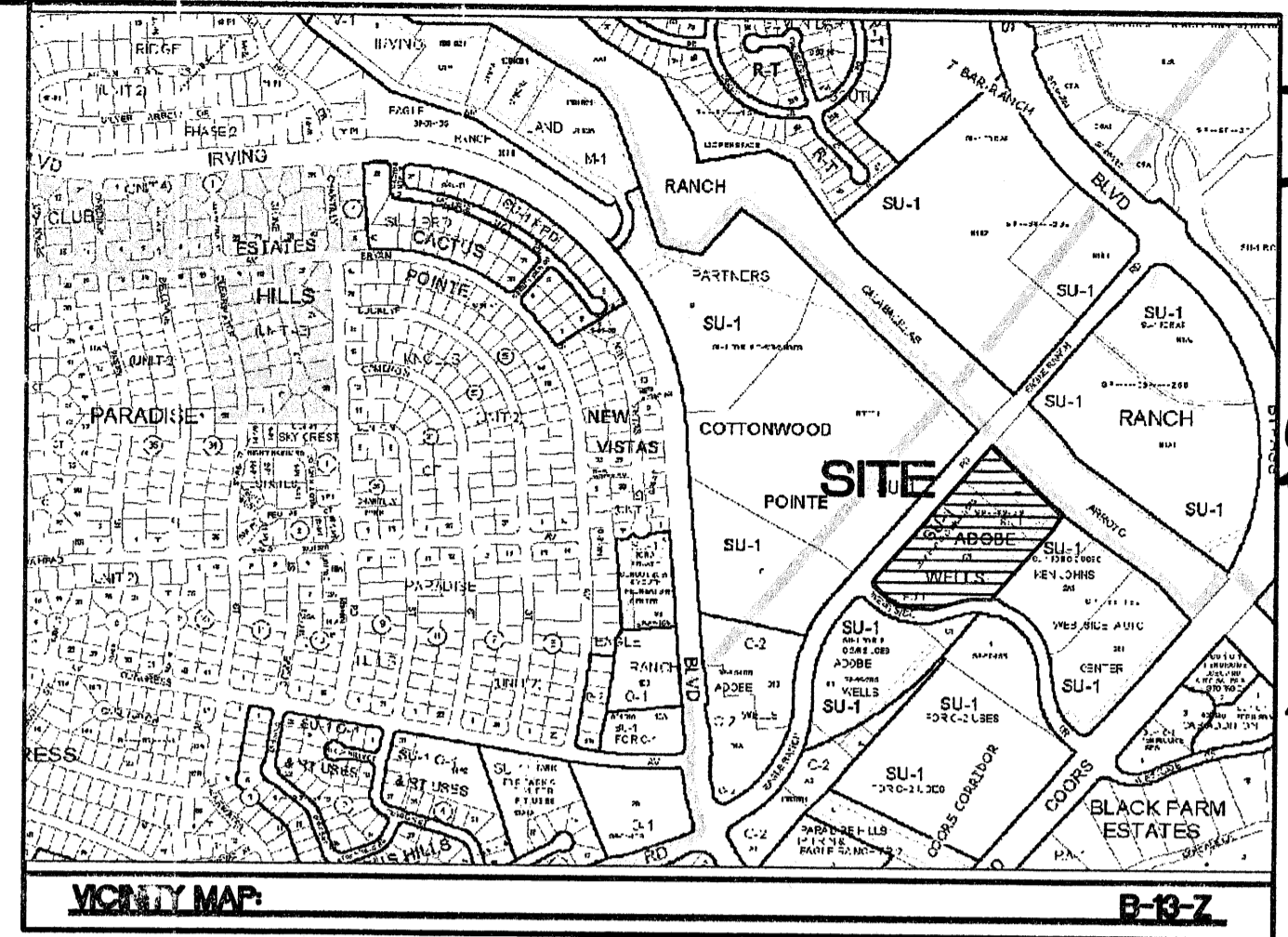


PROJECT # 1003714



LEGAL DESCRIPTION:
 TRACTS C-2 AND C-3 OF THE REPLAT OF TRACT LETTERED 'C' OF ADOBE WELLS SUBDIVISION, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 2, 1989, IN PLAT BOOK C38, FOLIO 110.

LEGEND

| | |
|--|-------------------------|
| | PROPOSED CURB & GUTTER |
| | BOUNDARY LINE |
| | EASEMENT |
| | PROPOSED SIDEWALK |
| | CENTERLINE |
| | RIGHT-OF-WAY |
| | LANE |
| | STRIPING |
| | STREET LIGHTS |
| | PROPOSED BUILDING |
| | PROPOSED RETAINING WALL |
| | PROPOSED REMAINING WALL |
| | EXISTING CURB & GUTTER |
| | EXISTING BOUNDARY LINE |
| | EXISTING SIDEWALK |
| | EXISTING LANE |
| | EXISTING STRIPING |

PROJECT NUMBER: 1003714
APPLICATION NUMBER: 06DRB-016A7

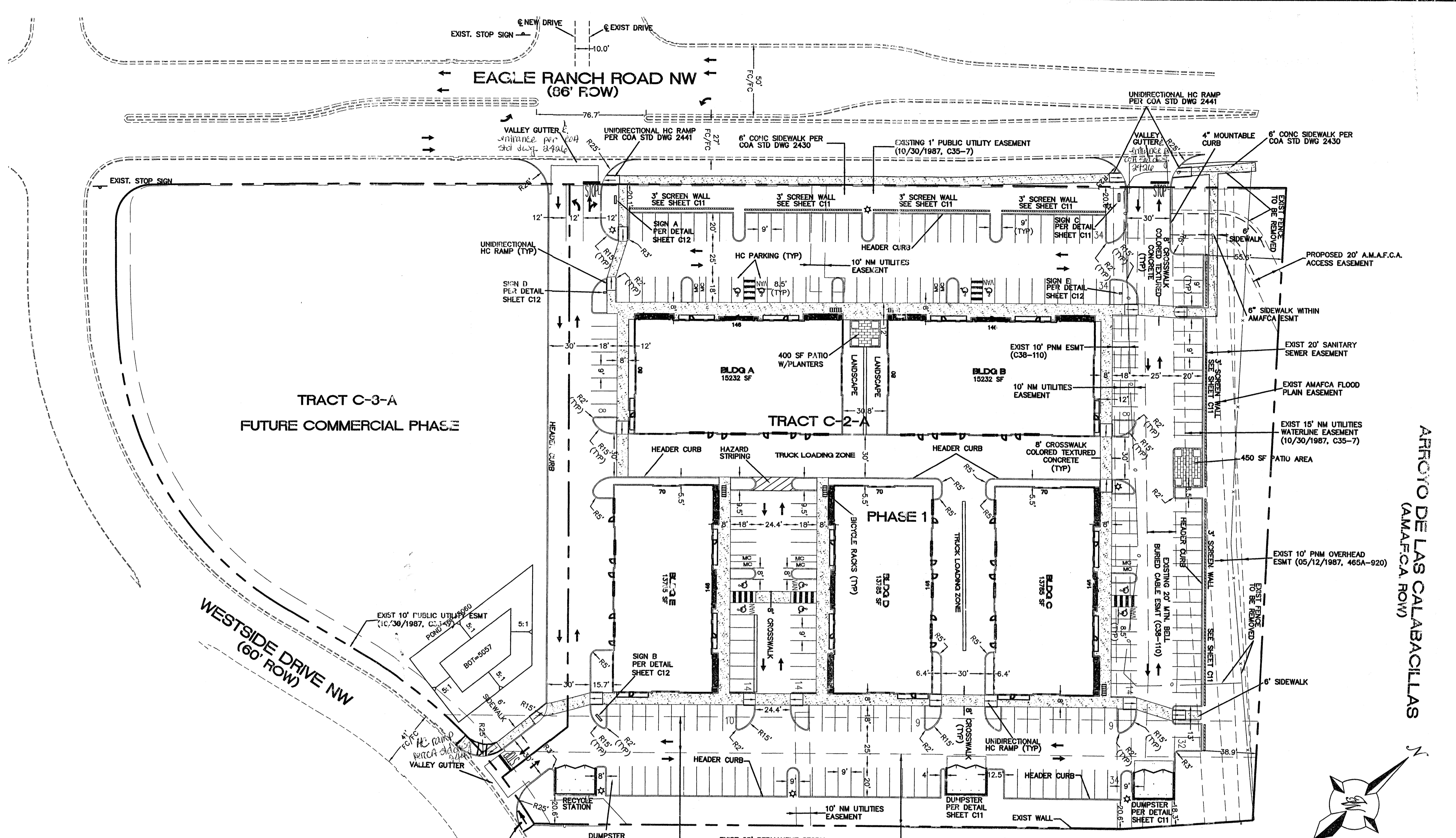
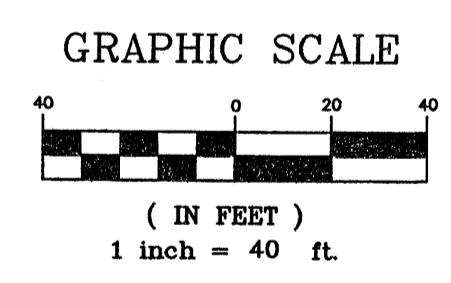
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 12/6/06, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? Yes No. If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|-----------------------------------------------------------------------|-----------------|
| <i>[Signature]</i> Traffic Engineer, Transportation Division | 12-6-06 Date |
| <i>William J. Balala</i> Water Utility Development | 12/6/06 Date |
| <i>Christine Sandopal</i> Parks & Recreation Department | 12/6/06 Date |
| <i>Bradley L. Binyon</i> City Engineer | 3/8/07 Date |
| <i>[Signature]</i> * Environmental Health Department (conditional) | Date |
| <i>Michael Holton</i> Solid Waste Management | 3/9/07 Date |
| <i>[Signature]</i> DRB Chairperson, Planning Department | 3/09/07 Date |

* Environmental Health, if necessary



- GENERAL NOTES:**
- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 - ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THAT PLAN. A SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED TRACT C-3-A AND A PUBLIC HEARING AT THE ENVIRONMENTAL PLANNING COMMISSION.
 - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 - LIGHT POLES SHALL BE A MAXIMUM OF 25' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
 - THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 - NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
 - SITE IS LOCATED ADJACENT TO BUS ROUTE. BUS STOPS LOCATED AT:
 -ROUTE 94, SOUTH OF IRVING BLVD AND EAGLE RANCH RD, NORTH AND SOUTH BOUND.
 -ROUTE 155/96, NORTH OF WESTSIDE DRIVE AND COORS BLVD, NORTH AND SOUTH BOUND.
 -ROUTE 155/96, NORTH OF IRVING BLVD & COORS BLVD, NORTH AND SOUTH BOUND.
 - ALL SIDEWALKS AND CROSSWALKS SHALL BE 6' AND OF TEXTURED, COLORED CONCRETE.

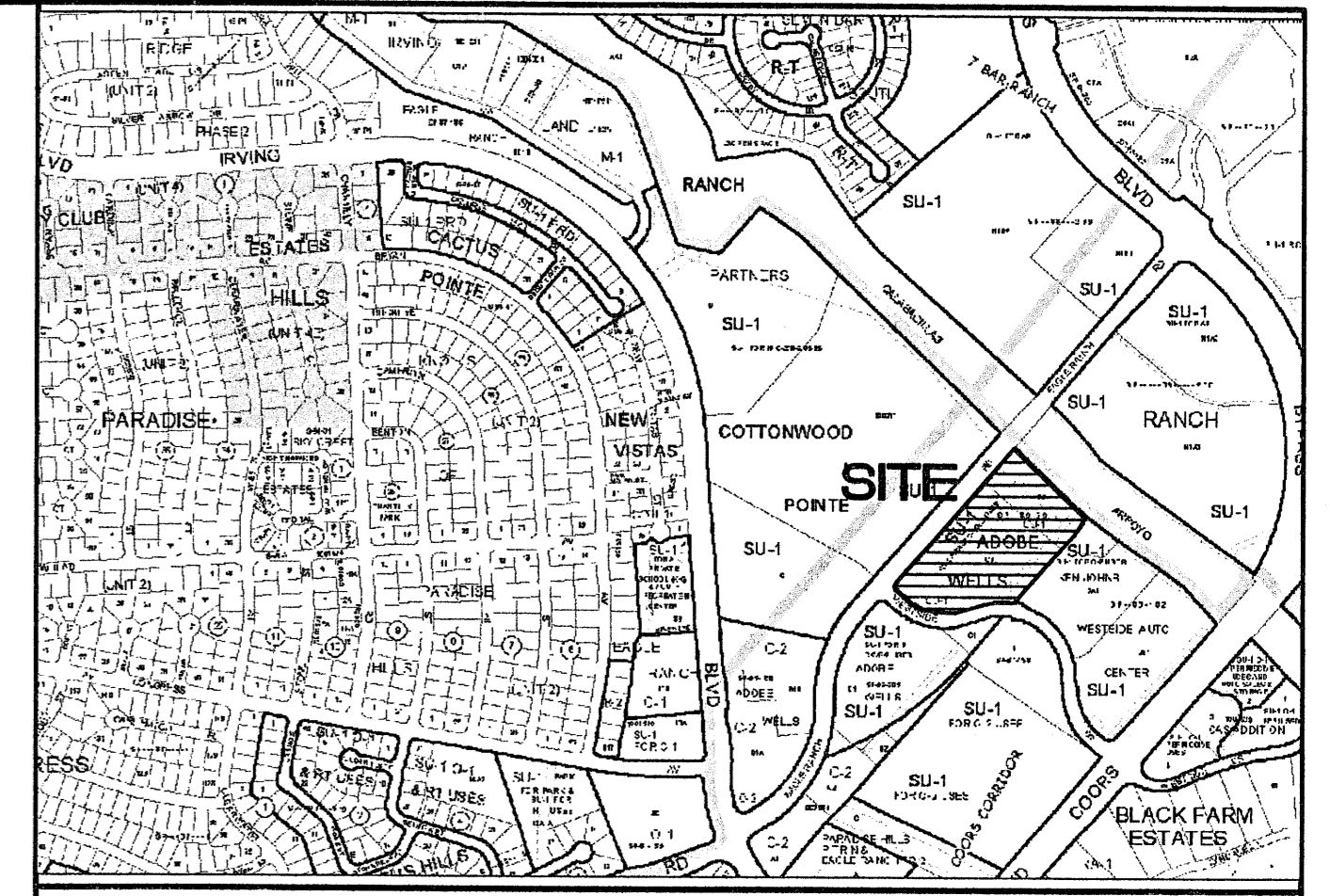
SITE DATA

PROPOSED USAGE: TRACT C-2-A OFFICE/WAREHOUSE/LIGHT INDUSTRIAL (IP)
 TRACT C-3-A C-2 USES

| | |
|------------------------------|------------------------------------------------|
| LOT AREA: | |
| TRACT C-2-A | 221449 SF (5.08 AC) |
| TRACT C-3-A | 99703 SF (2.29 AC) |
| EXISTING ZONING: | SU FOR IP; C2; R2 USES |
| PROPOSED ZONING: | SU FOR IP; C2; R2 USES |
| BUILDING AREA: | 73968 SF |
| PARKING REQUIREMENTS | |
| PARKING PROVIDED: | 220 SPACES |
| PARKING REQUIRED: | 196 SPACES |
| HC PARKING PROVIDED: | 10 SPACES-5 VAN ACCESSIBLE |
| HC PARKING REQUIRED: | 7 SPACES-1 VAN ACCESSIBLE |
| MOTORCYCLE PARKING PROVIDED: | 10 SPACES |
| MOTORCYCLE PARKING REQUIRED: | 7 SPACES |
| BICYCLE PARKING PROVIDED: | 30 SPACES |
| BICYCLE PARKING REQUIRED: | 19 SPACES |
| LANDSCAPING PROVIDED: | 44707 SF |
| LANDSCAPING REQUIRED: | 21860 SF |
| MAXIMUM BUILDING HEIGHT: | 35 FEET |
| MINIMUM BUILDING SETBACK: | 11 FEET FROM ENTRANCE 10 FEET SIDE AND REAR |
| MAXIMUM FAR: | 0.32 |

- INDEX TO DRAWINGS**
- C1 SITE PLAN FOR BUILDING PERMIT
 - C2 SITE PLAN FOR SUBDIVISION
 - C3 LANDSCAPING PLAN
 - C4 GRADING AND DRAINAGE PLAN
 - C5-9 BUILDING ELEVATIONS
 - C10 MASTER UTILITY PLAN
 - C11 DETAILS
 - C12 SIGN DETAIL

| | | |
|--|--------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------|
| | VENTURE COMMERCE CENTER - ALBUQUERQUE SITE PLAN FOR BUILDING PERMIT | DRAWN BY pm DATE 11-10-06 26034-SPE SHEET # C1 JOB # 26034 |
| | TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100 | |



VICINITY MAP P-19-7

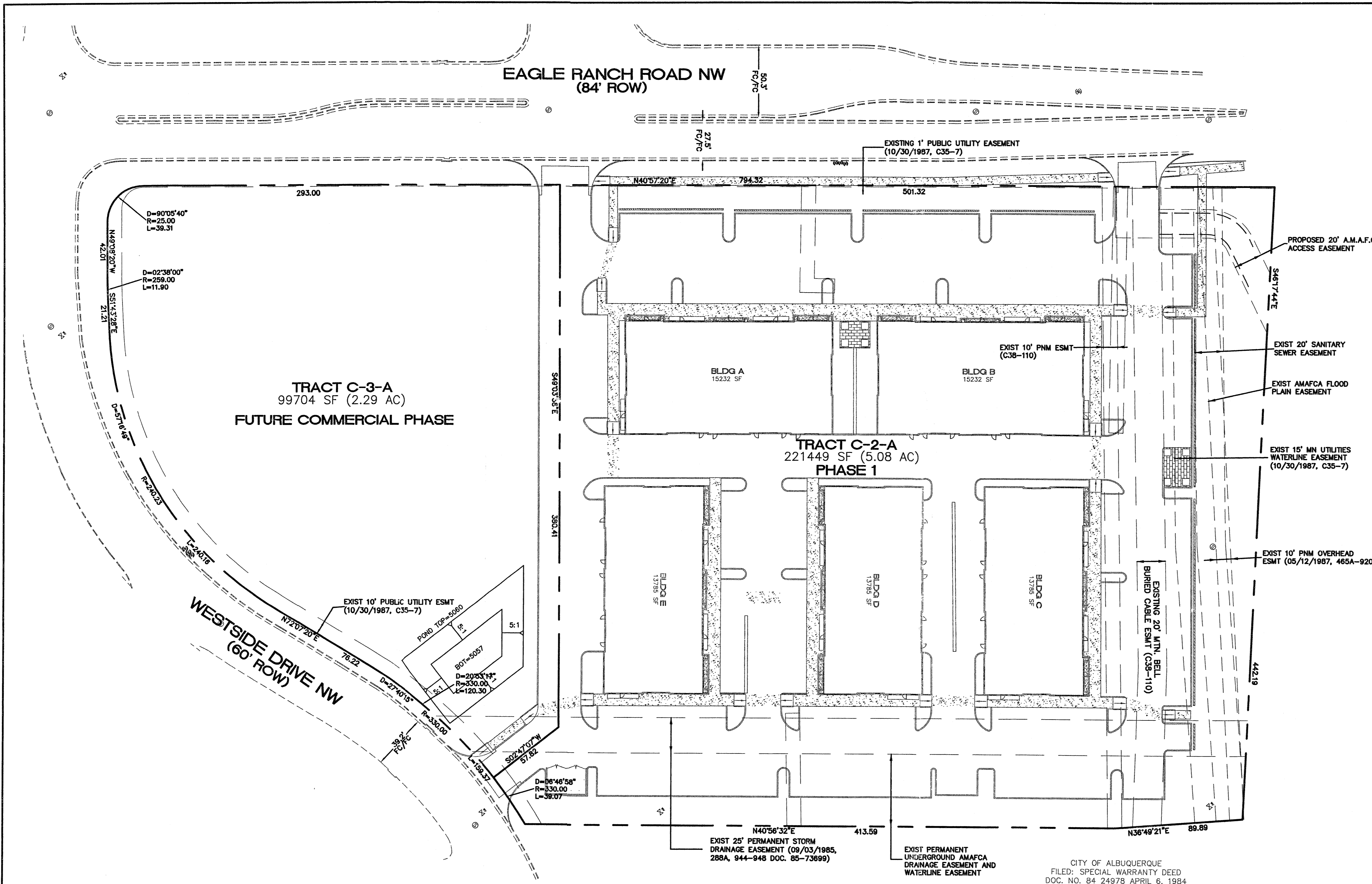
LEGAL DESCRIPTION:

SITE
 TRACTS "C-2" AND "C-3" OF THE REPLAT OF TRACT LETTERED "C" OF ADOBE WELLS SUBDIVISION, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 2, 1989, IN PLAT BOOK C38, FOLIO 110.

TRACT C-2-A
 TRACT C-2 OF THE REPLAT OF TRACT LETTERED "C" OF ADOBE WELLS SUBDIVISION, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 2, 1989, IN PLAT BOOK C38, FOLIO 110.
 TOGETHER WITH THAT PORTION OF TRACT C-3 OF SAID REPLAT OF TRACT LETTERED "C" DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHWESTERN MOST CORNER OF SAID TRACT C-2; THENCE S40°57'20"W A DISTANCE OF 299.49 FEET; THENCE S49°03'38"E A DISTANCE OF 380.41 FEET; THENCE S02°47'07"W A DISTANCE OF 57.82 FEET; THENCE ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 330.00 FEET, WHICH BEARS S02°53'08"W, THROUGH A CENTRAL ANGLE OF 06°46'58" AN ARC DISTANCE OF 39.07 FEET; THENCE N40°56'32"E A DISTANCE OF 322.63 TO THE SOUTHEASTERN MOST CORNER OF SAID TRACT C-3; THENCE N49°02'40"W A DISTANCE OF 448.18 TO THE POINT OF BEGINNING.

