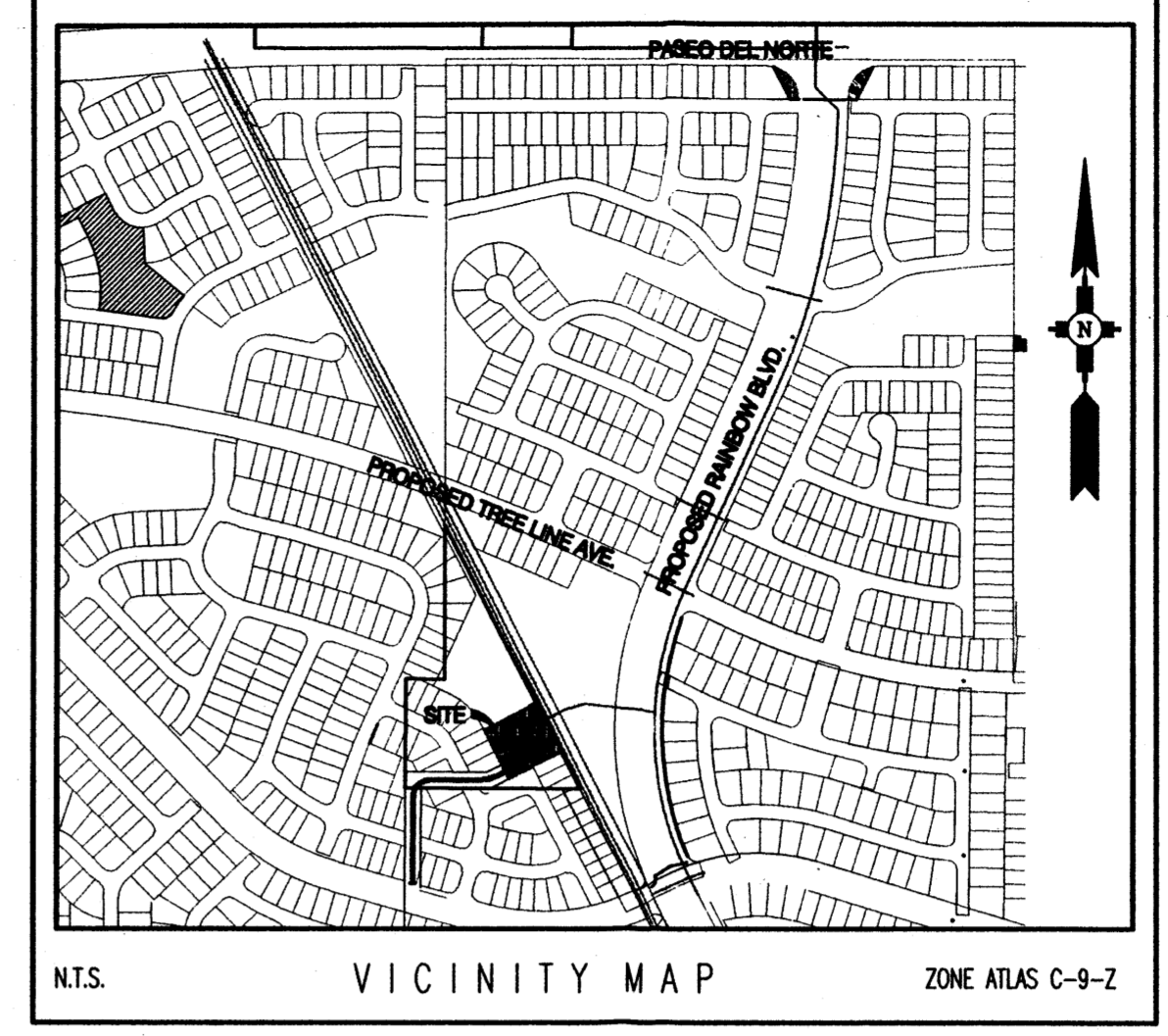
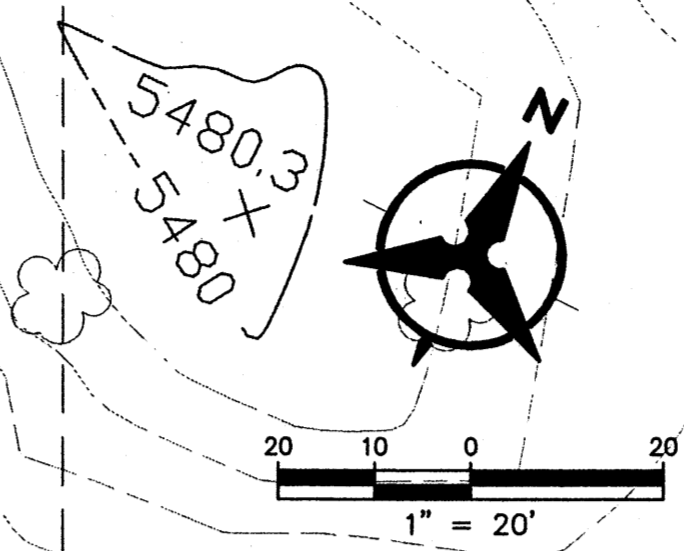
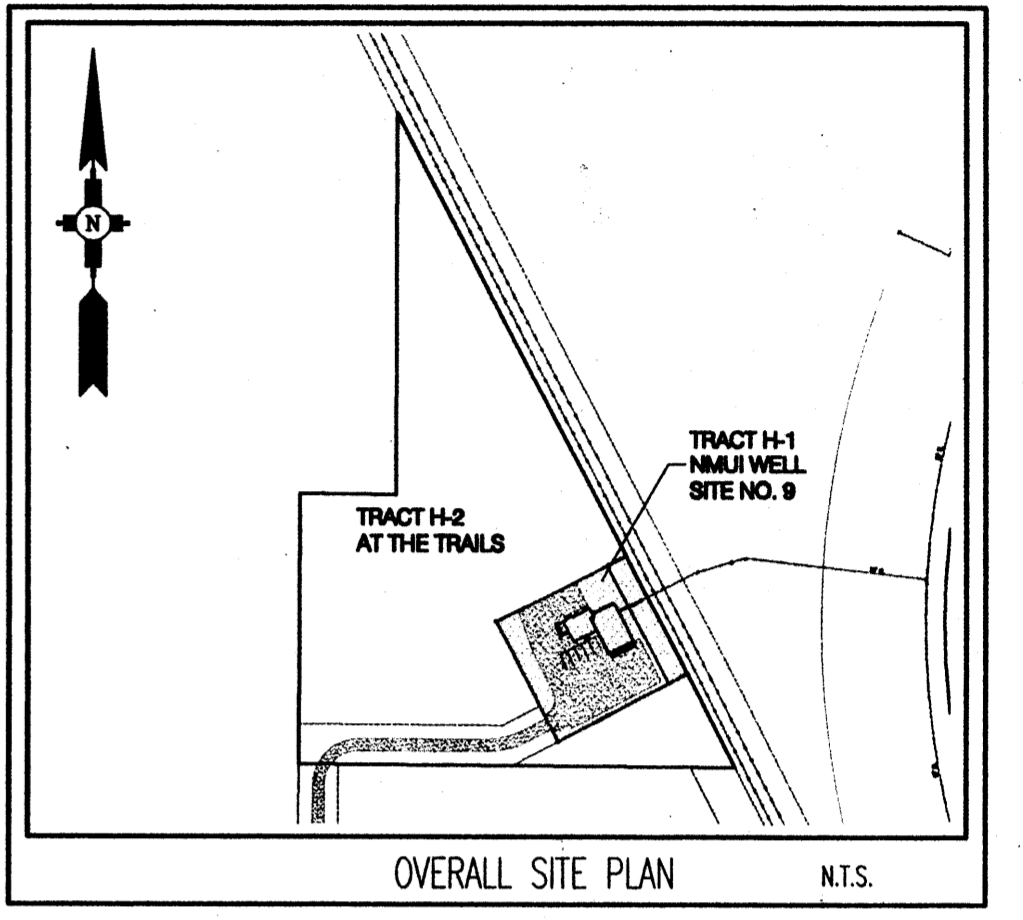


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January 31, 2005 - 2:48pm

TO BE REMOVED WITH
FUTURE PLANNING



**SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT**
NEW MEXICO UTILITIES, INC.
WELL SITE NO. 9
SITE PLAN



GENERAL NOTES:
A. EXISTING ZONING: R-D
B. PROPOSED USE OF BUILDING: PUBLIC UTILITY STRUCTURE - NEW MEXICO UTILITIES, INC., WELL NO. 9.

