

BARTLETT STREET

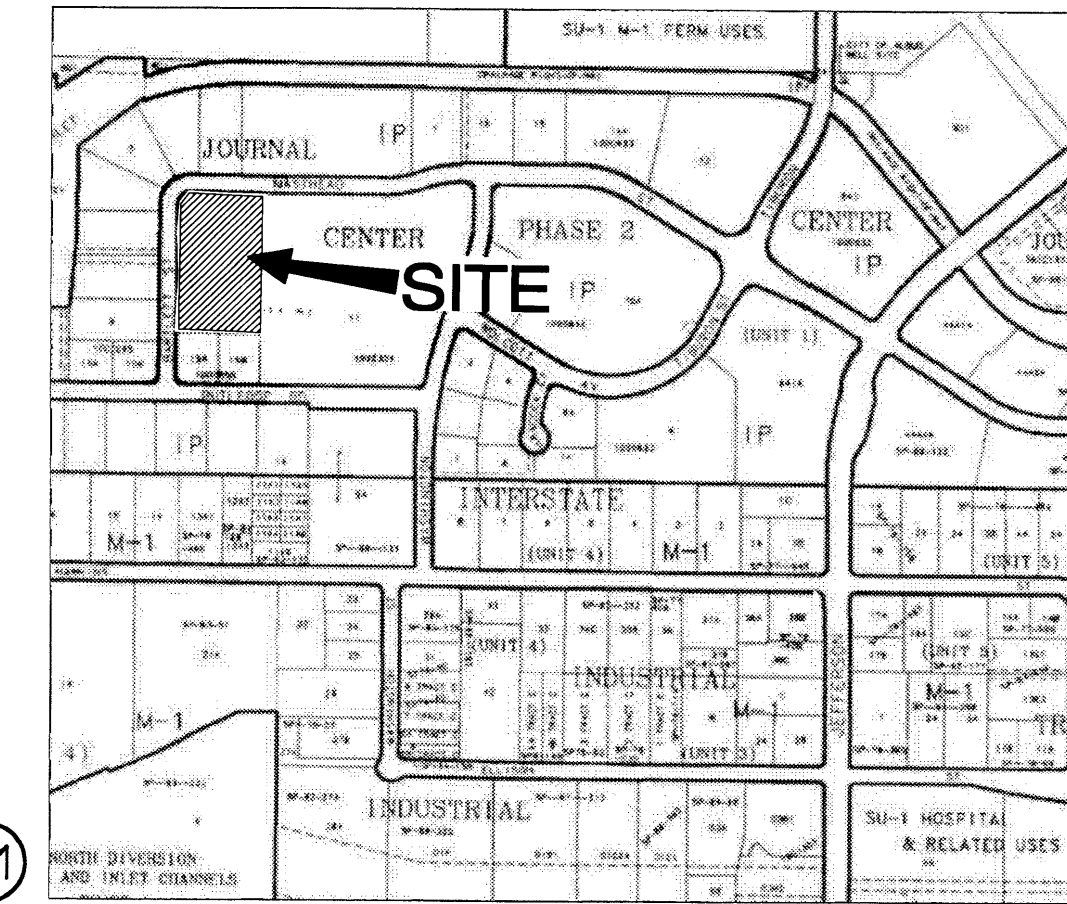
60' R.O.W.

PROVIDE CONCRETE CURB RETURN DRIVEWAY PER CITY DWG #2426 MAX. CROSS SLOPE • SIDEWALK = 2X

EXISTING ELECTRICAL TRANSFORMER

PROVIDE CONCRETE CURB RETURN DRIVEWAY PER CITY DWG #2426 MAX. CROSS SLOPE • SIDEWALK = 2X

PROVIDE CONCRETE SIDEWALKS • ALL STREET FRONTAGES AS PER CITY DWGS #2430 & 2431 MAX. CROSS SLOPE • SIDEWALK = 2X



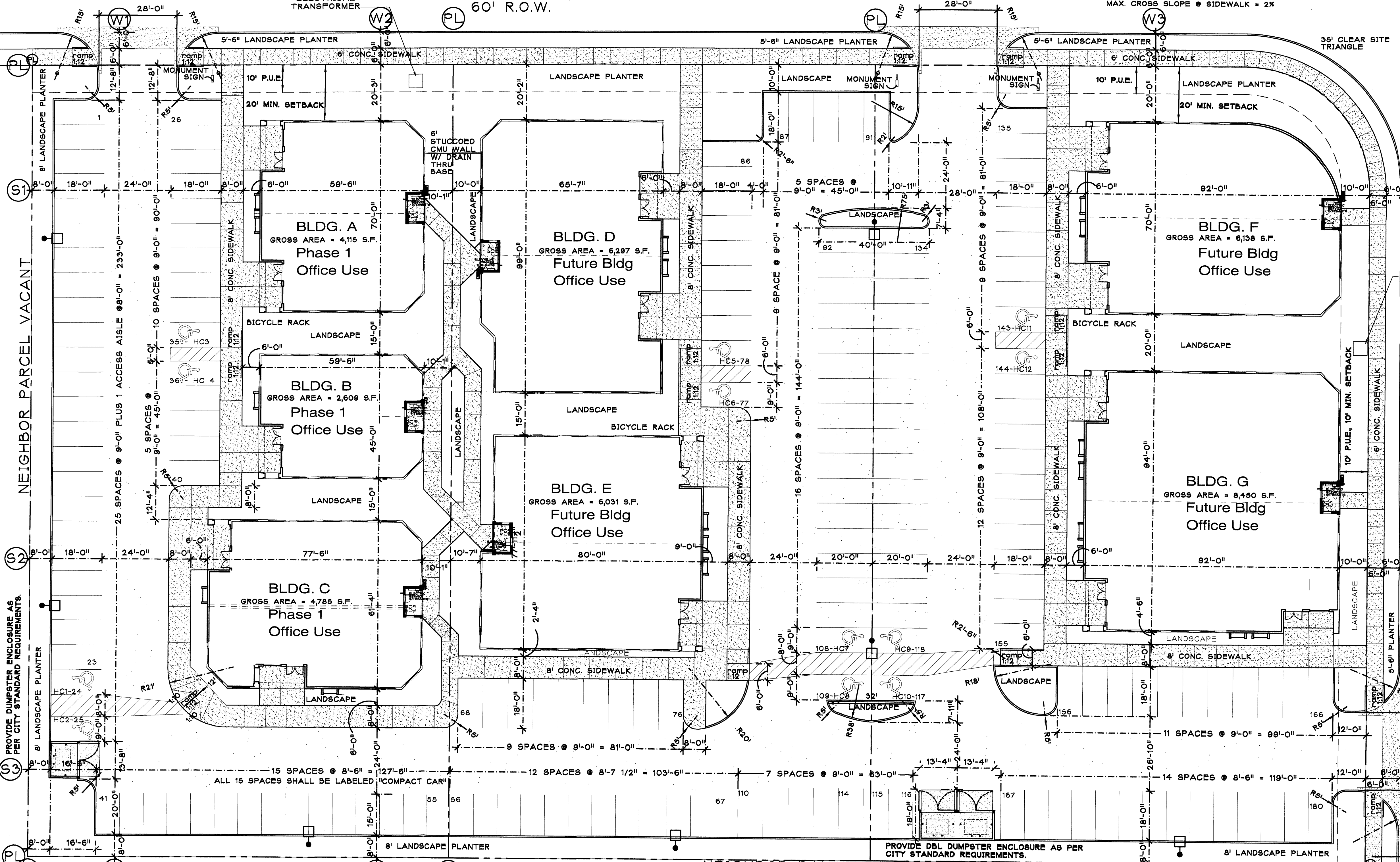
SITE LOCATION
SCALE: 1" = 1000'

- UTILITY LEGEND**
- UTILITY PEDESTAL
 - SANITARY SEWER MANHOLE
 - CENTERLINE MONUMENT
 - WATER METER
 - WATER VALVE
 - FIRE HYDRANT
 - TELEPHONE MANHOLE
 - POLE MOUNTED LIGHT FIXTURE 20' HIGH, "LITHONIA" OR EQUAL, MODEL KAD, FLAT LENSED SQUARE.
- PAVEMENT LEGEND**
- CONCRETE
 - COLORED CONCRETE
 - ASPHALT PAVEMENT
 - LANDSCAPE PLANTER AREAS (NO HATCH)
 - DESIGNATED WHEELCHAIR ROUTE, 2X MAX. X-SLOPE

NEIGHBOR PARCEL VACANT

PROVIDE DUMPSTER ENCLOSURE AS PER CITY STANDARD REQUIREMENTS.

MASTHEAD STREET
60' R.O.W.



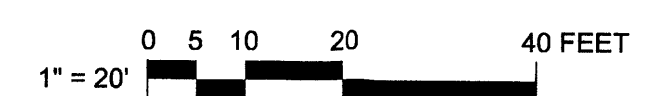
LOT 14
NET BUILDING AREA: 9,984 S.F.
PARKING (RATIO): 55 (1:182)

LOT 13
NET BUILDING AREA: 11,272 S.F.
PARKING (RATIO): 59 (1:191)

LOT 12
NET BUILDING AREA: 13,444 S.F.
PARKING (RATIO): 66 (1:204)

MASTER SITE PLAN

SCALE: 1" = 20'



PROJECT DATA

LEGAL DESCRIPTION:
LOTS 12, 13 & 14 JOURNAL CENTER 2, UNIT 2, BERNALILLO COUNTY, ALBUQUERQUE NEW MEXICO.

ZONE ATLAS: D-17-Z
ZONE CLASSIFICATION: IP
LAND USE DATA
COMBINED LOTS AREA: 3.17 AC [137,904 SQ.FT.]
COMBINED BUILDING FLOOR AREAS: 34,700 SQ.FT., 25X
NET LOT AREA: 103,204 SQ.FT., 75X
LANDSCAPE AREA PROVIDED: SEE LANDSCAPE PLAN

OFFSTREET PARKING REQUIREMENTS-
NET LEASABLE AREA = 34,700 SQ.FT.
OFFICE USE --
REQUIRED PARKING STALLS = 174 STALLS REQ'D @ 1:200 SQ.FT.

