

Current DRC Project Number: _____

FIGURE 12

INFRASTRUCTURE LIST

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

TRACT A, BELL TRADING POST LOFTS
PROPOSED NAME OF PLAT

LOTS 1-7, BLOCK 19, PEREA ADDITION TOGETHER WITH LOTS 3A, 4, & 5, WEST END ADDITION
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Date Submitted: February 18, 2005
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: 1003713
DRB Application No.: _____

ORIGINAL

NOTES

1. Sidewalks to be deferred where noted.
2. Residential lighting per DPM.
3. Grading and Drainage Certification required per DPM (prior to release of financial guarantees) to include private retaining walls as defined on the approved grading plan.
4. All water to include fire hydrants, valves, and appurtenances per DPM.
5. Perimeter walls per DRB approved perimeter wall design.

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the Unser Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Const Engineer
		6'	PAVING Sidewalk (south side)	Roma Avenue	Laguna Road	15th Street	/	/	/
			Remove Drivepads	Laguna Road	Exist Drive Pad Locations		/	/	/
			STD C&G	Laguna Road	Exist Drive Pad Locations		/	/	/
		2 - 20'	Wide Driveways	Laguna Road	At Entrance	At Exit	/	/	/
		6'	Sidewalk (east side)	Laguna Road	Roma Avenue	Central Avenue	/	/	/
		6"	UTILITIES SAS Service	Laguna Road	Laguna Road	ROW Line	/	/	/
			Replace Exist 3" w/2" Water Service	Water Meter	Central Avenue	ROW Line	/	/	/
		1	Hydrant	Laguna Road			/	/	/
		6"	Fireline	Roma Avenue	Roma Avenue	Building	/	/	/
							/	/	/

AGENT/OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Amy L.D. Niese, PE
NAME (print)

Isaacson & Arfman, P.A.
FIRM

Amy L.D. Niese
SIGNATURE - date 2/18/05

DRB CHAIR - date _____

TRANSPORTATION DEVELOPMENT - date _____

UTILITY DEVELOPMENT - date _____

CITY ENGINEER - date _____

PARKS & GENERAL SERVICES - date _____

AMAFCA - date _____

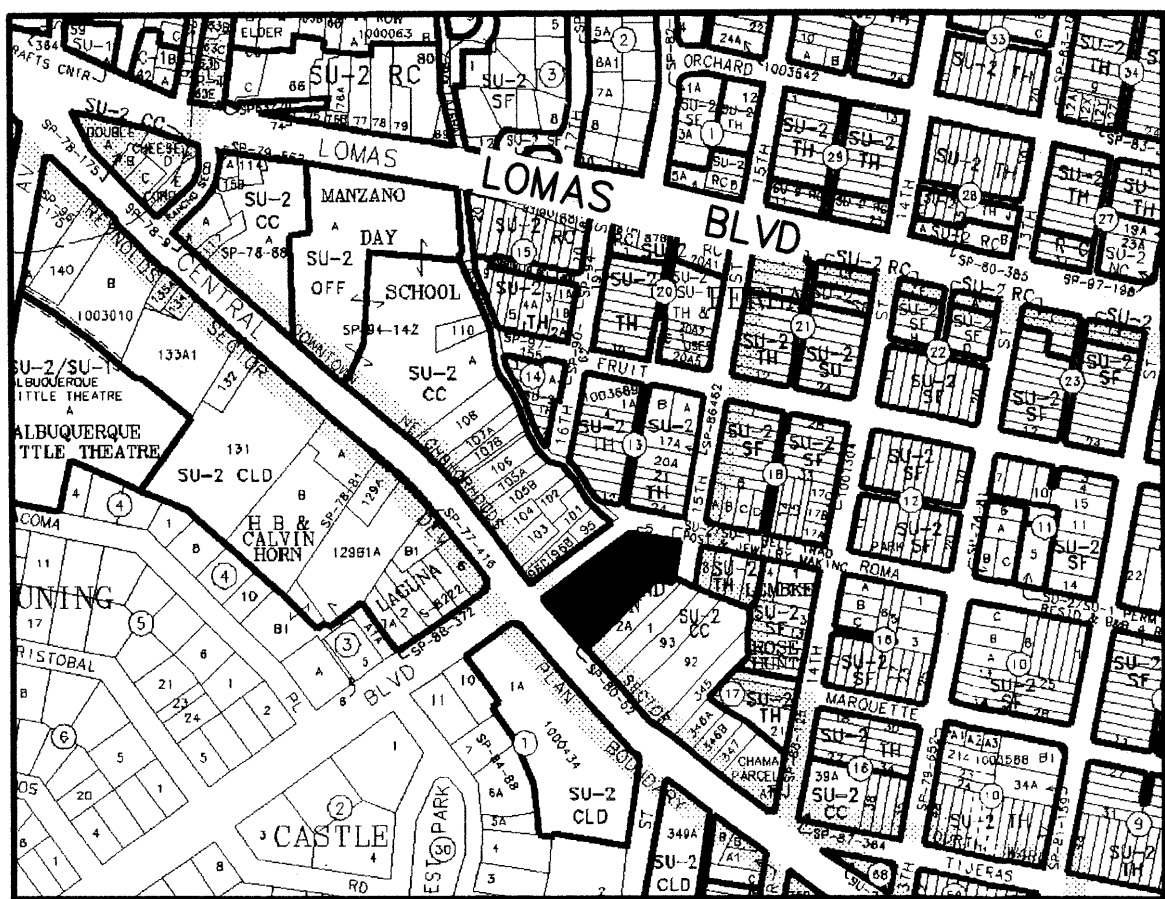
_____ - date _____

_____ - date _____

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER



LOCATION MAP 1"=750'

PURPOSE OF PLAT

- To correct lots and distances as shown hereon.
- To vacate lot line as shown hereon.

SUBDIVISION DATA

- Project No.:
Application No.:
- Zone Atlas Index No.: J-13-Z
- Total Number of Existing Lots: 0
- Total Number of Existing Tracts: 1
- Total Number of Lots created: 0
- Total Number of Tracts created: 1
- Gross Subdivision Acreage: 1.0336

NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary is from the plats of record entitled:
"BELL TRADING POST LOFTS, TRACT A"
(10-13-05, 05C-339)
WARRANTY DEED (03-21-80, D116A-981)
"WEST END ADDITION,"
(03-06-1913, B-16)
"WEST END ADDITION,"
(02-08-80, C16-69)
all being records of Bernalillo County, New Mexico.
- Field Survey: performed January, 2002.
- Title Report: None provided.
- Address of Property: 1503 Central Avenue.
- City of Albuquerque, New Mexico Zone: SU-2, SU-1 for residential, 24 units max with C-1.
- Utility Council Location System Log No.: 2006353313

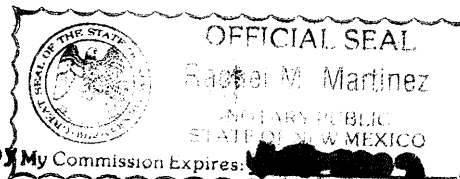
FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to the correction of lot distances and creation of Tract A-1 as shown hereon. Said owner(s) and/or proprietor(s) do hereby grant easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrants that (he/she) holds complete and in-defeasible title in fee simple to the land subdivided.

Owner(s) FAMILY HOUSING DEVELOPMENT CORPORATION
Ricky E. Davis 2/21/07
 RICKY E. DAVIS, PRESIDENT, FAMILY HOUSING DEVELOPMENT CORP. Date

STATE OF NEW MEXICO)
 BERNALILLO COUNTY) SS

On this 21st day of February, 2006, this instrument was acknowledged by
Ricky E. Davis, PRESIDENT OF FAMILY HOUSING CORPORATION
Randy M. Martinez My Commission Expires July 18, 2009
 Notary Public My Commission Expires



DESCRIPTION

A tract of land situate within the Town of Albuquerque Grant, projected Section 18, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT A, BELL TRADING POST as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on October 13, 2005 in Book 2005C, Page 339 together with a WARRANTY DEED filed on March 21, 1980, Book D116A, Page 981 and being more particularly described as follows:

BEGINNING at the northeast corner of the herein described tract from whence the Albuquerque Control Survey Monument "12-J13" bears N 34°45'13" E, 890.83 feet;
 THENCE S 37°23'44" E, 12.97 feet to a point;
 THENCE S 11°02'52" W, 86.53 feet to a point;
 THENCE N 67°20'35" E, 4.86 feet to a point;
 THENCE S 72°29'47" E, 16.98 feet to a point;
 THENCE S 45°29'27" W, 24.57 feet to a point;
 THENCE N 70°06'38" W, 55.72 feet to a point;
 THENCE S 45°25'17" W, 231.44 feet to the southeast corner;
 THENCE N 41°34'30" W, 134.19 feet to a point of curvature;
 THENCE 41.81 feet along a curve to right, whose radius is 25.00 feet through a central angle of 95°49'20" and whose chord bears S 06°20'10" W, 37.11 feet to a point of tangency;
 THENCE N 54°14'50" E, 236.28 feet to a point;
 THENCE N 65°09'37" E, 10.92 feet to a point;
 THENCE S 78°56'35" E, 108.10 feet to the point of beginning and containing 1.0336 acres more or less.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- THE PUBLIC SERVICE CO. OF NM--ELECTRIC SERVICES DIVISION FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF UNDERGROUND/OVERHEAD ELECTRICAL LINES, COMMUNICATION LINES, TRANSFORMERS, AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES, AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
- THE PUBLIC SERVICE CO. OF NM--GAS SERVICES DIVISION FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH DISTRIBUTION AND SERVICE LINES AND FACILITIES REASONABLY NECESSARY TO PROVIDE GAS SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS, OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

REPLAT FOR
 TRACT A-1
 BELL TRADING POST LOFTS
 WITHIN THE
 TOWN OF ALBUQUERQUE GRANT
 PROJECTED SECTION 18
 TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2006

Final

PRELIMINARY PLAT
 APPROVED BY DRB
 ON 3/21/07

PROJECT NUMBER:
 Application Number:
 PLAT APPROVAL
 Utility Approvals:

PNM Electric Services Division _____ Date

PNM Gas Services Division _____ Date

Qwest _____ Date

Comcast _____ Date

City Approvals: [Signature] 3-7-07
 City Surveyor _____ Date

Real Property Division _____ Date

Environmental Health Department _____ Date

Traffic Engineering, Transportation Division _____ Date

Albuquerque Bernalillo County Water Utility Department _____ Date

Parks and Recreation Department _____ Date

AMA FCA _____ Date

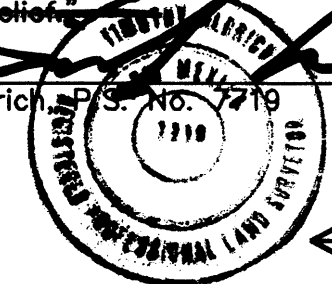
City Engineer _____ Date

DRB Chairperson, Planning Department _____ Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief."

[Signature] 02-26-07
 Timothy Aldrich, P.S. No. 7719 Date



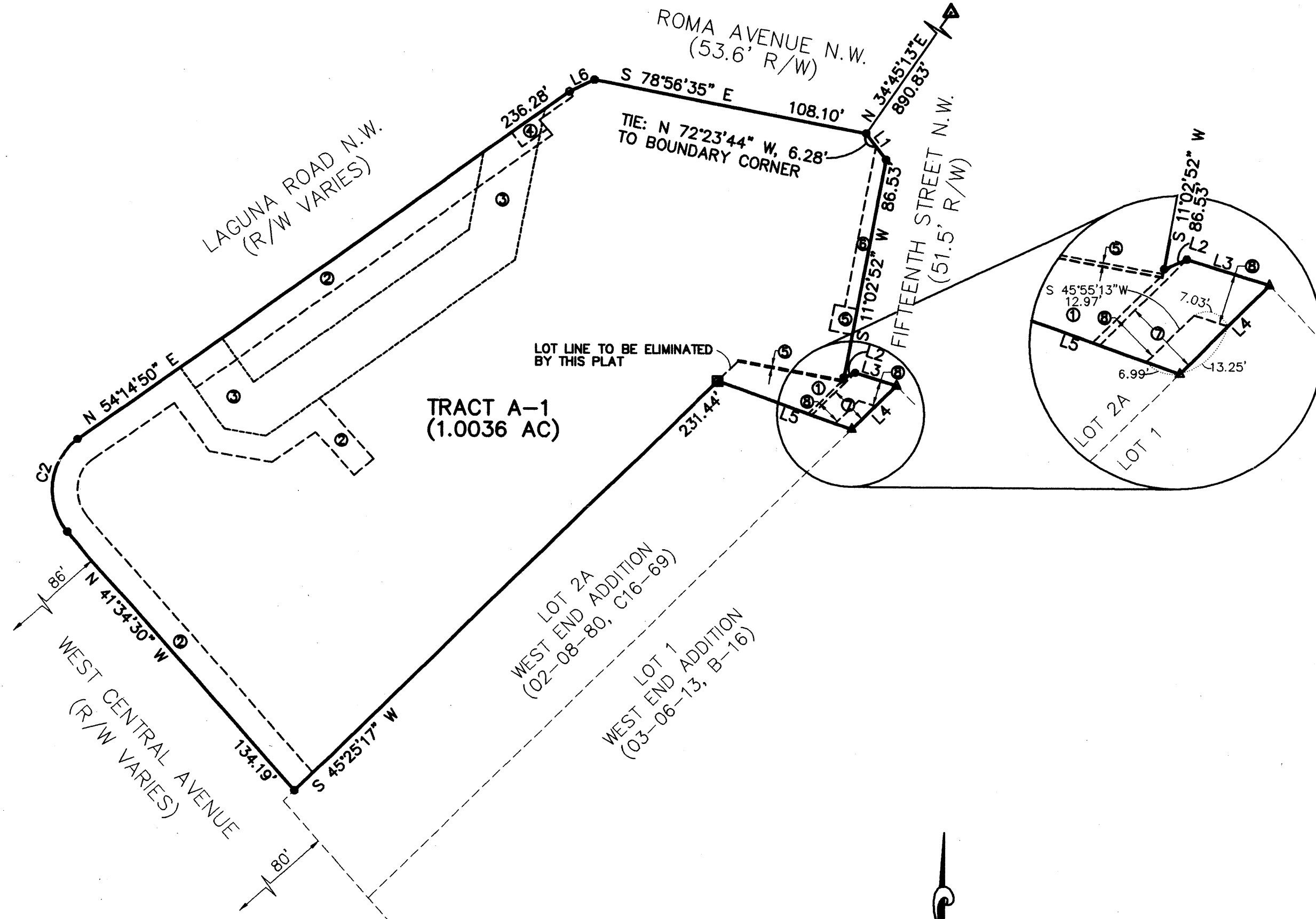
ALDRICH LAND SURVEYING

Drawn By:	ECM	Date:	03-15-02
Checked By:	TA	Drawing Name:	97107PL3.DWG
Job No.:	97-107	Sheet:	1 of 2

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

REPLAT FOR
 TRACT A-1
 BELL TRADING POST LOFTS
 WITHIN THE
 TOWN OF ALBUQUERQUE GRANT
 PROJECTED SECTION 18
 TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2006

ACS MONUMENT
 "12-J13"
 Y=1489212.34
 X=376922.94
 G-G=0.9996804
 Δα=-00°14'12"
 CENTRAL ZONE
 (NAD 1927/SLD1929)
 ELEVATION=4954.85

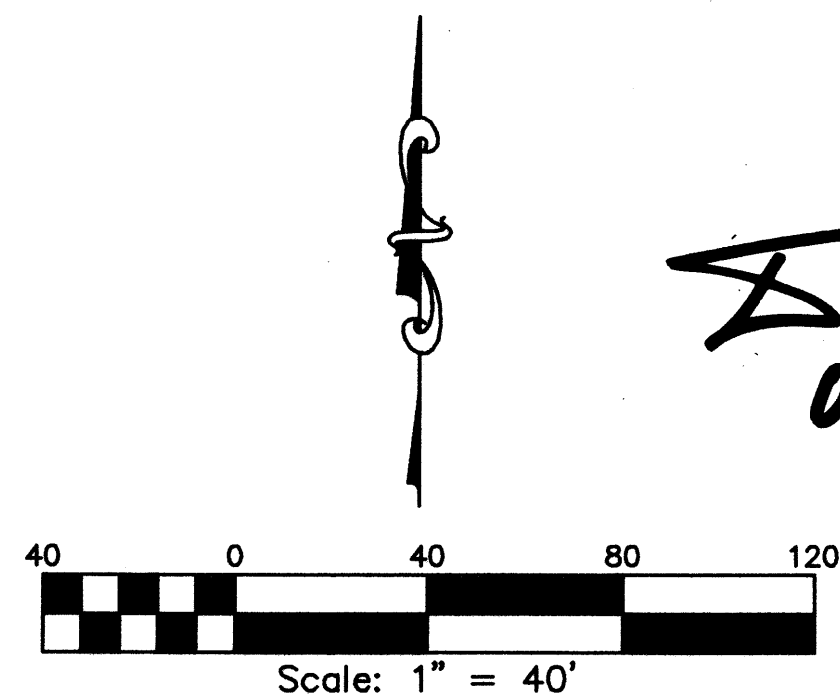


- EASEMENTS**
- ① EXISTING LIMITED SERVICE EASEMENT (02-08-80, C16-69)
 - ② EXISTING 10' PUE (10-13-05, 05C-339)
 - ③ EXISTING 20' PUBLIC WATERLINE EASEMENT (10-13-05, 05C-339)
 - ④ EXISTING 7x12 PUBLIC ACCESS EASEMENT (10-13-05, 05C-339)
 - ⑤ EXISTING P.U.E. (10-13-05, 05C-339)
 - ⑥ 5' P.U.E. TO BE GRANTED BY THIS PLAT
 - ⑦ 15' PRIVATE ACCESS EASEMENT GRANTED TO, FOR THE BENEFIT OF, AND BE MAINTAINED BY THE OWNER OF LOT 2A BY THIS PLAT
 - ⑧ 10' P.U.E. TO BE GRANTED BY THIS PLAT

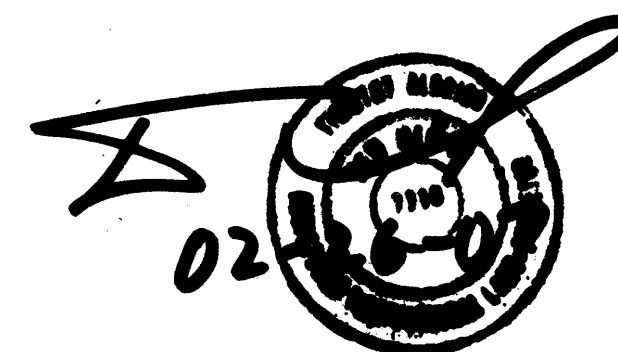
- PROPERTY CORNERS**
- FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP.)
 - FOUND CHISLED "+" IN CONC (TYP.)
 - △ FOUND 5/8" REBAR WITH ALUM. CAP "LS 7476" (TYP.)
 - FOUND 3/8" REBAR

NUMBER	DIRECTION	DISTANCE
L1	S 37°23'44" E	12.97
L2	N 67°20'35" E	4.86'
L3	S 72°29'47" E	16.98'
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BOUNDARY CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C2	25.00	41.81	27.68	37.11	S 06°20'10" W	95°49'20"

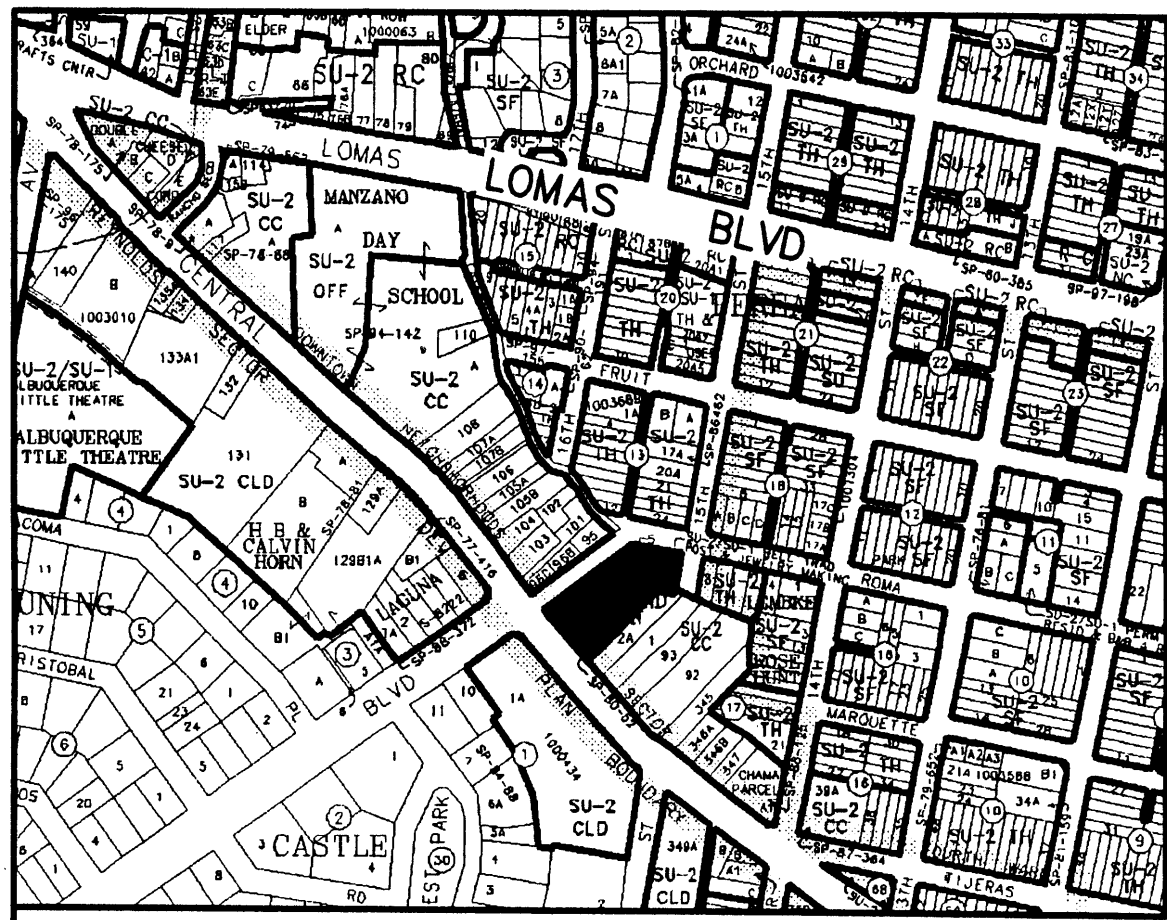


Drawn By: ECM Date: 03-15-02
 Checked By: TA Drawing Name: 97107PL3.DWG
 Job No.: 97-107 Sheet: 2 of 2



ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990



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all being records of Bernalillo County, New Mexico.
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- Title Report: None provided.
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- Utility Council Location System Log No.: 2008353313

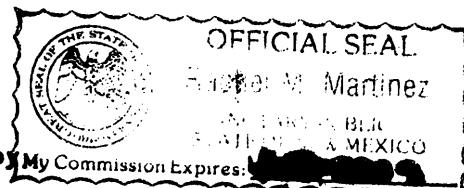
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Owner(s): FAMILY HOUSING DEVELOPMENT CORPORATION
 Rick E. Davis, President, FAMILY HOUSING DEVELOPMENT CORP. Date: 2/21/07

STATE OF NEW MEXICO)
 BERNALILLO COUNTY) SS

On this 21st day of February, 2006, this instrument was acknowledged by RICKY E. DAVIS, PRESIDENT OF FAMILY HOUSING CORPORATION
 Rachel M. Martinez, Notary Public My Commission Expires: [blank]



DESCRIPTION

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In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

REPLAT FOR
 TRACT A-1
 BELL TRADING POST LOFTS
 WITHIN THE
 TOWN OF ALBUQUERQUE GRANT
 PROJECTED SECTION 18
 TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2006

PROJECT NUMBER: _____
 Application Number: _____

PLAT APPROVAL

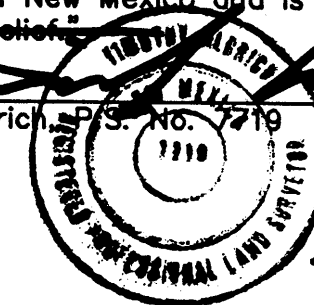
Utility Approvals:

PNM Electric Services Division	Date
PNM Gas Services Division	Date
Qwest	Date
Comcast	Date
City Approvals: <i>[Signature]</i>	3-7-07
City Surveyor	Date
Real Property Division	Date
Environmental Health Department	Date
Traffic Engineering, Transportation Division	Date
Albuquerque Bernalillo County Water Utility Department	Date
Parks and Recreation Department	Date
AMAFCA	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief."

[Signature] Timothy Aldrich, S. No. 7719 Date: 02-26-07



Drawn By: ECM	Date: 03-15-02
Checked By: TA	Drawing Name: 97107PL3.DWG
Job No.: 97-107	Sheet: 1 of 2

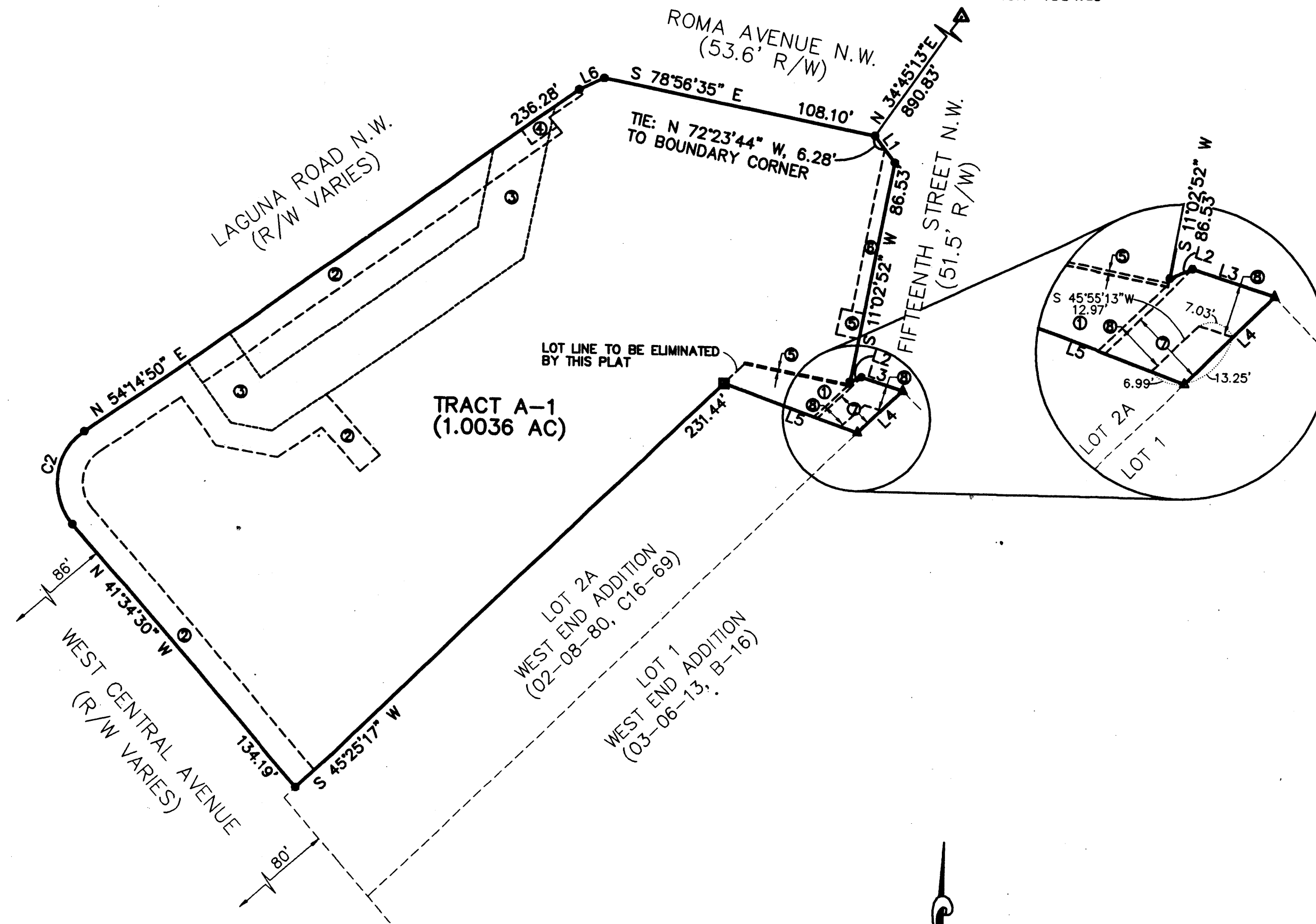
P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

PREVIOUS PRELIMINARY PLAT APPROVAL

M:\ACTIVE\DL\1304\dwg\04039PL2.dwg, 2/20/2007 11:19:47 AM

REPLAT FOR
 TRACT A-1
 BELL TRADING POST LOFTS
 WITHIN THE
 TOWN OF ALBUQUERQUE GRANT
 PROJECTED SECTION 18
 TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2006

ACS MONUMENT
 "12-J13"
 Y=1489212.34
 X=376922.94
 G-G=0.9996804
 Δα=-00°14'12"
 CENTRAL ZONE
 (NAD 1927/SLD1929)
 ELEVATION=4954.85



