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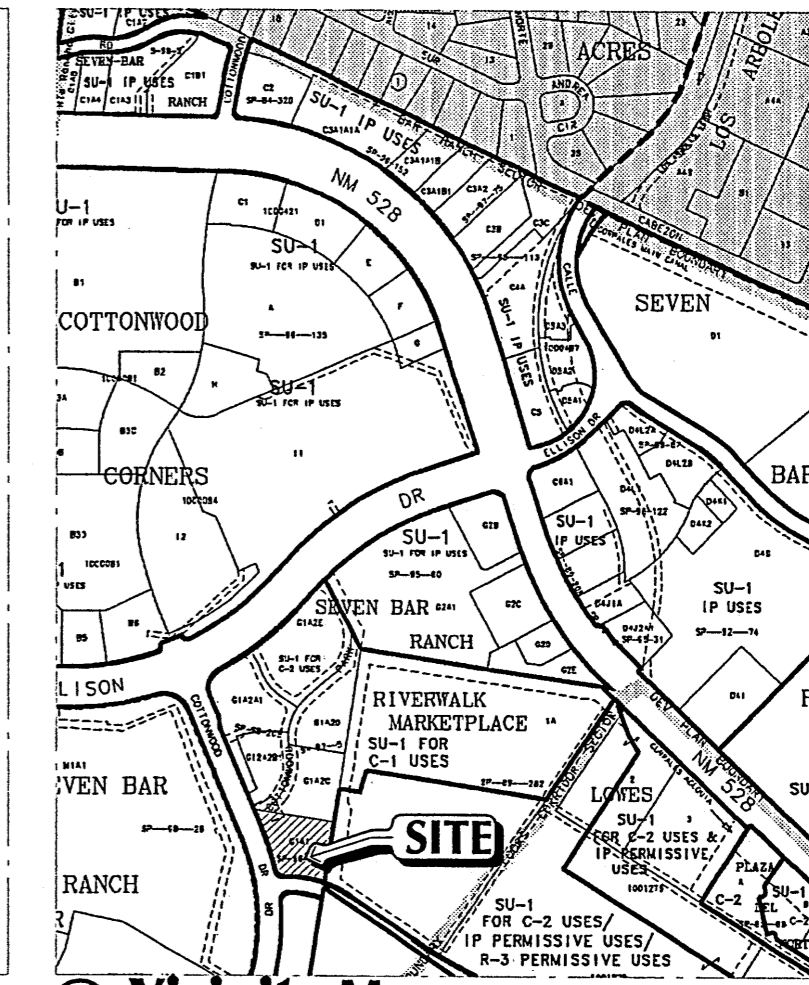
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Contact: Carrie Denton

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

THE SHOPS @ COTTONWOOD PARK

10250 COTTONWOOD PARK DR. • ALBUQUERQUE, NEW MEXICO



Vicinity Map

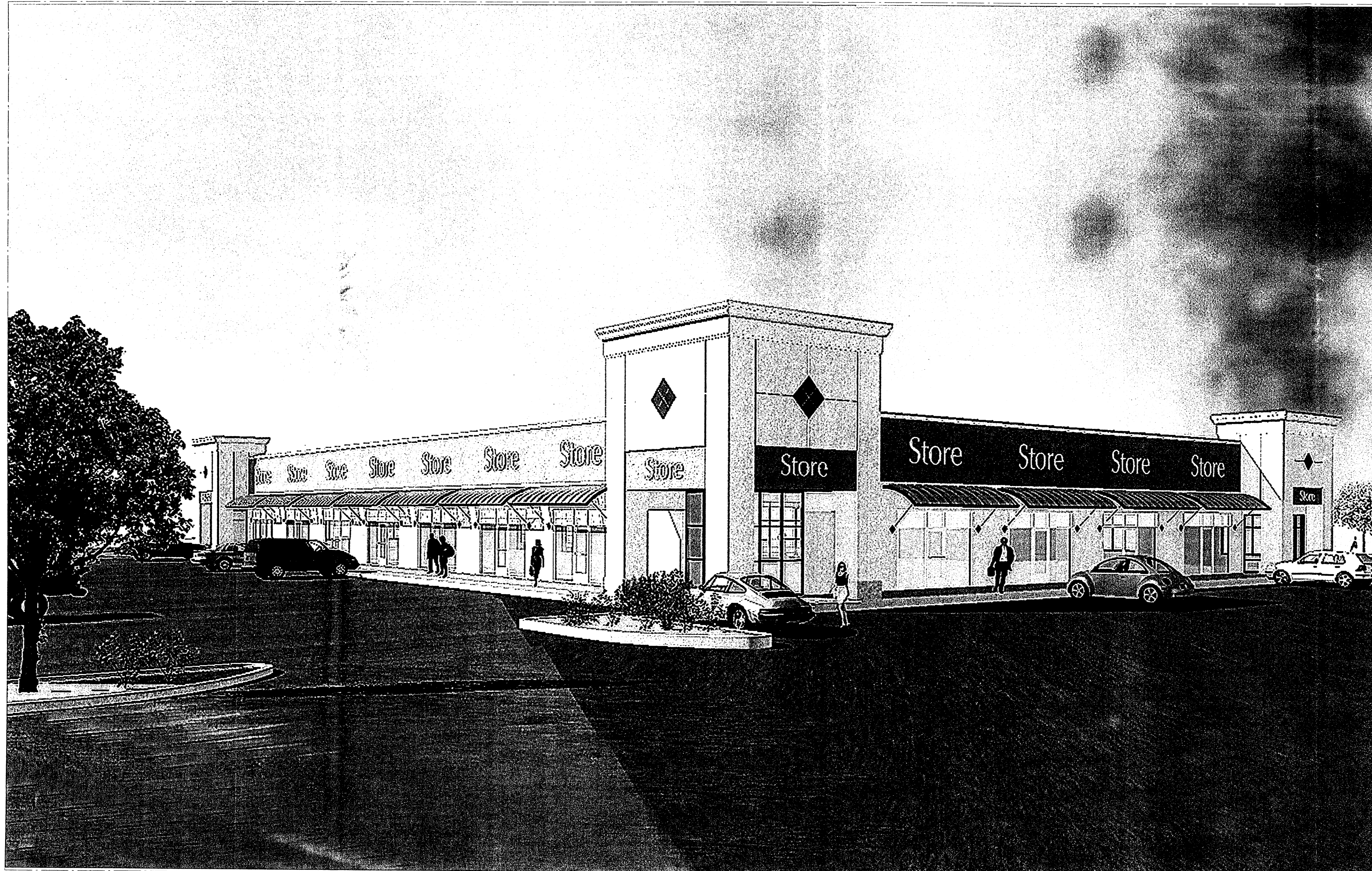


CONSULTANT

PRELIMINARY PLAT
APPROVED BY DRB
ON 12/1/04

A Project Team

C Project Title



T Perspective Drawing

ADDRESS: 10250 Cottonwood Park Rd. NW
Albuquerque, NM 87114

LEGAL DESCRIPTION
TRACT: G-1A-1
SUBDIVISION: Seven Bar Ranch
ZONE ATLAS PAGE: A-14
LAND USE ZONING: SU-1 for C-2 uses.

PARKING
Required:
Retail: (1 space per 200 SF) 15,040/200 = 75 Spaces
10% bus discount = 7.5 Spaces
Total = 68 Spaces

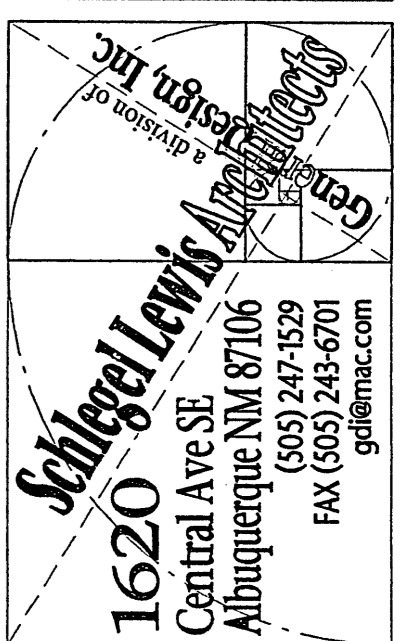
Provided:
Standard Spaces 63 Spaces
Small Car Space 4 Spaces
HC Space 4 Spaces
Total 71 Spaces

BICYCLE PARKING
Required: 1 space/20 parking spaces
Provided: 71 parking/20 = 3.6 spaces = 4 spaces

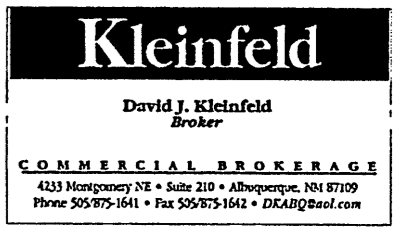
PROJECT SUMMARY

The Shops at Cottonwood Park is an approximately 15,000 square foot retail building. The project includes towers, tile accents and curved metal awnings. The site features the building located toward the street with a large landscape buffer that includes patios. The parking is located toward the back of the site.

The building use is compatible with the surrounding development, as is the style which is tall, single story retail. The color scheme and landscaping is similar to the surrounding development and conforms to the approved site development plan.



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SS Legal Information

SDP-1	COVER SHEET
SDP-2	SITE PLAN
SDP-3	GRADING PLAN
SDP-4	LANDSCAPE PLAN
SDP-5	BUILDING ELEVATIONS
SDP-6	UTILITY PLAN

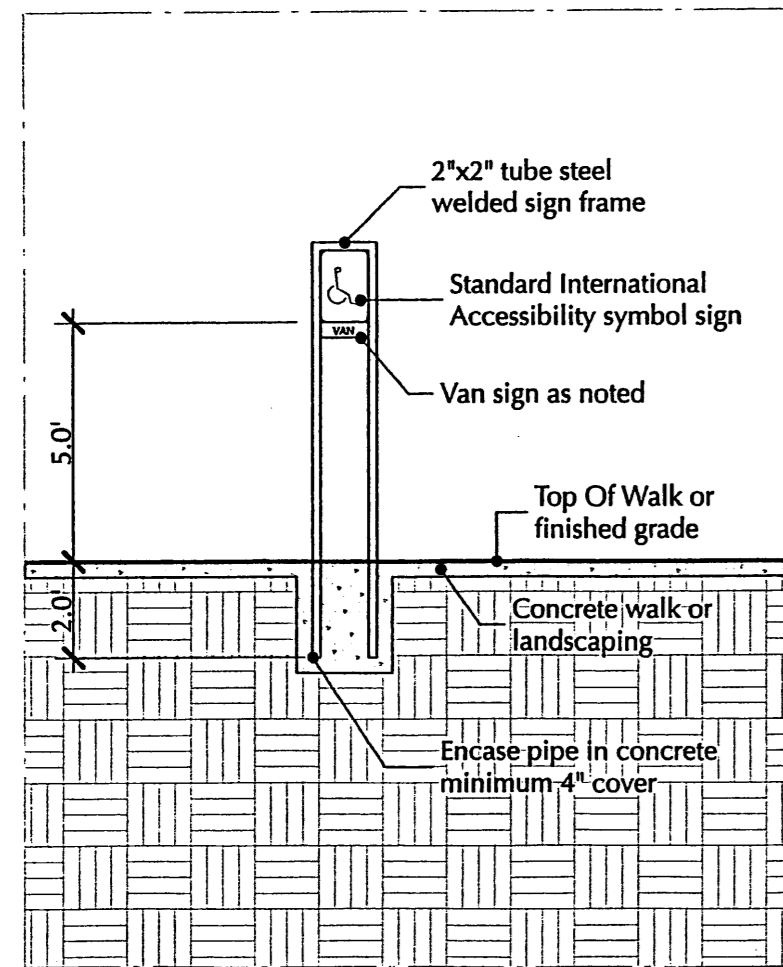
ISSUE DATE:
03 November, 2004
REVISIONS:
22 November, 2004

