

6
UNIT 3A
2007C, FOLIO 352

803.67'

N 00°00'00" W

N 44°10'35" W

109.07'

WOODMONT AVENUE N.W.

N 74°04'05" W

98' Dedicated Public R/W

Cut-off Wall

Asphalt Walk

Asphalt

Asphalt

Asphalt

Asphalt

Asphalt

Asphalt

Asphalt

Asphalt

Asphalt

Asphalt

Asphalt

Asphalt

Asphalt

Asphalt

Asphalt

Asphalt

Asphalt

Asphalt

Asphalt

Asphalt

Asphalt

Asphalt

Asphalt

Asphalt

Asphalt

Asphalt

Asphalt

Asphalt

Asphalt

Asphalt

Not to Scale

TRACT 9

25.2463 ACRES
VACANT LAND - NO BUILDINGS

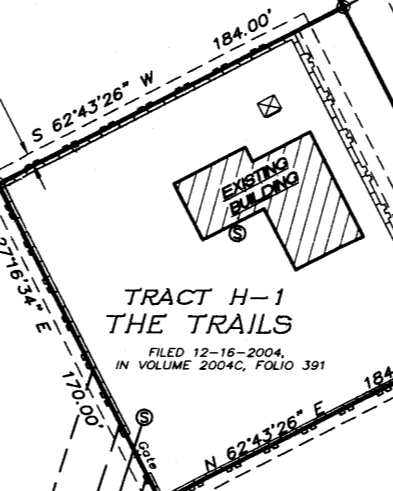
TO BE VACATED

Tract H, The Trails is subject to a public water easement for a future well site granted to New Mexico Utilities, Inc. by plat filed December 15, 2003 in Plat Book 2003C, page 375.

Tract H, The Trails is subject to a blanket easement for public access, public storm drain, public water and public sanitary sewer easements to be granted to the City of Albuquerque by plat filed December 15, 2003 in Plat Book 2003C, page 375.

TRACT H-2 THE TRAILS

6' Temporary Landscape Buffer Easement per Plat filed 12-16-2004 in Vol. 2004C, Folio 391



TRACT H-1 THE TRAILS

FILED 12-16-2004, IN VOLUME 2004C, FOLIO 391

50' Private Access Easement per Document# 2008026798, recorded 3-7-2008

20' Private Access Easement per Document# recorded 12-20-2007, as Doc.# 2007170723

20' Private Sanitary Sewer Easement per Document# 2008026800, recorded 3-7-2008

20' Private Drainage Easement per Document# 2008026799, recorded 3-7-2008

TRACT OS-3 THE TRAILS UNIT 3A

FILED 12-21-2007, IN VOLUME 2007C, FOLIO 352

VACATION EXHIBIT
TRACT 9
THE TRAILS UNIT 3A
WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY, 2008

RAINBOW BOULEVAD

RAINBOW BOULEVAD N.W.

WINCREST TRAIL N.W.

TREE



SURVOTEK, INC.
Consulting Surveyors
6384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377

080191_VACATION.dwg

6
UNIT 3A
2007C, FOLIO 352

603.67'

N 00°00'00" W

N 74°10'25" W

N 74°04'05" W

Not to Scale

VACATION EXHIBIT
**TRACT 9
THE TRAILS UNIT 3A**
WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE, 2008

TRACT 9

25.2463 ACRES
VACANT LAND - NO BUILDINGS

TO BE VACATED

Tract H, The Trails is subject to a public water easement for a future well site granted to New Mexico Utilities, Inc. by plat filed December 15, 2003 in Plat Book 2003C, page 375.

Tract H, The Trails is subject to a blanket easement for public access, public storm drain, public water and public sanitary sewer easements to be granted to the City of Albuquerque by plat filed December 15, 2003 in Plat Book 2003C, page 375.

TRACT H-2
THE TRAILS

6' Temporary Landscape Buffer Easement per Plat filed 12-16-2004 in Vol. 2004C, Folio 391

TRACT H-1
THE TRAILS

FILED 12-16-2004
IN VOLUME 2004C, FOLIO 391

TRACT 12
THE TRAILS UNIT 2

TRACT OS-3
THE TRAILS UNIT 3A
FILED 12-21-2007, IN VOLUME 2007C, FOLIO 352

TRACT E
THE TRAILS
FILED 12-15-2003, IN VOLUME 2003C, FOLIO 375
NOT A PART OF THIS SURVEY

RAINBOW BOULEVAD

RAINBOW BOULEVAD N.W.

6
UNIT 3A
2007C, FOLIO 352

803.67'

N 00°00'00" W

N 4°10'35" W

168.01'

Bladed Area

WOODMONT AVENUE NW.

N 74°04'05" W

88' Dedicated Public R/W

477.73'

91'

Not to Scale

TRACT 9

25.2463 ACRES
VACANT LAND - NO BUILDINGS

TO BE VACATED

Tract H, The Trails is subject to a public water easement for a future well site granted to New Mexico Utilities, Inc. by plat filed December 15, 2003 in Plat Book 2003C, page 375.

Tract H, The Trails is subject to a blanket easement for public access, public storm drain, public water and public sanitary sewer easements to be granted to the City of Albuquerque by plat filed December 15, 2003 in Plat Book 2003C, page 375.

TRACT H-2 THE TRAILS

6' Temporary Landscape Buffer Easement per Plat filed 12-16-2004 in Vol. 2004C, Folio 391

TRACT H-1 THE TRAILS

FILED 12-16-2004, IN VOLUME 2004C, FOLIO 391

50' Private Access Easement per Document# 2008026798, recorded 3-7-2008

20' Private Sanitary Sewer Easement per Document# 2008026800, recorded 3-7-2008

20' Private Drainage Easement per Document# 2008026799, recorded 3-7-2008

TRACT OS-3 THE TRAILS UNIT 3A

FILED 12-21-2007, IN VOLUME 2007C, FOLIO 352

TRACT E THE TRAILS

FILED 12-15-2003, IN VOLUME 2003C, FOLIO 375
NOT A PART OF THIS SURVEY

50' Southern Union Gas Company Right of Way Easement filed 9-16-1930, in Book 112, Page 515 and filed 3-29-1936, in Book D346, Page 356 as Document No. 90568 and N.M. State Land Office Deed of Right of Way and Easement No. 646, dated 10-3-1930

Fig. 5/8" Rebar and cap stamped "L.S. 9750"

Fig. 3/8" Rebar and cap stamped "L.S. 5978"

VACATION EXHIBIT
TRACT 9
THE TRAILS UNIT 3A
WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY, 2008

RAINBOW BOULEVARD

RAINBOW BOULEVARD NW.

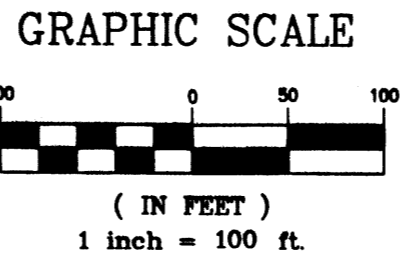
WINCREST TRAIL NW



SURVOTEK, INC.
Consulting Surveyors
6584 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

080191_VACATION.dwg

Albuquerque Control Survey Monument "UNION 1969"
 New Mexico State Plane Coordinates, Central
 Zone (NAD 27) as published:
 Y= 1,323,440.96
 X= 353,408.02
 Ground to grid factor= 0.9998044
 Delta Alpha= -00'16"58"
 Elevation= 5522.0 (NGVD29-Trig)



TRACTS H-1 AND H-2
THE TRAILS
 (BEING A REPLAT OF TRACT H, THE TRAILS)
 WITHIN
 THE TOWN OF ALAMEDA GRANT
 IN
 PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST, 2004

LEGAL DESCRIPTION

That certain parcel of land situate within the Town of Alameda Grant in projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract H of the Trails as the same is shown and designated on the plat entitled "BULK LAND PLAT OF THE TRAILS (A REPLAT OF A PORTION OF TRACT 4, BLACK RANCH), ALBUQUERQUE, NEW", filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 15, 2003 in Plat Book 2003C, Page 375.
 Said parcel contains 5.0054 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising, "TRACTS H-1 AND H-2, THE TRAILS (BEING A REPLAT OF TRACT H, THE TRAILS) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant to the use of the public forever, the public utility easements as shown hereon (if any). Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER- TRACT H, THE TRAILS
 THE TRAILS, LLC
 Longford Group, Inc., its Manager
 By *[Signature]*
 Larry Johannessen, Division President Date

ACKNOWLEDGEMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS
 The foregoing instrument was acknowledged before me this 3 day of December, 2004, by Larry Johannessen, Division President of The Trails, LLC.
[Signature] My commission expires 2-11-06
 Notary Public



LINE	LENGTH	BEARING
L1	50.00'	N00°22'27"E
L2	256.69'	N89°37'33"W
L3	52.81'	N62°43'26"E
L4	65.12'	N62°43'26"E

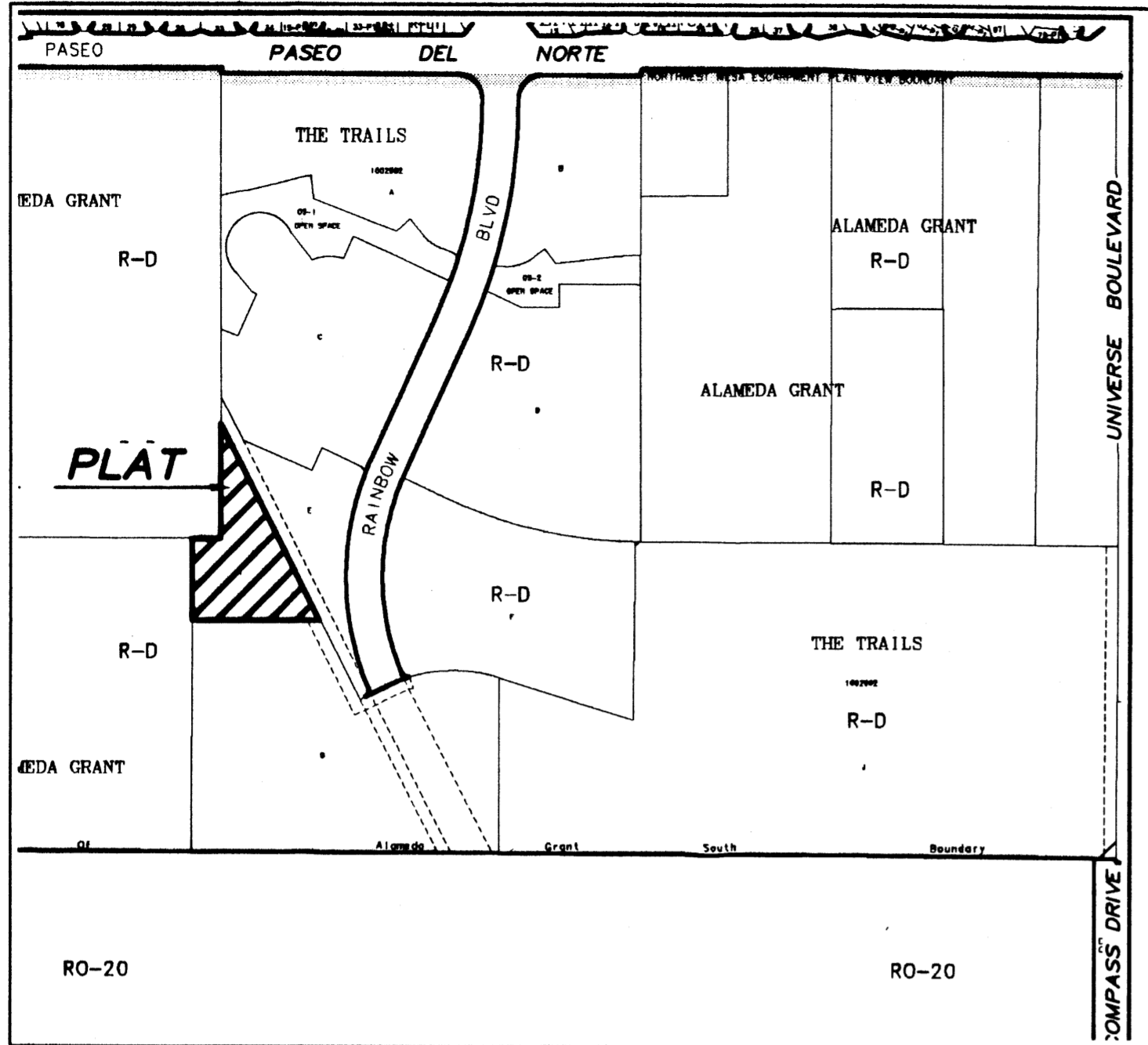


SHEET 2 OF 2

SURV TEK, INC.
 Consulting Surveyors
 5645 Paradise Blvd. N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3366 Fax: 505-897-5377

UNPLATTED LAND OF
 INDUSTRY DEVELOPMENT LTD., CO.

040807.DWG



Vicinity Map
N. T. S.

GENERAL NOTES

- Bearings are grid based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 27).
- Distances are ground.
- Record plat bearings and distances where they differ from those measured by field survey are shown in parenthesis ().
- All corners are a 5/8" rebar and cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Albuquerque City Zone Atlas page C-9.
- U.C.L.S. Log Number 2004370086.

DISCLOSURE STATEMENT

The purpose of this Bulkland Plat is to:

- Divide existing Tract H into two (2) Tracts as shown hereon. Tract H-1 to be conveyed to New Mexico Utilities, Inc. as a well site.
- Grant the additional Public Utility Easements as shown hereon (if any).

SUBMISSION DATA

- Total number of existing Tracts: 1
- Total number of Tracts created: 2
- Gross Subdivision acreage: 5.0054 acres.

BLANKET EASEMENT NOTES

- Existing Tract H, The Trails is subject to a blanket easement for public access, public storm drain, public water and public sanitary sewer granted to the City of Albuquerque by plat filed December 15, 2003 in Plat Book 2003C, page 375.
- Existing Tract H, The Trails is subject to a public water easement for a future well site granted to New Mexico Utilities, Inc. by plat filed December 15, 2003 in Plat Book 2003C, page 375.



TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

1009 064 159 3R1 202 19
Indus Development Ltd
Wanny V. [Signature] 16 Dec 04
 Bernalillo County Treasurer Date

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- New Mexico Utilities, Inc. for the installation, maintenance, and service of underground water and sanitary sewer lines, valves and other equipment and facilities reasonably necessary to provide water and sanitary sewer service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interferes with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

[Signature]
 Russ P. Hugg
 NMPS No. 9750
 August 16, 2004

TRACTS H-1 AND H-2
THE TRAILS
 (BEING A REPLAT OF TRACT H, THE TRAILS)
 WITHIN
 THE TOWN OF ALAMEDA GRANT
 IN
 PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST, 2004

PROJECT NUMBER: 100368Y
 Application Number: 04 DRB 01463

PLAT APPROVAL

Utility Approvals

<i>[Signature]</i> PNM Electric Services	10-25-04 Date
<i>[Signature]</i> PNM Gas Services	10-25-04 Date
<i>[Signature]</i> QWest Corporation	10-11-04 Date
<i>[Signature]</i> Comcast	10-22-09 Date
<i>[Signature]</i> New Mexico Utilities	9-22-04 Date

Note: These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and Sanitary Sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

City Approvals

<i>[Signature]</i> City Surveyor	9-15-04 Date
<i>[Signature]</i> Real Property Division	Date
<i>[Signature]</i> Environmental Health Department	Date
<i>[Signature]</i> Traffic Engineering, Transportation Division	12-1-04 Date
<i>[Signature]</i> Utilities Department	12-1-04 Date
<i>[Signature]</i> Parks and Recreation Department	12/1/04 Date
<i>[Signature]</i> AMA/CA	12/1/04 Date
<i>[Signature]</i> City Engineer	12/1/04 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	12/03/04 Date



SHEET 1 OF 2

SURV TEK, INC.

Consulting Surveyors
 6645 Paradise Blvd. N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3366 Fax: 505-897-3377

Albuquerque Control Survey Monument "UNION 1969"
 New Mexico State Plane Coordinates, Central
 Zone (NAD 27) as published:
 Y= 1,523,440.96
 X= 353,408.02
 Ground to grid factor= 0.99966044
 Delta Alpha= -00'16"58"
 Elevation= 5522.0 (NGVD29-Trig)

GRAPHIC SCALE
 (IN FEET)
 1 inch = 100 ft.

**TRACTS H-1 AND H-2
 THE TRAILS**
 (BEING A REPLAT OF TRACT H, THE TRAILS)
 WITHIN
 THE TOWN OF ALAMEDA GRANT
 IN
 PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST, 2004

LEGAL DESCRIPTION
 That certain parcel of land situate within the Town of Alameda Grant in projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract H of the Trails as the same is shown and designated on the plat entitled "BULK LAND PLAT OF THE TRAILS (A REPLAT OF A PORTION OF TRACT 4, BLACK RANCH), ALBUQUERQUE, NEW", filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 15, 2003 in Plat Book 2003C, Page 375.
 Said parcel contains 5.0054 acres, more or less.

FREE CONSENT AND DEDICATION
 SURVEYED and REPLATTED and now comprising, "TRACTS H-1 AND H-2, THE TRAILS (BEING A REPLAT OF TRACT H, THE TRAILS) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant to the use of the public forever, the public utility easements as shown hereon (if any). Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER- TRACT H, THE TRAILS
 THE TRAILS, LLC
 Longford Group, Inc., its Manager
 By James R. Baker 9-13-04
 James R. Baker, Division President Date

ACKNOWLEDGEMENT
 STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS
 The foregoing instrument was acknowledged before me this 13th
 day of September, 2004, by James R. Baker, Division
 President of The Trails, LLC.
Rebecca J. Monette My commission expires 8/23/2005
 Notary Public

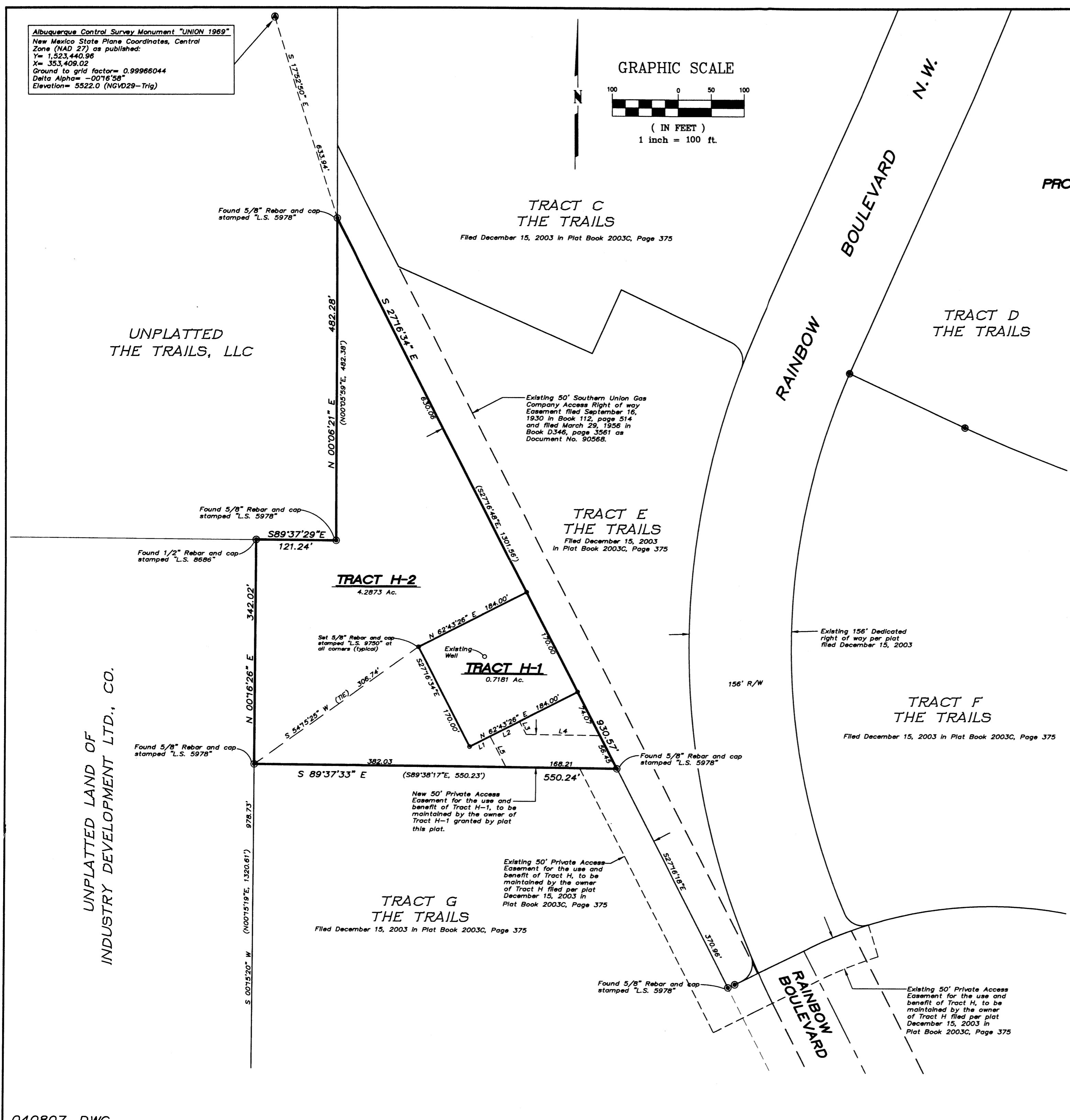
OFFICIAL SEAL
 REBECCA J. MONETTE
 NOTARY PUBLIC-STATE OF NEW MEXICO
 My commission expires 8/23/2005

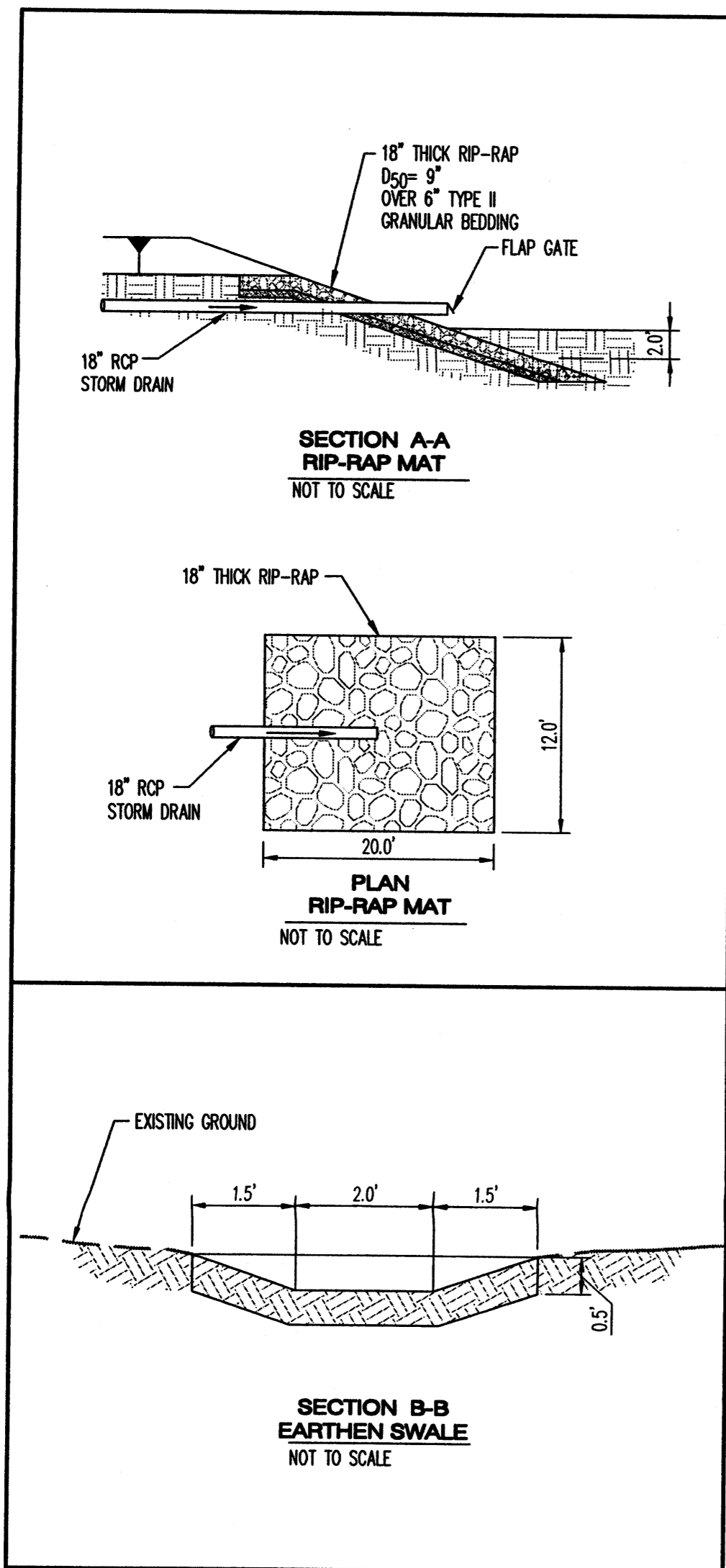


RECEIVED
 HOMER NEW MEXICO
 SEP 08 2004

SHEET 2 OF 2

SURV TEK, INC.
 Consulting Surveyors
 6643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3566
 Fax: 505-897-3577





ELEVATION	AREA (sq)	INCREMENTAL VOLUME (cu)	CUMULATIVE VOLUME (cu)
5460.00	0.0		
5461.00	1279	639	639
5462.00	1893	1586	2225
5463.00	2594	2243	4468
5464.00	3372	2983	7451

Land Treatment	CFS/Acre	E- Excess Precipitation (6-hr)						
A	1.29	0.44						
B	2.03	0.67						
C	2.87	0.99						
D	4.37	1.97						

BASIN	Total Area (Ac.)	A	B	C	D	Flowrate ¹ (cfs)	6-hr Volume ² (cu. Ft.)	24-hr Volume ³ (cu. ft.)
'A' OFF-SITE	0.8924	100	0.0	0.0	0.0	1.15	1424	1424
'B' OFF-SITE	1.189	75	25	0.0	0.0	1.75	2148	2148
'C' ON-SITE	0.6137	0.0	0.0	88	12	1.87	2544	2666
Total=						4.77	6116	6238

GENERAL NOTES

- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT BY VINYARD & ASSOCIATES DATED 10/2004 (V&A PROJECT #04-1-362).
- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
- ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE, EXCEPT FOR WALL ON EAST SIDE. THIS WALL IS APPROXIMATELY 26' WEST OF THE EASTERN PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSES ONLY.

GRADING AND DRAINAGE PLAN

THE WELL SITE IS LOCATED ON A 0.7181 ACRE LOT WITH ONLY 0.6137 ACRES BEING AFFECTED. IT HAS TWO OFFSITE BASINS (SEE GRADING & DRAINAGE SHEET). AS CAN BE SEEN ON THE FEMA MAPPING EXHIBIT, THE SITE IS NOT SUSCEPTIBLE TO FLOODING. ALL DRAINAGE CALCULATIONS ARE DONE IN ACCORDANCE WITH THE BERNALILLO COUNTY DRAINAGE ORDINANCE (96-5) AND THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, CHAPTER 22.2. THE DESIGN STORM IS THE 100-YEAR 6-HOUR STORM IN ZONE 1 (DPM CHAPTER 22, FIGURE A-1).

EXISTING CONDITIONS

UNDER EXISTING CONDITIONS THE PROJECT SITE IS UNDEVELOPED AND SURROUNDED BY UNDEVELOPED LAND. SINCE FUTURE OFFSITE FLOWS COMING ONTO THE SITE WOULD BE RESTRICTED TO PREDEVELOPMENT LEVELS, ONLY THE EXISTING OFFSITE BASINS ARE USED.

DEVELOPED CONDITIONS

FOR THE CONDITIONS PROPOSED IN THIS PLAN SET THERE WILL BE NO FLOW OFFSITE FROM THE 0.6137 ACRES. INSTEAD ALL FLOW, INCLUDING FROM THE OFFSITE BASINS, WILL BE DIRECTED TO THE ONSITE DETENTION POND. THE DETENTION POND IS MORE THAN ADEQUATE (7,450 CU. FT.) FOR THE 100-YR 6-HR STORM AS IT IS SIZED TO HANDLE A TWO HOUR WASH CYCLE FOR THE WELL. THE WASH CYCLE WILL ONLY HAPPEN IN THE CASE OF AN EMERGENCY. TWO COBBLE LINED SWALES ARE USED TO TRANSPORT THE FLOWS TO THE DETENTION POND AND PREVENT EROSION ON THE SITE. THESE SWALES ARE DESIGNED TO HAVE A MINIMUM CAPACITY OF 5 CFS EACH. CALCULATIONS FOR FLOWRATES, VOLUMES, AND CAPACITIES ARE SHOWN ON THE FOLLOWING SHEET.