TRACT C-3-A
 TRACT C-3 OF THE REPLAT OF TRACT LETTERED "C" OF ADOBE WELLS SUBDIVISION, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 2, 1989, IN PLAT BOOK C38, FOLIO 110.
 EXCEPT THAT PORTION THEREOF DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHWESTERN MOST CORNER OF SAID TRACT C-2; THENCE S40°57'20"W A DISTANCE OF 299.49 FEET; THENCE S49°03'38"E A DISTANCE OF 380.41 FEET; THENCE S02°47'07"W A DISTANCE OF 57.82 FEET; THENCE ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 330.00 FEET, WHICH BEARS S02°53'08"W, THROUGH A CENTRAL ANGLE OF 06°46'58" AN ARC DISTANCE OF 39.07 FEET; THENCE N40°56'32"E A DISTANCE OF 322.63 TO THE SOUTHEASTERN MOST CORNER OF SAID TRACT C-3; THENCE N49°02'40"W A DISTANCE OF 448.18 TO THE POINT OF BEGINNING.

ARROYO DE LAS CALABACILLAS (AMAFCA ROW)



TRACT 2-A-1, KEN JOHNS WESTSIDE AUTO CENTER
 FILED: JUNE 21, 1988, VOL. C36, FOLIO 171

CITY OF ALBUQUERQUE
 FILED: SPECIAL WARRANTY DEED
 DOC. NO. 84 24978 APRIL 6, 1984
 BK. D208A, PG. 853

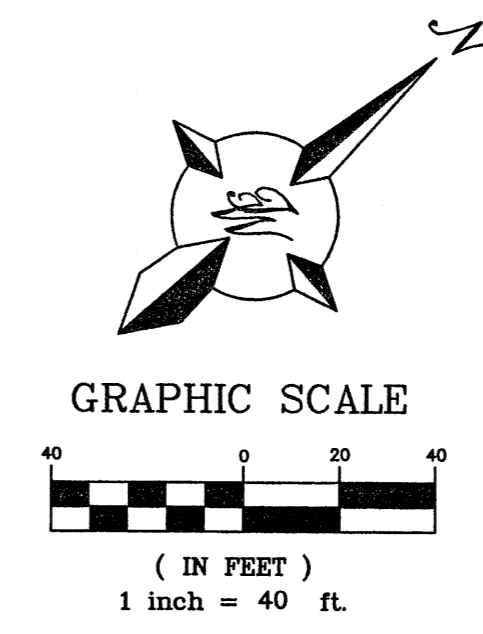
SITE DATA

PROPOSED USAGE: TRACT C-2-A OFFICE/WAREHOUSE/LIGHT INDUSTRIAL (IP)
 TRACT C-3-A C-2 USES

| | |
|---------------------------------------------------------------------------------|---------------------|
| LOT AREA: | |
| TRACT C-2-A | 221449 SF (5.08 AC) |
| TRACT C-3-A | 99704 SF (2.29 AC) |
| EXISTING ZONING: SU FOR IP; C2; R2 USES | |
| PROPOSED ZONING: SU FOR IP; C2; R2 USES | |
| MAXIMUM BUILDING HEIGHT: 35 FEET | |
| MINIMUM BUILDING SETBACK: 11 FEET FROM ENTRANCE 10 FEET SIDE AND REAR | |
| MAXIMUM FAR--BOTH TRACTS: 0.22 | |

LEGEND

| | |
|--|-------------------------|
| | PROPOSED CURB & GUTTER |
| | BOUNDARY LINE |
| | EASEMENT |
| | PROPOSED SIDEWALK |
| | CENTERLINE |
| | RIGHT-OF-WAY |
| | LANE |
| | STRIPING |
| | STREET LIGHTS |
| | PROPOSED BUILDING |
| | PROPOSED PERIMETER WALL |
| | PROPOSED RETAINING WALL |
| | EXISTING CURB & GUTTER |
| | EXISTING BOUNDARY LINE |
| | EXISTING SIDEWALK |



PROJECT NUMBER: 100871A
APPLICATION NUMBER: 06DRB-09646

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 7/1/06, and the Findings and Conditions in the Official Notification of Decision are satisfied.

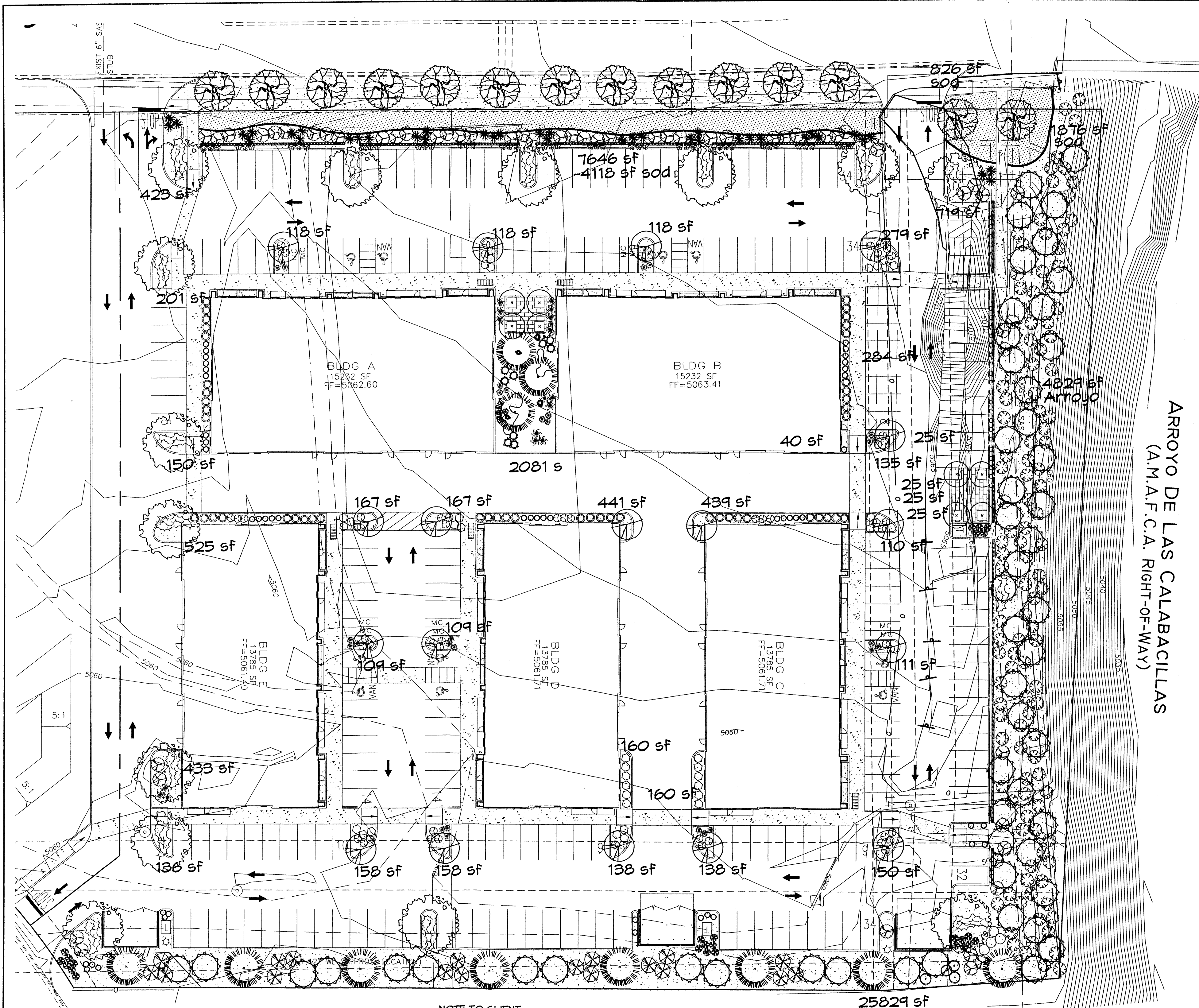
Is an infrastructure list required? Yes No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | | |
|---------------------------------------------------------------|------|---------|
| <i>Bill St</i> Traffic Engineer, Transportation Division | Date | 12/6/06 |
| <i>William A. Dalar</i> Water Utility Development | Date | 12/6/06 |
| <i>Christine Santora</i> Parks & Recreation Department | Date | 12/6/06 |
| <i>Bradley L. Bingham</i> City Engineer | Date | 12/6/06 |
| N/A * Environmental Health Department (conditional) | Date | |
| N/A Solid Waste Management | Date | |
| <i>DR Chairperson</i> DRB Chairperson, Planning Department | Date | 5/09/07 |

* Environmental Health, if necessary

| | | |
|---------------------------------------------------------|----------------------------------------------------------------------------------|--------------------------------------------------|
| ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868 | VENTURE COMMERCE CENTER - ALBUQUERQUE SITE PLAN FOR SUBDIVISION | DRAWN BY pm DATE 09-05-06 26034-SPSE |
| | SHEET # C2 | JOB # 26034 |



PLANT LEGEND

- PURPLE ROBE LOCUST (M) 14
Robinia pseudoacacia
2" Gal.
- CHITALPA (M) 14
Chilopsis X Catalpa
2" Gal.
- DESERT WILLOW (L) 54
Chilopsis linearis
5 Gal. 225sf
- SILVERBERRY (M) 10
Elaeagnus pungens
5 Gal. 100sf
- RED YUCCA (L) 34
Hesperaloe parviflora
5 Gal. 4sf
- MAIDEN GRASS (M) 15
Miscanthus sinensis
5 Gal. 16sf
- REGAL MIST (M) 26
Muhlenbergia capillaris
5 Gal. 4sf
- RUSSIAN SAGE (M) 4
Perovskia atriplicifolia
5 Gal. 36sf
- UPRIGHT ROSEMARY (M) 49
Rosmarinus officinalis
5 Gal. 25sf
- APACHE PLUME (L) 4
Fallugia paradoxa
5 Gal. 25sf
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC
- FESCUE SOD WITH POP UP SPRINKLERS
- AFGHAN PINE (M) 11
Pinus ularica
6"-8"
- BUR OAK (M) 18
Quercus macrocarpa
2" Gal.
- NEW MEXICO OLIVE (L) 8
Forestiera neomexicana
15 Gal. 225sf
- BLUE MIST SPIREA (M) 36
Caryopteris clandonensis
5 Gal. 4sf
- FLOWERING BROOM (M) 9
Cytisus scoparius
5 Gal. 16sf
- HONEYSUCKLE (M) 58
Lonicera japonica 'Halliana'
1 Gal. 144sf
Unstaked-Groundcover
- LAVENDER (M) 72
Lavandula angustifolia
1 Gal. 4sf
- CHAMISA (L) 113
Chrysothamnus nauseosus
1 Gal. 25sf
- AUTUMN SAGE (M) 35
Salvia greggii
1 Gal. 4sf
- THREADGRASS (M) 45
Stipa tenuissima
1 Gal. 4sf
- CREEPING ROSEMARY (L) 45
Rosmarinus officinalis 'Prostrata'
1 Gal. 36sf
Symbol indicates 3 plants
- WILDFLOWER/PERENNIAL 58
1 Gal. 4sf
To include, but not limited to:
Guara
Gaillardia
Daylilies
Primrose
Penstemon
Iceplant

ARROYO DE LAS CALABACILLAS
(A.M.A.F.C.A. RIGHT-OF-WAY)

LANDSCAPE NOTES:
Landscape maintenance, including street trees in ROW, shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

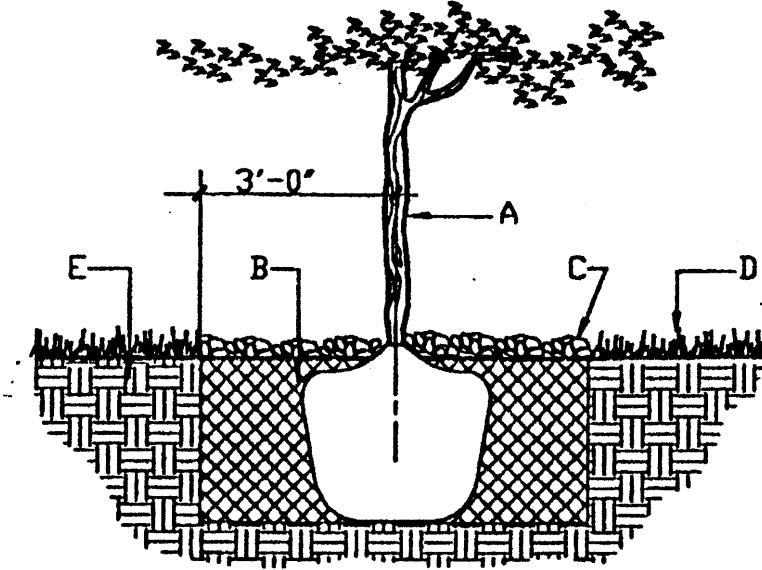
Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Location of controller to be field determined and power source for controller to be provided by others.
Irrigation maintenance shall be the responsibility of the Property Owner.
Water and Power source shall be the responsibility of the Developer/Builder.

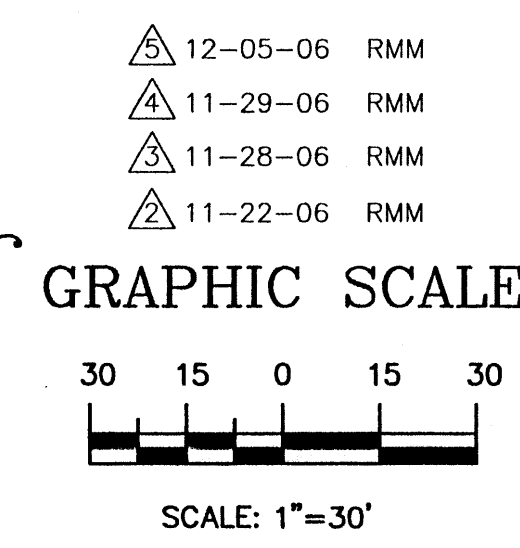


GENERAL NOTES:

- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
- TOP OF ROOTBALL INDICATES LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
- PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
- PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

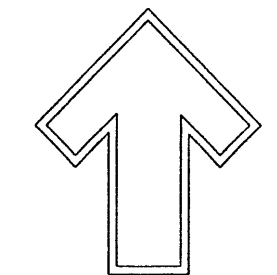
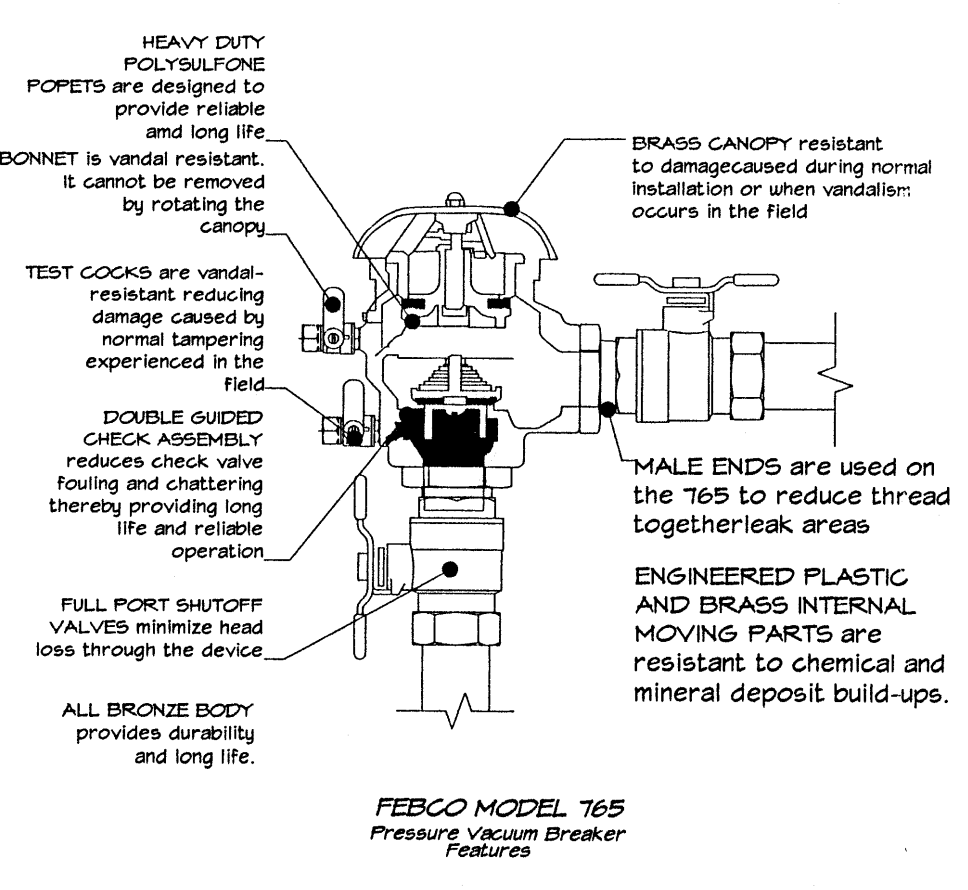
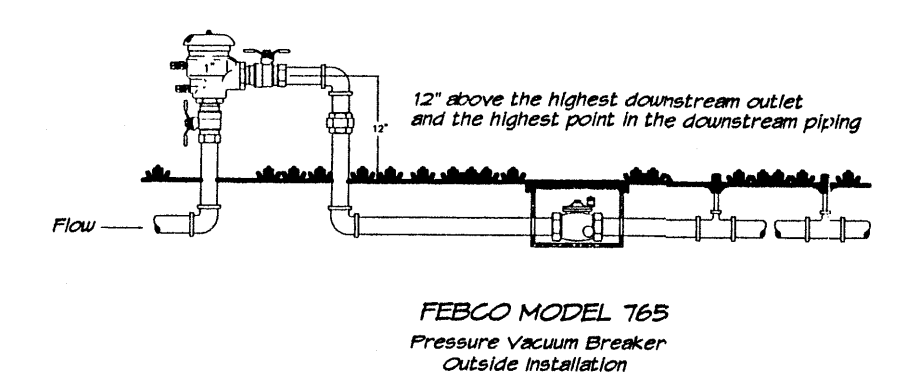
- TREE.
- BACKFILL WITH EXISTING SOIL.
- 4" DEPTH OF BARK MULCH.
- TURF AT FINISH GRADE.
- UNDISTURBED SOIL.



LANDSCAPE CALCULATIONS

| | | |
|----------------------------------|------------|-------------|
| TOTAL LOT AREA | 221496 | square feet |
| TOTAL BUILDINGS AREA | 71819 | square feet |
| OFFSITE AREA | 3941 | square feet |
| NET LOT AREA | 145736 | square feet |
| LANDSCAPE REQUIREMENT | 15% | |
| TOTAL LANDSCAPE REQUIREMENT | 21860 | square feet |
| TOTAL BED PROVIDED | 37432 | square feet |
| GROUND COVER REQ. | 75% | square feet |
| TOTAL GROUND COVER REQUIREMENT | 28449 | square feet |
| TOTAL GROUND COVER PROVIDED | 32684 | square feet |
| TOTAL SOD AREA | 6820 (18%) | square feet |
| (max. 20% of landscape required) | | |
| ARROYO ON PROPERTY | 4829 | square feet |
| TOTAL LANDSCAPE PROVIDED | 44752 | square feet |

