -00°16'58"  
 NGVD 1929 ELEVATION = 5522.0 (TRIG)

**Bohannon & Huston**  
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



PRELIMINARY PLAT  
APPROVED BY DRB  
ON 10-27-04

2 of 3



PRELIMINARY PLAT  
**UNIT 2**  
**WESTERN RIDGE SUBDIVISION**  
(REPLAT OF TRACT 2, 9 & 14  
AT VENTANA RANCH WEST)  
ALBUQUERQUE, NEW MEXICO  
SEPTEMBER, 2004

SHEET 3 of 3

**Bohannon & Huston**

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10/26/04  
10:05





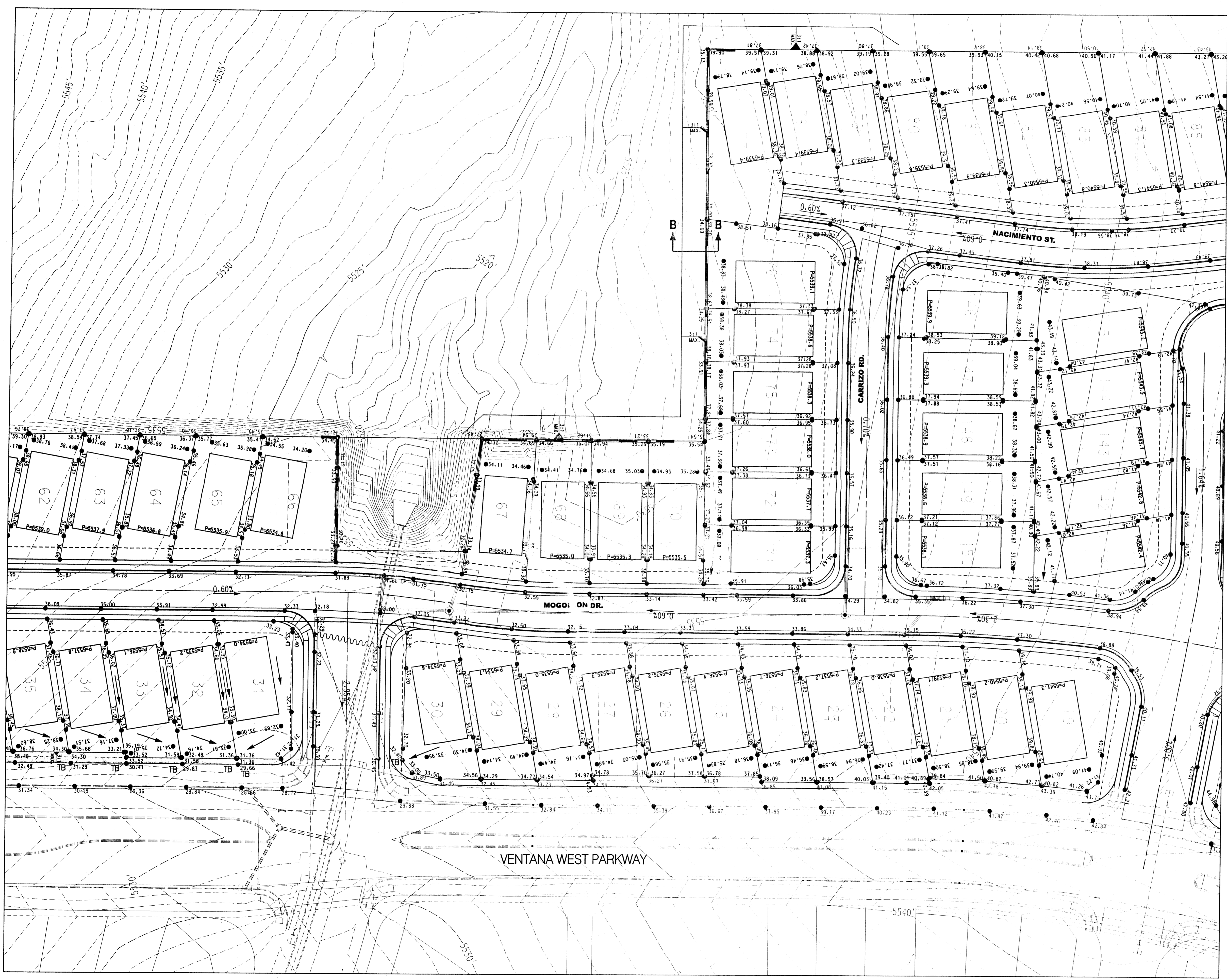






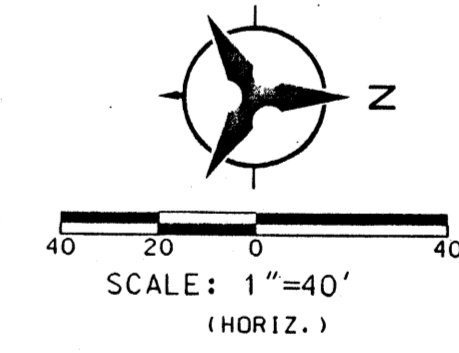






**LEGEND**

PROPOSED SPOT ELEVATION	• 5235.25
PROPOSED SPOT ELEVATION	∨ 5235.25
EXISTING CONTOUR	---
PHASE BOUNDARY	---
DIRECTION OF FLOW	→
EXISTING STORM DRAIN LINE	---
EXISTING STORM DRAIN INLET	⊥
EXISTING WATER LINE	---
EXISTING SAS LINE	---
EXISTING SAS MANHOLE	⊙
PROPOSED WATER BLOCK	~
RETAINING WALL	▬
GARDEN WALL	▬
POND CONTOUR	---
PAD	□
PROPOSED LANDSCAPE TRACT	▨
TURN BLOCK	TB



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**CITY OF ALBUQUERQUE**  
 PUBLIC WORKS DEPARTMENT  
 ENGINEERING DEVELOPMENT GROUP