- KEYED NOTES:**
- ① GRAVEL DRIVING SURFACE.
 - ② SPLIT FACE CONCRETE BLOCK PERIMETER WALL. SEE LANDSCAPE PLAN FOR DETAILS.
 - ③ TEMPORARY GRAVEL ACCESS DRIVE. FUTURE PERMANENT ACCESS TO BE PROVIDED VIA RESIDENTIAL SUBDIVISION PAVED ROADS ~~AND DRIVEWAYS~~.
 - ④ EXISTING 50' WIDE P.N.M. GAS LINE EASEMENT.
 - ⑤ VEHICULAR ACCESS GATES.
 - ⑥ PARKING SPACES.
 - ⑦ CONCRETE SIDEWALK.
 - ⑧ EXISTING 20' WATER DISTRIBUTION LINE.
 - ⑨ EDGE OF DRIVING SURFACE.
 - ⑩ SCREENED MECHANICAL EQUIPMENT ENCLOSED TO MATCH BUILDING CMU.
 - ⑪ EXISTING 50' PRIVATE ACCESS EASEMENT.
 - ⑫ TRACT H BOUNDARY. (SEE OVERALL SITE PLAN ABOVE)

SITE DEVELOPMENT PLAN APPROVAL:
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED JANUARY 20, 2005 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.
E.P.C. Project 1003886/04EPC-01832/01833.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

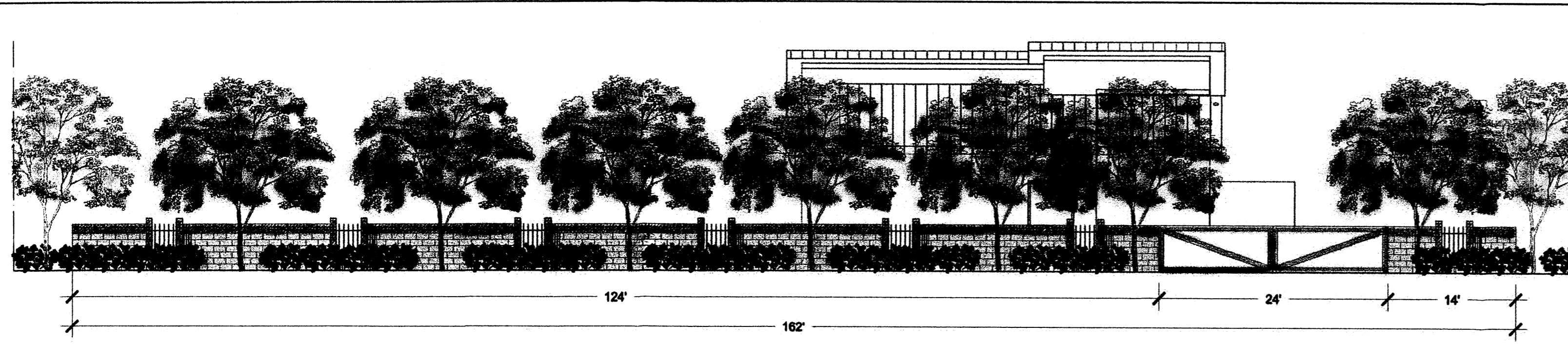
AFD PLANS CHECKING OFFICE
924-3611
APPROVED/NOT APPROVED
SIGNATURE & DATE

<i>[Signature]</i>	2-9-05
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
<i>[Signature]</i>	2-9-05
UTILITIES DEVELOPMENT	DATE
<i>[Signature]</i>	2-9-05
PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	2/9/05
Bryan L. Bingham	DATE
CITY ENGINEER	DATE

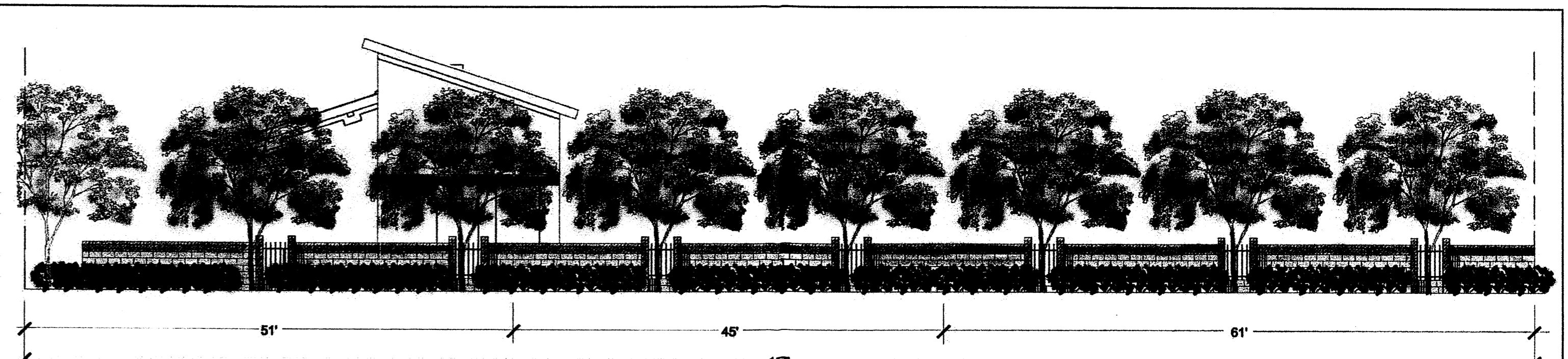
NOT APPLICABLE
*ENVIRONMENTAL HEALTH DEPARTMENT (conditional) DATE
UNMANNED FACILITY 02/01/05 DATE
SOLID WASTE MANAGEMENT
[Signature] 02/14/05 DATE
DRG CHAIRPERSON, PLANNING DEPARTMENT
*Environmental Health, if necessary 12/16/03

- 2/1 MODIFICATIONS PER TRANSPORTATION AND HYDROLOGY REQUIREMENTS. REVISE ENTRY LOCATION AND STORM WATER PONDING CONFIGURATION. INCREASED DIMENSIONS AND SQUARE FOOTAGE OF FUTURE ADDITION. (PER E.P.C. CONDITIONS DATED APRIL 16, 2004).
- 3/1 ALL LIGHTING SHALL BE ACCORDING TO THE NIGHT SKY ORDINANCE AND TO AREA LIGHTING REGULATIONS OF THE CITY ZONING CODE (SECTION 14-16-3-19). IF ANY SITE LIGHTING IS PROPOSED, IT SHOULD BE NO HIGHER THAN SIXTEEN FEET AND HAVE FULL CUT-OFF DESIGN. (PER E.P.C. CONDITIONS DATED JANUARY 20, 2005).