PROVIDED PARKING STALLS = 180 STALLS,
INCLUDES 8 REQ'D ACCESSIBLE SPACES
PLUS 4 VAN ACCESSIBLE STALLS

REQUIRED & PROVIDED BICYCLE PARKING = 8 SPACES

SITE LIGHTING: SHALL BE PROVIDED BY SHIELDED BUILDING MOUNTED WALL FIXTURES AND SHIELDED 20' POLE LIGHTS.

SIGNAGE: A MONUMENT SIGN SHALL BE PROVIDED AT ALL BARTLETT STREET CURB RETURN ENTRANCES. INDIVIDUAL WALL MOUNTED BUILDING SIGNS SHALL BE PROVIDED AT EACH BUSINESS ENTRANCE, AS INDICATED ON BUILDING ELEVATIONS.

PROJECT NO. **1003782**
APPLICATION NO. **04-10773**

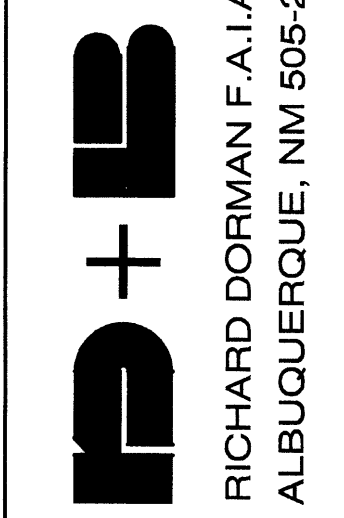
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? [] YES [X] NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPROVAL:

| | |
|--|----------|
| <i>[Signature]</i> | 12/22/04 |
| TRAFFIC ENGINEERING TRANSPORTATION DIVISION | DATE: |
| <i>Bradley K. Bingham</i> | 12/29/04 |
| UTILITY DEVELOPMENT DIVISION | DATE: |
| <i>Christine Dandora</i> | 12/1/04 |
| PARKS & RECREATION | DATE: |
| <i>[Signature]</i> | 12-01-04 |
| CITY ENGINEER | DATE: |
| N/A | |
| ENVIRONMENTAL HEALTH (CONDITIONAL) DATE: | |
| <i>see sheet attached</i> | |
| SOLID WASTE MANAGEMENT | DATE: |
| <i>[Signature]</i> | 12/29/04 |
| DRB CHAIRPERSON, PLANNING DEPT. | DATE: |

Masthead Pointe
Lots 12a, 12b, 13 & 14
Journal Center 2, Unit 2
ALBUQUERQUE, NM

DORMAN and BREEN
LAURENCE BREEN F.A.I.A.
RICHARD DORMAN F.A.I.A.
ALBUQUERQUE, NM 805-299-5940



SHEET TITLE: SITE PLAN

JOB NUMBER: 0422

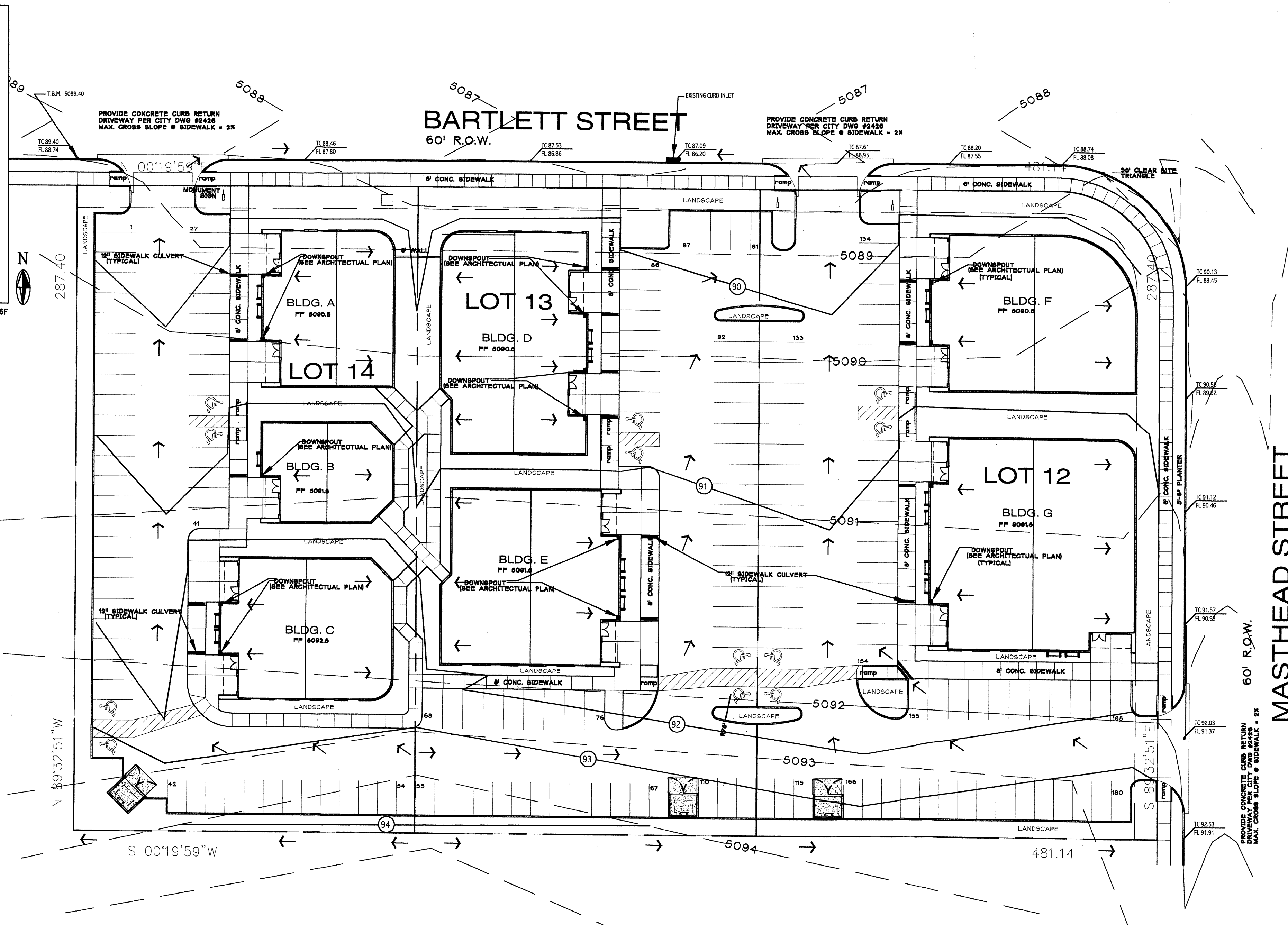
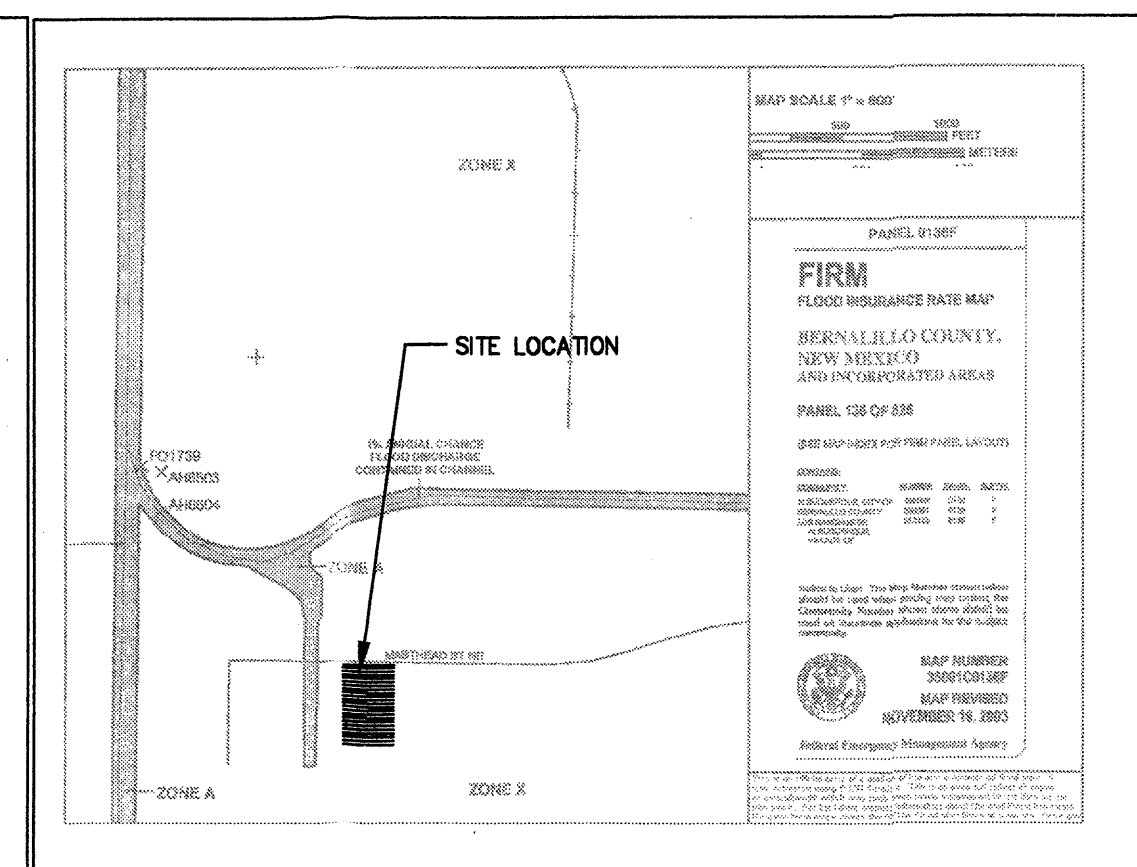
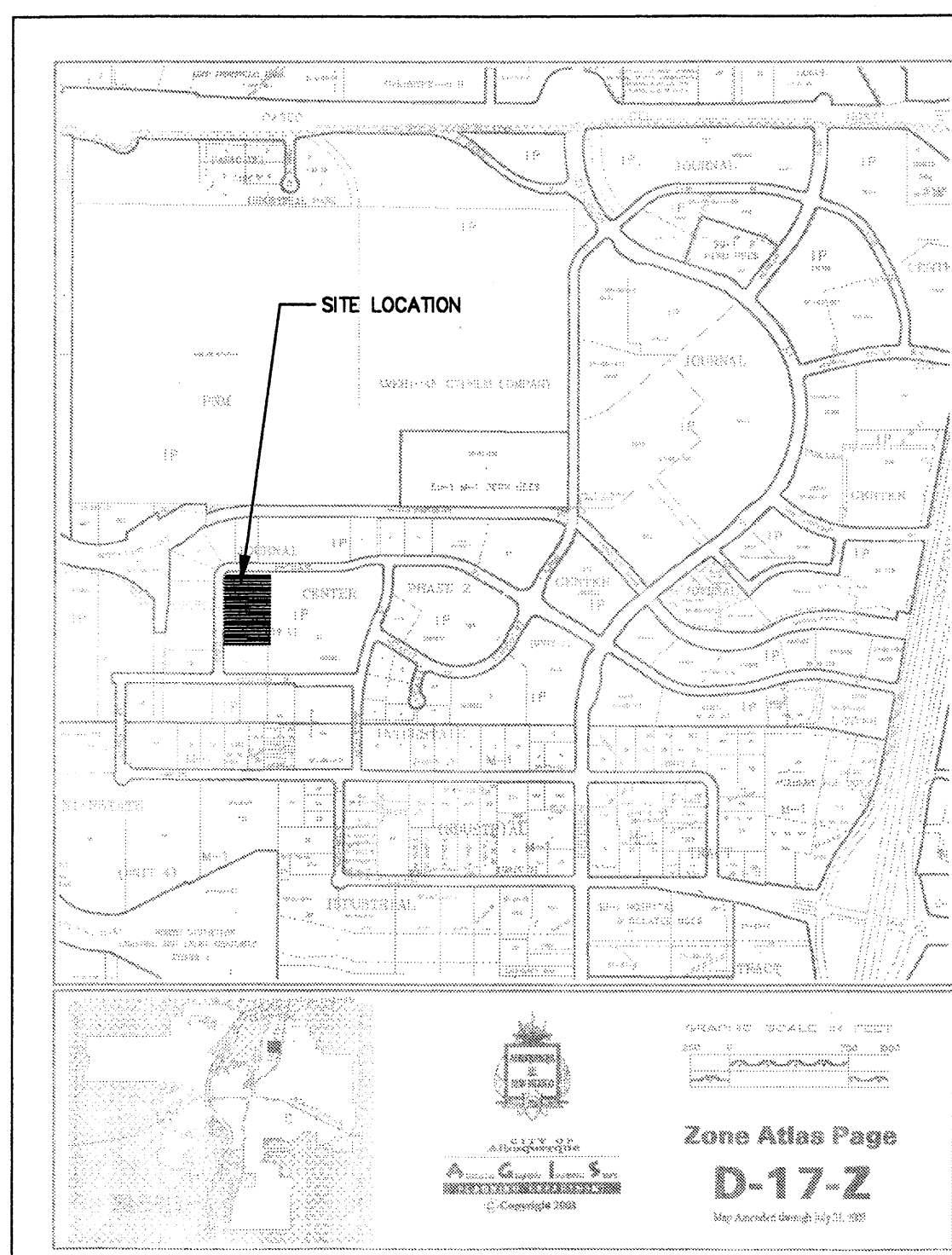
DATE: 12/22/04

