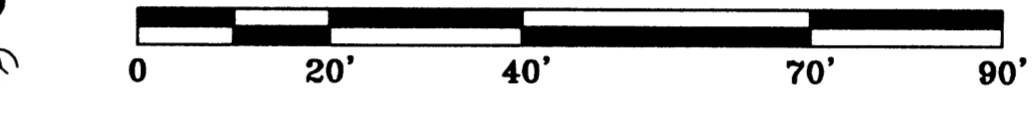
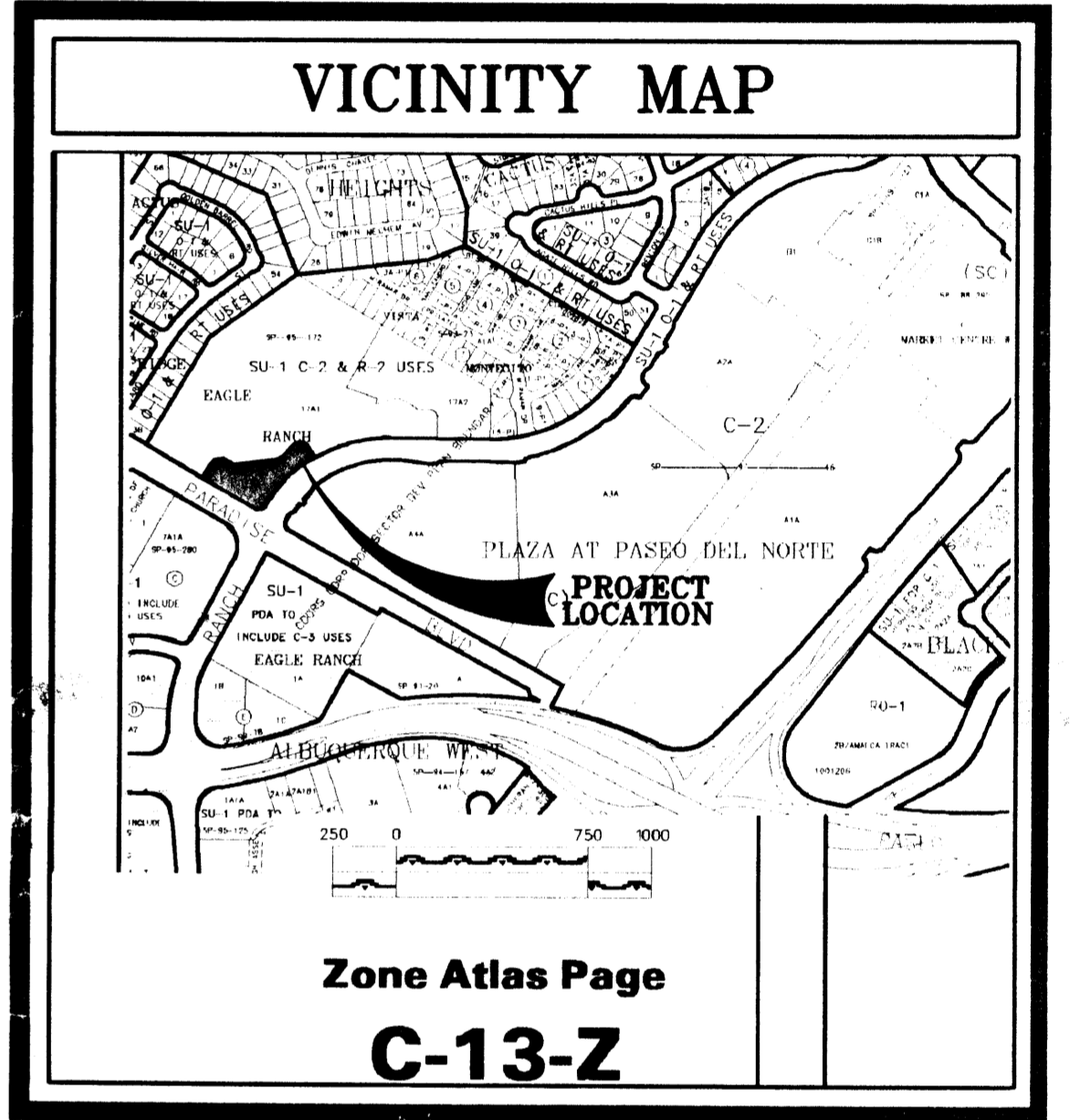


SIGNATURE BLOCK	
PROJECT NUMBER: 1003763	
APPLICATION CASE NUMBER: 04EPC 01715	0508-01050
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED MARCH 18, 2005 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.	
IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC-RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS	
DRS SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:	
<i>[Signature]</i>	6-29-05
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE
<i>[Signature]</i>	6-29-05
WATER UTILITY DEVELOPMENT	DATE
<i>[Signature]</i>	6/29/05
PARKS & RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	6/29/05
CITY ENGINEER, ENGINEERING DIVISION / AMAFCA	DATE
<i>[Signature]</i>	6-20-05
ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE
<i>[Signature]</i>	6-20-05
SOLID WASTE MANAGEMENT	DATE
<i>[Signature]</i>	7/14/05
DRS CHAIRPERSON, PLANNING DEPARTMENT	DATE

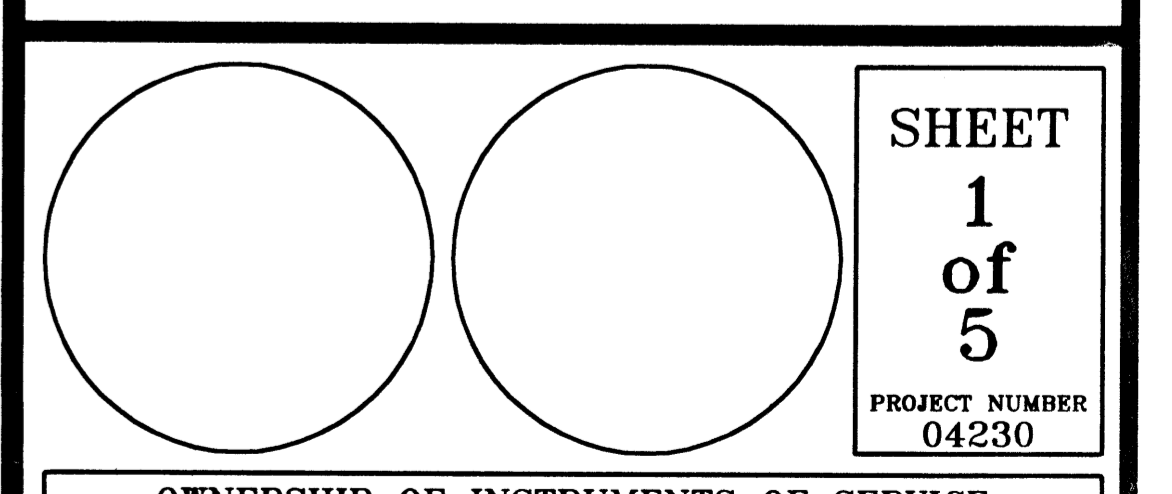


**PROJECT INFORMATION**

PROJECT: AMERI-CONTRACTORS, LLC  
 NEW OFFICE RETAIL COMPLEX  
 LOCATION: 4601 PARADISE BOULEVARD, N.W. ALBUQUERQUE, NEW MEXICO  
 OWNER: AMERI-CONTRACTORS, LLC  
 P.O. BOX 86883 ALBUQUERQUE, NEW MEXICO  
 ARCHITECT: CLAUDIO VIGIL ARCHITECTS  
 1601 RIO GRANDE BOULEVARD, N.W. ALBUQUERQUE, NEW MEXICO  
 LEGAL DESCRIPTION: TRACT 17-A-3, EAGLE RANCH SUB.  
 ZONING ATLAS MAP: C-13-Z  
 CURRENT ZONING CLASSIFICATION: SU-1 FOR C-2 AND R-2 USES  
 PROPOSED ZONING CLASSIFICATION: SU-1 FOR C-2 AND R-2 USES, SAME ZONING  
 BUILDING FUNCTION: NEW OFFICE RETAIL COMPLEX. SEE THIS SHEET FOR PERMITTED AND NON-PERMITTED USES.  
 CONSTRUCTION TYPE: TYPE V-B CONSTRUCTION WITH 100% AUTOMATIC FIRE SPRINKLER SYSTEM THROUGH OUT.  
 ALLOWABLE AREA: TYPE V-B CONSTRUCTION & GROUP B OR M OCCUPANCY = 9,000 SF. INCREASE FOR TOW STORY BUILDING = x2 18,000 SF. TOTAL = 18,000 SQUARE FEET  
 TOTAL BUILDING AREA: FIRST FLOOR = 8,121 SQUARE FEET SECOND FLOOR = 3,334 SQUARE FEET TOTAL BUILDING AREA = 11,455 SQUARE FEET  
 NET LOT AREA: 8,4168 SQUARE FEET, 12438 ACRES  
 TOTAL LOT AREA: 46,044 SQUARE FEET  
 TOTAL PARKING/PAVED AREA: 28,430 SQUARE FEET  
 TOTAL LANDSCAPE AREA REQUIRED: 6,907 SQ. FT.  
 TOTAL LANDSCAPE AREA PROVIDED: 6,307 SQUARE FEET, AREA DOES NOT INCLUDE LANDSCAPING WITHIN THE RIGHT OF WAY  
 TOTAL R.O.W. LANDSCAPE AREA: 2236 SQ. FT.  
 PERCENTAGE OF SITE LANDSCAPED: 17.35 PERCENT  
 LANDSCAPE TO PARKING AREA RATIO: 1 TO 2.11  
 PARKING ANALYSIS: 11455 SQUARE FEET / 200 = 5728 PARKING SPACES MINUS 5% FOR BUS ROUTE PER EPC = 5442 PARKING SPACES (94 LAMER COMPUTER BUS ROUTE) TOTAL PARKING SPACES REQUIRED = 55 PARKING SPACES TOTAL PARKING SPACES PROVIDED = 55 PARKING SPACES (INCLUDES 4 ACCESSIBLE PARKING SPACES AND 1 COMPACT CAR SIZED PARKING SPACE)  
 PARKING SPACE SIZES: REGULAR CAR PARKING SPACES = 9'-0" x 18'-0" WITH A 2'-0" OVERHANG AT EACH 10'-0" x 18'-0" WITH A 2'-0" OVERHANG AT EACH COMPACT CAR PARKING SPACES = 10'-0" x 13'-6" WITH A 1'-6" OVERHANG AT EACH ACCESSIBLE PARKING SPACES = 9'-0" x 18'-0" WITH A 2'-0" OVERHANG AT EACH 4 A 9'-0" AISLE BETWEEN 2 4 A 9'-0" AISLE BETWEEN 2