Cover Sheet

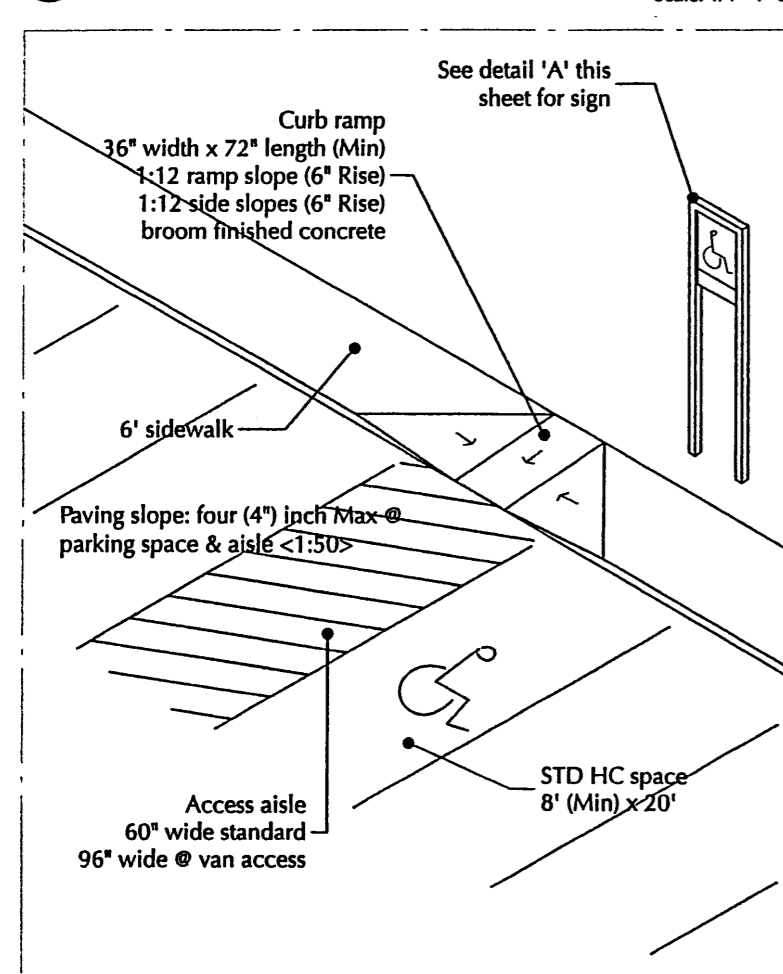
Z Sheet Index

PROJECT SHEET
0408 **SDP-1**
OF 6

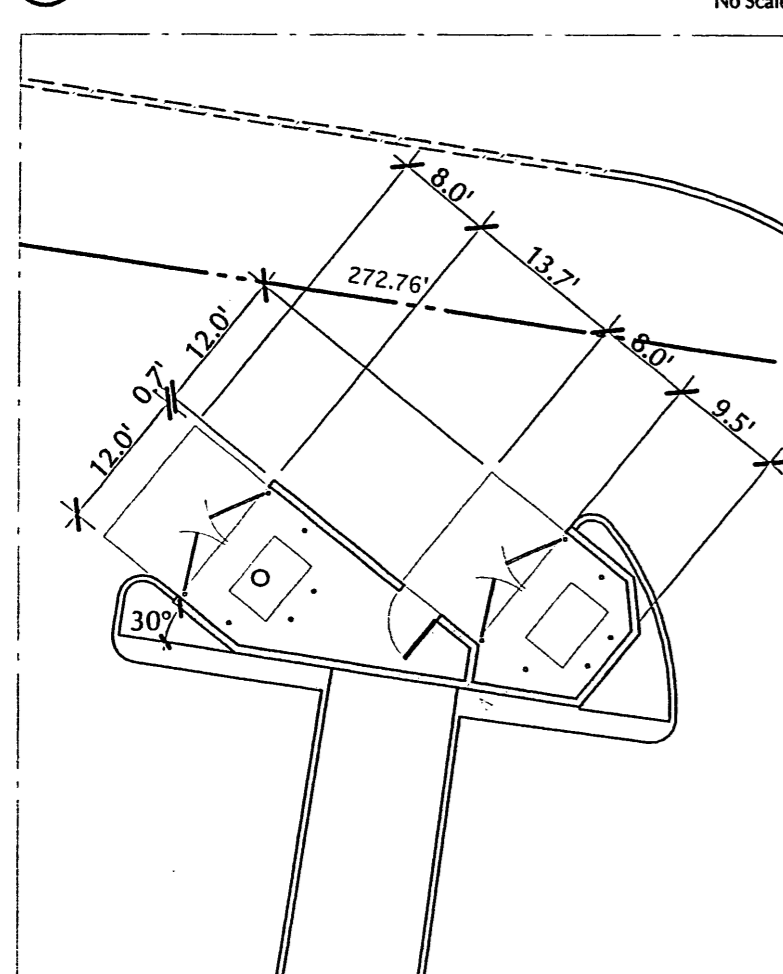
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
The Shops @ Cottonwood Park
Cottonwood Park
Cottonwood Park Road NW
Albuquerque New Mexico 87114



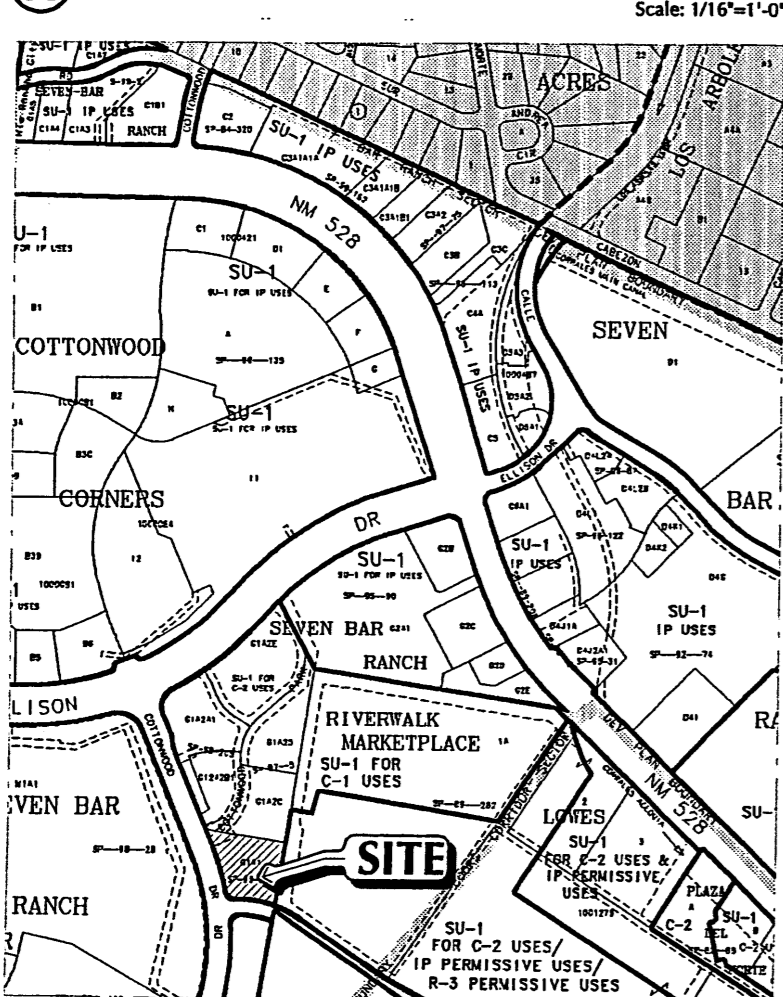
A Handicapped Sign Detail
Scale: 1/4"=1'-0"



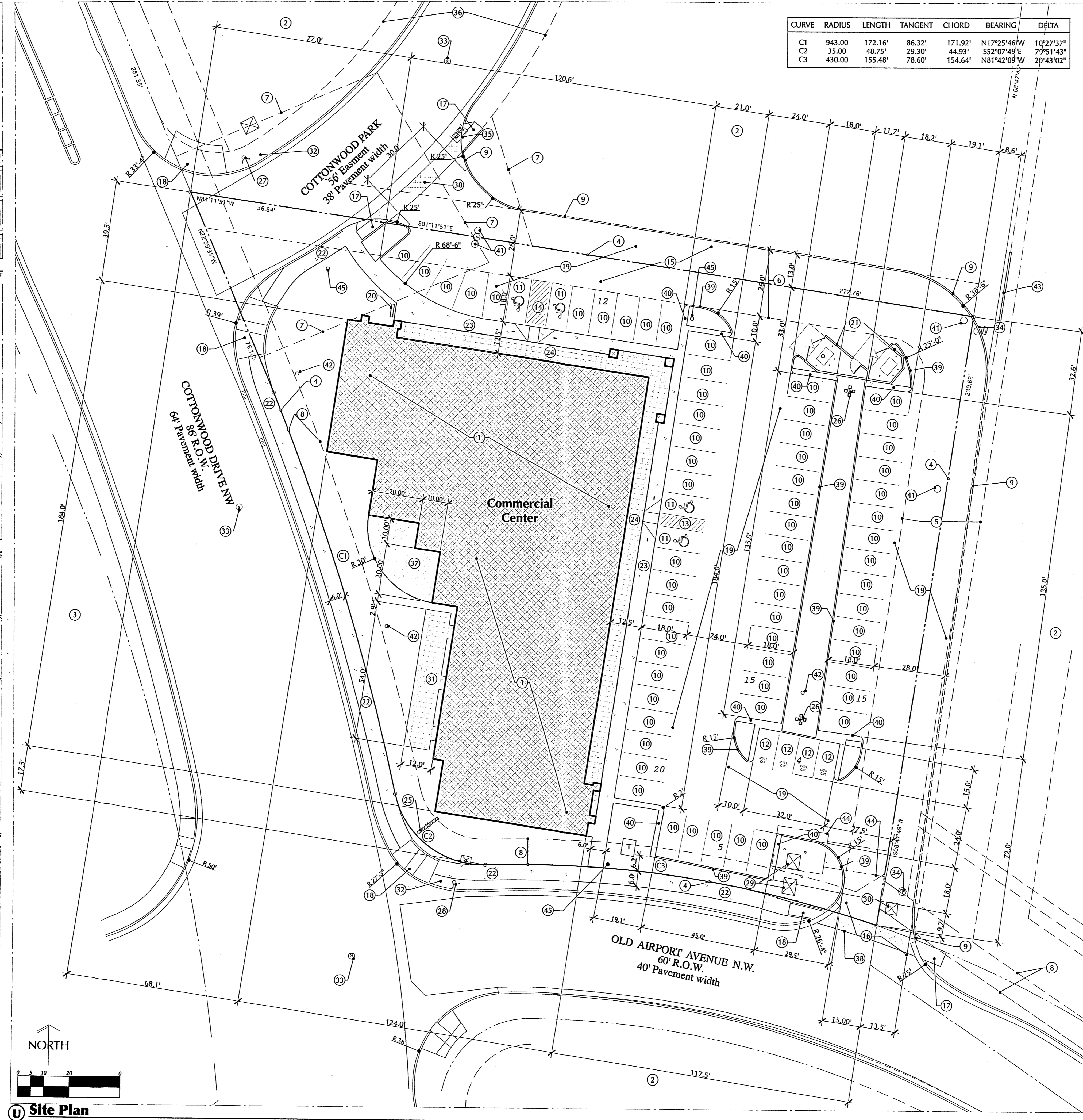
G HC Space
No Scale



N Refuse Location Plan
Scale: 1/16"=1'-0"



T Vicinity Map
A-14



CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	943.00	172.16'	86.32'	171.92'	N17°25'46"W	10°27'37"
C2	35.00	48.75'	29.30'	44.93'	S52°07'49"E	79°51'43"
C3	430.00	155.48'	78.60'	154.64'	N81°42'09"W	20°43'02"

- KEYED NOTES**
- Proposed 15,040 square foot retail building.
 - Vacant land.
 - Existing retail development.
 - Property line (typical).
 - 30' wide private access utility and drainage easement.
 - 26' wide private access utility and drainage easement.
 - Private reciprocal access utility and drainage easement.
 - 10' wide public utility easement.
 - Temporary 6' high asphalt curb.
 - Typical parking space 8'-6" (Min) x 20' (18' + 2' overhang).
 - Typical HC parking space 8'-6" x 20' (18' + 2' overhang).
 - Typical small car parking space 8'-0" x 15'-0". Provide "SMALL CAR" marking on pavement at the front of the space.
 - 5' wide handicap aisle (painted striping).
 - 8' wide handicap aisle (painted striping).
 - Proposed 26' wide common driveway. Construct per COA standards.
 - Existing 30' wide common driveway.
 - Proposed ramp.
 - Existing curb ramp.
 - Asphalt paving.
 - Bicycle rack (5 spaces min). See detail 'F' sheet SDP-5.
 - Refuse enclosure, see details 'N' on this sheet and 'S' on sheet SDP-5.
 - Proposed 6' wide concrete sidewalk.
 - Proposed concrete sidewalk.
 - Proposed colored and textured concrete sidewalk (covered).
 - Proposed monument signs, see detail 'M' on sheet SDP-5.
 - Proposed site lighting fixture, see detail 'FF' on sheet SDP-5.
 - Existing fire hydrant location.
 - Proposed fire hydrant location.
 - Existing electrical equipment.
 - Existing electrical equipment to be relocated/ adjust elevation.
 - Colored and scored concrete patio. (uncovered)
 - Existing stop sign.
 - Existing manhole (sewer).
 - Existing manhole (telephone) relocate/ adjust elevation.
 - Relocate existing water meters (field verify).
 - 56' private roadway, drainage and public utility easement.
 - Colored and scored concrete patio (covered).
 - Colored and textured crosswalk (6' wide).
 - 6" wide x 6" high concrete curb (typical).
 - 2' wide x 6" high concrete curb.
 - Proposed Man hole/inlet grate, see grading plan for location.
 - Proposed inlet grate, see grading plan for location.
 - Proposed retaining wall, see grading plan for location.
 - Public underground electrical Easement
 - Proposed Building Up-light

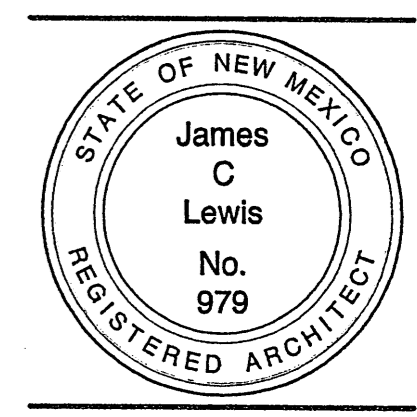
PROJECT NUMBER: 1003775
APPLICATION NUMBER: 04-01745

Is an Infrastructure List Required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-way or for construction of public improvements.