REVISIONS:

| NO. | DATE | DESCRIPTION |
|-----|----------|--------------------|
| 1 | 11/10/04 | A.R.C. PHASE 2 |
| 2 | 11/18/04 | DRB SITE PLAN |
| 3 | | PERMIT PLAN REVIEW |

SHEET: C-1.1

1003782



GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING LOT 12A, 12B, 13, AND 14, JOURNAL CENTER, PHASE 2, UNIT 1 (7430 BARTLETT STREET N.E.) ARE CONTAINED HEREON:

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 3.18 ACRES AND IS LOCATED NORTH OF THE INTERSECTION OF BARTLETT STREET N.E. AND RUTLEDGE ROAD N.E. ON THE EAST SIDE OF BARTLETT STREET N.E. THE SITE IN ITS EXISTING CONDITION SLOPES FROM EAST TO WEST. AS SHOWN BY THE FLOOD INSURANCE RATE MAPS, PANEL 0136F, DATED NOVEMBER 19, 2003, THIS SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE NOR DOES IT CONTRIBUTE TO ANY DOWNSTREAM FLOODING.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL CONSIST OF SEVEN OFFICE BUILDINGS TOTALING 35,180 SQ. FT. ALONG WITH PAVED PARKING AND ASSOCIATED LANDSCAPED AREAS. ALL THE DEVELOPED FLOWS WILL BE ROUTED OUT TOWARDS THE PROPOSED DRIVEPADS AND ONTO BARTLETT STREET N.E. FROM THAT POINT THE RUN-OFF WILL TRAVEL ALONG BARTLETT STREET N.E. INTO EXISTING CATCHBASINS. ALL THE DEVELOPED RUN-OFF WILL EVENTUALLY ENTER THE NORTH PINO ARROYO AND INTO THE NORTH DIVERSION CHANNEL. NO OFF-SITE FLOWS ENTER THE SITE FROM ANY DIRECTION. THE CALCULATIONS, WHICH APPEAR HEREON, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRES AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 OF THE DEVELOPMENT PROCESS MANUAL DATED 1997 WAS USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME GENERATED.

PROJECT AREA = 3.18 ac.
 LOT 12, 13, & 14 JOURNAL CENTER
 ZONE 2
 PRECIPITATION: 360 = 2.35 in.
 1440 = 2.75 in.
 10day = 3.95 in.

| EXCESS PRECIPITATION: | PEAK DISCHARGE: |
|-----------------------|-----------------|
| TREATMENT A 0.53 in. | 1.56 cfs/ac. |
| TREATMENT B 0.78 in. | 2.28 cfs/ac. |
| TREATMENT C 1.13 in. | 3.14 cfs/ac. |
| TREATMENT D 2.12 in. | 4.70 cfs/ac. |

| EXISTING CONDITIONS: | PROPOSED CONDITIONS: |
|----------------------|----------------------|
| TREATMENT A 0 ac. | 0 ac. |
| TREATMENT B 0 ac. | 0.4652 ac. |
| TREATMENT C 3.18 ac. | 0 ac. |
| TREATMENT D 0 ac. | 2.715 ac. |

EXISTING EXCESS PRECIPITATION:
 Weighted E = (0.53)(0.00) + (0.78)(0.00) + (1.13)(3.18) + (2.12)(0.00) / 3.18 ac.
 = 1.13 in.
 V100-360 = (1.13)(3.18) / 12 = 0.299450 ac-ft = 13044 CF

EXISTING PEAK DISCHARGE:
 Q100 = (1.56)(0.00) + (2.28)(0.00) + (3.14)(3.18) + (4.70)(0.00) = 9.99 CFS

PROPOSED EXCESS PRECIPITATION:
 Weighted E = (0.53)(0.00) + (0.78)(0.47) + (1.13)(0.00) + (2.12)(2.72) / 3.18 ac.
 = 1.92 in.
 V100-360 = (1.92)(3.18) / 12.0 = 0.509888 ac-ft = 22211 CF

V100-1440 = (0.51) + (2.72)(2.75 - 2.35) / 12 = 0.600388 ac-ft = 26153 CF

V100-10day = (0.51) + (2.72)(3.95 - 2.35) / 12 = 0.871888 ac-ft = 37979 CF

PROPOSED PEAK DISCHARGE:
 Q100 = (1.56)(0.00) + (2.28)(0.47) + (3.14)(0.00) + (4.70)(2.72) = 12.76 CFS

INCREASE 12.76 CFS - 9.99 CFS = 2.77 CFS

NOTE TO CONTRACTOR:

1. An excavation/construction permit will be required before beginning any work within the City right-of-way. Approved copy of this plan must be submitted at the time of application for permit.
2. All work detailed in this plan to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Standard Specification for Public Works Construction.
3. Two working days prior to any excavation, contractor must contact line locating Services (760-1990) for locating existing sub-surface utilities.
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all potential constructions; Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay to the subject project.
5. Backfill compaction shall be according to commercial use or soils report(s) recommendations.
6. All work on this project shall be performed in accordance with applicable Federal, State and local laws, rules and regulations concerning construction safety and health.
7. Maintenance of this facilities shall be the responsibility of the owner of the property it serves

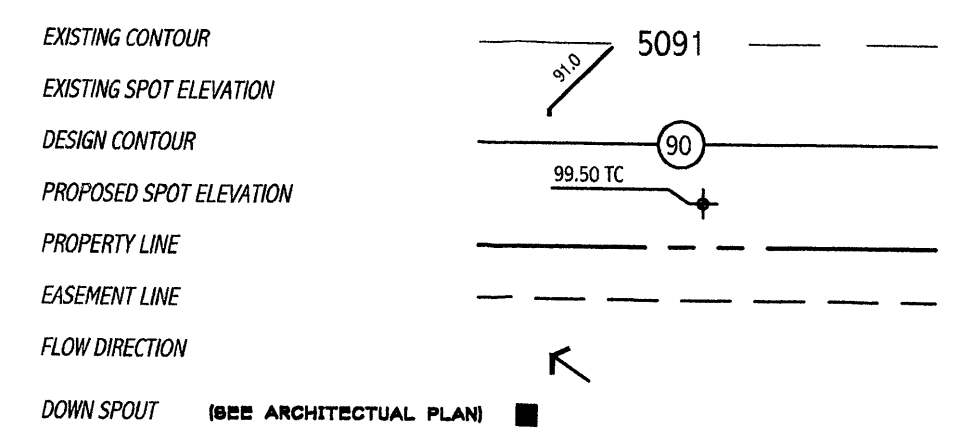
EROSION CONTROL MEASURES

1. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION. HE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE:
 - A) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DIKES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
 - B) ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.
2. THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL SEDIMENT WITHIN THE PUBLIC STREETS THAT HAVE BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