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**  
 NORTH  
 JUNE 6, 2005 SCALE: 1" = 20'-0" (U.N.O.)

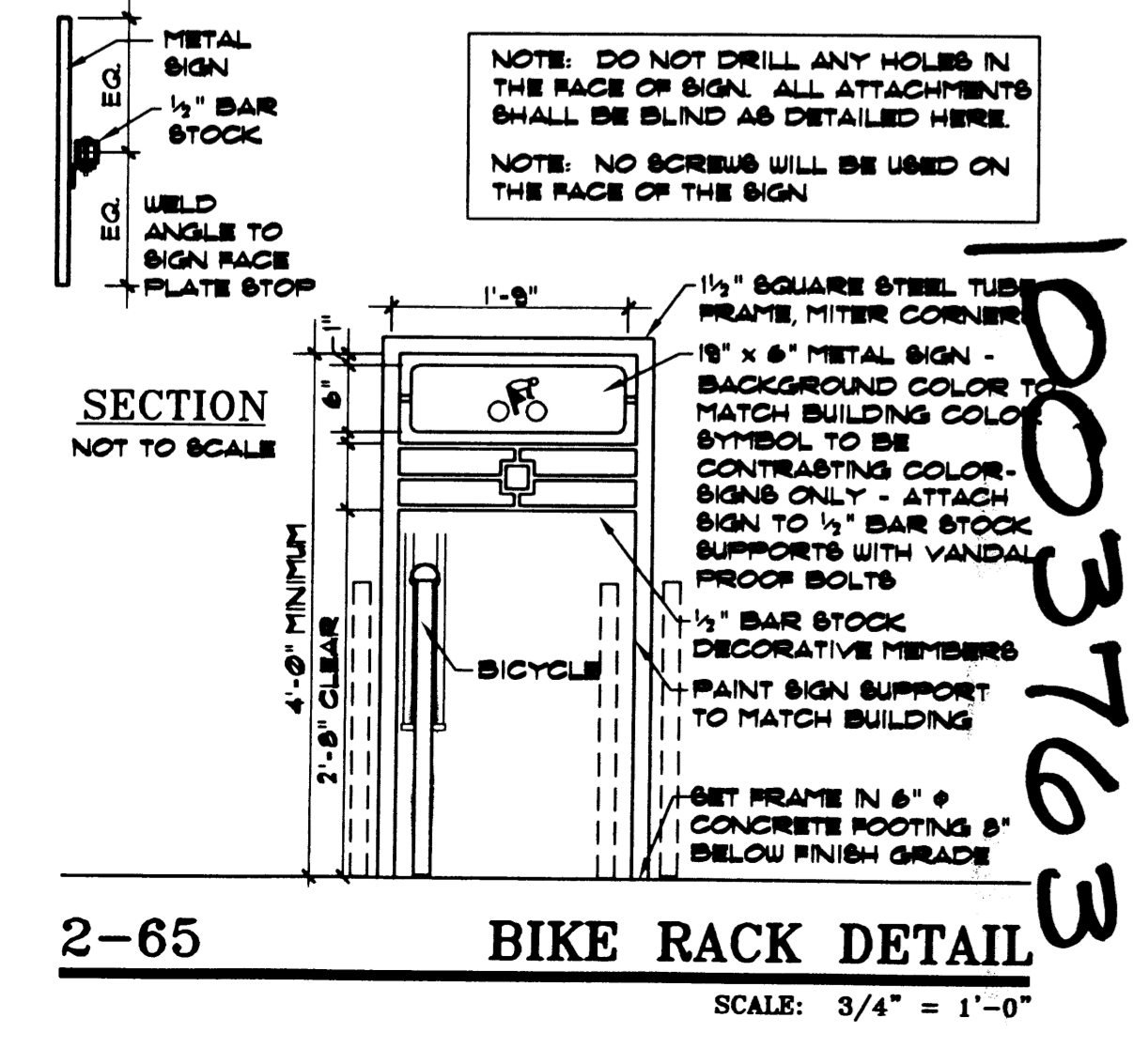
**CLAUDIO VIGIL ARCHITECTS**  
**AMERI-CONTRACTORS, LLC**  
**OFFICE RETAIL COMPLEX**  
 4601 PARADISE BOULEVARD, N.W. ALBUQUERQUE, NEW MEXICO



**OWNERSHIP OF INSTRUMENTS OF SERVICE**  
 All design concepts, details, plans, specifications, computer files, field data, notes and other documents and instruments prepared by Claudio Vigil Architects, P.C. as instruments of service shall remain the property of Claudio Vigil Architects, P.C. Claudio Vigil Architects, P.C. shall retain all common law, statutory and other reserved rights, including the copyright thereto.  
 1801 Rio Grande NW, Albuquerque, NM 87104  
 Phone: 505/842-1113 Fax: 505/842-1330

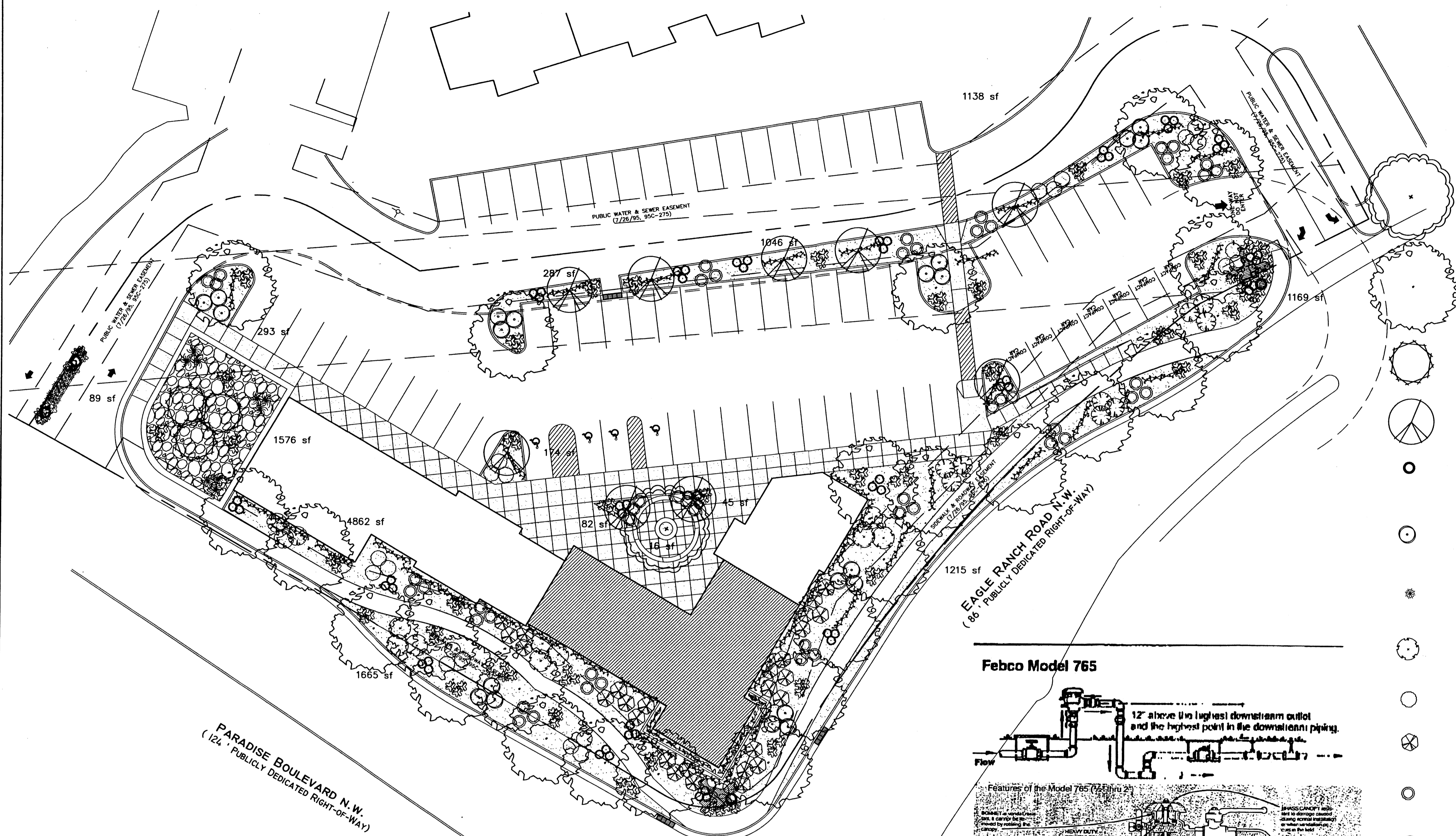
SITE PLAN LEGEND	
	INDICATES EXTENT OF LANDSCAPE AREAS AND SIZE OF EACH AREA. SEE SHEET 2 OF 5 FOR LANDSCAPE PLAN.
	INDICATES EXTENT OF ASPHALTIC CONCRETE PAVING OVER BASE COURSE.
	INDICATES EXTENT OF CONCRETE PAVING AND CONCRETE SIDEWALKS. CONTROL JOINTS AS SHOWN.
	PROPERTY LINE.
	BASMENT BOUNDARIES.
	STORM DRAIN.
	WATER LINE.
	SEWER LINE.
	EXISTING MANHOLE.