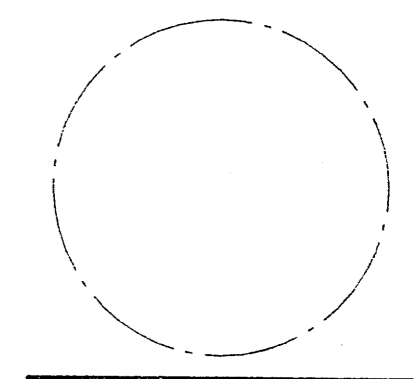
DRB Development Plan Approval

Traffic Engineer, Transportation Department	Date
Utility Development	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
<i>Michael Holton</i> Solid Waste Management	11-23-04 Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	Date

Signature Block

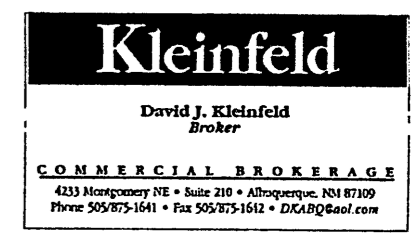


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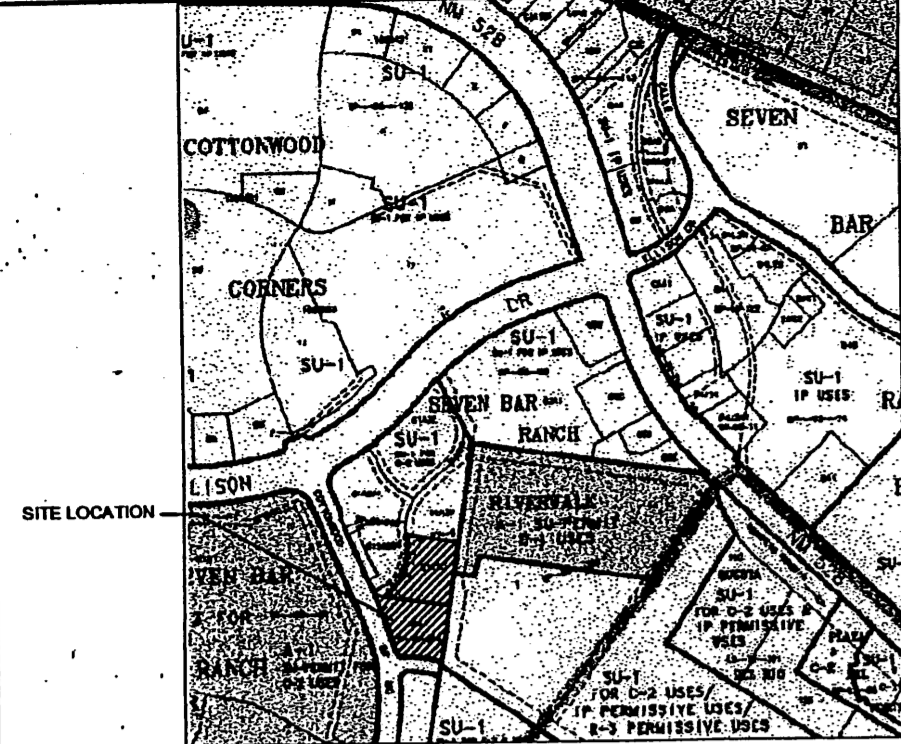
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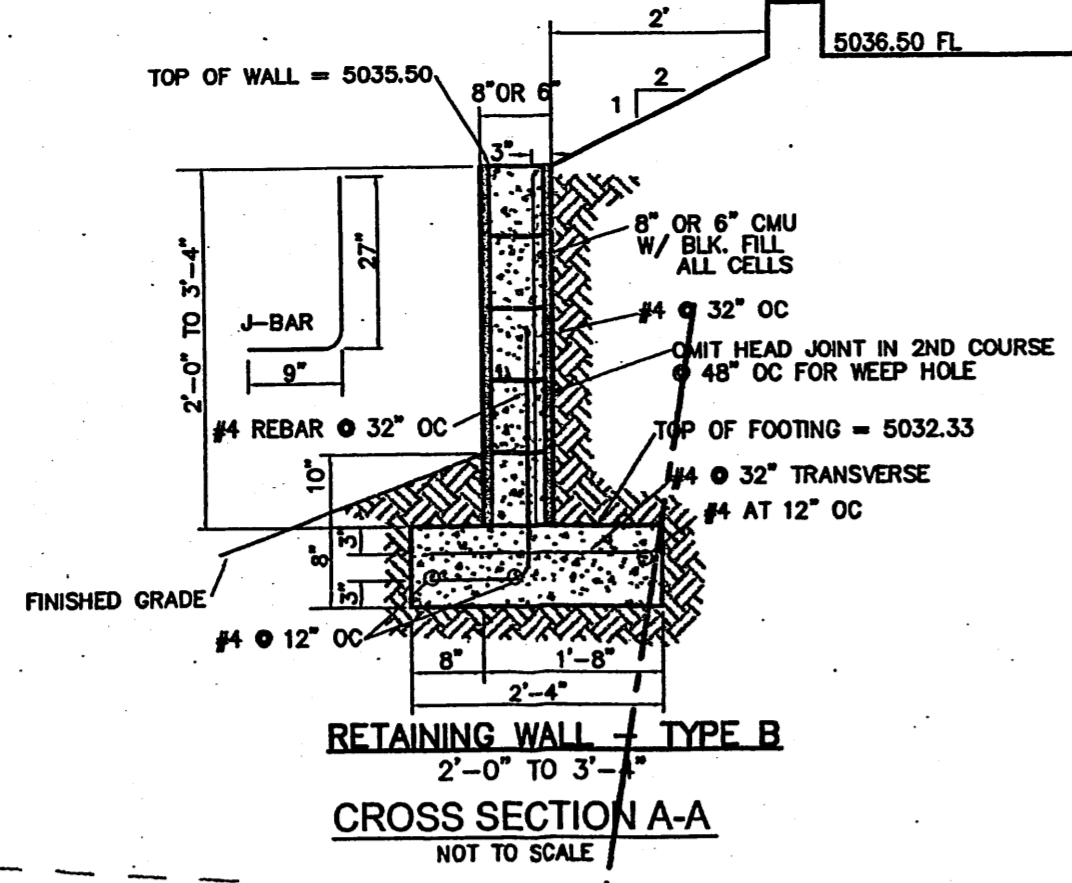
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
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ISSUE DATE: 03 November, 2004
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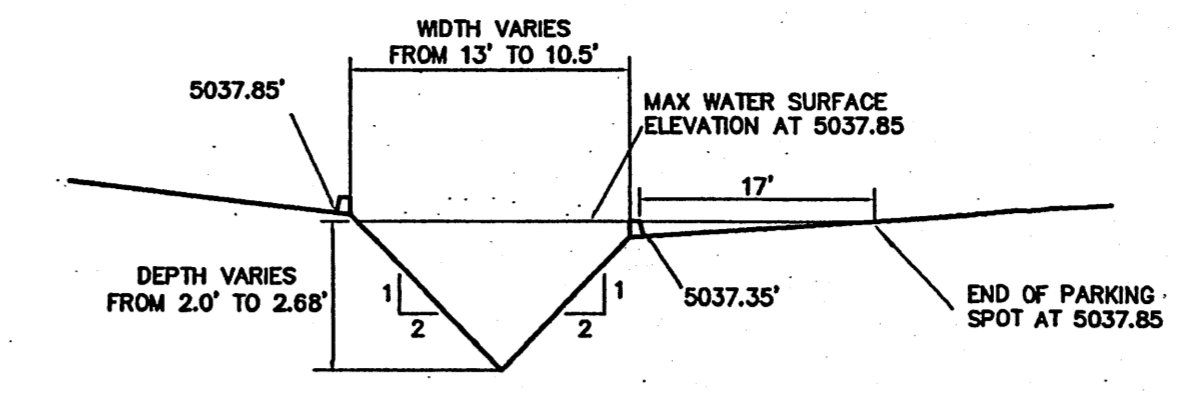
Site Plan
PROJECT 0408 SHEET **SDP-2** OF 6



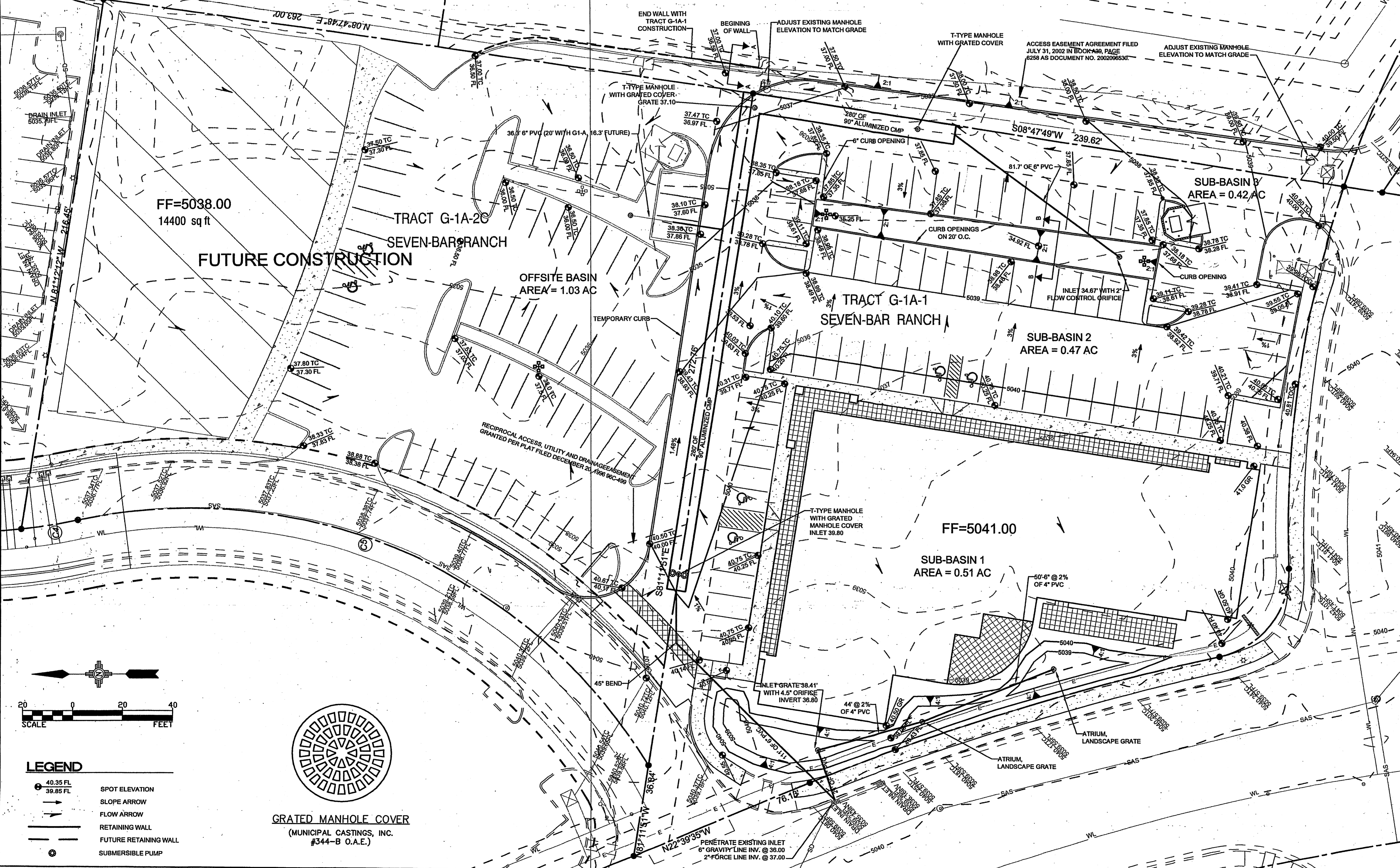
VICINITY MAP - NO FLOOD PLAIN PER PANEL 35001C0109F



- RETAINING WALL NOTES**
1. Compact subgrade to 95% min. relative density (12" min. depth) per ASTM D1557. If clay or loose sand is encountered, contact the Engineer before proceeding.
 2. Compact backfill to 90% min. relative density per ASTM D1557.
 3. Maintain 2" minimum clearance between all reinforcing bars and outside surface of formed concrete, 3" between bars and outside surface of concrete poured against earth.
 4. All block and pilaster cells are to be grouted solid with concrete block fill.
 5. Concrete for footings and filling of cells shall meet or exceed 3,000 p.s.i. at 28 days, with 3/4" maximum size aggregate, and a maximum slump of 5".
 6. Masonry mortar shall meet or exceed the requirements of ASTM C 270, Type M.
 7. Wall blocks are to be standard masonry units (8"x8"x16" or as otherwise indicated), and pilaster blocks are to be sized appropriately for the intended application. Color - Desert Tan or as directed by owner.
 8. Install 9 ga. galv. Dur-O-Wal (or approved equal) every other course (16" OC), or bond beam with 2-#4 rebar every third course (24" OC, max.).
 9. Reinforcing steel splices shall have 15" min. laps.
 10. Construct pilasters at 16' on centers (maximum), and as appropriate for corners, junctions, angle points and ends.
 11. Drainage for retained earth shall be provided with clean gravel backfill and un-mortared head joints.
 12. The top course of block shall use 2" solid masonry units as cops, unless a 6" party wall is to be installed on top of a retaining wall.
 13. The top of pilasters shall have 2" solid masonry units of appropriate sizes.
 14. Drain blocks for party walls shall consist of standard masonry units turned face down. They shall be installed through the 6" party wall above the retaining wall section after the retaining wall section is complete and backfilled, and at locations specified by the Owner.



CROSS SECTION B-B
NOT TO SCALE



SHOPS AT COTTONWOOD PARK

The project area generally slopes to the north and east, and is comprised of sandy, hummocky soils. It is comprised of two separately owned sites, both covered by SAD 223, and thus, there is a maximum permissible peak flow rate. The first site is designated Tract G-1A-1 Seven Bar Ranch. From "SAD NO. 223 Cabezon Channel Capacity Analysis" (June 1993), prepared by Easterling & Associates, Inc., for COA PWD, the permissible flow rate from TRACT G-1A-1 is 0.73 cfs per acre. Tract G-1A-1 is 1.3166 acres, and thus has a permissible 0.97 cfs discharge. The adjacent site on the north (G-1A-2C) is coordinated to drain to the same system as this site. This adjacent site is only in a conceptual phase and is only being submitted as conceptual grading and drainage plan. All "developed" flow (90% D, 10% C) goes to a shared detention/pump system.

Hydrology calculations were performed based on the Albuquerque DPM Chapter 22.2. The site is in Zone I (Figure A-1 of DPM). Thus a rainfall of 2.66" is used for the 100 yr 24 hr storm. The site is broken into four sub-basins for analysis. The areas and calculated runoff volumes and peak flow rates are shown below.

