

#14



DRB CASE ACTION LOG (PREL & FINAL)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB-01909 (P&F)
Project Name: Journal Center Phase 2, Unit 2
Agent: Precision Surveys Inc.

Project # 1003782
Phone No.: 856-5700

Project Number

1003782

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 12/29/04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): for utility signatures on plat
final plat delegated

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.** - OK
- Copy of recorded plat for Planning.**

X

DRB - AA

Comp 45
1/12/06

APPLICATION NO. 06AA-00009	PROJECT NO. 1003782
PROJECT NAME JOURNAL CENTER 2	LOTS 12, 13, 14
EPC APPLICATION NO.	
APPLICANT / AGENT MARK	PHONE NO. 792-8160
ZONE ATLAS PAGE D-17	
(SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEV PLAN), (IR), (AA)	
ONE STOP COMMENT FORM LOG	

HYDROLOGY DEV (505) 924-3986		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED B&B	DATE 1/5/06	DATE
COMMENTS:		

UTILITY DEV (505) 924-3989		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED MGB	DATE 01/05/06	DATE
COMMENTS:		

TRANSPORTATION DEV (505) 924-3990		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED NSF	DATE 1/4/06	DATE
COMMENTS:		
No object on the condition that the 4th monument sign is located outside of COA ROW (includes foundation/footing)		

PARKS AND REC (505) 768-5328		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

PLANNING (505) 924-3858		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED ABG	DATE 1/6/06	DATE
COMMENTS:		

Revised 3/3/04

(Return form with plat / site plan)

DRB - AA

APPLICATION NO. 06AA-00009	PROJECT NO. 1003782
PROJECT NAME JOURNAL CENTER Z	LOTS 12, 13, & 14
APPLICANT / AGENT MARK	PHONE NO. 792-8160
ZONE ATLAS PAGE D-17	DATE SUBMITTED 1/4/06

ONE STOP CASE TRACKING LOG

(This tracking log is for DRB Delegation Actions / Over the Counter Routing)

(rev. 7/03)

TYPE OF APPROVAL	TRANSP DEV	UTILITY DEV	PARKS & REC	HYD DEV (City Engr)	PLANNING	
					CASE PLANNER	DRB CHAIR
SDP-Building Permit / SDP-Subdivision	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____
Administrative Amendments (AA's) - DRB	F: 1/4/06 D: _____ F: _____ D: _____ A: 1/4/06	F: 1/5/06 D: _____ F: _____ D: _____ A: 1/5/06		F: 1/5/06 D: _____ F: _____ D: _____ A: 1/5/06	F: 1/6/06 D: _____ F: _____ D: _____ A: 1/6/06	
Minor Plat / Major Final Plat	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____		F: _____ D: _____ F: _____ D: _____ A: _____
Vacation-Private Easement	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____		F: _____ D: _____ F: _____ D: _____ A: _____

Project Number 1003782

First Review- Total City Days	
Second Review- Total City Days	
Third Review- Total City Days	
Subtotal	
Total Number of Developer Days (from back of form)	
Total Days	

*Business Days
 **Pulled by Agent (P)
 F = forwarded
 D = disapproved
 A = approved

PLANS RELEASED TO APPLICANT OR AGENT TO CORRECT REJECTS

Called Applicant: _____	First Review	Developer Days: _____
Date Released: _____	Date Returned: _____	
Print Name: _____		
Signed: _____		

Called Applicant: _____	Second Review	Developer Days: _____
Date Released: _____	Date Returned: _____	
Print Name: _____		
Signed: _____		

Called Applicant: _____	Third Review	Developer Days: _____
Date Released: _____	Date Returned: _____	
Print Name: _____		
Signed: _____		

Called Applicant: _____	Fourth Review	Developer Days: _____
Date Released: _____	Date Returned: _____	
Print Name: _____		
Signed: _____		

#17



Completed 12/29/04
AS

DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **04DRB-01773 (SBP)**
Project Name **Masthead Point @ Journal Ctr.**
Agent: **Dorman Breen Architects**

Project #: **1003782**
Phone No.: **792-8160**

Project Number

1003782

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOPMENT PLAN), was approved on 12/01/04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: (1) X - ACCESS ACROSS HIGHWAYS
- (2) COMPACT SPACE LAYOUTING
- (3) OFFSITE MITIGATION
- (4) ADA RAMP @ DRIVEWAY & MASTERY

- UTILITIES: _____
- _____
- _____

- CITY ENGINEER / AMAFCA: _____
- _____
- _____

- PARKS / CIP: _____
- _____
- _____

- PLANNING (Last to sign): Scuffed vicinity map on SP sheet
- elevation drawings are false containing
- Printed plat approved at DRB

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

#14



DRB CASE ACTION LOG (PREL & FINAL)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB-01909 (P&F)	Project # 1003782
Project Name: Journal Center Phase 2, Unit 2	
Agent: Precision Surveys Inc.	Phone No.: 856-5700

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 12/29/04 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____
- UTILITIES: _____
- _____
- _____
- _____
- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____
- PARKS / CIP: _____
- _____
- _____
- _____
- PLANNING (Last to sign): for utility signatures on plat
- final plat delegated
- _____
- _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.** OK
- Copy of recorded plat for Planning.**

Project Number 1003782

X



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

December 29, 2004 9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 12:35 P.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000676**
04DRB-01822 Major-Vacation of Public Easements
04DRB-01823 Minor-Sketch Plat or Plan
JEFF MORTENSEN & ASSOCIATES, INC agent(s) for FLYING STAR CORRALES, MARK & JEAN BERNSTEIN, request(s) the above action(s) for all or a portion of Tract(s) F-3, **LAS TIENDAS DE CORRALES CENTER**, zoned SU-1 IP, located on CORRALES RD NW, between ALAMEDA BLVD NW and CALLE CUERVO NW containing approximately 3 acre(s). [REF: 04EPC01345, 043EPC01353] (A-14) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

2. **Project # 1001370**
04DRB-01857 Major-Bulk Land Variance
04DRB-01858 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for JTH, LLC request(s) the above action(s) for all or a portion of Tract(s) A, UNPLATTED LAND, FOUR HILLS VILLAGE, 20TH INSTALLMENT, (to be known as **JUAN TABO HILLS**, zoned R-D, located on JUAN TABO BLVD SE, between EUBANK BLVD SE and FOUR HILLS RD SE containing approximately 328 acre(s). [REF: Z-80-30, Z-92-20, DRB-93-48, DRB-94-257, DRB-98-20] (M-21/22) **THE BULK LAND VARIANCE WAS APPROVED. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR AMAFCA'S SIGNATURE, THE GONZALES EASEMENT AND TO PLANNING FOR RESPONSE TO PUBLIC QUESTIONS AND THE 15-DAY APPEAL PERIOD.**

3. **Project # 1002134**
04DRB-01804 Major-Preliminary Plat
Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for VISTA DEL NORTE DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) U-2, U-3, U-4 and U-6, **VISTA DEL NORTE SUBDIVISION**, zoned SU-1 FOR IP, located on PASEO DEL NORTE NE, between EDITH BLVD NE and NORTH DIVERSION CHANNEL containing approximately 30 acre(s). [REF: DRB-94-288, Z-87-113, 02DRB01196, 02DRB01199] *[Deferred from 12/29/04]* (D-16) **DEFERRED AT THE AGENT'S REQUEST TO 1/12/05.**

04DRB-01967 Minor-SiteDev Plan
Subd/EPC

MARK GOODWIN & ASSOCIATES agent(s) for VISTA DEL NORTE DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) U-2, U-3, U-4 and U-6, **VISTA DEL NORTE SUBDIVISION**, zoned SU-1 special use zone, located on LAS LOMITAS DR NW, between EL PUEBLO RD NW and VISTA DEL NORTE NW containing approximately 31 acre(s). [REF: Z-87-113, DRB-94-288, 02DRB01196, 02DRB01199, 04DRB01804, 04DRB00794] **[Elvira Lopez, EPC Case Planner]** *[Deferred from 12/29/04]* (D-16) **DEFERRED AT THE AGENT'S REQUEST TO 1/12/05.**

4. **Project # 1000965**
04DRB-01848 Major-Bulk Land Variance
04DRB-01854 Major-Preliminary Plat Approval
04DRB-01850 Major-Vacation of Public Easements
04DRB-01849 Major-Vacation of Pub Right-of-Way
04DRB-01851 Minor-Vacation of Private Easements
04DRB-01853 Minor-Sidewalk Waiver
04DRB-01852 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for ANDALUCIA DEVELOPMENT CO., INC request(s) the above action(s) for all or a portion of Tract(s) 1, LANDS OF RAY GRAHAM III, (to be known as **ANDALUCIA @ LA LUZ**, zoned SU-1, located on COORS BLVD NW, between NAMASTE RD NW and LA BIENVENIDA PL NW containing approximately 85 acre(s). [REF: 03DRB01559, 03 DRB01565] (F-11) **BULK LAND VARIANCE WAS APPROVED. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12/29/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/28/03 THE PRELIMINARY PLAT WAS APPROVED. THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH THE CONDITION: THERE ARE NO OTHER APPROVALS THAN THOSE GRANTED ON 10/29/03. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED A SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

5. **Project # 1003778**
04DRB-01750 Major-Preliminary Plat Approval
04DRB-01751 Major-Vacation of Pub Right-of-Way
04DRB-01753 Minor-Temp Defer SDWK
04DRB-01752 Minor-Sidewalk Variance

LARRY READ & ASSOCIATES INC agent(s) for ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 21 & 22, Block(s) 2, Tract(s) 2, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **SHAHEEN SUBDIVISION**) zoned R-D, located on OAKLAND AVE NE, between WYOMING BLVD NE and LOUISIANA BLVD NE containing approximately 2 acre(s). [Deferred from 12/8/04, 12/15/04 & 12/29/04] (C-19) **DEFERRED AT THE AGENT'S REQUEST TO 1/5/05.**

6. **Project # 1003779**
04DRB-01754 Major-Preliminary Plat
Approval
04DRB-01765 Major-Vacation of Pub
Right-of-Way
04DRB-01756 Minor-Sidewalk Variance
04DRB-01757 Minor-Temp Defer SDWK

LARRY READ & ASSOCIATES INC agent(s) for ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 17 & 18, Block(s) 2, Tract(s) 2, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **KUMAIL SUBDIVISION**) zoned R-D, located on OAKLAND AVE NE, between WYOMING BLVD NE and LOUISIANA BLVD NE containing approximately 2 acre(s). [Deferred from 12/8/04, 12/15/04 & 12/29/05] (C-19) **DEFERRED AT THE AGENT'S REQUEST TO 1/5/05.**

SITE DEVELOPMENT PLANS, AMENDED PLANS, AND MASTER DEVELOPMENT PLANS

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THE REQUEST MAY BE INDEFINITELY DEFERRED.

7. **Project # 1003826**
04DRB-01905 Minor-SiteDev Plan Su`bd

LEE GAMELSKY ARCHITECTS PC agent(s) for CERTIFIED AUTO SALES LLC request(s) the above action(s) for all or a portion of Tract(s) 1-A, **LEVI STRAUSS & COMPANY**, zoned SU-2 M-1, located on ALAMEDA BLVD NE, between SAN MATEO NE and I-25 containing approximately 3 acre(s). [REF: AX-70-33, Z-70-124] [Deferred from 12/29/04] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 1/5/05.**

8. **Project # 1003829**
04DRB-01911 Minor-SiteDev Plan
BldPermit

SMPC ARCHITECTS agent(s) for QWEST COMMUNICATIONS request(s) the above action(s) for all or a portion of Lot(s) 22, Block(s) 8, **ORIGINAL TOWNSITE OF WESTLAND**, zoned SU-2 IP, located on 94TH ST NW, between CENTRAL AVE NW and VOLCANO RD NW containing approximately 1 acre(s). [REF: Z-81-22] (K-19) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12/29/04 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND TO PLANNING TO ADDRESS COMMENTS.**

9. **Project # 1001043**
04DRB-01971 Minor-SiteDev Plan
BldPermit/EPC

BOHANNAN HUSTON INC agent(s) for NEW MEXICO UTILITIES INC request(s) the above action(s) for all or a portion of Tract(s) B-1 and B-2, **STONEBRIDGE POINTE**, zoned SU-1 FOR R-2, located on MCMAHON NW, between BANDELIER NW and DOVER NW containing approximately 1 acre(s). [REF: 04EPC01209, 04EPC01210] [**Russell Brito for Debbie Stover, EPC Case Planner**] (A-12) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

10. **Project # 1002378**
04DRB-01972 Minor-SiteDev Plan
BldPermit/EPC

MAHLMAN & MILES, ARCHITECTS agent(s) for THOMAS H HEFLIN request(s) the above action(s) for all or a portion of Lot(s) 9-A, **LA CUEVA TOWN CENTER** AND Lot(s) 10-A, Block(s) 20, Tract(s) 2, UNIT 3, **NORTH ALBUQUERQUE ACRES**, zoned C-2 SC, located on CARMEL NE, between WYOMING NE and BARSTOW NE containing approximately 2 acre(s). [REF: Z-98-98, DRB-98-402, 04EPC0091, 04EPC0515] [**Russell Brito for Debbie Stover, EPC Case Planner**] [*Deferred from 12/29/04*] (C-19) **DEFERRED AT THE AGENT'S REQUEST TO 1/5/05.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1000602**
01DRB-00160 Major-Vacation of Plat

Westland Development Co., Inc., is requesting to Vacate plat of Lot 4A, **River Ranch Subdivision** (filed for record on 6-14-11 in Book 2000C at Page 156) and by implication is requesting to void the vacation of Sequoia Road NW zoned R-1 (City) and located at the east end of Sequoia Rd NW east of Coors Blvd NW containing approximately 0.4409 acres. [REF: DRB-99-64/V-99-50, 00440-00000-00813] [THIS CASE WAS CONTINUED AT THE BOARD'S REQUEST FOR FURTHER PROOF THAT THE PLAT IS INCORRECT AS IT STANDS AT THIS TIME.] (G-11) **WITHDRAWN AT THE AGENT'S REQUEST. THERE ARE FINDINGS FROM THE DEVELOPMENT REVIEW BOARD.**

12. **Project # 1001764**
04DRB-01908 Minor-Ext of SIA for Temp Defer SDWK

TIERRA WEST LLC agent(s) for THE HOMESITE GROUP ONE LLC request(s) the above action(s) for all or a portion of **VISTA PACIFICA SUBDIVISION**, zoned R-LT, located on CORRIGEDOR DR SW, between GONZALES RD SW and SUNSET GARDENS RD SW containing approximately 15 acre(s). [REF: Z-70-130-1, DRB-95-82, 02DRB0310, 02DRB01851] (K-11) **A TWO-YEAR EXTENSION TO THE ORIGINAL TWO-YEAR AGREEMENT OF THE SIA FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

13. **Project # 1003705**
04DRB-01956 Minor-Prelim&Final Plat Approval

FORSTBAUER SURVEYING INC agent(s) for DR. VIJAY AGARWAL request(s) the above action(s) for all or a portion of Lot(s) 4 THRU 9, Block(s) 22, **BROWNEWELL & LAILS HIGHLAND ADDITION**. zoned SU-2 MC, located on OAK ST NE, between TIJERAS NE and COPPER NE containing approximately 1 acre(s). [REF: 04DRB01539, 04DRB01540] (K-15) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

14. **Project # 1003782**
04DRB-01909 Minor-Prelim&Final Plat
Approval
04DRB-01910 Minor-Vacation of Private
Easements

PRECISION SURVEYS INC agent(s) for WALTON CHAPMAN BUILDERS CO INC request(s) the above action(s) for all or a portion of Tract(s) 12□1, **JOURNAL CENTER, PHASE 2, UNIT 2**, zoned IP, located on BARTLETT ST NE, between MASTHEAD ST NE and RUTLEDGE RD NE containing approximately 2 acre(s). [REF: DRB-95-268, 04DRB01773] (D-17) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR UTILITIES SIGNATURES ON THE PLAT. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

15. **Project # 1001021**
04DRB-01968 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES agent(s) for PIERRE J AMESTOY JR request(s) the above action(s) for all or a portion of Tract(s) C-1-B-1 and C-1-B-2, **IRVING LAND PARTNERS**, zoned M-1 light manufacturing zone, located on IRVING BLVD NW, between SIERRA HILL NW and NEW VISTAS NW containing approximately 7 acre(s). [REF: 01DRB01591, 01DRB00095, 03DRB00221, 03DRB00222] (B-13) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR NMUI SIGNATURE AND AMAFCA'S SIGNATURE AND TO PLANNING FOR THE AGIS DXF FILE.**