**PERMITTED USES**  
 PERMITTED USES:  
 COMMERCIAL AND OFFICE PURPOSES AS PERMITTED BY THE ZONING REGULATIONS. BEER AND WINE SALES FOR ON SITE CONSUMPTION BY A RESTAURANT, WHICH ARE INCIDENTAL TO FOOD SALES AND WHICH DO NOT EXCEED 35% OF SUCH RESTAURANT'S GROSS SALES REVENUE.  
 NON-PERMITTED USES:  
 NO BUSINESS OPERATION PRIMARILY USED AS A STORAGE WAREHOUSE OPERATION AND ANY ASSEMBLING, MANUFACTURING, DISTILLING, REFINING, SMELTING, AGRICULTURAL OR MINING OPERATION; MOBILE HOME PARK, TRAILER COURT, LABOR CAMP, JUNKYARD, STOCKYARD, MORTUARY, ADULT BOOKSTORE AND/OR ANY ESTABLISHMENT WHOSE PRINCIPAL BUSINESS IS SELLING OR EXHIBITING MATERIAL CONTAINING SEXUALLY EXPLICIT MATTER, BINGO HALL OR GAMING ESTABLISHMENT OR ANY NIGHT CLUB. NO ESTABLISHMENT THAT SERVES ALCOHOLIC BEVERAGES OR PACKAGE LIQUOR SALES. NO ANTENNA SHALL BE ERRECTED. NO COMMERCIAL AND/OR OFFICE USE THAT CUMULATIVELY REQUIRED MORE THAN THIRTY (30) PARKING SPACES FOR EMPLOYEES WITHOUT CONSENT OF WEST PARK, LP.



PROJECT 1003763

2-65 BIKE RACK DETAIL SCALE: 3/4" = 1'-0"



**PLANT LEGEND**

**TREES**

CHINESE PISTACHE (M)  
OR RIVER BIRCH (M) 1  
Pistachio chinensis  
Betula nigra  
2" Gal.

HONEY LOCUST (M) 25  
Gleditsia triacanthos  
2" Gal.

NEW MEXICO OLIVE (L) 3  
Forestiera neomexicana  
15 Gal.

FLOWERING PEAR (M+) 9  
Pyrus calleryana  
2" Gal.

MUGO PINE (M) 4  
Pinus mugo  
5 Gal.

**SHRUBS**

RUSSIAN SAGE (M) 21  
Perovskia atriplicifolia  
5 Gal. 36sf

REGAL MIST (M) 10  
Muhlenbergia capillaris  
5 Gal. 9sf

BUTTERFLY BUSH (M) 9  
Buddleia davidii  
5 Gal. 100sf

APACHE PLUME (L) 24  
Fallugia paradoxa  
5 Gal. 25sf

RED TIP PHOTINIA (M+) 27  
Photinia fraseri  
5 Gal. 64sf

ARP ROSEMARY (M) 51  
Rosmarinus officinalis  
2 Gal. 9sf

CHAMISA (L) 12  
Chrysothamnus nauseosus  
1 Gal. 25sf

LAVENDER (M) 60  
Lavandula angustifolia  
1 Gal. 9sf

POTENTILLA (M) 6  
Potentilla fruticosa  
2 Gal.

**GRASSES**

THREADGRASS (M) 135  
Stipa tenuissima  
1 Gal. 4sf

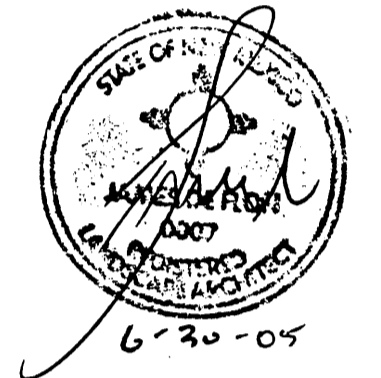
MAIDENGRASS (M) 9  
Miscanthus sinensis  
5 Gal. 16sf

**VINES**

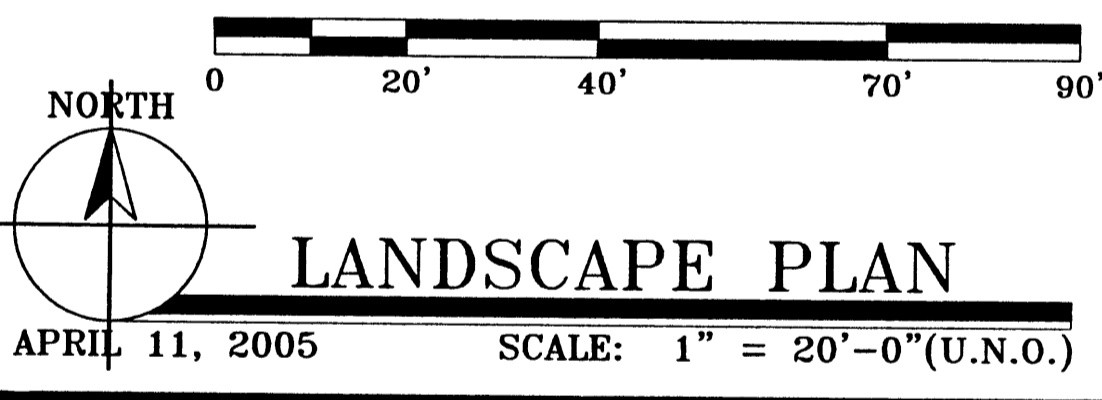
HONEYSUCKLE (M) 38  
Lonicera sempervirens  
1 Gal. 144sf  
Staked

OVERSIZED GRAVEL  
& 8 BOULDERS

SANTA ANA TAN GRAVEL  
WITH FILTER FABRIC



**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cjohnson@hilltoplandscaping.com



**LANDSCAPE PLAN**

APRIL 11, 2005 SCALE: 1" = 20'-0" (U.N.O.)

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	54165	square feet
TOTAL BUILDINGS AREA	8120	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	46045	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	6907	square feet
TOTAL BED PROVIDED	12081	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	9061	square feet
TOTAL GROUND COVER PROVIDED	11553	square feet
TOTAL PONDING AREA	1576	square feet
TOTAL LANDSCAPE PROVIDED	13657	square feet

**STREET TREE REQUIREMENTS**

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street	Paradise Blvd.
Required #	9
Provided #	9
Name of Street	Eagle Ranch Road
Required #	10
Provided #	10

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Ana Tan Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