HYDROLOGY SUMMARY

PROJECT NAME:	Shops at Cottonwood Park		LAND TREATMENTS			
	AREA (acres)	A	B	C	D	
JOB NUMBER:	23-04-01					
Sub-basin 1	DEV 0.51	0.0%	13.8%	13.8%	72.5%	
Sub-basin 2	DEV 0.47	0.0%	3.4%	9.4%	87.2%	
Sub-basin 3	DEV 0.42	0.0%	0.0%	1.7%	98.3%	
off-site 1	DEV 1.05	0.0%	0.0%	10.0%	90.0%	

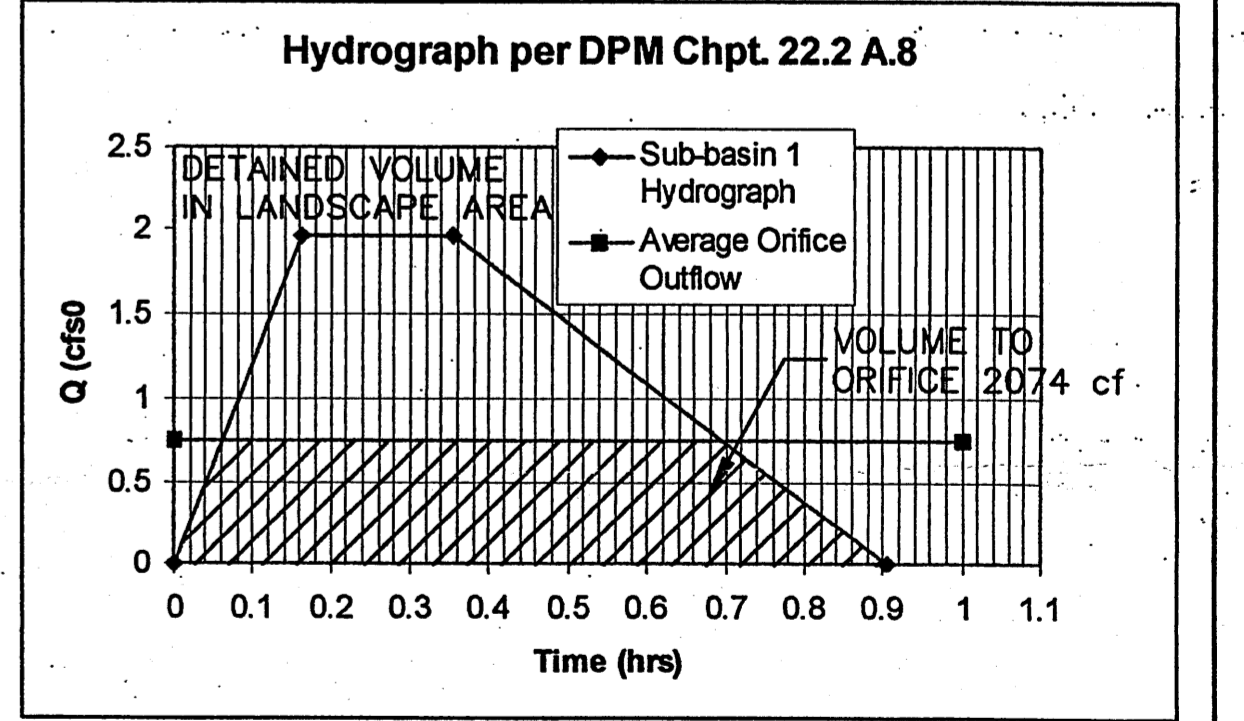
Q (cfs)	10 YEAR VOLUME (ac.ft.)		100 YEAR VOLUME (ac.ft.)	
	6 HR	24 HR	6 HR	24 HR
Sub-basin 1	1.2	0.04	2.0	0.07
Sub-basin 2	1.3	0.04	1.9	0.07
Sub-basin 3	1.2	0.04	1.8	0.07
off-site 1	2.9	0.10	4.4	0.16

The entire site will be drained to the backside of an existing inlet on Cottonwood Drive N.W., as shown on the plan. Two penetrations will be required, one for a 6" gravity line, and another for a force line from the pump.

The gravity line drains Sub-basin 1, which contains the building. Building runoff drains to the western landscape/detention area. A 6" pipe with a 4.5" orifice plate, will allow 0.65 cfs when the water surface elevation matches the grate elevation and increases to 0.88 cfs as the elevation rises. As can be seen from the hydrograph plot below, the inlet/orifice accounts for 2074 cubic feet of the runoff from Sub-basin 1. The rest of the volume is temporarily detained in the landscape area. This plot was created with a tc equal to the minimum and an average orifice flow rate of 0.75 cfs.

The runoff from Sub-basin 2 is collected to the large median on the eastern end of the site (see detail). This median stores 2870 cu. ft. (0.066 ac-ft) and will be controlled by a 1.5" orifice allowing a flow rate less than the pumps 0.09 cfs. This takes this volume out of the storage necessary for the underground pipe. In a 100-yr storm event this storage area will overflow to the inlet in the northeast corner of the site. This inlet also directly receives all surface runoff from Sub-basin 3. This runoff, as well as most of Off-Site 1, drain directly to an underground 90" CMP which runs for 280' and provides for 12348 cubic ft (0.283 ac-ft) of storage. Off-Site 1 also has a median/parking lot ponding area on the eastern portion of the lot. This area detains 1000 cu. ft. So of a total 19,860 cu. ft. (0.456 ac-ft) of total runoff, 7550 is stored above ground or drains directly to the street inlet. The CMP will house two 40 GMP (0.9 cfs) submersible trash pumps (one is backup), which will be connected to the existing inlet in Cottonwood Park by a PVC pressure line. It should be noted that 0.9 cfs (pump flow rate) when combined with the maximum orifice flow rate (0.88 cfs) is equal to the permissible 0.97 cfs for Tract G-1A-1. It should also be noted that in a 100-yr storm the maximum parking lot depth is 0.5', and there is no ponding in the parking lot in a 10-yr storm.

Spot elevations, and contours where necessary, are shown to convey the final grade. The final grade is similar to the existing grades as it falls off from the north and east. A retaining wall is required at the north east corner of the parking area and has a maximum retained height of 3.4' (see accompanying detail).



SHOPS AT COTTONWOOD PARK GRADING AND DRAINAGE PLAN

LEGEND

- Spot Elevation
- Slope Arrow
- Flow Arrow
- Retaining Wall
- Future Retaining Wall
- Submersible Pump



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DESIGNED BY: HWF DRAWN BY: HWF CHECKED BY: CME SDP-3
JOB NO: 23-04-01 DATE: 06 OCTOBER 2004 OF 5

G:\Projects\23-04-01-Shops at Cottonwood Park\Grade and Drain\Draw CM 09/15/04

LANDSCAPING AND IRRIGATION

All landscape maintenance and waste water responsibilities will be with the Owner's grounds maintenance personnel.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Provide gravel over filter fabric shall be placed in all landscape areas which are not designated to receive native seed or other ground cover. (See landscape plan and schedule).

LANDSCAPE IRRIGATION

Irrigation shall be a complete underground system. Trees shall receive (5) 1.0 GPH drip emitters and Shrubs shall receive (2) 1.0 GPH drip emitters. Drip and bubbler system to be tied to 1/2" poly pipe with flue caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

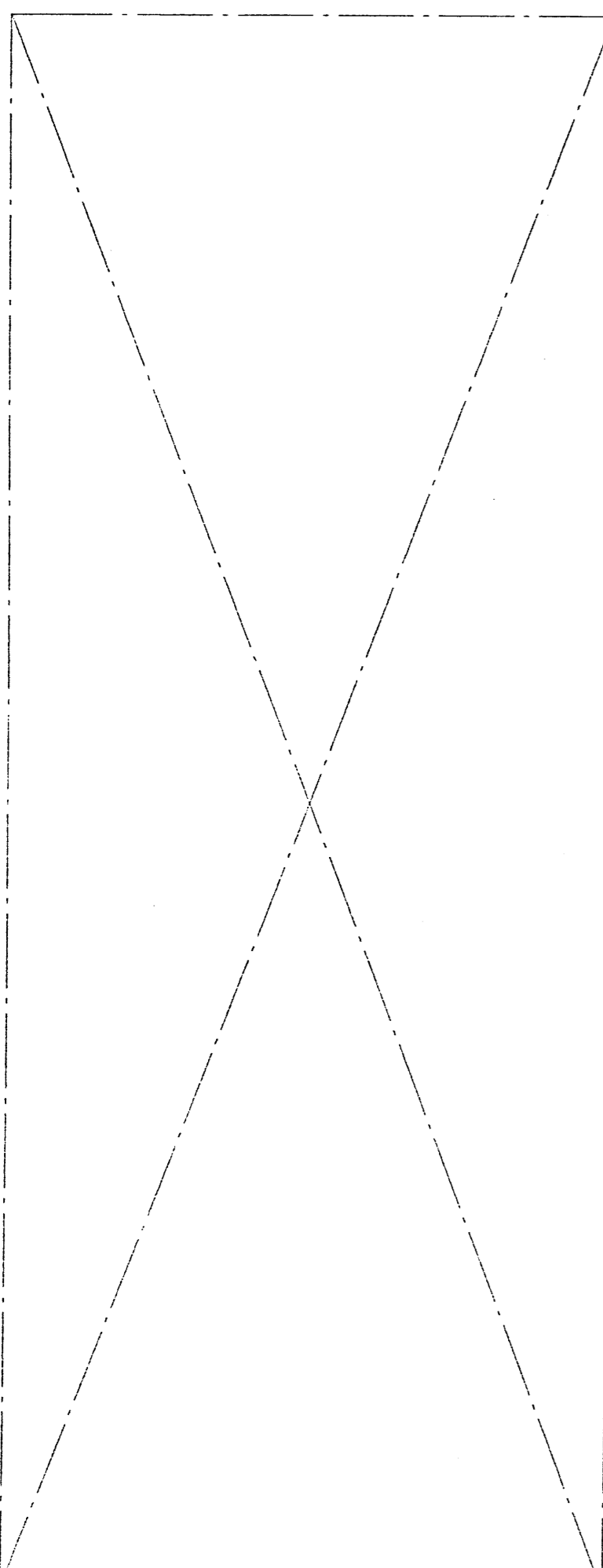
Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

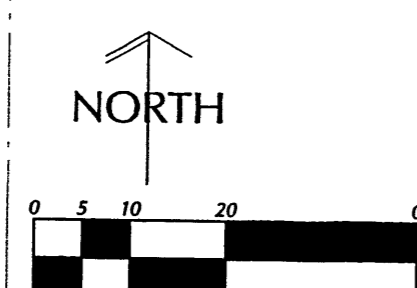
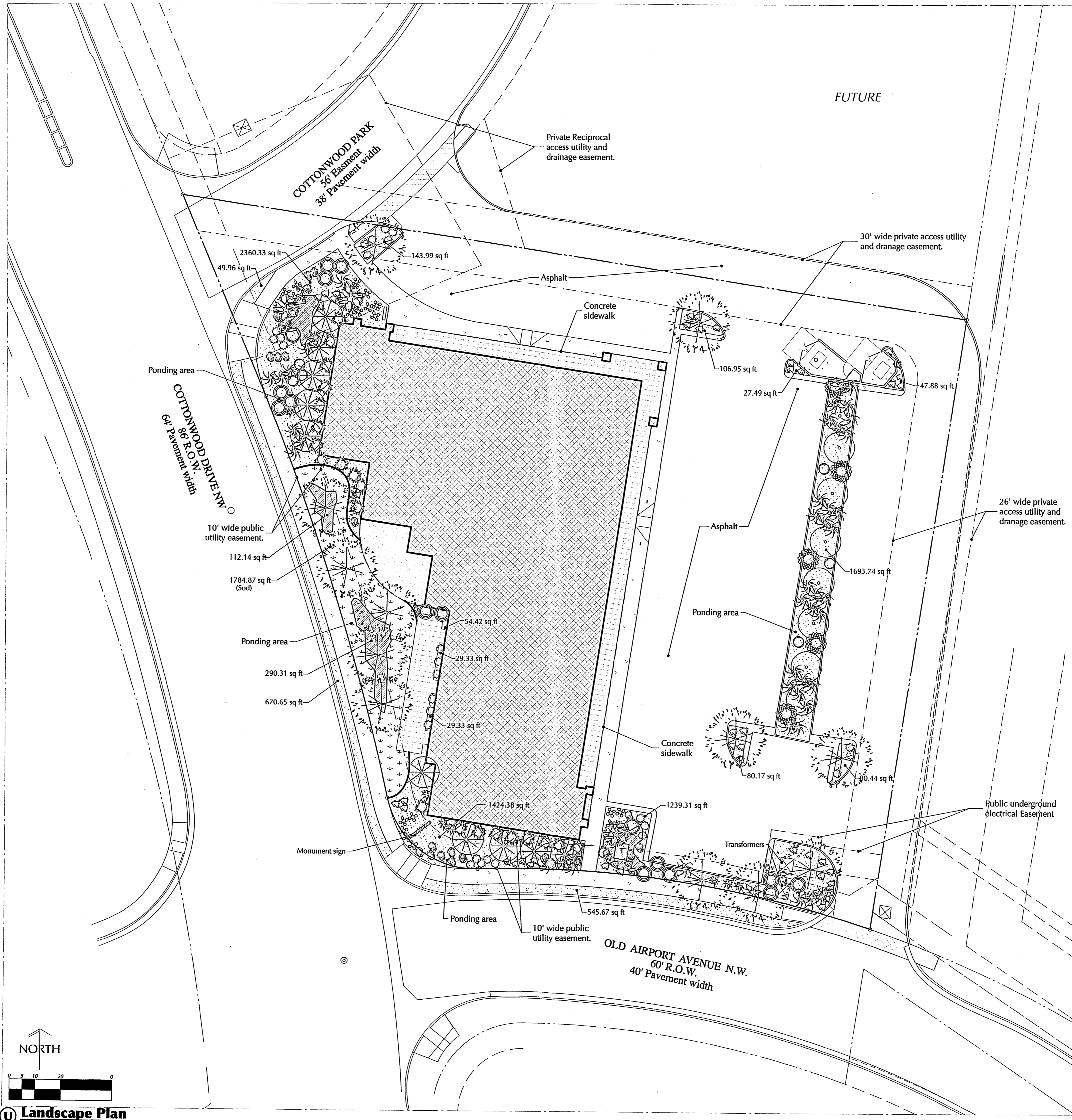
Irrigation maintenance shall be the responsibility of the Property Owner.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