LEGAL DESCRIPTION

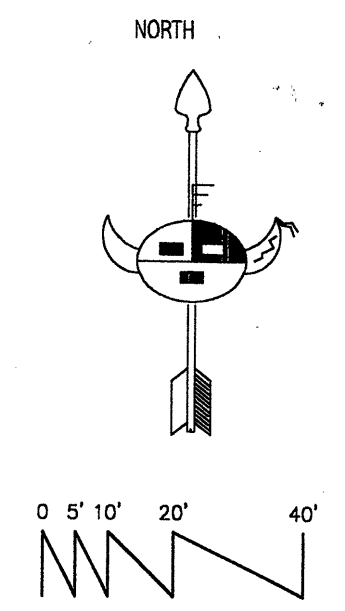
LOT 12, 13, AND 14
 JOURNAL CENTER PHASE 2, UNIT 1
 BERNALILLO COUNTY, ALBUQUERQUE
 NEW MEXICO.
BENCHMARK:
 A.C.S. BENCHMARK 9-D17 ELEVATION 5124.40
T.B.M.
 TOP OF CURB ON THE PROJECTION OF THE SOUTH PROPERTY LINE
 OF LOT 14, AS SHOWN ON PLAN DRAWING ELEVATION 5089.40

SYMBOL LEGEND



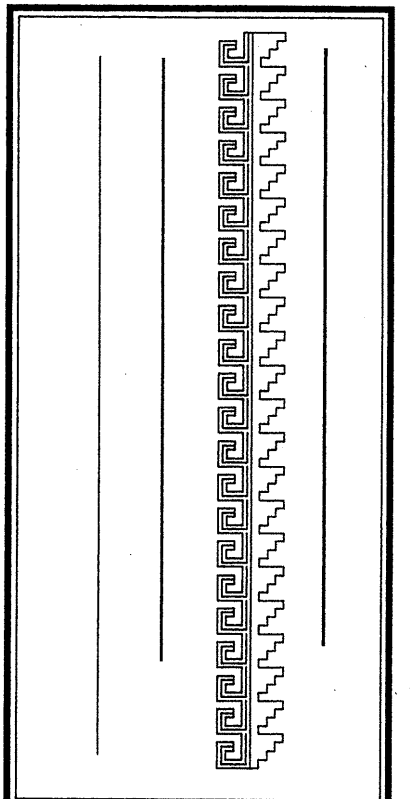
ABBREVIATION LEGEND

| | |
|--------------------|-------|
| TOP OF CONC. APRON | - TCA |
| TOP OF CURB | - TC |
| TOP OF ASPHALT | - TA |
| TOP OF BERM | - TB |
| BOTTOM OF POND | - BP |
| FINISHED FLOOR | - FF |



JOB NO: XXXXXX
 DATE: NOVEMBER 2004
 REVISIONS

Sheet Title
GRADING AND DRAINAGE PLAN
 Checked By: MLB
 Drawn By: HTH/BIM

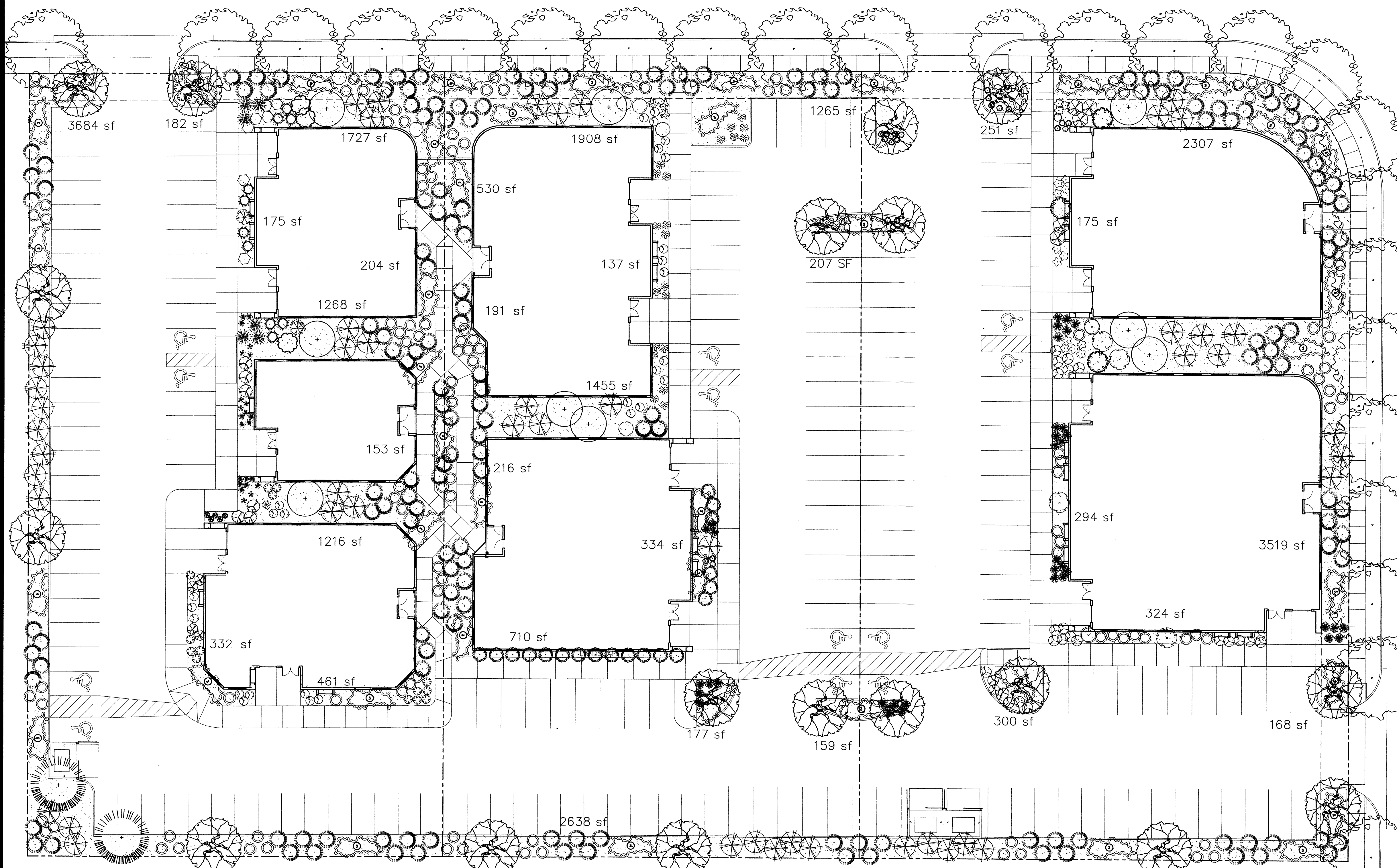


Project Name
MASTHEAD POINTE
 7430 BARTLETT STREET NE
 ALBUQUERQUE, NEW MEXICO

SHEET NO.
GD

GRADING & DRAINAGE PLAN

Scale 1" = 30'-0"



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Drip irrigation must comply with cross connection prevention and control ordinance.

HILLTOP SHALL CONTACT TIBURON INVESTMENT AT TIME OF LANDSCAPE IRRIGATION INSTALLATION TO COORDINATE CONNECTION TO CENTER IRRIGATION.

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

| | | |
|-----------------|---------------|---------------|
| MASTHEAD STREET | Required # 9 | Provided # 9 |
| BARTLETT STREET | Required # 15 | Provided # 15 |

PLANT LEGEND

- BERINDA ASH (M) 24
Fraxinus Spp.
2" Cal.
- REDBUD (M) 18
Cercis spp.
2" Cal.
- AUSTRIAN PINE (M) 2
Pinus nigra
6"-8"
- WASHINGTON HAWTHORN (M+) 9
Crataegus phaenopyrum
15 Gal.

COLOR SCHEME

- SILVERBERRY (M) 50
Elaeagnus pungens
5 Gal. 100sf
- BUTTERFLY BUSH PURPLE (M) 2
Buddleia davidii
5 Gal. 100sf
- BUTTERFLY BUSH YELLOW (M) 3
Buddleia davidii
5 Gal. 100sf
- RED YUCCA (L) 3
Hesperaloe parviflora
5 Gal. 9sf
- REGAL MIST (M) 4
Muhlenbergia capillaris
5 Gal. 9sf
- CRIMSON PIGMY BARBERRY (M) 5
Berberis thunbergii 'Atropur. Nana'
5 Gal. 4sf

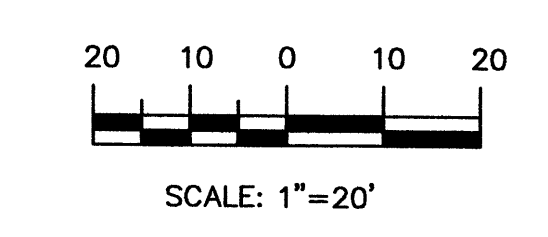
**Building D-PINK
Building E-SAGE
Building F-YELLOW
Building G-PURPLE**

- RUSSIAN SAGE (M) 2
Perovskia atriplicifolia
5 Gal. 36sf
- REGAL MIST (L) 27
Muhlenbergia capillaris
5 Gal. 9sf
- THREE-LEAF SUMAC (L) 2
Rhus trilobata
5 Gal. 36sf
- BIRD OF PARADISE (L) 3
Caesalpinia gilliesii
5 Gal. 100sf
- POWIS CASTLE SAGE (L) 165
Artemisia X. powis castle
5 Gal. 10sf
- BLUE AVENA (M) 6
Helictotrichon sempervirens
5 Gal. 4sf
- SCOTCH BROOM (L) 9
Cytisus scoparius
5 Gal. 16sf

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

- WOOLLY LAMBS EAR (L) 36
Stachys byzantina
5 Gal. 25sf
- APACHE PLUME (L) 6
Fallugia paradoxa
5 Gal. 18sf
- BLUE MIST SPIREA (M) 1
Caryopteris clandonensis
5 Gal. 9sf
- LENAS BROOM (M) 10
Genista hispanica
5 Gal. 9sf
- ROSEMARY (M) 114
Rosmarinus officinalis
2 Gal. 9sf
- POTENTILLA (M) 15
Potentilla fruticosa
2 Gal. 2sf
- AUTUMN SAGE (M) 7
Salvia greggii
2 Gal. 9sf
- LAVENDER (M) 19
Lavandula angustifolia
1 Gal. 9sf
- PURPLE CONELOWER 25
Echinacea purpurea
1 Gal. 10sf
- PINK ICE PLANT 3
Delosperma cooperi
1 Gal. 4sf
- YELLOW ICE PLANT 1
Delosperma nubigenum
1 Gal. 4sf
- BLUE FESCUE (M) 14
Festuca ovina glauca
5 Gal. 2sf
- AUTUMN JOY SEDUM (L) 19
Sedum telephium
5 Gal. 4sf
- QUARA (L) 26
Guara lindheimeri
5 Gal. 16sf
- DELPHINIUM (M) 9
Delphinium bellamson
5 Gal. 4sf
- SANTOLINA (M) 25
Santolina serratifolia
5 Gal. 2sf
- GREYLEAF COTONEASTER (M)
Cotoneaster buxifolius
5 Gal. 81sf
Symbol indicates 3 plants
- SANTA ANA TAN GRAVEL WITH FILTER FABRIC