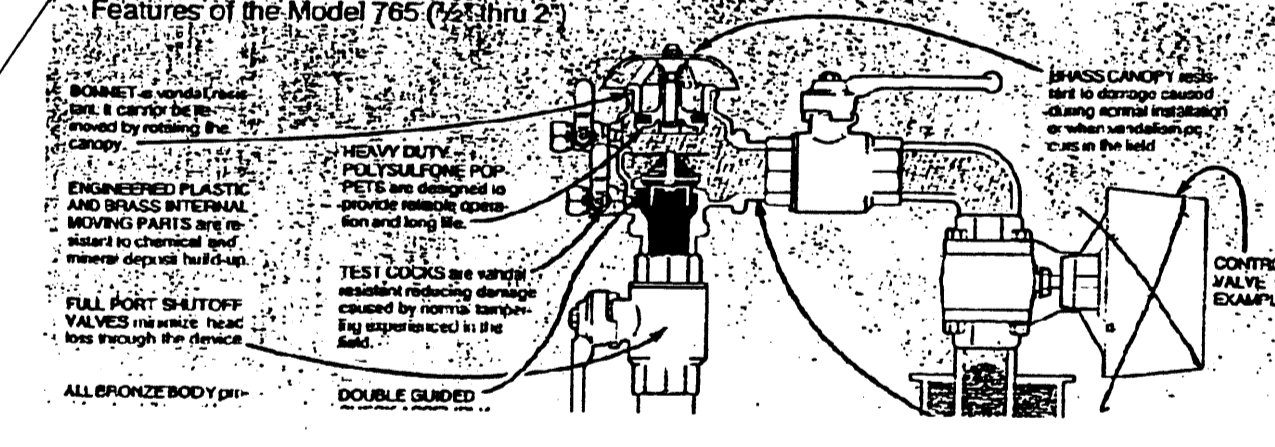
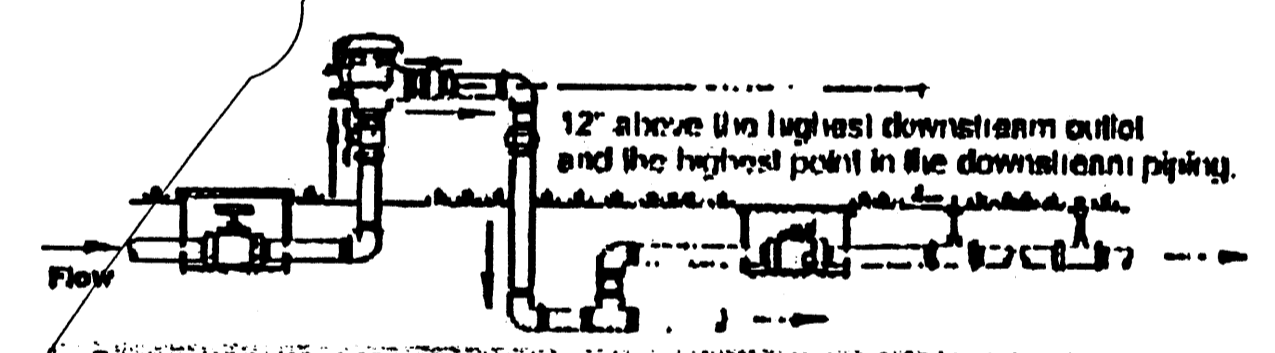
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

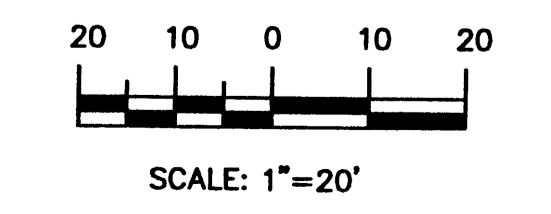
Water and Power source shall be the responsibility of the Developer/Builder.

**Febco Model 765**



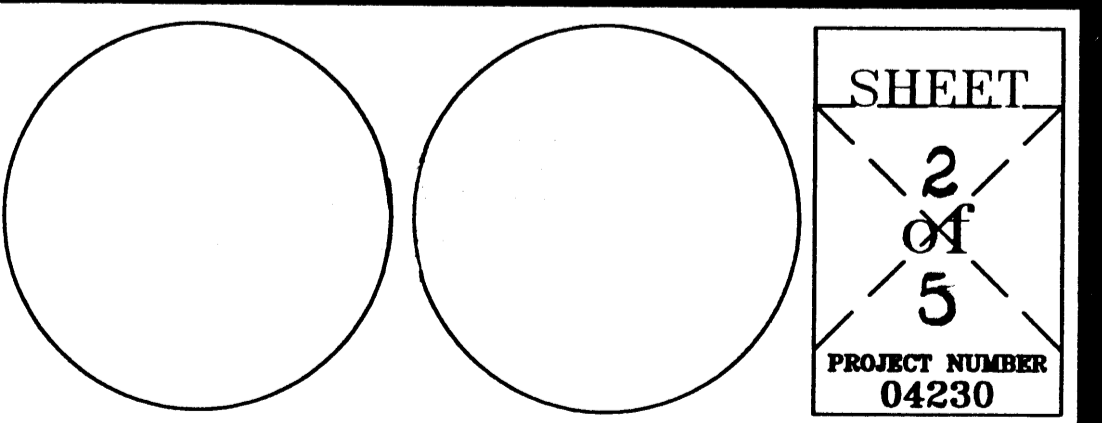
**BACKFLOW PREVENTOR DETAIL**  
no scale

**GRAPHIC SCALE**



**CLAUDIO VIGIL ARCHITECTS**

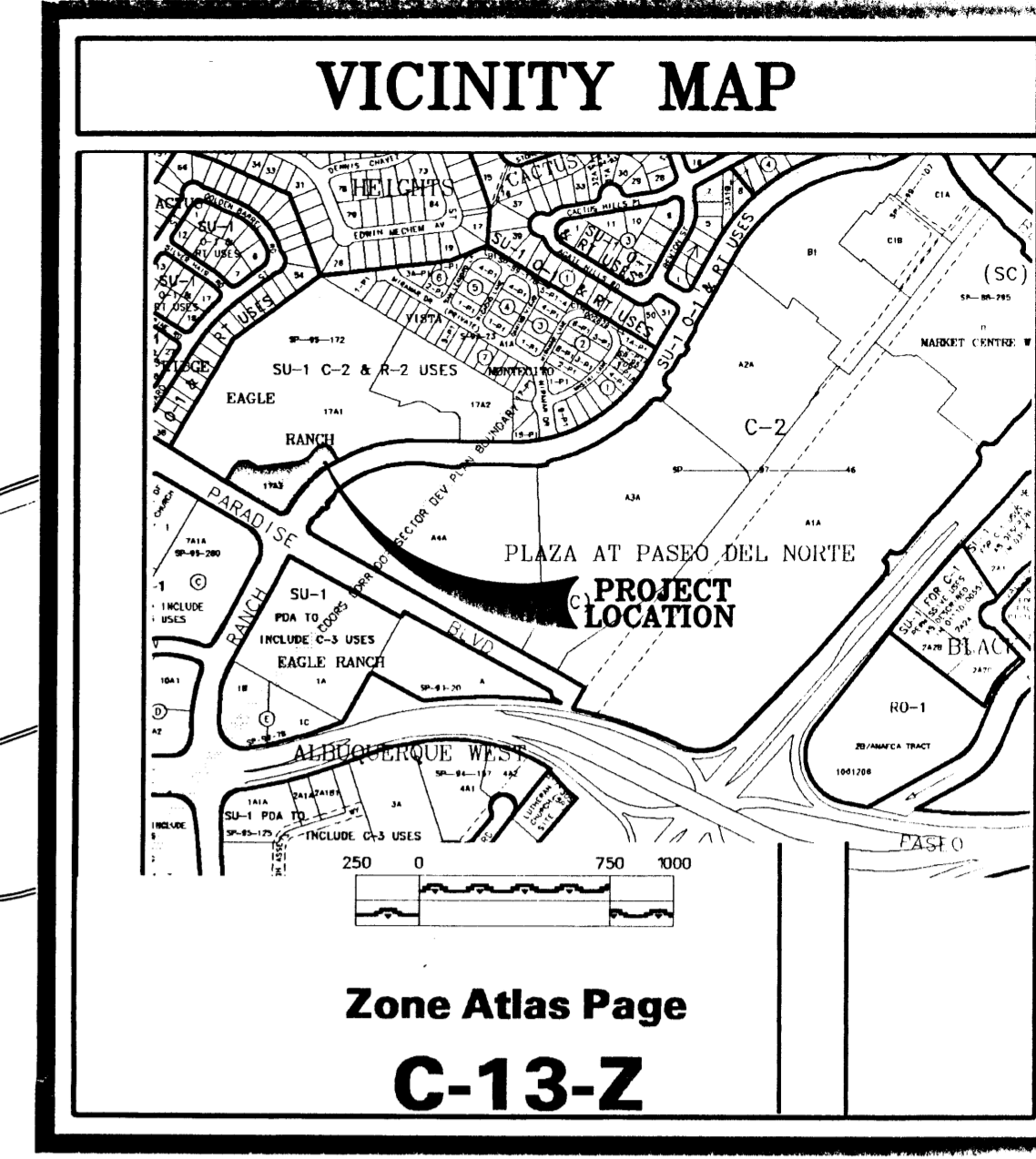
**AMERI-CONTRACTORS, LLC**  
**OFFICE RETAIL COMPLEX**  
4601 PARADISE BOULEVARD, N.W.  
ALBUQUERQUE, NEW MEXICO



**SHEET**  
2  
of  
5  
PROJECT NUMBER  
04230

**OWNERSHIP OF INSTRUMENTS OF SERVICE**  
All design concepts, details, plans, specifications, computer files, field data, notes and other documents and instruments prepared by Claudio Vigil Architects, P.C. as instruments of service shall remain the property of Claudio Vigil Architects, P.C. Claudio Vigil Architects, P.C. shall retain all common law, statutory and other reserved rights, including the copyright thereto.