Landscape Notes

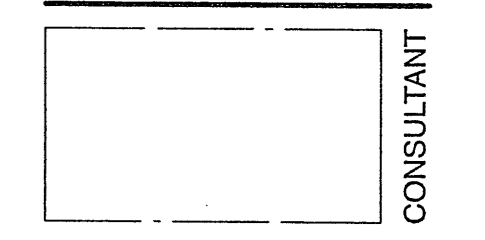


Detail Not Used



Landscape Plan

Total Lot Area:	57,355 sf
Total Building Area:	15,040 sf
Net Lot Area:	42,315 sf
Landscape requirement (15%):	6,347 sf
Total Bed Provided (Planted, gravel):	7,720 sf
Total SOD Provided:	1,784 sf
Total Landscape Provided:	18.8%
	9,505 sf



Landscape Calculations

	ARIZONA ASH (M) <i>Fraxinus velutina</i> 2" Cal.	12
	DESERT WILLOW (L) <i>Chiospis linearis</i> 15 Cal.	3
	FLOWERING PEAR (H) <i>Pyrus calleryana</i> 2" Cal.	10
	NEW MEXICO OLIVE (H) <i>Forsteria neomexicana</i> 15 Cal.	8
	APACHE PLUME (L) <i>Fallugia paradoxa</i> 5 Cal. 25 sf	5
	MUCHO PINE (M) <i>Pinus mugho</i> 5 Cal.	2
	ROSEMARY (M) <i>Rosmarinus officinalis</i> 2 Cal. 36 sf	14
	BUTTERFLY BUSH (M) <i>Buddleia davidii</i> 5 Cal. 100 sf	1
	RED TIP PHOTINIA (M) <i>Photinia fraseri</i> 5 Cal. 64 sf	7
	MAIDEN GRASS (M), BLUE AVENA & THREADGRASS <i>Miscanthus sinensis, Helictichon sempervirens, Stipa tenuifolia</i> 1 Cal. 16 sf	47
	INDIAN HAWTHORN (M) <i>Raphialepis indica</i> 5 Cal.	21
	RUSSIAN SAGE (M) <i>Perovskia atriplicifolia</i> 5 Cal.	7
	POTENTILLA (M) <i>Potentilla fruticosa</i> 2 Cal.	24
	AUTUMN SAGE (M) <i>Salvia greggii</i> 2 Cal. 9 sf	(53)
	LAVENDER <i>Lavedula spp.</i> 1 Cal. 25 sf	29
	WILDFLOWER 1 Cal. 4 sf including but not limited to: Catmint Wall Flower & Yarrow	23
	COMMERCIAL GRADE Steel edging	(21)
	OVERSIZED GRAVEL & 6 Bolders	
	SOD	
	SANTA FE BROWN Crusher fines	(22)

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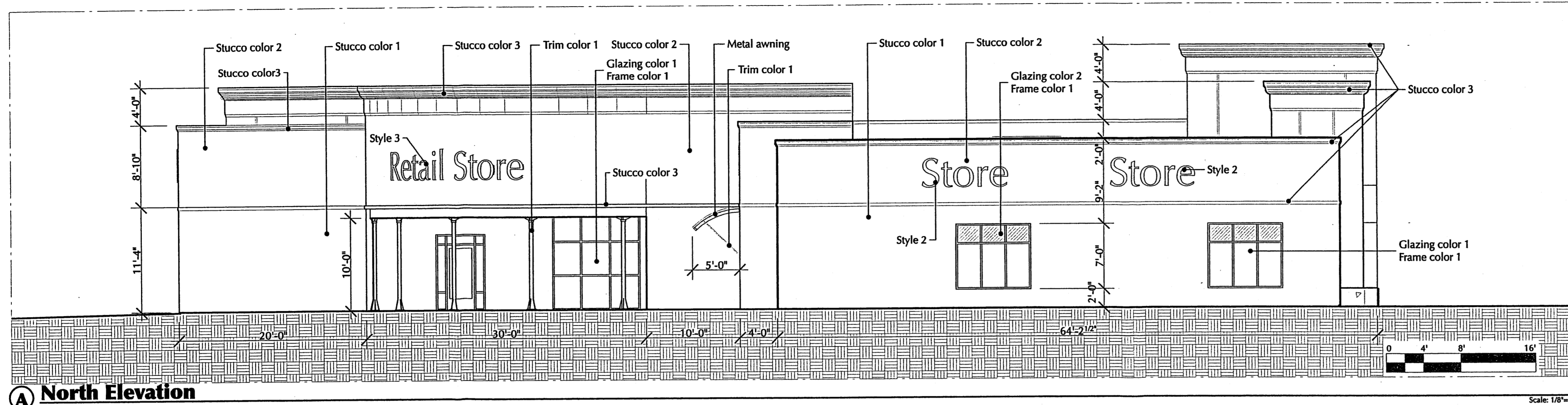
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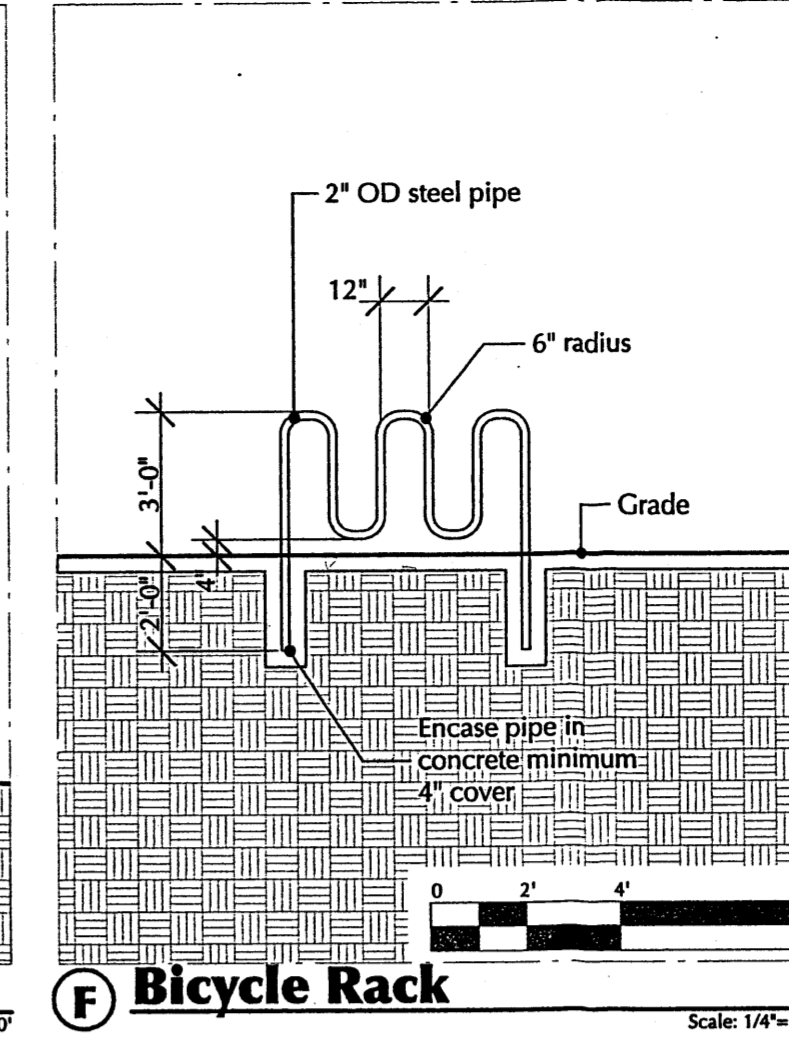
Landscape Plan