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

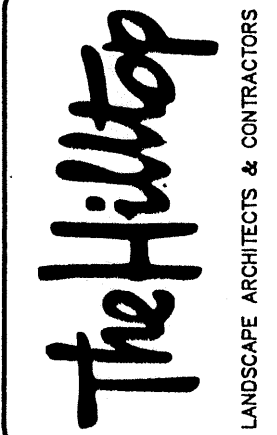
LANDSCAPE ARCHITECT'S SEAL



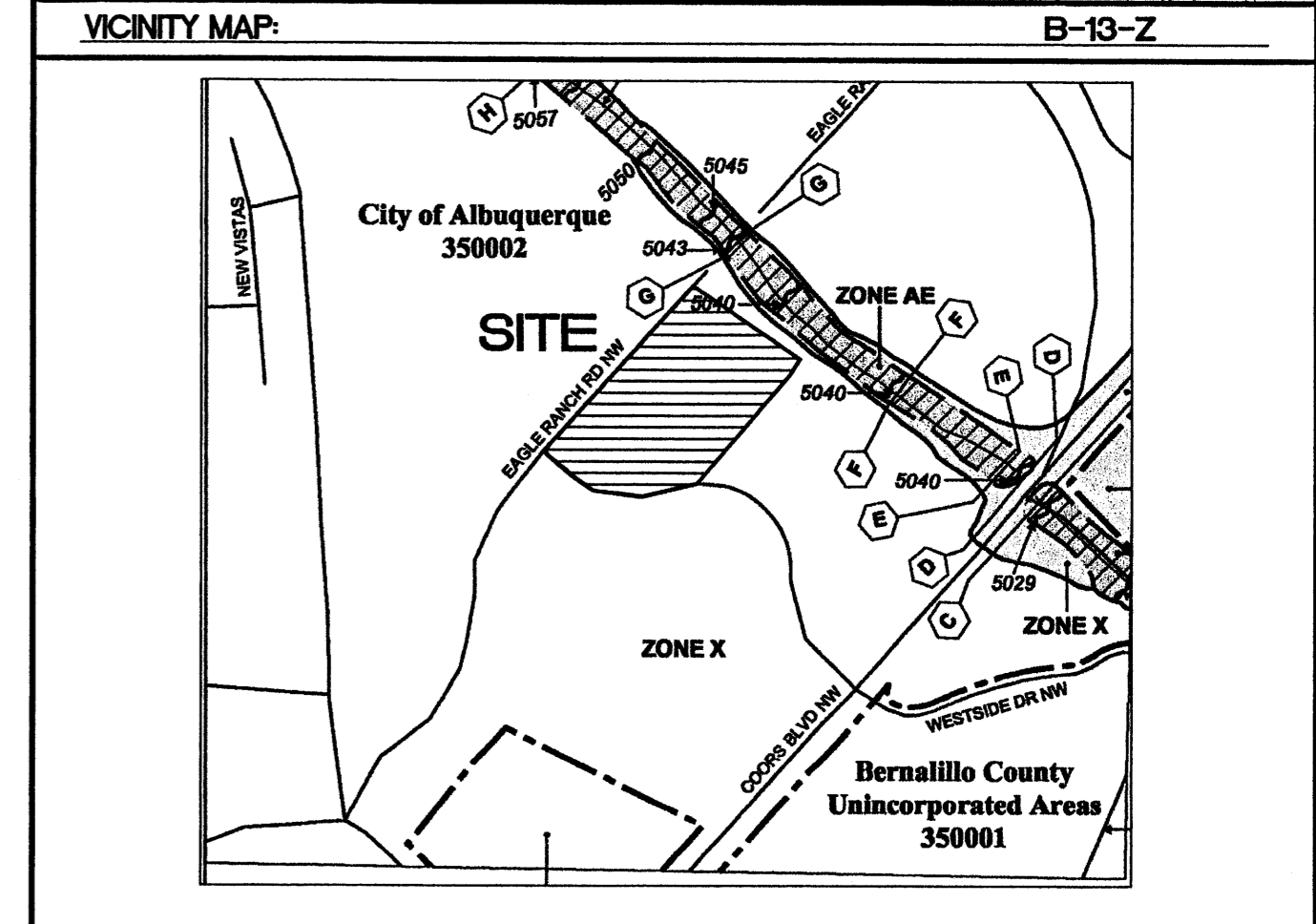
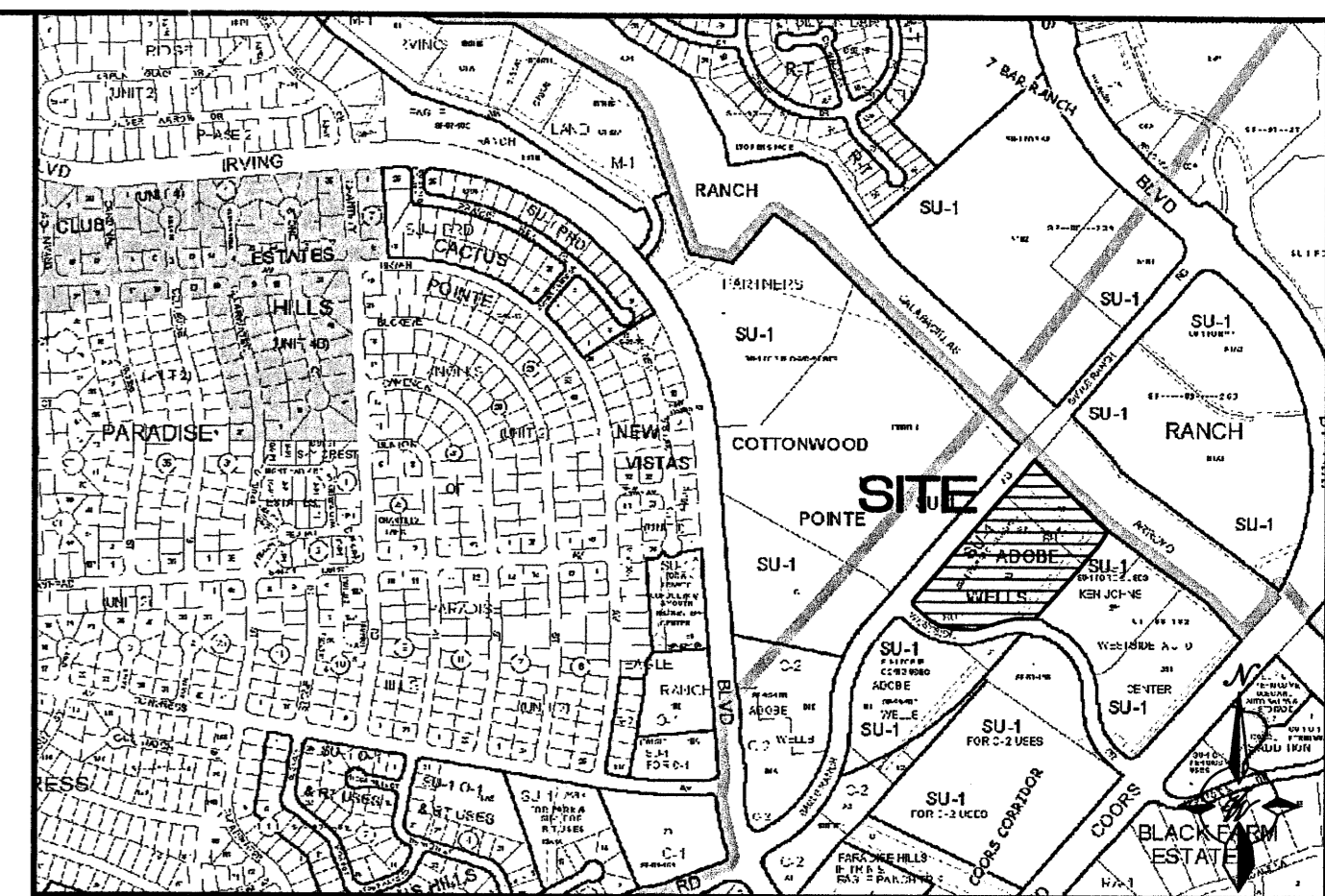
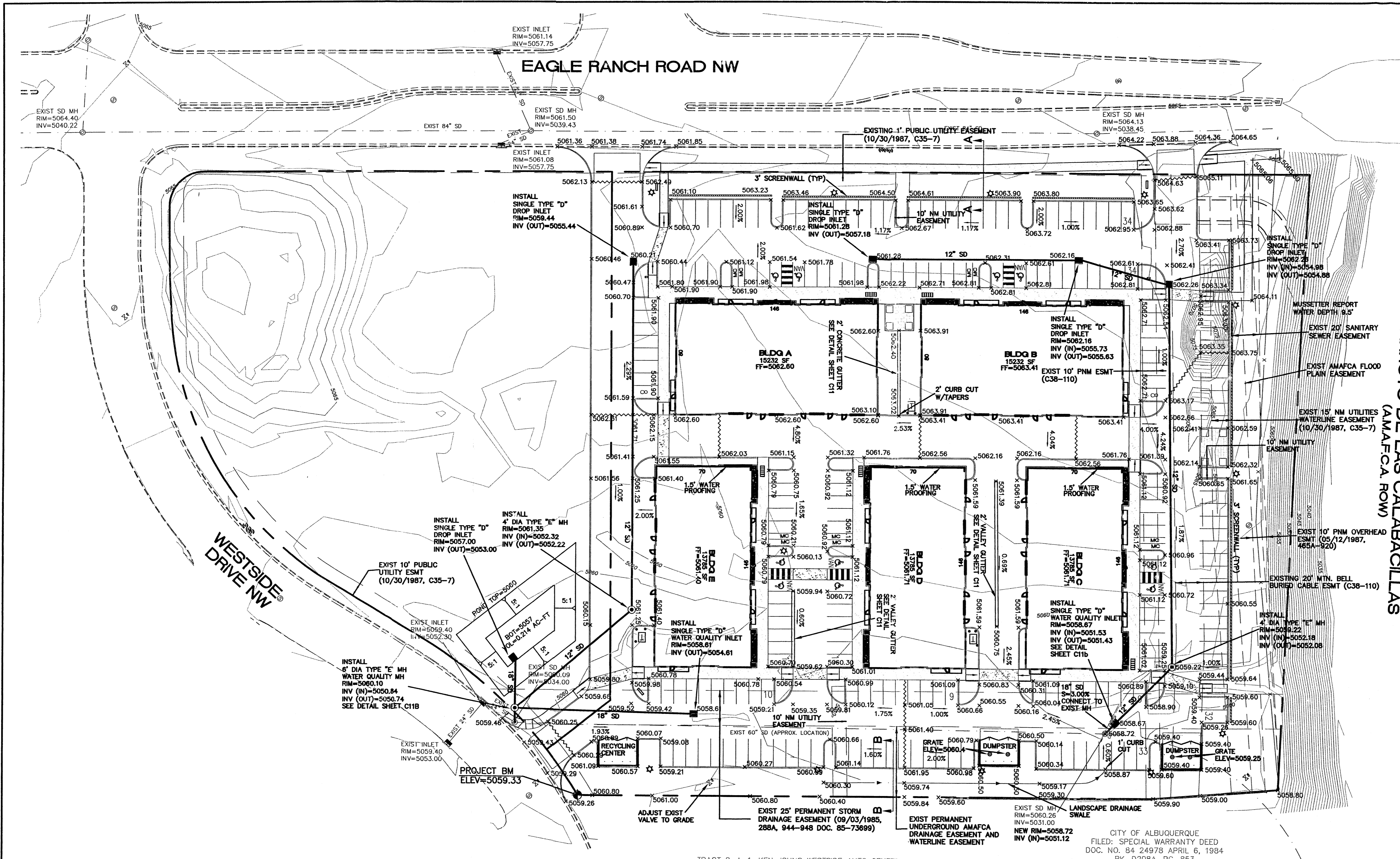
JAMES DE FLON #0007

VENTURE COMMERCE CENTER
EAGLE RANCH RD
ALBUQUERQUE, NM
LANDSCAPE PLAN

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and are not to be used for any other project without the written consent of The Hilltop. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.



DRAWN BY: gcf
REVISION # 1
DATE: 11-8-06
SHEET # 11 of 11



SITE BENCHMARK
 TOP OF REBAR AT SOUTHEAST PROPERTY CORNER
 ELEV=5059.33

- GENERAL NOTES**
1. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE INDICATED
 2. ALL SINGLE TYPE "D" DROP INLETS PER COA DWG #2206
 3. ALL DUMPSTER ENCLOSURES WILL INCLUDE A DRAIN TO THE SANITARY SEWER SYSTEM. (SEE MASTER UTILITY PLAN)
 4. ADJUST TO GRADE AS NECESSARY, ALL UTILITY APPURTENANCES SUCH AS MANHOLES, VALVES, ETC.

LEGEND

| | |
|-----------|-------------------------|
| ----- | EXISTING CURB & GUTTER |
| ----- | BOUNDARY LINE |
| ----- | EASEMENT |
| ----- | PROPOSED EASEMENT |
| ----- | PROPOSED SCREEN WALL |
| ----- | PROPOSED SIDEWALK |
| ----- | EXISTING CONTOUR |
| ----- | EXISTING INDEX CONTOUR |
| x 5048.25 | EXISTING SPOT ELEVATION |
| ----- | PROPOSED CONTOUR |
| ----- | PROPOSED INDEX CONTOUR |
| x 5048.25 | PROPOSED SPOT ELEVATION |
| ----- | FLOW ARROW |
| ----- | WATER BLOCK |

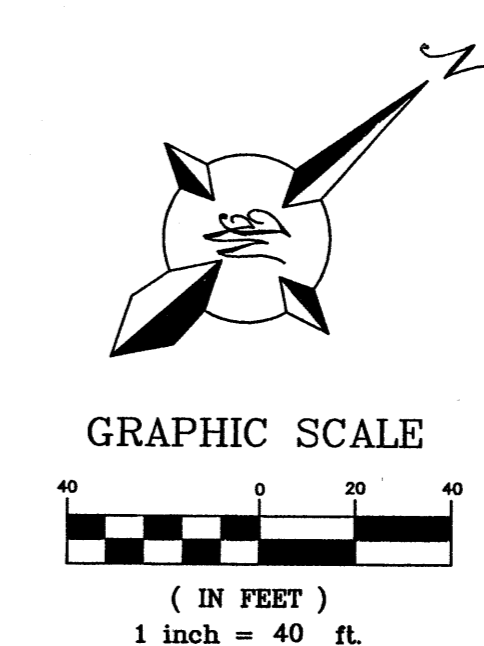
ROUGH GRADING APPROVAL _____ DATE _____

| | | |
|----------------------------------|--------------------------------------------------------------------------------------------------------|----------------------|
| | VENTURE COMMERCE CENTER - ALBUQUERQUE | DRAWN BY pm |
| | GRADING AND DRAINAGE PLAN | DATE 09-05-06 |
| | TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100 | 26034-GRE |
| RONALD R. BOHANNAN P.E. #7868 | | SHEET # C4 |
| | | JOB # 26034 |

- EROSION CONTROL NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

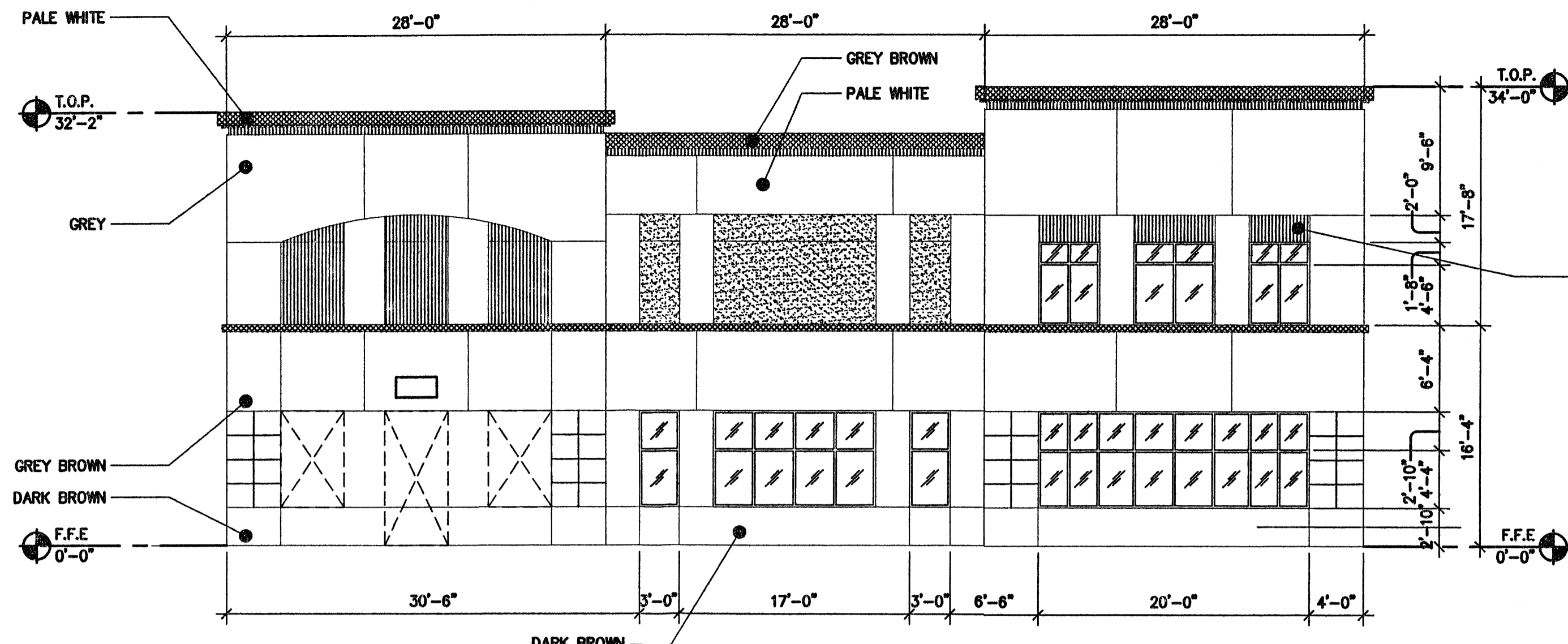
| APPROVAL | NAME | DATE |
|-----------|------|------|
| INSPECTOR | | |



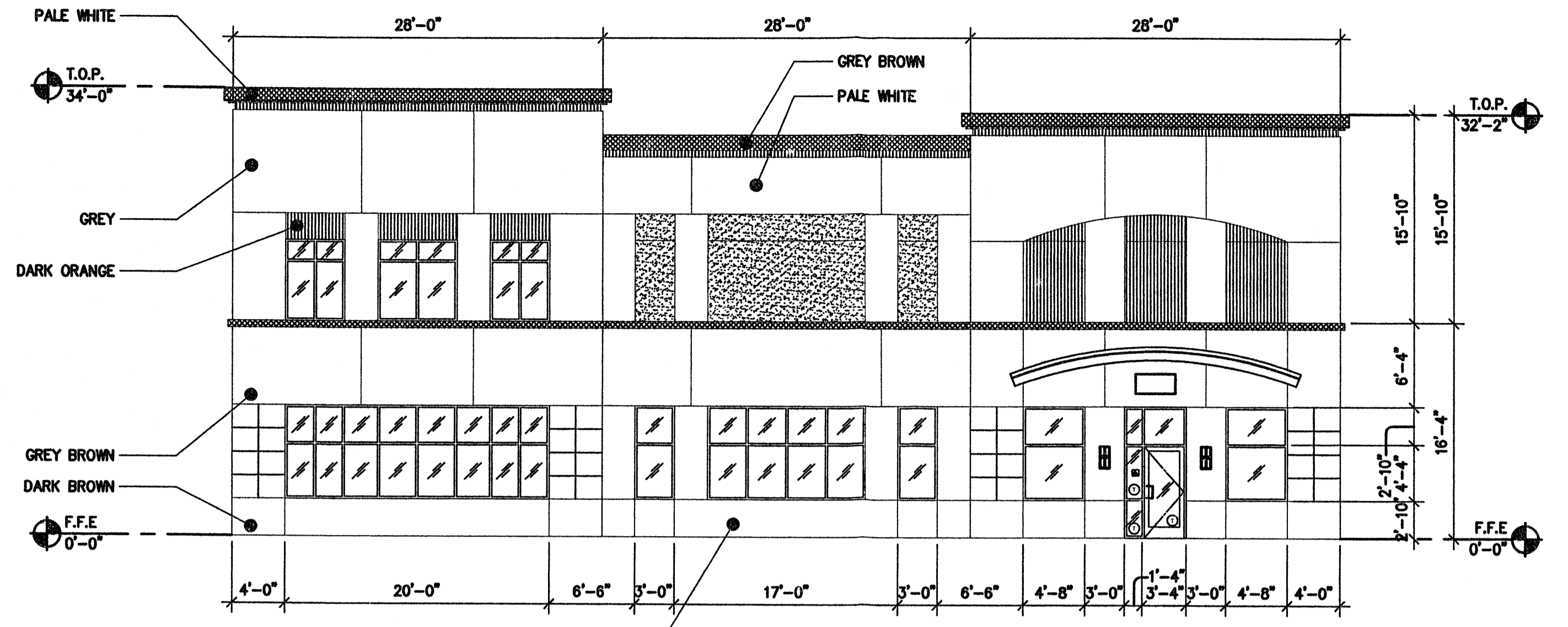
TRACT 2-A-1, KEN JOHNS WESTSIDE AUTO CENTER
 FILED: JUNE 21, 1988, VOL. C35, FOLIO 171

CITY OF ALBUQUERQUE
 FILED: SPECIAL WARRANTY DEED
 DOC. NO. 84 24978 APRIL 6, 1984
 BK. D208A, PG. 853

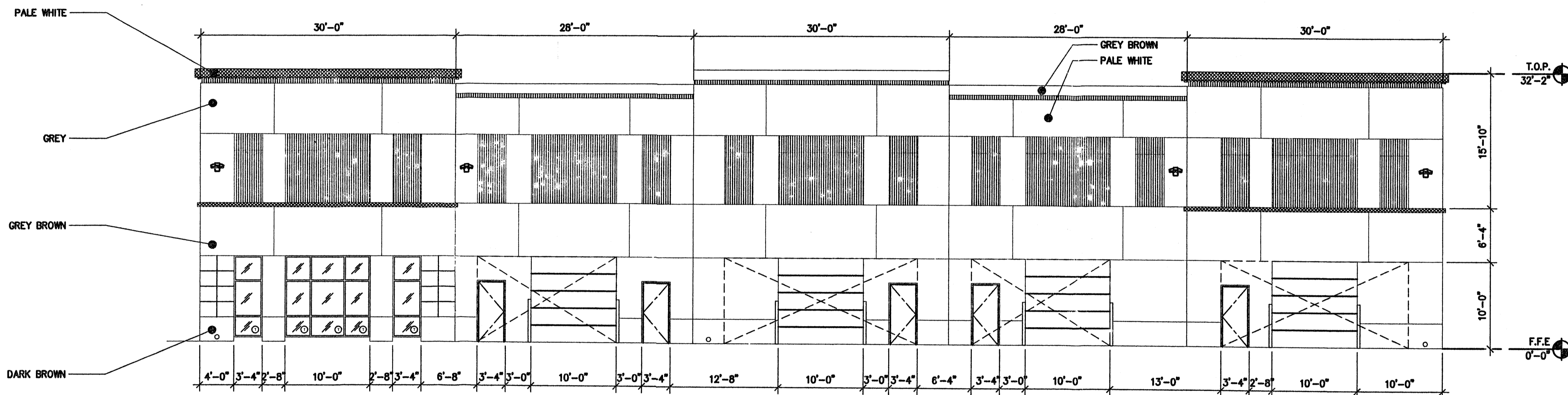
SEE SHEET C11b FOR SECTIONS A-A AND B-B



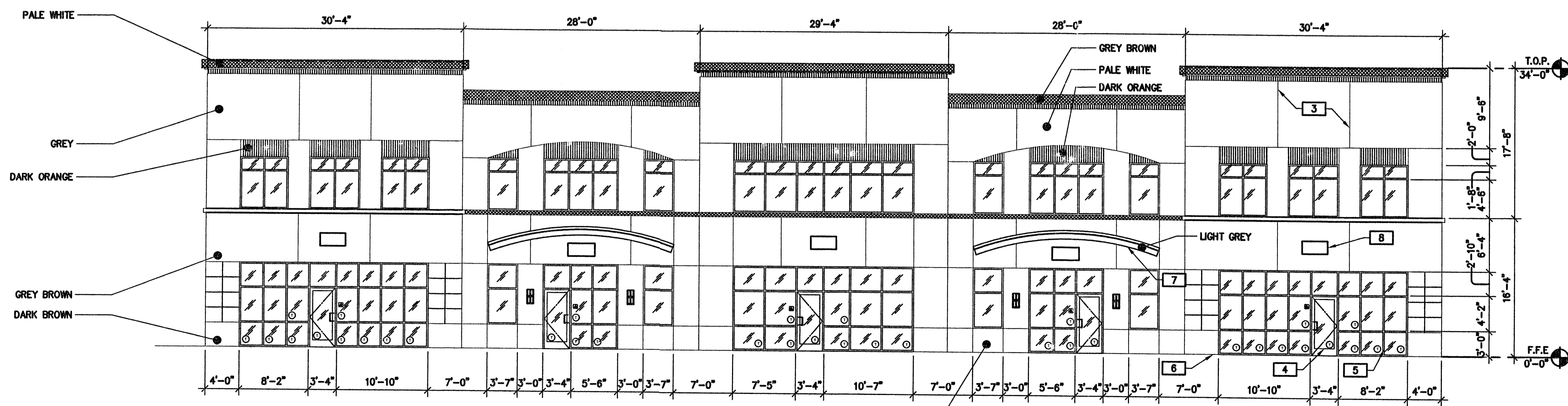
NORTH EXTERIOR ELEVATION
SCALE: 1/8"=1'-0" (D)