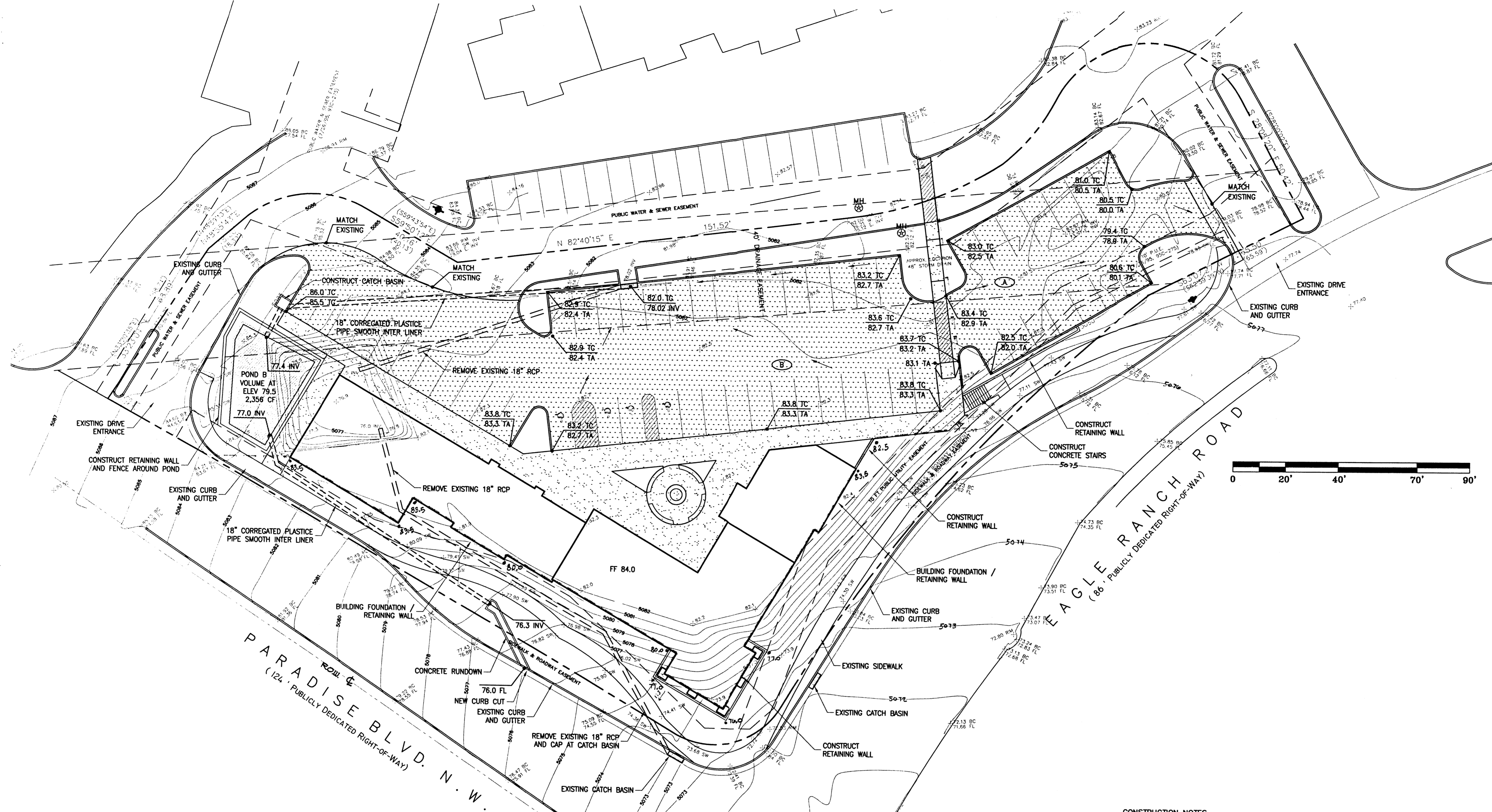
1801 Rio Grande NW, Albuquerque, NM 87104  
Phone: 505/842-1113 Fax: 505/842-1330



ADDRESS:  
4601 PARADISE BLVD., N.W.

BENCH MARK:  
THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK 2-C12, LOCATED AT THE NNW QUADRANT OF PARADISE HILLS BOULEVARD N.W. AND DAVENPORT STREET N.W. ELEVATION = 5178.55 FT.

**PRELIMINARY DRAINAGE PLAN**  
MAY 9, 2005 SCALE: 1" = 20'-0" (U.N.O.)



**GRADING AND DRAINAGE PLAN**

**DRAINAGE PLAN**

THE FOLLOWING ITEMS CONCERNING THE PARCEL TRACT 17-A-3 EAGLE RANCH ADDITION GRADING AND DRAINAGE PLAN ARE CONTAINED HEREON:

- VICINITY MAP
- PRELIMINARY GRADING PLAN
- DRAINAGE CALCULATIONS

THE PROPOSED IMPROVEMENTS, AS SHOWN BY THE VICINITY MAP, ARE LOCATED ON THE NORTH SIDE OF PARADISE BLVD. AT THE INTERSECTION OF PARADISE BLVD. AND EAGLE RANCH ROAD. THE SITE IS UNDEVELOPED. THE LANDS SLOPE TO THE EXISTING DETENTION POND LOCATED ON THE WEST END OF THE SITE. ACCORDING TO FIRM MAP 35001C0116D THE SITE DOES NOT LIE WITHIN THE FLOOD HAZARD ZONE.

THE SITE FALLS WITHIN BASINS 3 AND 4 OF THE WEST PARK APARTMENT MASTER DRAINAGE PLAN (DRAINAGE FILE C13-D003). THE MASTER PLAN ESTABLISHED A DISCHARGE RATE OF 14.2 CSF TO THE STROM SEWER IN PARADISE ROAD. THE SITE WILL REQUIRE DETENTION PONDS TO CONTROL THE RUNOFF.

THE GRADING PLAN SHOWS:

- THE EXISTING GRADES, INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS.
- THE PROPOSED GRADING BY SPOT ELEVATIONS
- THE LIMIT AND CHARACTER OF EXISTING IMPROVEMENTS, AND
- THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS.

THE PROPOSED IMPROVEMENTS CONSIST OF A RETAIL FACILITY WITH ASSOCIATED PARKING AND LANDSCAPING.

THIS SITE IS HIGHER THAN PARADISE BLVD. TO THE SOUTH AND EAGLE RANCH ROAD TO THE EAST. THE LANDS NORTH ARE DEVELOPED WITH A PORTION OF THE RUNOFF DIRECTED TO THE EXISTING DETENTION POND. THE OFF SITE FLOWS FROM THE NORTH ARE COLLECTED AT THE EXISTING CATCH BASIN LOCATED ON THE SOUTH SIDE OF THE EXISTING DRIVE LANE ALONG THE NORTH PROPERTY LINE. THE FLOWS ARE THEN ROUTED TO THE EXISTING DETENTION POND THROUGH AN EXISTING 18" RCP. THE FLOWS FROM THE DETENTION POND ARE RELEASED TO THE EXISTING CATCH BASIN IN PARADISE BLVD. THROUGH AN 18" RCP.

THE PROPOSED DRAINAGE PLAN WILL ACCEPT THE OFF SITE FLOWS FROM THE DEVELOPMENT TO THE NORTH, ROUTING THEM TO A NEW DETENTION POND LOCATED TO THE WEST OF THE EXISTING POND. THE EXISTING 18" RCP PIPE FROM THE EXISTING CATCH BASIN WILL BE REMOVED AND A NEW 18" CORRUGATED PE INSTALLED TO ROUTE THE FLOWS TO THE NEW POND.

THE EXISTING DISCHARGE PIPE FROM THE EXISTING POND WILL ALSO BE REMOVED AND CAPPED. A NEW DRAIN PIPE WILL BE INSTALLED WHICH DISCHARGES TO PARADISE BLVD. THROUGH A CONCRETE RUNDOWN.

THE SITE HAS BEEN DIVIDED INTO TWO SUBBASINS: BASIN A (35% OF THE TOTAL SITE) AND BASIN B (65% OF THE TOTAL SITE)

RUNOFF SUBBASIN A, BASIN 3 OF THE WEST PARK APARTMENTS MASTER PLAN DISCHARGES TO THE EAGLE RANCH ROAD AT A RATE OF 1.5 CSF.

BASIN B IS PART OF BASIN 4 OF THE WEST PARK APARTMENTS MASTER DRAINAGE PLAN. THE RUNOFF FROM SUBBASIN A ALONG WITH THE OFFICE SITE FLOWS FOR BASIN A, FLOW TO THE DETENTION POND B LOCATED AT WEST CORNER OF THE SITE. THE POND DISCHARGED TO PARADISE BLVD. AT A RATE OF 12.3 CSF.

THE COMBINED RATE OF DISCHARGE FROM BASIN A AND THE DETENTION POND IN BASIN B IS 13.8 CSF WHICH IS LESS THAN THE 14.6 CSF ALLOWED.

THE CALCULATIONS ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE 6-HOUR, 100 YEAR RAINFALL EVENT. THE ANALYSIS IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL VOLUME II. AS SHOWN BY THESE CALCULATIONS, THE RATE AND VOLUME OF RUNOFF WILL INCREASE BUT THE POND(S) WILL MITIGATE THE INCREASE. THIS PLAN IS IN CONFORMANCE WITH THE MASTER DRAINAGE PLAN.

