

**OPEN SPACE CALCULATIONS**

UNIT NO.	OPEN SPACE PER UNIT	UNIT NO.	OPEN SPACE PER UNIT	UNIT NO.	OPEN SPACE PER UNIT	UNIT NO.	OPEN SPACE PER UNIT	UNIT NO.	OPEN SPACE PER UNIT
1	1,649.83 SF	10	1,143.07 SF	19	1,858.34 SF	28	1,197.59 SF	37	1,177.58 SF
2	1,780.00 SF	11	1,867.12 SF	20	781.47 SF	29	1,018.97 SF	38	1,166.56 SF
3	1,535.35 SF	12	1,524.18 SF	21	2,136.17 SF	30	1,173.22 SF	39	969.44 SF
4	2,017.71 SF	13	1,184.21 SF	22	1,958.90 SF	31	931.59 SF	40	1,075.59 SF
5	2,716.27 SF	14	2,076.65 SF	23	1,182.77 SF	32	1,410.70 SF	41	789.40 SF
6	1,749.07 SF	15	792.39 SF	24	1,024.31 SF	33	1,185.51 SF	42	1,265.07 SF
7	2,228.03 SF	16	1,373.09 SF	25	1,168.67 SF	34	1,059.37 SF		
8	1,749.07 SF	17	1,427.79 SF	26	1,015.89 SF	35	1,176.37 SF		
9	2,228.03 SF	18	1,862.47 SF	27	1,159.40 SF	36	990.28 SF		
									<b>GRAND TOTAL</b>
									60,945.49 SF

OPEN SPACE AREA REQUIRED 42 UNITS X 750 SF = 31,500  
 OPEN SPACE AREA PROVIDED 60,945.49 SF + 19,128.60 SF = 80,074.09 SF

COMMON AREA	YARD AREA PROVIDED
1	3,293.44 SF
2	2,304.42 SF
3	2,534.25 SF
4	7,575.23 SF
5	3,421.26 SF
<b>TOTAL</b>	<b>19,128.60 SF</b>

**PROJECT DATA**

TOTAL NUMBER OF LOTS: 42  
 TOTAL ACERAGE: 4.95  
 ZONING: SU-1 PRD  
 DENSITY: 8.48 LOTS PER ACRE  
 LEGAL DISCRIPTION: TRACT "B" BLOCK 2 & TRACT "C" BLOCK 7 OF WELLS SANDIA MANOR

BUILDING TYPE: A 14-2 BR./2 BA.  
 B 14-3 BR./2.5 BA.  
 C 14-3 BR./2.5 BA.

PARKING REQUIREMENTS: 28 @ 4 = 112  
 14 @ 3 = 42  
 TOTAL = 154

PARKING PROVIDED: 42 X 4 = 168  
 TWO IN GARAGE  
 TWO IN DRIVEWAY

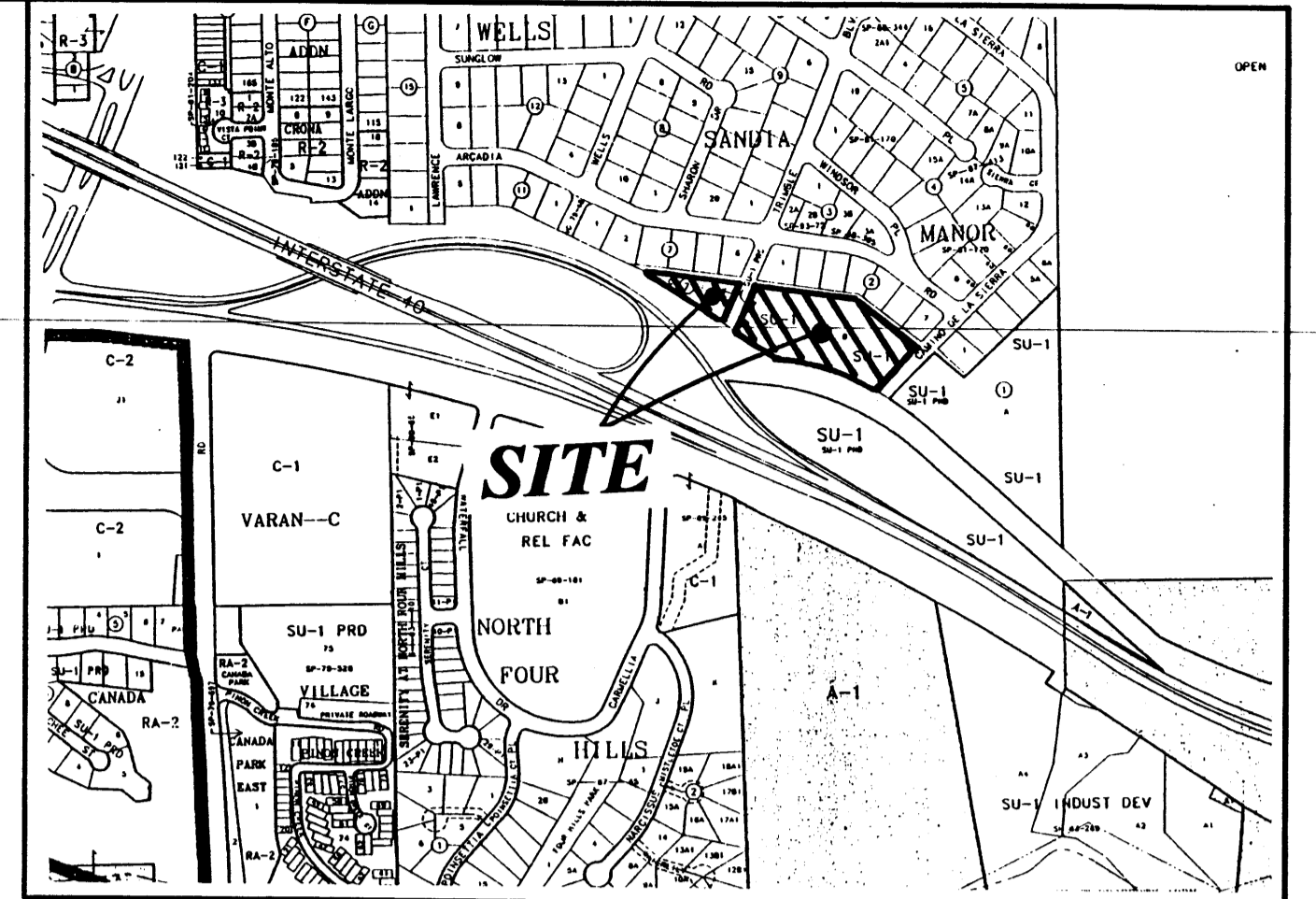
**LANDSCAPING CALCULATIONS**

TOTAL SITE AREA 215,622 SF  
 TOTAL BUILDING AREA 63,182 SF  
 TOTAL OFFSITE LANDSCAPING 1,100 SF  
 NET LOT AREA 151,340 SF  
 LANDSCAPING REQUIRED 0.15  
 TOTAL LANDSCAPING REQUIRED 22,701 SF

TOTAL OPEN SPACE PROVIDED 79,886.39 SF  
 TOTAL LANDSCAPE SHOWN 27,586 SF  
 TOTAL SOD AREA SHOWN 4,714 SF

**LEGEND**

- BOUNDARY
- HOUSE PAD
- DRIVE PAD
- EXIST. SEWER LINE
- EXIST. WATER LINE
- PROPOSED SEWER LINE
- PROPOSED WATER LINE
- LOT LINE
- EASEMENT LINE
- CENTER LINE
- 5' CMU PERIMETER WALL
- EXIST. CURB & GUTTER
- CURB & GUTTER
- EXIST. MAN HOLE
- EXIST. GATE VALVE
- PROPOSED MAN HOLE
- STOP SIGN



VICINITY MAP

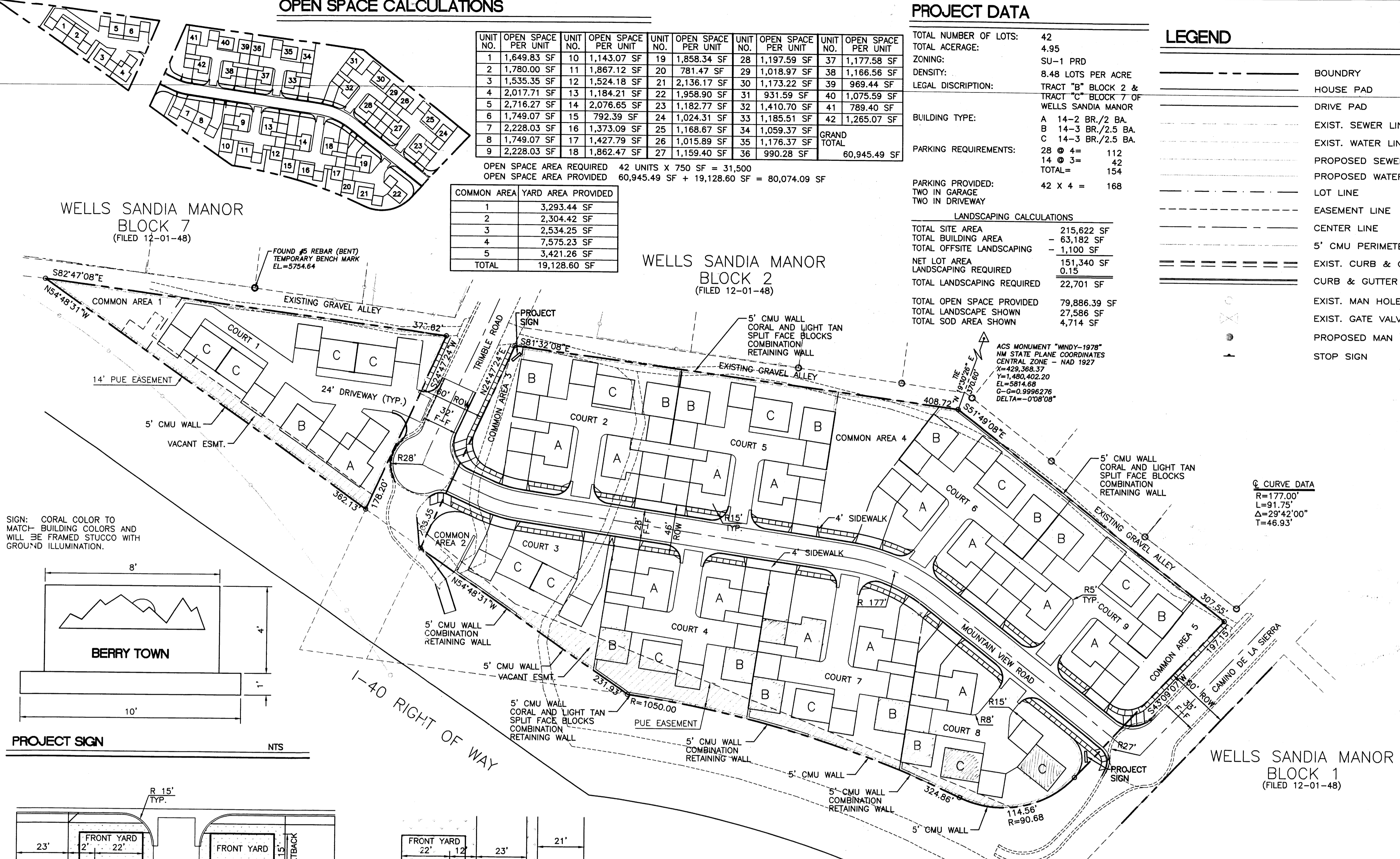
L-23-Z

**INDEX TO DRAWINGS**

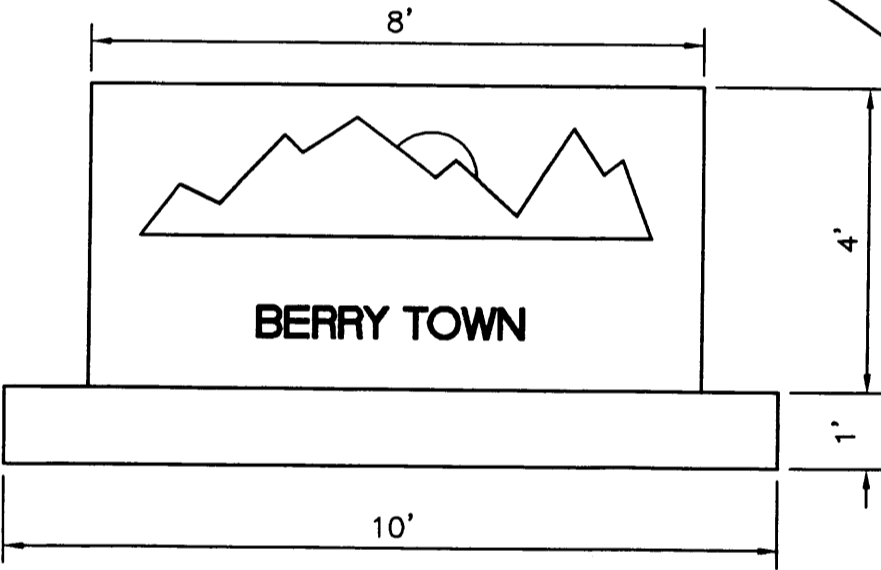
- SITE PLAN
- LANDSCAPE PLAN
- BUILDING ELEVATIONS
- BUILDING ELEVATIONS
- GRADING AND DRAINAGE PLAN
- MASTER UTILITY PLAN

**GENERAL NOTES**

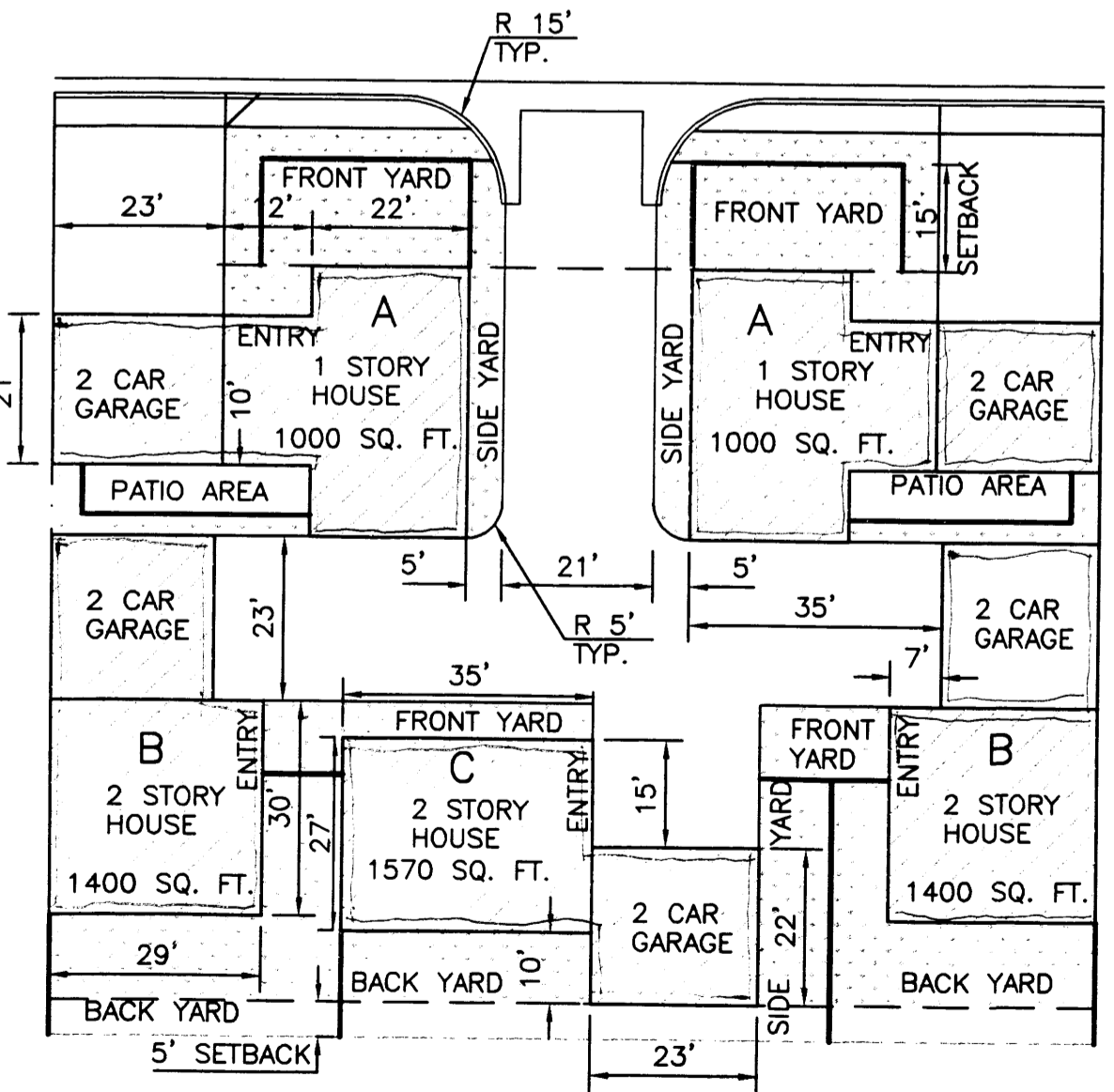
- THE PURPOSE OF THE DEVELOPMENT IS FOR SINGLE FAMILY TOWNHOUSES.
- LIGHTING SHALL BE LOCATED AT THE INTERSECTIONS WITH ALL OTHER LIGHTING BEING BUILDING MOUNTED AS NEEDED.
- THIS PROJECT WILL REQUIRE CURB SIDE PICKUP FOR REFUSE.
- BUILDING HEIGHT: STRUCTURES SHALL NOT EXCEED 26 FEET IN HEIGHT.
- WATER AND SEWER: PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SERVICE TO THE SITE MUST BE VERIFIED AND COORDINATED WITH THE WATER RESOURCES DEPT. CITY OF ALBUQUERQUE, VIA AN AVAILABILITY STATEMENT.
- CURBS AND GUTTERS: MOUNTABLE CURB AND GUTTER WILL BE USED THROUGHOUT EXCEPT FOR THOSE AREAS WHERE STANDARD CURB AND GUTTER IS NECESSARY FOR DRAINAGE.
- BUILDINGS: BUILDINGS WILL BE TRADITIONAL OR SOUTHWEST STYLE WITH EITHER FLAT OR TILED PITCHED ROOFS. BUILDINGS WILL BE EITHER STUCCO, BRICK, STUCCO, OR COMBINATION OF BOTH. COLORS WILL BE EARTHTONE WITH ACCENTS.



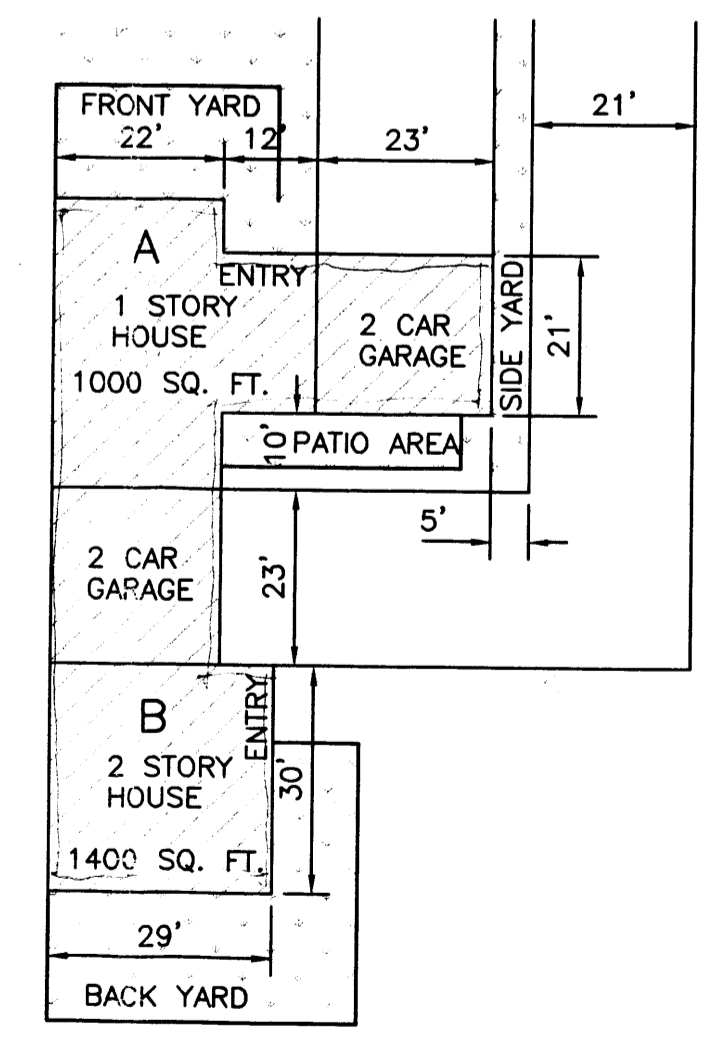
SIGN: CORAL COLOR TO MATCH BUILDING COLORS AND WILL BE FRAMED STUCCO WITH GROUND ILLUMINATION.



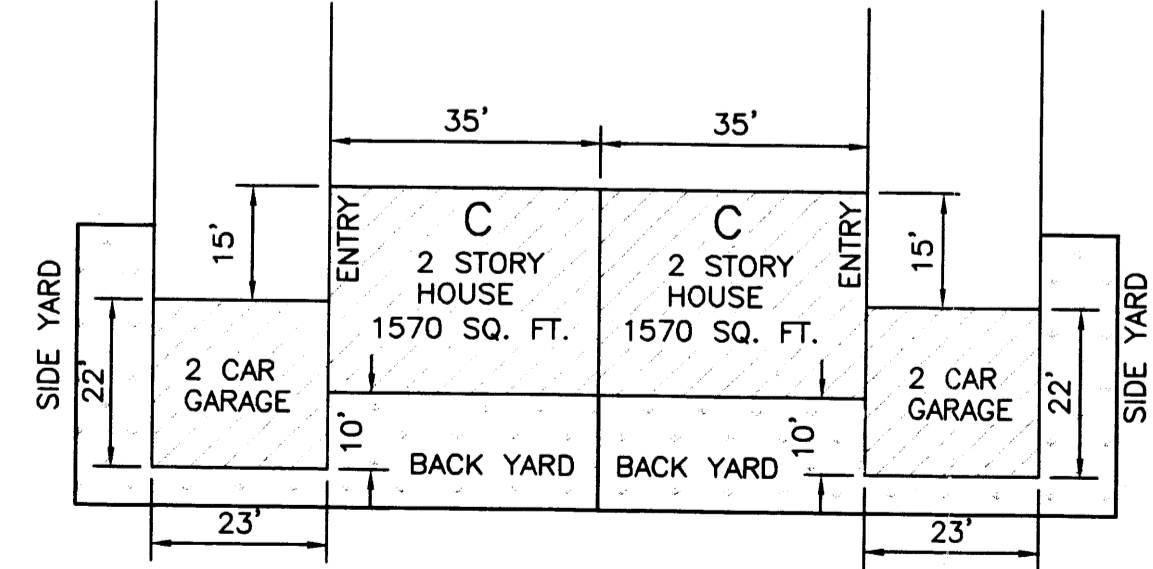
PROJECT SIGN NTS



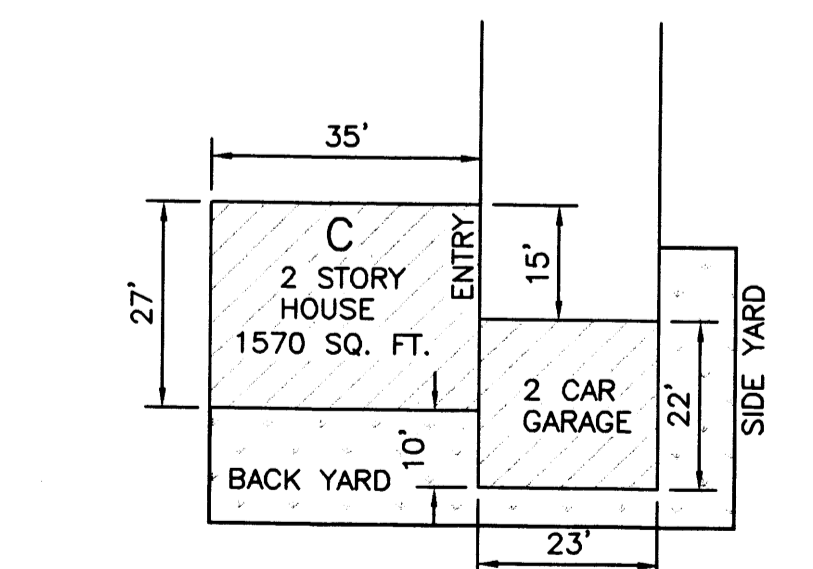
TYPICAL CLUSTER LAYOUT NTS



TYPICAL 'A/B' DOUBLE UNIT LAYOUT NTS



TYPICAL 'C' DOUBLE UNIT LAYOUT NTS



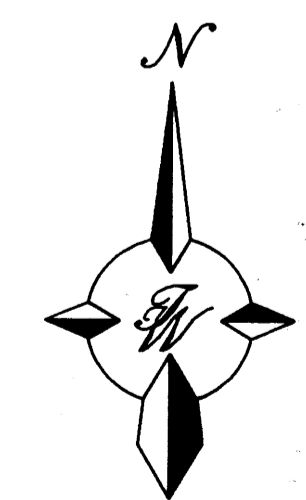
TYPICAL SINGLE UNIT LAYOUT NTS

**LANDSCAPING NOTES**

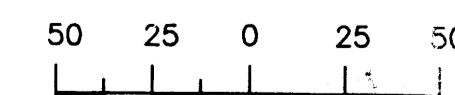
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE HOME OWNERS ASSOC.

Q CURVE DATA  
 R=177.00'  
 L=91.75'  
 Δ=29°42'00"  
 T=48.93'

WELLS SANDIA MANOR  
 BLOCK 1  
 (FILED 12-01-48)



GRAPHIC SCALE



SCALE: 1"=50'

Refuse Approval \_\_\_\_\_ Date \_\_\_\_\_

CASE NUMBER: Z- \_\_\_\_\_

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on \_\_\_\_\_ and that the findings and conditions in the Official Notice of Decision have been complied with:

Department	Date
Traffic Engineer, Transportation Division	_____
Design and Development, CIP	_____
Public Works, Water Utilities Division	_____
City Engineer, Engineering Division / AMAFCA	_____

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo County Planning Division \_\_\_\_\_ Date \_\_\_\_\_  
 PLNZ (10706) 4/96

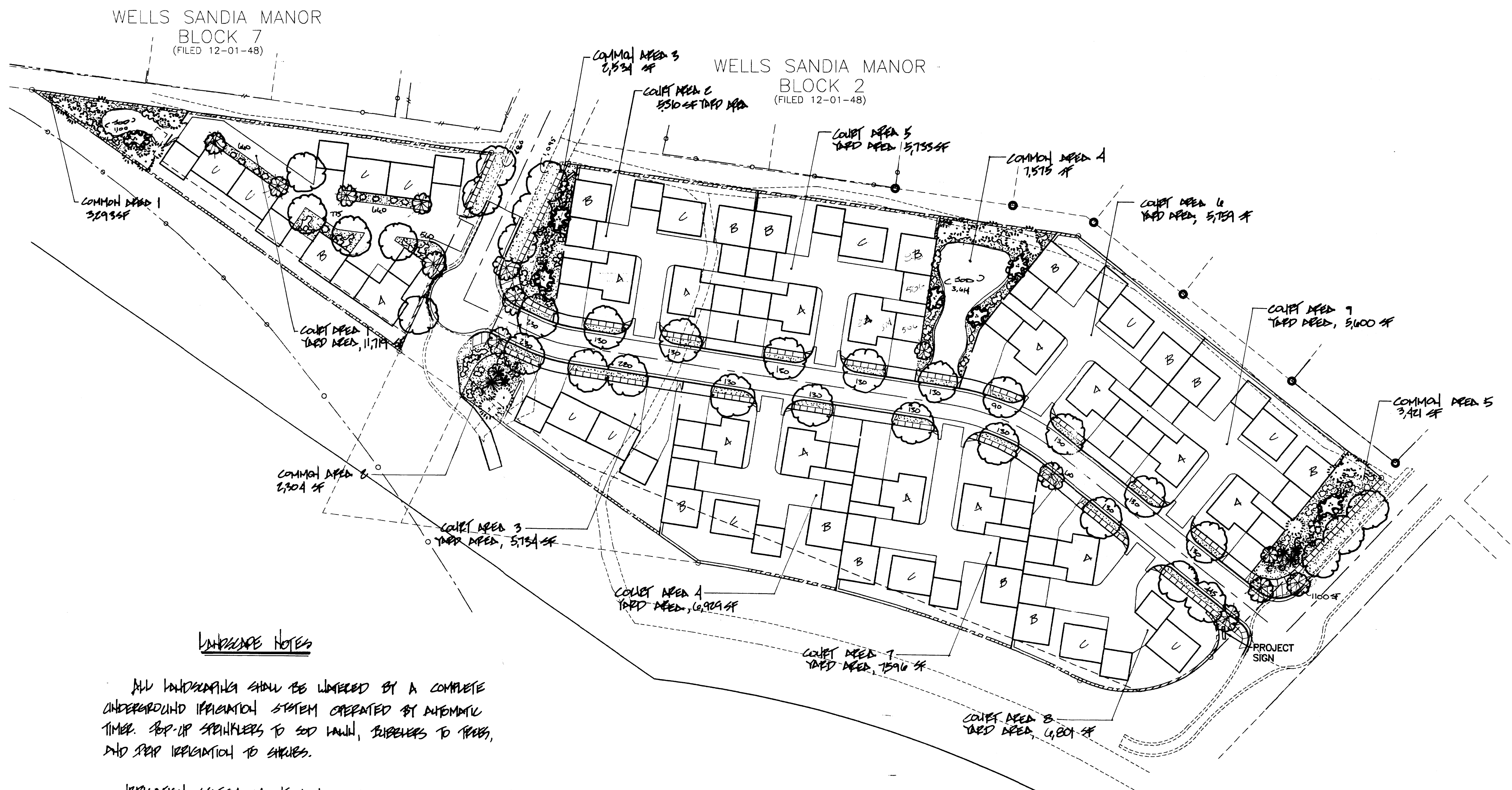
NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		<b>BERRY TOWN</b> <b>SITE PLAN</b>	DRAWN BY JDN
			DATE 01-17-96
			9611SP.DWG
			SHEET # 1
			JOB # 960011
TIERRA WEST DEVELOPMENT MANAGEMENT SERVICES 4421 McLEDD ROAD N.E., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592			

TOTAL BUILDING FOOTPRINT NEEDS

"A" UNITS	14 x 1,710 SF	=	24,042 SF
"B" UNITS	14 x 1,310 SF	=	18,340 SF
"C" UNITS	14 x 1,450 SF	=	20,300 SF
<b>TOTAL BUILDING FOOTPRINT</b>			<b>62,682 SF</b>

TOTAL OPEN SPACE (PER SITE PLAN)

TOTAL PRIVATE YARD SPACE	60,757.79 SF
TOTAL PUBLIC OPEN SPACE	19,108.60 SF
<b>TOTAL OPEN SPACE</b>	<b>79,866.39 SF</b>



LANDSCAPE LEGEND

- (13) 2-2 1/2" CAN SHADE TREES  
MATH, HONEYLOCUST-H, LONDOX PLANE-H
- (12) 15 SMALL FRANKLIN OBTUSIFOLIA TREES  
WESTERN REDWOOD-M, BRANCHED PEAR-H
- (11) 15 SMALL EVERGREEN TREES  
AUSTRIAN PINE-H, LIMBER PINE-M
- (7) 4-6' PINK PINE-M
- (6) 3-7' PAUM TUCCA-L
- (5) COCTILLA-L
- (18) 5 SMALL SHRUBS  
ABUTILON-M, BARTHOLOMEW-M, CHAMISA-L,  
RUSSIAN SAGE-M, BLUEHIST SPYREA-M,  
NIGHTINGALE-SAGE-M, ESTERILLA-M
- (13) 5 SMALL GROUNDCOVERS  
BUFFALO WHISPER, OR TAM WHISPER
- 3/4" CRUSHED SILEX GRAVEL/FILTER FABRIC
- 500 LAWN
- STEEL BRACING

LANDSCAPE NOTES

ALL LANDSCAPING SHALL BE WATERED BY A COMPLETE UNDERGROUND IRRIGATION SYSTEM OPERATED BY AUTOMATIC TIMER. POP-UP SPRINKLERS TO SOIL LAWN, SUBSIDERS TO TREES, AND SPRAY IRRIGATION TO SHRUBS.

IRRIGATION SYSTEM MAINTENANCE AND LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION.

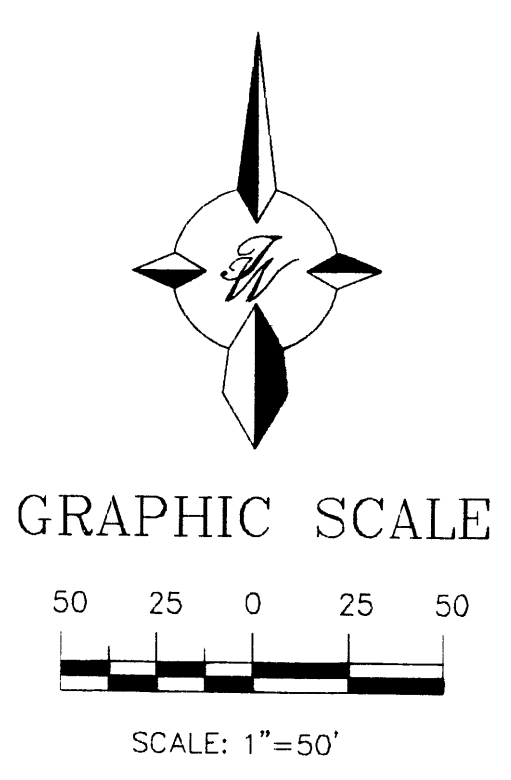
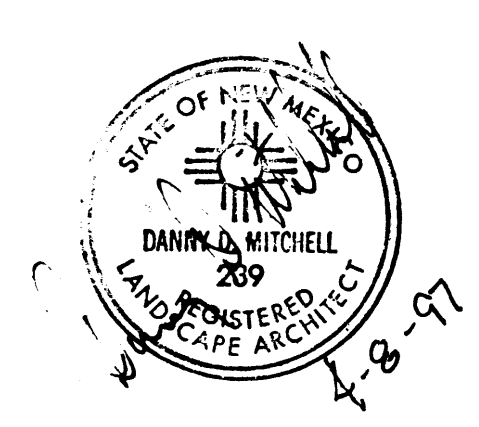
IT IS THE INTENT OF THIS LANDSCAPING PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE, WATER CONSERVATION LANDSCAPE ORDINANCE, PLANT RESTRICTION APPROACH.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

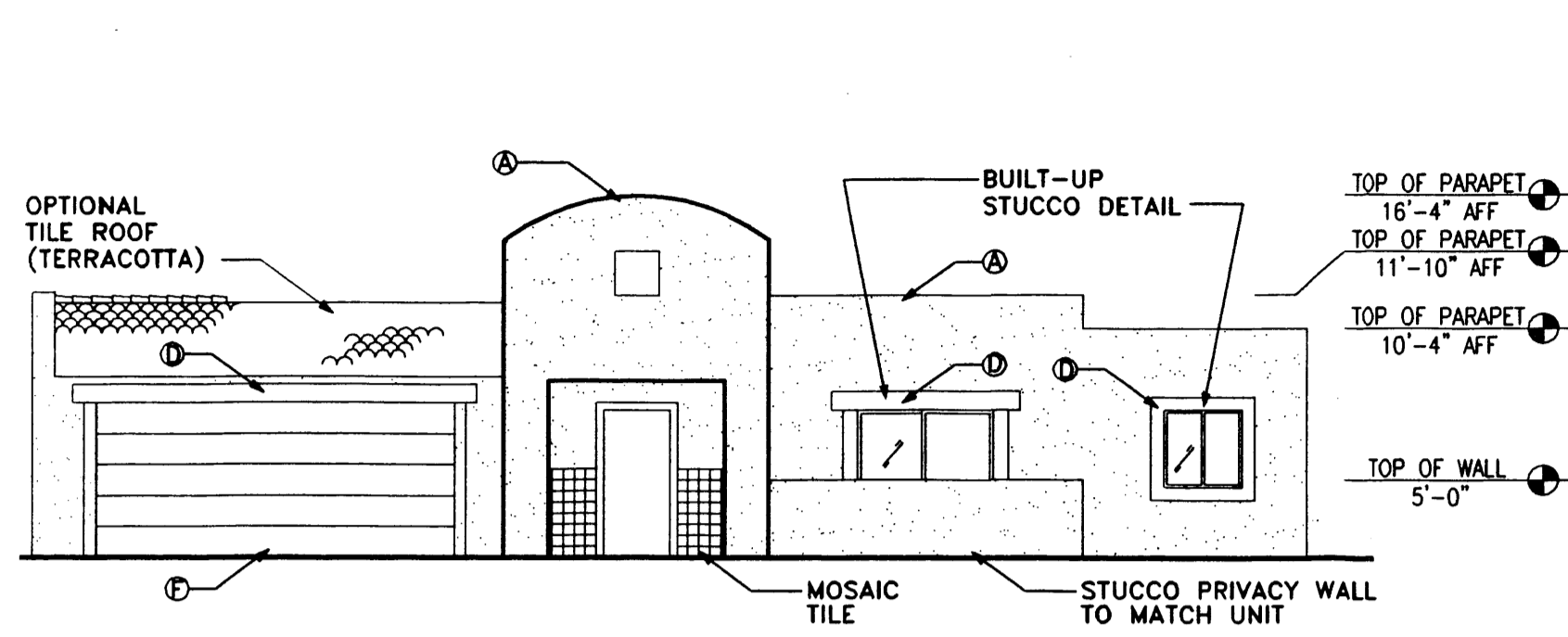
LANDSCAPE CALCULATIONS

TOTAL SITE AREA	215,622 SF
TOTAL BUILDING AREA	- 62,682 SF
TOTAL OFFSITE LANDSCAPING	- 1,100 SF
NET LOT AREA	151,840 SF
LANDSCAPE REQUIREMENT	15
<b>TOTAL LANDSCAPE REQUIRED</b>	<b>22,701 SF</b>
<b>TOTAL LANDSCAPE PROVIDED (SEE ABOVE)</b>	<b>79,866.39 SF</b>
TOTAL OPEN SPACE PROVIDED	21,986 SF
TOTAL LANDSCAPE SHOWN	4,714 SF
TOTAL SOG AREA SHOWN	