GRAPHIC SCALE



LANDSCAPE CALCULATIONS

| | | | |
|-------------------------------|---------|--------|-------------|
| TOTAL LOT AREA | 3.17 ac | 138752 | square feet |
| TOTAL BUILDINGS AREA | 38359 | | square feet |
| OFFSITE AREA | 0 | | square feet |
| NET LOT AREA | 100393 | | square feet |
| LANDSCAPE REQUIREMENT | 15% | | |
| TOTAL LANDSCAPE REQUIREMENT | 15059 | | square feet |
| TOTAL BED PROVIDED | 26667 | | square feet |
| GROUNDCOVER REQ. | 75% | | square feet |
| TOTAL GROUNDCOVER REQUIREMENT | 20000 | | square feet |
| TOTAL GROUNDCOVER PROVIDED | 21806 | | square feet |



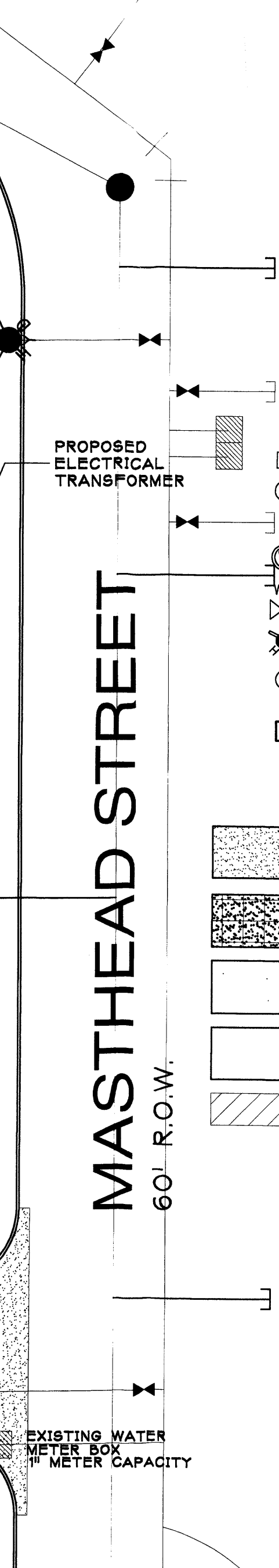
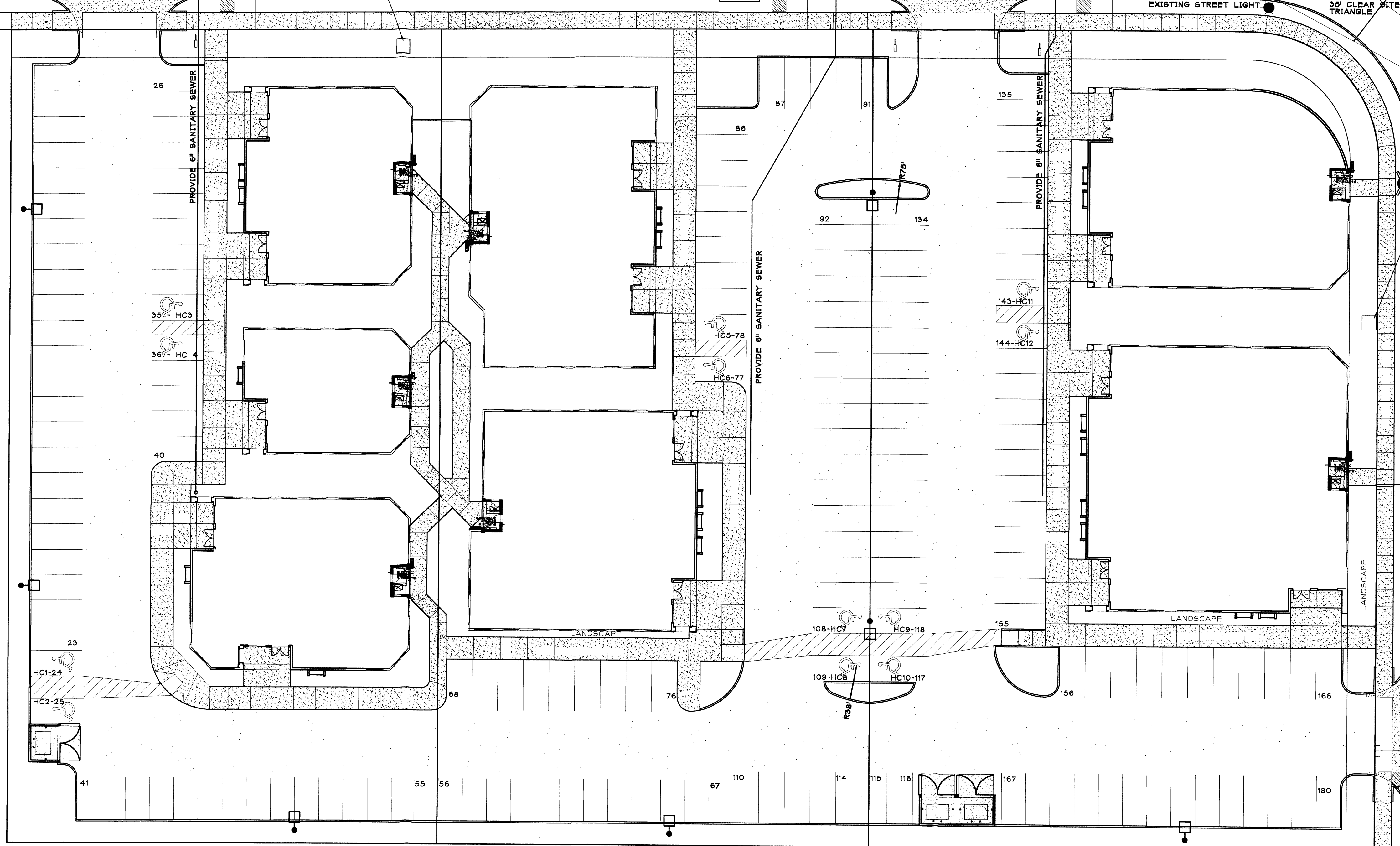
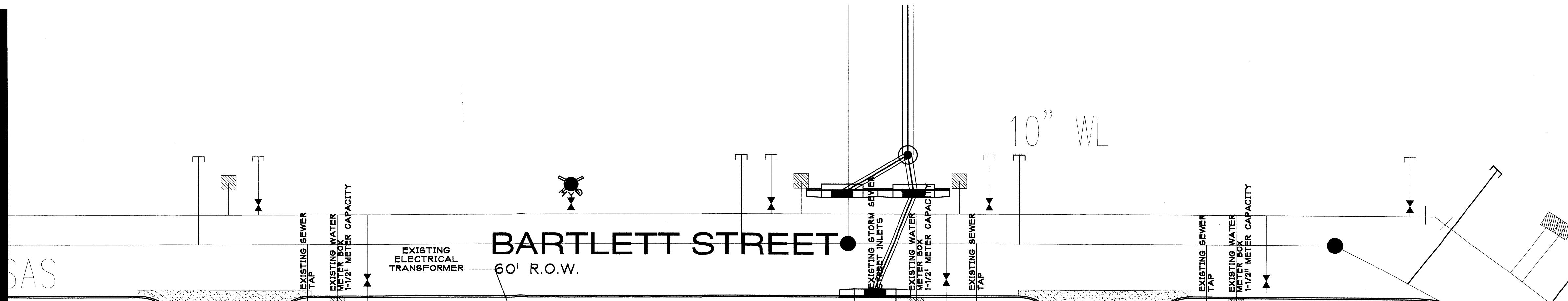
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmd@hilltoplandscaping.com
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DORMAN and BREEN
LAURENCE BREEN A.I.A.
SANTA FE, NM 505-982-9196
RICHARD DORMAN F.A.I.A.
ALBUQUERQUE, NM 505-299-5940

Masthead Pointe
Lots 12a, 12b, 13 & 14
Journal Center 2, Unit 2
ALBUQUERQUE, NM

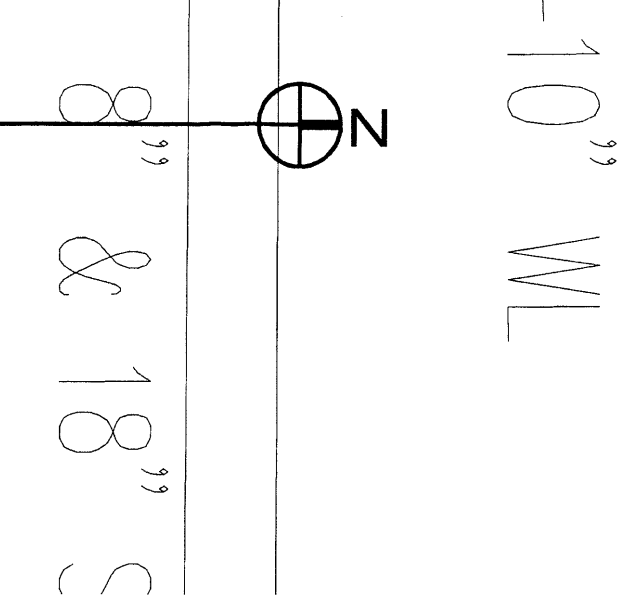
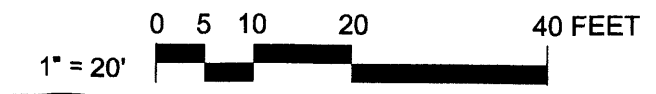
STATE OF NEW MEXICO
LANDSCAPE ARCHITECTS
11-21-04
SHEET TITLE:
LANDSCAPE PLAN

