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 SHEET 2 LANDSCAPE PLAN
 SHEET 3 GRADING AND DRAINAGE PLAN
 SHEET 4 MASTER UTILITY PLAN
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GENERAL NOTE:
 CONDOMINIUM ASSOCIATION OR SIMILAR ENTITY SHALL BE RESPONSIBLE FOR MAINTENANCE OF COMMON AREAS AND FACILITIES.

LEGEND:

- GROUND LEVEL USABLE OPEN SPACE. SEE SHEET #2 FOR LANDSCAPE INFORMATION.
- OFF STREET PARKING IS PROVIDED BY AN ENCLOSED GARAGE AND A PARTIALLY COVERED CARPORT PER UNIT (TOTAL OF 10) WITH 3 ADDITIONAL ON-SITE PAVED PARKING SPACES.
- PROPOSED RECESSED FRONT DOOR STOOP.
- PROPOSED CONCRETE RETAINING WALL. SEE SHEET #3.
- PROPOSED EXTERIOR LIGHT (WALL MOUNTED, AREA LIGHTS CUT-OFF REFLECTORS AND OFF-SITE LUMINANCE OF LESS THAN 1000 FOOT LAMBERTS). REFER TO SHEET #5 FOR DETAIL.
- TRASH ENCLOSURE. EACH UNIT SHALL HAVE OWNER PROVIDED RESIDENTIAL SIZE TRASH RECEPTACLE. REFER TO DETAIL ON SHEET #5.
- EXISTING 16' WIDE PUBLIC ALLEY
- PROPOSED BOLLARDS REFER TO DETAIL ON SHEET #5
- PROPOSED FIRE HYDRANT

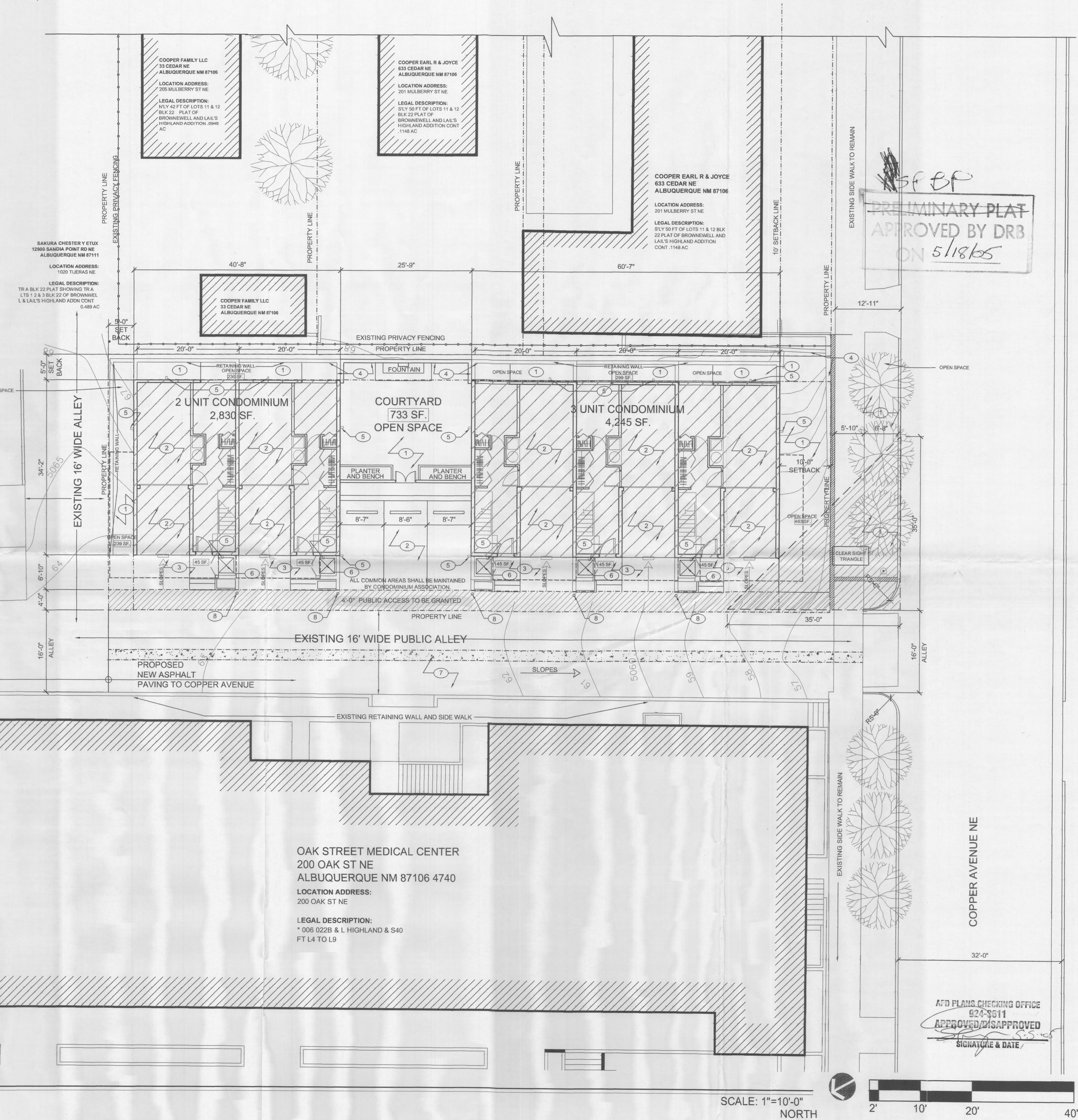
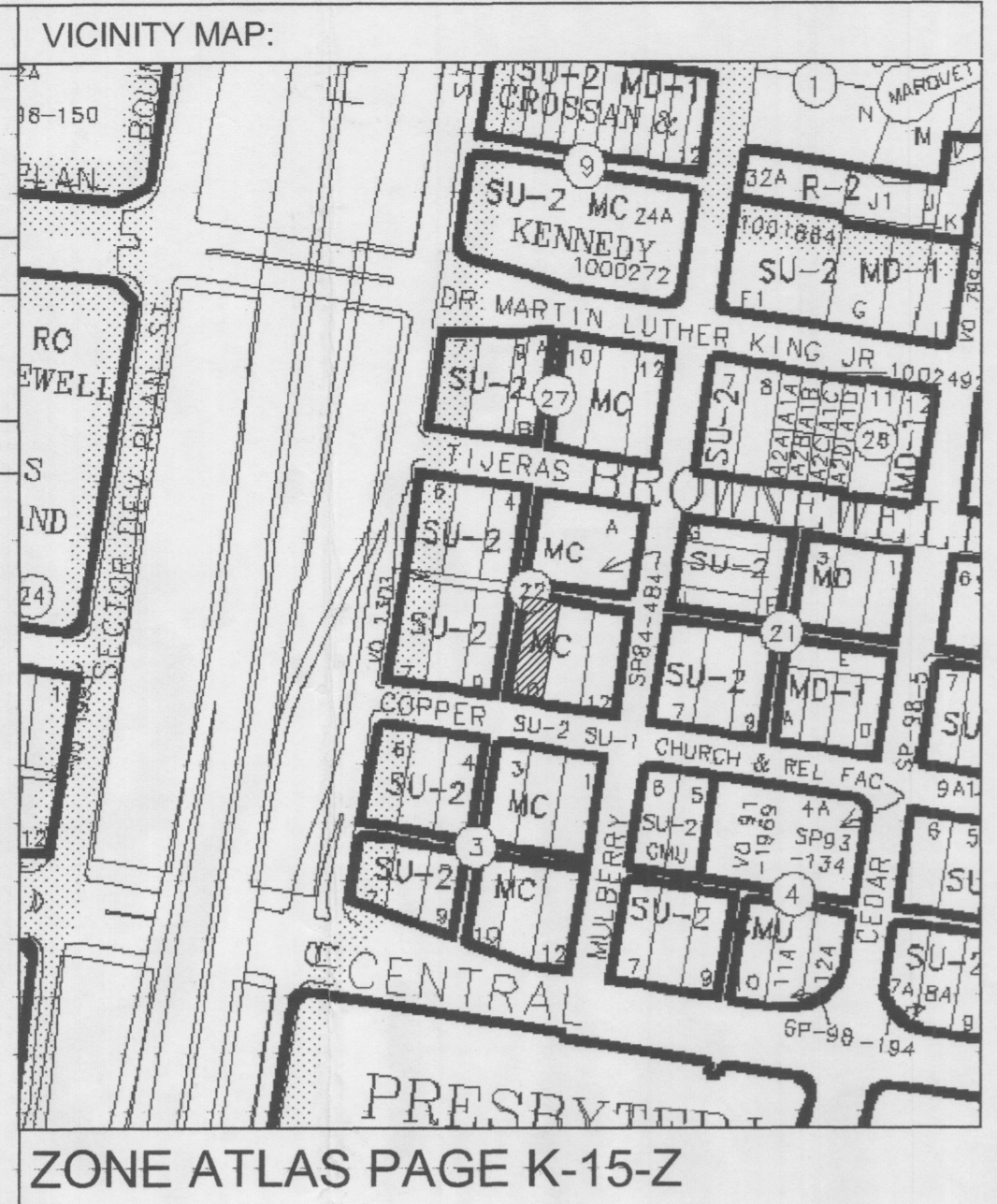
TOTAL SITE AREA: 7,100 SQ. FT.
 CONDOMINIUM UNIT AREA: 1,415 SQ. FT. UNIT
 TOTAL NUMBER OF BATHROOMS PER UNIT: 2
 TOTAL NUMBER OF BEDROOMS PER UNIT: 2 PLUS STUDY/BEDROOM