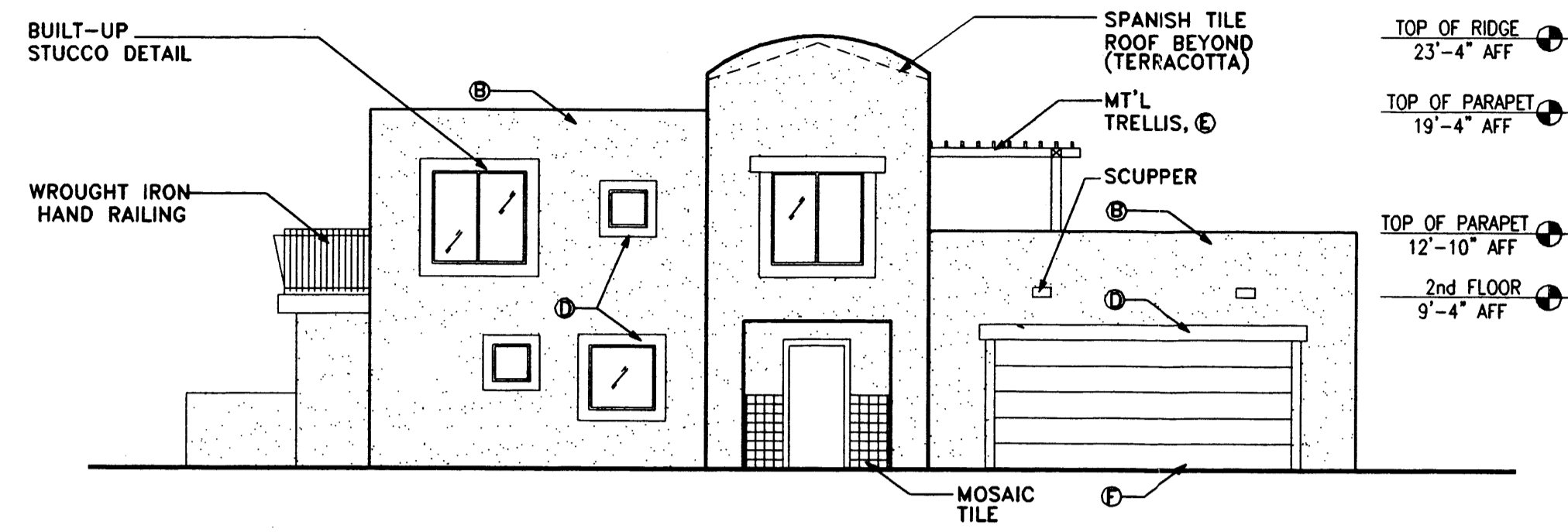
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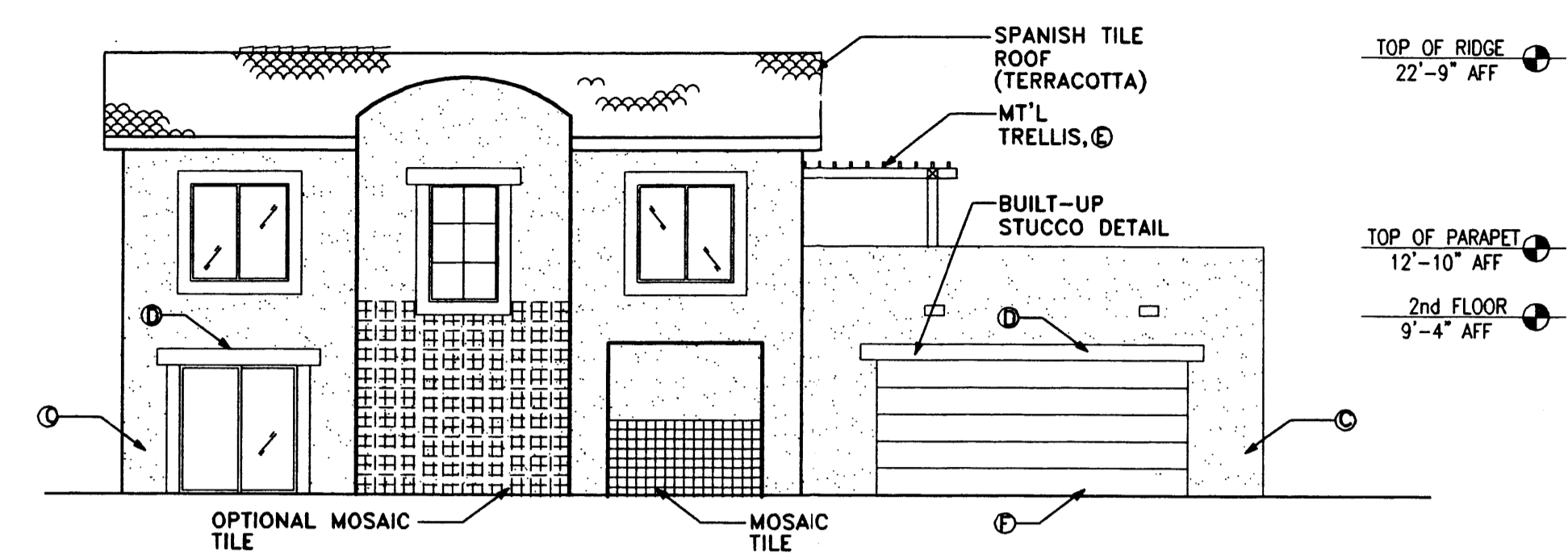
NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		<b>BERRY TOWN</b>	
		<b>LANDSCAPE PLAN</b>	
		TIERRA WEST DEVELOPMENT MANAGEMENT SERVICES	
		4421 MCLEOD ROAD N.E., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505) 883-7592	
DRAWN BY JDN		DATE 03-4-97	
		9611 SP.DWG	
		SHEET # <b>2</b>	
RONALD R. BOHANNAN P.E. #7868		JOB # 960011	



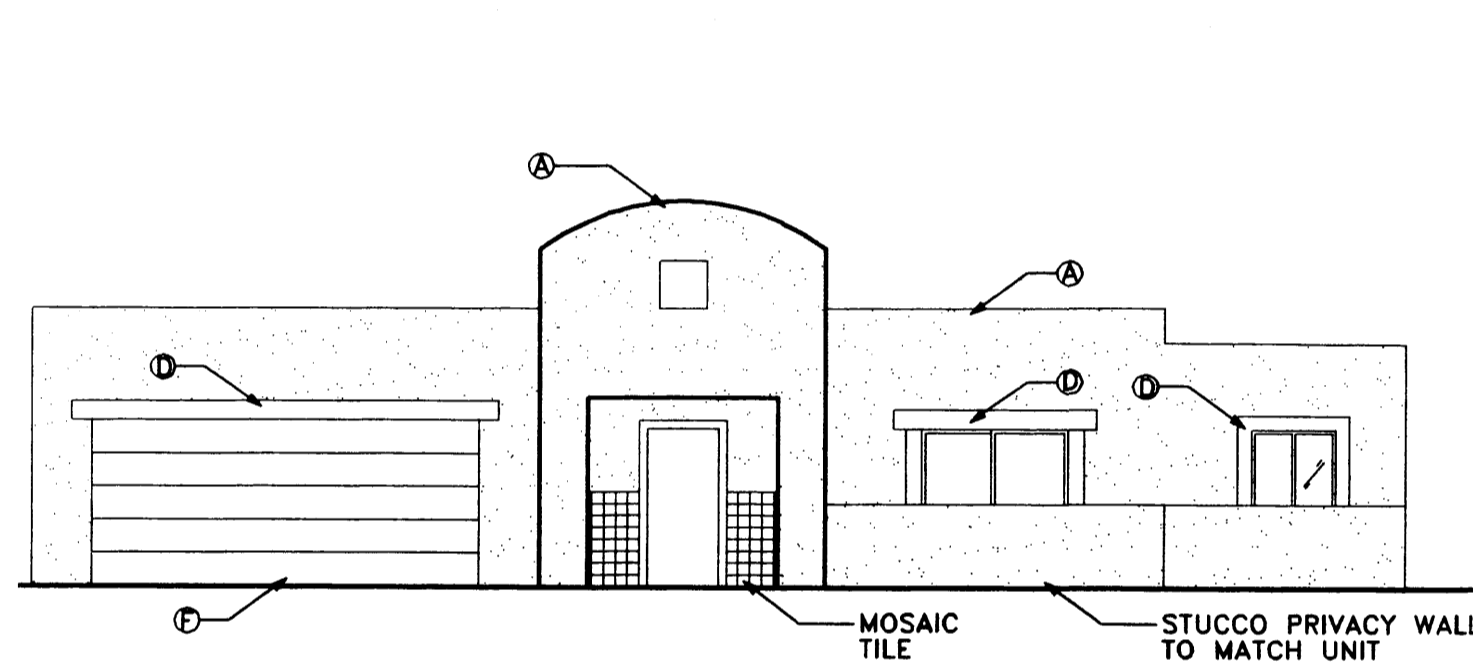
1 'A' UNIT FRONT ELEVATION (VARIES)  
SCALE: 1/8"=1'-0"



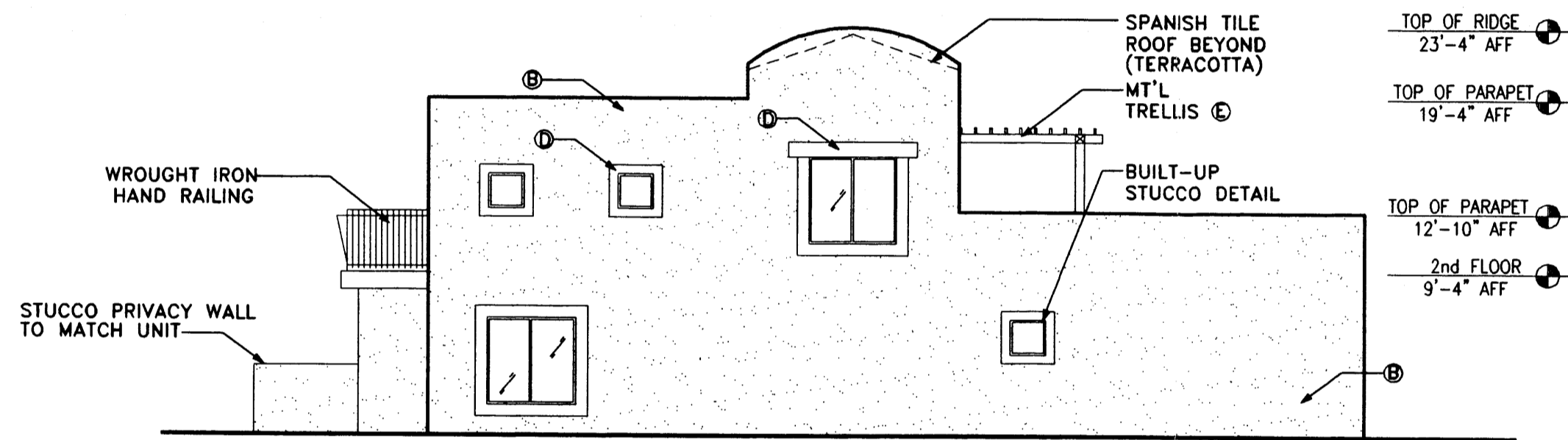
3 'B' UNIT FRONT ELEVATION  
SCALE: 1/8"=1'-0"



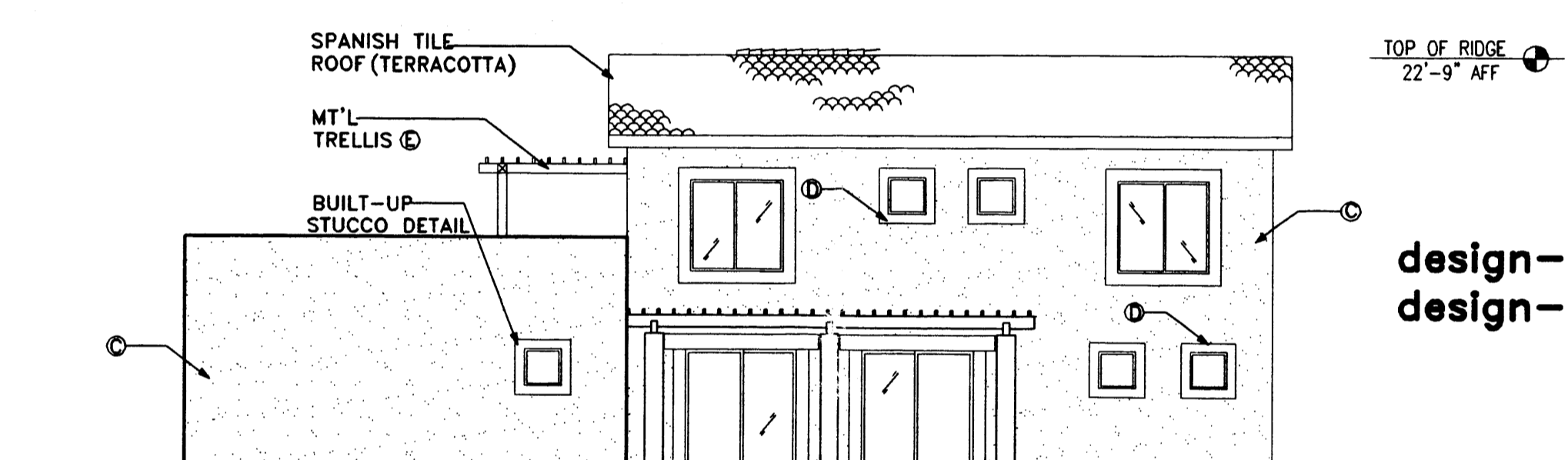
7 'C' UNIT FRONT ELEVATION  
SCALE: 1/8"=1'-0"



2 'A' UNIT FRONT ELEVATION (VARIES)  
SCALE: 1/8"=1'-0"

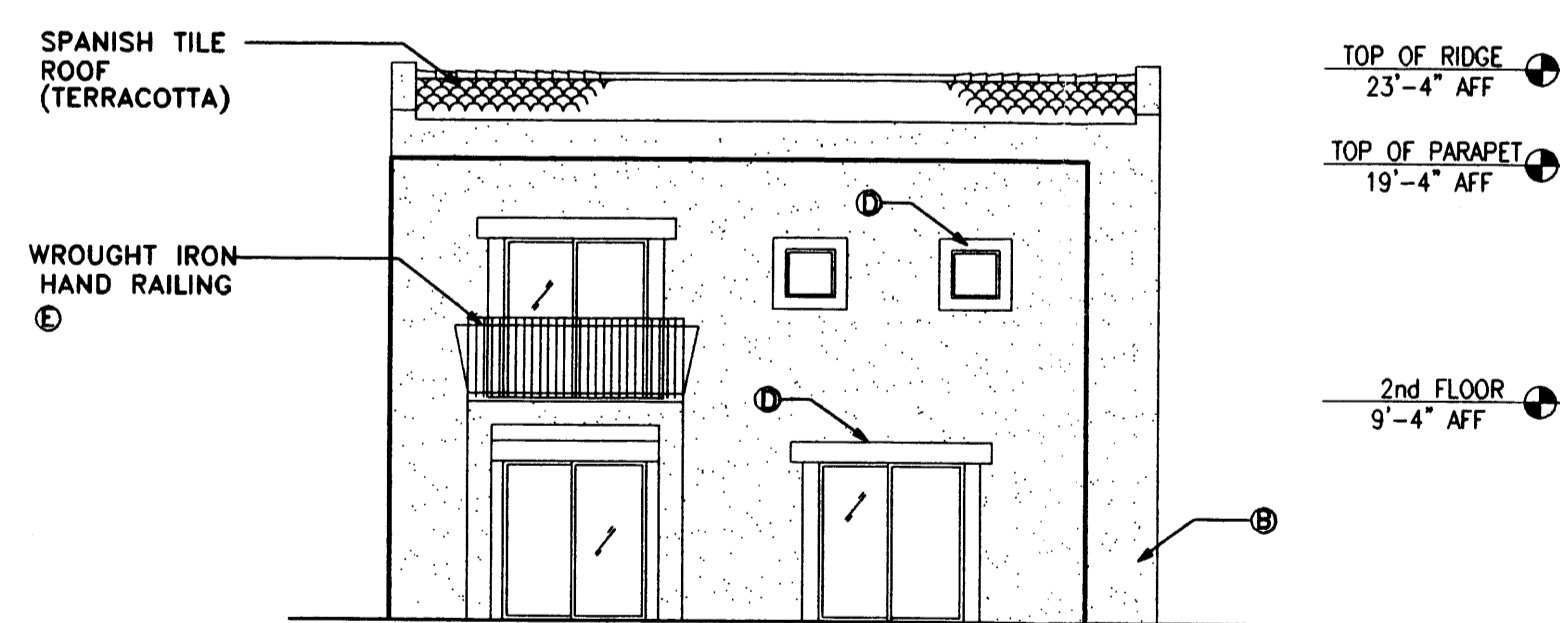


4 'B' UNIT REAR ELEVATION  
SCALE: 1/8"=1'-0"



7 'C' UNIT REAR ELEVATION  
SCALE: 1/8"=1'-0"

design-phase1  
design-phase2



5 'B' UNIT SIDE ELEVATION  
SCALE: 1/8"=1'-0"

LEGEND	
A	SOFT ROSE (EL RAY STUCCO COLOR)
B	SOAP STONE (EL RAY STUCCO COLOR)
C	CORAL (EL RAY STUCCO COLOR)
D	WHITE STUCCO BUILT-UP DETAIL TO MATCH WHITE WINDOW FRAME
E	MOROCCAN BLUE
F	WHITE TO MATCH WINDOW FRAME

**BERRY TOWN**

**DC SW ARCHITECTS**

Sheet Title: .....

sheet2 .....

Revisions: .....

..... Design .....

Architect .....

..... Collaborative .....

..... Southwest Inc. .....

engineer .....

..... 105 4th st. sw .....

..... albuquerque,nm .....

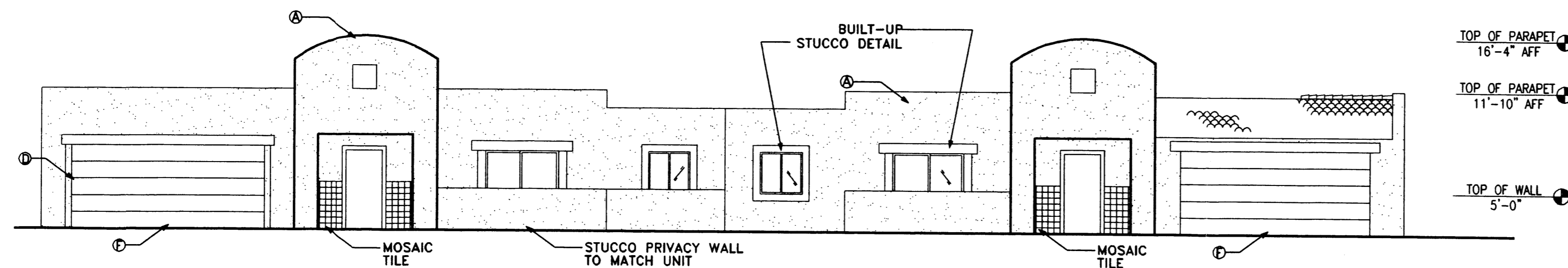
..... 87102 .....

Job no: .....

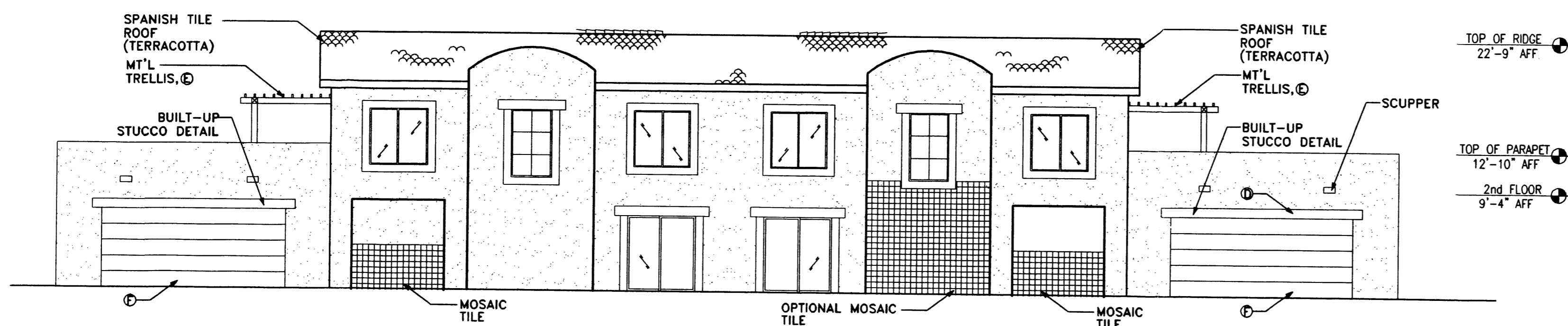
date 04/03/97 .....

..... 505-843-9639 .....

sheet .....



**1 TYPICAL 'A' DOUBLE UNIT ELEVATION**  
SCALE: 1/8"=1'-0"



**2 TYPICAL 'C' DOUBLE UNIT ELEVATION**  
SCALE: 1/8"=1'-0"

LEGEND	
A	SOFT ROSE (EL RAY STUCCO COLOR)
B	SOAP STONE (EL RAY STUCCO COLOR)
C	CORAL (EL RAY STUCCO COLOR)
D	WHITE STUCCO BUILT-UP DETAIL TO MATCH WHITE WINDOW FRAME
E	MOROCCAN BLUE
F	WHITE TO MATCH WINDOW FRAME

design-phase1  
design-phase2

**BERRY  
TOWN**  
**DCSW**  
ARCHITECTS

Sheet Title: .....

sheet 2 .....

Revisions: .....

.....  
Architect Design

.....  
Collaborative

.....  
Southwest Inc.

engineer 105 4th st. sw

.....  
albuquerque, nm

.....  
87102

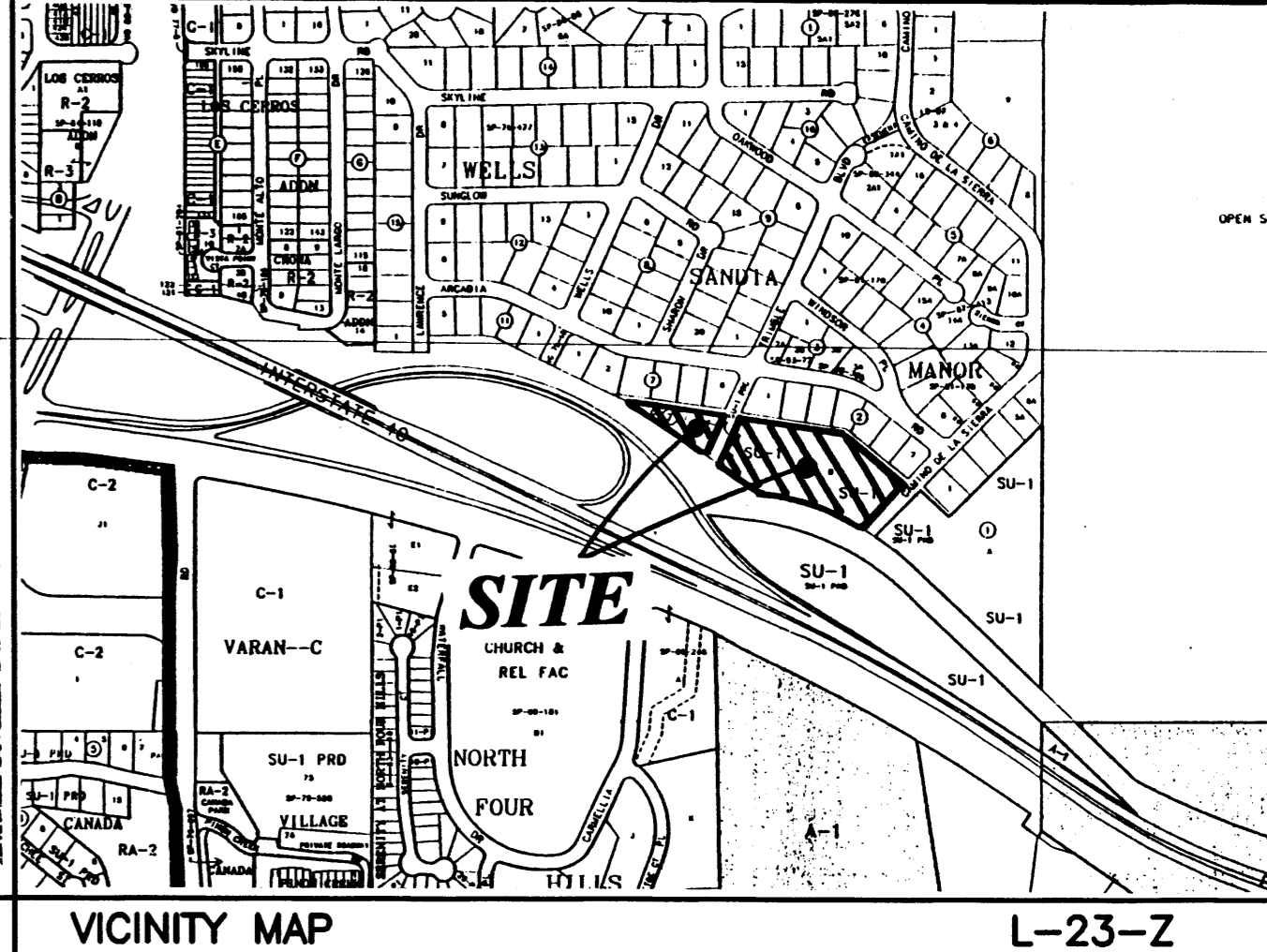
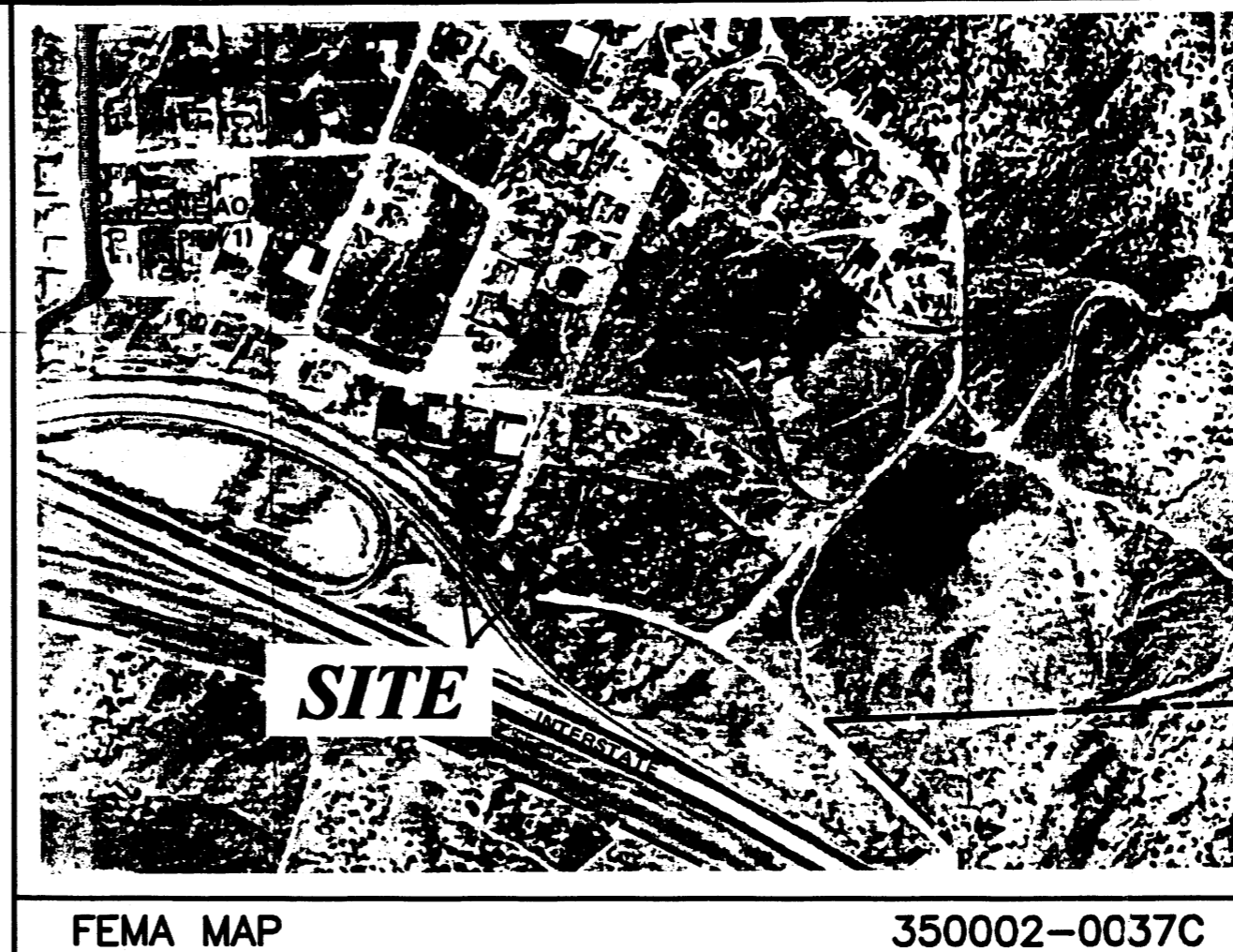
job no: .....

date 04/03/97 505-843-9639

sheet .....

**EROSION CONTROL PLAN NOTES**

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



FEMA MAP

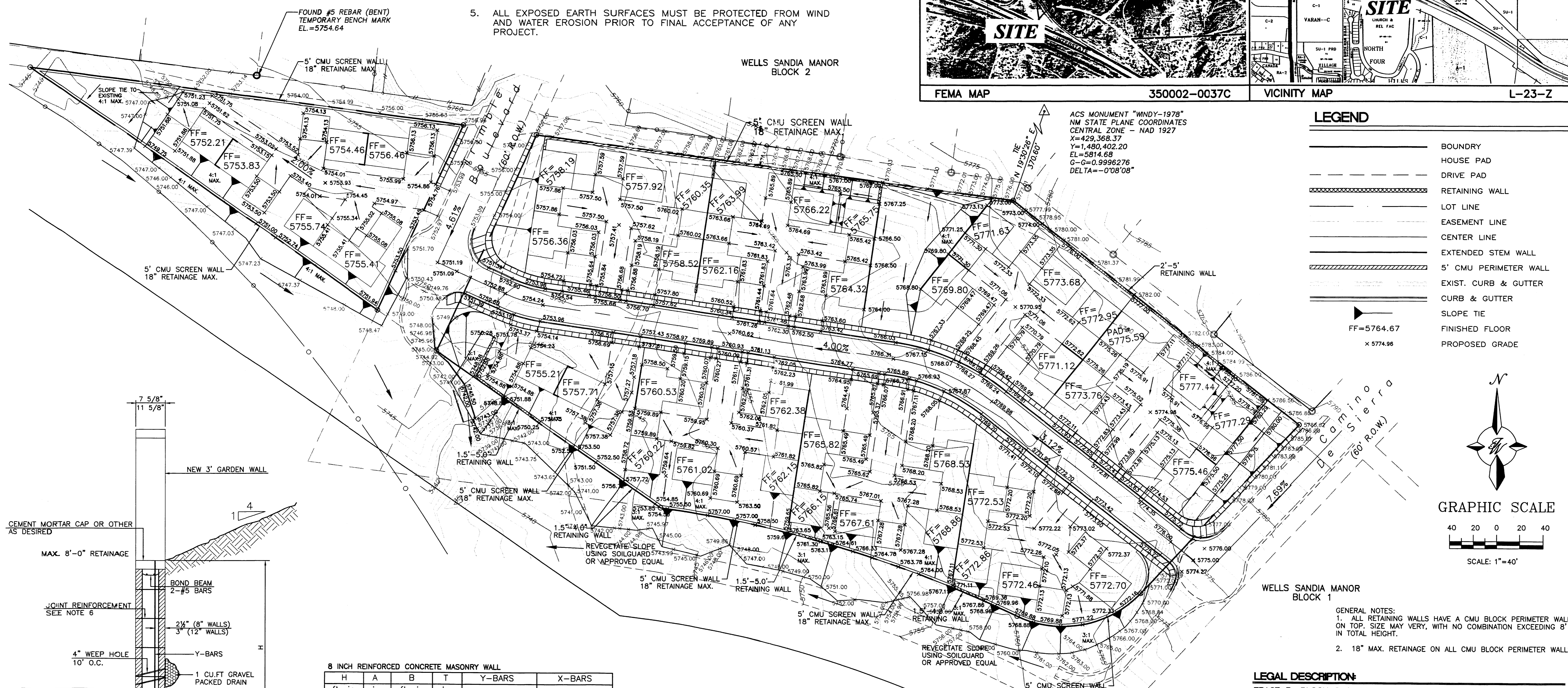
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VICINITY MAP

L-23-Z

WELLS SANDIA MANOR BLOCK 7

WELLS SANDIA MANOR BLOCK 2

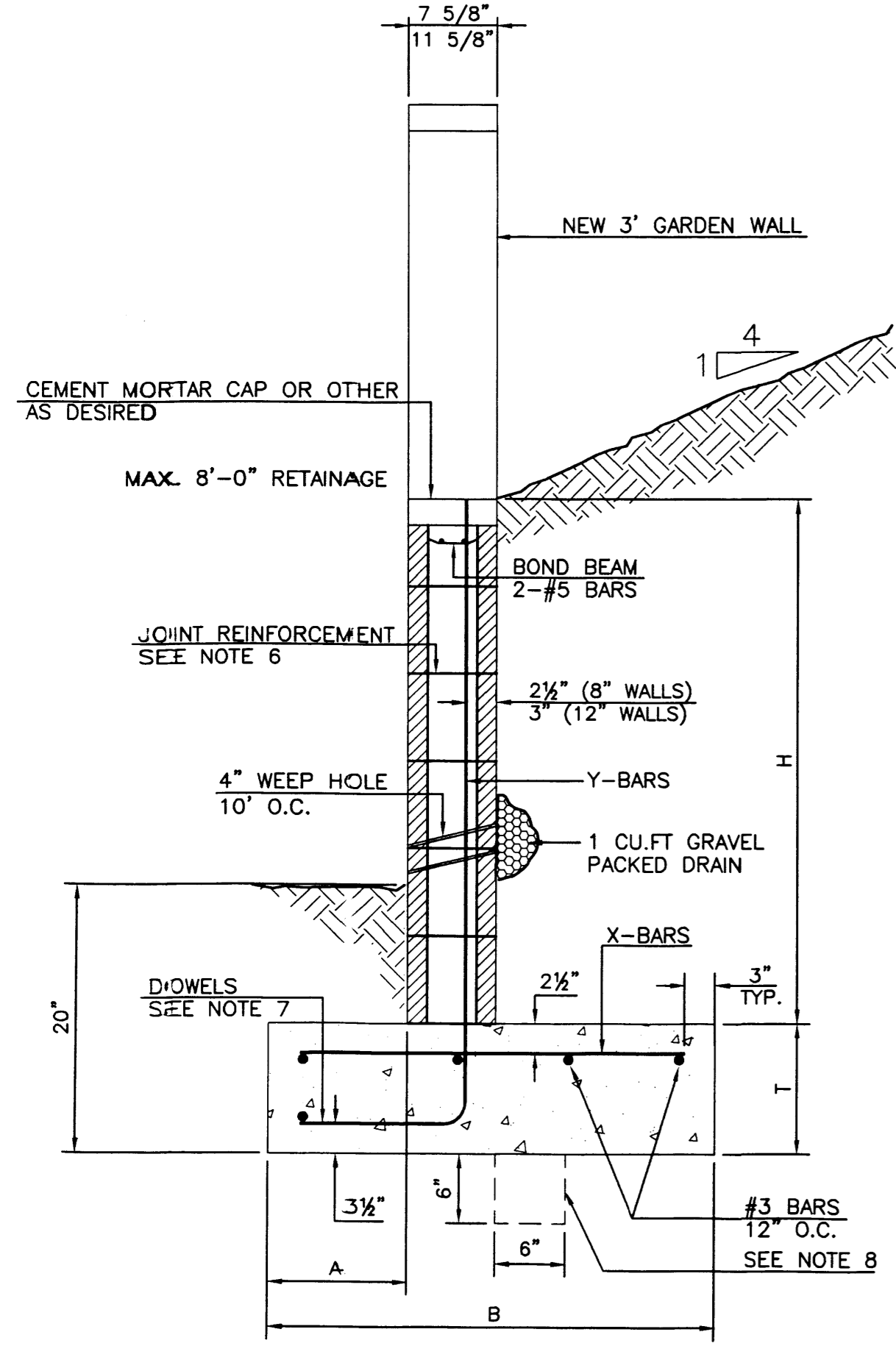
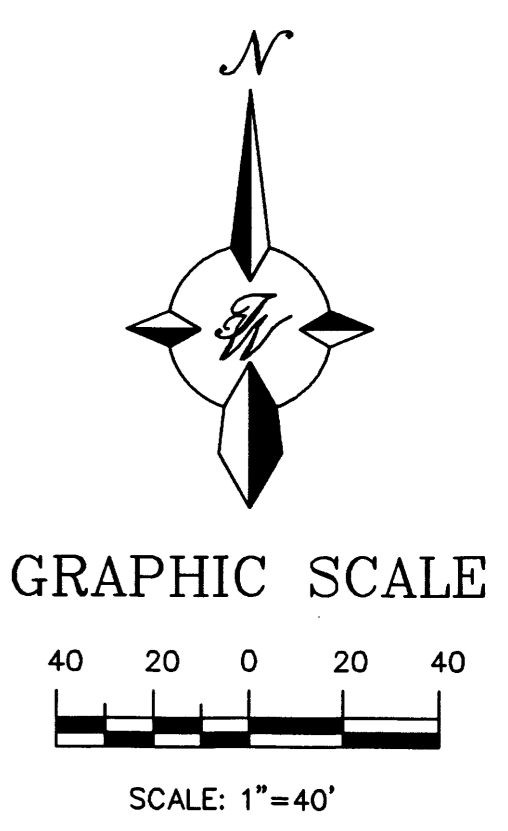


ACS MONUMENT "WINDY-1978"  
 NM STATE PLANE COORDINATES  
 CENTRAL ZONE - NAD 1927  
 X=429,368.37  
 Y=1,480,402.20  
 EL=5814.68  
 G-Q=0.9996276  
 DELTA=-0'08"08"

**LEGEND**

- BOUNDARY
- HOUSE PAD
- DRIVE PAD
- RETAINING WALL
- LOT LINE
- EASEMENT LINE
- CENTER LINE
- EXTENDED STEM WALL
- 5' CMU PERIMETER WALL
- EXIST. CURB & GUTTER
- CURB & GUTTER
- SLOPE TIE
- FINISHED FLOOR
- PROPOSED GRADE

FF=5764.67  
 x 5774.96



**8 INCH REINFORCED CONCRETE MASONRY WALL**

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
3'-4"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
4'-0"	10"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#3 @27" O.C.
5'-4"	14"	3'-8"	10"	#4 @16" O.C.	#4 @30" O.C.
6'-0"	16"	4'-2"	12"	#6 @24" O.C.	#4 @25" O.C.

**12 INCH REINFORCED CONCRETE MASONRY WALL**

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#4 @24" O.C.	#3 @25" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @30" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#4 @22" O.C.
7'-4"	18"	4'-10"	12"	#5 @16" O.C.	#5 @26" O.C.
8'-0"	20"	5'-4"	12"	#7 @24" O.C.	#5 @21" O.C.

- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
  - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
  - BACKFILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
  - ALL BARS ARE TO BE GRADE 60, ASTM 615.
  - TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
  - DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
  - JOINT REINFORCEMENT CONSISTING OF 3GA LONGITUDINAL WIRE AND 3/16" CROSS RODS SHALL BE PROVIDED AT 8" CENTERS VERTICALLY.
  - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
  - USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.

**LEGAL DESCRIPTION:**  
 TRACT B, BLOCK 2 & TRACT C BLOCK 7 OF WELL SANDIA MANOR

NO.	DATE	REVISIONS	BY

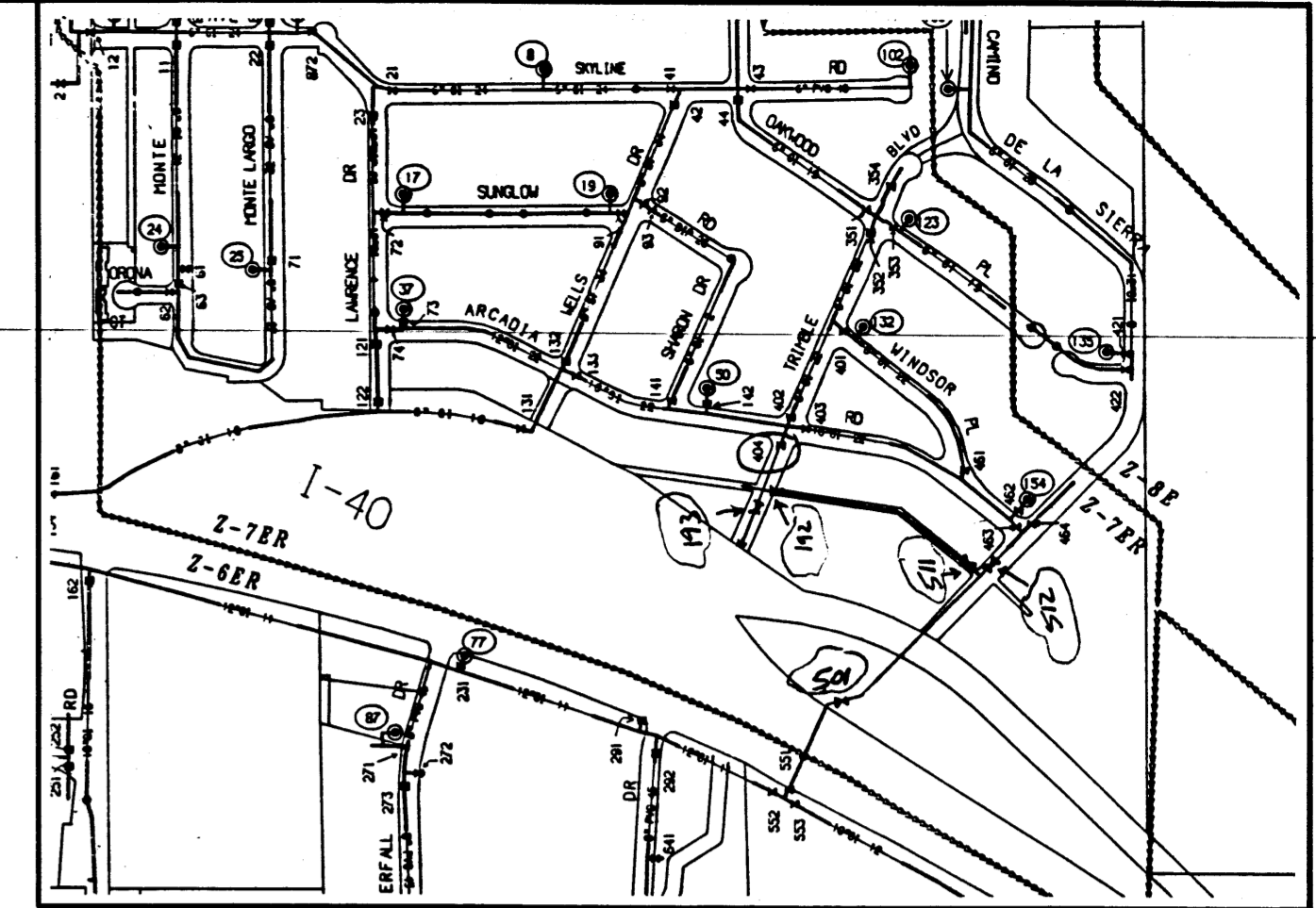
ENGINEER'S SEAL:

**BERRY TOWN**  
**GRADING AND DRAINAGE PLAN**

TIERRA WEST DEVELOPMENT MANAGEMENT SERVICES  
 4421 McLEOD ROAD NE., SUITE D  
 ALBUQUERQUE, NEW MEXICO 87109  
 (505)883-7592

DRAWN BY: JDN  
 DATE: 01-22-97  
 SHEET #: 4  
 JOB #: 960011

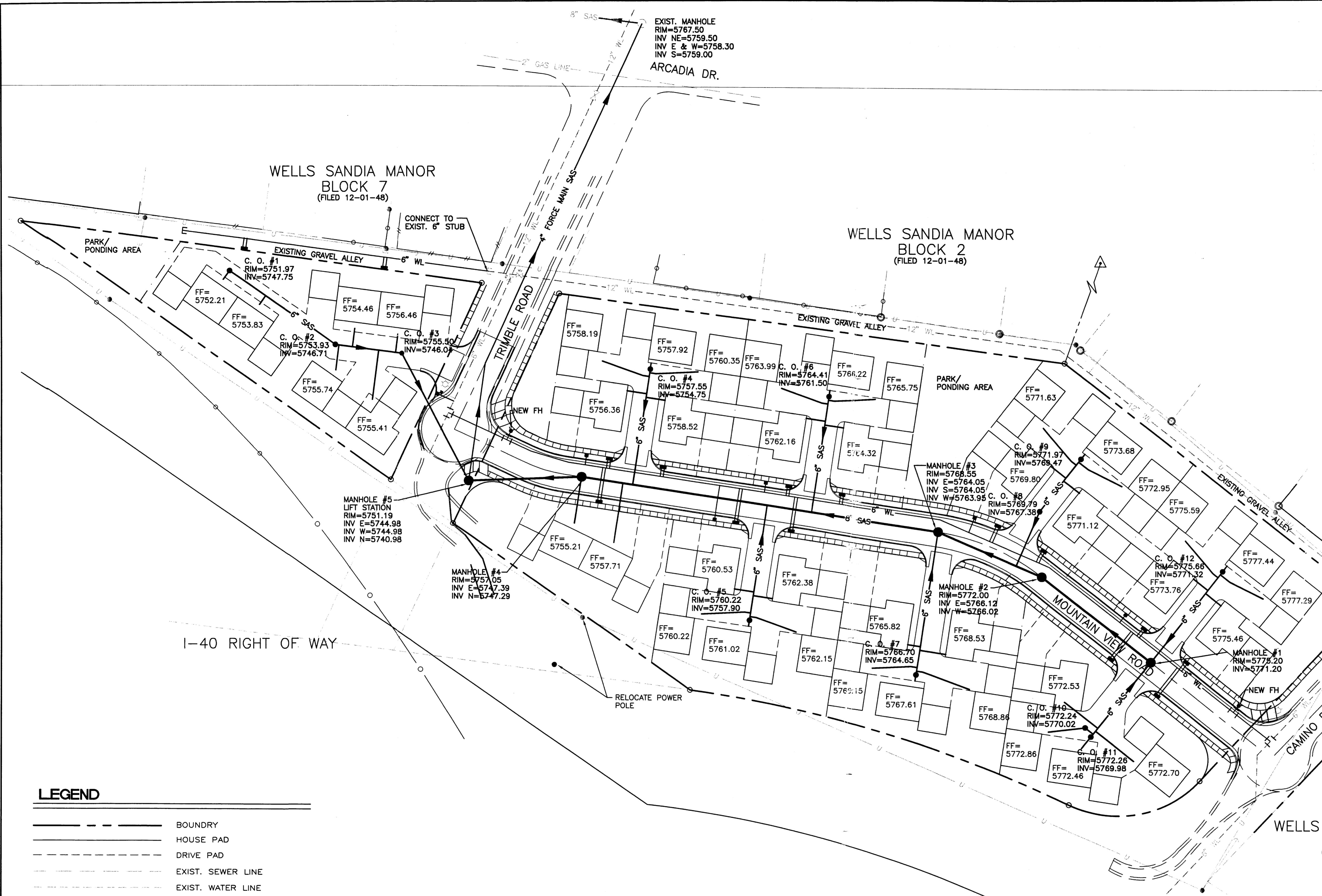
ROUGH GRADING APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_



**WATER SHUT OFF PLAN** SHUT OFF VALVES #192, #193, #404, #501, #511, AND 512.

- GENERAL NOTES:**
1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES (PHONE) 857-8200 FIVE (5) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
  2. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS
  3. SHUTOFF VALVES INDICATED IN THE ABOVE PLAN

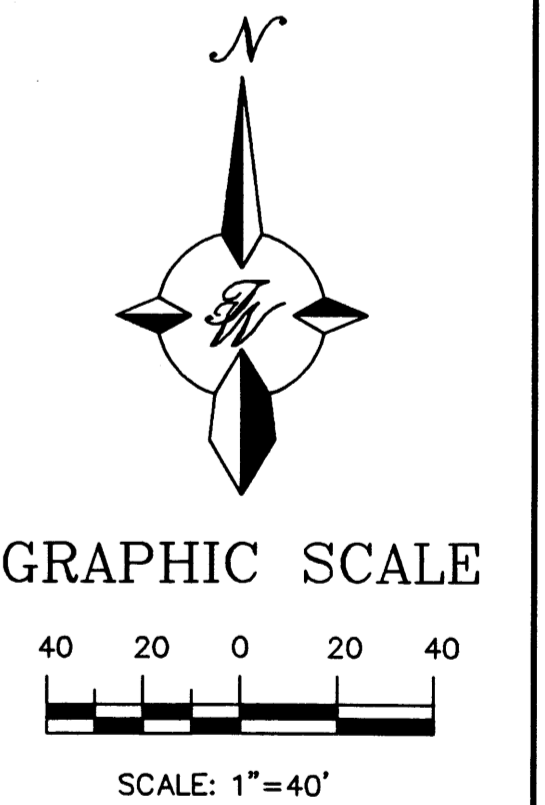
- NOTE:**
1. SANITARY SEWER LINE WILL BE PRIVATE AND WILL BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.



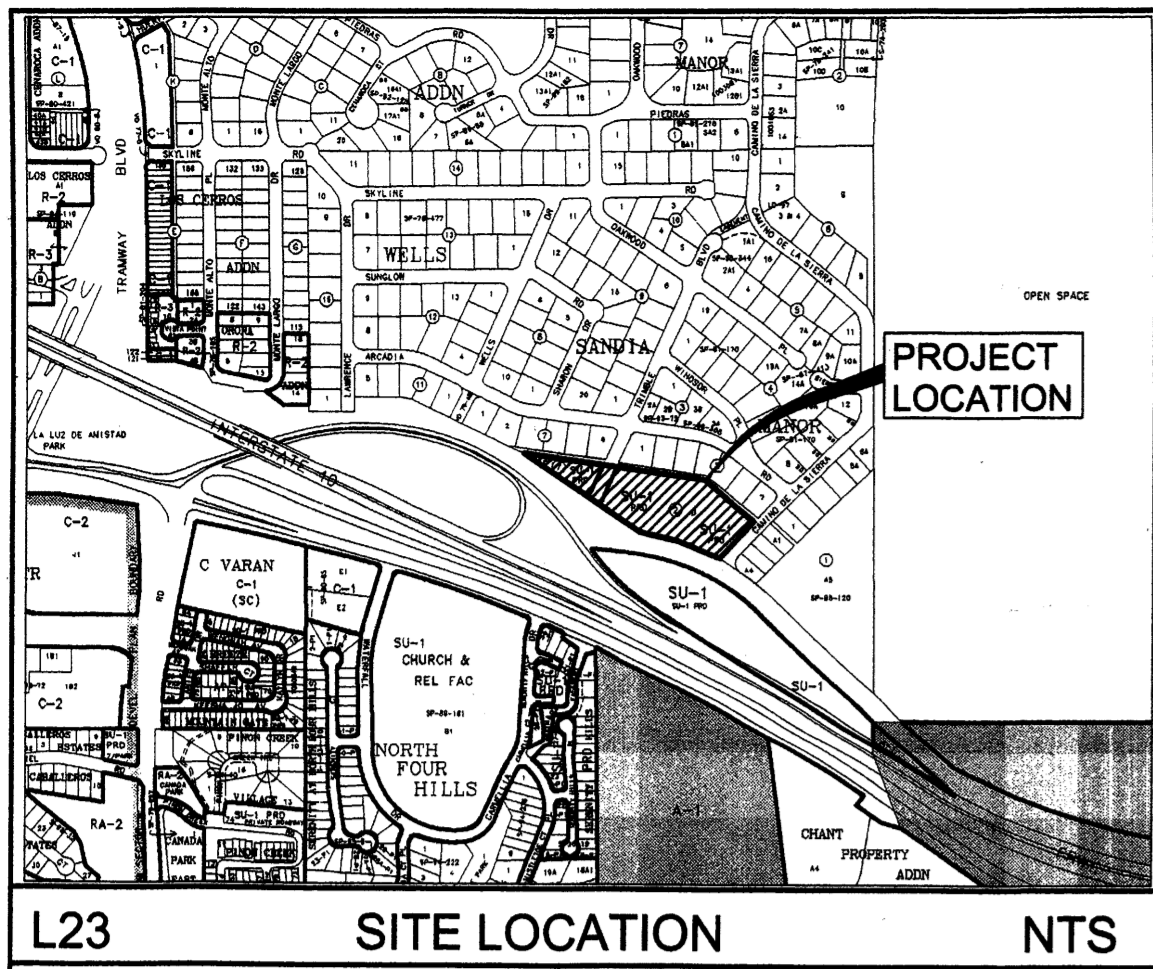
**LEGEND**

---	BOUNDARY
—	HOUSE PAD
—	DRIVE PAD
---	EXIST. SEWER LINE
---	EXIST. WATER LINE
---	PROPOSED SEWER LINE
---	PROPOSED WATER LINE
---	LOT LINE
---	EASEMENT LINE
---	CENTER LINE
---	5' CMU PERIMETER WALL
---	EXIST. CURB & GUTTER
---	CURB & GUTTER
○	EXIST. MAN HOLE
○	EXIST. GATE VALVE
●	PROPOSED MAN HOLE
+	STOP SIGN

**WELLS SANDIA MANOR BLOCK 1**  
(FILED 12-01-48)



NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		<b>BERRY TOWN</b>	
DRAWN BY JDN		DATE 01-28-97	
		<b>MASTER UTILITY PLAN</b>	
		SHEET # <b>5</b>	
TIERRA WEST DEVELOPMENT MANAGEMENT SERVICES 4421 McLEDD ROAD N.E., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592		JOB # 960011	
RONALD R. BIHANNAN P.E. #7868			



**Site Data**

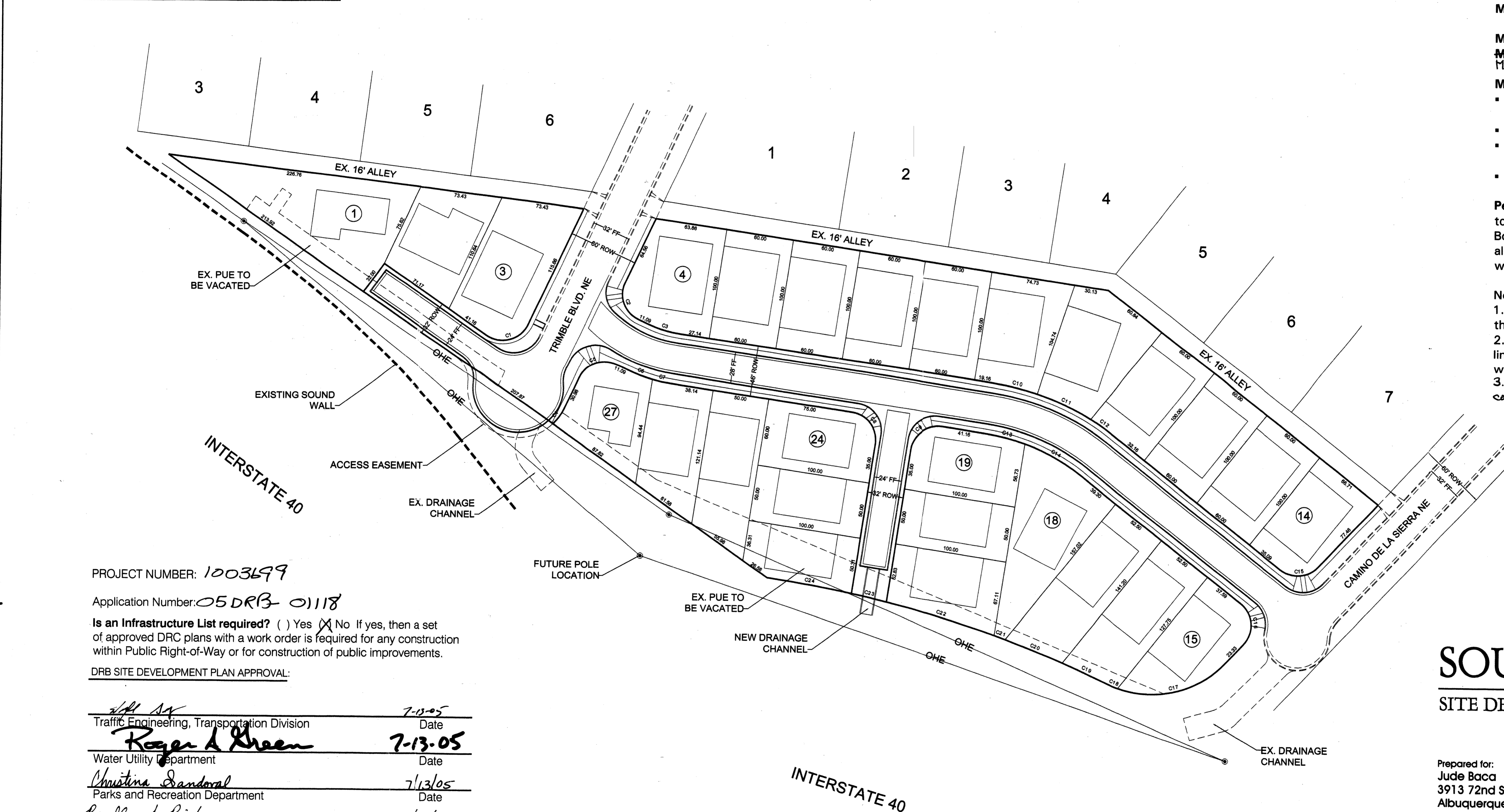
Size: 4.9 acres  
 Zoning: SU-1 PRD, 10du/acre  
 Maximum Number of Dwelling Units: 27  
 Maximum Lot Size: 11,500 square feet  
 Minimum Lot Size: 6,000 square feet

Minimum Dwelling Size: 1,800 square feet  
 Maximum Building Height (Single Story): 17 feet  
 Minimum Building Height (Two Story): 26 feet  
 Maximum

- Minimum Building Set Back:**
- Front Yard = 15 feet, garages shall be set back 20 feet to provide for a minimum of 2 off-street parking spaces.
  - Side Yard (Conventional) = 5 feet
  - Side Yard (Zero Lot Line/Patio Homes) = On property line (zero feet) on one side and 10 feet on opposite side.
  - Rear Yard = 15 feet

**Pedestrian and Vehicular Ingress and Egress:** Vehicular access to South Pointe is from Camino de la Sierra NE and Trimble Boulevard NE. Pedstrian access is from existing sidewalks along Camino de la Sierra NE and Trimble Boulevard NE, which will connect to sidewalks within the subdivision.

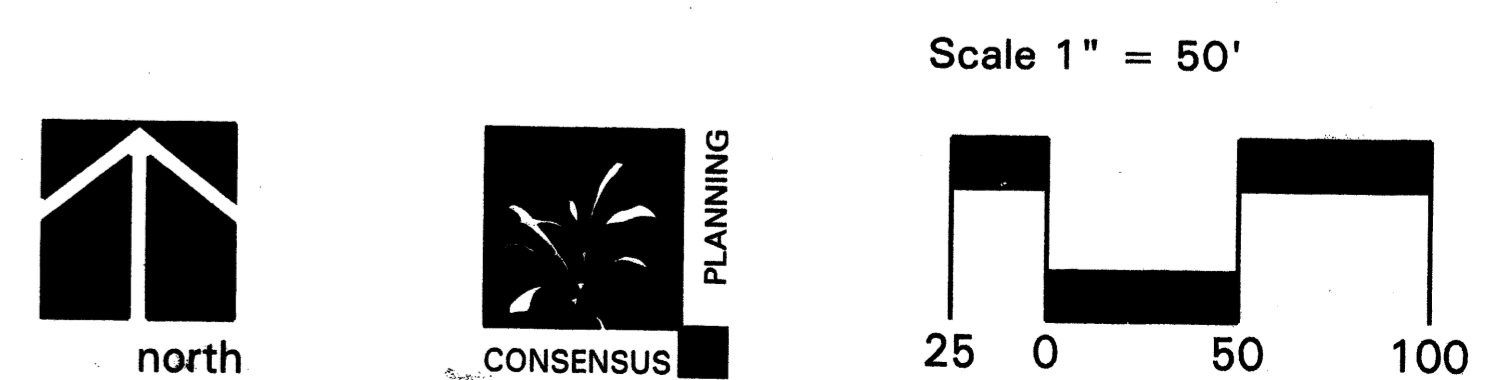
- Notes**
- Residential development in South Point shall be subject to the requirements of the Sandia Foothills Area Plan.
  - Lots bordering existing homes along the northern property line of the subdivision shall be restricted to single story only with a maximum height of 19 feet (Lots 1-14).
  - Access to Lots 19 and 24 shall be from the road connecting Camino de la Sierra NE and Trimble Blvd. NE.



**SOUTH POINTE**  
 SITE DEVELOPMENT PLAN FOR SUBDIVISION

Prepared for:  
 Jude Baca  
 3913 72nd St. NW  
 Albuquerque, NM 87120

Prepared by:  
 Consensus Planning, Inc.  
 924 Park Avenue SW  
 Albuquerque, NM 87102



PROJECT NUMBER: 1003699  
 Application Number: 05DRB-01118

Is an Infrastructure List required? ( ) Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

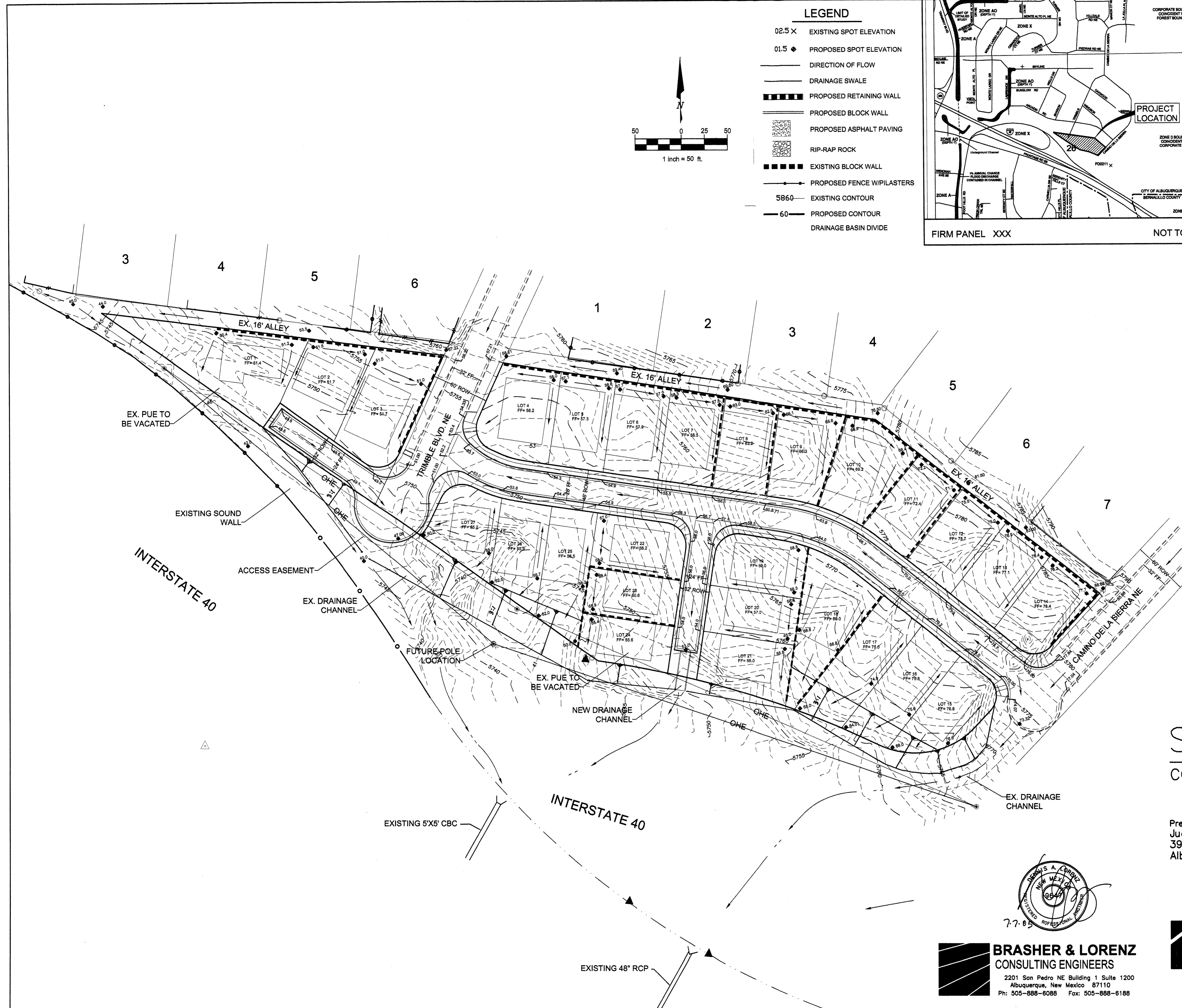
<i>[Signature]</i> Traffic Engineering, Transportation Division	7-13-05 Date
<i>Regen A. Green</i> Water Utility Department	7-13-05 Date
<i>Christina Sandoval</i> Parks and Recreation Department	7/13/05 Date
<i>Bradley L. Biglan</i> City Engineer	7/13/05 Date
NA * Environmental Health Department-(conditional)	Date
<i>[Signature]</i> Solid Waste Management	7/19/05 Date
DRB Chairperson, Planning Department	Date

**BRASHER & LORENZ**  
 CONSULTING ENGINEERS  
 2201 San Pedro NE Building 1 Suite 1200  
 Albuquerque, New Mexico 87110  
 Ph: 505-888-6088 Fax: 505-888-6188

PROJECT # 1003699

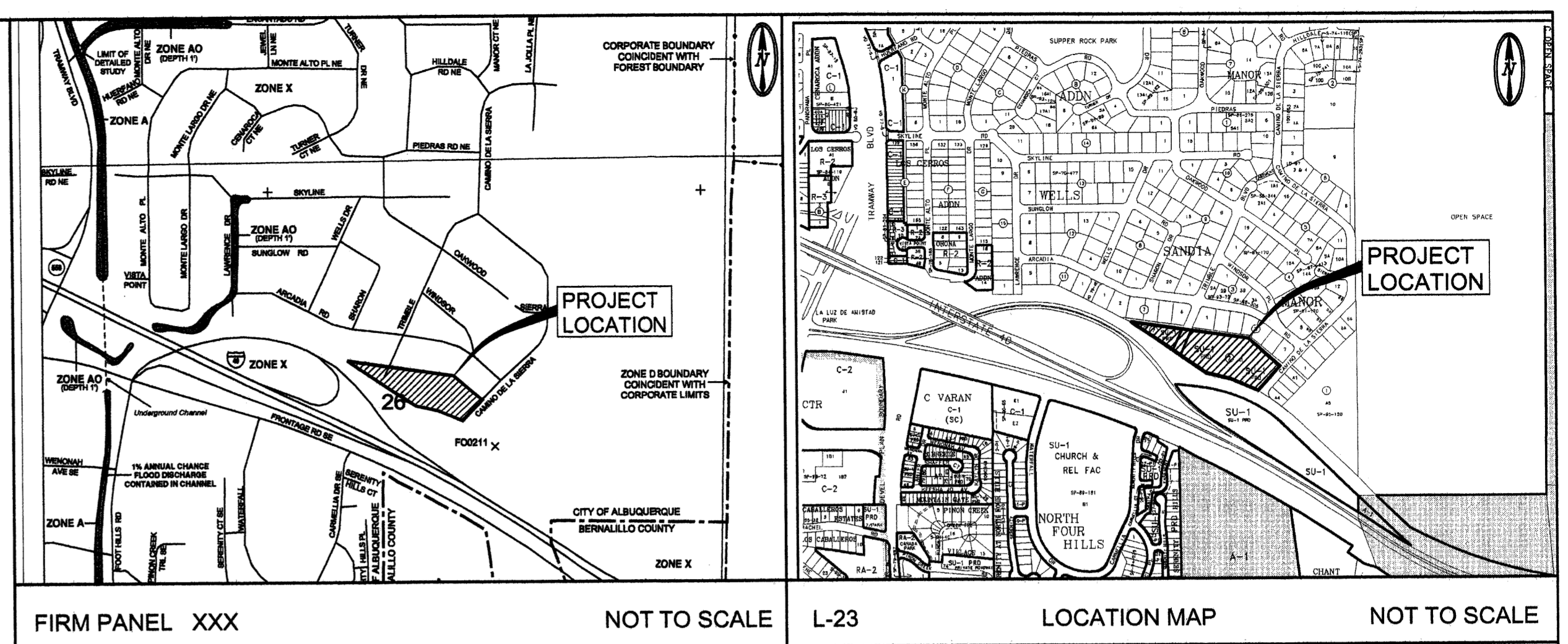
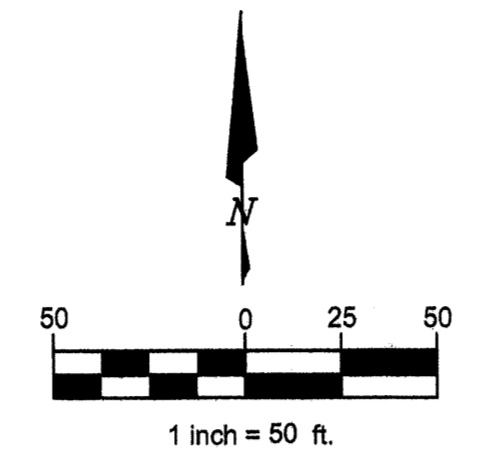






**LEGEND**

- 02.5 X EXISTING SPOT ELEVATION
- 01.5 PROPOSED SPOT ELEVATION
- DIRECTION OF FLOW
- DRAINAGE SWALE
- PROPOSED RETAINING WALL
- PROPOSED BLOCK WALL
- PROPOSED ASPHALT PAVING
- RIP-RAP ROCK
- EXISTING BLOCK WALL
- PROPOSED FENCE W/PIPLASTERS
- 5860 EXISTING CONTOUR
- 60 PROPOSED CONTOUR
- DRAINAGE BASIN DIVIDE



**DRAINAGE PLAN NOTES**

1. BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
2. This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
3. Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
4. This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
5. Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
6. BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
7. The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
8. All spot elevations are finished grade or top of pavement, unless noted otherwise.

**PROJECT DATA**

**PROPERTY ADDRESS**  
 TRIMBLE BLVD NE  
 ALBUQUERQUE, NEW MEXICO

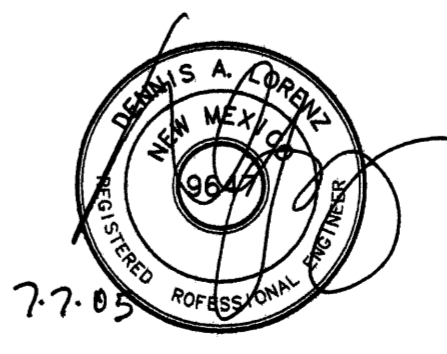
**LEGAL DISCRPTION**  
 TRACT B, BLOCK 7, TRACT C, BLOCK 2  
 WELLS SANDIA MANOR

**SURVEY**  
 SITE MAPPING AND TOPOGRAPHY  
 PROVIDED BY PRECISION SURVEYS

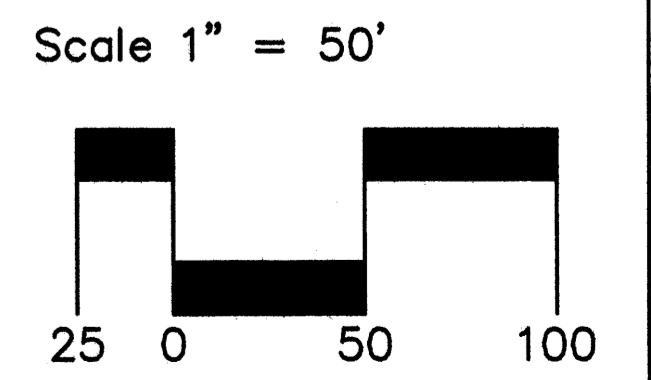
**SOUTH POINTE**  
**CONCEPTUAL GRADING & DRAINAGE PLAN**

Prepared for:  
 Jude Baca  
 3913 72nd St. NW  
 Albuquerque, NM 87120

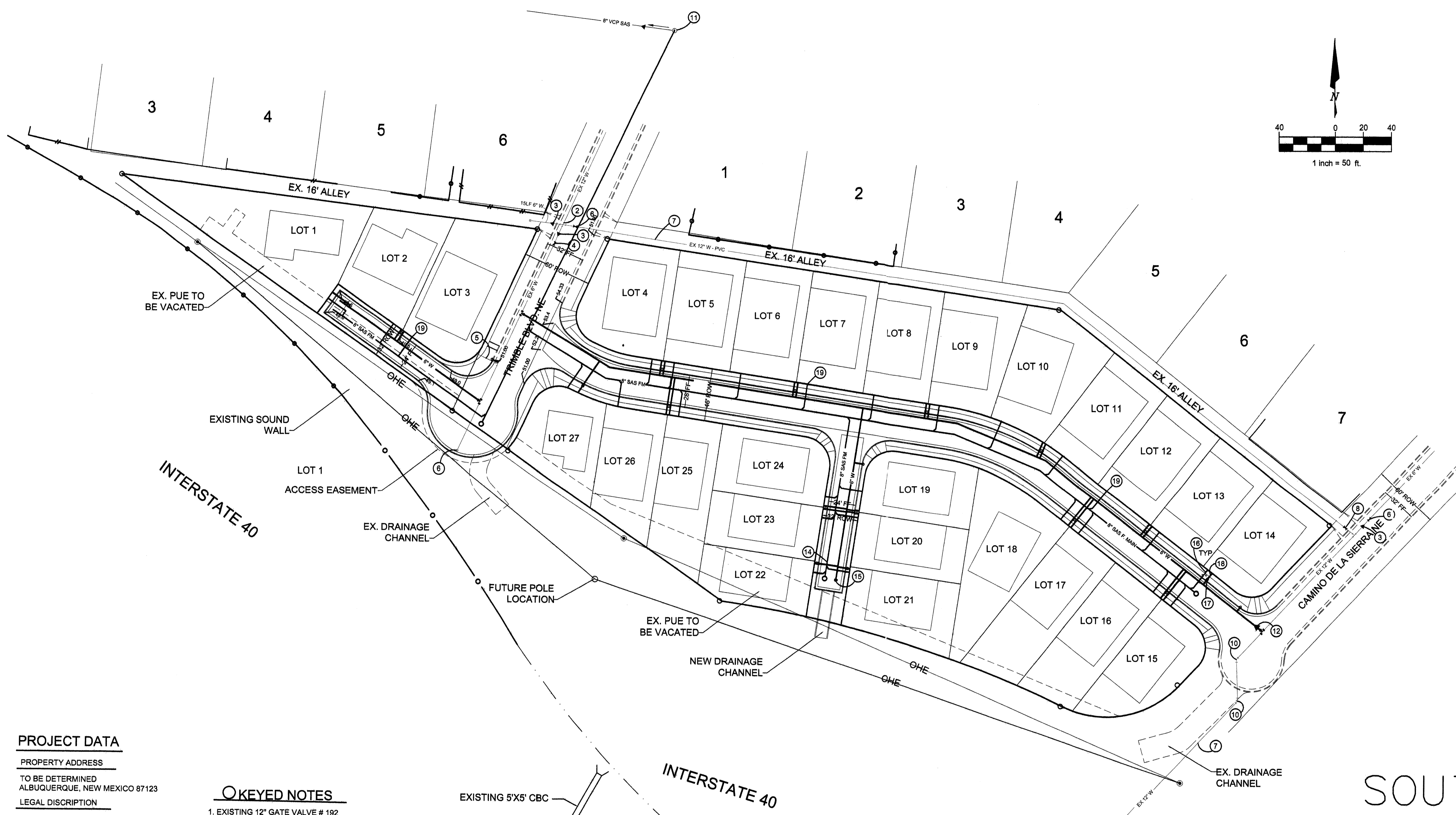
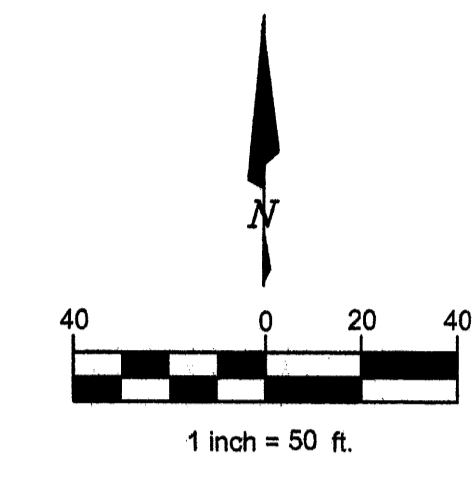
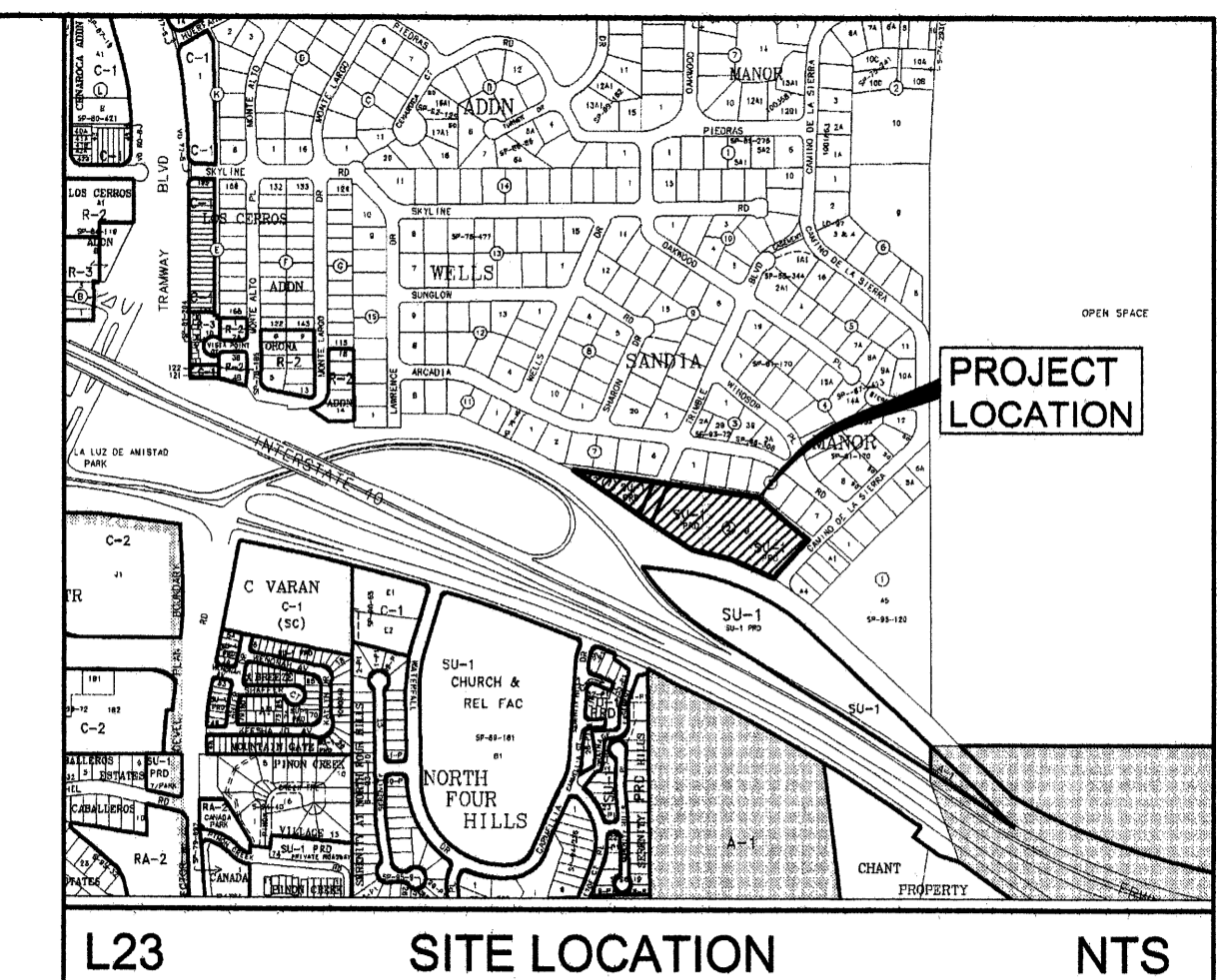
Prepared by:  
 Consensus Planning, Inc.  
 924 Park Avenue SW  
 Albuquerque, NM 87102



**BRASHER & LORENZ**  
 CONSULTING ENGINEERS  
 2201 San Pedro NE Building 1 Suite 1200  
 Albuquerque, New Mexico 87110  
 Ph: 505-888-6088 Fax: 505-888-6188



June 30, 2005



**LEGEND**

ITEM	EXISTING	PROPOSED
WATERLINE	6" W	6" W
SANITARY SEWER	8" SAS	8" SAS
CLEAN OUT		
STORM SEWER	36" STS	36" STS
FIRE HYDRANT VALVE		
METERED WATER SERVICE SINGLE		
METERED WATER SERVICE DOUBLE		
MANHOLE		
CURB AND GUTTER		
HEADER CURB		
DROP INLET		
OVERHEAD ELEC WITH POWER POLE	OHE	
UNDERGROUND ELEC. GAS, TEL, TV	UGT	
CURB ELEVATIONS		
SPOT ELEV.	x 16.7	
SEWER SERVICE		
RIGHT OF WAY EASEMENT		
POWER POLE (GUYPED)	PP	PP
TOP OF ASPHALT ELEV.	TA 16.2	

**PROJECT DATA**

**PROPERTY ADDRESS**  
TO BE DETERMINED  
ALBUQUERQUE, NEW MEXICO 87123

**LEGAL DISCRPTION**  
TRACK B, BLOCK 2 + TRACT C  
BLOCK 7 OF WELLS SANDIA MANOR  
EXISTING ZONING: SU-1 FOR PRD  
PROPOSED ZONING: (NO CHANGE)

SUBDIVISION AREA: 5.023 AC.