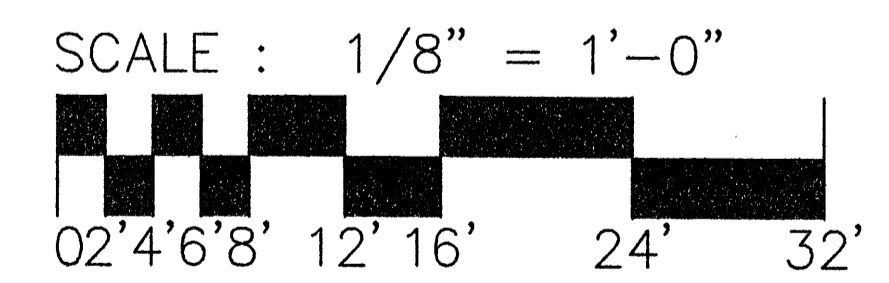
SOUTH EXTERIOR ELEVATION
SCALE: 1/8"=1'-0" (B)



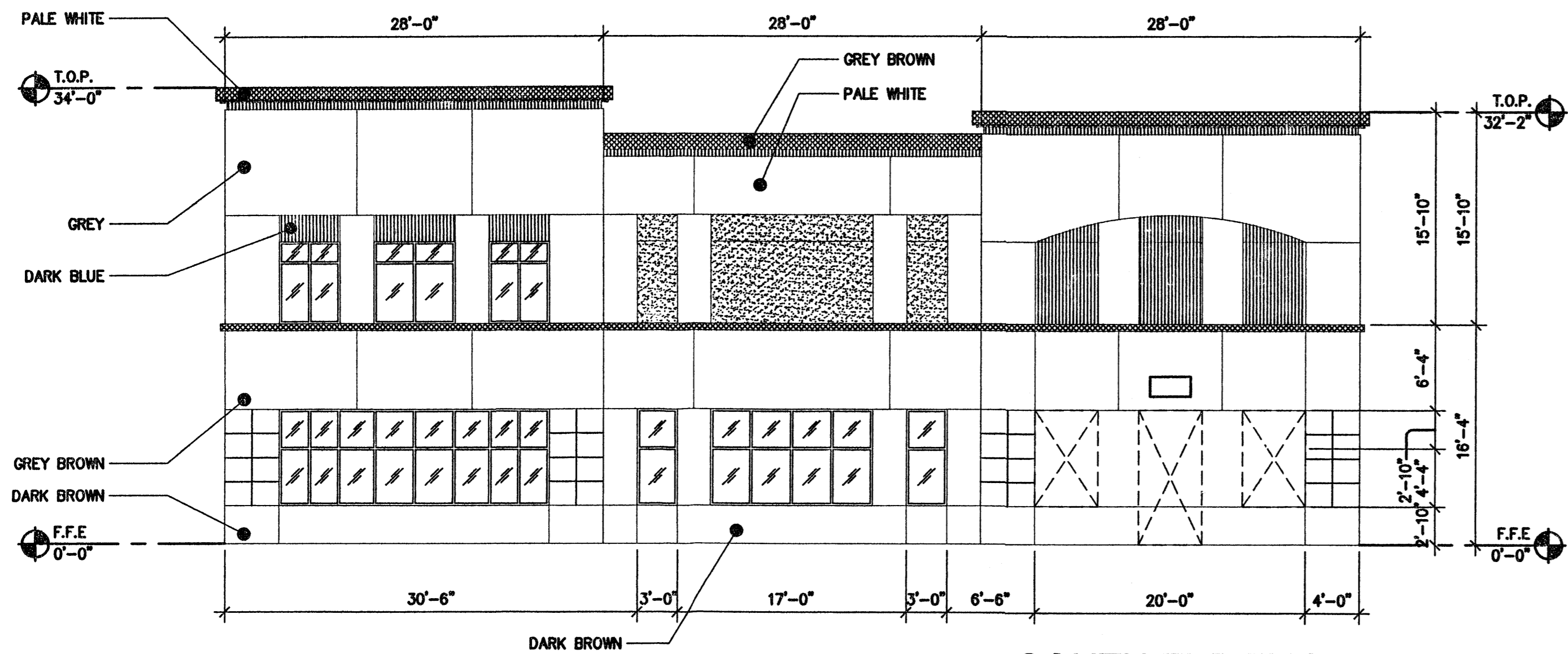
EAST EXTERIOR ELEVATION
SCALE: 1/8"=1'-0" (C)



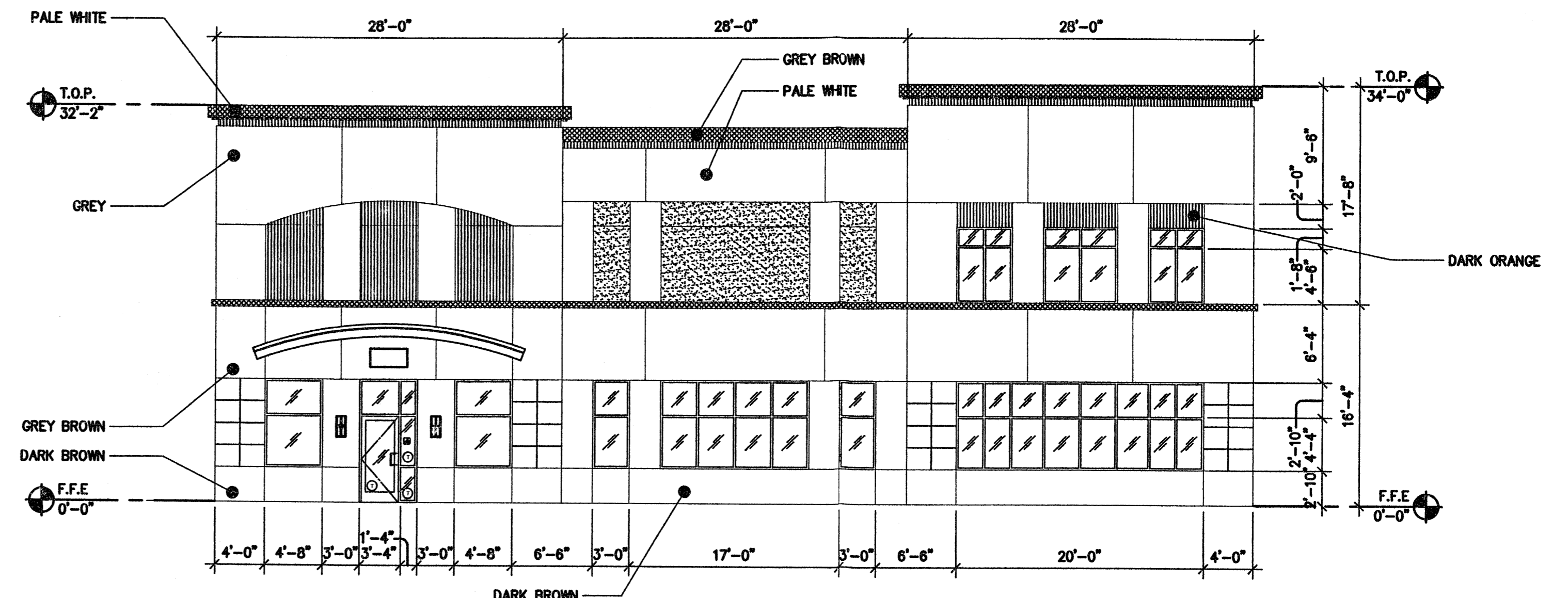
WEST EXTERIOR ELEVATION
SCALE: 1/8"=1'-0" (A)



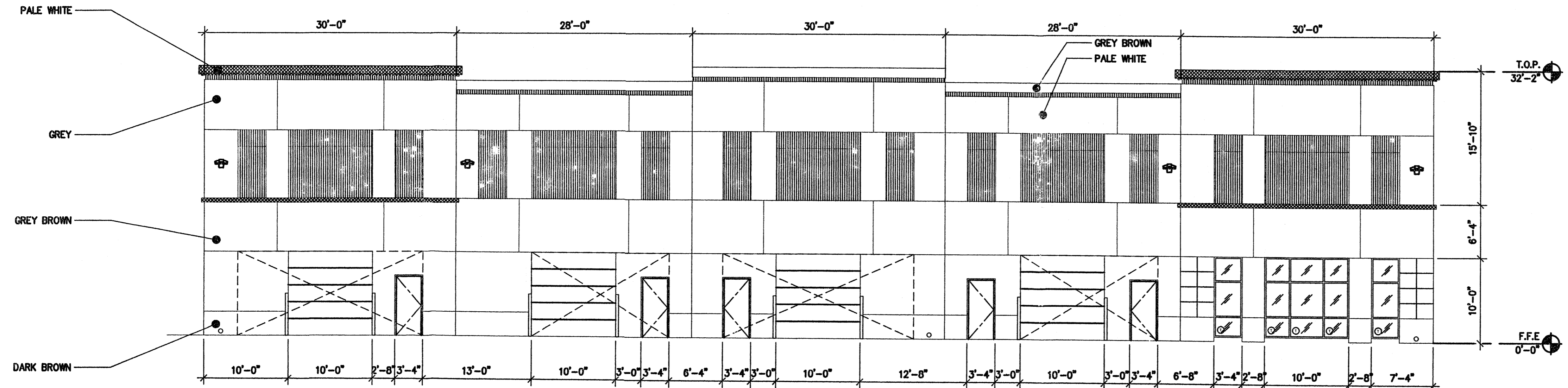
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|----------------------------------|-------------------------------------------------------------------------------------------------|--------------|
| ENGINEER'S SEAL | VENTURE COMMERCE CENTER - ALBUQUERQUE | DRAWN BY pm |
| | ELEVATIONS BUILDING A | DATE 8-31-06 |
| RONALD R. BOHANNAN P.E. #7868 | TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100 | 26034-ELEV |
| | | SHEET # C5 |
| | | JOB # 26034 |



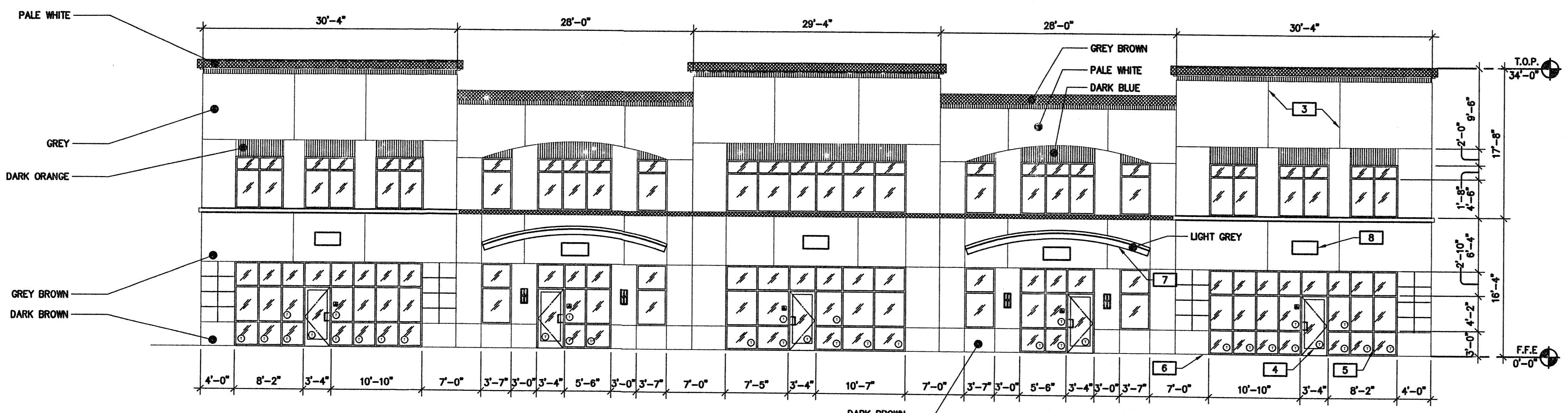
SOUTH EXTERIOR ELEVATION
SCALE: 1/8"=1'-0" (D)



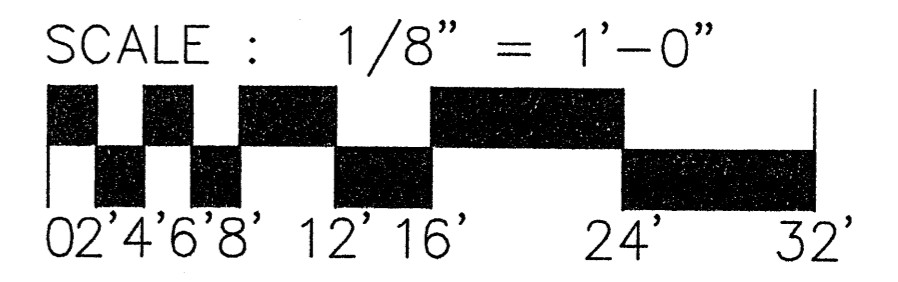
NORTH EXTERIOR ELEVATION
SCALE: 1/8"=1'-0" (B)



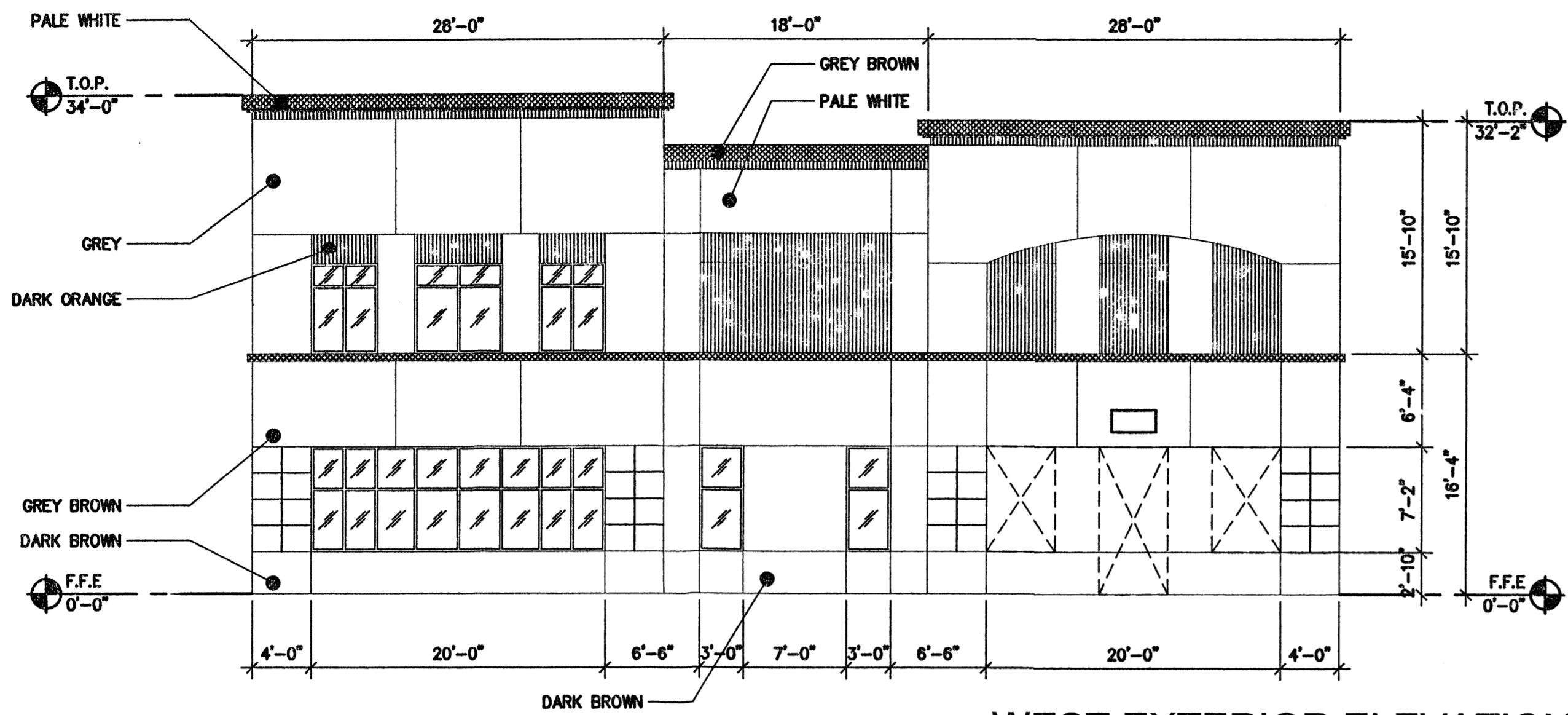
EAST EXTERIOR ELEVATION
SCALE: 1/8"=1'-0" (C)



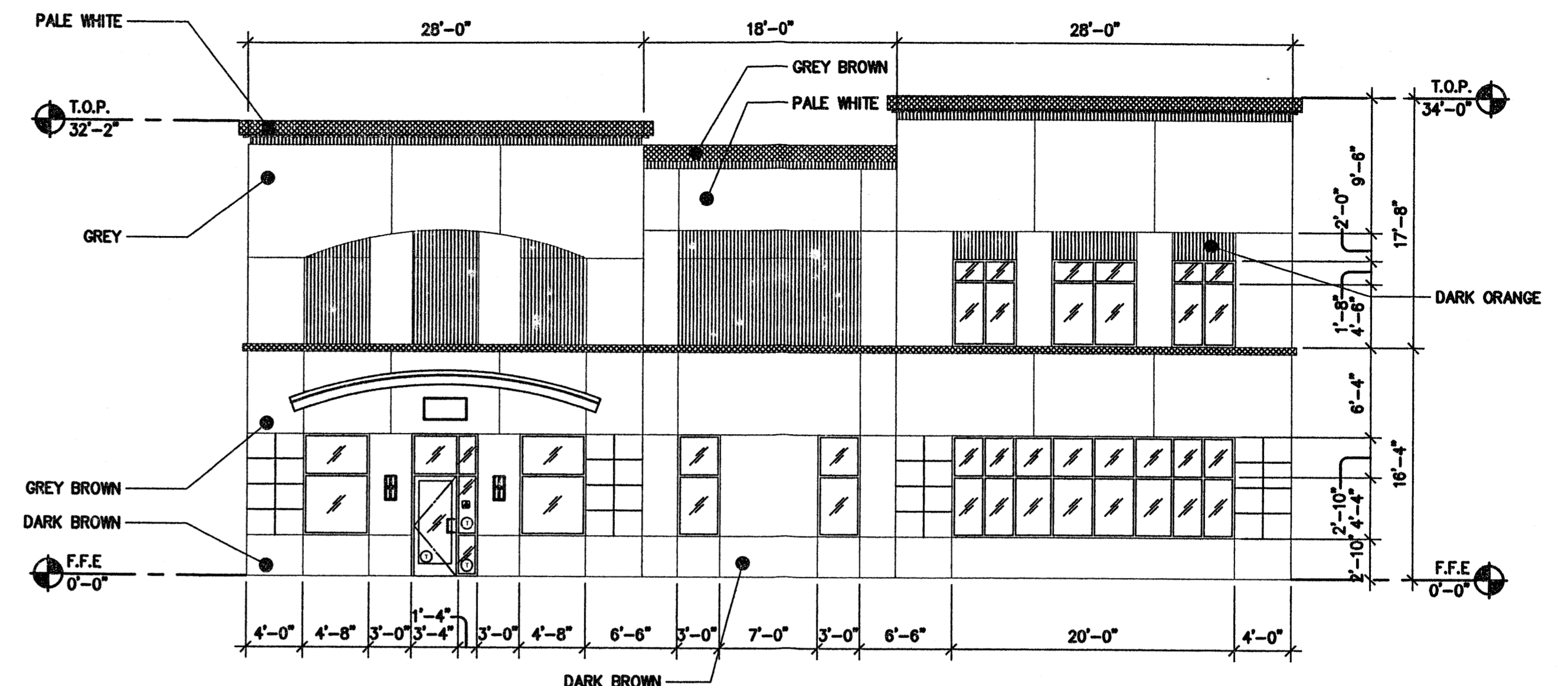
WEST EXTERIOR ELEVATION
SCALE: 1/8"=1'-0" (A)



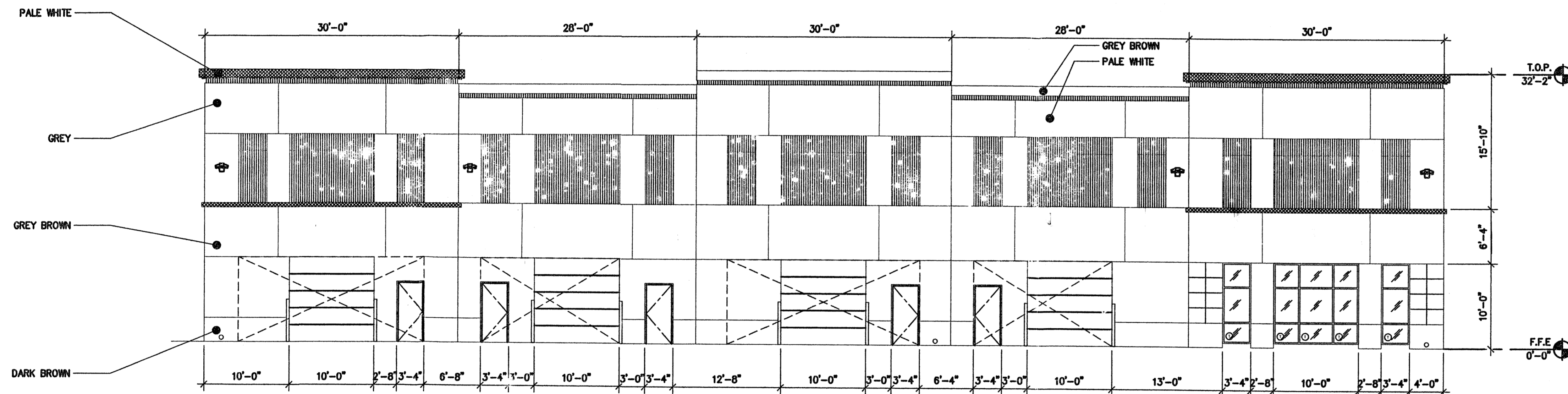
| | | |
|---------------------------------------------------------|-------------------------------------------------------------------------------------------------------|----------------------|
| ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7968 | VENTURE COMMERCE CENTER - ALBUQUERQUE | DRAWN BY pm |
| | ELEVATIONS BUILDING B | DATE 8-31-06 |
| | TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100 | 26034-ELEV |
| | | SHEET # C6 |
| | | JOB # 26034 |



