

#110



Completed Ag

7/13/05

DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-01050

Project # 1003763

Project Name: EAGLE RANCH SUBDIVISION

Agent: CLAUDIO VIGIL ARCHITECTS

Phone No.: 842-1113

Your request for (SDP for SUB), (SDP for BP) (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 6.29.05 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): *David's initials*

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number

1003763

7/10



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REVISED 2/5/04

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Project Name: **EAGLE RANCH SUBDIVISION**
Agent: **CLAUDIO VIGIL ARCHITECTS**

Project # **1003763**
Phone No.: **842-1113**

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Project Number 1003763



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

June 29, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 12:30 P.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. **Project # 1004238**
05DRB-00914 Major-Street Name
Change

CITY OF ALBUQUERQUE, TRAFFIC OPERATIONS request(s) the above action(s) a Street Name change from **COMPASS NW TO UNIVERSE NW**, zoned R-1 residential zone, located on COMPASS NW, between AVENIDA DE JAINITO NW and PASEO DEL NORTE NW. (C-10/D-10) **THE DRB RECOMMENDATION TO THE EPC IS TO APPROVE THE STREET NAME CHANGE FROM COMPASS NW TO UNIVERSE NW.**

2. **Project # 1002249**
05DRB-00953 Major-One Year SIA

TIERRA WEST LLC agent(s) for WALMART STORES INC request(s) the above action(s) for all or a portion of Tract(s) E-1-A, F-1-A and F-1-B, **AMERICAN SQUARE**, zoned C-2 SC, located on CARLISLE BLVD NE, between CLAREMONT AVE NE and PHOENIX AVE NE containing approximately 13 acre(s). [REF: 02EPC01475, 02EPC01476, 03DRB00770, 04AA01253] (H-16) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED.**

3. **Project # 1000635**
05DRB-00904 Major-One Year SIA

TIERRA WEST LLC agent(s) for DE BARTOLO DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) 38-1A1, 38-2A1, 38-2A2 and 38-3A1, **TAYLOR RANCH**, zoned SU-1 FOR C-1, located on MONTANO RD NW, between MONTANO PLAZA DR NW and COORS BYPASS BLVD NW containing approximately 4 acre(s). [REF: 00DRB00878, 02DRB01040, 04DRB01698, 04DRB01764] (E-12) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED.**

4. **Project # 1001778**
05DRB-00950 Major-Preliminary Plat Approval
05DRB-00951 Minor-Subd Design (DPM) Variance
05DRB-00952 Minor-Sidewalk Waiver
05DRB-00961 Minor-Temp Defer SDWK

THOMPSON ENGINEERING & CONSULTANTS agent(s) for DRAGONFLY DEVELOPMENT INC request(s) the above action(s) for all or a portion of Tract(s) A-2-B, BRENTWOOD HILLS, (to be known as **TRAMWAY CROSSING**) zoned R-T residential zone, located on WOODLAND AVE NE, between TRAMWAY BLVD NE and MARIE PARK DR NE containing approximately 2 acre(s). [REF: 05DRB00392] (H-22) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/29/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 4/1/05 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: ADJUST LOTS 10 & 11 TO ALLOW FOR A PERIMETER WALL. A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF**

CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.

5. **Project # 1002123**
05DRB-00981 Major- Preliminary Plat Approval
6. **Project # 1003257**
05DRB-00929 Major-Preliminary Plat Approval
05DRB-00933 Major-Vacation of Pub Right-of-Way
05DRB-00934 Major-Vacation of Public Easements
05DRB-00935 Minor-Sidewalk Waiver
05DRB-00936 Minor-Temp Defer SDWK

GARCIA/KRAEMER & ASSOCIATES, AGENTS FOR DEL'S HIDE-A-WAY PARK, PHILIP D. SHEETS, request(s) the above action(s) for all or a portion of Tract(s) B, **DEL'S HIDE-A-WAY**, zoned SU-1 FOR RT, located on SAN CLEMENTE NW between 4TH ST NW and 2ND ST NW containing approximately 3 acres. [REF:04 DRB00532,00533,04DRB00535,03EPC01087,1088] [Deferred from 6/29/05] (G-14) **DEFERRED AT THE BOARD'S REQUEST TO 7/13/05.**

MARK GOODWIN & ASSOCIATES agent(s) for VISTA ARROYO, LLC request(s) the above action(s) for all or a portion of Tract(s) A, LANDS OF PARADISE HEIGHTS LLC, Lot(s) 48 thru 55, Block(s) 4, Lot(s) 1 thru 7 and Lot(s) 10 thru 14, Block(s) 6, Lot(s) 1 thru 8, Lot(s) 22 thru 45 and an undesignated tract, Block(s) 9, Lot(s) 1 thru 16, Block(s) 12, Lot(s) 1 thru 10 and 12 thru 14, Block(s) 14, Lot(s) 7 thru 12, Block(s) 15, Lot(s) 1 thru 61 and 62, Block(s) 16, all of Block(s) 7, 8, 10, 11, 13 and 17, PARADISE HEIGHTS, UNIT 4, Lots 9 thru 14, Block 9, PARADISE HEIGHTS, UNIT 4, Block(s) 1, 2, 3 and 4 and Lot(s) 1 thru 16, Block(s) 5, PARADISE HEIGHTS, UNIT 5, (to be known as **ARROYO VISTA SUBDIVISION**) zoned R-1, SU-1 FOR C-1, located on BLACK ARROYO RD NW, between MCMAHON BLVD NW and CALABACILLAS ARROYO containing approximately 172 acre(s). [REF:04DRB00204] [Deferred from 6/29/05] (A-10) **DEFERRED AT THE AGENT'S REQUEST TO 7/20/05.**

7. **Project # 1002590**
05DRB-00956 Major-Preliminary Plat
Approval
05DRB-00957 Minor-Subd Design (DPM)
Variance
05DRB-00958 Minor-Sidewalk Waiver
05DRB-00960 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for MEL FAMIE LLC request(s) the above action(s) for all or a portion of Tract(s) B-2, LANDS OF BRACKSON COURSON, (to be known as **CHAPARRAL COURT**) zoned R-D residential and related uses zone, developing area, located on 64TH STREET NW, between MILNE RD NW and Tierra Prieta NW containing approximately 4 acre(s). [REF: 05DRB00206, 05DRB00540] [Deferred from 6/29/05] (F-10) **DEFERRED AT THE AGENT'S REQUEST TO 7/13/05.**

8. **Project # 1004223**
05DRB-00884 Major-Vacation of Public
Easements
05DRB-00885 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST agent(s) for LUTHER MARTINEZ request(s) the above action(s) for all or a portion of Tract(s) 6-B, SUNDT'S INDUSTRIAL CENTER (to be known as **RENAISSANCE CENTER III, PARCEL D-1**), zoned M-2 & SU-1 1P, located on MONTANO RD NE, between ALEXANDER BLVD NE and DESERT SURF CIRCLE NE containing approximately 9 acre(s). [REF: V-96-84, DRB-96-377] [Deferred from 6/22/05] (F-16) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/29/05 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

9. **Project # 1004233**
05DRB-00899 Major-Preliminary Plat
Approval
05DRB-00900 Major-Vacation of Public
Easements
05DRB-00901 Minor-Sidewalk Waiver
05DRB-00902 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for WESTLAND DEVELOPMENT CO request(s) the above action(s) for all or a portion of Tract(s) I-2, WESTLAND NORTH (to be known as **STORM CLOUD SUBDIVISION**) zoned SU-2, RLT, located on TIERRA PINTADA ST SW, between ARROYO VISTA BLVD SW and LADERA DR SW containing approximately 107 acre(s). [Deferred from 6/22/05] (H-9, J-8, J-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/29/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 5/27/05 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT: 1) ADJACENT LOTS AT THE TWO ENTRANCES NEED TO MEET THE MAJOR LOCAL**

STREET STANDARDS. 2) AN OVERALL EVALUATION OF THE IMPACTS OF DEVELOPING PHASES ONE AND TWO OF WESTLAND NORTH, IDENTIFICATION OF ALL THE ROADWAY ELEMENTS THAT WILL NEED TO BE IN PLACE TO SERVE THOSE COMPLETED PHASES, AND SPECIFIC ALLOCATION OF PROPORTIONAL RESPONSIBILITIES FOR EACH OF THOSE ROADWAY IMPROVEMENTS TO EACH OF THE FUTURE SUB-COMPONENTS OF THOSE PHASES; AND A SPECIFIC TIMETABLE FOR PROPOSING AND IMPLEMENTING EACH OF THE NON-RESIDENTIAL DEVELOPMENTS DESCRIBED IN THE MASTER PLAN FOR PHASES ONE AND TWO THAT, AS YET, HAVE NOT BEEN PROPOSED FOR ACTUAL DEVELOPMENT. ACCORDING TO THE TRAFFIC STUDY, STORM CLOUD WILL NOT BE FINISHED UNTIL 2007. THE ABOVE EVALUATIONS WILL NEED TO BE COMPLETED PRIOR TO FINAL PLAT. 3) THE AMAFCA BOARD SHALL VACATE AND/OR QUIT CLAIM THE FLOOD PLAIN EASEMENT BACK TO THE OWNER. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

10. Project # 1003763 --
05DRB-01050 Minor-SiteDev Plan
BldPermit/EPC

CLAUDIO VIGIL ARCHITECTS agent(s) for AMERI-CONTRACTORS LLC request(s) the above action(s) for all or a portion of Tract(s) 17-A-3, **EAGLE RANCH SUBDIVISION**, zoned SU-1 FOR C-2 AND R-2 USES, located on EAGLE RANCH RD NW, between COORS BLVD NW and PASEO DEL NORTE NW containing approximately 2 acre(s). [REF: Z-98-48, Z-99-48, DRB-99-134, 04EPC01715] (David Stallworth, EPC Case Planner) (C-13) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF**

DELEGATED TO PLANNING FOR THE EPC CASE
PLANNER'S INITIALS.

11. **Project # 1004279**
05DRB-01051 Minor-SiteDev Plan
BldPermit

CLAUDIO VIGIL ARCHITECTS agent(s) for C. K. M. DEVELOPMENT CO INC request(s) the above action(s) for all or a portion of Tract(s) 2, **JOURNAL CENTER, PHASE 2**, zoned IP, located on MASTHEAD ST NE, between BARTLETT ST NE and WASHINGTON ST NE containing approximately 5 acre(s). [REF: DRB-95-268, AX-79-1, Z-79-80] (D-17) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR REVISED UTILITY PLAN TO MATCH "AS-BUILT" CONDITIONS AND TO PLANNING FOR 3 COPIES OF THE SITE PLAN.**

12. **Project # 1001946**
05DRB-01047 Minor-SiteDev Plan
BldPermit

DEKKER/PERICH/SABATINI agent(s) for OFFICE DEPOT request(s) the above action(s) for all or a portion of Tract(s) A-1-D, **LOS ANGELES CENTER**, zoned M-1 light manufacturing zone, located on PASEO DEL NORTE NE, between SAN PEDRO NE and INTERSTATE 25 containing approximately 3 acre(s). [REF:DRB-97-224,DRB-97-372,Z-1534] [*Deferred from 6/29/05*] (D-18) **DEFERRED AT THE AGENT'S REQUEST TO 7/13/05.**

13. **Project # 1004266**
05DRB-01017 Minor-SiteDev Plan
BldPermit

ADVANCED ENGINEERING & CONSULTING agent(s) for MAVERICK DEVELOPMENT INC., RON SPRADLIN request(s) the above action(s) for all or a portion of Lot(s) 29, **ALAMEDA BUSINESS PARK**, zoned SU-2 IP, located on ALAMEDA DR NE, between ALAMEDA PARK DR NE and the AMAFCA NORTH DIVERSION CHANNEL, containing approximately 2 acre(s). [REF: DRB-98-223] [*Deferred from 6/22/05*] (C-16) **THE SITE PLAN FOR**

BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN.

- 14. Project # 1003057**
05DRB-00980 Minor-SiteDev Plan
BldPermit

KEN HOVEY, agent(s) for I-40 GATEWAY WEST LLC request(s) the above action(s) for all or a portion of Block(s) 1, Tract(s) A-2-C-1, **CLIFFORD WEST BUSINESS PARK, UNIT 3**, zoned IP industrial park zone, located on UNSER BLVD NW, between LOS VOLCANES NW and SAUL BELL RD NW containing approximately 7 acre(s). [REF: Z-97-11, AA-98-54] [Given Project #1004257 in error.] [Deferred from 6/22/05] (K-9) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR STANDARD CITY OF ALBUQUERQUE DWG NUMBERS AND LABELING AND TO PLANNING FOR AA FOR CLIFFORD BUSINESS PARK MASTER PLAN, COMMENTS IN FILE AND 3 COPIES OF THE SITE PLAN.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

- 15. Project # 1003788**
05DRB-01044 Minor-Prelim&Final Plat
Approval

CARLOS TRUJILLO request(s) the above action(s) for all or a portion of Lot(s) 8 & 9, **TOHATCHI TRAIL ADDITION**, zoned R-1, located on MOUNTAIN RD NW and TOHATCHI TRAIL NW containing approximately 1 acre(s). [REF: 04DRB-1787] (J-12) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**

- 16. Project # 1003265**
05DRB-01048 Minor-Prelim&Final Plat
Approval

WILKS CO agent(s) for RENE LOYA DURAN request(s) the above action(s) for all or a portion of Lot(s) 2, 3, & 4, Block(s) 3, **SANTA FE ADDITION**, zoned SU-2 for R-1 residential zone, located on BARELAS SW, between

PACIFIC SW and CROMWELL SW containing approximately 1 acre(s). [REF: 04DRB-00237] (K-14) **PRELIMINARY AND FINAL PLAT APPROVED AND SIGNED OFF BY THE BOARD.**

- 17. Project # 1004280**
05DRB-01056 Minor-Prelim&Final Plat
Approval

LORRAINE BACA request(s) the above action(s) for all or a portion of Lot(s) 029, **MENAU PLACE**, zoned R-1 residential zone, located on CORDOVA AVE NW, between 12TH ST NW and RIO GRANDE NW containing approximately 1 acre(s). (H-13) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SITE SKETCH AND PHOTO OF CORDOVA AVENUE AND PLANNING FOR ZHE APPROVAL OF SPECIAL EXCEPTION TO 50-FOOT LOT WIDTH OF LOT 29A AND AGIS DXF FILE.**

- 18. Project # 1003364**
05DRB-01054 Minor-Vacation of Private
Easements

TIERRA WEST LLC agent(s) for CIRCLE K STORES request(s) the above action(s) for all or a portion of Tract(s) 1-A-1 & 1-A-3, **NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3**, zoned SU-2 special neighborhood zone, located on LOUISIANA BLVD NE, between PASEO DEL NORTE NE and HOLLY AVE NE containing approximately 3 acre(s). [REF: 04DRB-01409] (C-19) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

- 19. Project # 1003554**
05DRB-01052 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for AMC DEVELOPMENT INC request(s) the above action(s) for all or a portion of Lot(s) 1-10, Block(s) 7; Lot(s) 1-10 & 4, Block(s) 8, **SKYLINE HEIGHTS (to be known as CENTRAL PARK PLACE, PHASE 2)**, zoned C-2 community commercial zone, located on CENTRAL AVE SE, between CONCHAS

ST SE and EUBANK BLVD SE containing approximately 4 acre(s). [REF: ZA-88-406, 01DRB-01099, 04DRB-01100, 05DRB-00530] (L-20) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

20. **Project # 1003172**
05DRB-01053 Minor-Final Plat Approval

TIERRA WEST LLC agent(s) for STILLBROOKE HOMES request(s) the above action(s) for all or a portion of Tract(s) 1D, **SEVILLE SUBDIVISION**, zoned R-LT residential zone, located on KAYENTA ST NW, between IRVING BLVD NW and CALABACILLAS ARROYO containing approximately 8 acre(s). [REF: 04DRB-00529, 04DRB-01955, 04DRB-01957] (A-10) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND PLAT RECORDING.**

21. **Project # 1003236**
05DRB-01055 Minor-Final Plat Approval

RIO GRANDE ENGINEERING agent(s) for CLEARBROOK INVESTMENTS INC request(s) the above action(s) for all or a portion of Tract(s) A, **VILLA DE LA CHAMISA UNIT 2**, zoned SU1 FOR PRD, located on CALLE CHAMISA NW, between VIVALDI TR NW and BIG SAGE NW containing approximately 6 acre(s). (B-10) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR PARK DEDICATION FEE AND PLANNING FOR AGIS DXF FILE AND PLAT RECORDING.**

22. **Project # 1004036**
05DRB-00922 Minor-Vacation of Private Easements

HALL SURVEYING CO agent(s) for MAX CONTRERAS request(s) the above action(s) for all or a portion of Tract(s) A & B, **MAX REPLAT**, zoned RA-2, located on RIO GRANDE BLVD NW, between ZICKERT RD NW and BEACH RD NW containing approximately 2 acre(s). (INDEF DEFERRED 6/15/05) (H-12) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE**

PLANNING FILE.

05DRB-00446 Minor-Prelim&Final Plat
Approval

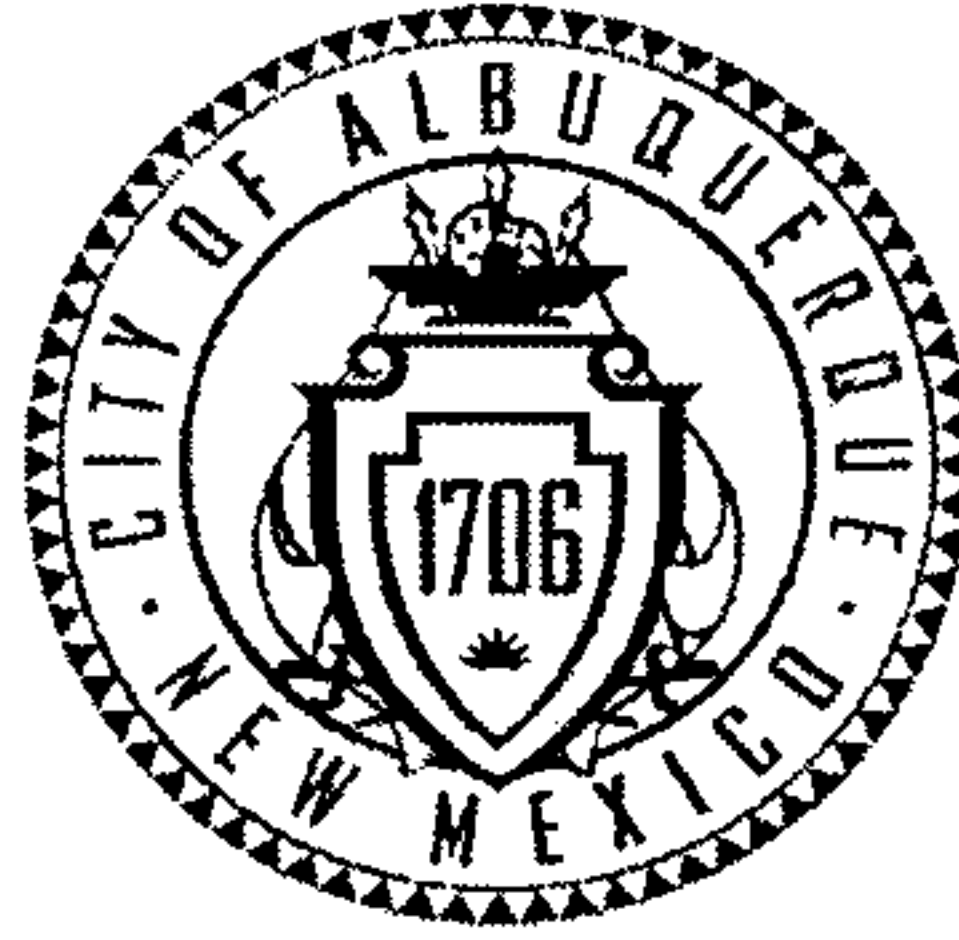
HALL SURVEYING CO agent(s) for MAX CONTRERAS request(s) the above action(s) for all or a portion of Tract(s) A & B, **MAX REPLAT**, zoned RA-2, located on RIO GRANDE BLVD NW, between ZICKERT RD NW and BEACH RD NW containing approximately 2 acre(s). *[Was Indef Deferred on 3/30/05 for Vacation application]* (INDEFINITELY DEFERRED FROM JUNE 15, 2005) (H-12/H-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/29/05 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

THERE ARE NO SKETCH PLATS THIS WEEK

23. Approval of the Development Review Board Minutes for June 15, 2005. **THE DRB MINUTES FOR JUNE 15, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 12:30 P.M.