EASEMENTS

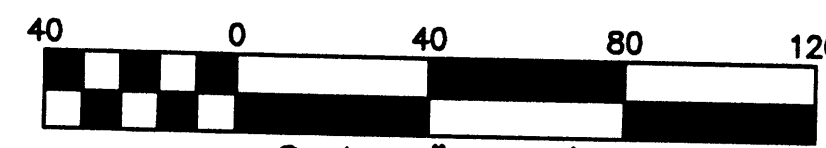
- ① EXISTING LIMITED SERVICE EASEMENT
(02-08-80, C16-69)
- ② EXISTING 10' PUE
(10-13-05, 05C-339)
- ③ EXISTING 20' PUBLIC WATERLINE EASEMENT
(10-13-05, 05C-339)
- ④ EXISTING 7x12 PUBLIC ACCESS EASEMENT
(10-13-05, 05C-339)
- ⑤ EXISTING P.U.E.
(10-13-05, 05C-339)
- ⑥ 5' P.U.E.
TO BE GRANTED BY THIS PLAT
- ⑦ 15' PRIVATE ACCESS EASEMENT
GRANTED TO, FOR THE BENEFIT OF,
AND BE MAINTAINED BY THE OWNER OF
LOT 2A BY THIS PLAT
- ⑧ 10' P.U.E.
TO BE GRANTED BY THIS PLAT

PROPERTY CORNERS

- FOUND 5/8" REBAR WITH CAP
"ALS LS 7719" (TYP.)
- FOUND CHISLED "+" IN CONC
(TYP.)
- ▲ FOUND 5/8" REBAR WITH ALUM.
CAP "LS 7476" (TYP.)
- FOUND 3/8" REBAR

NUMBER	DIRECTION	DISTANCE
L1	S 37°23'44" E	12.97
L2	N 67°20'35" E	4.86'
L3	S 72°29'47" E	16.98'
L4	S 45°29'27" W	24.57'
L5	N 70°06'38" W	55.72'
L6	N 65°09'37" E	10.92

BOUNDARY CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C2	25.00	41.81	27.68	37.11	S 06°20'10" W	95°49'20"



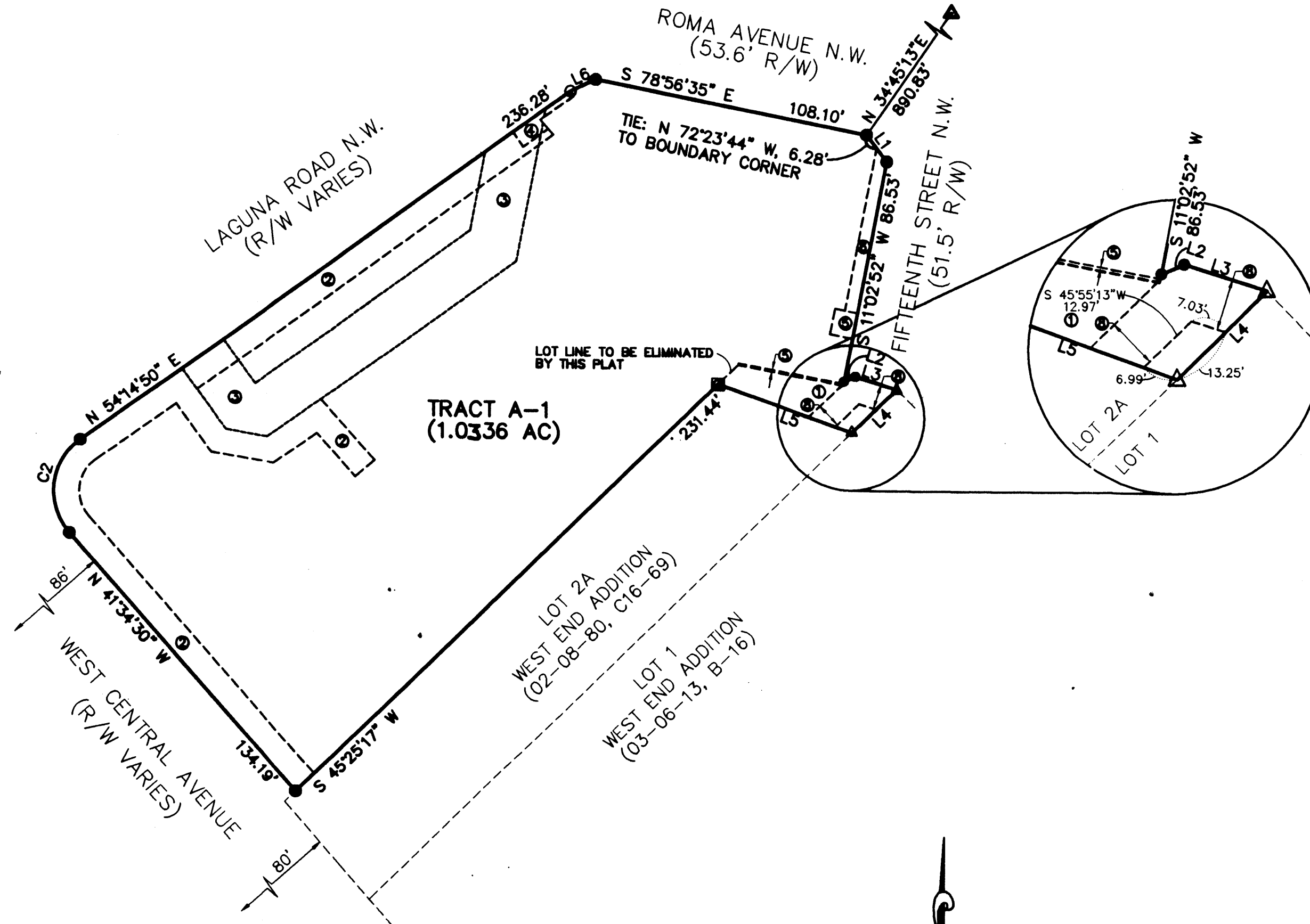
Drawn By:	ECM	Date:	03-15-02
Checked By:	TA	Drawing Name:	97107PL3.DWG
Job No.:	97-107	Sheet:	2 of 2

ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

REPLAT FOR
 TRACT A-1
 BELL TRADING POST LOFTS
 WITHIN THE
 TOWN OF ALBUQUERQUE GRANT
 PROJECTED SECTION 18
 TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 APRIL, 2007

ACS MONUMENT
 "12-J13"
 Y=1489212.34
 X=376922.94
 G-G=0.9996804
 Δα=-00'14"12"
 CENTRAL ZONE
 (NAD 1927/SLD1929)
 ELEVATION=4954.85

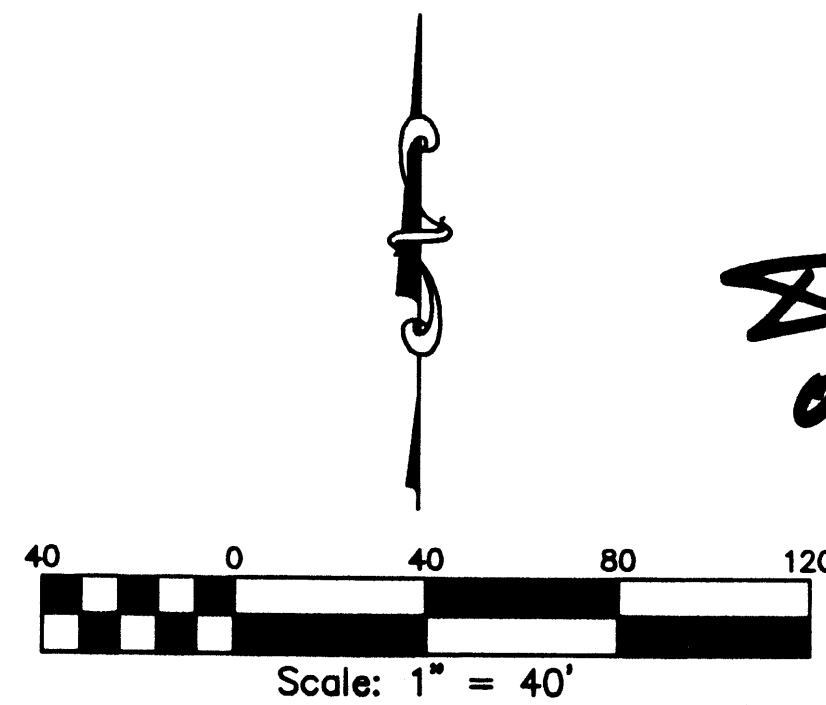


- EASEMENTS**
- ① EXISTING LIMITED SERVICE EASEMENT (02-08-80, C16-69)
 - ② EXISTING 10' PUE (10-13-05, 05C-339)
 - ③ EXISTING 20' PUBLIC WATERLINE EASEMENT (10-13-05, 05C-339)
 - ④ EXISTING 7x12 PUBLIC ACCESS EASEMENT (10-13-05, 05C-339)
 - ⑤ EXISTING P.U.E. (10-13-05, 05C-339)
 - ⑥ 5' P.U.E. TO BE GRANTED BY THIS PLAT
 - ⑦ NOT USED
 - ⑧ 10' P.U.E. TO BE GRANTED BY THIS PLAT

- PROPERTY CORNERS**
- FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP.)
 - FOUND CHISLED "+" IN CONC (TYP.)
 - ▲ FOUND 5/8" REBAR WITH ALUM. CAP "LS 7476" (TYP.)
 - FOUND 3/8" REBAR

NUMBER	DIRECTION	DISTANCE
L1	S 37°23'44" E	12.96'
L2	N 67°20'35" E	4.86'
L3	S 72°29'47" E	16.98'
L4	S 45°29'27" W	24.57'
L5	N 70°06'38" W	55.72'
L6	N 65°09'37" E	10.92'

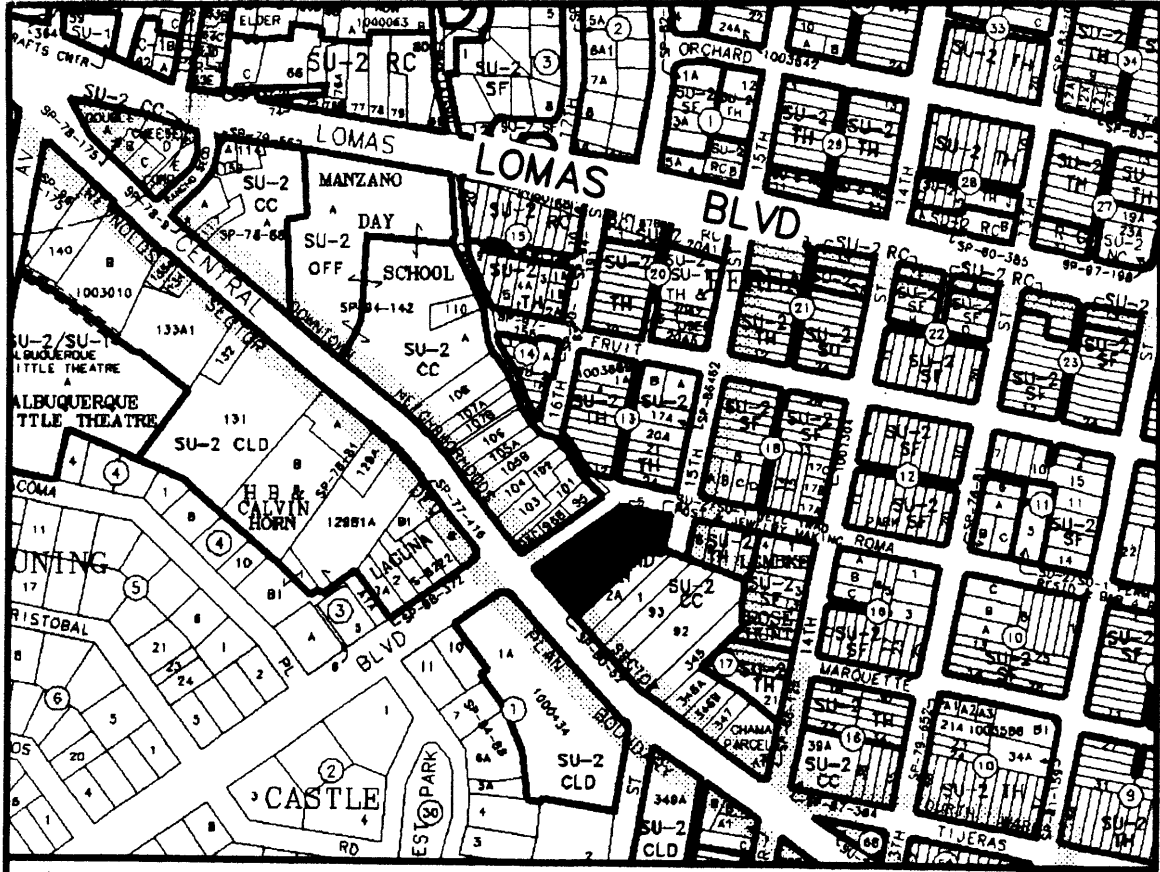
BOUNDARY CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C2	25.00	41.81	27.68	37.11	S 06°20'10" W	95°49'20"



Drawn By:	ECM	Date:	03-15-02
Checked By:	TA	Drawing Name:	97107PL3.DWG
Job No.:	97-107	Sheet:	2 of 2

ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990



LOCATION MAP 1"=750'

PURPOSE OF PLAT

1. To correct lots and distances as shown hereon.
2. To vacate lot line as shown hereon.
3. To grant easements as shown hereon.

SUBDIVISION DATA

1. Project No.: Application No.:
2. Zone Atlas Index No.: J-13-Z
3. Total Number of Existing Lots: 0
4. Total Number of Existing Tracts: 1
5. Total Number of Lots created: 0
6. Total Number of Tracts created: 1
7. Gross Subdivision Acreage: 1.0336

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parentheses are record.
4. Basis of boundary is from the plats of record entitled: "BELL TRADING POST LOFTS, TRACT A" (10-13-05, 05C-339) WARRANTY DEED (03-21-80, D116A-981) "WEST END ADDITION," (03-08-1913, B-16) "WEST END ADDITION," (02-08-80, C18-89) all being records of Bernalillo County, New Mexico.
5. Field Survey: performed January, 2002.
6. Title Report: None provided.
7. Address of Property: 1503 Central Avenue.
8. City of Albuquerque, New Mexico Zone: SU-2, SU-1 for residential, 24 units max with C-1.
9. Utility Council Location System Log No.: 2006353313

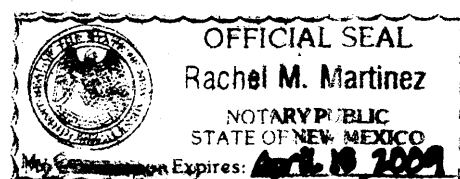
FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to the correction of lot distances and creation of Tract A-1 as shown hereon. Said owner(s) and/or proprietor(s) do hereby grant easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrants that (he/she) holds complete and in-defeasible title in fee simple to the land subdivided.

Owner(s): FAMILY HOUSING DEVELOPMENT CORPORATION
Ricky E. Davis 4/23/07
 RICKY E. DAVIS, PRESIDENT, FAMILY HOUSING DEVELOPMENT CORP. Date

STATE OF NEW MEXICO)
 BERNALILLO COUNTY) SS

On this 23rd day of APRIL, 2007, this instrument was acknowledged by RICKY E. DAVIS, PRESIDENT OF FAMILY HOUSING DEVELOPMENT CORPORATION
Rachel M. Martinez April 18, 2009
 Notary Public My Commission Expires



Doc# 2007094220
 Repl # 0000473 Page: 1 of 2 06/28/2007 08:36 AM
 PLAT R: \$12.00 B: 2007C P: 6171 N Toulouse, Bernalillo County

DESCRIPTION
 A tract of land situate within the Town of Albuquerque Grant, projected Section 18, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT A, BELL TRADING POST as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on October 13, 2005 in Book 2005C, Page 339 together with a WARRANTY DEED filed on March 21, 1980, Book D116A, Page 981 and being more particularly described as follows:
 BEGINNING at the northeast corner of the herein described tract from whence the Albuquerque Control Survey Monument "12-J13" bears N 34°45'13" E, 890.83 feet;
 THENCE S 37°23'44" E, 12.97 feet to a point;
 THENCE S 11°02'52" W, 86.53 feet to a point;
 THENCE N 67°20'35" E, 4.86 feet to a point;
 THENCE S 72°29'47" E, 16.98 feet to a point;
 THENCE S 45°29'27" W, 24.57 feet to a point;
 THENCE N 70°06'38" W, 55.72 feet to a point;
 THENCE S 45°25'17" W, 231.44 feet to the southeast corner;
 THENCE N 41°34'30" W, 134.19 feet to a point of curvature;
 THENCE 41.81 feet along a curve to right, whose radius is 25.00 feet through a central angle of 95°49'20" and whose chord bears S 06°20'10" W, 37.11 feet to a point of tangency;
 THENCE N 54°14'50" E, 236.28 feet to a point;
 THENCE N 65°09'37" E, 10.92 feet to a point;
 THENCE S 78°56'35" E, 108.10 feet to the point of beginning and containing 1.0336 acres more or less.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. THE PUBLIC SERVICE CO. OF NM--ELECTRIC SERVICES DIVISION FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF UNDERGROUND/OVERHEAD ELECTRICAL LINES, COMMUNICATION LINES, TRANSFORMERS, AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES, AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
3. COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
4. THE PUBLIC SERVICE CO. OF NM--GAS SERVICES DIVISION FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH DISTRIBUTION AND SERVICE LINES AND FACILITIES REASONABLY NECESSARY TO PROVIDE GAS SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS, OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 10130593010941313
 PROPERTY OWNER OF RECORD:
 FAMILY HOUSING DEVELOPMENT CORPORATION
 BERNALILLO COUNTY TREASURER'S OFFICE
 6-28-07

REPLAT FOR
 TRACT A-1
 BELL TRADING POST LOFTS
 WITHIN THE
 TOWN OF ALBUQUERQUE GRANT
 PROJECTED SECTION 18
 TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 APRIL, 2007

PROJECT NUMBER: 1003713
 Application Number: 07028-70064

PLAT APPROVAL

Utility Approvals:

Paul D. Muth 6-15-07
 PNM Electric Services Division Date
Paul D. Muth 6-15-07
 PNM Gas Services Division Date
Doreen B. Sahl 6/15/07
 Qwest Date
Susan Bulon 6-18-07
 Comcast Date

City Approvals:

John B. Bigham 6-13-07
 City Surveyor Date
N/A 6-27-07
 Real Property Division Date
N/A 6-27-07
 Environmental Health Department Date
Jim Ay 6-27-07
 Traffic Engineering, Transportation Division Date
Ronald Hee 6-27-07
 Albuquerque Bernalillo County Water Utility Department Date
Christina Dandora 6/27/07
 Parks and Recreation Department Date
Bradley S. Bingham 6/27/07
 AMAFCA Date
Bradley S. Bingham 6/27/07
 City Engineer Date
M. Watson 06/28/07
 DRB Chairperson, Planning Department Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge."



Timothy Aldrich 06/28/07
 Timothy Aldrich, P.S. No. 7719 Date

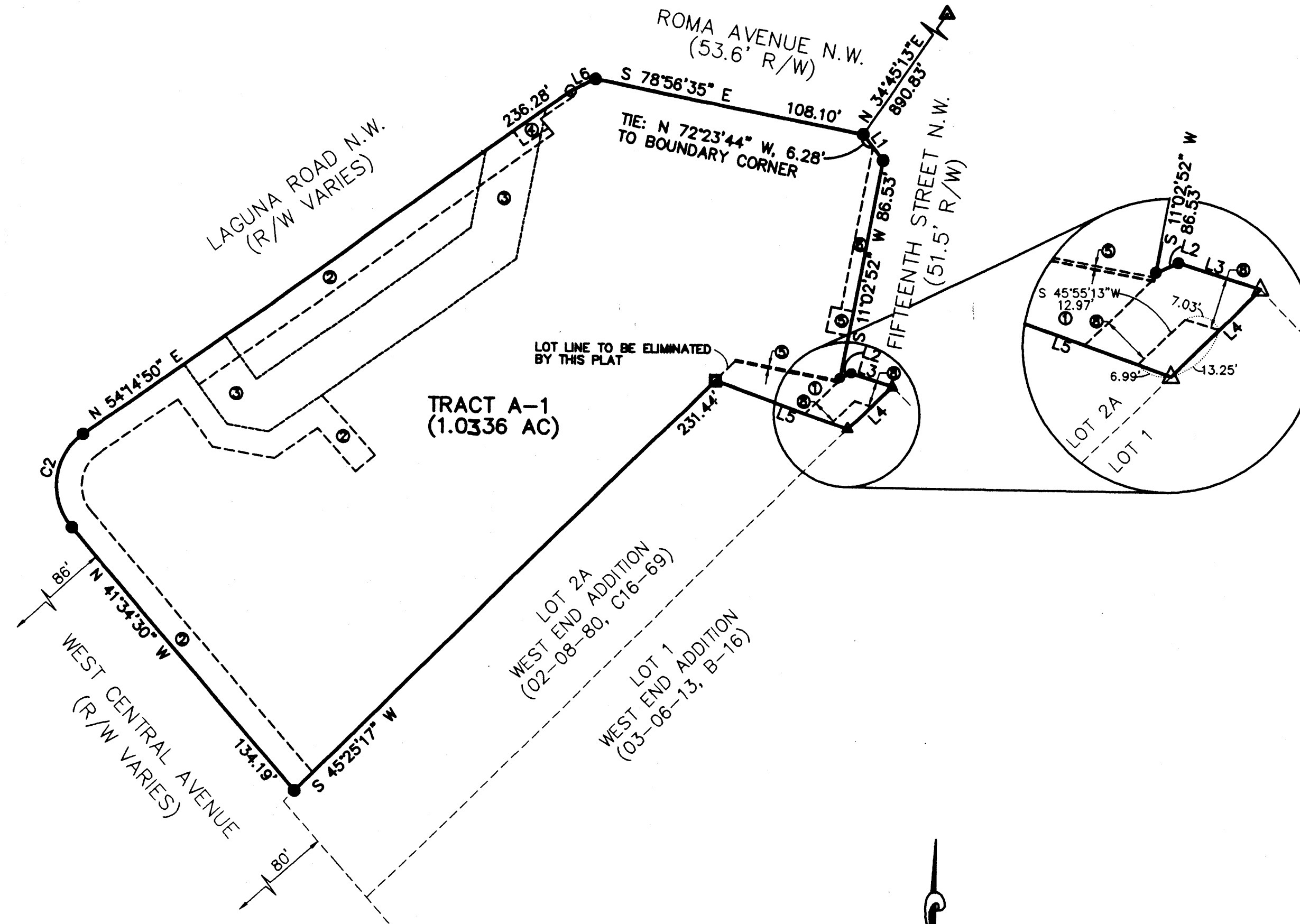


Drawn By:	ECM	Date:	03-15-02
Checked By:	TA	Drawing Name:	97107PL3.DWG
Job No.:	97-107	Sheet:	1 of 2

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

REPLAT FOR
 TRACT A-1
 BELL TRADING POST LOFTS
 WITHIN THE
 TOWN OF ALBUQUERQUE GRANT
 PROJECTED SECTION 18
 TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM
 CITY OF ALBUQUERQUE,
 BERNALILLO COUNTY, NEW MEXICO
 APRIL, 2007

ACS MONUMENT
 "12-J13"
 Y=1489212.34
 X=376922.94
 C-C=0.9996804
 Δα=-00°14'12"
 CENTRAL ZONE
 (NAD 1927/SLD1929)
 ELEVATION=4954.85



EASEMENTS

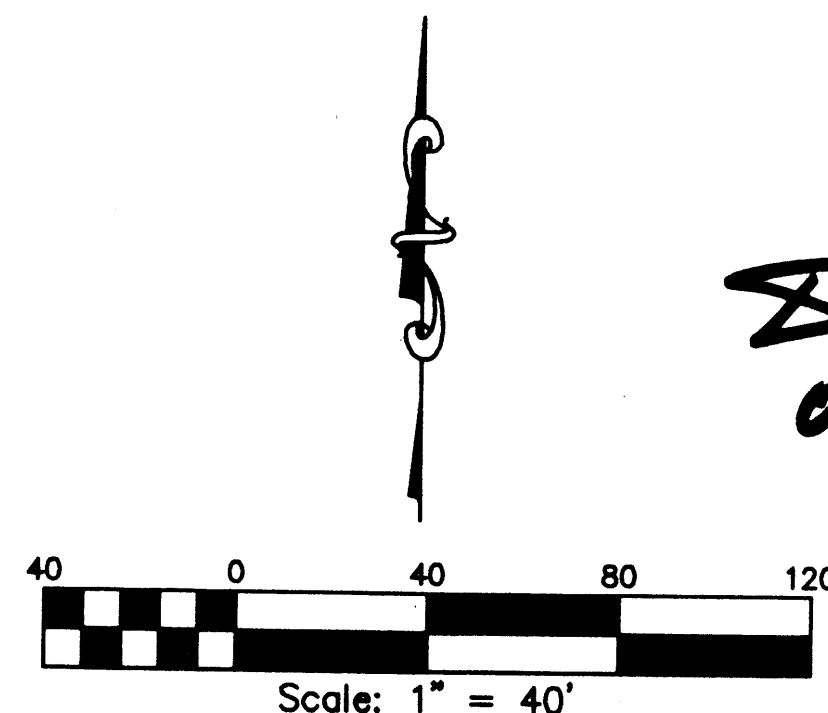
- ① EXISTING LIMITED SERVICE EASEMENT (02-08-80, C16-69)
- ② EXISTING 10' PUE (10-13-05, 05C-339)
- ③ EXISTING 20' PUBLIC WATERLINE EASEMENT (10-13-05, 05C-339)
- ④ EXISTING 7x12 PUBLIC ACCESS EASEMENT (10-13-05, 05C-339)
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- ⑥ 5' P.U.E. TO BE GRANTED BY THIS PLAT
- ⑦ NOT USED
- ⑧ 10' P.U.E. TO BE GRANTED BY THIS PLAT

PROPERTY CORNERS

- FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP.)
- FOUND CHISLED "+" IN CONC (TYP.)
- ▲ FOUND 5/8" REBAR WITH ALUM. CAP "LS 7476" (TYP.)
- FOUND 3/8" REBAR

NUMBER	DIRECTION	DISTANCE
L1	S 37°23'44" E	12.96'
L2	N 67°20'35" E	4.86'
L3	S 72°29'47" E	16.98'
L4	S 45°29'27" W	24.57'
L5	N 70°06'38" W	55.72'
L6	N 65°09'37" E	10.92'

BOUNDARY CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C2	25.00	41.81	27.68	37.11	S 06°20'10" W	95°49'20"



Drawn By: ECM Date: 03-15-02
 Checked By: TA Drawing Name: 97107PL3.DWG
 Job No.: 97-107 Sheet: 2 of 2

ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

TALOS LOG NO.: 2005 04 0818



J-13

VICINITY MAP

1"=750'±

SUBDIVISION DATA / NOTES

- Total Number of Existing Lots: 9
- Total Number of Lots created: 1
- Total Number of Tracts created: 0
- Gross Subdivision Acreage: 1.0155 Ac.
- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:
 - Plat of "PEREA ADDITION," (05-01-1891, C2-43)
 - Plat of "WEST END ADDITION," (03-06-1913, B-16)
 - Plat of "WEST END ADDITION," (02-08-80, C16-69)
- WARRANTY DEED (08-23-20, BK. 66, PG. 285) all being records of Bernalillo County, New Mexico.
- Field Survey performed on September, 2004
- Title Report: Provided by Fidelity National Title, Commitment No.: 01-1008742-B-VG (Effective Date: 02-16-01)
- Address of Property: 1503 CENTRAL AVE. N.W.
- Flood Zone Designation: Zone X, as shown on Panel 333 of 825, Flood Insurance Rate Map, City of Albuquerque, Bernalillo County, New Mexico, dated September 20, 1996. (This Property does not lie within the 100 Year Flood Plain.)
- Encroachments: None Apparent
- DEDICATED R.O.W.: 1,149.71 sf
VACATED R.O.W.: 1,466.29 sf
- EXISTING ZONING: SU-2, SU-1 FOR BELL TRADING POST & JEWELRY MAKING
PROPOSED ZONING: SU-2, SU-1 FOR RESIDENTIAL, 24 UNITS MAX. WITH C-1.



P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

1304PT1.DWGrfh 01/20/05

Barcode with text: Maru Herrera Bern. Co. PLRT R 12.89 2005151836 6347885 Page: 1 of 2 10/13/2005 10:14:48 Bk-2805C Pg-339

FINAL PLAT

FOR
TRACT A,
BELL TRADING POST LOFTS

BEING A REPLAT OF
BLOCK 19 LOTS 1 THRU 6
TOGETHER WITH
WEST END ADDITION LOTS 3A, 4 AND 5
WITHIN THE TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 18
TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY 2005

LEGAL DESCRIPTION

A tract of land situate within the Town of Albuquerque Grant, projected Section 18, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 3A, 4, and 5, WEST END ADDITION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 6, 1913 in Book B, Page 16 together with all of LOTS 1 THRU 6, BLOCK 19, PEREA ADDITION as the same is shown and designated on said plat filed for record in the office of the County clerk of Bernalillo County, New Mexico on February 8, 1980 in Book C16, Page 69 and containing (43,29) s.f.) 1.0060 acres more or less.

DISCLOSURE STATEMENT

The intent of this plat is to eliminate existing lot lines, vacate ROW, dedicate ROW and grant easements.