16. **Project # 1001438**
04DRB-01898 Major-Final Plat Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for 57TH STREET LLC request(s) the above action(s) for all or a portion of Tract(s) 349A TOWN OF ATRISCO GRANT, (to be known as **KENSINGTON, UNIT 5**, zoned RD, located on LADERA DR NW, between OURAY RD NW and ZARZAMORA AVE NW containing approximately 3 acre(s). [REF: 03DRB00079, 04DRB00872, 04DRB00872, 04DRB0074, 04DRB00876, 04DRB00878] (H-10) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU.**

17. **Project # 1003235**
04DRB-01899 Major-Final Plat Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for 57TH STREET, LLC request(s) the above action(s) for all or a portion of Tract(s) C, MARIPOSA SQUARE, (to be known as **KENSINGTON, UNIT 6**) zoned RD, located on 72ND ST NW, between LADERA DR NW and MIAMI RD NW containing approximately 3 acre(s). [Project #1003304 issued in error] [REF: 04DRB00362] (H-10) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR OPEN SPACE PAYMENT AND NOTE ON THE PLAT.**

18. **Project # 1003533**
04DRB-01808 Minor-Prelim&Final Plat Approval
04DRB-01809 Minor-Sidewalk Waiver
04DRB-01810 Minor-Sidewalk Variance
04DRB-01811 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for FORAKER FARMS LLC request(s) the above action(s) for all or a portion of Tract(s) 25-A-1-B, **FORAKER FARMS**, zoned R-1 residential zone, located on MENAUL BLVD NW, between 8TH ST NW and 10TH ST NW containing approximately 2 acre(s). [REF:04EPC01041, 04EPC01043, 04EPC01044] [*Deferred from 12/8/04*] (H-14) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12/29/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11/29/04 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION. FINAL PLAT WAS INDEFINITELY DEFERRED. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE WITH THE CONDITION THAT IT WON'T PRECLUDE FUTURE PLACEMENT OF SIDEWALK. A SIDEWALK VARIANCE WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

19. **Project # 1001946**
04DRB-01965 Minor-Final Plat Approval

BOHANNAN HUSTON, INC agent(s) for LOWE'S COMPANIES, INC request(s) the above action(s) for all or a portion of Tract(s) A-1-A, A-1-B, A-1-C, A-1-D and A-1-E, **LOS ANGELES CENTER**, zoned M-1, located on I-25 NE, between PASEO DEL NORTE NE and SAN PEDRO BLVD NE containing approximately 34 acre(s). [REF: 02DRB00732, 02DRB01008, 03DRB01271, 04DRB01176, 04DRB01177, 04DRB01178, 04DRB01670] (D-18) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR EXHIBIT OF SAN PEDRO IMPROVEMENT OF NEW RIGHT-OF-WAY DEDICATION AND EASEMENT THRU CEMCO SITE AND TO PLANNING FOR AGIS DXF FILE.**

20. **Project # 1003855**
04DRB-01966 Minor-Prelim&Final Plat Approval

BOHANNAN HUSTON INC agent(s) for MICHAEL DEWITTE request(s) the above action(s) for all or a portion of Lot(s) 57-A, **THE OVERLOOK @ HIGH DESERT, UNIT 2**, zoned SU-2 HD RLT, located on HIGH DESERT RD NE, between OSAGE ORANGE RD NE and RED YUCCA AVE NE containing approximately 1 acre(s).(E-23) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR HOME OWNERS ASSOCIATION SIGNATURE.**

21. **Project # 1003604**
04DRB-01794 Minor-Final Plat Approval

ABQ ENGINEERING agent(s) for D T LAND DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) 217, 218, 219 and 220, **MIRA MESA SUBDIVISION**, zoned R-2 residential zone, located on HANOVER RD NW, between GLENRIO RD NW and 68TH ST NW containing approximately 13 acre(s). [REF: 04DRB01233, 04DRB01452, 04DRB01453] [*Deferred from 12/1/04, 12/8/04 & 12/29/04*] (J-10) **DEFERRED AT THE AGENT'S REQUEST TO 1/5/05.**

22. **Project # 1003668**
04DRB-01414 Minor-Prelim&Final Plat
Approval

TERRAMETRICS OF NEW MEXICO agent(s) for LLAVE CONSTRUCTION request(s) the above action(s) for all or a portion of Lot(s) 5, Block(s) 3, Tract(s) 3, Unit(s) 3, **NORTH ALBUQUERQUE ACRES**, zoned RD-3, located on OAKLAND AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 1 acre(s). *[Was indefinitely deferred at the agent's request, 11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04][Deferred from 11/17/04] [Indef. Deferred on 12/29/04] (C-20) INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.*

23. **Project # 1003854**
04DRB-01964 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING, INC agent(s) for A & J STURTEVANT AND D & N STAFFORD request(s) the above action(s) for all or a portion of Lot(s) 1, Block(s) 26, **WAGGOMAN-DENISON ADDITION**, zoned R-T, located on GENERAL BRADLEY ST NE, between COPPER AVE NE and DOMINGO RD NE containing approximately 1 acre(s). *[Deferred from 12/29/04] (K-20) INDEFINITELY DEFERRED ON A NO SHOW. THEN DEFERRED AT THE AGENT'S REQUEST TO 1/5/05.*

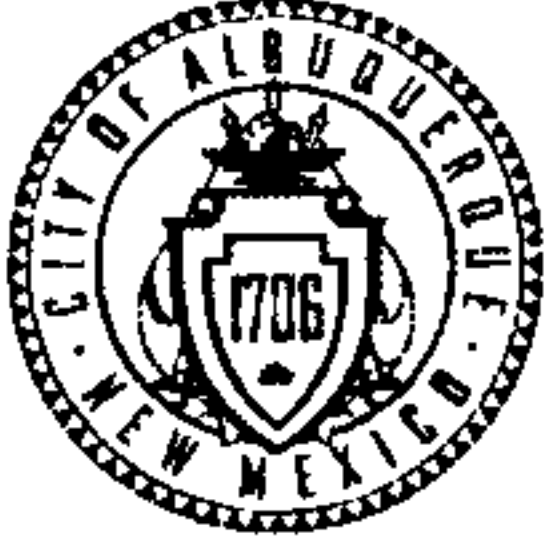
NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

24. **Project # 1001990**
04DRB-01963 Minor-Sketch Plat or Plan

WAYJOHN SURVEYING INC agent(s) for HARDEN ENTERPRISES LLC, MARK A HARDEN request(s) the above action(s) for all or a portion of Tract(s) A, **TANNEHILL-TAYLOR ADDITION**, zoned C-2, located on MONTGOMERY BLVD NE, between EUBANK NE and JUAN TABO NE containing approximately 4 acre(s). *[REF: 02DRB00844] [Deferred from 12/29/04] (G-21) INDEFINITELY DEFERRED ON A NO SHOW. THEN DEFERRED AT THE AGENT'S REQUEST TO 1/5/05.*

25. **Project # 1003828**
04DRB-01907 Minor-Sketch Plat or Plan
- JEFF MORTENSEN & ASSOCIATES INC agent(s) for WILLIAM T CANIGLIA request(s) the above action(s) for all or a portion of Tract(s) 70A, 71A, 113 and 114A, **MRGCD MAP # 34**, zoned R-1, located on CANDELARIA RD NW, between 12TH STREET NW and RIO GRANDE BLVD NW containing approximately 7 acre(s). [REF: Z-70-114] (G-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
26. **Project # 1003856**
04DRB-01969 Minor-Sketch Plat or Plan
- COMMUNITY SCIENCES CORP agent(s) for MICHAEL'S HOMES request(s) the above action(s) for all or a portion of Tract(s) 8B1A1, **DON FELIPE NO. 02**, zoned RA-2 residential and agricultural zone, located on WEST GLENN SW & WEST LEA SW, between METZGAR SW and PAJARITO ELEMENTARY SCHOOL containing approximately 9 acre(s). (Q-10/Z-10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
27. **Project # 1003857**
04DRB-01973 Minor-Sketch Plat or Plan
- PRECISION SURVEYS INC agent(s) for MICHAEL GONZALES request(s) the above action(s) for all or a portion of Tract(s) D, C1, C2 and 31B1, LANDS OF BROMO GONZALES, (to be known as **BARELAS TOWN HOMES**, zoned SU-2 NCR AND SU-2 RT, located on SIMPIER LN SW, between 8TH ST SW and 4TH ST SW containing approximately 2 acre(s). (L-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
28. Approval of the Development Review Board Minutes for December 8 and December 15, 2004. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR DECEMBER 8 AND DECEMBER 15 WERE APPROVED BY THE BOARD.**

ADJOURNED: 12:35 P.M.



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

December 29, 2004

14. Project # 1003782
04DRB-01909 Minor-Prelim&Final Plat Approval
04DRB-01910 Minor-Vacation of Private Easements

PRECISION SURVEYS INC agent(s) for WALTON CHAPMAN BUILDERS CO INC request(s) the above action(s) for all or a portion of Tract(s) 12□1, **JOURNAL CENTER, PHASE 2, UNIT 2**, zoned IP, located on BARTLETT ST NE, between MASTHEAD ST NE and RUTLEDGE RD NE containing approximately 2 acre(s). [REF: DRB-95-268, 04DRB01773] (D-17)

At the December 29, 2004, Development Review Board meeting, the preliminary plat and final plat was approved with final plat sign off delegated to Planning for Public Utility Companies signatures on the plat.

The vacation was approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

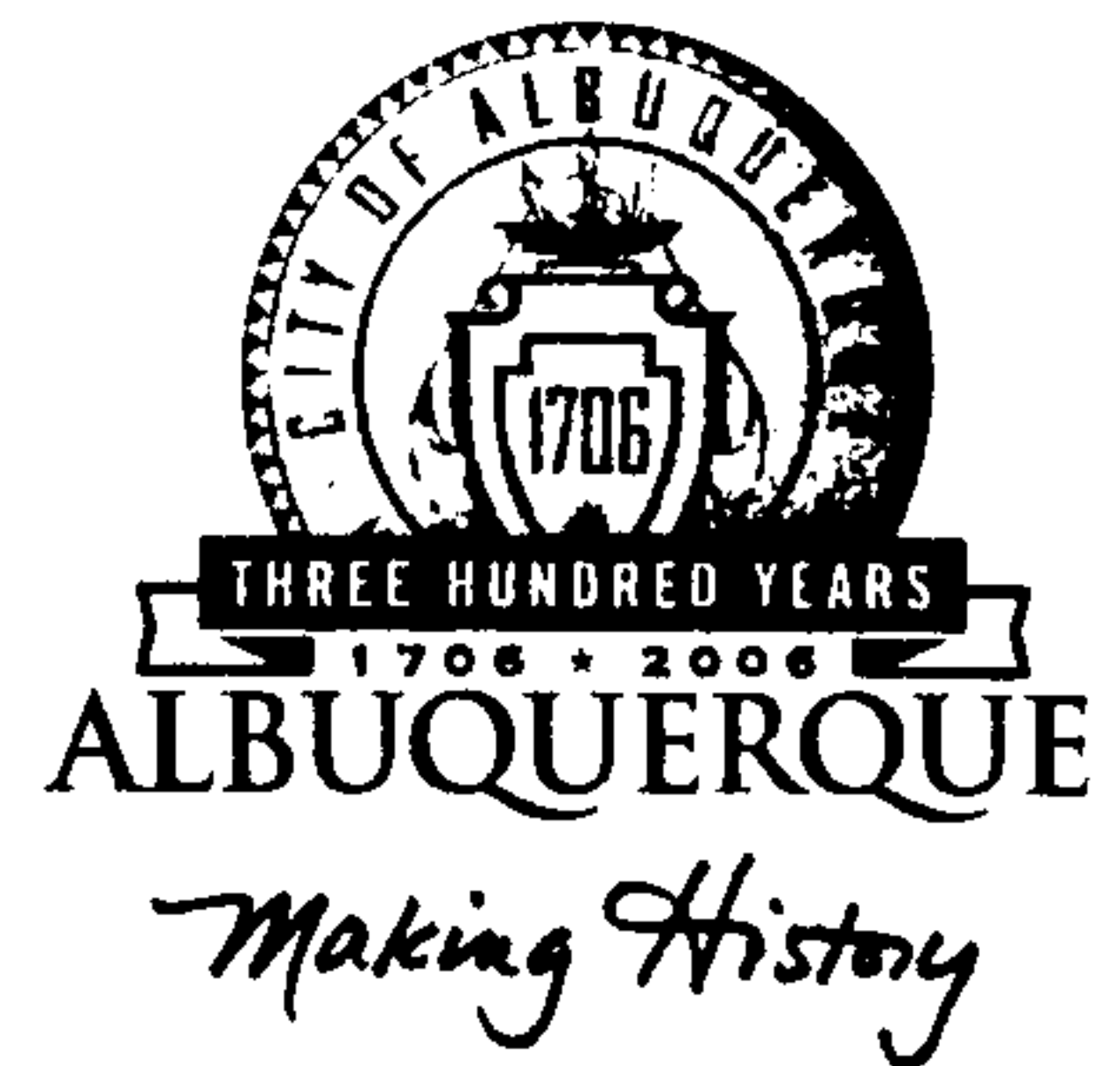
CONDITIONS:

1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

Sheran Matson, AICP, DRB Chair

Cc:Walton Chapman Builders Co., Inc., 404-A Brunn School Rd, Santa Fe, NM 87504
Precision Surveys Inc., 8414-D Jefferson NE, 87113
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003782

AGENDA ITEM NO: 14

SUBJECT:

- | | | |
|-------------------------|--------------------------|---------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Dev. Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Cost Allocation Plan |

ACTION REQUESTED:

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

Albuquerque

The Hydrology Section has no objection to the vacation request.
No adverse comments on plat.

New Mexico 87103

RESOLUTION:

www.cabq.gov

APPROVED ; DENIED ; DEFERRED ; COMMENTS PROVIDED ; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: December 29, 2004

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DECEMBER 29, 2004
DRB Comments**

ITEM # 14

PROJECT # 1003782

APPLICATION # 04-01909 and 04-01910

**RE: Tracts 12A and 12B, Journal Center, Phase 2, Unit 2 / Minor
Prelim & Final Plat Approval; Vacation of Private Easements**

Planning has no objection to the request.

Sheran Matson, AICP DRB Chair
924-3880 fax 924-3864 smatson@cabq.gov

#14

3782

DXF Electronic Approval Form

DRB Project Case #: 1003782

Subdivision Name: JOURNAL CENTER PHASE 2 UNIT 2 LOT 12B1

Surveyor: LARRY W MEDRANO

Contact Person: BERNADETTE BUSTOS

Contact Information: 856-5700

DXF Received: 12/28/2004

Hard Copy Received: 12/14/2004

Coordinate System: NMSP Grid (NAD 27)


Approved

12/28/04
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only
Copied cov 3782 to agiscov on 12/28/2004 Contact person notified on 12/28/2004



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

December 1, 2004

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 a.m.