**TRACT 2 & 9 SUBDIVISION AT VENTANA RANCH WEST**  
 OVERALL GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			

CITY PROJECT NO. XXXXXX      ZONE MAP NO. B-8-Z      SHEET 3 OF 8

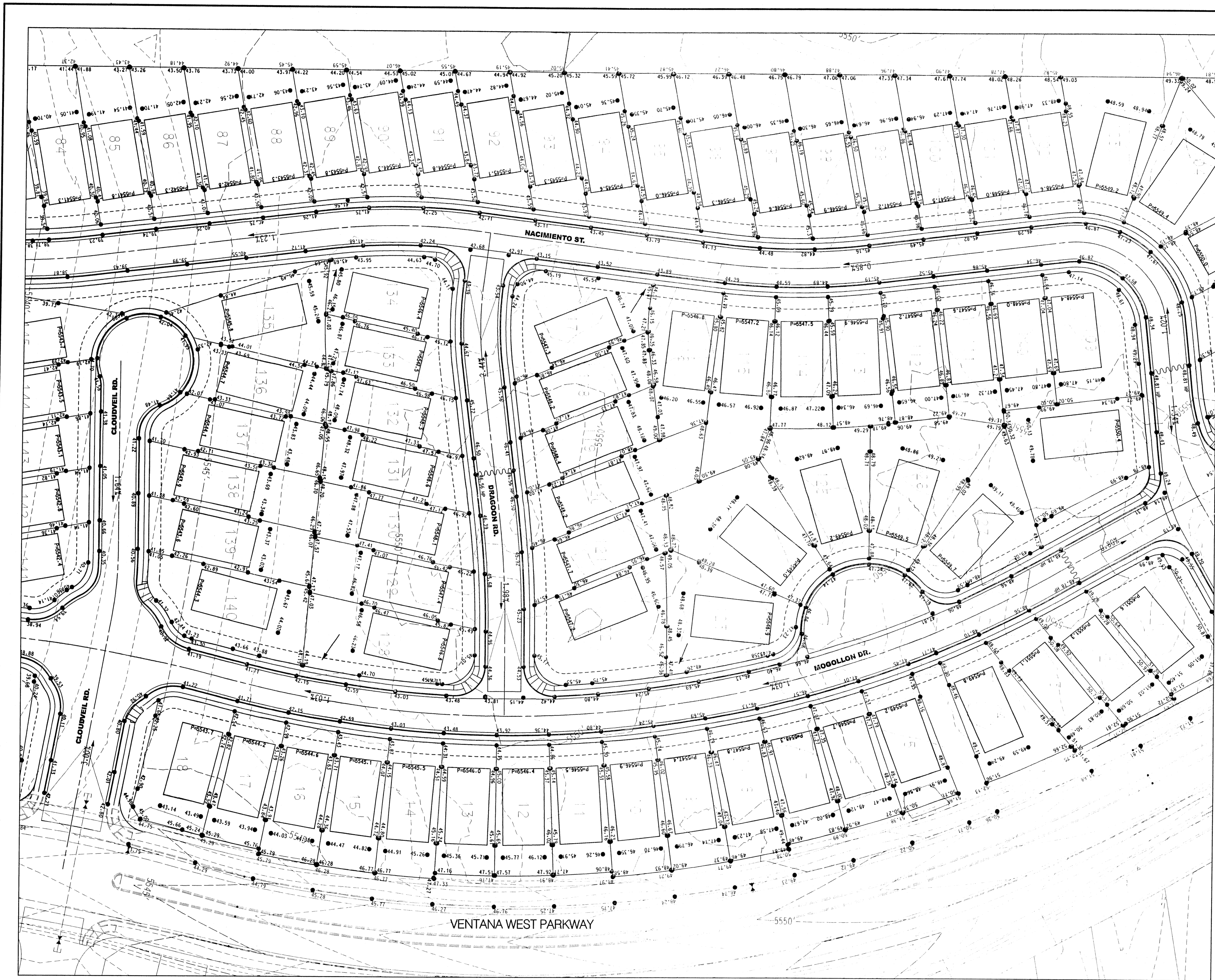
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		NO.	DATE	AC'S BRASS TABLE STAMPED 2-B10 1980"	CONTRACTOR	NO.	DATE
		BY	DATE	GEORGIC POSITION (NAD 1927)	WORKED BY	NO.	DATE
REVISIONS		FIELD NOTES		N.M. STATE PLANE COORDINATES		INSPECTOR'S ACCEPTANCE BY	
DESIGN				(CENTRAL ZONE)		DATE	
JPP				X=357,543.73 Y=1,527,976.48		DATE	
ARR				GROUND-TO-GRID FACTOR = .99966354		DATE	
KGP				DELTA ALPHA = 0016'30"		DATE	
DATE SEPT 04				NGVD 1929 ELEVATION = 5429.35		NO.	