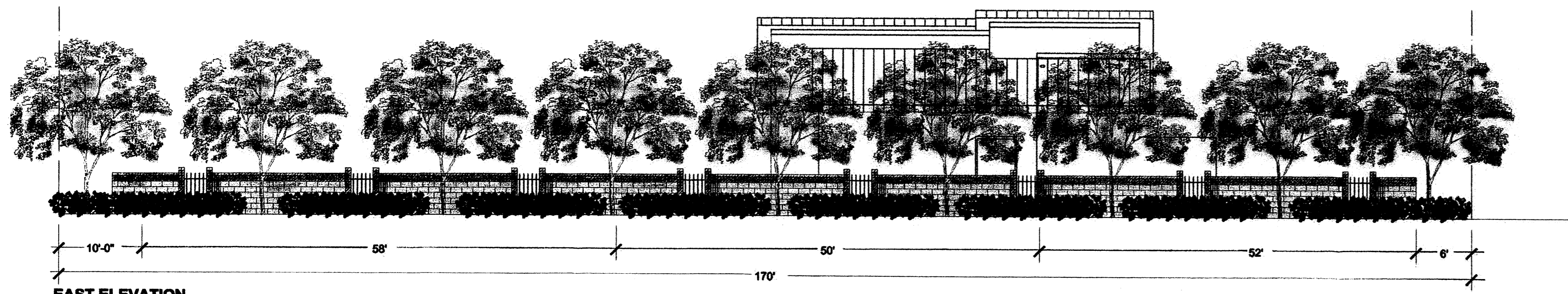
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Consulting | 7800 Jefferson St. NE Albuquerque, NM 87109-4395
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WEST ELEVATION
SCALE 1 TO 10



NORTH ELEVATION
SCALE 1 TO 10



EAST ELEVATION
SCALE 1 TO 10

OPENING PILLAR DETAIL

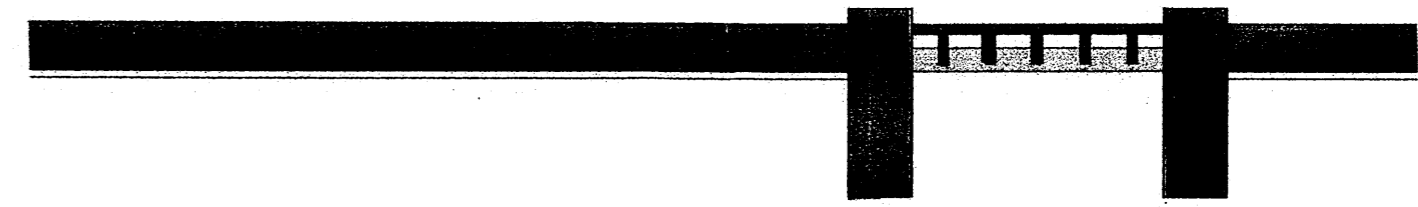
SCALE 1 TO 2

SPLIT FACE BLOCK
(DARK BROWN)
CORAL COLOR
SPLIT FACE CMU BLOCK



ELEVATION

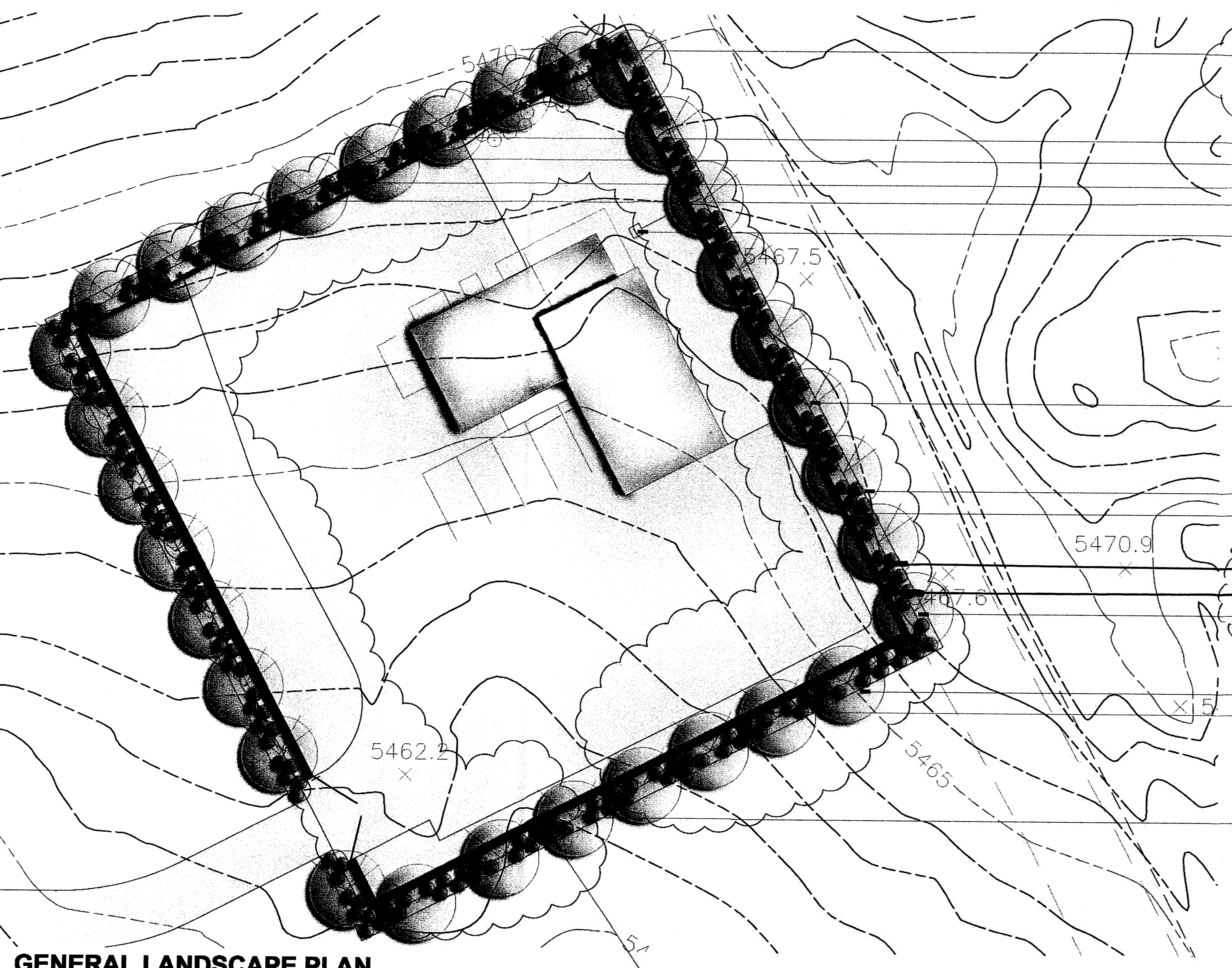
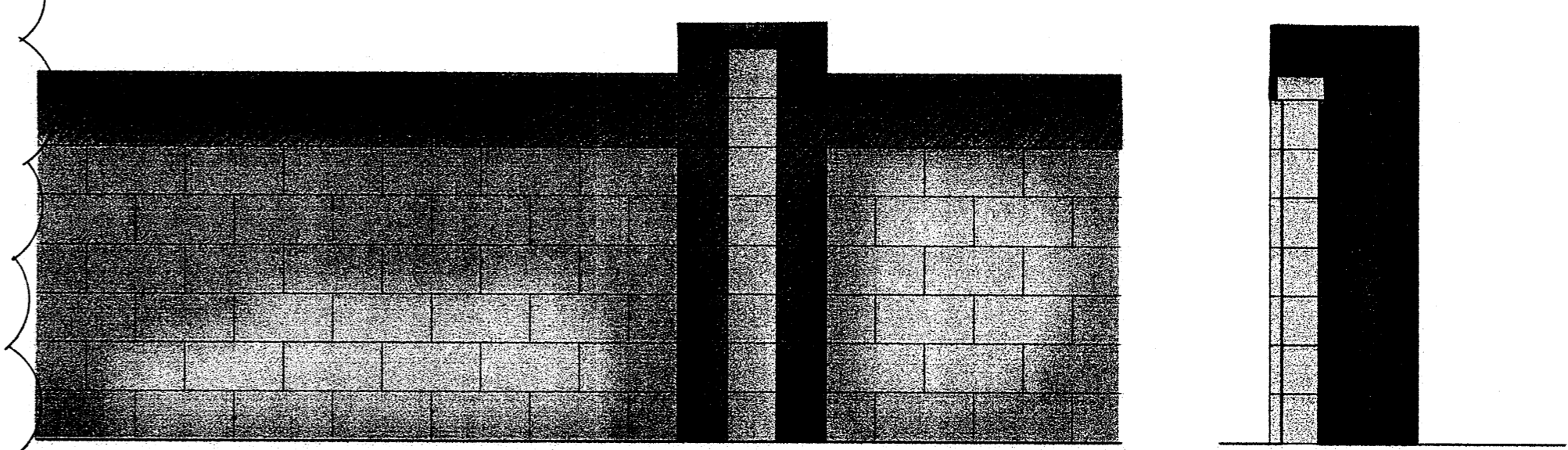
CROSS SECTION