LEGEND

- FUTURE PROPERTY BOUNDARY
- BASIN BOUNDARY
- 91.62 91.62 PROPOSED SPOT ELEVATIONS
- x 92.46 EXISTING SPOT ELEVATIONS
- 5470 --- EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- PROPOSED RETAINING WALL
- PROPOSED GARDEN WALL, CONCRETE FILLED TO 1-FOOT DEPTH
- ▽ PROPOSED SLOPE
- ← WALL DRAIN

GRADING REQUIREMENTS FOR LANDSCAPE IMPROVEMENTS WITHIN ROCK OUTCROPS

ROCK OUTCROPS EXIST ON THIS SITE. THE CONTRACTOR SHALL GRADE THE SITE TO THE FINISHED GRADES AND ELEVATIONS SHOWN ON THIS PLAN. INCLUDED IN THE SITE GRADING IS ALL ROCK EXCAVATION NECESSARY FOR SITE GRADING, FOUNDATIONS, STRUCTURES, UTILITY AND LANDSCAPE IMPROVEMENTS. ALL AREAS RECEIVING LANDSCAPE IMPROVEMENTS SHALL BE FREE OF ROCK AND HAVE A MAXIMUM DENSITY OF 80% FOR A MINIMUM DEPTH OF 24 INCHES. SHRUBS SHALL REQUIRE A MINIMUM DEPTH OF 36" OVER A 5' DIAMETER AREA. TREES SHALL REQUIRE A 5' MINIMUM DEPTH OVER A 10' x 10' AREA. THE USE OF SPILL MATERIAL FROM OTHER PORTIONS OF THE SITE IS ACCEPTABLE, SUBJECT TO COA SPECIFICATIONS. SEE LANDSCAPE PLANS FOR SOIL AMENDMENTS ASSOCIATED WITH LANDSCAPING AND PLANTING IMPROVEMENTS.

I CERTIFY THAT THE SITE EXISTING TOPOGRAPHY WAS BASED ON A PHYSICAL SURVEY OF THE PROPERTY AND THAT THE SITE HAS NOT BEEN DISTURBED EXCEPT FOR AN AREA APPROXIMATELY 150 FEET ON A SIDE CENTERED ON THE WELL HEAD. THAT AREA WAS MADE LEVEL DURING THE WELL DRILLING PROJECT.

JAMES C. THOMTE

ROUGH GRADING (±0.5')
 APPROVED FOR ROUGH GRADING DATE

Bohannon & Huston
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

NEW MEXICO UTILITIES, INC.
 NEW MEXICO UTILITIES, INC.
 WELL NO. 9 SITE DEVELOPMENT
 GRADING AND DRAINAGE DETAILS

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	C-9-Z	2	2

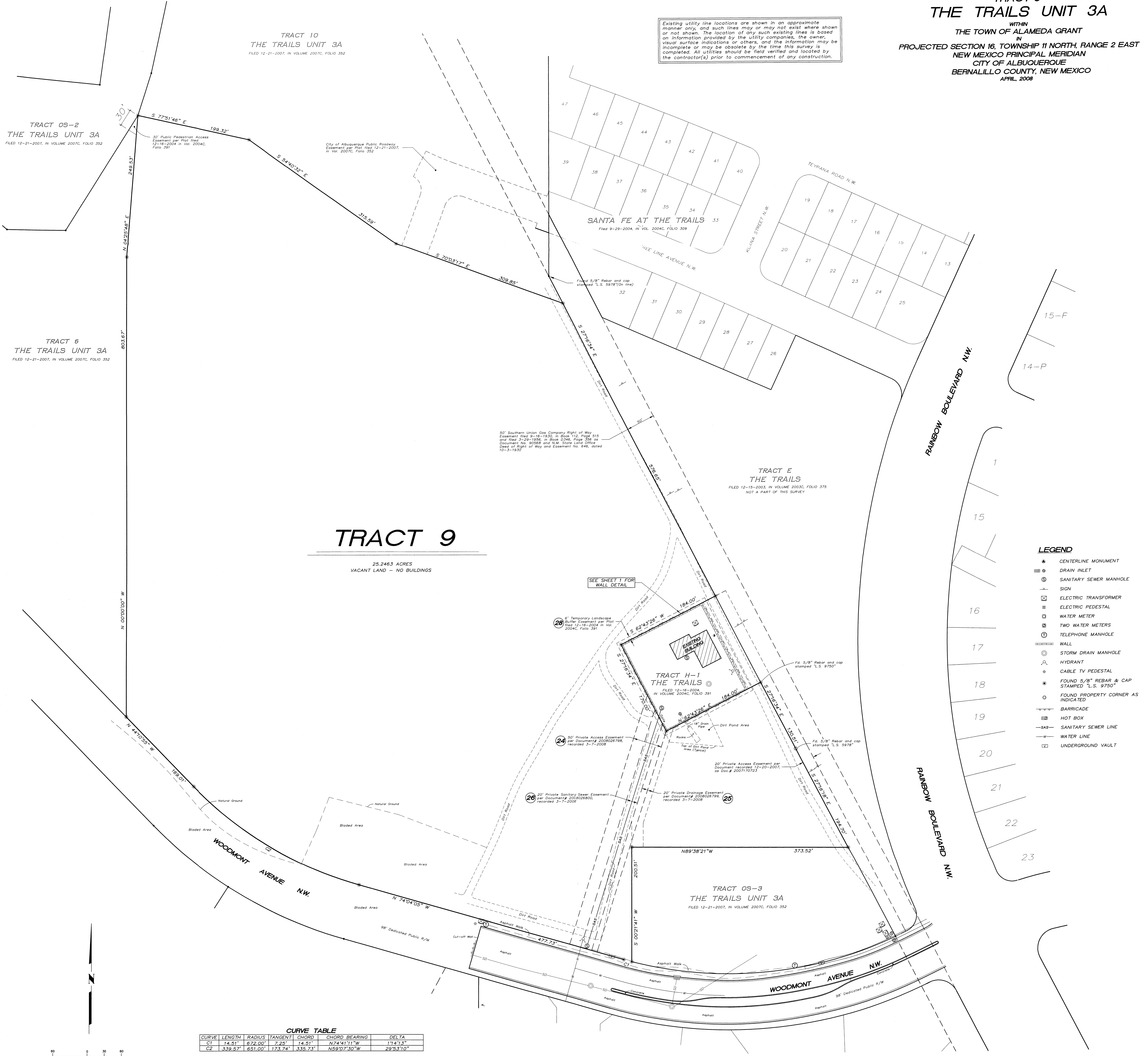
AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	ACS BRASS TABLET STAMPED "UNION 1969"	DATE	NO.	BY	REVISIONS	DATE
DESIGNED BY	DATE	Geographic Position (NAD 1927)	DATE			DESIGN	DATE
ACCEPTANCE BY	DATE	N.M. State Plane Coordinates (Central Zone)	DATE				DATE
REVISIONS BY	DATE	X= 353,408.02 Y= 1,523,440.96	DATE				DATE
FOR APPROVAL BY	DATE	Ground-to-Grid Factor = 0.99966044	DATE				DATE
RECORDED BY	DATE	ΔC = -00'16"58"	DATE				DATE
		(NG029-Trig) Elevation = 5522.0					

P:\040271\csp\general\040271-WellGP02.dwg
 November 15, 2004 - 1:33pm

SITE MAP
AL.T.A. / A.C.S.M. LAND TITLE SURVEY OF
TRACT 9
THE TRAILS UNIT 3A

WITHIN
THE TOWN OF ALAMEDA GRANT
 IN
PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
 APRIL, 2008

Existing utility line locations are shown in an approximate manner only, and such lines may or may not exist where shown or not shown. The location of any such existing lines is based on information provided by the utility companies, the owner, visual surface indications or others, and the information may be incomplete or may be obsolete by the time this survey is completed. All utilities should be field verified and located by the contractor(s) prior to commencement of any construction.



TRACT 9

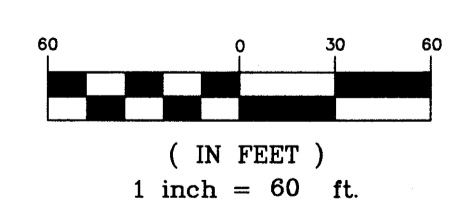
25.2463 ACRES
 VACANT LAND - NO BUILDINGS

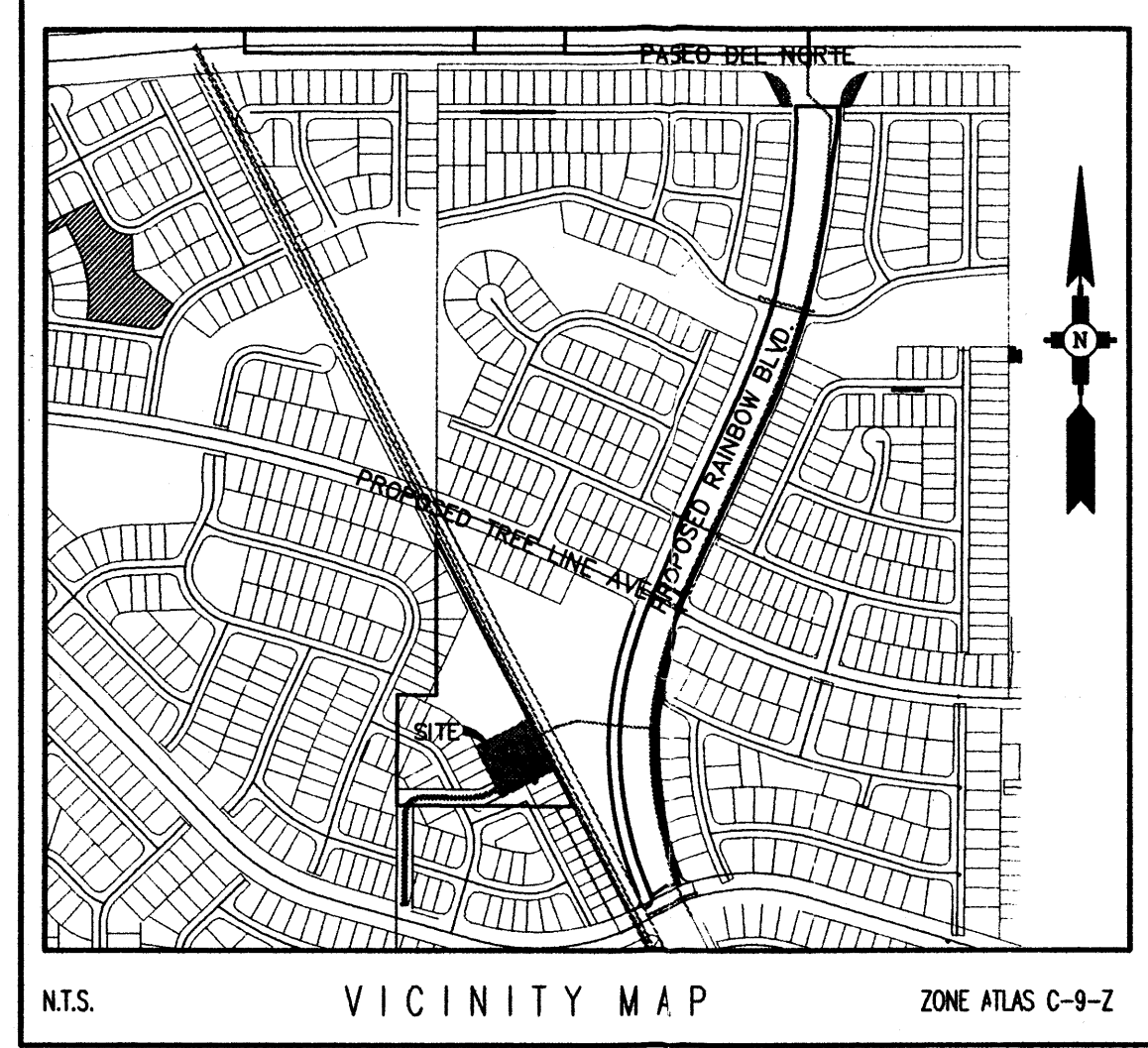
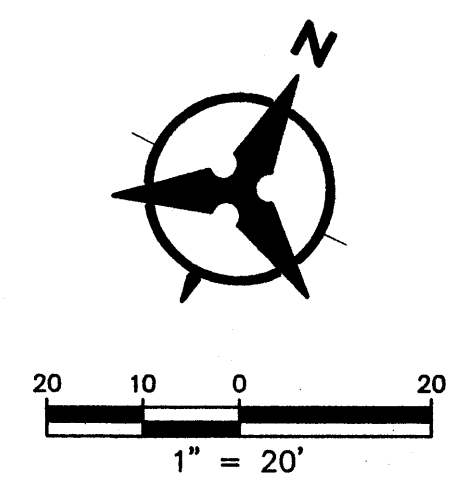
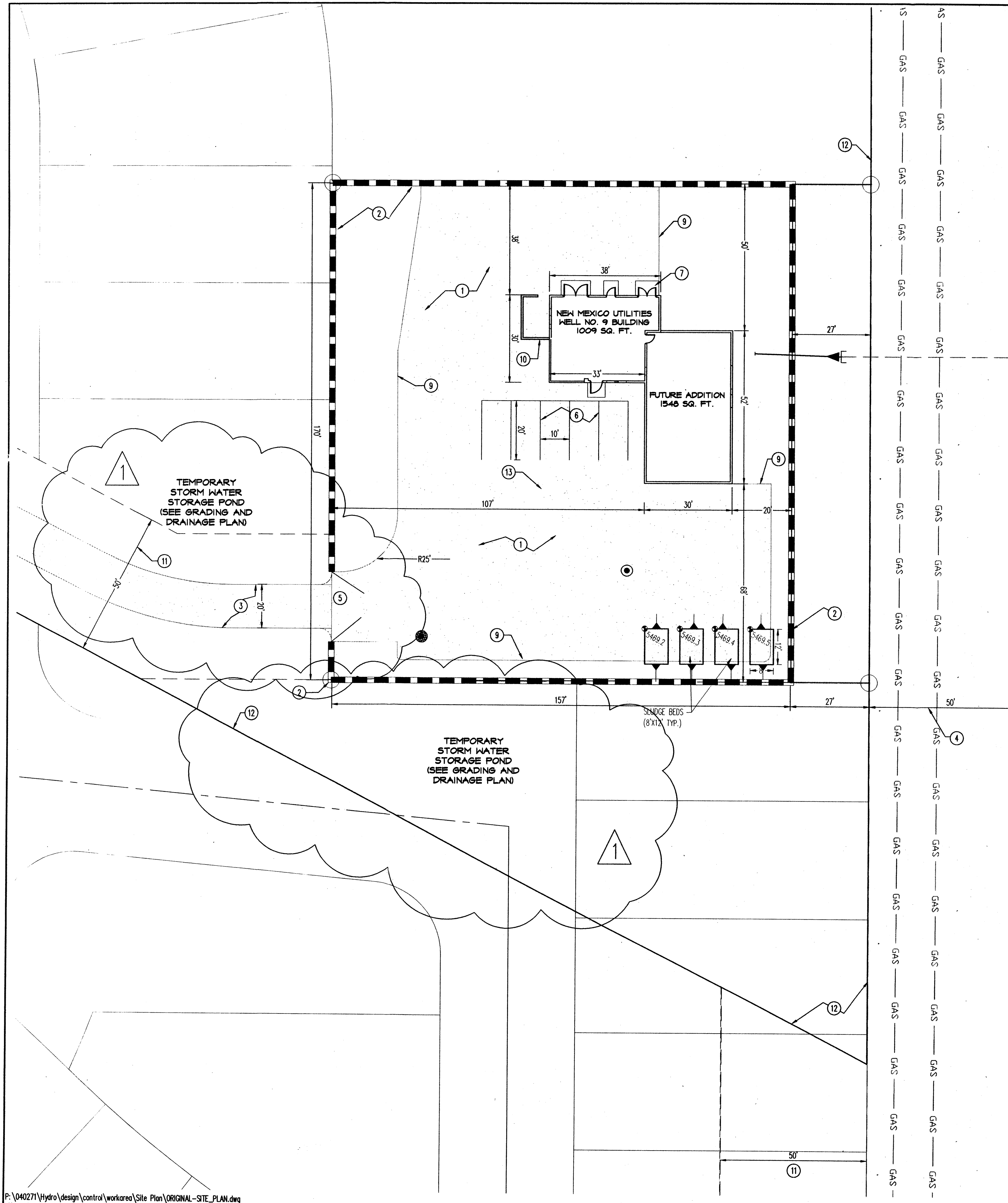
LEGEND