DATE SEPT 04							

25-OCT-2004  
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BHI JOB NO. 050125

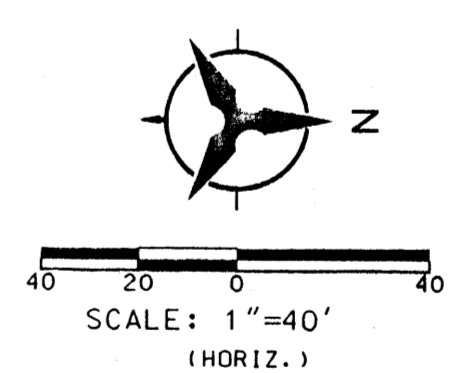
OCT 25 2004  
 HYDROLOGY SECTION





**LEGEND**

- PROPOSED SPOT ELEVATION ● 5235.25
- PROPOSED SPOT ELEVATION ○ 5235.25
- EXISTING CONTOUR ———
- PHASE BOUNDARY ———
- DIRECTION OF FLOW →
- EXISTING STORM DRAIN LINE ———
- EXISTING STORM DRAIN INLET [Symbol]
- EXISTING WATER LINE ———
- EXISTING GAS LINE ———
- EXISTING GAS MANHOLE [Symbol]
- PROPOSED WATER BLOCK [Symbol]
- RETAINING WALL [Symbol]
- GARDEN WALL [Symbol]
- POND CONTOUR [Symbol]
- PAD [Symbol]
- PROPOSED LANDSCAPE TRACT [Symbol]
- TURN BLOCK [Symbol]