PLAN VIEW

WALL AND PILLAR DETAIL

SCALE 1 TO 2



NOTE:
ALL PLANTS TO BE ON DRIP
IRRIGATION SYSTEM

NOTE:
WALL AND PLANTING
MODIFICATIONS TO ADDRESS
EPC CONDITIONS DATED APRIL
16, 2004.

- OPEN PILLAR DETAIL (SEE DETAIL PLAN)
- DESERT WILLOWS (5 gal)
- GRAVEL
- STEEL EDGE
- TEMPORARY IRRIGATION SYSTEM

DESERT WILLOWS (5 gal)

- STEEL EDGE
- OPEN PILLAR DETAIL (SEE DETAIL PLAN)

DWARF CHAMISA (*Chrysothamnus depressus*) (5 gal)
TRIDENT SAGE (*Sesuvium tridentatum*) (5 gal)
GRAVEL

- STEEL EDGE
- PILLAR DETAIL (SEE DETAIL PLAN)

DESERT WILLOWS (5 gal)

GENERAL LANDSCAPE PLAN

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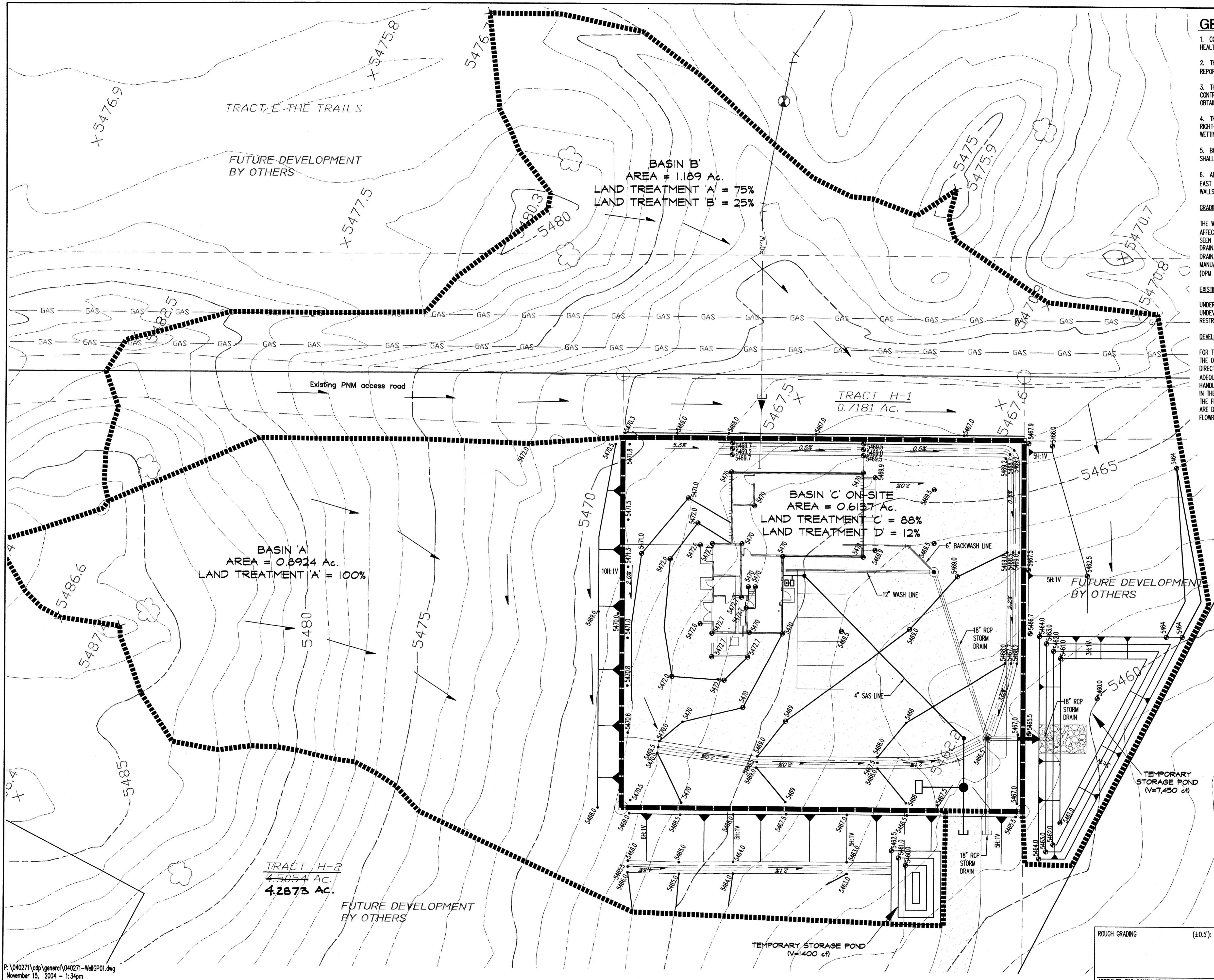
SITE BOUNDARY

**SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT**

CONCEPTUAL WALL PLANS

- ▲ REVISIONS PER E.P.C. OFFICIAL NOTICE
OF DECISION DATED JANUARY 20, 2005.
- ▲ REVISIONS PER E.P.C. OFFICIAL NOTICE
OF DECISION DATED APRIL 16, 2004.

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 Courtyard | 7500 Jefferson St. NE | Albuquerque, NM 87109-4335
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GENERAL NOTES

- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT BY VINYARD & ASSOCIATES DATED 10/2004 (V&A PROJECT #04-1-362).
- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
- ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE, EXCEPT FOR WALL ON EAST SIDE. THIS WALL IS APPROXIMATELY 26' WEST OF THE EASTERN PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSES ONLY.

GRADING AND DRAINAGE PLAN

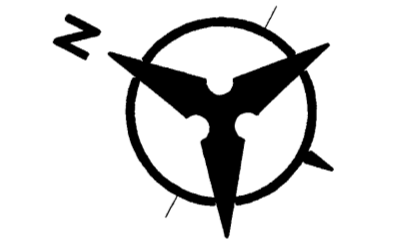
THE WELL SITE IS LOCATED ON A 0.7181 ACRE LOT WITH ONLY 0.6137 ACRES BEING AFFECTED. IT HAS TWO OFFSITE BASINS (SEE GRADING & DRAINAGE SHEET). AS CAN BE SEEN ON THE FEMA MAPPING EXHIBIT, THE SITE IS NOT SUSCEPTIBLE TO FLOODING. ALL DRAINAGE CALCULATIONS ARE DONE IN ACCORDANCE WITH THE BERNALILLO COUNTY DRAINAGE ORDINANCE (96-5) AND THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, CHAPTER 22.2. THE DESIGN STORM IS THE 100-YEAR 6-HOUR STORM IN ZONE 1 (DPM CHAPTER 22, FIGURE A-1).