USABLE OPEN SPACE CALCULATION:
 (USABLE OPEN SPACE SHALL BE PROVIDED ON-SITE IN AN AMOUNT NO LESS THAN SPECIFIED IN R-3 ZONE, NO MORE THAN SPECIFIED IN THE R-2 ZONE.)

TOTAL AREA OF MAXIMUM USABLE OPEN SPACE REQUIRED FOR A 3-BEDROOM UNIT: 600 x 5 = 3,000 SQ. FT.
 TOTAL AREA OF USABLE OPEN SPACE PROVIDED: 3,285 SQ. FT.
 TOTAL AREA OF USABLE OPEN SPACE ON GROUND: 2,150 SQ. FT.

CONDOMINIUM PARKING CALCULATION:
 TOTAL PARKING: 10 OFF STREET PARKING SPACES AND 3 ADDITIONAL ON-SITE PARKING SPACES.
 (BASED ON 2 SPACES PER UNIT, 1 SPACE PER BATH)

BICYCLE FACILITIES & CALCULATIONS:
 NOT REQUIRED, RESIDENTIAL USE ONLY



PROJECT NUMBER: _____
Application Number: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
<i>Michael Helton</i> Solid Waste Management	5-4-05 Date
DRB Chairperson, Planning Department	Date

*Environmental Health, if necessary
 12/16/03

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DESIGN PLUS LLC

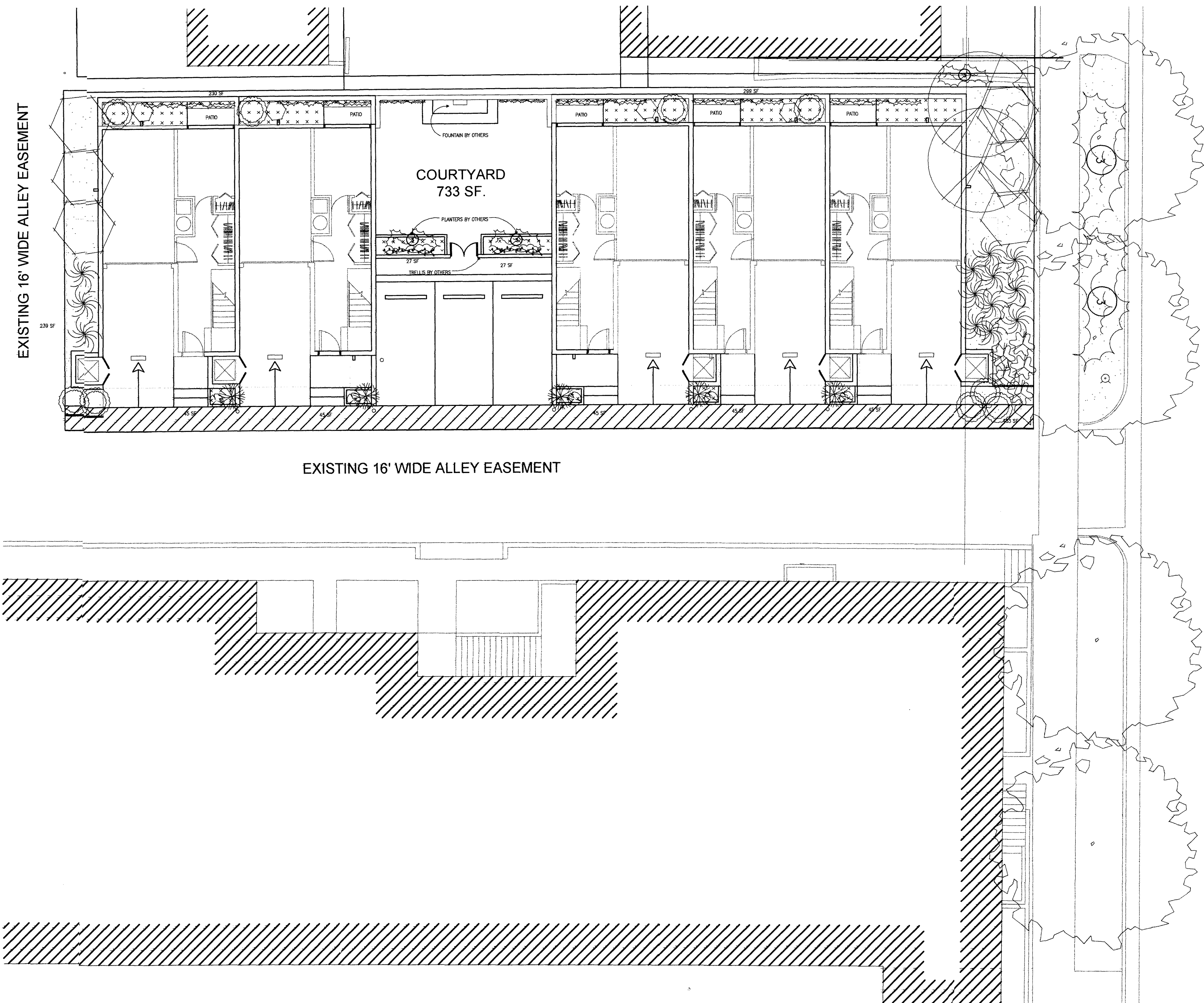
DATE: OCTOBER 07, 2004
 REVISIONS: DECEMBER 1, 2004
 MAY 3, 2005

Michael Helton
 SITE PLAN

OAK STREET CONDOMINIUMS
 1015 COPPER AVENUE NE
 ALBUQUERQUE NEW MEXICO 87106

SHT. NO.
 1 OF 5

A&D PLANS CHECKING OFFICE
 924-3611
 APPROVED/DISAPPROVED
 SIGNATURE & DATE



PLANT LEGEND

NO SUBSTITUTIONS ALLOWED

	RED OAK (M) 4 Quercus gravesii 2" Cal.	
	FLOWERING PEAR (M+) 2 Pyrus calleryana 2" Cal.	
	HEAVENLY BAMBOO Nandina domestica 5 Gal. 16sf	208
	REGAL MIST (M) 5 Muhlenbergia capillaris 5 Gal. 9sf	45
	WISTERIA (L) 2 Wisteria spp. 1 Gal. 400sf	800
	ROSEMARY (M) 9 Rosmarinus officinalis 2 Gal. 9sf	81
	NANDINA (M) 10 Nandina domestica 5 Gal. 25sf	250
	WILDFLOWER 5 1 Gal. 4sf	20
	THREADGRASS (M) 5 Stipa tenuissima 1 Gal. 4sf	20
	CREeping ROSEMARY (L) 15 Rosmarinus officinalis 'Prostrata' 1 Gal. 36sf Symbol indicates 3 plants	540
	BOSTON IVY (M) 7 Parthenocissus tricuspidata 1 Gal. 200sf	1400
	COMMERCIAL GRADE STEEL EDGING	
	3/4" SANTA ANA TAN GRAVEL WITH FILTER FABRIC	
	SANTA ANA TAN CRUSHER FINES WITH FILTER FABRIC	