FREE CONSENT AND DEDICATION

The subdivision shown hereon is with the free consent and in accordance with the desires of the undersigned Owner(s) and/or Proprietor(s) thereof and said Owner(s) and/or Proprietor(s) do hereby dedicate additional public rights-of-way shown hereon to the City of Albuquerque in fee simple and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for overhead and/or buried distribution lines, conduits, and pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said Owner(s) and/or Proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

OWNER
CITY OF ALBUQUERQUE

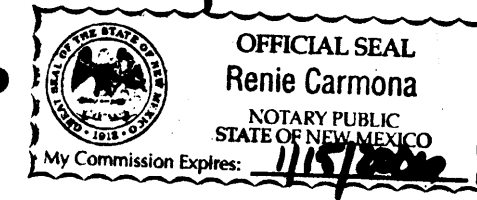
James B. Lewis
JAMES B. LEWIS
CHIEF ADMINISTRATIVE OFFICER

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on January 25, 2005, by JAMES B. LEWIS, CHIEF ADMINISTRATIVE OFFICER of the CITY OF ALBUQUERQUE

My Commission Expires: 1/15/2006
Renie Carmona
Notary Public



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 2110 Code # 10 *see attached*
PROPERTY OWNER OF RECORD
City of Albuquerque
BERNALILLO COUNTY TREASURER'S OFFICE
Haburg - 10/13/05

APPROVALS

- | | | |
|---|-------------------------|--|
| DRB PROJECT NO. | 1003713 | |
| APPLICATION NO. | 05-DRB-00147 | |
| Utility Approvals | 05 DRB - 00148 | |
| <i>Leah D. Mark</i> | | 2-18-05 <i>Leah</i>
DATE 10-10-05 |
| PNM ELECTRIC SERVICES DIVISION | | |
| <i>Leah D. Mark</i> | | 2-18-05 <i>Leah</i>
DATE 10-10-05 |
| PNM GAS SERVICES DIVISION | | |
| <i>Mandell Boyd</i> | | 2-22-05 <i>BOC</i>
DATE 10-10-05 |
| QWEST | | |
| <i>Kyrene Barber</i> | | 2-16-05 <i>Kyrene</i>
DATE 10-10-05 |
| COMCAST | | |
| City Approvals | | |
| <i>John B. Fink</i> | | 1-21-05
DATE |
| CITY SURVEYOR | | |
| <i>Duffin H. Hurd</i> | | 10-12-05
DATE |
| REAL PROPERTY DIVISION | | |
| <i>N/A</i> | | 10/12/05
DATE |
| ENVIRONMENTAL HEALTH DEPARTMENT | | |
| <i>Jeffrey</i> | | 11-12-05
DATE |
| TRANSPORTATION ENGINEERING, TRANSPORTATION DIVISION | | |
| <i>Roger A. Sheen</i> | | 10/12/05
DATE |
| UTILITIES DEVELOPMENT ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY | | |
| <i>Christina Sandoval</i> | | 10/12/05
DATE |
| PARKS AND RECREATION DEPARTMENT | | |
| <i>Bradley D. Bingham</i> | | 10/12/05
DATE |
| AMAFCA | | |
| <i>Bradley D. Bingham</i> | | 10/12/05
DATE |
| CITY ENGINEER | | |
| <i>D. Watson</i> | | 10/12/05
DATE |
| DRB CHAIRPERSON, PLANNING DEPARTMENT | | |

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions effective December 25, 1991, February 2, 1994 and October 2000), and is true and correct to the best of my knowledge and belief".

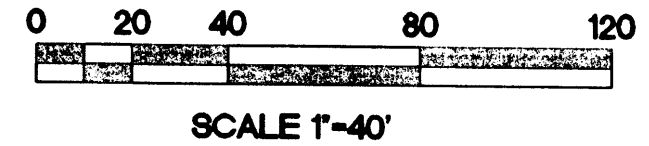


Timothy Aldrich
Timothy Aldrich, P.S. No. 7719
Date 10-21-05

FINAL PLAT FOR TRACT A, BELL TRADING POST LOFTS

BEING A REPLAT OF
BLOCK 19 LOTS 1 THRU 6
TOGETHER WITH
WEST END ADDITION LOTS 3A, 4 AND 5
WITHIN THE TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 18
TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY 2005

2005151836
6347865
Page: 2 of 2
10/13/2005 10:14A
Bk-2005C Pg-339



NUMBER	DIRECTION	DISTANCE
L2	N 65°09'37" E	12.49
L3	S 37°23'44" E	12.97

BOUNDARY CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C2	25.00	41.81	27.68	37.11	S 06°20'10" W	95°49'20"

PROPERTY CORNERS

- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP.)
- FOUND CHISLED "+" IN CONC (TYP.)
- FOUND 1/2" REBAR WITH CAP "LS 7476" (TYP.)

EASEMENT NOTES:

- ① EXISTING LIMITED SERVICE EASEMENT (02-08-80, C16-69)

ACS MONUMENT
"12-J13"
Y=1489212.34
X=376922.94
G-G=0.9996804
Δα=-00°14'12"
CENTRAL ZONE
(NAD 1927/SLD1929)
ELEVATION=4954.85

PUBLIC UTILITY EASEMENTS

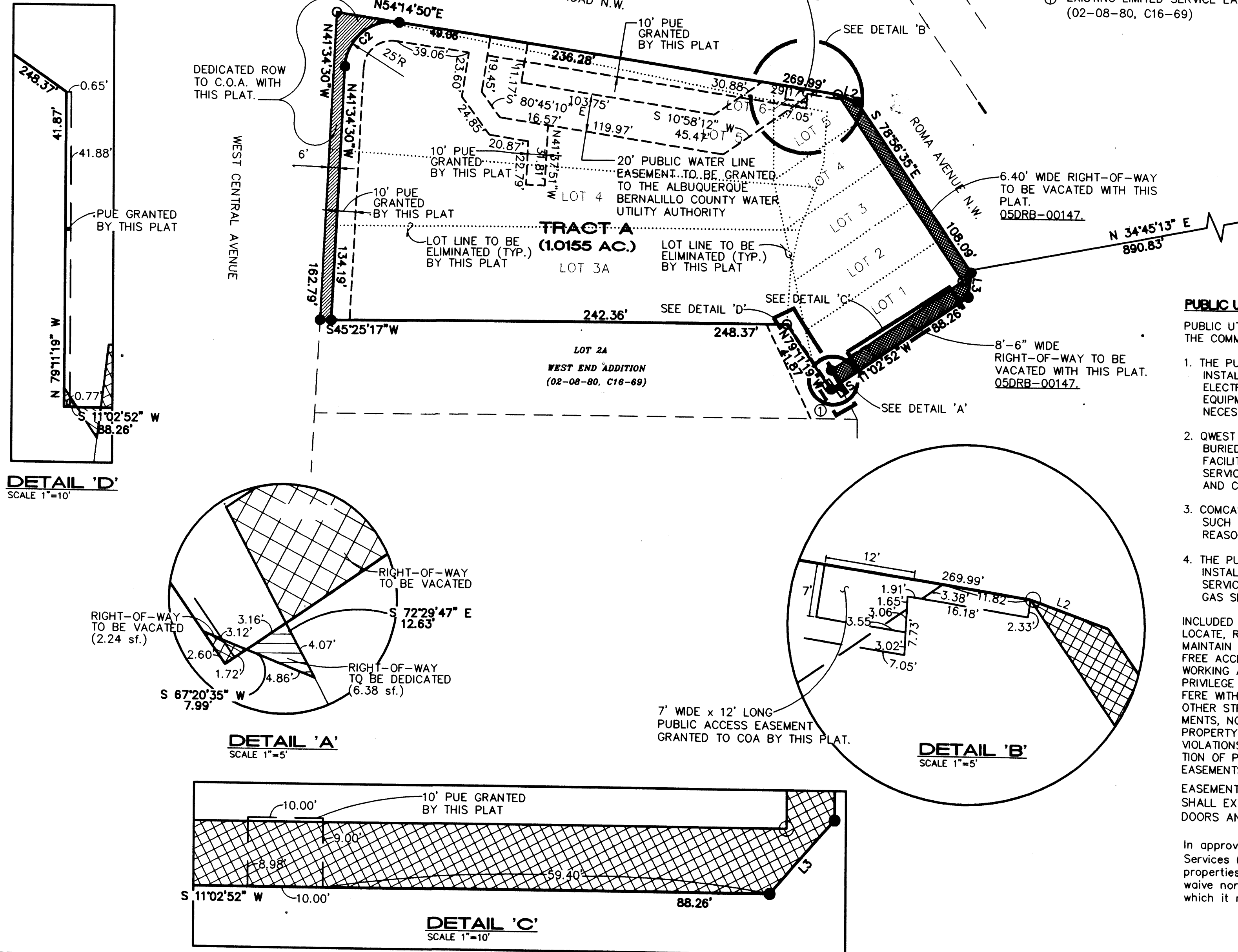
PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. THE PUBLIC SERVICE CO. OF NM--ELECTRIC SERVICES DIVISION FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF UNDERGROUND/OVERHEAD ELECTRICAL LINES, COMMUNICATION LINES, TRANSFORMERS, AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES, AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
3. COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
4. THE PUBLIC SERVICE CO. OF NM--GAS SERVICES DIVISION FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH DISTRIBUTION AND SERVICE LINES AND FACILITIES REASONABLY NECESSARY TO PROVIDE GAS SERVICE.

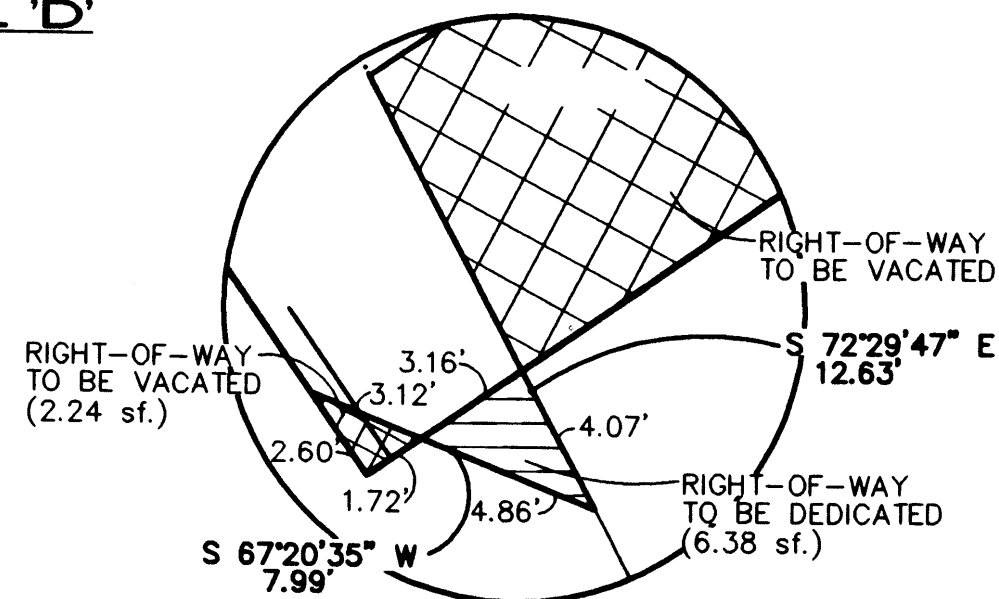
INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS, OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE FEET (5') ON EACH SIDE.

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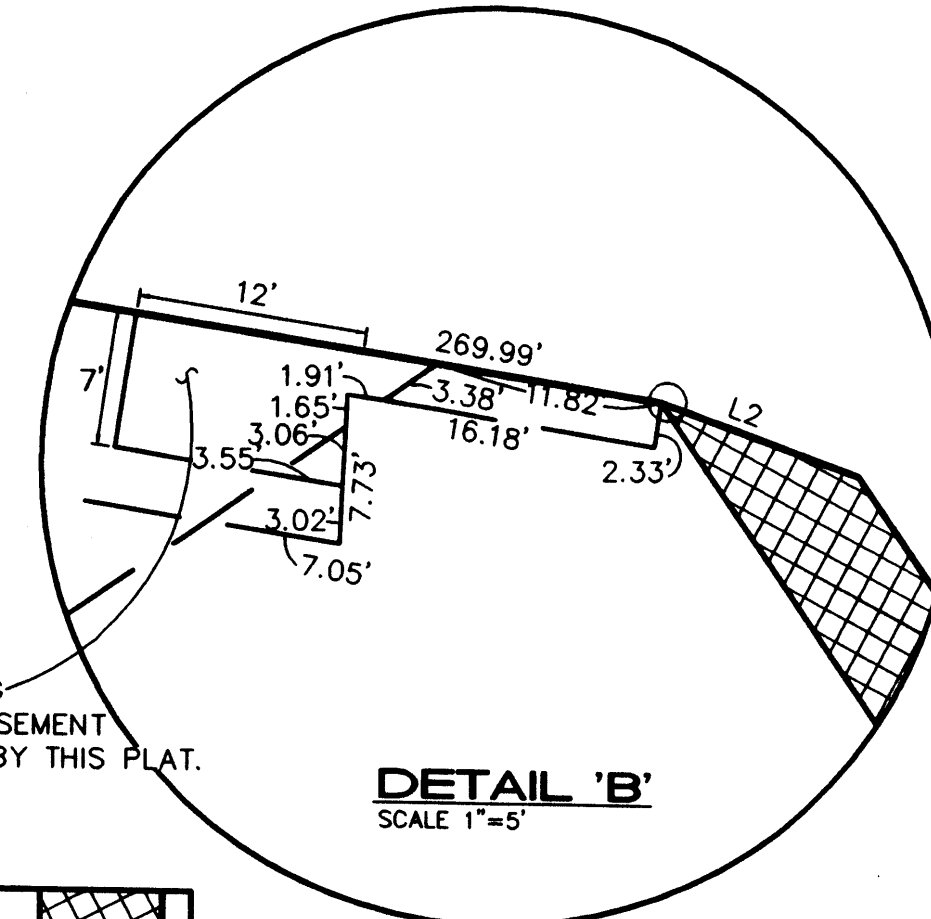


DETAIL 'D'
SCALE 1"=10'

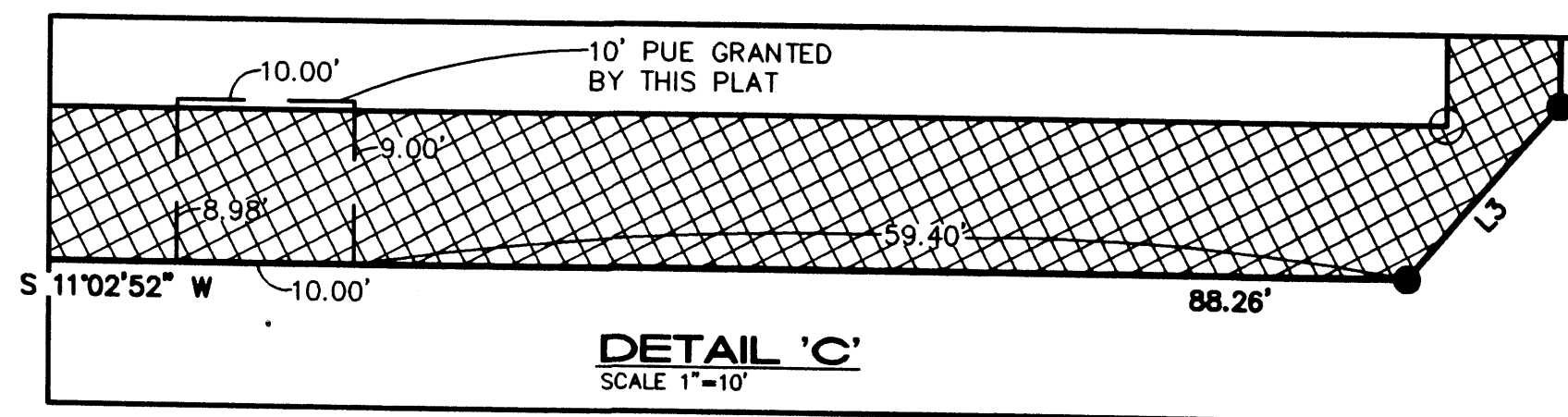


DETAIL 'A'
SCALE 1"=5'

7' WIDE x 12' LONG
PUBLIC ACCESS EASEMENT
GRANTED TO COA BY THIS PLAT.



DETAIL 'B'
SCALE 1"=5'



DETAIL 'C'
SCALE 1"=10'

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1304PT1.DWGthor 07.27.05

FINAL PLAT

FOR

TRACT A, BELL TRADING POST LOFTS

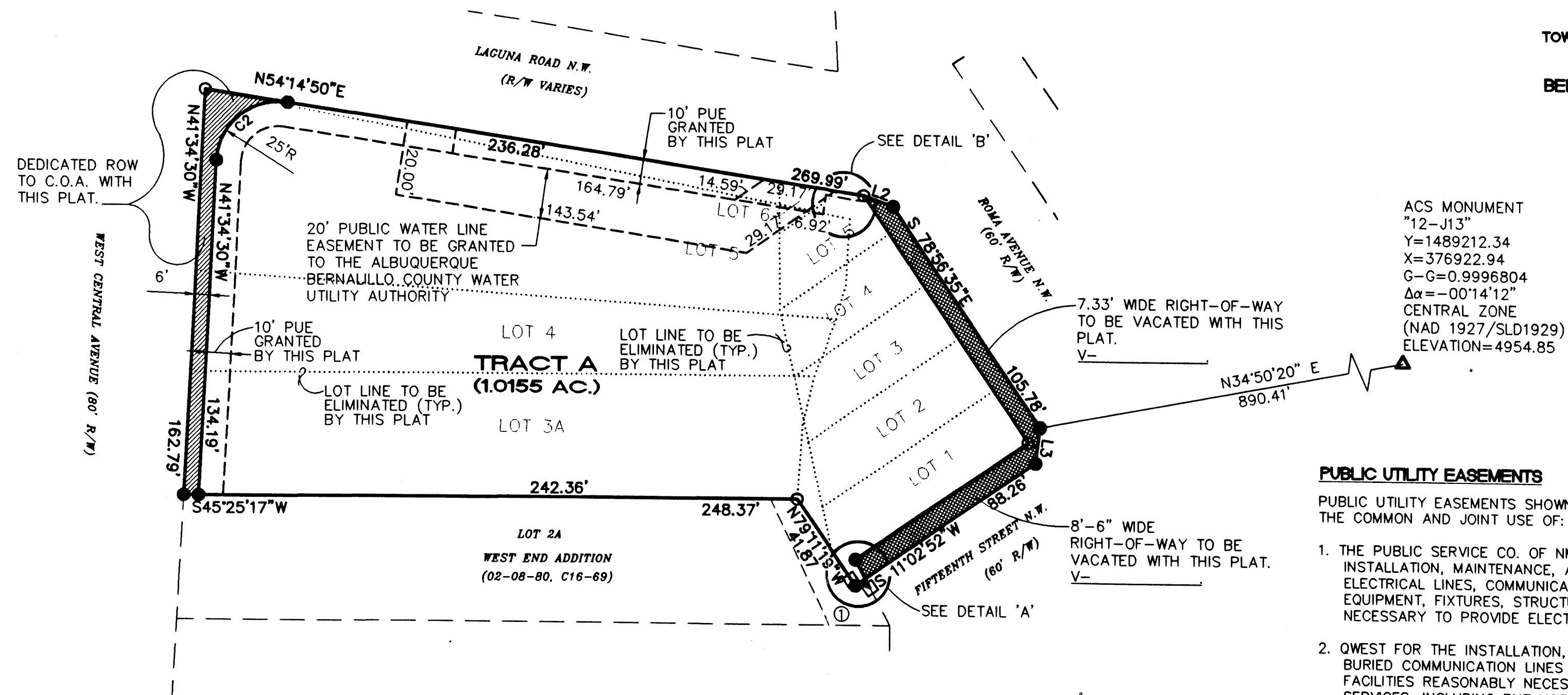
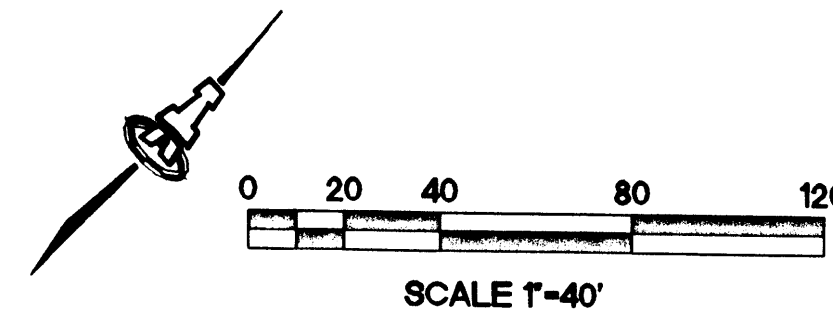
BEING A REPLAT OF
BLOCK 19 LOTS 1 THRU 7
TOGETHER WITH
WEST END ADDITION LOTS 3A, 4 AND 5
WITHIN THE TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 18
TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY 2005

NUMBER	DIRECTION	DISTANCE
L2	N 65°09'37" E	12.49
L3	S 37°23'44" E	14.36

BOUNDARY CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C2	25.00	41.81	27.68	37.11	S 06°20'10" W	95°49'20"

PROPERTY CORNERS

- SET 5/8" REBAR WITH CAP
"ALS LS 7719" (TYP.)
- FOUND CHISLED "+" IN CONC
(TYP.)
- FOUND 1/2" REBAR WITH CAP
"LS 7476" (TYP.)



ACS MONUMENT
"12-J13"
Y=1489212.34
X=376922.94
G-G=0.9996804
 $\Delta\alpha = -00^{\circ}14'12''$
CENTRAL ZONE
(NAD 1927/SLD1929)
ELEVATION=4954.85

PUBLIC UTILITY EASEMENTS

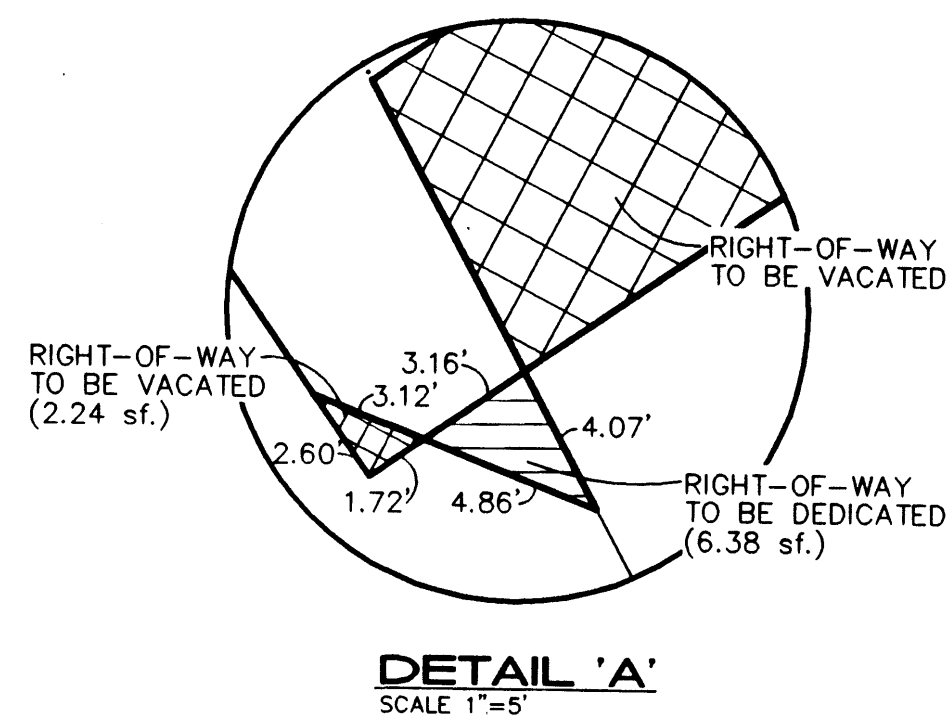
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3. COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
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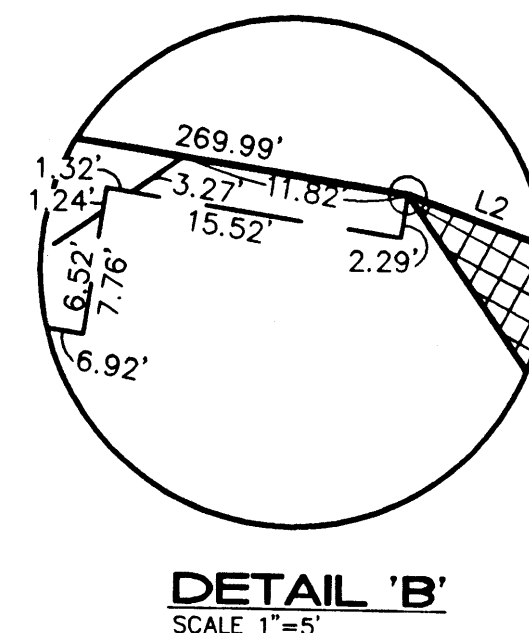
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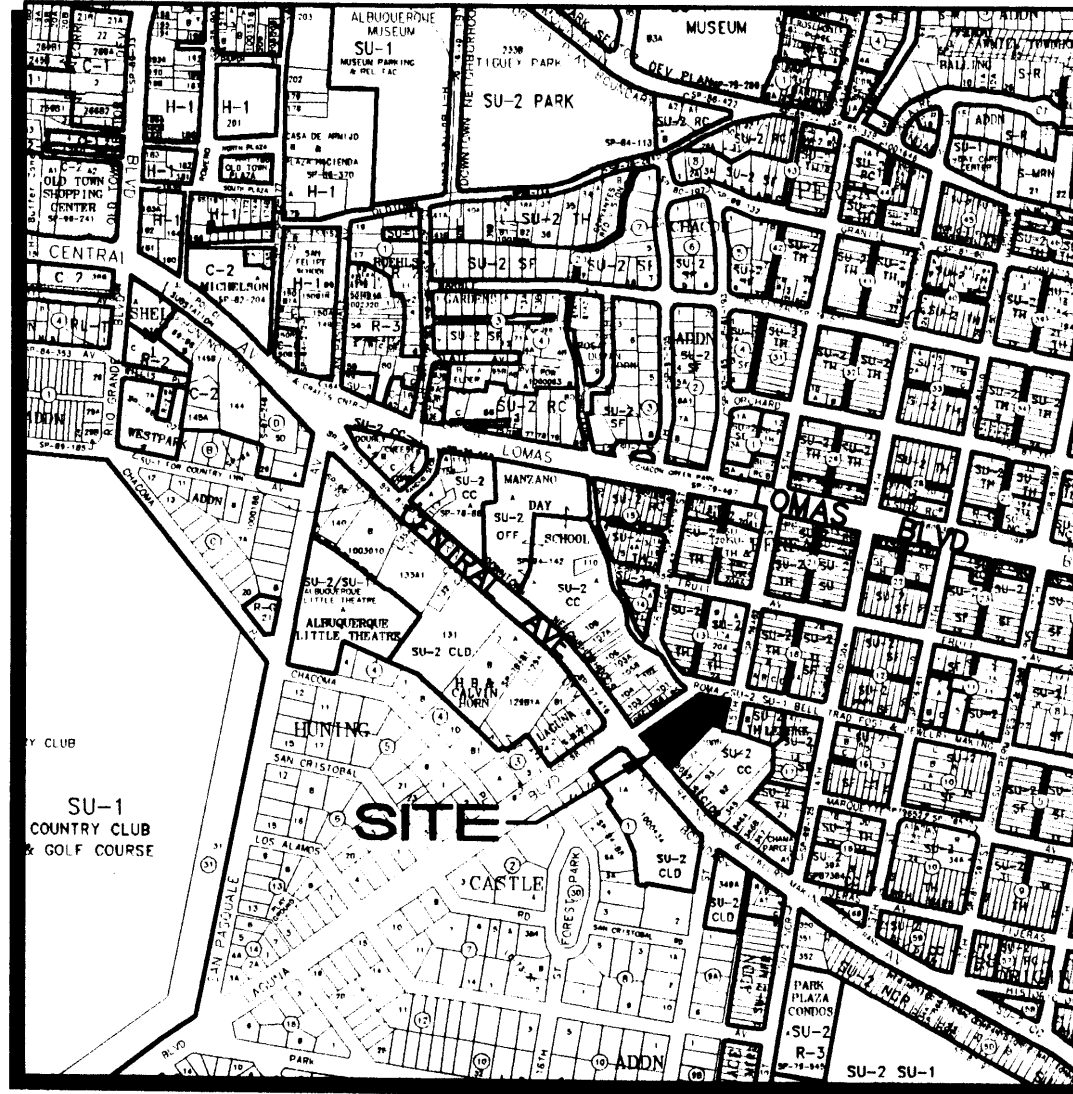


EASEMENT NOTES:

- ① EXISTING LIMITED SERVICE EASEMENT
(02-08-80, C16-69)



TALOS LOG NO.: 2005 04 0818



J-13

1"=750'±

VICINITY MAP

SUBDIVISION DATA / NOTES

- Total Number of Existing Lots: 9
- Total Number of Lots created: 1
- Total Number of Tracts created: 0
- Gross Subdivision Acreage: 1.0155 Ac.
- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:
 - Plat of "PEREA ADDITION," (05-01-1891, C2-43)
 - Plat of "WEST END ADDITION," (03-06-1913, B-16)
 - Plat of "WEST END ADDITION," (02-08-80, C16-69)
- WARRANTY DEED (08-23-20, BK. 66, PG. 285) all being records of Bernalillo County, New Mexico.
- Field Survey performed on September, 2004
- Title Report: Provided by Fidelity National Title, Commitment No.: 01-1008742-B-VG (Effective Date: 02-16-01)
- Address of Property: 1503 CENTRAL AVE. N.W.
- Flood Zone Designation: Zone X, as shown on Panel 333 of 825, Flood Insurance Rate Map, City of Albuquerque, Bernalillo County, New Mexico, dated September 20, 1996. (This Property does not lie within the 100 Year Flood Plain.)
- Encroachments: None Apparent
- DEDICATED R.O.W.: 1,149.75F
VACATED R.O.W.: 1,565.07F
- EXISTING ZONING: SU-2, SU-1 FOR BELL TRADING POST & JEWELRY MAKING
PROPOSED ZONING: SU-2, SU-1 FOR RESIDENTIAL, 24 UNITS MAX. WITH C-1.



P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

1304PT1.DWG.rth 01/20/05

LEGAL DESCRIPTION

A tract of land situate within the Town of Albuquerque Grant, projected Section 18, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 3A, 4, and 5, WEST END ADDITION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 6, 1913 in Book B, Page 16 together with all of LOTS 1 THRU 6, BLOCK 19, PEREA ADDITION as the same is shown and designated on said plat filed for record in the office of the County clerk of Bernalillo County, New Mexico on February 8, 1980 in Book C16, Page 69 and containing (43,82) s.f.) 1.0060 acres more or less.