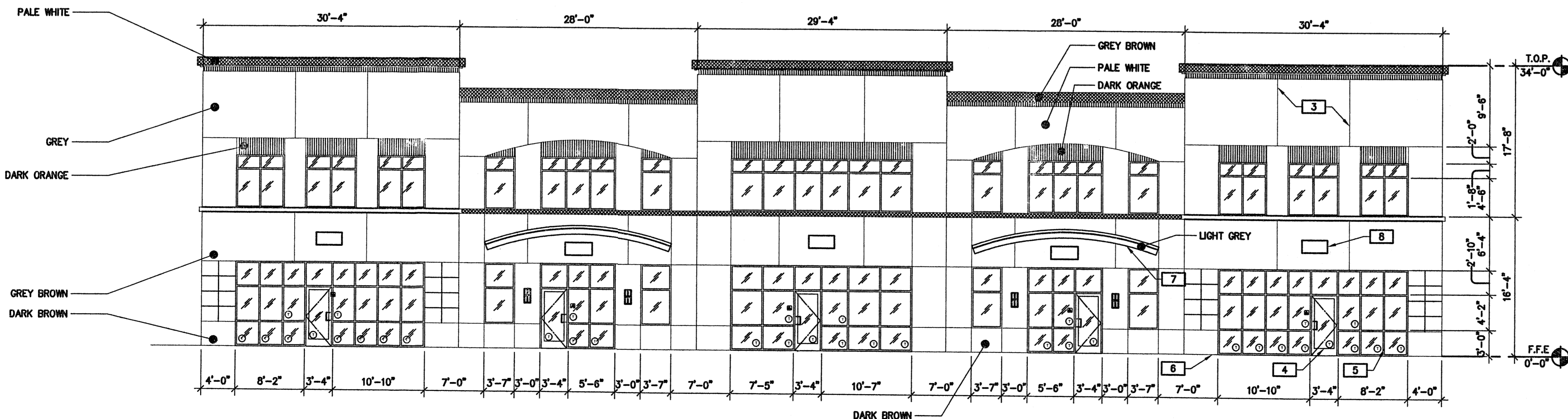
WEST EXTERIOR ELEVATION
SCALE: 1/8"=1'-0" (D)



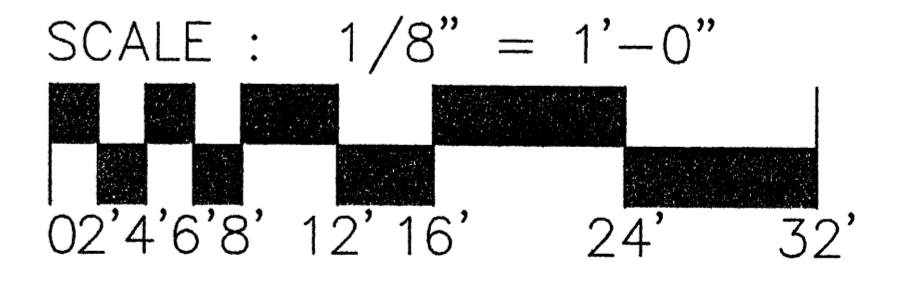
EAST EXTERIOR ELEVATION
SCALE: 1/8"=1'-0" (B)



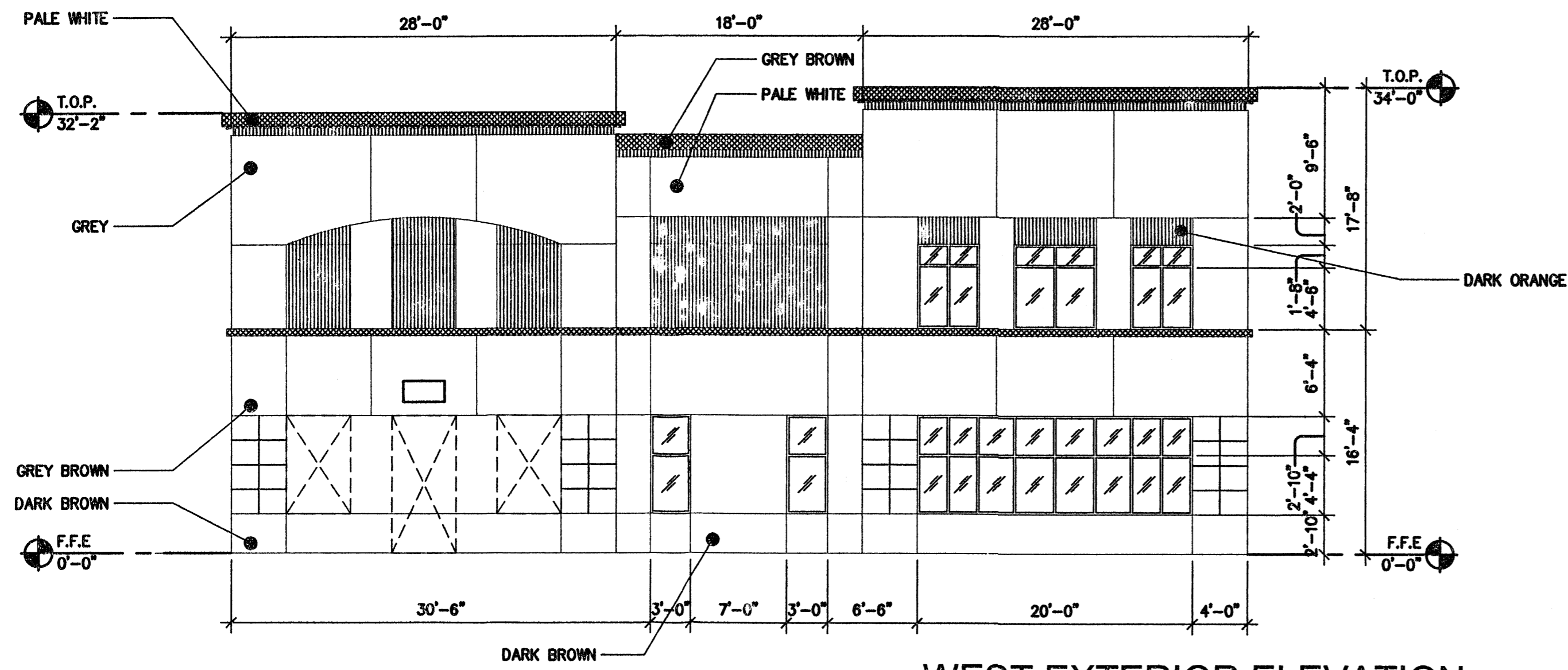
SOUTH EXTERIOR ELEVATION
SCALE: 1/8"=1'-0" (C)



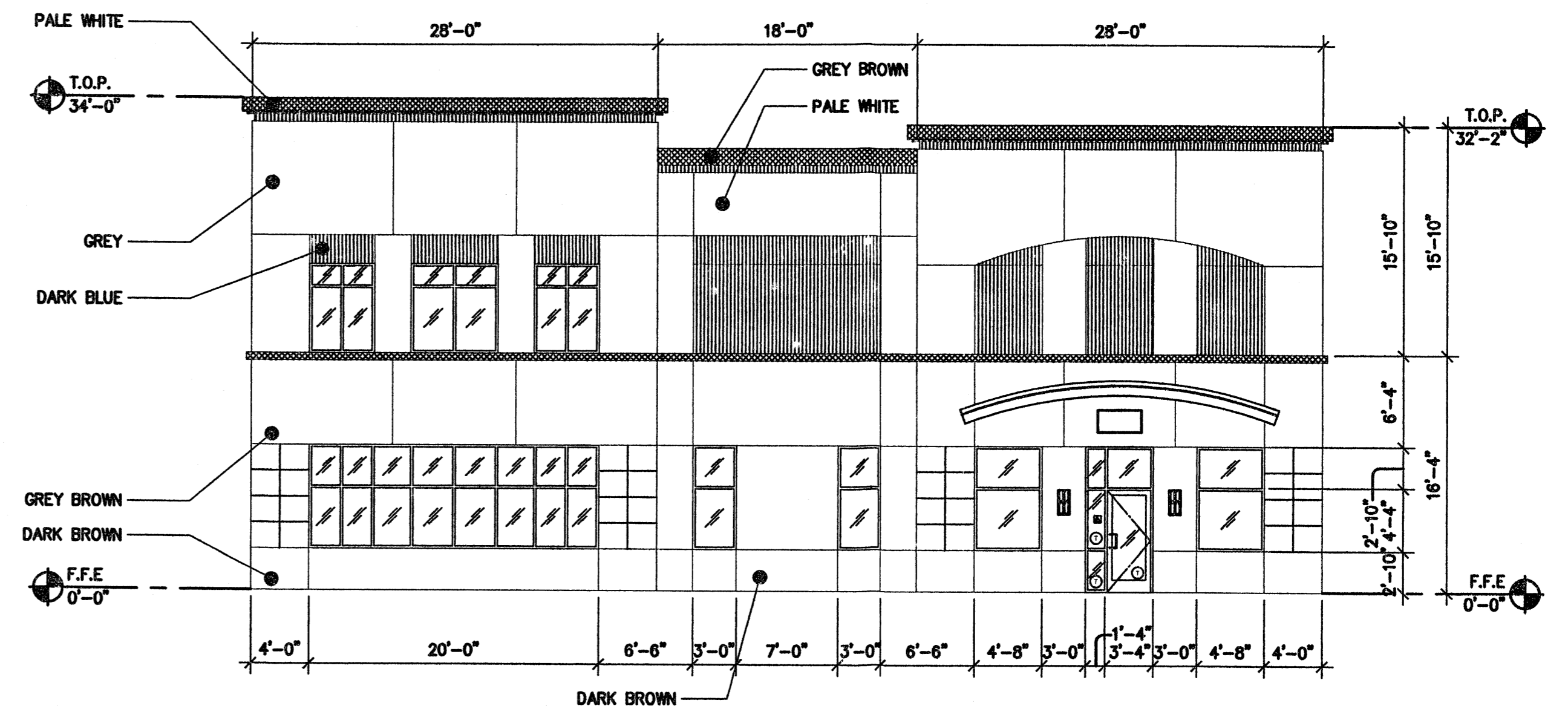
NORTH EXTERIOR ELEVATION
SCALE: 1/8"=1'-0" (A)



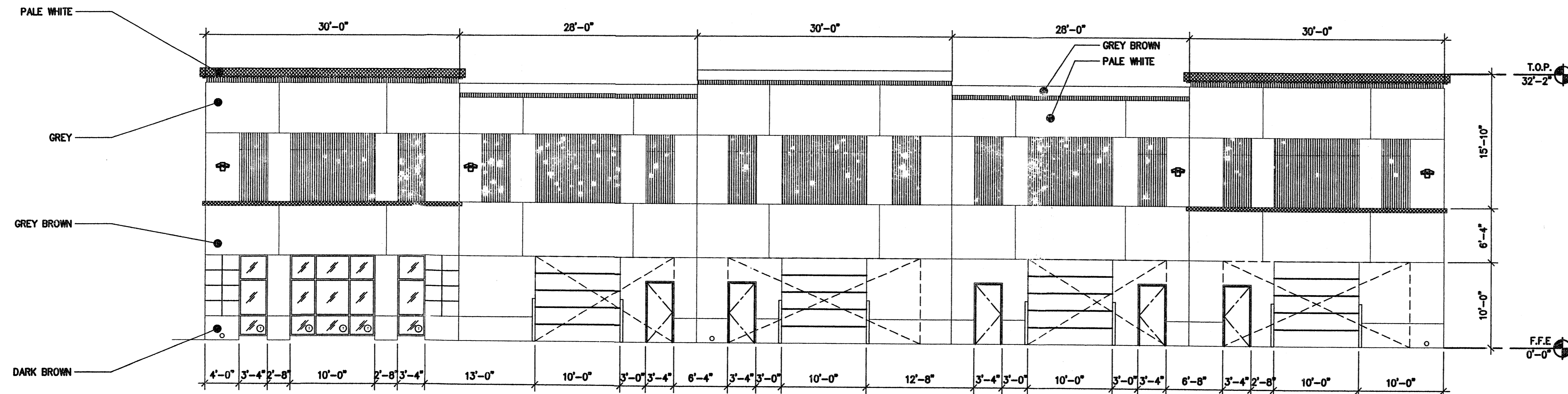
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|----------------------------------|-------------------------------------------------------------------------------------------------------|----------------------|
| ENGINEER'S SEAL | VENTURE COMMERCE CENTER - ALBUQUERQUE | DRAWN BY pm |
| | ELEVATIONS BUILDING C | DATE 8-31-06 |
| RONALD R. BOHANNAN P.E. #7868 | TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100 | 26034-ELEV |
| | | SHEET # C7 |
| | | JOB # 26034 |



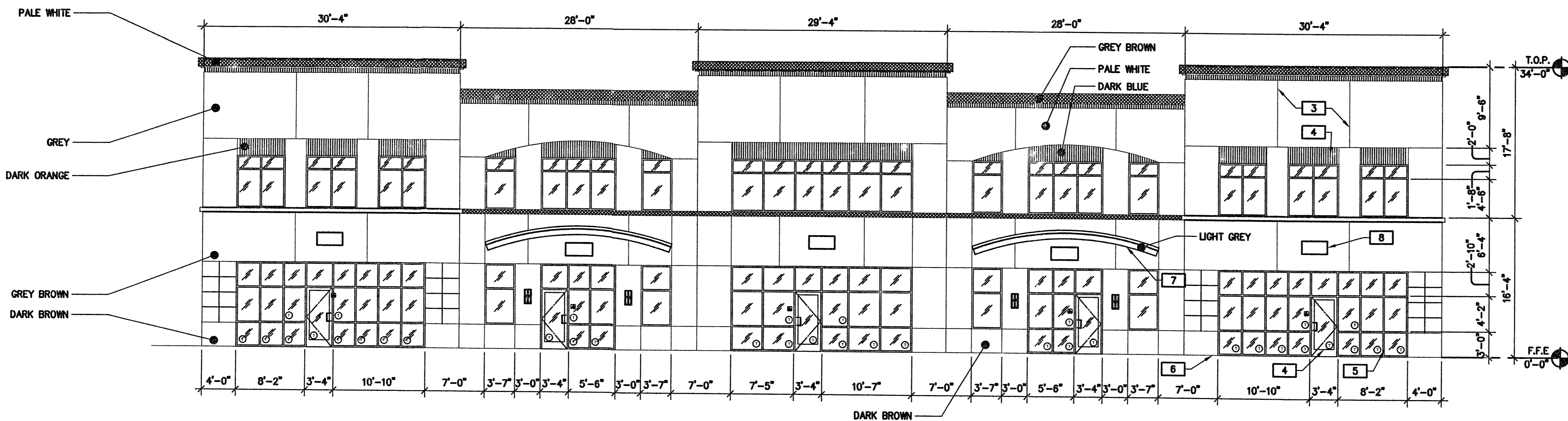
WEST EXTERIOR ELEVATION
SCALE: 1/8"=1'-0" (D)



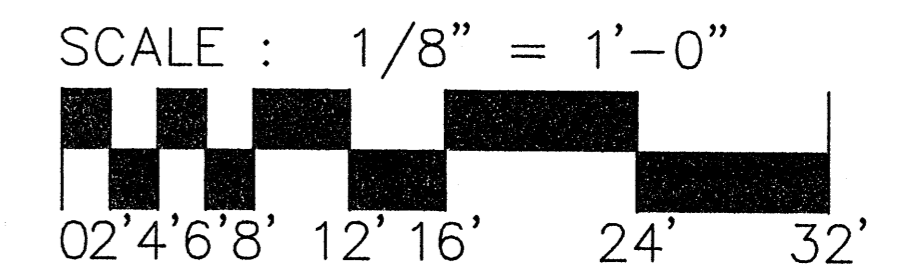
EAST EXTERIOR ELEVATION
SCALE: 1/8"=1'-0" (B)



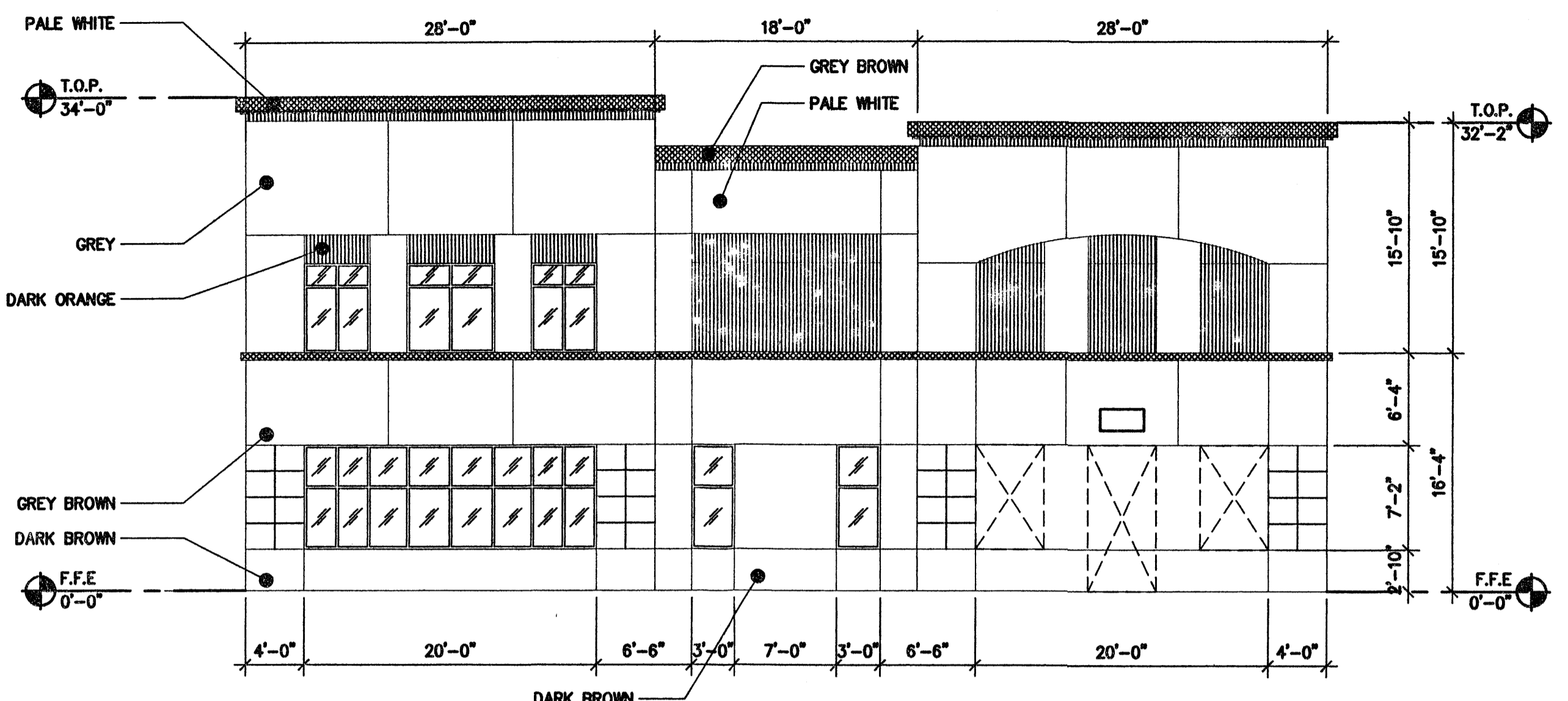
NORTH EXTERIOR ELEVATION
SCALE: 1/8"=1'-0" (C)



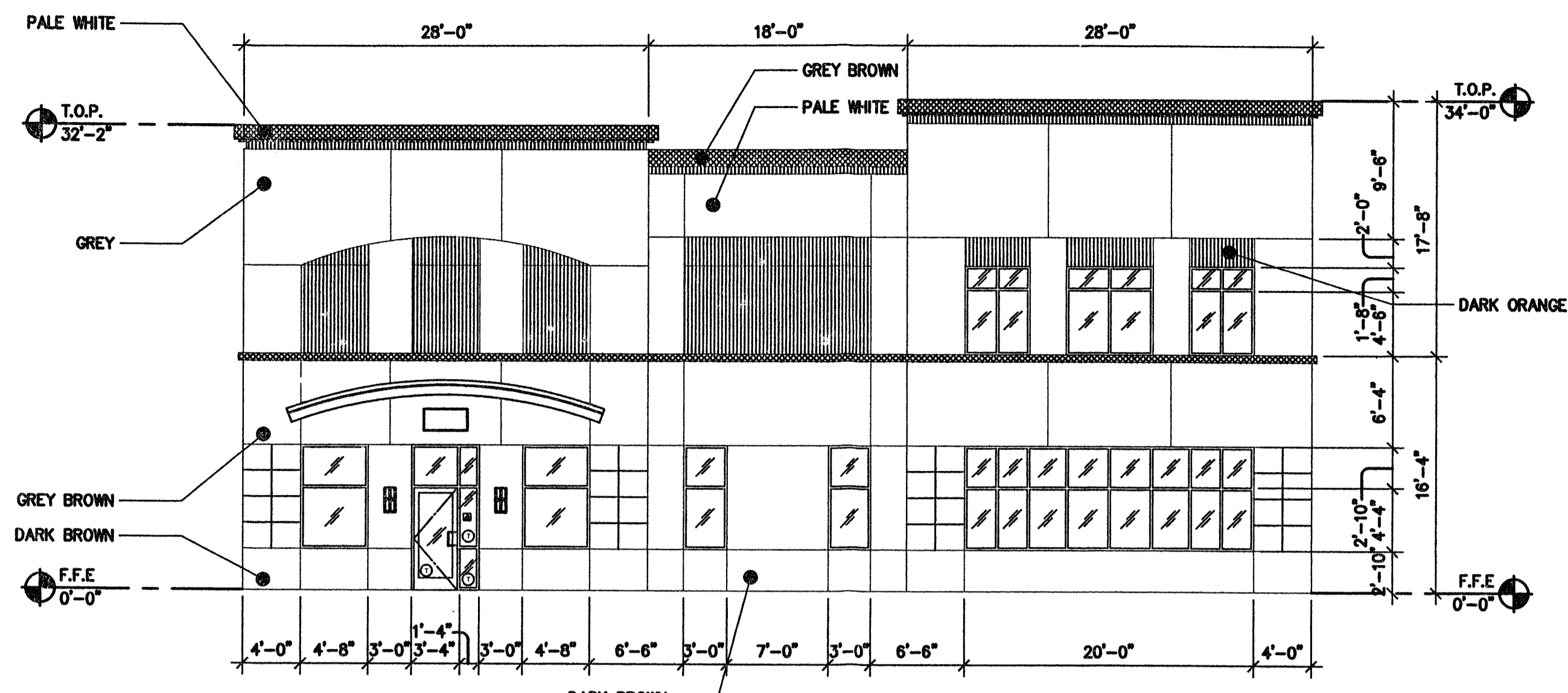
SOUTH EXTERIOR ELEVATION
SCALE: 1/8"=1'-0" (A)