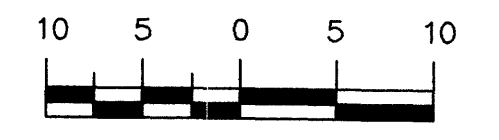
LANDSCAPE CALCULATIONS

TOTAL LOT AREA	7100	square feet
TOTAL BUILDINGS AREA	3400	square feet
OFFSITE AREA	700	square feet
NET LOT AREA	3000	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	450	square feet
TOTAL BED PROVIDED	1309	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	982	square feet
TOTAL GROUND COVER PROVIDED	3364	square feet
TOTAL PATIOS/SIDEWALKS	686	square feet
USEABLE OPEN SPACE	2150	square feet

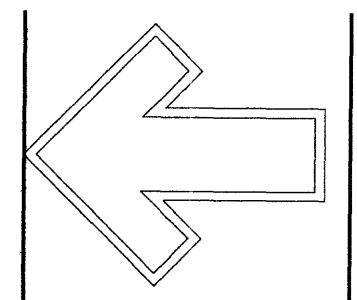
LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.
Landscape maintenance of common areas shall be the responsibility of the Condominium Association or a similar entity.
It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.
Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.
All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.
Plant beds shall achieve 75% live ground cover at maturity.
3/4" Santa Ana Tan over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.
FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.
Point of connection for irrigation system is unknown at current time and will be coordinated in the field.
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.
Irrigation maintenance shall be the responsibility of the Property Owner.

GRAPHIC SCALE



SCALE: 1"=10'



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Albuquerque, NM 87184
Phone: (505) 888-9690
Fax: (505) 888-7737
cme@thilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL

JAMES DE FLON #0007

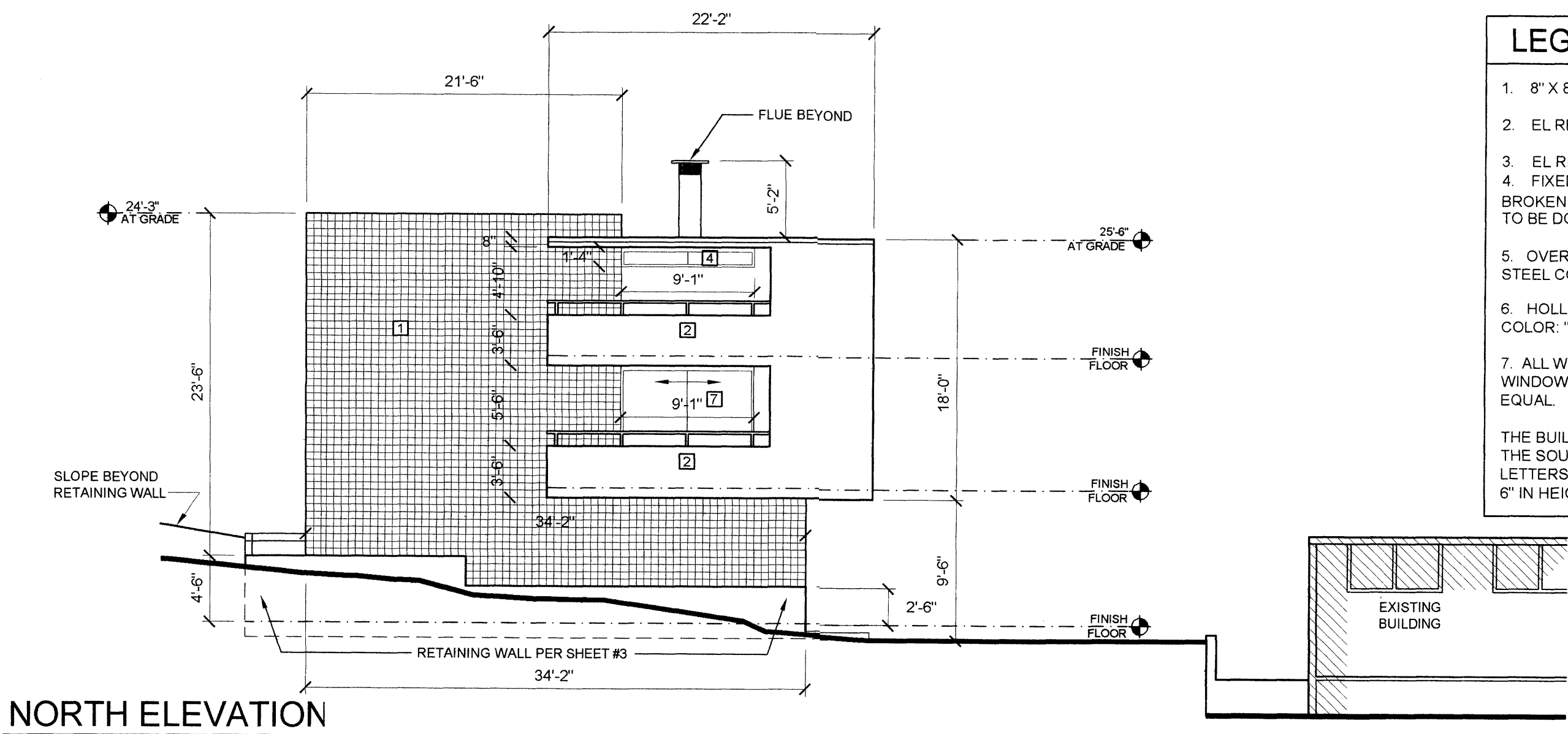
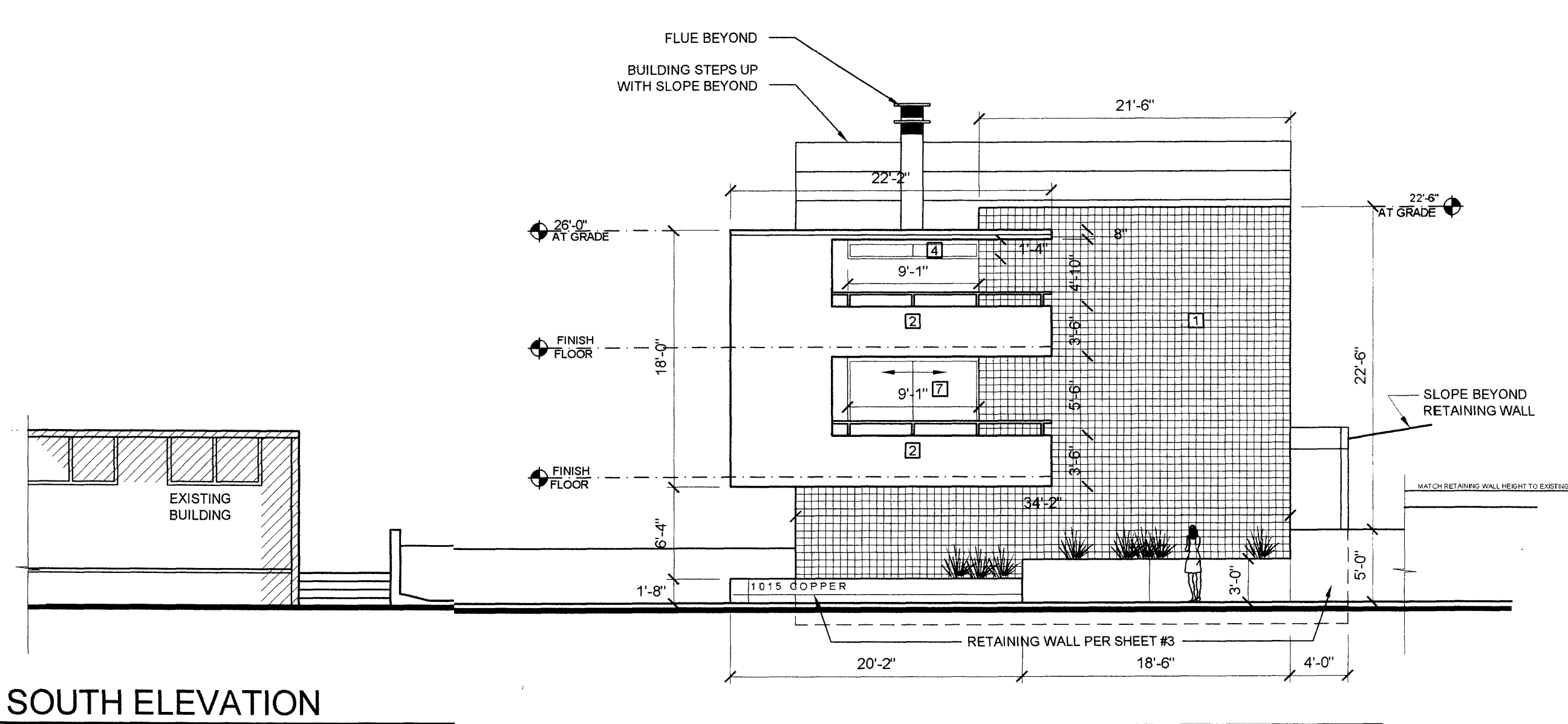
OAK STREET CONDOMINIUMS
ALBUQUERQUE, NM
LANDSCAPE PLAN

All creative ideas contained herein remain the property of The Hilltop Landscaping Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied without written approval from the designer.