EXISTING CONDITIONS

UNDER EXISTING CONDITIONS THE PROJECT SITE IS UNDEVELOPED AND SURROUNDED BY UNDEVELOPED LAND. SINCE FUTURE OFFSITE FLOWS COMING ONTO THE SITE WOULD BE RESTRICTED TO PREDEVELOPED LEVELS, ONLY THE EXISTING OFFSITE BASINS ARE USED.

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- LEGEND**
- FUTURE PROPERTY BOUNDARY
 - BASIN BOUNDARY
 - 91.62 491.62 PROPOSED SPOT ELEVATIONS
 - ✕ 92.46 EXISTING SPOT ELEVATIONS
 - 5470 EXISTING CONTOUR W/ INDEX ELEVATION
 - FLOW ARROW
 - PROPOSED RETAINING WALL
 - PROPOSED GARDEN WALL, CONCRETE FILLED TO 1-FOOT DEPTH
 - ▲ PROPOSED SLOPE
 - ← WALL DRAIN

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NEW MEXICO UTILITIES, INC.

NEW MEXICO UTILITIES, INC.
 WELL NO. 9 SITE DEVELOPMENT
 GRADING AND DRAINAGE PLAN

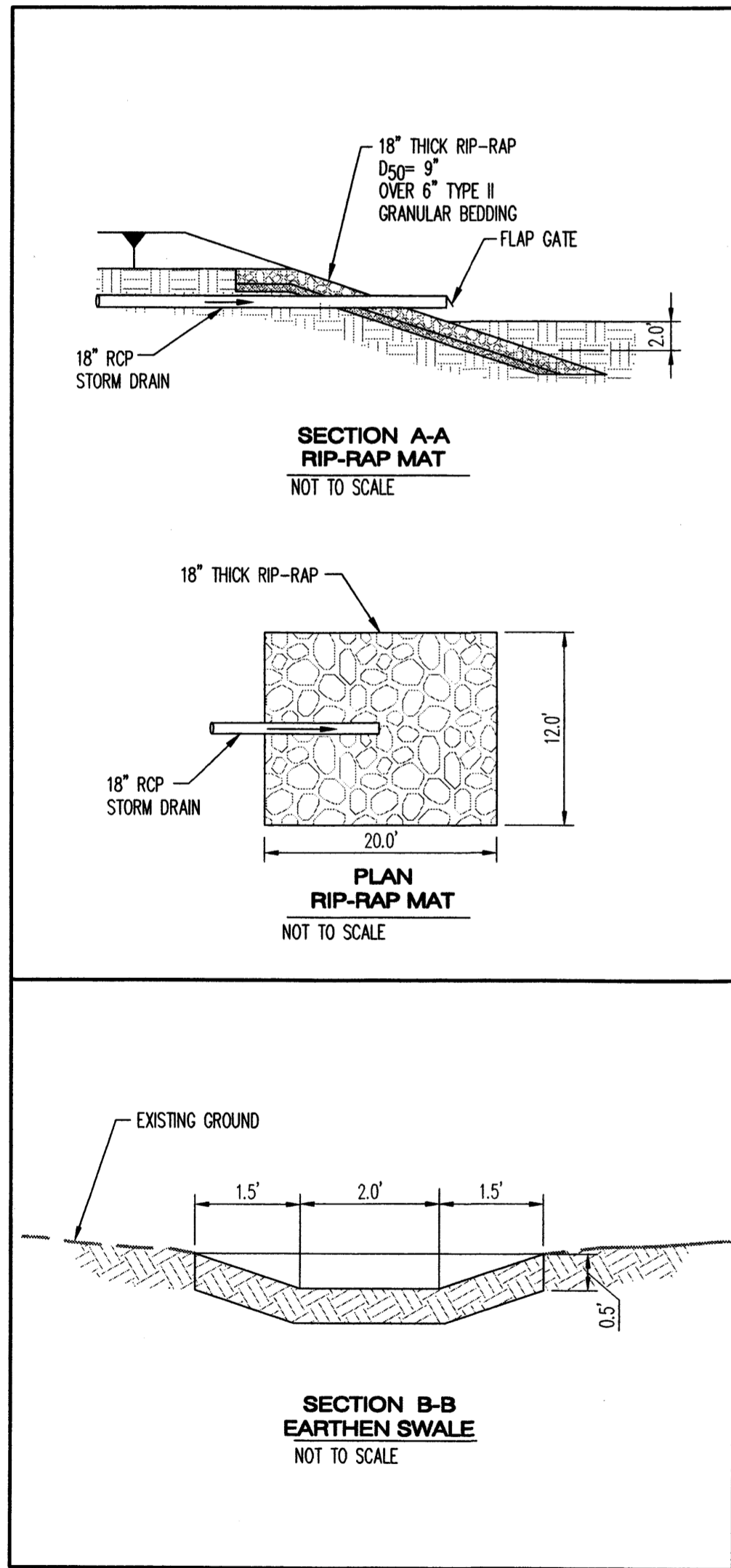
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	C-9-Z	1	2

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION	
CONTRACTOR	DATE	ACS BRASS TABLET STAMPED "UNION 1969"	NO.	FIELD NOTES	BY
		Geographic Position (NAD 1927)			
		N.M. State Plane Coordinates (Central Zone)			
		X= 353,409.02 Y= 1,523,440.96			
		Ground-to-Grid Factor = 0.99966044			
		L.C. = -00'16".58"			
		(NGVD29-Trig) Elevation = 5522.0			

NO.	REVISIONS	DATE	BY
	DESIGN	DATE: 11/15/04	
		DATE: 11/15/04	
		DATE: 11/15/04	

Designed By: RVH
 Drawn By: LSM
 Checked By: RVH

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 November 15, 2004 - 1:34pm



ELEVATION	AREA (ft ²)	INCREMENTAL VOLUME (ft ³)	CUMULATIVE VOLUME (ft ³)
5460.00	0.0		
5461.00	1279	639	639
5462.00	1893	1586	2225
5463.00	2594	2243	4468
5464.00	3372	2983	7451

Depth of Precipitation for 6-hr and 24-hr 100-yr Storms in Zone 1								
P_{360} (inches) = 2.20	P_{1440} (inches) = 2.66							
Peak Discharge and Excess Precipitation for Zone 1 (Tables A-9, A-8)								
Land Treatment	CFS/Acre	E- Excess Precipitation (6-hr)						
A	1.29	0.44						
B	2.03	0.67						
C	2.87	0.99						
D	4.37	1.97						
Areas of Land Treatments (%)								
BASIN	Total Area (Ac.)	A	B	C	D	Flowrate ¹ (cfs)	6-hr Volume ² (cu. ft.)	24-hr Volume ³ (cu. ft.)
'A' OFF-SITE	0.8924	100	0.0	0.0	0.0	1.15	1424	1424
'B' OFF-SITE	1.189	75	25	0.0	0.0	1.75	2148	2148
'C' ON-SITE	0.6137	0.0	0.0	88	12	1.87	2544	2666
Total =						4.77	6116	6238

1. Flowrate = (CFS/Acre) * Area

2. 6-hr Volume = weighted E * (Aa+Ab+Ac+Ad) / 12 in/ft. * (43560 sq.ft./acre) (Eq. a-6, page 22-14 DPM)

3. 24-hr Volume = (weighted E * (Aa+Ab+Ac+Ad) + Aa*(P₁₄₄₀-P₃₆₀)) / 12 in/ft. * (43560 sq.ft./acre) (Eq. a-7, page 22-14 DPM)

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LEGEND

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- ✕ 92.46 EXISTING SPOT ELEVATIONS
- 5470 — EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- ===== PROPOSED RETAINING WALL
- PROPOSED GARDEN WALL, CONCRETE FILLED TO 1-FOOT DEPTH
- ▲▲▲ PROPOSED SLOPE
- ← WALL DRAIN