Adjourned: 4:30 p.m.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1003470**
04DRB-01522 Major-Bulk Land
Variance
04DRB-01523 Major-Preliminary Plat
Approval
04DRB-01524 Minor-Temp Defer
SDWK

WILSON & COMPANY agent(s) for SCOTT SCHIABOR SPS LC request(s) the above action(s) for all or a portion of Tract(s) 1A, 2A, 1B & 2B, **VISTA VIEJA SUBDIVISION**, KASSUBA-MONTBEL LANDS, zoned R-1 residential zone, located on 81ST ST NW and ALBERICOQUE PL NW containing approximately 152 acre(s). [REF: 04DRB00825, 04DRB01460] *[Deferred from 11/3/04, 11/10/04 & 12/1/04]* (D-9) **DEFERRED AT THE AGENT'S REQUEST TO 1/12/05**

2. **Project # 1000464**
04DRB-01729 Major-Preliminary Plat
Approval
- TIERRA WEST LLC agent(s) for WAL-MART STORES EAST INC request(s) the above action(s) for all or a portion of Tract(s) H6A1A, **RIVERVIEW SUBDIVISION**, zoned SU-1 IP, located on GOLF COURSE RD NW, between PASEO DEL NORTE NW and SHELLY ROSE RD NW containing approximately 7 acre(s). [REF: Z-99-11, Z-99-17, 04DRB01226, 04AA01474] (C-12) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12/1/04 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS.**
3. **Project # 1002315**
04DRB-01723 Major-Vacation of
Public Easements
- BOHANNAN HUSTON INC agent(s) for MESA VERDE DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) 13B, **WILDERNESS COMPOUND @ HIGH DESERT**, zoned SU-2 HD/R-R, located on FOOTHILLS TRAIL NE, between WILDERNESS TR NE and HIGH DESERT PLACE NE containing approximately 34 acre(s). [REF: 03DRB01651] (F-23) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**
4. **Project # 1002702**
04DRB-01664 Major-Vacation of
Public Easements
04DRB-01686 Minor-Prelim&Final Plat
Approval
- ALAN J VINCIONI Request(s) the above action(s) for all or a portion of Tract(s) 1, HUNING HIGHLANDS ADDITION (to be known as **IRON PROPERTIES**) zoned M-1 light manufacturing zone, located on BROADWAY SE AND IRON SE between COAL SE and HAZELDINE SE containing approximately 8 acre(s). [REF:03DRB00886] [*Deferred from 12/1/04*] (K-14) **DEFERRED AT THE AGENT'S REQUEST TO 12/8/04.**

5. **Project # 1001445**
04DRB-01681 Major-Bulk Land
Variance

SURV-TEK INC agent(s) for DAVE GARDUNO AND LORETTA ROMERO request(s) the above action(s) for all or a portion of Tract(s) 13, **BLACK RANCH**, zoned SU-1 FOR C-1 AND SU-1 FOR O-1, located on COORS BLVD NW, between 7-BAR LOOP ROAD NW and ALAMEDA BLVD NW containing approximately 6 acre(s). [REF: 03EPC01029, 01EPC01244, 02EPC00991, 03EPC00351, 03EPC00864] *[Deferred from 12/1/04]* (B-14) **DEFERRED AT THE AGENT'S REQUEST TO 12/8/04.**

04DRB-01634 Minor-SiteDev Plan
Subd

CONSENSUS PLANNING agent(s) for DAVE AND LORETTA GARDUNO request(s) the above action(s) for all or a portion of Tract(s) 13, **BLACK RANCH**, zoned SU-1 FOR C-1 AND SU-1 FOR O-1, located on COORS BLVD NW, between 7-BAR LOOP ROAD NW and ALAMEDA BLVD NW containing approximately 5 acre(s). [REF: 03EPC001029, 01EPC0244, 02EPC00991, 03EPC00351, 03EPC00804, CITY COUNCIL BILL 0-02-16, ENACTMENT 13-2002] *[Was Indef Deferred 10/27/04]* *[Deferred from 12/1/04]* (B-14) **DEFERRED AT THE AGENT'S REQUEST TO 12/8/04.**

04DRB-01633 Minor-Prelim&Final Plat
Approval

SURV-TEK INC agent(s) for DAVE GARDUNO AND LORETTA ROMERO request(s) the above action(s) for all or a portion of Tract(s) 13, **BLACK RANCH**, zoned SU-1 FOR C-1 AND SU-1 FOR O-1, located on COORS BLVD NW, between 7-BAR LOOP ROAD NW and ALAMEDA BLVD NW containing approximately 6 acre(s). [REF: 03EPC01029, 01EPC01244, 02EPC00991, 03EPC00351, 03EPC00864] *[Was Indef Deferred 10/27/04]* *[Deferred from 12/1/04]* (B-14) **DEFERRED AT THE AGENT'S REQUEST TO 12/8/04.**

6. **Project # 1002779**
04DRB-01730 Major-Preliminary Plat Approval
04DRB-01731 Major-Vacation of Public Easements
04DRB-01732 Minor-Temp Defer SDWK
- ADVANCED ENGINEERING & CONSULTING LLC agent(s) for SANHIL DEVELOPMENT LTD CO request(s) the above action(s) for all or a portion of Tract(s) C, A-1 & A-2, LANDS OF POLO CHAVEZ and SAN JOSE TRACTS, (to be known as **CIELO LINDO SUBDIVISION**) zoned R-1 residential zone, located on AIRPORT DR SW, between DONA BARBARA AVE SW and EDUARDO RD SW containing approximately 9 acre(s). [REF: 04DRB00959, 03EPC02049, 03EPC01061] *[Deferred from 12/1/04]* (M-11) **DEFERRED AT THE AGENT'S REQUEST TO 12/8/04.**
7. **Project # 1003039**
04DRB-01675 Major-Preliminary Plat Approval
04DRB-01676 Major-Vacation of Pub Right-of-Way
04DRB-01677 Minor-Temp Defer SDWK
- RIO GRANDE ENGINEERING agent(s) for DAVID SOULE request(s) the above action(s) for all or a portion of Lot(s) 1, 2, & 3, Block(s) 16, Tract(s) 3, NORTH ALBUQUERQUE ACRES UNIT 3, (to be known as **WILSHIRE ESTATES**) zoned RD, located on WILSHIRE BLVD NE, between VENTURA BLVD NE and HOLBROOK BLVD NE containing approximately 3 acre(s). [REF: 04DRB01077] *[Deferred from 12/1/04]* (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 12/8/04.**
8. **Project # 1003475**
04DRB-01694 Major-Vacation of Pub Right-of-Way
04DRB-01695 Major-Preliminary Plat Approval
04DRB-01696 Minor-Temp Defer SDWK
- WILSON & COMPANY INC agent(s) for FELIX RABADI request(s) the above action(s) for unplatted lands and all or a portion of Tract(s) 2, PARAGON RESOURCES, (to be known as **PARADISE VIEW SUBDIVISION**) zoned SU-1 PRD, located on PARADISE BLVD NW, between CONEFLOWER NW and LYON NW containing approximately 22 acre(s). [REF: 04DRB00842] *[Deferred from 12/1/04]* (B-10) **DEFERRED AT THE AGENT'S REQUEST TO 1/25/2005.**

9. **Project # 1003522**
04DRB-01725 Major-Preliminary Plat Approval
04DRB-01726 Major-SiteDev Plan Subd
04DRB-01727 Minor-Subd Design (DPM) Variance
04DRB-01728 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES PA agent(s) for ALPHA EQUITIES LLC request(s) the above action(s) for all or a portion of Lot(s) 89 and 6, Tract(s) B2, LANDS OF JANE BATTEN, ESTATE OF EMILIANO N GUTIERREZ (to be known as **SYDNEY PLACE**), zoned RA-2, located on CANDELARIA RD NW, between INDIAN FARM LN NW and LA PLAZA DR NW containing approximately 5 acre(s). [REF: 04DRB 01002] (G-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12/1/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11/3/04 THE PRELIMINARY PLAT WAS APPROVED. SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR LANDSCAPE PLANS FOR OPEN SPACE TRACTS. A SIDEWALK VARIANCE FROM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT D IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR LOTS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

10. **Project # 1003606**
04DRB-01689 Major-Vacation of Pub Right-of-Way
04DRB-01690 Major-Preliminary Plat Approval
04DRB-01691 Minor-Sidewalk Waiver
04DRB-01692 Minor-Temp Defer SDWK
04DRB-01693 Minor-Vacation of Private Easements

MARK GOODWIN & ASSOCIATES PA agent(s) for WESTLAND DEVELOPMENT CO INC request(s) the above action(s) for all or a portion of Lot(s) J09-26, J09-27, 19W, 12B, Tract(s) L and B, Unit(s) A, TOWN OF ATRISCO GRANT, WESTLAND NORTH SUBDIVISION, PAINTED SKY UNIT 1, SUNDORO SOUTH UNIT 1, **SUNDORO SOUTH UNIT 5**, zoned SU-2 RLT, located on LADERA DR NW, between 94TH ST NW and 90TH ST NW containing approximately 22 acre(s). [*Deferred from 12/1/04*](J-9) **DEFERRED AT THE AGENT'S REQUEST TO 12/8/04.**

11. **Project # 1003752**
04DRB-01679 Major-Vacation of
Public Easements

SURV-TEK INC agent(s) for WELLS FARGO BANK request(s) the above action(s) for all or a portion of Tract(s) F, **MENAU DEVELOPMENT AREA**, zoned C-3, located on MENAU BLVD NE, between PRINCETON NE and VASSAR NE containing approximately 2 acre(s). (H-16) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

12. **Project # 1003757**
04DRB-01688 Major-Vacation of Pub
Right-of-Way

ISAACSON & ARFMAN PA agent(s) for DEAN FOODS, DBA CREAMLAND DAIRIES request(s) the above action(s) for **ALVARADO ADDITION**, located on HAINES NW, between 2ND ST NW and 3RD ST NW containing approximately 1 acre(s). [REF: V-89-87, DRB 89-490] [*Deferred from 12/1/04*] (H-14) **DEFERRED AT THE AGENT'S REQUEST TO 12/15/04.**

13. **Project # 1003520**
04DRB-01567 Major-Preliminary Plat
Approval
04DRB-01568 Minor-Temp Defer
SDWK

MARK GOODWIN & ASSOCIATES PA agent(s) for WASHINGTON STREET INVESTORS LLC request(s) the above action(s) for all or a portion of Lot(s) 27 & 28, Block(s) 16, Tract(s) 1, NORTH ALBUQUERQUE ACRES UNIT 3 (to be known as **BENJAMIN PLACE SUBDIVISION**) zoned R-D, located on GLENDALE AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 2 acre(s). [REF: 04DRB00999] [*Deferred from 11/3/04 & 12/1/04*] 04DRB-1570 WAS WITHDRAWN. (B-20) **DEFERRED AT THE AGENT'S REQUEST TO 12/15/04.**

14. **Project # 1001273**
04DRB-01659 Major-SiteDev Plan
BldPermit

TIERRA WEST LLC agent(s) for SEDBERRY & ASSOCIATES request(s) the above action(s) for all or a portion of Tract(s) 5B2C1B2A, **RENAISSANCE CENTER**, zoned SU-1 FOR C-2, located on MERCANTILE AVE NE, between I-25 FRONTAGE ROAD and CULTURE AVE NE containing approximately 4 acre(s). [REF: Z-94-13-1] *[Deferred from 11/17/04]* (F-16) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12/1/04 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA.**

15. **Project # 1003696**
04DRB-01654 Major-Vacation of Pub
Right-of-Way
04DRB-01655 Major-Preliminary Plat
Approval
04DRB-01656 Minor-Temp Defer
SDWK

RIO GRANDE ENGINEERING agent(s) for DAVID SOULE request(s) the above action(s) for all or a portion of Lot(s) 1-17, VINCINTI MONTANO SUBDIVISION AND Tract(s) A, B & C, JUANITA LOPEZ VIGIL SUBDIVISION, (to be known as **TORRENTINO SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on 97TH ST SW, between TOWER RD SW and SAN YGNACIO RD SW containing approximately 6 acre(s). [REF:04DRB01495] *[Deferred from 11/17/04]* (L-9) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12/1/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11/29/04 THE PRELIMINARY PLAT WAS APPROVED WITH THE CONDITION OF FINAL PLAT THAT P-1 DESIGNATION ON LOTS. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

16. **Project # 1003571**
04DRB-01517 Major-Vacation of
Public Easements
04DRB-01518 Major-Preliminary Plat
Approval
04DRB-01519 Minor-Sidewalk Waiver
04DRB-01520 Minor-Temp Defer
SDWK

MARK GOODWIN & ASSOCIATES agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) 9-B-1, 9-B-2 and 12-A-2, **EL RANCHO GRANDE 1, UNIT 9B**, zoned R-LT residential zone, located on BLAKE RD NW, between AMOLE CHANNEL and 98TH ST NW containing approximately 36 acre(s). [REF: 04DRB01134] *[Deferred from 11/3/04 & 11/10/04 & 11/17/04]* (N-9) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12/1/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11/6/04 THE PRELIMINARY PLAT WAS APPROVED. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

SITE DEVELOPMENT PLANS, AMENDED PLANS, AND MASTER DEVELOPMENT PLANS

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THE REQUEST MAY BE INDEFINITELY DEFERRED.

17. **Project # 1003782**
04DRB-01773 Minor-SiteDev Plan
BldPermit
- DORMAN BREEN ARCHITECTS agent(s) for THE CHAPMAN COMPANIES request(s) the above action(s) for all or a portion of Lot(s) 12A, 12B, 13 and 14, JOURNAL CENTER 2, UNIT 2, (to be known as **MASTHEAD POINTE @ JOURNAL CENTER**, zoned IP, located on BARTLETT ST NE, between MASTHEAD ST NE and RUTLEDGE NE containing approximately 4 acre(s). [REF: DRB-95-268] (D-17) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CROSS ACCESS EASEMENTS, COMPACT SPACE LABELING, OFFSITE MITIGATION, ADA RAMPS AT BARTLETT AND MASTHEAD AND PLANNING FOR SCALED VICINITY MAP ON SITE PLAN, SHEET ELEVATION DRAWING OF REFUSE CONTAINER AND ENCLOSURE, REPLAT APPROVED AT DRB.**
18. **Project # 1002962**
04DRB-01783 Minor-SiteDev Plan
BldPermit/EPC
- BOHANNAN HUSTON INC agent(s) for NMUI request(s) the above action(s) for all or a portion of Tract(s) H, **THE TRAILS SUBDIVISION**, zoned RD, located on RAINBOW BLVD NW, between PASEO DEL NORTE BLVD NW and RAINBOW BLVD NW containing approximately 1 acre(s). [REF: 04EPC00299, 04DRB001322, 04DRB01321, 04DRB01320, 04DRB01319, 04DRB00929, 03DRB01530, 03DRB01529, 03DRB01528, 03DRB01527] [Russell Brito, EPC Case Planner] (C-9) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN.**

19. **Project # 1003775**
04DRB-01745 Minor-SiteDev Plan
BldPermit

SCHLEGEL LEWIS ARCHITECTS agent(s) for DGM LLC request(s) the above action(s) for all or a portion of Tract(s) G-1A-1, **SEVEN BAR RANCH**, zoned SU-1 FOR C-2 USES, located on COTTONWOOD DR NW, between COTTONWOOD PARK NW and OLD AIRPORT AVE NW containing approximately 2 acre(s). [REF: Z-96-92, AA-98-138] [*Deferred from 11/17/04*] (A-14) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR TIS OFFSITE MITIGATION MEASURES.**

20. **Project # 1000676**
04DRB-01798 Minor-SiteDev Plan
Subd/EPC
04DRB-01800 Minor-SiteDev Plan
BldPermit/EPC

ED FITZGERALD ARCHITECTS agent(s) for MARK & JEAN BERNSTEIN request(s) the above action(s) for all or a portion of Tract(s) F-3, **LAS TIENDAS DE CORRALES CENTER**, zoned SU-1, IP, located on CORRALES RD NW, between CORRALES ACEQUIA NW and ALAMEDA BLVD NW containing approximately 3 acre(s). [REF: ZA-97-274, 04EPC01353, 04EPC01354] [*Elvira Lopez, EPC Case Planner*] [*Deferred from 12/1/04*] (A-14) **DEFERRED AT THE AGENT'S REQUEST TO 12/15/04.**

21. **Project # 1002405**
04DRB-01795 Minor-SiteDev Plan
Subd/EPC
04DRB-01797 Minor-SiteDev Plan
BldPermit/EPC

RAINHART ARCHITECT & ASSOCIATES agent(s) for BLAUGRUND LEE ETAL request(s) the above action(s) for all or a portion of Block(s) F1, Tract(s) A28B1, **REDLANDS SHOPPING CENTER**, zoned SU-1, C-1, located on REDLANDS NW, between COORS BLVD NW and 57TH ST NW containing approximately 2 acre(s). [REF: 04DRB01703, 03DRB00879] [**Carmen Marrone, EPC Case Planner**] (G-11) **SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF SITE PLAN AND CARMEN'S COMMENTS. SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF SITE PLAN AND CARMEN'S COMMENTS.**

04DRB-01703 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOC PA agent(s) for TANGER REDLANDS, LLC request(s) the above action(s) for all or a portion of Tract(s) A-28-B1, NORTHEAST UNIT TOWN OF ATRISCO GRANT, **REDLANDS SHOPPING CENTER**, zoned SU-1/C-1, located on REDLANDS RD NW, between COORS BLVD NW and ATRISCO DR NW containing approximately 5 acre(s). [REF: 03DRB00879] [*Deferred from 11/10/04*] (G-11) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PANNING FOR PNM SIGNED RELEASE OF EASEMENT.**

22. **Project # 1003791**
04DRB-01799 Minor-SiteDev Plan
BldPermit

CLAUDIO VIGIL ARCHITECTS agent(s) for BRUNACINI DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 5, **MERIDIAN BUSINESS PARK**, zoned IP industrial park zone, located on MERIDIAN PLACE NW, between SILVER CREEK RD NW and GALLATIN PL NW containing approximately 6 acre(s). [REF: Z-92-57] (K-10) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR COPY OF FIRE FLOW CALCULATION SHEET. NEED TO VERIFY SYSTEM CAPACITY AND TRANSPORTATION DEVELOPMENT FOR SIDEWALKS WIDTH AND MEANDERING SIDEWALKS CITY STANDARD DWG NO. 5 AND OFFSITE MITIGATION FEE.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

23. **Project # 1003781**
04DRB-01768 Minor-Prelim&Final Plat
Approval

ALBUQUERQUE SURVEYING CO., INC. agent(s) for TEAM SOUTHWEST, SPERRY VAN NESS request(s) the above action(s) for all or a portion of Tract(s) 1A, 2A1 & 2B1, **UNIVERSITY TOWERS**, zoned C-3 heavy commercial zone, located on UNIVERSITY BLVD NE, between INDIAN SCHOOL RD NE and I-40 containing approximately 9 acre(s). (H-15) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12/1/04 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