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY: DRR
REVISION #:
DATE: 11/24/04

SHEET #
1 OF 1



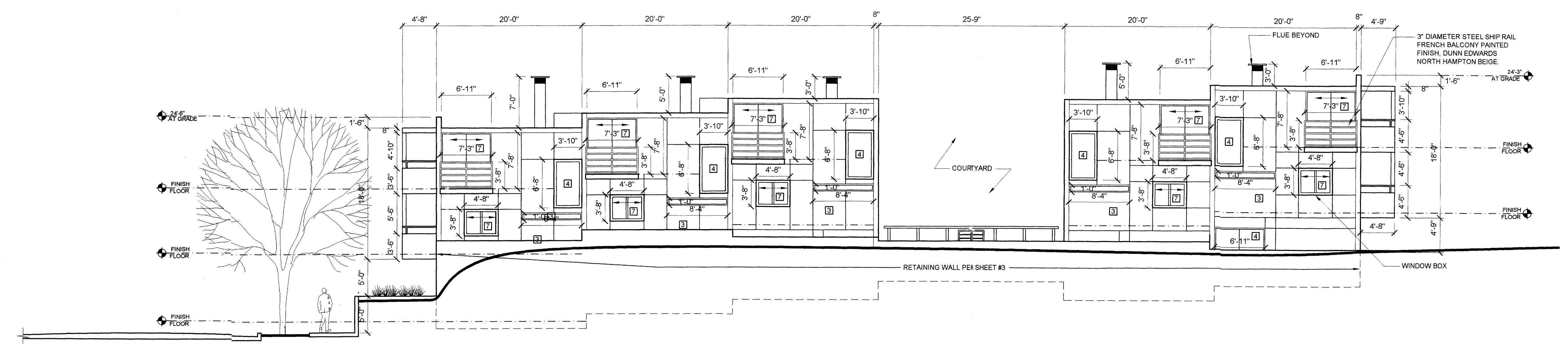
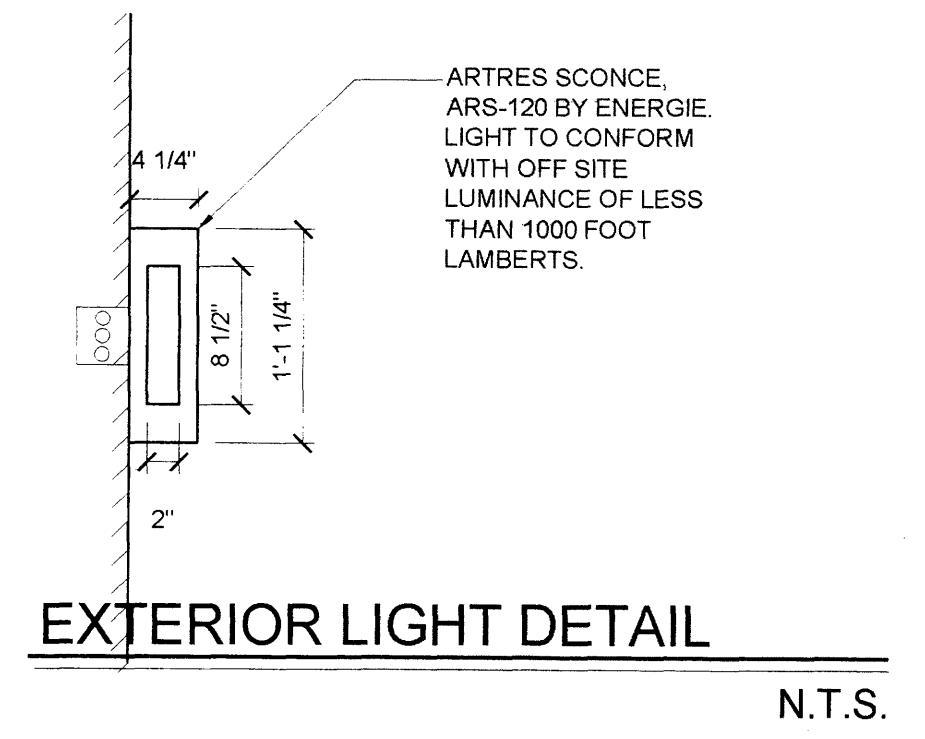
- LEGEND AND GENERAL NOTES:**
- 8" X 8" SPLIT FACE CONCRETE MASONRY UNIT RAKED MORTAR (DARK GRAY)
 - EL REY xxxx "NORTH HAMPTON BEIGE" DUNN EDWARDS AC 38 (LIGHT GRAY)
 - EL REY xxxx "MIGHTY TIDE" DUNN EDWARDS 3014 (DARK BROWN)
 - FIXED WINDOW BY "OPTIMUM" OR APPROVED EQUAL. SERIES 680 THERMALLY BROKEN ALUMINUM WINDOW AND DOOR SYSTEM WITH 1 3/4" GLAZING INFILL GLASS TO BE DOUBLE GLAZED WITH HIGH PERFORMANCE BRONZE / GRAY TINT.
 - OVERHEAD SECTIONAL GARAGE DOOR: HOLLOW METAL WITH HOT ROLLED STEEL COLOR: "CHAMELEON MARBLE" FINISH.
 - HOLLOW METAL FRONT DOOR WITH SIDE LIGHT WINDOW. HOT ROLLED STEEL COLOR: "CHAMELEON MARBLE" FINISH.
 - ALL WINDOWS AND DOORS OTHER THAN ENTRANCE DOORS TO BE CLAD WOOD WINDOWS COLOR TO BE "DESERT BAIGE". BY MARVIN WINDOWS AND DOORS OR EQUAL.
- THE BUILDING SIGN WILL BE LOCATED ON THE CONCRETE RETAINING WALL ALONG THE SOUTH FAÇADE OF THE CONDOMINIUMS, AND WILL READ "1015 COPPER". THE LETTERS WILL BE FORMED IN THE CONCRETE WITH REVERSED NEGATIVE LETTERS 6" IN HEIGHT, IN THE "FUTURA" STYLE FONT.