**PROPOSED DEVELOPMENT:**  
SINGLE FAMILY RESIDENTIAL  
TOTAL NUMBER OF EXISTING LOTS: 2  
TOTAL NUMBER OF PROPOSED LOTS: 27

**ACCESS:**  
EXISTING: TRIMBLE BLVD (public) AND  
EXISTING: COMINO DE LA SIERRA NE (public)  
TOTAL NUMBER OF PROPOSED LOTS: 27

**WATER:** CONNECTION TO EXISTING CITY  
WATER IN TRIMBLE BLVD AND CAMINO  
DE LA SIERRA

**WASTEWATER:** SANITARY SEWER TO BE BY  
FORCE MAIN WITH CONNECTION TO  
EXISTING MANHOLE AT ARCADIA. EACH LOT  
SHALL HAVE A PRIVALETY OWNED AND  
MAINTAINED GRINDER PUMP.

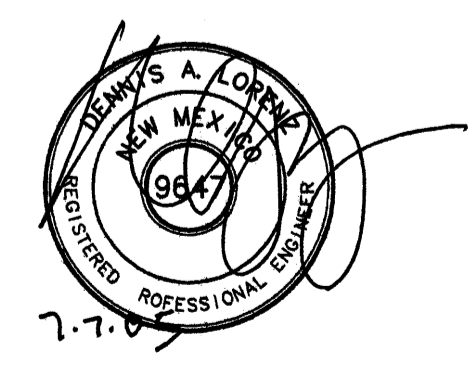
**KEYED NOTES**

- EXISTING 12" GATE VALVE # 192
- EXISTING 12" X 12" X 12" X 12" CROSS
- EXISTING 12" X 6" REDUCER
- EXISTING 6" GATE VALVE # 193
- EXISTING 1 3/4" SINGLE SERVICE CONNECTION
- EXISTING 6" CAP WITH BLOCKING
- EXISTING 12" PVC WATERLINE PROJECT # 26-3142-90
- EXISTING 12" GATE VALVE # 511
- EXISTING 6" GATE VALVE # 512
- EXISTING 12" 45 DEGREE BEND
- EXISTING SANITARY SEWER MANHOLE # 211.  
LOCATED AT INTERSECTION OF ARCADIA RD. AND TREMBLE BLVD.
- PROPOSED 12" X 6" REDUCER FOR NEW WATERLINE
- PROPOSED NEW 6" WATER LINE
- PROPOSED NEW 8" SANITARY SEWER LINE
- PROPOSED 6" CAP
- PROPOSED 4" SANITARY SEWER SERVICE. (TYPICAL)
- PROPOSED PLACEMENT OF NEW WATER METER FOR SERVICE DROP. (TYPICAL)
- PROPOSED 3/4" WATER SERVICE. (TYPICAL)
- PROPOSED SEWER SERVICE BY GRINDER PUMP. (TYPICAL)

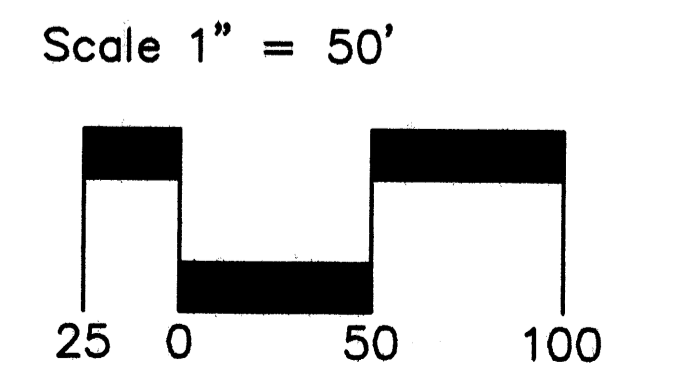
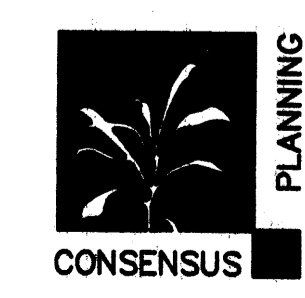
**SOUTH POINTE  
CONCEPTUAL UTILITY PLAN**

Prepared for:  
Jude Baca  
3913 72nd St. NW  
Albuquerque, NM 87120

Prepared by:  
Consensus Planning, Inc.  
924 Park Avenue SW  
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June 30, 2005

**OPEN SPACE CALCULATIONS**

UNIT NO.	OPEN SPACE PER UNIT	UNIT NO.	OPEN SPACE PER UNIT	UNIT NO.	OPEN SPACE PER UNIT	UNIT NO.	OPEN SPACE PER UNIT	UNIT NO.	OPEN SPACE PER UNIT
1	1,649.83 SF	10	1,143.07 SF	19	1,858.34 SF	28	1,197.59 SF	37	1,177.58 SF
2	1,780.00 SF	11	1,867.12 SF	20	781.47 SF	29	1,018.97 SF	38	1,166.56 SF
3	1,535.35 SF	12	1,524.18 SF	21	2,136.17 SF	30	1,173.22 SF	39	969.44 SF
4	2,017.71 SF	13	1,184.21 SF	22	1,958.90 SF	31	931.59 SF	40	1,075.59 SF
5	2,716.27 SF	14	2,076.65 SF	23	1,182.77 SF	32	1,410.70 SF	41	789.40 SF
6	1,749.07 SF	15	792.39 SF	24	1,024.31 SF	33	1,185.51 SF	42	1,265.07 SF
7	2,228.03 SF	16	1,373.09 SF	25	1,168.67 SF	34	1,059.37 SF		
8	1,749.07 SF	17	1,427.79 SF	26	1,015.89 SF	35	1,176.37 SF		
9	2,228.03 SF	18	1,862.47 SF	27	1,159.40 SF	36	990.28 SF		
<b>GRAND TOTAL</b>									
								<b>60,945.49 SF</b>	

OPEN SPACE AREA REQUIRED 42 UNITS X 750 SF = 31,500  
 OPEN SPACE AREA PROVIDED 60,945.49 SF + 19,128.60 SF = 80,074.09 SF

COMMON AREA	YARD AREA PROVIDED
1	3,293.44 SF
2	2,304.42 SF
3	2,534.25 SF
4	7,575.23 SF
5	3,421.26 SF
<b>TOTAL</b>	<b>19,128.60 SF</b>

**PROJECT DATA**

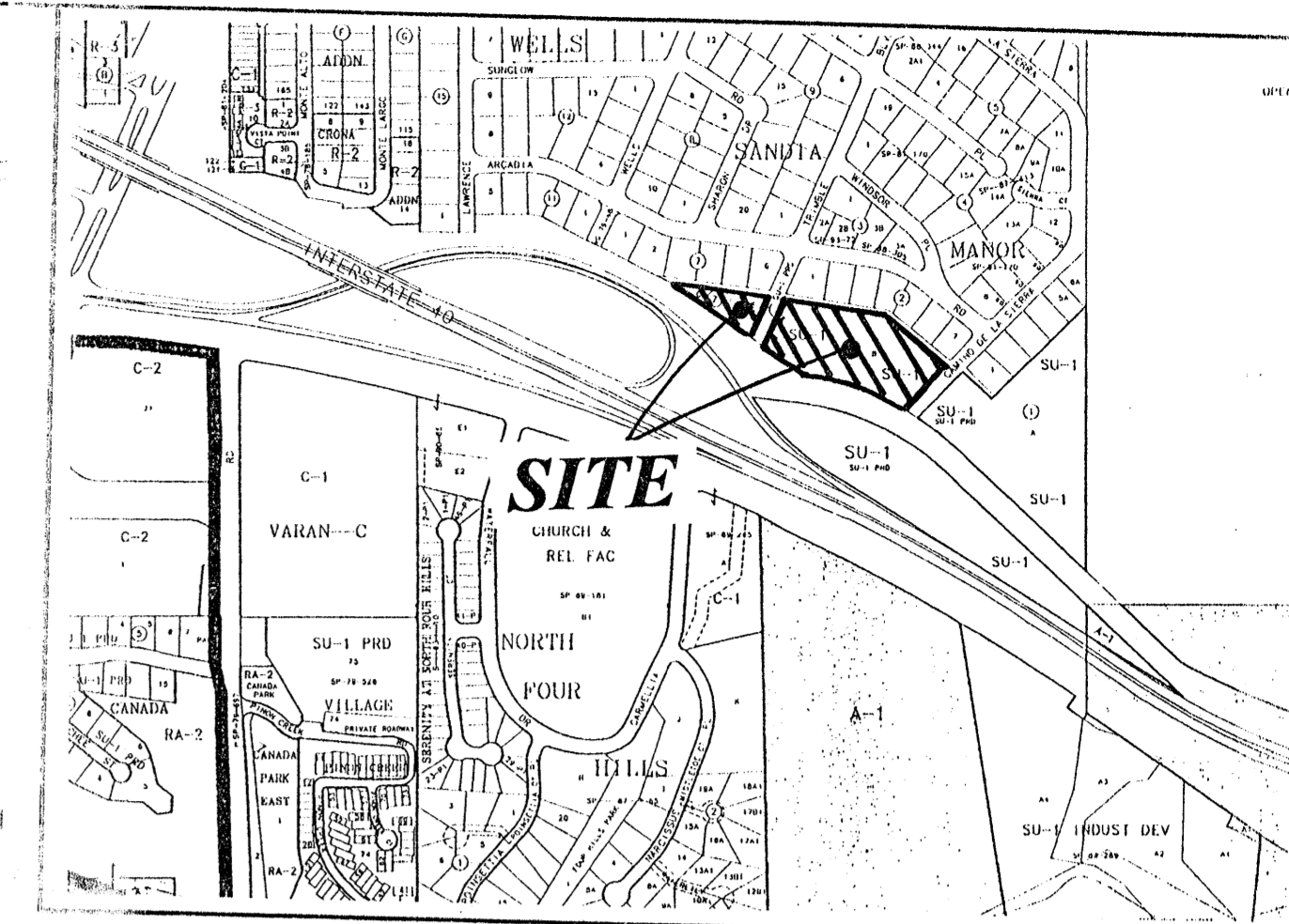
TOTAL NUMBER OF LOTS: 42  
 TOTAL ACERAGE: 4.95  
 ZONING: SU-1 PRD  
 DENSITY: 8.48 LOTS PER ACRE  
 LEGAL DISCRPTION: TRACT "B" BLOCK 2 & TRACT "C" BLOCK 7 OF WELLS SANDIA MANOR  
 BUILDING TYPE: A 14-2 BR./2 BA. B 14-3 BR./2.5 BA. C 14-3 BR./2.5 BA.  
 PARKING REQUIREMENTS: 28 @ 4 = 112  
 14 @ 3 = 42  
 TOTAL = 154  
 PARKING PROVIDED: 42 X 4 = 168  
 TWO IN GARAGE  
 TWO IN DRIVEWAY

**LEGEND**

- BOUNDARY
- HOUSE PAD
- DRIVE PAD
- EXIST. SEWER LINE
- EXIST. WATER LINE
- PROPOSED SEWER LINE
- PROPOSED WATER LINE
- LOT LINE
- EASEMENT LINE
- CENTER LINE
- 5' CMU PERIMETER WALL
- EXIST. CURB & GUTTER
- CURB & GUTTER
- EXIST. MAN HOLE
- EXIST. GATE VALVE
- PROPOSED MAN HOLE
- STOP SIGN

**LANDSCAPING CALCULATIONS**

TOTAL SITE AREA 215,622 SF  
 TOTAL BUILDING AREA 63,182 SF  
 TOTAL OFFSITE LANDSCAPING 1,100 SF  
 NET LOT AREA LANDSCAPING REQUIRED 151,340 SF  
 LANDSCAPING REQUIRED 0.15  
 TOTAL LANDSCAPING REQUIRED 22,701 SF  
 TOTAL OPEN SPACE PROVIDED 79,886.39 SF  
 TOTAL LANDSCAPE SHOWN 27,586 SF  
 TOTAL SOD AREA SHOWN 4,714 SF



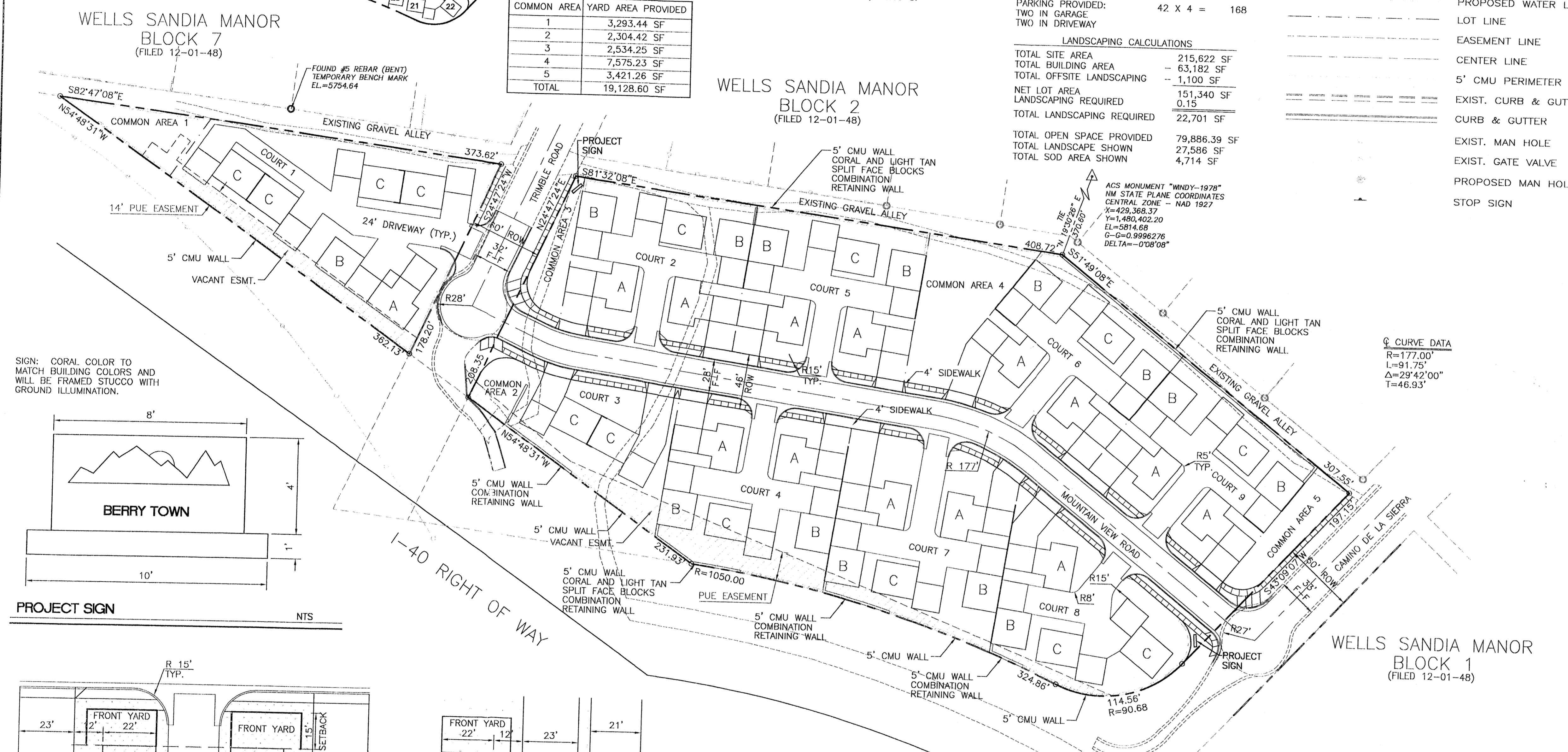
VICINITY MAP L-23-Z

**INDEX TO DRAWINGS**

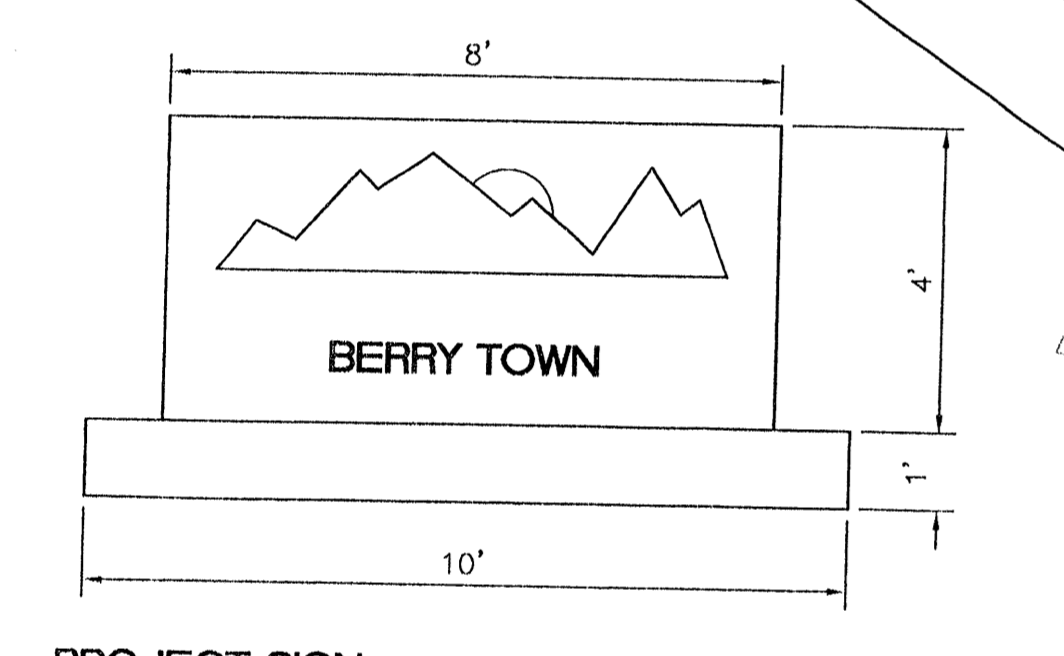
- SITE PLAN
- LANDSCAPE PLAN
- BUILDING ELEVATIONS
- GRADING AND DRAINAGE PLAN
- MASTER UTILITY PLAN

**GENERAL NOTES**

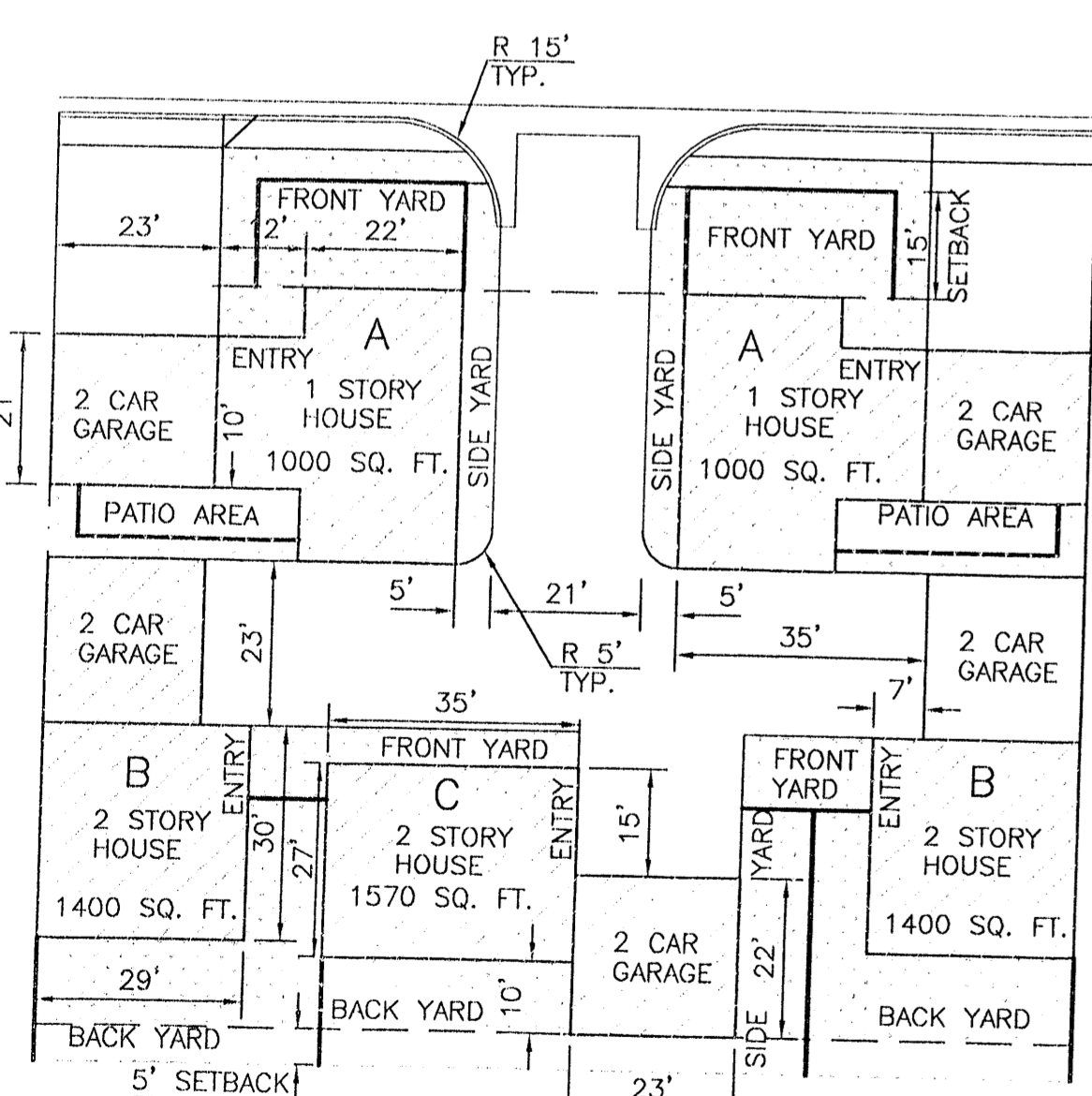
- THE PURPOSE OF THE DEVELOPMENT IS FOR SINGLE FAMILY TOWNHOUSES.
- LIGHTING SHALL BE LOCATED AT THE INTERSECTIONS WITH ALL OTHER LIGHTING BEING BUILDING MOUNTED AS NEEDED.
- THIS PROJECT WILL REQUIRE CURB SIDE PICKUP FOR REFUSE.
- BUILDING HEIGHT: STRUCTURES SHALL NOT EXCEED 26 FEET IN HEIGHT.
- WATER AND SEWER: PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SERVICE TO THE SITE MUST BE VERIFIED AND COORDINATED WITH THE WATER RESOURCES DEPT. CITY OF ALBUQUERQUE, VIA AN AVAILABILITY STATEMENT.
- CURBS AND GUTTERS: MOUNTABLE CURB AND GUTTER WILL BE USED THROUGHOUT EXCEPT FOR THOSE AREAS WHERE STANDARD CURB AND GUTTER IS NECESSARY FOR DRAINAGE.
- BUILDINGS: BUILDINGS WILL BE TRADITIONAL OR SOUTHWEST STYLE WITH EITHER FLAT OR TILED PITCHED ROOFS. BUILDINGS WILL BE EITHER STUCCO, BRICK, SIDING, OR COMBINATION OF BOTH. COLORS WILL BE EARTHTONE WITH ACCENTS.



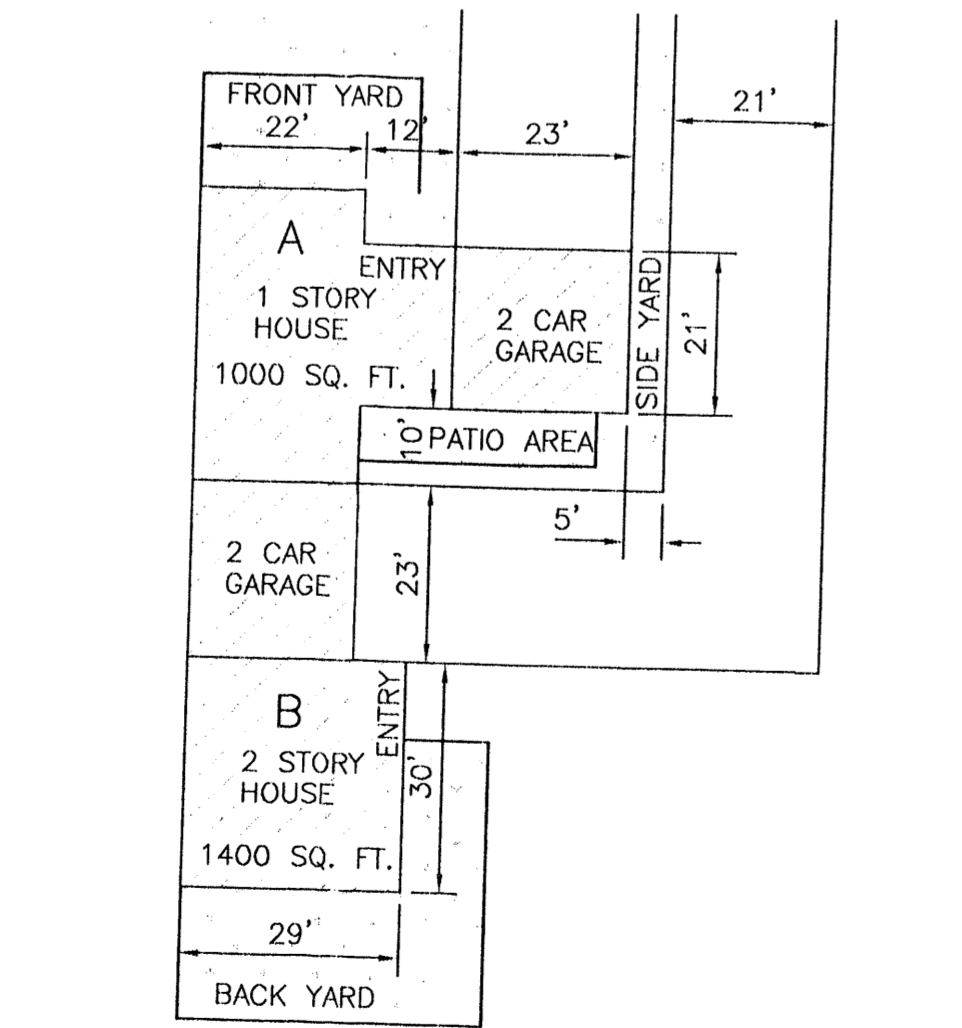
SIGN: CORAL COLOR TO MATCH BUILDING COLORS AND WILL BE FRAMED STUCCO WITH GROUND ILLUMINATION.



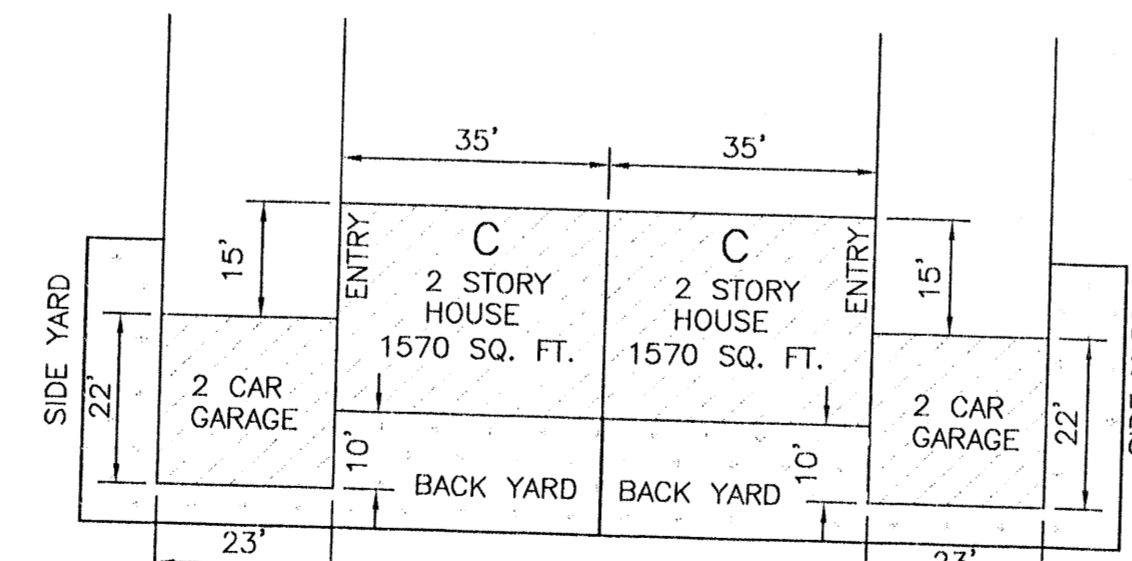
PROJECT SIGN NTS



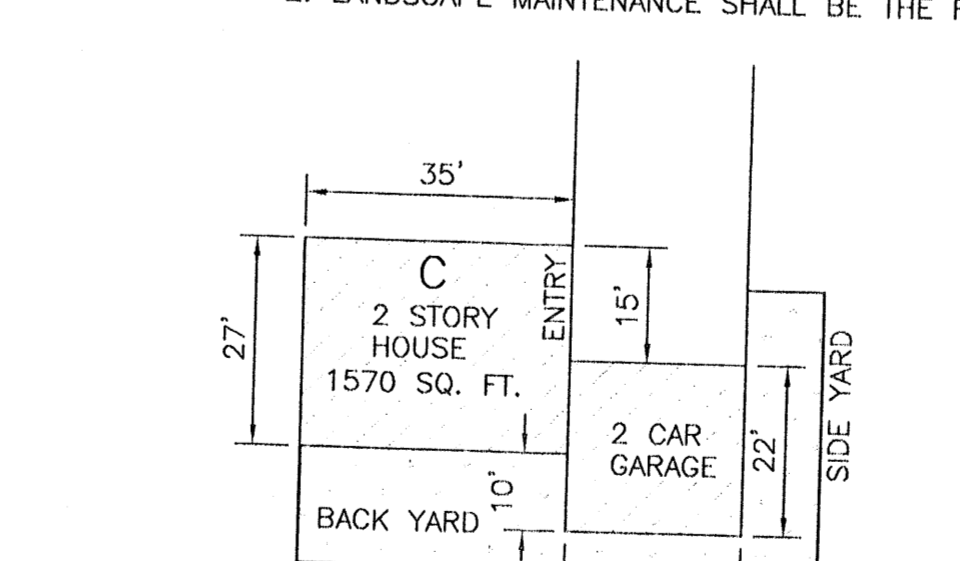
TYPICAL CLUSTER LAYOUT NTS



TYPICAL 'A/B' DOUBLE UNIT LAYOUT NTS



TYPICAL 'C' DOUBLE UNIT LAYOUT NTS

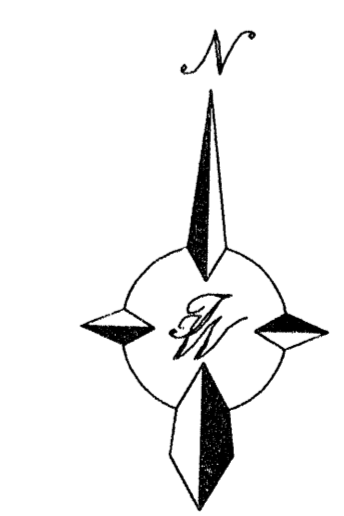


TYPICAL SINGLE UNIT LAYOUT NTS

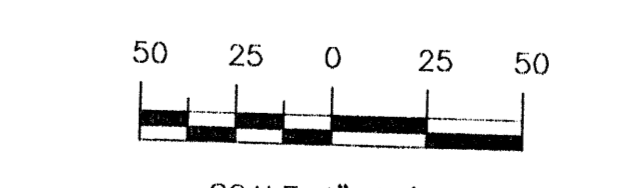
**LANDSCAPING NOTES**

- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE HOME OWNERS ASSOC.

CURVE DATA  
 R=177.00'  
 L=91.75'  
 Δ=29°42'00"  
 T=46.93'



**GRAPHIC SCALE**



SCALE: 1"=50'

Refuse Approval \_\_\_\_\_ Date \_\_\_\_\_

**CASE NUMBER: Z-** \_\_\_\_\_

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) and that the findings and conditions in the Official Notice; Notification of Decision have been complied with.