24. **Project # 1001347**
04DRB-01792 Minor-Prelim&Final Plat
Approval
- ALDRICH LAND SURVEYING INC agent(s) for CURB, INC request(s) the above action(s) for all or a portion of Lot(s) 2 & 3, Block(s) L, **EL RANCHO GRANDE, UNIT 8A**, zoned R-LT, located on EL PATRON RD SW, between DEL REY RD SW and SALIZA DR SW containing approximately 1 acre(s). [REF: 04DRB00057] (M-9) **PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**
25. **Project # 1000635**
04DRB-01764 Minor-Prelim&Final Plat
Approval
- PRECISION SURVEYS INC agent(s) for COORS & MONTANO, LLC request(s) the above action(s) for all or a portion of Tract(s) 38-1-A, 38-2-A and 38-3-A, **TAYLOR RANCH**, zoned SU-1 FOR C-1, located on MONTANO RD NW, between COORS RD NW and MONTANO RD NW containing approximately 4 acre(s). [REF: 04DRB01092, 04DRB01093, 03DRB00613, 03DRB00454, 03DRB00455, 04DRB01698] (E-12) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF.**
26. **Project # 1003497**
04DRB-01759 Minor-Prelim&Final Plat
Approval
- GENE & DOROTHY DYER request(s) the above action(s) for all or a portion of Lot(s) 7-12, Block(s) 20, **FAIRGROUNDS ADDITION**, zoned C-3, located on DOMINGO NE, between SAN PEDRO NE and CALIFORNIA NE containing approximately 1 acre(s). [REF: 04DRB00936] (K-18) **PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

27. **Project # 1002632**
04DRB-01761 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for BUILDERS INVESTMENT CO OF NM request(s) the above action(s) for all or a portion of Tract(s) 1 & 2, PARAGON RESOURCES INC, (to be known as **SUNDANCE ESTATES**) zoned RD FOR R-LT, located on PARADISE BLVD NW, between LYONS BLVD NW and BLANDA CT NW containing approximately 122 acre(s). [REF: 03DRB01306, 03EPC006901, 04DRB00760, 04DRB00761] (B-10) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR GRANTING OF PUBLIC EASEMENT ON LOT 6 TO CITY OF ALBUQUERQUE, CORRECT SOUTH BOUNDARY TRACT 6, TRACT 1 ACREAGE.**

28. **Project # 1002250**
04DRB-01770 Minor-Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for LAS VENTANAS LIMITED PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) A-1-B, **VENTANA TOWNHOMES @ VENTANA RANCH**, zoned R-LT residential zone, located on IRVING BLVD NW, between UNIVERSE BLVD NW and VENTANA RD NW containing approximately 7 acre(s). [REF: 04DRB01314] (B-10) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

29. **Project # 1001222**
04DRB-01772 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for
NICKOLSON FAMILY LTD PARTNERSHIP
request(s) the above action(s) for all or a portion of
Tract(s) 3-A-2, **SHELL SUBDIVISION NO. 2**, zoned
C-2 community commercial zone, located on COORS
BLVD NW, between ILIFF RD NW and HANOVER RD
NW containing approximately 2 acre(s). [REF:
03DRB01769, 01DRB00587, 03DRB01769] (H-11)
**PRELIMINARY PLAT WAS APPROVED WITH
FINAL SIGN OFF DELEGATED TO UTILITIES
DEVELOPMENT FOR A COPY OF PRIVATE
UTILITY EASEMENT (NOTE 4d) AND CALL OUT
NOTE 4d ON THE PLAT AND TRANSPORTATION
DEVELOPMENT FOR TIS AND CLOSURE OF
DRIVE ONTO COORS (NORTH).**

30. **Project # 1003786**
04DRB-01778 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for BILL
WADE request(s) the above action(s) for all or a
portion of Lot(s) 64 & 66, **BREEZE @ MOUNTAIN
GATE**, zoned SU-1 PRD,C-1, SC, located on
WENONAH AVE SE, between SHAFFER CT SE and
KAYLYN DR SE containing approximately 1 acre(s).
[REF: Z-91-5, Z-70-60-1, DRB-98-45] (L-23)
**PRELIMINARY AND FINAL PLAT APPROVED AND
SIGNED OFF BY THE BOARD.**

31. **Project # 1001289**
04DRB-01701 Minor-Ext of SIA for
Temp Defer SDWK
- TIERRA WEST LLC agent(s) for K B HOME NEW MEXICO INC request(s) the above action(s) for all or a portion of Lot(s) 1-114, **DESERT PINE UNIT 2**, zoned RD, located on EUCARIZ AVE SW, between 94TH STREET SW and 98TH STREET SW containing approximately 16 acre(s). [REF: 01DRB00777, 02DRB01207] *[11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT]* (L-9) **A TWO-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**
32. **Project # 1003688**
04DRB-01463 Minor-Prelim&Final Plat
Approval
- SURV-TEK INC., agent(s) for JAMES BAKER, THE TRAILS LLC, LONGFORD GROUP INC., request(s) the above action(s) for all or a portion of Tract(s) H, **THE TRAILS**, zoned RD, located on RAINBOW BLVD NW south of PASEO DEL NORTE NW containing approximately 6 acre(s). *[Deferred from 11/17/04]* (C-9) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF.**
33. **Project # 1003604**
04DRB-01794 Minor-Final Plat
Approval
- ABQ ENGINEERING agent(s) for D T LAND DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) 217, 218, 219 and 220, **MIRA MESA SUBDIVISION**, zoned R-2 residential zone, located on HANOVER RD NW, between GLENRIO RD NW and 68TH ST NW containing approximately 13 acre(s). [REF: 04DRB01233, 04DRB01452, 04DRB01453] *[Deferred from 12/1/04]* (J-10) **DEFERRED AT THE AGENT'S REQUEST TO 12/8/04.**

34. **Project # 1002506**
04DRB-01791 Minor-Subd Design
(DPM) Variance

TIERRA WEST LLC agent(s) for STH INVESTMENTS request(s) the above action(s) for all or a portion of Tract(s) 6C, 12A and 12B, **PARTITION OF BLACK RANCH**, zoned RA-1 residential and agricultural zone, semi-urban area, located on COORS BLVD NW, between PASEO DEL NORTE NW and WESTSIDE DR NW containing approximately 68 acre(s). [REF: 03EPC00300, 03EPC00301, 04DRB00217, 04DRB00360] (C-13) **A SIDEWALK VARIANCE FROM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT D IN THE PLANNING FILE.**

35. **Project # 1002856**
04DRB-01793 Minor-Amnd Prelim Plat
Approval

MARK GOODWIN & ASSOCIATES agent(s) for D R HORTON CUSTOM HOMES request(s) the above action(s) for all or a portion of Tract(s) 5, **MEADOWS @ ANDERSON HILLS, UNIT 3B**, zoned R-LT, located on DENNIS CHAVEZ BLVD SW, between UNSER BLVD SW and 98TH ST SW containing approximately 18 acre(s). [REF: Z-99-58,04DRB00230] (P-9) **THE AMENDED INFRASTRUCTURE LIST DATED 12/1/04 AND THE AMENDED GRADING PLAN DATED 9/23/04 WERE APPROVED. THE AMENDED PRELIMINARY PLAT WAS APPROVED. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT (4-7-04).**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

36. **Project # 1002590**
04DRB-01769 Minor-Sketch Plat or Plan
GND, LLC agent(s) for MICHAEL WACHOCKI request(s) the above action(s) for all or a portion of Tract(s) B-2, **LANDS OF BRACKSON A COURSON**, zoned R-D, located on 64TH ST NW, between WAYNE NW and CLEGHORN NW containing approximately 4 acre(s). [REF: Z-85-138, DRB-93-389] (G-10) **COMMENTS RECEIVED.**
37. **Project # 1003788**
04DRB-01787 Minor-Sketch Plat or Plan
CARLOS J TRUJILLO request(s) the above action(s) for all or a portion of Lot(s) 8 & 9, **TOHATCHI TRAIL TRACK ADDITION**, zoned R-1, located on MOUNTAIN RD NW and TOHATCHI TRAIL NW. (J-12) **COMMENTS RECEIVED.**
38. **Project # 1003790**
04DRB-01790 Minor-Sketch Plat or Plan
BOHANNAN HUSTON INC request(s) the above action(s) for all or a portion of Tract(s) H1C, **GURULE-FILBERTO**, zoned IP, located on I-25 NE, between BALLOON FIESTA PARKWAY NE and SAN MATEO DR NE [REF: ZA-96-97] (B-18) **COMMENTS RECEIVED.**

39. **Project # 1001386**
04DRB-01796 Minor-Sketch Plat or
Plan

BERNARD LOEFFLER agent(s) for EMILIANO SAIZ request(s) the above action(s) for all or a portion of Tract(s) 22B1, **CORONA DEL SOL SUBDIVISION**, zoned SU-1 special use zone, located on SEQUOIA RD NW, between COORS BLVD NW and REDLANDS RD NW containing approximately 6 acre(s). [REF: DRB-94-68, AA-01236, 01109, AA-0300279] (G-11) **COMMENTS RECEIVED.**

40. Approval of the Development Review Board Minutes for November 10 and November 17, 2004.
THE DRB MINUTES FOR NOVEMBER 10 AND NOVEMBER 17, 2004 WERE APPROVED.

ADJOURNED: 4:30 P.M.

#17



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **04DRB-01773 (SBP)**
Project Name **Masthead Point @ Journal Ctr.**
Agent: **Dorman Breen Architects**

Project #: **1003782**
Phone No.: **792-8160**

Project Number 1003782

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOPMENT PLAN), was approved on 12/01/07 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: (1) X- ACCESS APPOINTMENTS
- (2) COMPACT SPACE LABELING
- (3) OFFSITE MITIGATION
- (4) ADA RAMPS @ BARTLETT & MASTHEAD
- UTILITIES: _____
- _____
- _____
- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- PARKS / CIP: _____
- _____
- _____

PLANNING (Last to sign): Scaled vicinity map on SP sheet
 levation drawings of ref. faces contained
 Printed Dept. approved at DRB
 enclosure

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT
Standard Comment Sheet

DRB- 1003782

Item No. 17

Zone Atlas D-17

DATE ON AGENDA 12-1-04

INFRASTRUCTURE REQUIRED () YES () NO

CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

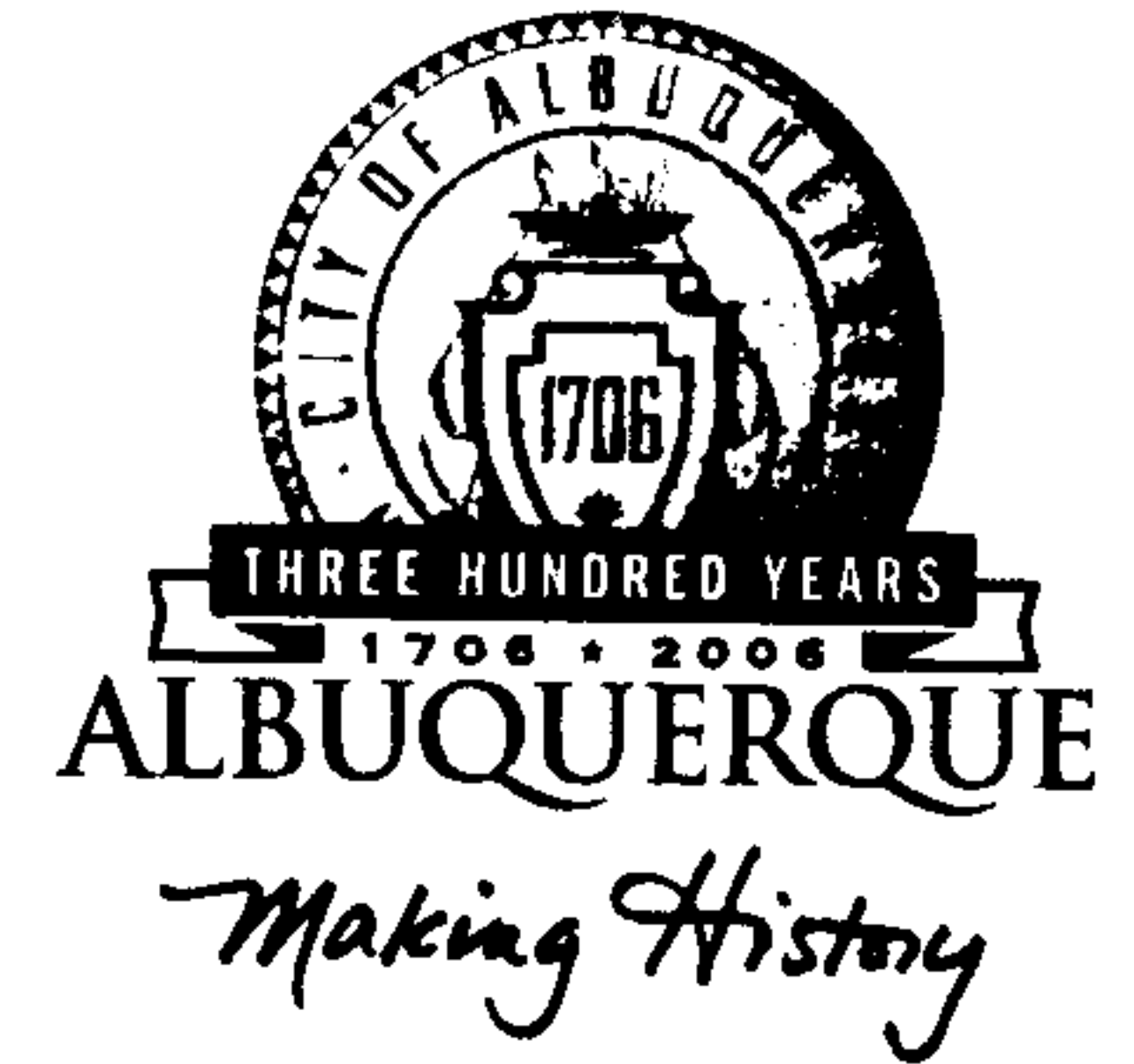
- () SKETCH PLAT () PRELIMINARY PLAT () FINAL PLAT
() SITE PLAN REVIEW AND COMMENT (X) SITE PLAN FOR SUBDIVISION
(X) SITE PLAN FOR BUILDING PERMIT

No. Comment

- 1) Plat is needed to remove property lines before site plan can be approved.
- 2) Compact spaces need to be labeled on pavement.
- 3) Need x-access agreements.
- 4) Are Bartlett and Masthead improved?
- 5) How do the proposed entrances align with entrances on the other side of the streets?
- 6) Is there an ADA ramp at the intersection of Bartlett & Masthead? Across street?
- 7) Are there any offsite mitigation fees required for these lots?

If you have any questions or comments please call Wilfred Gallegos at 924-3991. Meeting notes:

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003782

AGENDA ITEM NO: 17

SUBJECT:

- | | | |
|-------------------------|------------------------------|---------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Dev. Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Cost Allocation Plan |

ACTION REQUESTED:

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

Albuquerque

No adverse comments.

New Mexico 87103

RESOLUTION:

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) **(SP-BP)** (FP) TO: (UD) (CE) **(TRANS)** (PKS) **(PLNG)**

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: December 1, 2004

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
December 1, 2004
DRB Comments**

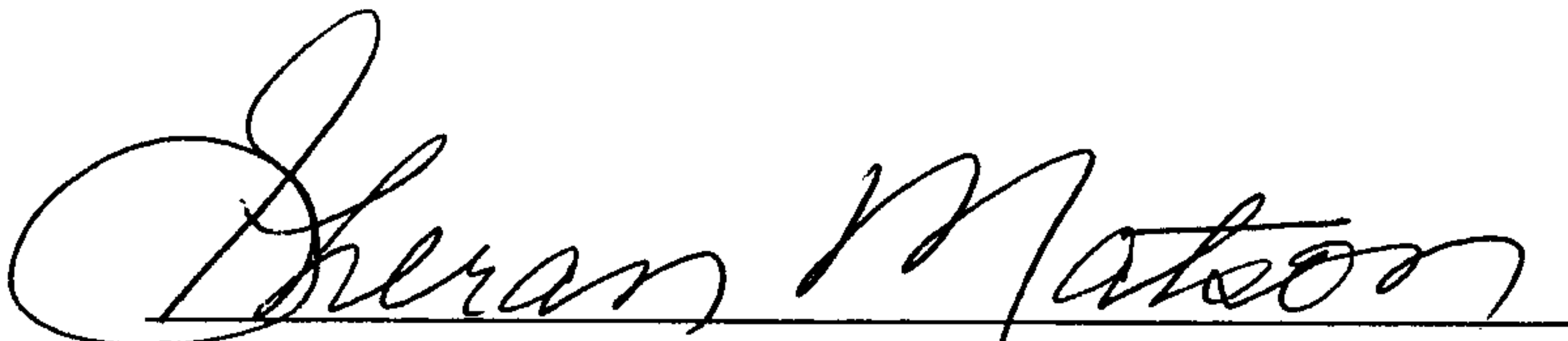
ITEM # 17

PROJECT # 1003782 APPLICATION # 04-01773

RE: Lots 12A & B, 13 & 14, Masthead Pointe@ Journal Center /SPBP

The scaled vicinity map on the site plan is incomplete.