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**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**  
**ENGINEERING DEVELOPMENT GROUP**

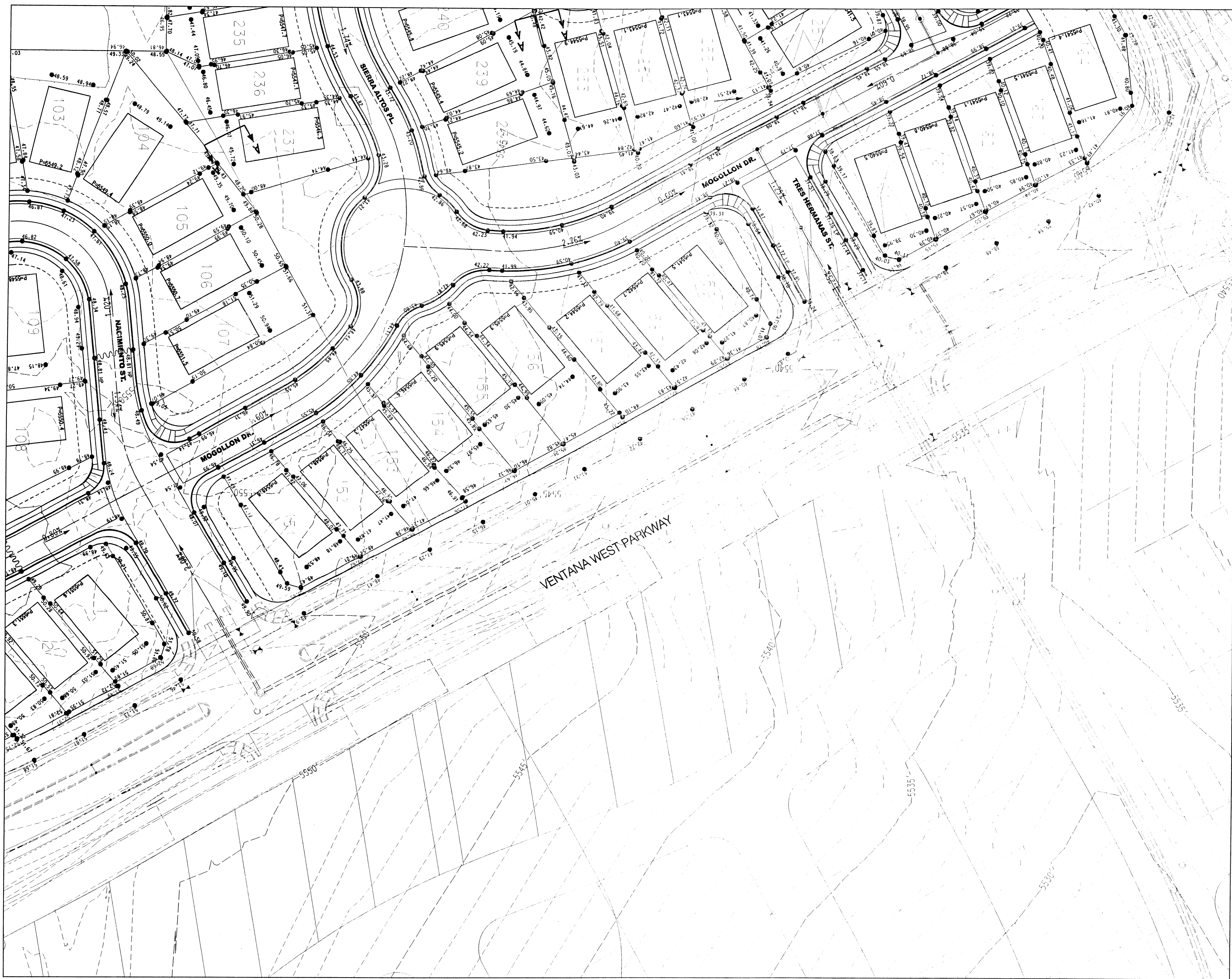
**TRACT 2 & 9 SUBDIVISION AT VENTANA RANCH WEST**  
**OVERALL GRADING PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			