**CALCULATIONS**  
PRECIPITATION ZONE = 1  
TOTAL SITE AREA = 1.24 ACRES

**BASIN A (TO EAGLE RANCH ROAD)**  
AREA = 0.436 ACRES (35%)  
EXISTING CONDITIONS  
LAND TREATMENT C=71% D=29%  
E = 0.99(0.71)+1.97(0.29) = 1.27 INCHES  
V = 1.35 (0.436) / 12 = 0.046 ACRE FEET  
Q = [2.03 (0.48) + 4.37 (0.52)] (0.436) = 1.42 CFS  
INCREASE IN VOLUME OF RUNOFF = 0.003 ACRE FT  
DECREASE IN RATE OF RUNOFF = 0.02 CFS

**BASIN B (TO POND B)**  
AREA = 0.807 ACRES (65%)  
EXISTING CONDITIONS  
LAND TREATMENT C=82% D=18%  
E = 0.99(0.82)+1.97(0.18) = 1.17 INCHES  
V = 1.17 (0.807) / 12 = 0.078 ACRE FEET  
Q = [2.87 (0.82)+4.37(0.18)] (0.807) = 2.53 CFS  
DEVELOPED CONDITIONS  
LAND TREATMENT B=48% D=52%  
E = 0.76(0.48)+1.97(0.52) = 1.35 INCHES  
V = 1.84 (0.807) / 12 = 0.124 ACRE FEET  
Q = [2.03 (0.10) + 4.37 (0.90)] (0.807) = 3.34 CFS  
INCREASE IN VOLUME OF RUNOFF = 0.046 ACRE FT  
INCREASE IN RATE OF RUNOFF = 0.81 CFS

OFFICE SITE FLOWS FROM BASIN 4 Q=10.61 CFS  
ALLOWABLE DISCHARGE BASINS 3 AND 4 Q=14.2 CFS  
ALLOWABLE DISCHARGE FROM POND  
14.2 CFS - 1.45 SCF = 12.75 CFS

18" DIA CORRUGATED PE (SMOOTH INT)  
S=0.0065 FT/FT n=0.009  
A=(0.75 FT)(3.14)=1.77 SF  
P=1.5 FT (3.14) = 4.71 FT  
R<sub>H</sub>= A/P = 1.77 SF/4.71 FT = 0.376 FT  
Q =  $\frac{1.49}{n} R_H^{0.87} S^{0.5} A = 12.3$  CFS

**POND VOLUME BASIN B**  
T = 0.2 HR  
T<sub>0</sub> = 2.107 E At/Op - 0.25 Ad/At = 0.712 HR  
T = (0.7 T<sub>0</sub>) + ((1.6-Ad/At)/12) = 0.198 HR  
ALLOWABLE ONSITE DISCHARGE RATE  
Q<sub>ALL</sub> = 12.3 - 10.6 = 1.7 CFS  
V<sub>required</sub> = 2,050 CF

**POND VOLUME POND A**  
VOLUME @ WATER ELEV 5079.5 (BOTTOM AT 5077.0)  
V = [0.5\*(995+890)\*2.5] = 2,356 CF

- LEGEND:**
- 51.0 EXISTING SPOT ELEVATION
  - 51.00 NEW SPOT ELEVATION
  - 51- EXISTING CONTOUR
  - 51- NEW CONTOUR
  - SWALE
  - ✓ VERIFIED ELEVATION
  - 51.0 AS BUILT ELEVATION
  - BASIN BOUNDARY
  - (SB) BASIN IDENTIFICATION
  - PROPERTY LINE
  - FL FLOW LINE
  - GND GROUND
  - INV INVERT
  - TA TOP OF ASPHALT
  - TC TOP OF CURB
  - TG TOP OF GRATE
  - TS TOP OF CONCRETE SLAB
  - TW TOP OF WALL
  - TBM TEMPORARY BENCH MARK
  - GRAVEL
  - ASPHALT PAVING
  - CONCRETE

- CONSTRUCTION NOTES**
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL FOR LOCATION OF EXISTING UTILITIES.
  - ALL WORK WITHIN THE CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, LAWS, AND RULES CONCERNING SAFETY AND HEALTH.
  - PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS AND INFORM THE ARCHITECT/ ENGINEER OF ANY DISCREPANCY BETWEEN THE INFORMATION SHOWN ON THE PLANS AND THOSE OF THE EXISTING SITE.
  - THE CONTRACTOR SHALL PROVIDE THE ARCHITECT / ENGINEER WITH AN AS BUILT SURVEY FOR ENGINEER'S CERTIFICATION.
  - THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE EXISTING AND NEW ELEVATIONS (FINISH FLOORS, TOPS OF CURBS AND ASPHALT, FLOW LINE, PIPE INVERTS, ETC.) ON THE RECORD SET. THE RECORD SET SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ARCHITECT AT ANY TIME DURING CONSTRUCTION. UPON COMPLETION OF THE PROJECT, THE RECORD SET SHALL BE TURNED OVER TO THE OWNER.
  - THE OWNER / CONTRACTOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO BEGINNING OF CONSTRUCTION.
  - CONTRACTOR SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SPECIFIC TO THIS PROJECT.
  - ALL POND BOTTOMS SHALL RECEIVE GRAVEL AND FILTER FABRIC SEE LANDSCAPE PLAN.
- FACILITY ACCESSIBILITY**  
ALL SURFACES ALONG THE ACCESSIBLE ROUTE SHALL COMPLY WITH ANSI A117-1998.
- WALKING SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 WITH A CROSS SLOPE NOT STEEPER THAN 1:48.
- CURB RAMP AND RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12 WITH A CROSS SLOPE NOT STEEPER THAN 1:48. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP OR ACCESSIBLE ROUTE SHALL NOT BE STEEPER THAN 1:20. TRANSITIONS FROM RAMP TO WALKS, GUTTERS OR STREETS SHALL BE AT THE SAME LEVEL. WHERE PEDESTRIANS MUST WALK ACROSS A CURB RAMP, THE RAMP SHALL HAVE FLARED SIDES WITH SLOPES NOT STEEPER THAN 1:10. WHERE THE TOP OF THE RAMP PARALLEL TO THE RUN OF THE RAMP IS LESS THAN 48 INCHES WIDE, THE FLARED SIDES SHALL HAVE A SLOPE NOT STEEPER THAN 1:12.
- HANDICAP PARKING SPACES AND ACCESS AISLES SHALL HAVE SURFACE SLOPES NOT STEEPER THAN 1:48. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE.
- TRAFFIC CONTROL**  
THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS AND DEVICES. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. PRIOR TO CONSTRUCTION PRIOR TO CONSTRUCTION, THE TRAFFIC CONTROL PLAN SHALL BE SUBMITTED AND APPROVED BY THE GOVERNING AUTHORITY.

**CLAUDIO VIGIL ARCHITECTS**

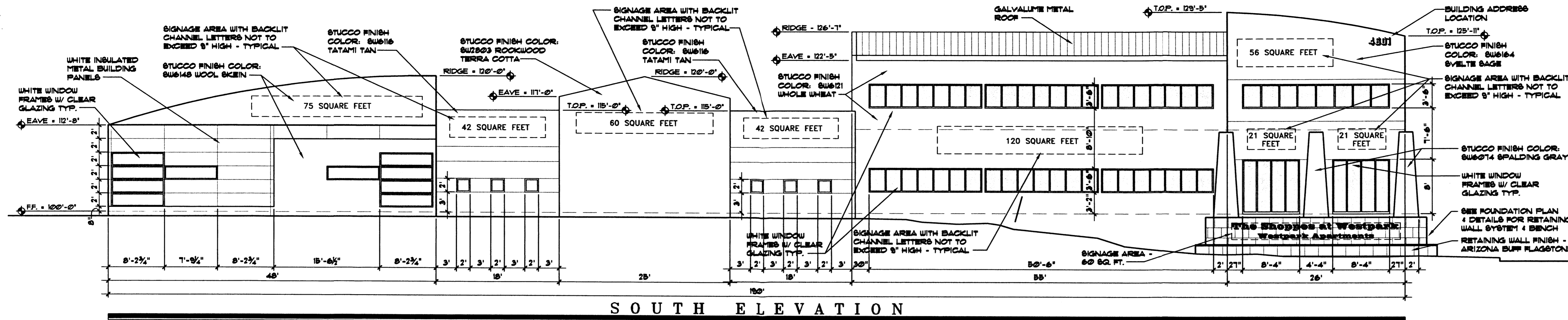
**AMERI-CONTRACTORS, LLC**  
**OFFICE RETAIL COMPLEX**  
4601 PARADISE BOULEVARD, N.W.  
ALBUQUERQUE, NEW MEXICO

**SHEET**  
**3**  
**of**  
**5**

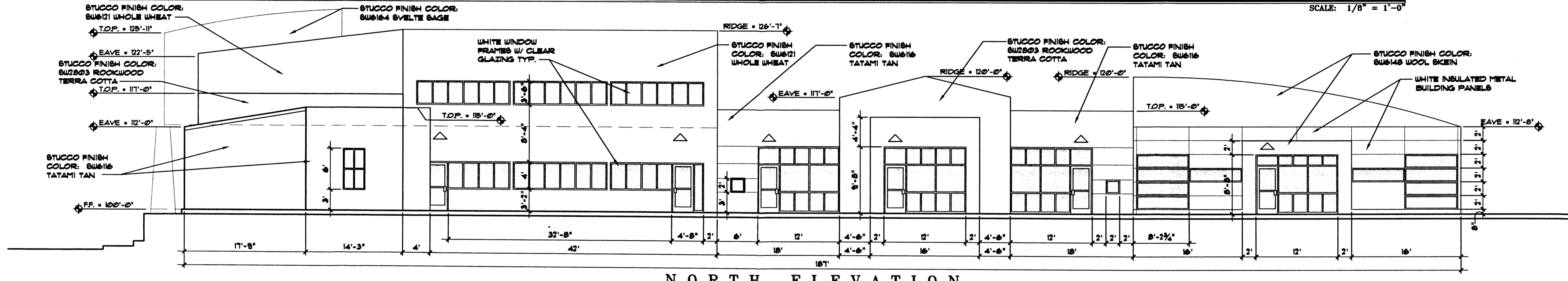
PROJECT NUMBER  
04230

**OWNERSHIP OF INSTRUMENTS OF SERVICE**  
All design concepts, details, plans, specifications, computer files, field data, notes and other documents and instruments prepared by Claudio Vigil Architects, P.C. as instruments of service shall remain the property of Claudio Vigil Architects, P.C. Claudio Vigil Architects, P.C. shall retain all common law, statutory and other reserved rights, including the copyright thereto.