Elevation drawing of refuse container & enclosure is missing.



Sheran Matson, AICP DRB Chair
924-3880 Fax 924-3864 smatson@cabq.gov

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit **AA**
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: The Chapman Companies PHONE: 983-8100
 ADDRESS: 404 Brun School Bldg A FAX: 983-9660
 CITY: Santa Fe STATE NM ZIP 87504 E-MAIL: _____
 Proprietary interest in site: owner List all owners: _____
 AGENT (if any): Dorman Breen Architects PHONE: 792-8160
 ADDRESS: 10305 Timan Pl. NW FAX: same
 CITY: Alb STATE NM ZIP 87114 E-MAIL: _____

DESCRIPTION OF REQUEST: Relocate one of three approved monument sign locations. Add a fourth monument sign.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 12, 13 & 14 Block: _____ Unit: 2
 Subdiv. / Addn. Journal Center 2
 Current Zoning: SU-1 / IP Proposed zoning: same
 Zone Atlas page(s): D-17-2 No. of existing lots: 3 No. of proposed lots: same
 Total area of site (acres): _____ Density if applicable: dwellings per gross acre: NA dwellings per net acre: NA
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? no
 UPC No. _____ MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: @ corner of Masthead St. & Barlett St. NW
 Between: _____ and _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____

DRB 1003782 app. 04-10773

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: _____

SIGNATURE Mark Baczek DATE _____
 (Print) Mark Baczek, AIA Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>DRB AA - 00009</u>	<u>ASBP</u>	<u>2(4)</u>	<u>\$ 45.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date	DRB AA	Total	<u>\$ 45.00</u>

Project # 1003782

Kristy Jo Sims

FORM P(4): SITE PLAN REVIEW – ADMINISTRATIVE APPROVAL OR AMENDMENT

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT IN THE DOWNTOWN SU-3 ZONE

- Copy of the pre-application meeting findings (A pre-application meeting is required for Downtown 2010 projects.)
- Site plan and related drawings (folded to fit into an 8.5" x 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Notifying letter and certified mail receipts to owners of adjacent properties if required by pre-application meeting
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Solid Waste Management Department signature on Site Plan if relevant
- Blue-line copy of Site Plan with Fire Marshal's stamp
- Copy of the LUCC approval if the site is in an historic overlay zone
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDMENT TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

CONCEALED OR SITE DEVELOPMENT PLAN CONTROLLED WIRELESS TELECOM FACILITY

NOTE: The requirements specified below apply to the previous 3 plan types, unless otherwise noted.

- Proposed Site Plan, with changes circled and noted if amended (folded to fit into an 8.5" x 14" pocket) 5 copies
- Copy of approved Site Plan being amended if applicable (folded to fit into an 8.5" x 14" pocket) 1 copy
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of EPC or DRB Notice of Decision (not required for WTF)
- Fee (see schedule) 45.
- Any original and/or related file numbers are listed on the cover application

NOTE: The next two items are also required if the square footage change is 2% or more of any building's gross floor area

- Notifying letter & certified mail receipts addressed to owners of adjacent properties
- Office of Neighborhood Coordination inquiry response, notifying letter, certified mail receipts

NOTE: Only for wireless telecommunications facilities that are concealed and/or subject to site development plan review, the following materials are required for application submittal in-addition to all those listed above:

- Co-location evidence as described in Zoning Code §14-16-3-17(A)(5)
- Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
- Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
- Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
- Distance to nearest existing free standing tower, and its owner's name, if the proposed facility is also a tower
- Registered Engineer's stamp on the Site Development Plans
- Office of Community & Neighborhood Coordination inquiry response as above based on ¼ mile radius

PLEASE NOTE; If you are applying for approval of a telecom site to be located on City of Albuquerque property, there are several additional requirements. Contact Debbie Stover at 924-3940 for details.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Mark Baczek
Applicant name (print)
Chris Baczek 1/3/06
Applicant signature / date



Form revised June 04, October 2004

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
DBAA - _____ - 00009

Timothy E. Sims
Planner signature / date
Project # 1003782

@ 90 TO BUILDING SOUTH WALL-LINE
 12" LONG WING WALL, RECESSED 6" BEHIND WALL-LINE
 ROUTE GAS PIPES UP TO ROOF WITHIN WING WALL

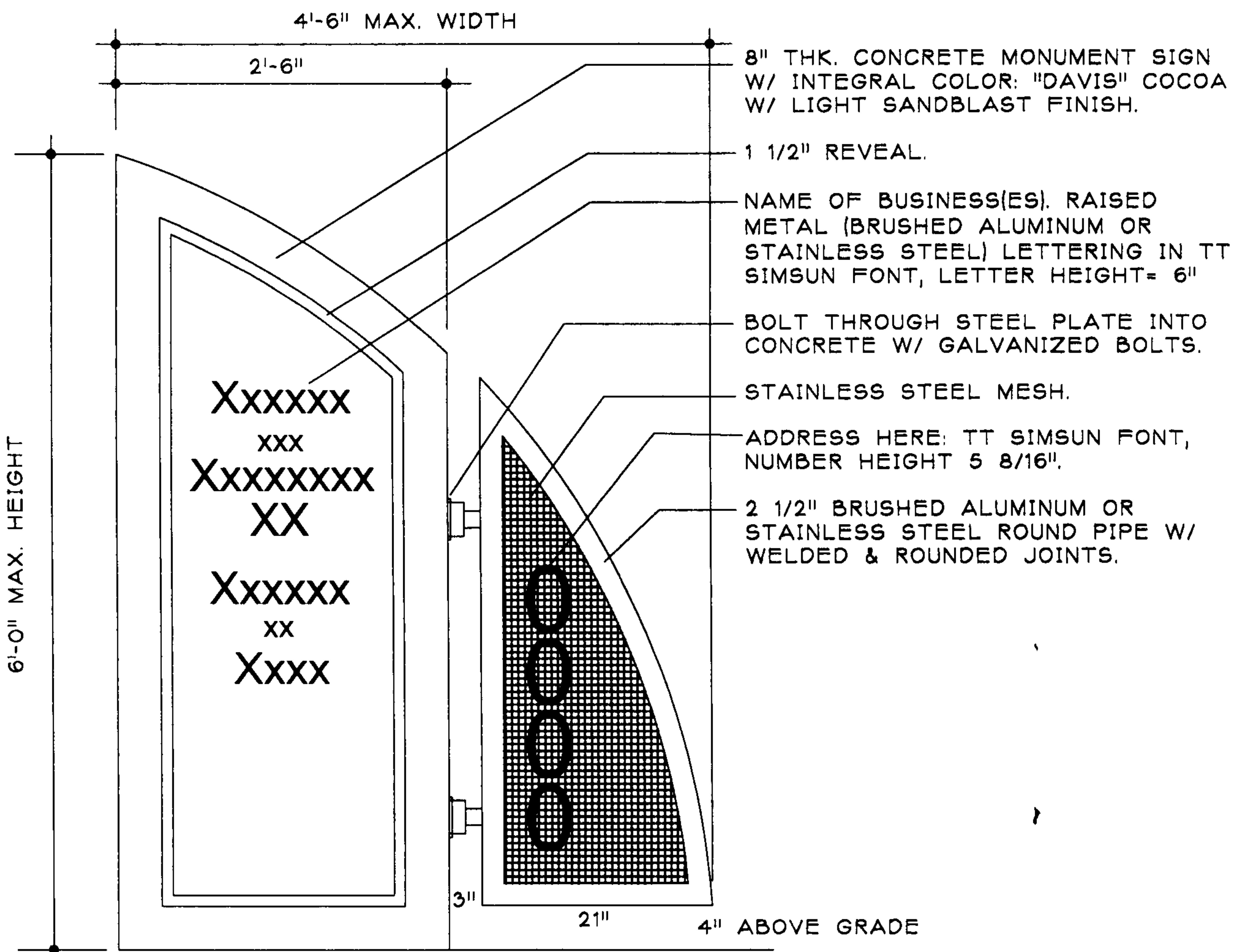
GENERAL NOTES

TYPICAL BUILDING MATERIALS & COLORS ARE AS FOLLOWS:

[A] PRINCIPAL STUCCO COLOR: "STO" # 10612, W/ COURSE TEXTURE. PROVIDE THIS COLOR ON ALL BUILDING WALLS, EXCEPT AT WINDOW BORDERS & MECHANICAL SCREEN.

[B] ACCENT STUCCO COLOR & TEXTURE: EACH OF THE SEVEN BUILDINGS WILL BE ACCENTED WITH ONE OF THE FOLLOWING COLORS: "STO" 20709, 21109, 21309, 21509, 32202, 33202. EACH COLOR SHALL BE W/ MDM SAND TEXTURE. PROVIDE THIS COLOR ON ALL BUILDING 8"-WIDE WINDOW PERIMETER BORDERS & MECHANICAL SCREEN WALLS.

[C] ALUMINUM STOREFRONT SYSTEMS: PROVIDE "KAWNEER" TRIFAB VG451 INSULATED GLASS SYSTEM AT ALL EXTERIOR DOORS & WINDOWS. ALUMINUM FRAME COLOR SHALL BE ANODIZED FINISH OR MEDIUM BRONZE FLUROPON FINISH. ALL GLAZING SHALL BE "LOF" BRONZE TINT.

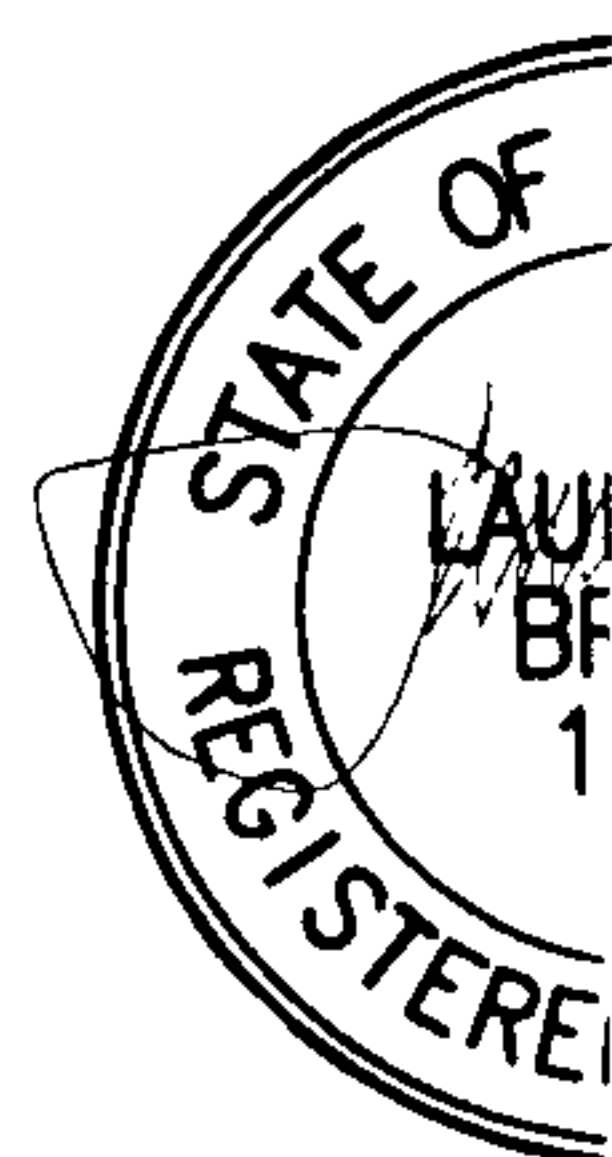


**TYPICAL
MONUMENT SIGN
6' HIGH X 4'6" WIDE**

SIGNAGE NOTES

[-] REFERENCE JOURNAL CENTER 2 SIGNAGE STANDARDS & REQUIREMENTS. ALL MONUMENT SIGNS SHALL COMPLY WITH THE JC-2 STANDARDS. PROVIDE ONE MONUMENT SIGN, LOCATE AS NOTED IN SITE PLAN.

Masthead Pointe @ Journal Center
 Building Shells



SHEET TITLE:
BUILDING
ELEVATIC

JOB NUMBER:
0505-6

DATE:
5/31/05

REVISIONS:
PERMIT PLAN I
PREMISE 1.1

SHEET:
A-
80

12 LONG WING WALL, RECESSED 6" BEHIND WALL-LINE
 ROUTE GAS PIPES UP TO ROOF WITHIN WING WALL.

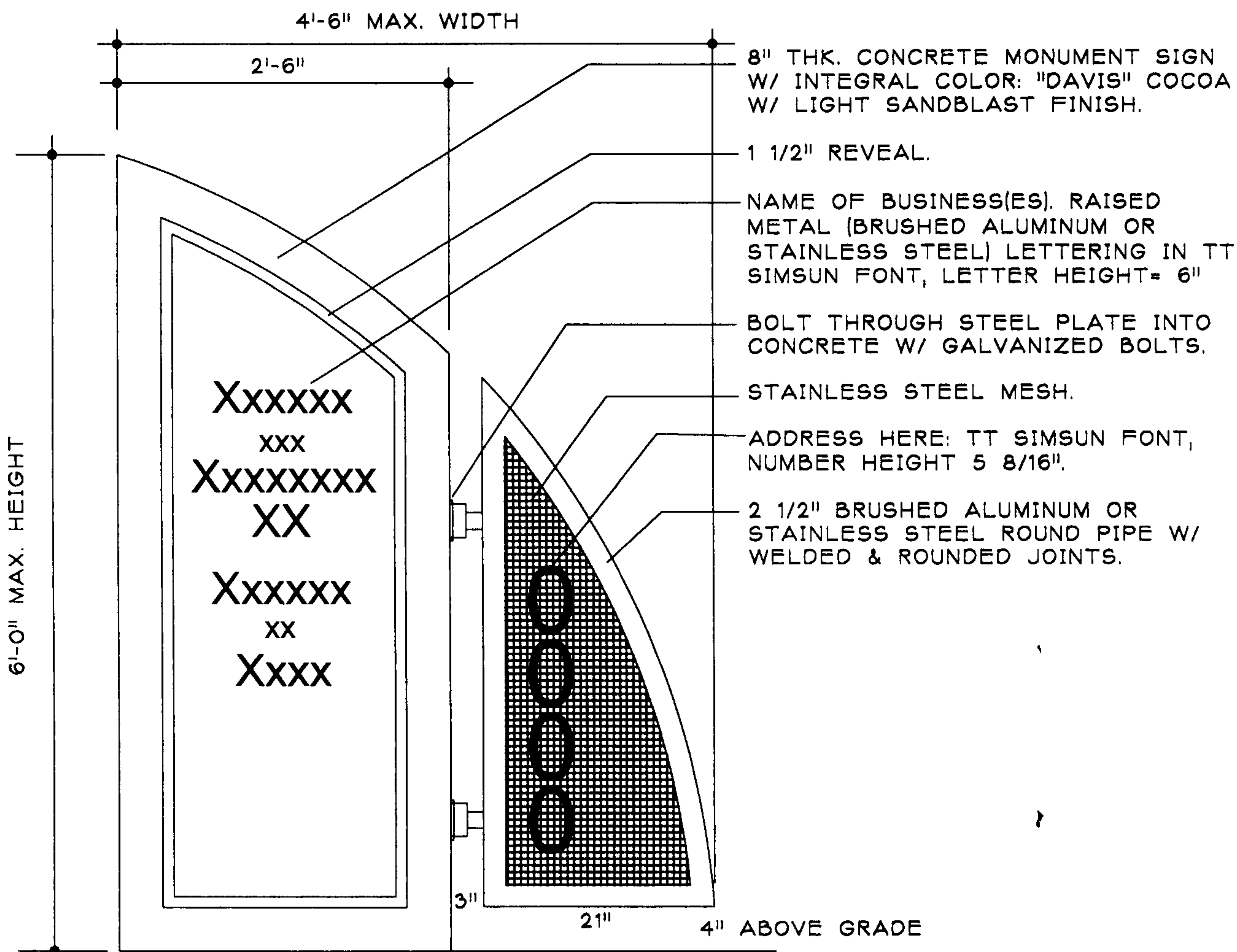
GENERAL NOTES

TYPICAL BUILDING MATERIALS & COLORS ARE AS FOLLOWS:

[A] PRINCIPAL STUCCO COLOR: "STO" # 10612, W/ COURSE TEXTURE. PROVIDE THIS COLOR ON ALL BUILDING WALLS, EXCEPT AT WINDOW BORDERS & MECHANICAL SCREEN.