CITY PROJECT NO. XXXXXX      ZONE MAP NO. B-8-Z      SHEET 4 OF 8

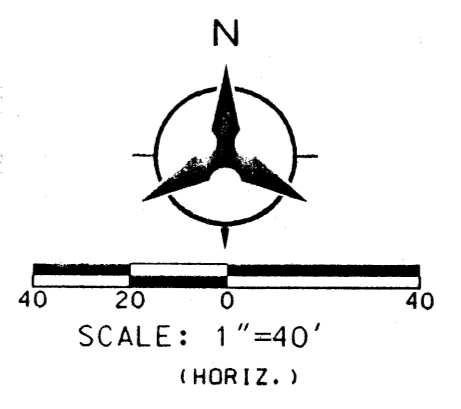
ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
	NO.	NO.	NO.	NO.	NO.	NO.	NO.
	DATE	DATE	DATE	DATE	DATE	DATE	DATE
REVISIONS	BY	DATE	NO.	CONTRACTOR	INSPECTOR'S	INSPECTOR'S	INSPECTOR'S
DESIGN	JPP	SEPT 04	STAMPED BY	STAMPED BY	STAMPED BY	STAMPED BY	STAMPED BY
	ARR	SEPT 04	N.M. STATE PLANE COORDINATES	N.M. STATE PLANE COORDINATES	N.M. STATE PLANE COORDINATES	N.M. STATE PLANE COORDINATES	N.M. STATE PLANE COORDINATES
	KGP	SEPT 04	(CENTRAL ZONE)	(CENTRAL ZONE)	(CENTRAL ZONE)	(CENTRAL ZONE)	(CENTRAL ZONE)
			X=357543.73 Y=1527976.48	X=357543.73 Y=1527976.48	X=357543.73 Y=1527976.48	X=357543.73 Y=1527976.48	X=357543.73 Y=1527976.48
			DELTA ALPHA = 0.01630"	DELTA ALPHA = 0.01630"	DELTA ALPHA = 0.01630"	DELTA ALPHA = 0.01630"	DELTA ALPHA = 0.01630"
			NCMD 1929 ELEVATION = 5429.35	NCMD 1929 ELEVATION = 5429.35	NCMD 1929 ELEVATION = 5429.35	NCMD 1929 ELEVATION = 5429.35	NCMD 1929 ELEVATION = 5429.35





**LEGEND**

PROPOSED SPOT ELEVATION	• 5235.25
PROPOSED SPOT ELEVATION	◊ 5235.25
EXISTING CONTOUR	---
PHASE BOUNDARY	---
DIRECTION OF FLOW	→
EXISTING STORM DRAIN LINE	---
EXISTING STORM DRAIN INLET	⊥
EXISTING WATER LINE	---
EXISTING SAS LINE	---
EXISTING SAS MANHOLE	⊙
PROPOSED WATER BLOCK	⊥
RETAINING WALL	⊥
GARDEN WALL	⊥
POND CONTOUR	---
PAD	□
PROPOSED LANDSCAPE TRACT	▨
TURN BLOCK	TB



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**TRACT 2 & 9 SUBDIVISION AT VENTANA RANCH WEST**  
 OVERALL GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			

CITY PROJECT NO. XXXXXX      ZONE MAP NO. B-8-Z      SHEET 5 OF 8

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
		NO.	DATE	ACS BRASS TABLET STAMPED 2-BIO 1980"	CONTRACTOR	NO.	DATE
		BY	REMARKS	GEOGRAPHIC POSITION (NAD 1987)	WORKS BY	NO.	DATE
	DESIGN			(CENTRAL ZONE)	INSPECTOR'S ACCEPTANCE BY		
	REVISIONS			X=357,543.73 Y=1527,976.48	DATE		
				GROUND-TO-GRID FACTOR = .9996354	DATE		
				DELTA ALPHA = 0016 30"	RECORDED BY		
				NOV0 1929 ELEVATION = 4429.35	NO.		

OCT 8 2014  
 HYDROLOGY SECTION