- CENTERLINE MONUMENT
- DRAIN INLET
- ⊙ SANITARY SEWER MANHOLE
- ⊙ SIGN
- ⊙ ELECTRIC TRANSFORMER
- ⊙ ELECTRIC PEDESTAL
- ⊙ WATER METER
- ⊙ TWO WATER METERS
- ⊙ TELEPHONE MANHOLE
- WALL
- ⊙ STORM DRAIN MANHOLE
- ⊙ HYDRANT
- ⊙ CABLE TV PEDESTAL
- ⊙ FOUND 5/8" REBAR & CAP STAMPED "L.S. 9750"
- ⊙ FOUND PROPERTY CORNER AS INDICATED
- BARRICADE
- ⊙ HOT BOX
- SAS — SANITARY SEWER LINE
- WATER LINE
- ⊙ UNDERGROUND VAULT

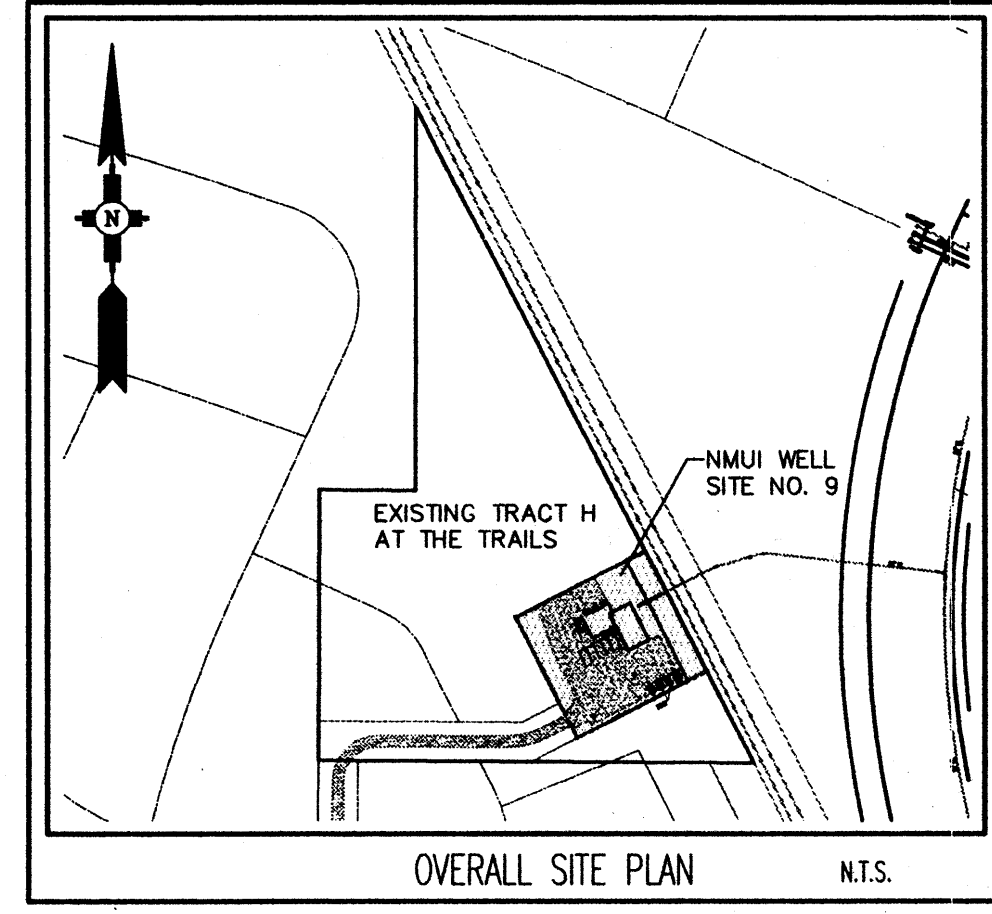
CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	14.51'	672.00'	7.28'	14.91'	N74°41'11"W	174°13"
C2	339.87'	651.00'	173.74'	336.73'	N58°07'30"W	29°33'10"





**SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT**
NEW MEXICO UTILITIES, INC.
WELL SITE NO. 9
SITE PLAN



GENERAL NOTES:
A. EXISTING ZONING: R-D
B. PROPOSED USE OF BUILDING: PUBLIC UTILITY STRUCTURE - NEW MEXICO UTILITIES, INC., WELL NO. 9.

- KEYED NOTES:**
- ① GRAVEL DRIVING SURFACE.
 - ② SPLIT FACE CONCRETE BLOCK PERIMETER WALL. SEE LANDSCAPE PLAN FOR DETAILS.
 - ③ TEMPORARY GRAVEL ACCESS DRIVE. FUTURE ACCESS TO BE PROVIDED VIA RESIDENTIAL SUBDIVISION PAVED ROADS.
 - ④ EXISTING 50' WIDE P.N.M. GAS LINE EASEMENT.
 - ⑤ VEHICULAR ACCESS GATES.
 - ⑥ PARKING SPACES.
 - ⑦ CONCRETE SIDEWALK.
 - ⑧ 20' WATER DISTRIBUTION LINE.
 - ⑨ EDGE OF DRIVING SURFACE.
 - ⑩ SCREENED MECHANICAL EQUIPMENT ENCLOSED TO MATCH BUILDING CMU.
 - ⑪ EXISTING 50' PRIVATE ACCESS EASEMENT.
 - ⑫ TRACT H BOUNDARY. (SEE OVERALL SITE PLAN ABOVE)

PROPOSED PUBLIC PARK
SEE LANDSCAPE PLAN

AFD PLANS CHECKING OFFICE
924-3611
**APPROVED/DISAPPROVED
HYDRANT(S) ONLY**
[Signature] 12-2-04
SIGNATURE & DATE

PROPOSED RAINBOW BLVD.
156' R/W

SITE DEVELOPMENT PLAN APPROVAL:
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED April 16, 2004 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED. E.P.C. Project 1002962/04EPC-00299.

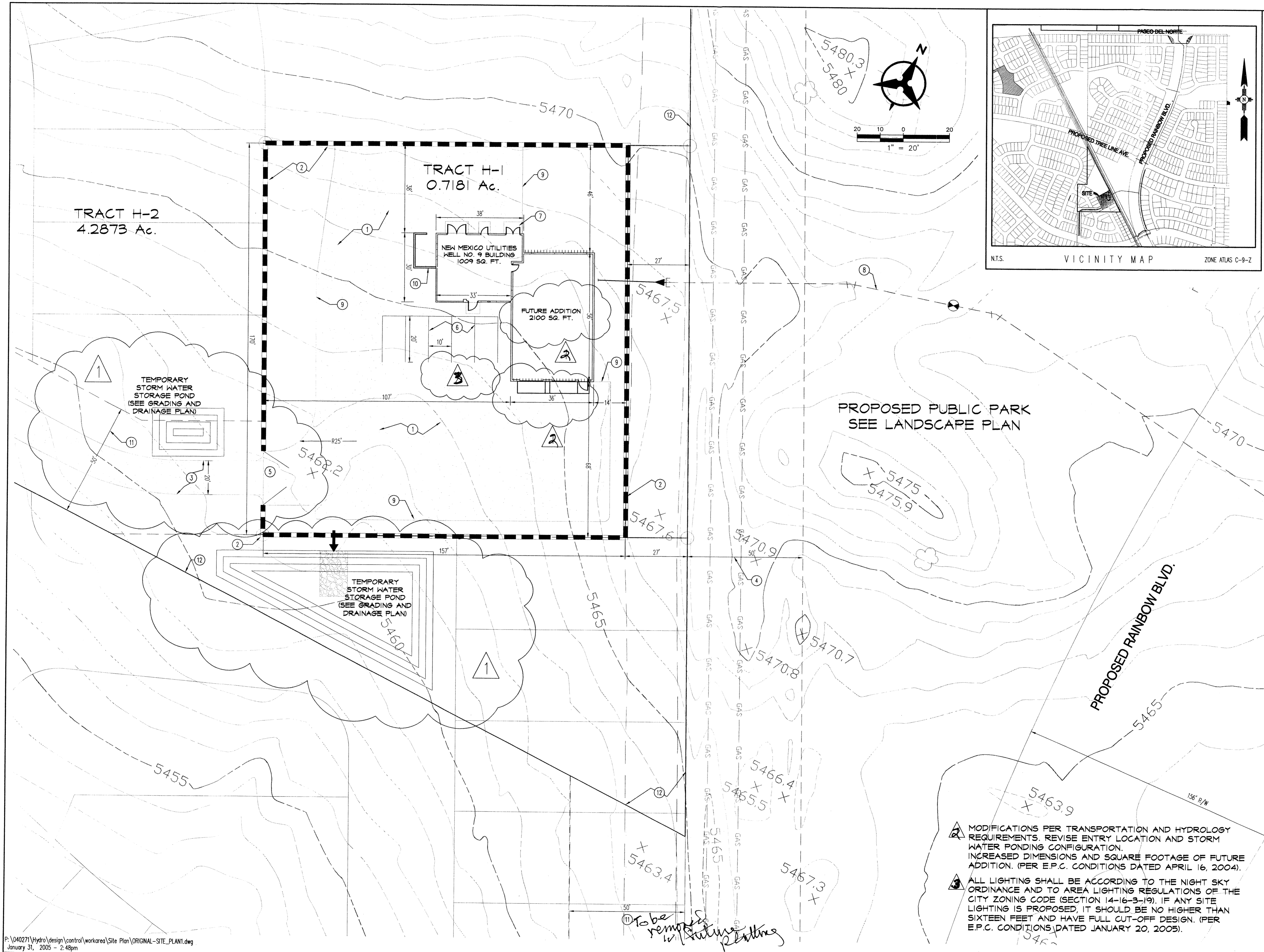
IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

<i>[Signature]</i>	12-1-04
ENGINEER, TRANSPORTATION DIVISION	DATE
<i>[Signature]</i>	12-1-04
UTILITIES DEVELOPMENT	DATE
<i>[Signature]</i>	12/1/04
PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	12/1/04
CITY ENGINEER	DATE
N/A	
*ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE
<i>[Signature]</i>	11/15/04
UNMANNED FACILITY SOLID WASTE MANAGEMENT	DATE
<i>[Signature]</i>	12/2/04
DEPT. CHAIRPERSON, PLANNING DEPARTMENT	DATE
*Environmental Health, if necessary	12/16/03

MODIFICATIONS PER TRANSPORTATION AND HYDROLOGY REQUIREMENTS. REVISE ENTRY LOCATION AND STORM WATER PONDING CONFIGURATION.

Bohannon & Huston
 Courtyard 1 7800 Jefferson St. NE Albuquerque, NM 87109-6396
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

P:\040271\Hydro\design\control\workarea\Site Plan\ORIGINAL-SITE_PLAN.dwg
November 24, 2004 - 7:51am



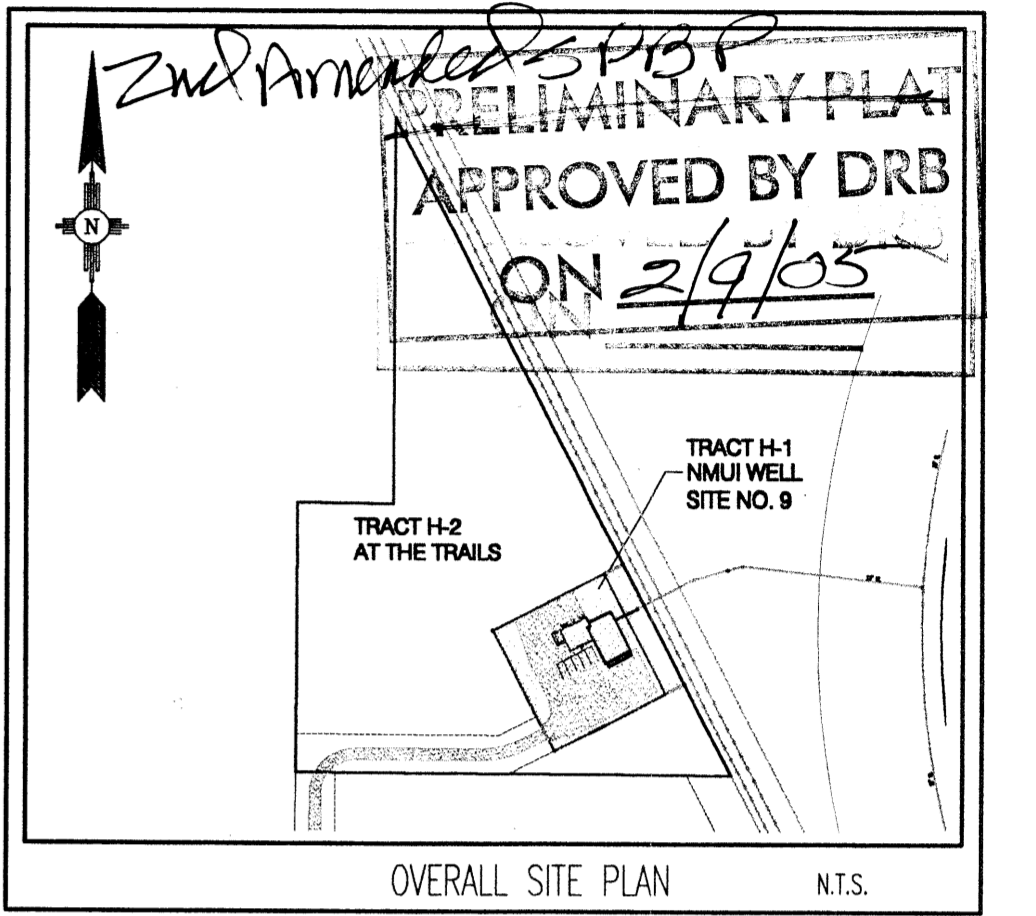
P:\040271\Hydro\design\control\workarea\Site Plan\ORIGINAL-SITE_PLANI.dwg
January 31, 2005 - 2:48pm

To be removed in future plotting

MODIFICATIONS PER TRANSPORTATION AND HYDROLOGY REQUIREMENTS. REVISE ENTRY LOCATION AND STORM WATER PONDING CONFIGURATION. INCREASED DIMENSIONS AND SQUARE FOOTAGE OF FUTURE ADDITION. (PER E.P.C. CONDITIONS DATED APRIL 16, 2004).