DISCLOSURE STATEMENT

The intent of this plat is to eliminate existing lot lines, vacate ROW, dedicate ROW and grant easements.

FREE CONSENT AND DEDICATION

The subdivision shown hereon is with the free consent and in accordance with the desires of the undersigned Owner(s) and/or Proprietor(s) thereof and said Owner(s) and/or Proprietor(s) do hereby dedicate additional public rights-of-way shown hereon to the City of Albuquerque in fee simple and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for overhead and/or buried distribution lines, conduits, and pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said Owner(s) and/or Proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

OWNER

CITY OF ALBUQUERQUE

James B. Lewis
JAMES B. LEWIS
CHIEF ADMINISTRATIVE OFFICER

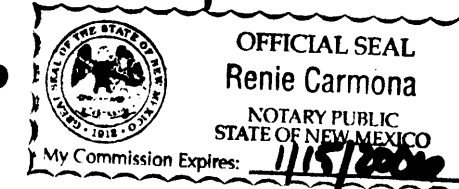
ACKNOWLEDGMENT

STATE OF NEW MEXICO)

COUNTY OF BERNALILLO)

This instrument was acknowledged before me on January 25 2005, by JAMES B. LEWIS, CHIEF ADMINISTRATIVE OFFICER of the CITY OF ALBUQUERQUE

My Commission Expires: 1/15/2006
Renie Carmona
Renie Carmona
Notary Public



PRELIMINARY

PLAT

FOR TRACT A, BELL TRADING POST LOFTS

BEING A REPLAT OF BLOCK 19 LOTS 1 THRU 7

TOGETHER WITH WEST END ADDITION LOTS 3A, 4 AND 5

PRELIMINARY PLAT APPROVED BY DRB ON 2/23/05 WITHIN THE TOWN OF ALBUQUERQUE GRANT PROJECTED SECTION 18 TOWNSHIP 10 NORTH, RANGE 3 EAST, NM PM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO JANUARY 2005

APPROVALS

DRB PROJECT NO. 1003713
APPLICATION NO. 05 DRB - 00147
Utility Approvals 05 DRB - 00148
05 DRB - 00149

PNM ELECTRIC SERVICES DIVISION DATE

PNM GAS SERVICES DIVISION DATE

QWEST DATE

Kenneth Barber
COMCAST DATE 2-16-05

City Approvals
Th. B. Paul
CITY SURVEYOR DATE 1-21-05

REAL PROPERTY DIVISION DATE

ENVIRONMENTAL HEALTH DEPARTMENT DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

UTILITIES DEVELOPMENT DATE

PARKS AND RECREATION DEPARTMENT DATE

AMAFCA DATE

CITY ENGINEER DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions effective December 25, 1991, February 2, 1994 and October 2000), and is true and correct to the best of my knowledge and belief".



Timothy Aldrich
Timothy Aldrich, P.S. No. 7719 Date 1-21-05

FINAL PLAT

FOR

TRACT A, BELL TRADING POST LOFTS

BEING A REPLAT OF
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TOGETHER WITH
WEST END ADDITION LOTS 3A, 4 AND 5
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JANUARY 2005

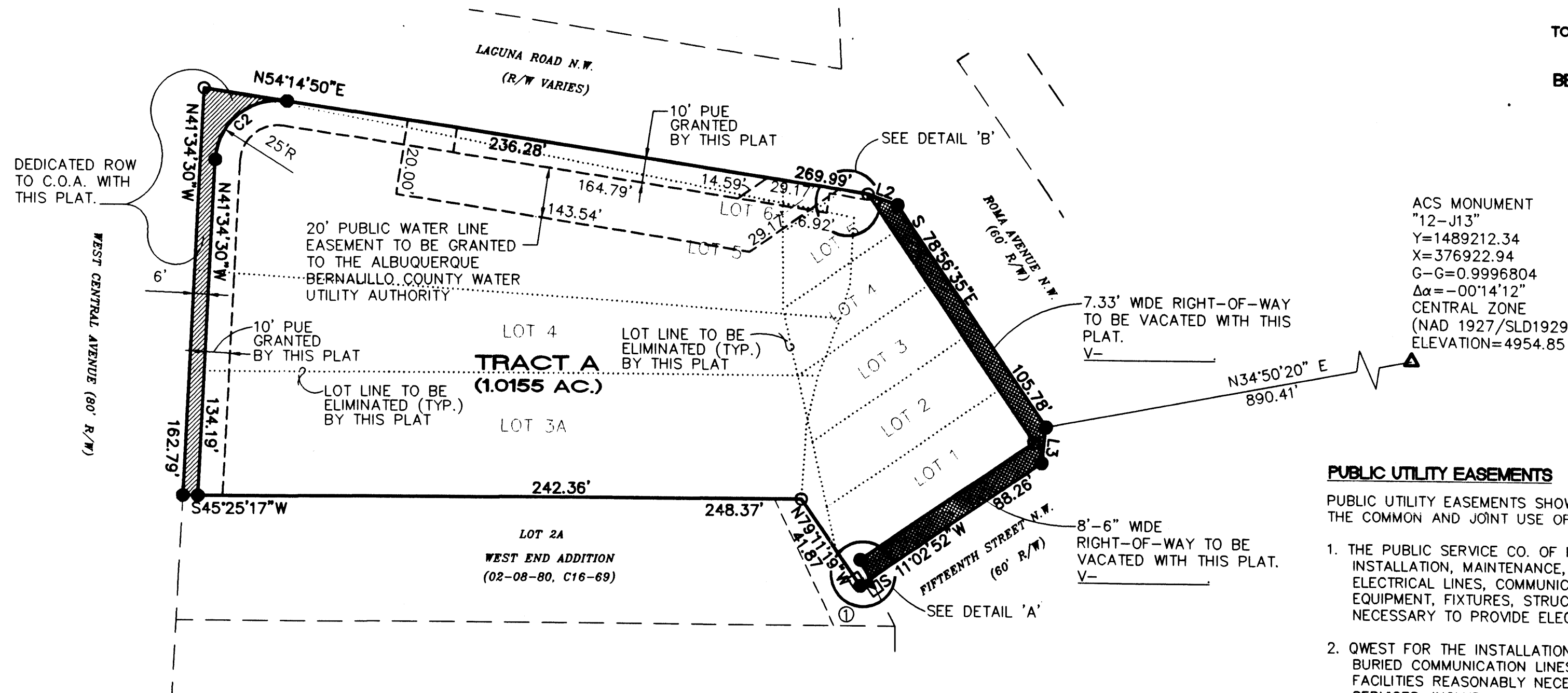
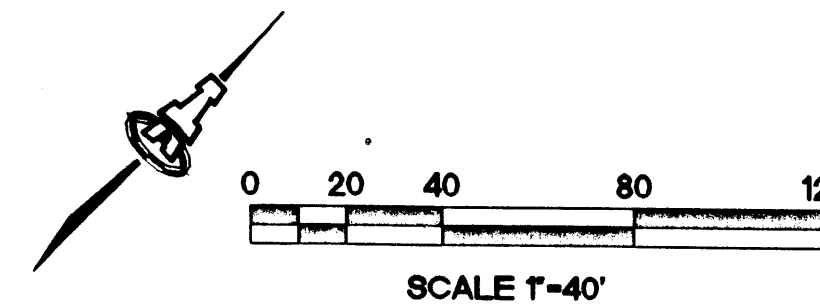
VACATION EXHIBIT
EXHIBIT B
2/23/05

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X=376922.94
G-G=0.9996804
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(NAD 1927/SLD1929)
ELEVATION=4954.85

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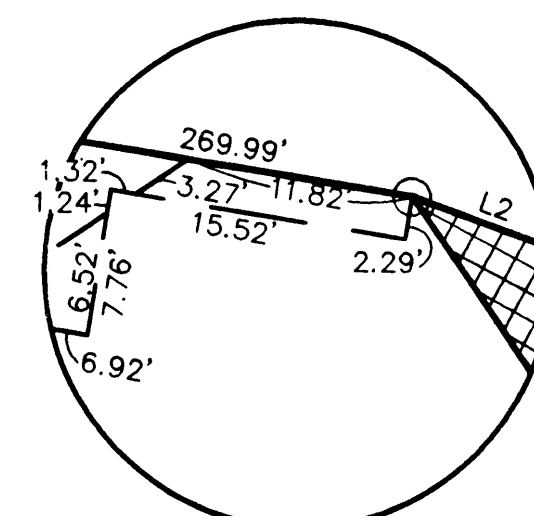
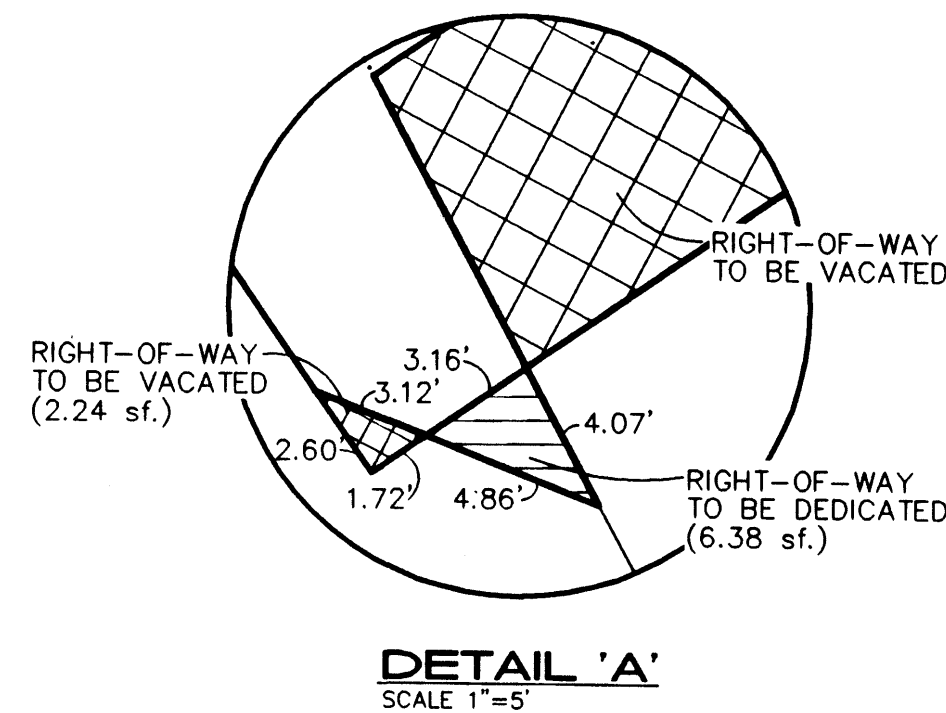
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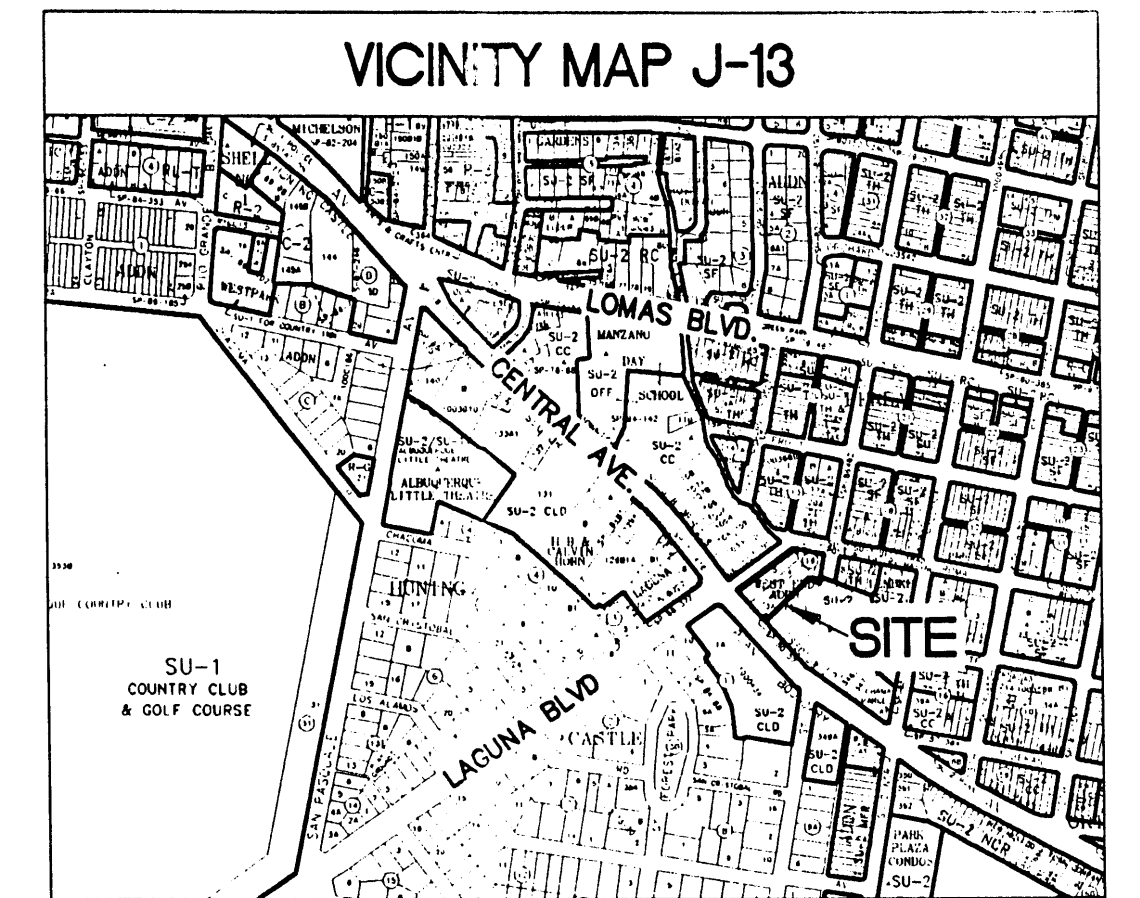
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EASEMENT NOTES:

- ① EXISTING LIMITED SERVICE EASEMENT (02-08-80, C16-69)





GENERAL INFORMATION

THIS SITE IS A CURRENTLY DEVELOPED PROPERTY LOCATED IN AN AREA THAT IS FULLY DEVELOPED.

IMPROVEMENTS INCLUDE RENOVATION OF AN EXISTING BUILDING WITH ASSOCIATED PARKING AND LANDSCAPING IMPROVEMENTS.

CALCULATIONS FOR THE 100-YEAR, 6-HOUR STORM EVENT (THIS SHEET) SHOW AN INSIGNIFICANT INCREASE IN FLOW DUE TO DEVELOPMENT OF 0.3 CFS. THE DEVELOPED FLOW WILL CONTINUE TO FREE DISCHARGE TO LAGUNA ROAD, WEST CENTRAL AVENUE AND ROMA AVENUE TO ENTER EXISTING PUBLIC STORM DRAIN INLETS AT THE NORTHEAST AND SOUTHWEST CORNERS OF THE PROPERTY.

MINOR DISCHARGE CURRENTLY DRAINING EAST TO THE ADJACENT PROPERTY WILL BE REDIRECTED TO ROMA AVENUE.

BENCHMARK:
ACS BRASS CAP STAMPED "12-113" NORTHWEST QUADRANT OF THE INTERSECTION OF 14TH STREET N.W. AND LOMAS AVENUE N.W. GEOGRAPHIC POSITION (NAD 1927), IN FEET N.M. STATE PLANE COORDINATES (CENTRAL ZONE) X=376,922.94 Y=1,489,212.34 ELEVATION=4954.85 (NGVD29) IN FEET

LEGAL:
A PORTION OF AN ABANDONED AND OBLITERATED ACEQUIA TOGETHER WITH PORTIONS OF LOTS 1, 2, 3, 4, 5, AND 6, BLOCK 19, PEREA ADDITION A PORTION OF LOT 2A, EASEMENT, WEST END ADDITION LOTS 3A, 4, AND 5, WEST ADDITION, CITY OF ALBUQUERQUE PROJECTED SECTION 18 T. 10 N., R. 3 E., NMPM TOWN OF ALBUQUERQUE LAND GRANT BERNALILLO COUNTY, NEW MEXICO OCTOBER-DECEMBER 1993

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- 53.5 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 6881.0 FINISH FLOOR ELEVATION
- SIDEWALK CULVERT
- TC 81.9 TOP OF CURB ELEVATION
- FL 81.4 FLOWLINE

FOR INFORMATION ONLY

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1304GRD.DWGdlp 10.19.05

BELL TRADING POST LOFTS
FHDC

GRADING & DRAINAGE PLAN

Checked By:	Drawn By:	No.	Revision	C-1
ALDN	BUB			
Date:	Job Number:			SH. 3 OF 6
01/21/05	1304			

CALCULATIONS: 1304 Bell Trading Post : October 6, 2004

Calculations are based on the Drainage Design Criteria for City of Albuquerque, Section 22.2, DPM, Vol.2, dated Jan., 1993

ON-SITE	
AREA OF SITE:	43767 SF = 1.005 Ac.

HISTORIC FLOWS:		DEVELOPED FLOWS:		EXCESS PRECIPITATION:	
On-Site Historic Land Condition	On-Site Developed Land Condition	Area a = 0 SF	Area a = 0 SF	Area a = 0 SF	Area a = 0 SF
Area b = 0 SF	Area b = 2063 SF	Area b = 0 SF	Area b = 2063 SF	Area b = 0 SF	Area b = 2063 SF
Area c = 13420 SF	Area c = 2050 SF	Area c = 13420 SF	Area c = 2050 SF	Area c = 13420 SF	Area c = 2050 SF
Area d = 30718 SF	Area d = 40025 SF	Area d = 30718 SF	Area d = 40025 SF	Area d = 30718 SF	Area d = 40025 SF
Total Area = 44138 SF	Total Area = 44138 SF	Total Area = 44138 SF	Total Area = 44138 SF	Total Area = 44138 SF	Total Area = 44138 SF

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

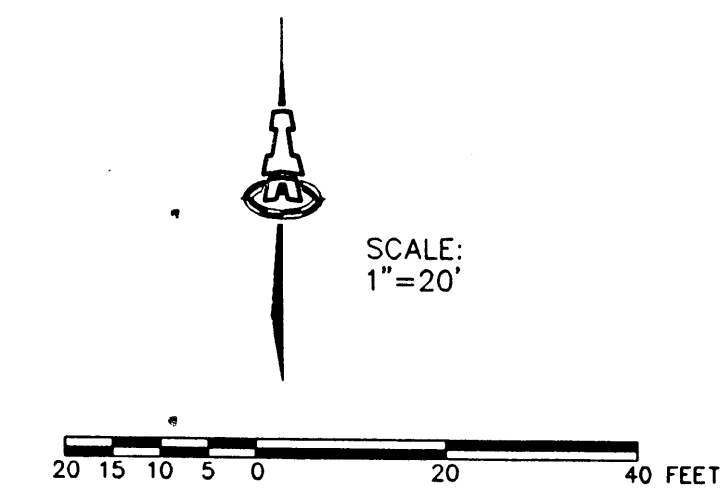
Weighted E = $\frac{EaAa + EbAb + EcAc + EdAd}{Aa + Ab + Ac + Ad}$

Historic E = 1.82 in	Developed E = 2.01 in
On-Site Volume of Runoff V360 = 6991 CF	Developed V360 = 7398 CF
Historic V360 = 6991 CF	Developed V360 = 7398 CF
On-Site Peak Discharge Rate: Qp = QpaAa + QpbAb + QpcAc + QpdAd / 43,560	
For Precipitation Zone 2	
Qpa = 1.56	Qpc = 3.14
Qpb = 2.28	Qpd = 4.70
Historic Qp = 4.3 CFS	Developed Qp = 4.6 CFS

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985, UPDATE 7.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		



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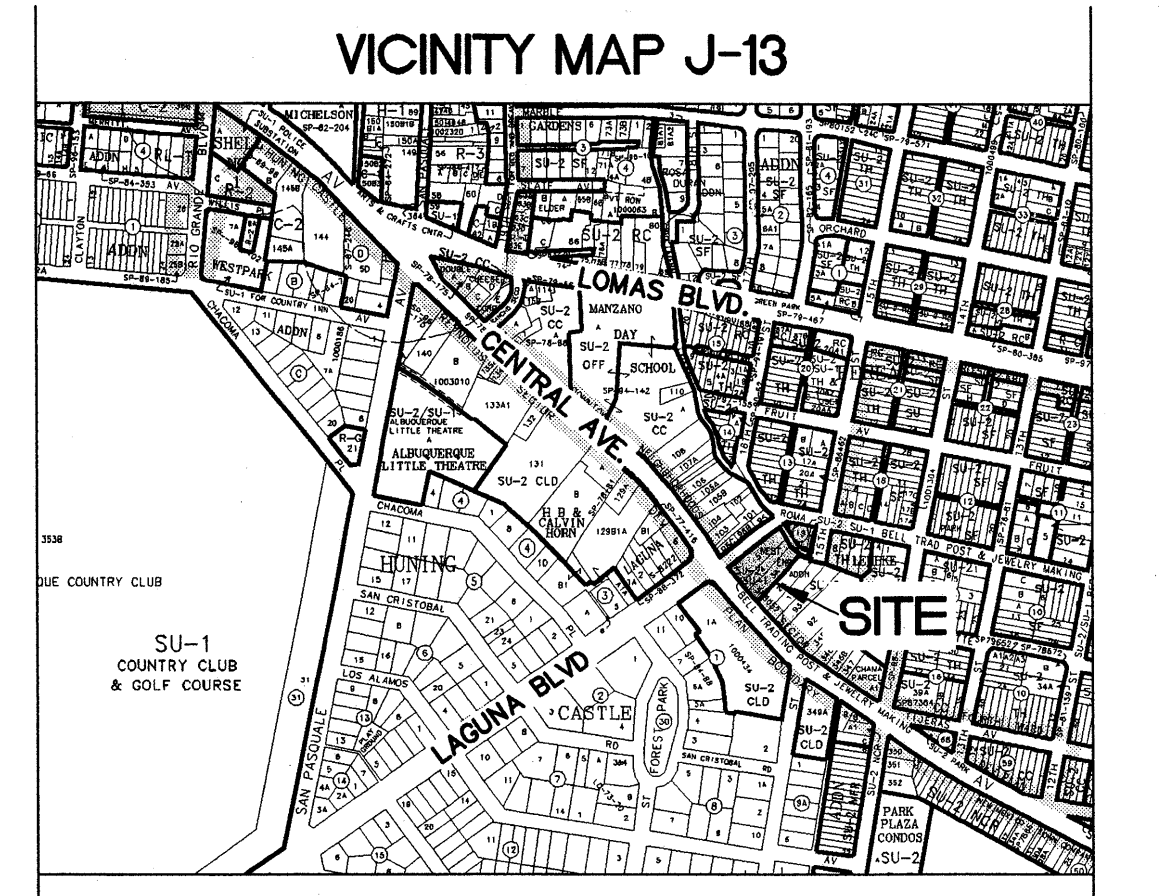
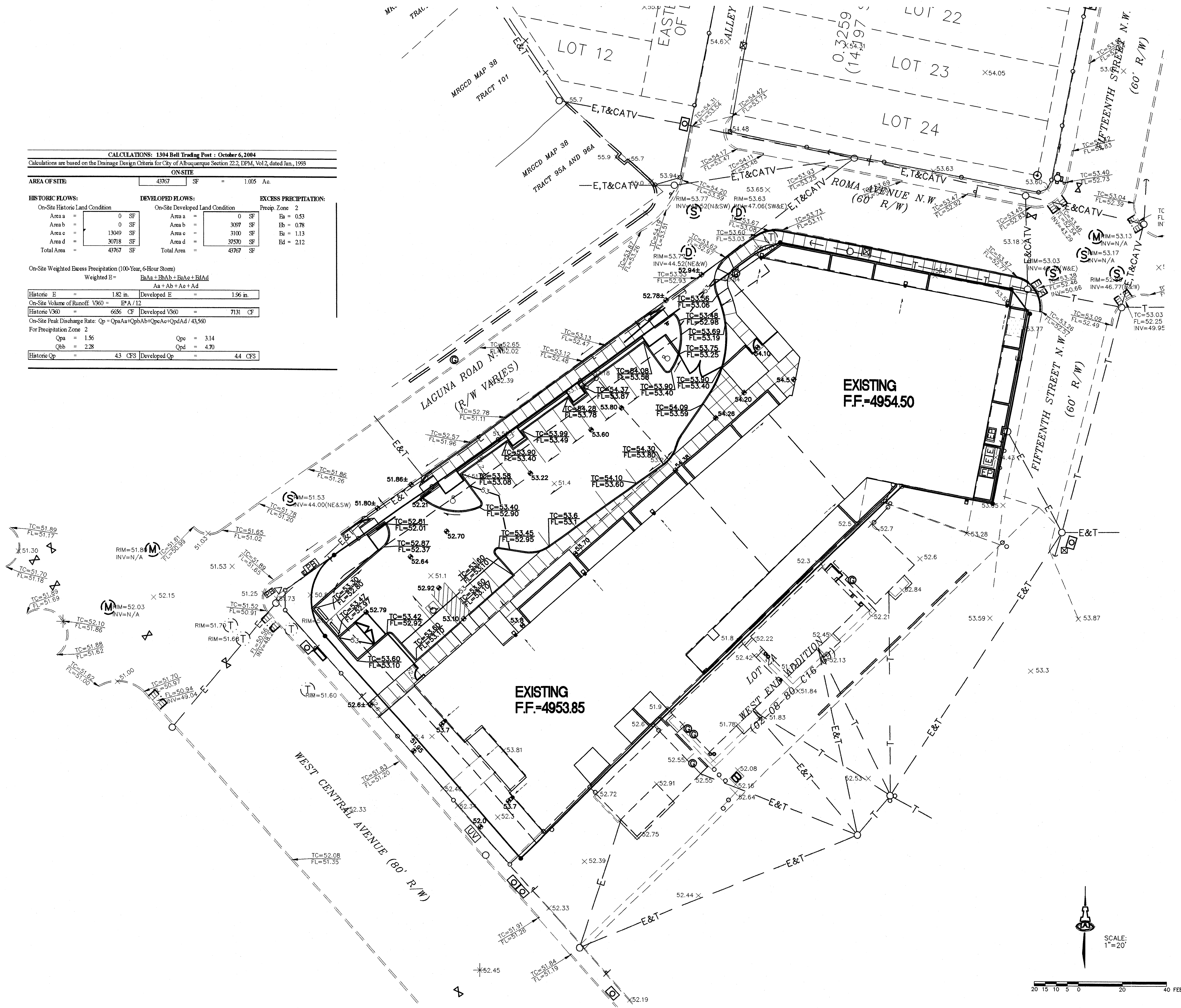
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ON-SITE	
AREA OF SITE	43767 SF = 1.005 Ac.

HISTORIC FLOWS:	DEVELOPED FLOWS:	EXCESS PRECIPITATION:
On-Site Historic Land Condition	On-Site Developed Land Condition	Precep. Zone 2
Area a = 0 SF	Area a = 0 SF	Ea = 0.53
Area b = 0 SF	Area b = 3097 SF	Eb = 0.78
Area c = 13049 SF	Area c = 3100 SF	Ec = 1.13
Area d = 30718 SF	Area d = 37570 SF	Ed = 2.12
Total Area = 43767 SF	Total Area = 43767 SF	

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)
 Weighted E = $\frac{EaA + EbAb + EcAc + EdAd}{Aa + Ab + Ac + Ad}$

Historic E	1.82 in.	Developed E	1.96 in.
On-Site Volume of Runoff V360	$E^3 A / 12$		
Historic V360	6686 CF	Developed V360	7131 CF
On-Site Peak Discharge Rate: $Q_p = Q_{pa}A + Q_{pb}Ab + Q_{pc}Ac + Q_{pd}Ad / 43,560$			
For Precipitation Zone 2			
Qpa	1.56	Qpe	3.14
Qpb	2.28	Qpd	4.70
Historic Qp	4.3 CFS	Developed Qp	4.4 CFS



GENERAL INFORMATION

THIS SITE IS A CURRENTLY DEVELOPED PROPERTY LOCATED IN AN AREA THAT IS FULLY DEVELOPED.

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CALCULATIONS FOR THE 100-YEAR, 6-HOUR STORM EVENT (THIS SHEET) SHOW AN INSIGNIFICANT INCREASE IN FLOW DUE TO DEVELOPMENT OF 0.1 CFS. THE DEVELOPED FLOW WILL CONTINUE TO FREE DISCHARGE TO LAGUNA ROAD, WEST CENTRAL AVENUE AND ROMA AVENUE TO ENTER EXISTING PUBLIC STORM DRAIN INLETS AT THE NORTHEAST AND SOUTHWEST CORNERS OF THE PROPERTY.

MINOR DISCHARGE CURRENTLY DRAINING EAST TO THE ADJACENT PROPERTY WILL BE REDIRECTED TO ROMA AVENUE.