SOUTH ELEVATION

NORTH ELEVATION

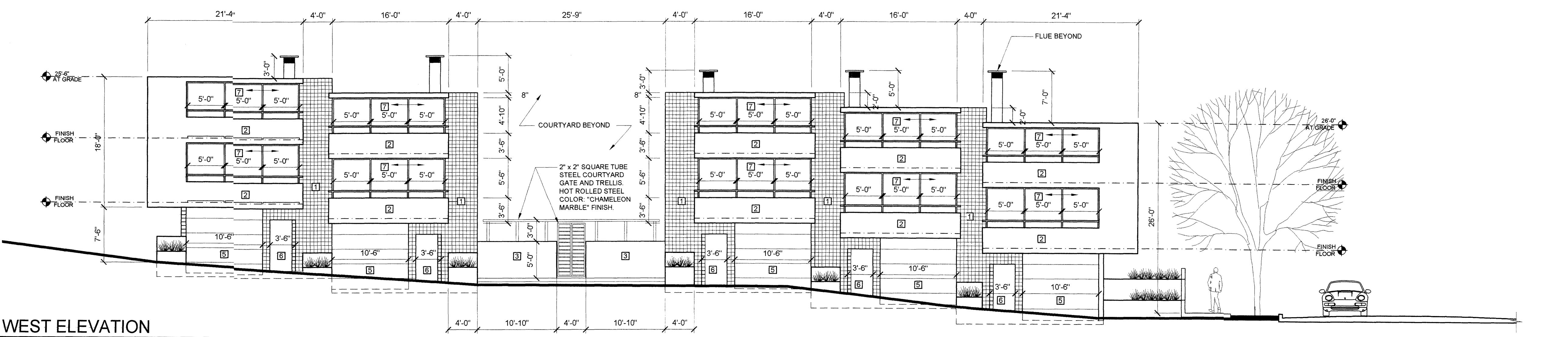
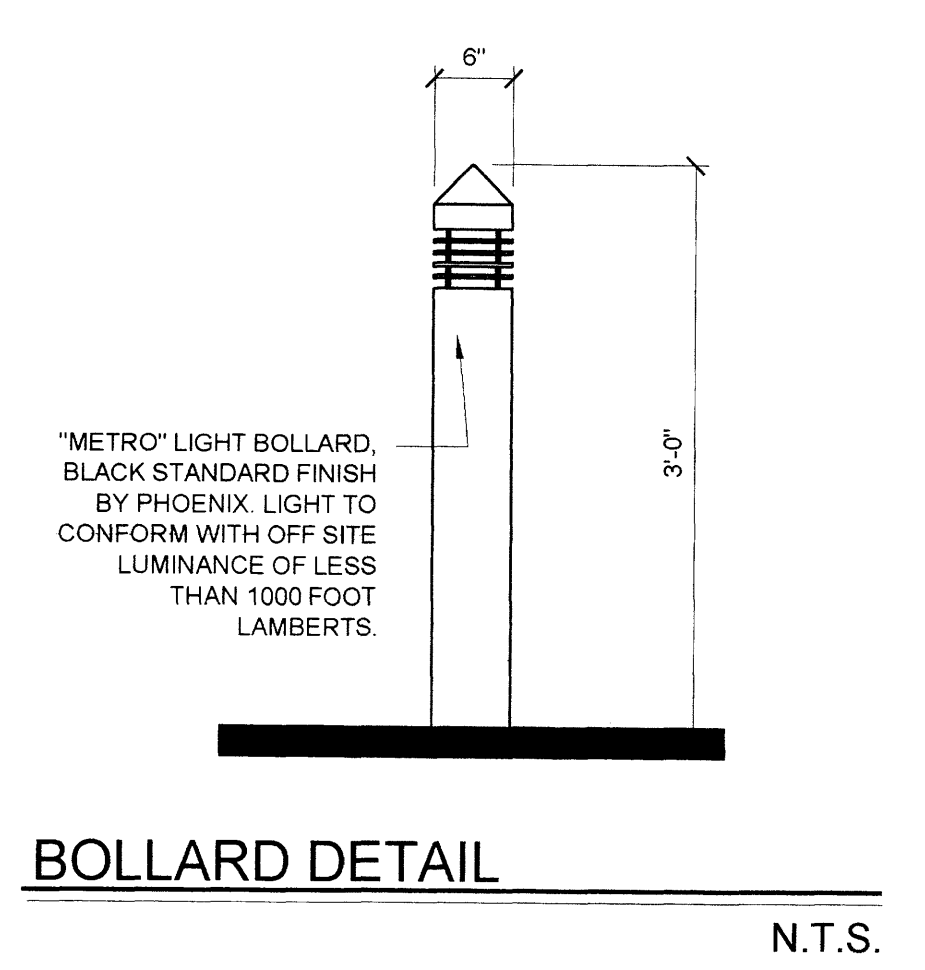
SCALE: 1/8"=1'-0"

SCALE: 1/8"=1'-0"



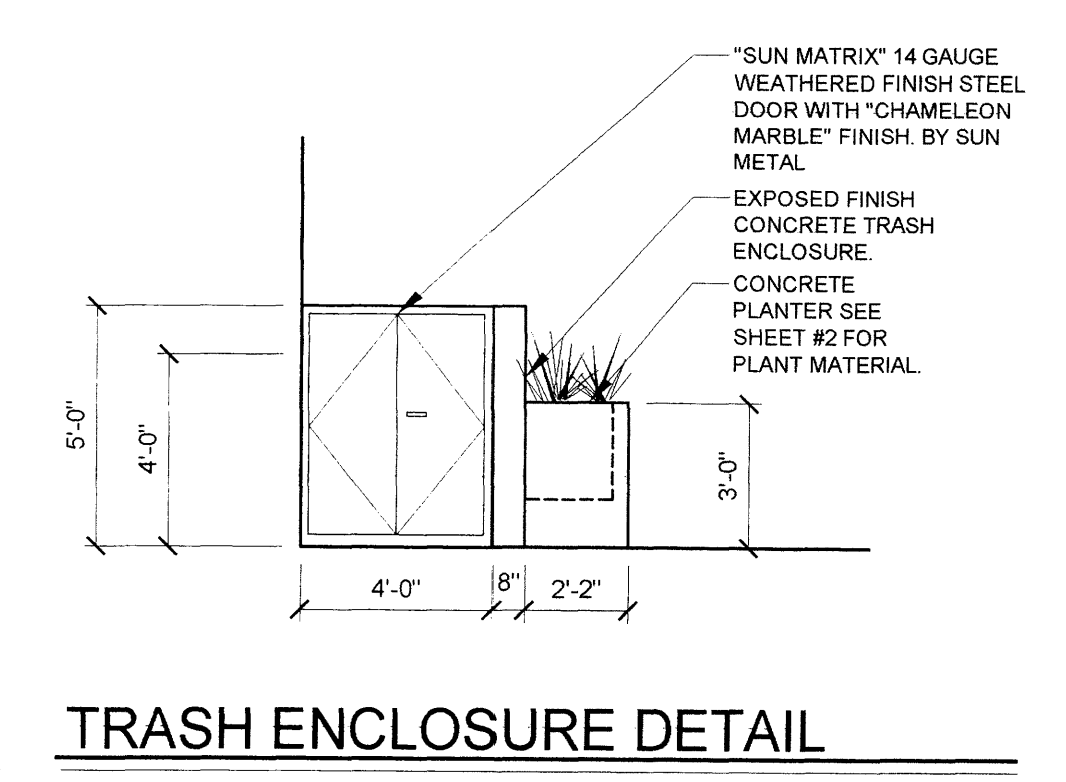
EAST ELEVATION

SCALE: 1/8"=1'-0"



WEST ELEVATION

SCALE: 1/8"=1'-0"



TRASH ENCLOSURE DETAIL

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DESIGN PLUS LLC

DATE: OCTOBER 07, 2004
REVISIONS: DECEMBER 1, 2004
MAY 3, 2005

EXTERIOR ELEVATIONS AND DETAILS

OAK STREET CONDOMINIUMS
1015 COPPER AVENUE NE
ALBUQUERQUE NEW MEXICO 87106

SHT. NO.
5 OF 5

GENERAL NOTES:

1. ADD 5000 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
2. CONTOUR INTERVAL IS ONE (1) FOOT.
3. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION MON-4-K15 HAVING AN ELEVATION OF 5045.07 FEET ABOVE SEA LEVEL.
4. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
5. THIS IS NOT A BOUNDARY SURVEY. BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
6. SLOPES ARE AT 3:1 MAXIMUM.
7. TOPOGRAPHY WAS PROVIDED BY FORSTBAUER SURVEYING, L.L.C.
8. ALL RETAINING WALLS AND STEM WALLS WILL BE DESIGN BY OTHERS, AND ASSURE COMPLIANCE WITH SECTION 14-16-3-19 OF THE ZONING CODE, GENERAL HEIGHT AND DESIGN REGULATIONS FOR WALLS, FENCES, AND RETAINING WALLS.
9. SOME EXISTING UTILITIES HAVE TO BE RELOCATED.