[B] ACCENT STUCCO COLOR & TEXTURE: EACH OF THE SEVEN BUILDINGS WILL BE ACCENTED WITH ONE OF THE FOLLOWING COLORS: "STO" 20709, 21109, 21309, 21509, 32202, 33202. EACH COLOR SHALL BE W/ MDM SAND TEXTURE. PROVIDE THIS COLOR ON ALL BUILDING 8"-WIDE WINDOW PERIMETER BORDERS & MECHANICAL SCREEN WALLS.

[C] ALUMINUM STOREFRONT SYSTEMS: PROVIDE "KAWNEER" TRIFAB VG451 INSULATED GLASS SYSTEM AT ALL EXTERIOR DOORS & WINDOWS. ALUMINUM FRAME COLOR SHALL BE ANODIZED FINISH OR MEDIUM BRONZE FLUROPON FINISH. ALL GLAZING SHALL BE "LOF" BRONZE TINT.

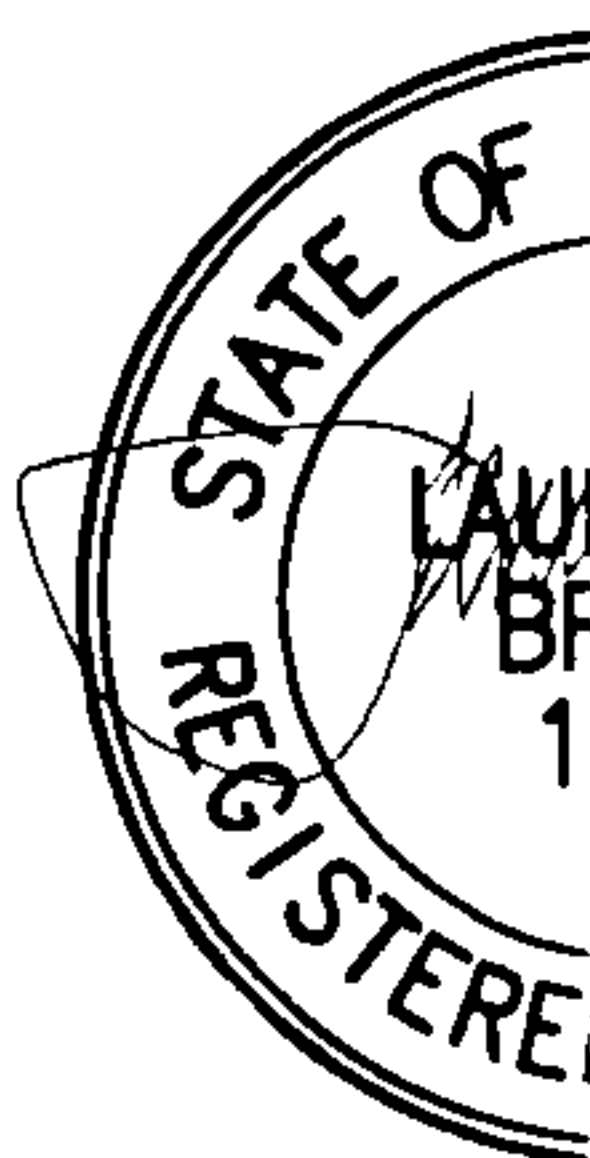


TYPICAL MONUMENT SIGN 6' HIGH X 4'6" WIDE

SIGNAGE NOTES

[-] REFERENCE JOURNAL CENTER 2 SIGNAGE STANDARDS & REQUIREMENTS. ALL MONUMENT SIGNS SHALL COMPLY WITH THE JC-2 STANDARDS. PROVIDE ONE MONUMENT SIGN, LOCATE AS NOTED IN SITE PLAN.

Masthead Pointe @ Journal Center Building Shells



SHEET TITLE:
 BUILDING ELEVATIC

JOB NUMBER:
 0505-6

DATE:
 5/31/05

REVISIONS:
 PERMIT PLAN
 PREMISE 1.1

SHEET:
 A-
 80

@ 90 TO BUILDING SOUTH WALL-LINE

12" LONG WING WALL, RECESSED 6" BEHIND WALL-LINE
ROUTE GAS PIPES UP TO ROOF WITHIN WING WALL.

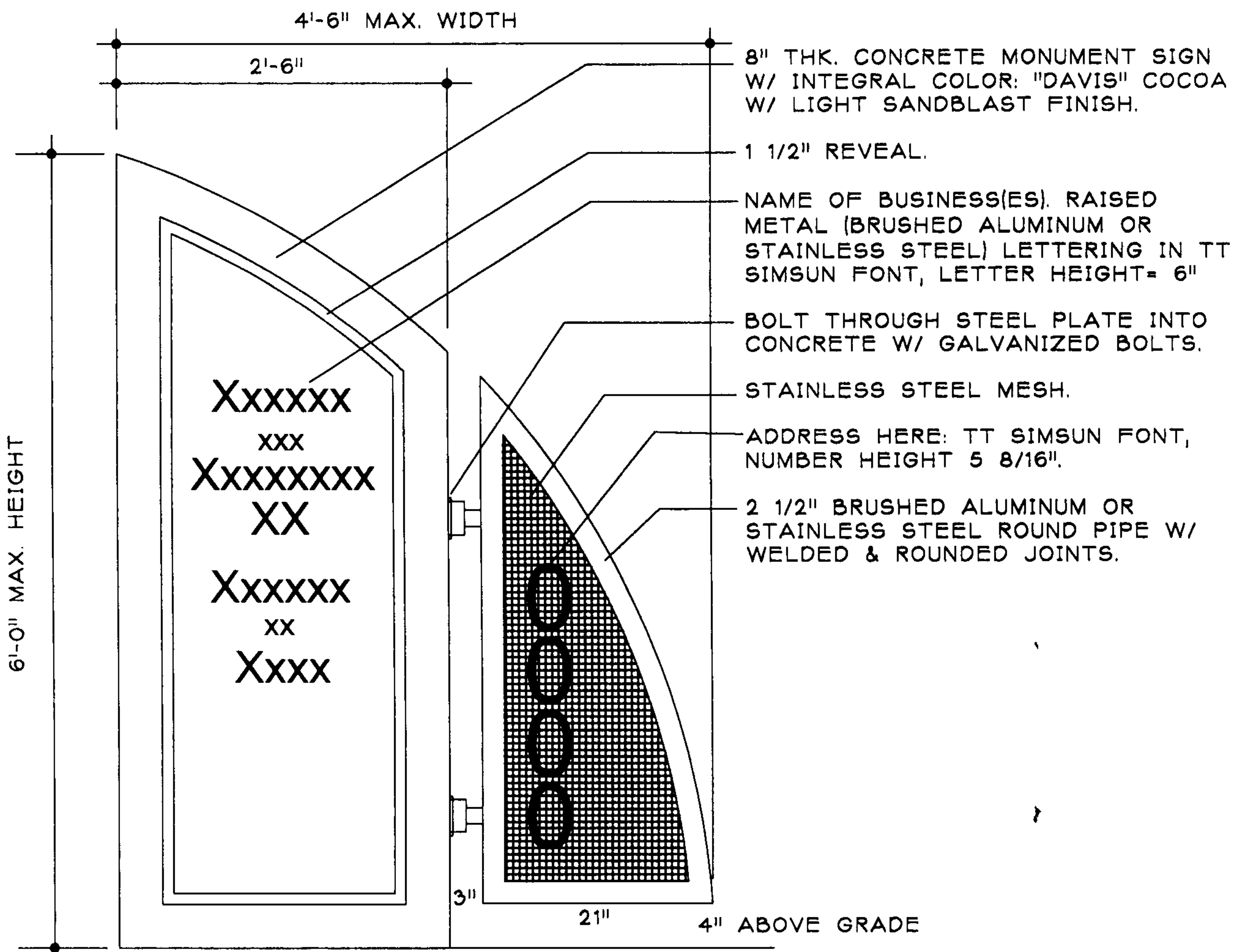
GENERAL NOTES

TYPICAL BUILDING MATERIALS & COLORS ARE AS FOLLOWS:

[A] PRINCIPAL STUCCO COLOR: "STO" # 10612, W/ COURSE TEXTURE.
PROVIDE THIS COLOR ON ALL BUILDING WALLS, EXCEPT AT WINDOW BORDERS & MECHANICAL SCREEN.

[B] ACCENT STUCCO COLOR & TEXTURE: EACH OF THE SEVEN BUILDINGS WILL BE ACCENTED WITH ONE OF THE FOLLOWING COLORS: "STO" 20709, 21109, 21309, 21509, 32202, 33202. EACH COLOR SHALL BE W/ MDM SAND TEXTURE. PROVIDE THIS COLOR ON ALL BUILDING 8"-WIDE WINDOW PERIMETER BORDERS & MECHANICAL SCREEN WALLS.

[C] ALUMINUM STOREFRONT SYSTEMS: PROVIDE "KAWNEER" TRIFAB VG451 INSULATED GLASS SYSTEM AT ALL EXTERIOR DOORS & WINDOWS. ALUMINUM FRAME COLOR SHALL BE ANODIZED FINISH OR MEDIUM BRONZE FLUROPON FINISH. ALL GLAZING SHALL BE "LOF" BRONZE TINT.



8" THK. CONCRETE MONUMENT SIGN
W/ INTEGRAL COLOR: "DAVIS" COCOA
W/ LIGHT SANDBLAST FINISH.

1 1/2" REVEAL.

NAME OF BUSINESS(ES). RAISED
METAL (BRUSHED ALUMINUM OR
STAINLESS STEEL) LETTERING IN TT
SIMSUN FONT, LETTER HEIGHT= 6"

BOLT THROUGH STEEL PLATE INTO
CONCRETE W/ GALVANIZED BOLTS.

STAINLESS STEEL MESH.

ADDRESS HERE: TT SIMSUN FONT,
NUMBER HEIGHT 5 8/16".

2 1/2" BRUSHED ALUMINUM OR
STAINLESS STEEL ROUND PIPE W/
WELDED & ROUNDED JOINTS.

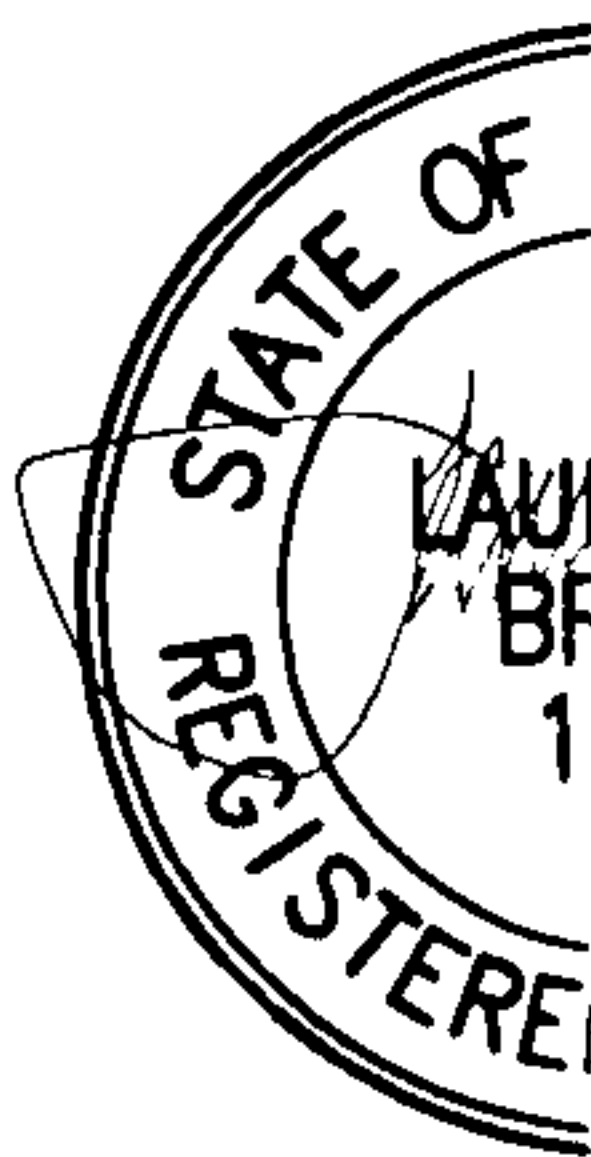
3" 21" 4" ABOVE GRADE

TYPICAL MONUMENT SIGN 6' HIGH X 4'6" WIDE

SIGNAGE NOTES

[-] REFERENCE JOURNAL CENTER 2 SIGNAGE STANDARDS & REQUIREMENTS. ALL MONUMENT SIGNS SHALL COMPLY WITH THE JC-2 STANDARDS. PROVIDE ONE MONUMENT SIGN, LOCATE AS NOTED IN SITE PLAN.

Masthead Pointe @ Journal Center
Building Shells



SHEET TITLE:
BUILDING
ELEVATIC

JOB NUMBER:
0505-6

DATE:
5/31/05

REVISIONS:
PERMIT PLAN 1
PREMISE 1.1

SHEET:
A-
80

FIELD MEASUREMENT
 @ 90° TO BUILDING SOUTH WALL-LINE
 12" LONG WING WALL, RECESSED 6" BEHIND WALL-LINE
 ROUTE GAS PIPES UP TO ROOF WITHIN WING WALL.

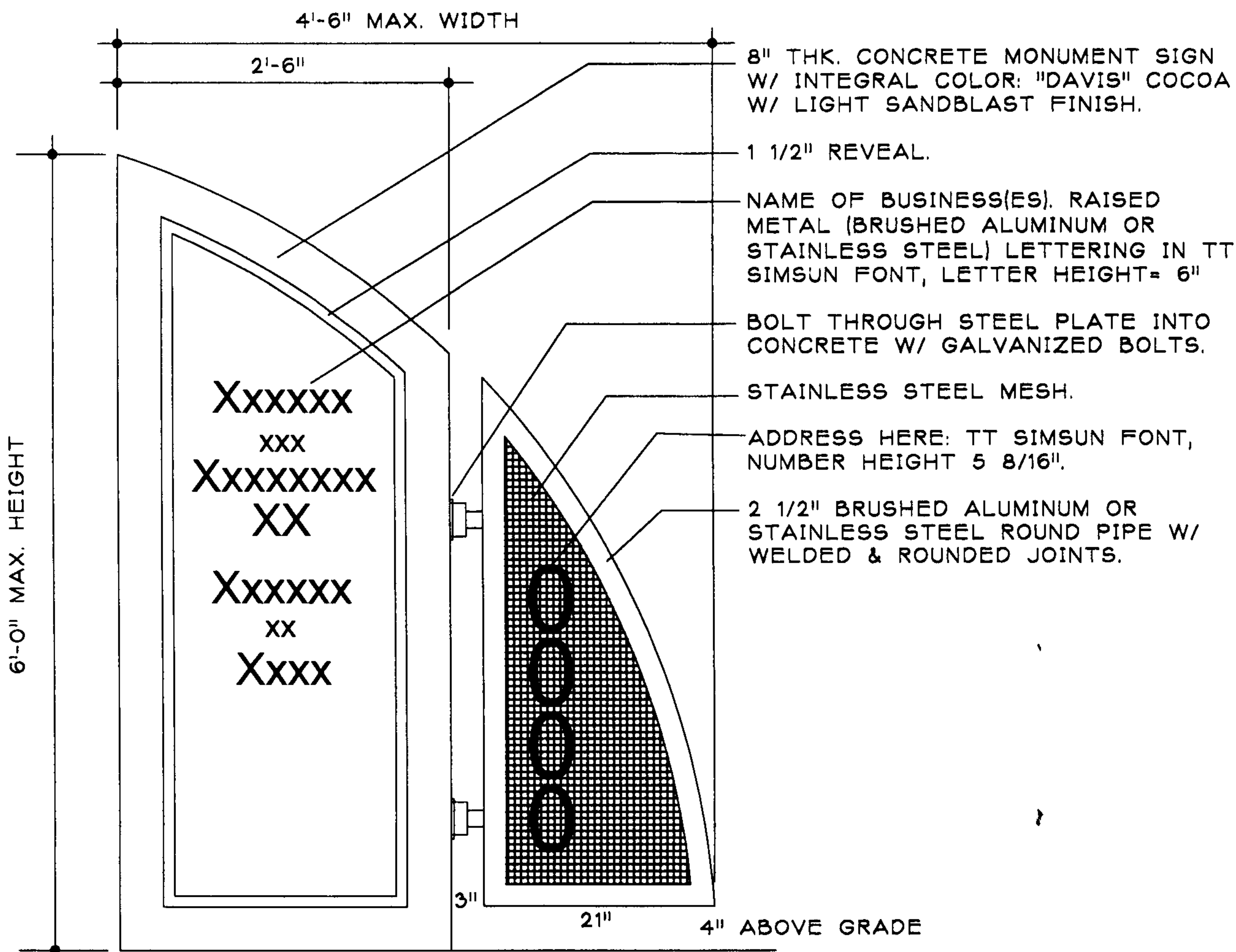
GENERAL NOTES

TYPICAL BUILDING MATERIALS & COLORS ARE AS FOLLOWS:

[A] PRINCIPAL STUCCO COLOR: "STO" # 10612, W/ COURSE TEXTURE. PROVIDE THIS COLOR ON ALL BUILDING WALLS, EXCEPT AT WINDOW BORDERS & MECHANICAL SCREEN.