PROJECT 0408 SHEET **SDP-4** OF 6

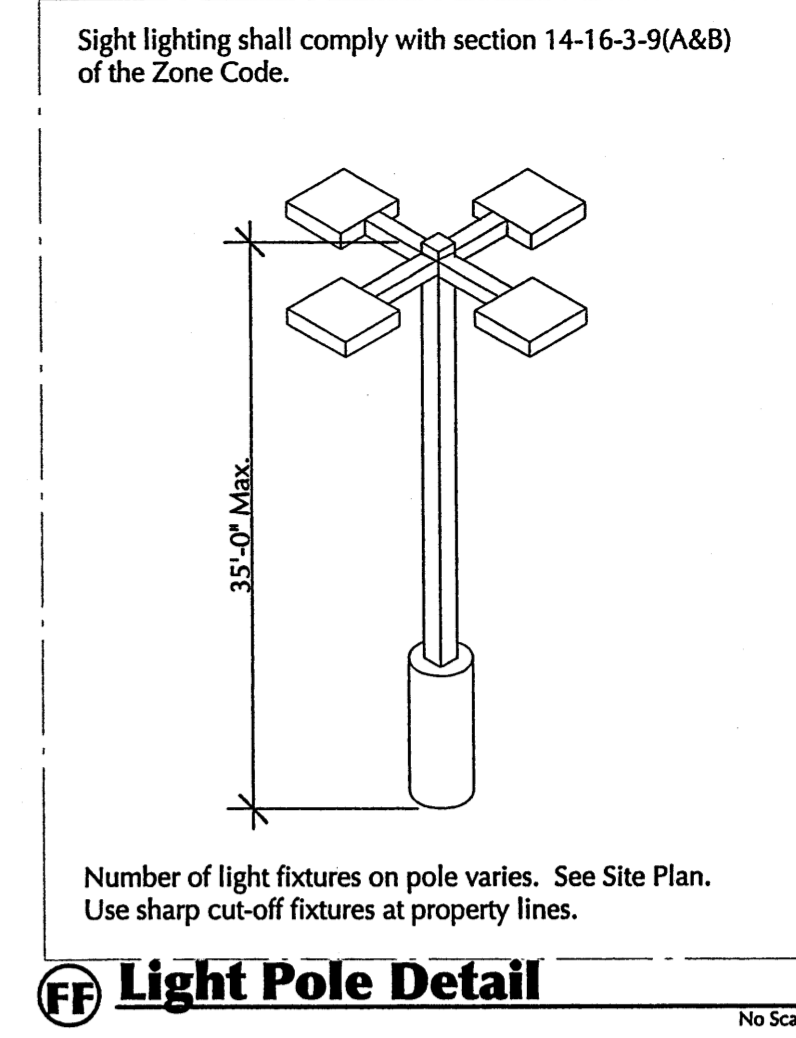
Landscape Legend



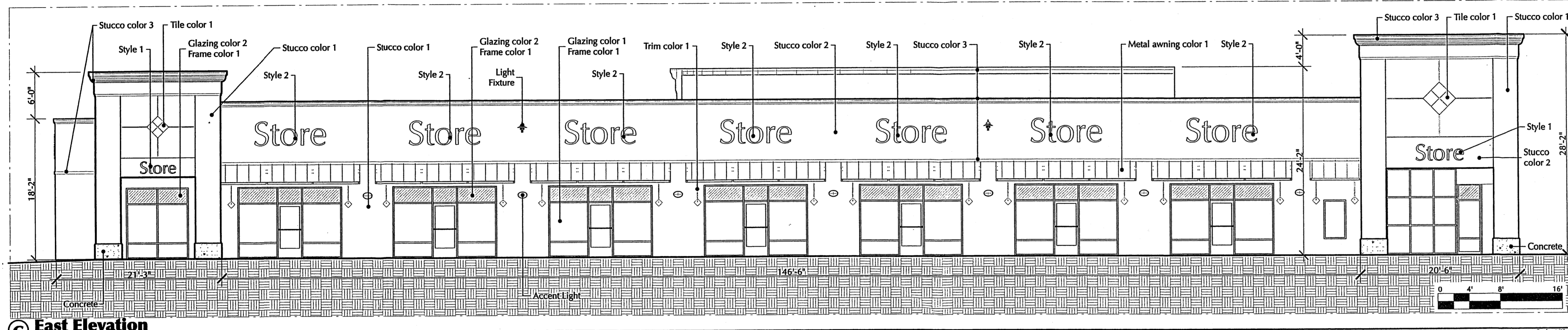
A North Elevation



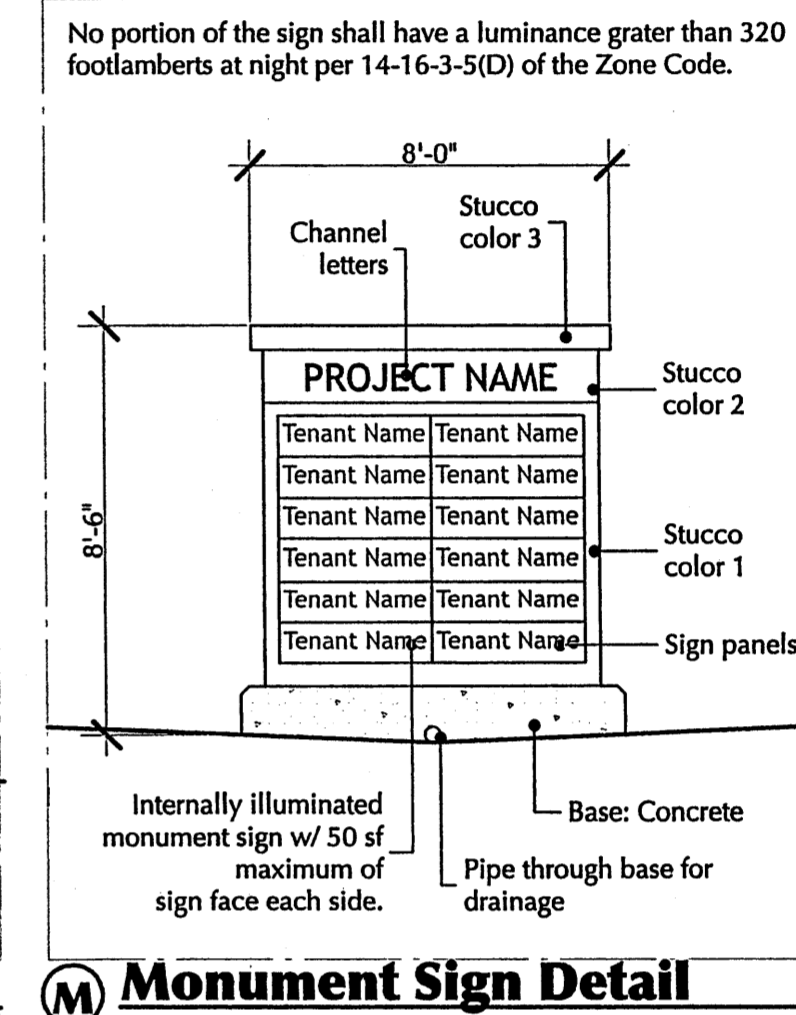
F Bicycle Rack



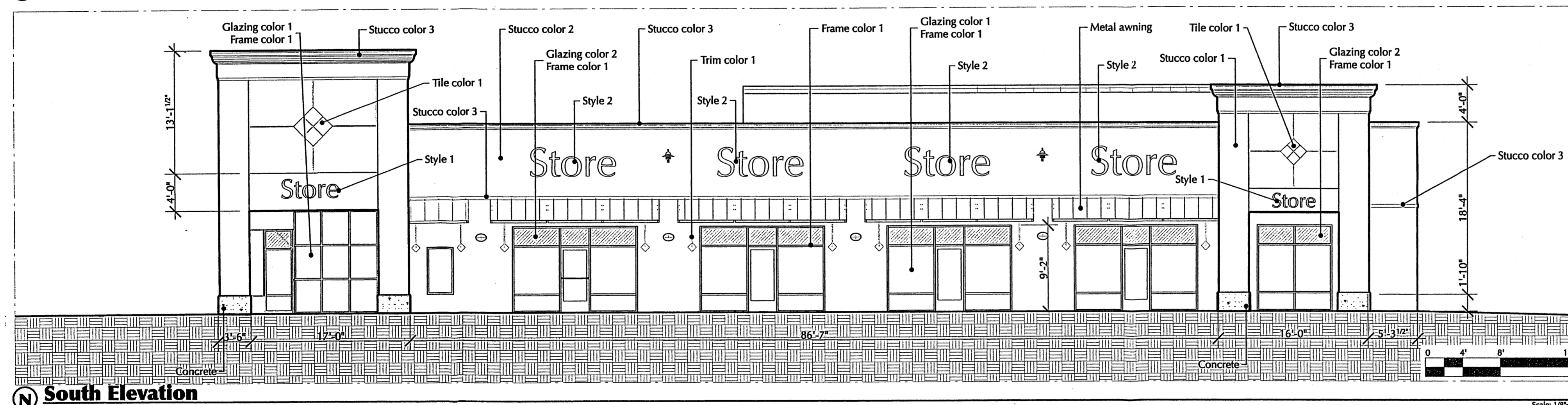
FF Light Pole Detail



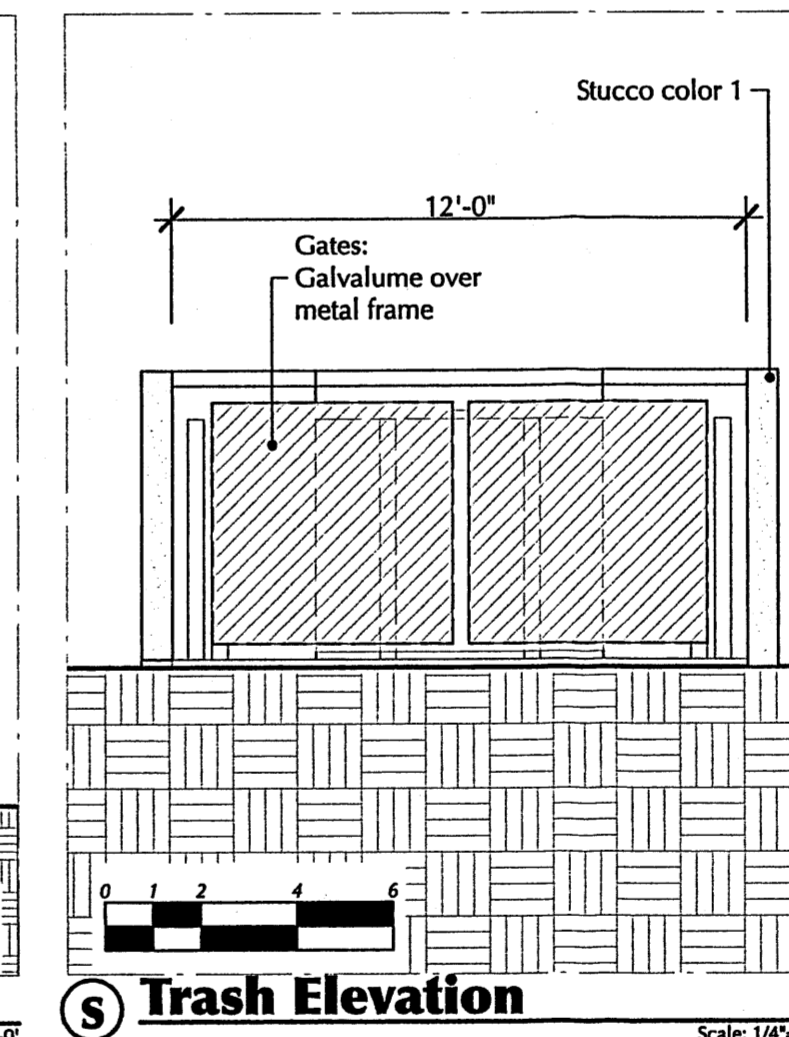
G East Elevation



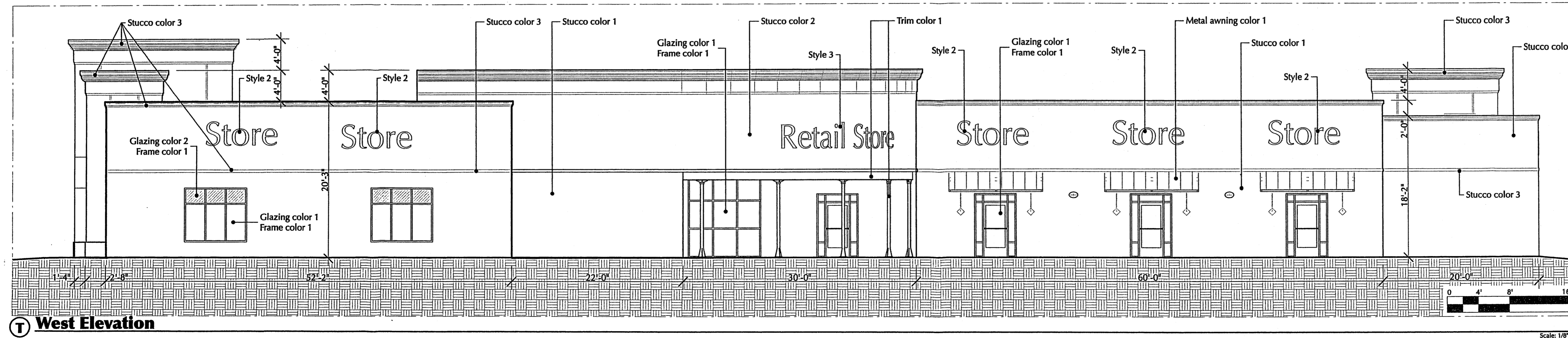
M Monument Sign Detail



N South Elevation



S Trash Elevation



T West Elevation

STUCCO COLORS:
 Stucco color 1 Light Tan
 Stucco color 2 Rose
 Stucco color 3 White

PAINTED TRIM:
 Color 1 Green Metal

STOREFRONT FRAME:
 Color 1 Clear Aluminum

GLAZING:
 Color 1 Clear
 Color 2 (Accent only) Rose Tint
 All glazing shall not be mirrored finished. (non-reflective)

METAL AWNING:
 Color Galvalum

PORCELAIN TILE:
 Color Green

ROOFING:
 All flat roofing is not visible from public view and will be gravel or white membrane type.

SIGNAGE:
 Style 1 18" tall (maximum)
 8' wide (maximum)
 = 13 sf

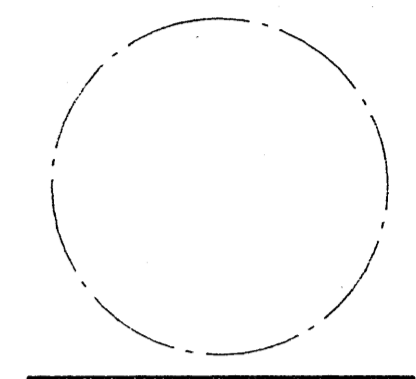
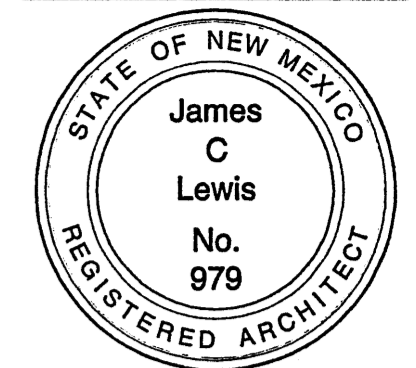
Style 2 3' tall (maximum)
 10' wide (maximum)
 = 30 sf

Style 3 3' tall (maximum)
 20' wide (maximum)
 = 60 sf

All building mounted signs shall be individual metal letters, internally illuminated channel letters, or exposed neon. No sign element shall exceed 3'-0" in height. Two or more building signs on the same facade may be combined to create one larger sign. The total building mounted sign area shall not exceed 6% of the total building facade. Colors shall be selected by each tenant at the time of sign permit.

Note: All mechanical equipment will be screened from view of the adjacent parking area and public right of way.

Z Colors and Finishes



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Kleinfeld
 David J. Kleinfeld
 Architect

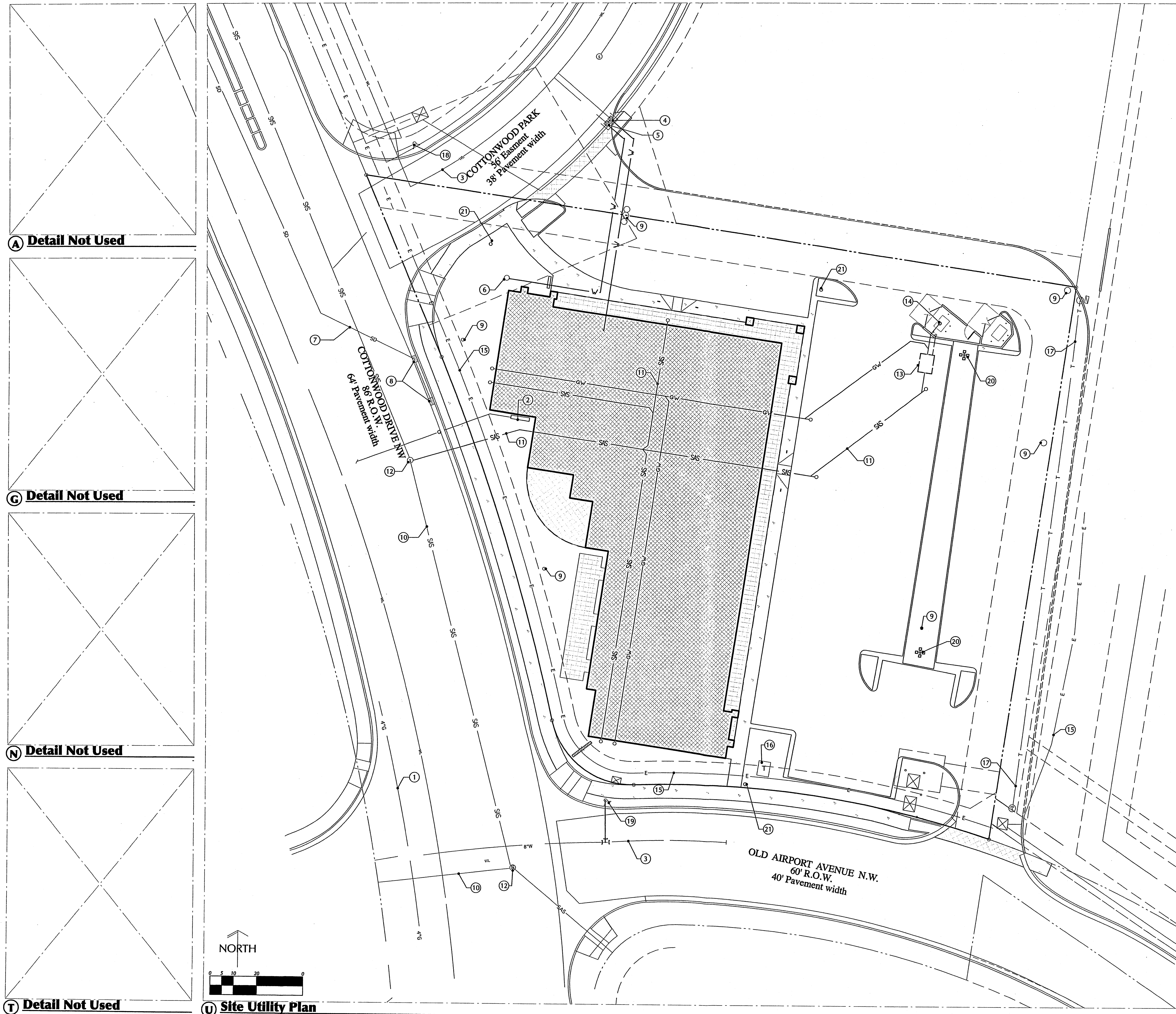
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
The Shops @ Cottonwood Park
 Cottonwood Park Road NW
 Albuquerque New Mexico 87114