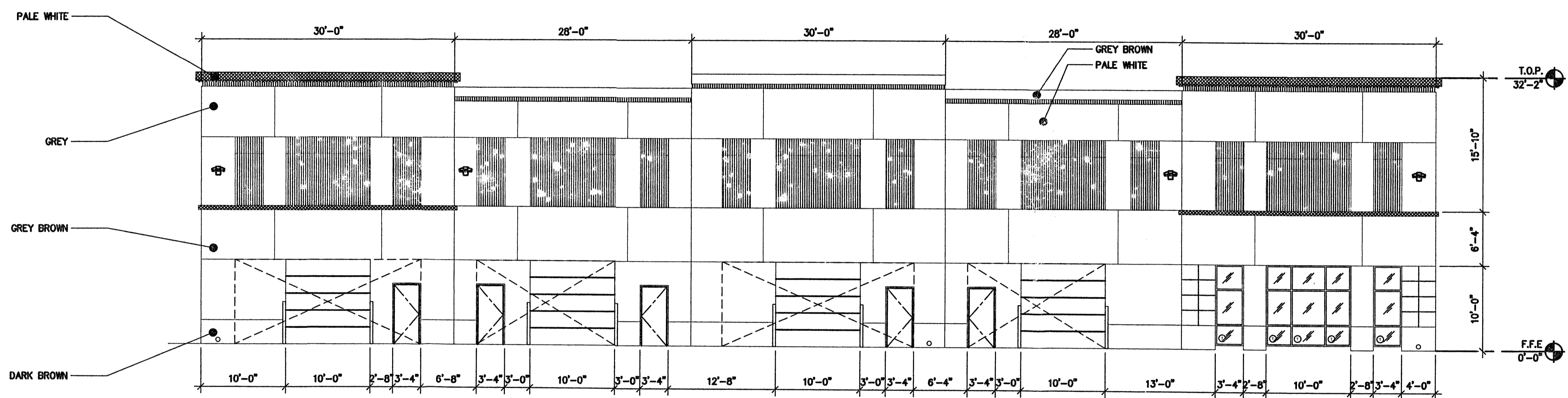
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| ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868 | VENTURE COMMERCE CENTER - ALBUQUERQUE | DRAWN BY mm |
| | ELEVATIONS BUILDING D | DATE 8-31-06 |
| | TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100 | 26034-ELEV |
| | | SHEET # C8 |
| | | JOB # 26034 |



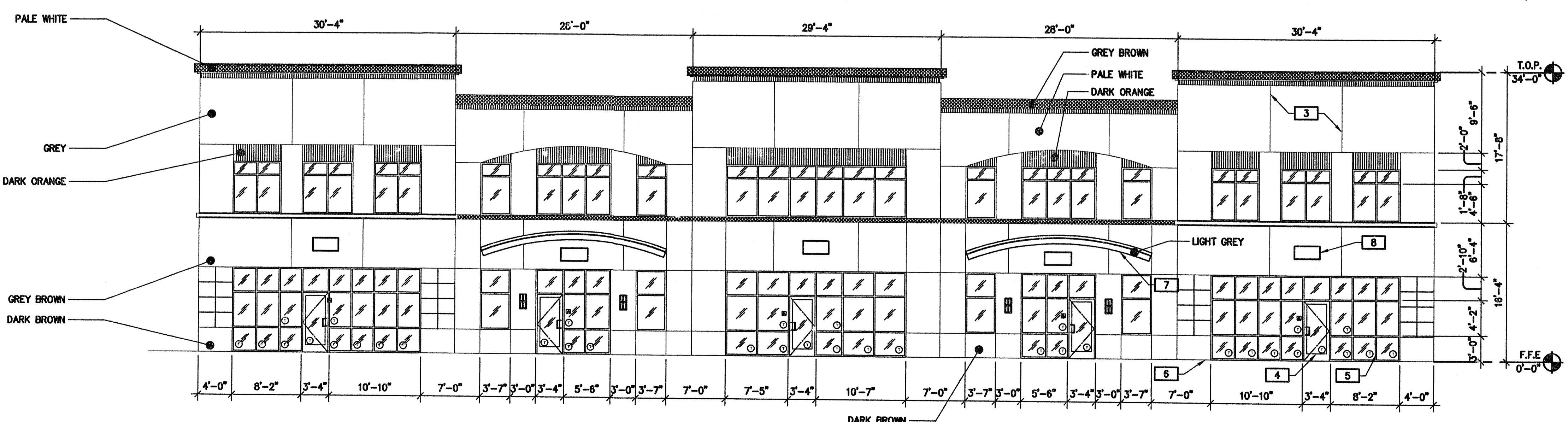
WEST EXTERIOR ELEVATION (D)
SCALE: 1/8"=1'-0"



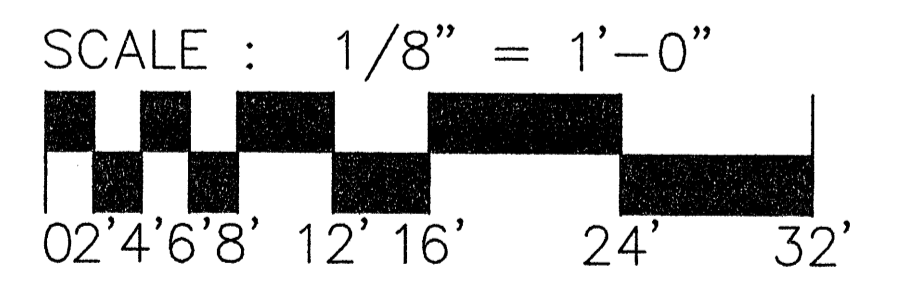
EAST EXTERIOR ELEVATION (B)
SCALE: 1/8"=1'-0"



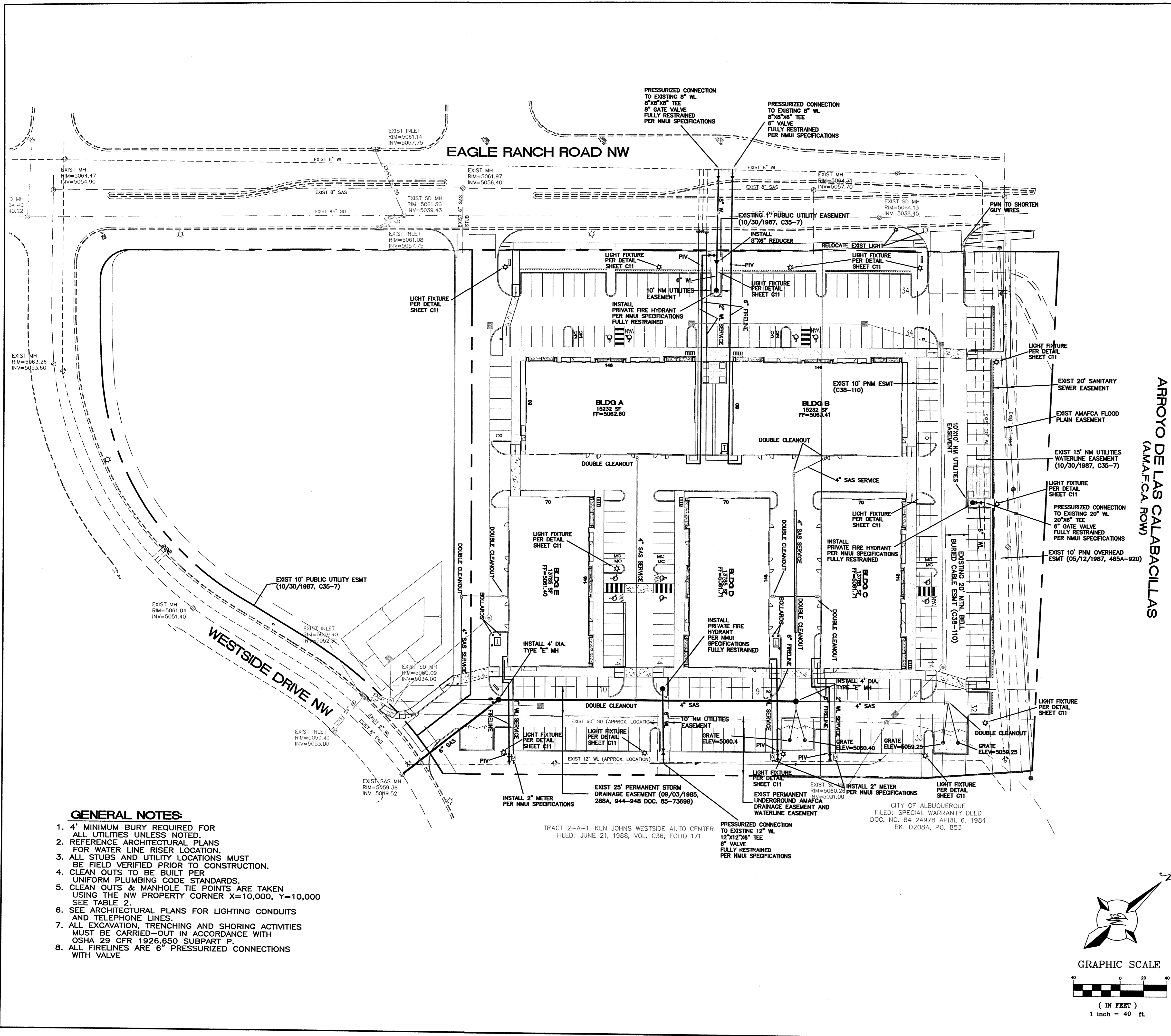
SOUTH EXTERIOR ELEVATION (C)
SCALE: 1/8"=1'-0"



NORTH EXTERIOR ELEVATION (A)
SCALE: 1/8"=1'-0"



| | | |
|---------------------------------------------------------|-------------------------------------------------------------------------------------------------------|----------------------|
| ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868 | VENTURE COMMERCE CENTER - ALBUQUERQUE | DRAWN BY pm |
| | ELEVATIONS BUILDING E | DATE 8-31-06 |
| | TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100 | 26034-ELEV |
| | | SHEET # C9 |
| | | JOB # 26034 |



- NOTES:
1. WATER SHUT-OFF SHALL BE COORDINATED WITH NEW MEXICO UTILITIES, INC.
 2. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
 3. NOTIFY NEW MEXICO UTILITIES (898-2661) THREE(3) WORKING DAYS IN ADVANCE OF EXECUTION OF THE WATER SHUT-OFF PLAN
 4. ALL WATERLINE CONNECTIONS, CAP, JOINTS TO BE BLOCKED PER DETAILS THIS SHEET
 5. ALL WATERLINES TO BE PVC, UNLESS OTHERWISE NOTED.
 6. SHUT-OFF VALVES INDICATED IN THE ABOVE PLAN IN THE EVENT OF EMERGENCY

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARDS OF NEW MEXICO UTILITIES INCORPORATED AND WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1999), FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
 6. MAINTENANCE OF THOSE FACILITIES NOT WITHIN DEDICATED EASEMENTS SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
 8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING

ARROYO DE LAS CALABACILLAS (AMAFCA ROW)

LEGEND

| | |
|-----------|--------------------------------|
| ----- | EXISTING CURB & GUTTER |
| ----- | BOUNDARY LINE |
| ----- | EASEMENT |
| ----- | PROPOSED EASEMENT |
| ----- | PROPOSED SCREEN WALL |
| ----- | PROPOSED SIDEWALK |
| ○ | EXISTING SD MANHOLE |
| ○ | EXISTING INLET |
| ○ | EXISTING SAS MANHOLE |
| ○ | EXISTING FIRE HYDRANT |
| ○ | EXISTING WATER METER |
| ○ | EXISTING POWER POLE |
| ○ | EXISTING GAS VALVE |
| ○ | PROPOSED PARKING LOT LIGHT |
| ○ | PROPOSED CLEAN OUT |
| ○ | PROPOSED DOUBLE CLEAN OUT |
| --- | EXISTING OVERHEAD UTILITIES |
| -EX. UGE- | EXISTING UNDERGROUND UTILITIES |
| --- | EXISTING GAS |
| --- | EXISTING 2" GAS |
| --- | EXISTING 8" SAS |
| --- | EXISTING SANITARY SEWER LINE |
| --- | EXISTING 10" WL |
| --- | EXISTING WATER LINE |
| --- | EXISTING 18" RCP |
| --- | EXISTING STORM SEWER LINE |
| --- | PROPOSED STORM SEWER LINE |
| --- | PROPOSED SANITARY SEWER LINE |
| --- | PROPOSED FIRE HYDRANT |
| --- | PROPOSED WATERLINE |
| --- | PROPOSED TRANSFORMER |

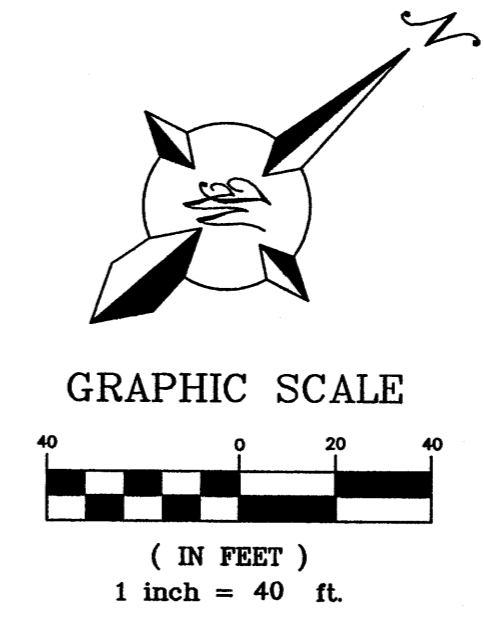
- GENERAL NOTES:**
1. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
 2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
 3. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
 4. CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 5. CLEAN OUTS & MANHOLE TIE POINTS ARE TAKEN USING THE NW PROPERTY CORNER X=10,000, Y=10,000 SEE TABLE 2.
 6. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
 7. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
 8. ALL FIRELINES ARE 6" PRESSURIZED CONNECTIONS WITH VALVE

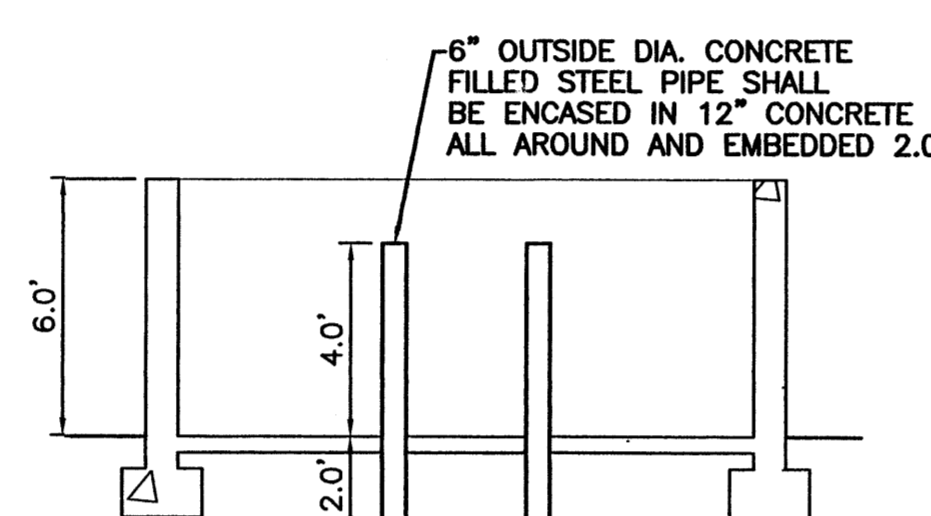
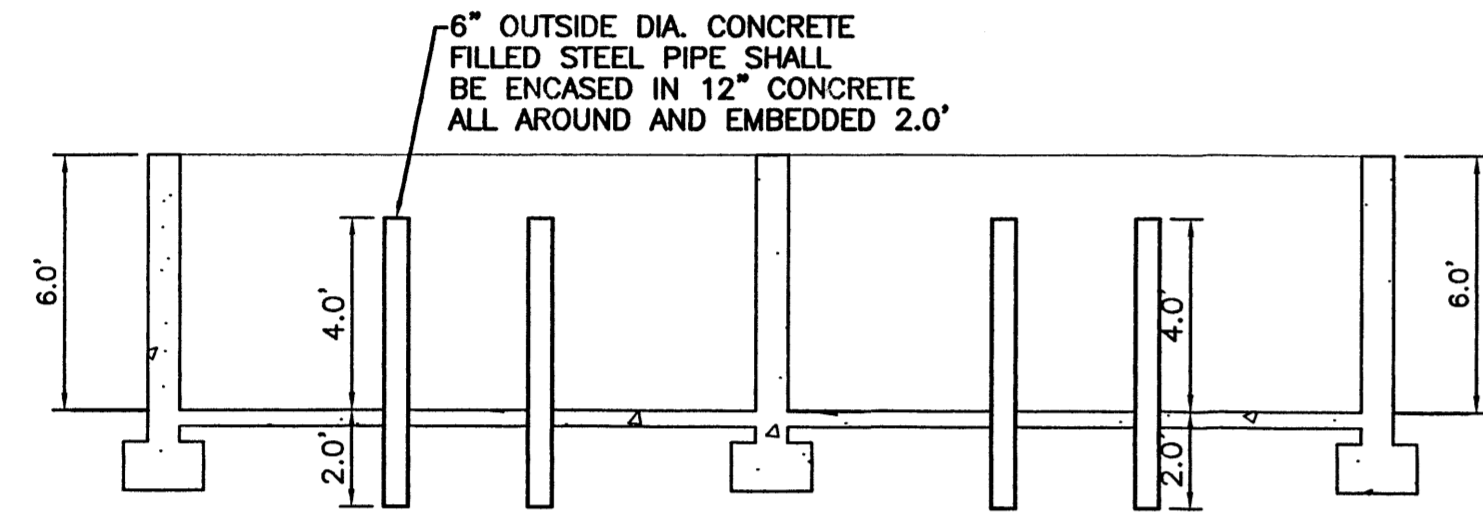
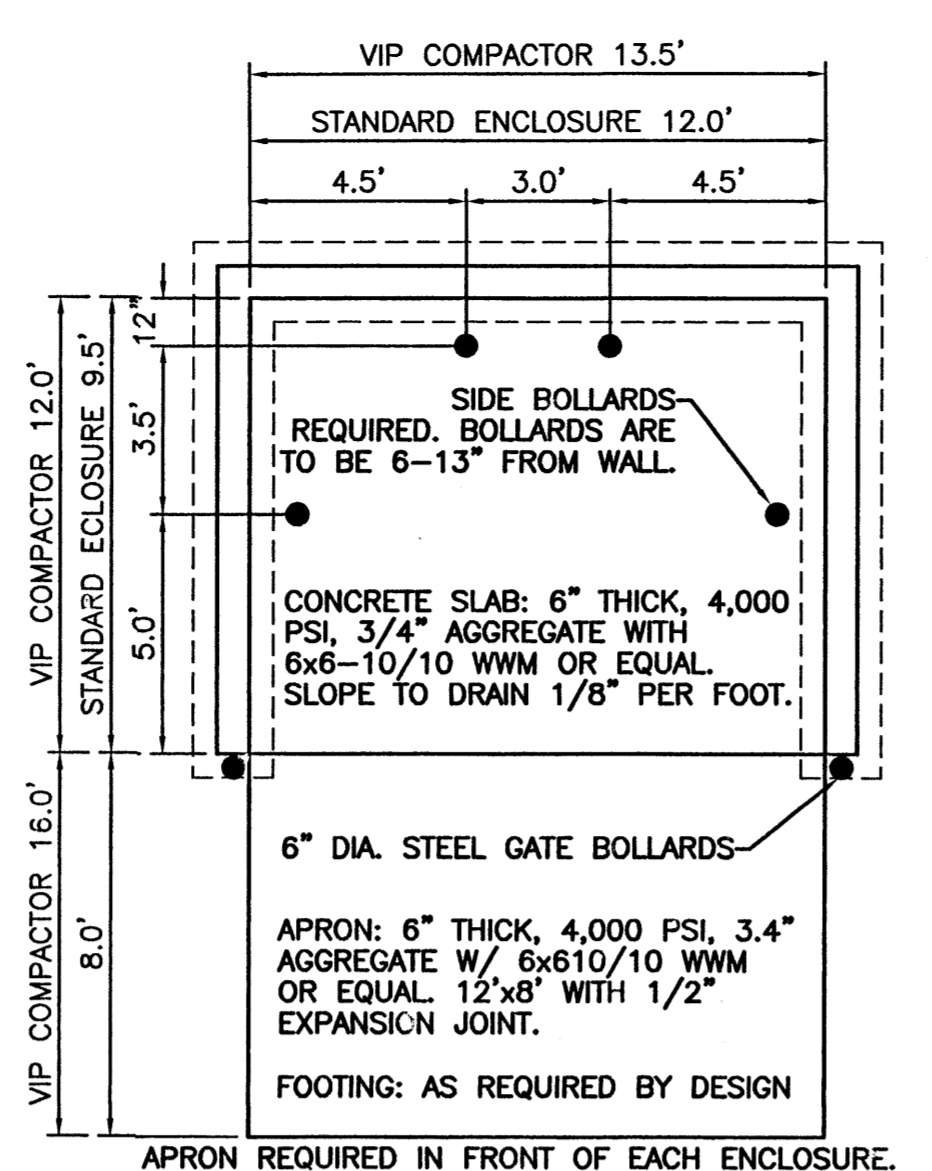
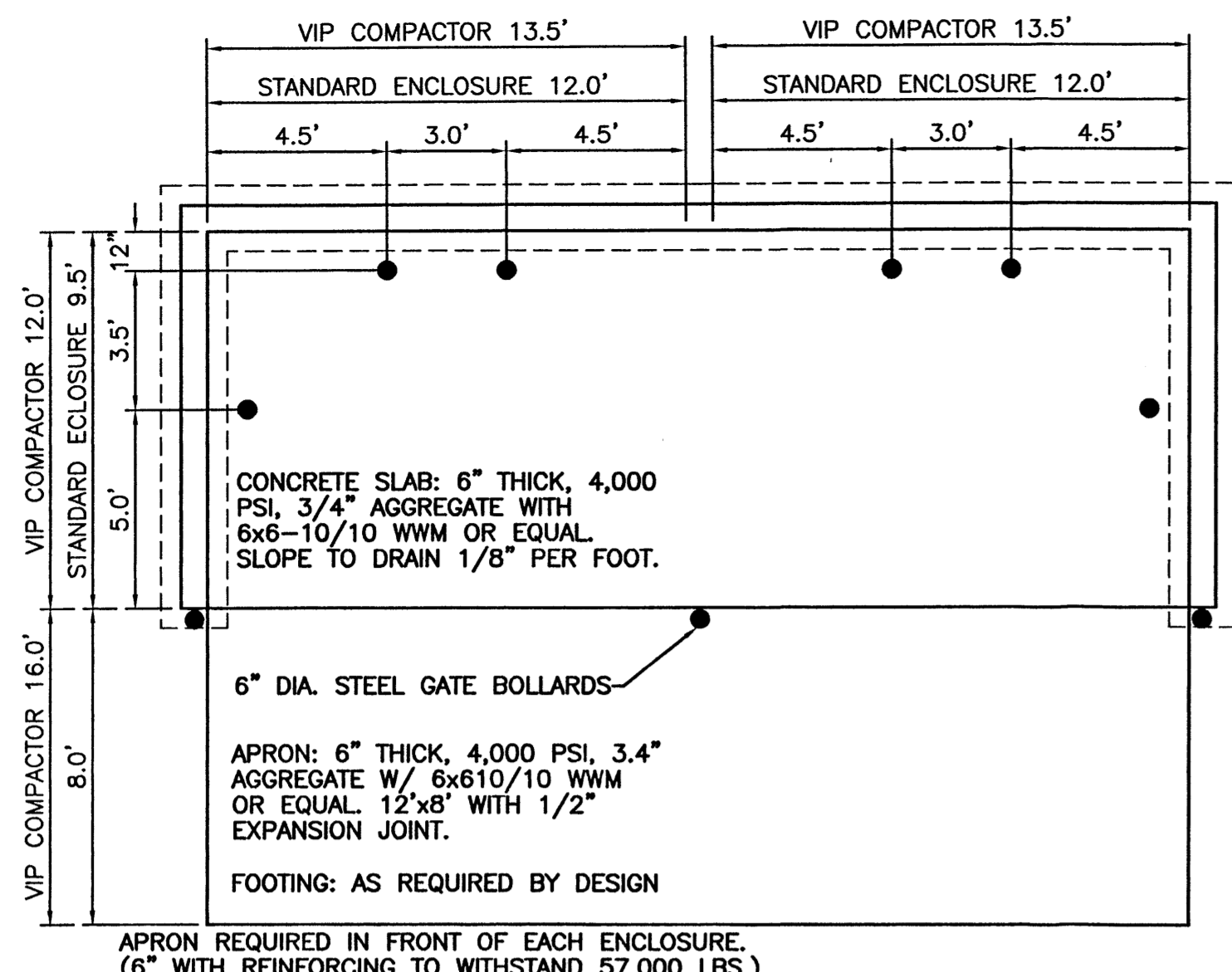
TRACT 2-A-1, KEN JOHNS WESTSIDE AUTO CENTER
 FILED: JUNE 21, 1988, VOL. C36, FOLIO 171