JOB NUMBER:
DATE:
10-21-2004
REVISIONS:
REVISION DATE:
REVISION SITE PLAN 12-17-04
SHEET:
L-1



- UTILITY LEGEND**
- UTILITY PEDESTAL
 - SANITARY SEWER MANHOLE
 - CENTERLINE MONUMENT
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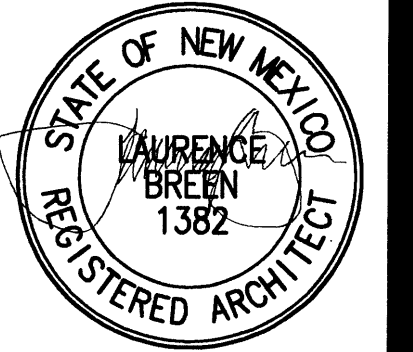
CONCEPTUAL UTILITY PLAN
 SCALE: 1" = 20'



R + B
 RICHARD DORMAN F.A.I.A.
 ALBUQUERQUE, NM 505-299-5940

DORMAN and BREEN
 LAURENCE BREEN A.I.A.
 SANTA FE, NM 505-982-9196

Masthead Pointe
 Lots 12a, 12b, 13 & 14
 Journal Center 2, Unit 2
 ALBUQUERQUE, NM



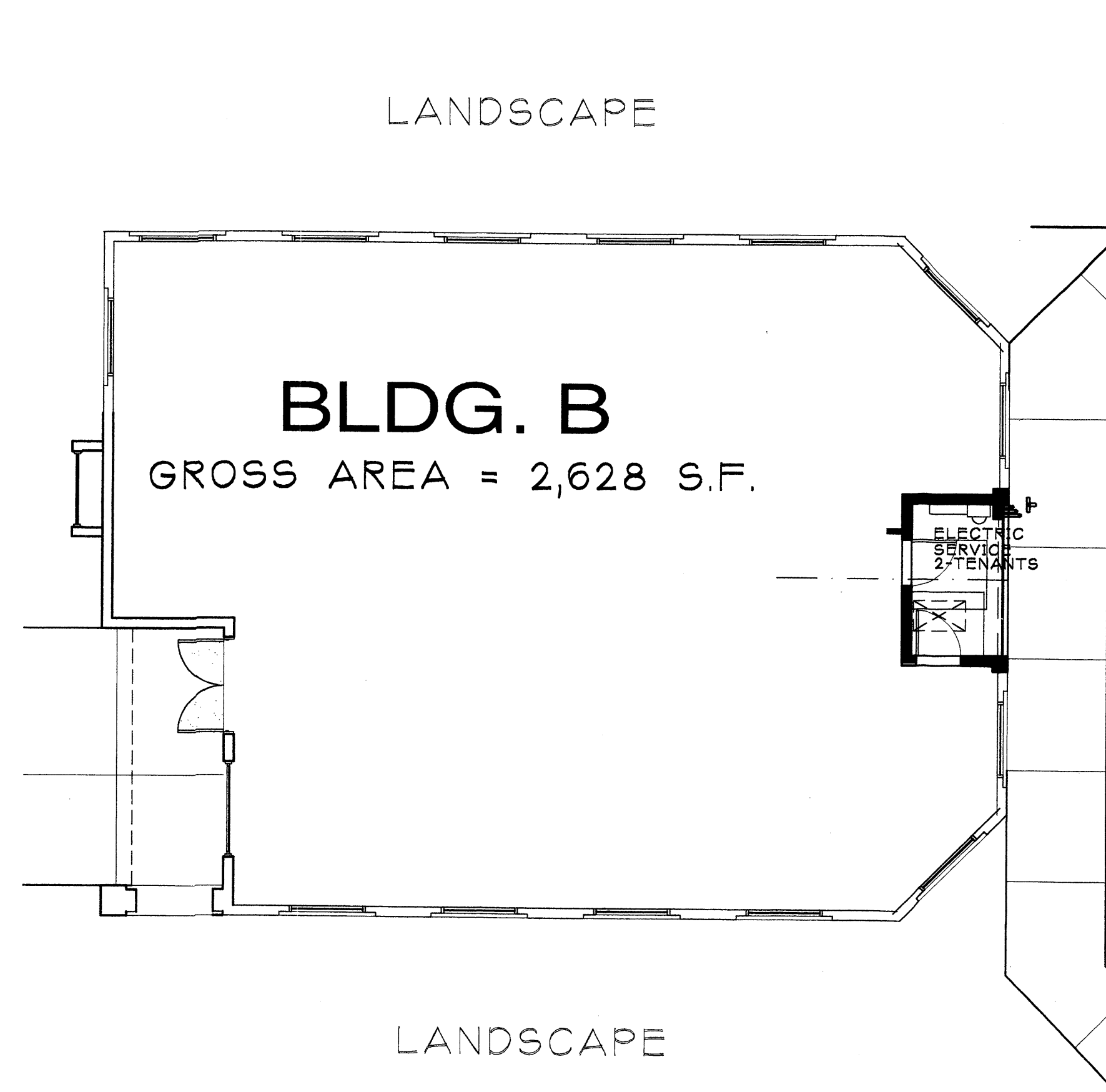
SHEET TITLE:
UTILITY PLAN

JOB NUMBER:
0422

DATE:
12/22/04

| REVISIONS: | DATE: |
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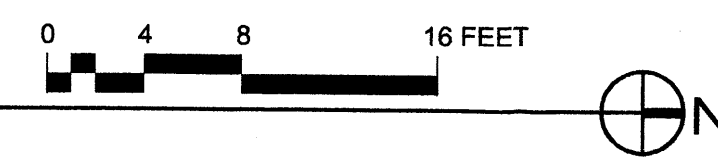
SHEET:
UT-1.1



FLOOR PLAN SCALE: 1/8" = 1'

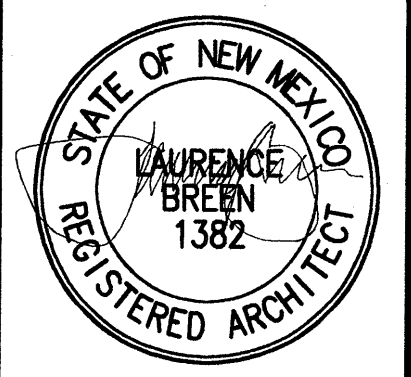
SCALE: 1/8" = 1'

GROSS BUILDING AREA = 2,628 SQ. F.T



R + B DORMAN and BREEN
 RICHARD DORMAN F.A.I.A. LAURENCE BREEN A.I.A.
 ALBUQUERQUE, NM 505-299-5940 SANTA FE, NM 505-982-9196

Masthead Pointe
 Lots 12a, 12b, 13 & 14
 Journal Center 2, Unit 2
 ALBUQUERQUE, NM