ISSUE DATE:
 03 November, 2004

REVISIONS:
 22 November, 2004

Elevations

PROJECT 0408 SHEET **SDP-5** OF 6



A Detail Not Used

G Detail Not Used

N Detail Not Used

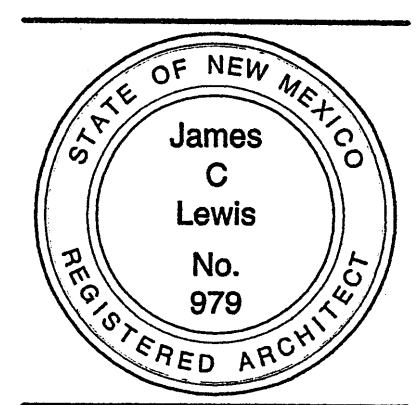
T Detail Not Used

O Detail Not Used

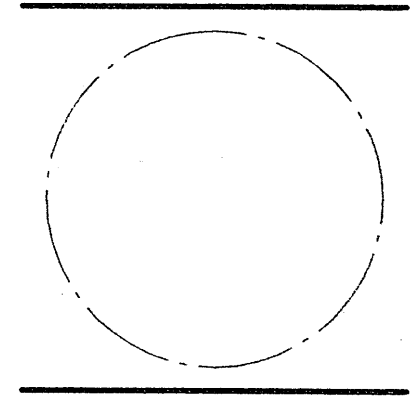
M Detail Not Used

Z Keyed Notes

1. Existing gas line.
2. Proposed gas meter location.
3. Existing water main.
4. Proposed water meter.
5. Proposed irrigation meter
6. Proposed irrigation control -verify location
7. Existing storm drain line.
8. Existing storm drain inlet.
9. Proposed storm inlet grate -see grading plan
10. Existing sanitary sewer main.
11. Proposed sanitary sewer line.
12. Existing sanitary sewer manhole.
13. Proposed grease interceptor
14. Proposed floor drain
15. Existing underground power line.
16. Proposed electrical transformer.
17. Existing underground telephone line.
18. Existing fire hydrant.
19. Proposed fire hydrant.
20. Proposed parking lot light
21. Proposed building up-light



CONSULTANT



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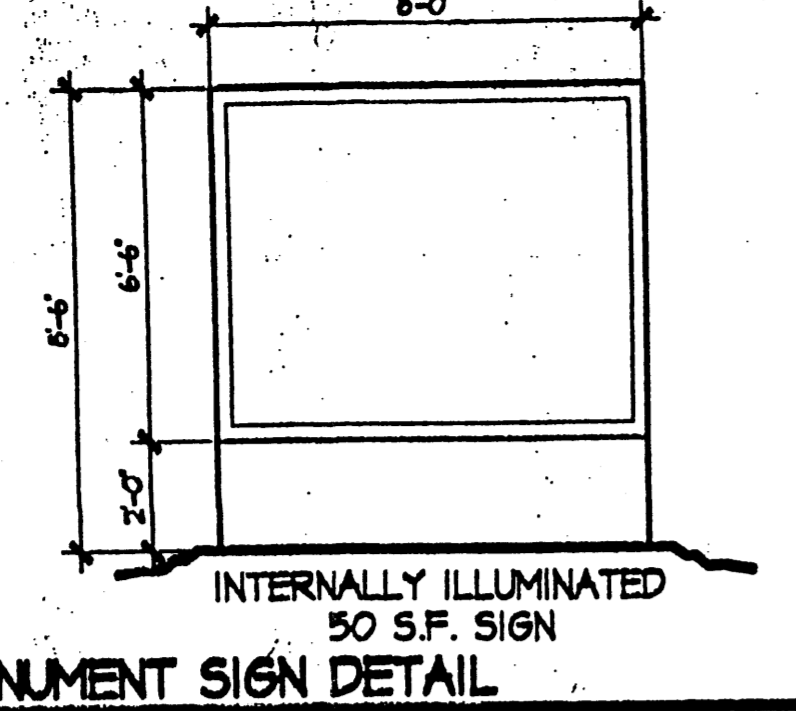
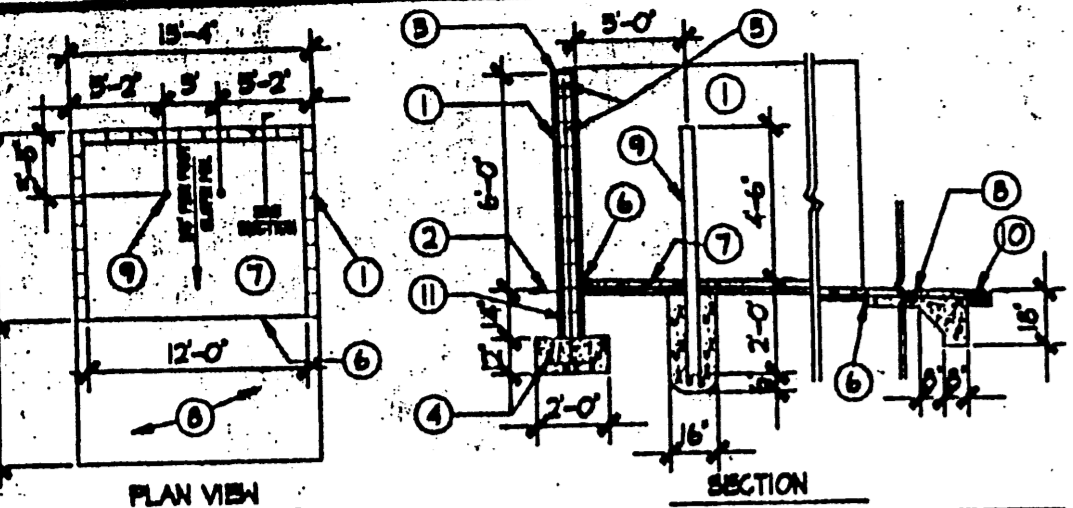
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Utility Plan

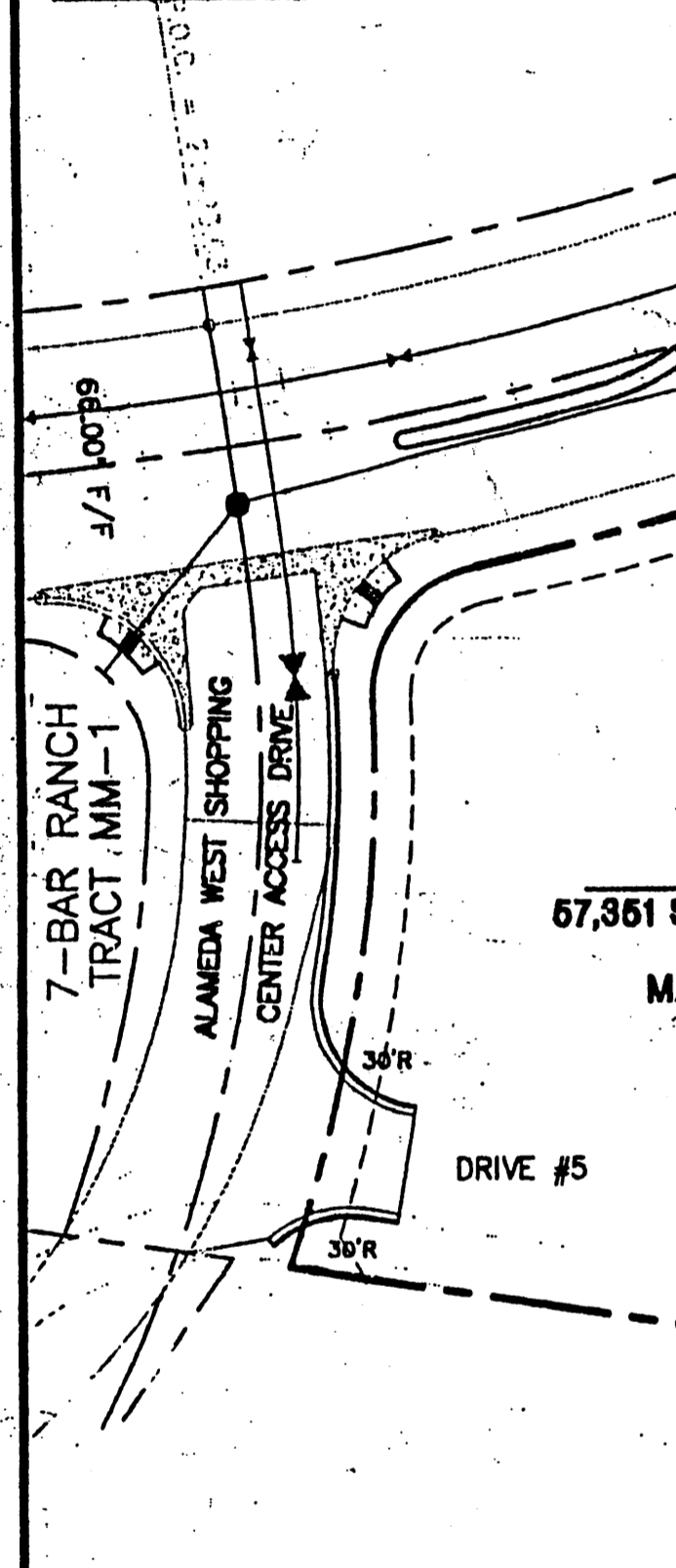
PROJECT 0408 SHEET
SDP-6
 OF 6

Scale: 1"=20'-0"



- KEYED NOTES**
- 8" CMU WALL WITH STUCCO SYSTEM OVER BUILDING PAPER. COLOR BY ARCHITECT.
 - FINISH GRADE.
 - SLOPE STUCCO CAP.
 - 4-8 BARS CONT. 8" BOTTOM OF FOOTING @ 12" O.C. ACROSS BOTTOM OF FOOTING.
 - 3-8 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS 1/2" BARS @ 24" O.C. VERTICAL. BRICUT REINFORCED CELLS. DURAHALL @ 12" O.C. HORIZONTAL.
 - 1/2" EXPANSION JOINT MATERIAL.
 - 4" CONCRETE SLAB 3000 PSI 5/4" AGGREGATE WITH 6x6 - 10X10 W-4.
 - 4" CONCRETE APPROX 3000 PSI 5/4" AGGREGATE WITH 6x6 - 10X10 W-4 W/ TURNDOWN EDGE.
 - 4" CONCRETE FILLED PIPE IN 1/4" DIA. X 2-4" DEEP CONC. FOOTING. PAINT TO MATCH STUCCO FINISH.
 - ASPHALT PAVING.
 - BRICUT ALL CELLS SOLID BELOW GRADE. TYPICAL.

REFUSE ENCLOSURE



7-BAR RANCH TRACT M-1
 1.7592 AC. GROSS TO & STREET
 1.2803 AC. NET
 MAX. DENSITY-30

Q-1A-2B
 1.0015 AC. GROSS TO & STREET
 0.9869 AC. NET
 MAX. DENSITY-30

Q-1A-2C
 1.2888 AC. GROSS TO & STREET
 1.1035 AC. NET
 MAX. DENSITY-30

Q-1A-2D
 1.4075 AC. GROSS TO & STREET
 1.0868 AC. NET
 MAX. DENSITY-30

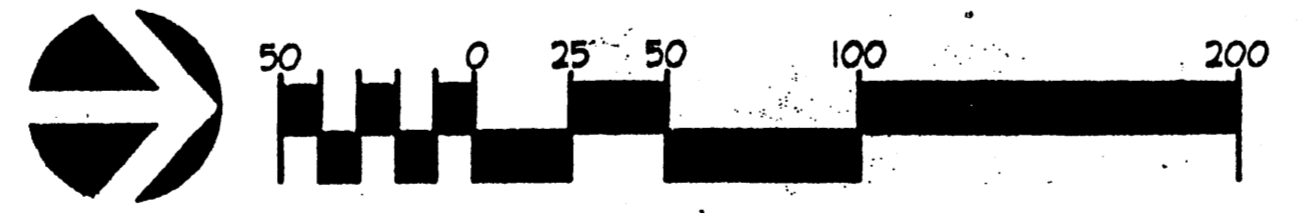
Q-1A-2E
 2.3141 AC. GROSS TO & STREET
 1.8225 AC. NET
 MAX. DENSITY-30

RIVERWALK MARKETPLACE
 LOT 1

RIVERWALK MARKETPLACE
 LOT 1-A
 WALMART

SITE PLAN FOR SUBDIVISION

SCALE 1" = 50'-0"



VEHICLE TRIP GENERATION BUDGET

Approval of this Site Plan for Subdivision is based in part on traffic study conducted in 1994 which established an overall budget of trips to be generated by the subdivision. Development of a drive-in Credit Union facility was not contemplated in that study. In order to ensure that budget is not exceeded, the undersigned owner, its successors and assigns, agree to the following conditions:

- One year after issuance of a Certificate of Occupancy by the Credit Union, the developer shall perform a field traffic count for AM and PM peak hours to verify the actual trip generation from the facility. This count will be compared to the theoretical generation for such a facility. If the actual count exceeds the theoretical count by more than 10% in either direction, the developer will adjust the land uses in the remainder of the subdivision to compensate. In the alternative, the developer will be required to re-analyze and have re-approved a Traffic Study for the Subdivision based on the new data.
- If the field counts show the Credit Union generates a greater number of trips than projected, the developer will be required to re-analyze and have re-approved a Traffic Study for the Subdivision based on the new data.
- 3.5 drive-in lanes and 1 ATM lane are hereby approved on the Credit Union site; future expansion of the drive-in lanes will require the Credit Union to re-analyze and have re-approved the Traffic Study for the Subdivision.