[B] ACCENT STUCCO COLOR & TEXTURE: EACH OF THE SEVEN BUILDINGS WILL BE ACCENTED WITH ONE OF THE FOLLOWING COLORS: "STO" 20709, 21109, 21309, 21509, 32202, 33202. EACH COLOR SHALL BE W/ MDM SAND TEXTURE. PROVIDE THIS COLOR ON ALL BUILDING 8"-WIDE WINDOW PERIMETER BORDERS & MECHANICAL SCREEN WALLS.

[C] ALUMINUM STOREFRONT SYSTEMS: PROVIDE "KAWNEER" TRIFAB VG451 INSULATED GLASS SYSTEM AT ALL EXTERIOR DOORS & WINDOWS. ALUMINUM FRAME COLOR SHALL BE ANODIZED FINISH OR MEDIUM BRONZE FLUROPON FINISH. ALL GLAZING SHALL BE "LOF" BRONZE TINT.

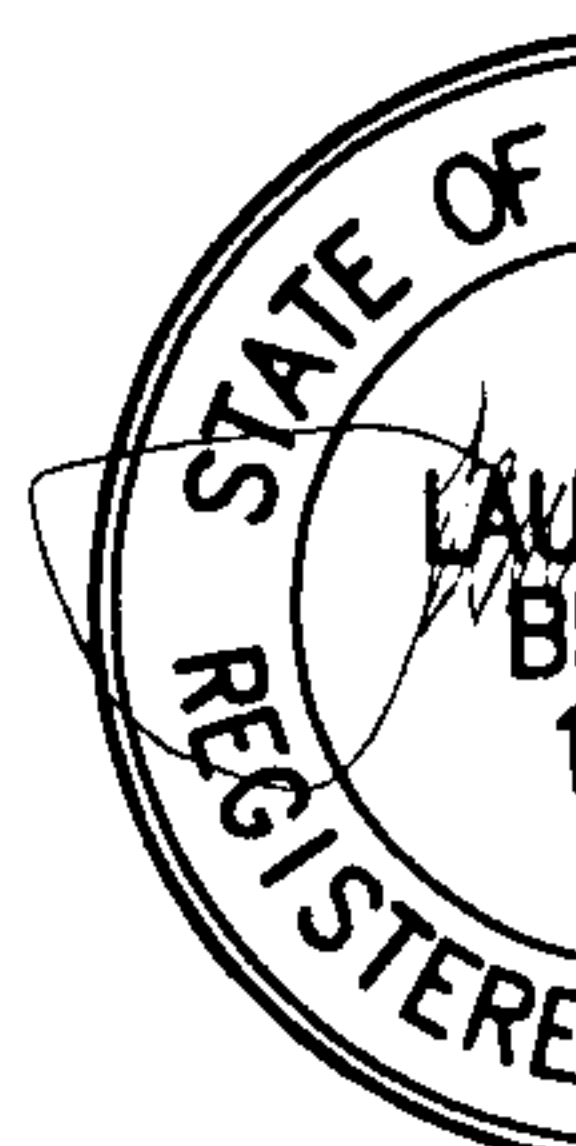


**TYPICAL
 MONUMENT SIGN
 6' HIGH X 4'6" WIDE**

SIGNAGE NOTES

[-] REFERENCE JOURNAL CENTER 2 SIGNAGE STANDARDS & REQUIREMENTS. ALL MONUMENT SIGNS SHALL COMPLY WITH THE JC-2 STANDARDS. PROVIDE ONE MONUMENT SIGN, LOCATE AS NOTED IN SITE PLAN.

Masthead Pointe @ Journal Center
 Building Shells



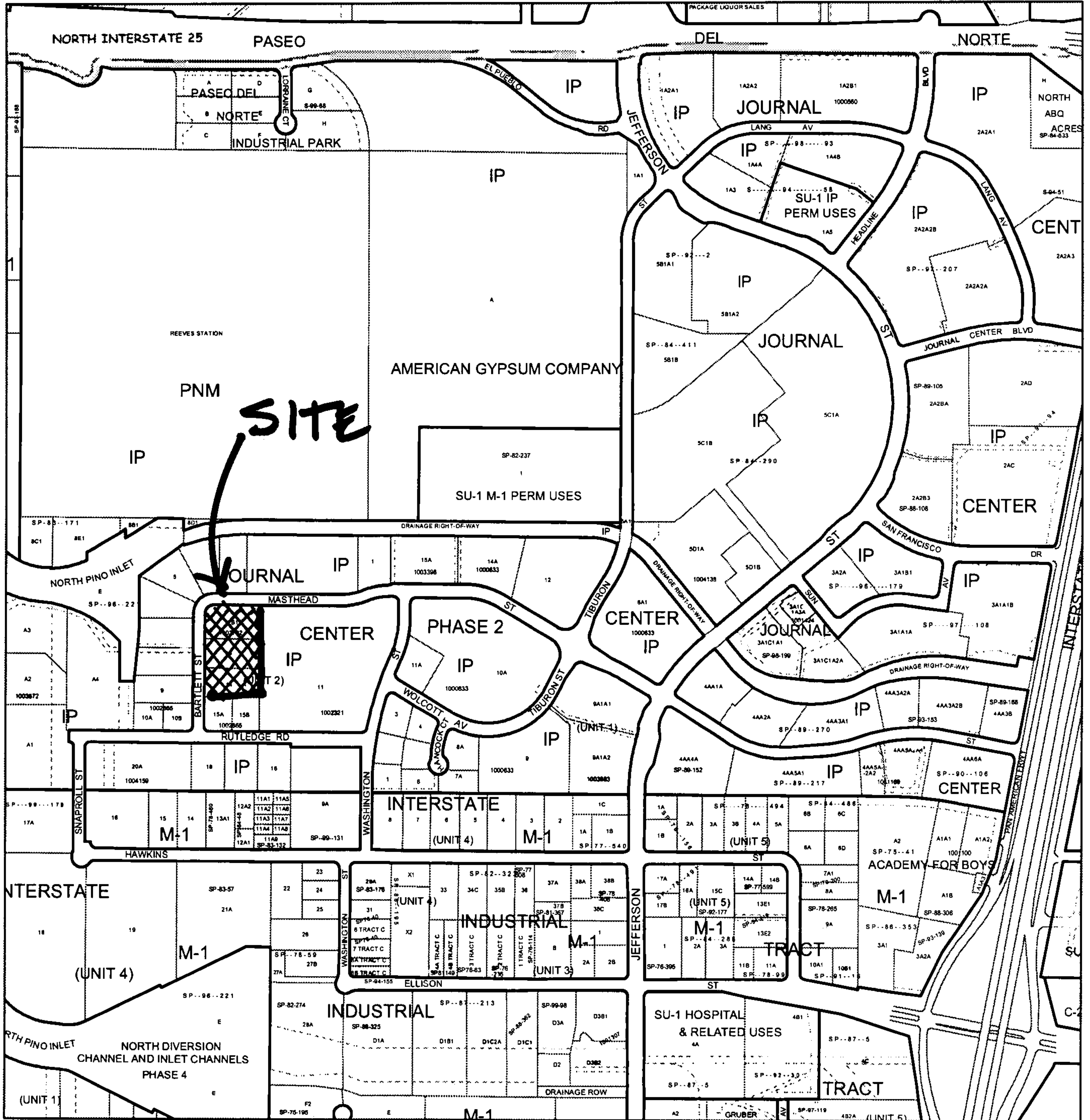
SHEET TITLE:
 BUILDING
 ELEVATIC

JOB NUMBER
 0505-6

DATE:
 5/31/05

REVISIONS:
 PERMIT PLAN F
 PREMISE 1.1

SHEET:
 A-
 80



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 11/2/2005

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
D-17-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1500 Feet



**REQUEST FOR AN "ADMINISTRATIVE AMENDMENT" TO A
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**
DRB Project No. 1003782, App. No. 04-10773

Regarding:

Lots 12, 13 & 14 Journal Center 2, Unit 2
Albuquerque, New Mexico 87109

Legal Description: Lots 12, 13 & 14, Journal Center 2, Unit 2

Location: Located on the southeast corner of Barlett St. and Masthead Street.

ACTION REQUESTED OF THE PLANNING DEPARTMENT:

Administrative Amendment to: Site Development Plan for building permit.

The original Site Development Plan for Building Permit approved 3 monument sign locations. All monument signs constructed within the Journal Center 2 are required to conform to the Journal Center's standard monument sign detail.

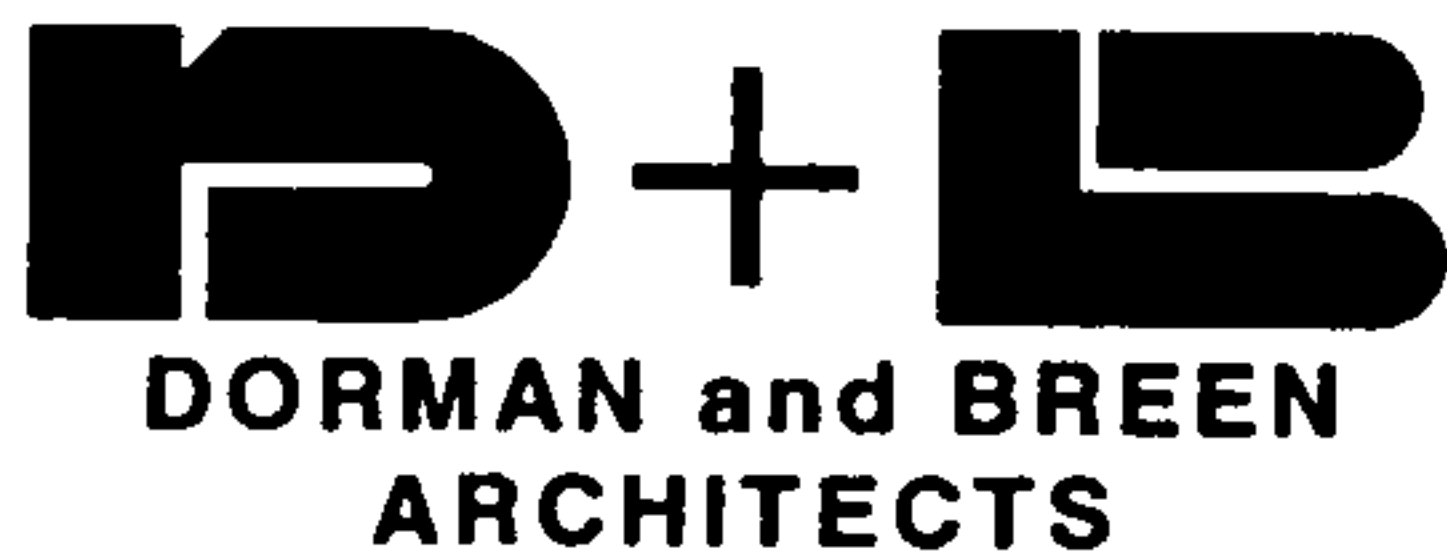
The property owner, The Chapman Companies, wishes to relocate 1 of the originally approved monument signs to a different driveway and also add a fourth monument sign at the Corner of Masthead St. & Barlett St. The fourth sign shall be labeled so as to identify the project as: "Masthead Pointe @ the Journal Center 2"

See Site Plan for location of 4th monument sign & relocation of previously approved 3rd sign.

Agent for the owner:

Dorman/Breen Architects

Contact person: Mark Baczek, AIA @ 792-8160 voice & fax



To: The City of Albuquerque Planning Department

Assignment of Dorman Breen Architects as Owner's Agent

Project Architect:
Mark Baczek
Ofc & Fax: 792-8160

Project: Masthead Pointe @ the Journal Center

Property:

Legal Description: Lots 12, 13 & 14, Journal Center 2, Unit 2
Location: Located on the southeast corner of Barlett St. and Masthead Street,
Albuquerque, New Mexico, 87109

Current Property Owner:

The Chapman Companies, Inc.
401 Brunn School Rd. Bldg A
Santa Fe, NM 87505

I hereby designate Dorman Breen Architects as Owner's Agent for purposes relating to the acquisition of an Administrative Amendment to the Site Development Plan for Building Permit.

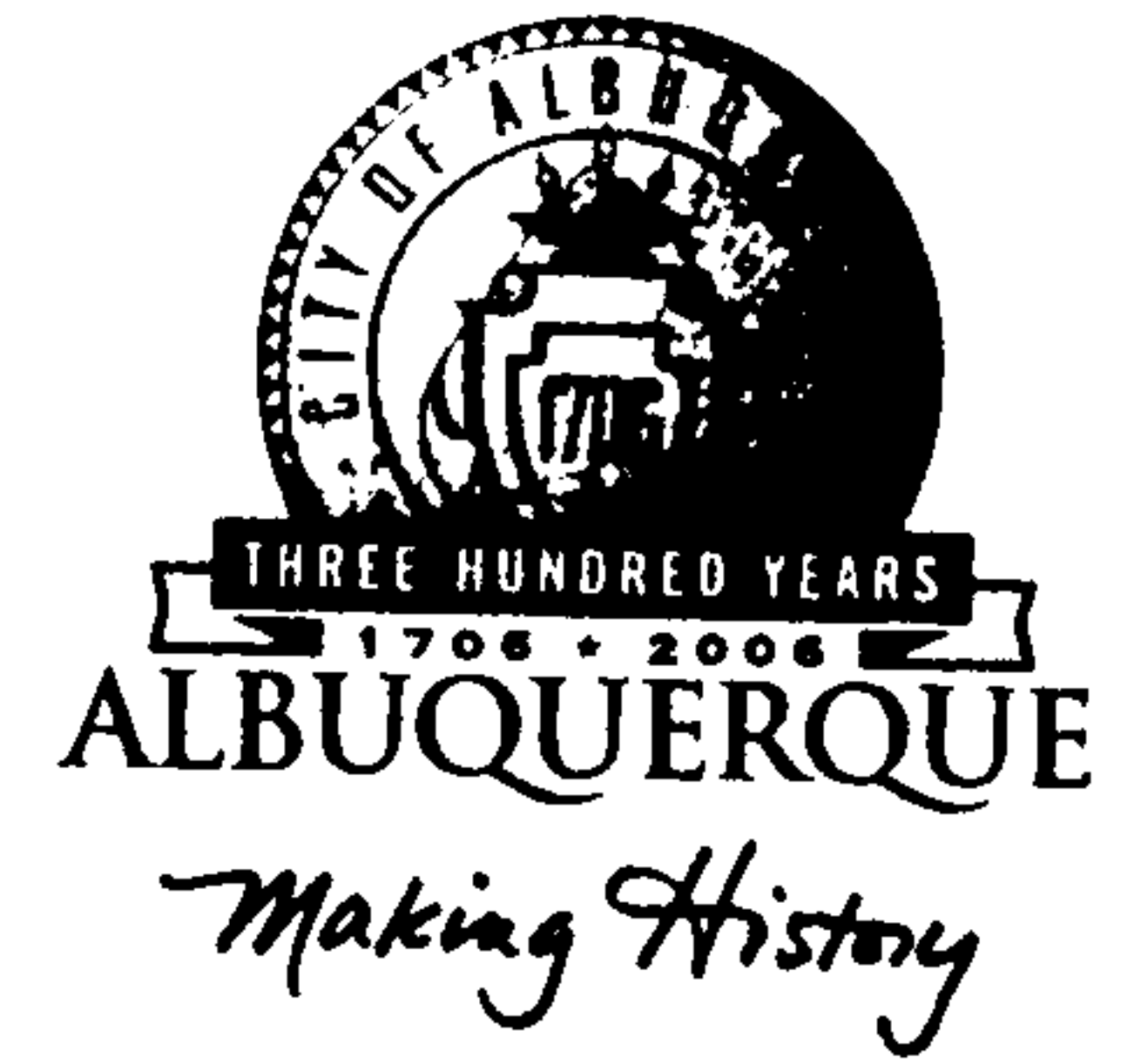
Owner: _____

A handwritten signature in black ink, appearing to read 'Michael Chapman', is written over a horizontal line.

Date: _____

1/2/06

The Chapman Companies, Inc.



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003782

AGENDA ITEM NO: 17

SUBJECT:

- | | | |
|-------------------------|--------------------------|---------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Dev. Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Cost Allocation Plan |

ACTION REQUESTED:

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

Albuquerque

No adverse comments.