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

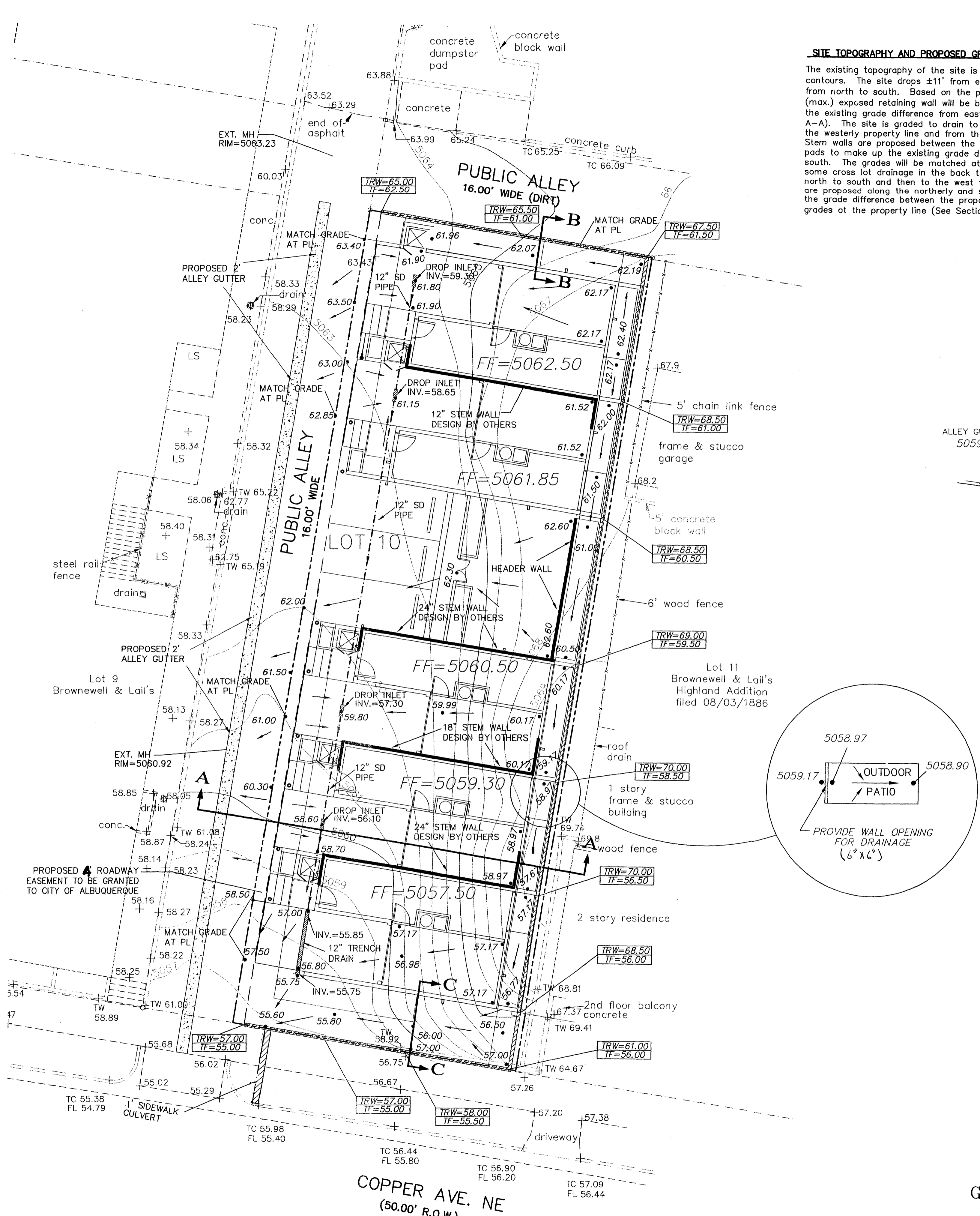
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

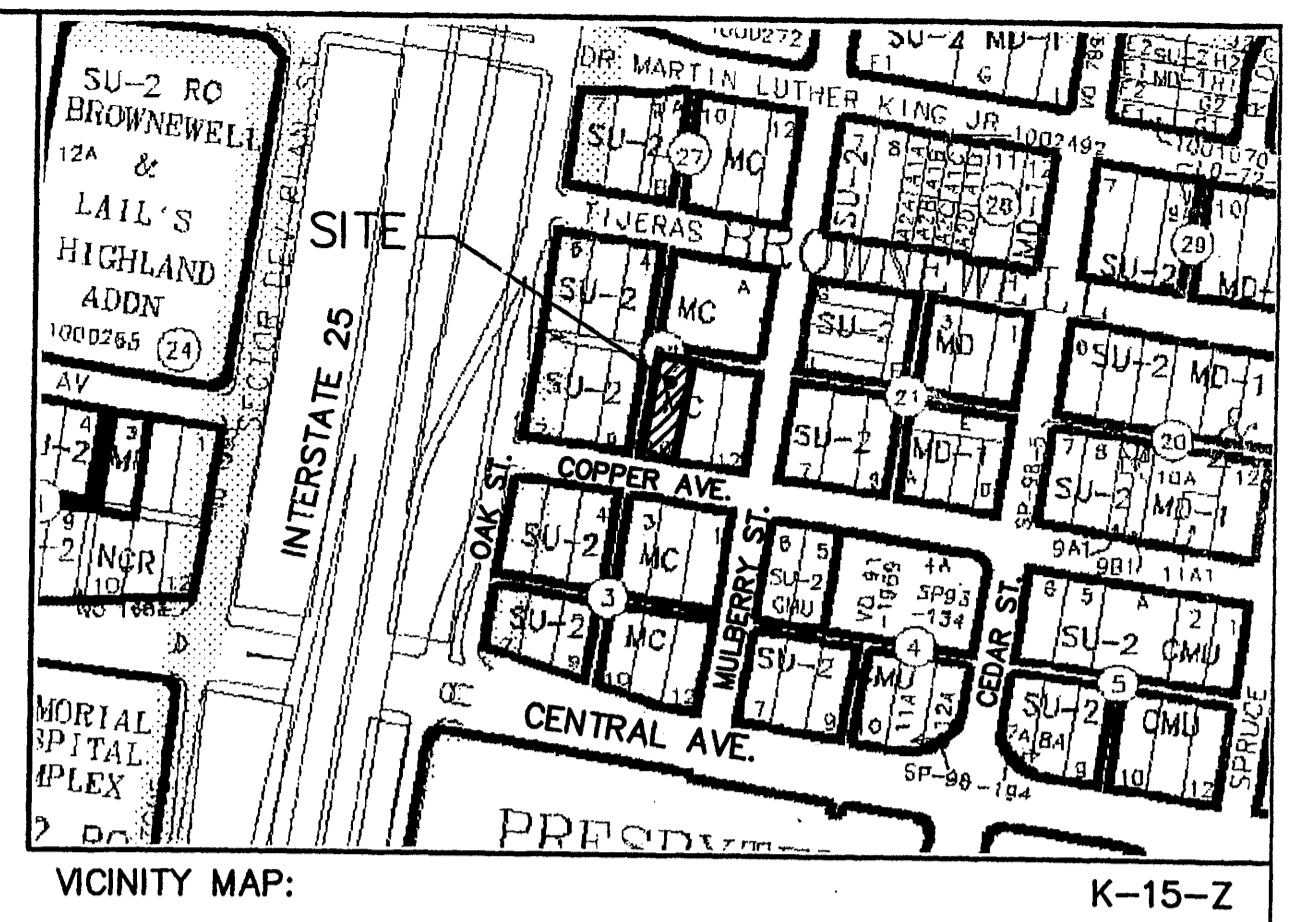
LEGEND

- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING 8" SAS
- EXISTING 16" WL
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- 5100 EXISTING CONTOUR (MAJOR)
- 5102 EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- LIMITS OF TOP OF EXISTING SLOPE
- PROPOSED SIDEWALK
- TC 70.90 / FL 70.40 PROPOSED GRADE
- 60.28 PROPOSED SPOT ELEVATION
- + 58.24 EXISTING GRADE
- EXISTING POWER POLE
- EXISTING FENCE
- EXISTING WALL
- PROPOSED RETAINING WALL
- PROPOSED EXTENDED STEM WALL
- TRW=38.00 / TF=32.00 TOP OF RETAINING WALL / TOP OF FOOTING
- 12"x12" TRENCH DRAIN OR DROP INLET