CITY OF ALBUQUERQUE
 FILED: SPECIAL WARRANTY DEED
 DOC. NO. B4 24978 APRIL 6, 1984
 BK. D208A, PG. 853

NM UTILITIES _____ DATE _____

| | | |
|----------------------------------|-----------------------------------------------------------------------------|-----------------------|
| ENGINEER'S SEAL | VENTURE COMMERCE CENTER - ALBUQUERQUE | DRAWN BY pm |
| | MASTER UTILITY PLAN | DATE 09-05-06 |
| | 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100 | 26034-MUE |
| RONALD R. BOHANNAN P.E. #7868 | TERRA WEST, LLC | SHEET # C10 |
| | | JOB # 26034 |



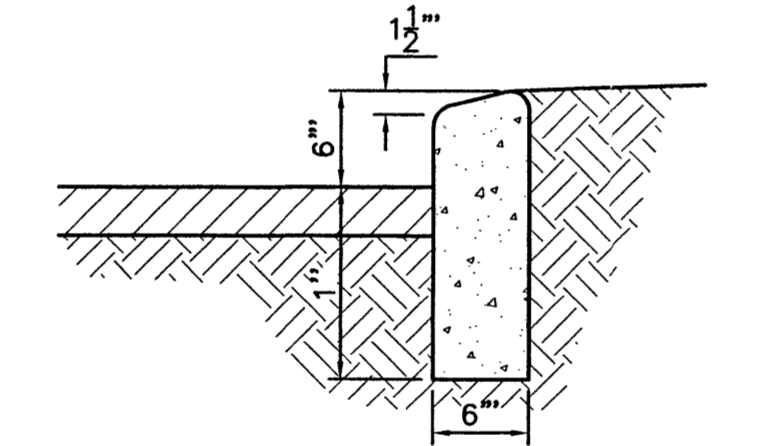
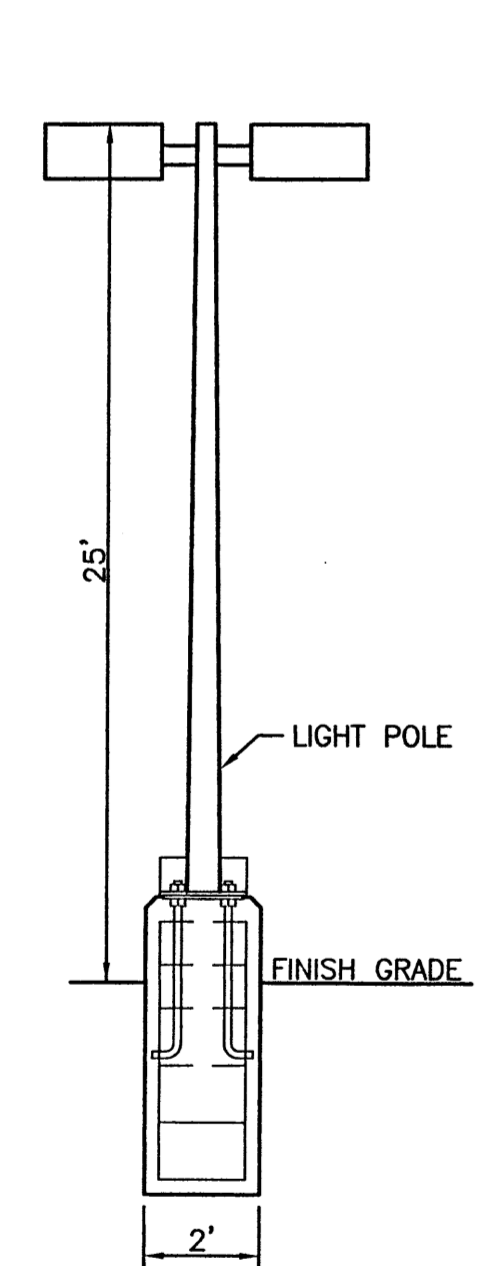


NOTE: THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.

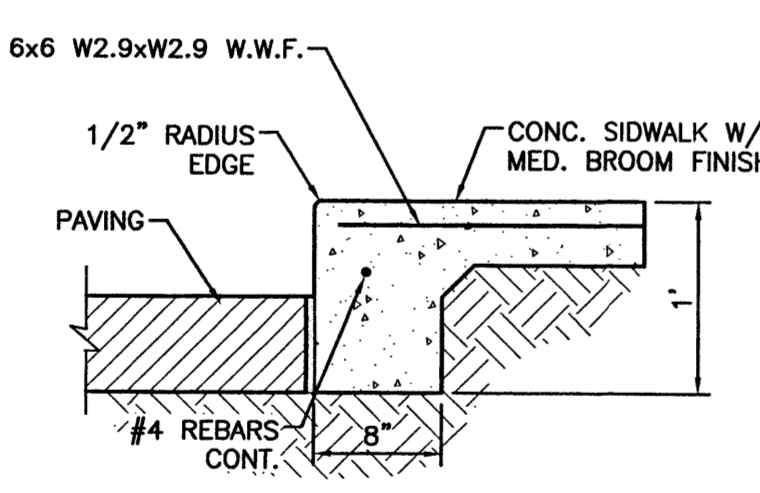
NOTE: THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.

DUMPSTER ENCLOSURE DETAIL
NTS

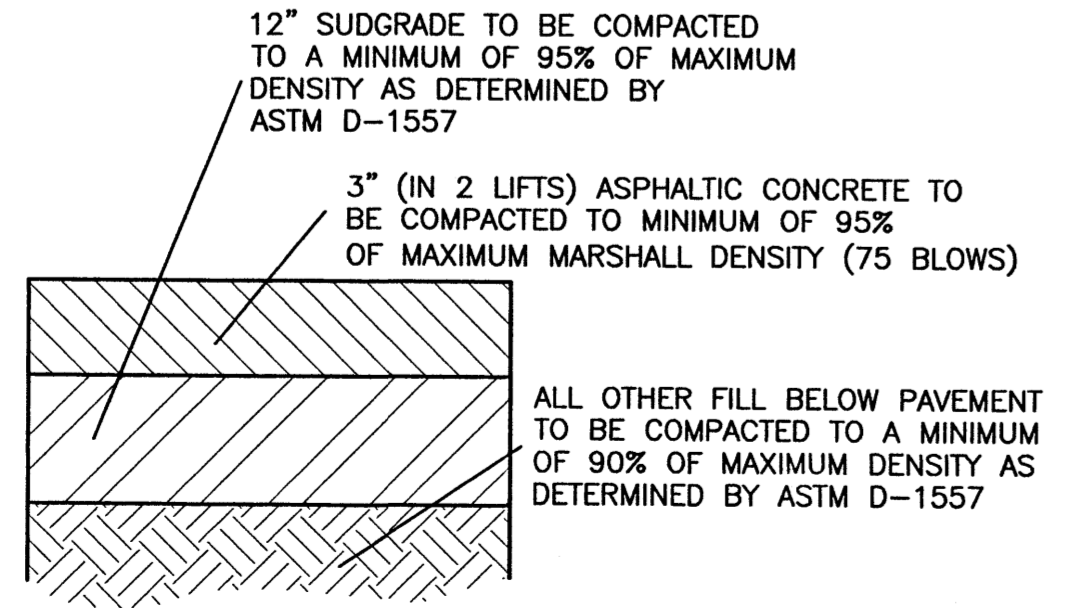
DUMPSTER ENCLOSURE DETAIL
NTS



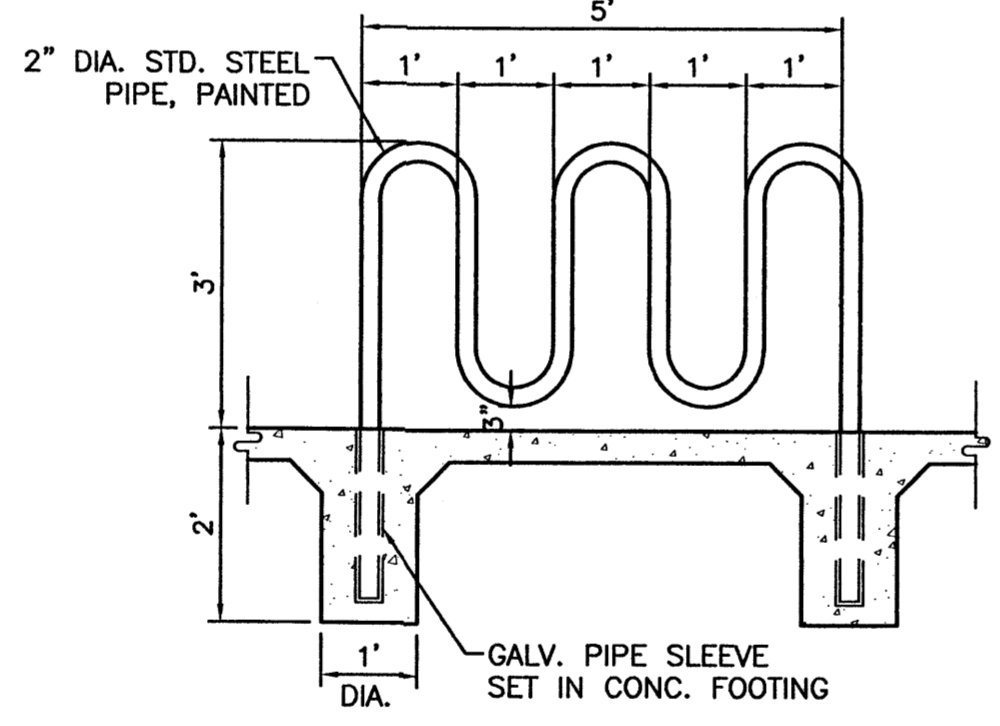
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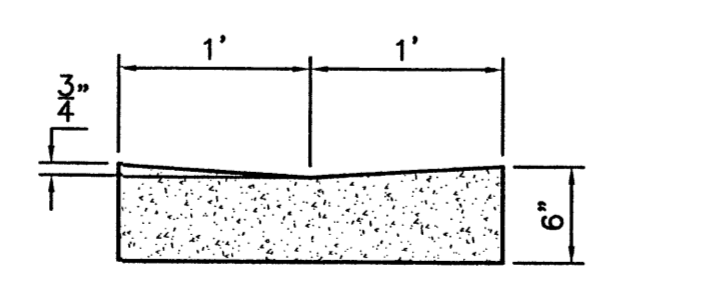
DETAIL-TURNDOWN CURB
NTS SEE COA STD DWG#2415