GRADING REQUIREMENTS FOR LANDSCAPE IMPROVEMENTS WITHIN ROCK OUTCROPS

ROCK OUTCROPS EXIST ON THIS SITE. THE CONTRACTOR SHALL GRADE THE SITE TO THE FINISHED GRADES AND ELEVATIONS SHOWN ON THIS PLAN. INCLUDED IN THE SITE GRADING IS ALL ROCK EXCAVATION NECESSARY FOR SITE GRADING, FOUNDATIONS, STRUCTURES, UTILITY AND LANDSCAPE IMPROVEMENTS. ALL AREAS RECEIVING LANDSCAPE IMPROVEMENTS SHALL BE FREE OF ROCK AND HAVE A MAXIMUM DENSITY OF 80% FOR A MINIMUM DEPTH OF 24 INCHES. SHRUBS SHALL REQUIRE A MINIMUM DEPTH OF 36" OVER A 5' DIAMETER AREA. TREES SHALL REQUIRE A 5' MINIMUM DEPTH OVER A 10' x 10' AREA. THE USE OF SPOIL MATERIAL FROM OTHER PORTIONS OF THE SITE IS ACCEPTABLE, SUBJECT TO COA SPECIFICATIONS. SEE LANDSCAPE PLANS FOR SOIL AMENDMENTS ASSOCIATED WITH LANDSCAPING AND PLANTING IMPROVEMENTS.

I CERTIFY THAT THE SITE EXISTING TOPOGRAPHY WAS BASED ON A PHYSICAL SURVEY OF THE PROPERTY AND THAT THE SITE HAS NOT BEEN DISTURBED EXCEPT FOR AN AREA APPROXIMATELY 150 FEET ON A SIDE CENTERED ON THE WELL HEAD. THAT AREA WAS MADE LEVEL DURING THE WELL DRILLING PROJECT.

JAMES C. THOMTE

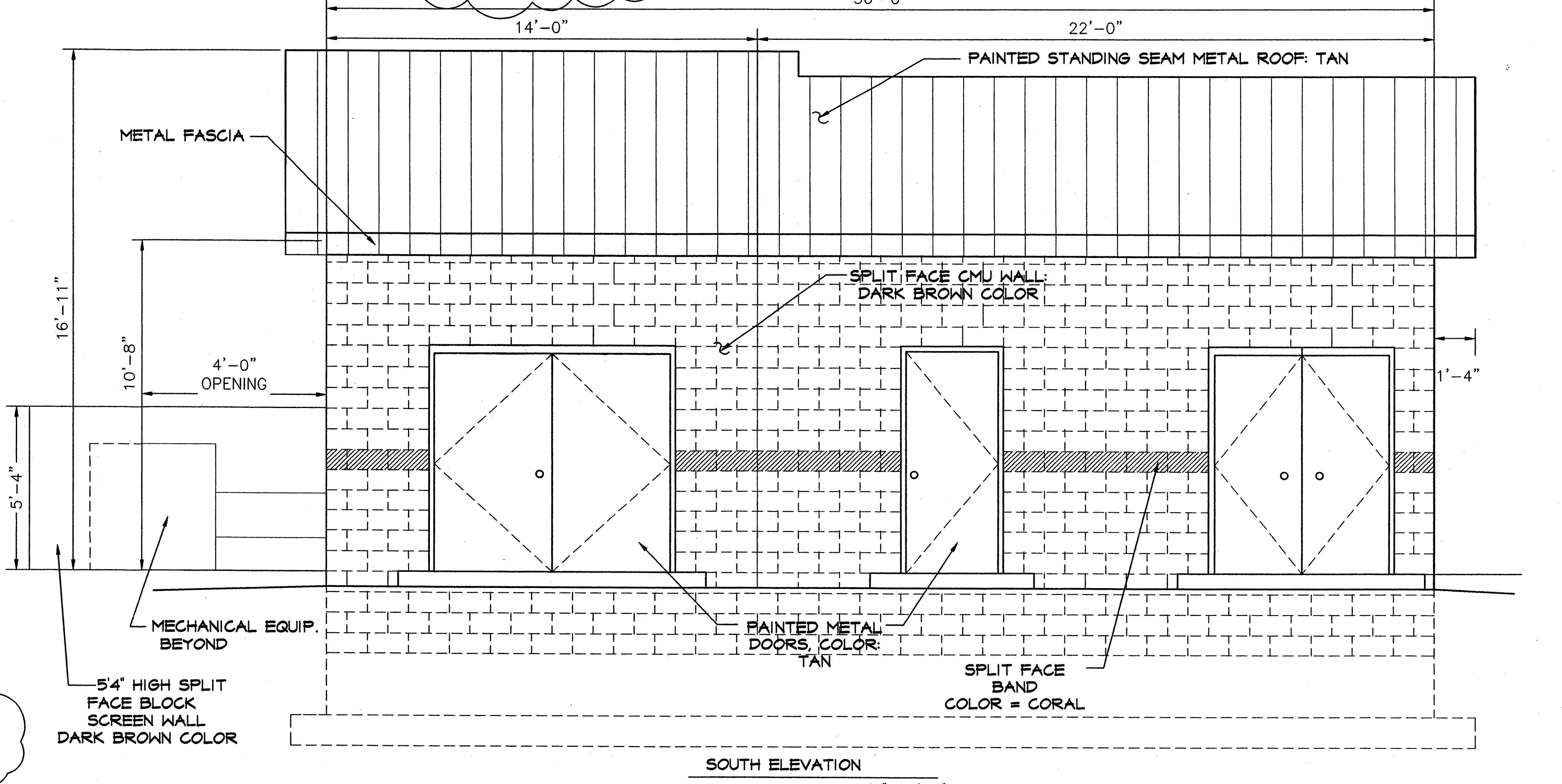
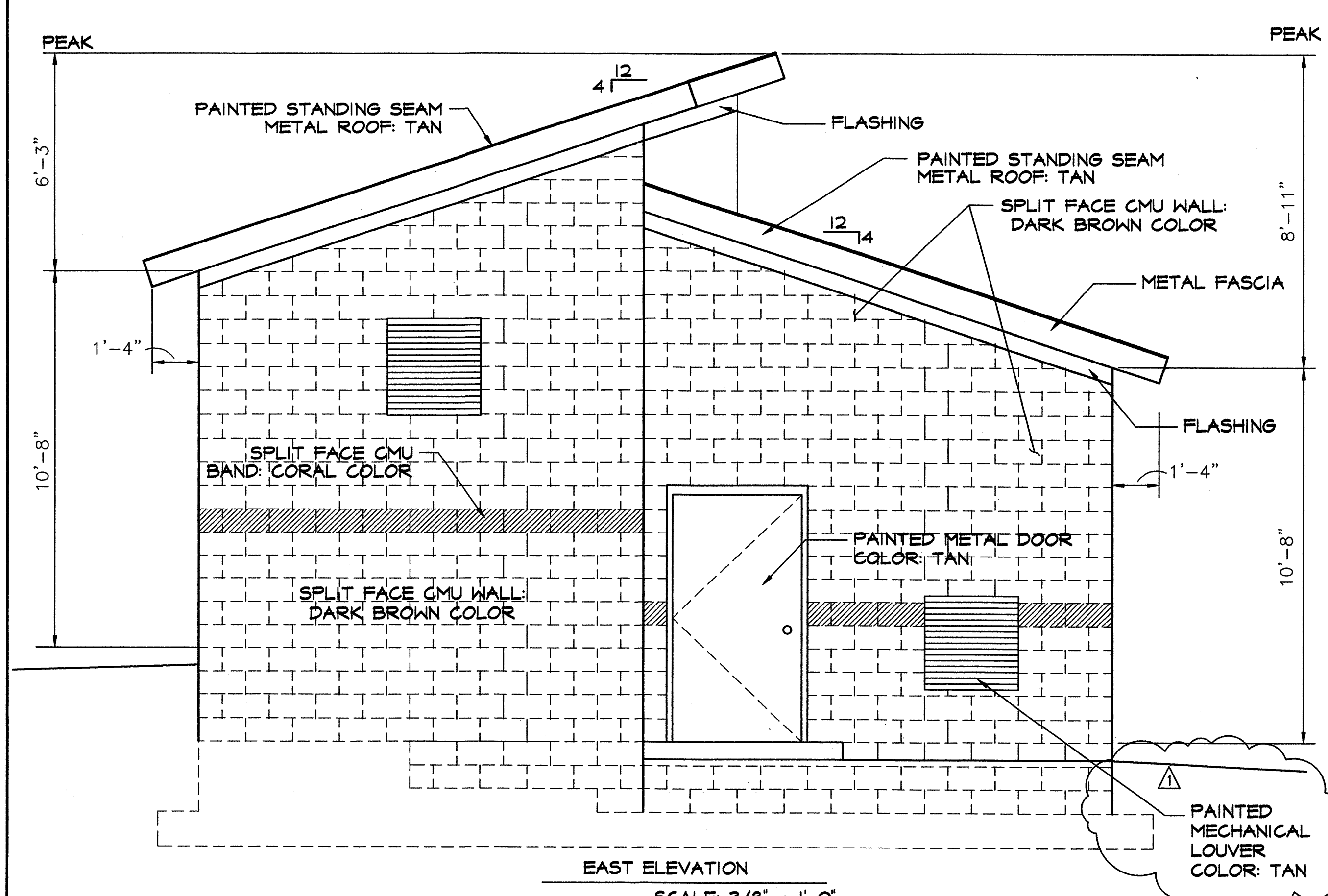
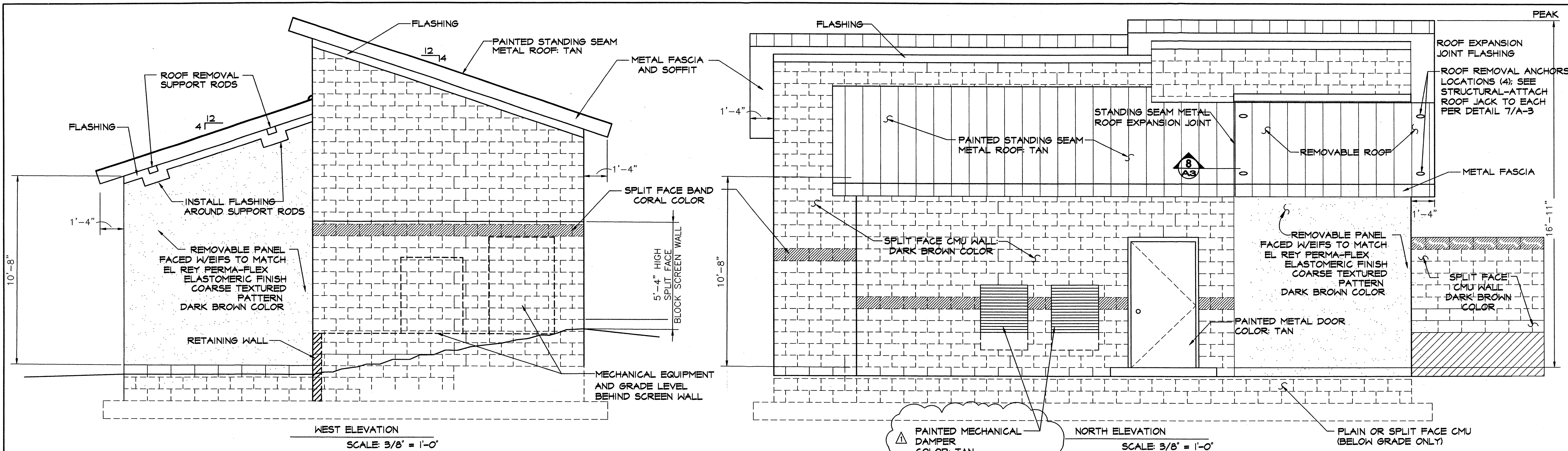
ROUGH GRADING (±0.5')
APPROVED FOR ROUGH GRADING DATE