BENCHMARK:
 ACS BRASS CAP STAMPED "12-113" NORTHWEST QUADRANT OF THE INTERSECTION OF 14TH STREET N.W. AND LOMAS AVENUE N.W. GEOGRAPHIC POSITION (NAD 1927), IN FEET N.M. STATE PLANE COORDINATES (CENTRAL ZONE) X=376,922.94 Y=1,489,212.34 ELEVATION=4954.85 (NGVD29) IN FEET

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 A PORTION OF AN ABANDONED AND OBLITERATED ACEQUIA TOGETHER WITH PORTIONS OF LOTS 1, 2, 3, 4, 5, AND 6, BLOCK 19, PEREA ADDITION A PORTION OF LOT 2A, EASEMENT, WEST END ADDITION LOTS 3A, 4, AND 5, WEST ADDITION, CITY OF ALBUQUERQUE PROJECTED SECTION 18 T. 10 N., R. 3 E., NMPM TOWN OF ALBUQUERQUE LAND GRANT BERNALILLO COUNTY, NEW MEXICO OCTOBER-DECEMBER 1993

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- ◆ 53.5 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 6881.0 FINISH FLOOR ELEVATION
- SIDEWALK CULVERT
- TC 81.9 TOP OF CURB ELEVATION
- FL 81.4 FLOWLINE

ISAACSON & ARFMAN, P.A.
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 125 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph: 505-268-8828 Fax: 505-268-2632
 1304GRD.DWG.thor 01.21.05

BELL TRADING POST
 FIDC

GRADING & DRAINAGE PLAN

C-1
 31.1 OF 1

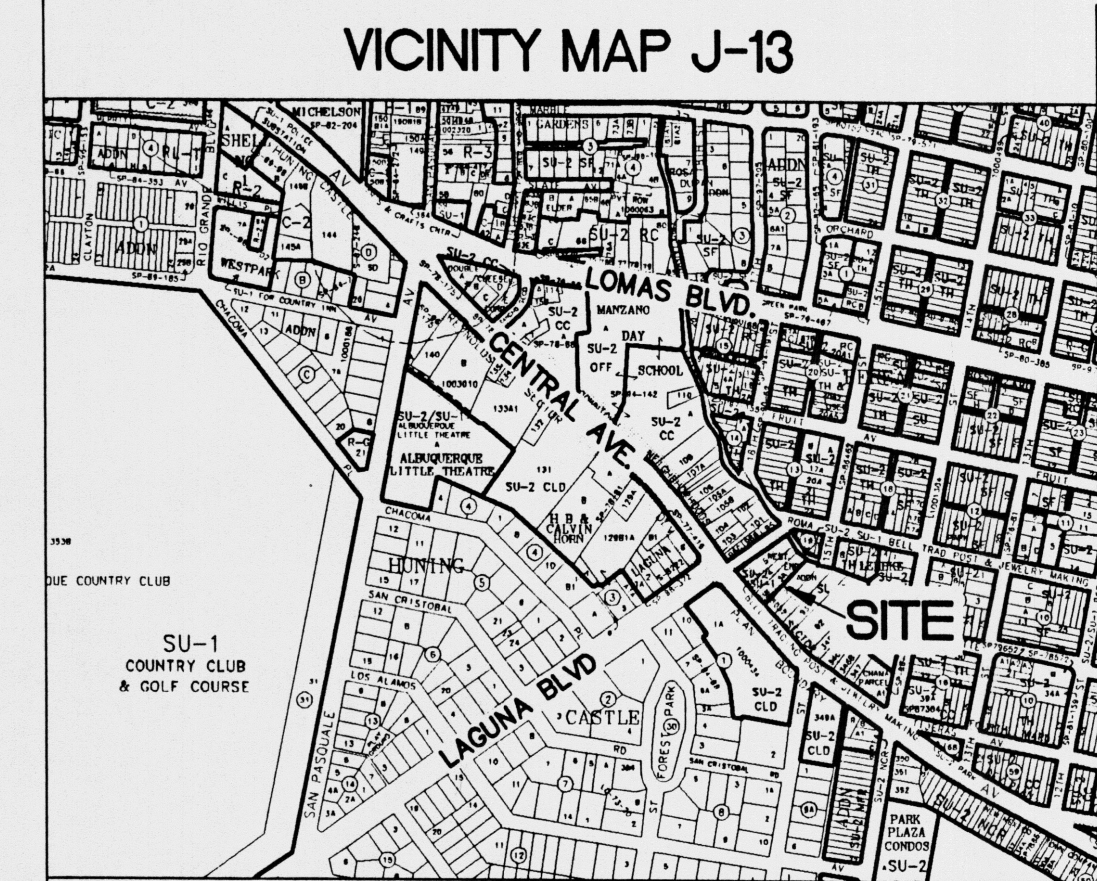
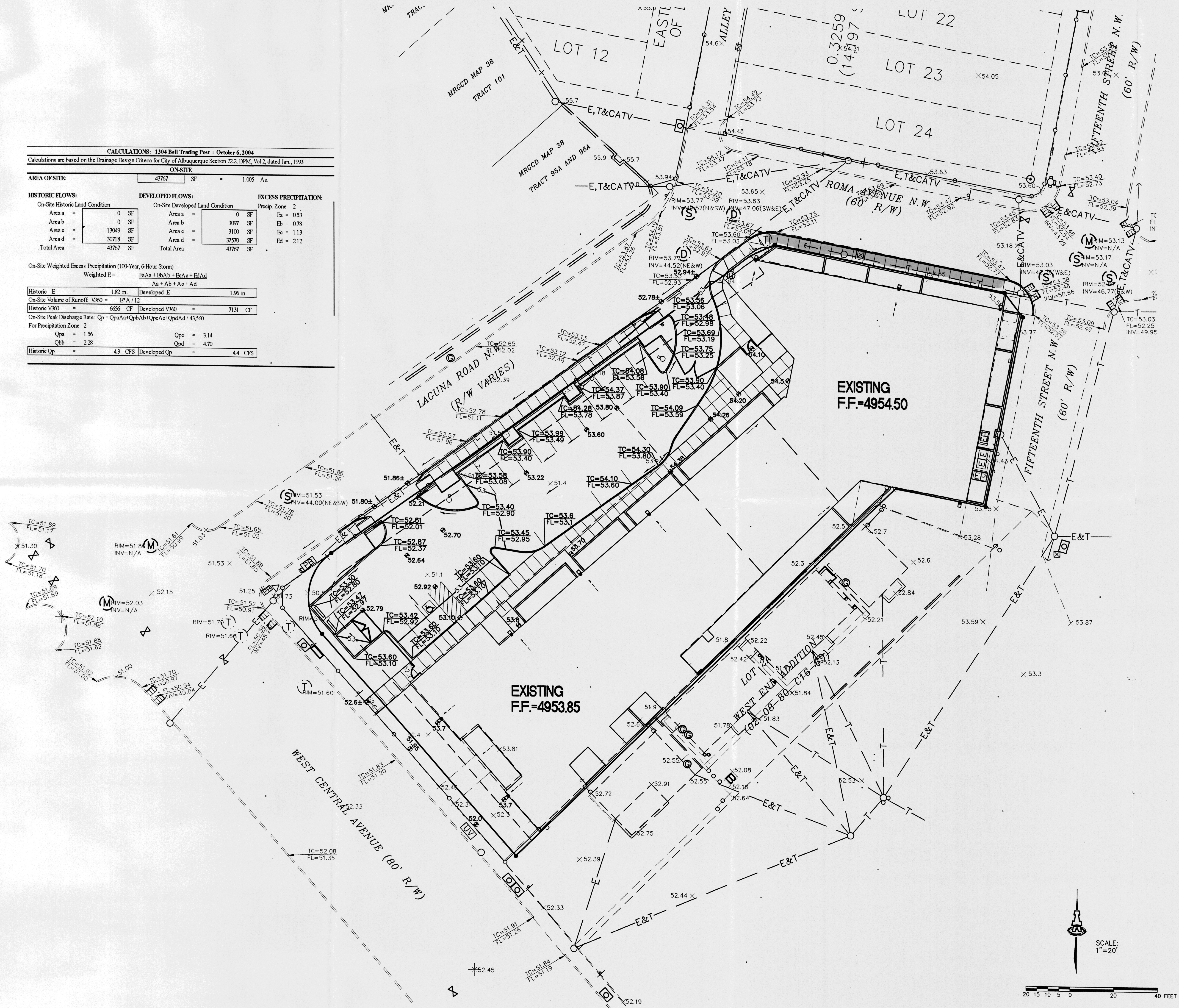
CALCULATIONS: 1304 Bell Trading Post : October 6, 2004
 Calculations are based on the Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE	
AREA OF SITE:	43767 SF = 1.005 Ac.

HISTORIC FLOWS:		DEVELOPED FLOWS:		EXCESS PRECIPITATION:	
On-Site Historic Land Condition	On-Site Developed Land Condition	On-Site Historic Land Condition	On-Site Developed Land Condition	Precip. Zone 2	
Area a = 0 SF	Area a = 0 SF	Area a = 0 SF	Area a = 0 SF	Ea = 0.53	
Area b = 0 SF	Area b = 3097 SF	Area b = 3097 SF	Area b = 3097 SF	Eb = 0.78	
Area c = 13049 SF	Area c = 3100 SF	Area c = 3100 SF	Area c = 3100 SF	Ec = 1.13	
Area d = 30718 SF	Area d = 37570 SF	Area d = 37570 SF	Area d = 37570 SF	Ed = 2.12	
Total Area = 43767 SF	Total Area = 43767 SF				

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)
 Weighted E = $\frac{EaAa + EbAb + EcAc + EdAd}{Aa + Ab + Ac + Ad}$

Historic E	1.82 in	Developed E	1.96 in
On-Site Volume of Runoff: V360 = $E \cdot A / 12$			
Historic V360	6656 CF	Developed V360	7131 CF
On-Site Peak Discharge Rate: $Qp = Qpa/Aa + Qpb/Ab + Qpc/Ac + Qpd/Ad / 43,560$			
For Precipitation Zone 2			
Qpa	1.56	Qpc	3.14
Qpb	2.28	Qpd	4.70
Historic Qp	43 CFS	Developed Qp	44 CFS



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EXHIBIT FOR SW VARIANCE

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BELL TRADING POST

GRADING & DRAINAGE PLAN

Checked By:	Drawn By:	No.	Revision
ALDN	BUB		
Date:	Job Number:		
01/21/05	1304		

C-1
 81.1 OF 1

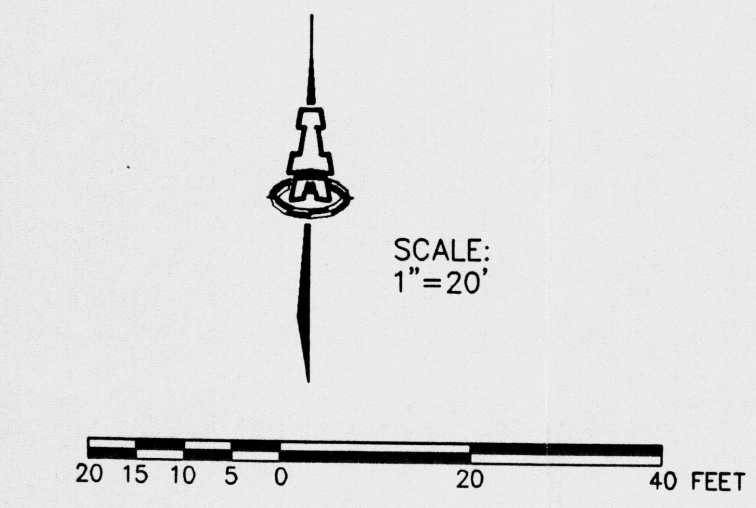
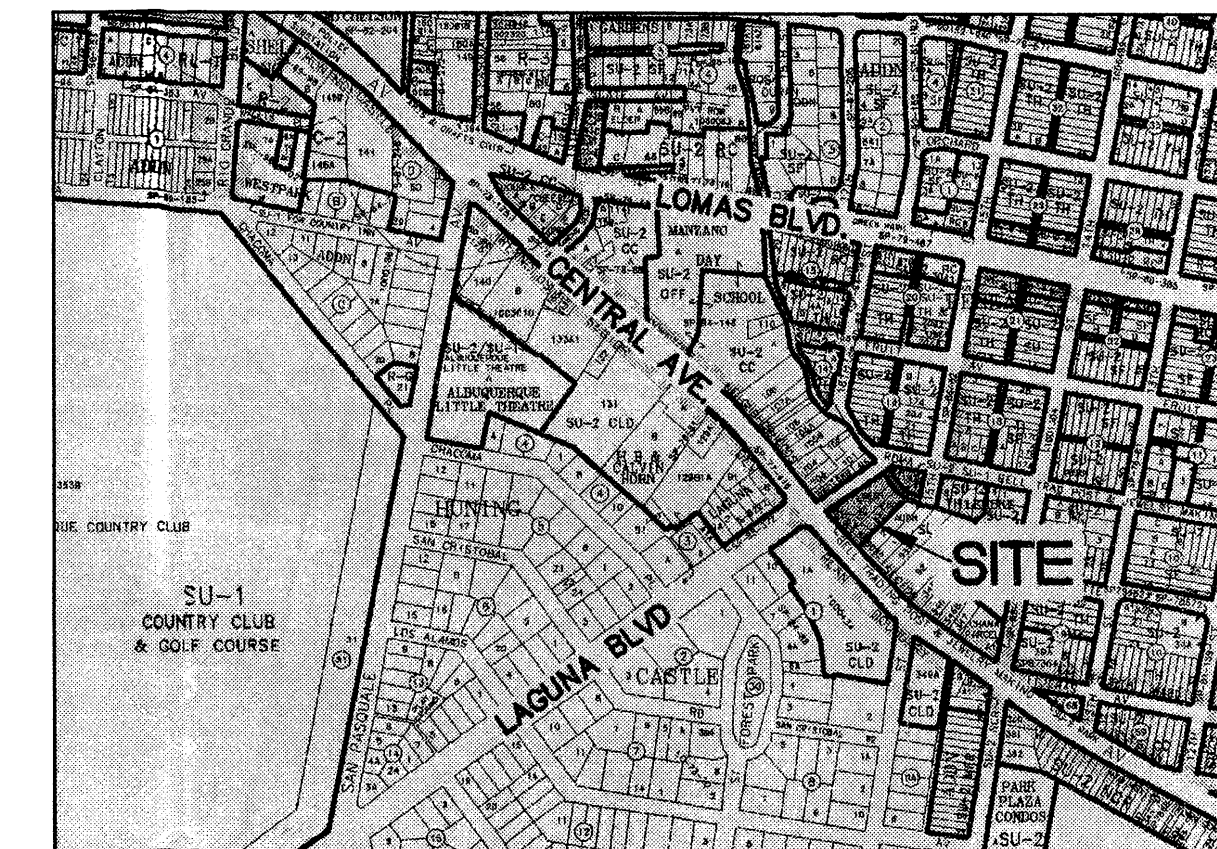


EXHIBIT C
 Date: 1-23-05

*SPBFPOLD
2/25*

VICINITY MAP

J-13



PROJECT DATA

CURRENT ZONING: SU-2, SU-1 BELL TRADING POST AND JEWELRY MAKING, DOWNTOWN NEIGHBORHOOD AREA SECTOR DEVELOPMENT PLAN
PROPOSED ZONING: SU-2, SU-1 RESIDENTIAL LOFTS WITH UP TO 2500 SF COMMERCIAL/OFFICE (C-1) USE
MAXIMUM HEIGHT/MINIMUM SETBACK: N/A - EXISTING BUILDING
CURRENT LOT AREA: 43,832 SF OR 1.0060 ACRES
PROPOSED LOT AREA: 44,200 SF OR 1.0141 ACRES IV ESMT.
VACATIONS
BUILDING AREA:
EXISTING 1ST FLOOR - 27,967 SF (REMOVE 5,541 SF)
PROPOSED 1ST FLOOR - 21,952 SF
EXISTING 2ND FLOOR - 2,381 SF
TOTAL - 24,751 SF
PROPOSED DENSITY: 24,751 SF (HABITABLE)/44,200 SF (SITE) = 0.56 FAR

OPEN SPACE:

CURRENT OPEN SPACE REQUIRED: 300 SF FOR EACH EFFICIENCY OR ONE-BEDROOM DWELLING UNIT.
UP TO 24 UNITS = 7,200 SF

PROPOSED USABLE OPEN SPACE:

LOT AREA - 44,200 SF
PAVED AREA - 12,007 SF
BUILDING FOOTPRINT - 22,243 SF
OPEN SPACE PROVIDED - 9,950 SF

PARKING DATA

23 SECURED SPACES FOR LOFT RESIDENTS
1 HANDICAPPED SPACE

TOTAL 24 OFF-STREET SPACES

ON-STREET SPACES AVAILABLE DIRECTLY ADJACENT TO SITE TO ACCOMMODATE C-1 TENANTS, UP TO 2500 SF MAX. COMMERCIAL.

LEGAL DESCRIPTION

PEREA ADDITION:
BLOCK 14 - LOTS 1 THROUGH 6
TOGETHER WITH
WEST END ADDITION:
LOTS 2A, 3A, 4 & 5
WITHIN THE TOWN OF ALBUQUERQUE GRANT, PROJECTED SECTION 18 TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO SEPTEMBER 2004

FIRE PROTECTION

CONSTRUCTION: TYPE II-B FULLY SPRINKLERED

OCCUPANCY TYPE: R-2 (APARTMENT HOUSES)
OCCUPANT LOAD: 22,251 SF/200 OCC. = 112

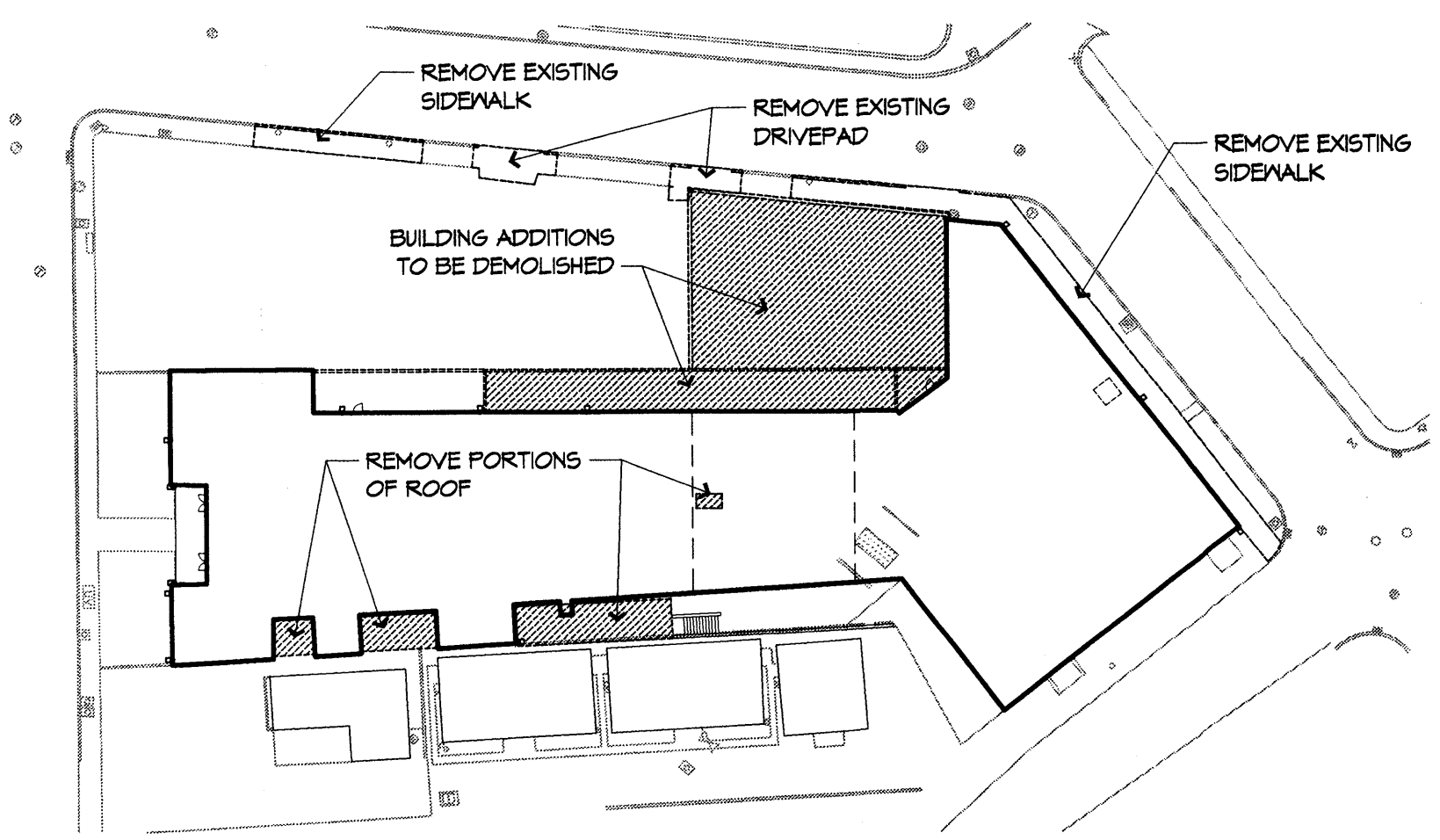
OCCUPANCY TYPE: B (OFFICES)
OCCUPANT LOAD: 2500 SF/100 OCC. = 100

SHEET INDEX

1. SITE DEVELOPMENT PLAN
2. LANDSCAPE PLAN
3. CONCEPTUAL GRADING AND DRAINAGE PLAN
4. CONCEPTUAL UTILITY PLAN
5. BUILDING ELEVATIONS
6. SITE ELEVATIONS & SITE DETAILS

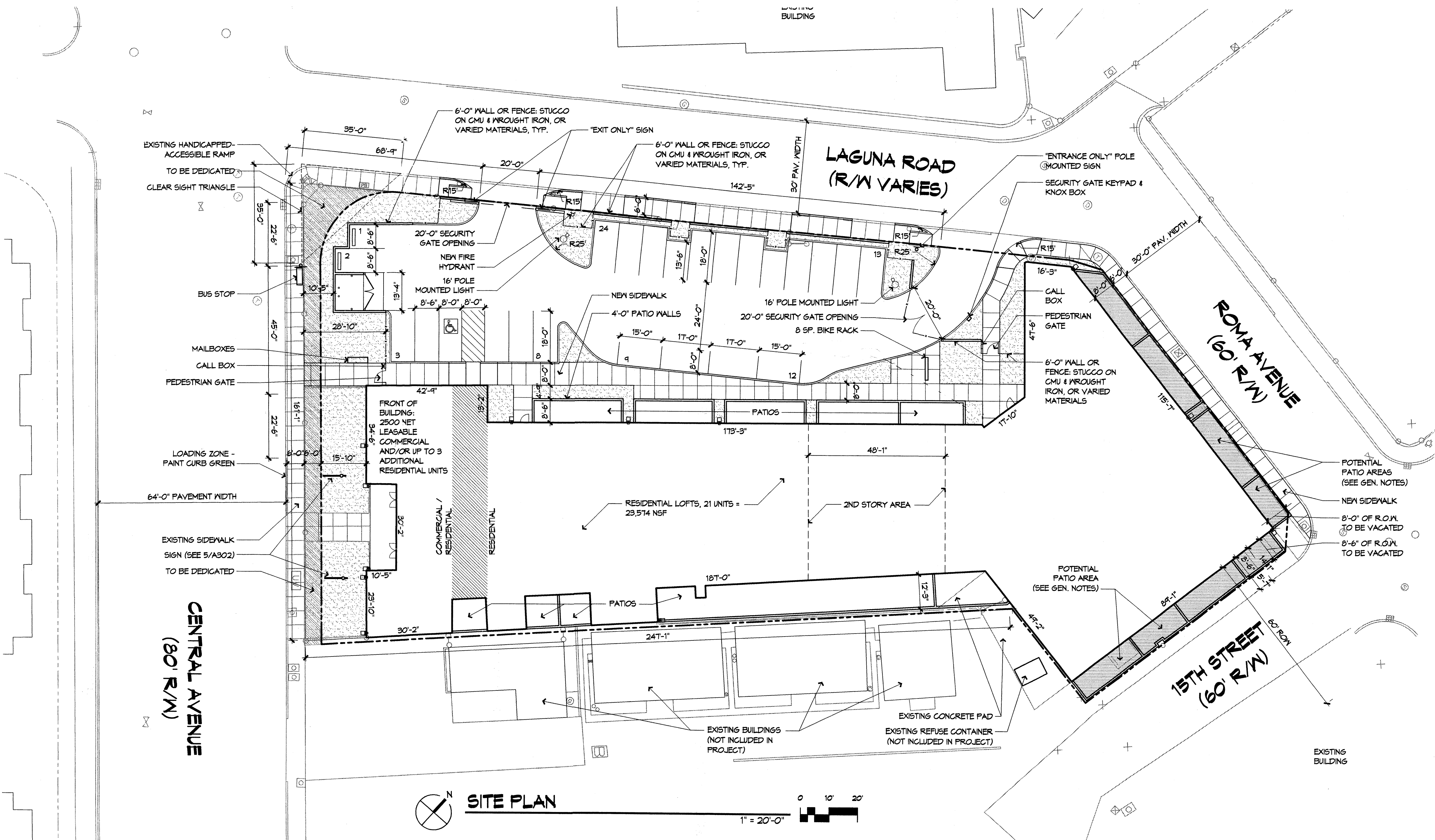
GENERAL NOTES

- A. SIGNAGE TO RESEMBLE ORIGINAL SIGNS (2); TO BE LOCATED ALONG CENTRAL AVE
- B. LOTS TO BE CONSOLIDATED INTO ONE TRACT.
- C. POTENTIAL PATIOS ALONG ROMA & 15TH ARE CONTINGENT UPON VACATION APPROVAL, SECURITY AND ARCHITECTURAL PRESERVATION ISSUES. PATIO WALLS SHALL NOT EXCEED 6' IN HEIGHT.
- D. NEW SIDEWALKS TO BE BUILT WHERE EXISTING DRIVEPADS ARE TO BE REMOVED.
- E. THE LOCATION OF THE BUS SHELTER, IF REQUIRED, WILL BE TO THE SATISFACTION OF THE TRANSIT DEPT. PRIOR TO EPC FINAL SIGN-OFF.



DEMOLITION SITE PLAN

1" = 50'-0"



SITE PLAN
1" = 20'-0"

EPC App. No: 04EPC-01557

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on _____ and that the Findings and conditions in the Official Notice; Notification of decision have been complied with.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT	
Traffic Engineer, Transportation Division	Date
Utilities Department	Date
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division / AMARCA	Date
Parks & Recreation Department	Date
Environmental Health	Date
Michael Halton Solid Waste Management	2-15-05 Date
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	
City Planner, Albuquerque/Bernalillo County Planning Division	Date

to Russell - this is the way the signature that in the comments.

APD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
2-14-05
SIGNATURE & DATE

**Bell Trading Post
Renovation**
1503 Central Ave. NW
Albuquerque, New Mexico

REVISIONS	
△	
△	
△	
△	

DRAWN BY	MS
REVIEWED BY	LM
DATE	02/15/05
PROJECT NO.	04074
DRAWING NAME	SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
SHEET NO.	A001

LANDSCAPE NOTES

1. PLANTING AND IRRIGATION DESIGN AND INSTALLATION SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE. LANDSCAPE BEDS SHALL ACHIEVE MINIMUM 75% LIVE VEGETATIVE COVERAGE UPON PLANT MATURITY. NOTED PLANT QUANTITIES ARE APPROXIMATE, AND REFLECT THE ESTIMATED NUMBER OF PLANTS NECESSARY TO ACHIEVE THE DESIGN INTENT AND THE REQUIRED COVERAGE AT PLANT MATURITY.
2. PLANTING AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
3. CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH A FULLY AUTOMATED IRRIGATION CONTROLLER. THE RUN TIME FOR THE VARIOUS ZONES SHALL BE APPROXIMATELY 60 MINUTES UPON PLANT ESTABLISHMENT. RUN TIME WILL BE ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION, AND PLANT PERFORMANCE.
4. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL EXCEPT FOR BUFFALO GRASS AREAS. THIS MAY BE IRRIGATED WITH SPRAY EMITTERS APPROPRIATELY DESIGNED TO AVOID OVERSPRAY ONTO IMPERMEABLE SURFACES AND ADJACENT PAVING.
5. POINT OF CONNECTION: A CONNECTION TO CITY WATER FOR IRRIGATION PURPOSES WILL BE MADE ON THE PROPERTY.
6. MULCH: ALL PLANTING BEDS SHALL BE COVERED WITH MULCH, IN ORDER TO MINIMIZE WEED GROWTH, ADD VISUAL INTEREST, AND PROTECT SOIL MOISTURE.