**SITE DEVELOPMENT PLAN**

Traffic Engineer, Transportation Division \_\_\_\_\_ Date \_\_\_\_\_

Design and Development, CIP \_\_\_\_\_ Date \_\_\_\_\_

Public Works, Water Utilities Division \_\_\_\_\_ Date \_\_\_\_\_

City Engineer, Engineering Division / AMAFCA \_\_\_\_\_ Date \_\_\_\_\_

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo \_\_\_\_\_ Date \_\_\_\_\_

County Planning Division \_\_\_\_\_

PLNZ (10706) 4/96

REV.	DATE	REMARKS	BY

**ENGINEER'S SEAL**

**BERRY TOWN**

**SITE PLAN**

TIERRA WEST DEVELOPMENT MANAGEMENT SERVICES

4421 McLEOD ROAD N.E., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592

RINALDO R. BIHANNAN P.E. #7868

DRAWN BY JDN

DATE 01-17-96

9611SP.DWG

SHEET # 1

JOB # 960011

TOTAL BUILDING FOOTPRINT AREAS

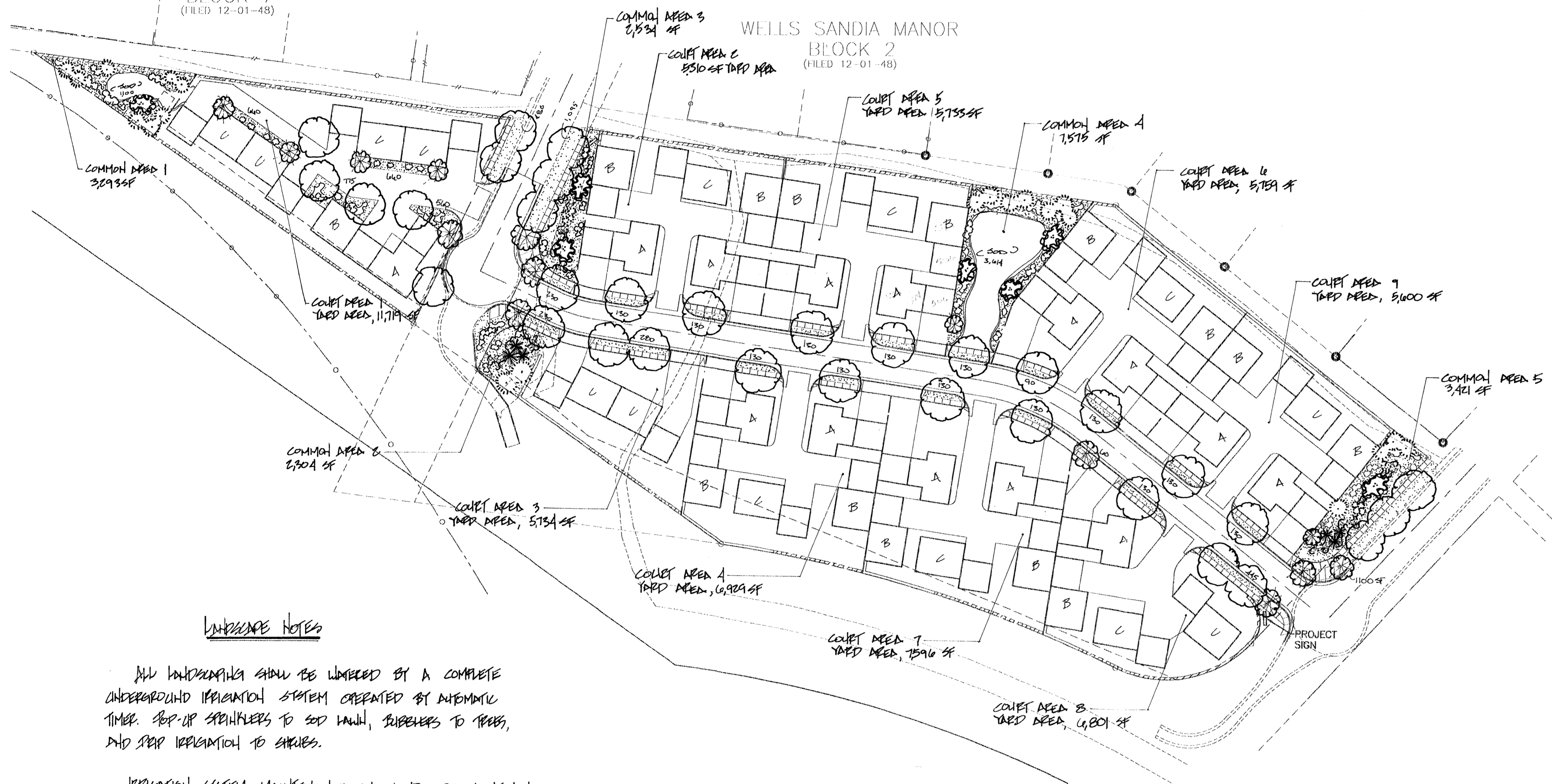
"A" UNITS 14 x 1,710 SF = 24,024 SF  
 "B" UNITS 14 x 1,346 SF = 18,844 SF  
 "C" UNITS 14 x 1,491 SF = 20,874 SF  
 TOTAL BUILDING FOOTPRINT 63,742 SF

TOTAL OPEN SPACE (PER SITE PLAN)

TOTAL PRIVATE YARD SPACE 60,151.79 SF  
 TOTAL PUBLIC OPEN SPACE 19,128.60 SF  
 79,280.39 SF

WELLS SANDIA MANOR  
 BLOCK 7  
 (FILED 12-01-48)

WELLS SANDIA MANOR  
 BLOCK 2  
 (FILED 12-01-48)



LANDSCAPE LEGEND

- (33) 2-2 1/2" CAL SHADE TREES  
 ASH-H, HAWKLOUST-H, LINDAL PLANE-H
- (12) 15 ANNUAL FRAGRANT ORNAMENTAL TREES  
 WESTERN REDWOOD-M, BROADLEAF PINE-H
- (19) 15 ANNUAL EVERGREEN TREES  
 AUSTRALIAN PINE-H, LIMBER PINE-M
- (7) 4-6' PINE PINE-M
- (6) 3-7' PALM TREES-L
- (27) SCOTIUM-L
- (78) 5 ANNUAL SHRUBS  
 FROSTBITE-M, BATHOPEPS-M, CHAMISA-L,  
 RUSSIAN SAGE-M, BLUEMIST SPIRDEA-M,  
 DUTCH SAGE-M, BETHIUM-M
- (63) 5 ANNUAL GROUNDCOVERS  
 BUFFALO WHIPPEE, OR TAM WHIPPEE
- 3/4" CRUSHED SIFT GRAVEL / FILTER FABRIC
- SOD LAWN
- STEEL BRACING

LANDSCAPE NOTES

All landscaping shall be watered by a complete UNDERGROUND IRRIGATION SYSTEM OPERATED BY AUTOMATIC TIMER. POP-UP SPRINKLERS TO SOD LAWN, SUBURBS TO TREES, AND STEEP IRRIGATION TO SHRUBS.

IRRIGATION SYSTEM MAINTENANCE AND LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION.

IT IS THE INTENT OF THIS LANDSCAPE PLAN TO COMPLY WITH THE CITY OF MESAQUERQUE, WATER CONSERVATION LANDSCAPE ORDINANCE, PLANT RESTRICTION APPROACH.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPE AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

LANDSCAPE CALCULATIONS

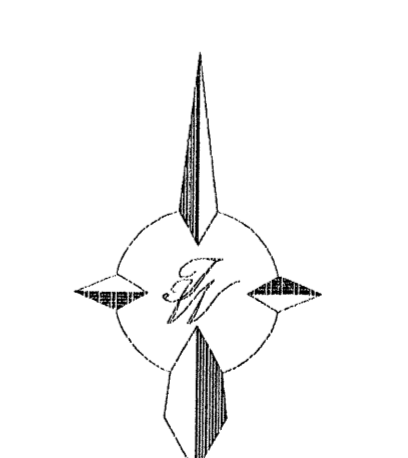
TOTAL SITE AREA 215,600 SF  
 TOTAL BUILDING AREA - 63,182 SF  
 TOTAL OFFSITE LANDSCAPING - 1,100 SF  
 NET LOT AREA 151,318 SF  
 LANDSCAPE REQUIREMENT .15  
 TOTAL LANDSCAPE REQUIRED 22,701 SF

TOTAL LANDSCAPE PROVIDED (SEE ABOVE)  
 TOTAL OPEN SPACE PROVIDED 79,280.39 SF  
 TOTAL LANDSCAPE SHOWN 21,586 SF  
 TOTAL SOD AREA SHOWN 4,714 SF

THE HILLTOP expressly reserves the common law copyright and other property rights in these plans. These plans are not to be reproduced, changed or copied in any manner whatsoever, nor are they to be assigned to any third party without obtaining the express written permission and consent of THE HILLTOP.



The Hilltop

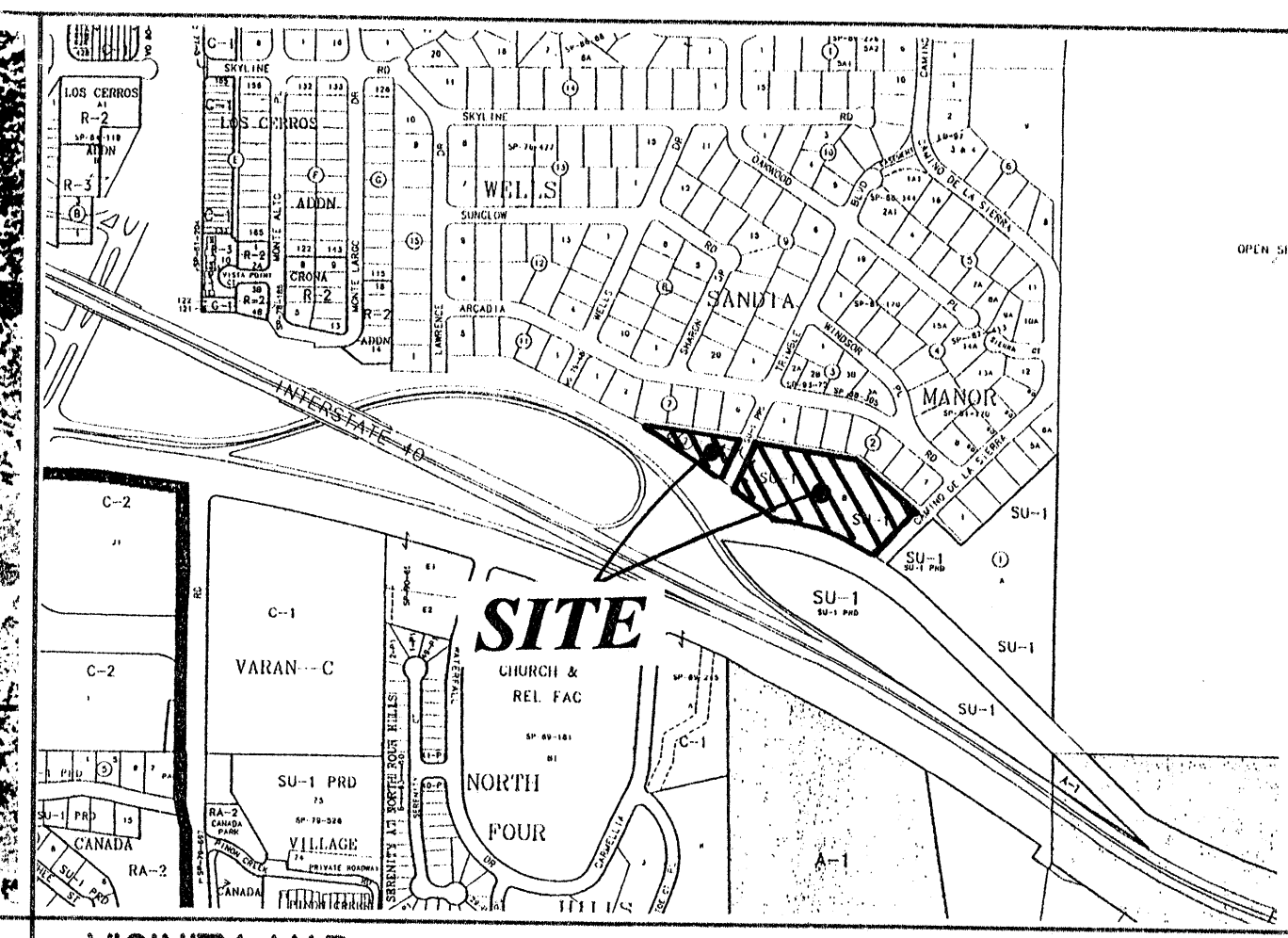
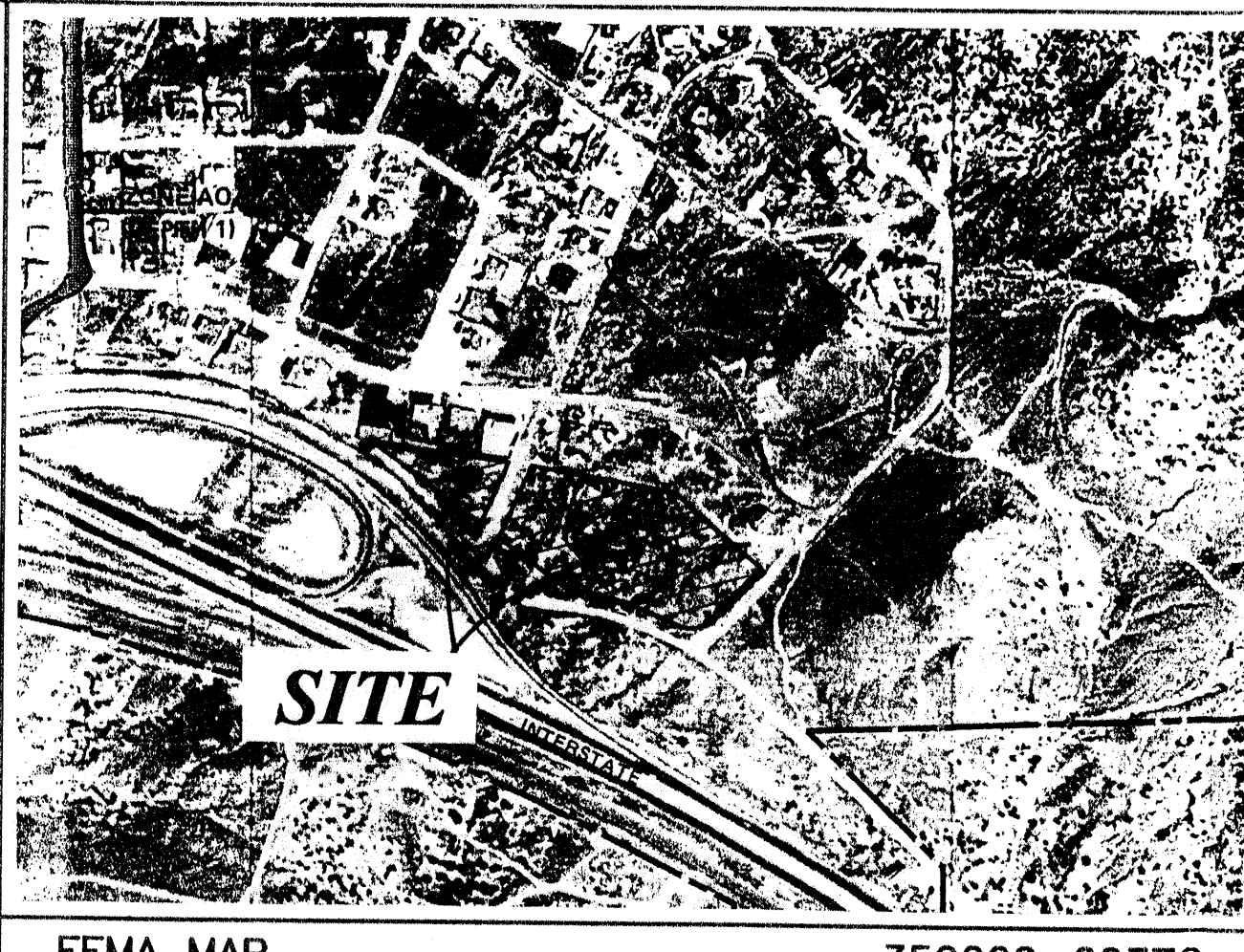


GRAPHIC SCALE  
 50 25 0 25 50  
 SCALE: 1"=50'

NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		DRAWN BY JDN	
<b>BERRY TOWN</b> <b>LANDSCAPE PLAN</b>		DATE 03-4-97	
		9611SP.DWG	
TERRA WEST DEVELOPMENT MANAGEMENT SERVICES 4421 MCLEOD ROAD NE, SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592		SHEET # 2	
		JOB # 960011	
RYAN D. R. BISHANAN P.E. #7868			

**EROSION CONTROL PLAN NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



FEMA MAP 350002-0037C

VICINITY MAP L-23-Z



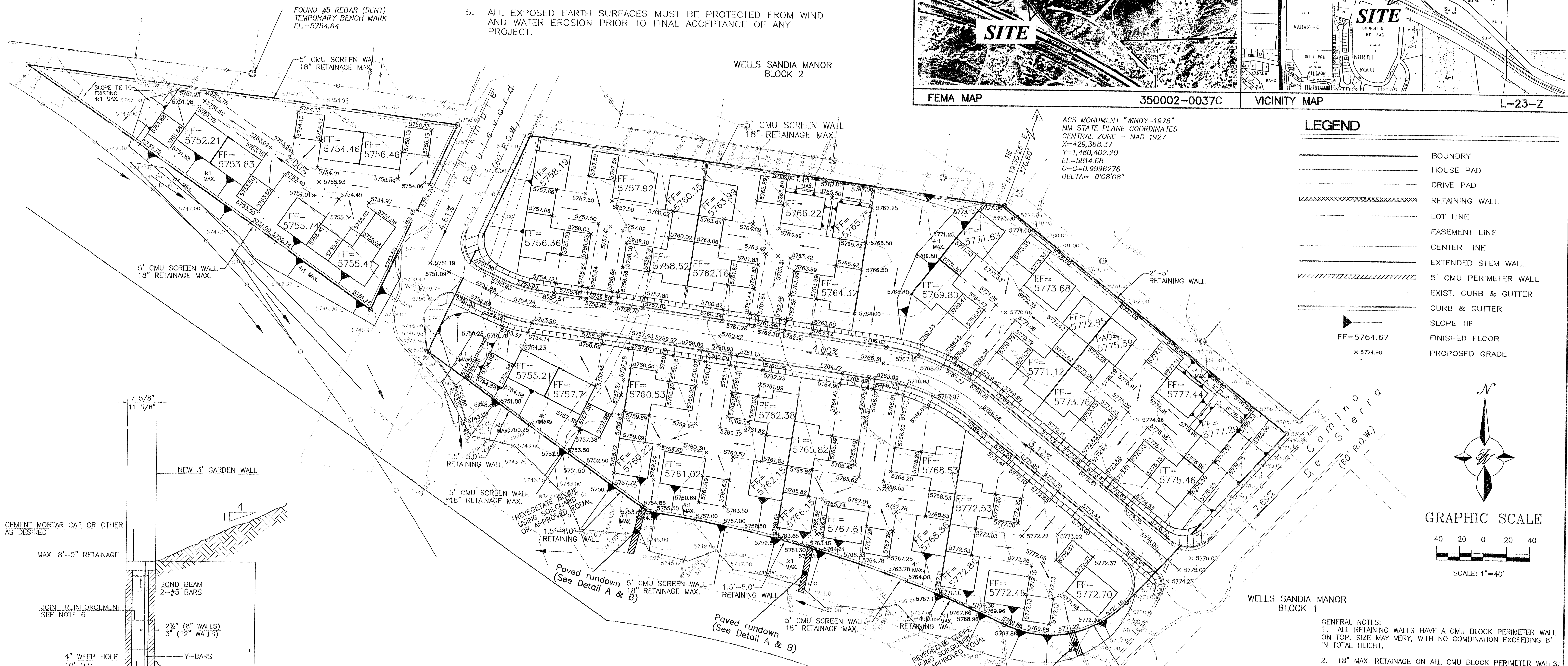
DETAIL A NTS



DETAIL B NTS (DRAINAGE OPENING @ THE WALL)

WELLS SANDIA MANOR BLOCK 7

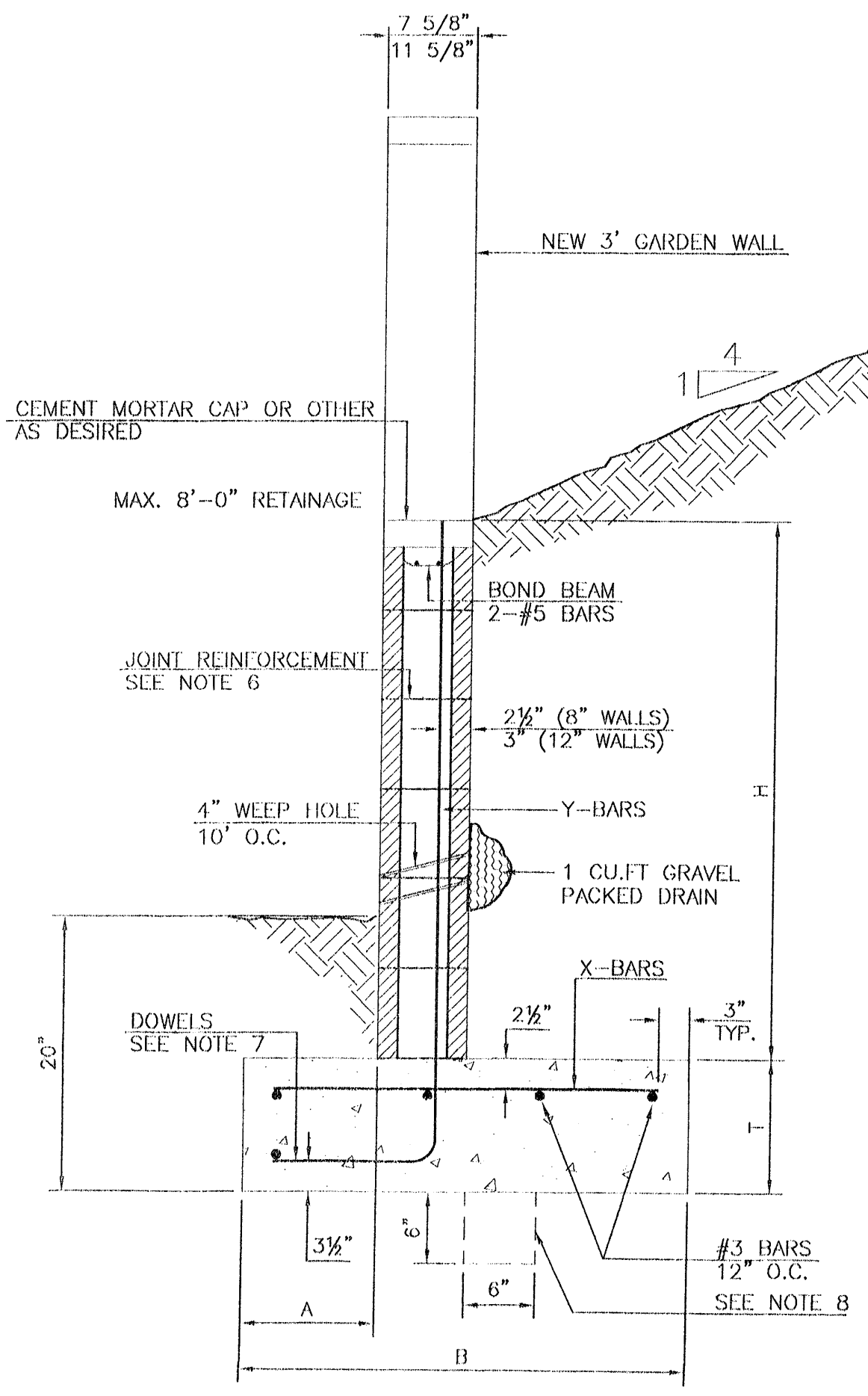
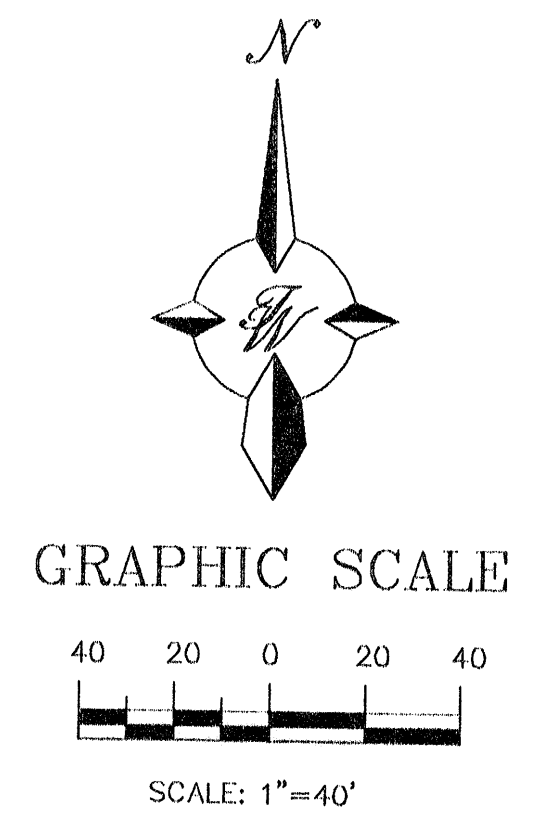
WELLS SANDIA MANOR BLOCK 2



ACS MONUMENT "WINDY-1978"  
NM STATE PLANE COORDINATES  
CENTRAL ZONE - NAD 1927  
X=429,368.37  
Y=1,480,402.20  
EL=5814.68  
G=0.9996276  
DELTA=-0'08"08"

**LEGEND**

- BOUNDARY
- HOUSE PAD
- DRIVE PAD
- RETAINING WALL
- LOT LINE
- EASEMENT LINE
- CENTER LINE
- EXTENDED STEM WALL
- 5' CMU PERIMETER WALL
- EXIST. CURB & GUTTER
- CURB & GUTTER
- SLOPE TIE
- FINISHED FLOOR
- PROPOSED GRADE



**RETAINING WALL DETAIL**

NOT TO SCALE

**8 INCH REINFORCED CONCRETE MASONRY WALL**

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
3'-4"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
4'-0"	10"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#3 @27" O.C.
5'-4"	14"	3'-8"	10"	#4 @16" O.C.	#4 @30" O.C.
6'-0"	16"	4'-2"	12"	#6 @24" O.C.	#4 @25" O.C.

**12 INCH REINFORCED CONCRETE MASONRY WALL**

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#4 @24" O.C.	#3 @25" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @30" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#4 @22" O.C.
7'-4"	18"	4'-10"	12"	#5 @16" O.C.	#5 @26" O.C.
8'-0"	20"	5'-4"	12"	#7 @24" O.C.	#5 @21" O.C.

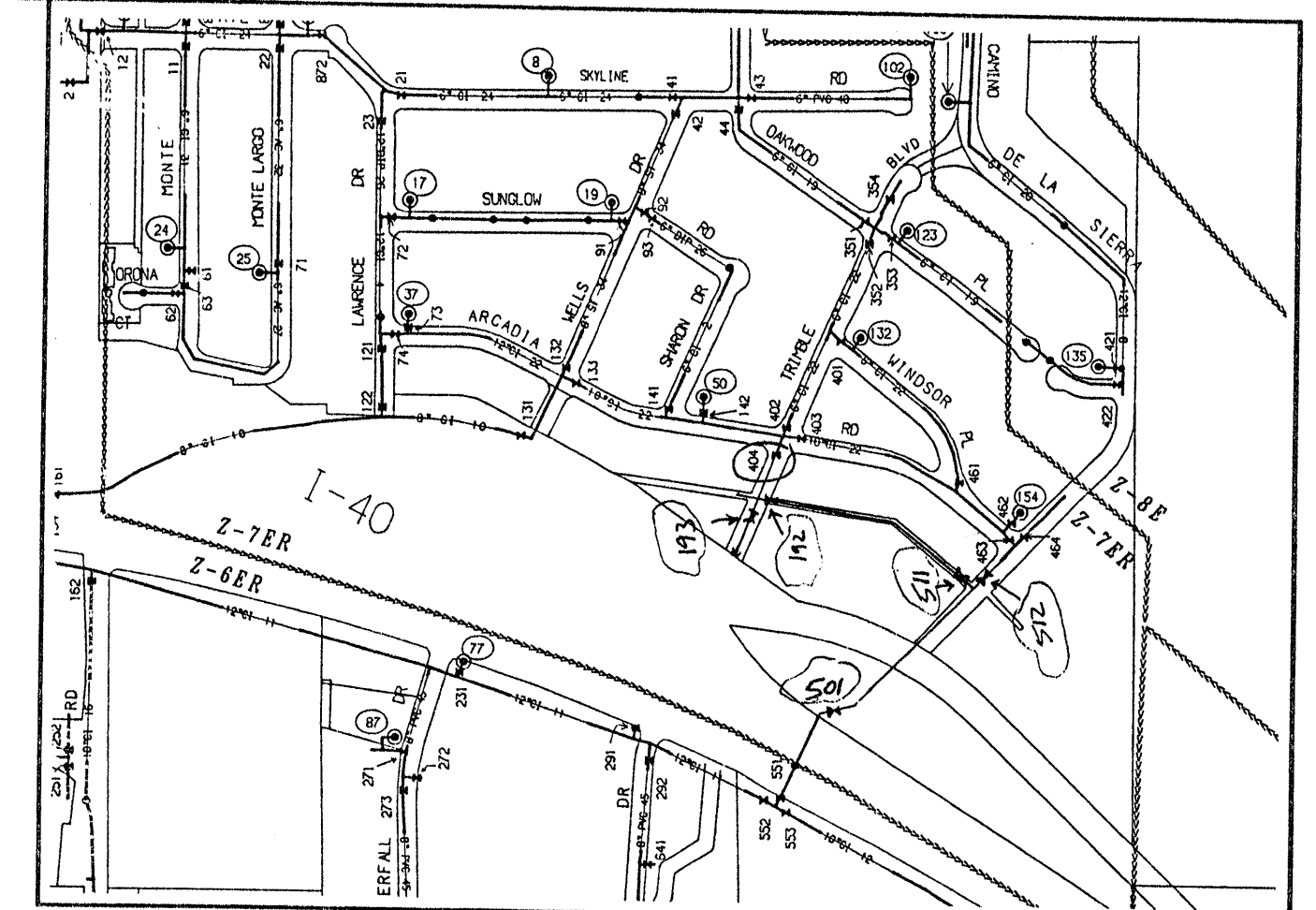
- GENERAL NOTES:**
1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
  2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
  3. BACKFILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
  4. ALL BARS ARE TO BE GRADE 60, ASTM G15.
  5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
  6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOP OF THE FOOTING.
  7. JOINT REINFORCEMENT CONSISTING OF 9GA. LONGITUDINAL WIRE AND 3/16" CROSS RODS SHALL BE PROVIDED AT 8" CENTERS VERTICALLY.
  8. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
  9. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.

**LEGAL DESCRIPTION:**

TRACT B, BLOCK 2 & TRACT C BLOCK 7 OF WELL SANDIA MANOR

NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		DRAWN BY JDN	
		DATE 01-22-97	
		9611GR1.DWG	
<p><b>BERRY TOWN</b></p> <p><b>GRADING AND DRAINAGE PLAN</b></p> <p>TIERRA WEST DEVELOPMENT MANAGEMENT SERVICES</p> <p>4421 McLEID ROAD N.E., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592</p>		SHEET #	
		JOB # 960011	

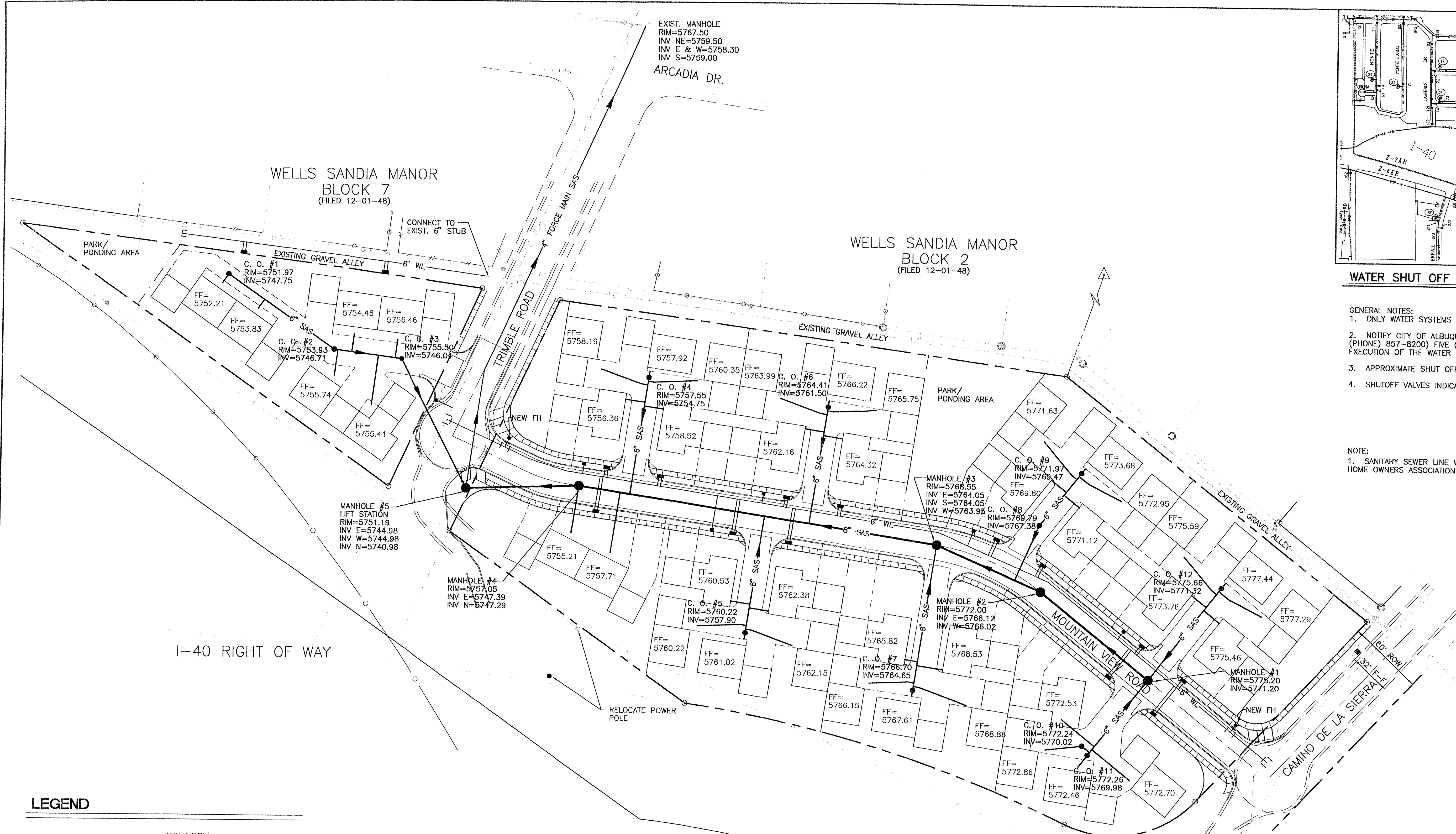
ROUGH GRADING APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_



**WATER SHUT OFF PLAN** SHUT OFF VALVES #192, #193, #404, #501, #511, AND 512.

- GENERAL NOTES:
1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES
  2. NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE) 857-8200 FIVE (5) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
  3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS
  4. SHUTOFF VALVES INDICATED IN THE ABOVE PLAN

NOTE:  
1. SANITARY SEWER LINE WILL BE PRIVATE AND WILL BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.

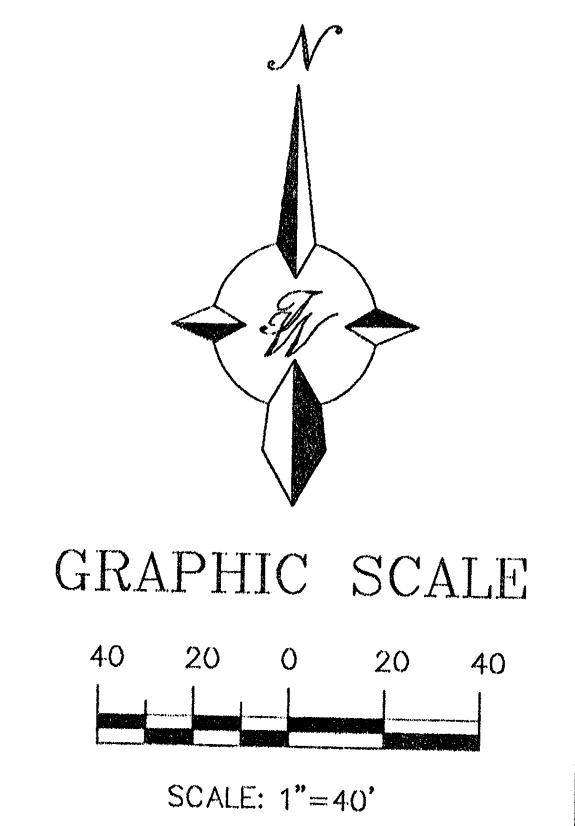


I-40 RIGHT OF WAY

**LEGEND**

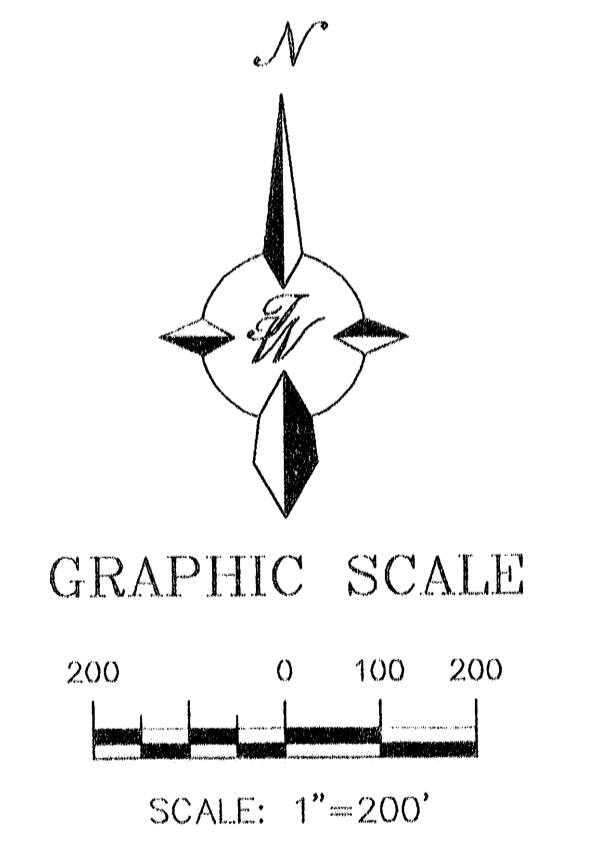
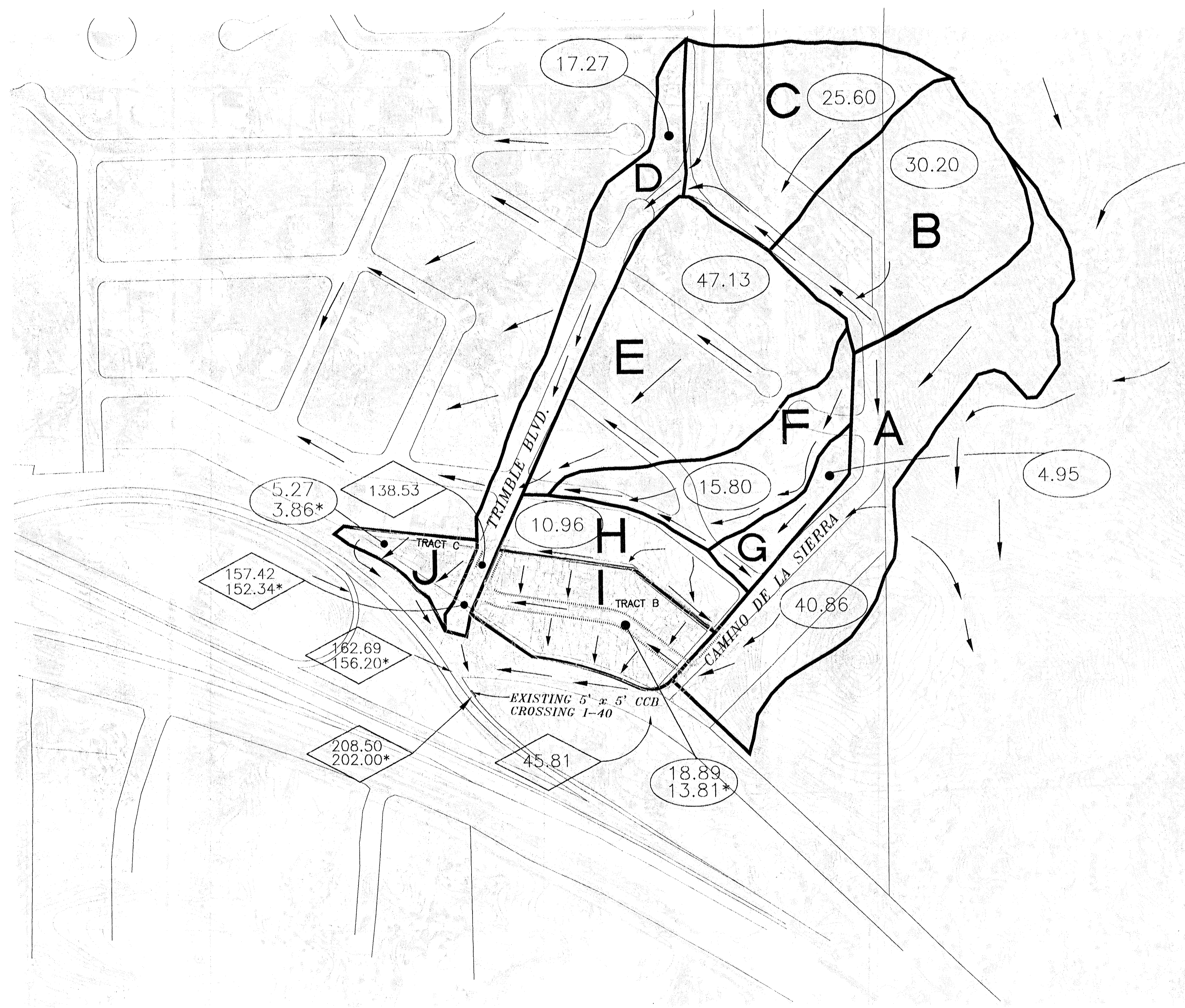
- BOUNDARY
- HOUSE PAD
- DRIVE PAD
- EXIST. SEWER LINE
- EXIST. WATER LINE
- PROPOSED SEWER LINE
- PROPOSED WATER LINE
- LOT LINE
- EASEMENT LINE
- CENTER LINE
- 5' CMU PERIMETER WALL
- EXIST. CURB & GUTTER
- CURB & GUTTER
- EXIST. MAN HOLE
- EXIST. GATE VALVE
- PROPOSED MAN HOLE
- STOP SIGN