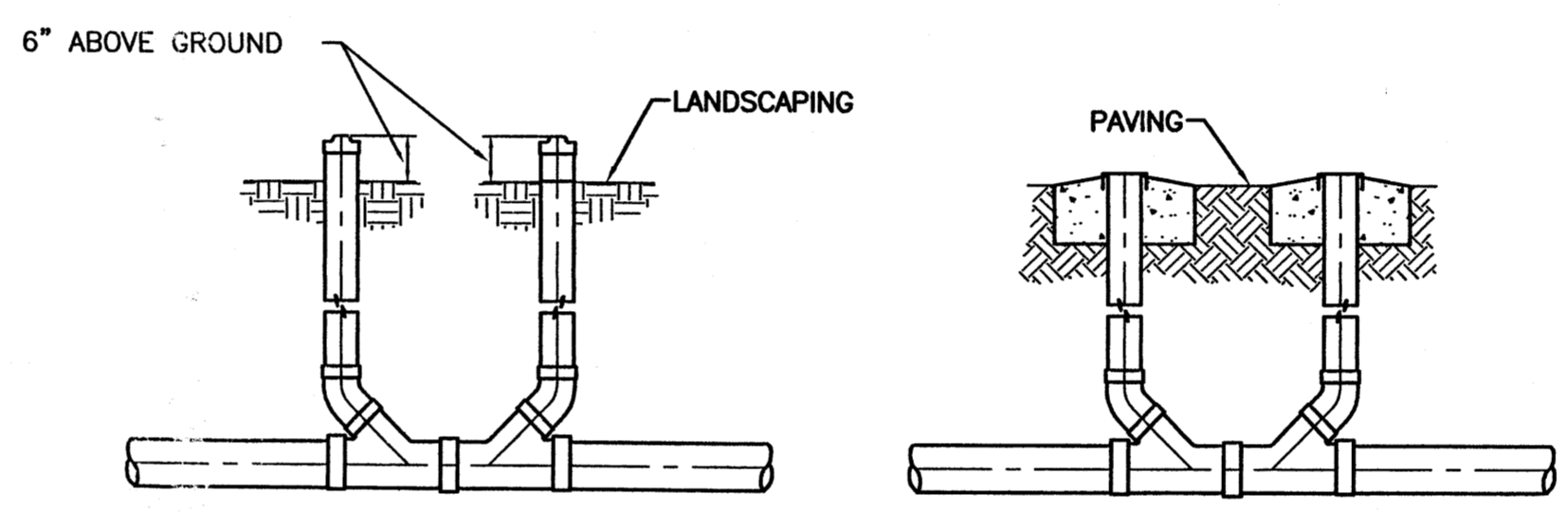
AUTOMOBILE PARKING TYPICAL PAVING SECTION
NTS



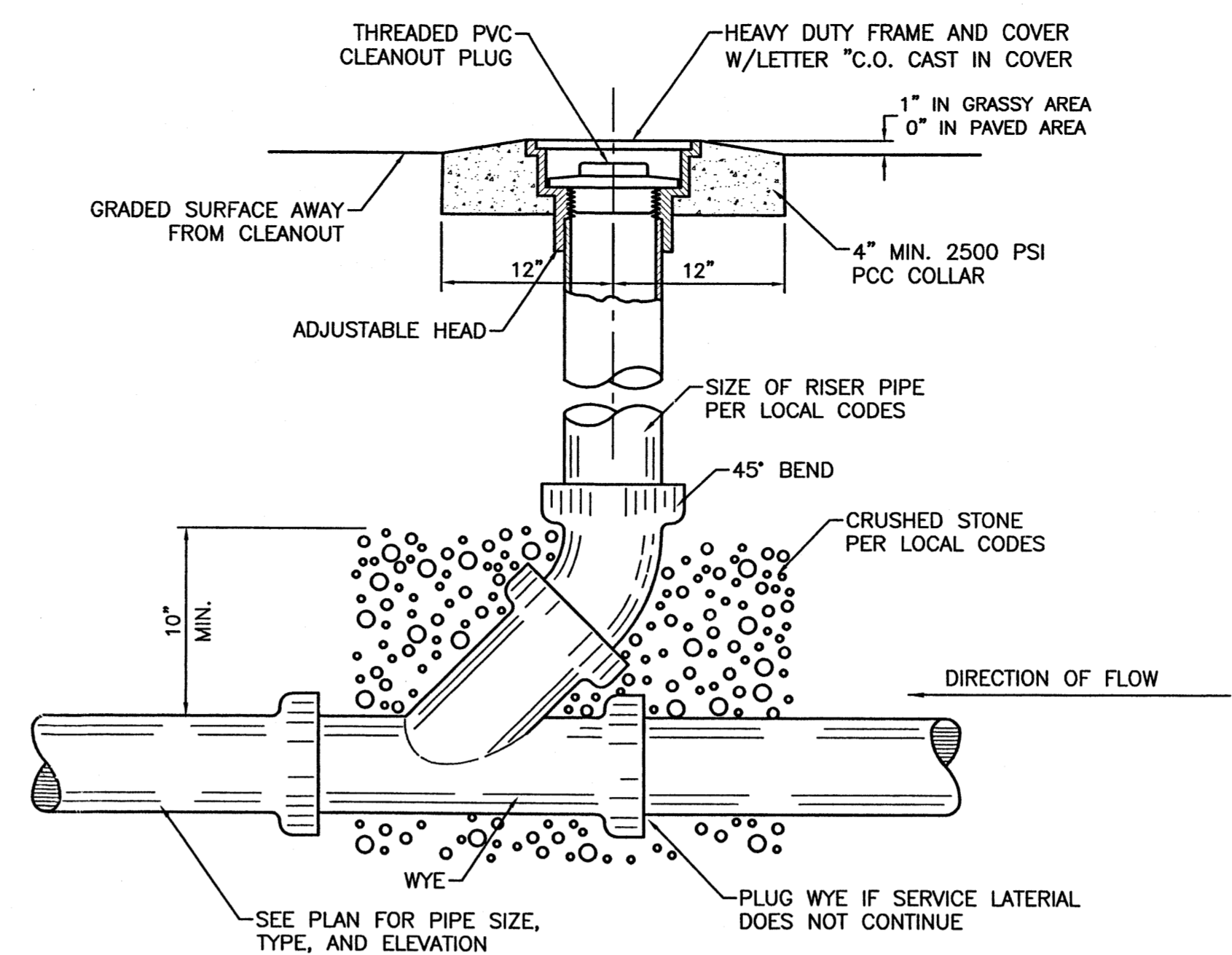
BIKE RACK DETAIL
SCALE: 1/2\"/>



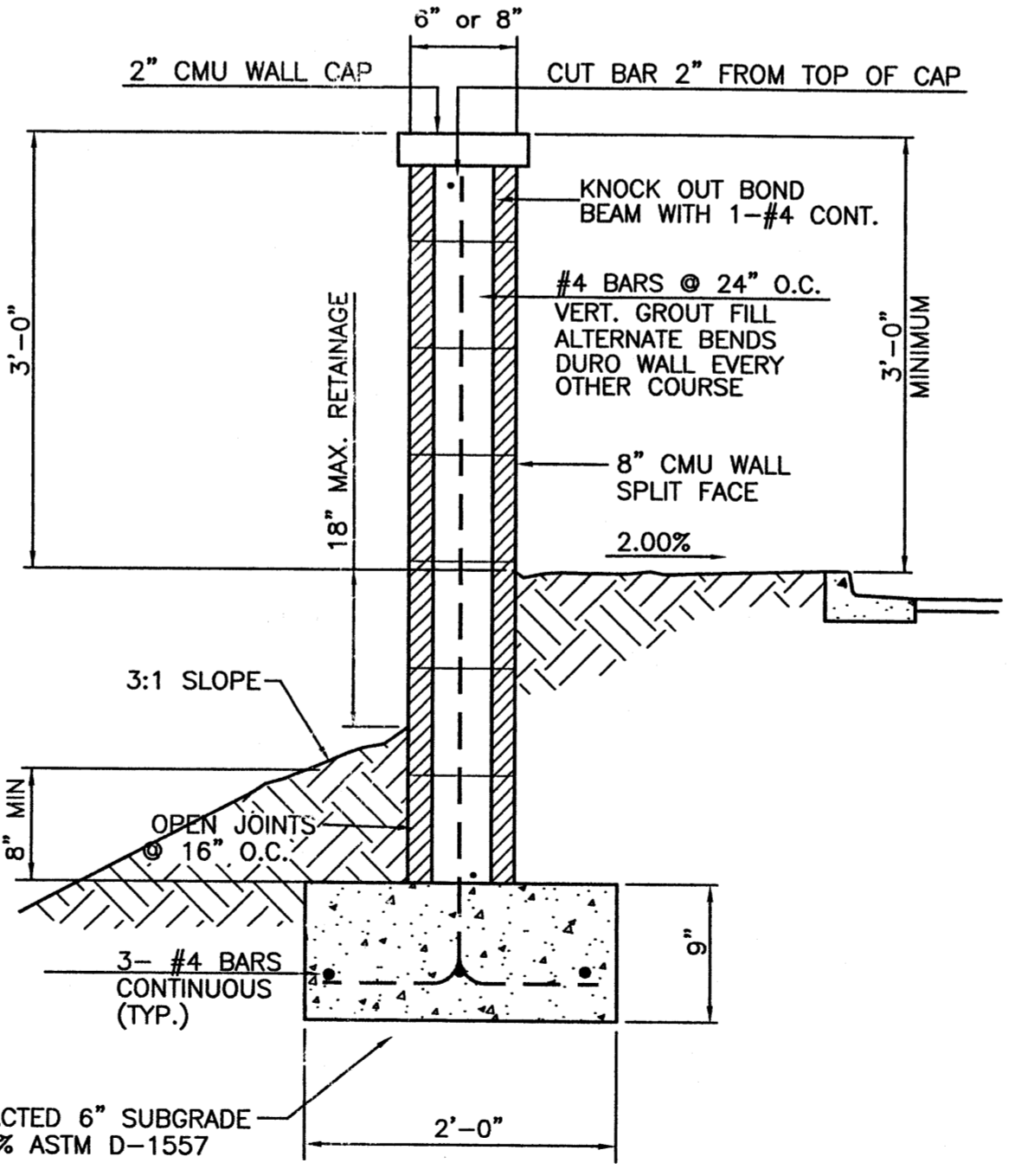
CONCRETE ALLEY GUTTER DETAIL
SCALE: 1\"/>



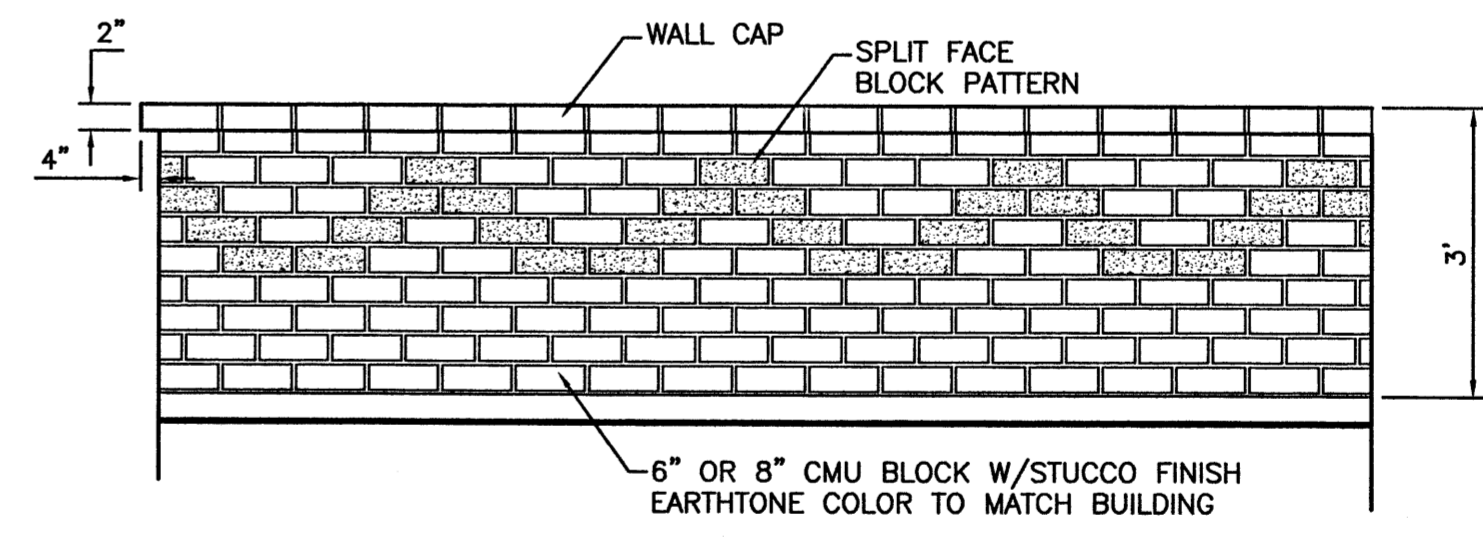
SANITARY SEWER DOUBLE CLEAN-OUTS
NTS



SANITARY SEWER CLEAN-OUT
NTS

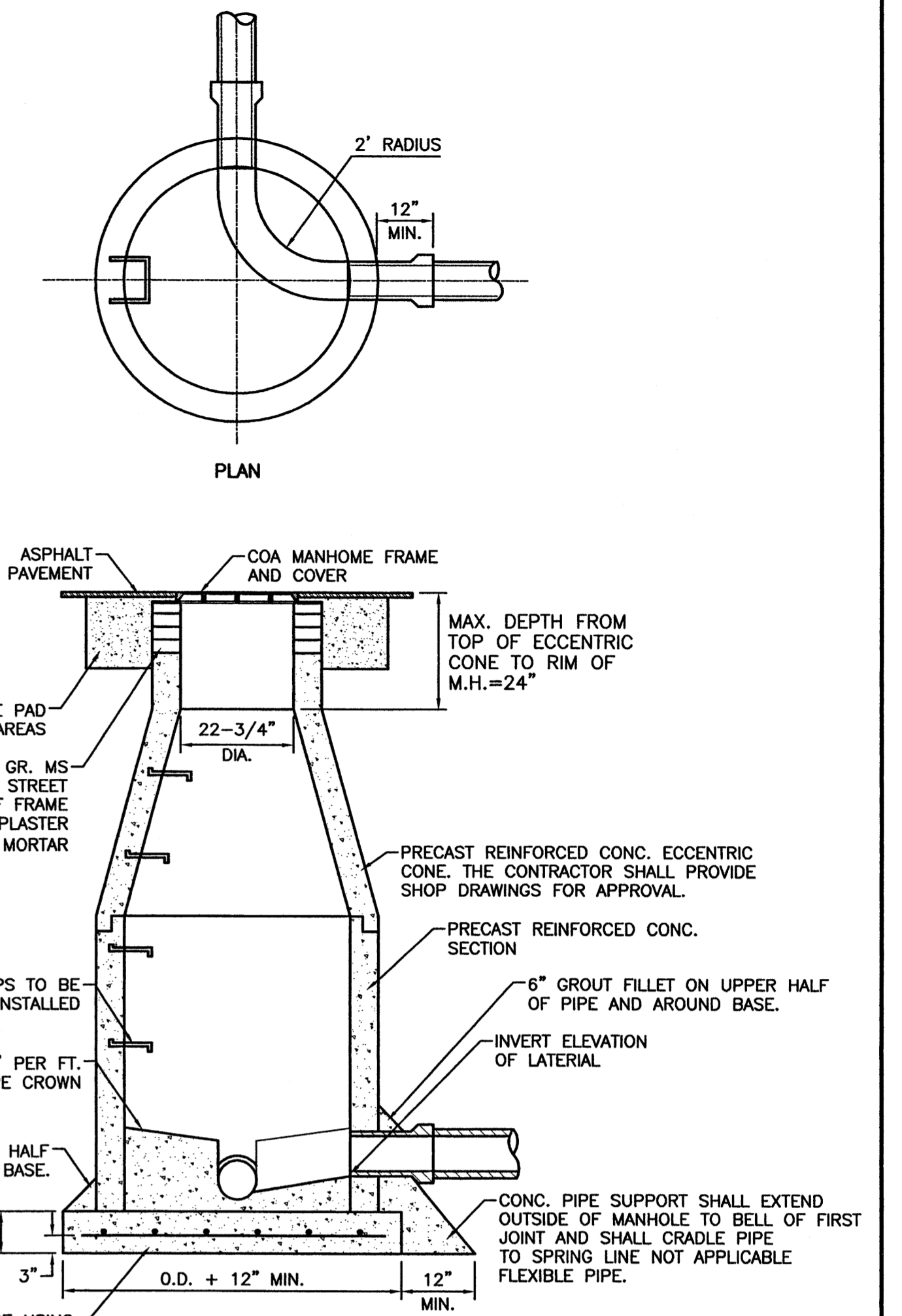


SCREEN WALL SECTION
NTS



SCREEN WALL ELEVATION
NTS

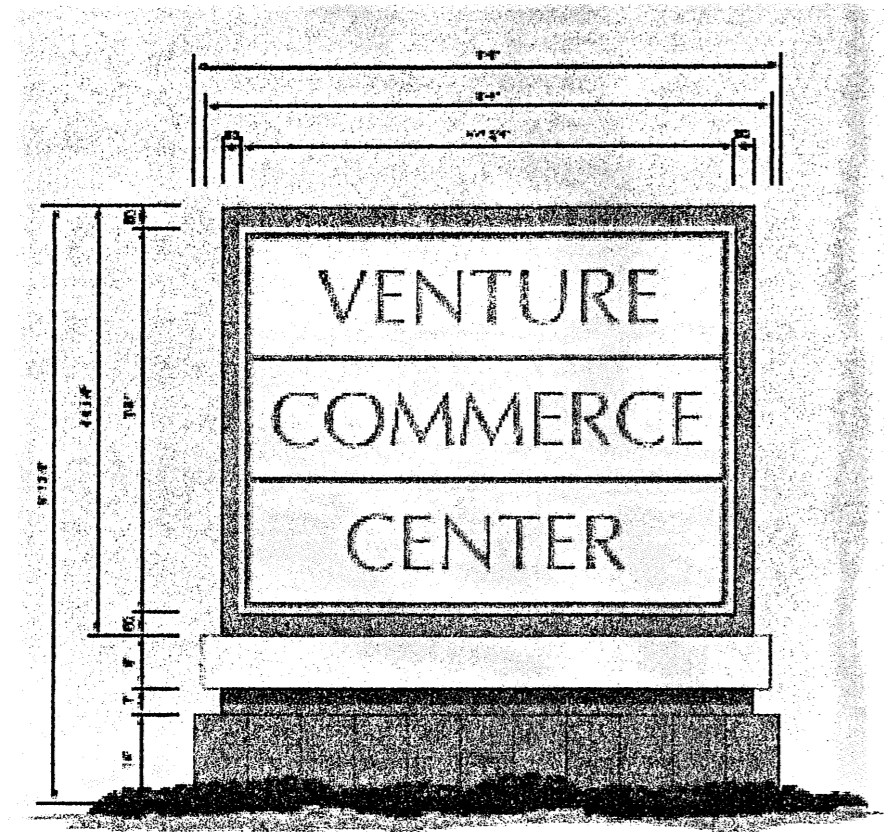
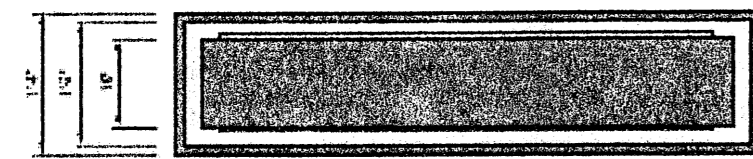
- GENERAL NOTES:**
1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
 2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12\"/>



SEWER MANHOLE TYPE 'E' DETAIL
NTS

- NOTE:**
1. DETAIL IS THE SAME AS SHOWN IN THE CITY OF ALBUQUERQUE STANDARD SPECIFICATION FOR PUBLIC WORKS DRAWING NO. 2102.
 2. USE NON-SHRINK GROUT FOR JOINTS, FILLETS, AND PIPE PENETRATIONS
 3. COMPACT ALL BACKFILL AROUND MANHOLES TO 95%.
 4. POSITION MANHOLE OPENING OVER THE UPSTREAM SIDE OF MAIN LINE.

| | | |
|-------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------|-----------------|
| | ENGINEER'S SEAL VENTURE COMMERCE CENTER - ALBUQUERQUE | DRAWN BY pm |
| | DETAILS | DATE 8-31-06 |
| TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100 | SHEET # C11 | 26034-DETAILS |
| RONALD R. BOHANNAN P.E. #7868 | JOB # 26034 | |



A SIGN ELEVATION SCALE 1/2" = 1'-0"

SPECIFICATION

Single face non-luminated permanent sign

| ITEM | DESCRIPTION | VENDOR | SPECIFICATION |
|------------------|------------------|--------------|-------------------|
| Cabinet | Aluminum | C-16 Incoast | Finish #402 |
| Outline | 1/2" PCO acrylic | C-16 Incoast | Manufacturer #822 |
| Color background | 1/2" PCO acrylic | C-16 Incoast | Color Code #174 |
| Color | | | Shaw-W |
| Horizontal Frame | Aluminum | C-16 Incoast | Color Code #174 |
| Base | Aluminum | C-16 Incoast | Finish #402 |
| Cross on Base | | C-16 Incoast | Finish #402 |

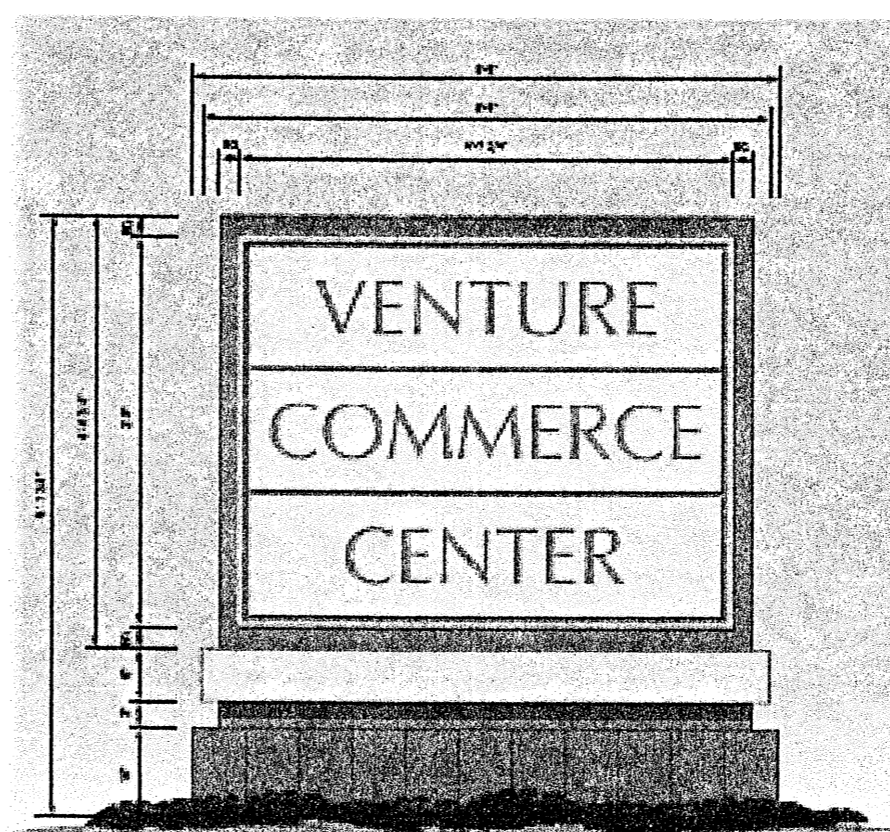
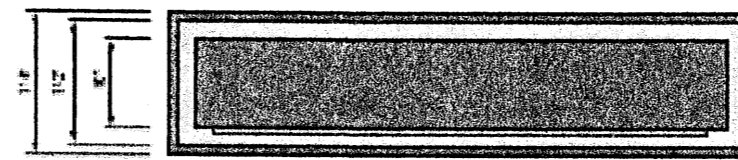


1837 Park Avenue
Oakland, CA 94612
Phone 510.335.2945
Fax 510.522.2815
LIC: 4214794
www.arrowgraphics.com

All Items: Terra Commerce
Address: Albuquerque, NM
City: 87106
State: New Mexico
Design: Chris Chubb
Design No: 06049
Project: 2064/Commerce Albuquerque
Sheet: 1

Customer Approval
Name: Tom Salinas
Date: 06/23/06

Notes:
1. This sign is to be installed on a concrete base.
2. The sign is to be installed on the north side of the building.



B SIGN ELEVATION SCALE 1/2" = 1'-0"

SPECIFICATION

Single face non-luminated permanent sign

| ITEM | DESCRIPTION | VENDOR | SPECIFICATION |
|------------------|------------------|--------------|-------------------|
| Cabinet | Aluminum | C-16 Incoast | Finish #402 |
| Outline | 1/2" PCO acrylic | C-16 Incoast | Manufacturer #822 |
| Color background | 1/2" PCO acrylic | C-16 Incoast | Color Code #174 |
| Color | | | Shaw-W |
| Horizontal Frame | Aluminum | C-16 Incoast | Color Code #174 |
| Base | Aluminum | C-16 Incoast | Finish #402 |
| Cross on Base | | C-16 Incoast | Finish #402 |

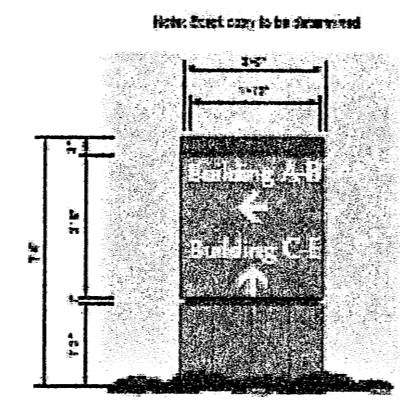


1837 Park Avenue
Oakland, CA 94612
Phone 510.335.2945
Fax 510.522.2815
LIC: 4214794
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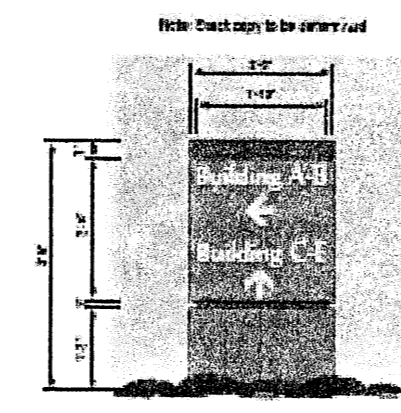
All Items: Terra Commerce
Address: Albuquerque, NM
City: 87106
State: New Mexico
Design: Chris Chubb
Design No: 06049
Project: 2064/Commerce Albuquerque
Sheet: 2

Customer Approval
Name: Tom Salinas
Date: 06/23/06

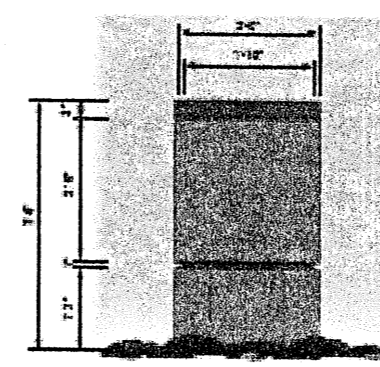
Notes:
1. This sign is to be installed on a concrete base.
2. The sign is to be installed on the north side of the building.



E SIGN ELEVATION SCALE 1/2" = 1'-0"



D SIGN ELEVATION SCALE 1/2" = 1'-0"



REVERSE SIDE (TYPICAL) SCALE 1/2" = 1'-0"



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SPECIFICATION

| ITEM | DESCRIPTION | VENDOR | SPECIFICATION |
|---------------|------------------|--------------|-----------------|
| Cabinet | Aluminum | C-16 Incoast | Finish #402 |
| Frame | Aluminum | C-16 Incoast | Finish #402 |
| Top Trim | Aluminum | C-16 Incoast | Finish #402 |
| Base | Aluminum | C-16 Incoast | Finish #402 |
| Cross on Base | | C-16 Incoast | Finish #402 |
| Sign Backing | 1/2" PCO acrylic | C-16 Incoast | Color Code #174 |

All Items: Terra Commerce
Address: Albuquerque, NM
City: 87106
State: New Mexico
Design: Chris Chubb
Design No: 06049
Project: 2064/Commerce Albuquerque
Sheet: 3

Customer Approval
Name: Tom Salinas
Date: 06/23/06

Notes:
1. This sign is to be installed on a concrete base.
2. The sign is to be installed on the north side of the building.

| | | |
|--------------------------------------------------------------------------------------------------------|----------------------------------------------|-----------------------|
| | VENTURE COMMERCE CENTER - ALBUQUERQUE | DRAWN BY pm |
| | SIGN DETAIL | DATE 06-23-06 |
| TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505)858-3100 | | 26034-SIGN |
| RONALD R. BOHANNAN P.E. #7868 | | SHEET # C12 |
| | | JOB # 26034 |