LANDSCAPE CALCULATIONS

SITE AREA: 45,292 SF
BUILDING AREA: 22,243 SF
NET AREA: 23,049 SF

REQUIRED LANDSCAPE AREA:
15% OF NET AREA= 3457 SF

PROVIDED LANDSCAPE AREA: 5314 SF
PROVIDED HIGH WATER USE TURF AREA: 0 SF

KEYED NOTES: (X)

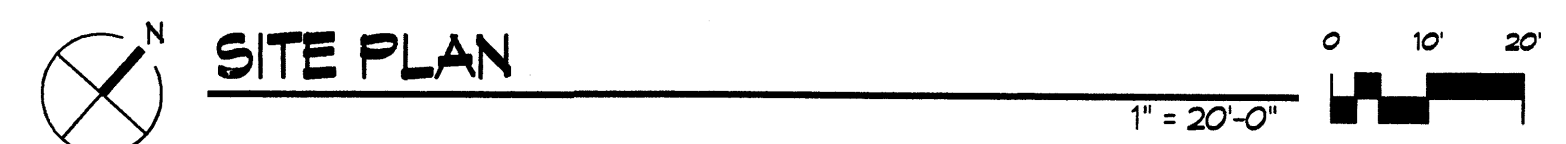
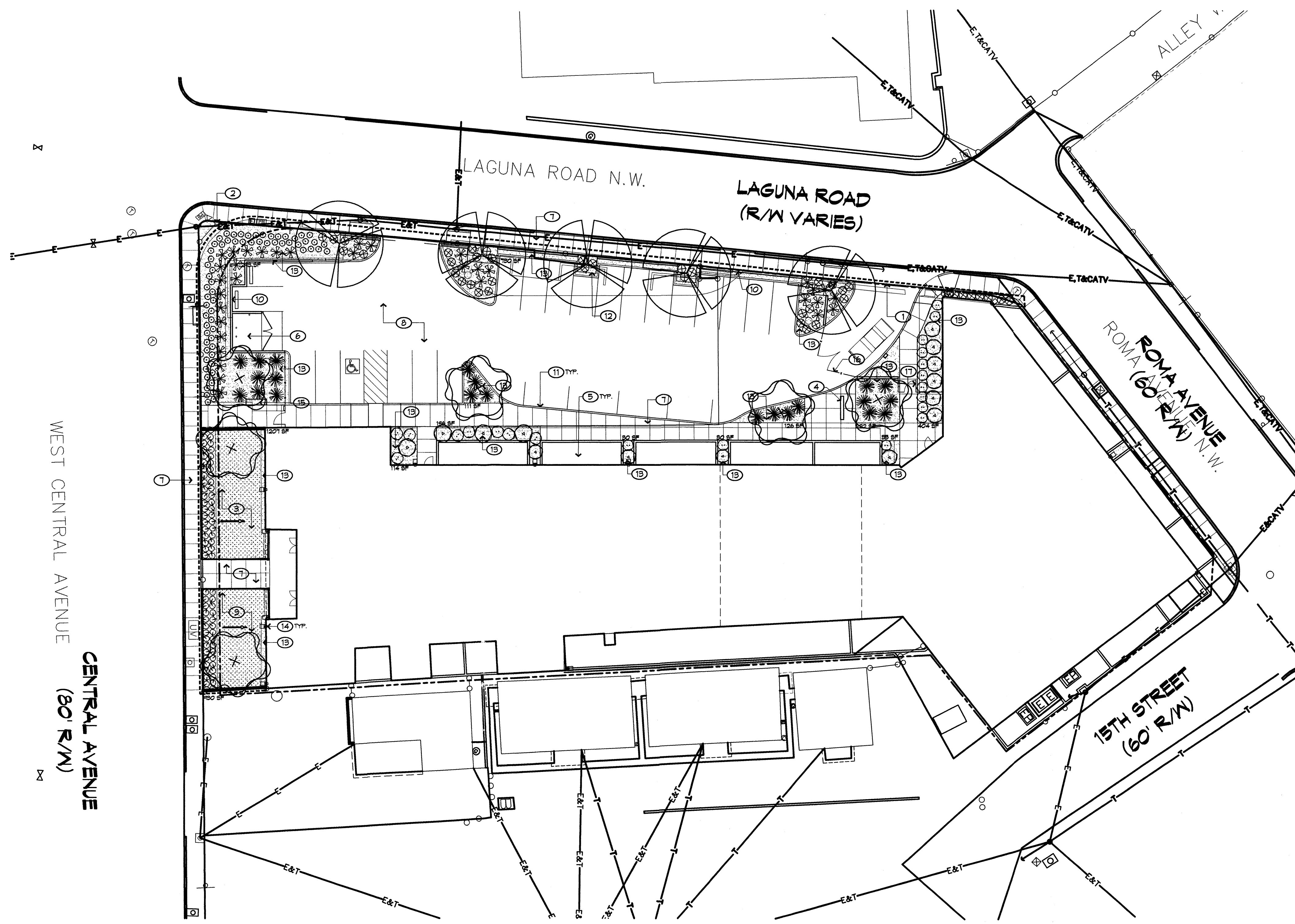
1. PROPERTY LINE
2. LIMITS OF WORK
3. BUFFALO GRASS TURF AREA
4. BICYCLE RACK 4 SPACES
5. RESIDENTIAL PATIO AREA
6. TRASH RECEPTACLE
7. EXISTING CONCRETE SIDEWALK
8. ASPHALT PAVING
9. POLE LIGHT
10. CMU SCREEN WALL
11. 6" CONCRETE CURB
12. METAL FENCE
13. 3/8" ROUND GRAVEL
14. BUILDING DOWNSPOUT
15. MAILBOX
16. SECURITY GATE
17. PEDESTRIAN GATE

PLANTING LEGEND

TREES							
SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
	5	2" Caliper	ESCARPMENT LIVE OAK	Quercus fusiformis	40.00	30.00	Medium Water Use
	5	2" Caliper	CHASTE TREE	Vitex agnus-castus	25.00	20.00	Medium Water Use
PERRENIALS							
SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
	21	3-gal @ 15"x1"	GAURA	Gaura lindheimeri	3.00	2.50	Medium Water Use
	41	1-gal @ 4"x6"	REGAL MIST GRASS	Muhlenbergia capillaris	3.50	3.00	Medium Water Use
	12	1-gal @ 6"x6"	GERMANDER	Teucrium chamaedrys	1.00	2.00	Medium Water Use
SHRUB							
SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
	65	1-gal @ 4"x6"	MUNSTEAD LAVENDER	Lavandula angustifolia 'Munstead'	1.50	2.00	Medium Water Use
	14	1-gal @ 4"x6"	ARP ROSEMARY	Rosmarinus officinalis 'Arp'	4.00	4.00	Low Water Use
SUCCULENT							
SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
	32	1-gal @ 4"x4"	RED HESPERALOE	Hesperaloe parviflora	4.00	4.00	Low Water Use
	23	1-gal @ 4"x4"	BEARSGRASS	Nolina texana	4.00	5.00	Low Water Use
GRASSES							
SYMBOL	AREA	INSTALLED SIZE	COMMON NAME	Botanical name	Water requirements		
	1952 SQ. FT.	Sod or Plugs at 12" oc	LEGACY BUFFALO GRASS	Bucheloe dactyloides Legacy	Low Water Use		
MULCHES							
SYMBOL	AREA	INSTALLED SIZE	COMMON NAME				
	4020 SQ. FT.	CRUSHER FINES	SANTA FE BROWN				

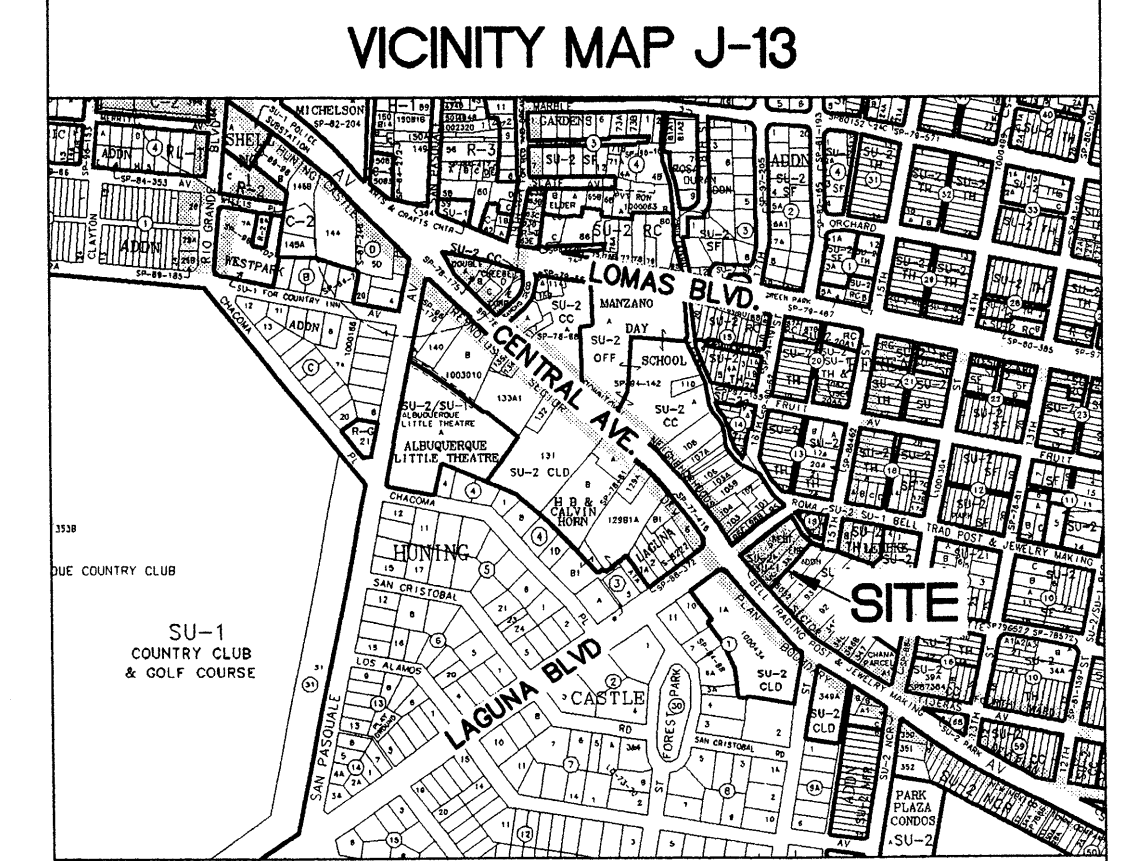
Broadleaf Deciduous

SYMBOL	Code Name	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name
	ELO	5	3-gal @ 4X1	ESCARPMENT LIVE OAK	Quercus fusiformis



CALCULATIONS: 1304 Bell Trading Post : October 6, 2004
 Calculations are based on the Drainage Design Criteria for City of Albuquerque Section 22.2, DFM, Vol 2, dated Jan., 1993

ON SITE	
AREA OF SITE	43767 SF = 1.005 Ac.
HISTORIC FLOWS:	DEVELOPED FLOWS:
On-Site Historic Land Condition	On-Site Developed Land Condition
Area a = 0 SF	Area a = 0 SF
Area b = 0 SF	Area b = 3097 SF
Area c = 13049 SF	Area c = 3100 SF
Area d = 30718 SF	Area d = 37570 SF
Total Area = 43767 SF	Total Area = 43767 SF
EXCESS PRECIPITATION:	
Precep. Zone	2
Ea	0.53
Eb	0.78
Ec	1.13
Ed	2.12
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)	
Weighted E =	$\frac{EaAa + EbAb + EcAc + EdAd}{Aa + Ab + Ac + Ad}$
Historic E = 1.82 in.	Developed E = 1.96 in.
On-Site Volume of Runoff V360 = E ³ A / 12	
Historic V360 = 6656 CF	Developed V360 = 7131 CF
On-Site Peak Discharge Rate: $Q_p = \frac{Q_{pa}Aa + Q_{pb}Ab + Q_{pc}Ac + Q_{pd}Ad}{43,560}$	
For Precipitation Zone 2	
Q _{pa} = 1.56	Q _{pc} = 3.14
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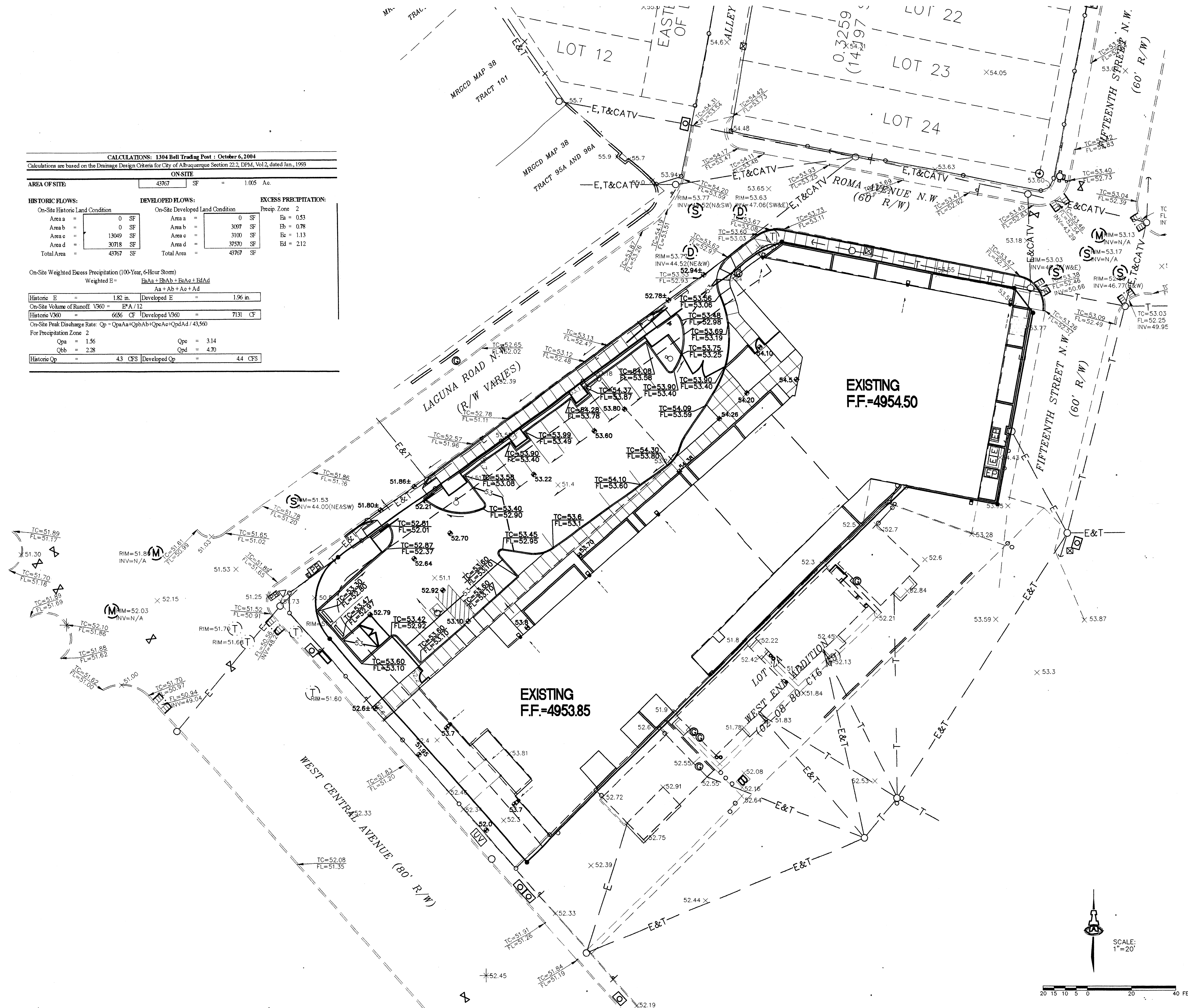
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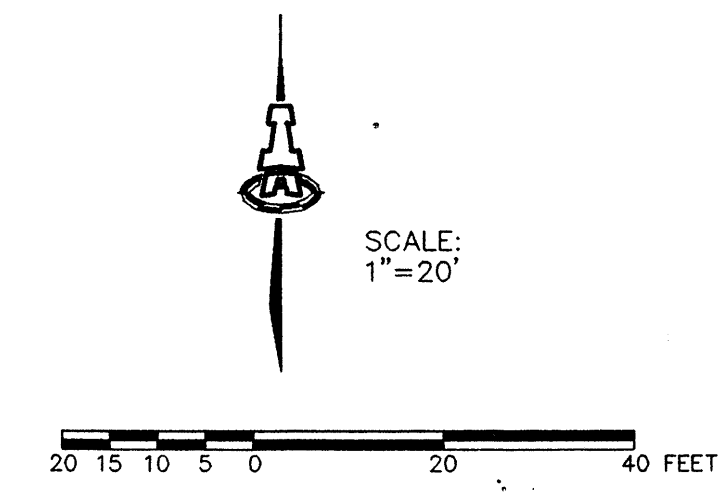
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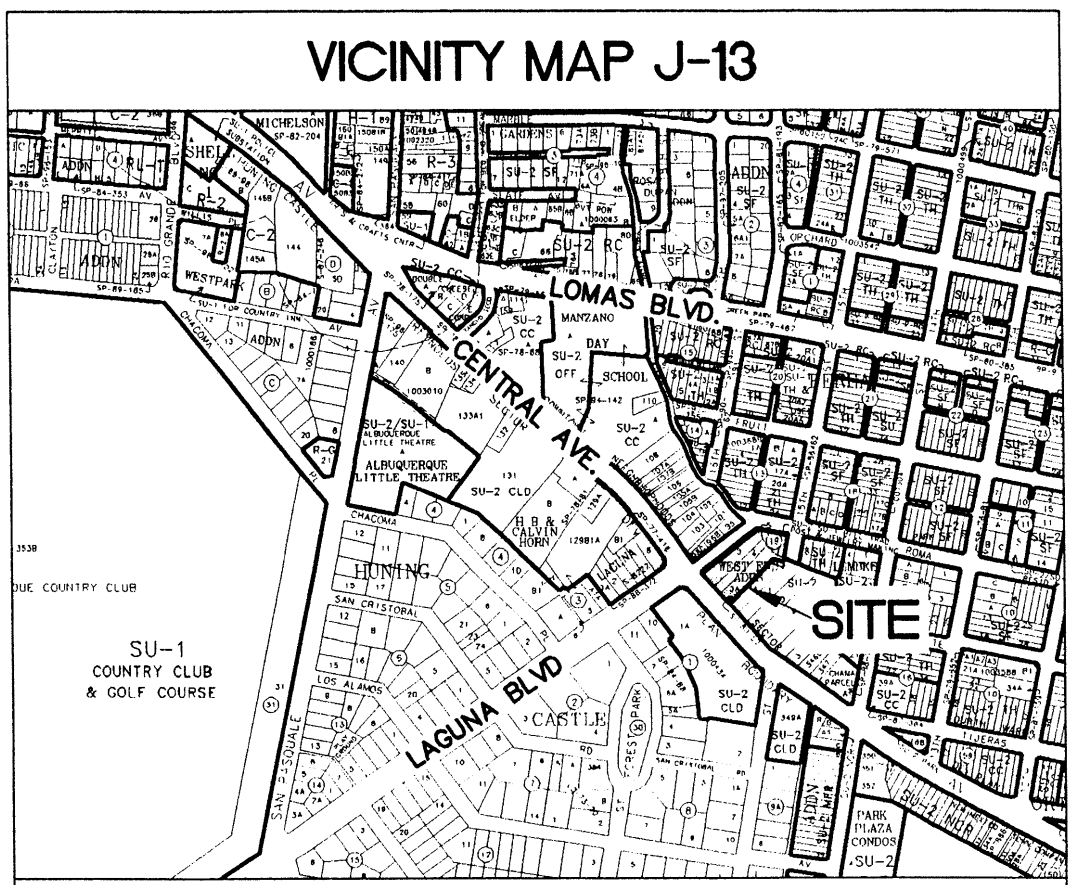
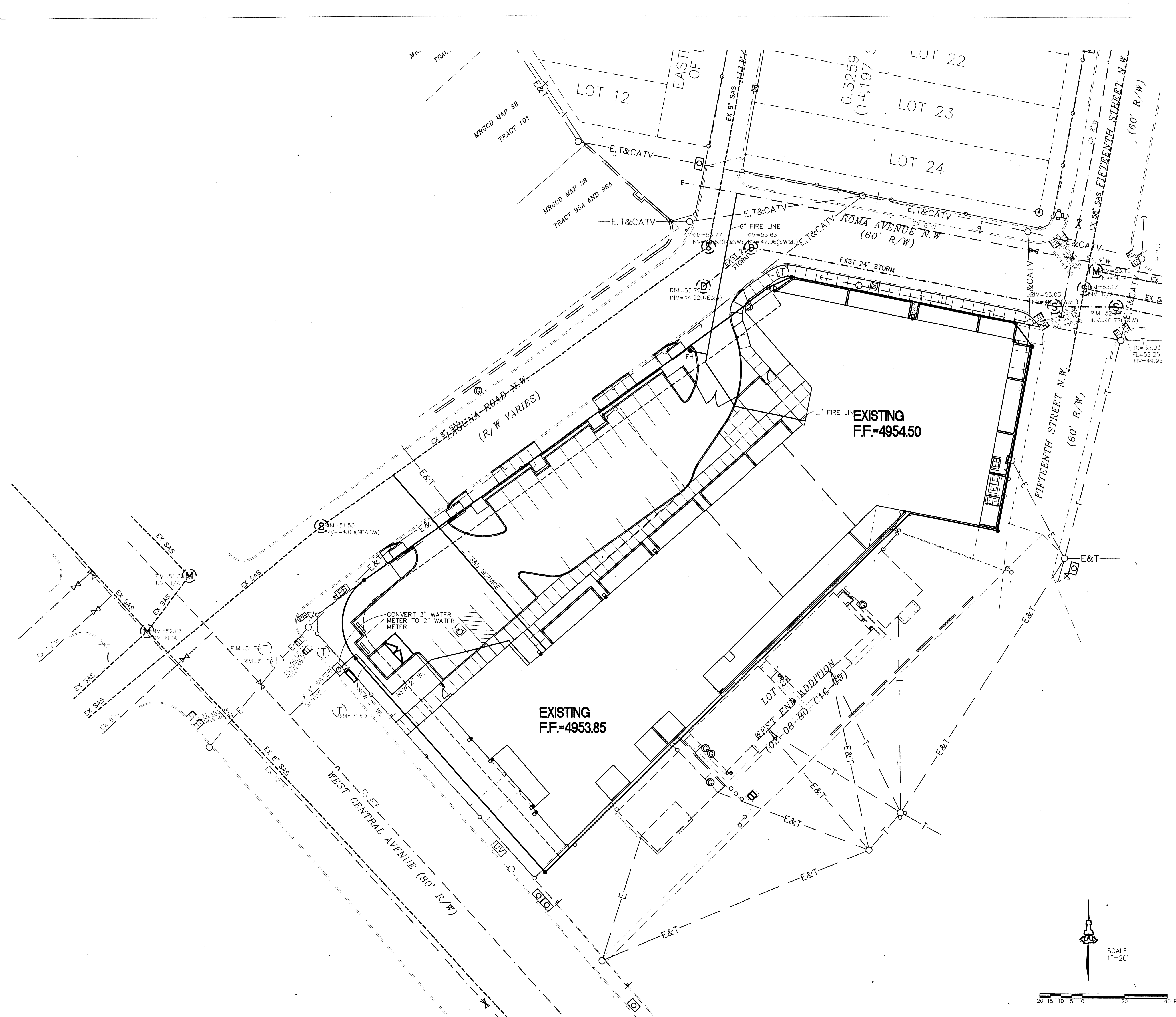
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BELL TRADING POST
F-HDC

GRADING & DRAINAGE PLAN

DATE: 01/21/05	PROJECT: 1304	REVISION: C-1	SHEET: 31 OF 1
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KEYED NOTES

LEGEND

	CONCRETE CURB		SINGLE WATER METER & BOX
	CONCRETE/SIDEWALK		GATE VALVE W/ VALVE BOX
	WALL OR HEAD WALL		FIRE HYDRANT
	SIGN		WATER LINE W/ FITTING
	WATER VALVE		
	WATER METER		
	ELECTRIC SERVICE/PEDESTAL		
	ELECTRIC PANEL		
E,T&CATV- OVERHEAD UTILITIES			
	POWER POLE		
	TELEPHONE PEDESTAL		
	CABLE TELEVISION		
	BOLLARD		
	GAS METER		
	GUY WIRE		
	DROP INLET		
	STORM DRAIN MANHOLE		
	TELEPHONE MANHOLE		
	SANITARY SEWER MANHOLE		
	MANHOLE		
	CLEANOUT		
	FIRE HYDRANT		
	SPRINKLER CONTROL		
	UTILITY VAULT		
	UTILITY PULLBOX		
	TRAFFIC SIGNAL		
	TREE		
	MAIL BOX		

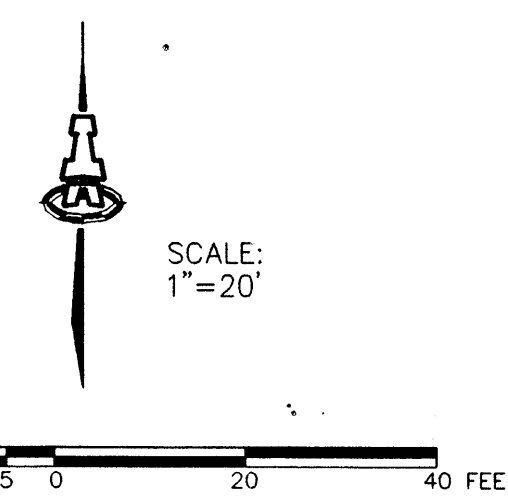
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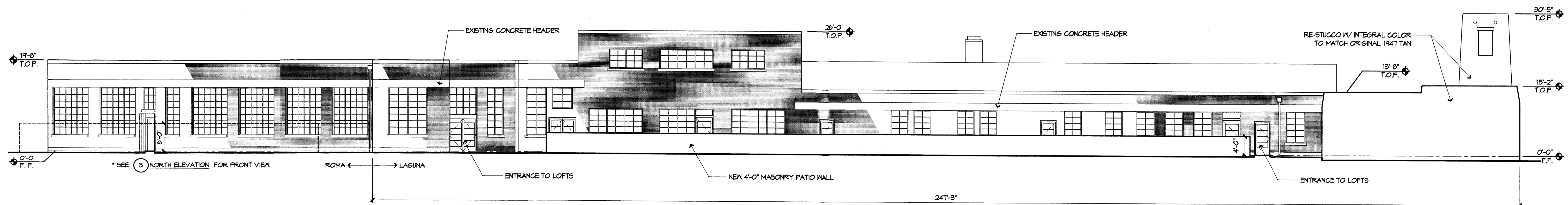
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**BELL TRADING
 POST LOFTS
 FHDC**

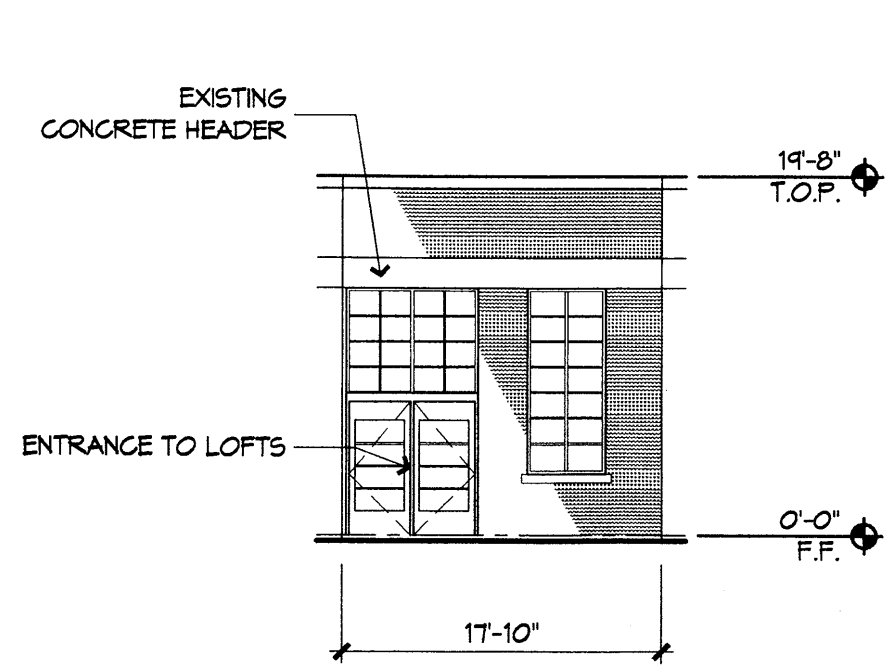
CONCEPTUAL UTILITY PLAN

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02/01/05	1304			

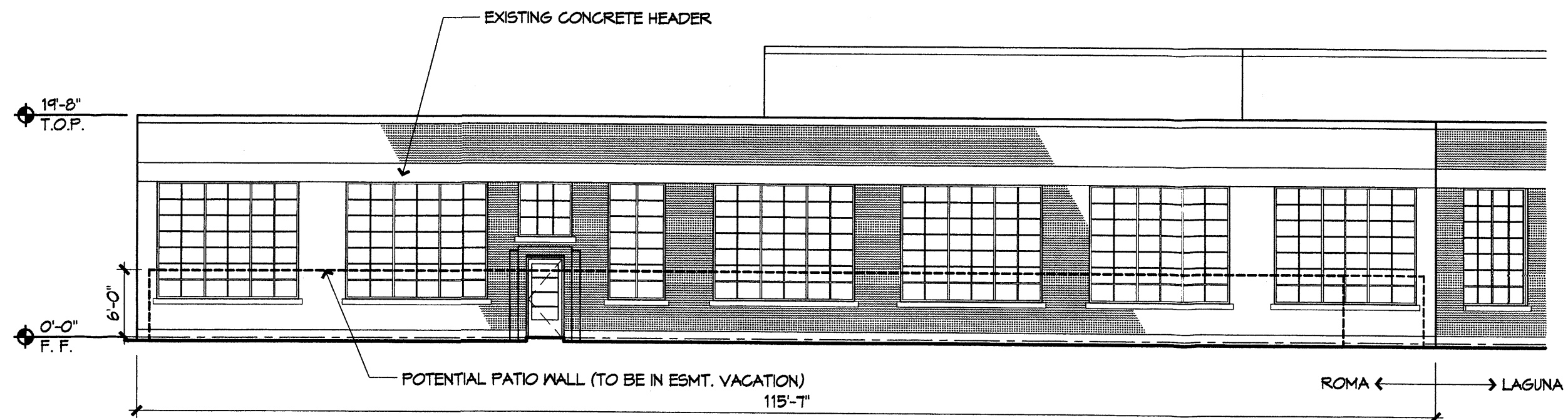




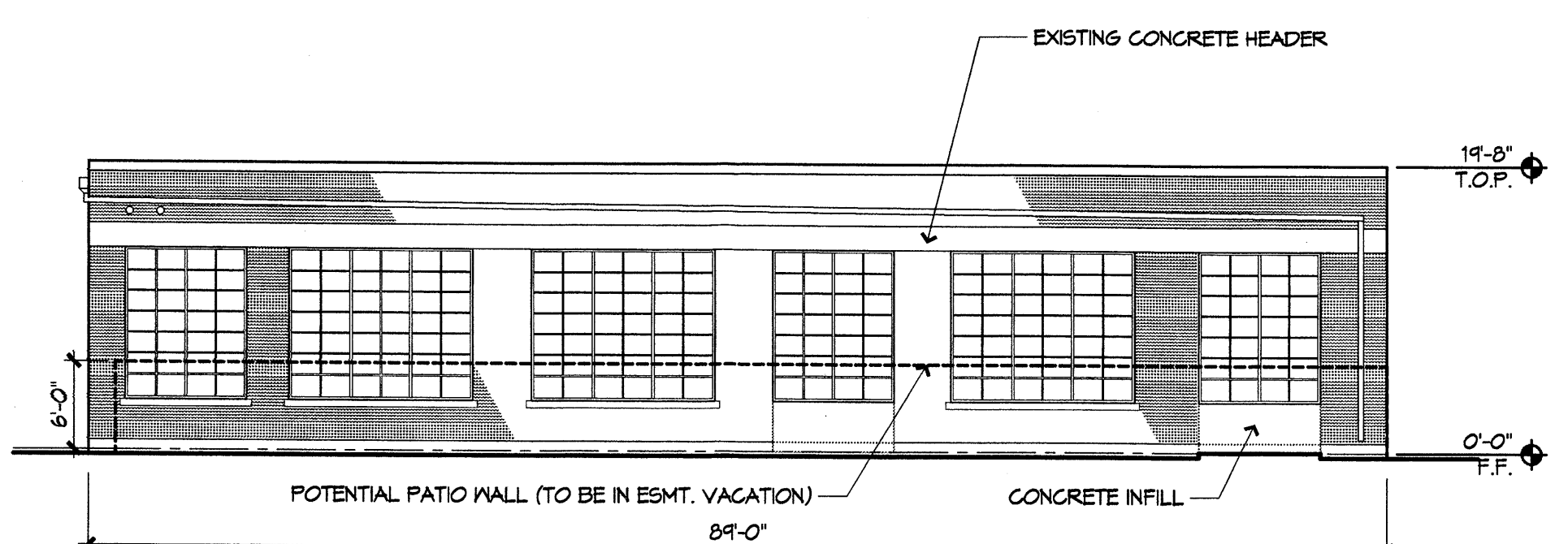
1 NORTHWEST ELEVATION
LAGUNA RD. 3/32" = 1'-0"