**WELLS SANDIA MANOR BLOCK 1**  
(FILED 12-01-48)



NEL	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		<b>BERRY TOWN</b>	DRAWN BY JDN
		<b>MASTER UTILITY PLAN</b>	
		TIERRA WEST DEVELOPMENT MANAGEMENT SERVICES 4421 McLEDD ROAD NE., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592	
		DATE	9611MU.DWG
		DATE	01-28-97
		SHEET #	5
		JOB #	960011
R. BOHANNAN P.E. #7868			

<b>A</b>	BASIN
40.86	DEVELOPED FLOW FOR THE BASIN
45.81	TOTAL FLOW AT THAT POINT
*	UNDER EXISTING CONDITIONS



ENGINEER'S SEAL  R. D. BIHANNAN P.E. #7868	<b>BERRY TOWN</b>	DRAWN BY SBB DATE 1-27-97
	<b>OVERALL BASIN LAYOUT</b>	OVALBASN.DWG SHEET #
TIERRA WEST DEVELOPMENT MANAGEMENT SERVICES 4421 McLEOD ROAD N.E., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)983-7592		JOB # 960011

**OPEN SPACE CALCULATIONS**

UNIT NO.	OPEN SPACE PER UNIT	UNIT NO.	OPEN SPACE PER UNIT	UNIT NO.	OPEN SPACE PER UNIT	UNIT NO.	OPEN SPACE PER UNIT	UNIT NO.	OPEN SPACE PER UNIT
1	1,649.83 SF	10	1,143.07 SF	19	1,858.34 SF	28	1,197.59 SF	37	1,177.58 SF
2	1,780.00 SF	11	1,867.12 SF	20	781.47 SF	29	1,018.97 SF	38	1,166.56 SF
3	1,535.35 SF	12	1,524.18 SF	21	2,136.17 SF	30	1,173.22 SF	39	969.44 SF
4	2,017.71 SF	13	1,184.21 SF	22	1,958.90 SF	31	931.59 SF	40	1,075.59 SF
5	2,716.27 SF	14	2,076.65 SF	23	1,182.77 SF	32	1,410.70 SF	41	789.40 SF
6	1,749.07 SF	15	792.39 SF	24	1,024.31 SF	33	1,185.51 SF	42	1,265.07 SF
7	2,228.03 SF	16	1,373.09 SF	25	1,168.67 SF	34	1,059.37 SF		
8	1,749.07 SF	17	1,427.79 SF	26	1,015.89 SF	35	1,176.37 SF		
9	2,228.03 SF	18	1,862.47 SF	27	1,159.40 SF	36	990.28 SF		
<b>GRAND TOTAL</b>									<b>60,945.49 SF</b>

OPEN SPACE AREA REQUIRED 42 UNITS X 750 SF = 31,500  
 OPEN SPACE AREA PROVIDED 60,945.49 SF + 19,128.60 SF = 80,074.09 SF

COMMON AREA	YARD AREA PROVIDED
1	3,293.44 SF
2	2,304.42 SF
3	2,534.25 SF
4	7,575.23 SF
5	3,421.26 SF
<b>TOTAL</b>	<b>19,128.60 SF</b>

**PROJECT DATA**

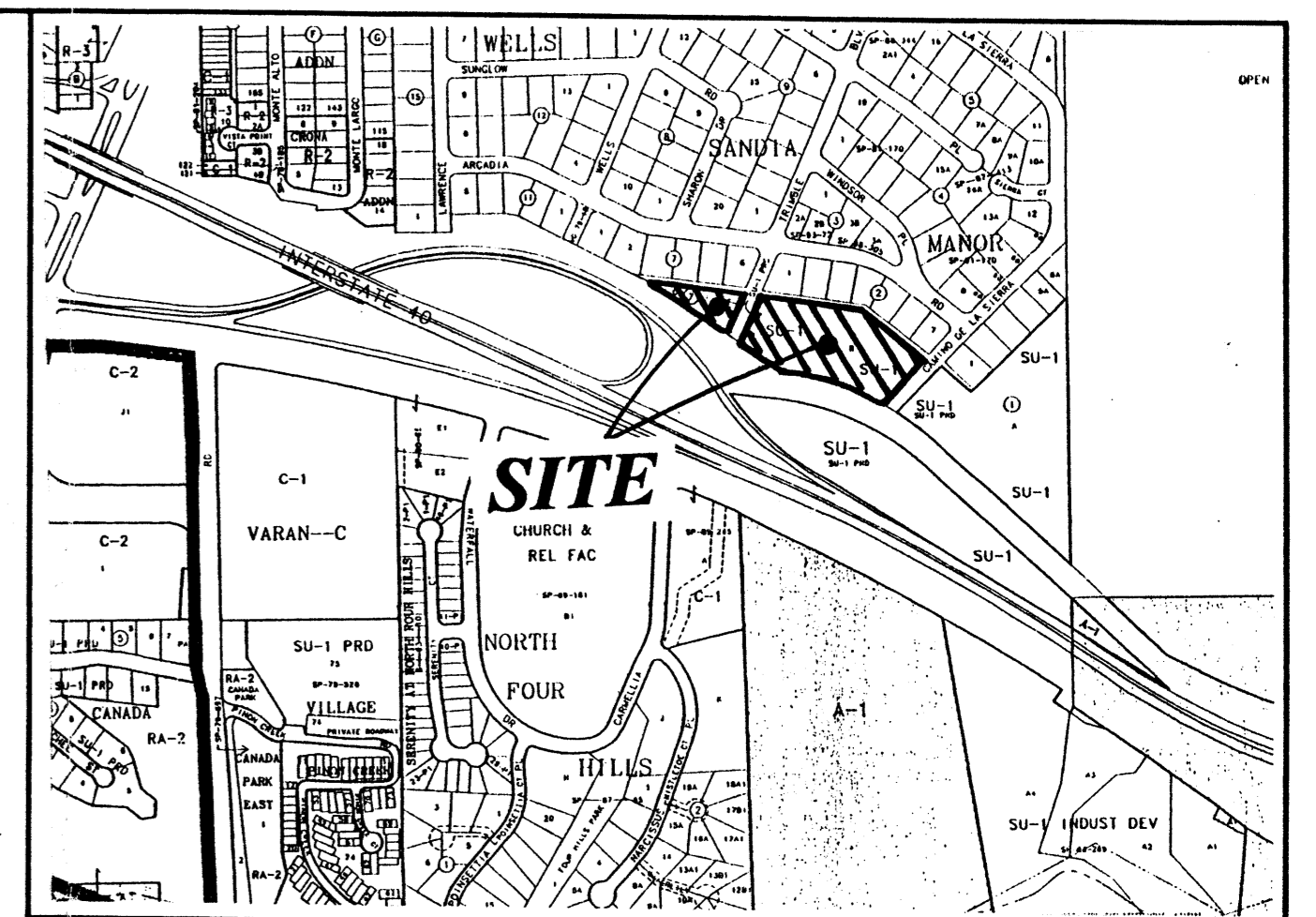
TOTAL NUMBER OF LOTS: 42  
 TOTAL ACERAGE: 4.95  
 ZONING: SU-1 PRD  
 DENSITY: 8.48 LOTS PER ACRE  
 LEGAL DISCRIPTION: TRACT "B" BLOCK 2 & TRACT "C" BLOCK 7 OF WELLS SANDIA MANOR  
 BUILDING TYPE: A 14-2 BR./2 BA.  
 B 14-3 BR./2.5 BA.  
 C 14-3 BR./2.5 BA.  
 PARKING REQUIREMENTS: 28 @ 4 = 112  
 14 @ 3 = 42  
 TOTAL = 154  
 PARKING PROVIDED: 42 X 4 = 168  
 TWO IN GARAGE  
 TWO IN DRIVEWAY

**LEGEND**

- BOUNDARY
- HOUSE PAD
- DRIVE PAD
- EXIST. SEWER LINE
- EXIST. WATER LINE
- PROPOSED SEWER LINE
- PROPOSED WATER LINE
- LOT LINE
- EASEMENT LINE
- CENTER LINE
- 5' CMU PERIMETER WALL
- EXIST. CURB & GUTTER
- CURB & GUTTER
- EXIST. MAN HOLE
- EXIST. GATE VALVE
- PROPOSED MAN HOLE
- STOP SIGN

**LANDSCAPING CALCULATIONS**

TOTAL SITE AREA 215,622 SF  
 TOTAL BUILDING AREA 63,182 SF  
 TOTAL OFFSITE LANDSCAPING 1,100 SF  
 NET LOT AREA 151,340 SF  
 LANDSCAPING REQUIRED 0.15  
 TOTAL LANDSCAPING REQUIRED 22,701 SF  
 TOTAL OPEN SPACE PROVIDED 79,886.39 SF  
 TOTAL LANDSCAPE SHOWN 27,586 SF  
 TOTAL SOD AREA SHOWN 4,714 SF



VICINITY MAP

L-23-Z

**INDEX TO DRAWINGS**

- SITE PLAN
- LANDSCAPE PLAN
- BUILDING ELEVATIONS
- BUILDING ELEVATIONS
- GRADING AND DRAINAGE PLAN
- MASTER UTILITY PLAN

*New Original*  
*Submittal*

**GENERAL NOTES**

- THE PURPOSE OF THE DEVELOPMENT IS FOR SINGLE FAMILY TOWNHOUSES.
- LIGHTING SHALL BE LOCATED AT THE INTERSECTIONS WITH ALL OTHER LIGHTING BEING BUILDING MOUNTED AS NEEDED.
- THIS PROJECT WILL REQUIRE CURB SIDE PICKUP FOR REFUSE.
- BUILDING HEIGHT: STRUCTURES SHALL NOT EXCEED 26 FEET IN HEIGHT.
- WATER AND SEWER: PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SERVICE TO THE SITE MUST BE VERIFIED AND COORDINATED WITH THE WATER RESOURCES DEPT. CITY OF ALBUQUERQUE, VIA AN AVAILABILITY STATEMENT.
- CURBS AND GUTTERS: MOUNTABLE CURB AND GUTTER WILL BE USED THROUGHOUT EXCEPT FOR THOSE AREAS WHERE STANDARD CURB AND GUTTER IS NECESSARY FOR DRAINAGE.
- BUILDINGS: BUILDINGS WILL BE TRADITIONAL OR SOUTHWEST STYLE WITH EITHER FLAT OR TILED PITCHED ROOFS. BUILDINGS WILL BE EITHER STUCCO, BRICK, SIDING, OR COMBINATION OF BOTH. COLORS WILL BE EARTHTONE WITH ACCENTS.

*Refuse Approval*  
 Refuse Approval \_\_\_\_\_ 4/11/97  
 Date

**CASE NUMBER: Z-**

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on \_\_\_\_\_ and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

**SITE DEVELOPMENT PLAN**

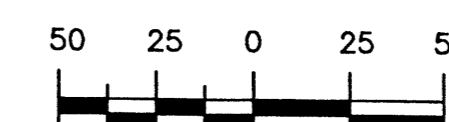
Traffic Engineer, Transportation Division	_____	Date
Design and Development, CIP	_____	Date
Public Works, Water Utilities Division	_____	Date
City Engineer, Engineering Division / AMAFCA	_____	Date
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.		
City Planner, Albuquerque / Bernalillo County Planning Division	_____	Date
PLNZ (10706) 4/96		

**LANDSCAPING NOTES**

- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE HOME OWNERS ASSOC.



**GRAPHIC SCALE**



SCALE: 1"=50'

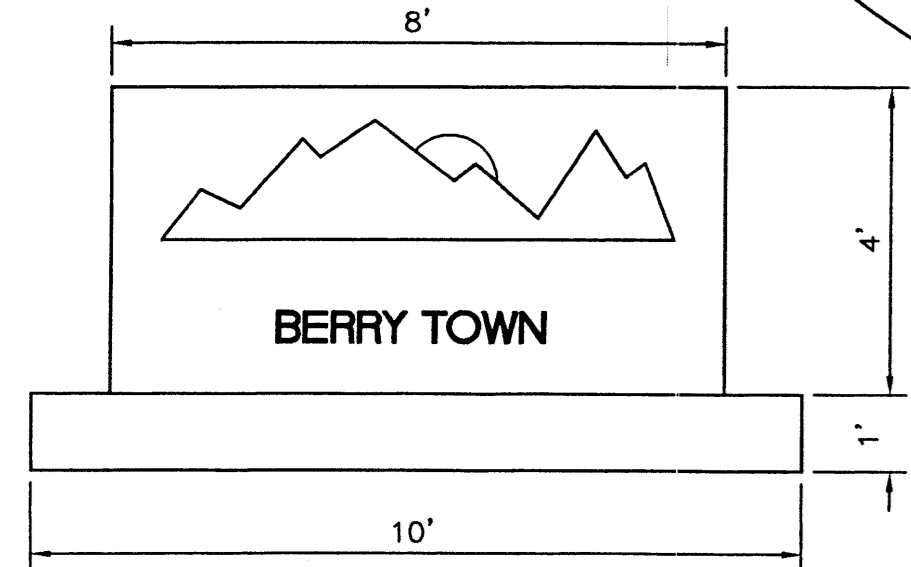
960011/9611SP.DWG/JD1/04-08-97/50

WELLS SANDIA MANOR  
 BLOCK 7  
 (FILED 12-01-48)

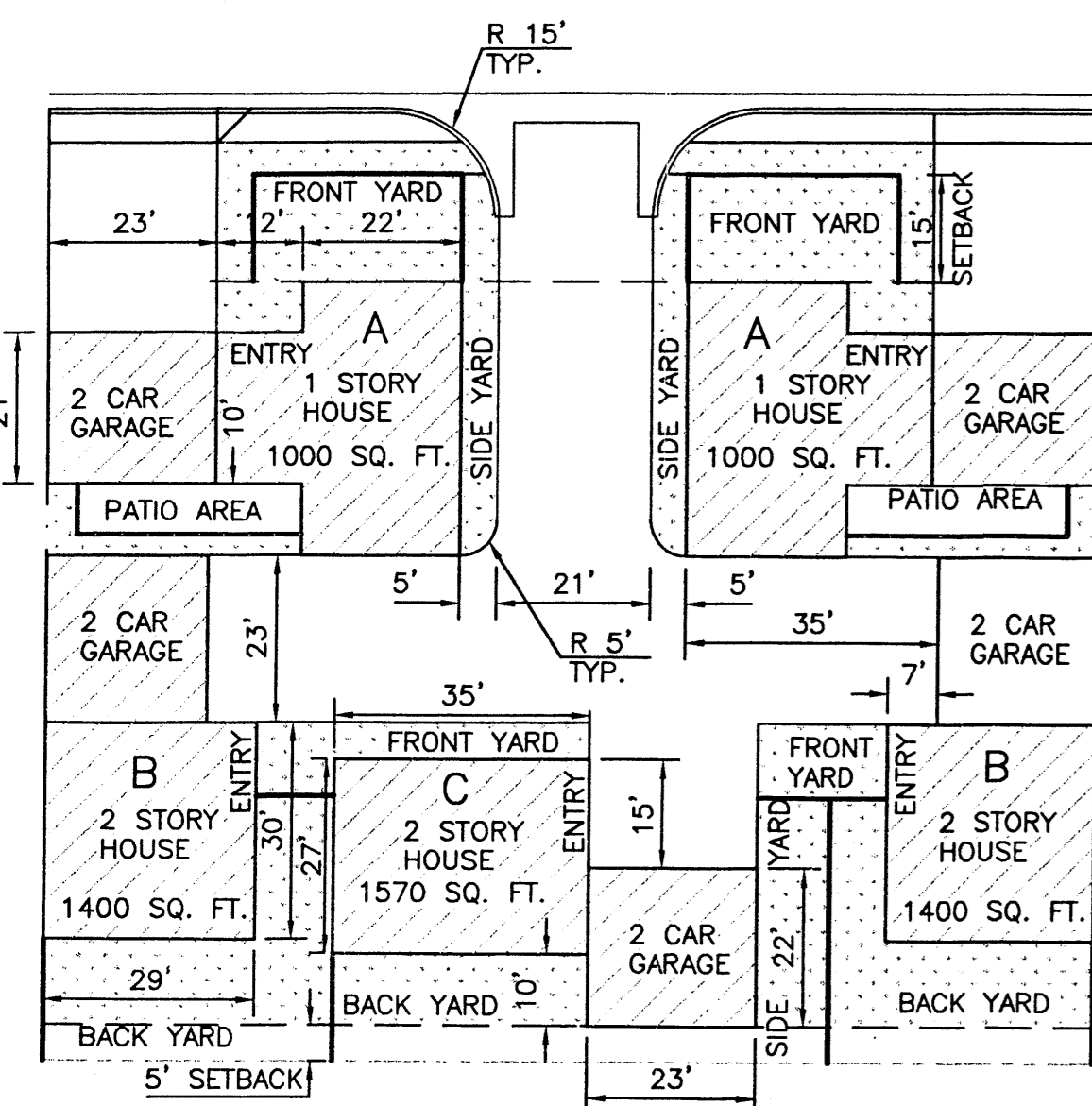
WELLS SANDIA MANOR  
 BLOCK 2  
 (FILED 12-01-48)

WELLS SANDIA MANOR  
 BLOCK 1  
 (FILED 12-01-48)

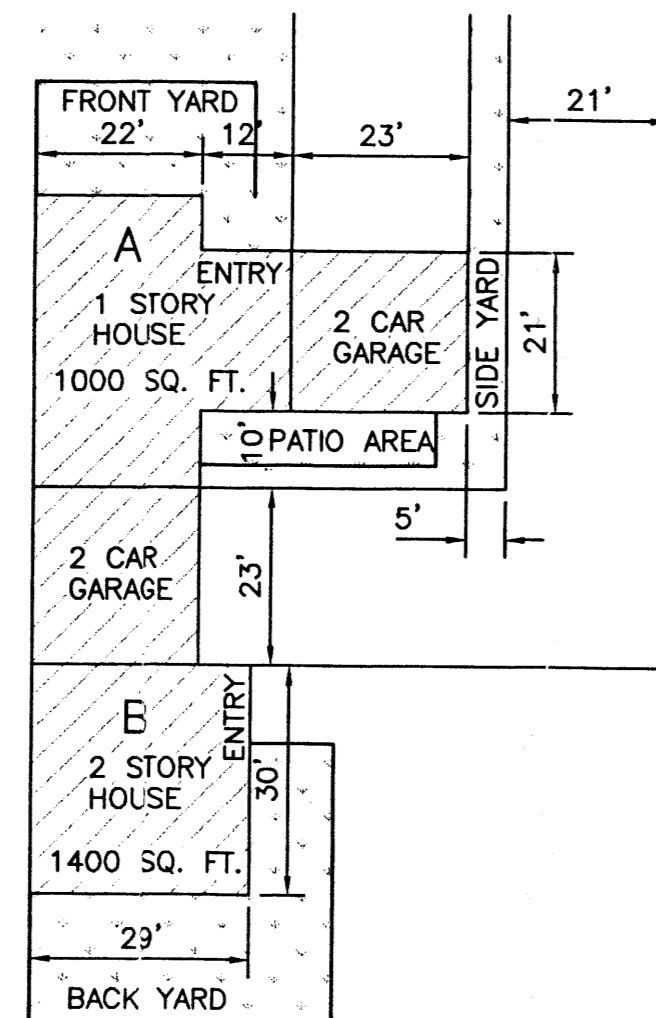
SIGN: CORAL COLOR TO MATCH BUILDING COLORS AND WILL BE FRAMED STUCCO WITH GROUND ILLUMINATION.



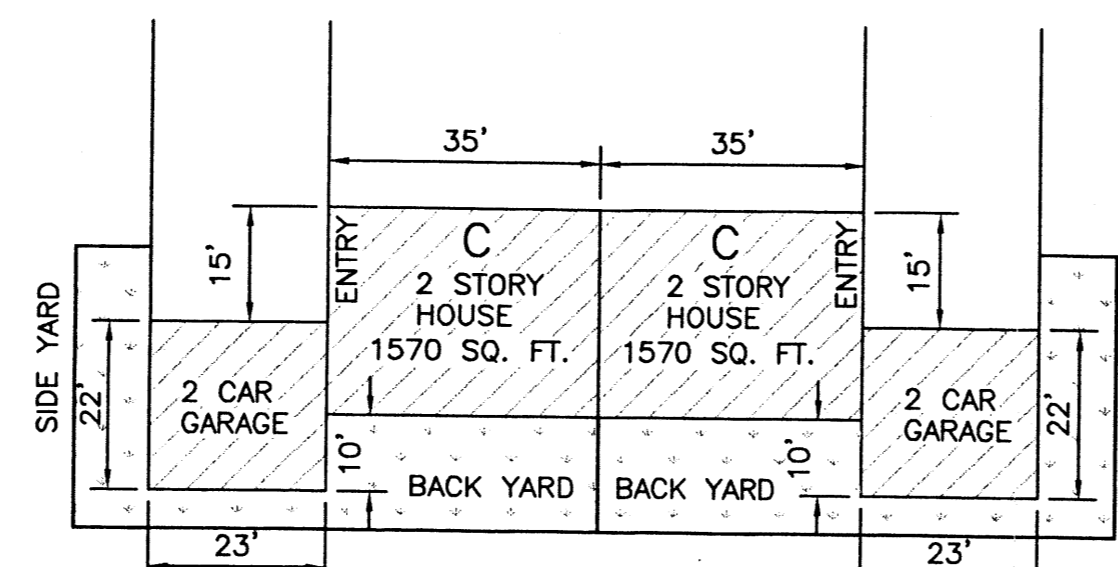
PROJECT SIGN NTS



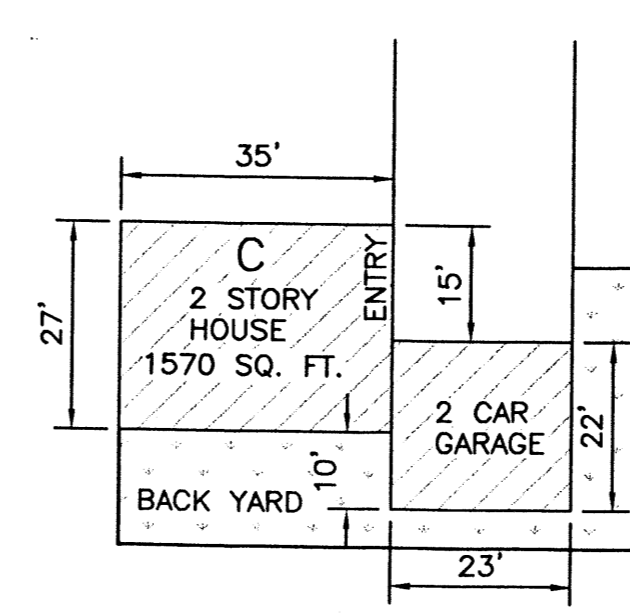
TYPICAL CLUSTER LAYOUT NTS



TYPICAL 'A/B' DOUBLE UNIT LAYOUT NTS



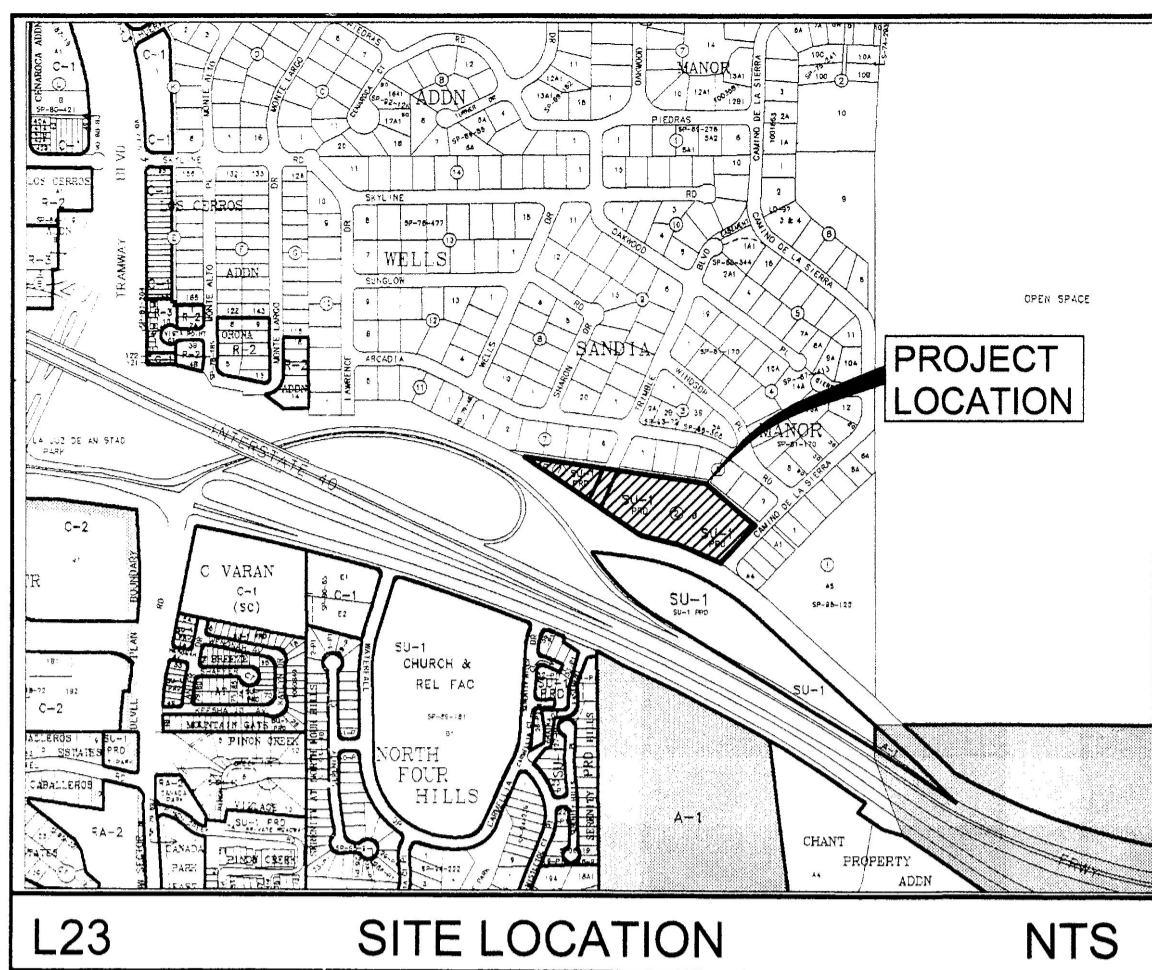
TYPICAL 'C' DOUBLE UNIT LAYOUT NTS



TYPICAL SINGLE UNIT LAYOUT NTS

NO.	DATE	REMARKS	BY
<b>REVISIONS</b>			
<b>BERRY TOWN</b>			
<b>SITE PLAN</b>			
TIERRA WEST DEVELOPMENT MANAGEMENT SERVICES			
4421 McLEDD ROAD N.E., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592			
ENGINEER'S SEAL		DRAWN BY JDN	
		DATE	
		01-17-96	
DONALD R. BOHANNAN P.E. #7869		SHEET #	
		<b>1</b>	
DONALD R. BOHANNAN P.E. #7869		JOB #	
		960011	





**Site Data**

**Size:** 4.9 acres

**Zoning:** SU-1 PRD, 10du/acre

**Maximum Number of Dwelling Units:** 27

**Maximum Lot Size:** 11,500 square feet  
**Minimum Lot Size:** 5,000 square feet

**Minimum Dwelling Size:** 1,800 square feet

**Maximum Building Height (Single Story):** ~~19~~<sup>17</sup> feet  
**Minimum Building Height (Two Story):** 26 feet

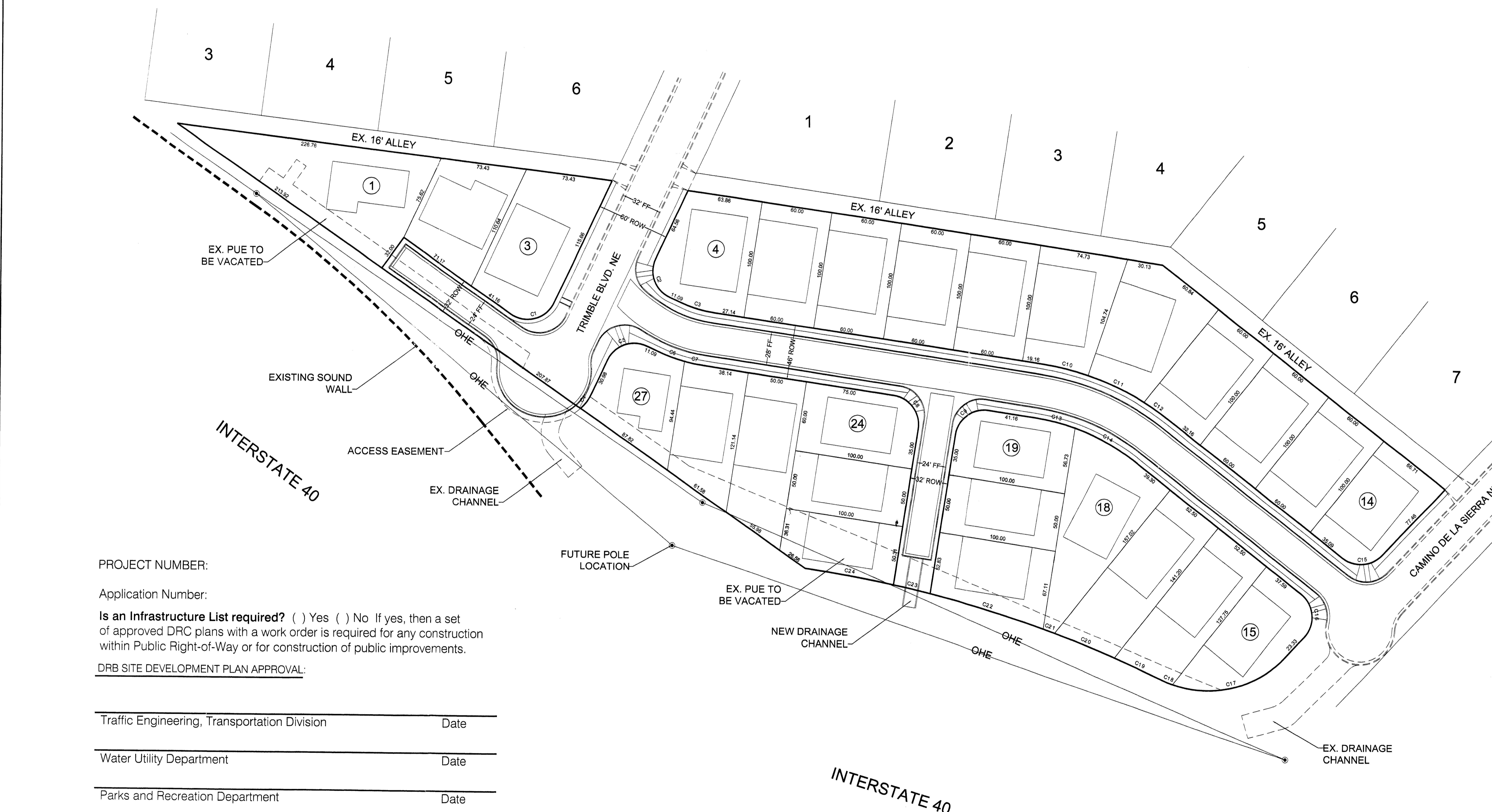
**Minimum Building Set Back:**

- Front Yard = 15 feet, garages shall be set back 20 feet to provide for a minimum of 2 off-street parking spaces.
- Side Yard (Conventional) = 5 feet
- Side Yard (Zero Lot Line/Patio Homes) = On property line (zero feet) on one side and 10 feet on opposite side.
- Rear Yard = 15 feet

**Pedestrian and Vehicular Ingress and Egress:** Vehicular access to South Pointe is from Camino de la Sierra NE and Trimble Boulevard NE. Pedestrian access is from existing sidewalks along Camino de la Sierra NE and Trimble Boulevard NE, which will connect to sidewalks within the subdivision.

**Notes**

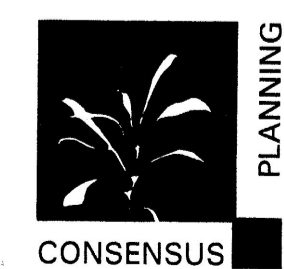
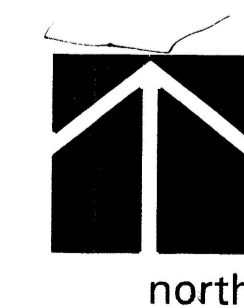
1. Residential development in South Point shall be subject to the requirements of the Sandia Foothills Area Plan.
2. Lots bordering existing homes along the northern property line of the subdivision shall be restricted to single story only with a maximum height of 19 feet (Lots 1-14).



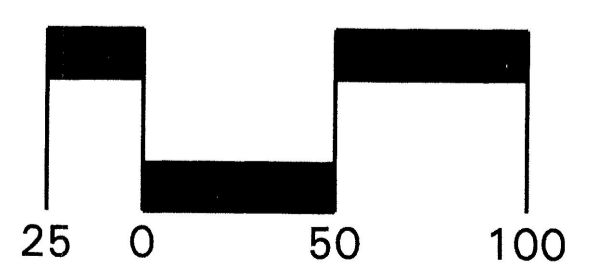
**SOUTH POINTE**  
 SITE DEVELOPMENT PLAN FOR SUBDIVISION

Prepared for:  
 Jude Baca  
 3913 72nd St. NW  
 Albuquerque, NM 87120

Prepared by:  
 Consensus Planning, Inc.  
 924 Park Avenue SW  
 Albuquerque, NM 87102



Scale 1" = 50'



PROJECT NUMBER:

Application Number:

**Is an Infrastructure List required?** ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department-(conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

**BRASHER & LORENZ**  
 CONSULTING ENGINEERS  
 2201 San Pedro NE Building 1 Suite 1200  
 Albuquerque, New Mexico 87110  
 Ph: 505-888-6088 Fax: 505-888-6188

## DESIGN GUIDELINES FOR SOUTH POINTE

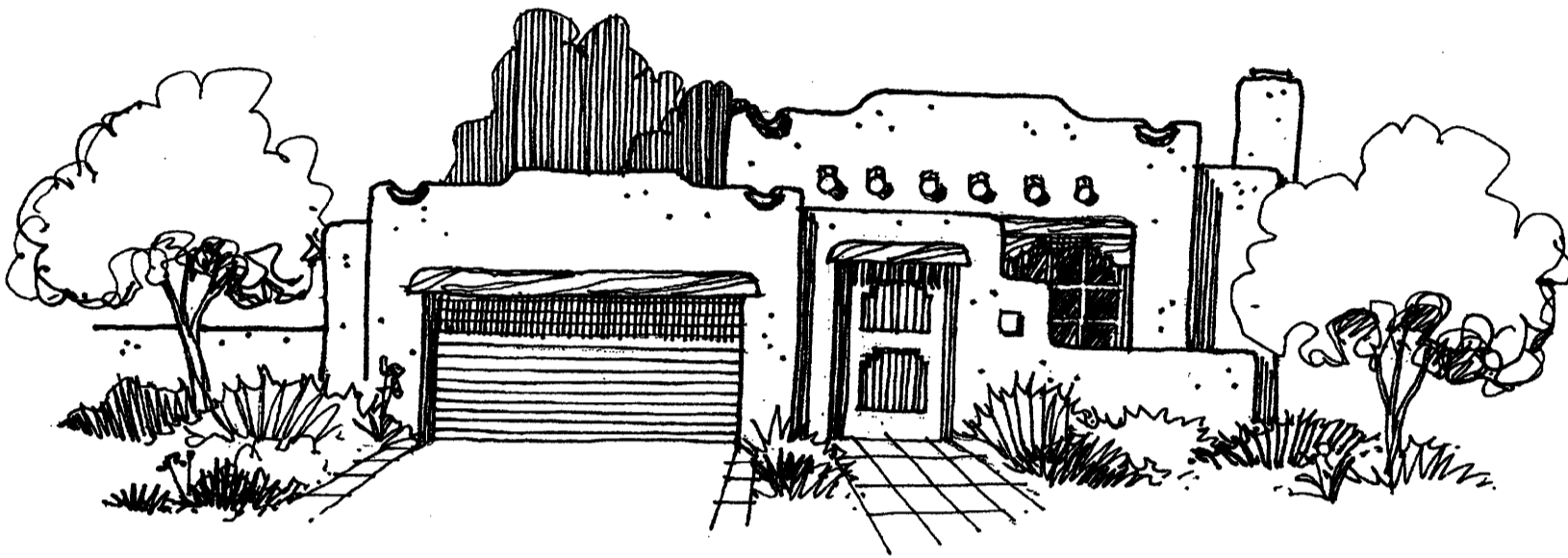
The following are guidelines for homes built in the South Pointe subdivision. The subdivision will consist of no more than 27 single-family detached residences. Builders will construct all homes within South Pointe in compliance with these Guidelines.

### A. Architectural Styles

All homes must be of a Southwestern Contemporary Style which blends building characteristics of the southwest. While these characteristics are typical, it is not the intent of these Guidelines to prohibit a certain amount of individual expression and creativity as long as the overall look of the house contains the characteristics of one or a blend of styles.