#10

**CITY OF ALBUQUERQUE, PLANNING DEPARTMENT
INTERNAL MEMORANDUM**

TO: Sheran Matson, Chairperson – Development Review Board

FROM: David Stallworth, Planner

COPIES TO: Claire Senova, Development Review

DATE: June 28, 2005

RE: **PROJECT NO. 1003763, Case Number 05DRB – 01050, Ameri – Contractors Bldg, Eagle Ranch & Paradise.**

Below are my comments to numbers seven (7) through sixteen (16) and to number eighteen (18) of the conditions approved for the above-referenced project by the Environmental Planning Commission (**04EPC – 01715**) on March 17, 2004.

Condition number:

7. *On-site lighting shall be shielded to provide downward light emission and prevent both light trespass and upward light pollution. This condition has not been satisfactorily demonstrated on the site plan.*
8. *The final site plan shall demonstrate pedestrian connections between the apartment complex and the project site. Additional vegetative shading, where applicable, shall be installed to augment pedestrian paths. OK.*
9. *The final site plan shall demonstrate a most-direct pedestrian access either through the building or from Eagle Ranch along the northeastern edge of the building, topographic conditions notwithstanding. OK.*
10. *Façade treatments and articulation of any proposed retaining walls will comply with §14-16-3-19 of the Zoning Code and shall be properly demonstrated prior to final plan approval. This condition has not been satisfactorily demonstrated on either the site plan or the grading/drainage plan.*

11. *Vegetative cover, such as vines or vegetated trellises, will be placed on any proposed retaining walls. A proportionate amount of evergreen trees or appropriate cover will be included alongside any retaining walls to break up the massing. This condition has not been satisfactorily demonstrated on either the site plan or the landscape plan. There is not enough emphasis on evergreen trees or covering around those areas where retaining walls along public streets are called out, and there is no indication that trellising, where applicable, is utilized.*
12. *The developer shall be eligible to take advantage of a five-percent (5%) parking reduction, and all site-related parking shall be restricted to the subject area. OK.*
13. *The developer shall provide for reasonable and satisfactory circulation internal to the site and access to guarantee this circulation. OK.*
14. *The developer shall take any necessary and appropriate steps to mitigate potential site-related traffic and parking impacts upon the adjacent parcel to the north of the project area, whether through the use of landscape islands, signs or other traffic-calming devices. This condition has not been satisfactorily demonstrated on the site plan; it was presumed during the course of previous discussions that speed humps and certain control signage would be utilized.*
15. *Prior to final sign-off by the Development Review Board, the final site plan shall contain either:*
 - A. *A list of excluded or modified C-2 land uses within the subject area and signatures from the owners of both the subject parcel and the adjacent parcel to the north, or*
 - B. *A statement proclaiming the site plan is bound to a duly recorded list of excluded or modified C-2 land uses as endorsed by the owners of both the subject parcel and the adjacent parcel to the north. Volume, page and date of recordation shall be provided.*
 - C. *Any further land use exclusions or modifications shall be subject to a site plan amendment.*

These provisions have been satisfactorily met.

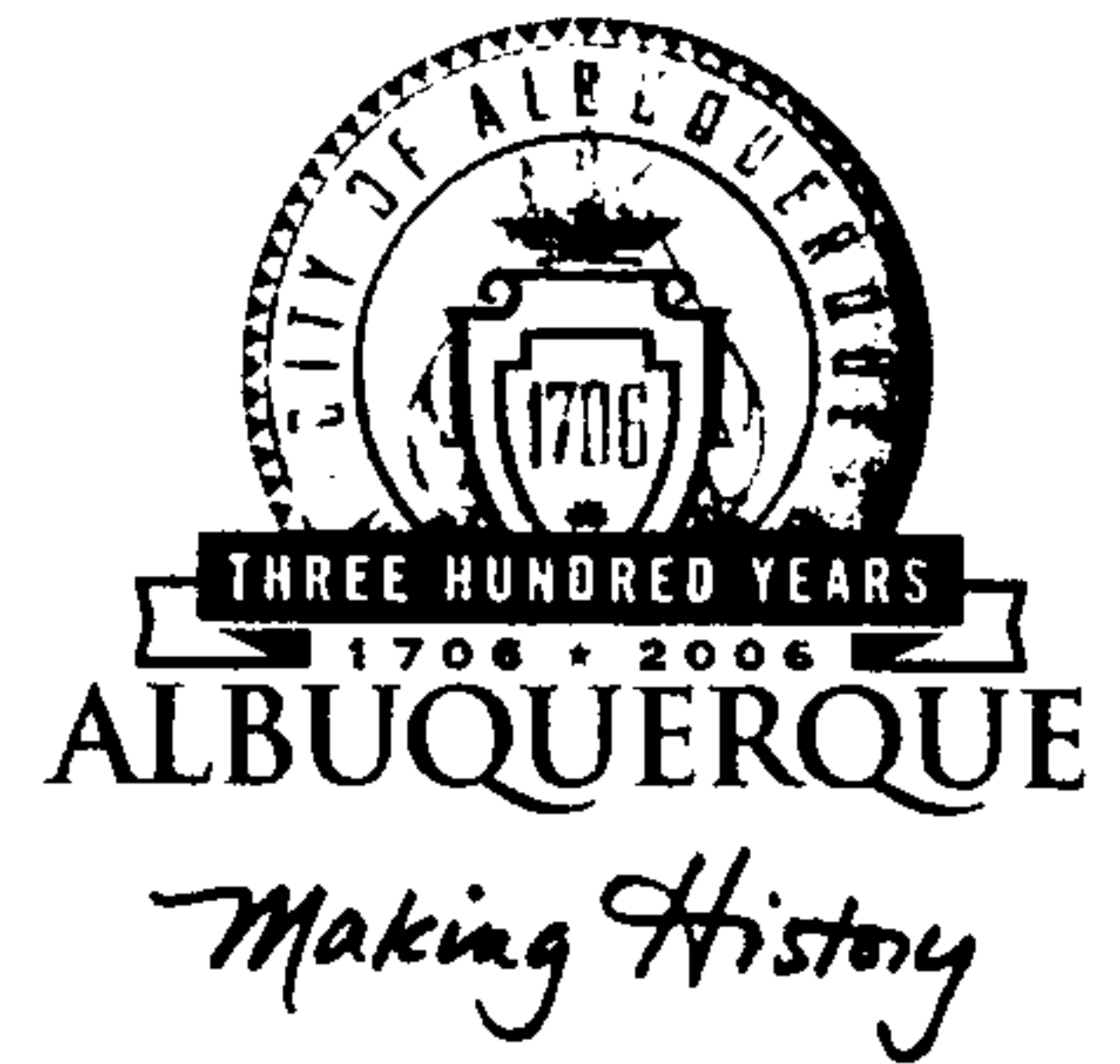
16. *The developer shall demonstrate that all on-site disability-related parking spaces contain appropriate access aisles. OK.*
17. *N/A.*
18. *The building colors shall be adjusted to be earth tone and contextual with the surrounding neighborhoods (Added by the EPC during the public hearing). OK*

Miscellaneous Comments: Are the sidewalks extending into the project area from either Eagle Ranch or Paradise ADA-compliant? I noticed that they do not appear to go any further beyond the property curve return. This needs to be checked with Engineering.

Thank you.

A handwritten signature in cursive script, appearing to read "Stallworth". The signature is written in black ink and is positioned below the "Thank you." text.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003763

AGENDA ITEM NO: 10

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

Many comments and questions.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED X; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: June 29, 2005

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

<p>SUBDIVISION</p> <p>___ Major Subdivision action</p> <p>___ Minor Subdivision action</p> <p>___ Vacation</p> <p>___ Variance (Non-Zoning)</p> <p>SITE DEVELOPMENT PLAN</p> <p>___ for Subdivision Purposes</p> <p>* ___ for Building Permit</p> <p>___ IP Master Development Plan</p> <p>___ Cert. of Appropriateness (LUCC)</p> <p>STORM DRAINAGE</p> <p>___ Storm Drainage Cost Allocation Plan</p>	<p>Supplemental form</p> <p>S Z ZONING & PLANNING</p> <p>___ Annexation</p> <p>___ County Submittal</p> <p>___ EPC Submittal</p> <p>___ Zone Map Amendment (Establish or Change Zoning)</p> <p>___ Sector Plan (Phase I, II, III)</p> <p>___ Amendment to Sector, Area, Facility or Comprehensive Plan</p> <p>___ Text Amendment (Zoning Code/Sub Regs)</p> <p>___ Street Name Change (Local & Collector)</p> <p>L A APPEAL / PROTEST of...</p> <p>D ___ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals</p>
--	---

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Dwayne Pino, Ameri-Contractors, LLC PHONE: (505) 239-0920
 ADDRESS: P.O. Box 56883 FAX: (505) 890-7278
 CITY: Albuquerque STATE NM ZIP 87187 E-MAIL: dwaynepino@hotmail.com
 Proprietary interest in site: owner List all owners: _____
 AGENT (if any): Claudio Vigil Architects PHONE: (505) 842-1113
 ADDRESS: 1801 Rio Grande Boulevard NW FAX: (505) 842-1330
 CITY: Albuquerque STATE NM ZIP 87104 E-MAIL: cvarch@aol.com

DESCRIPTION OF REQUEST: Site Plan Approval and sign-off for building permit.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. * ___ No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract 17-A-3 Block: _____ Unit: _____
 Subdiv. / Addn. Eagle Ranch Subdivision
 Current Zoning: SU-1 for C-2 & R-2 Uses Proposed zoning: Same (no change)
 Zone Atlas page(s): C-13-Z No. of existing lots: one No. of proposed lots: one
 Total area of site (acres): 1.24 acres Density if applicable: dwellings per gross acre: — dwellings per net acre: —
 Within city limits? * ___ Yes. ___ No, but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No
 UPC No. 10130640243602014 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: North corner of Eagle Ranch Rd & Paradise Blvd.
 Between: Coors Blvd & Golf Course Road and Paseo del Norte & Irving Boulevard

CASE HISTORY: David Stallworth, EPC Case Planner
 List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.): 2-98-48,
2-99-48, DRB-99-134, 04EPC-01715, 1003763

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ? . Date of review: 7-26-04

SIGNATURE Sandra M. Fairchild DATE 3-18-05
 (Print) Sandra M. Fairchild _____ Applicant * ___ Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>05DRB - 01050</u>	<u>SBP</u>	<u>P(3)</u>	\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>06/29/05</u>	_____	_____	\$ <u>20.00</u>

Andrew Garcia

Project # 1003763

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist
 - ___ Blue-line copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- ✓ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ✓ Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ✓ Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - ✓ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ✓ Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - ~~NA~~ Infrastructure List, if relevant to the site plan
 - ✓ Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - ✓ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Sandra M. Fairchild
Applicant name (print)
[Signature] 6-21-05
Applicant signature / date



Form revised October 2004

- ✓ Checklists complete
 - ✓ Fees collected
 - ✓ Case #s assigned
 - ✓ Related #s listed
- Application case numbers
OSDRB - _____ - 01050
_____ - _____ - _____
_____ - _____ - _____

[Signature] 6/21/05
Planner signature / date
Project # 1003763



June 6, 2005

Ms. Sheran Matson, DRB Chairperson
City of Albuquerque Planning Department
Development Review Board
P.O. Box 1293
600 Second Street, N.W.
Albuquerque, NM 87103

**RE: Site Development Plan for Building Permit
Ameri-Contractors Office Retail Complex
Project Number: 1003763; Case Number: 04EPC-01715**

Dear Sharon,

We are requesting the approval of a Site Development Plan for Building Permit for a new office retail complex to be built on Tract 17-A-3 in the Eagle Ranch Subdivision. The site is located on the northwest corner of the intersection of Eagle Ranch Road and Paradise Boulevard. The site is located in a subdivision zoned SU-1 for C-2 and R-2 uses. The building proposed shall be two stories, with 8,121 square feet on the first floor and 3,334 square feet on the second floor for a total of 11,455 square feet. Fifty-four (54) parking spaces shall be provided which includes four (4) accessible parking spaces and nine (9) small car parking spaces.

The proposed development is consistent with the zoning for the site. The architecture is designed to be eclectic and modern with colors selected to coordinate with the adjacent apartment complex and inspired by colors found in the desert. Signage shall be located only on the building facades facing Paradise Boulevard and Eagle Ranch Road and shall consist of back lit channel graphics or architectural stand off graphics.

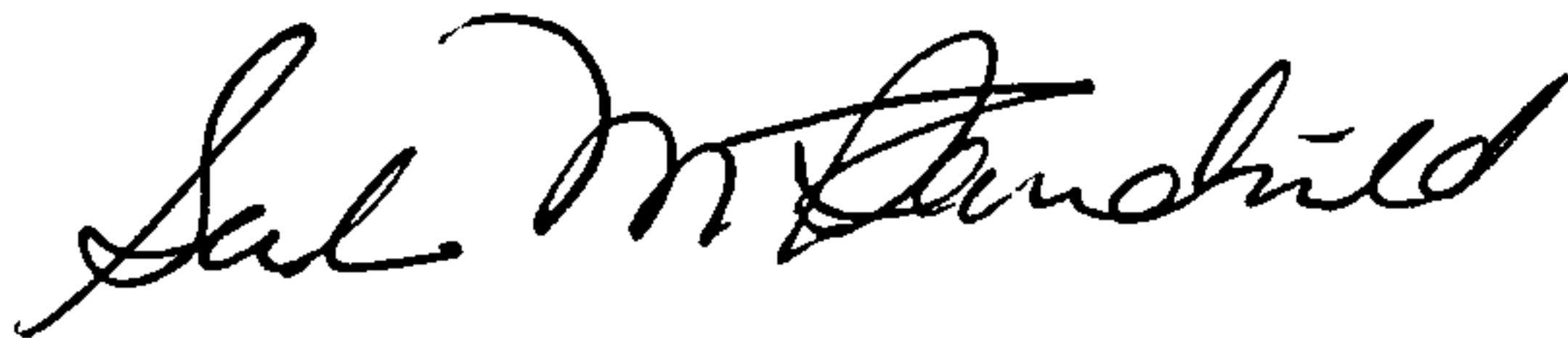
During the EPC approval process, it became necessary to work with the owner of the adjacent apartment complex to be able to come to an agreement over the lay out of the site as to vehicle and pedestrian access, and permitted and non-permitted uses. The site plan submitted is the final lay out as agreed upon by the owners of the new development and the apartment complex. Both parties have also agreed that the office retail complex shall utilize trash receptacles located in the apartment complex site. The agreement for shared trash receptacles, permitted uses and non-permitted uses is attached to the submittal package with notes on the site development plan.

The proposed development meets the intent of the City/County Comprehensive Plan. No major public improvements or utility extensions are required for this project and the project has access to existing transit facilities. The project will create a quality urban environmental area with pedestrian level amenities and landscaping and a pedestrian connection to the adjacent apartments and to the street level per the Conditions stated in the Official Notification of Decision. The project will also generate employment within walking distance of the apartments and near by neighborhoods.

Changes to the site since the EPC hearing include connecting the site to Eagle Ranch Road in lieu of a ramp, a 8'-0" sidewalk that is now located directly adjacent to the building that shall connect the site to Paradise Boulevard and the slight relocation of the ponding area. The landscape plan has been reworking by a landscape architect and a final grading plan has been submitted. Please note the exterior stucco colors have been changed so as to coordinate with the adjacent apartment complex and to be more earth tone in color.

If you have any questions, comments or required additional information please do not hesitate to call at any time.

Sincerely,

A handwritten signature in black ink, appearing to read "Sandra M. Fairchild". The signature is fluid and cursive, with the first name "Sandra" being the most prominent.

Sandra M. Fairchild
Project Manager

SMF/smf

March 21, 2005

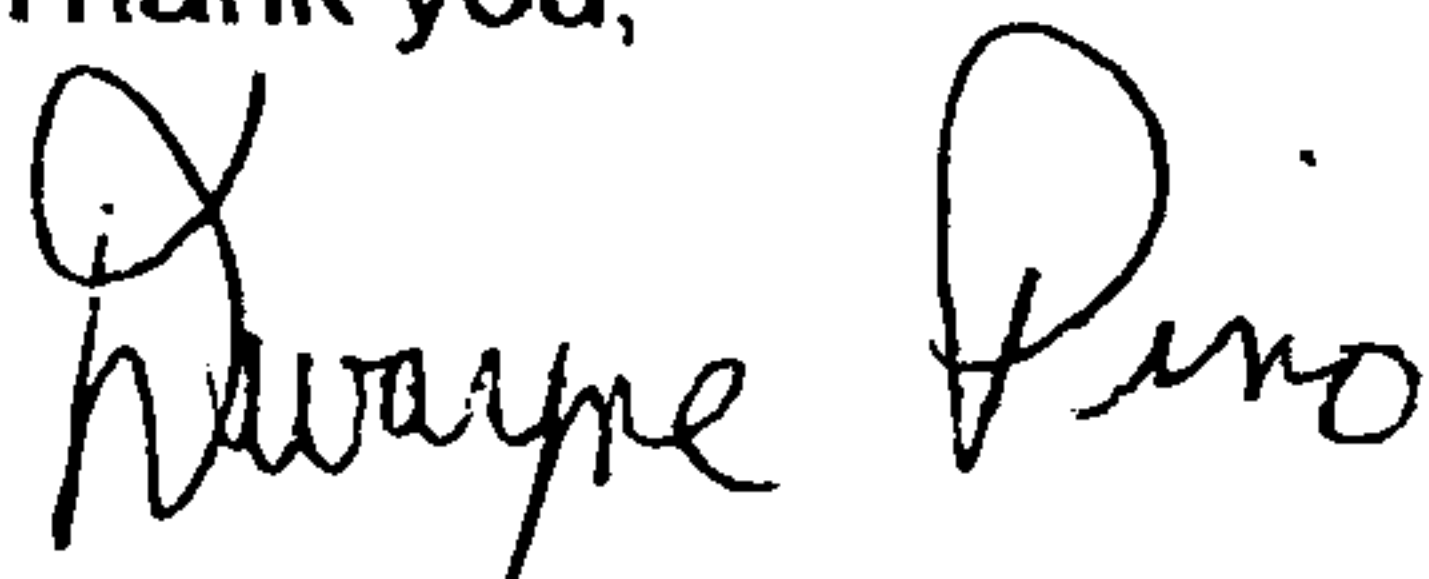
City of Albuquerque
Planning Department
Development Review Board
600 2nd Street, N.W.
Albuquerque, NM 87102

**RE: Site Development Plan for Building Permit Tract 17-A-3 Eagle
Ranch, Albuquerque, New Mexico**

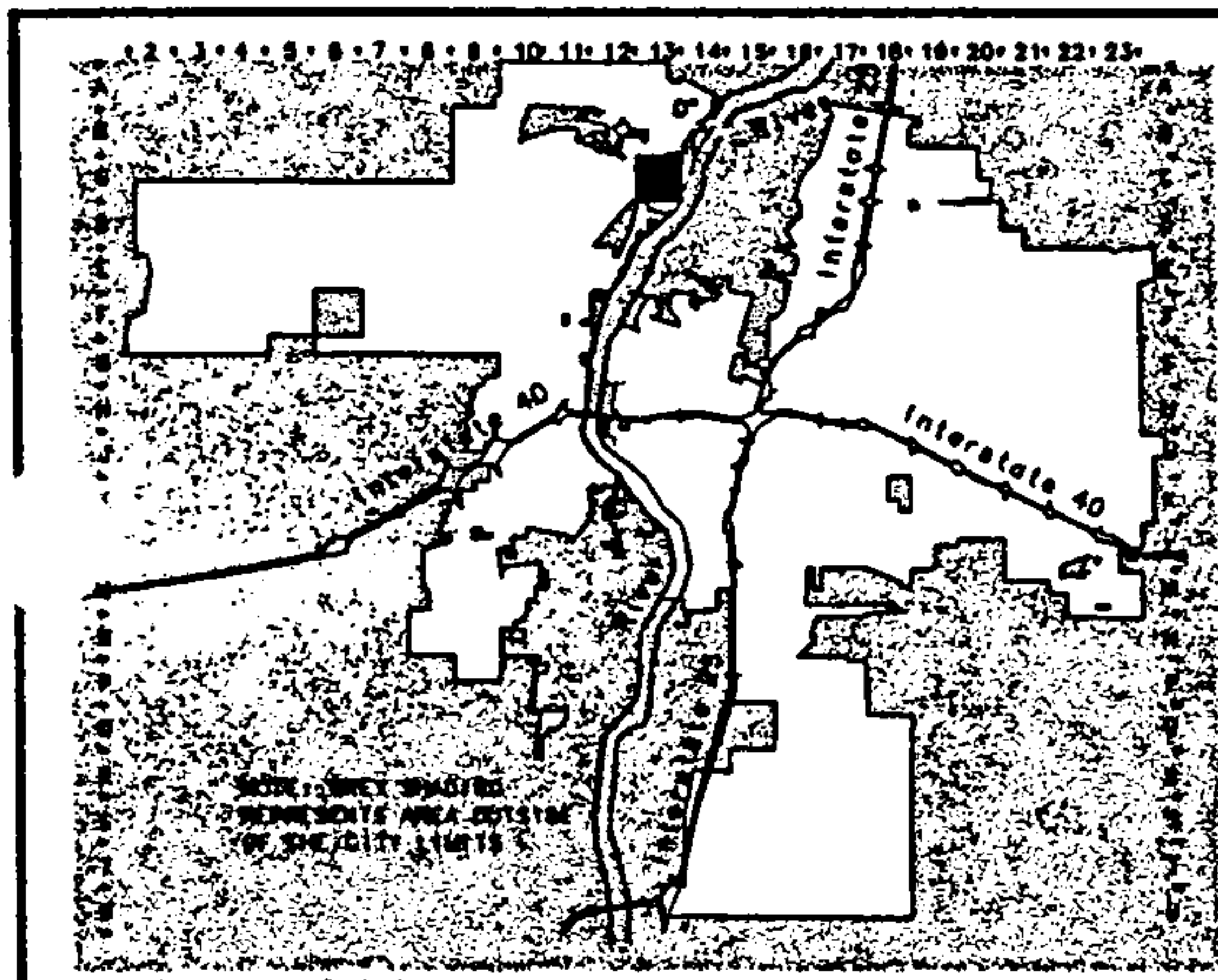
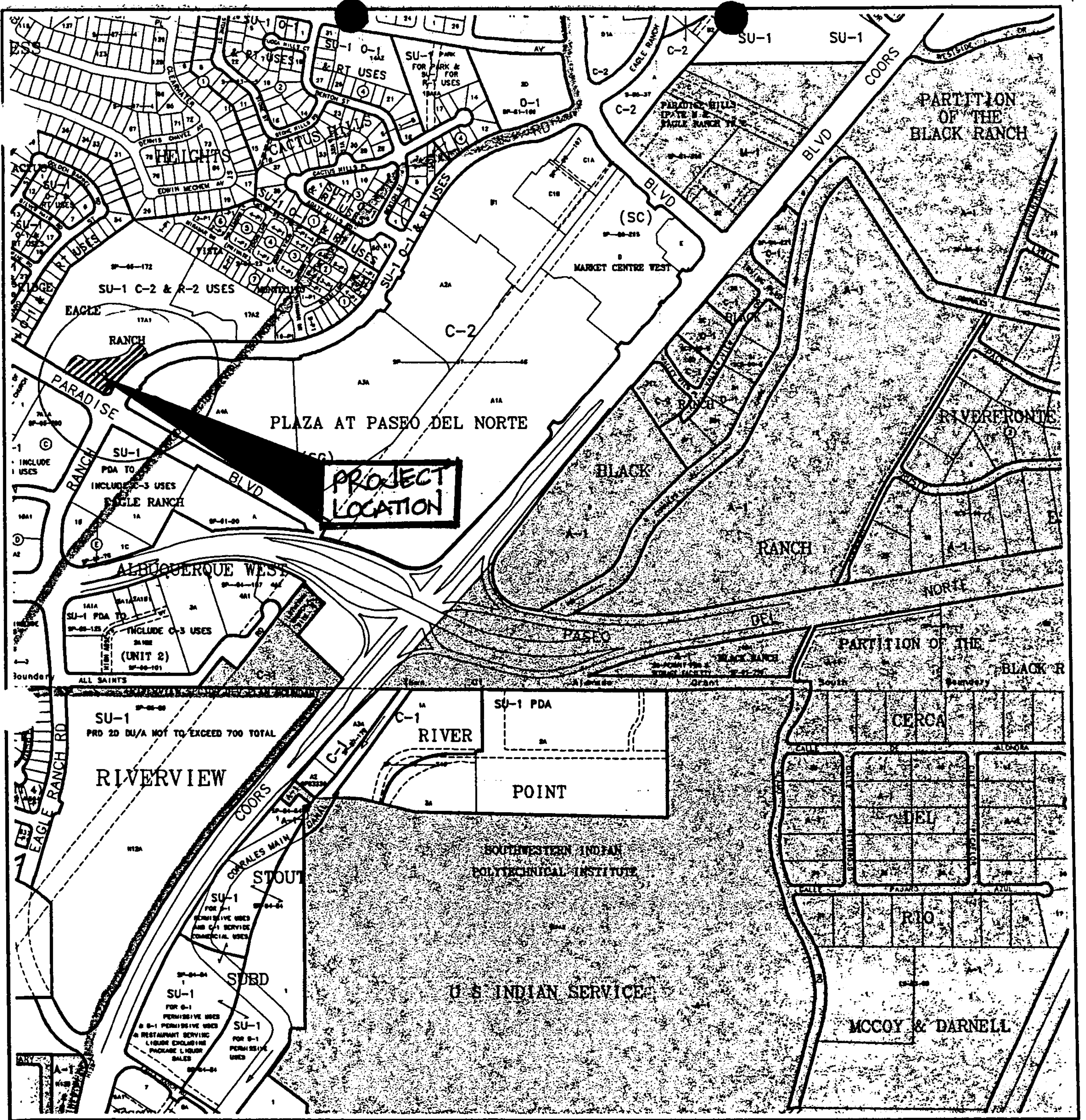
To Whom It May Concern:

This letter is to authorize Claudio Vigil Architects to act as agent for Ameri-Contractors LLC, in matters concerning the submission, review, and revisions of the proposed site development plan for the above mentioned property to the Development Review Board.

Thank you,



Dwayne Pino
Managing Member of Ameri-Contractors LLC



CITY OF
Albuquerque

Abuquerque **G**eographic **I**nformation **S**ystem
PLANNING DEPARTMENT

© Copyright 2000



Zone Atlas Page

C-13-Z

Map Amended through July 27, 2000



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: March 18, 2005

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1003763**
04EPC-01715 EPC Site Development Plan-
Building Permit

Dwayne Pino-Ameri Contractors LLC
P.O. Box 56883
Albuq. NM 87187

LEGAL DESCRIPTION: for all or a portion of Tract 17-A-3, **Eagle Ranch**, zoned SU-1 for C-2 and R-2, located at the north-northwest corner of PARADISE BLVD. NW, between PARADISE BOULEVARD NW and EAGLE RANCH ROAD NW, containing approximately 2 acres. (C-13) David Stallworth, Staff Planner

On March 17, 2005 the Environmental Planning Commission voted to approve Project 1003763/ 04EPC – 01715, a request for a site development plan for building permit for Tract 17-A-3, Eagle Ranch Subdivision, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. The request is for a site development plan for building permit to accommodate the proposed construction of a +/-11900-square-foot, two-story office building with limited retail use on a 1.23-acre site located at the north-northwest corner of Eagle Ranch Road, NW and Paradise Boulevard, NW.
2. The project meets the intent of *Policy II.B.5.e* of the *City/County Comprehensive Plan*, as adequate facilities and services exist or are planned to serve the project, no major public improvements or utility extensions are required to accommodate the project, and the project has access to existing transit facilities.
3. Through the use of ingenious building design, the inclusion of quality pedestrian-level amenities and landscaping and the facilitation of pedestrian connectivity with the neighboring apartment complex, the proposal will create a quality urban environment as articulated in *Policies II.B.5.d* and *II.B.5.l* of the *City/County Comprehensive Plan*.

4. Through effective separation of vehicular traffic generated by the project from the adjacent multi-family residential development and a reasonable allowance of parking reduction credits, the proposal should meet the intent of *Policy II.B.5.i* of the *City/County Comprehensive Plan*.
5. With the installation of most-direct pedestrian access to street level, the proposal should meet the intent of *Policy II.B.5.j* of the *City/County Comprehensive Plan*.
6. The project meets the intent of *Policy 3.8* of the *West Side Strategic Plan*, as it could potentially introduce employment generators within walking distance to existing residential uses. The proposed design provides a large mix of land use and high-density development within a recognized Community or Neighborhood Center.
7. The applicant is the recognized owner of the subject property and is therefore duly authorized to request this action.
8. At the January 20, 2005 public hearing, the Environmental Planning Commission voted to defer this project until February 17, 2005, in response to safety concerns that were raised by an agent of the owner of the adjacent multi-family development. A possible site plan amendment to remove the reciprocal parking and access arrangements imposed through a previous plat was discussed as an option. The Planning Commission charged both the applicant and the owner of the apartment complex with satisfactorily resolving any potential conflicts and concerns.
9. An internal audit revealed that staff adhered to proper notification procedures with respect to the January 20, 2005 public hearing.
10. On February 4, 2005, it was established that reciprocal parking arrangements in fact do not exist between the subject area and the adjoining parcel to the north and is therefore not an available option.
11. On February 4, 2005, both parties mutually agreed that the restriction or modification of C-2 land uses within the subject area was an appropriate mitigation tool; staff has not been furnished with a list of those exclusions and modifications, however.
12. A site development plan for a building permit to accommodate an 8518-square-foot commercial building with drive-thru service lanes, Z-99-48, was approved by the Environmental Planning Commission in 1999 with no recorded opposition from the general public. The proposed layout of this site plan depended upon access from both Eagle Ranch Boulevard and Paradise Boulevard and an existing reciprocal access easement between the subject parcel and the adjacent parcel to the north.
13. There is no known neighborhood or other oppositions.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals
2. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
3. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
4. Site plan shall comply and be designed per DPM Standards.
5. Fire flow requirements and fire hydrant placement locations must be verified through the City Fire Marshall's office and system capacity verified through NMUI prior to the issuance of any building permits.
6. An approved conceptual grading and drainage plan is required for site plan sign-off by the City Engineer.
7. On-site lighting shall be shielded to provide downward light emission and prevent both light trespass and upward light pollution.
8. The final site plan shall demonstrate pedestrian connections between the apartment complex and the project site. Additional vegetative shading, where applicable, shall be installed to augment pedestrian paths.
9. The final site plan shall demonstrate a most-direct pedestrian access either through the building or from Eagle Ranch along the northeastern edge of the building, topographic conditions notwithstanding.
- ~~10. Façade treatments and articulation of any proposed retaining walls will comply with §14-16-3-19 of the Zoning Code and shall be properly demonstrated prior to final plan approval.~~

OFFICIAL NOTICE OF DECISION
MARCH 17, 2005
PROJECT #1003763
PAGE 4 OF 5

11. Vegetative cover, such as vines or vegetated trellises, will be placed on any proposed retaining walls. A proportionate amount of evergreen trees or appropriate cover will be included alongside any retaining walls to break up the massing.
12. The developer shall be eligible to take advantage of a five-percent (5%) parking reduction, and all site-related parking shall be restricted to the subject area.
13. The developer shall provide for reasonable and satisfactory circulation internal to the site and access to guarantee this circulation.
14. The developer shall take any necessary and appropriate steps to mitigate potential site-related traffic and parking impacts upon the adjacent parcel to the north of the project area, whether through the use of landscape islands, signs or other traffic-calming devices.
15. Prior to final sign-off by the Development Review Board, the final site plan shall contain either
 - A. A list of excluded or modified C-2 land uses within the subject area and signatures from the owners of both the subject parcel and the adjacent parcel to the north, or
 - B. A statement proclaiming the site plan is bound to a duly recorded list of excluded or modified C-2 land uses as endorsed by the owners of both the subject parcel and the adjacent parcel to the north. Volume, page and date of recordation shall be provided.
 - C. Any further land use exclusions or modifications shall be subject to a site plan amendment.
16. The developer shall demonstrate that all on-site disability-related parking spaces contain appropriate access aisles.
17. The project will comply with all SWMD ordinances and requirements.
18. The building colors shall be adjusted to be earth tone and contextual with the surrounding neighborhoods.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY APRIL 1, 2005 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


Richard Dineen
Planning Director

RD/DS/ac

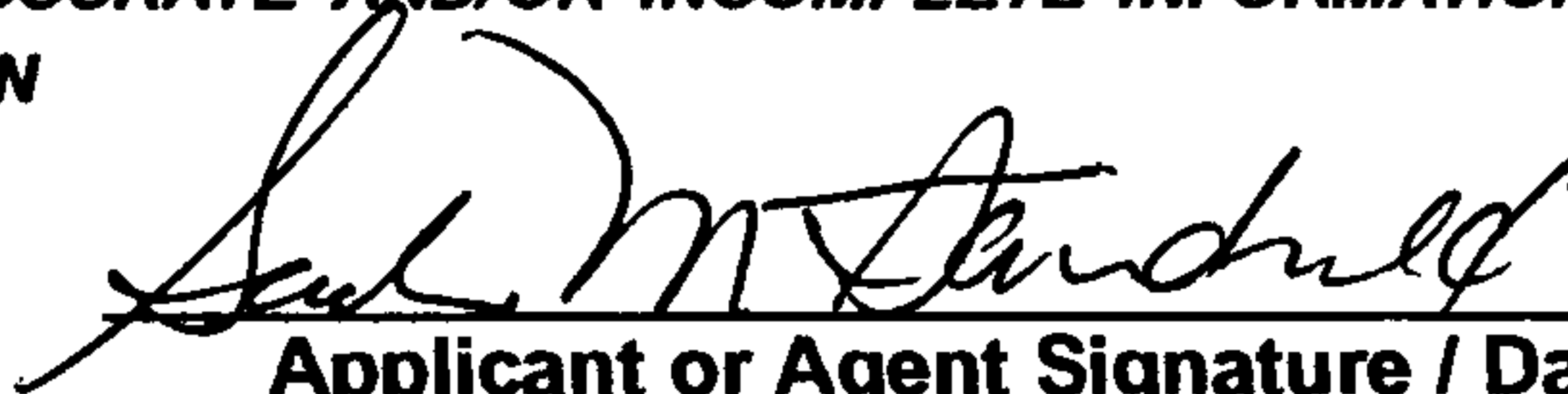
cc: Cladio Vigil Arch. 1801 Rio Grande NW, Albuquerque, NM 87104
Larry Weaver, Paradise Hills Civic Assoc., 6001 Unitas Ct. NW, Albuquerque, NM 87114
Tom Anderson, Paradise Hills Civic Asso., 10013 Plunkett Dr. NW, Albuquerque, NM 87114
Gerri Warner, Piedras Marcas NA, 8715 Tia Christina NW, Albuquerque, NM 87114
Susan Edison, Piedras Marcas NA, 9127 Laura Lee Pl. NW, Albuquerque, NM 87114
Julia Moore, Eagle Ranch NA, 9208 Clinton Anderson Dr. NW, Albuquerque, NM 87114
Fred Hampton, Eagle Ranch NA, 9620 Stone St NW, Albuquerque, NM 87114
Christine Lane Wheelock, 9251 Eagle Ranch Rd., Albuquerque, NM 87114

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 6.6.05
Applicant or Agent Signature / Date

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
 1.0 - 5.0 acres 1" = 20'
 Over 5 acres 1" = 50'
 Over 20 acres 1" = 100' *[Other scales as approved by staff]*
3. Bar scale
4. North arrow
5. Scaled vicinity map
6. Property lines (clearly identify)
7. Existing and proposed easements (identify each)
8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures
- B. Square footage of each structure and building footprint (if different from total square footage)
- C. Proposed use of each structure
- ~~NA~~ D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- ~~NA~~ G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- ~~NA~~ J. Elevation drawing of refuse container and enclosure, including location.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 55 provided: 55
Handicapped spaces required: 4 provided: 4
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 3
provided: 4
 - ~~NA~~ 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
- B. Identify Alternate transportation facilities within site or adjacent to site
 - ~~NA~~ 1. Bikeways and bike-related facilities
 - ~~NA~~ 2. Pedestrian trails and linkages
 - 3. Bus facilities, including routes, bays and shelters existing or required

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

4. Utilities

- 1. Property lines
- 2. Building Footprint
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Fire hydrant locations, existing and proposed.
- 5. Distribution lines
- 6. Existing and proposed water, sewer, storm drainage facilities (public and/or private).

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Method for meeting Water Conservation...Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location and detail of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations and/or contour lines (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

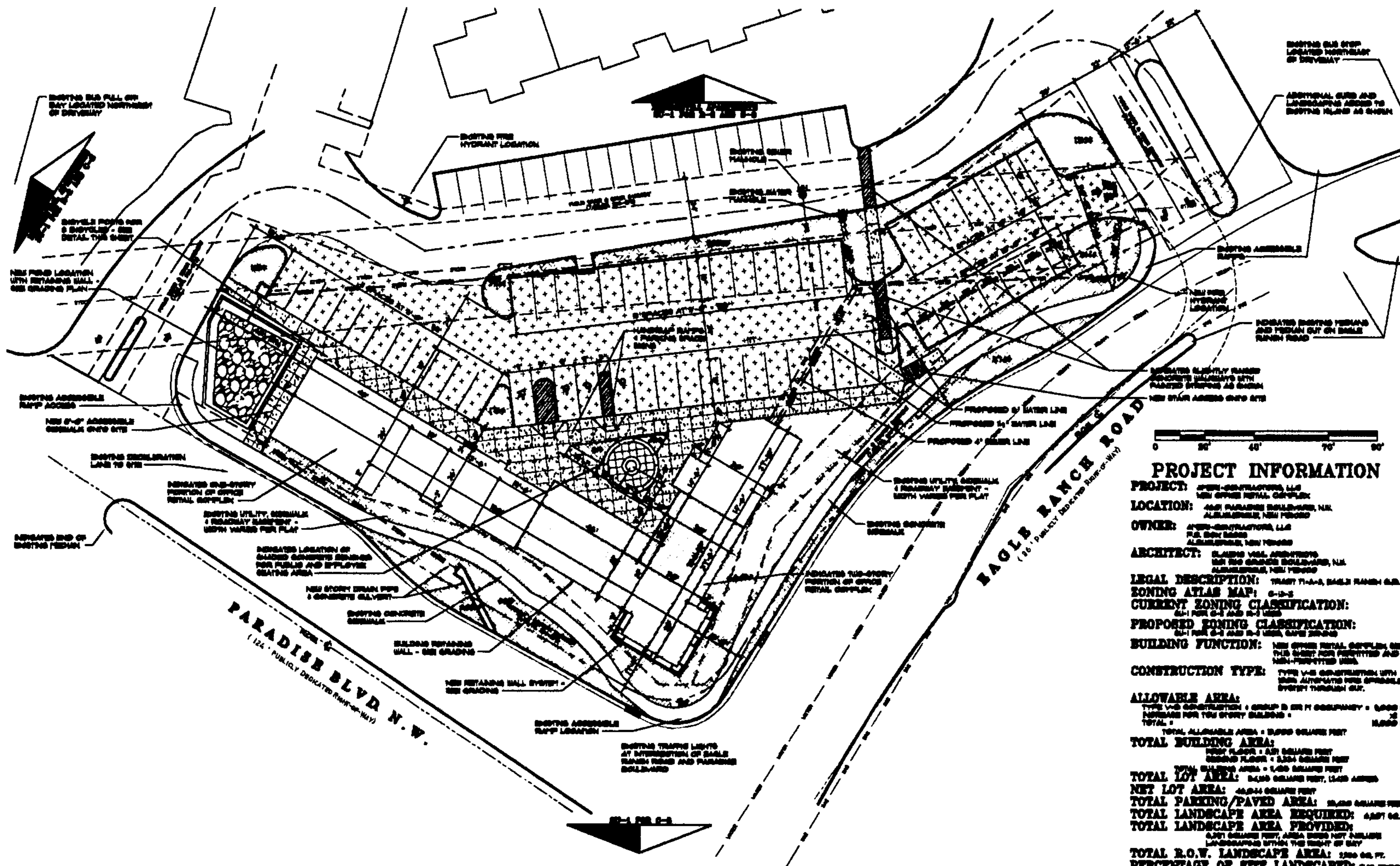
A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and "common name" colors of all building elements and structures
- NA E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

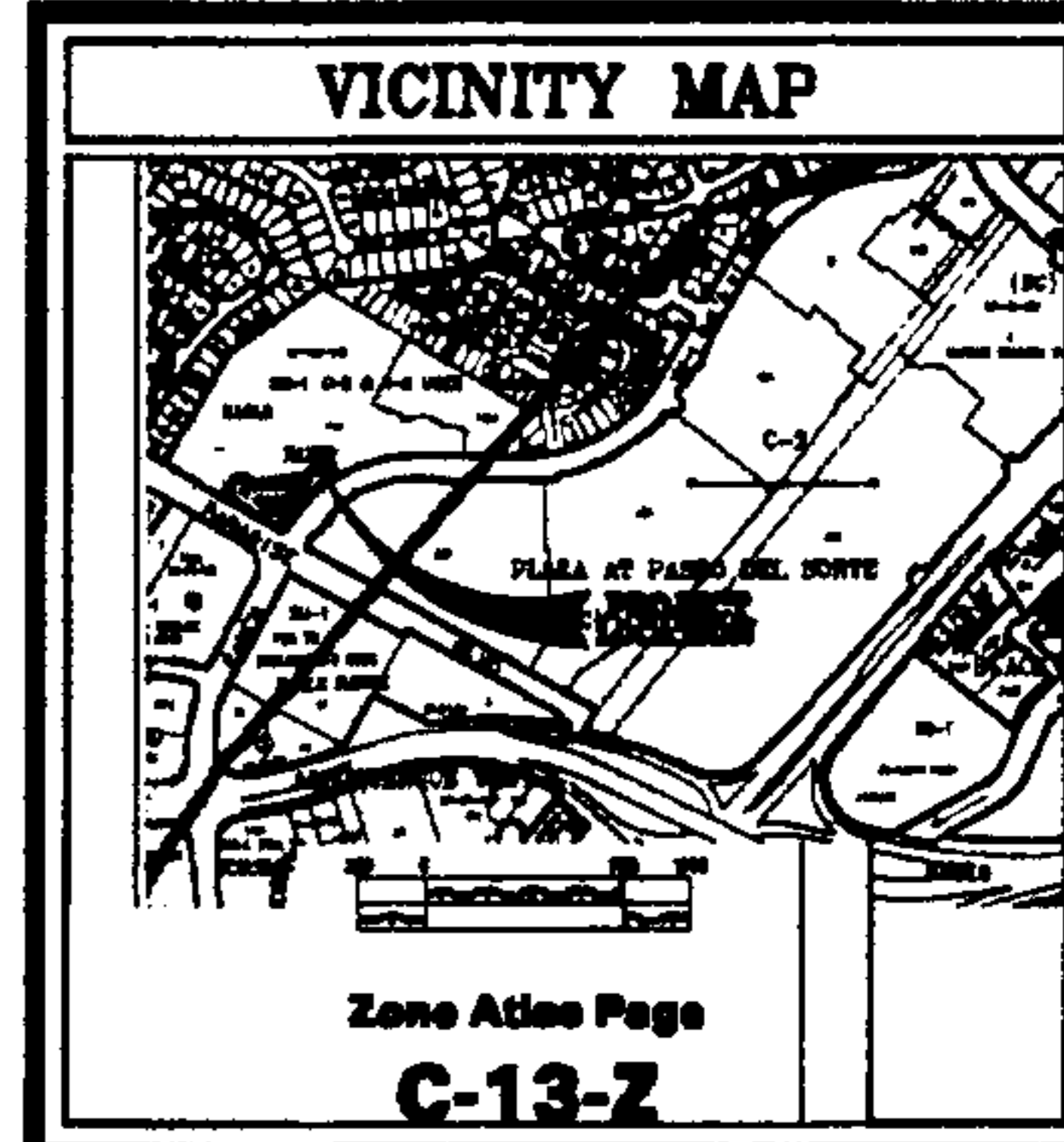
B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.



SIGNATURE BLOCK	
PROJECT NUMBER	180708
APPLICANT CASE NUMBER	CAEPC 61716
THIS PLAN IS SUBMITTED WITH THE ASSUMED THIS DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) WITHIN JANUARY 14, 2008 AND THE PERMITS AND CONSTRUCTION BY THE CITY OF ALBUQUERQUE, NEW MEXICO.	
IS AN INFRASTRUCTURE LIST NUMBER () YES () NO IF YES, THIS IS A LIST OF APPROVED SITE PLANS WITH A VIEW GIVEN IN RESPONSE FOR ANY CONSTRUCTION WITHIN FUTURE-DEVELOPMENT OR THE CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
SEE EACH DEVELOPMENT PLAN NUMBER APPROVAL:	
DATE SIGNATURE	DATE
DATE SIGNATURE	DATE
DATE SIGNATURE	DATE
DATE SIGNATURE	DATE
DATE SIGNATURE	DATE
DATE SIGNATURE	DATE
DATE SIGNATURE	DATE
DATE SIGNATURE	DATE



PROJECT INFORMATION

PROJECT: AMERI-CONTRACTORS, LLC
NEW OFFICE RETAIL COMPLEX

LOCATION: 4801 PARADISE BOULEVARD, N.W. ALBUQUERQUE, NEW MEXICO

OWNER: AMERI-CONTRACTORS, LLC
P.O. BOX 8000
ALBUQUERQUE, NEW MEXICO

ARCHITECT: CLAUDIO VIGIL ARCHITECTS
1801 NO GRANDE BOULEVARD, N.W. ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION: TRACT 71-A-8, EAGLE RANCH SUB.
ZONING ATLAS MAP: C-13-Z
CURRENT ZONING CLASSIFICATION: C-13-Z
PROPOSED ZONING CLASSIFICATION: C-13-Z
BUILDING FUNCTION: NEW OFFICE RETAIL COMPLEX SEE THIS SHEET FOR PERMITTED AND NON-PERMITTED USES.

CONSTRUCTION TYPE: TYPE V-B CONSTRUCTION WITH 100% AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT.

ALLOWABLE AREA:
TOTAL V-B CONSTRUCTION GROUP B OR F COMPANY = 3,000 SQ. FT.
TOTAL = 3,000 SQ. FT.

TOTAL ALLOWABLE AREA: 3,000 SQUARE FEET

TOTAL BUILDING AREA:
FIRST FLOOR = 3,000 SQUARE FEET
SECOND FLOOR = 3,000 SQUARE FEET
TOTAL BUILDING AREA = 6,000 SQUARE FEET

TOTAL LOT AREA: 24,000 SQUARE FEET, 13.68 ACRES

NET LOT AREA: 24,000 SQUARE FEET

TOTAL PARKING/PAVED AREA: 24,000 SQUARE FEET

TOTAL LANDSCAPE AREA REQUIRED: 4,800 SQ. FT.

TOTAL LANDSCAPE AREA PROVIDED: 4,800 SQUARE FEET, AREA DOES NOT INCLUDE LANDSCAPES WITHIN THE RIGHT-OF-WAY

TOTAL R.O.W. LANDSCAPE AREA: 12,000 SQ. FT.

PERCENTAGE OF SITE LANDSCAPED: 7.50 PERCENT

LANDSCAPE TO PARKING AREA RATIO: 1 TO 2.1

PARKING ANALYSIS:
1,000 SQUARE FEET / 200 = 5,000 PARKING SPACES
1,000 SQ. FT. PER 200 SQUARE FEET PER 500 = 2,000 PARKING SPACES (75% UNDER OFFUTER USE RULES)

TOTAL PARKING SPACES REQUIRED: 60 PARKING SPACES
TOTAL PARKING SPACES PROVIDED: 60 PARKING SPACES (INCLUDES 4 ADJACENT PARKING SPACES AND 1 CORNER)

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

JUNE 8, 2008 SCALE 1" = 10'-0" (S.A.)

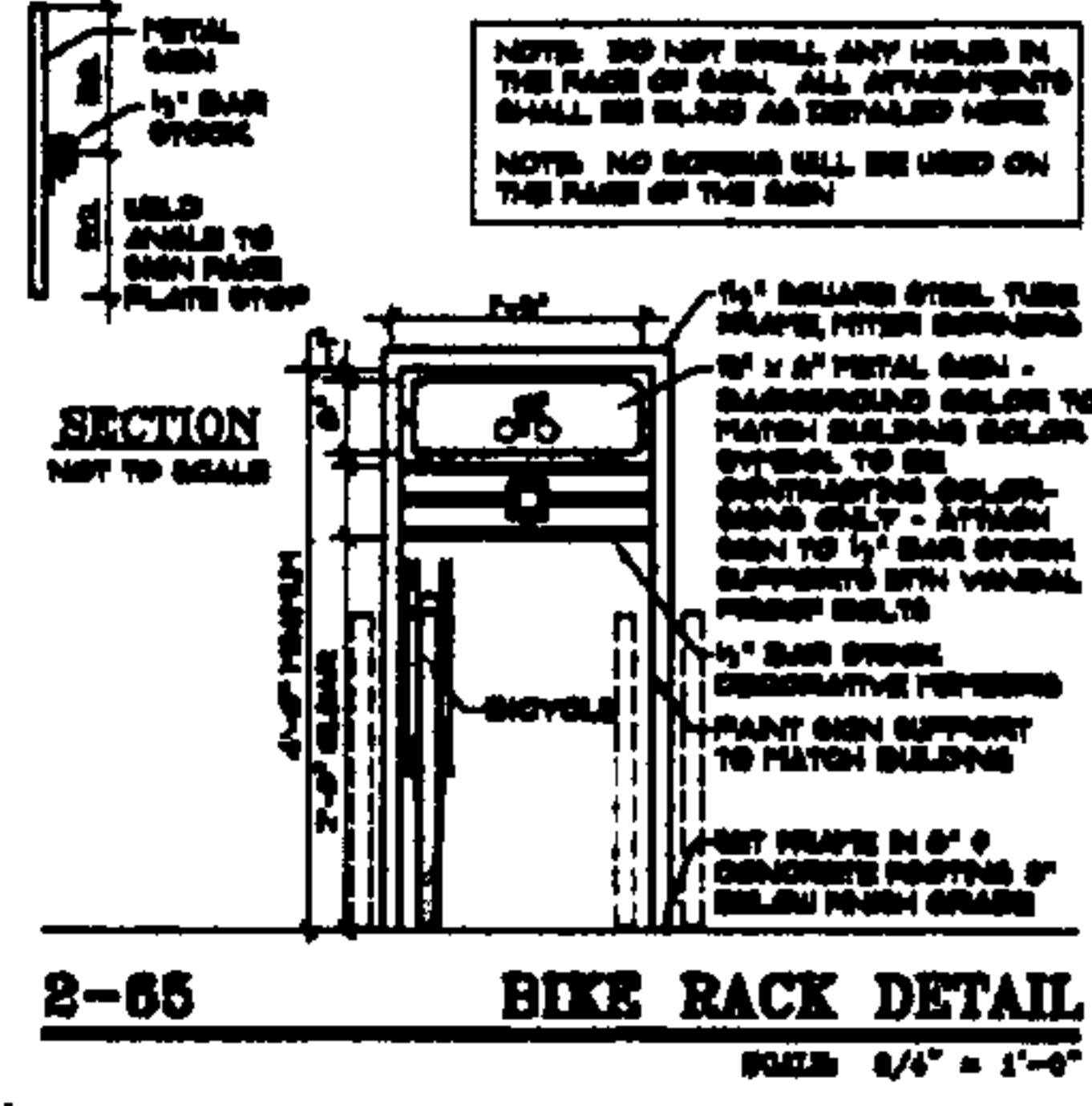
CLAUDIO VIGIL ARCHITECTS

AMERI-CONTRACTORS, LLC
OFFICE RETAIL COMPLEX
4801 PARADISE BOULEVARD, N.W.
ALBUQUERQUE, NEW MEXICO

SHRETT 1 of 5

OWNERSHIP OF INSTRUMENTS OF SERVICE
All design concepts, details, photos, qualifications, computer files, drawings, reports, and other documents and items created by Claudio Vigil Architects, P.C. are instruments of service and shall remain the property of Claudio Vigil Architects, P.C. Claudio Vigil Architects, P.C. shall retain all copyright and other intellectual property rights in the design and construction documents.

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Phone: 505/648-1113 Fax: 505/648-1390

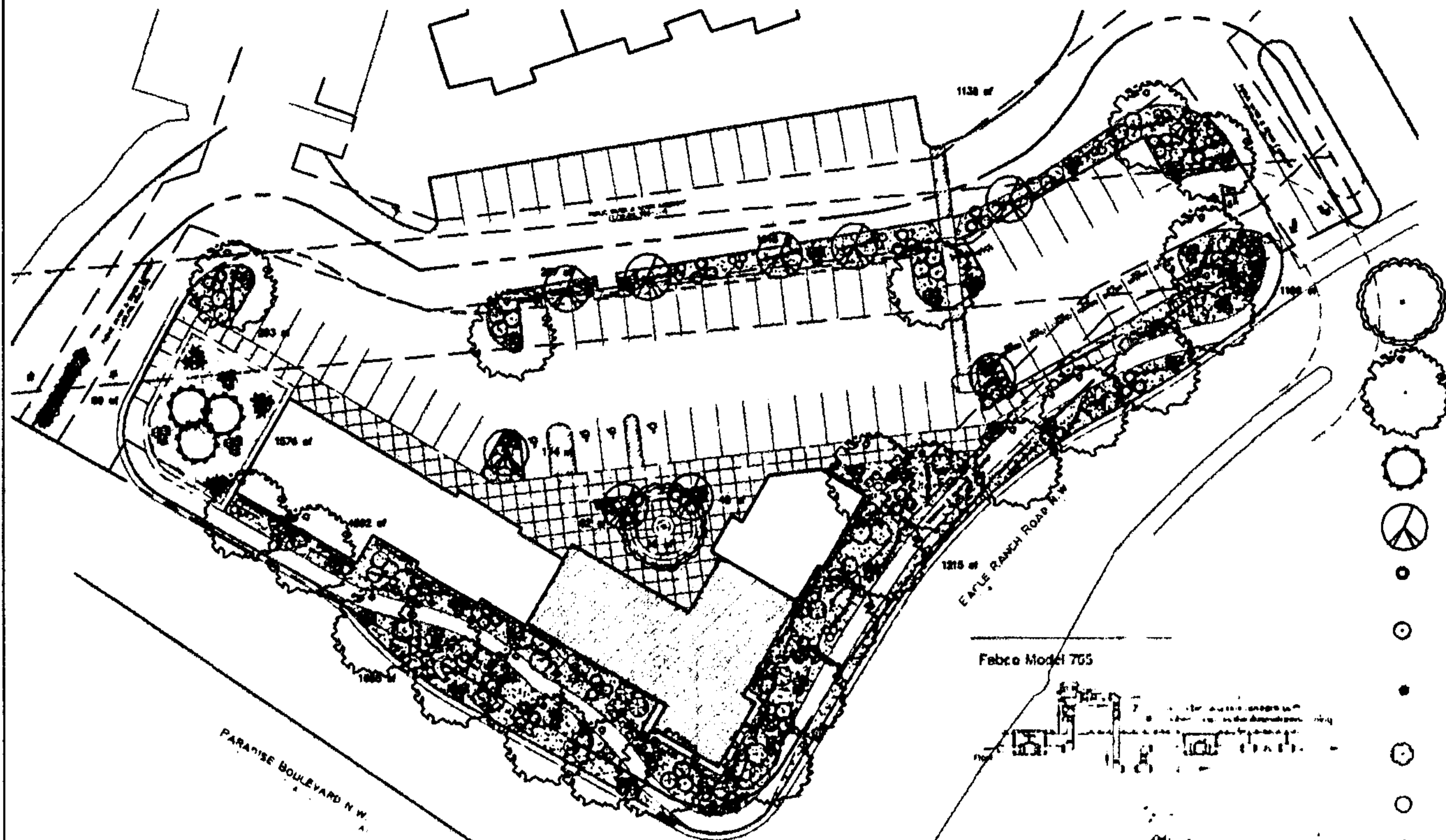


SITE PLAN LEGEND	
	INDICATES EXTENT OF LANDSCAPE AREAS AND SIZE OF EACH AREA. SEE SHEET 1 OF 5 FOR LANDSCAPE PLAN.
	INDICATES EXTENT OF ASPHALTIC CONCRETE PAVING OVER BASE COURSE.
	INDICATES EXTENT OF CONCRETE PAVING AND CURBWORK CONCRETE. CURBS, JOINTS AND GUTTERS.
	PROPERTY LINE
	EASEMENT BOUNDARY
	STORM DRAIN
	WATER LINE
	SEWER LINE
	EXISTING MANHOLE

PERMITTED USES

PERMITTED USES:
COMMERCIAL AND OFFICE PURPOSES AS PERMITTED BY THE ZONING REGULATIONS AND THE SALES FOR OR BY CONSTRUCTION BY A RESTAURANT, WHICH ARE INCIDENTAL TO FOOD SALES AND WHICH DO NOT EXCEED 50% OF SUCH RESTAURANT'S GROSS SALES REVENUE.

NON-PERMITTED USES:
NO BUSINESS OPERATION PRIMARILY USED AS A STORAGE WAREHOUSE OPERATION AND ANY MANUFACTURING, MANUFACTURING, DISTILLING, REFINING, BUT THE ASSOCIATION OR OPERATION, MOBILE HOME PARK, TRAILER COURT, LAKE CAMP, JURY/VAULT, STOCKYARD, BOTTLENECK, ASHLY BOWLING AND/OR ANY RECREATION WHERE PRINCIPAL BUSINESS IS SELLING OR EXHIBITING NATURAL, CULTURAL OR HISTORICALLY SIGNIFICANT MATERIAL, WHICH IS NOT A BUSINESS ESTABLISHMENT OR ANY NIGHT CLUB. NO ENTERTAINMENT THAT SERVES ALCOHOLIC BEVERAGES OR PACKAGE LUNCH SALES. NO ANTENNA SHALL BE EXPOSED. NO COMMERCIAL AND/OR OFFICE USE THAT CUMULATIVELY REQUIRES MORE THAN THIRTY (30) PARKING SPACES FOR EMPLOYEES WITHOUT CONSENT OF WEST PARK, LP.

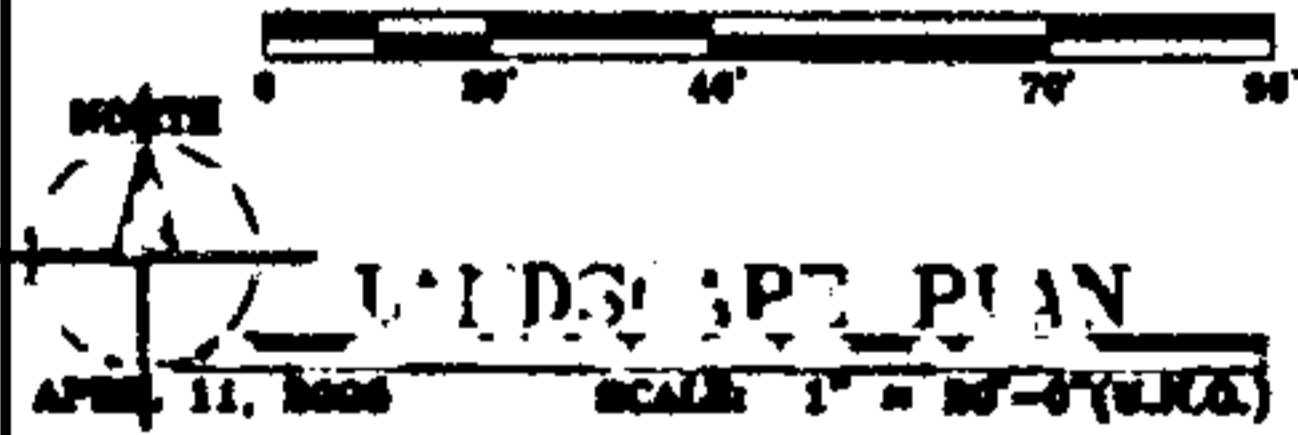


PLANT LEGEND

- GRACE PINEAPPLE (0) 1
Dwarf shrub
1' Cal.
- NEW JERSEY (0) 2
Dwarf shrub
2' Cal.
- NEW JERSEY (0) 3
Dwarf shrub
1' Cal.
- FLORIDA PEAR (0) 4
Dwarf shrub
2' Cal.
- LEAFY FIG (0) 5
Dwarf shrub
2' Cal.
- FRUIT BARK (0) 6
Dwarf shrub
2' Cal.
- FRUIT BARK (0) 7
Dwarf shrub
2' Cal.
- FRUIT BARK (0) 8
Dwarf shrub
2' Cal.
- FRUIT BARK (0) 9
Dwarf shrub
2' Cal.
- FRUIT BARK (0) 10
Dwarf shrub
2' Cal.
- FRUIT BARK (0) 11
Dwarf shrub
2' Cal.
- FRUIT BARK (0) 12
Dwarf shrub
2' Cal.
- FRUIT BARK (0) 13
Dwarf shrub
2' Cal.
- FRUIT BARK (0) 14
Dwarf shrub
2' Cal.
- FRUIT BARK (0) 15
Dwarf shrub
2' Cal.
- FRUIT BARK (0) 16
Dwarf shrub
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- FRUIT BARK (0) 17
Dwarf shrub
2' Cal.
- FRUIT BARK (0) 18
Dwarf shrub
2' Cal.
- FRUIT BARK (0) 19
Dwarf shrub
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Dwarf shrub
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- FRUIT BARK (0) 21
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- FRUIT BARK (0) 22
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2' Cal.
- FRUIT BARK (0) 23
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- FRUIT BARK (0) 26
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- FRUIT BARK (0) 28
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- FRUIT BARK (0) 29
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- FRUIT BARK (0) 32
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- FRUIT BARK (0) 33
Dwarf shrub
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- FRUIT BARK (0) 34
Dwarf shrub
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- FRUIT BARK (0) 35
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- FRUIT BARK (0) 36
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- FRUIT BARK (0) 42
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- FRUIT BARK (0) 44
Dwarf shrub
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- FRUIT BARK (0) 45
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- FRUIT BARK (0) 46
Dwarf shrub
2' Cal.
- FRUIT BARK (0) 47
Dwarf shrub
2' Cal.
- FRUIT BARK (0) 48
Dwarf shrub
2' Cal.
- FRUIT BARK (0) 49
Dwarf shrub
2' Cal.
- FRUIT BARK (0) 50
Dwarf shrub
2' Cal.



LANDSCAPE ARCHITECTS & CONSULTANTS
 Cont. Lic. 628488
 7808 Loma N.E.
 Albuquerque, NM 87104
 Ph. (505) 888-8888
 Fax (505) 888-7737
 website: www.hilltoplandscape.com



LANDSCAPE PLAN

APRIL 11, 2008 SCALE 1" = 20'-0" (N.T.S.)

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	54185	square feet
TOTAL BUILDINGS AREA	8129	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	46055	square feet
LANDSCAPE REQUIREMENT	155	square feet
TOTAL LANDSCAPE REQUIREMENT	6807	square feet
TOTAL BED PROVIDED	12081	square feet
GROUNDCOVER REQ.	735	square feet
TOTAL GROUNDCOVER REQUIREMENT	9081	square feet
TOTAL GROUNDCOVER PROVIDED	10570	square feet
TOTAL PONDING AREA	1578	square feet
TOTAL LANDSCAPE PROVIDED	13657	square feet

STREET TREE REQUIREMENTS

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street	Paradise Blvd.
Required §	Provided §
Name of Street	Eagle Ranch Road
Required §	Provided §

LANDSCAPE NOTES:
 Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply assumption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in accordance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Stable Area Top Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

BACKFLOW PREVENTOR DETAIL

IRRIGATION NOTES:
 Irrigation shall be a complete underground system with trees to receive (2) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubble systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is without of current drive and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

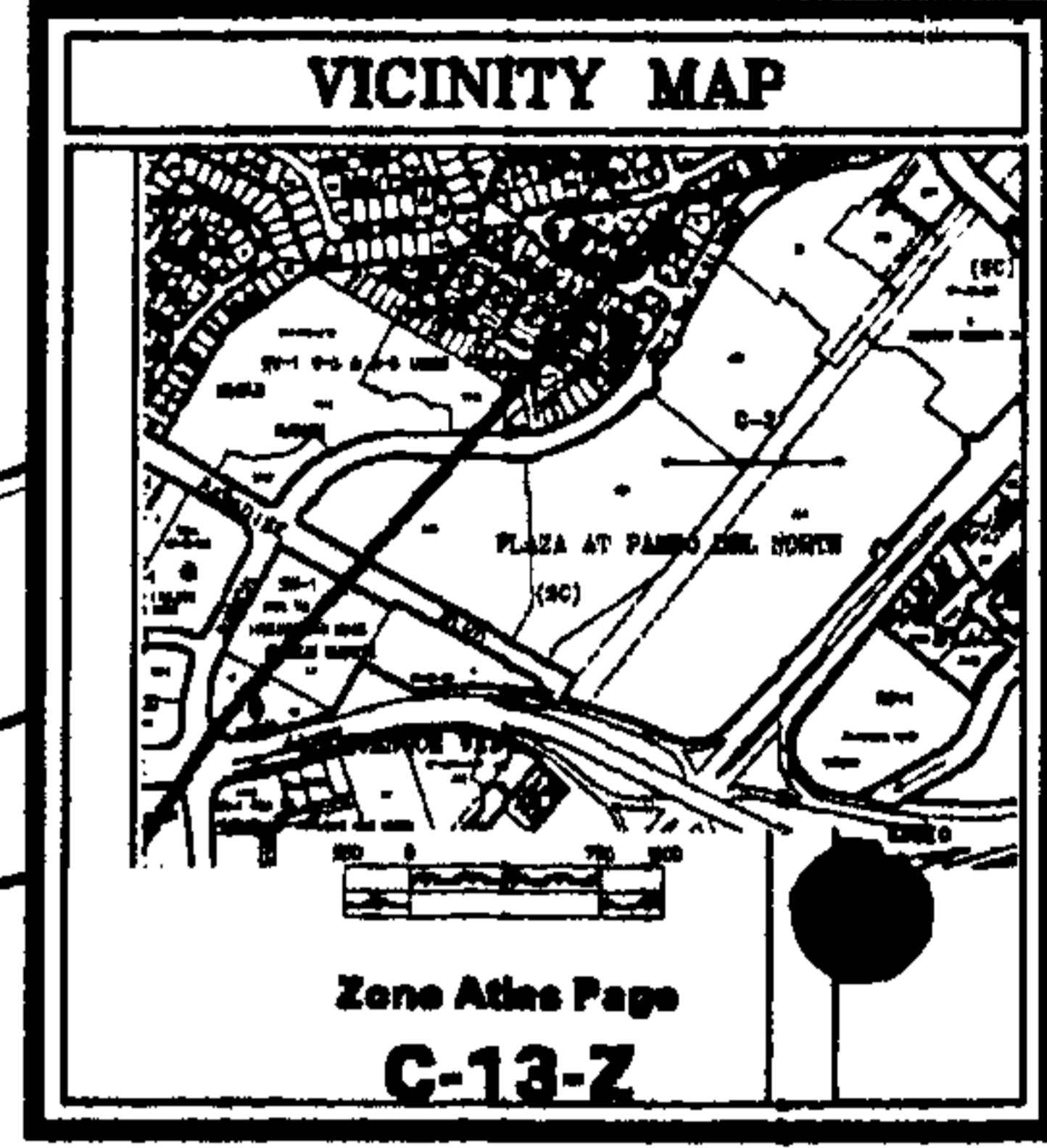
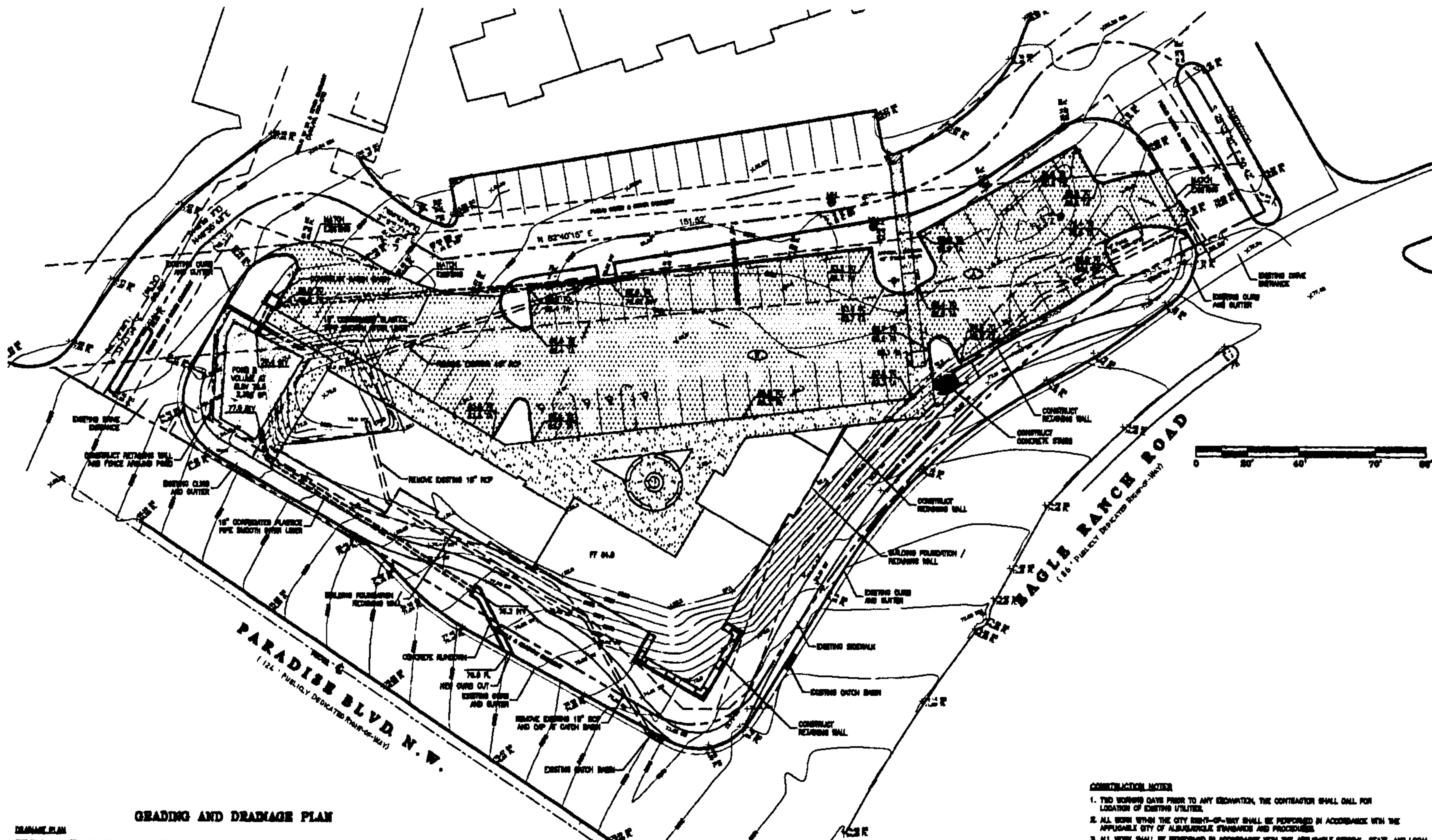
Water and Power source shall be the responsibility of the Developer/Builder.


CLAUDIO VIGIL ARCHITECTS
AMERI-CONTRAC OIL LLC
OFFICE RETAIL COMPLEX
 4801 PARADISE BOULEVARD, N.W.
 ALBUQUERQUE, NEW MEXICO



STATEMENT OF DISCLOSURE OF SERVICES
 I, the undersigned, have prepared the attached drawings for the project described above. I am not a duly licensed architect or engineer in the State of New Mexico. My services are limited to those specifically stated on these drawings. I am not responsible for the design or construction of any structure or other work shown on these drawings. I am not responsible for the accuracy of any information or data provided to me by others. I am not responsible for the accuracy of any information or data provided to me by others. I am not responsible for the accuracy of any information or data provided to me by others.

1881 No Grande St., Albuquerque, NM 87104
 Phone 505/248-1128 Fax 505/248-1000



ADDRESS:
401 PARADISE BLVD. N.W.
LEGAL DESCRIPTION:
TRACT 17-A-3 EAGLE RANCH ADDITION

ENCLOSURE:
THE BASIS OF SURVEY FOR THIS SURVEY IS AN IRON PIPER 2-012, LOCATED AT THE WEST CORNER OF PARADISE BLVD. & DAVIDSON STREET N.W. ELEVATION = 8158.0 FT.



GRADING AND DRAINAGE PLAN

DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING THE PARCEL, TRACT 17-A-3 EAGLE RANCH ADDITION GRADING AND DRAINAGE PLAN ARE CONTAINED HEREIN:

1. VICINITY MAP
2. PRELIMINARY GRADING PLAN
3. DRAINAGE CALCULATIONS

THE PROPOSED IMPROVEMENTS, AS SHOWN BY THE VICINITY MAP, ARE LOCATED ON THE NORTH SIDE OF PARADISE BLVD. AT THE INTERSECTION OF PARADISE BLVD. AND EAGLE RANCH ROAD. THE SITE IS UNDEVELOPED. THE LANDS TO THE SOUTH OF THE SITE ARE DEVELOPED. THE LANDS TO THE NORTH ARE DEVELOPED. THE PROPOSED IMPROVEMENTS ARE LOCATED ON THE WEST END OF THE SITE, ACCORDING TO THE MAP INDICATED. THE SITE DOES NOT LIE WITHIN THE FLOOD HAZARD ZONE.

THE SITE FALLS WITHIN BAINS 3 AND 4 OF THE WEST PARK APARTMENT MASTER DRAINAGE PLAN (DRAINAGE FILE C13-0008). THE MASTER PLAN ESTABLISHED A DISCHARGE RATE OF 14.3 CFS TO THE STREET AT PARADISE BLVD. THE SITE WILL RECEIVE DETENTION POND TO CONTROL THE RUNOFF.

THE GRADING PLAN SHOWS:

1. THE EXISTING GRADES, INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS.
2. THE PROPOSED GRADES BY SPOT ELEVATIONS.
3. THE LIFT AND CHARACTER OF EXISTING IMPROVEMENTS, AND
4. THE LIFT AND CHARACTER OF THE PROPOSED IMPROVEMENTS.

THE PROPOSED IMPROVEMENTS CONSIST OF A RETAINING FACILITY WITH ASSOCIATED PAVING AND LANDSCAPING.

THIS SITE IS NORTHERLY THAN PARADISE BLVD. TO THE SOUTH AND EAGLE RANCH ROAD TO THE EAST. THE LANDS NORTH ARE DEVELOPED WITH A PORTION OF THE RUNOFF DIRECTION TO THE EXISTING DETENTION POND. THE OFF SITE FLOWS FROM THE NORTH ARE COLLECTED AT THE EXISTING CATCH BASIN LOCATED ON THE SOUTH SIDE OF THE EXISTING DRIVE ALONG THE NORTH PROPERTY LINE. THE FLOWS ARE THEN INJECTED TO THE EXISTING DETENTION POND THROUGH AN EXISTING 18" RCP. THE FLOWS FROM THE WEST END POND ARE RELEASED TO THE EXISTING CATCH BASIN IN PARADISE BLVD. THROUGH AN 18" RCP.

THE PROPOSED DRAINAGE PLAN WILL ACCEPT THE OFF SITE FLOWS FROM THE DEVELOPMENT TO THE NORTH, INJECT THEM TO A NEW DETENTION POND LOCATED TO THE WEST OF THE EXISTING POND. THE EXISTING 18" RCP PIPE FROM THE EXISTING CATCH BASIN WILL BE REMOVED AND A NEW 18" CONCRETE PIPE SHALL BE INSTALLED TO ROUTE THE FLOWS TO THE NEW POND.

THE EXISTING DISCHARGE PIPE FROM THE EXISTING POND WILL ALSO BE REMOVED AND CAPPED. A NEW DRAIN PIPE WILL BE INSTALLED WHICH DISCHARGES TO PARADISE BLVD. THROUGH A CONCRETE MANHOLE.