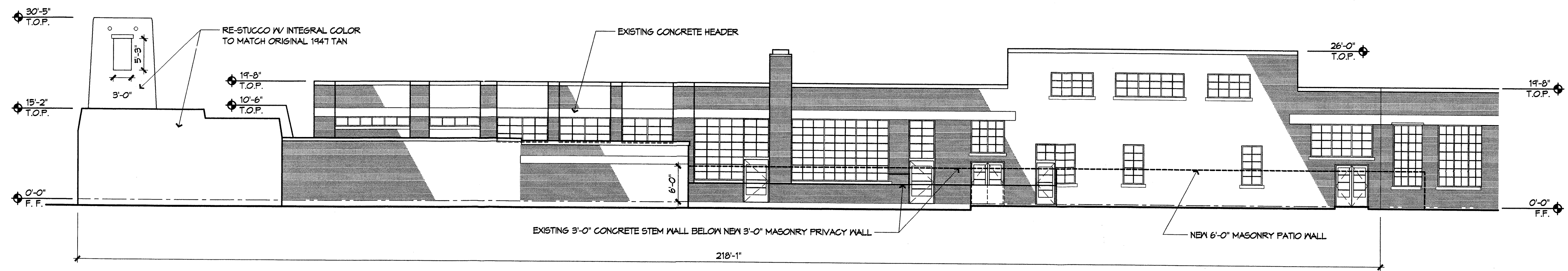
2 WEST ELEVATION
MAIN ENTRY 3/32" = 1'-0"



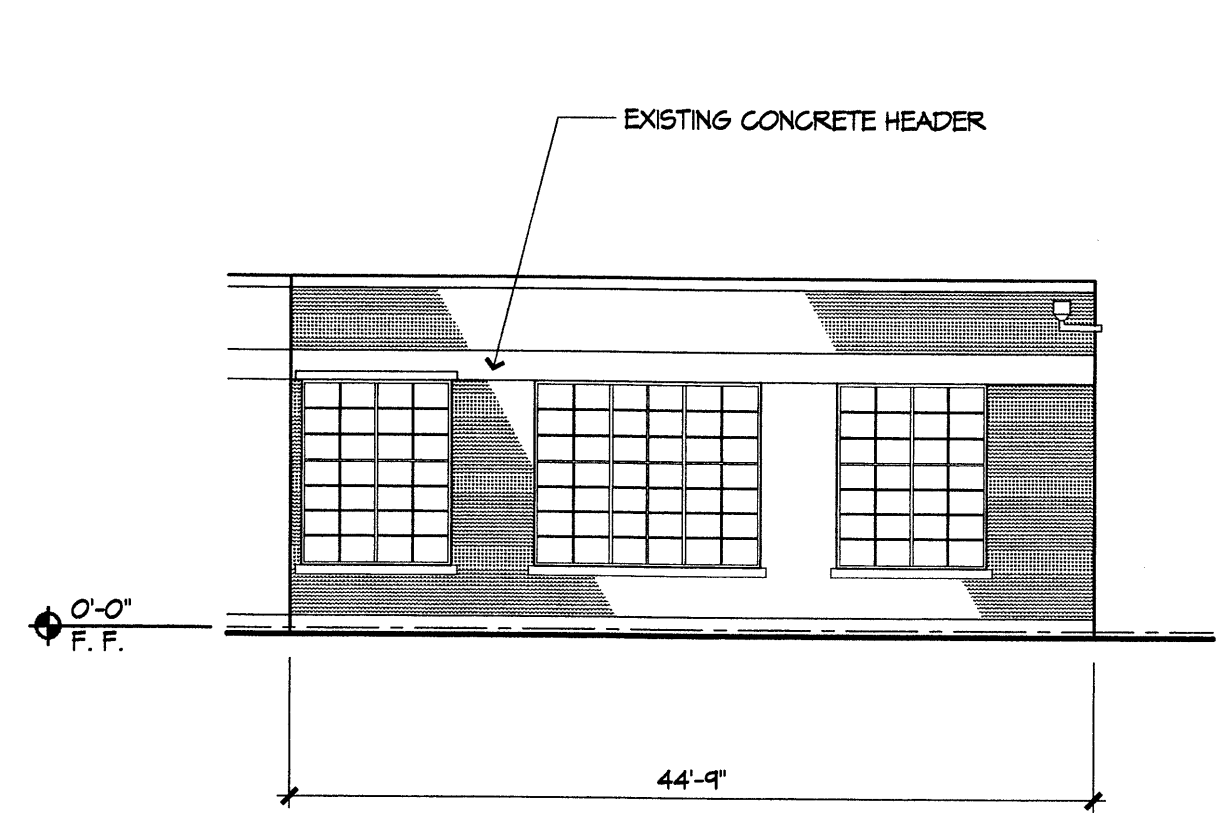
3 NORTH ELEVATION
ROMA 3/32" = 1'-0"



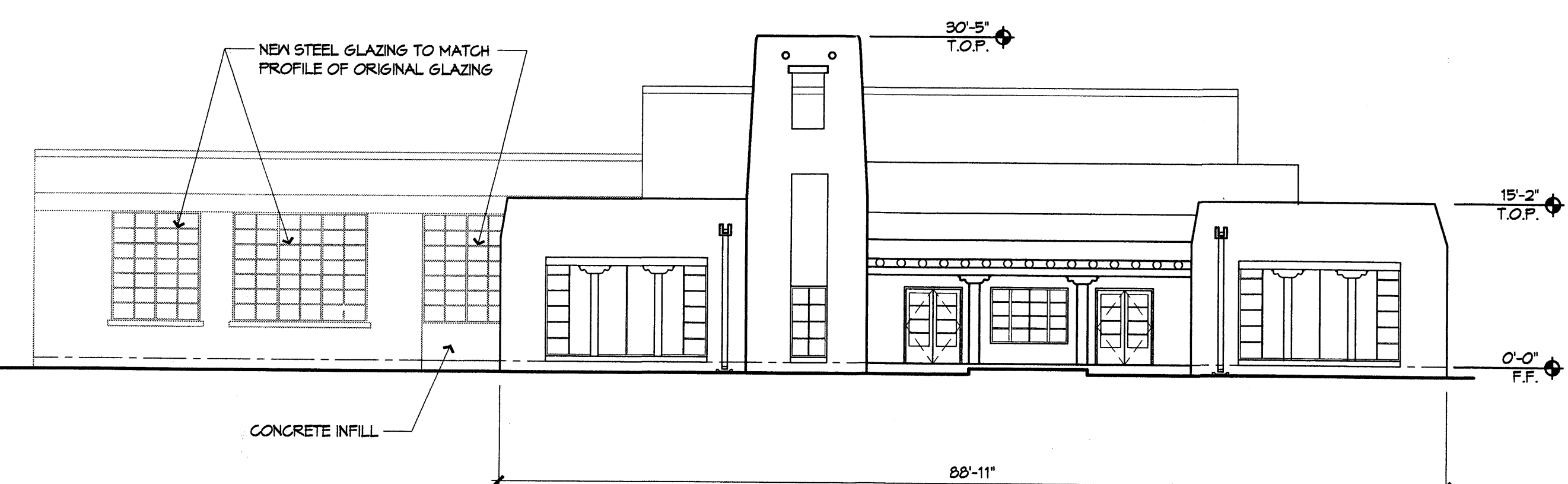
4 EAST ELEVATION
15TH ST. 3/32" = 1'-0"



5 SOUTHEAST ELEVATION
SIDEYARD 3/32" = 1'-0"



6 SOUTH ELEVATION
SIDEYARD 3/32" = 1'-0"

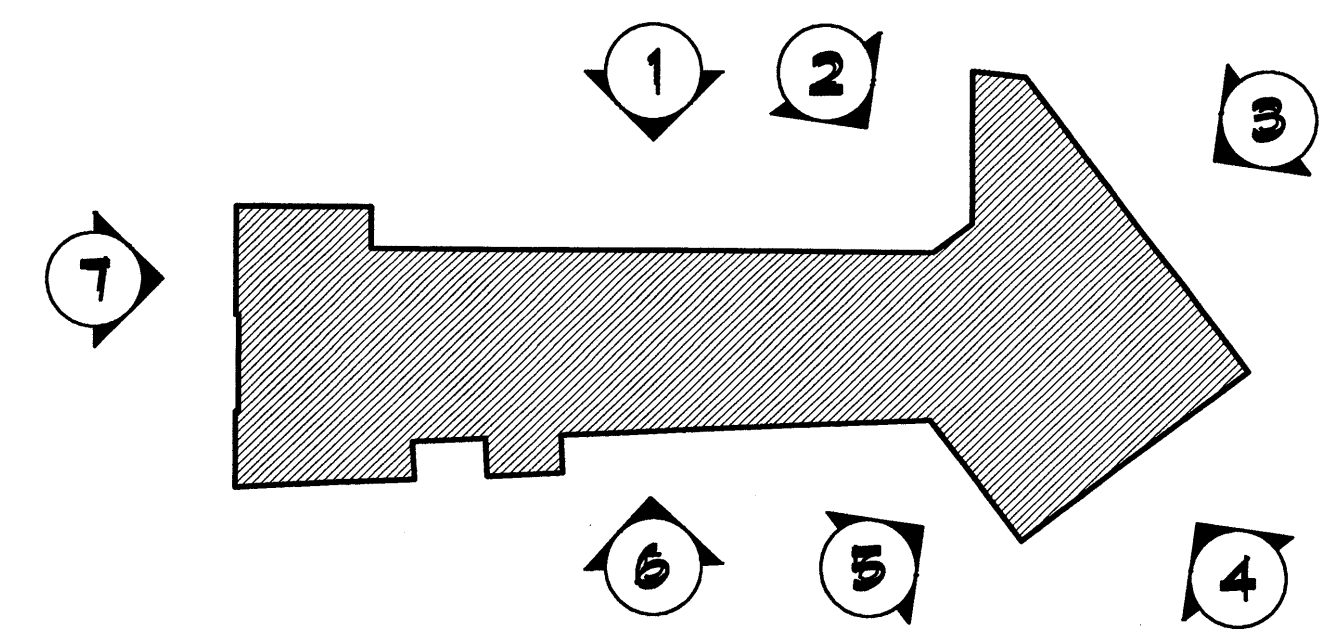


7 SOUTHWEST ELEVATION
CENTRAL AVE. 3/32" = 1'-0"

GENERAL NOTE
ELEVATIONS

1. ALL ORIGINAL WINDOWS TO BE RESTORED AND REGLAZED.
2. WINDOW FRAMES IN BRICK PORTION OF BUILDING TO BE PAINTED BLACK; WINDOW FRAMES IN PUEBLO-STYLE FRONT OF BUILDING TO BE PAINTED TAN COLOR TO COMPLEMENT STUCCO.
3. RESTORE WOOD VIGAS, LINTELS, CORBELS, & COLLINGS TO ORIGINAL CONDITION.
4. TEXTURED GLASS TO BE USED IN WINDOWS IMMEDIATELY FACING LAGUNA RD., ROMA AVE., AND 15TH ST., UP TO 6'-6 1/2" ABOVE FINISHED FLOOR TO PRESERVE PRIVACY ALONG PUBLIC STREETS.
5. EXISTING OR MISSING DOWNSPOUTS TO BE REPLACED.

INDICATES AREAS OF ORIGINAL RED BRICK



KEYPLAN
NTS

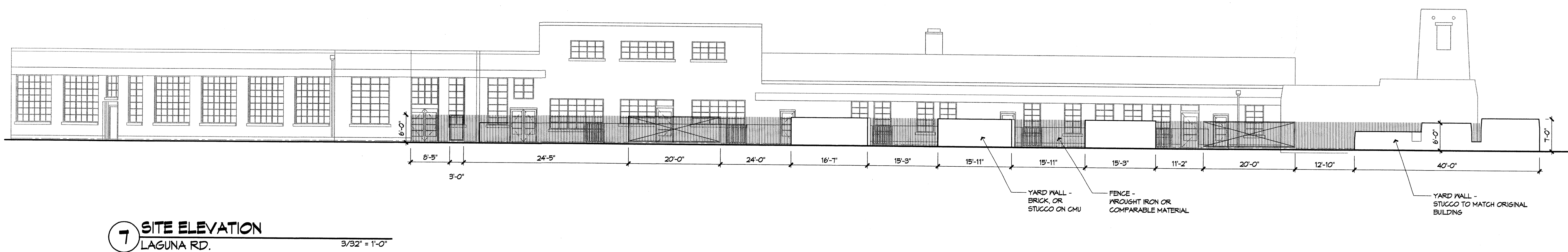
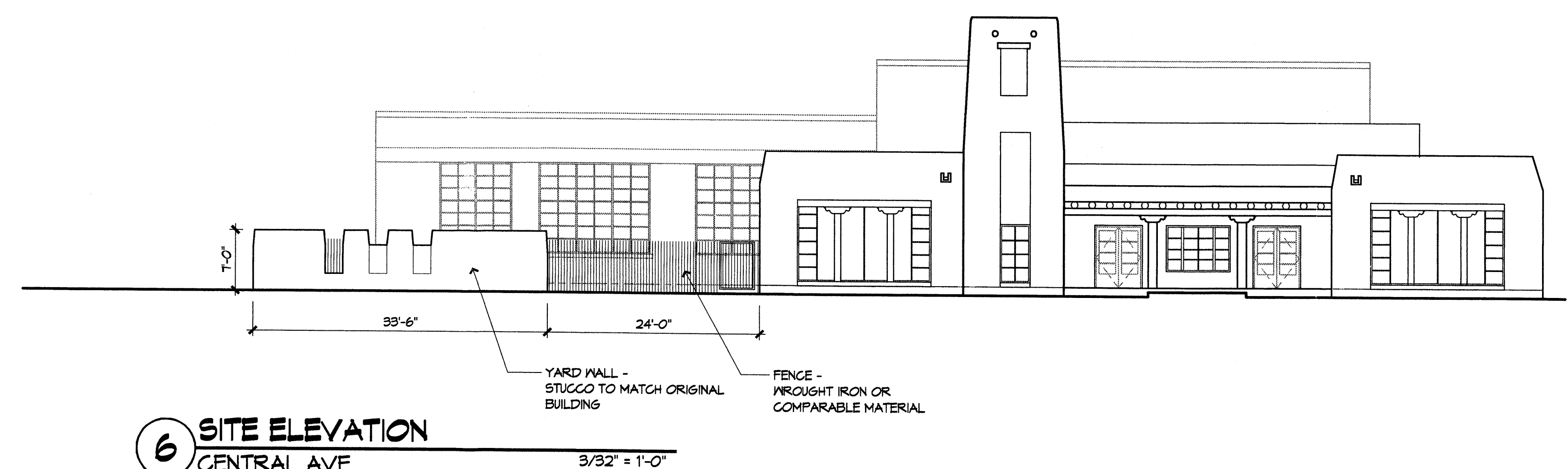
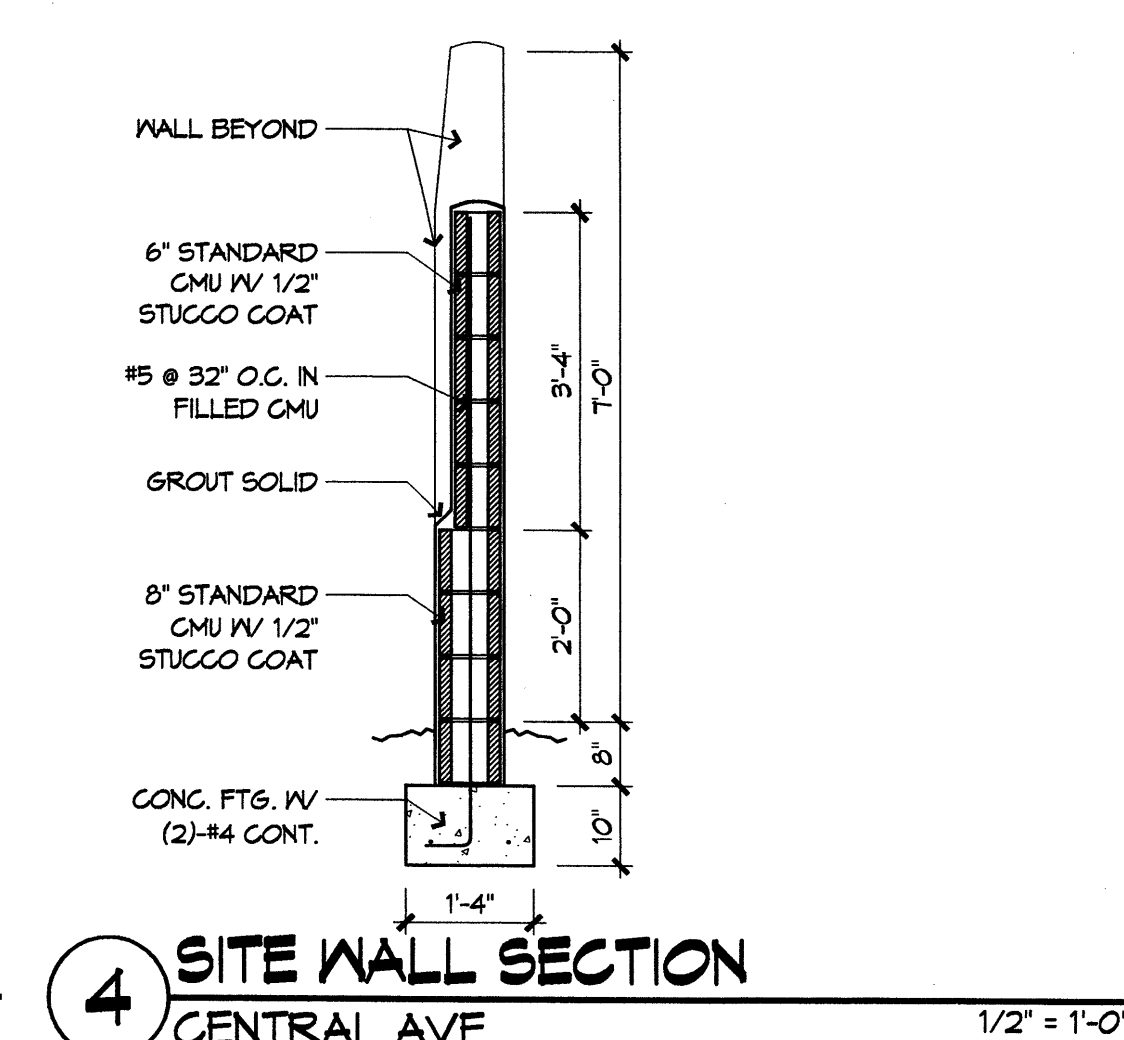
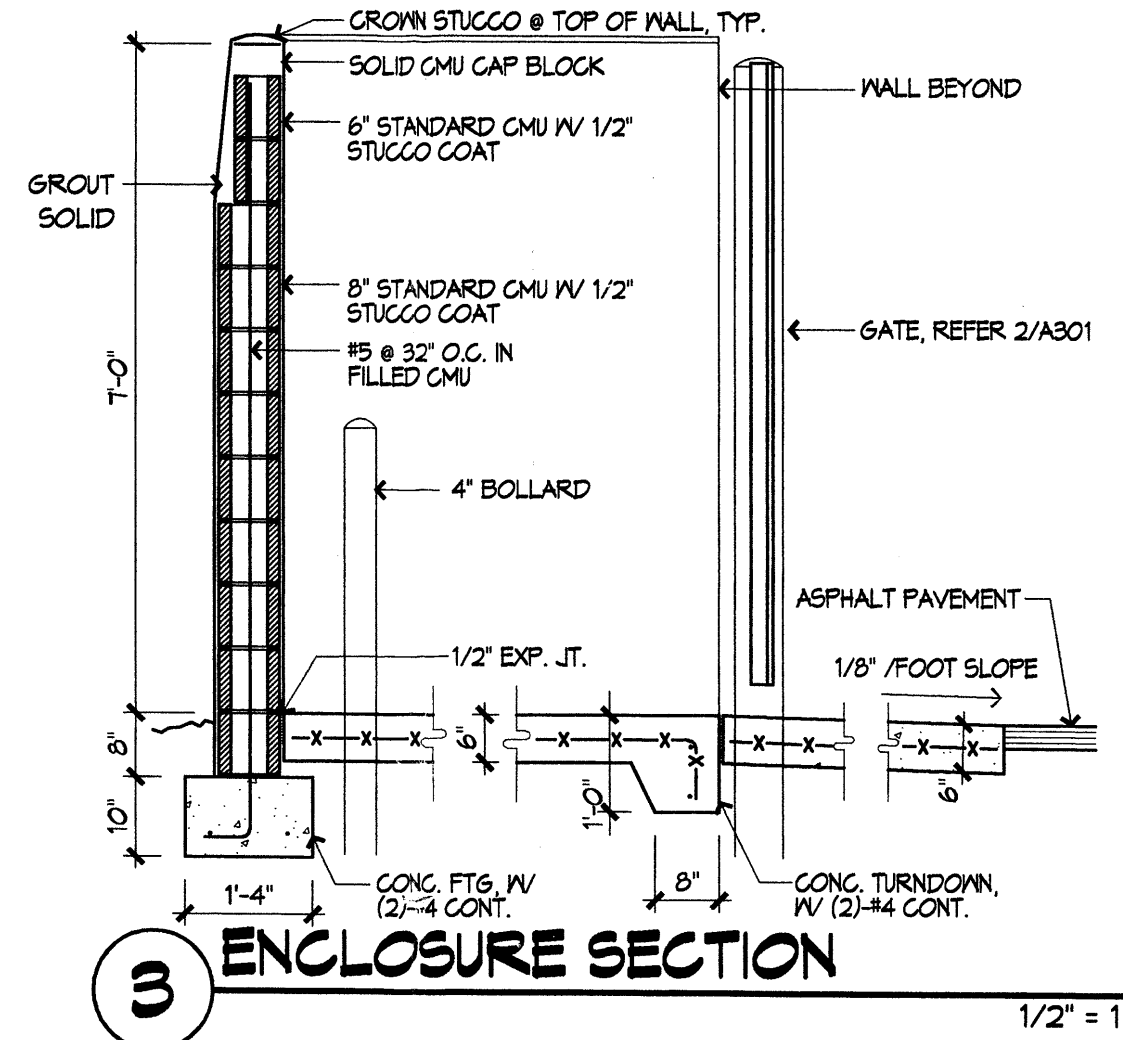
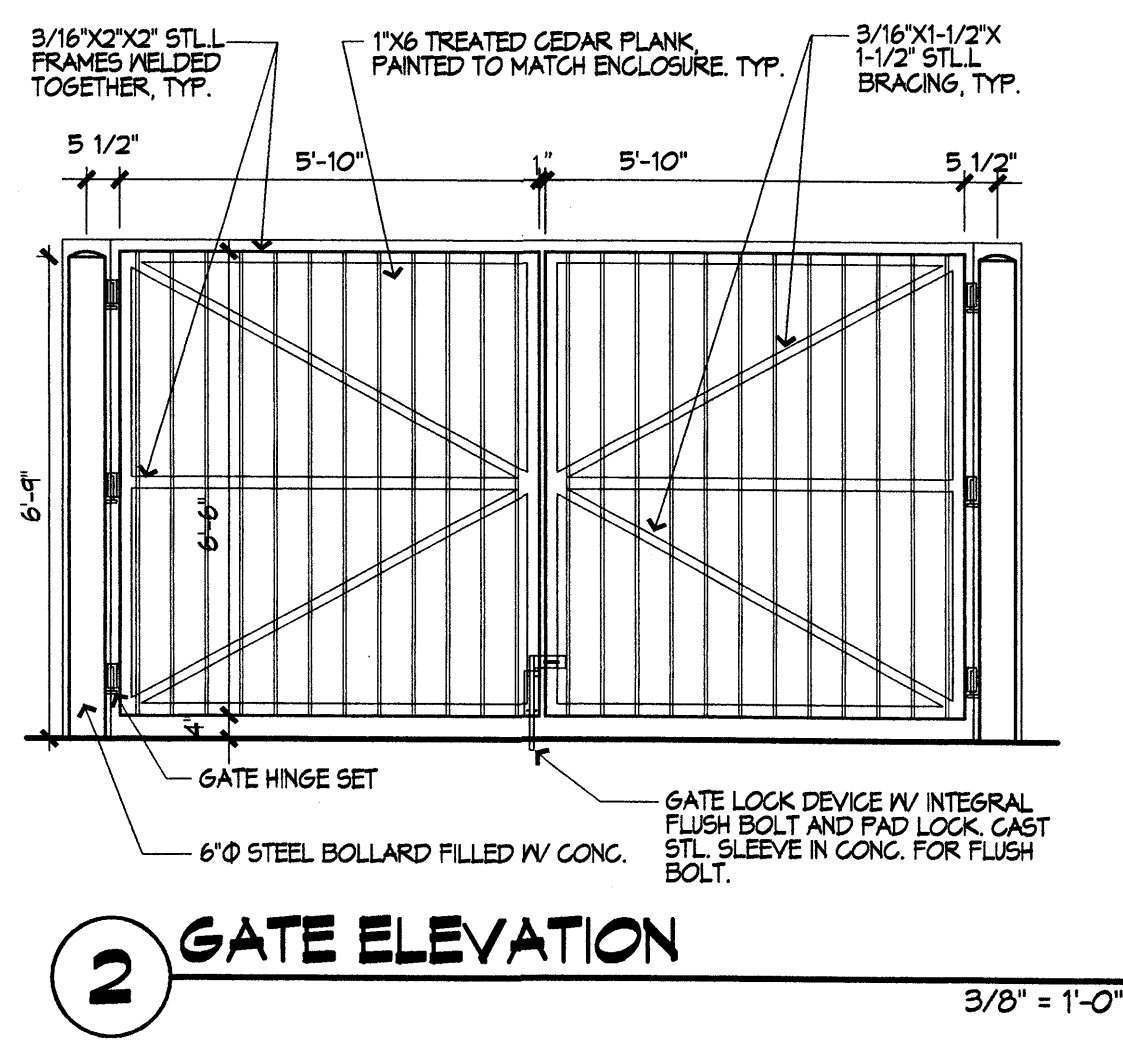
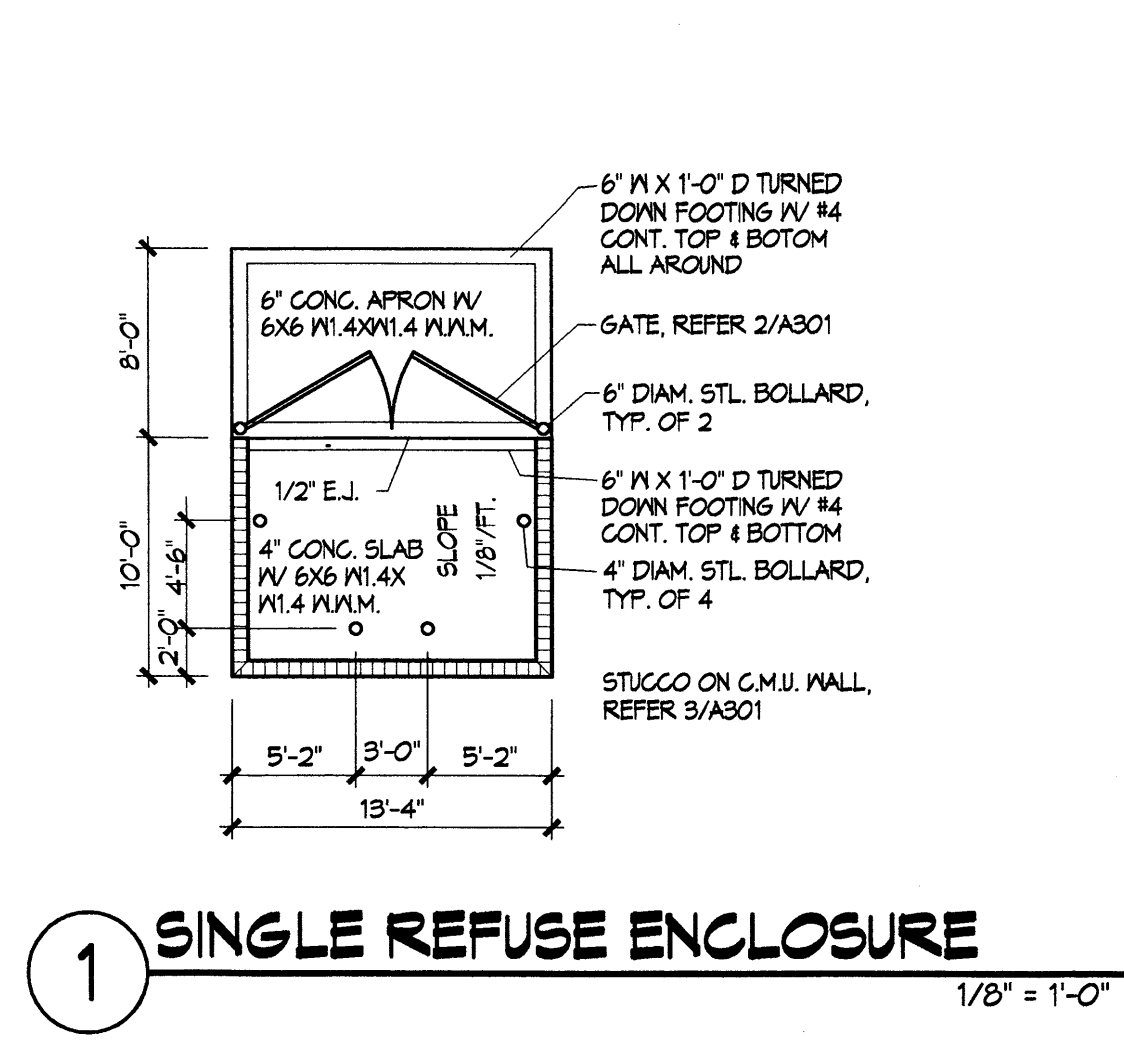
REVISIONS

DRAWN BY	MS
REVIEWED BY	LW
DATE	02/15/05
PROJECT NO.	04074
DRAWING NAME	

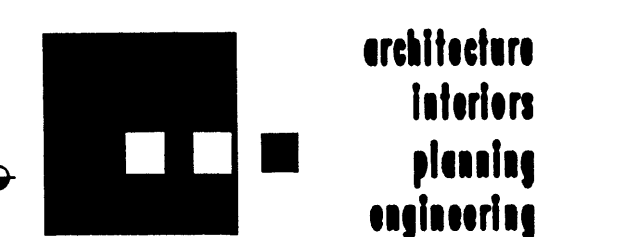
BUILDING ELEVATIONS

SHEET NO.