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES		ENGINEER'S SEAL	
CONTRACTOR	DATE	CONTRACTOR	DATE	NO.	BY	NO.	DATE	REVISIONS	DESIGN
CONTRACTOR	DATE	ACS BRASS TABLE STAMPED "UNION 1969"	DATE						
INSPECTOR'S ACCEPTANCE BY	DATE	Geographic Position (NAD 1927)	DATE						
INSPECTOR'S VERIFICATION BY	DATE	N.M. State Plane Coordinates (Central Zone)	DATE						
DRAWING BY	DATE	X = 353,409.02 Y = 1,523,440.96	DATE						
CHECKED BY	DATE	Ground-to-Grid Factor = 0.999866044	DATE						
RECORDED BY	DATE	ΔX = -0.001858"	DATE						
		(NGVD29-Trig) Elevation = 5522.0							

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NEW MEXICO UTILITIES, INC.
 WELL NO. 9 SITE DEVELOPMENT
 GRADING AND DRAINAGE DETAILS

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	C-9-Z	2	2



△ REVISIONS PER E.P.C. OFFICIAL NOTICE OF DECISION DATED APRIL 16, 2004.

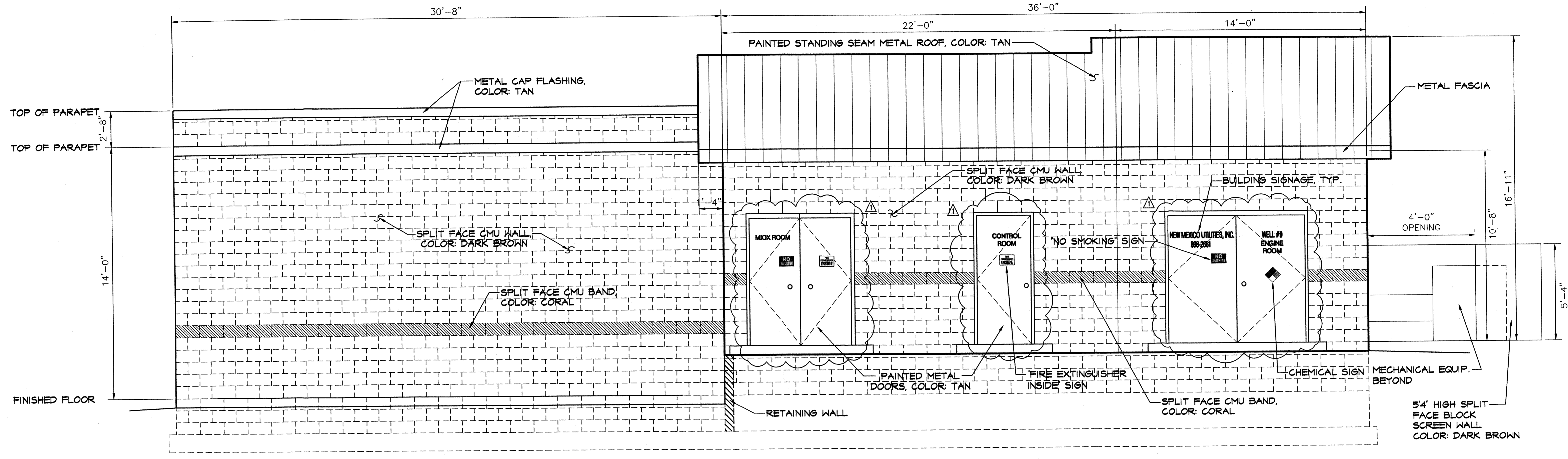
**SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT**