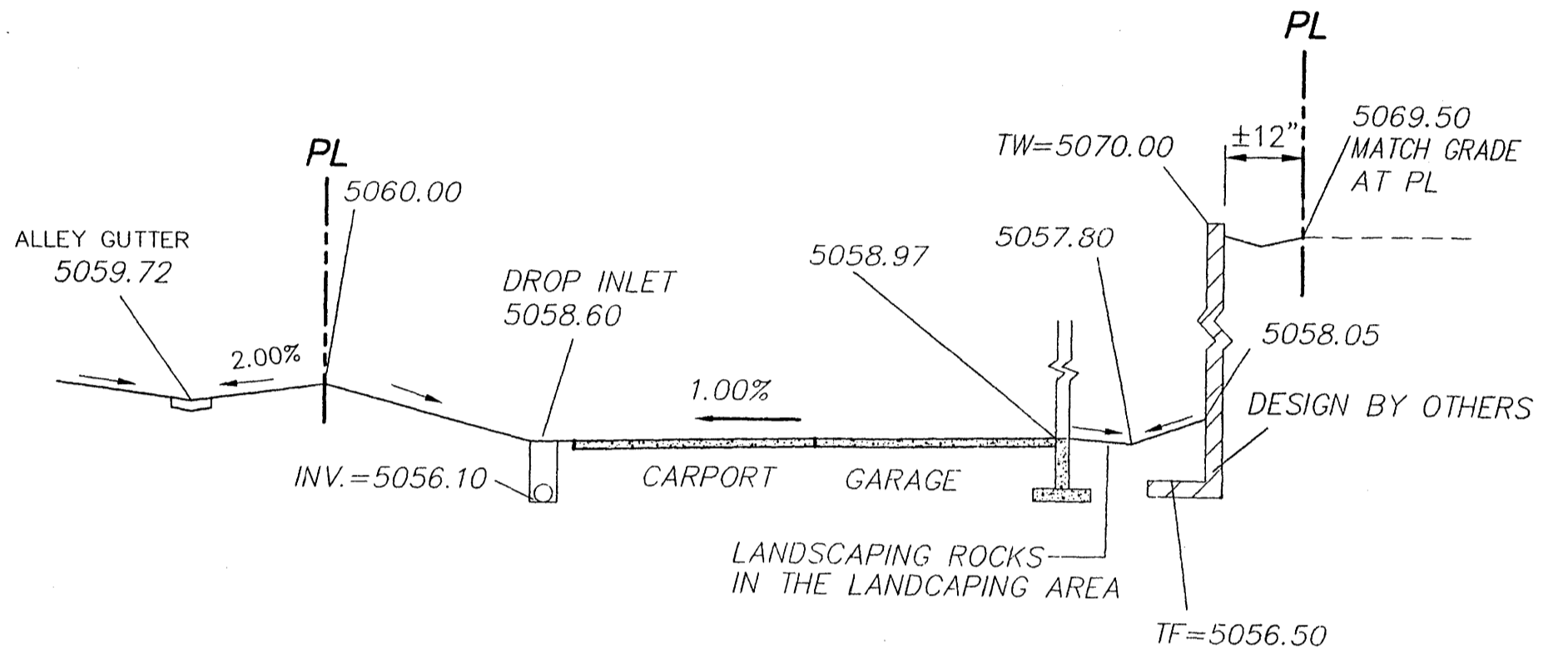
SITE TOPOGRAPHY AND PROPOSED GRADING IMPROVEMENTS:

The existing topography of the site is drawn based on one foot contours. The site drops ±11' from east to west and ± 8' from north to south. Based on the proposed grades a ±10' (max.) exposed retaining wall will be built in order to make up the existing grade difference from east to west (See Section A-A). The site is graded to drain to the existing alley along the westerly property line and from there to Copper Ave. Stem walls are proposed between the building to step up the pads to make up the existing grade difference from north to south. The grades will be matched at the alley. There will be some cross lot drainage in the back to drain the runoff from north to south and then to the west to Alley. Retaining walls are proposed along the northerly and southerly property line for the grade difference between the proposed grades and existing grades at the property line (See Sections B-B and C-C).

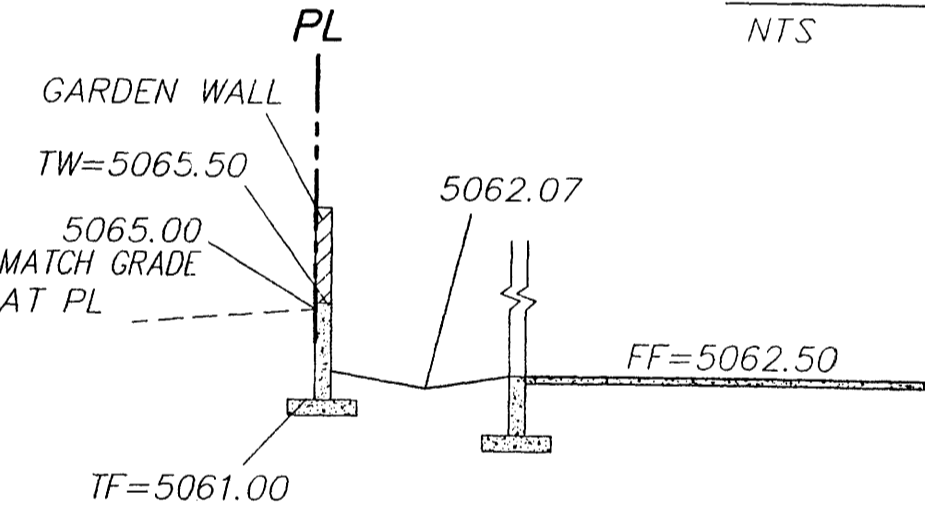


LEGAL DESCRIPTION:

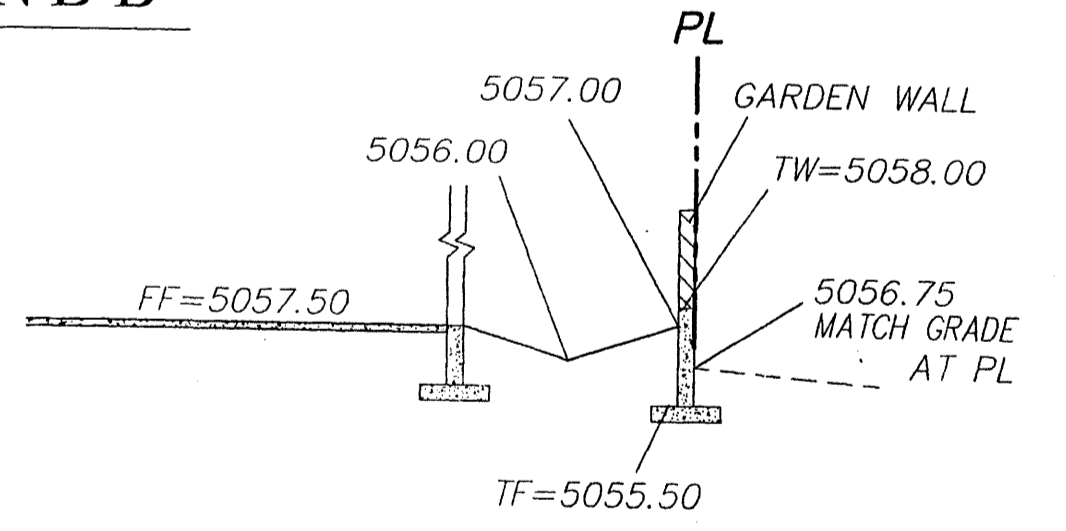
LOT 10, BLOCK 22, BROWNWELL AND LAIL'S HIGHLAND ADDITION ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. CONTAINING 7,100 SQUARE FEET (0.16299 ACRES) MORE OR LESS.