**Bell Trading Post
Renovation**
1503 Central Ave. NW
Albuquerque, New Mexico



7 SITE ELEVATION LAGUNA RD. 3/32" = 1'-0"



Dekker Perich Sabatini

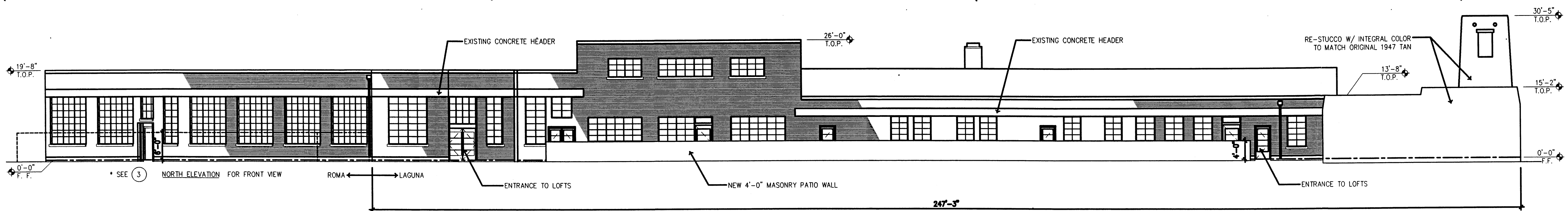
6801 Jefferson NE
Suite 100
Albuquerque, NM 87109
505 781-9700
fax 781-4222
dps@dpsdq.com

ARCHITECT

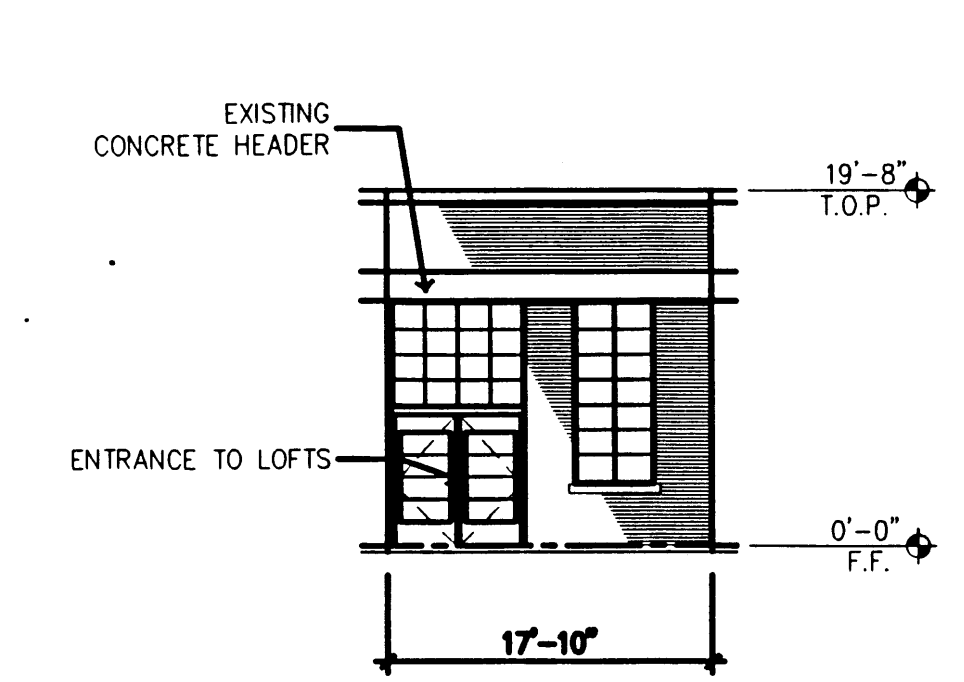
PERIMETER WALL SUBMITTAL
BELL TRADING POST LOFTS
ZONE ATLAS : J-13
SITE AT NE CORNER OF CENTRAL + LAGUNA
DRB# 1053713

*EPC approved as per MSBP
ENGINEER

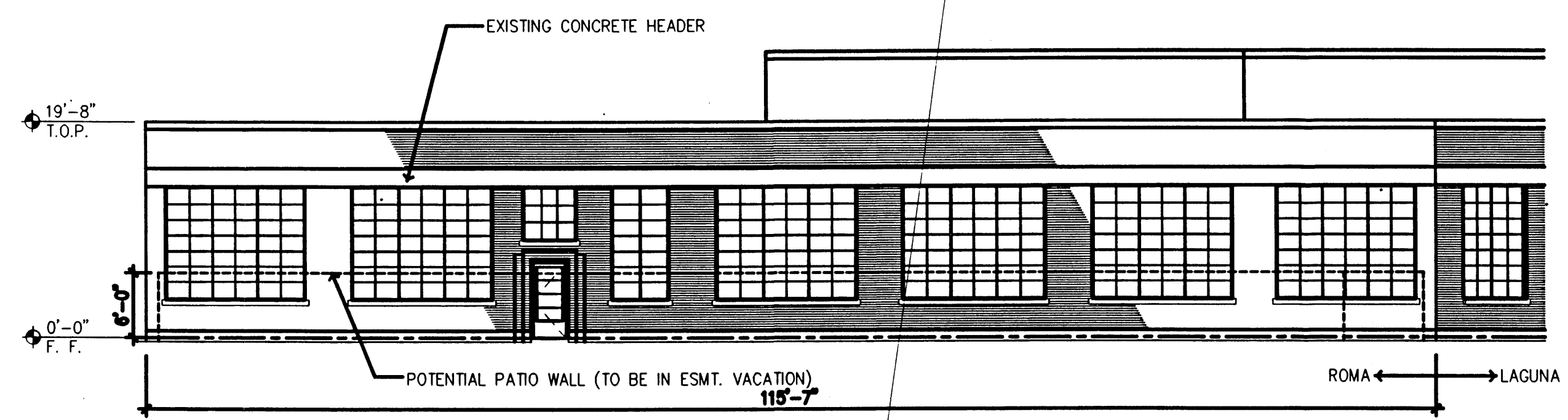
PROJECT



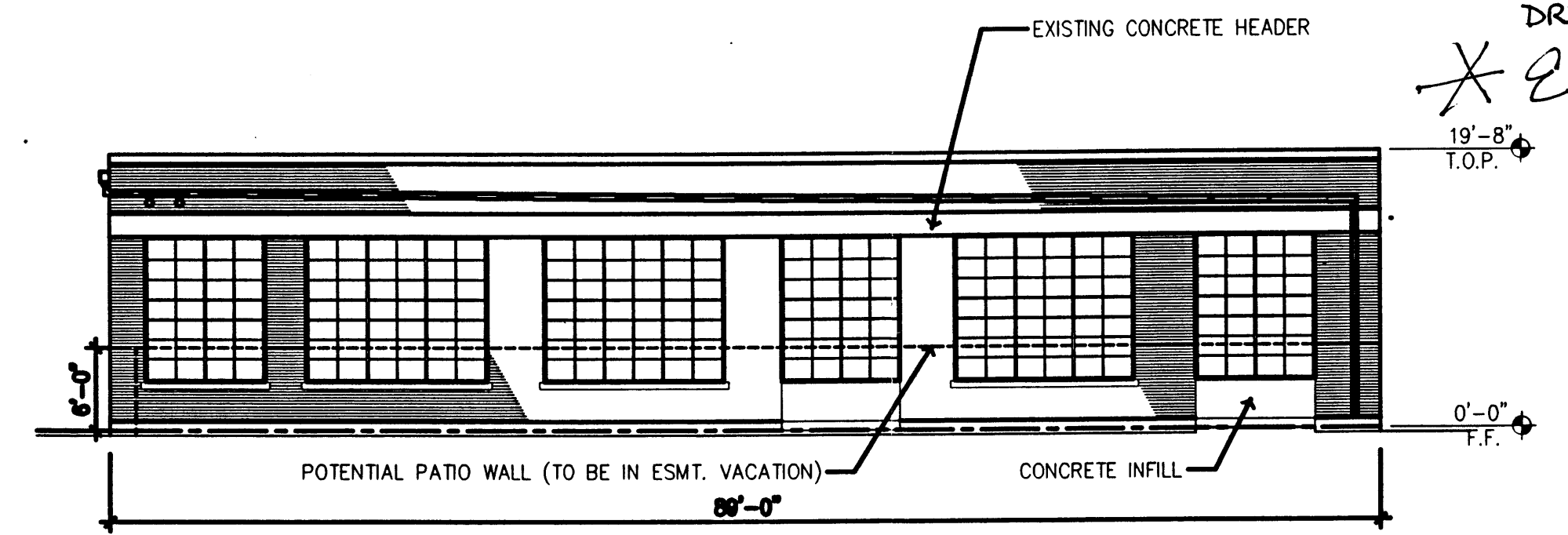
1 NORTHWEST ELEVATION
LAGUNA RD. 3/32" = 1'-0"



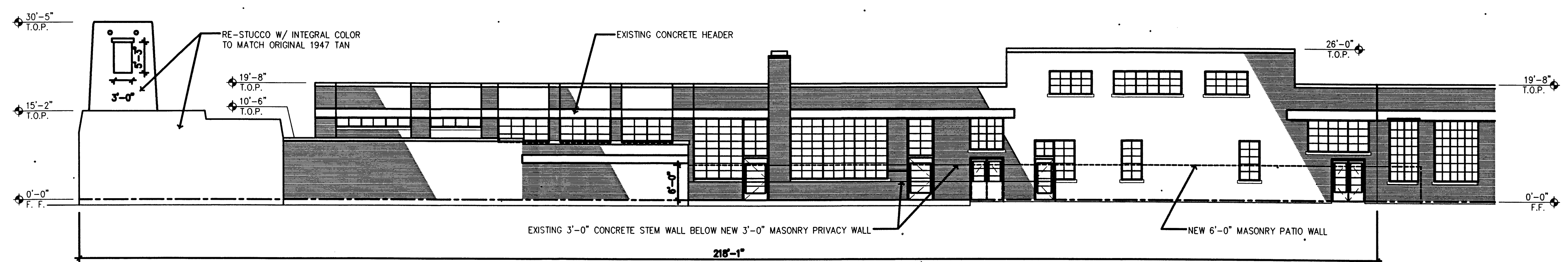
2 WEST ELEVATION
MAIN ENTRY 3/32" = 1'-0"



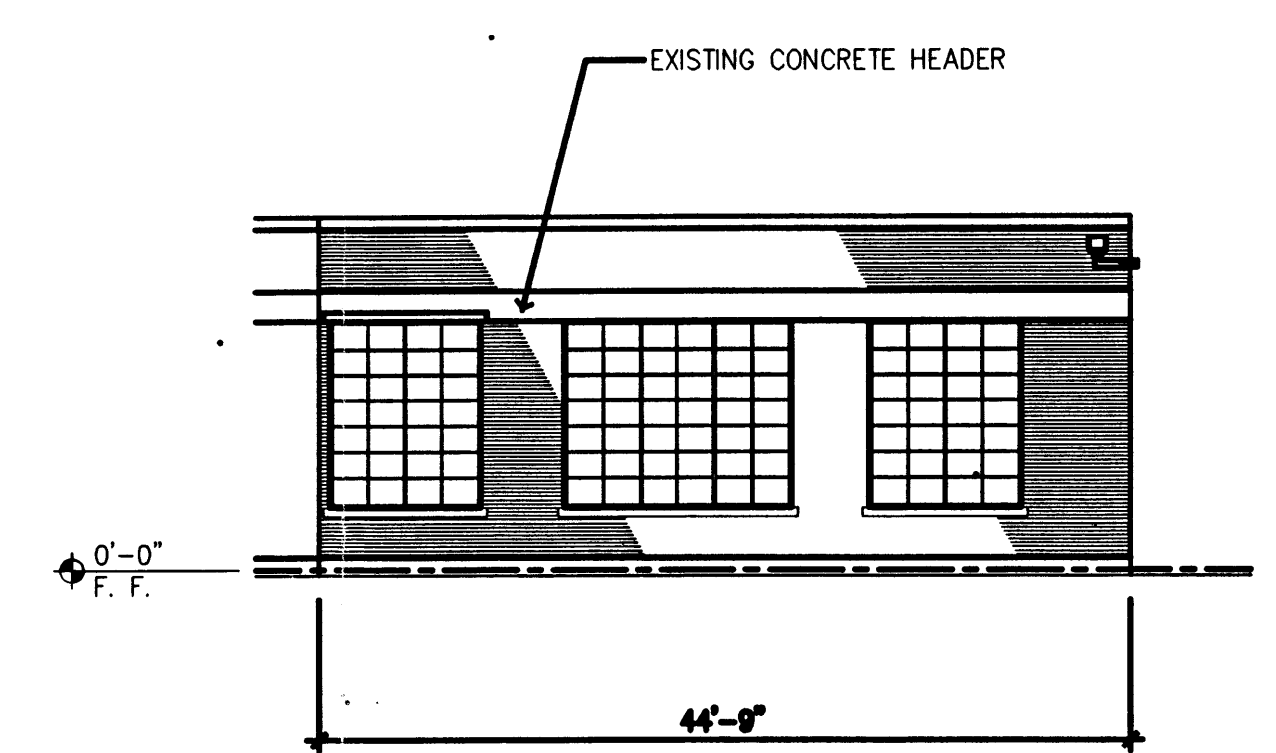
3 NORTH ELEVATION
ROMA 3/32" = 1'-0"



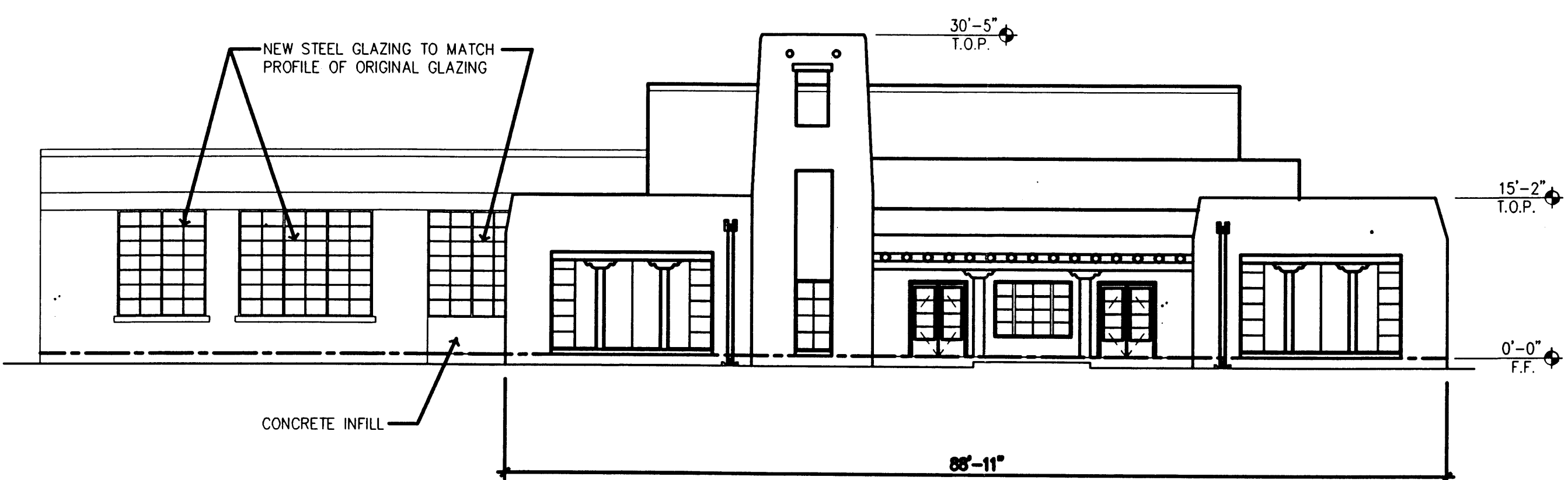
4 EAST ELEVATION
15TH ST. 3/32" = 1'-0"



5 SOUTHEAST ELEVATION
SIDEYARD 3/32" = 1'-0"



6 SOUTH ELEVATION
SIDEYARD 3/32" = 1'-0"

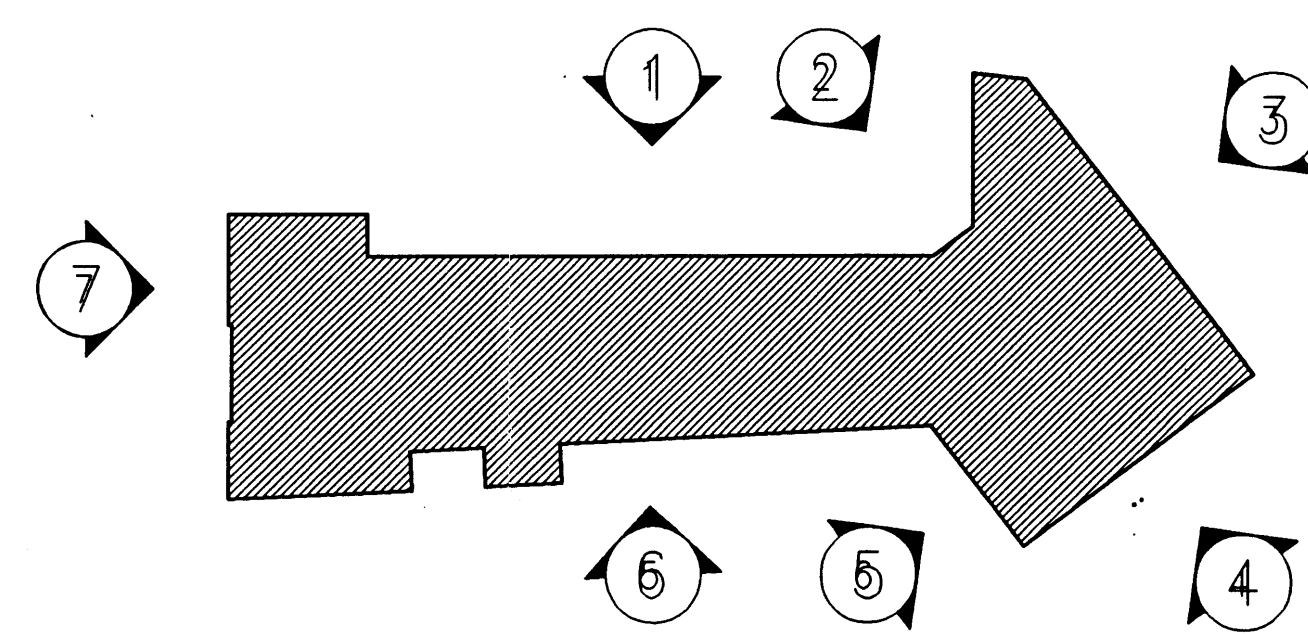


7 SOUTHWEST ELEVATION
CENTRAL AVE. 3/32" = 1'-0"

**GENERAL NOTES:
ELEVATIONS.**

1. ALL ORIGINAL WINDOWS TO BE RESTORED AND REGLAZED.
2. WINDOW FRAMES IN BRICK PORTION OF BUILDING TO BE PAINTED BLACK; WINDOW FRAMES IN PUEBLO-STYLE FRONT OF BUILDING TO BE PAINTED TAN COLOR TO COMPLEMENT STUCCO.
3. RESTORE WOOD VIGAS, LINTELS, CORBELS, & COLUMNS TO ORIGINAL CONDITION.
4. TEXTURED GLASS TO BE USED IN WINDOWS IMMEDIATELY FACING LAGUNA RD., ROMA AVE., AND 15TH ST., UP TO 6'-6 1/2" ABOVE FINISHED FLOOR TO PRESERVE PRIVACY ALONG PUBLIC STREETS.
5. EXISTING OR MISSING DOWNSPOUTS TO BE REPLACED.

INDICATES AREAS OF ORIGINAL RED BRICK

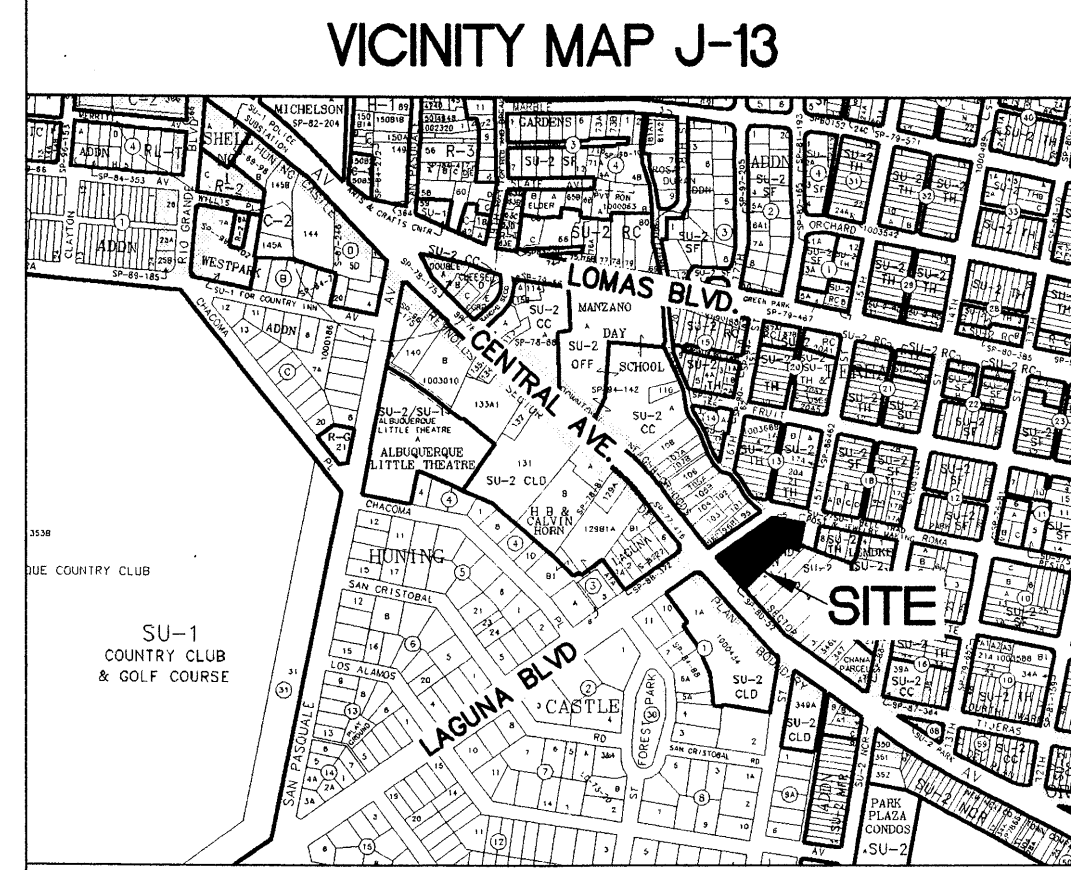
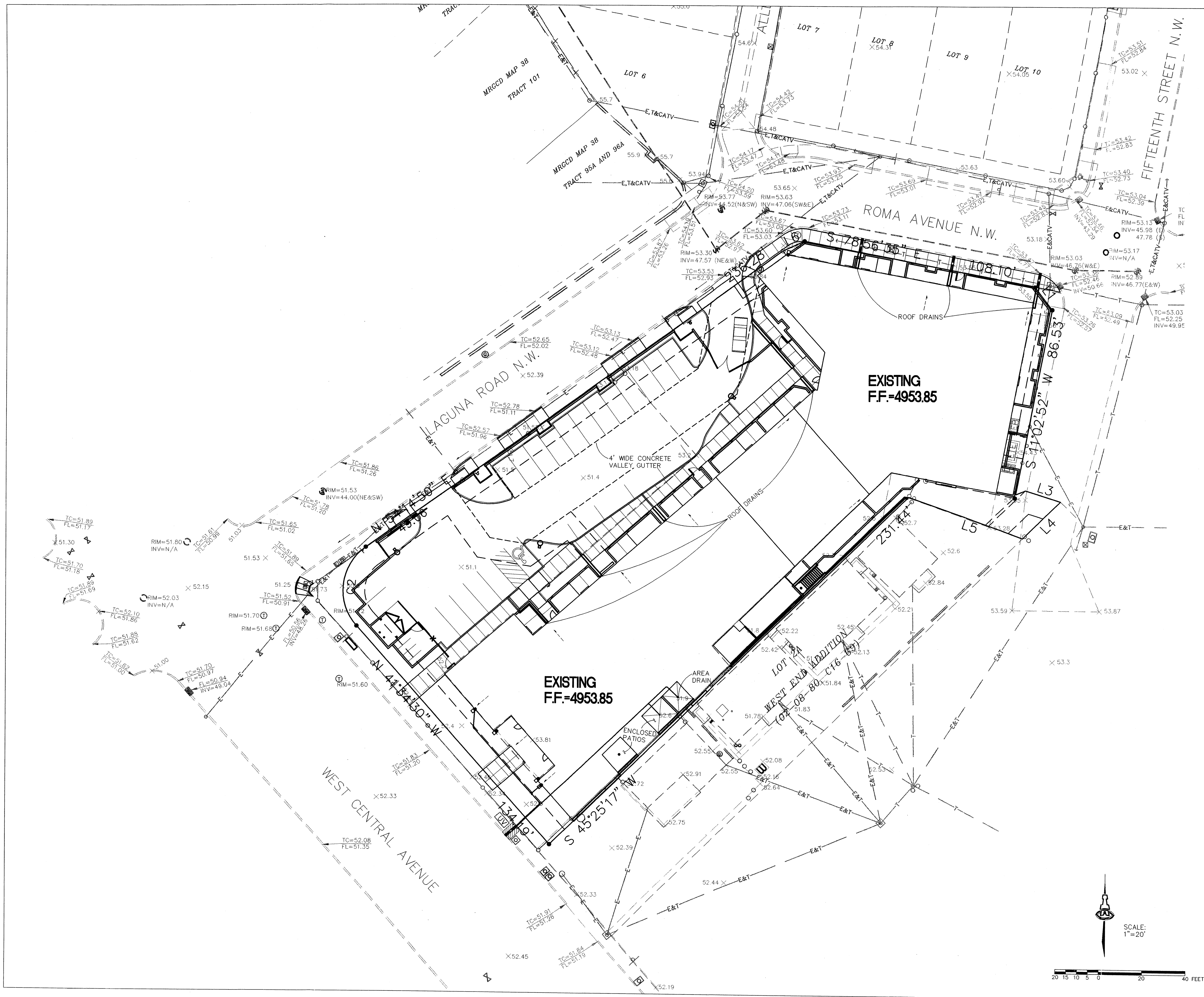


KEYPLAN
NTS

REVISIONS	
△	
△	
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DRAWN BY	MS
REVIEWED BY	LW
DATE	11/18/04
PROJECT NO.	04074
DRAWING NAME	BUILDING ELEVATIONS

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NOTES

- SEE WORK ORDER 758381 FOR INFRASTRUCTURE IMPROVEMENTS.

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 6881.0** FINISH FLOOR ELEVATION
- SIDEWALK CULVERT
- TOP OF CURB ELEVATION
- FLOWLINE

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph: 505-268-8828 Fax: 505-268-2632
 1304SDP.DWGdlp 03.07.07

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BELL TRADING POST LOFTS REPLAT

SITE PLAN

Checked By:	Drawn By:	No.	Revision:
ALDN	thar		
Date:	Job Number:		
09/06/06	1304		

SH.1 OF 1