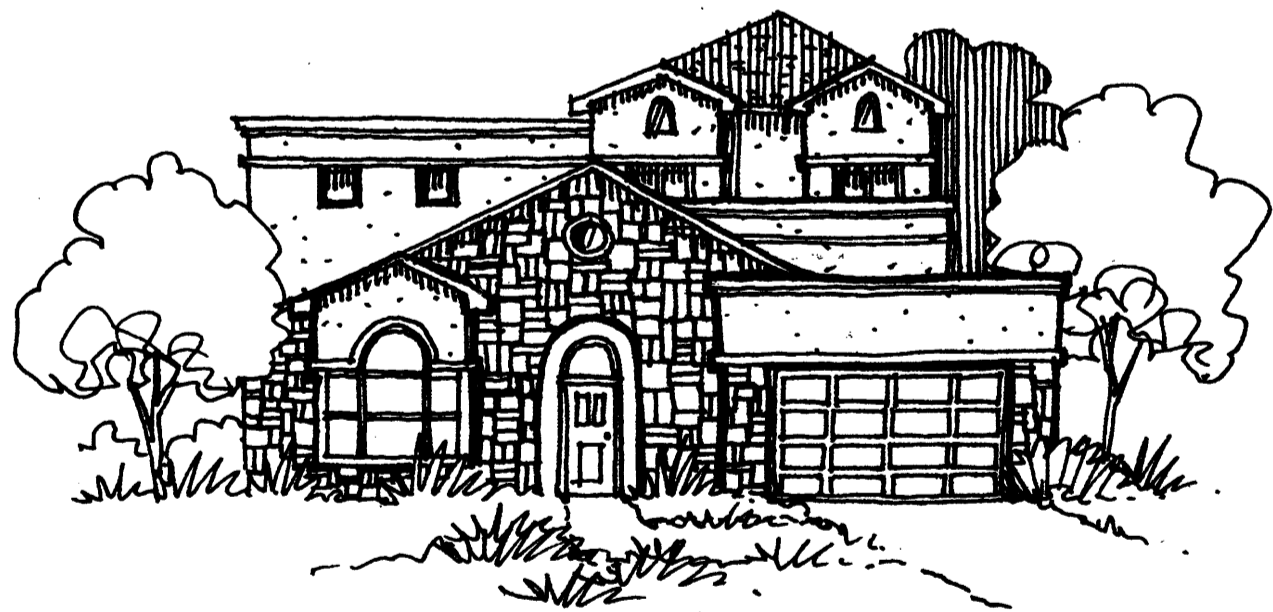
**Pueblo Style** - Pueblo style is walled architecture recalling the low adobe, flat roofed dwellings of the northern New Mexico Pueblo Indians. Characterized by the "Pueblo" buildings of historic Santa Fe, Pueblo style may incorporate recessed set doors and windows, and dramatically recessed portals or patios (at front facades). The Pueblo style traditionally uses flat roofs, interesting massing, and soft edged smooth stucco.

1. Entry portals are a hallmark of the Pueblo style.
2. Lintels over openings can be wood and exposed, but covered lintels are just as common.
3. Exterior wall finish is stucco from the approved color list.
4. Stone can be used in horizontal benches at the base of walls in the prescribed percentages in coursed ashlar pattern.
5. The clustered form allows courtyards to be easily integrated into the design by low walls and gates.
6. Parapets are also used to emphasize forms.



**Mediterranean Style** - Low-pitched gabled or hipped roofs (flat in some cases) characterize the Mediterranean style. Windows and doors may have arches above, windows tend toward full lengths, and entry porches are characteristically recessed. The façade is broken into multiple masses and the wall finishes of stucco, potentially with stone accent materials, and belt courses at walls and parapets.

1. There are pitched roof forms on main volumes, porches and colonnades or behind parapets in this style, maximum slope is 8" per foot to 12". Low sloped roofs can also be combined with flat roof elements.
2. Entry portal is not common in this style, however, arches above doors, principal windows, or beneath porch roofs are common.
3. Trim over and around openings can be tile or terra cotta moldings, but untrimmed openings are just as common.
4. A variation of building masses allows courtyards to be easily integrated into the design by low walls and gates extending rectilinear geometries.
5. Parapets are also used to emphasize forms.
6. Exterior wall finish is stucco, from the approved color list; or smooth stone finish, in the prescribed percentages, with square or slightly rounded corners.



**Zero Lot Line Patio Homes** - This style only differs from the above styles in that one wall running the length of the structure shall not contain any windows or protrusions and is built on the designated property line. The Patio Home style and guidelines for zero lot lines are defined by the City of Albuquerque Zoning Code and will be adhered to and incorporated into the house design. Typically the garage is positioned along the property line with the front entrance street facing or concealed along the side yard. This style is a modern concept emphasizing privacy to the side and rear yards with a flow of interior to exterior living.

1. Entry portals are common whether to the front or side of the structure.
2. This building style allows for formal courtyards at the front or side to be easily incorporated into the design by low walls and gates.
3. Surface easements from the adjoining property owner allow for maintenance and repair of zero lot common walls.
4. Glass block is allowed on the zero lot line of the structure provided they are at least 7 feet above the finished floor and are obscure to the extent nothing can be identified through them.

### B. Building Massing

For the architectural styles listed above, building massing is critical, especially for the street elevations. Building masses should be offset from the adjacent masses by an appropriate dimension to the size of the building. The front elevation must contain at least two building masses. A building mass is defined as a volume of space that usually appears as a rectilinear form consisting of a roof and at least three walls but two walls are appropriate in the southwestern contemporary designs mimicking the steps associated with the northern pueblo structures, porches shall be included in a two or three sided design and considered as mass.

### C. Roof Forms

These forms are appropriate:

1. Low sloped roofs, 1/4" per foot to 1" per foot, with parapets (all styles).
2. Gable and hip roofs, 8" per foot for Mediterranean Style.

These roof forms are not permitted:

1. Mansard.
2. Domed or arched.
3. Gambrel.

### D. Roof Materials

These roof materials are allowed:

1. Metal roofs, pre-shaped to give the appearance of tile or concrete, mission barrel, or S-Shaped.
2. Built-up roofing (non reflective)
3. Single-ply membrane (low sloped only, non reflective).
4. Clay or Concrete tile, mission barrel or S-Shaped.

These roofing materials are not allowed:

1. Asphalt shingles.
2. Wood shingles and shake shingles.
3. Metal roofs of standing seam or corrugated.

### E. Columns

The following are appropriate column forms:

1. Square stucco.
2. Round stucco.
3. Square wood.
4. Square wood, tapered.
5. Round peeled bark wood.
6. Round classical with smooth shafts in Doric or simple contemporary order.
7. Square stone.
8. Round stone.

The following shall not be allowed:

1. Corinthian.
2. Ionic.
3. Tuscan.
4. Egyptian.

### F. Garages

1. Each home must have a garage for not less than two cars and have a driveway sufficient to park two vehicles, so that a minimum of four off street parking spaces are provided.
2. Garage doors shall be offset from the surface of the front façade by a minimum of 4 inches.
3. A shadow box around the garage door is required and may extend up to 24 inches (24) into the front setback, provided the garage door remains at the approved 20 foot (20) setback.
4. The garage may never be converted into living space and the garage door removed.

### G. Windows

Windows are integral with all styles of homes.

1. Windows may be set deep into the walls to create a feeling of masonry construction and massiveness, 2 inch minimum.
2. Windows with colored sashes and heavy profiles are appropriate.
3. Unanodized aluminum frames may not be used.

### H. Setbacks

The use of short block lengths, and varied front facades have been utilized to prevent the garage doors from dominating the streetscape.

1. Front yard setback
  - a. No house shall be constructed within fifteen feet (15') from the front property line of any lot.
  - b. The garage shall be constructed to ensure that a twenty-foot (20') minimum parking area exists in front of the garage for a minimum of two cars.
2. Side yard setback
  - a. Single family houses shall be constructed within five feet (5) from the side property line of a lot.
  - b. Zero Lot Line Patio homes shall be constructed with one wall on the property line as indicated by the Plat and a ten foot (10) set back on the opposite side property line of a lot.
3. Rear yard setback- No house shall be constructed within fifteen feet (15) from the rear property line of a lot.

### I. Minimum Square Footage

Each home must have at least 1,800 square feet of fully enclosed heated area, exclusive of garages, open porches, and patios.

### J. Building Materials

1. Synthetic stucco shall be the primary material and shall account for a minimum of 80% of the exterior construction.
2. Stone may be used as an accent feature and shall not comprise more than 20% of the exterior construction.

### K. Pre-Approved Building Colors

1. Primary exterior stucco colors shall be muted earth tones and match or be similar to the following: Degussa Wall Systems, Inc., Senergy Synthetic Stucco color chart including, Clay, Ash Brown, Hickory, Hazelnut, Cardamon, Rawhide, Café au Lait, Aztec Gold, Champagne, Sage and Umber. Colors from other manufacturers need to match approved colors to be submitted.
2. Accent- A variety of colors may be used to accent architectural features such as entries, window trim, fascias, and other traditional southwestern architectural features. Colors allowed for accents besides the approved list may include white, tan, brown or other approved earth tone colors.
3. All roof penetrations shall be painted to match the predominant roof or stucco color.

### L. Building Height

Houses or improvements on any lot shall not exceed nineteen feet (19) for single story and the maximum height allowed for two-story homes is twenty-six feet (26) as defined by the City of Albuquerque Zoning Code.

1. The maximum area of the second story of a house shall be no more than seventy-five percent (75%) of the area of the first floor. The first floor area is calculated inclusive of the garage area and covered porch area. The second story area is calculated exclusive of roof decks and covered porches.
2. Lots bordering the existing homes along the northern property line of the subdivision shall be restricted to single story only (Lots 1-14).

### M. Site Lighting

1. If provided, site lighting shall not have a total off-site luminance greater than 1000 foot lamberts, however it shall not have an off-site luminance greater than 200 foot lamberts measured from the property line of any private property.
  2. The mounting height of luminaries, if provided, shall be no higher than 12 feet, except for second floor porches which shall be mounted no higher than seven feet (7) above the finished floor of the second story. All outdoor lighting shall be shielded and directed downward to prevent light pollution.
- If required, street lighting shall be limited to twenty four (24) feet in height and shall be a shielded source with no light source (lamp) visible from the site perimeter.

### N. Mechanical Equipment

Air conditioning/heating equipment may be installed on flat-roofed structures but must be screened from view (as viewed from the front property line). Equipment which is ground mounted shall be located within the side or rear yard and screened from the front and side.

### O. Fireplaces

Fireplaces and/or stoves within the residences shall be limited to natural gas logs, Environmental Protection Agency (EPA) approved wood burning and other EPA approved wood burning devices.

### P. Walls

All walls shall comply with the adopted City of Albuquerque Wall Design Guidelines.

#### Subdivision Walls

- a. Any perimeter wall shall be built to the standards and specs of the City of Albuquerque and will be paid for by the Developer. The wall height shall be no more than six feet (6) and no less than ~~4~~ as measured from the street side of the wall.

#### Site Walls

- a. Each house must have a rear wall and two side walls. All rear walls shall extend the entire length of the rear property line. All side walls shall extend from the rear of the property to at least the rear of the dwelling.
- b. Interior residential lot line walls shall be brown CMU and/or stucco and no more than six feet (6) in height.
- c. All walls that are located on the common property line between adjoining lots shall be party walls that may not be removed by either property owner of the adjoining lots. All walls must be constructed from the elevation specified by the subdivision engineer and indicated on the grading plan. The cost of installation and maintenance of such party walls shall be split equally between property owners of the adjoining lots.
- d. No wall may be erected on a lot that is closer to the street than the front of the dwelling except for courtyard walls.
- e. A house is located on a corner when such house abuts more than one public right-of-way. The corner house will be deemed to front on the right-of-way on which the house has a smaller dimension

#### Courtyard Walls

Courtyard walls are allowed within the front yard setback area and shall be constructed of materials, finish and color that are complimentary to the house.

### Q. Mailboxes

"Cluster-type" mailboxes will be used, subject to the requirements of, and coordination with the United States Postal Service.

### R. Solid Waste

Each home shall have a storage area for residential automated carts, not to be visible from the street.

### S. Vacant Lots/Destruction

1. There shall be no trash, ashes, paper or refuse of any kind thrown or dumped onto vacant lots.
2. The owner of a lot within the subdivision that is vacant shall be responsible to keep the lot cleared of all weeds, trash and any other items that is visually or otherwise undesirable, except for material which may be used during the initial construction period.
3. The owner of a lot upon which a structure is destroyed by fire or other casualty shall either promptly rebuild, repair or replace the structure or remove the debris (including the foundation) from the lot.

### T. Restricted Activities

1. The use of any trailer, motor home, boat, shack, tent, garage or any other outbuilding as a residence either temporary or permanent is prohibited.
2. The construction, erection, placement, assembly or maintenance of any outbuilding or storage building or other auxiliary building of any nature, permanent or temporary, detached from the permitted improvements on the house, must be approved by the Architectural Control Committee for South Pointe Subdivision and must be similar in architectural design as the house.

### U. Restrictive Covenants

Any other legal matters or further restrictions shall be addressed in the Declaration of Restrictive and Protective Covenants for South Pointe (Restrictive Covenants). The Restrictive Covenants will provide further detail to the items listed above and will be binding upon all property owners in South Pointe Subdivision. These Restrictive Covenants will address all matters effecting South Pointe Subdivision with respect to the governing body, fees, enforcement, modification and all other matters pertaining to South Pointe Subdivision.

# South Pointe

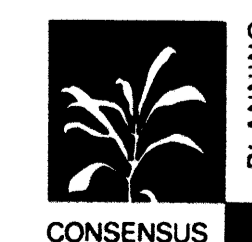
## DESIGN GUIDELINES

Prepared for:

Jude Baca  
3913 72nd Street NW  
Albuquerque, NM 87120

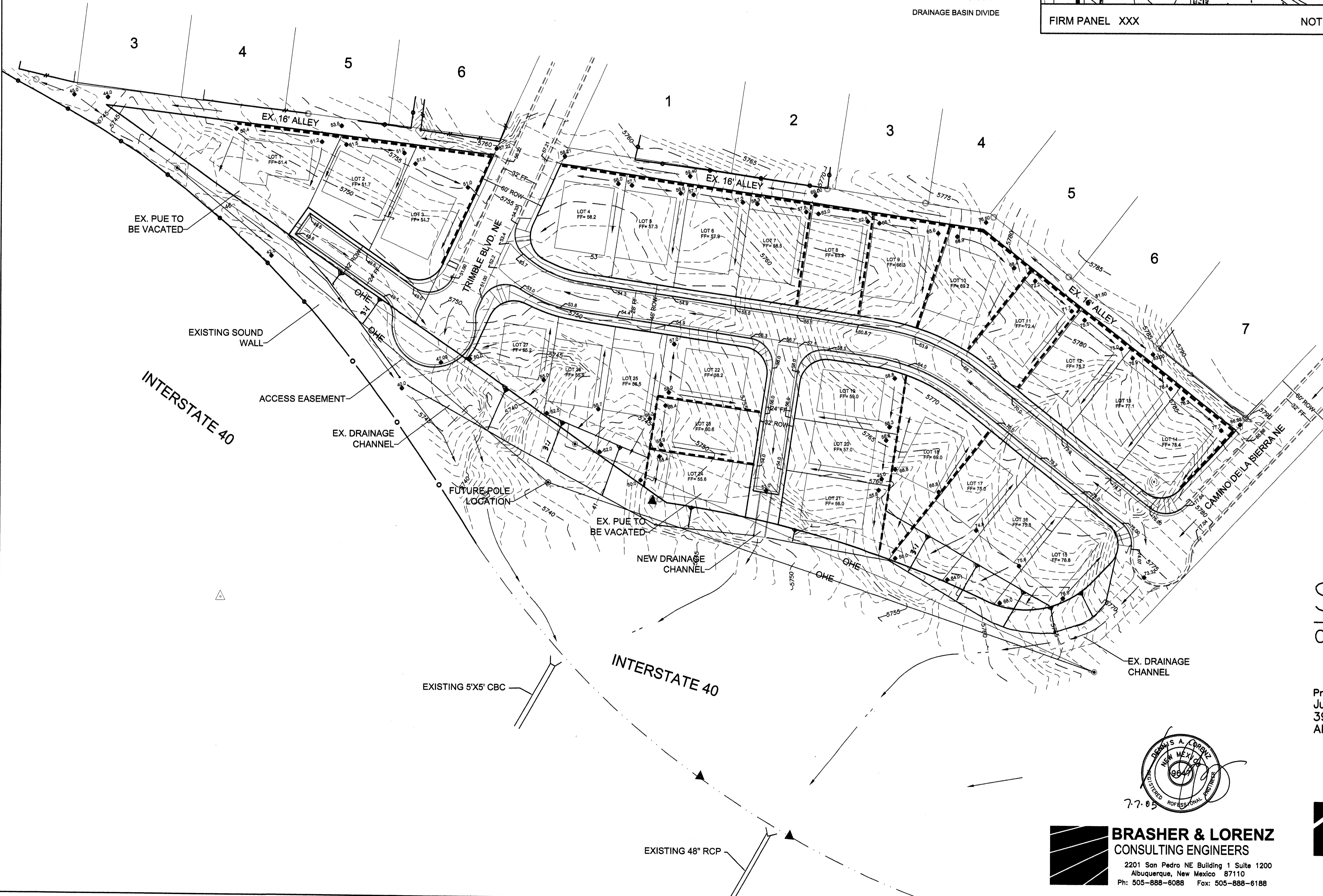
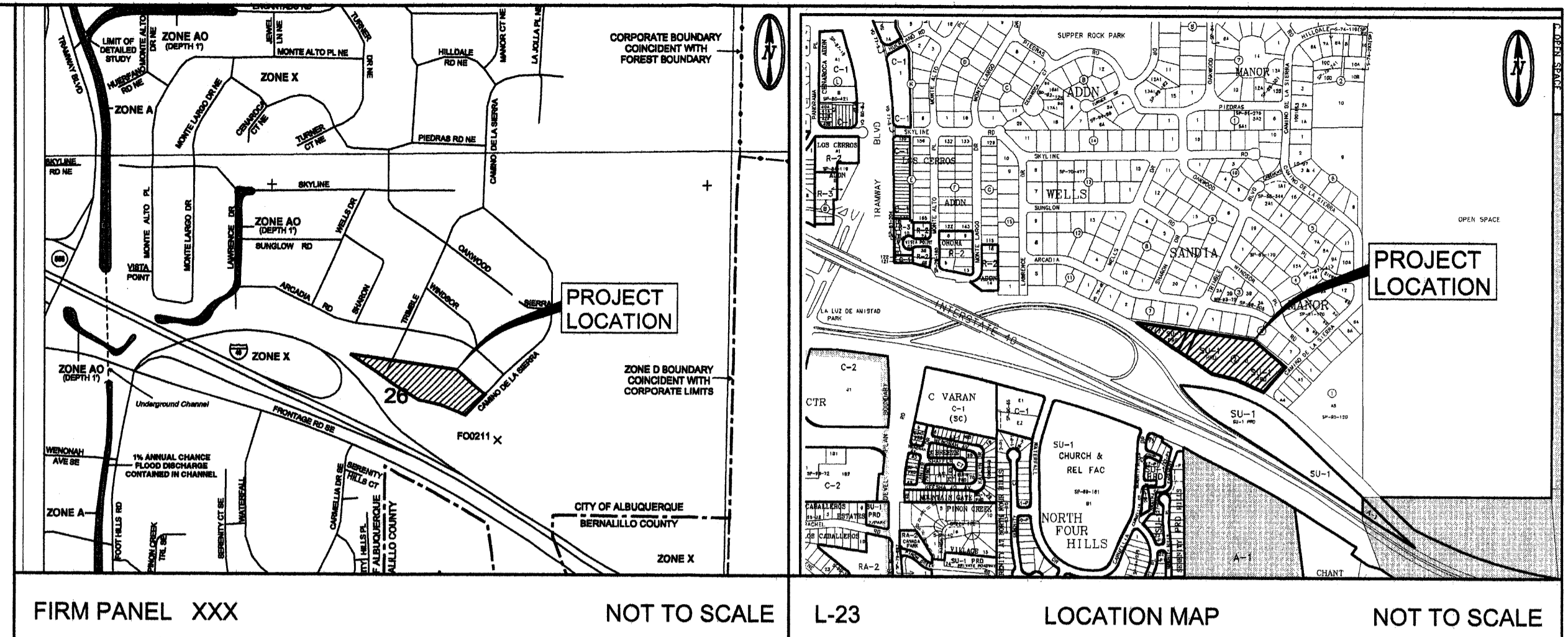
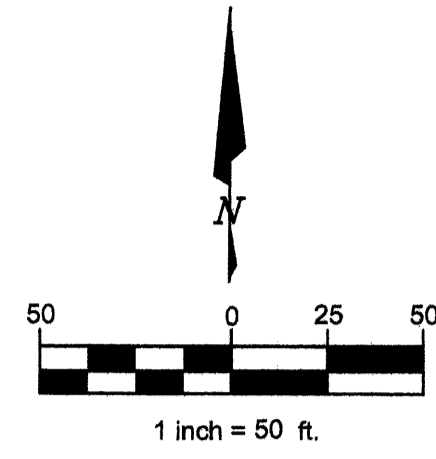
Prepared by:

Consensus Planning, Inc.  
924 Park Avenue SW  
Albuquerque, NM 87102



**LEGEND**

- 02.5 X EXISTING SPOT ELEVATION
- 01.5 ♦ PROPOSED SPOT ELEVATION
- DIRECTION OF FLOW
- DRAINAGE SWALE
- ▬ PROPOSED RETAINING WALL
- ▬ PROPOSED BLOCK WALL
- ▬ PROPOSED ASPHALT PAVING
- ▬ RIP-RAP ROCK
- ▬ EXISTING BLOCK WALL
- PROPOSED FENCE W/PILASTERS
- 5860 EXISTING CONTOUR
- 60 PROPOSED CONTOUR
- DRAINAGE BASIN DIVIDE



**DRAINAGE PLAN NOTES**

1. BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
2. This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
3. Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
4. This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
5. Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
6. BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
7. The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
8. All spot elevations are finished grade or top of pavement, unless noted otherwise.

**PROJECT DATA**

**PROPERTY ADDRESS**  
 TRIMBLE BLVD NE  
 ALBUQUERQUE, NEW MEXICO

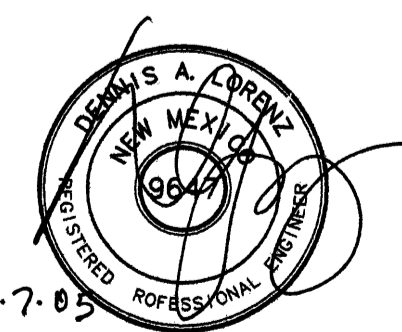
**LEGAL DISCRPTION**  
 TRACT B, BLOCK 7, TRACT C, BLOCK 2  
 WELLS SANDIA MANOR

**SURVEY**  
 SITE MAPPING AND TOPOGRAPHY  
 PROVIDED BY PRECISION SURVEYS

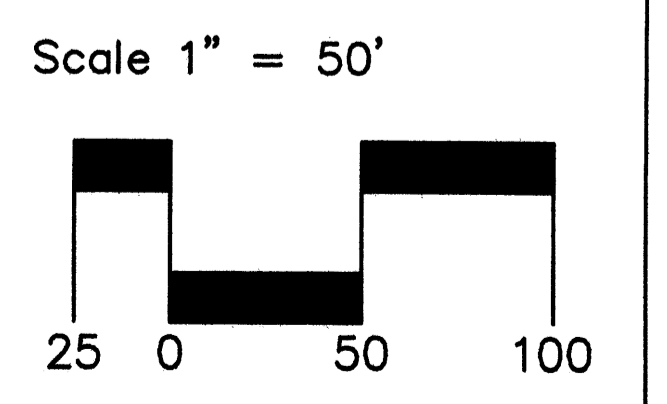
**SOUTH POINTE**  
**CONCEPTUAL GRADING & DRAINAGE PLAN**

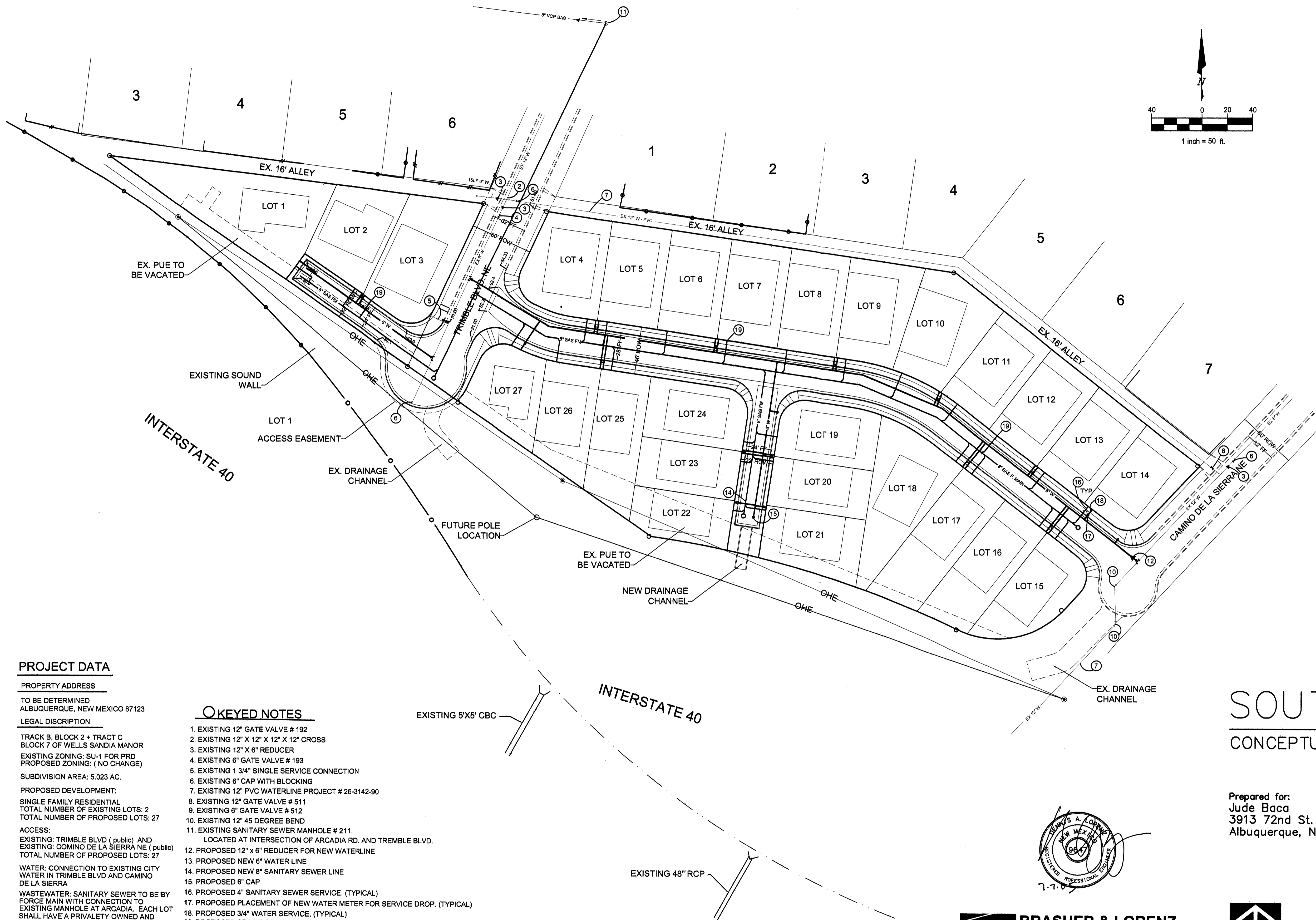
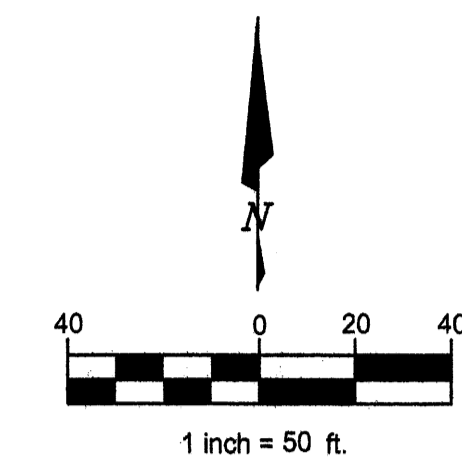
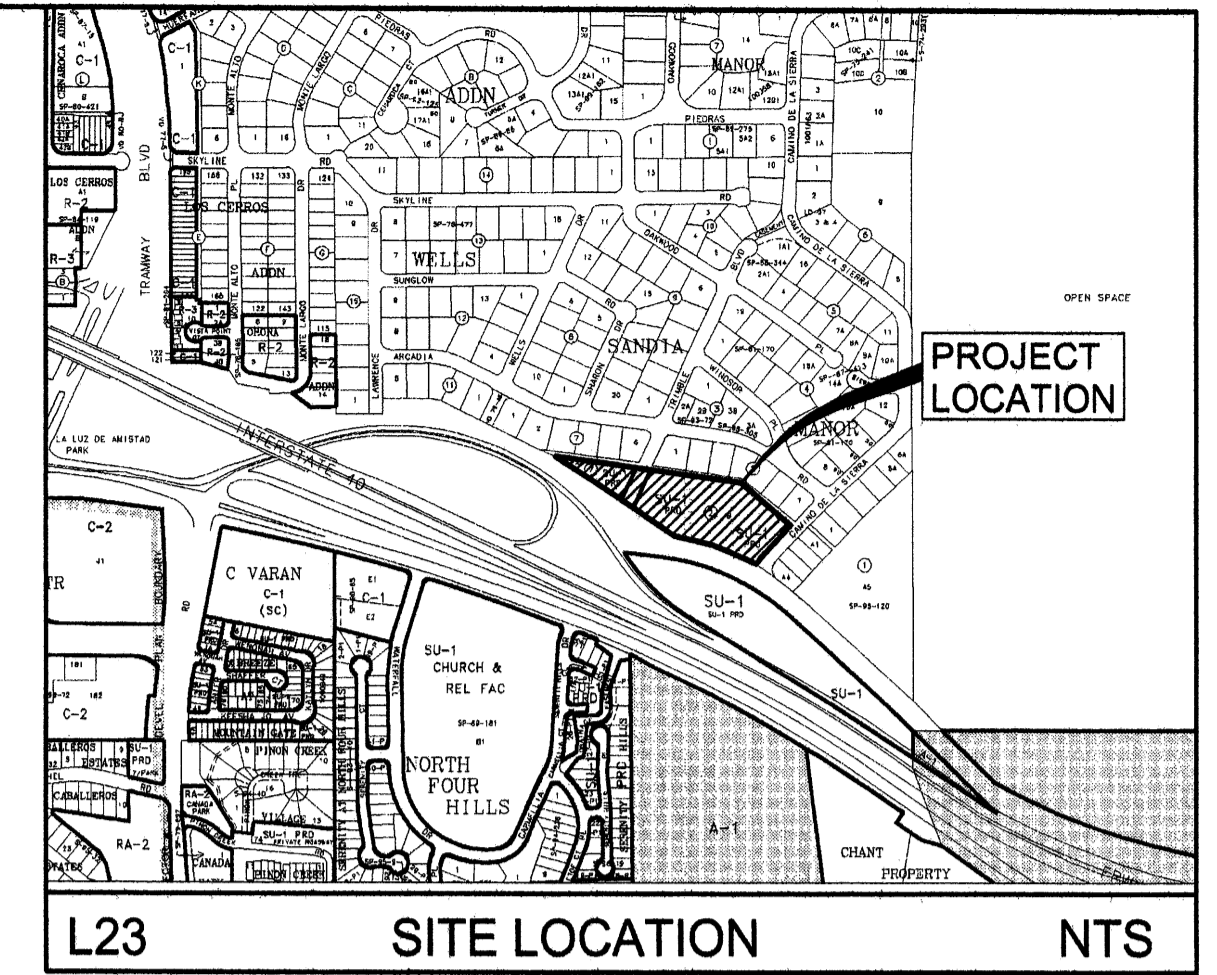
Prepared for:  
 Jude Baca  
 3913 72nd St. NW  
 Albuquerque, NM 87120

Prepared by:  
 Consensus Planning, Inc.  
 924 Park Avenue SW  
 Albuquerque, NM 87102



**BRASHER & LORENZ**  
 CONSULTING ENGINEERS  
 2201 San Pedro NE Building 1 Suite 1200  
 Albuquerque, New Mexico 87110  
 Ph: 505-888-6088 Fax: 505-888-6188





**LEGEND**

ITEM	EXISTING	PROPOSED
WATERLINE	6" W	6" W
SANITARY SEWER	8" SAS	8" SAS
CLEAN OUT		
STORM SEWER	36" STS	36" STS
FIRE HYDRANT		
VALVE		
METERED WATER SERVICE SINGLE		
METERED WATER SERVICE DOUBLE		
MANHOLE		
CURB AND GUTTER		
HEADER CURB		
DROP INLET		
OVERHEAD ELEC WITH POWER POLE	OHE	
UNDERGROUND ELEC. GAS, TEL, TV	UGT	
CURB ELEVATIONS		
SPOT ELEV.	x 16.7	
SEWER SERVICE		
RIGHT OF WAY		
EASEMENT		
POWER POLE (GUYED)	PP	PP
TOP OF ASPHALT ELEV.	TA 16.2	

**PROJECT DATA**

**PROPERTY ADDRESS**  
TO BE DETERMINED  
ALBUQUERQUE, NEW MEXICO 87123

**LEGAL DISCUSSION**  
TRACK B, BLOCK 2 + TRACT C  
BLOCK 7 OF WELLS SANDIA MANOR  
EXISTING ZONING: SU-1 FOR PRD  
PROPOSED ZONING: (NO CHANGE)  
SUBDIVISION AREA: 5.023 AC.

**PROPOSED DEVELOPMENT:**  
SINGLE FAMILY RESIDENTIAL  
TOTAL NUMBER OF EXISTING LOTS: 2  
TOTAL NUMBER OF PROPOSED LOTS: 27

**ACCESS:**  
EXISTING: TRIMBLE BLVD (public) AND  
EXISTING: CAMINO DE LA SIERRA NE (public)  
TOTAL NUMBER OF PROPOSED LOTS: 27

**WATER: CONNECTION TO EXISTING CITY WATER IN TRIMBLE BLVD AND CAMINO DE LA SIERRA**

**WASTEWATER: SANITARY SEWER TO BE BY FORCE MAIN WITH CONNECTION TO EXISTING MANHOLE AT ARCADIA. EACH LOT SHALL HAVE A PRIVATELY OWNED AND MAINTAINED GRINDER PUMP.**

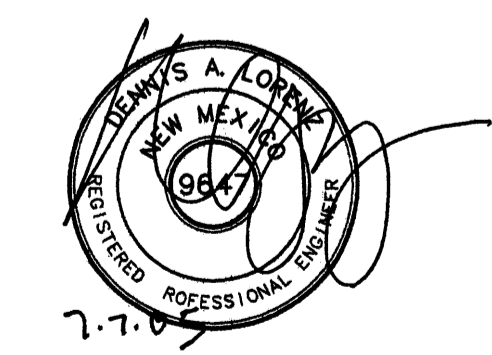
**KEYED NOTES**

- EXISTING 12" GATE VALVE # 192
- EXISTING 12" X 12" X 12" X 12" CROSS
- EXISTING 12" X 6" REDUCER
- EXISTING 6" GATE VALVE # 193
- EXISTING 1 3/4" SINGLE SERVICE CONNECTION
- EXISTING 6" CAP WITH BLOCKING
- EXISTING 12" PVC WATERLINE PROJECT # 26-3142-90
- EXISTING 12" GATE VALVE # 511
- EXISTING 6" GATE VALVE # 512
- EXISTING 12" 45 DEGREE BEND
- EXISTING SANITARY SEWER MANHOLE # 211. LOCATED AT INTERSECTION OF ARCADIA RD. AND TREMBLE BLVD.
- PROPOSED 12" x 6" REDUCER FOR NEW WATERLINE
- PROPOSED NEW 6" WATER LINE
- PROPOSED NEW 8" SANITARY SEWER LINE
- PROPOSED 6" CAP
- PROPOSED 4" SANITARY SEWER SERVICE. (TYPICAL)
- PROPOSED PLACEMENT OF NEW WATER METER FOR SERVICE DROP. (TYPICAL)
- PROPOSED 3/4" WATER SERVICE. (TYPICAL)
- PROPOSED SEWER SERVICE BY GRINDER PUMP. (TYPICAL)

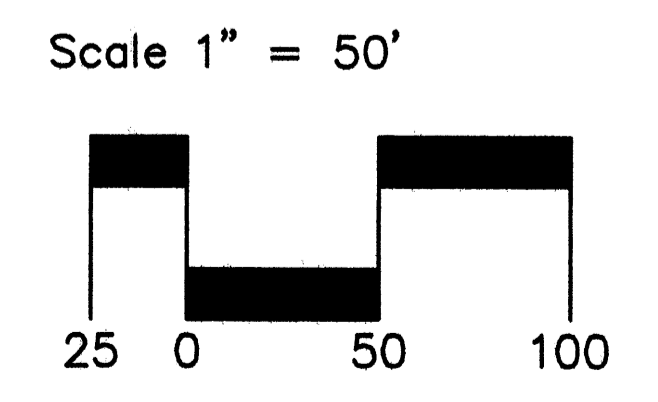
**SOUTH POINTE  
CONCEPTUAL UTILITY PLAN**

Prepared for:  
Jude Baca  
3913 72nd St. NW  
Albuquerque, NM 87120

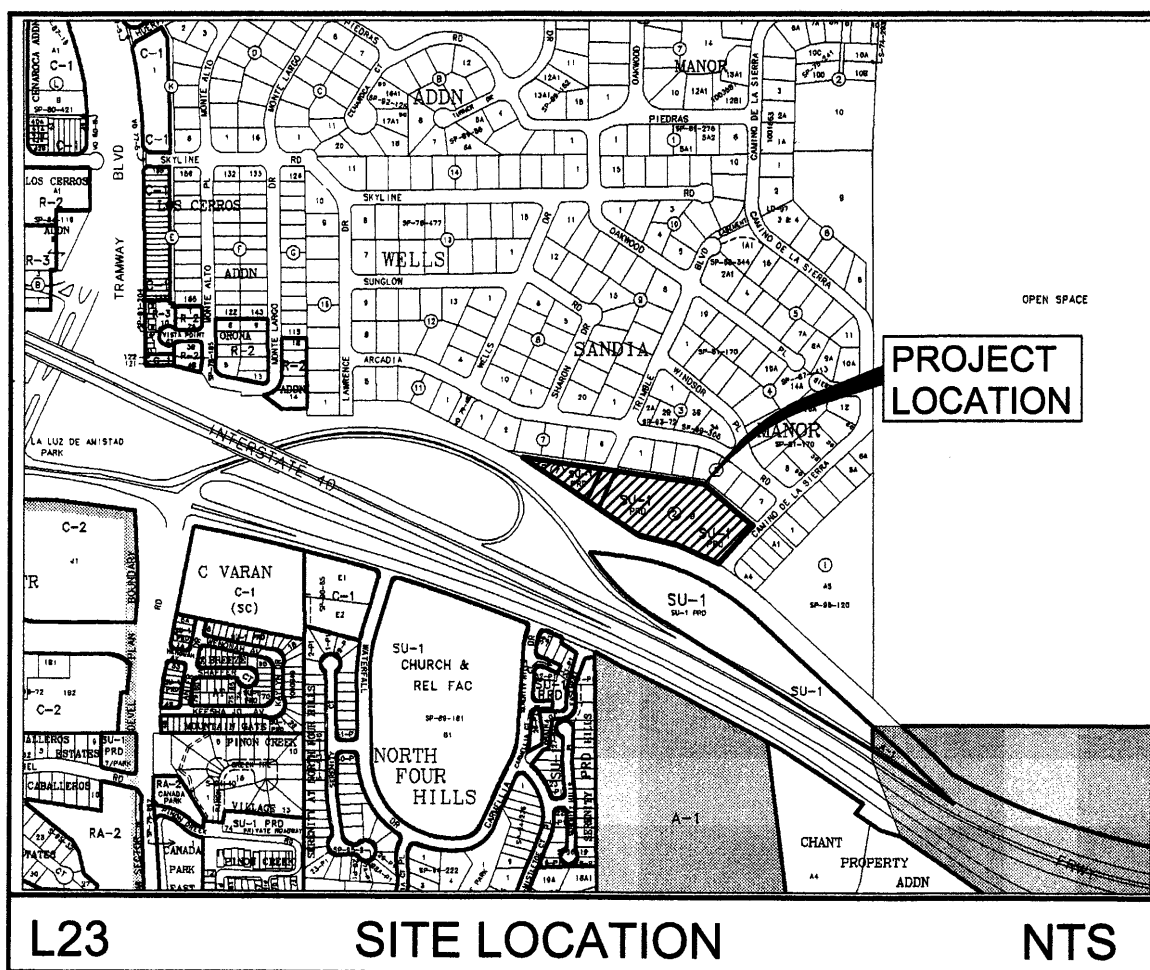
Prepared by:  
Consensus Planning, Inc.  
924 Park Avenue SW  
Albuquerque, NM 87102