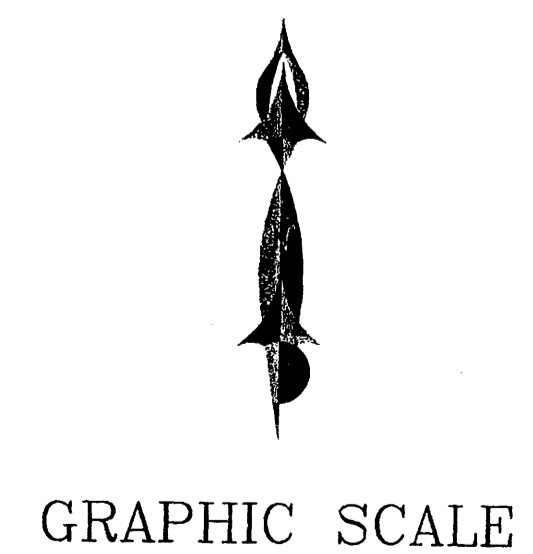
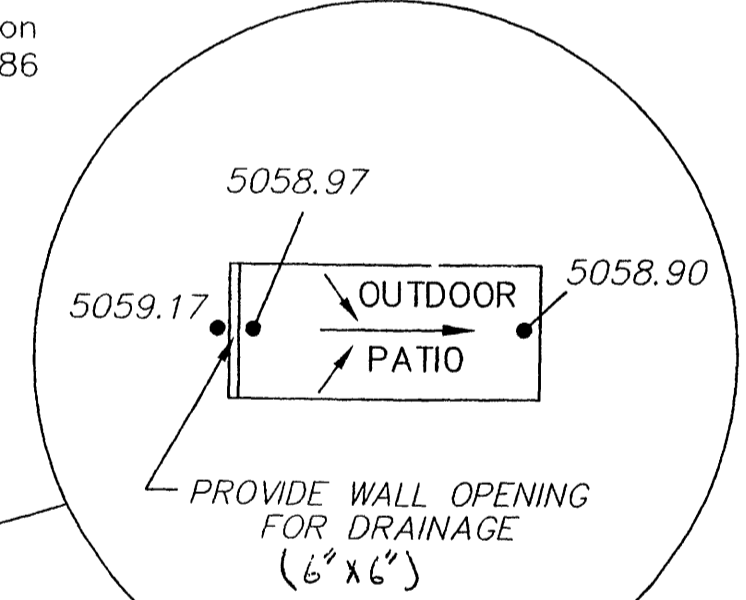
SECTION A-A



SECTION B-B



SECTION C-C



ADVANCED ENGINEERING and CONSULTING, LLC

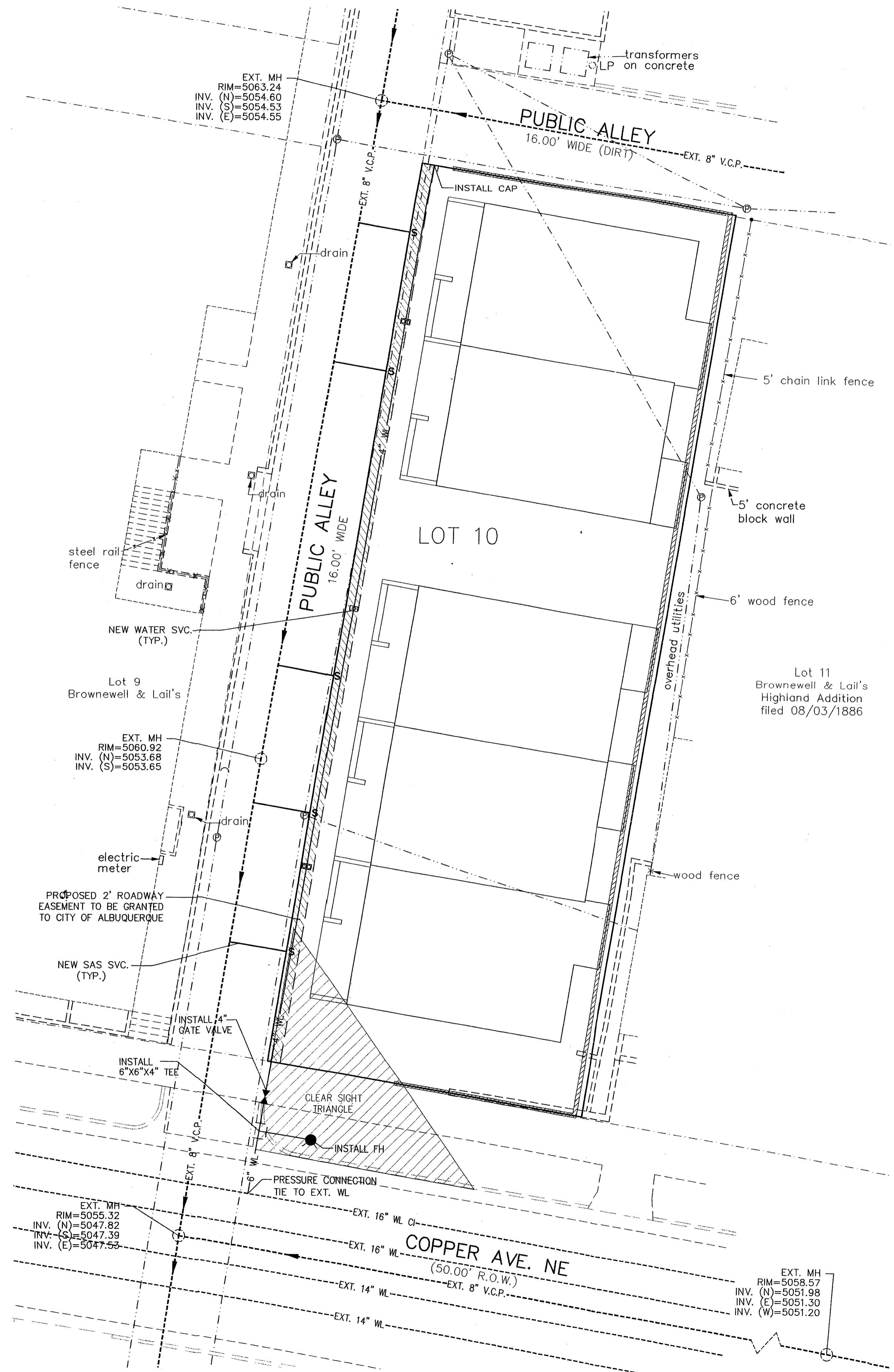
SHAHAB BIAZAR
P.E. #13479

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

OAK STREET CONDOMINIUMS GRADING AND DRAINAGE PLAN			
DRAWING: 200444-GR.DWG	DRAWN BY: SHH	DATE: 10-05-2004	SHEET # 3 OF 5

ROUGH GRADING APPROVAL _____ DATE _____

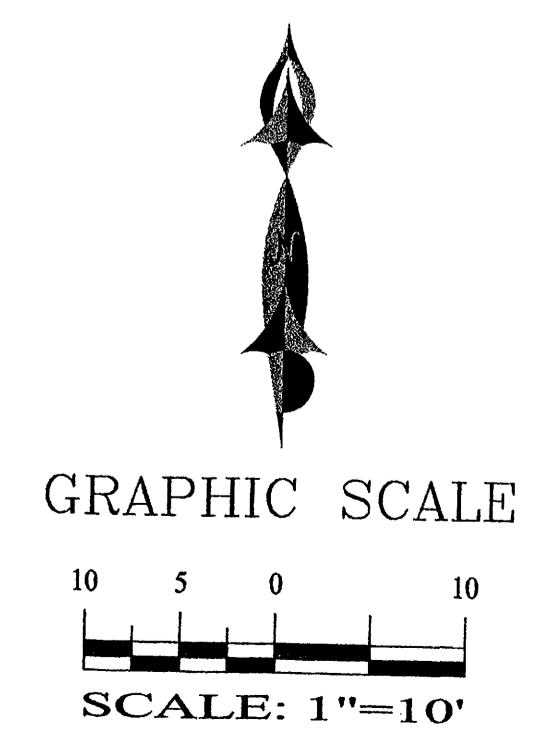
LAST REVISION: 11-30-2004



LEGEND

	EXISTING SAS MANHOLE
	EXISTING SD MANHOLE
	EXISTING GATE VALVE
	EXT. 54" SD
	EXT. 8" SAS
	EXT. 16" WL
	8" SAS
	10" WL
	18" SD
	CLEAN OUT
	NEW WATER SERVICE
	NEW SAS SERVICE
	NEW SAS MANHOLE
	STORM SEWER MANHOLE
	SINGLE SERVICE METER
	DOUBLE SERVICE METER
	NEW GATE VALVE
	NEW FIRE HYDRANT
	TEE
	BEND
	CAP (WL)
	NEW CATCH BASIN
	EXISTING POWER POLE
	EXISTING POWER LINE

LEGAL DESCRIPTION:
 LOT 10, BLOCK 22, BROWNELL AND LAIL'S ADDITION
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
 CONTAINING 38,552.25 SQUARE FEET (0.8850 ACRES)
 MORE OR LESS.



**ADVANCED
ENGINEERING
and CONSULTING, LLC**

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
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OAK STREET CONDOMINIUMS MASTER UTILITY PLAN			
DRAWING: 200444-MU.DWG	DRAWN BY: SHH	DATE: 10-05-04	SHEET # 4 OF 5

LAST REVISION: 10-19-04