ALL LIGHTING SHALL BE ACCORDING TO THE NIGHT SKY ORDINANCE AND TO AREA LIGHTING REGULATIONS OF THE CITY ZONING CODE (SECTION 14-16-3-.19). IF ANY SITE LIGHTING IS PROPOSED, IT SHOULD BE NO HIGHER THAN SIXTEEN FEET AND HAVE FULL CUT-OFF DESIGN. (PER E.P.C. CONDITIONS DATED JANUARY 20, 2005).

**SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT**
NEW MEXICO UTILITIES, INC.
WELL SITE NO. 9
SITE PLAN



2nd Amended SPOB
RELIINARY PLAN
APPROVED BY DRB
ON 2/9/05

OVERALL SITE PLAN N.T.S.

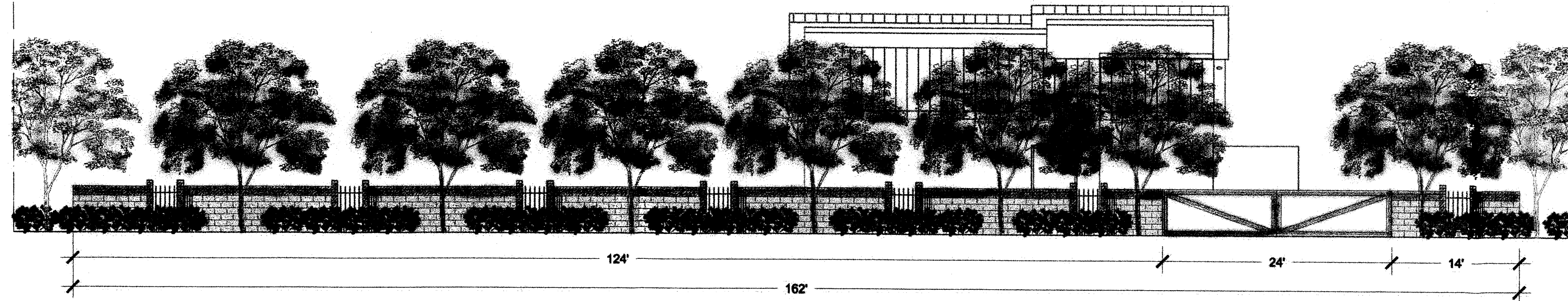
- GENERAL NOTES:**
- A. EXISTING ZONING: R-D
 - B. PROPOSED USE OF BUILDING: PUBLIC UTILITY STRUCTURE - NEW MEXICO UTILITIES, INC., WELL NO. 9.
- KEYED NOTES:**
- 1 GRAVEL DRIVING SURFACE.
 - 2 SPLIT FACE CONCRETE BLOCK PERIMETER WALL. SEE LANDSCAPE PLAN FOR DETAILS.
 - 3 TEMPORARY GRAVEL ACCESS DRIVE. FUTURE PERMANENT ACCESS TO BE PROVIDED VIA RESIDENTIAL SUBDIVISION PAVED ROADS.
 - 4 EXISTING 50' WIDE P.N.M. GAS LINE EASEMENT.
 - 5 VEHICULAR ACCESS GATES.
 - 6 PARKING SPACES.
 - 7 CONCRETE SIDEWALK.
 - 8 EXISTING 20' WATER DISTRIBUTION LINE.
 - 9 EDGE OF DRIVING SURFACE.
 - 10 SCREENED MECHANICAL EQUIPMENT ENCLOSED TO MATCH BUILDING CMU.
 - 11 EXISTING 50' PRIVATE ACCESS EASEMENT.
 - 12 TRACT H BOUNDARY. (SEE OVERALL SITE PLAN ABOVE)

Amended
SITE DEVELOPMENT PLAN APPROVAL:
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED JANUARY 20, 2005 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.
E.P.C. Project 1003688/04EPC-01832/01833.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

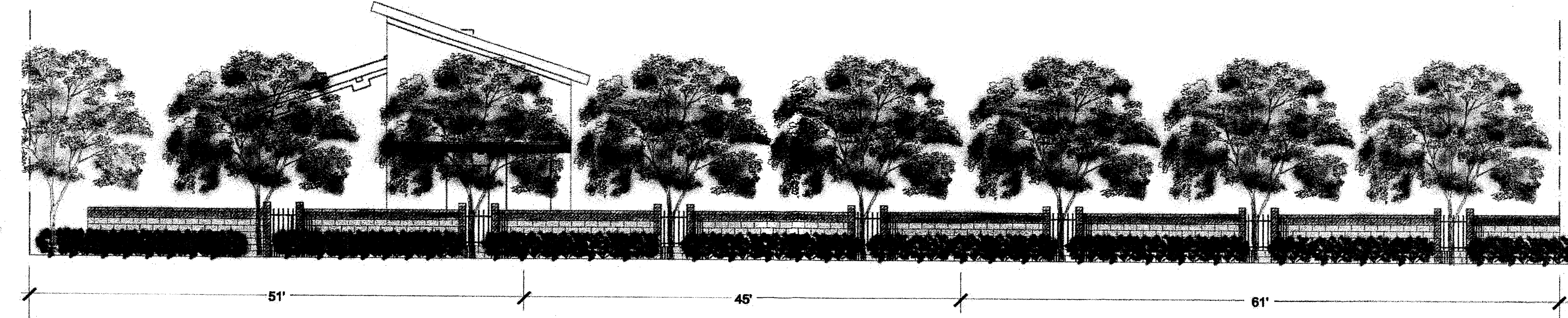
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
<i>UNMANAGED FACILITY</i>	DATE
*ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT Environmental Health, if necessary	12/16/03 DATE

Bohannon & Huston
 Courtyard 1 7800 Jefferson St. NE Albuquerque, NM 87109-4336
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



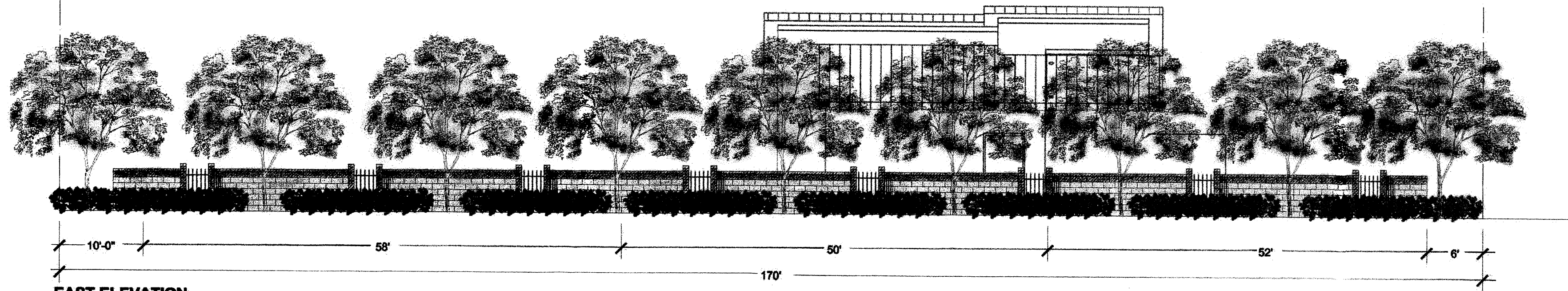
WEST ELEVATION

SCALE 1 TO 10



NORTH ELEVATION

SCALE 1 TO 10



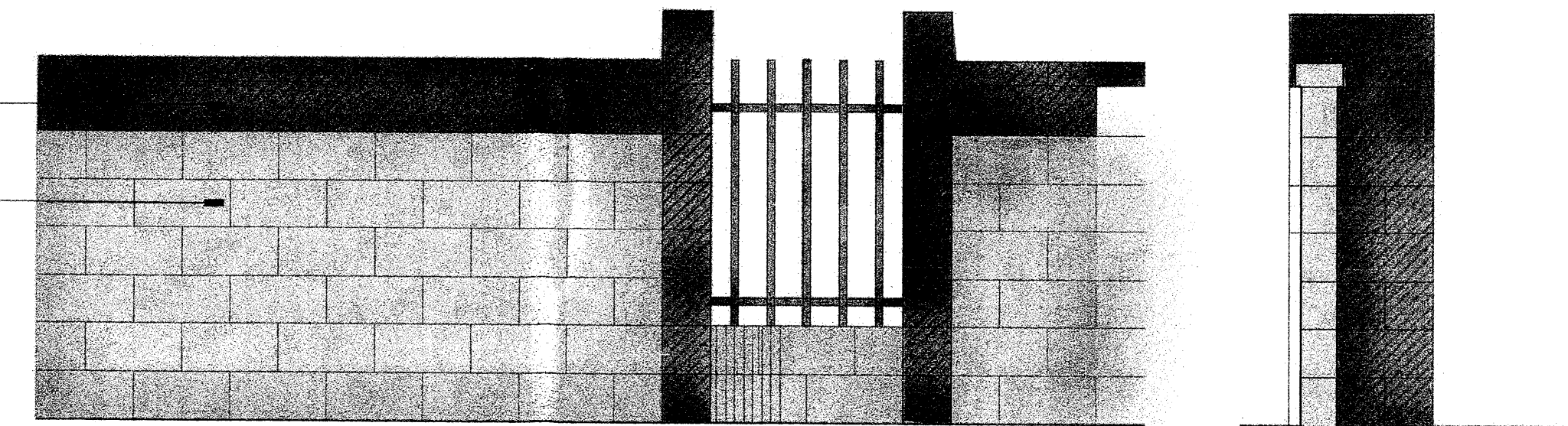
EAST ELEVATION

SCALE 1 TO 10

OPENING PILLAR DETAIL

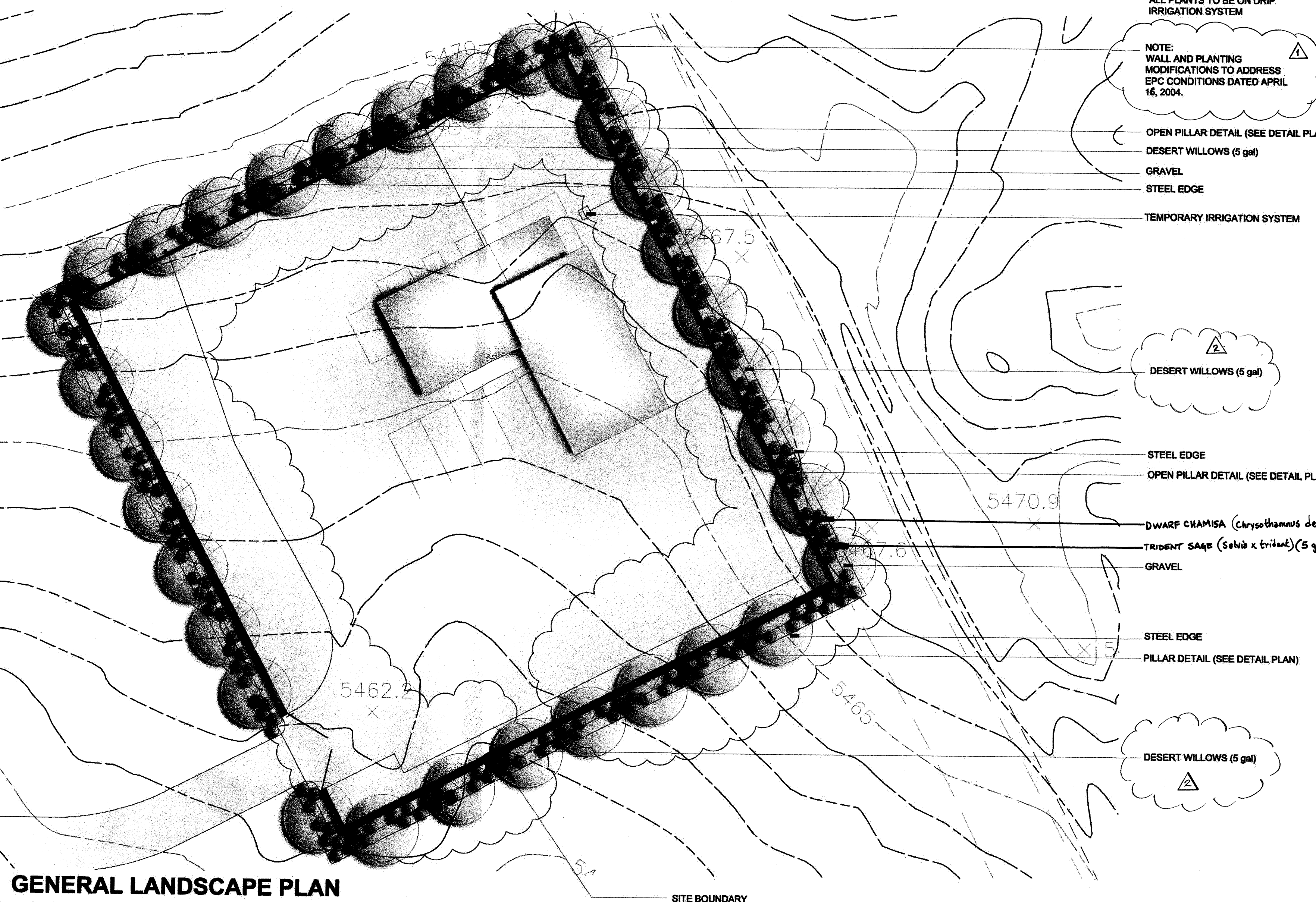
SCALE 1 TO 2

SPLIT FACE BLOCK
(DARK BROWN)
CORAL COLOR
SPLIT FACE CMU BLOCK



ELEVATION

CROSS SECTION



NOTE:
ALL PLANTS TO BE ON DRIP
IRRIGATION SYSTEM

NOTE:
WALL AND PLANTING
MODIFICATIONS TO ADDRESS
EPC CONDITIONS DATED APRIL
16, 2004.

OPEN PILLAR DETAIL (SEE DETAIL PLAN)
DESERT WILLOWS (5 gal)
GRAVEL
STEEL EDGE
TEMPORARY IRRIGATION SYSTEM

DESERT WILLOWS (5 gal)

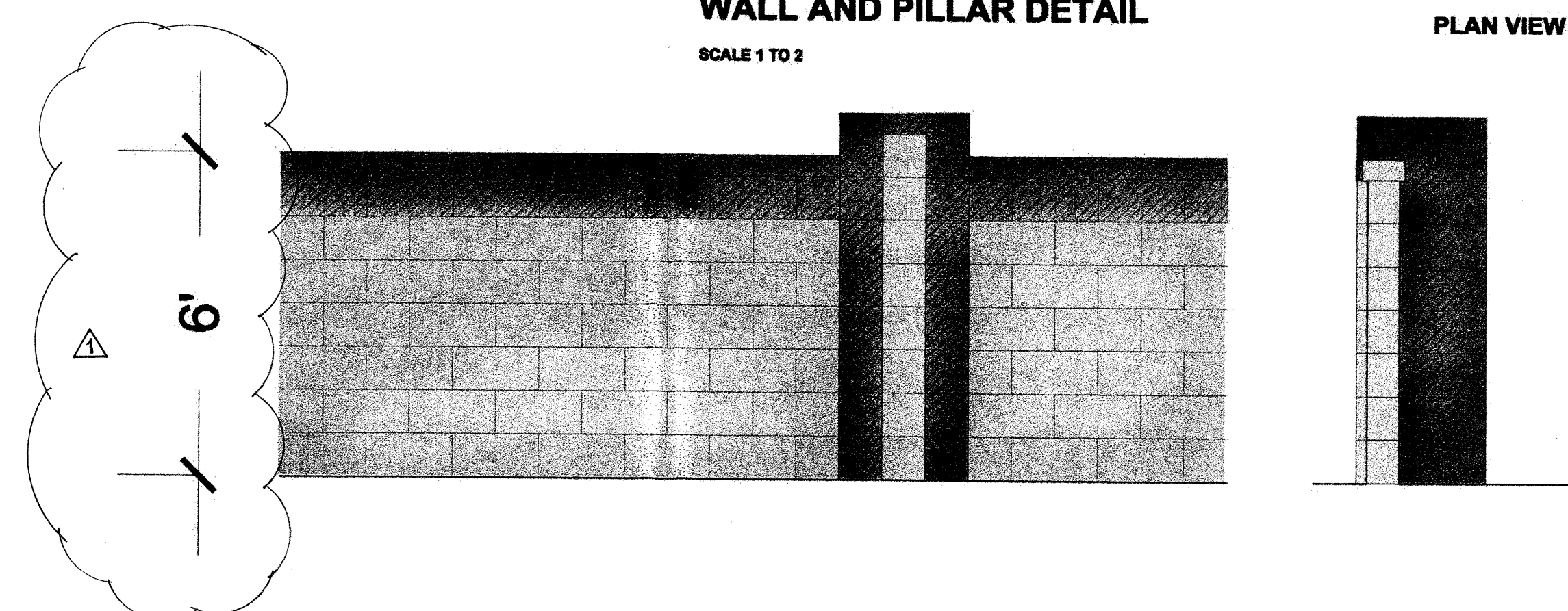
STEEL EDGE
OPEN PILLAR DETAIL (SEE DETAIL PLAN)
DWARF CHAMISA (*Chrysothamnus depressus*) (5 gal)
TRIDENT SAGE (*Salvia x trilobata*) (5 gal)
GRAVEL

STEEL EDGE
PILLAR DETAIL (SEE DETAIL PLAN)

DESERT WILLOWS (5 gal)

WALL AND PILLAR DETAIL

SCALE 1 TO 2



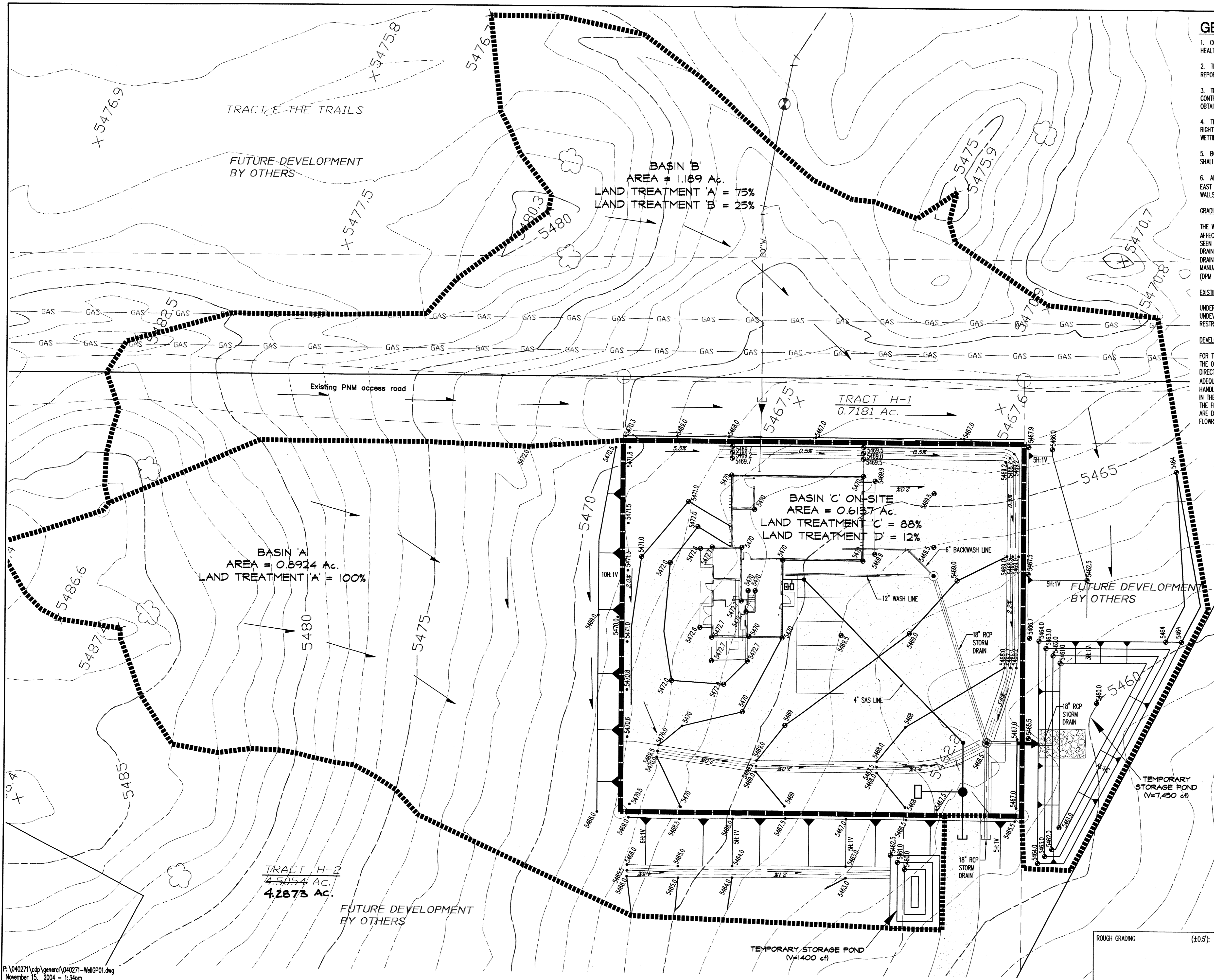
PLAN VIEW

SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT
CONCEPTUAL WALL PLANS

REVISIONS PER E.P.C. OFFICIAL NOTICE
OF DECISION DATED JANUARY 20, 2005.
REVISIONS PER E.P.C. OFFICIAL NOTICE
OF DECISION DATED APRIL 16, 2004.

Bohannon & Huston
Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

F:\Projects\3080 Longford Group\0-Cad\Bases\NMU\041108DW-3080-NMUA-modelbase03_fina.dwg
November 12, 2004 - 3:12pm



GENERAL NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOLS REPORT BY VINYARD & ASSOCIATES DATED 10/2004 (V&A PROJECT #04-1-362).
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
6. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE, EXCEPT FOR WALL ON EAST SIDE. THIS WALL IS APPROXIMATELY 26' WEST OF THE EASTERN PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSES ONLY.

GRADING AND DRAINAGE PLAN

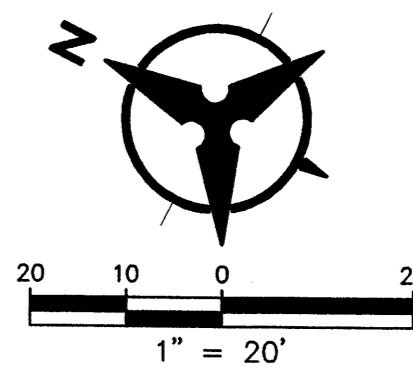
THE WELL SITE IS LOCATED ON A 0.7181 ACRE LOT WITH ONLY 0.6137 ACRES BEING AFFECTED. IT HAS TWO OFFSITE BASINS (SEE GRADING & DRAINAGE SHEET). AS CAN BE SEEN ON THE FEMA MAPPING EXHIBIT, THE SITE IS NOT SUSCEPTIBLE TO FLOODING. ALL DRAINAGE CALCULATIONS ARE DONE IN ACCORDANCE WITH THE BERNALILLO COUNTY DRAINAGE ORDINANCE (96-5) AND THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, CHAPTER 22.2. THE DESIGN STORM IS THE 100-YEAR 6-HOUR STORM IN ZONE 1 (OPM CHAPTER 22, FIGURE A-1).

EXISTING CONDITIONS

UNDER EXISTING CONDITIONS THE PROJECT SITE IS UNDEVELOPED AND SURROUNDED BY UNDEVELOPED LAND. SINCE FUTURE OFFSITE FLOWS COMING ONTO THE SITE WOULD BE RESTRICTED TO PREDEVELOPMENT LEVELS, ONLY THE EXISTING OFFSITE BASINS ARE USED.

DEVELOPED CONDITIONS

FOR THE CONDITIONS PROPOSED IN THIS PLAN SET THERE WILL BE NO FLOW OFFSITE FROM THE 0.6137 ACRES. INSTEAD ALL FLOW INCLUDING FROM THE OFFSITE BASINS WILL BE DIRECTED TO THE ONSITE DETENTION POND. THE DETENTION POND IS MORE THAN ADEQUATE (7450 CU FT.) FOR TWICE THE 100-YR 6-HR STORM AS IT IS SIZED TO HANDLE A TWO HOUR WASH CYCLE FOR THE WELL. THE WASH CYCLE WILL ONLY HAPPEN IN THE CASE OF AN EMERGENCY. TWO COBBLE LINED SWALES ARE USED TO TRANSPORT THE FLOWS TO THE DETENTION POND AND PREVENT EROSION ON THE SITE. THESE SWALES ARE DESIGNED TO HAVE A MINIMUM CAPACITY OF 5 CFS EACH. CALCULATIONS FOR FLOWRATES, VOLUMES, AND CAPACITIES ARE SHOWN ON THE FOLLOWING SHEET.



LEGEND

- FUTURE PROPERTY BOUNDARY
- BASIN BOUNDARY
- 91.62 • 91.62 PROPOSED SPOT ELEVATIONS
- × 92.46 EXISTING SPOT ELEVATIONS
- 5470 EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- PROPOSED RETAINING WALL
- PROPOSED GARDEN WALL, CONCRETE FILLED TO 1-FOOT DEPTH
- PROPOSED SLOPE
- ← WALL DRAIN

Bohannon ▲ Huston
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

NEW MEXICO UTILITIES, INC.

**NEW MEXICO UTILITIES, INC.
 WELL NO. 9 SITE DEVELOPMENT
 GRADING AND DRAINAGE PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.	Zone Map No.	Sheet	Of
	C-9-Z	1	2

AS-BUILT INFORMATION	
CONTRACTOR	DATE
DESIGNED BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE
REVISIONS BY	DATE
REVISIONS	DATE
DESIGN	DATE

BENCH MARKS	
NO.	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE

ENGINEER'S SEAL

REVISIONS	
No.	Date

Designed By: RVH	DATE: 11/15/04
Drawn By: LSM	DATE: 11/15/04
Checked By: RVH	DATE: 11/15/04

P:\040271\csp\general\040271-WellGP01.dwg
 November 15, 2004 - 1:34pm

GENERAL NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT BY VINYARD & ASSOCIATES DATED 10/2004 (V&A PROJECT #04-1-362).
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
6. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE, EXCEPT FOR WALL ON EAST SIDE. THIS WALL IS APPROXIMATELY 26' WEST OF THE EASTERN PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSES ONLY.

GRADING AND DRAINAGE PLAN

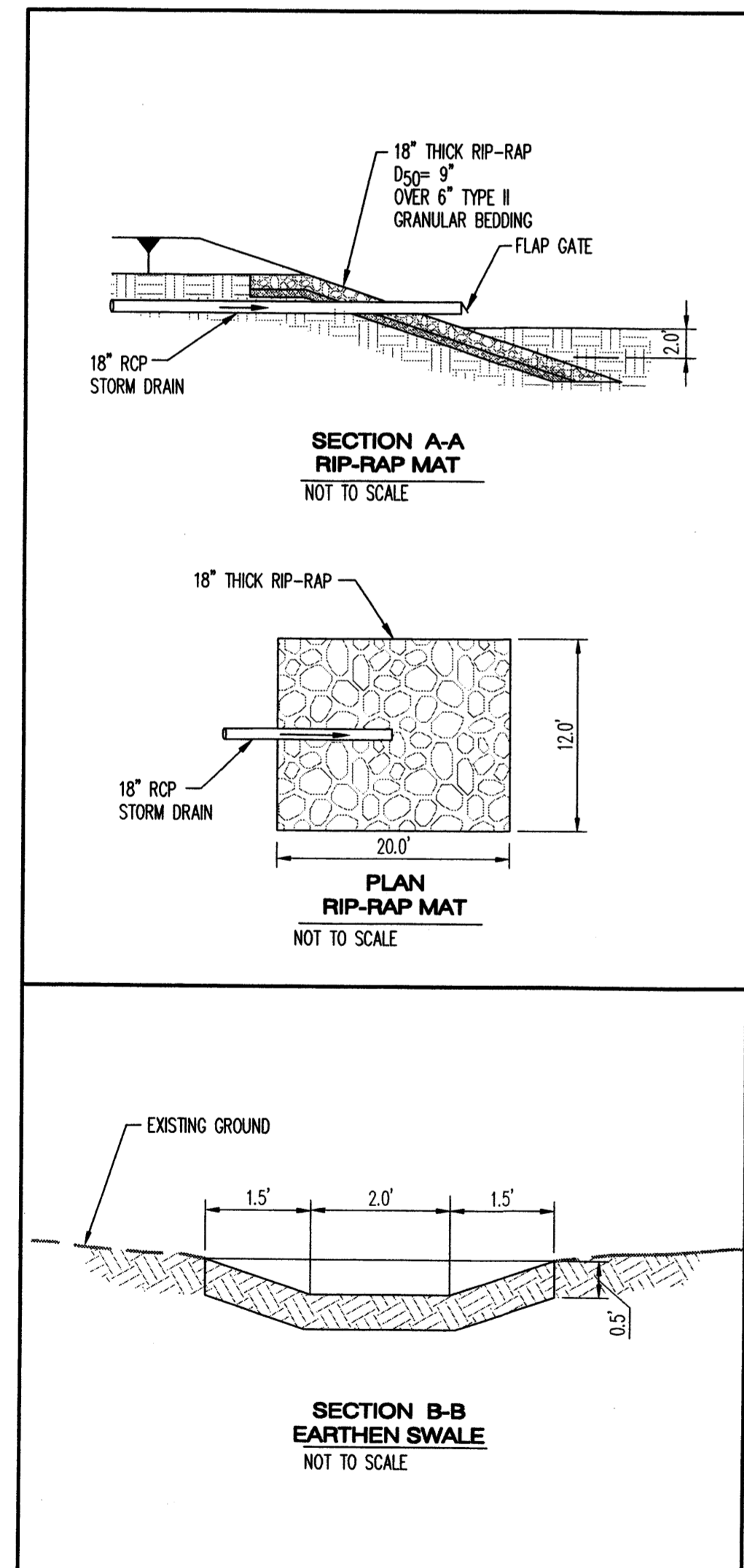
THE WELL SITE IS LOCATED ON A 0.7181 ACRE LOT WITH ONLY 0.6137 ACRES BEING AFFECTED. IT HAS TWO OFFSITE BASINS (SEE GRADING & DRAINAGE SHEET). AS CAN BE SEEN ON THE FEMA MAPPING EXHIBIT, THE SITE IS NOT SUSCEPTIBLE TO FLOODING. ALL DRAINAGE CALCULATIONS ARE DONE IN ACCORDANCE WITH THE BERNALILLO COUNTY DRAINAGE ORDINANCE (96-5) AND THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, CHAPTER 22.2. THE DESIGN STORM IS THE 100-YEAR 6-HOUR STORM IN ZONE 1 (DPM CHAPTER 22, FIGURE A-1).