**BRASHER & LORENZ**  
CONSULTING ENGINEERS  
2201 San Pedro NE Building 1 Suite 1200  
Albuquerque, New Mexico 87110  
Ph: 505-888-6088 Fax: 505-888-6188



June 30, 2005



L23 SITE LOCATION NTS

**Site Data**

- Size: 4.9 acres
- Zoning: SU-1 PRD, 10du/acre
- Maximum Number of Dwelling Units: 27
- Maximum Lot Size: 11,500 square feet
- Minimum Lot Size: 6,000 square feet
- Minimum Dwelling Size: 1,800 square feet
- Maximum Building Height (Single Story): 19 feet
- Minimum Building Height (Two Story): 26 feet

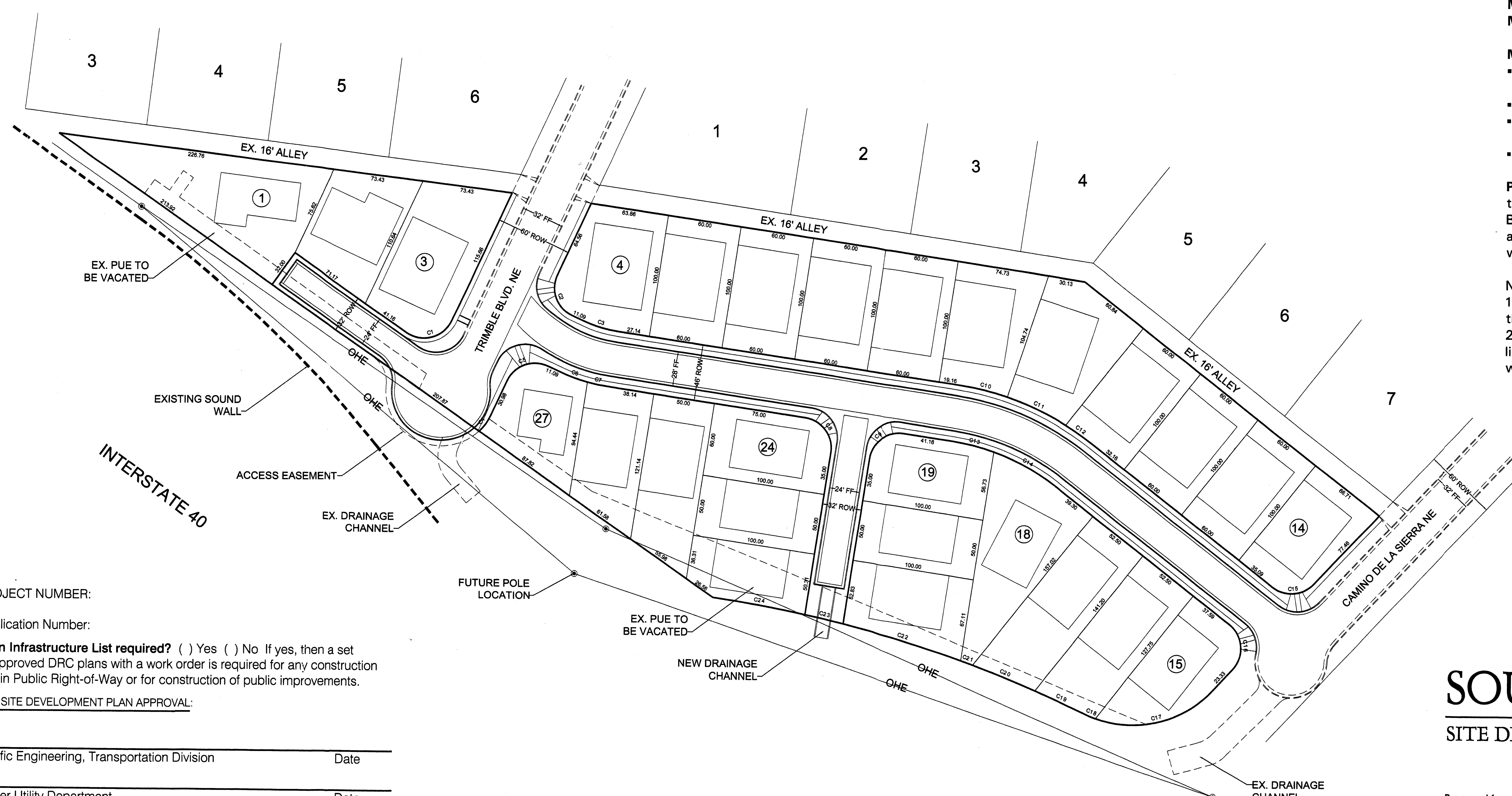
**Minimum Building Set Back:**

- Front Yard = 15 feet, garages shall be set back 20 feet to provide for a minimum of 2 off-street parking spaces.
- Side Yard (Conventional) = 5 feet
- Side Yard (Zero Lot Line/Patio Homes) = On property line (zero feet) on one side and 10 feet on opposite side.
- Rear Yard = 15 feet

**Pedestrian and Vehicular Ingress and Egress:** Vehicular access to South Pointe is from Camino de la Sierra NE and Trimble Boulevard NE. Pedestrian access is from existing sidewalks along Camino de la Sierra NE and Trimble Boulevard NE, which will connect to sidewalks within the subdivision.

**Notes**

1. Residential development in South Pointe shall be subject to the requirements of the Sandia Foothills Area Plan.
2. Lots bordering existing homes along the northern property line of the subdivision shall be restricted to single story only with a maximum height of 19 feet (Lots 1-14).



PROJECT NUMBER:

Application Number:

**Is an Infrastructure List required?** ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department-(conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

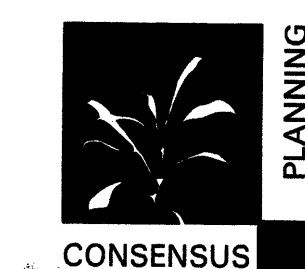
**SOUTH POINTE**  
SITE DEVELOPMENT PLAN FOR SUBDIVISION

Prepared for:  
Jude Baca  
3913 72nd St. NW  
Albuquerque, NM 87120

Prepared by:  
Consensus Planning, Inc.  
924 Park Avenue SW  
Albuquerque, NM 87102

Scale 1" = 50'

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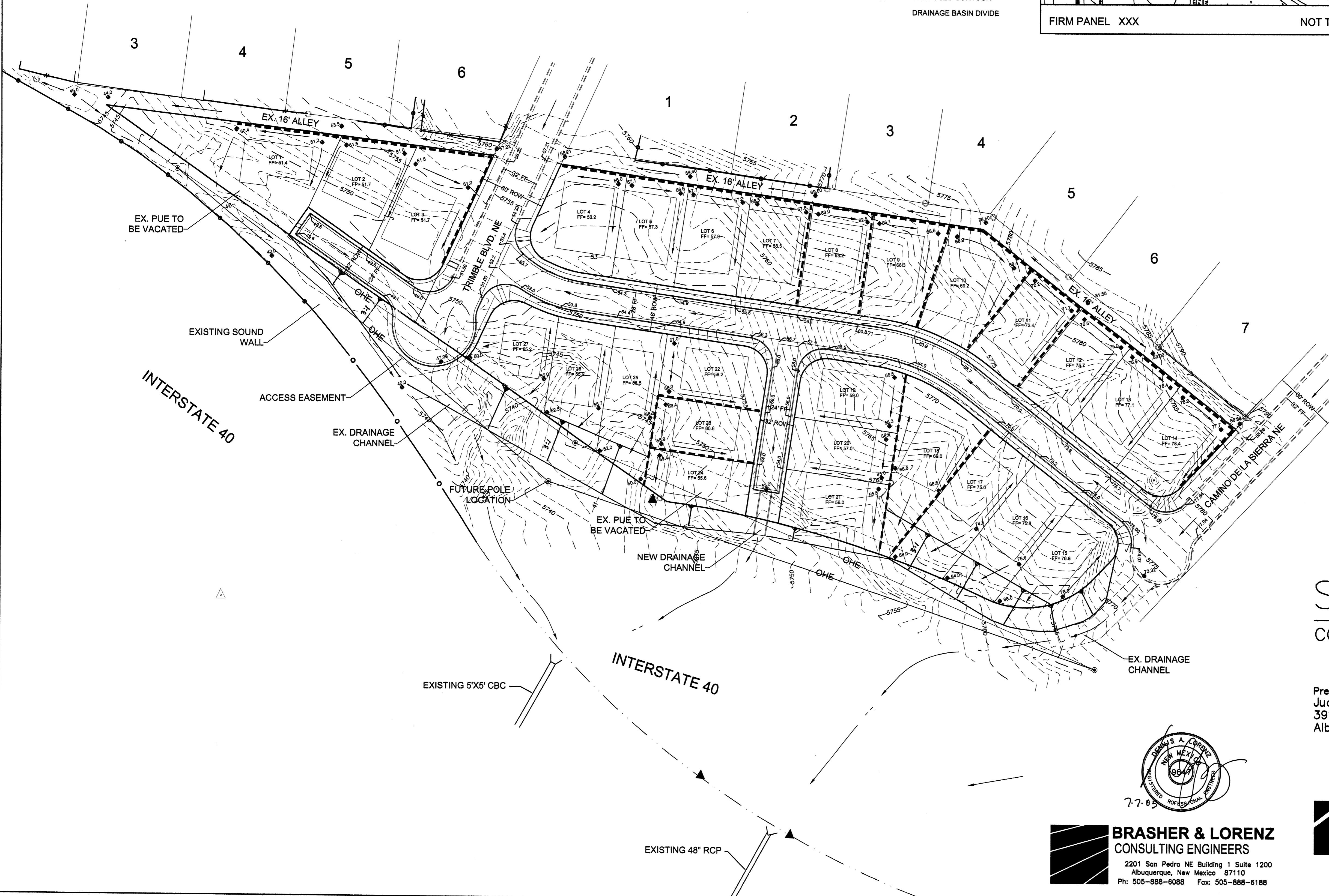
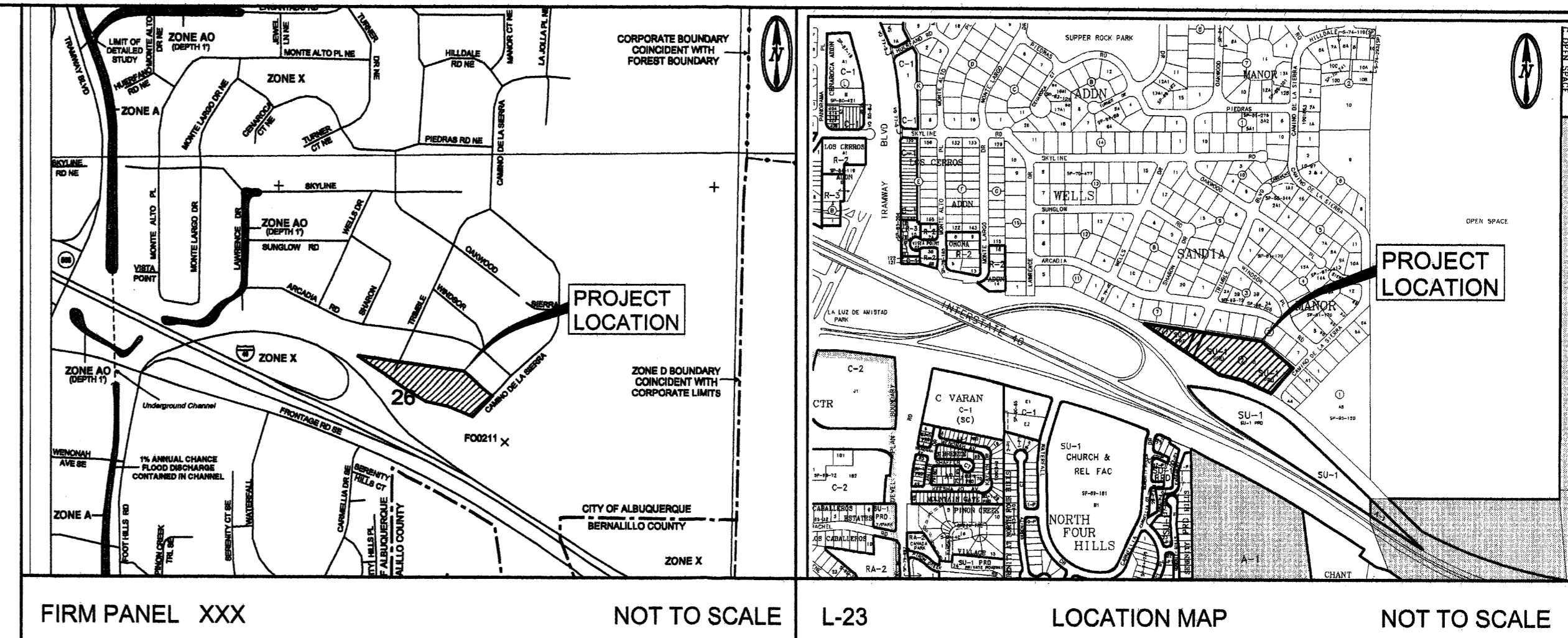
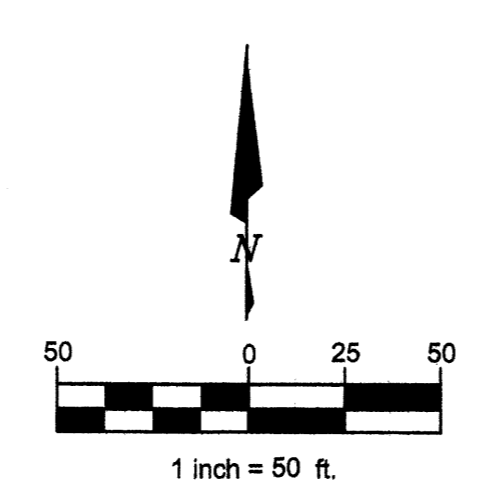


July 1, 2005



**LEGEND**

- 02.5 X EXISTING SPOT ELEVATION
- 01.5 ♦ PROPOSED SPOT ELEVATION
- DIRECTION OF FLOW
- DRAINAGE SWALE
- ▬ PROPOSED RETAINING WALL
- ▬ PROPOSED BLOCK WALL
- ▬ PROPOSED ASPHALT PAVING
- ▬ RIP-RAP ROCK
- ▬ EXISTING BLOCK WALL
- PROPOSED FENCE W/PILASTERS
- 5860 EXISTING CONTOUR
- 60 PROPOSED CONTOUR
- DRAINAGE BASIN DIVIDE



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**PROJECT DATA**

**PROPERTY ADDRESS**  
 TRIMBLE BLVD NE  
 ALBUQUERQUE, NEW MEXICO

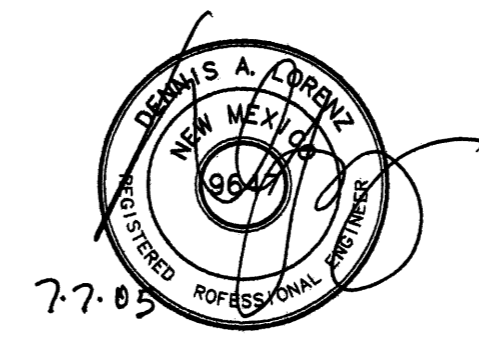
**LEGAL DISCRIPTION**  
 TRACT B, BLOCK 7, TRACT C, BLOCK 2  
 WELLS SANDIA MANOR

**SURVEY**  
 SITE MAPPING AND TOPOGRAPHY  
 PROVIDED BY PRECISION SURVEYS

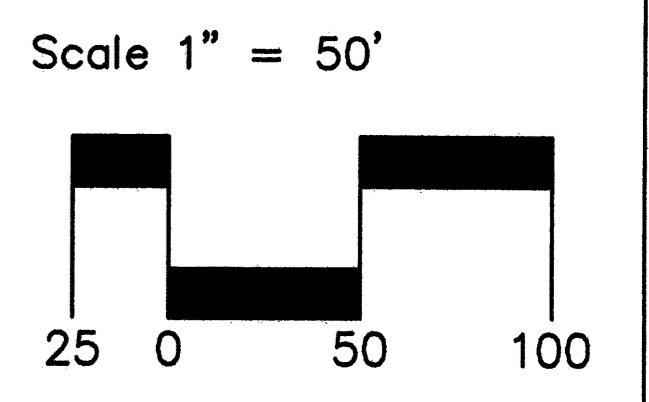
**SOUTH POINTE**  
 CONCEPTUAL GRADING & DRAINAGE PLAN

Prepared for:  
 Jude Baca  
 3913 72nd St. NW  
 Albuquerque, NM 87120

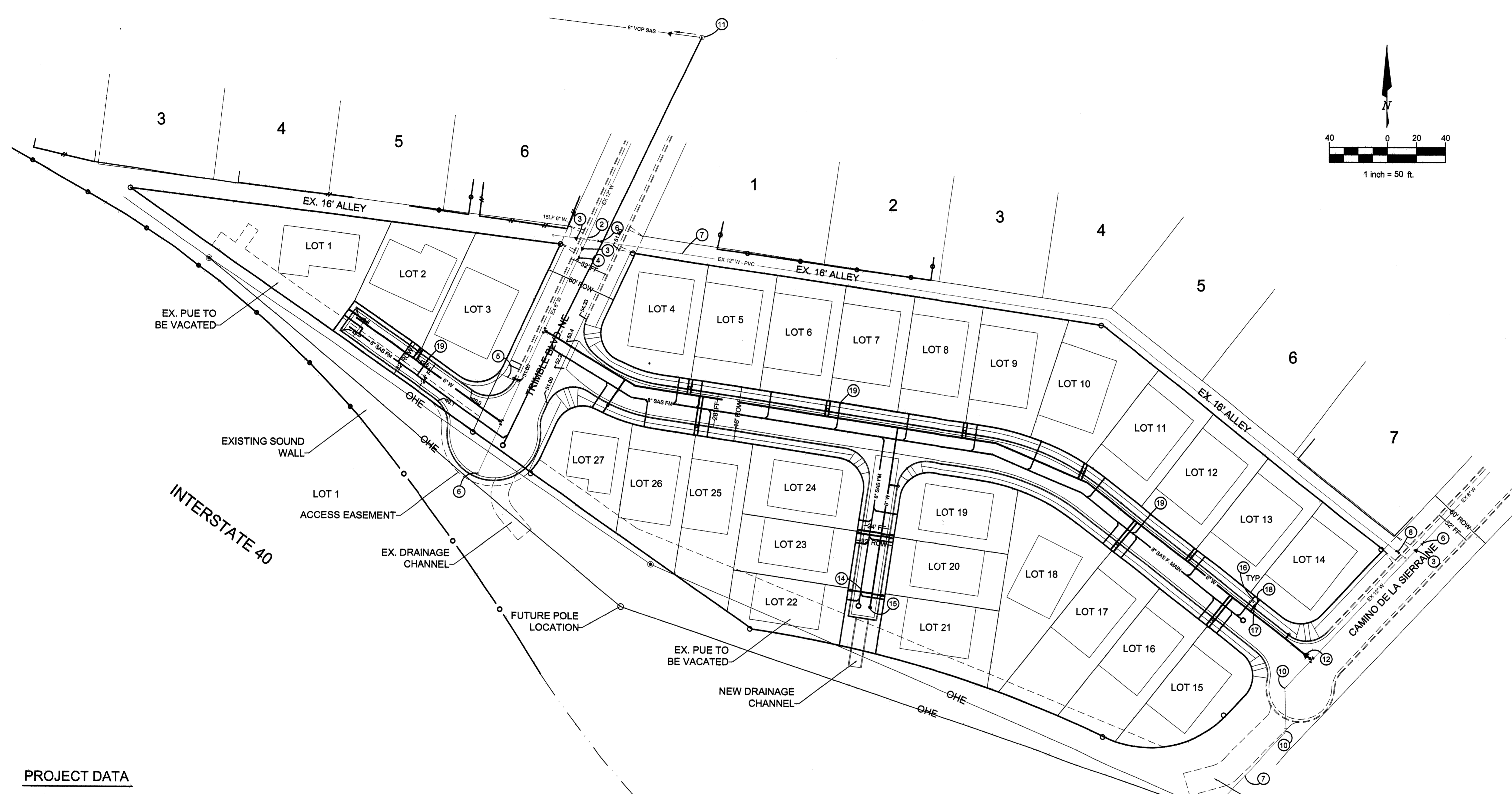
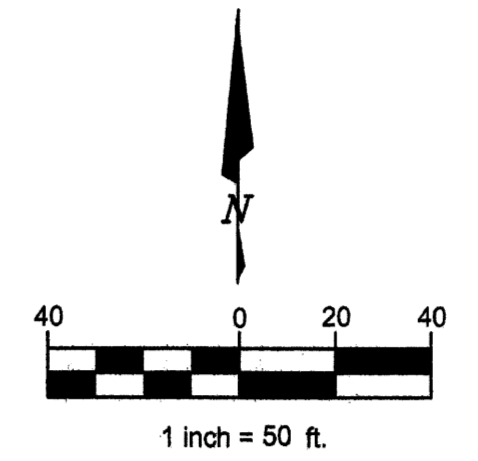
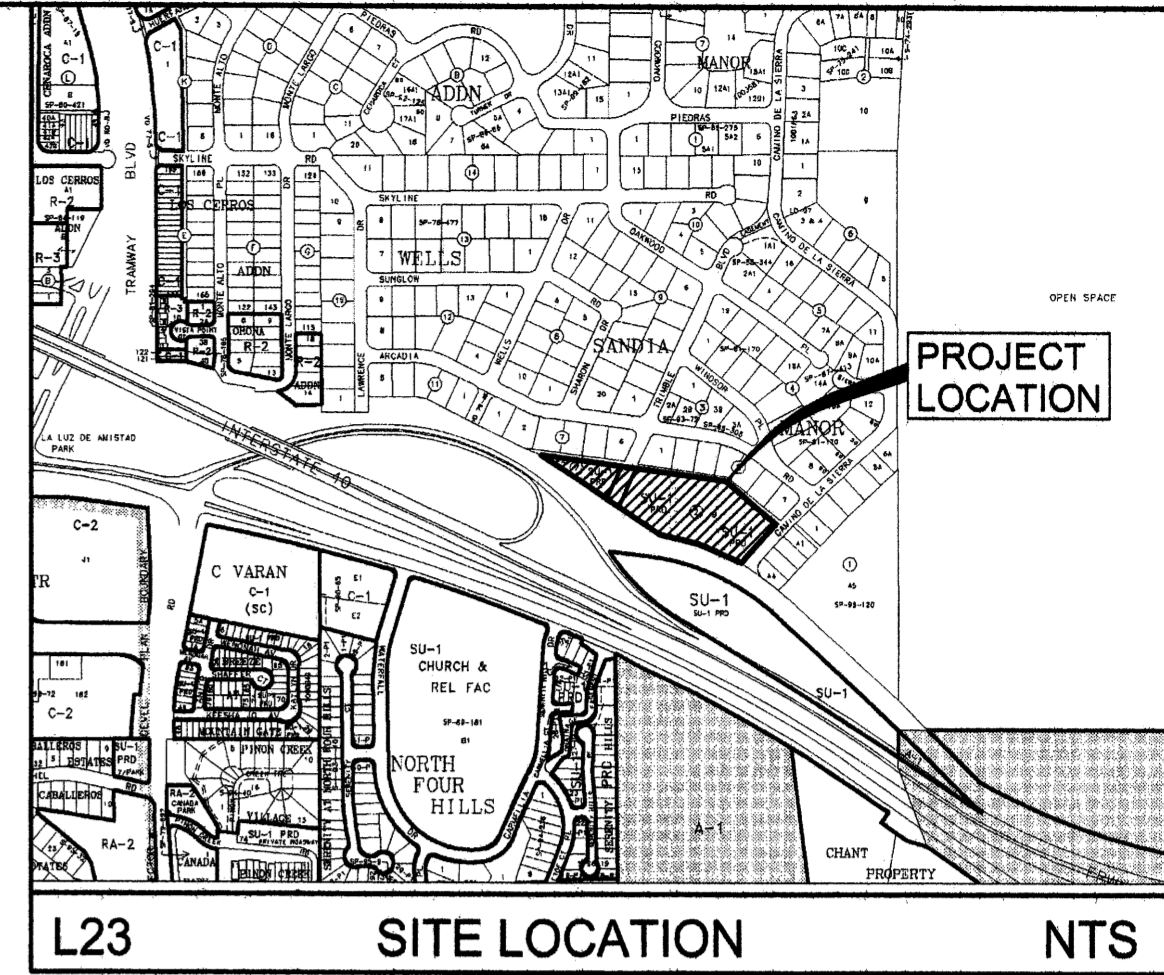
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 Albuquerque, New Mexico 87110  
 Ph: 505-888-6088 Fax: 505-888-6188



June 30, 2005



**LEGEND**

ITEM	EXISTING	PROPOSED
WATERLINE	6" W	6" W
SANITARY SEWER	8" SAS	8" SAS
CLEAN OUT		
STORM SEWER	36" STS	36" STS
FIRE HYDRANT VALVE		
METERED WATER SERVICE SINGLE		
METERED WATER SERVICE DOUBLE		
MANHOLE		
CURB AND GUTTER		
HEADER CURB		
DROP INLET		
OVERHEAD ELEC WITH POWER POLE	OHE	OHE
UNDERGROUND ELEC, GAS, TEL, TV	UGT	UGT
CURB ELEVATIONS	TOP CONC. BLY. TO CURB ELEV.	TOP CONC. BLY. TO CURB ELEV.
SPOT ELEV.	x 16.7	
SEWER SERVICE		
RIGHT OF WAY		
EASEMENT		
POWER POLE (GUYED)	PP	PP
TOP OF ASPHALT ELEV.	TA 16.2	

**PROJECT DATA**

**PROPERTY ADDRESS**  
TO BE DETERMINED  
ALBUQUERQUE, NEW MEXICO 87123

**LEGAL DISCRPTION**  
TRACK B, BLOCK 2 + TRACT C  
BLOCK 7 OF WELLS SANDIA MANOR  
EXISTING ZONING: SU-1 FOR PRD  
PROPOSED ZONING: (NO CHANGE)  
SUBDIVISION AREA: 5.023 AC.

**PROPOSED DEVELOPMENT:**  
SINGLE FAMILY RESIDENTIAL  
TOTAL NUMBER OF EXISTING LOTS: 2  
TOTAL NUMBER OF PROPOSED LOTS: 27

**ACCESS:**  
EXISTING: TRIMBLE BLVD (public) AND  
EXISTING: CAMINO DE LA SIERRA NE (public)  
TOTAL NUMBER OF PROPOSED LOTS: 27

**WATER:** CONNECTION TO EXISTING CITY  
WATER IN TRIMBLE BLVD AND CAMINO  
DE LA SIERRA

**WASTEWATER:** SANITARY SEWER TO BE BY  
FORCE MAIN WITH CONNECTION TO  
EXISTING MANHOLE AT ARCADIA. EACH LOT  
SHALL HAVE A PRIVATELY OWNED AND  
MAINTAINED GRINDER PUMP.

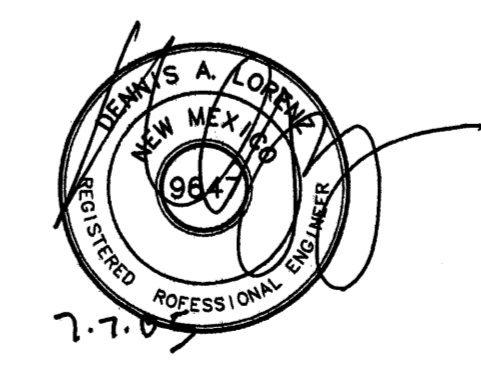
**KEYED NOTES**

- EXISTING 12" GATE VALVE # 192
- EXISTING 12" X 12" X 12" X 12" CROSS
- EXISTING 12" X 6" REDUCER
- EXISTING 6" GATE VALVE # 193
- EXISTING 1 3/4" SINGLE SERVICE CONNECTION
- EXISTING 6" CAP WITH BLOCKING
- EXISTING 12" PVC WATERLINE PROJECT # 26-3142-90
- EXISTING 12" GATE VALVE # 511
- EXISTING 6" GATE VALVE # 512
- EXISTING 12" 45 DEGREE BEND
- EXISTING SANITARY SEWER MANHOLE # 211.  
LOCATED AT INTERSECTION OF ARCADIA RD. AND TREMBLE BLVD.
- PROPOSED 12" x 6" REDUCER FOR NEW WATERLINE
- PROPOSED NEW 6" WATER LINE
- PROPOSED NEW 8" SANITARY SEWER LINE
- PROPOSED 6" CAP
- PROPOSED 4" SANITARY SEWER SERVICE. (TYPICAL)
- PROPOSED PLACEMENT OF NEW WATER METER FOR SERVICE DROP. (TYPICAL)
- PROPOSED 3/4" WATER SERVICE. (TYPICAL)
- PROPOSED SEWER SERVICE BY GRINDER PUMP. (TYPICAL)

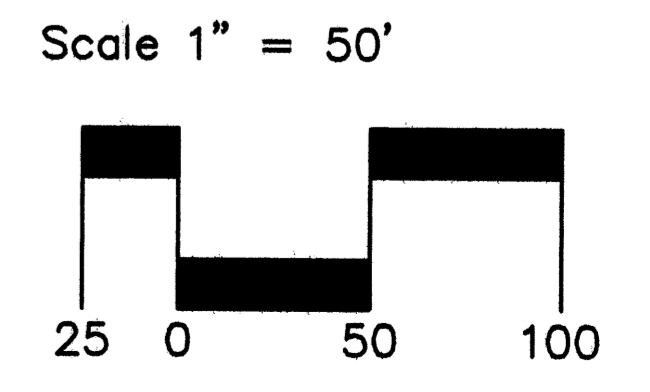
**SOUTH POINTE**  
CONCEPTUAL UTILITY PLAN

Prepared for:  
Jude Baca  
3913 72nd St. NW  
Albuquerque, NM 87120

Prepared by:  
Consensus Planning, Inc.  
924 Park Avenue SW  
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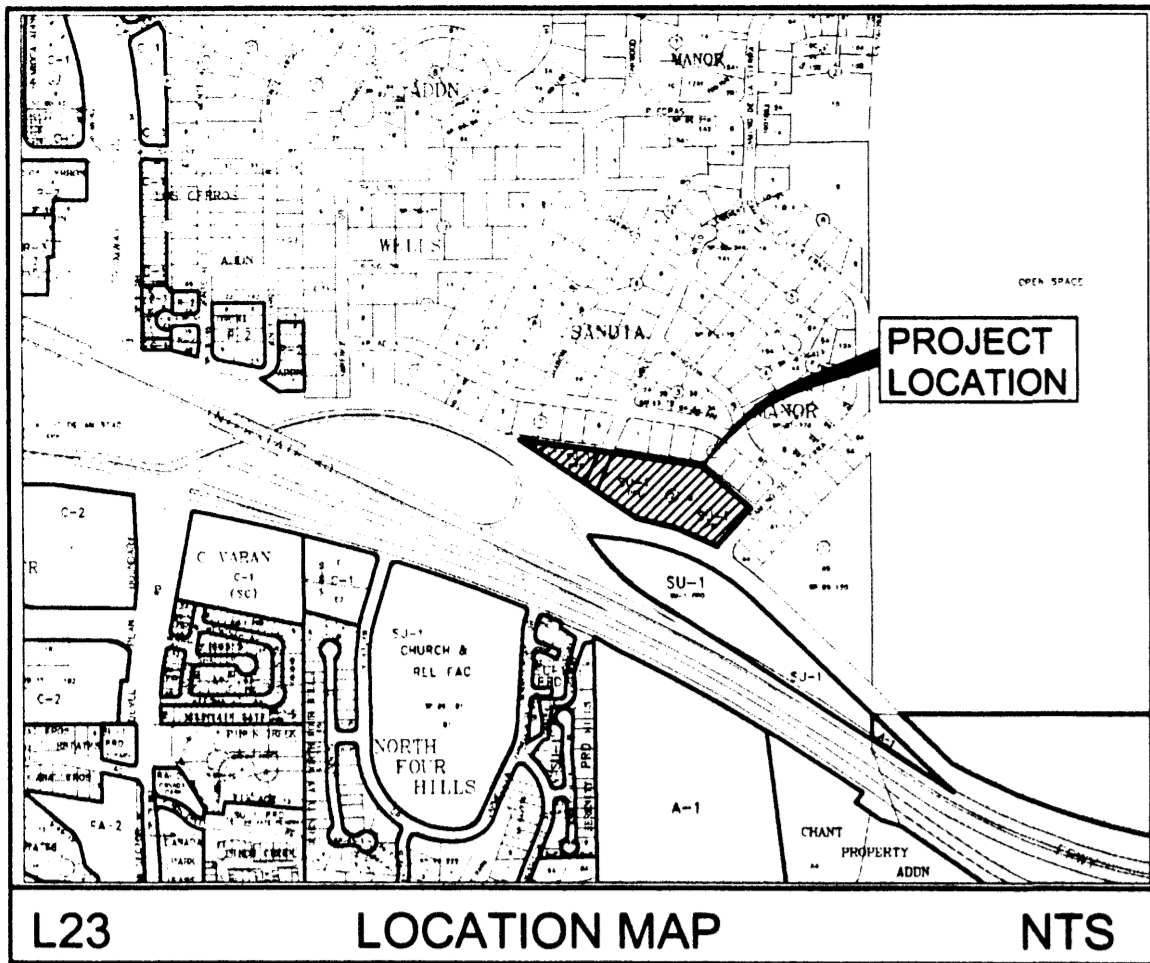


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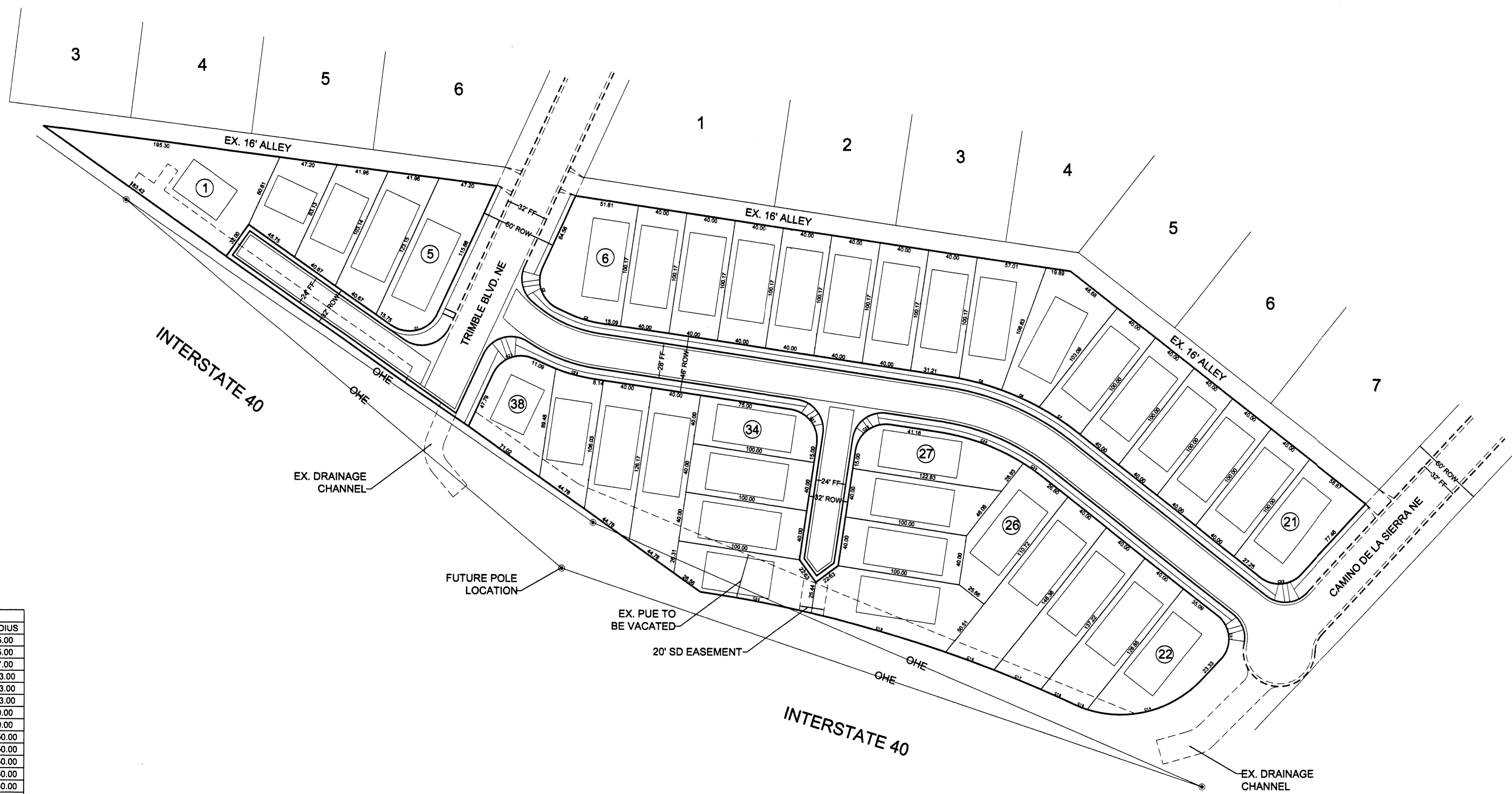




L23 LOCATION MAP NTS

# SKETCH PLAT OF WELLS SANDIA MANOR

TRACT B, BLOCK 7  
TRACT C, BLOCK 2  
OCTOBER 2004



CURVE TABLE		
CURVE	LENGTH	RADIUS
1	43.81	25.00
2	39.27	25.00
3	27.64	97.00
5	36.03	223.00
6	33.66	223.00
7	37.18	223.00
14	101.19	90.00
15	12.22	90.00
16	29.13	1050.00
17	41.52	1050.00
18	42.02	1050.00
19	114.31	1050.00
20	92.36	1050.00
23	39.27	25.00
26	32.12	143.00
27	39.27	25.00
28	39.27	25.00
29	73.07	177.00
30	18.73	177.00
31	41.44	25.00
33	37.10	25.00