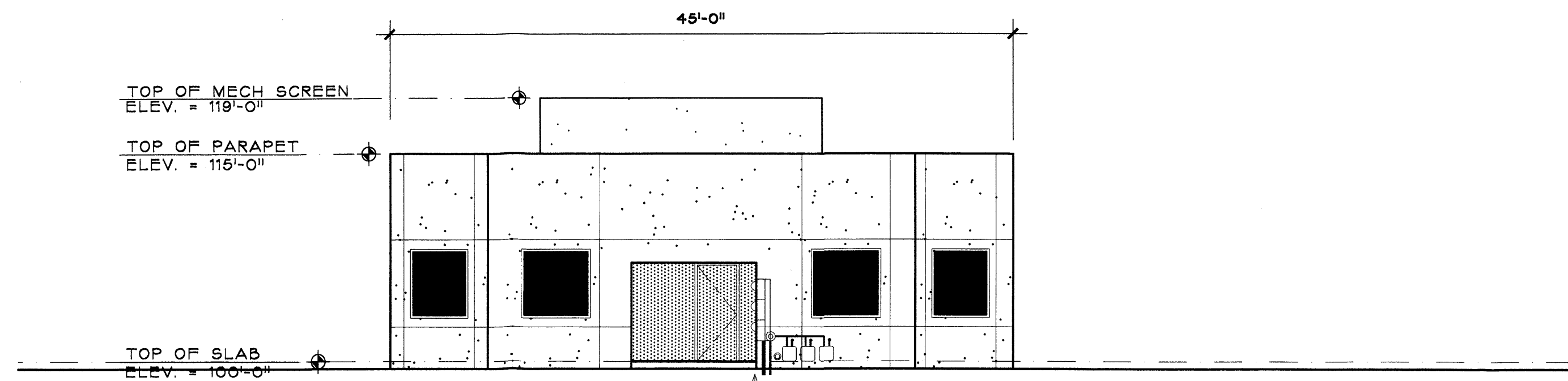
SHEET TITLE:
FLOOR PLAN

JOB NUMBER:
0422

DATE:
11/16/04

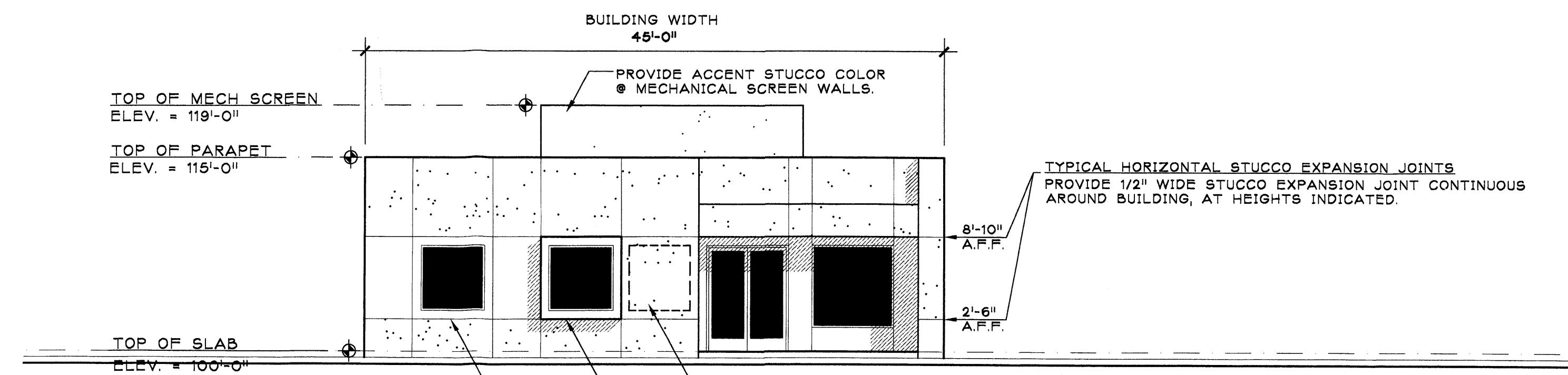
| REVISIONS: | DATE: |
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| ARC p11 DESIGN | 8/20/04 |
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SHEET:
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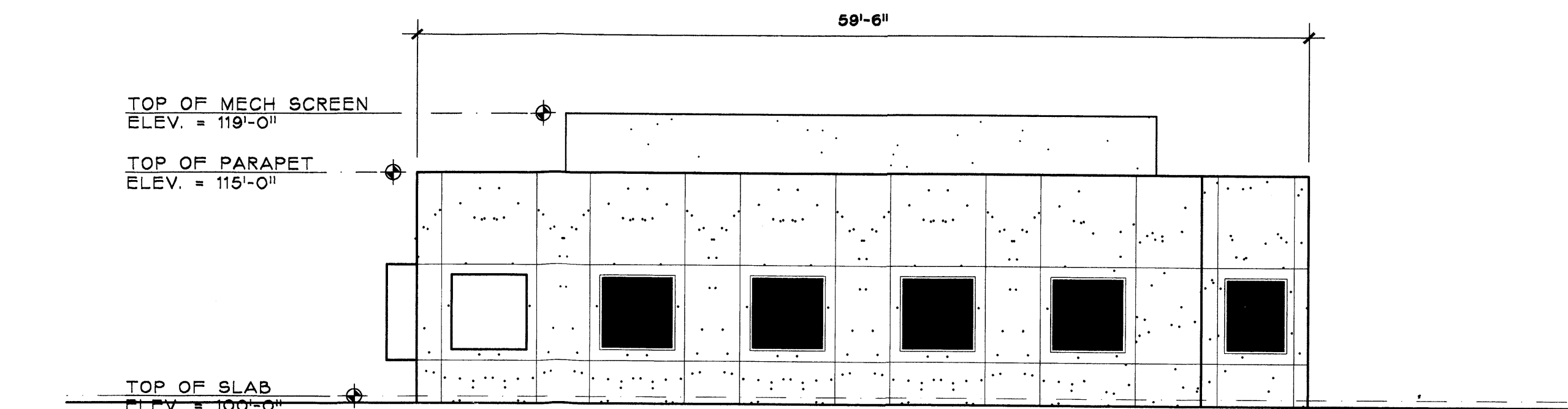
NORTH ELEVATION

SCALE: 1/8" = 1'



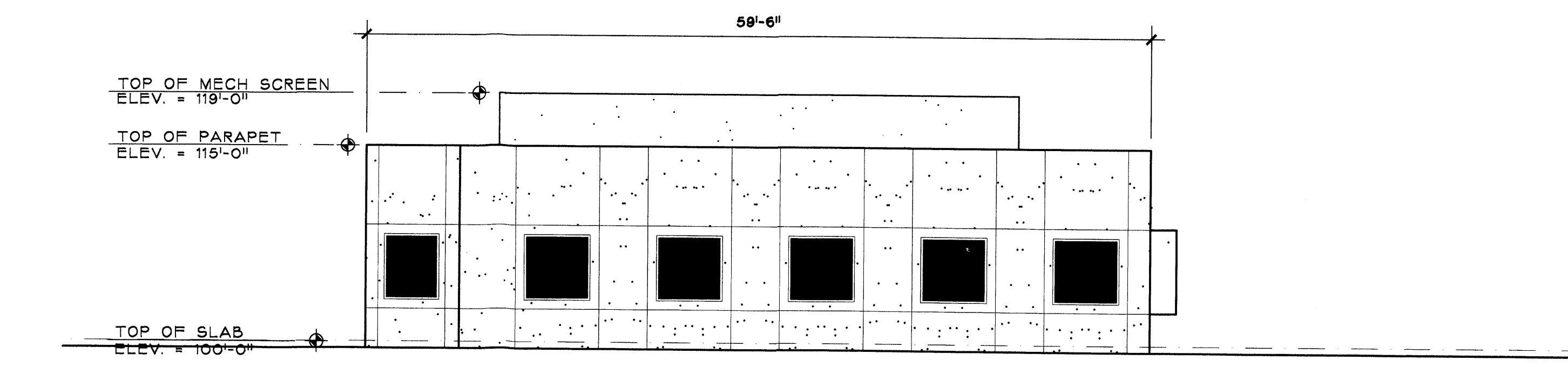
SOUTH ELEVATION

SCALE: 1/8" = 1'



EAST ELEVATION

SCALE: 1/8" = 1'



WEST ELEVATION

SCALE: 1/8" = 1'

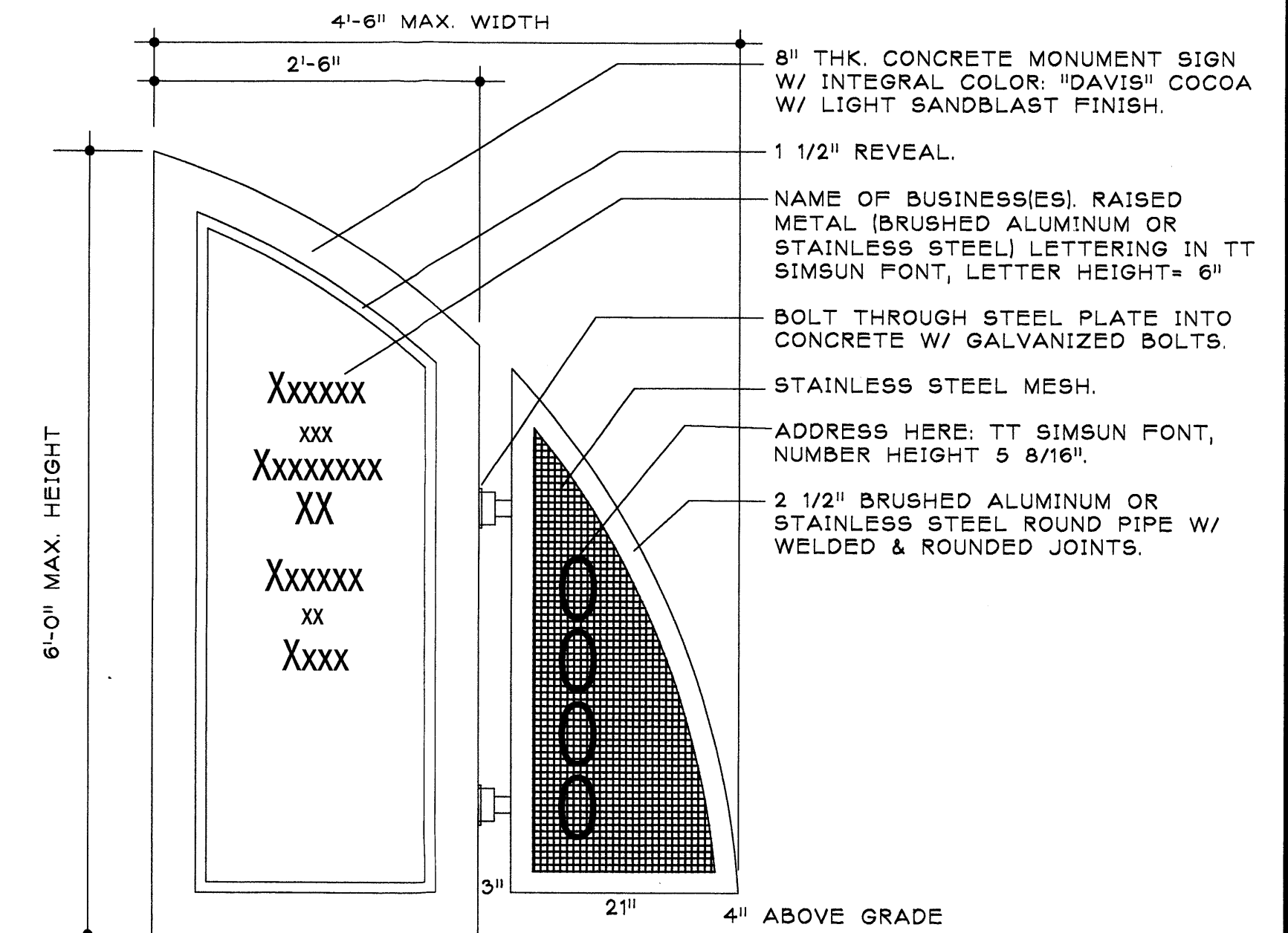
GENERAL NOTES

TYPICAL BUILDING MATERIALS & COLORS ARE AS FOLLOWS:

[A] PRINCIPAL STUCCO COLOR: "STO" # 10612, W/ COURSE TEXTURE. PROVIDE THIS COLOR ON ALL BUILDING WALLS, EXCEPT AT WINDOW BORDERS & MECHANICAL SCREEN.

[B] ACCENT STUCCO COLOR & TEXTURE: EACH OF THE SEVEN BUILDINGS WILL BE ACCENTED WITH ONE OF THE FOLLOWING COLORS: "STO" # 20209, 20709, 21109, 21309, 21509, 31202, 32202, 33202. EACH COLOR SHALL BE W/ MDM SAND TEXTURE. PROVIDE THIS COLOR ON ALL BUILDING 8"-WIDE WINDOW PERIMETER BORDERS & MECHANICAL SCREEN WALLS.

[C] ALUMINUM STOREFRONT SYSTEMS: PROVIDE "KAWNEER" TRIFAB V6451 INSULATED GLASS SYSTEM AT ALL EXTERIOR DOORS & WINDOWS. ALUMINUM FRAME COLOR SHALL BE ANTIQUE BRONZE FLUOROPON FINISH. ALL GLAZING SHALL BE "LOPI" BRONZE TINT, 1/4 SOLARCOOL REFLECTIVE GLASS. REFLECTIVE SURFACE SHALL BE INSTALLED TO INTERIOR SIDE OF GLASS.