**CONCEPTUAL EXTERIOR
ELEVATIONS**

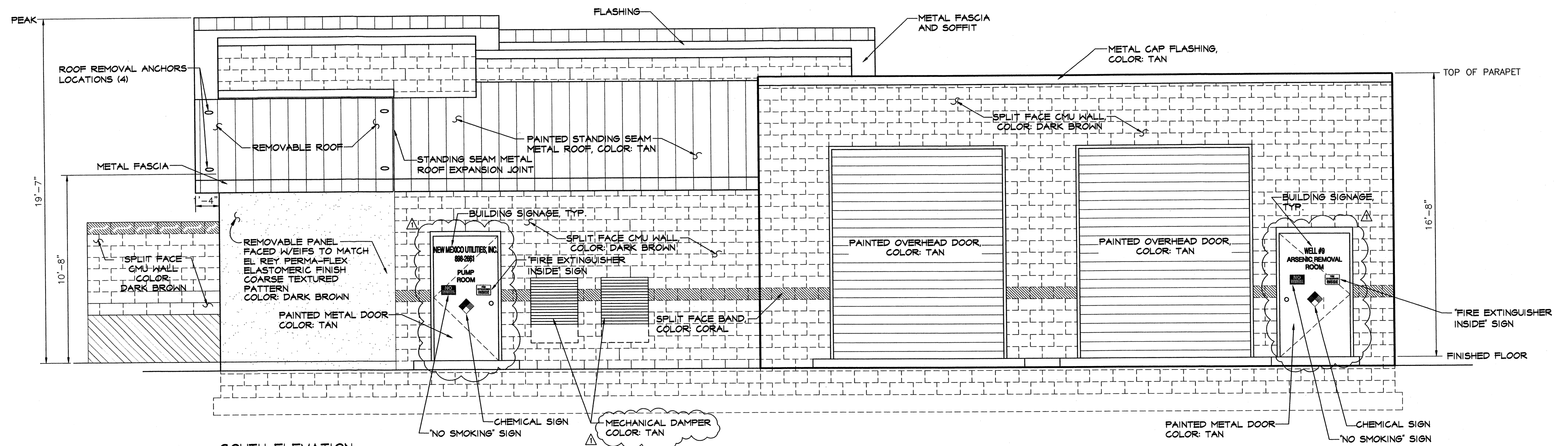
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ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGIES

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November 11, 2004 - 11:46am



NORTH ELEVATION
SCALE: 3/8" = 1'-0"



SOUTH ELEVATION
SCALE: 3/8" = 1'-0"

△ REVISIONS PER E.P.C. OFFICIAL NOTICE OF DECISION DATED APRIL 16, 2004.

NOTE: ADDITIONAL MECHANICAL LOUVERS/DAMPERS MAY BE ADDED FOLLOWING FINAL DESIGN. PAINT COLOR: TAN.

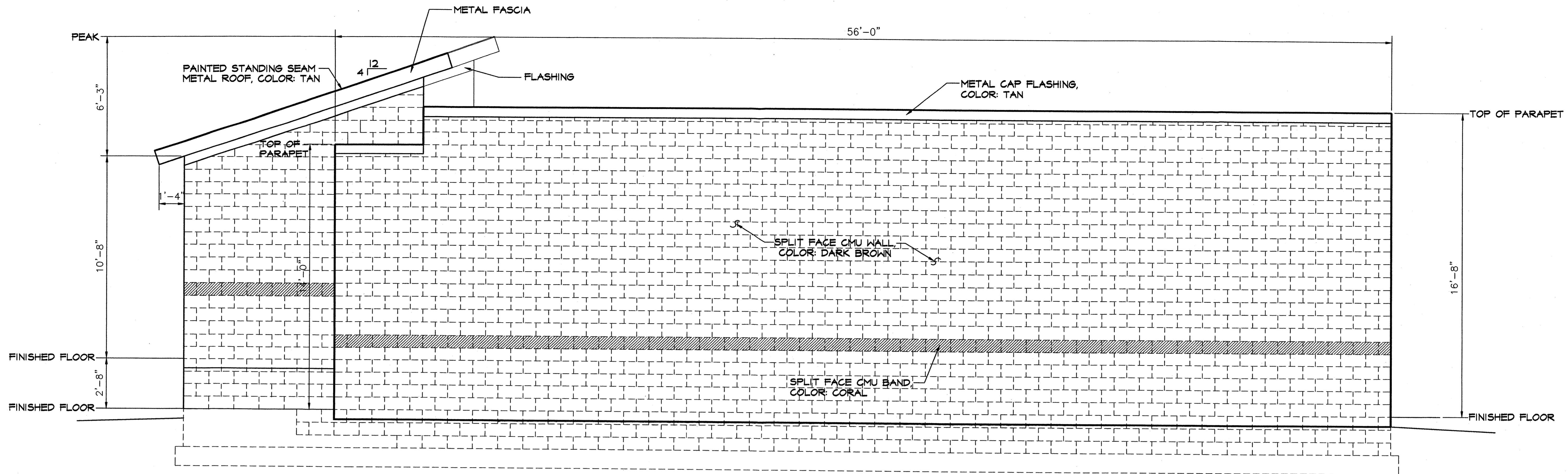
**SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT**

**CONCEPTUAL EXTERIOR
ELEVATIONS WITH ADDITION**

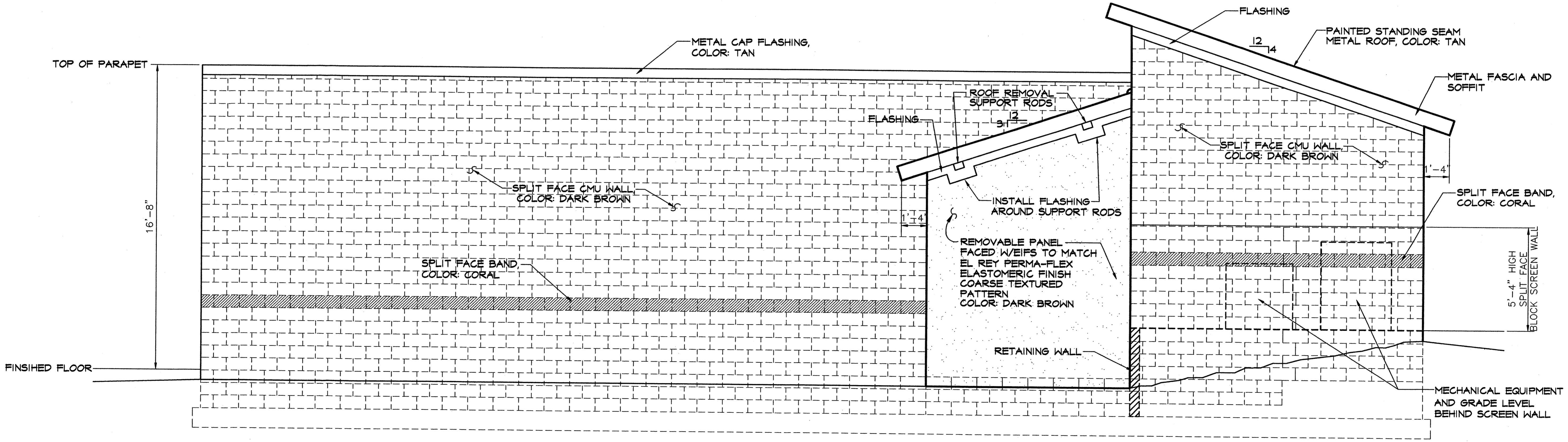
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November 11, 2004 - 10:52am



WEST ELEVATION
SCALE: 3/8" = 1'-0"



EAST ELEVATION
SCALE: 3/8" = 1'-0"

△ REVISIONS PER E.P.C. OFFICIAL NOTICE OF DECISION DATED APRIL 16, 2004.

NOTE: ADDITIONAL MECHANICAL LOUVERS/DAMPERS MAY BE ADDED FOLLOWING FINAL DESIGN. PAINT COLOR: TAN.

**SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT**

**CONCEPTUAL EXTERIOR
ELEVATIONS WITH ADDITION**

Bohannon & Huston

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ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES