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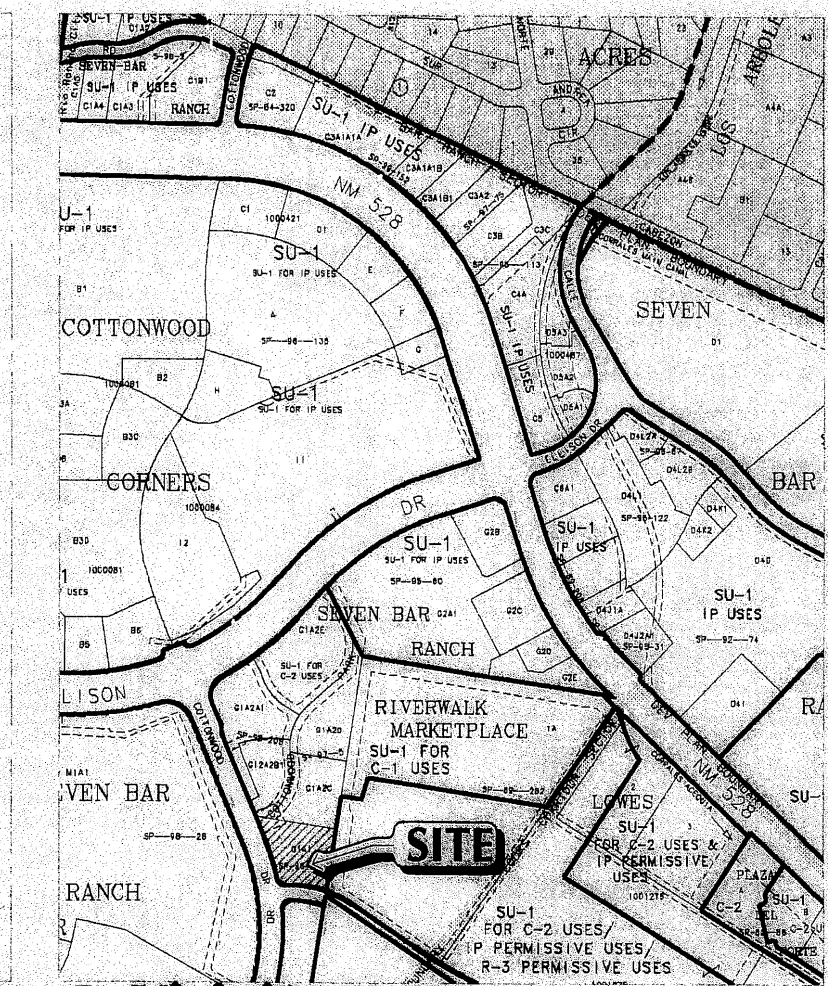
CIVIL ENGINEER
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Fax: (505) 897-2965
E-mail: hfloyd@ecengr.com
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E-mail: cmd@hilltoplandscaping.com
Contact: Carrie Denton

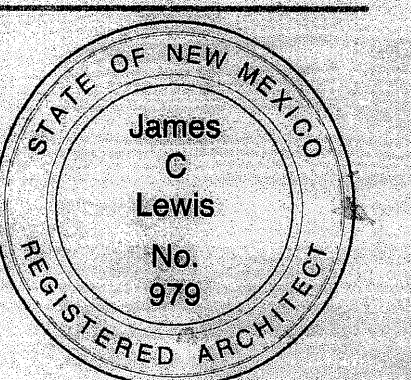
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

THE SHOPS @ COTTONWOOD PARK

10250 COTTONWOOD PARK DR. • ALBUQUERQUE, NEW MEXICO



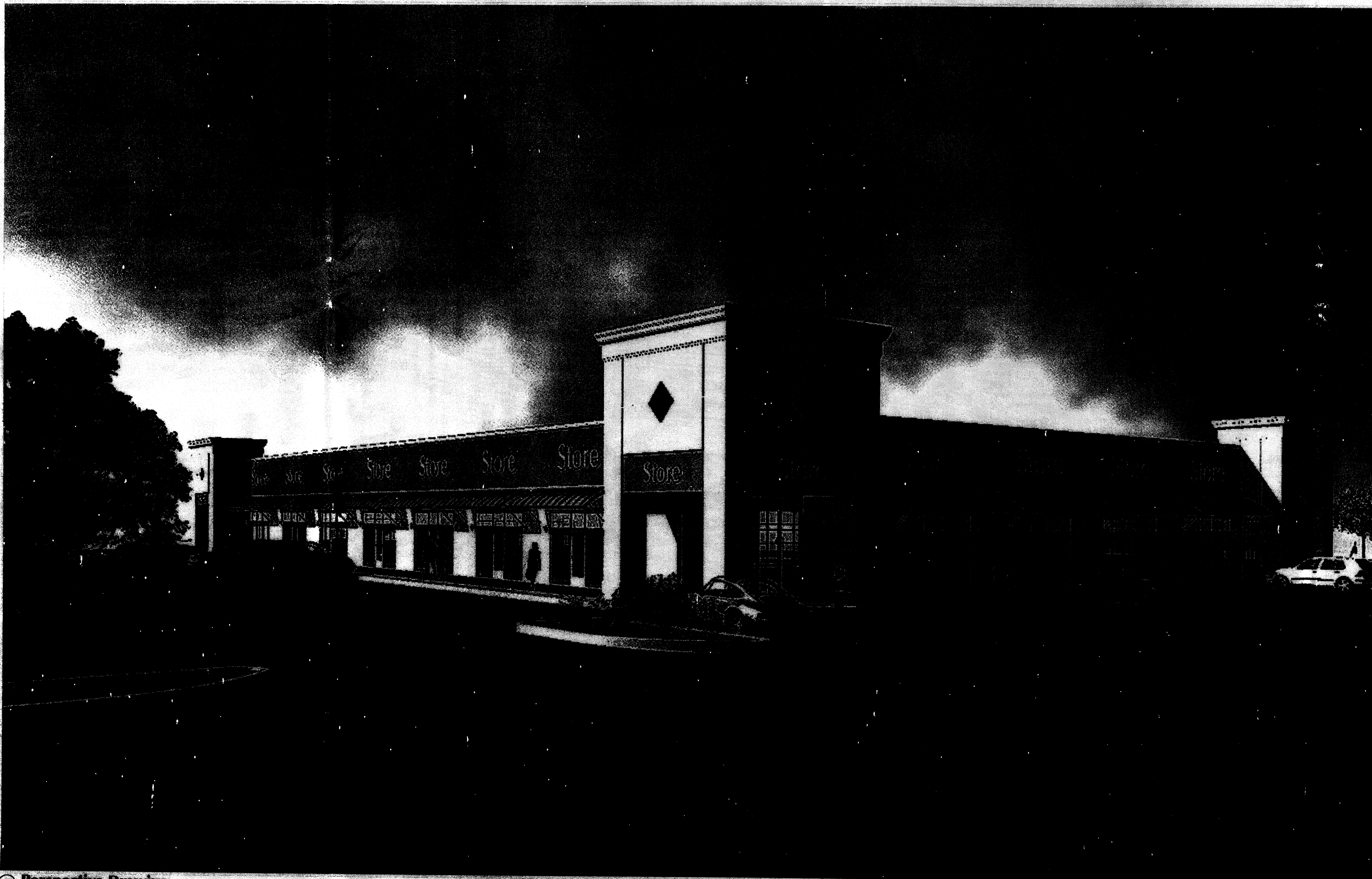
Vicinity Map



CONSULTANT

A Project Team

C Project Title



T Perspective Drawing

ADDRESS: 10250 Cottonwood Park Rd. NW
Albuquerque, NM 87114

LEGAL DESCRIPTION
TRACT: G-1A-1
SUBDIVISION: Seven Bar Ranch

ZONE ATLAS PAGE: A-14

LAND USE ZONING: SU-1 for C-2 uses.

PARKING

Required:
Retail: (1 space per 200 SF) 15,040/200 = 75 Spaces
10% bus discount = 7.5 Spaces
Total = 68 Spaces

Provided:
Standard Spaces 63 Spaces
Small Car Space 4 Spaces
HC Space 4 Spaces
Total 71 Spaces

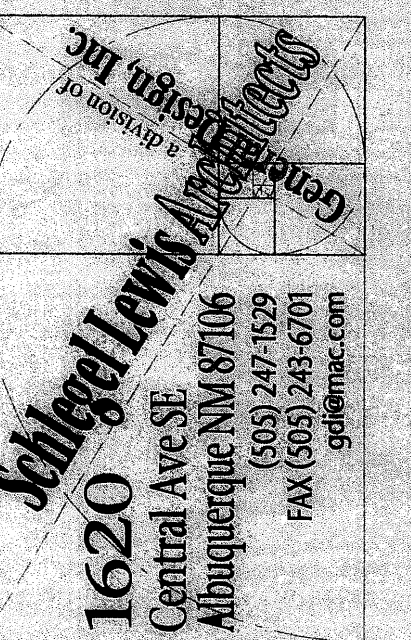
BICYCLE PARKING

Required: 1 space/20 parking spaces
71 parking/20 = 3.6 spaces
Provided: = 4 spaces

PROJECT SUMMARY

The Shops at Cottonwood Park is an approximately 15,000 square foot retail building. The project includes towers, tile accents and curved metal awnings. The site features the building located toward the street with a large landscape buffer that includes patios. The parking is located toward the back of the site.

The building use is compatible with the surrounding development, as is the style which is tall, single story retail. The color scheme and landscaping is similar to the surrounding development and conforms to the approved site development plan.



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COMMERCIAL SERVICES
401 Montgomery Ave. Suite 200 - Albuquerque, NM 87106
Phone: 505-247-1529 Fax: 505-243-6701 gdi@smac.com

Legal Information

SDP-1	COVER SHEET	ISSUE DATE:	03 November, 2004
SDP-2	SITE PLAN	REVISIONS:	22 November, 2004
SDP-3	GRADING PLAN		
SDP-4	LANDSCAPE PLAN		
SDP-5	BUILDING ELEVATIONS		
SDP-6	UTILITY PLAN		

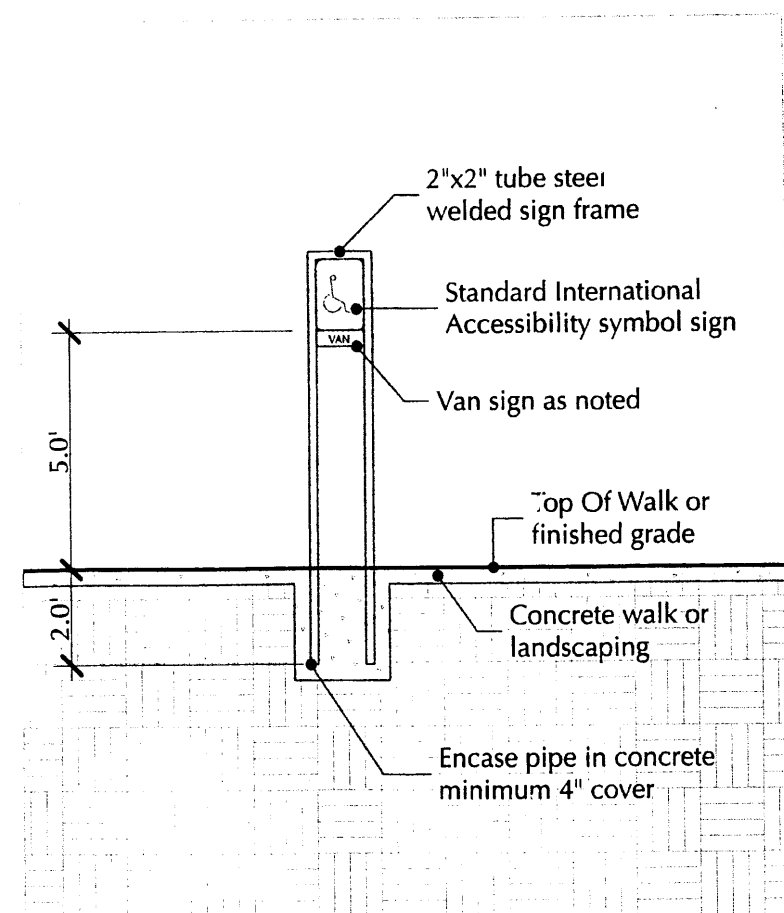
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
The Shops @ Cottonwood Park
Cottonwood Park
Cottonwood Park Road NW
Albuquerque New Mexico 87114

Cover Sheet

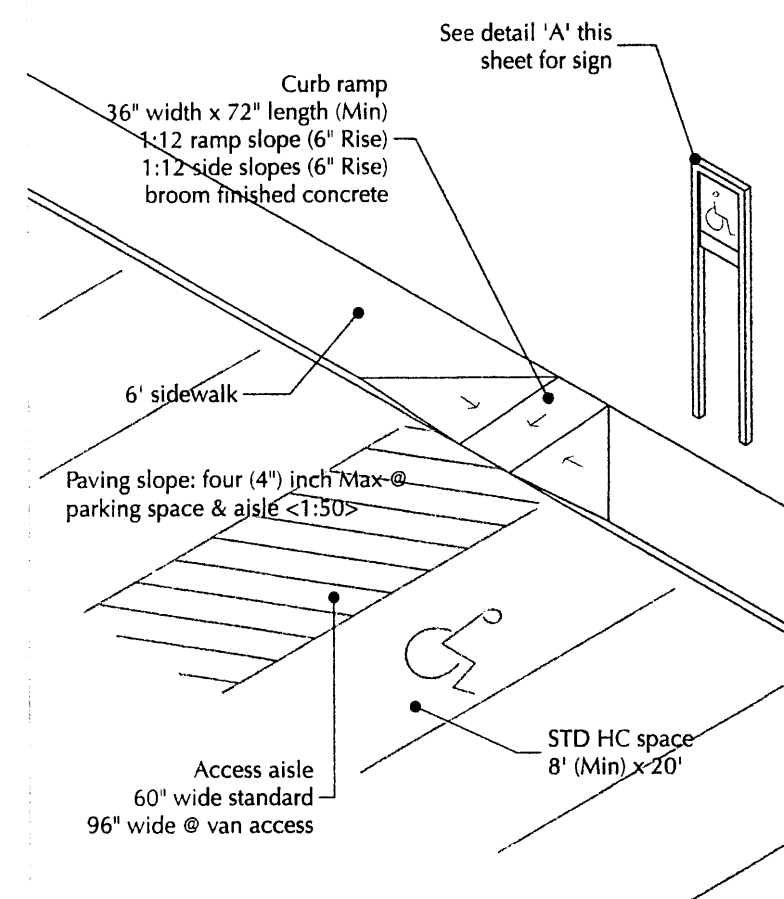
PROJECT 0408 SHEET **SDP-1** OF 6

Z Sheet Index

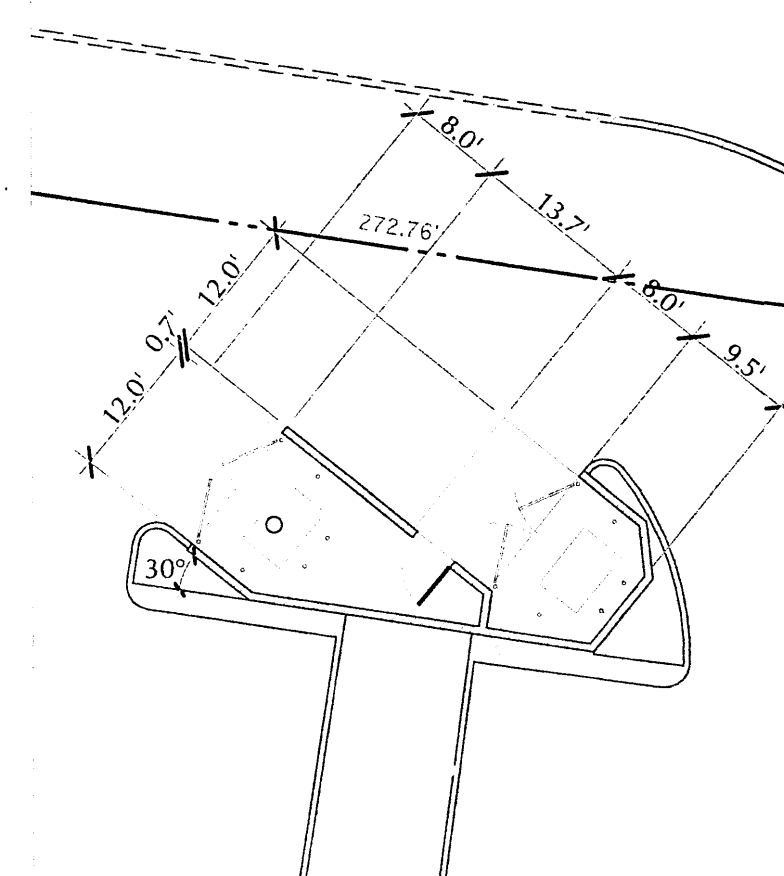
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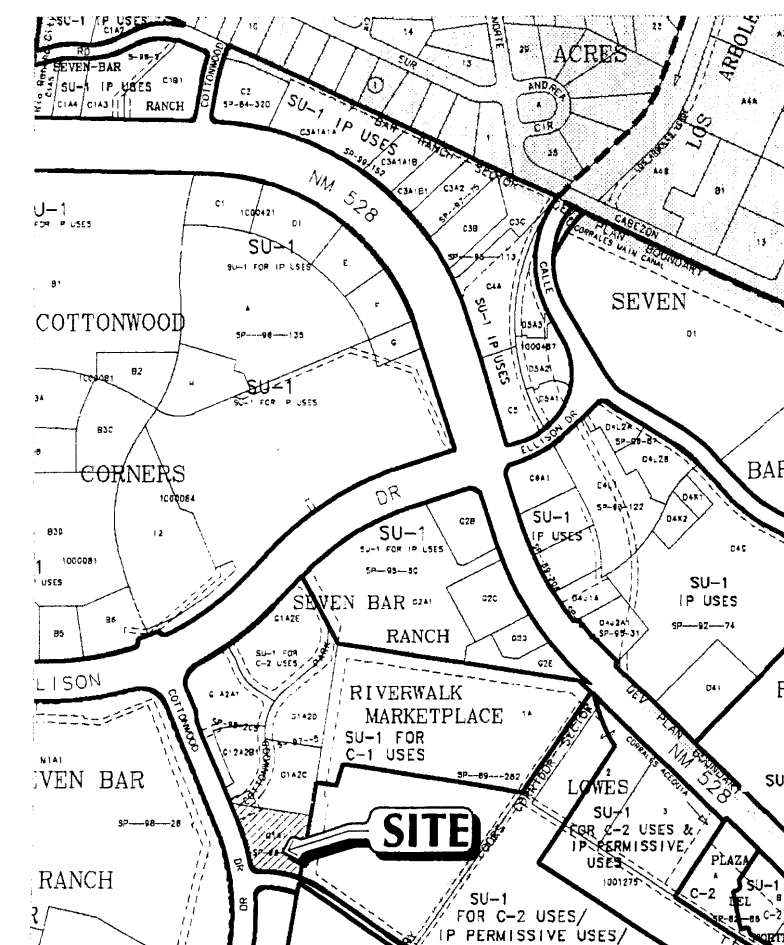
A Handicapped Sign Detail
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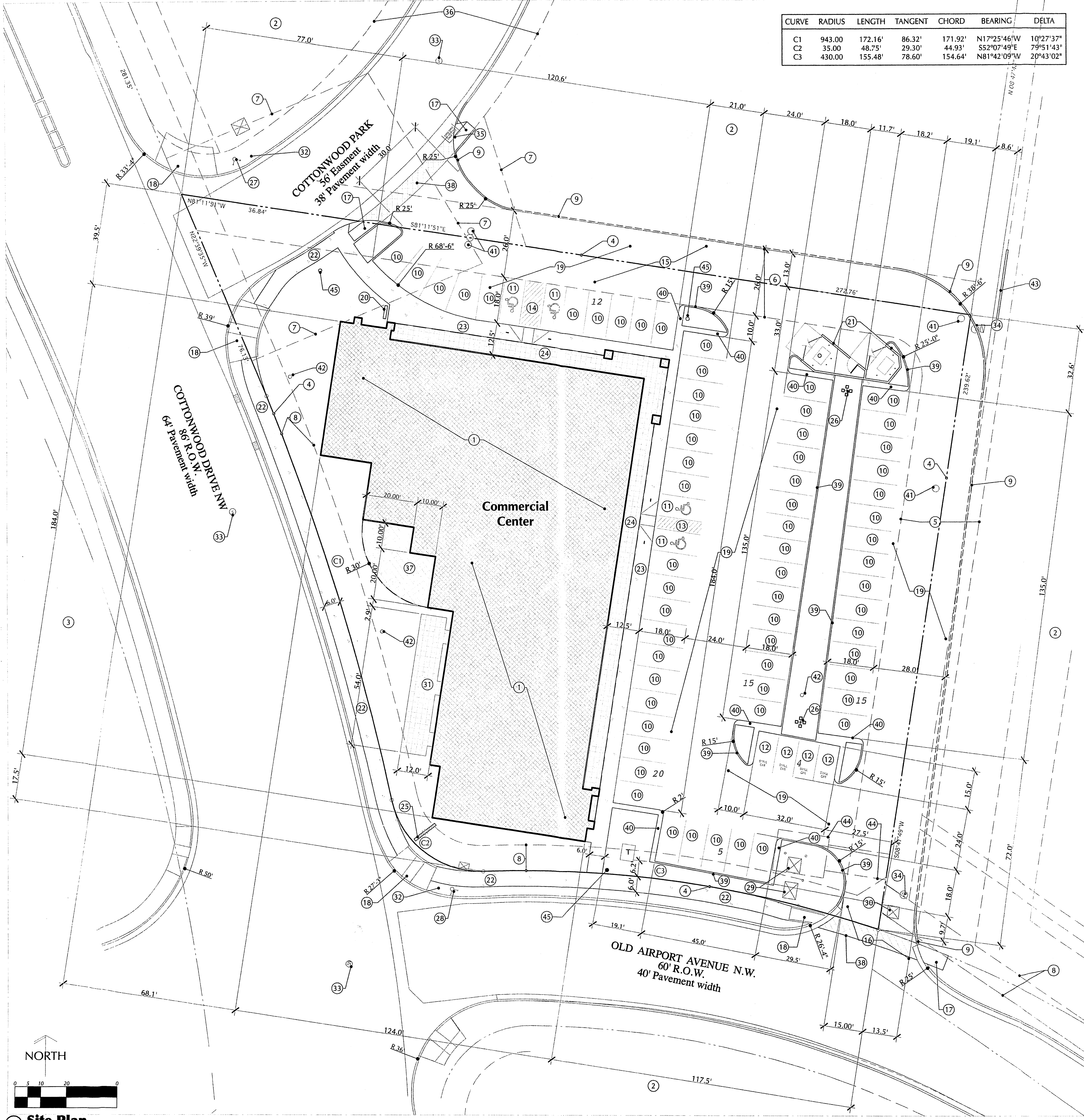
C HC Space
No Scale



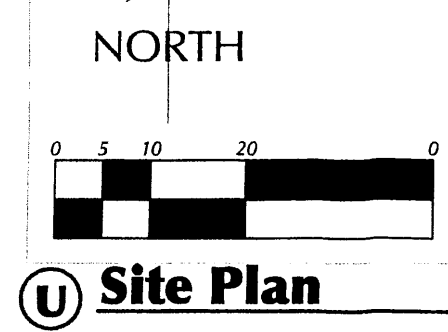
N Refuse Location Plan
Scale: 1/16"=1'-0"



T Vicinity Map



CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	943.00	172.16'	86.32'	171.92'	N17°25'46"W	10°27'37"
C2	35.00	48.75'	29.30'	44.93'	S52°07'49"E	79°51'43"
C3	430.00	155.48'	78.60'	154.64'	N81°42'09"W	20°43'02"



U Site Plan
Scale: 1"=20'-0"

- KEYED NOTES**
- Proposed 15,040 square foot retail building.
 - Vacant land.
 - Existing retail development.
 - Property line (typical).
 - 30' wide private access utility and drainage easement.
 - 26' wide private access utility and drainage easement.
 - Private reciprocal access utility and drainage easement.
 - 10' wide public utility easement.
 - Temporary 6" high asphalt curb.
 - Typical parking space 8'-6" (Min) x 20' (18' + 2' overhang).
 - Typical HC parking space 8'-6" x 20' (18' + 2' overhang).
 - Typical small car parking space 8'-0" x 15'-0". Provide "SMALL CAR" marking on pavement at the front of the space.
 - 5' wide handicap aisle (painted striping).
 - 8' wide handicap aisle (painted striping).
 - Proposed 26' wide common driveway. Construct per COA standards.
 - Existing 30' wide common driveway.
 - Proposed ramp.
 - Existing curb ramp.
 - Asphalt paving.
 - Bicycle rack (5 spaces min). See detail 'F' sheet SDP-5.
 - Refuse enclosure, see details 'N' on this sheet and 'S' on sheet SDP-5.
 - Proposed 6' wide concrete sidewalk.
 - Proposed concrete sidewalk.
 - Proposed colored and textured concrete sidewalk (covered).
 - Proposed monument signs, see detail 'M' on sheet SDP-5.
 - Proposed site lighting fixture, see detail 'FF' on sheet SDP-5.
 - Existing fire hydrant location.
 - Proposed fire hydrant location.
 - Existing electrical equipment.
 - Existing electrical equipment to be relocated/ adjust elevation.
 - Colored and scored concrete patio. (uncovered)
 - Existing stop sign.
 - Existing manhole (sewer).
 - Existing manhole (telephone) relocate/ adjust elevation.
 - Relocate existing water meters (field verify).
 - 56' private roadway, drainage and public utility easement.
 - Colored and scored concrete patio (covered).
 - Colored and textured crosswalk (6' wide).
 - 6' wide x 6" high concrete curb (typical).
 - 2' wide x 6" high concrete curb.
 - Proposed Man hole/inlet grate, see grading plan for location.
 - Proposed inlet grate, see grading plan for location.
 - Proposed retaining wall, see grading plan for location.
 - Public underground electrical Easement
 - Proposed Building Up-light

PROJECT NUMBER: 1003775
APPLICATION NUMBER: 04-01745
Is an Infrastructure List Required? () Yes (X) No. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-way or for construction of public improvements.

DRB Development Plan Approval

[Signature] 11-23-04
Transportation Department Date

[Signature] 12-1-04
Utility Development Date

[Signature] 12/1/04
Parks and Recreation Department Date

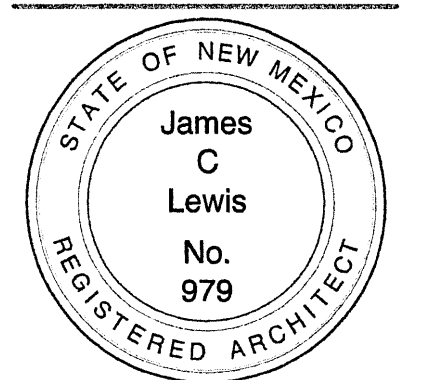
[Signature] 12/1/04
City Engineer Date

* Environmental Health Department (conditional) Date
[Signature] 11-23-04
Solid Waste Management Date

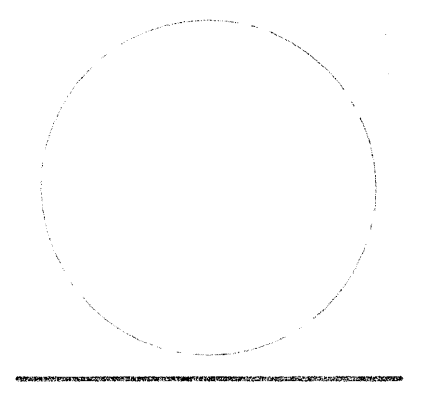
[Signature] 12/01/04
DRB Chairperson, Planning Department Date

* Environmental Health, if necessary

Z Signature Block

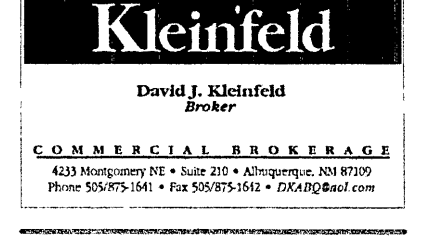


CONSULTANT



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SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

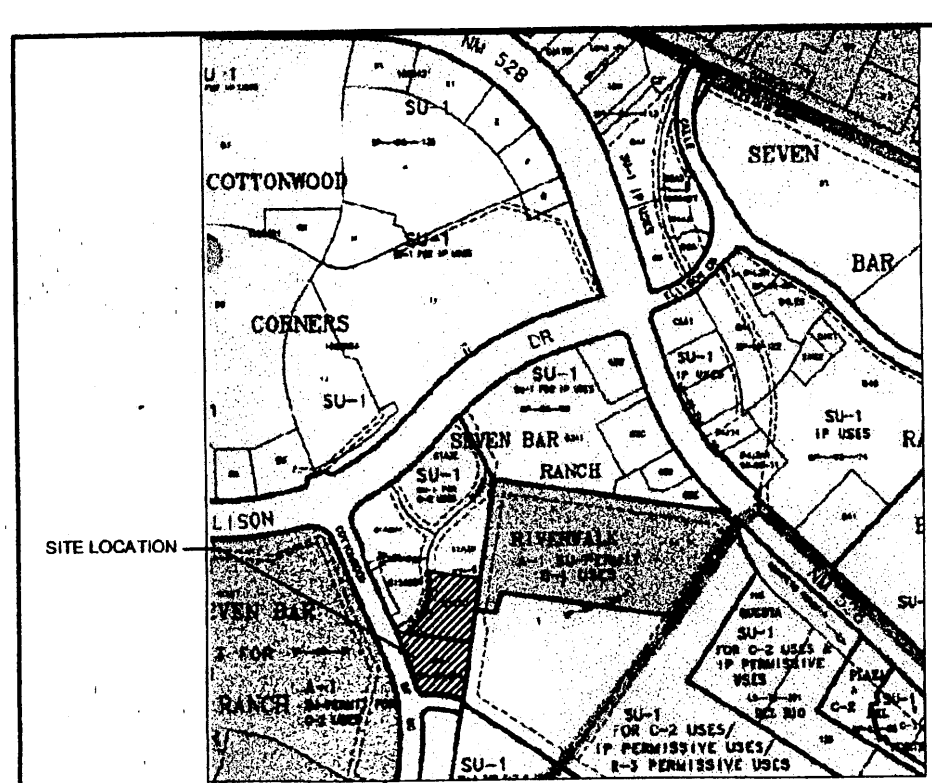
The Shops @ Cottonwood Park
Cottonwood Park Road NW
Albuquerque New Mexico 87114

ISSUE DATE:
03 November, 2004

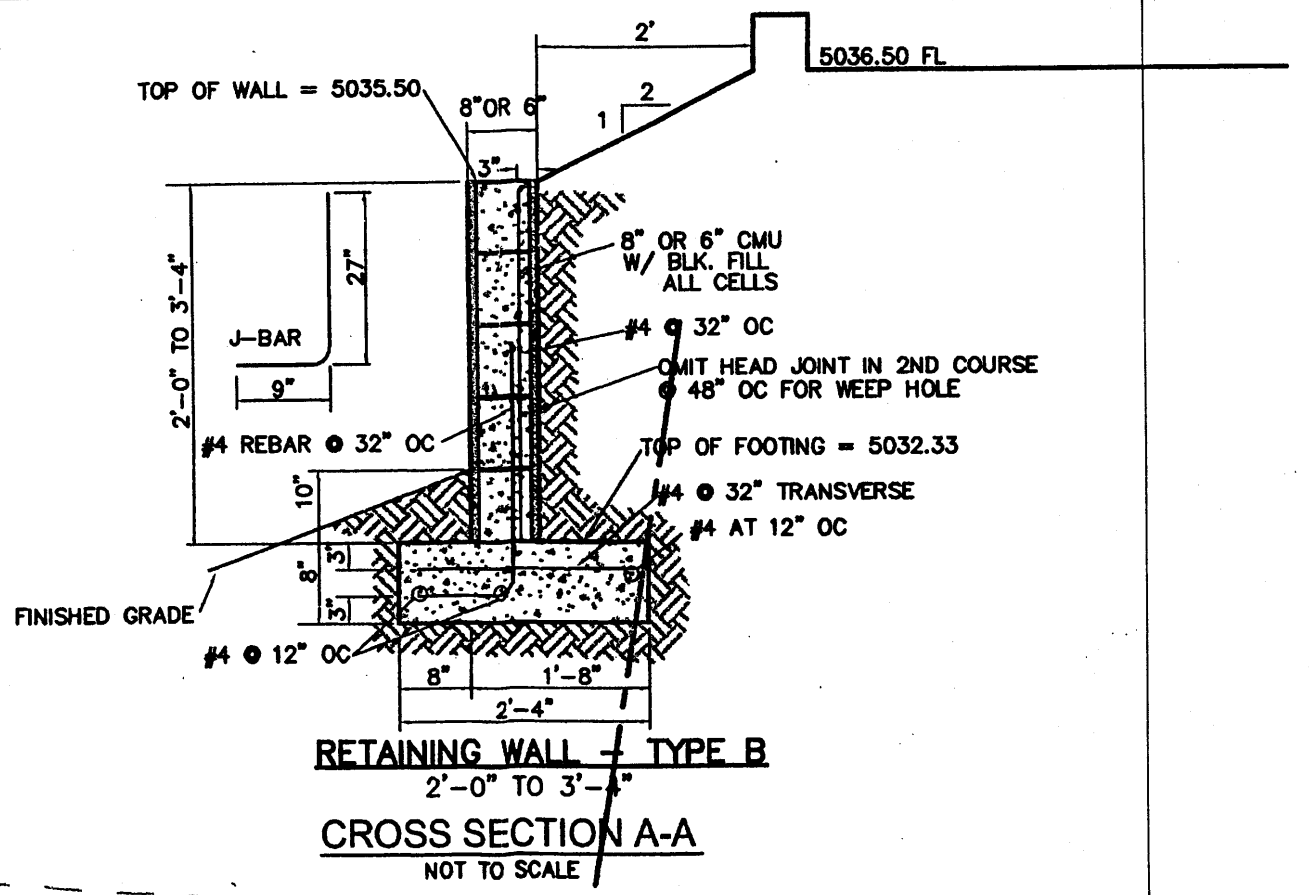
REVISIONS:
22 November, 2004

Site Plan

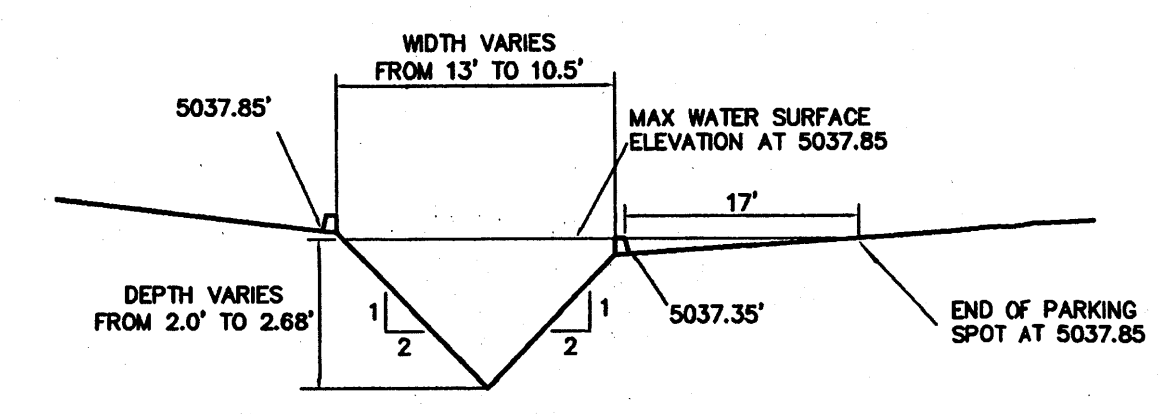
PROJECT 0408 SHEET SDP-2 OF 6



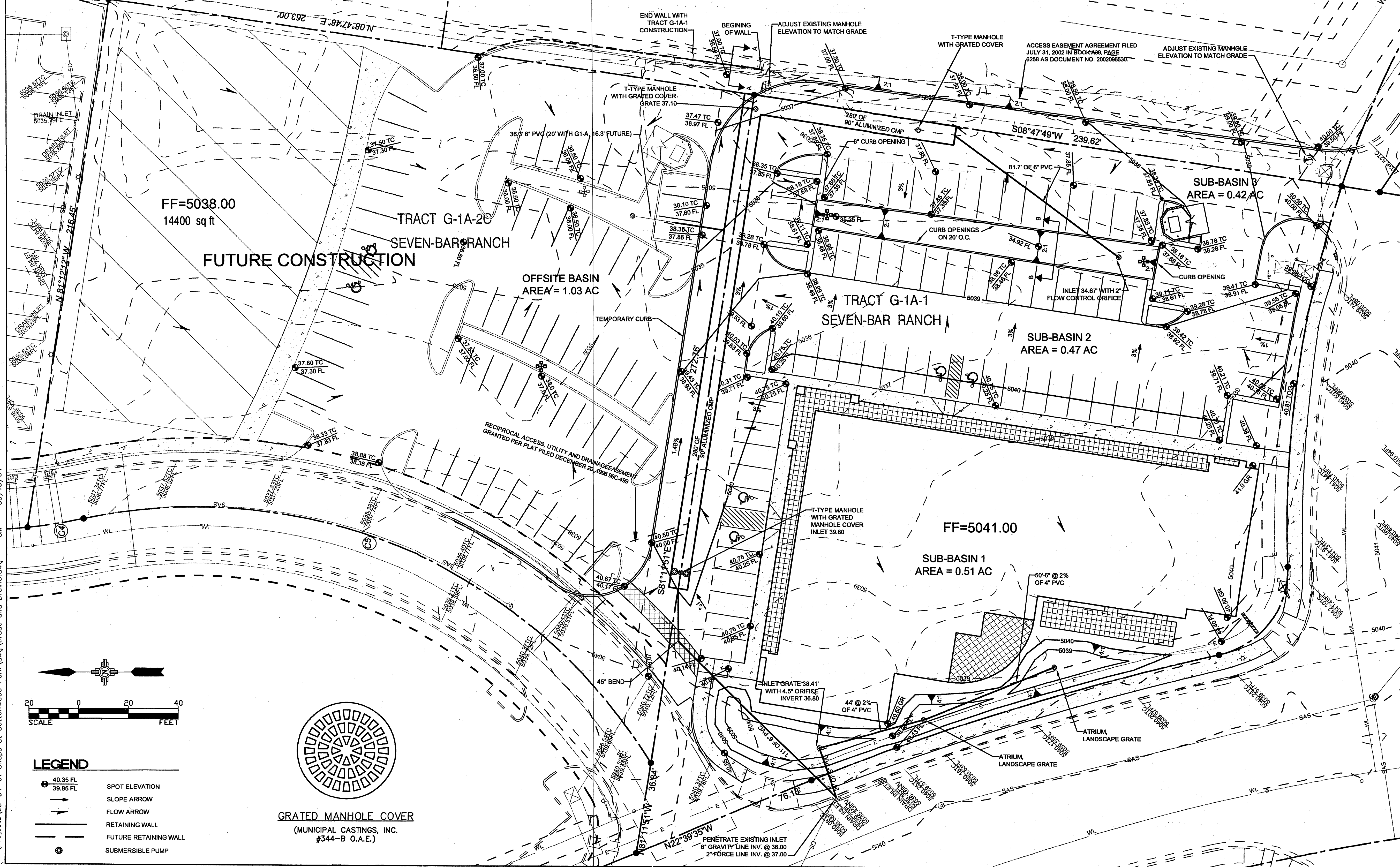
VICINITY MAP-NO FLOOD PLAN PER PANEL 35001C0109F



- ### RETAINING WALL NOTES
1. Compact subgrade to 95% min. relative density (12" min. depth) per ASTM D1557. If clay or loose sand is encountered, contact the Engineer before proceeding.
 2. Compact backfill to 90% min. relative density per ASTM D1557.
 3. Maintain 2" minimum clearance between all reinforcing bars and outside surface of formed concrete, 3" between bars and outside surface of concrete poured against earth.
 4. All block and plaster cells are to be grouted solid with concrete block fill.
 5. Concrete for footings and filling of cells shall meet or exceed 3,000 p.s.i. at 28 days, with 3/4" maximum size aggregate, and a maximum slump of 5".
 6. Masonry mortar shall meet or exceed the requirements of ASTM C 270, Type M.
 7. Wall blocks are to be standard masonry units (8"x8"x16" or as otherwise indicated), and plaster blocks are to be sized appropriately for the intended application. Color = Desert Tan or as directed by owner.
 8. Install 9 ga., galv. Dur-O-Wal (or approved equal) every other course (16" OC), or bond beam with 2 #4 rebar every third course (24" OC, max.).
 9. Reinforcing steel splices shall have 15" min. laps.
 10. Construct pilasters at 16' on centers (maximum), and as appropriate for corners, junctions, angle points and ends.
 11. Drainage for retained earth shall be provided with clean gravel backfill and un-mortared head joints.
 12. The top course of block shall use 2" solid masonry units as caps, unless a 6" party wall is to be installed on top of a retaining wall.
 13. The top of pilasters shall have 2" solid masonry units of appropriate sizes.
 14. Drain blocks for party walls shall consist of standard masonry units turned face down. They shall be installed through the 6" party wall above the retaining wall section after the retaining wall section is complete and backfilled, and at locations specified by the Owner.



CROSS SECTION B-B
NOT TO SCALE



SHOPS AT COTTONWOOD PARK

The project area generally slopes to the north and east, and is comprised of sandy, hummocky soils. It is comprised of two separately owned sites, both covered by SAD 223, and thus, there is a maximum permissible peak flow rate. The first site is designated Tract G-1A-1 Seven Bar Ranch. From "SAD NO. 223 Cabezon Channel Capacity Analysis" (June 1993), prepared by Easterling & Associates, Inc., for COA PWD, the permissible flow rate from TRACT G-1A is 0.73 cfs per acre. Tract G-1A-1 is 1.3166 acres, and thus has a permissible 0.97 cfs discharge. The adjacent site on the north (G-1A-2C) is coordinated to drain to the same system as this site. This adjacent site is only in a conceptual phase and is only being submitted as conceptual grading and drainage plan. All "developed" flow (90% D, 10% C) goes to a shared detention/pump system.

Hydrology calculations were performed based on the Albuquerque DPM Chapter 22.2. The site is in Zone 1 (Figure A-1 of DPM). Thus a rainfall of 2.66" is used for the 100 yr 24 hr storm. The site is broken into four sub-basins for analysis. The areas and calculated runoff volumes and peak flow rates are shown below.

HYDROLOGY SUMMARY		SHOPS AT COTTONWOOD PARK					
PROJECT NAME:		Shops at Cottonwood Park					
JOB NUMBER:		23-04-01					
BASIN	COND.	AREA (acres)	TREATMENTS	A	B	C	D
Sub-basin 1	DEV	0.51	0.0%	13.8%	13.8%	72.5%	
Sub-basin 2	DEV	0.47	0.0%	3.4%	9.4%	87.2%	
Sub-basin 3	DEV	0.42	0.0%	0.0%	1.7%	98.3%	
off-site 1	DEV	1.05	0.0%	0.0%	10.0%	90.0%	

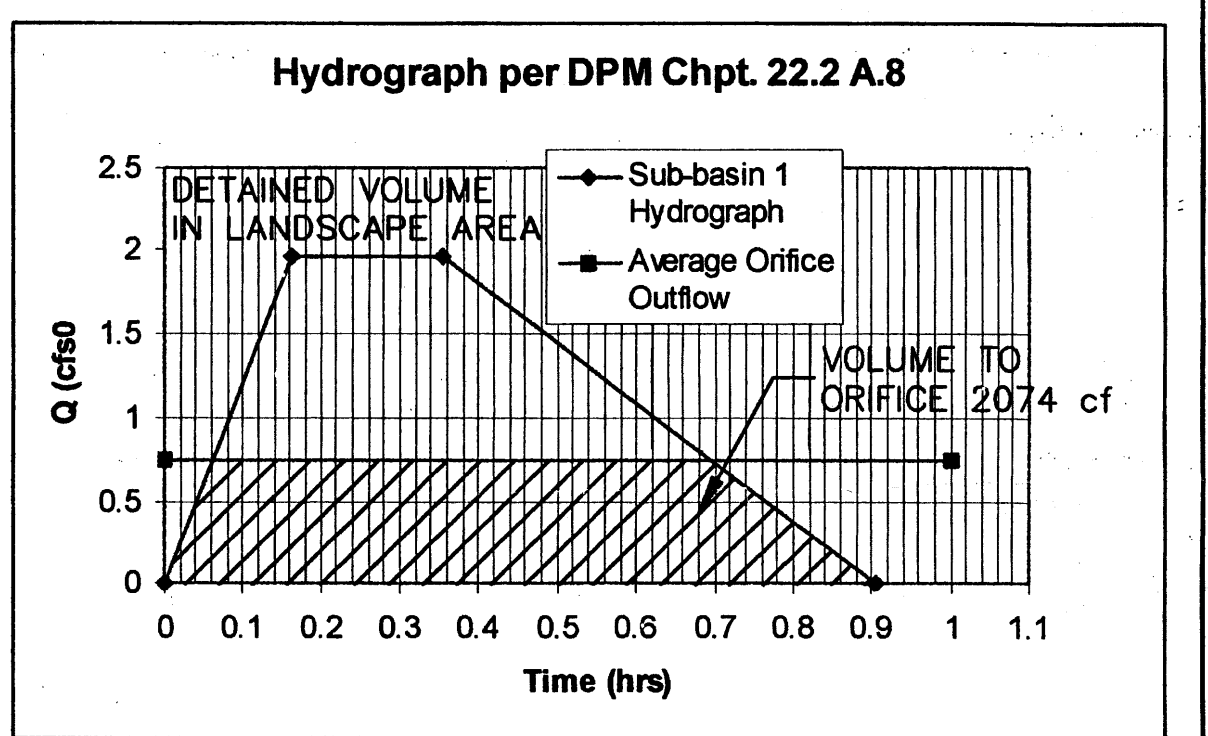
	10 YEAR		100 YEAR	
	Q (cfs)	VOLUME (ac.ft.)	Q (cfs)	VOLUME (ac.ft.)
Sub-basin 1	1.2	0.04	2.0	0.07
Sub-basin 2	1.3	0.04	1.9	0.07
Sub-basin 3	1.2	0.04	1.8	0.07
off-site 1	2.9	0.10	4.4	0.16

The entire site will be drained to the backside of an existing inlet on Cottonwood Drive N.W., as shown on the plan. Two penetrations will be required, one for a 6" gravity line, and another for a force line from the pump.

The gravity line drains Sub-basin 1, which contains the building. Building runoff drains to the western landscape/detention area. A 6" pipe with a 4.5" orifice plate, will allow 0.65 cfs when the water surface elevation matches the grate elevation and increases to 0.88 cfs as the elevation rises. As can be seen from the hydrograph plot below, the inlet/orifice accounts for 2074 cubic feet of the runoff from Sub-basin 1. The rest of the volume is temporarily detained in the landscape area. This plot was created with a tc equal to the minimum and an average orifice flow rate of 0.75 cfs.

The runoff from Sub-basin 2 is collected to the large median on the eastern end of the site (see detail). This median stores 2870 cu. ft. (0.066 ac-ft) and will be controlled by a 1.5" orifice allowing a flow rate less than the pumps 0.09 cfs. This takes this volume out of the storage necessary for the underground pipe. In a 100-yr storm event this storage area will overflow to the inlet in the northeast corner of the site. This inlet also directly receives all surface runoff from Sub-basin 3. This runoff, as well as most of Off-Site 1, drain directly to a underground 90" CMP which runs for 280' and provides for 12348 cubic ft (0.283 ac-ft) of storage. Off-Site 1 also has a median/parking lot ponding area on the eastern portion of the lot. This area detains 1000 cu. ft. So of a total 19,860 cu. ft. (0.456 ac-ft) of total runoff, 7550 is stored above ground or drains directly to the street inlet. The remaining 12,310 is drained to the 90" CMP and then pumped to the street inlet. The CMP will house two 40 GPM (0.9 cfs) submersible trash pumps (one is backup), which will be connected to the existing inlet in Cottonwood Park by a PVC pressure line. It should be noted that 0.9 cfs (pump flow rate) when combined with the maximum orifice flow rate (0.88 cfs) is equal to the permissible 0.97 cfs for Tract G-1A-1. It should also be noted that in a 100-yr storm the maximum parking lot depth is 0.5', and there is no ponding in the parking lot in a 10-yr storm.

Spot elevations, and contours where necessary, are shown to convey the final grade. The final grade is similar to the existing grades as it falls off from the north and east. A retaining wall is required at the north east corner of the parking area and has a maximum retained height of 3.4' (see accompanying detail).

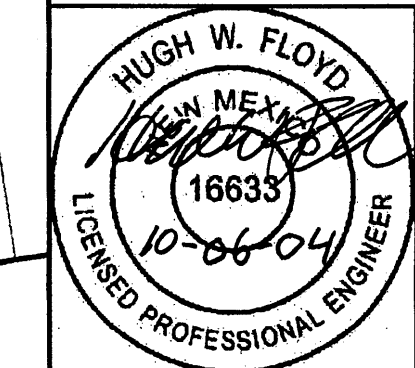


SHOPS AT COTTONWOOD PARK GRADING AND DRAINAGE PLAN

- ### LEGEND
- 40.35 FL, 39.85 FL: SPOT ELEVATION
 - SLOPE ARROW: SLOPE ARROW
 - FLOW ARROW: FLOW ARROW
 - RETAINING WALL: RETAINING WALL
 - FUTURE RETAINING WALL: FUTURE RETAINING WALL
 - SUBMERSIBLE PUMP: SUBMERSIBLE PUMP



GRATED MANHOLE COVER
(MUNICIPAL CASTINGS, INC. #344-B O.A.E.)



Easterling Consultants, LLC
CONSULTING ENGINEERS
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Albuquerque, New Mexico 87114
(505) 821-6646 FAX (505) 897-2965

DESIGNED BY: HWF	DRAWN BY: HWF	CHECKED BY: CME	SDP-3
JOB NO: 23-04-01	DATE: 06 OCTOBER 2004	OF 5	

LANDSCAPING AND IRRIGATION
All landscape maintenance and waste water responsibilities will be with the Owner's grounds maintenance personnel.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Provide gravel over filter fabric shall be placed in all landscape areas which are not designated to receive native seed or other ground cover. (See landscape plan and schedule).

LANDSCAPE IRRIGATION

Irrigation shall be a complete underground system. Trees shall receive (5) 1.0 GPH drip emitters and Shrubs shall receive (2) 1.0 GPH drip emitters. Drip and bubbler system to be tied to 1/2" poly pipe with flue caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

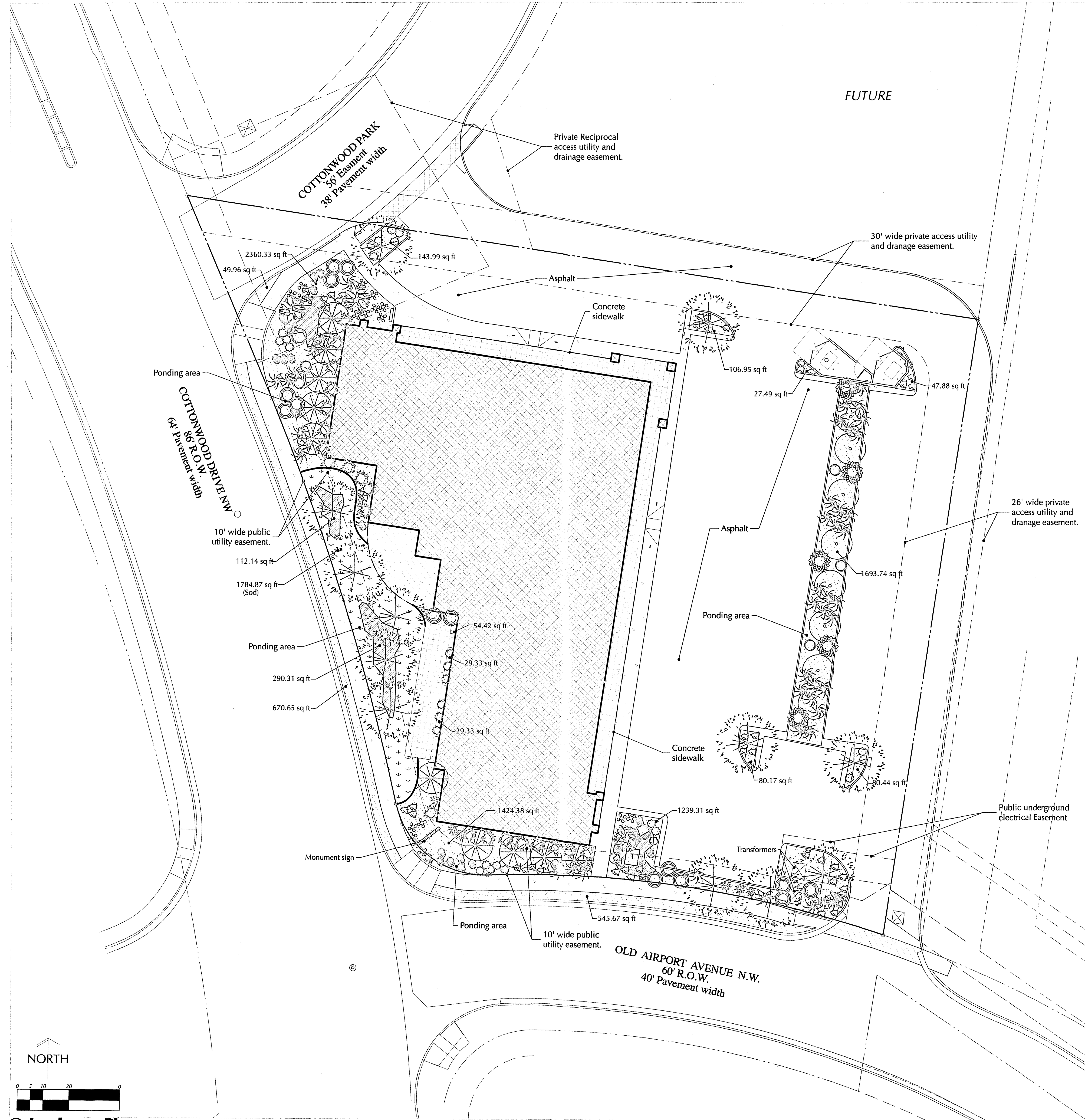
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

G Landscape Notes

T Detail Not Used

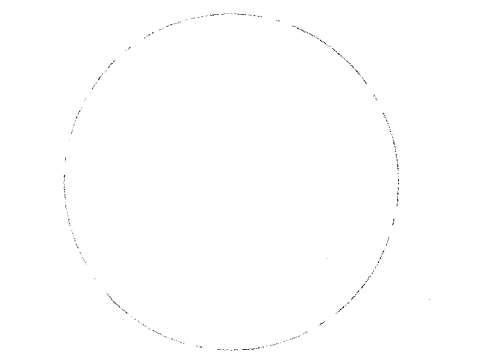


Total Lot Area:	57,355 sf
Total Building Area:	15,040 sf
Net Lot Area:	42,315 sf
Landscape requirement (15%):	6,347 sf
Total Bed Provided (Planted, gravel):	7,720 sf
Total SOD Provided:	1,784 sf
Total Landscape Provided:	9,505 sf

Landscape Calculations

	ARIZONA ASH (M) <i>Fraxinus velutina</i> 2" Cal.	12
	DESERT WILLOW (L) <i>Chrysothamnus lamaris</i> 15 Cal.	3
	FLOWERING PEAR (H) <i>Pyrus calleryana</i> 2" Cal.	10
	NEW MEXICO OLIVE (H) <i>Forsteria neomexicana</i> 15 Cal.	8
	APACHE PLUME (L) <i>Fallugia paradoxa</i> 5 Cal. 25 sf	5
	MUCHO PINE (M) <i>Pinus mugho</i> 5 Cal.	2
	ROSEMARY (M) <i>Rosmarinus officinalis</i> 2 Cal. 36 sf	14
	BUTTERFLY BUSH (M) <i>Buddleia davidii</i> 5 Cal. 100 sf	1 (0)
	RED TIP PHOTINIA (M) <i>Photinia fraseri</i> 5 Cal. 64 sf	7
	MAIDEN GRASS (M), BLUE AVENA & THREAD GRASS <i>Miscanthus sinensis, Helictichon sempervirens, Stipa tenuifolia</i> 1 Cal. 16 sf	47
	INDIAN HAWTHORN (M) <i>Raphia leptandra</i> 5 Cal.	21
	RUSSIAN SAGE (M) <i>Perovskia atriplicifolia</i> 5 Cal.	7
	POTENTILLA (M) <i>Potentilla fruticosa</i> 2 Cal.	24 (21)
	AUTUMN SAGE (M) <i>Salvia greggii</i> 2 Cal. 9 sf	49 (53)
	LAVENDER <i>Lavendula spp.</i> 1 Cal. 25 sf	29 (21)
	WILDFLOWER 1 Cal. 4 sf including but not limited to: Catmint Wall Flower & Yarrow	23 (22)
	COMMERCIAL GRADE Steel edging	
	OVERSIZED GRAVEL & 6 Balders	
	SOD	
	SANTA FE BROWN Crusher fines	

Landscape Legend



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FAX (505) 243-6701
gdl@slaw.com

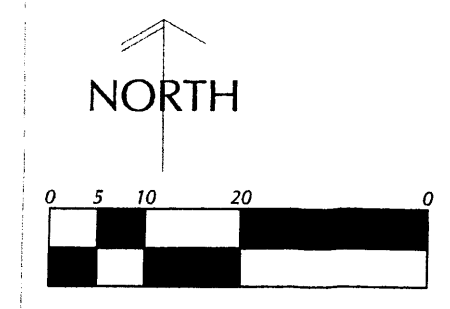
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SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
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ISSUE DATE:
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22 November, 2004

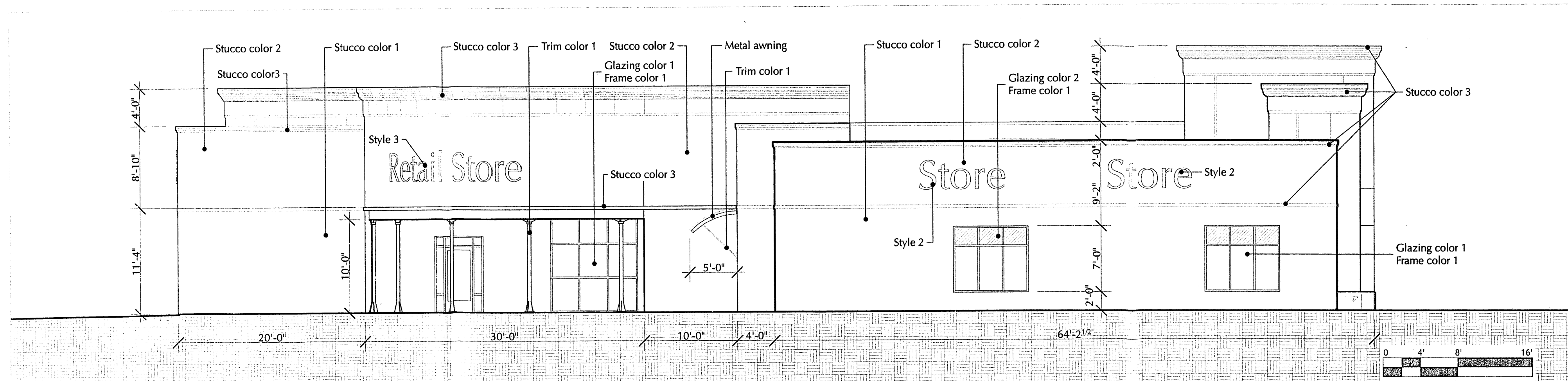
Landscape Plan

PROJECT 04.08 SHEET
SDP-4
OF 6

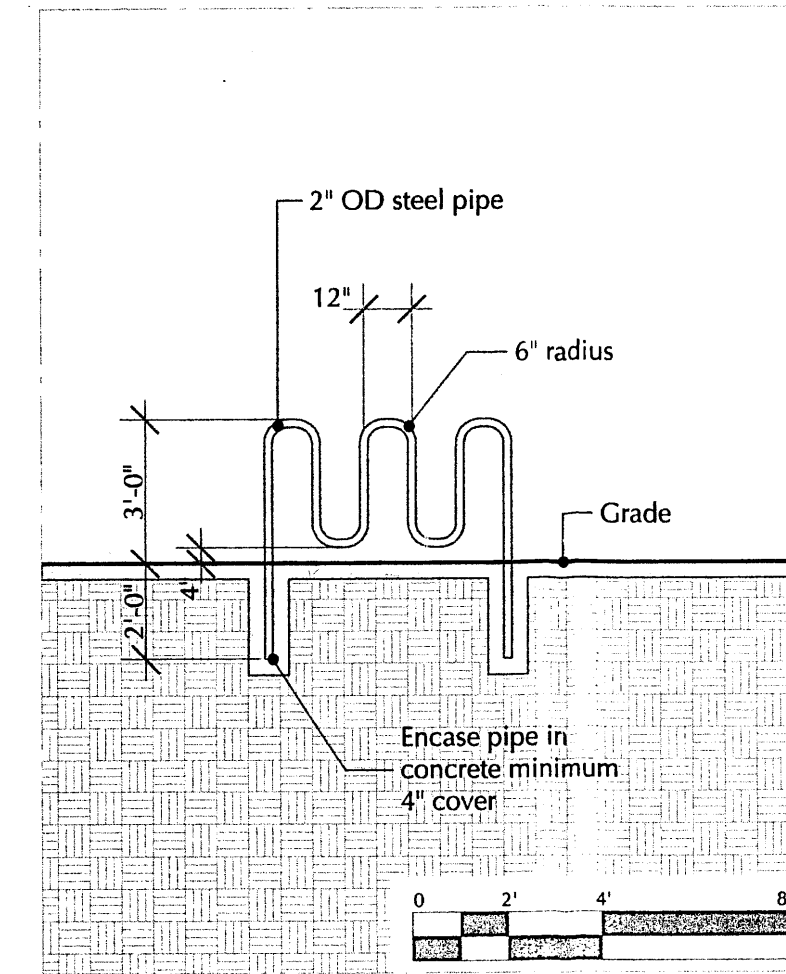


U Landscape Plan

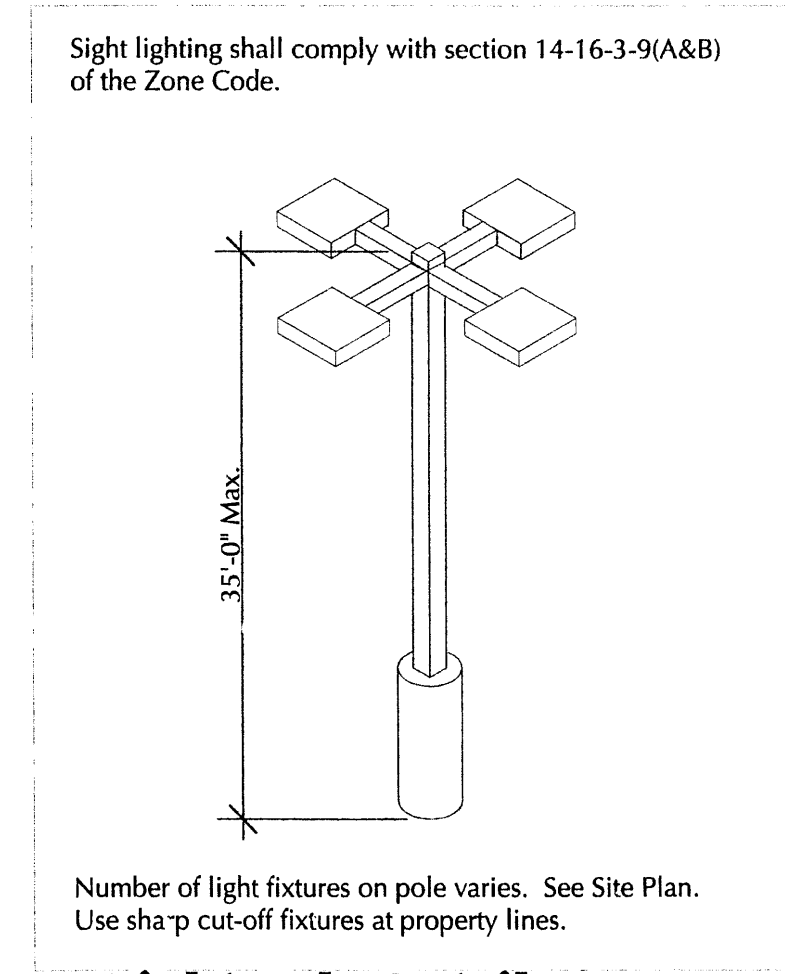
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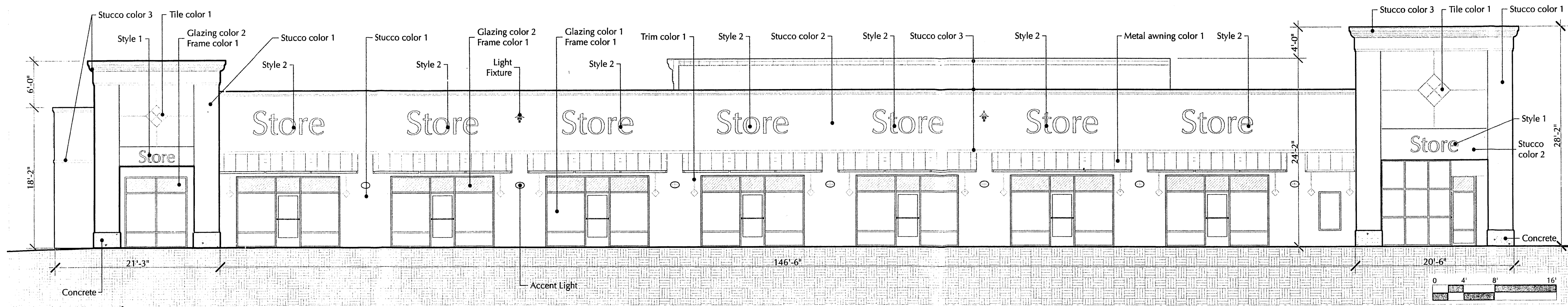
A North Elevation



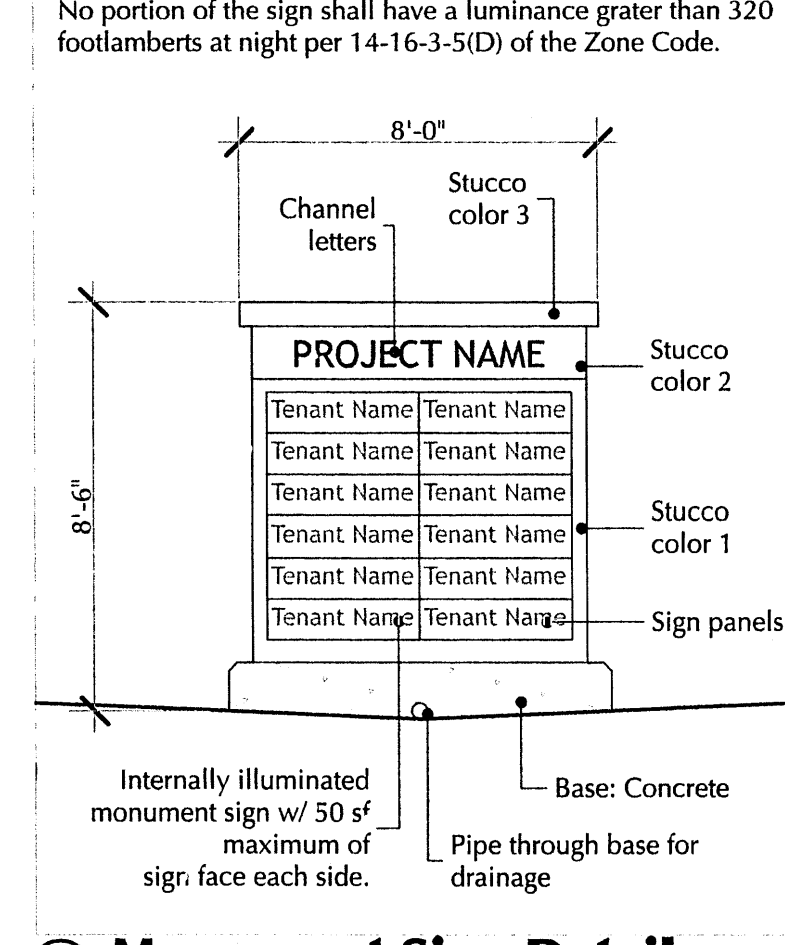
F Bicycle Rack



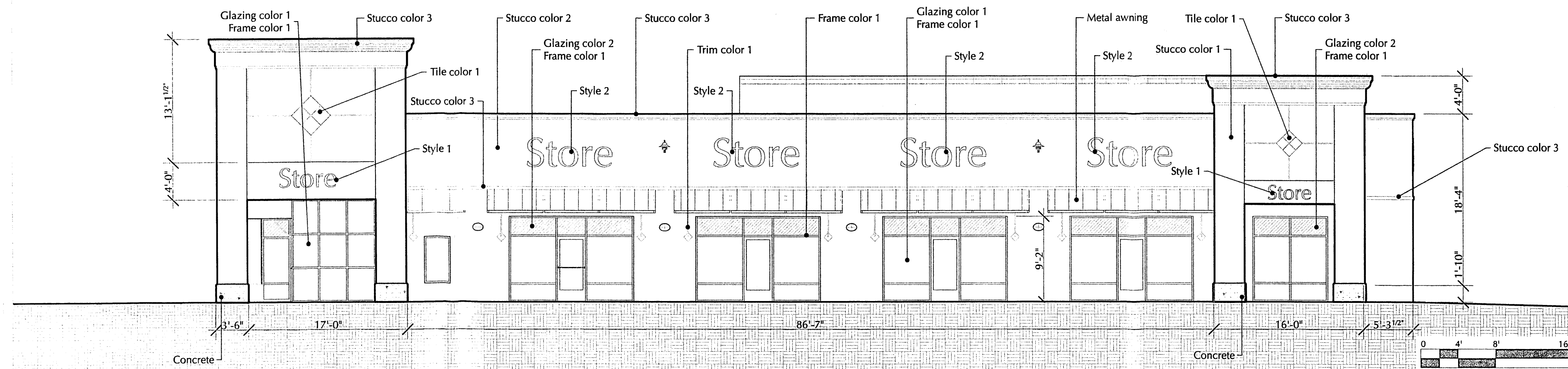
FF Light Pole Detail



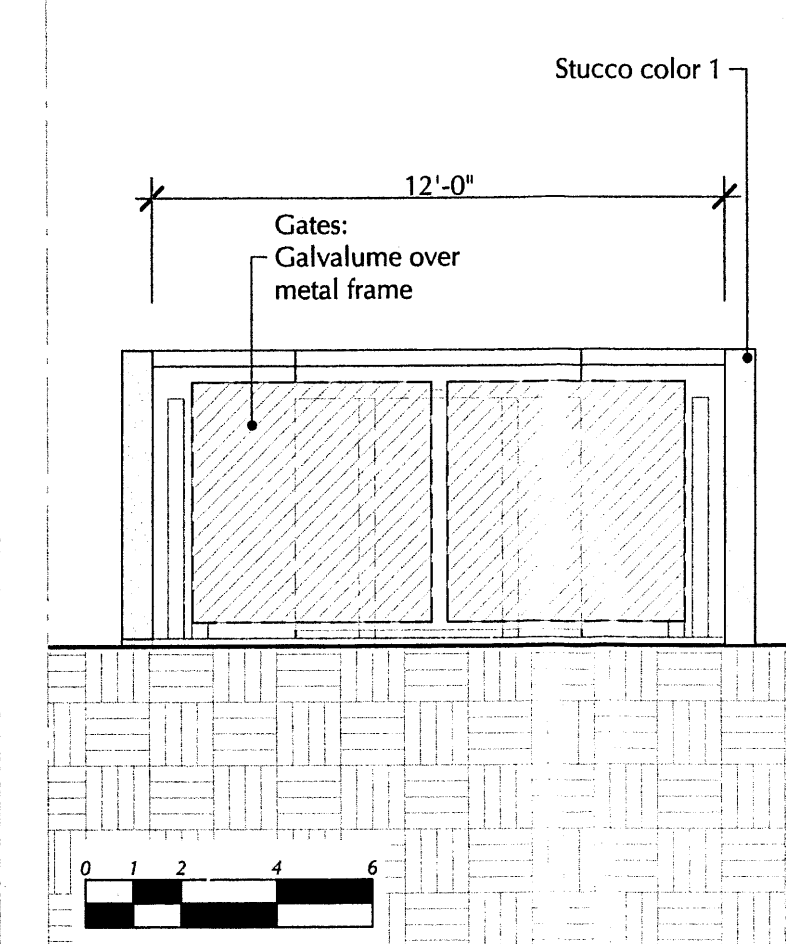
C East Elevation



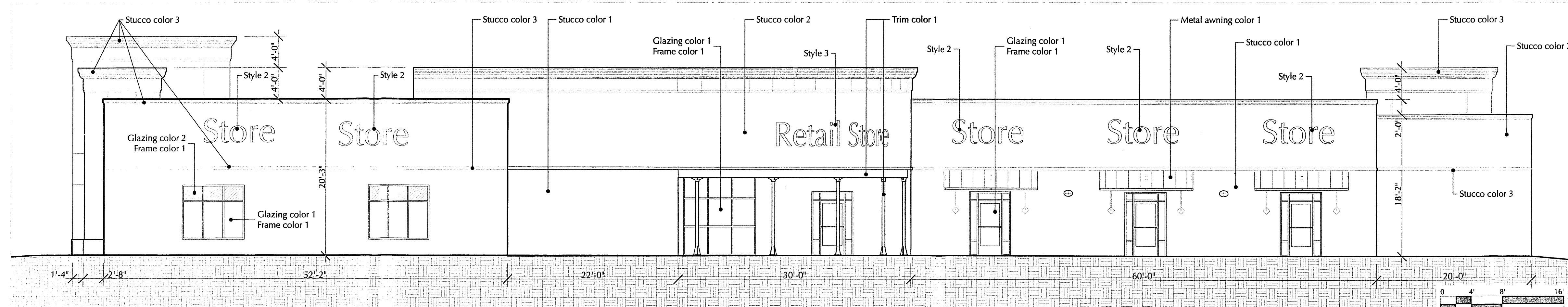
M Monument Sign Detail



N South Elevation



S Trash Elevation



T West Elevation

STUCCO COLORS:
 Stucco color 1 Light Tan
 Stucco color 2 Rose
 Stucco color 3 White

PAINTED TRIM:
 Color 1 Green Metal

STOREFRONT FRAME:
 Color 1 Clear Aluminum

GLAZING:
 Color 1 Clear
 Color 2 (Accent only) Rose Tint
 All glazing shall not be mirrored finished. (non-reflective)

METAL AWNING:
 Color Galvalum

PORCELAIN TILE:
 Color Green

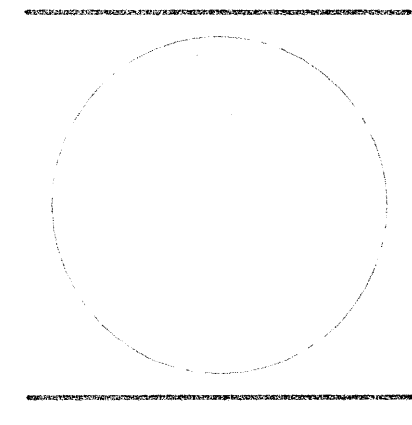
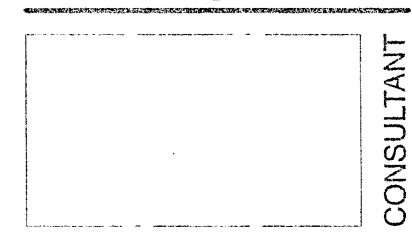
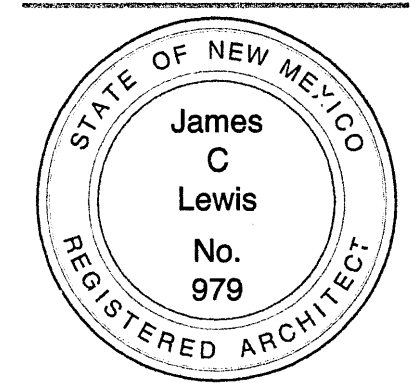
ROOFING:
 All flat roofing is not visible from public view and will be gravel or white membrane type.

SIGNAGE:
 Style 1 18" tall (maximum)
 8' wide (maximum)
 = 13 sf
 Style 2 3' tall (maximum)
 10' wide (maximum)
 = 30 sf
 Style 3 3' tall (maximum)
 20' wide (maximum)
 = 60 sf

All building mounted signs shall be individual metal letters, internally illuminated channel letters, or exposed neon. No sign element shall exceed 3'-0" in height. Two or more building signs on the same facade may be combined to create one larger sign. The total building mounted sign area shall not exceed 6% of the total building facade. Colors shall be selected by each tenant at the time of sign permit.

Note: All mechanical equipment will be screened from view of the adjacent parking area and public right of way.

Z Colors and Finishes



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SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
The Shops @ Cottonwood Park
 Cottonwood Park Road NW
 Albuquerque New Mexico 87114

ISSUE DATE:
 03 November, 2004

REVISIONS:
 22 November, 2004

Elevations

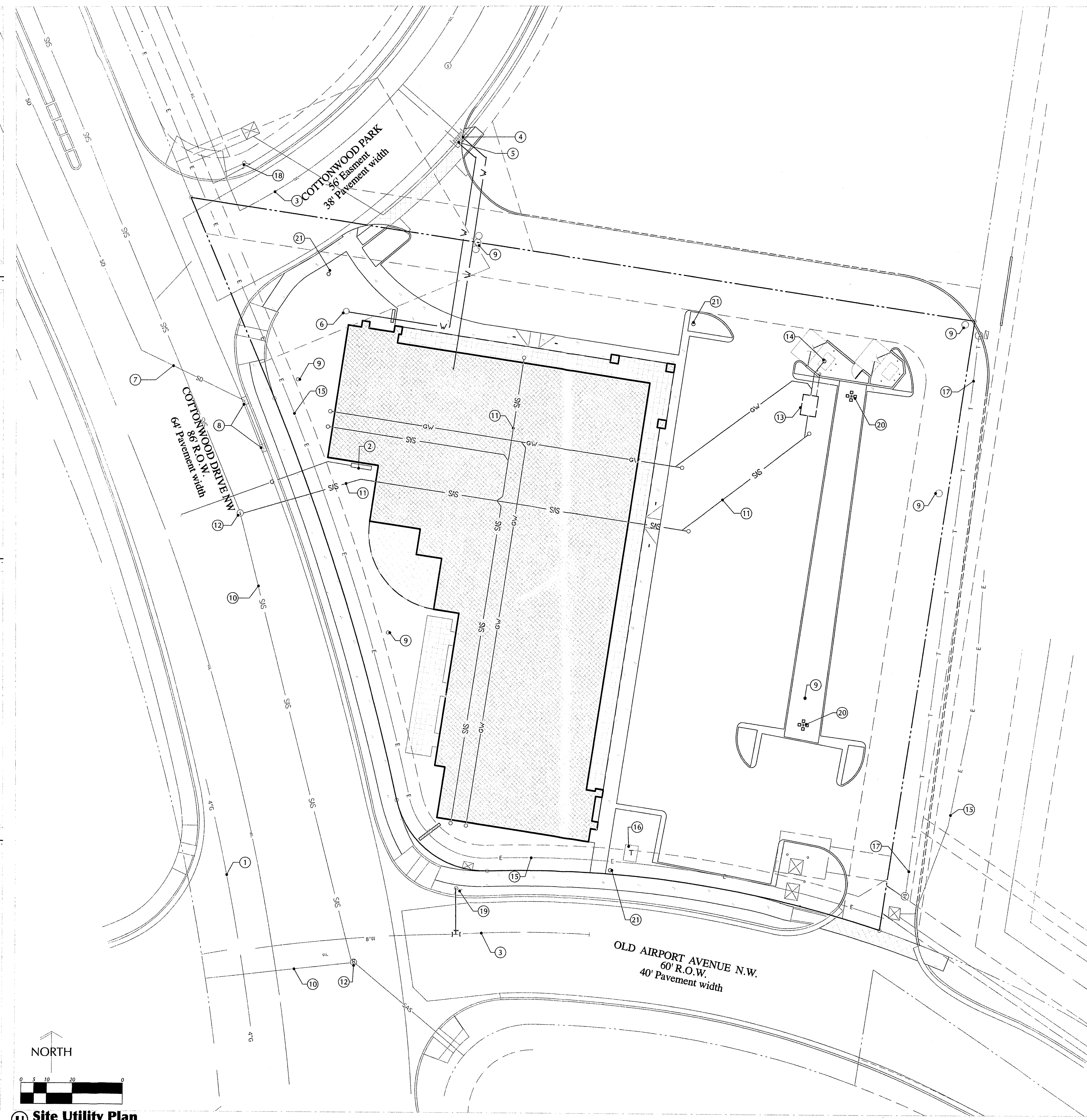
PROJECT 0.4.08 SHEET **SDP-5** OF 6

A Detail Not Used

G Detail Not Used

N Detail Not Used

T Detail Not Used



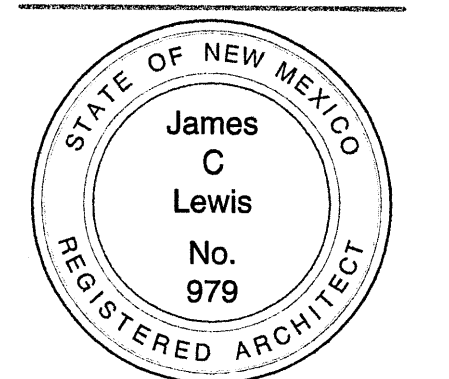
U Site Utility Plan

Detail Not Used

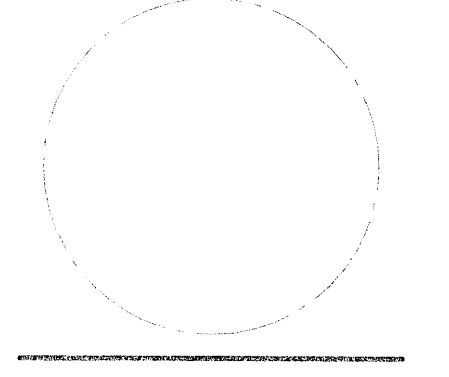
M Detail Not Used

Z Keyed Notes

1. Existing gas line.
2. Proposed gas meter location.
3. Existing water main.
4. Proposed water meter.
5. Proposed irrigation meter.
6. Proposed irrigation control -verify location
7. Existing storm drain line.
8. Existing storm drain inlet.
9. Proposed storm inlet grate -see grading plan
10. Existing sanitary sewer main.
11. Proposed sanitary sewer line.
12. Existing sanitary sewer manhole.
13. Proposed grease interceptor
14. Proposed floor drain
15. Existing underground power line.
16. Proposed electrical transformer.
17. Existing underground telephone line.
18. Existing fire hydrant.
19. Proposed fire hydrant.
20. Proposed parking lot light
21. Proposed building up-light



CONSULTANT



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Utility Plan
 PROJECT 0408 SHEET **SDP-6**
 OF 6