THE SITE HAS BEEN DIVIDED INTO TWO SUBBASINS, BAIN 3 (SOUTH OF THE TOTAL SITE) AND BAIN 4 (NORTH OF THE TOTAL SITE).

BAIN 3 IS PART OF BAIN 4 OF THE WEST PARK APARTMENTS MASTER DRAINAGE PLAN. THE RUNOFF FROM BAIN 3 ALONG WITH THE OFFICE SITE FLOWS FOR BAIN 4, FLUW TO THE DETENTION POND 3 LOCATED AT WEST CORNER OF THE SITE. THE POND DISCHARGES TO PARADISE BLVD. AT A RATE OF 12.3 CFS.

THE COMBINED RATE OF DISCHARGE FROM BAIN 3 AND THE DETENTION POND IN BAIN 3 IS 13.8 CFS WHICH IS LESS THAN THE 14.3 CFS ALLOWED.

THE CALCULATIONS ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE 5-MINUTE, 100 YEAR RAINFALL EVENT. THE ANALYSIS IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCEDURE MANUAL, VOLUME 2, AS SHOWN BY THESE CALCULATIONS. THE RATE AND VOLUME OF RUNOFF WILL INCREASE BUT THE POND WILL RETAIN THE INCREASE. THIS PLAN IS IN CONFORMANCE WITH THE MASTER DRAINAGE PLAN.

CALCULATIONS

PRECIPITATION RATE = 1.57 INCHES
TOTAL SITE AREA = 1.34 ACRES

BAIN 3 (SOUTH OF TOTAL SITE)
AREA = 0.43 ACRES (30%)
EXISTING CONDITIONS
LAND TREATMENT: 0-70% 0-80%
C = 0.60(0.70)(1.57)(1.34) = 1.27 INCHES
V = 1.27(0.43) / 12 = 0.045 ACRE FEET
Q = (2.47)(0.70)(1.57)(0.43) = 1.44 CFS

DEVELOPED CONDITIONS
LAND TREATMENT: 0-70% 0-80%
C = 0.70(0.70)(1.57)(1.34) = 1.54 INCHES
V = 1.54(0.43) / 12 = 0.53 ACRE FEET
Q = (2.47)(0.70)(1.57)(0.43) = 3.34 CFS

INCREASE IN VOLUME OF RUNOFF = 0.065 ACRE FT
INCREASE IN RATE OF RUNOFF = 0.02 CFS

OFFICE SITE FLOWS FROM BAIN 4 0-10% CFS
ALLOWABLE DISCHARGE BAIN 3 AND 4 0-14.3 CFS
ALLOWABLE DISCHARGE FROM POND
14.3 CFS - 1.48 CFS = 12.76 CFS

18" DIA CONCRETE PIPE (SMOOTH INT)
D = 0.8888 FT/FT
A = 0.78 FT (0.14) = 1.77 SF
P = 1.8 FT (0.14) = 4.71 FT
R₁ = A/P = 1.77 SF/4.71 FT = 0.376 FT
Q = 1.25 (0.376)^3 A = 12.3 CFS

BASEL WELLS BAIN 3
T = 0.2 HR 0.30 A/M - 0.30(0.06) = 0.238 HR
T₁ = 2.10 E A/M - 0.30 A/M = 0.718 HR
T₂ = (0.718)(1.0-A)/A(1/10) = 0.108 HR
ALLOWABLE CHARGE DISCHARGE RATE
Q_{all} = 12.3 - 10.8 = 1.5 CFS
V_{pond} = 2.00 CF

POND WELLS POND 3
VOLUME OF WATER FLOW DURING (BOTTOM AT 8077.0)
V = (0.01(0.06)(0.06)) = 2.38 CF

- LEGEND:**
- S.I.D. EXISTING SPOT ELEVATION
 - S.I.D. NEW SPOT ELEVATION
 - D— D EXISTING CONTOUR
 - D— D NEW CONTOUR
 - S— S WALL
 - S— S VERTICAL ELEVATION
 - S— S AS BUILT ELEVATION
 - S— S BAIN BOUNDARY
 - S— S BAIN IDENTIFICATION
 - S— S PROPERTY LINE
 - F.L. FLOW LINE
 - S.H.V. SHED
 - T.A. TOP OF ASPHALT
 - T.C. TOP OF CURB
 - T.G. TOP OF GRADE
 - T.C. TOP OF CONCRETE SLAB
 - T.W. TOP OF WALL
 - T.B.M. TEMPORARY BENCH MARK
 - G.R. GRAVEL
 - A.P. ASPHALT PAVING
 - C. CONCRETE

- CONTRACTOR NOTES:**
1. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL FOR LOCATION OF EXISTING UTILITIES.
 2. ALL WORK WITHIN THE CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE CITY OF ALBUQUERQUE ORDINANCES AND PROCEDURES.
 3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, LAWS, AND RULES CONCERNING SAFETY AND HEALTH.
 4. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS AND INFORM THE ARCHITECT/ENGINEER OF ANY DISCREPANCY BETWEEN THE INFORMATION SHOWN ON THE PLANS AND THOSE OF THE EXISTING SITE.
 5. THE CONTRACTOR SHALL PROVIDE THE ARCHITECT/ENGINEER WITH AN AS BUILT SURVEY FOR ENGINEER'S CERTIFICATION.
 6. THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE EXISTING AND NEW ELEVATIONS (OTHER FLOORS, TYPE OF CURBS AND ASPHALT, FLOW LINE, PIPE, INVERTS, ETC.) ON THE RECORD SET. THE RECORD SET SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ARCHITECT AT ANY TIME DURING CONSTRUCTION. UPON COMPLETION OF THE PROJECT, THE RECORD SET SHALL BE TURNED OVER TO THE OWNER.
 7. THE OWNER / CONTRACTOR SHALL NOTIFY A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO BEGINNING OF CONSTRUCTION.
 8. CONTRACTOR SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SPECIFIC TO THIS PROJECT.
 9. ALL POND BOTTOMS SHALL RECEIVE GRASS AND FILTER FABRIC (SEE LANDSCAPE PLAN).
- FACILITY ACCESSIBILITY:**
ALL SURFACES ALONG THE ACCESSIBLE ROUTE SHALL COMPLY WITH AND A117-1188B.
- WALKING SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTENT. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:12 WITH A CROSS SLOPE NOT STEEPER THAN 1:48.
- CURB RAMP AND RAMP FLOWS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12 WITH A CROSS SLOPE NOT STEEPER THAN 1:48. COUNTER SLOPES OF ADJACENT OUTSIDE AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP OR ACCESSIBLE ROUTE SHALL NOT BE STEEPER THAN 1:25. TRANSITIONS FROM RAMP TO WALKING SURFACES OR STREETS SHALL BE AT THE SAME LEVEL. CURB POSITIONS MUST WALK ACROSS A CURB RAMP, THE RAMP SHALL HAVE FLARED SIDES WITH SLOPES NOT STEEPER THAN 1:12. WHERE THE TOP OF THE RAMP PARALLEL TO THE RUN OF THE RAMP IS LESS THAN 48 INCHES WIDE, THE FLARED SIDES SHALL HAVE A SLOPE NOT STEEPER THAN 1:12.
- HANDICAP PARKING SPACES AND ACCESSIBLE AREAS SHALL HAVE SURFACE SLOPES NOT STEEPER THAN 1:48. ACCESSIBLE AREAS SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE.
- TRAFFIC CONTROL:**
THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS AND SERVICES. ALL SIGNS, BARRIERS, OBSTRUCTION DEVICES, SIGN FRAMES AND STRUCTURES OF SUCH DEVICES SHALL COMPLY WITH THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION PRIOR TO CONSTRUCTION PRIOR TO CONSTRUCTION. THE TRAFFIC CONTROL PLAN SHALL BE SUBMITTED AND APPROVED BY THE GOVERNING AUTHORITY.

PRELIMINARY DRAINAGE PLAN
MAY 18, 2024 SCALE 1" = 20' (N.T.S.)

CLAUDIO VIGIL ARCHITECTS

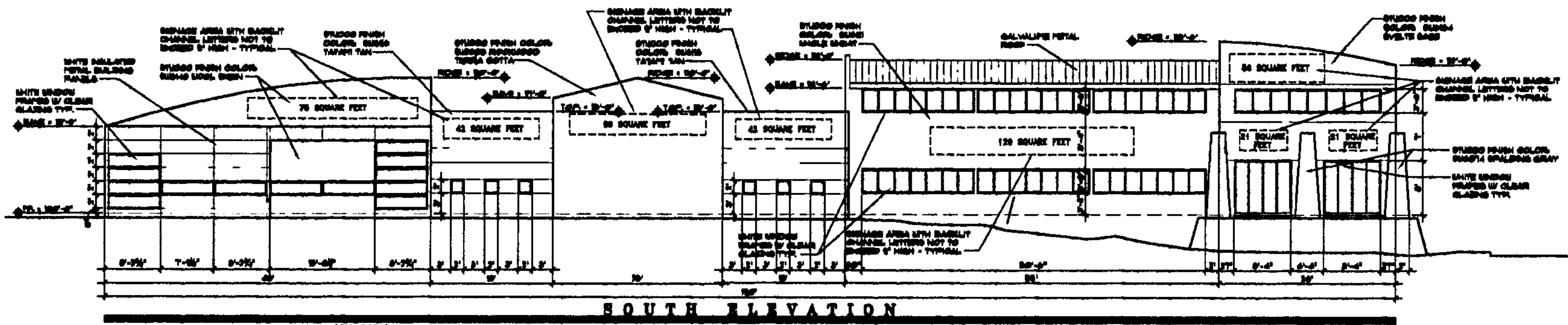
AMERI-CONTRACTORS, LLC
OFFICE RETAIL COMPLEX
4001 PARADISE BOULEVARD, N.W.
ALBUQUERQUE, NEW MEXICO

SHEET
3
of
5

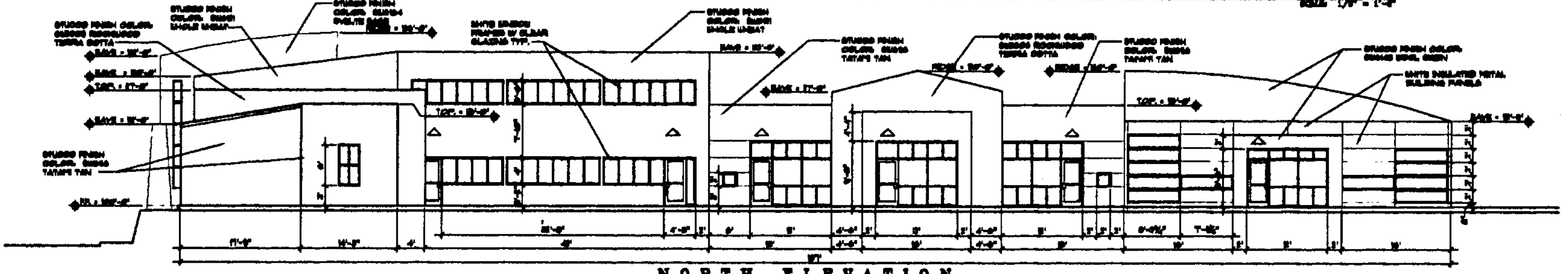
PROPERTY NUMBER
R4580

OWNERSHIP OF INSTRUMENTS OF SERVICE
All other instruments, including, but not limited to, subdivision maps, shall only be valid and enforceable if they are prepared by Claudio Vigil Architects, P.C. as independent contractors. Claudio Vigil Architects, P.C. shall retain all copyright, ownership and other proprietary rights in the instruments of service.

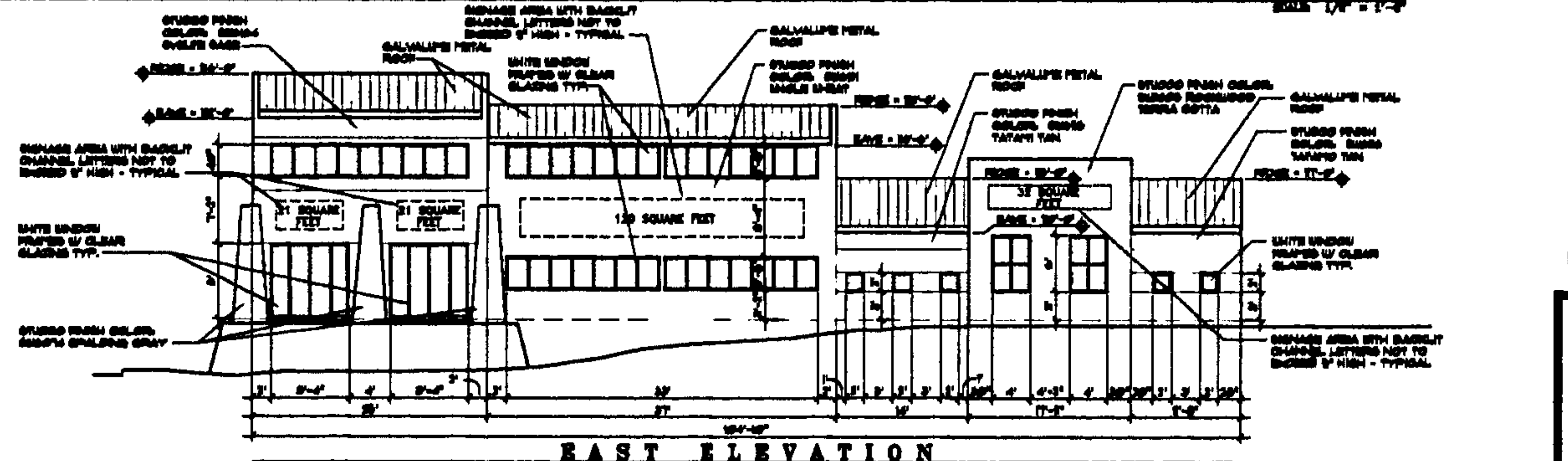
1801 No Grande NW, Albuquerque, NM 87104
Phone: 505/848-1115 Fax: 505/848-1330



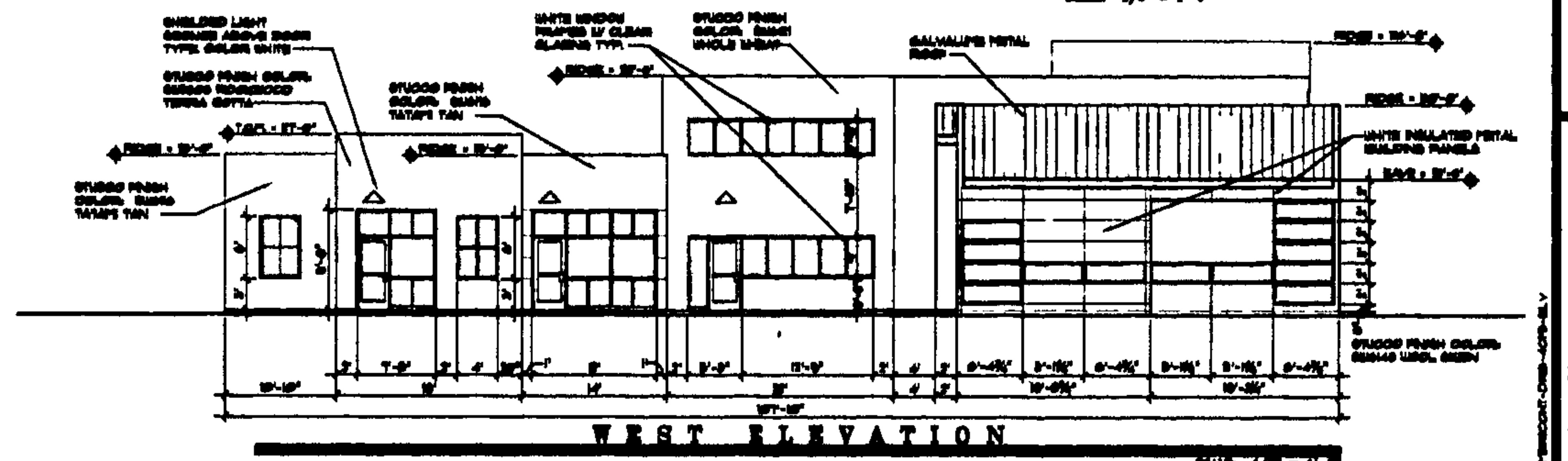
SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION

COLOR LEGEND

STUCCO FINISH COLOR: SANDY TAUPE TAN	LIGHT GOLDEN TAN COLOR
STUCCO FINISH COLOR: SANDY TAUPE TAN	GOLDEN SANDY COLOR
STUCCO FINISH COLOR: SANDY TAUPE TAN	PERUPT TAN COLOR
STUCCO FINISH COLOR: SANDY TAUPE TAN	FIFTY TERRA COTTA COLOR
STUCCO FINISH COLOR: SANDY TAUPE TAN	NATURAL SAND GREEN COLOR
STUCCO FINISH COLOR: SANDY TAUPE TAN	PERUPT GRAY BROWN COLOR



EXTERIOR ELEVATIONS
JUNE 8, 1988 SCALE 1/8\"/>

CLAUDIO VIGIL ARCHITECTS

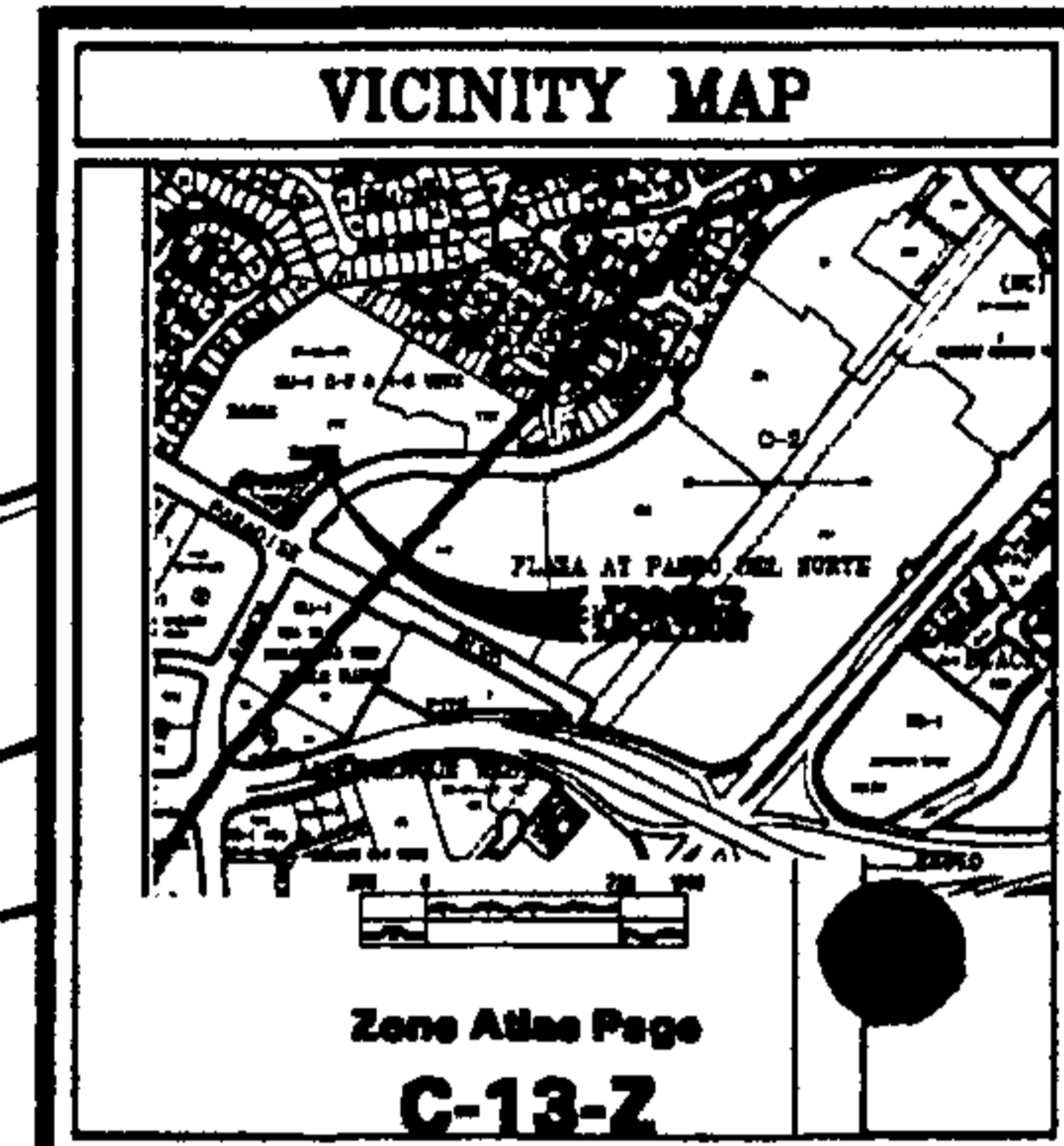
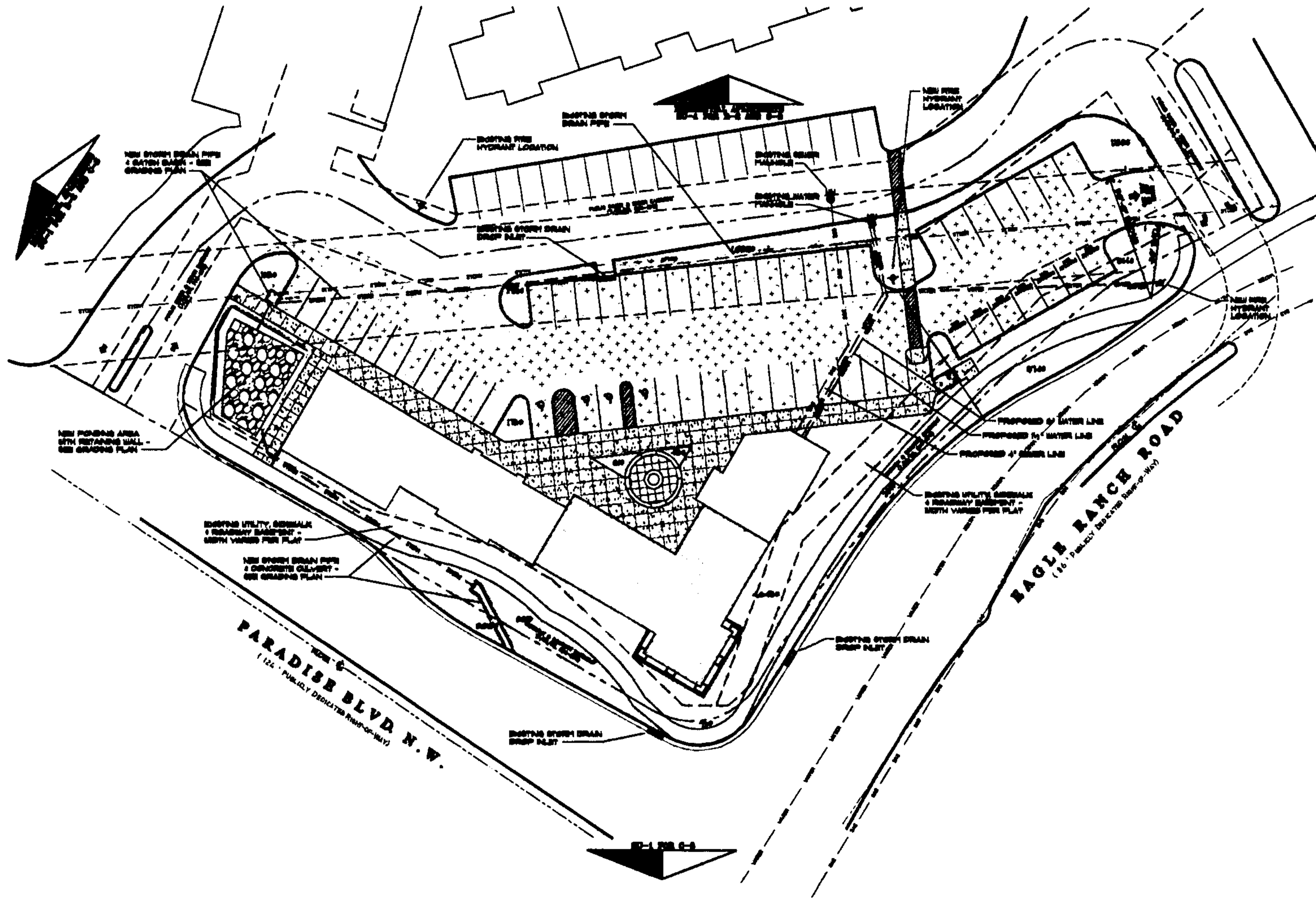
AMERI-CONTRACTORS OFFICE RETAIL COMPLEX
4801 PARADISE BOULEVARD, N.W.
ALBUQUERQUE, NEW MEXICO

SHEET
4
of
5

PROJECT NUMBER
84880

OWNERSHIP OF INSTRUMENTS OF SERVICE
All design concepts, details, plans, specifications, contracts, permits, field notes, reports and other documents and instruments prepared by Claudio Vigil Architects, P.C. are instruments of service and shall remain the property of Claudio Vigil Architects, P.C. Claudio Vigil Architects, P.C. shall retain all common law, statutory and other reserved rights including the copyright therein.

1801 No Grande NW, Albuquerque, NM 87104
Phone: 505/848-1113 Fax: 505/848-1890



SITE PLAN LEGEND

	INDICATES EXTENT OF LANDSCAPE AREAS AND SIZE OF EACH AREA. SEE SHEET 3 OF 5 FOR LANDSCAPE PLAN.
	INDICATES EXTENT OF ASPHALT CONCRETE PAVED OVER BASE COURSE.
	INDICATES EXTENT OF CONCRETE PAVING AND CONCRETE SIDEWALKS. CONTROL JOINTS AS SHOWN.
	PROPERTY LINE
	EASEMENT BOUNDARIES
	STORM DRAIN
	WATER LINE
	SEWER LINE
	EXISTING MANHOLE



CLAUDIO VIGIL ARCHITECTS

AMERI-CONTRACTORS, LLC
OFFICE RETAIL COMPLEX
4801 PARADISE BOULEVARD, N.W.
ALBUQUERQUE, NEW MEXICO

SHEET 5 of 5

PROJECT NUMBER: 04880

OWNERSHIP OF INSTRUMENTS OF SERVICE
All design concepts, details, plans, specifications and documents prepared by Claudio Vigil Architects, P.C. as instruments of service shall remain the property of Claudio Vigil Architects, P.C. Claudio Vigil Architects, P.C. does not accept any liability for the accuracy and other content of these instruments of service.

1801 Rio Grande NW, Albuquerque, NM 87104
Phone: 505/848-1115 Fax: 505/848-1390

**EASEMENTS WITH COVENANTS AND
RESTRICTIONS AFFECTING LAND (ECR)**

THIS AGREEMENT is made as of the 25th day of May, 2005, between AMERI-CONTRACTORS, LLC., ("Ameri-Contractors"), and WEST PARK RESIDENCE LP ("West Park LP").

WITNESSETH:

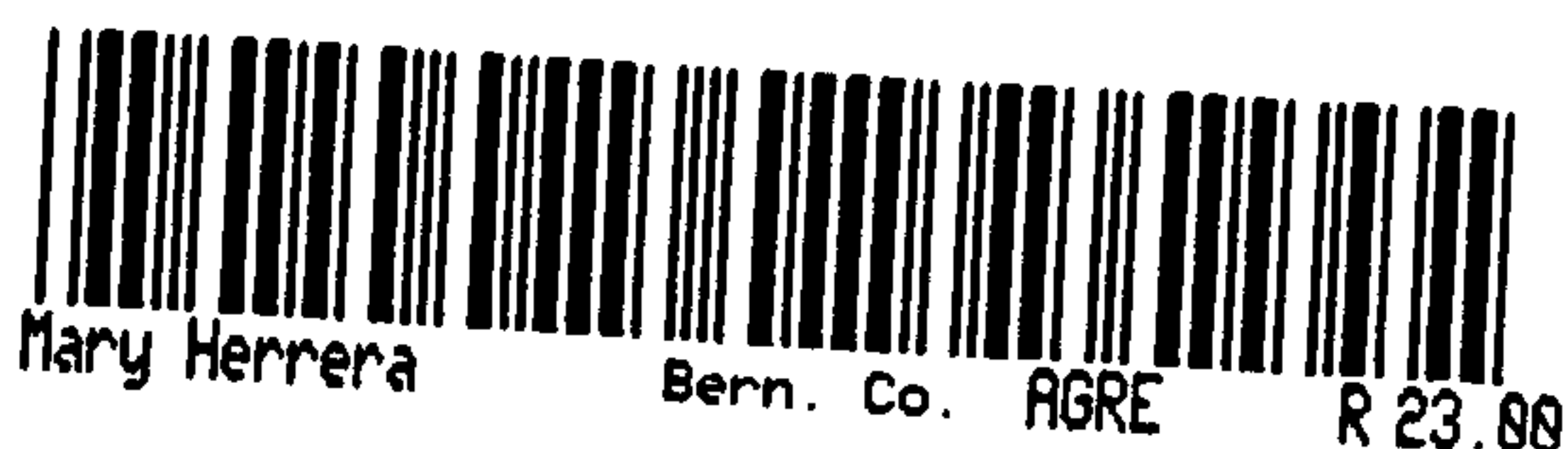
WHEREAS, Ameri-Contractors is the owner of that certain real estate situate within Bernalillo County, New Mexico being more particularly described in Exhibit A hereof (the "Ameri-Contractors Property");

WHEREAS, West Park LP is the owner of that certain real estate situate within Bernalillo County, New Mexico being more particularly described in Exhibit B hereof (the "West Park LP Property"); and

WHEREAS, Ameri-Contractors and West Park LP desire that the Ameri-Contractors Property and the West Park LP Property be subject to the easements and the covenants, conditions and restrictions hereinafter set forth;

NOW, THEREFORE, for and in consideration of the premises, easements, covenants, conditions, restrictions, and encumbrances contained herein, the sufficiency of which is hereby acknowledged, Ameri-Contractors and West Park LP do hereby agree as follows:

1. Use. The Ameri-Contractors Property shall only be used for commercial and office purposes permitted by the applicable zoning regulations. Ameri-Contractor specifically agrees that no business operation primarily used as a storage warehouse operation and any assembling, manufacturing, distilling, refining, smelting, agricultural, or mining operation, mobile home park, trailer court, labor camp, junkyard, stockyard, mortuary, adult bookstore and or any establishment whose principal business is selling or exhibiting material containing sexually explicit matter, bingo hall, or other gaming establishment or any nightclub shall occupy space on the Ameri-Contractors Property. Ameri-Contractors agrees that no establishment that serves or sells alcoholic beverages or package liquor sales shall occupy space on the Ameri-Contractors Property without West Park LP's consent. Notwithstanding the foregoing, beer and wine sales for on-site consumption by a restaurant, which are incidental to food sales and which do not exceed 35% of such restaurant's gross sales revenue, are expressly permitted on the Ameri-Contractors Property without the consent of West Park, LP. Ameri-Contractors agrees that no antenna shall be erected on the Ameri-Contractors Property without West Park LP's consent. Additionally, the Ameri-Contractors property shall not be used for any commercial and/or office use that cumulatively requires more than Thirty (30) parking spaces for employees without the consent of West Park LP. The West Park LP Property shall only be used for residential apartments as permitted by the applicable zoning regulations and ancillary uses in connection therewith. The Ameri-Contractors Property and the West Park LP Property can be used for any other reasonable use not prohibited by local ordinance and consented to on a case-by-case basis by the other party. In the event



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that a non-permitted use is consented to for either the West Park LP Property or the Ameri-Contractors Property, such consent by the other party shall not be deemed a waiver of any of the prohibitions in this Agreement for any other non-conforming future use.

2. Easements. Ameri-Contractors and West Park LP acknowledge the access easement as shown on the plat of the properties.

3. Refuse container. West Park LP agrees to maintain and provide Ameri-Contractors its successors, assigns and tenants access to commercial refuse containers located on the West Park LP Property in locations reasonably convenient to the Ameri-Contractors Property but other wise as determined by West Park LP from time to time in its sole and absolute discretion. Ameri-Contractors agrees to pay for any additional expense associated with its, its successors, assigns or tenants use of such commercial refuse containers including but not limited to additional refuse removal charges due to increased volume within fifteen (15) days following West Park LP's demand therefor. Ameri-Contractors its successors, assigns and tenants shall not utilize the refuse containers for construction debris, environmentally designated material, medical supplies and/or other chemicals which may be harmful, as per city codes and ordinances. Ameri-Contractors will ensure that the volume of refuse placed in any one of West Park LP's refuse containers will not exceed the capacity of same and shall at all times ensure that all refuse generated by Ameri-Contractors and its tenants, employees, invitees, customers, and agents, is placed in such containers and that the area around the refuse containers is maintained in a clean and neat condition. In the event additional capacity or more frequent removal is required, Ameri-Contractors shall notify West Park LP of the increased requirements and West Park LP shall make arrangements to satisfy the increased need in accordance with this paragraph; provided that Ameri-Contractors' shall pay for any increased expenses as a result thereof as provided in the second sentence of this Section 3.

4. Signs. No sign shall be located on the access easement as shown on the plat of the properties located between the Ameri-Contractors Property and the West Park LP Property except the existing monument sign advertising the business conducted thereon and directional/parking signs. The monument sign located on the access easement shared by the Ameri-Contractors Property and the West Park LP Property shall be used by both West Park LP and Ameri-Contractors and each shall pay a percentage of the reasonable maintenance and utility costs thereof shared prorata by the parties based on allocated usage. Upon consent of both parties and approval of the City of Albuquerque, an additional sign located on the apex of the corner of Paradise Boulevard and Eagle Ranch Road may be erected at the shared cost of the parties with the design and allocation of shared space mutually agreed upon. In the event such sign is erected, the maintenance and utility costs shall be shared prorata by the parties based on allocated usage. No signs advertising alcohol products or sales shall be displayed on the exterior of Ameri-Contractors Property or the West Park LP Property without the consent of the other party, which consent may be withheld in such party's sole and absolute discretion. West Park LP shall reimburse Ameri-Contractors for its share of the reasonable



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maintenance and utility costs of such signs upon 30 days written notice accompanied by reasonable evidence of the amount of such maintenance costs.

5. Name usage. Both West Park LP and Ameri-Contractors agree that both parties are allowed to be identified with the name "West Park" and may use said name and its associated logo for advertising and identification purposes.

6. Indemnification/Insurance.

a. Indemnification. Each party hereby indemnifies and defends and saves the other party harmless from any and all liability, damage, expense, causes of action, suits, claims, or judgments (including without limitation reasonable attorney's fees and cost of suit) arising from personal injury, death, or property damage and occurring on or from its own property or from the breach of this Agreement, except to the extent caused by the act or neglect of the other party hereto; provided, however, that Ameri-Contractors shall indemnify and hold West Park LP, its general and limited partners, and its employees, contractors, successors and assigns, harmless from and against any loss, liability, damage, injury, cost or expense (including reasonable attorneys' fees and court costs) relating to claims for personal injury or death or property damage arising from any access to or use of the refuse containers on West Park LP's property pursuant to Section 3 above by Ameri-Contractors, its members, its employees, its tenants or the employees thereof, or the invitees or representatives of them, and its successors and assigns, except to the extent caused by the gross negligence or willful misconduct of West Park LP.

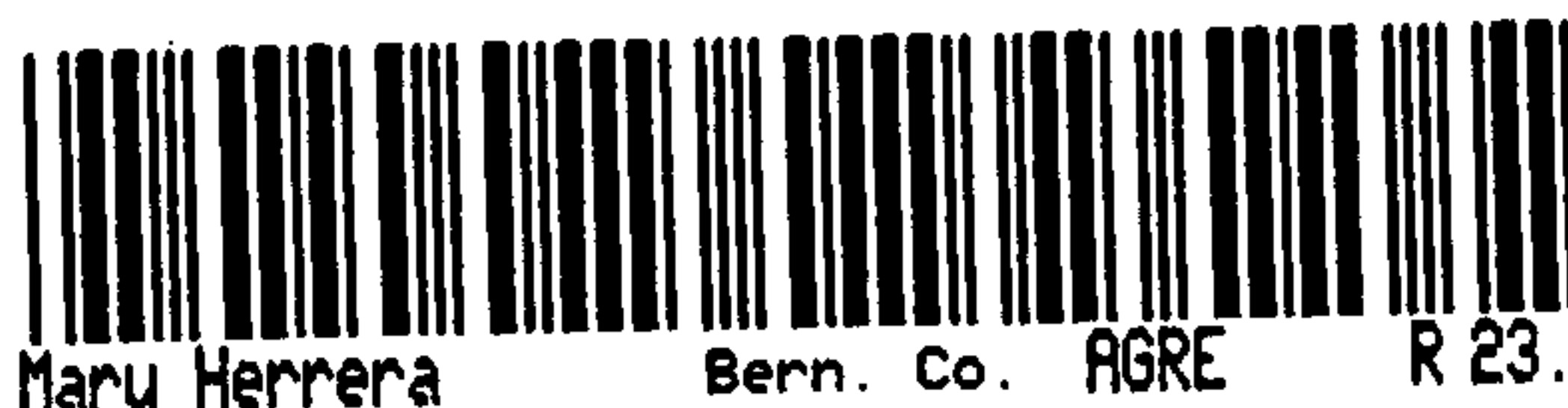
b. Insurance.

(1) Each party shall procure and maintain in full force and effect throughout the term of this Agreement general public liability insurance and property damage insurance against claims for personal injury, death or property damage occurring upon, in or about its property in reasonable amounts.

(2) At all times during the term of this Agreement, Ameri-Contractors and West Park LP shall keep improvements on their respective property insured against loss or damage by fire and other perils and events as may be insured against under the broad form of Uniform Extended Coverage Clause in effect from time to time in the state in which the property is located, with such insurance to be for the full replacement value of the insured improvements.

7. Eminent Domain.

a. Owner's Right to Award. Nothing herein shall be construed to give either party any interest in any award or payment made to the other party in connection with any exercise of eminent domain or transfer in lieu thereof affecting said other party's tract or giving the public or any government any rights in said tract. In the event of any exercise of eminent domain or transfer in lieu thereof of any part of the Ameri-Contractors Property or the West Park LP Property, the award



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attributable to the land and improvements of such portion so taken shall be payable only to the owner thereof, and no claim thereon shall be made by the other party.

b. Collateral Claims. The party whose land is not taken may file collateral claims with the condemning authority for its losses which are separate and apart from the value of the land area and improvements taken from the other party.

c. Tenant's Claim. Nothing in this Paragraph 7 shall prevent a tenant from making a claim against an owner pursuant to the provisions of any lease between tenant and owner for all or a portion of any such award or payment.

d. Restoration of Common Areas. The owner of each portion so condemned shall promptly repair and restore the remainder of the tract so owned as nearly as practicable to the condition of same immediately prior to such condemnation or transfer, to the extent that the proceeds of such award are sufficient to pay the cost of such restoration and repair and without contribution from any other owner.