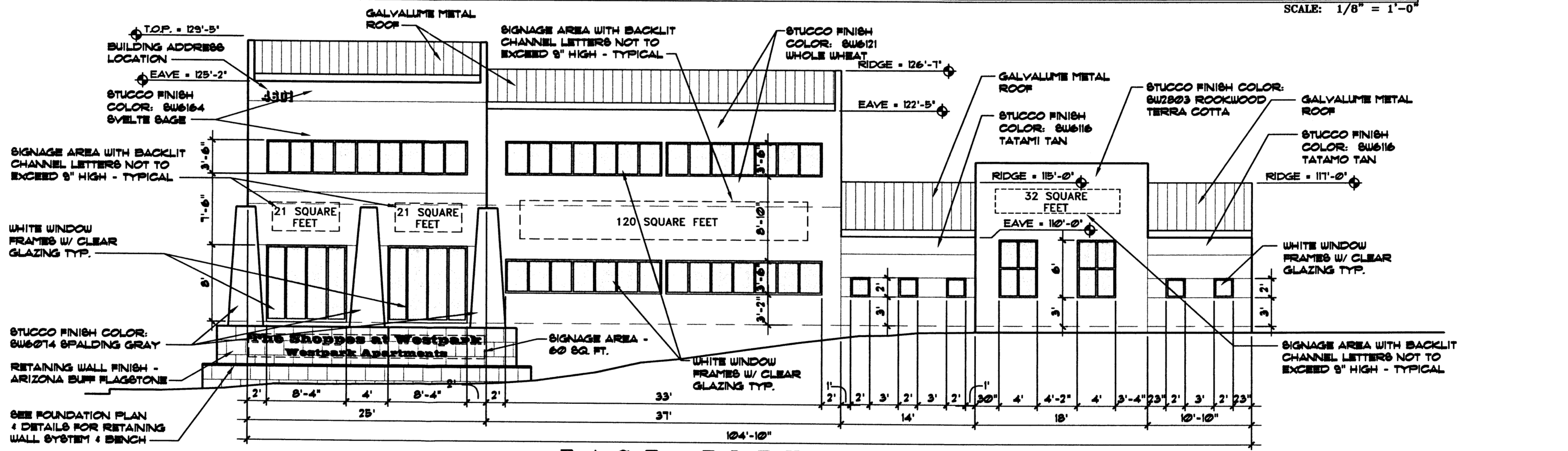
1801 Rio Grande NW, Albuquerque, NM 87104  
Phone: 505/842-1113 Fax: 505/842-1330



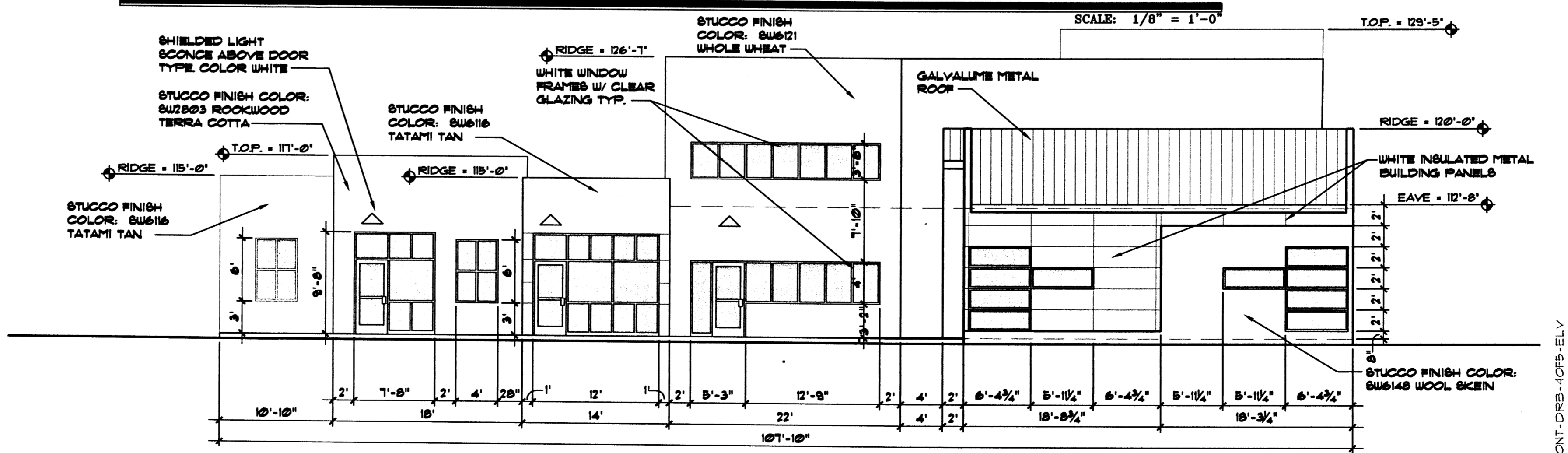
SOUTH ELEVATION



NORTH ELEVATION



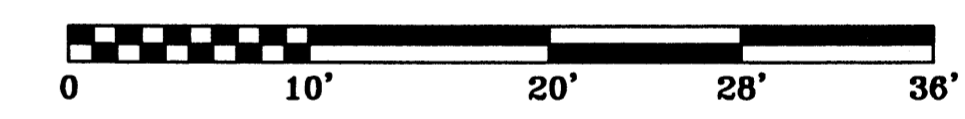
EAST ELEVATION




WEST ELEVATION

**COLOR LEGEND**  
 SYNTHETIC STUCCO COLORS TO MATCH SHERWIN WILLIAMS PAINT AS INDICATED

STUCCO FINISH COLOR: SU6148 WOOL SKEIN	LIGHT GOLDEN TAN COLOR
STUCCO FINISH COLOR: SU6121 WHOLE WHEAT	GOLDEN WHEAT COLOR
STUCCO FINISH COLOR: SU6116 TATAMI TAN	MEDIUM TAN COLOR
STUCCO FINISH COLOR: SU2803 ROOKWOOD TERRA COTTA	RUSTY TERRA COTTA COLOR
STUCCO FINISH COLOR: SU6164 SVELTE SAGE	NATURAL SAGE GREEN COLOR
STUCCO FINISH COLOR: SU6214 SPALDING GRAY	MEDIUM GRAY BROWN COLOR



**EXTERIOR ELEVATIONS**  
 JUNE 6, 2005 SCALE: 1/8" = 1'-0" (U.N.O.)

  
**CLAUDIO VIGIL ARCHITECTS**  
**AMERI-CONTRACTORS**  
**OFFICE RETAIL COMPLEX**  
 4601 PARADISE BOULEVARD, N.W.  
 ALBUQUERQUE, NEW MEXICO