EXISTING CONDITIONS

UNDER EXISTING CONDITIONS THE PROJECT SITE IS UNDEVELOPED AND SURROUNDED BY UNDEVELOPED LAND. SINCE FUTURE OFFSITE FLOWS COMING ONTO THE SITE WOULD BE RESTRICTED TO PREDEVELOPMENT LEVELS, ONLY THE EXISTING OFFSITE BASINS ARE USED.

DEVELOPED CONDITIONS

FOR THE CONDITIONS PROPOSED IN THIS PLAN SET THERE WILL BE NO FLOW OFFSITE FROM THE 0.6137 ACRES. INSTEAD ALL FLOW INCLUDING FROM THE OFFSITE BASINS, WILL BE DIRECTED TO THE ONSITE DETENTION POND. THE DETENTION POND IS MORE THAN ADEQUATE (7,450 CU. FT.) FOR TWICE THE 100-YR 6-HR STORM AS IT IS SIZED TO HANDLE A TWO HOUR WASH CYCLE FOR THE WELL. THE WASH CYCLE WILL ONLY HAPPEN IN THE CASE OF AN EMERGENCY. TWO COBBLE LINED SWALES ARE USED TO TRANSPORT THE FLOWS TO THE DETENTION POND AND PREVENT EROSION ON THE SITE. THESE SWALES ARE DESIGNED TO HAVE A MINIMUM CAPACITY OF 5 CFS EACH. CALCULATIONS FOR FLOWRATES, VOLUMES, AND CAPACITIES ARE SHOWN ON THE FOLLOWING SHEET.



ELEVATION	AREA (sq ft)	INCREMENTAL VOLUME (cu ft)	CUMULATIVE VOLUME (cu ft)
5460.00	0.0		
5461.00	1279	639	639
5462.00	1893	1586	2225
5463.00	2594	2243	4468
5464.00	3372	2983	7451

HYDROLOGY PER CHAPTER 22.2 OF THE DEVELOPMENT PROCESS MANUAL

Depth of Precipitation for 6-hr and 24-hr 100-yr Storms in Zone 1

P₃₀ (inches) = 2.20

P₁₄₄₀ (inches) = 2.66

Peak Discharge and Excess Precipitation for Zone 1 (Tables A-9, A-8)

Land Treatment	CFS/Acre	E- Excess Precipitation (6-hr)						
A	1.29	0.44						
B	2.03	0.67						
C	2.87	0.99						
D	4.37	1.97						

BASIN	Total Area (Ac.)	Areas of Land Treatments (%)				Flowrate ¹ (cfs)	6-hr Volume ² (cu. ft.)	24-hr Volume ³ (cu. ft.)
		A	B	C	D			
'A' OFF-SITE	0.8924	100	0.0	0.0	0.0	1.15	1424	1424
'B' OFF-SITE	1.189	75	25	0.0	0.0	1.75	2148	2148
'C' ON-SITE	0.6137	0.0	0.0	88	12	1.87	2544	2666
Total=						4.77	6116	6238

1. Flowrate = (CFS/Acre) * Area
2. 6-hr Volume = weighted E * (A_A+A_B+A_C+A_D) / 12 in/ft. * (43560 sq.ft./acre) (Eq. a-6, page 22-14 DPM)
3. 24-hr Volume = (weighted E * (A_A+A_B+A_C+A_D)+A_D(P₁₄₄₀-P₃₀))/12 in/ft. * (43560 sq.ft./acre) (Eq. a-7, page 22-14 DPM)

LEGEND

- FUTURE PROPERTY BOUNDARY
- BASIN BOUNDARY
- 91.62, 91.62 PROPOSED SPOT ELEVATIONS
- ✕ 92.48 EXISTING SPOT ELEVATIONS
- 5470 EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- PROPOSED RETAINING WALL
- PROPOSED GARDEN WALL, CONCRETE FILLED TO 1-FOOT DEPTH
- PROPOSED SLOPE
- ← WALL DRAIN

GRADING REQUIREMENTS FOR LANDSCAPE IMPROVEMENTS WITHIN ROCK OUTCROPS

ROCK OUTCROPS EXIST ON THIS SITE. THE CONTRACTOR SHALL GRADE THE SITE TO THE FINISHED GRADES AND ELEVATIONS SHOWN ON THIS PLAN. INCLUDED IN THE SITE GRADING IS ALL ROCK EXCAVATION NECESSARY FOR SITE GRADING, FOUNDATIONS, STRUCTURES, UTILITY AND LANDSCAPE IMPROVEMENTS. ALL AREAS RECEIVING LANDSCAPE IMPROVEMENTS SHALL BE FREE OF ROCK AND HAVE A MAXIMUM DENSITY OF 80% FOR A MINIMUM DEPTH OF 24 INCHES. SHRUBS SHALL REQUIRE A MINIMUM DEPTH OF 36" OVER A 5' DIAMETER AREA. TREES SHALL REQUIRE A 5' MINIMUM DEPTH OVER A 10' x 10' AREA. THE USE OF SPOIL MATERIAL FROM OTHER PORTIONS OF THE SITE IS ACCEPTABLE, SUBJECT TO COA SPECIFICATIONS. SEE LANDSCAPE PLANS FOR SOIL AMENDMENTS ASSOCIATED WITH LANDSCAPING AND PLANTING IMPROVEMENTS.

I CERTIFY THAT THE SITE EXISTING TOPOGRAPHY WAS BASED ON A PHYSICAL SURVEY OF THE PROPERTY AND THAT THE SITE HAS NOT BEEN DISTURBED EXCEPT FOR AN AREA APPROXIMATELY 150 FEET ON A SIDE CENTERED ON THE WELL HEAD. THAT AREA WAS MADE LEVEL DURING THE WELL DRILLING PROJECT.

JAMES C. THOMTE

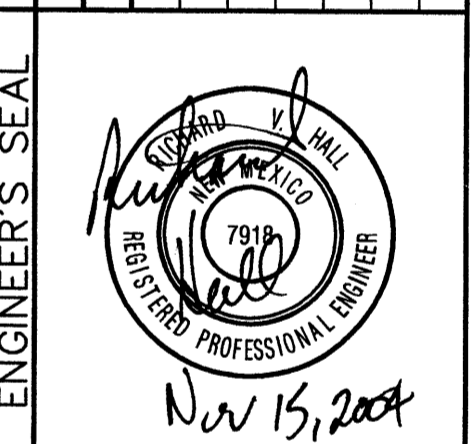
ROUGH GRADING (±0.5')

APPROVED FOR ROUGH GRADING DATE

AS-BUILT INFORMATION	
CONTRACTOR	DATE

BENCH MARKS	
CONTRACTOR	DATE
ACS BRASS TABLET STAMPED "UNION 1969"	
Geographic Position (NAD 1927)	
N.M. State Plane Coordinates (Central Zone)	
X = 353,409.02 Y = 1,523,440.96	
Ground-to-Grid Factor = 0.99966044	
ΔCC = -00'16"58"	
(NGVD29-Trig) Elevation = 5522.0	

SURVEY INFORMATION	
NO.	DATE



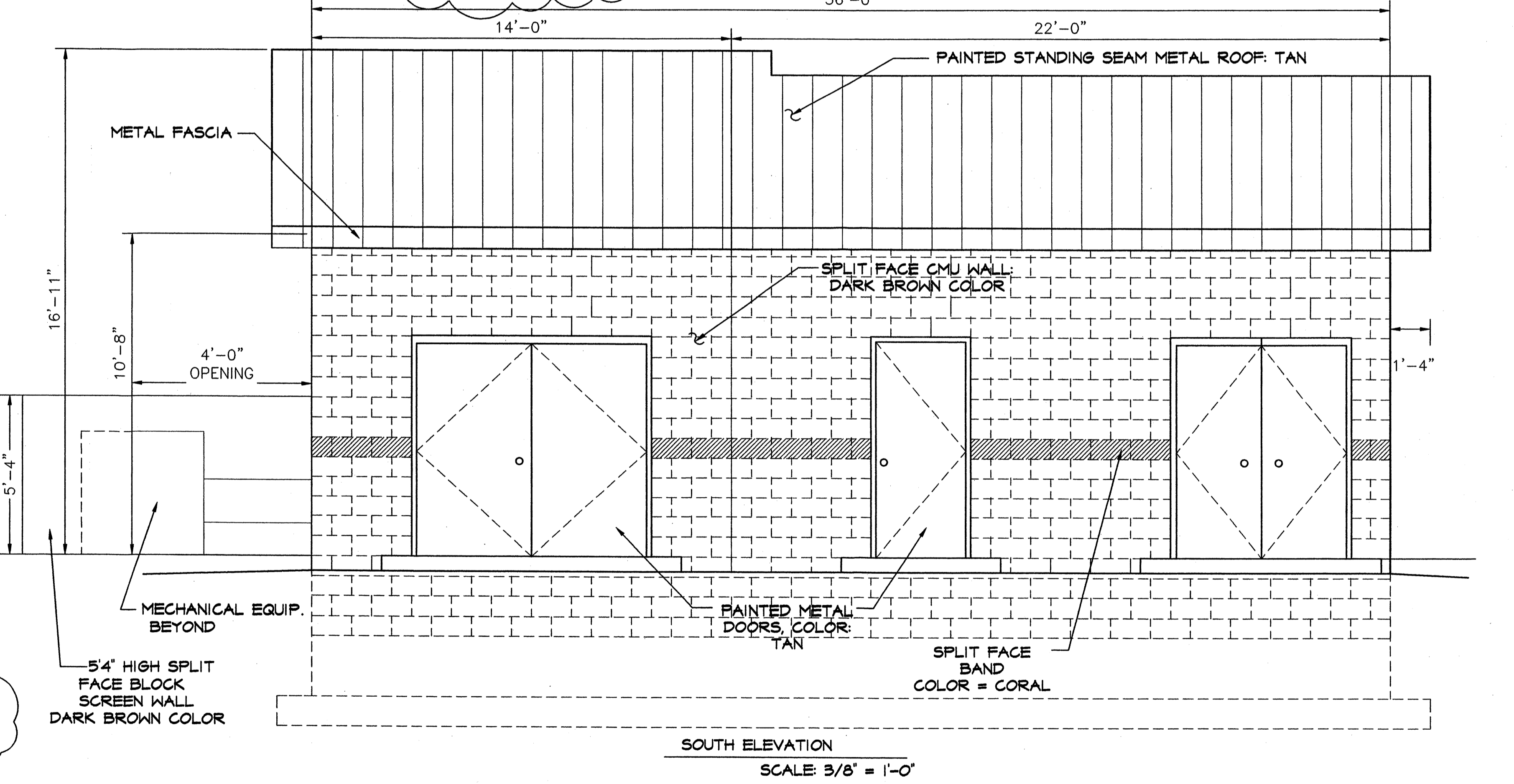
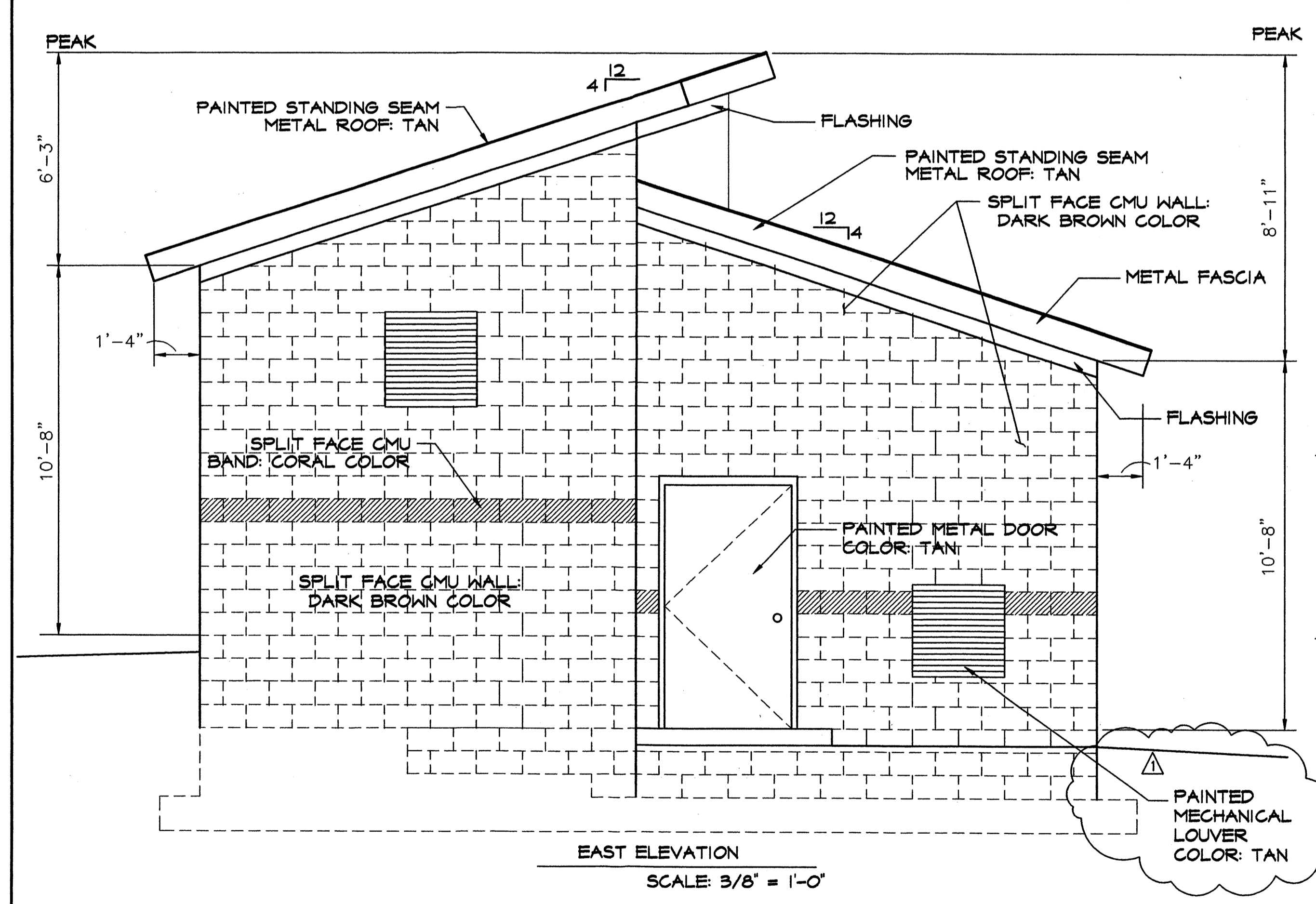
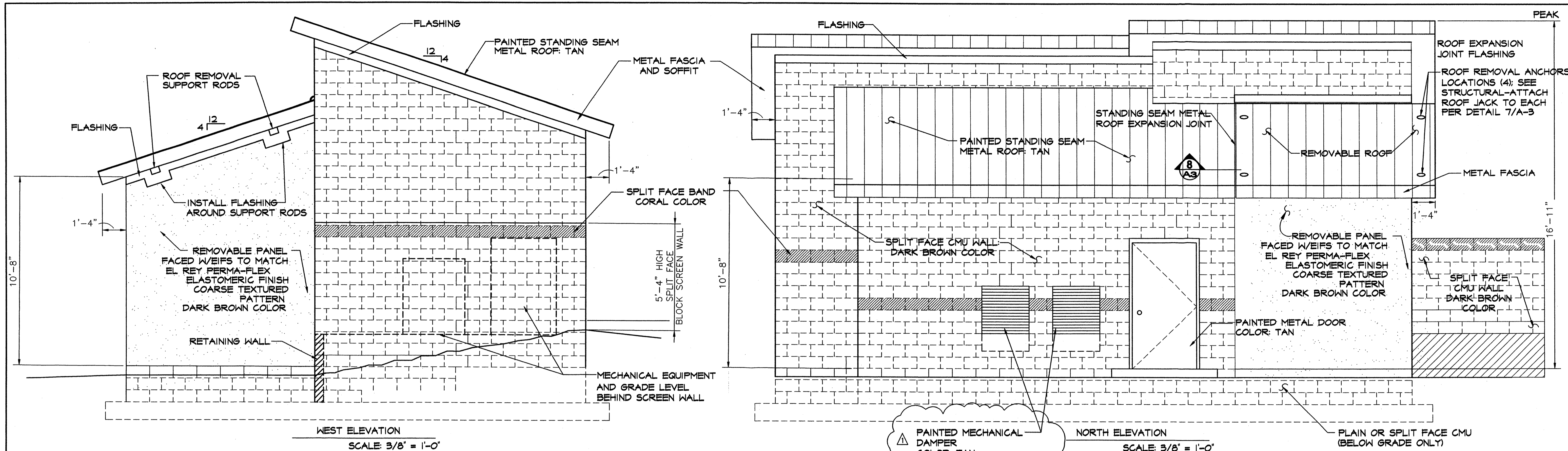
REVISIONS	DATE	BY
DESIGN <td>11/15/04 <td>LSM </td></td>	11/15/04 <td>LSM </td>	LSM