WRANGLER PROPERTIES LIMITED LIABILITY COMPANY
 An Oklahoma Limited Liability Company
Donald L. Chalmers
 Donald L. Chalmers, Manager

LEGAL DESCRIPTION:

TRACTS 6-1A1 AND 6-1A-2A THRU 6-1A-2E OF SEVEN-BAR RANCH (REPLAY OF TRACT 6-1A)
 COTTONWOOD DRIVE NW, AND ELLISON DRIVE NW, ALBUQUERQUE, NEW MEXICO

CURRENT ZONING: R-14
TOTAL ACRES: 9.11 AC
ZONE ATLAS: A-14-Z

PARKING CALCULATIONS:

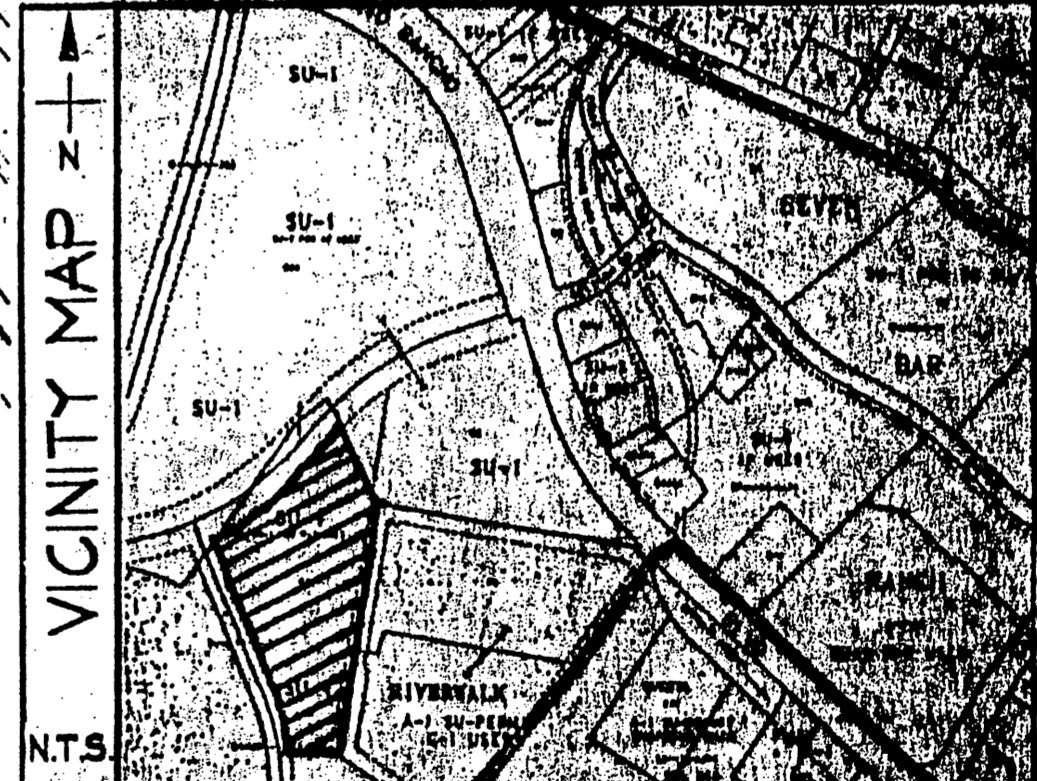
PARKING REQUIREMENTS PER CITY OF ALBUQUERQUE:

LANDSCAPE NOTES:

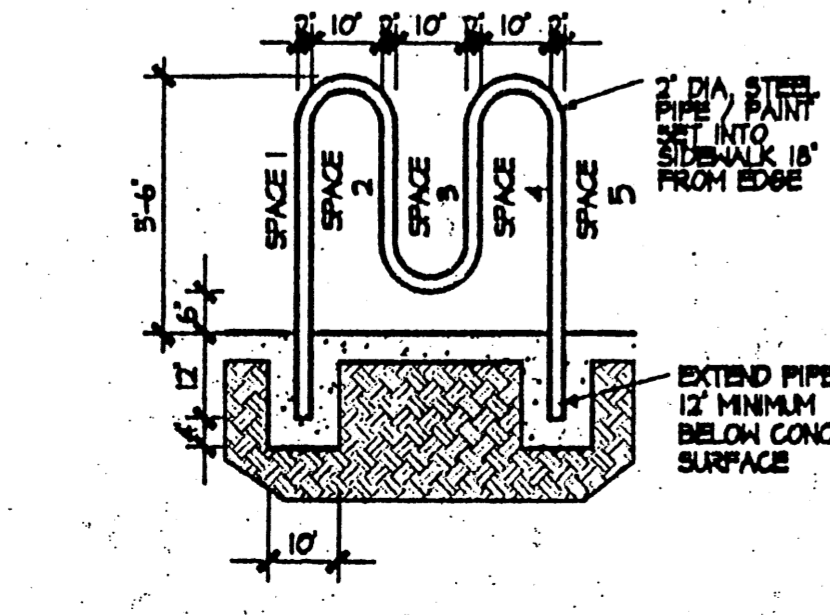
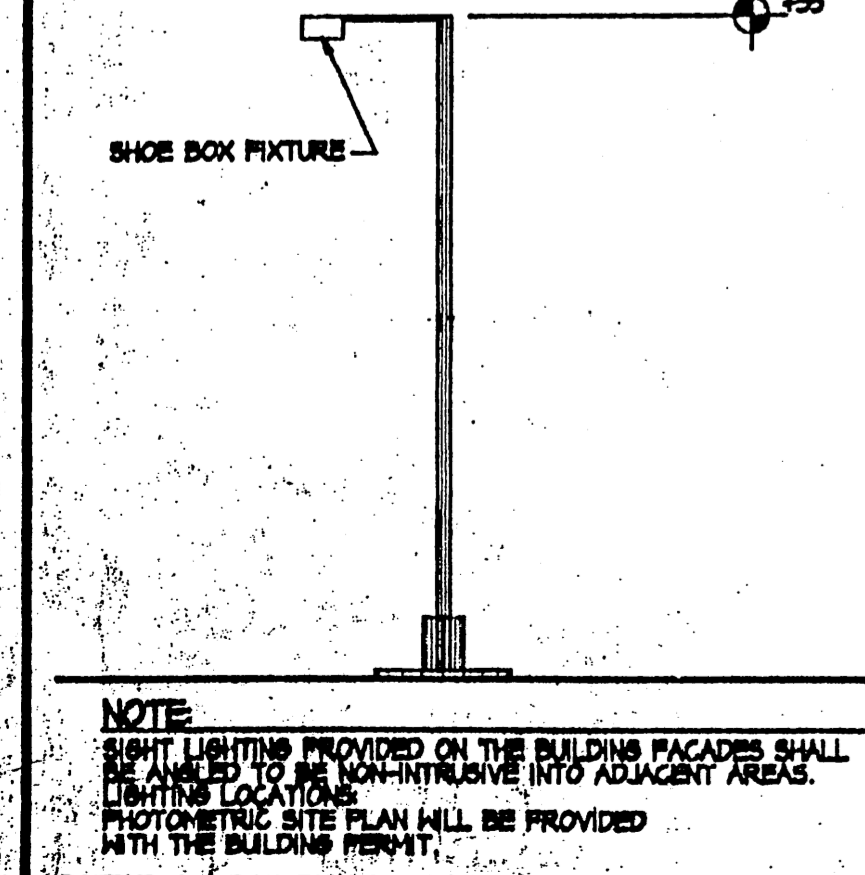
APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING & WATER ORGANIZATION WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

- 1) ALL LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
- 2) ALL LANDSCAPING SHALL BE WATERED BY A COMPLETE UNDERGROUND IRRIGATION SYSTEM OPERATED BY AUTOMATIC TIMER.

Handwritten notes and sketches for landscaping, including tree symbols and placement instructions.



ADMINISTRATIVE
 DEVELOPMENT PLAN AMENDMENT.
 FILE NO. **2A-98-138**
 TO REVISE LOT LINE OF TRACT
 6-1A-2B1 / 6-1A-2A1 (TO MATCH
 PLAN & D.M. 10.6.98
 PLANNING DIRECTOR DATE



GENERAL ARCHITECTURAL DESIGN REQUIREMENTS

GENERAL ARCHITECTURE CHARACTER FOR 6-1 SITES IS AS FOLLOWS: STRUCTURES WILL BE CEMENTITIOUS FINISH. STRUCTURES ARE TO BE PREDOMINANTLY FLAT-ROOFED, HOWEVER, PARTIAL BUILDING AREAS SUCH AS PORTALS OR SMALL EXTENSIONS OF BUILDING FUNCTIONS ADJACENT TO THE MAJOR BUILDING MASS MAY HAVE SLOPED ROOFS. BUILDING HEIGHTS ARE LIMITED TO 32 FOOT PARAPET HEIGHTS FOR THE MAIN BUILDING WALL. THE APPROVAL OF THE SITE PLANS FOR BUILDING PERMITS FOR EACH SITE WILL BE DELEGATED TO THE CITY OF ALBUQUERQUE PLANNING DEPARTMENT DEVELOPMENT REVIEW BOARD.

MECHANICAL EQUIPMENT SCREENING

ALL MECHANICAL EQUIPMENT WILL BE SCREENED FROM VIEW OF THE ADJACENT PARKING AREA AND PUBLIC RIGHT-OF-WAY.

COLOR PALETTE

- GROUP #1 (PRIMARY): LIGHT TAN TO LIGHT PINK
- GROUP #2 (BANDING): TAN, CREAM, ROSE
- GROUP #3 (ACCENTS): BRONZE, BLUE/GREEN, WHITE
- GROUP #4 (ROOF): GREEN, TEAL

BUILDING SIGNAGE

EXCEPT AS NOTED UNDER AWNINGS ALL SIGNAGE WILL BE INDIVIDUAL TYPE LETTERING NO TO EXCEED 1/4 PERCENT OF THE WALL AREA OF EACH BUILDING ELEVATION. LETTERS ARE TO BE INTERNALLY ILLUMINATED EXPOSED NEON IS PERMITTED. ONE 50 SF. MONUMENT SIGN PER SITE IS ALLOWED.

DRIVEWAY NOTES

DRIVEWAYS ARE TO BE LOCATED AWAY FROM THE FRONTS OF STORES TO MINIMIZE CONFLICTS BETWEEN PEDESTRIANS AND CURBS

AWNINGS

AWNINGS ARE PERMITTED ABOVE WINDOW AREAS. AWNINGS WITH PAINTED OR EMBOSSED CORPORATE LOGOS OR SIGNAGE ARE PERMITTED PROVIDED THE AREA WHEN ADDED TO ALL OTHER WALL SIGNAGE DOES NOT EXCEED 10 PERCENT OF THE AREA OF BUILDING WALL. ILLUMINATION OF AWNINGS MUST BE FROM PENDANT MOUNTED FIXTURES LOCATED ABOVE THE AWNING. ACCENT COLORS ON AWNING ARE TO BE COMPATIBLE WITH THE GENERAL COLOR PALETTE AND SAMPLES OF THE PROPOSED AWNING COLORS ARE TO PROVIDED WITH EACH SUBMITTAL.

ROOF SURFACE

THE FLAT ROOF SURFACING IS TO BE GRAVEL AND SHED ROOFING IS TO BE STANDING SEAM METL. ROOF.

GLAZING

REFLECTIVE GLAZING IS PROHIBITED. BRONZE AND CLEAR TINTED GLASS IS PERMITTED.

SERVICE AREAS

SERVICE AREAS SUCH AS REFUSE LOCATIONS AND COMPACTORS ARE TO BE TOTALLY SCREENED FROM THE ADJACENT PUBLIC RIGHTS OF WAY AND FREE-STANDING DUMPSTER LOCATIONS ARE TO BE GATED. SCREENING MATERIAL TO MATCH BUILDING WALL COLOR AND MATERIAL.

LIGHTING

SITE LIGHTING FOR PAD STRUCTURES IS TO MATCH THE SITE LIGHTING PROVIDED FOR THE MAIN PARKING AREA. EXPOSED, 12 UNSHIELDED LIGHT FIXTURES ARE PROHIBITED. ALL LAMPS MUST BE SHIELDED SHOE BOX TYPE FIXTURES.

THIS PLAN IS CONSISTENT WITH THE SPECIFIC DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON
 EPE CASE # **96-02** DRG CASE # **96-353**
 APPROVED AS TO THE REQUIREMENTS

Signature DATE **2-18-97**
 PLANNING DIRECTOR

Signature DATE **2-18-97**
 TRAFFIC ENGINEER

Signature DATE **2-18-97**
 CIVIL ENGINEER

Signature DATE **2-18-97**
 CITY ENGINEER

Signature DATE **2-18-97**
 WATER RESOURCES UTILITIES DIVISION

Signature DATE **2-18-97**
 NEW MEXICO UTILITIES, INC.

GEORGE HANFART ARCHITECT & ASSOCIATES, P.C.
 2205 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 263-0483 FAX (505) 263-0577

TRACT G-1A1 TRACT M-1 TRACT MM-1 TRACT M-2 TRACT G-2A TRACT G-2B

STARTED BY
 SCALE