---

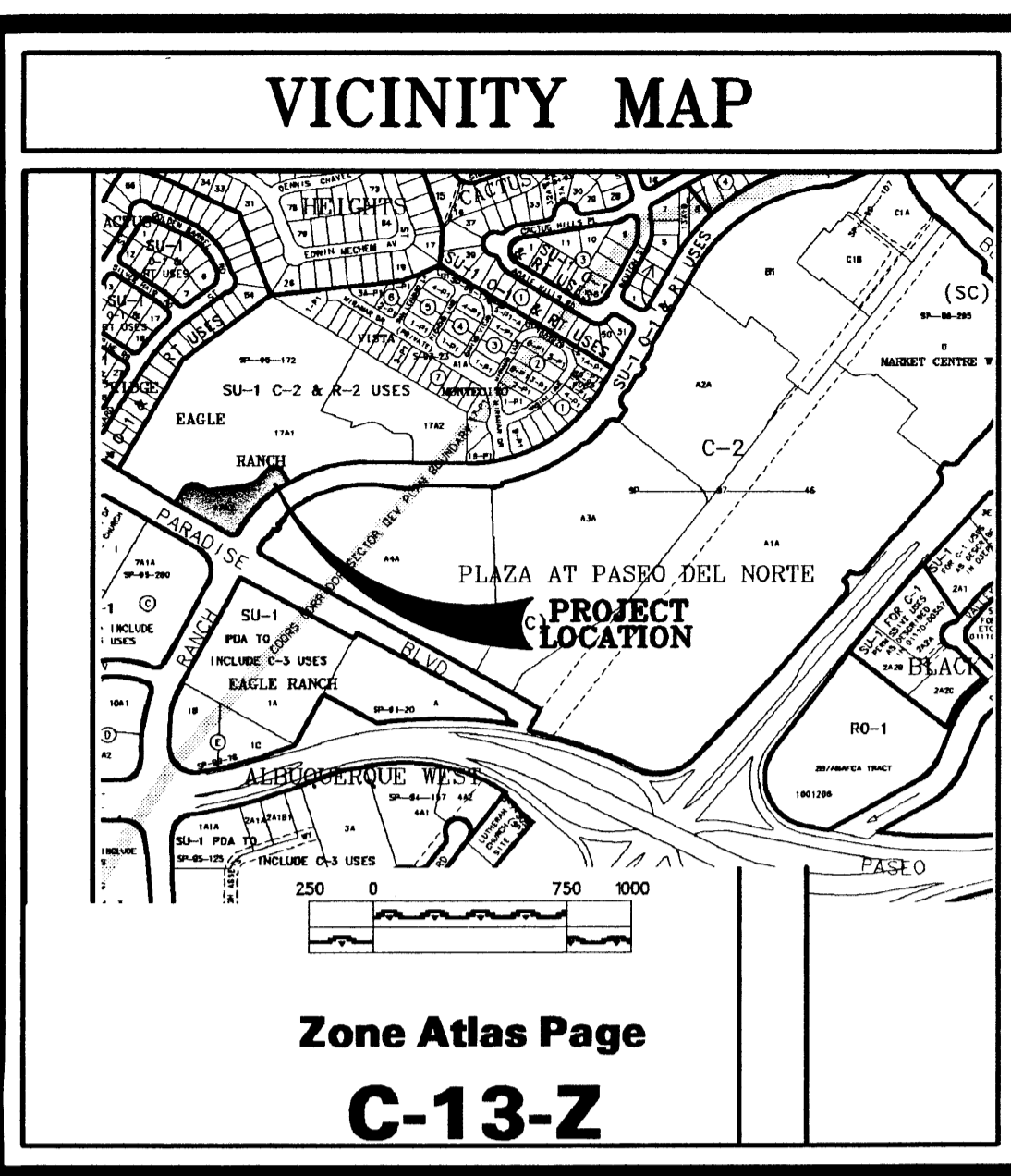
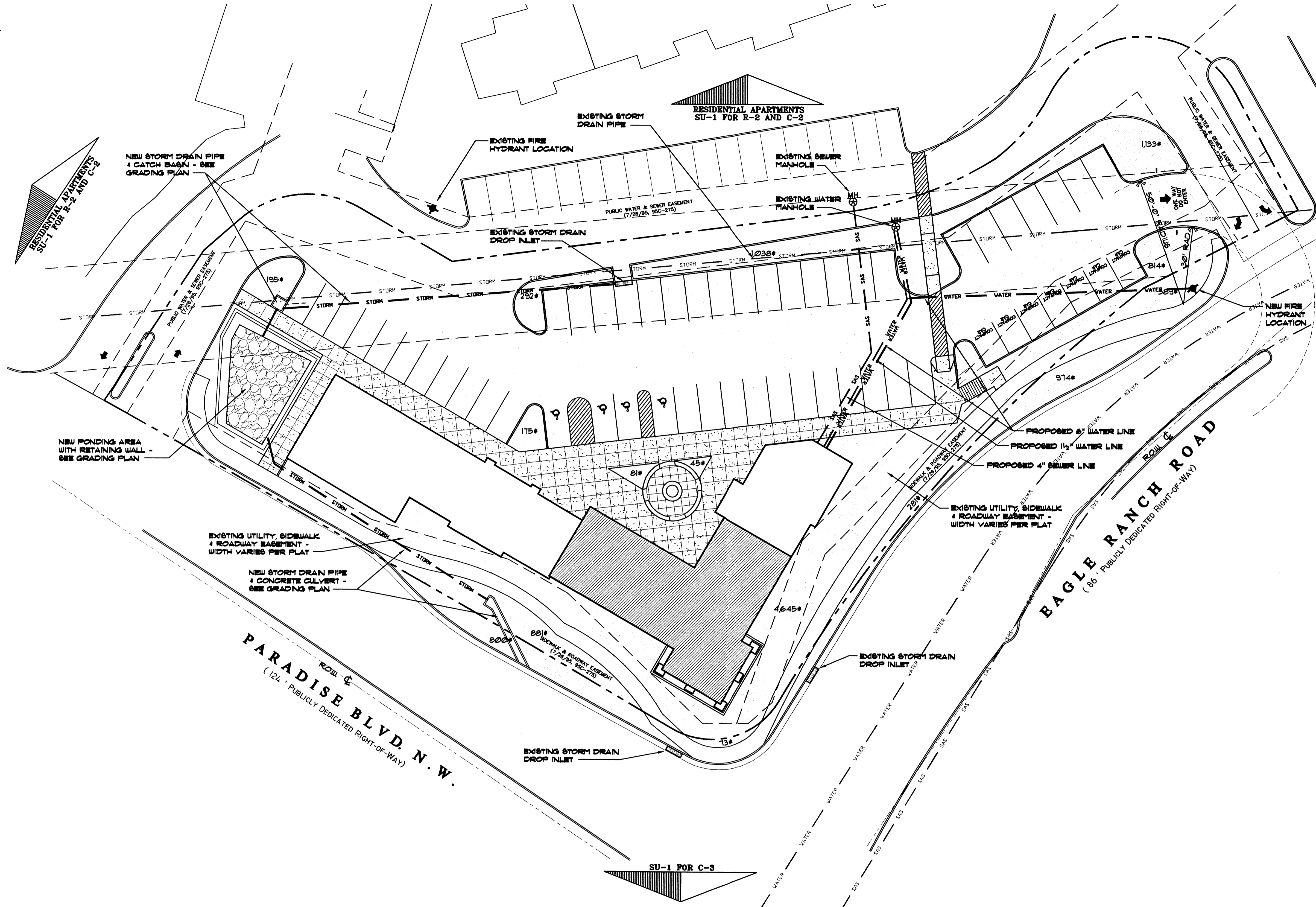
**SHEET**  
**4**  
**of**  
**5**  
 PROJECT NUMBER  
 04230

---

**OWNERSHIP OF INSTRUMENTS OF SERVICE**  
 All design concepts, details, plans, specifications, computer files, field data, notes and other documents and instruments prepared by Claudio Vigil Architects, P.C. as instruments of service shall remain the property of Claudio Vigil Architects, P.C. Claudio Vigil Architects, P.C. shall retain all common law, statutory and other reserved rights, including the copyright thereto.

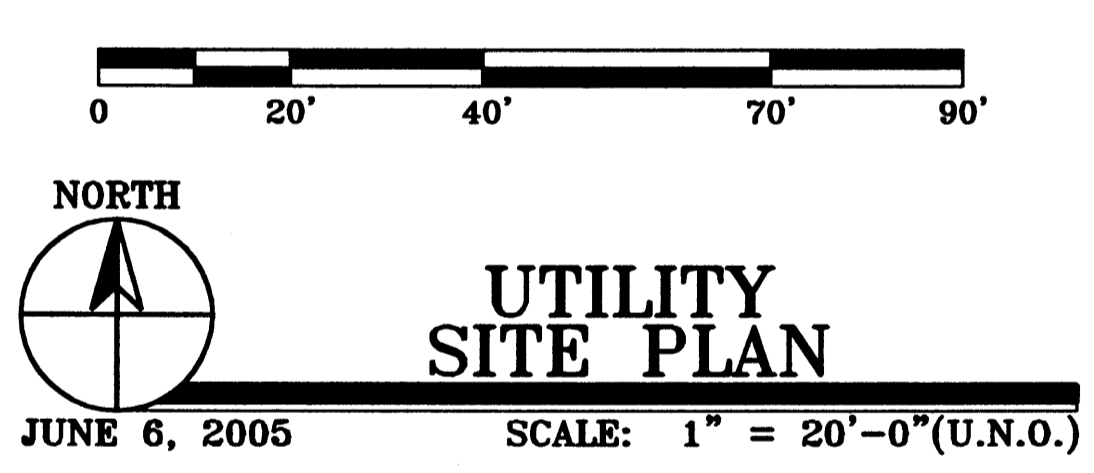
---

1801 Rio Grande NW, Albuquerque, NM 87104  
 Phone: 505/842-1113 Fax: 505/842-1330



### SITE PLAN LEGEND

	INDICATES EXTENT OF LANDSCAPE AREAS AND SIZE OF EACH AREA. SEE SHEET 2 OF 5 FOR LANDSCAPE PLAN.
	INDICATES EXTENT OF ASPHALTIC CONCRETE PAVING OVER BASE COURSE.
	INDICATES EXTENT OF CONCRETE PAVING AND CONCRETE SIDEWALKS. CONTROL JOINTS AS SHOWN.
	PROPERTY LINE.
	EASEMENT BOUNDARIES.
	STORM DRAIN.
	WATER LINE.
	SEWER LINE.
	EXISTING MANHOLE.



**CLAUDIO VIGIL ARCHITECTS**

**AMERI-CONTRACTORS, LLC**  
OFFICE RETAIL COMPLEX  
4601 PARADISE BOULEVARD, N.W.  
ALBUQUERQUE, NEW MEXICO

SHEET  
**5**  
of  
**5**

PROJECT NUMBER  
04230

**OWNERSHIP OF INSTRUMENTS OF SERVICE**  
All design concepts, details, plans, specifications, computer files, field data, notes and other documents and instruments prepared by Claudio Vigil Architects, P.C. as instruments of service shall remain the property of Claudio Vigil Architects, P.C. Claudio Vigil Architects, P.C. shall retain all common law, statutory and other reserved rights, including the copyright thereto.

1801 Rio Grande NW, Albuquerque, NM 87104  
Phone: 505/842-1113 Fax: 505/842-1330

AMERICONT-DSB-1005-JUL