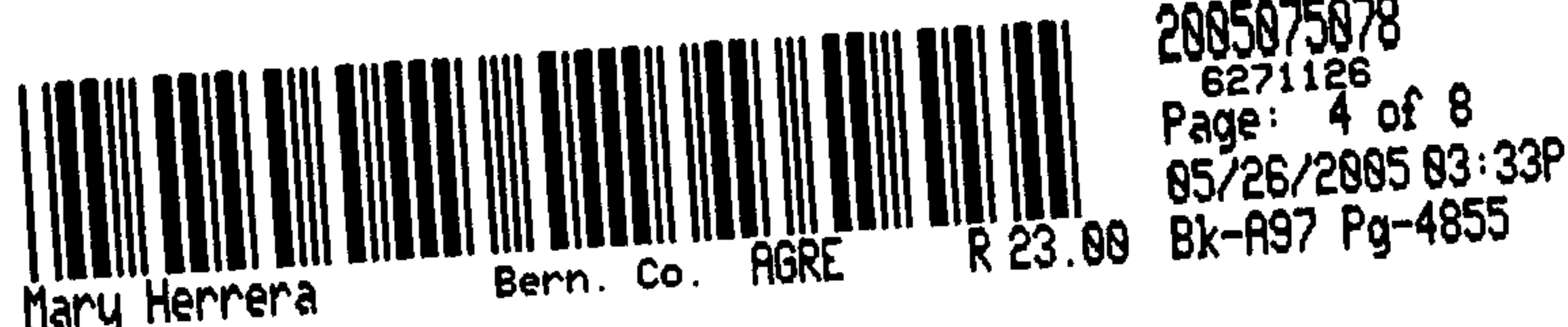
8. Rights and Obligations of Lenders. If by virtue of any right or obligation set forth herein a lien shall be placed upon the tract of either party hereto, such lien shall expressly be subordinate and inferior to the lien of any first lienholder now or hereafter placed on such tract. Except as set forth in the preceding sentence, however, any holder of a first lien on the Ameri-Contractors Property or the West Park LP Property, and any assignee or successor in interest of such first lienholder, shall be subject to the terms and conditions of this Agreement.

9. Breach. In the event of breach or threatened breach of this Agreement, the record owners of the Ameri-Contractors Property, or the record owners of the West Park LP Property, shall be entitled to institute proceedings for full and adequate relief from the consequences of said breach or threatened breach. The breaching party in any action shall pay to the non-breaching party a reasonable sum for attorneys' fees incurred as a result of such breach.

10. Rights of Successors. The easements, restrictions, benefits and obligations hereunder shall create mutual benefits and servitudes running with the land. This Agreement shall bind and inure to the benefit of the parties hereto, their respective heirs, representatives, lessees, successors and assigns. The singular number includes the plural and the masculine gender includes the feminine and neuter.

11. Consent. Where consent of a party is required under this agreement such request for consent shall be in writing and shall not be unreasonable withheld. Any failure to respond to a written request for consent within Thirty (30) days of receipt of the request shall be deemed a grant of the request for consent by such non-responding party.

12. Document Modification. This Agreement (including exhibits) may be modified only by a written amendment executed by the owners of the Ameri-Contractors Property and the West Park LP Property.



13. Duration. This Agreement shall run with the West Park LP Land and the Ameri-Contractors Land in perpetuity.

14. Headings. The headings herein are inserted only as a matter of convenience and for reference and in no way define, limit or describe the scope or intent of this document nor in any way affect the terms and provisions hereof.

15. Counterparts. This Agreement may be executed in multiple counterparts, each of which shall be deemed to be an original, but all of which, together, shall constitute one and the same instrument.

16. Entire Agreement. This Agreement constitutes the entire agreement between the parties hereto. The parties do not rely upon any statement, promise or representation not herein expressed, and this Agreement once executed and delivered shall not be modified or altered in any respect except by a writing executed and delivered in the same manner as required by this document.

IN WITNESS WHEREOF, the parties have executed this Agreement the day and year first written above.

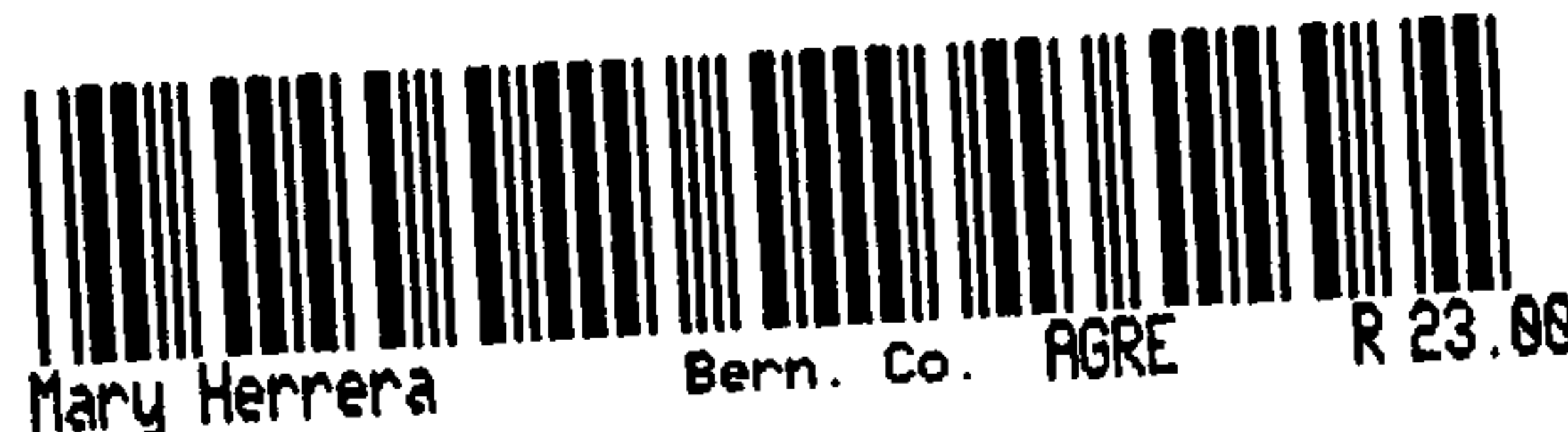
WEST PARK RESIDENCE LP

AMERI-CONTRACTORS, LLC.

By: ~~YARCO WESTPARK, LLC.~~
General Partner

By: 
Cliff Cohn, Manager

By: 
Dwayne Pino, Manager



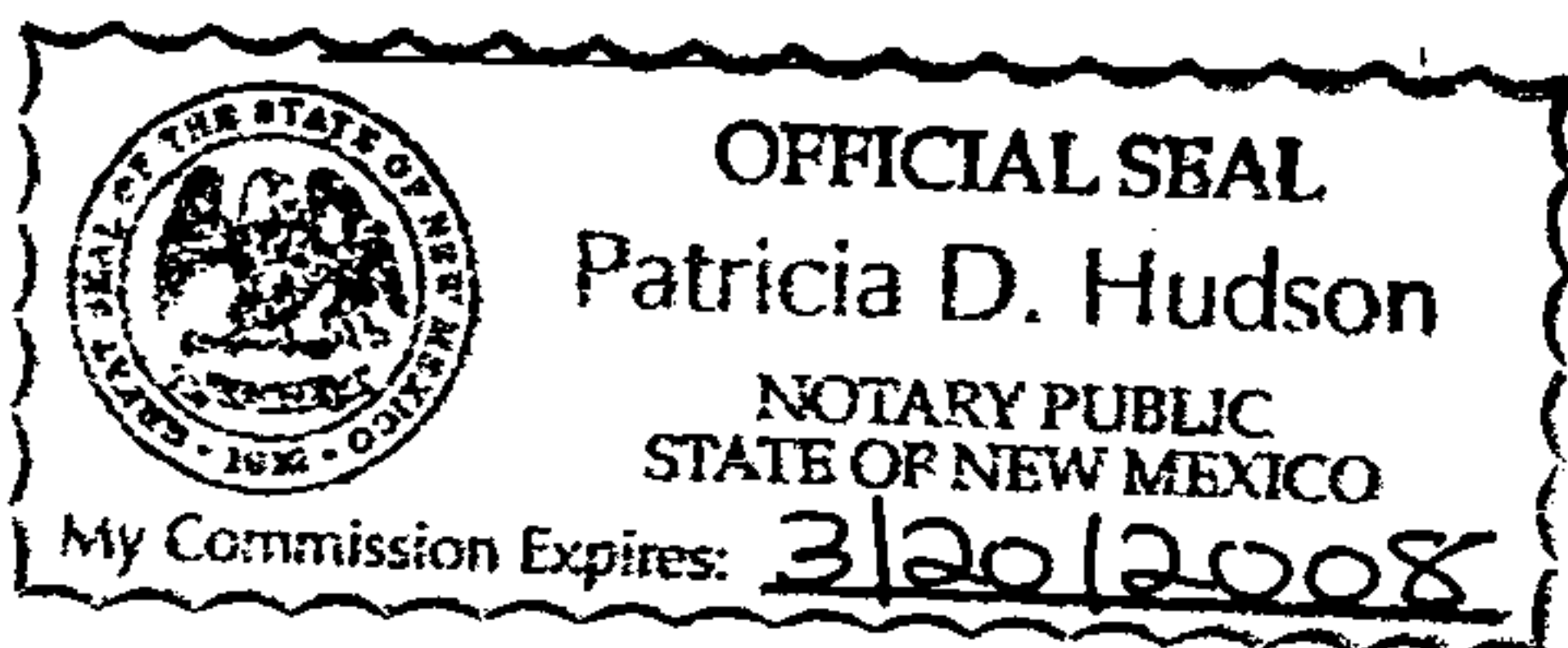
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STATE OF NEW MEXICO)
) ss.
COUNTY OF SANDOVAL)

This instrument was acknowledged before me on May 26th, 2005, by Dwayne Pino, Manager of Ameri-Contractors, LLC, on behalf of said limited liability company.

Patricia D Hudson
NOTARY PUBLIC

My Commission Expires:



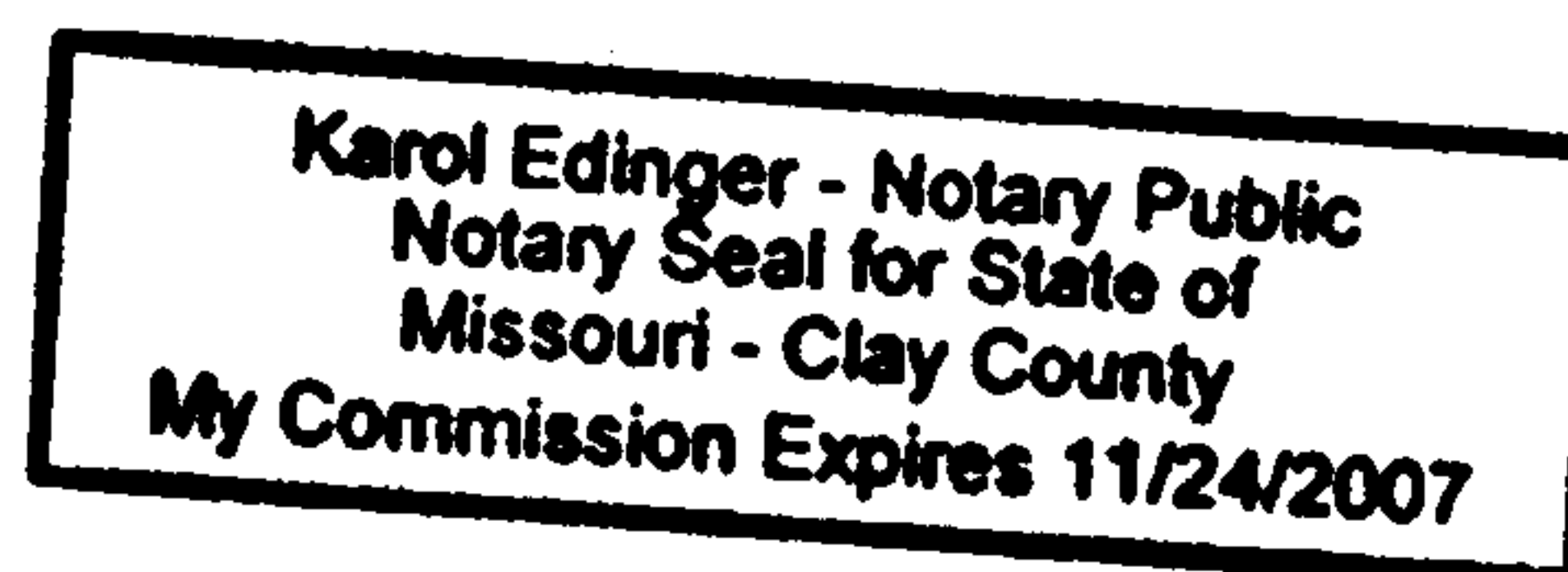
STATE OF Missouri)
) ss.
COUNTY OF Jackson)

This instrument was acknowledged before me on MAY 19, 2005, by Cliff Cohn, Manager of Yarco-Westpark, LLC, as General Partner of West Park Residence, LP on behalf of said limited partnership.

Karol Edinger
NOTARY PUBLIC

My Commission Expires:

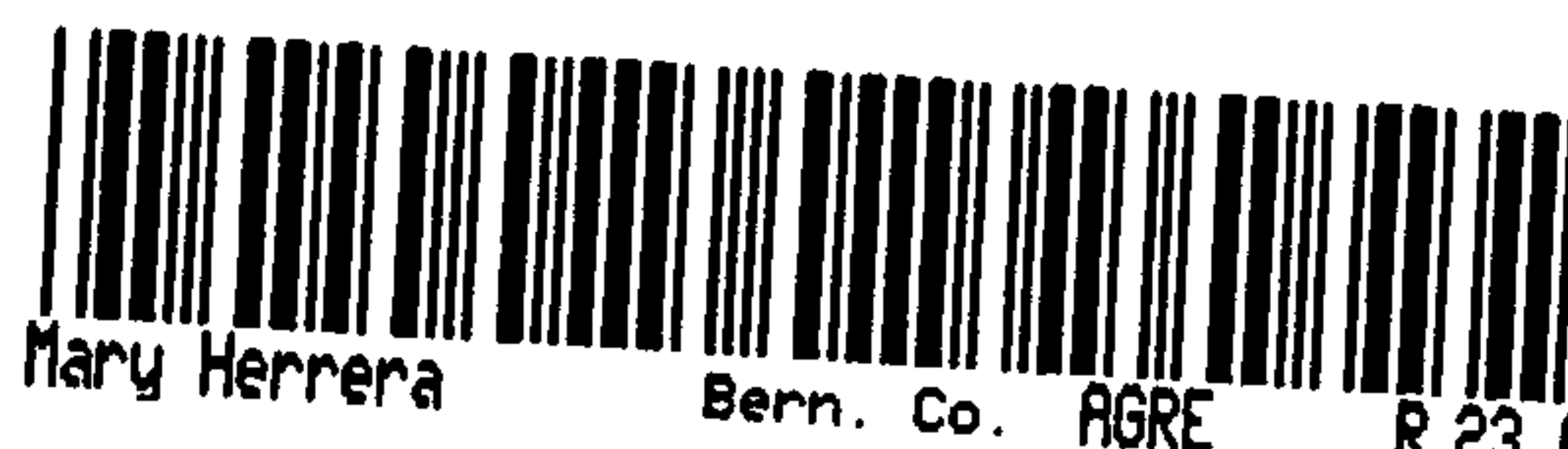
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EXHIBIT A

"Tract 17-A-3" of EAGLE RANCH within the Town of Alameda Grant, Bernalillo County, New Mexico, as the same is shown and designated on the Plat thereof, filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on July 26, 1995, in 95C, folio 275.



Mary Herrera

Bern. Co. AGRE

R 23.00

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EXHIBIT B

"Tract 17-A" of EAGLE RANCH within the Town of Alameda Grant, Bernalillo County, New Mexico, as the same is shown and designated on the replat of Tract 17 of said subdivision filed in the Office of the County Clerk of Bernalillo County, New Mexico, on December 19, 1984, in Map Book C25, Folio 185.



Mary Herrera

Bern. Co. AGRE

R 23.00

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**FIRE HYDRANT AND INSTANTANEOUS
FIRE FLOW REQUIREMENTS**

ALBUQUERQUE FIRE DEPARTMENT
FIRE MARSHAL'S PLAN CHECKING OFFICE
600 2ND ST N.W., 8TH Floor, Plaza del Sol
Albuquerque, New Mexico 87102
(505) 924-3611 / FAX (505) 924-3619

ZONE MAP NUMBER C-13-2

REFERRAL # _____

SITE ADDRESS 4601 Paradise Blvd. NW

LEGAL DESCRIPTION: SUBJECT TRACT _____

NUMBER HYDRANTS REQUIRED FOR THE LARGEST BUILDING 2

INSTANTANEOUS FLOW REQUIRED 1444 GPM

SQUARE FOOTAGE - LARGEST BUILDING _____

TYPE CONSTRUCTION V-B

PERTINENT DATA FOR DETERMINATION AND LOCATION OF FIRE HYDRANTS

ALL REQUIRED HYDRANTS SHALL BE INSTALLED AND OPERABLE PRIOR TO CONSTRUCTION

ALL REQUIRED HYDRANTS SHALL BE WITHIN 450 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

ALL REQUIRED HYDRANTS SHALL BE WITHIN 300 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

TOTAL NUMBER HYDRANTS REQUIRED FOR THIS PHASE OF CONSTRUCTION OR SITE 2

DATE: 6-6-05

FIRE DEPARTMENT INSPECTOR: R. C. Sanchez

RECEIVED BY: Sal M. Stendall

TELEPHONE: 6-6-05

NOTES:

1. ALL HYDRANTS NEEDED TO PROTECT AN INDIVIDUAL BUILDING MUST BE ABLE TO PROVIDE A MINIMUM RESIDUAL OF 20 PSI, UNDER REQUIRED FIRE FLOW CONDITIONS.
2. DETERMINATION OF THE WATER SYSTEM CAPASITY TO PROVIDE REQUIRED FIRE FLOW SHALL BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION (924-3987), BASED ON PEAK DAY CRITERIA.
3. DESIGN OF PRIVATE FIRE PROTECTION SYSTEMS IS THE RESPOSIBILITY OF THE DEVELOPER'S CONSULTANT. APPROVAL OF DESIGN MUST BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION.

WHITE - INDIVIDUAL

YELLOW - FILE

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Ameri-Contractors
AGENT Claudio Vigil
ADDRESS 1801 Rio Grande Blvd NW
PROJECT & APP # 1003763 / 05 DRB 01050
PROJECT NAME Eagle Ranch Subdivision

\$ 20.⁰⁰ 441032/3424000 Conflict Management Fee
\$ _____ 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 20.⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

AMERI-CONTRACTORS, LLC
CONSTRUCTION ACCOUNT
P.O. BOX 56883
ALBUQUERQUE, NM 87187
(505) 239-0920

10441

95-673-1070

PAY TO THE ORDER OF City of Albuquerque DATE 5/27/05
Twenty Dollars \$ 20.⁰⁰

SUNRISE BANK OF ALBUQUERQUE
225 GOLD SW
ALBUQUERQUE, NM 87102

FOR DRB Application fee

[Signature] [Signature]

⑈010441⑈ ⑆107006732⑆ 502001918⑈