Bohannon & Huston
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4395
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

NEW MEXICO UTILITIES, INC.
 WELL NO. 9 SITE DEVELOPMENT
 GRADING AND DRAINAGE DETAILS

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. _____ Zone Map No. **C-9-Z** Sheet **2** Of **2**



△ REVISIONS PER E.P.C. OFFICIAL NOTICE OF DECISION DATED APRIL 16, 2004.

**SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT**

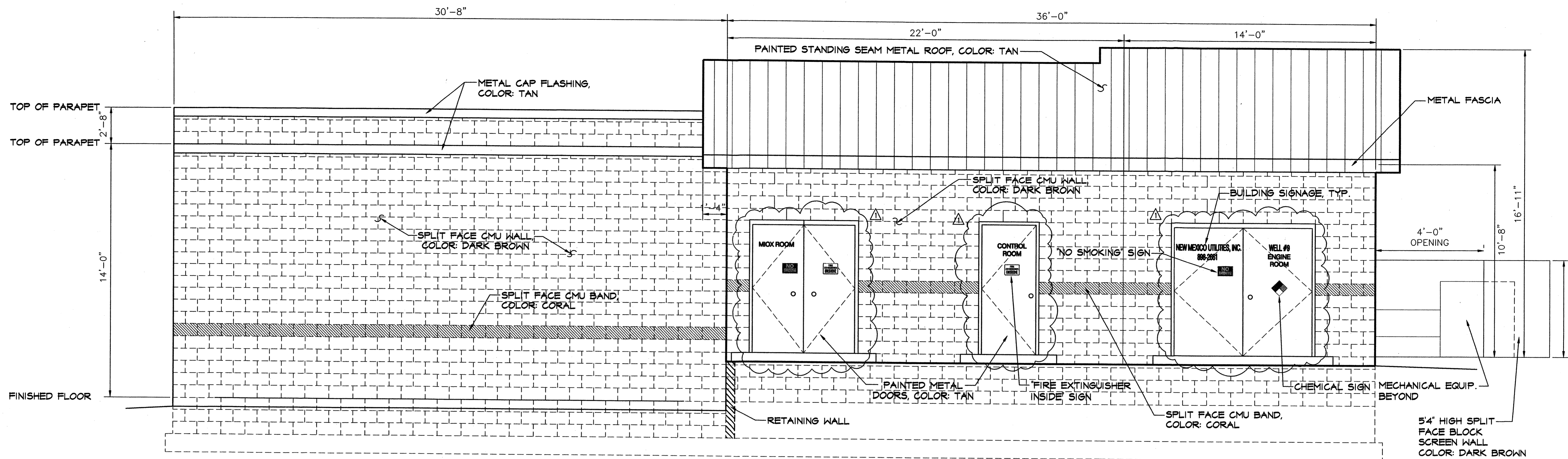
**CONCEPTUAL EXTERIOR
ELEVATIONS**

Bohannon & Huston

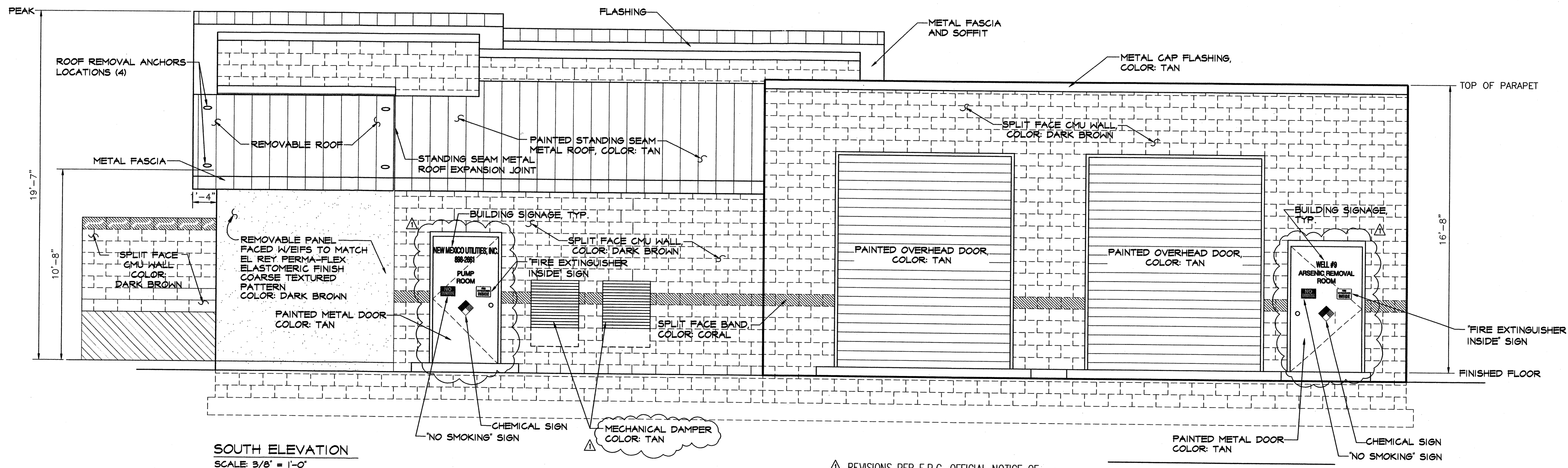
Engineering & Spatial Data & Advanced Technologies

7800 Jefferson St. NE Albuquerque, NM 87109-4936

P:\040271\hydro\design\control\workarea\Site Plan\BUILD_ELEV.dwg
November 11, 2004 - 11:46am



NORTH ELEVATION
SCALE: 3/8" = 1'-0"



SOUTH ELEVATION
SCALE: 3/8" = 1'-0"

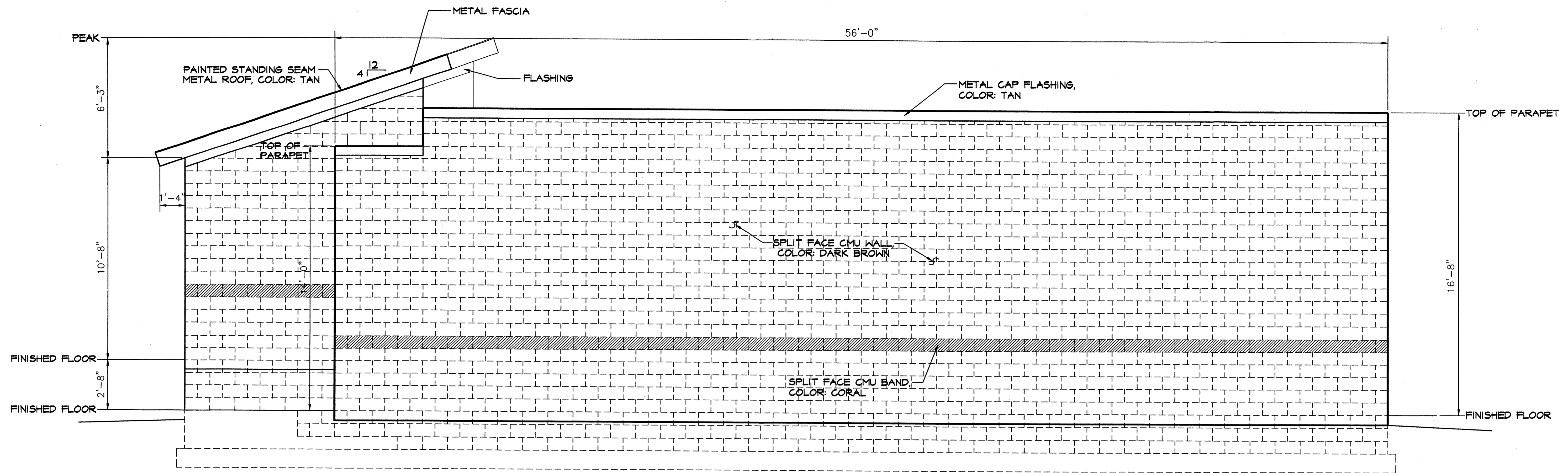
△ REVISIONS PER E.P.C. OFFICIAL NOTICE OF DECISION DATED APRIL 16, 2004.

NOTE: ADDITIONAL MECHANICAL LOUVERS/DAMPERS MAY BE ADDED FOLLOWING FINAL DESIGN. PAINT COLOR: TAN.

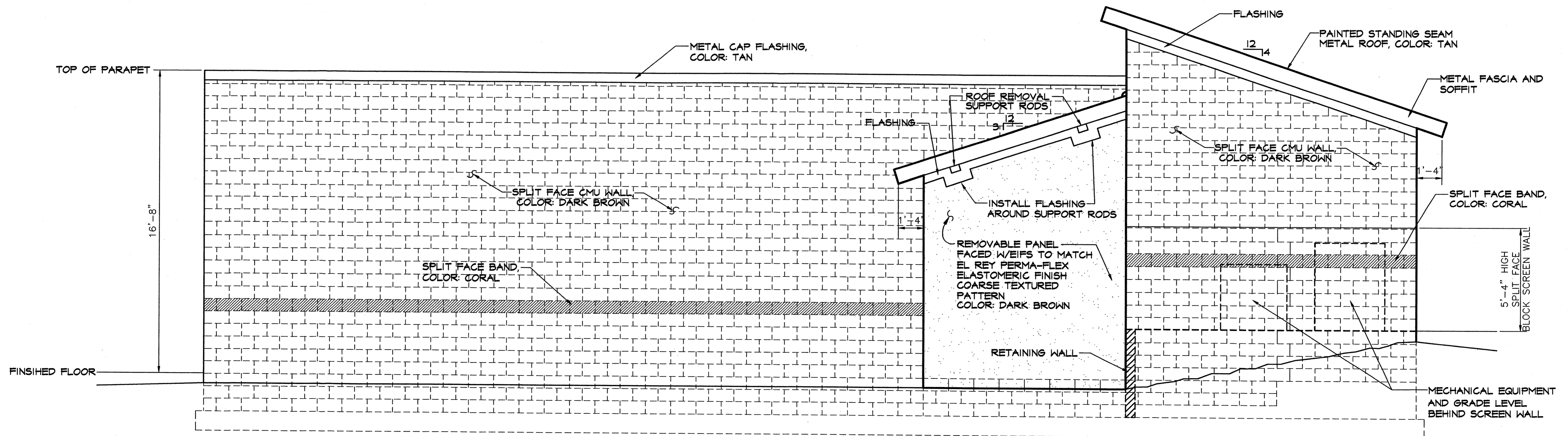
**SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT**
**CONCEPTUAL EXTERIOR
ELEVATIONS WITH ADDITION**

Bohannon & Huston
Courtyard | 7800 Jefferson St. NE Albuquerque, NM 87109-4395
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

P:\040271\Hydro\design\control\workarea\Site Plan\WELL9-BUILD_ELEV_RevEPC.dwg
November 11, 2004 - 10:52am



WEST ELEVATION
SCALE: 3/8" = 1'-0"



EAST ELEVATION
SCALE: 3/8" = 1'-0"

△ REVISIONS PER E.P.C. OFFICIAL NOTICE OF DECISION DATED APRIL 16, 2004.

NOTE: ADDITIONAL MECHANICAL LOUVERS/DAMPERS MAY BE ADDED FOLLOWING FINAL DESIGN. PAINT COLOR: TAN.

**SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT**

**CONCEPTUAL EXTERIOR
ELEVATIONS WITH ADDITION**

Bohannon & Huston

Courtyard I 7800 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

NOVEMBER 11, 2004

SHEET 5B OF 5