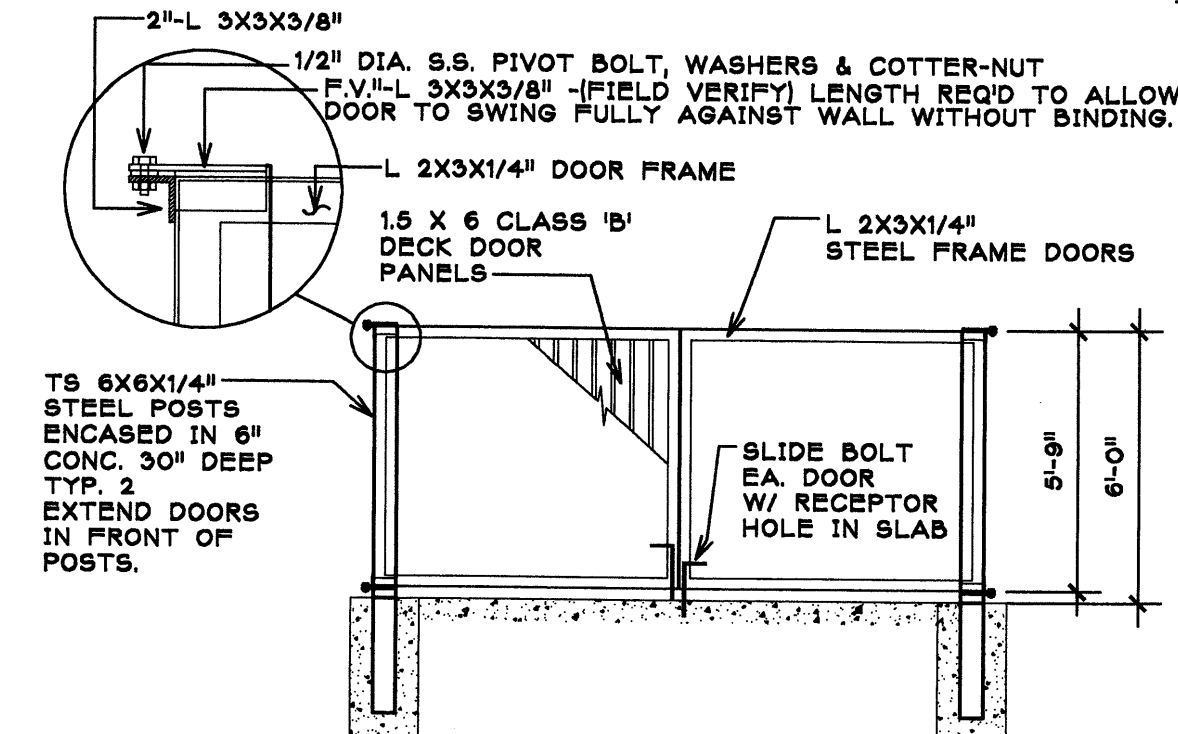
**TYPICAL MONUMENT SIGN
6' HIGH X 4'6" WIDE**

SIGNAGE NOTES

[] REFERENCE JOURNAL CENTER 2 SIGNAGE STANDARDS & REQUIREMENTS. ALL MONUMENT SIGNS SHALL COMPLY WITH THE JC-2 STANDARDS. PROVIDE ONE MONUMENT SIGN, LOCATE AS NOTED IN SITE PLAN.

CONCRETE SLAB IN ENCLOSURE: 6" THK, 4,000 PSI, 3/4" AGG. W/ 6X6-10/10 WWM. SLOPE TO DRAIN @ 1/8" PER FT. MIN.
CONCRETE APRON SLAB: 6" THK, 12" x 8' 4,000 PSI, 3/4" AGG. W/ 6X6-10/10 WWM. SLOPE TO DRAIN @ 1/8" PER FT. MIN.
CMU WALL: SEE DUMPSTER WALL SECTION

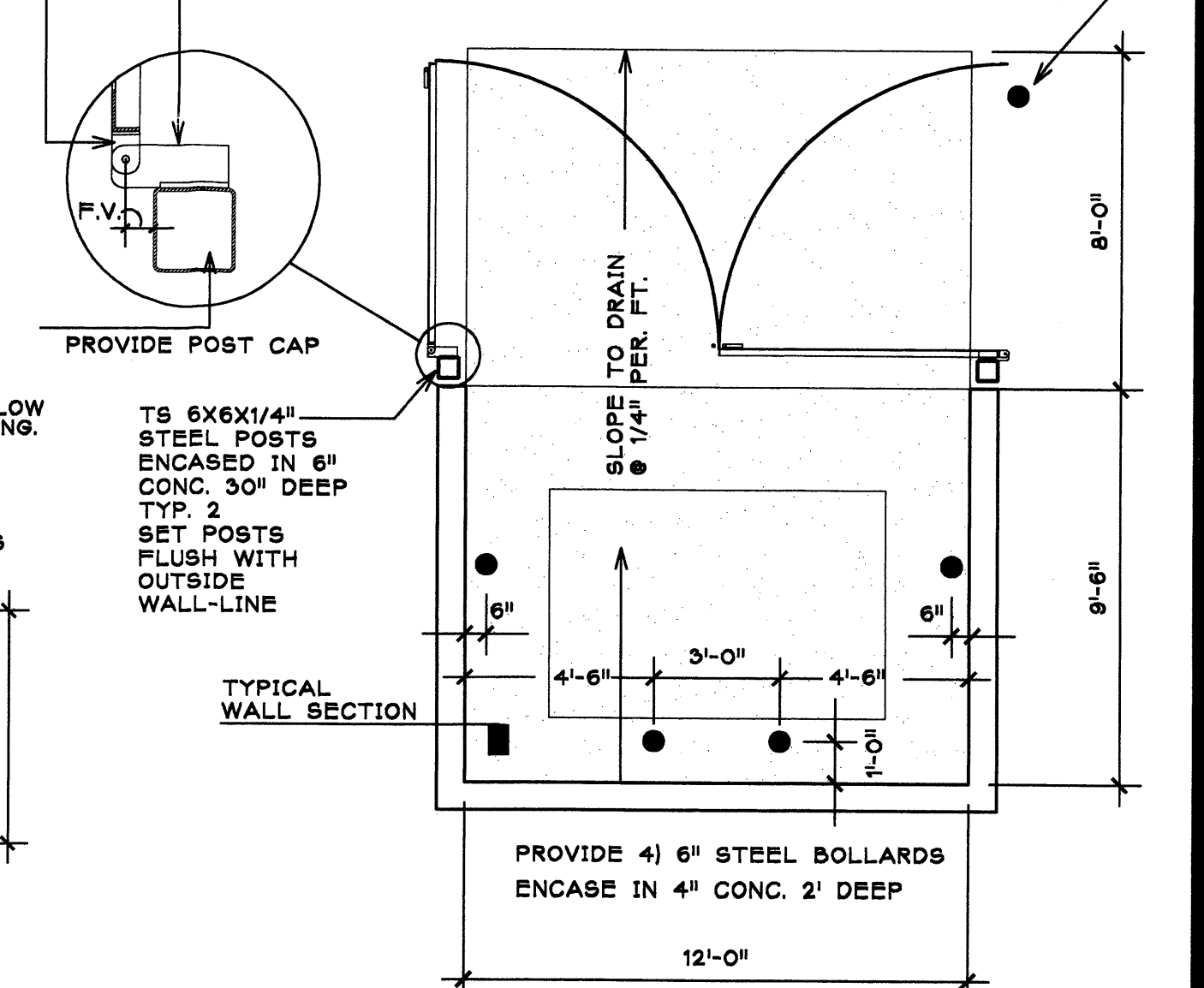
FRONT VIEW OF PIVOT - BOTTOM PIVOT IS OPPOSITE OF TOP PIVOT



FRONT VIEW OF GATES

SCALE 1/4" = 1'-0"

TOP VIEW OF PIVOT: PROVIDE 5TH BOLLARD TO PREVENT GATE FROM SWINGING INTO ADJACENT CAR PARKING STALL.
F.V. = L 3X3X3/8" (FIELD VERIFY) LENGTH REQ'D TO ALLOW DOOR TO SWING FULLY AGAINST WALL WITHOUT BINDING.



PLAN VIEW

SCALE 1/4" = 1'-0"

TRASH DUMPSTER ENCLOSURE DETAILS

SCALE: 1/4" = 1'-0"

DORMAN and BREEN
LAURENCE BREEN F.A.I.A.
RICHARD DORMAN F.A.I.A.
ALBUQUERQUE, NM 505-299-5940
SANTA FE, NM 505-982-9196

Masthead Pointe @ Journal Center 2
Building Shells
7420 Bartlett St. NE
Lot 14, Journal Center 2, Unit 2
ALBUQUERQUE, NM

STATE OF NEW MEXICO
REGISTERED ARCHITECT
LAURENCE BREEN
1382

SHEET TITLE:
BUILDING ELEVATIONS

JOB NUMBER:

DATE:

REVISIONS:

DATE:

SHEET:
A-2.1

NO. 1003782
SECTION NO. 04-10773

IMPROVED INFRASTRUCTURE LIST REQUIRED?
IMPROVED INFRASTRUCTURE LIST OF APPROVED
WORKING WITH A WORK ORDER IS REQUIRED FOR ANY
SECTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR
SECTION OF PUBLIC IMPROVEMENTS.
GUIDE DEVELOPMENT PLAN
GUIDE DEVELOPMENT PLAN
BUILDING PERMIT APPROVAL:

SHEET TITLE
SITE P

ENGINEERING
CIVIL ENGINEERING
TRANSPORTATION DIVISION

DATE:

Roger A. Shea
CITY DEVELOPMENT DIVISION

12-1-04

DATE:

Christina Sandoval
RECREATION

Christina Sandoval 12/1/04

DATE:

Edly L. Bixler
ENGINEER

12/1/04

DATE:

ENVIRONMENTAL HEALTH (CONDITIONAL)
Russell 7618142
WASTE MANAGEMENT

DATE:

DATE:

CHAIRPERSON, PLANNING DEPT.
CHAIRPERSON, PLANNING DEPT.

DATE:

JOB NUMBER

0422

DATE:

11/1

REVISION

ARC pt

SHEET:

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