New Mexico 87103

RESOLUTION:

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: December 1, 2004



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB-01773 (SBP)
Project Name Masthead Point @ Journal Ctr.
Agent: Dorman Breen Architects

Project #: 1003782
Phone No.: 792-8160

Project Number

1003782

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOPMENT PLAN), was approved on 12/01/04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: (1) X-ACCESS ACROSS ACADAMONIS
- (2) COMPACT SPACE LABELING
- (3) OFFSITE MITIGATION
- (4) ADA RAMP @ BARTLETT & ALSTON
-
-
- UTILITIES: _____
-
-
-
-
- CITY ENGINEER / AMAFCA: _____
-
-
-
-
- PARKS / CIP: _____
-
-
-

- PLANNING (Last to sign): Sculped vicinity map on SP sheet
- elevation drawings of ref faces on site
- Printed plat approved at DRB
- enclosure

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

**DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT
Standard Comment Sheet**

DRB- 1003782

Item No. 17

Zone Atlas D-17

DATE ON AGENDA 12-1-04

INFRASTRUCTURE REQUIRED () YES (/) NO

CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

- () SKETCH PLAT () PRELIMINARY PLAT () FINAL PLAT
 () SITE PLAN REVIEW AND COMMENT (X) SITE PLAN FOR SUBDIVISION
 (X) SITE PLAN FOR BUILDING PERMIT

No. Comment

- 1) Plat is needed to remove property lines before site plan can be approved. - 12/21/04
- 2) Compact spaces need to be labeled on pavement. SEE SITE PLAN NOTE
- AC 3) Need x-access agreements. - ATTACHED
- 4) Are Bartlett and Masthead improved? YES
- 5) How do the proposed entrances align with entrances on the other side of the streets? NONE YET - VACANT LOTS
- 6) Is there an ADA ramp at the intersection of Bartlett & Masthead? Across street? — NO, HO — OK W/G 12/2/04 AS-IS
- 7) Are there any offsite mitigation fees required for these lots? NO
- 8) 15' Radius off Bartlett.

If you have any questions or comments please call Wilfred Gallegos at 924-3991. Meeting notes:

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
December 1, 2004
DRB Comments**

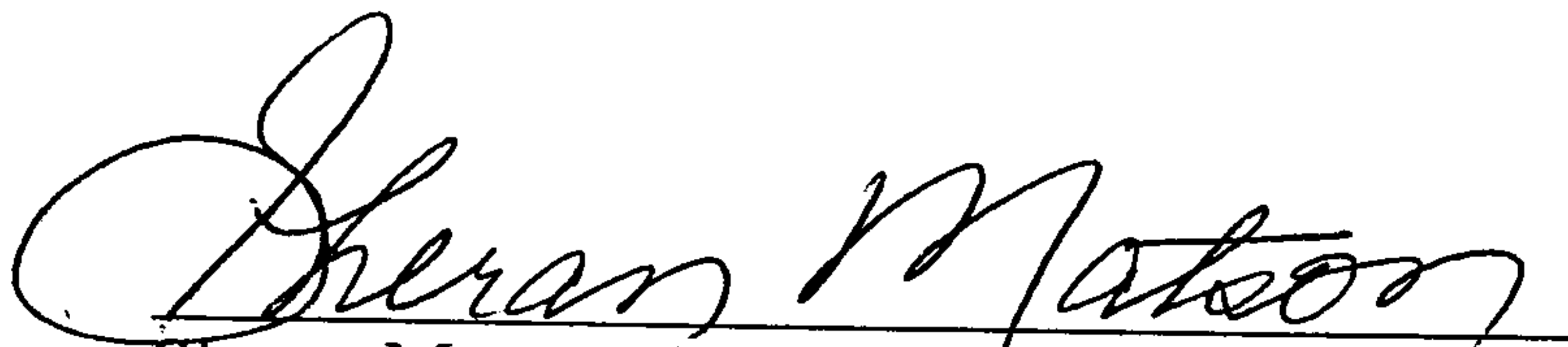
ITEM # 17

PROJECT # 1003782 APPLICATION # 04-01773

RE: Lots 12A & B, 13 & 14, Masthead Pointe@ Journal Center /SPBP

The scaled vicinity map on the site plan is incomplete.

Elevation drawing of refuse container & enclosure is missing.



Sheran Matson, AICP DRB Chair
924-3880 Fax 924-3864 smatson@cabq.gov

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

附
用
时

PAID RECEIPT

APPLICANT NAME _____
AGENT THE Chapman Companies
ADDRESS 404 Brun School Rd. Bld. STE A
PROJECT & APP # 1003782 / 00009
PROJECT NAME JOURNAL CENTER Ph. 2 lots 3 & 4

\$ _____ 441032/3424000 Conflict Management Fee
\$ _____ 441006/4983000 DRB Actions
\$ 45.⁰⁰ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 45.⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

DUPLICATE
City Of Albuquerque
Treasury Division

1/4/2006 9:43AM LOC: ANNX
RECEIPT# 00055788 WS# 007 TRANS# 0006
Account 441006 Fund 0110
Activity 4971000 TRSKAL
Trans Amt \$90.00
J24 Misc \$45.00
MC \$90.00
CHANGE \$0.00
Thank You

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form		Supplemental form	
SUBDIVISION	S	ZONING & PLANNING	Z
<input checked="" type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation	
<input checked="" type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal	
<input checked="" type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal	
<input checked="" type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)	
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)	
<input type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan	
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)	
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L		
		APPEAL / PROTEST of...	A
		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Walton Chapman Builders Co., Inc. PHONE: 983-8100
 ADDRESS: 404-A Brunn School Rd. FAX: 983-9660
 CITY: Santa Fe STATE NM ZIP 87504 E-MAIL: _____

Proprietary interest in site: _____ List all owners: _____

AGENT (if any): Precision Surveys, Inc. PHONE: 856-5700
 ADDRESS: 8414-D Jefferson St. NE FAX: 856-7900
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: presuru@presuru.com

DESCRIPTION OF REQUEST: To replat the existing 2 lots into 1 new lot and vacate private drainage easement

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No: Lot 12-B-1 Block: N/A Unit: 2

Subdiv. / Addn.: Journal Center Phase 2

Current Zoning: IP Proposed zoning: _____

Zone Atlas page(s): D-17 No. of existing lots: 2 No. of proposed lots: 1

Total area of site (acres): 1.1644 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO

UPC No: 101706310220830120 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: Bartlett St. NE

Between: Masthead St. NE and Rutledge Rd. NE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, et al.): 1000635

DRB 95-268 1002321 04DRB01773

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Bernadette Bustos DATE 12/13/04
 (Print) Bernadette Bustos _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 3/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>04DRB-01909</u>	<u>P&F</u>	<u>SL3</u>	<u>\$ 215.00</u>
<u>04DRB-01910</u>	<u>VPRE</u>	<u>V</u>	<u>\$ 45.00</u>
_____	<u>QMF</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	<u>\$ _____</u>
_____	_____	_____	<u>\$ _____</u>
Hearing date <u>12-29-04</u>	_____	_____	<u>Total \$ 280.00</u>

[Signature] 12-14-04
 Planner signature / date

Project # 1003782

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE

(PUBLIC HEARING CASE)

- Application for subdivision (Plat) on FORM S-3, including those submittal requirements. **24 copies** of the plat are required. The Variance and subdivision should be applied for simultaneously.
- Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
- Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
- Any original and/or related file numbers are listed on the cover application

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies**. (Not required for dedicated and City owned public right-of-way.)
- Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL)

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the variance or waiver
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Drawing showing the sidewalks subject to the proposed deferral or extension (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the deferral or extension
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF PRIVATE EASEMENT

- The complete document which created the private easement (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
- Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the vacation
- Letter of authorization from the grantors and the beneficiaries
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Bernadette Bustos
 Applicant name (print)
[Signature]
 Applicant signature / date



Form revised 4/03 and October 2003

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
04DRB -01910

[Signature] 12-14-04
 Planner signature / date
Project # 100 3782

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.
Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED. *Pending*

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Bernadette Bustos
Applicant name (print)

B. Bustos
Applicant signature / date



Form revised 3/03, 8/03, 11/03 & 8/04

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
04DRB -01909

Shirley 12-14-04
Planner signature / date

Project # 1003782

CHAPMAN COMPANIES

"Two generations of dependable value"

Chapman Homes
Chapman Land
Chapman Realty
Chapman Remodeling

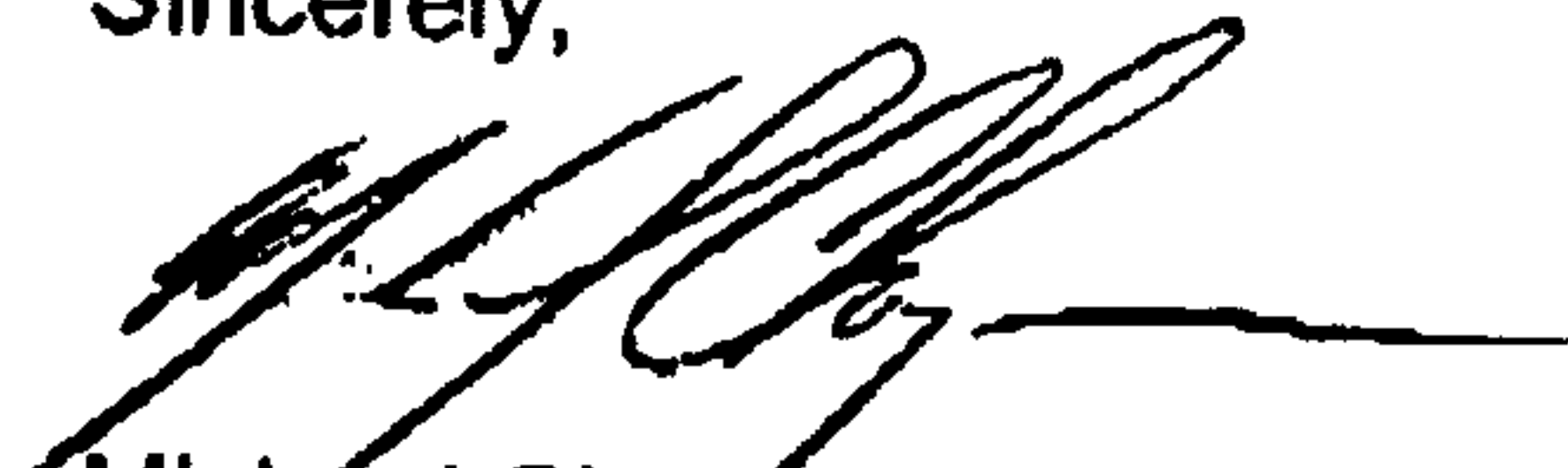
December 14, 2004

Precision Surveys
VIA FACSIMILE: 856-7900

Dear Sirs:

As owner of lots 12A and 12B of Journal Center Phase II, I hereby authorize Precision Survey to act on our behalf in the necessary dealings with the City of Albuquerque.

Sincerely,



Michael Chapman
President



PRECISION SURVEYS, INC.

December 13, 2004

Ms. Sheran Matson, AICP
Chair, Development Review Board
Planning/Development Services Division
600 2nd Street, NW
Albuquerque, NM 87102

**RE: REQUEST FOR A MINOR SUBDIVISION TO CONSOLIDATE TRACTS 12-A
& 12-B AND VACATION OF PRIVATE EASEMENT, JOURNAL CENTER
PHASE 2, UNIT 2, LOCATED ON BARTLETT ST. NE & MASTHEAD ST. NE,
ZONE ATLAS D-17**

Dear Ms Matson,

On behalf of our client, Walton Chapman Builders Company, Inc., we are submitting an application for minor subdivision to consolidate Tracts 12-A and 12-B and vacation of private easement within Tract 12-A, Journal Center Phase 2, Unit 2.

Enclosed are the required submittals

If you have any questions or need additional information, please do not hesitate to contact our office at 856-5700.

Sincerely,



Larry W. Medrano
President

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Walton Chapman Bldg Co
AGENT Precision Surveys
ADDRESS 8414-D Jefferson NE
PROJECT & APP # 1003782/04 DRB 01909 & 01910
PROJECT NAME Journal Cntr Phase 2 unit 2

\$ 20.00 441032/3424000 Conflict Management Fee
\$ 260.00 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 280.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

City Of Albuquerque
Treasury Division

City Of Albuquerque
Treasury Division

12/14/2004 11:36AM LOC: ANN
X
RECEIPT# 00032617 US# 006 TRAN# 0007
Counterreceipt.doc_6/21/04 Fund 0110
Activity 4983000 TRSEJA
Trans Amt \$280.00
J24 Misc \$260.00
CR \$250.00
CHANGE \$30.00
Thank You

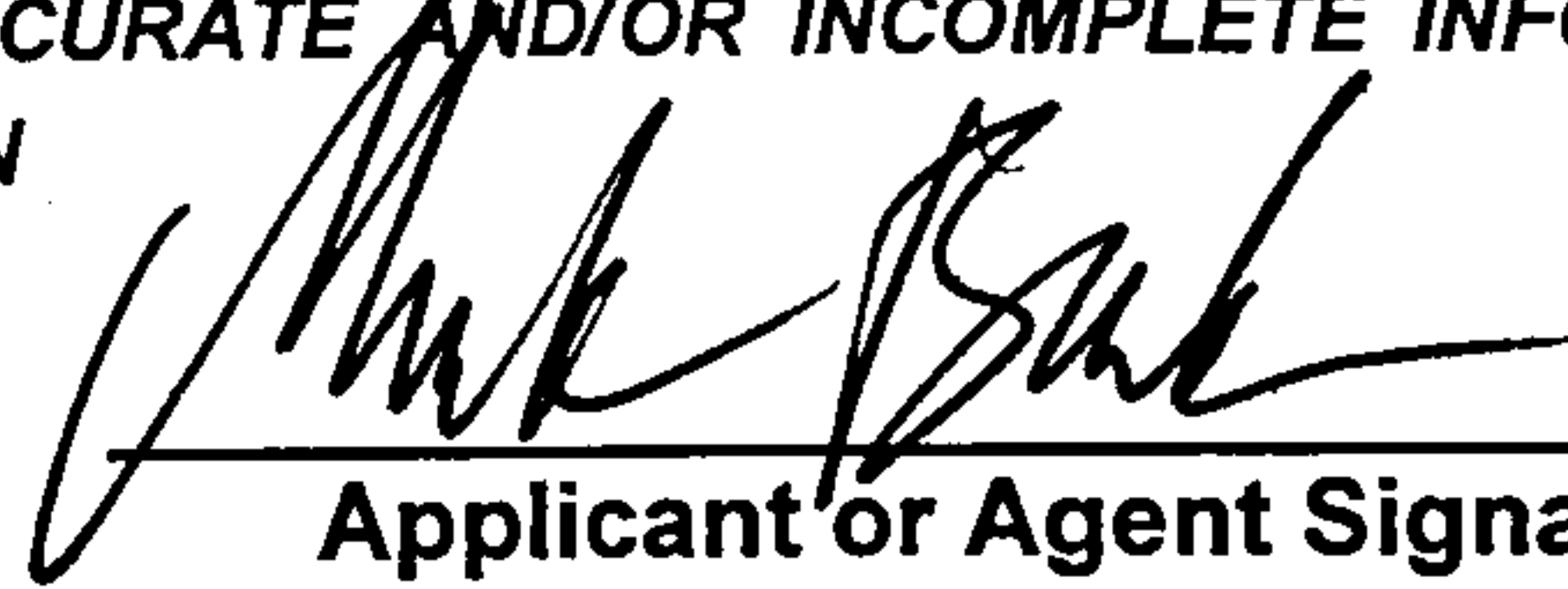
12/14/2004 11:36AM LOC: ANN
X
RECEIPT# 00032616 US# 006 TRAN# 0007
Account 441032 Fund 0110
Activity 3424000 TRSEJA
Trans Amt \$280.00
J24 Misc \$20.00
Thank You

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 10/19/2004

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.



11/16/04

Applicant or Agent Signature / Date

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.**

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' *[Other scales as approved by staff]*
3. Bar scale
4. North arrow
5. Scaled vicinity map
6. Existing structures on the site and within 20 feet of the site boundaries
7. Property lines (clearly identify)
8. Existing and proposed easements (identify each)

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 177 provided: 180
 Handicapped spaces required: 8 provided: 12
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 8
 provided: 8
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 10/19/2004

- ~~NA~~ 2. Pedestrian trails and linkages
- ~~NA~~ 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

5. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 10/19/2004

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- NA 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- NA 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
- NA E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

3. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...

- D Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: The Chapman Companies PHONE: 983-8100
 ADDRESS: 401 Brann School Rd, Bldg A FAX: 983-9660
 CITY: Santa Fe STATE NM ZIP 87505 E-MAIL: chapmanhomes.com
 Proprietary interest in site: owner List all owners: _____
 AGENT (if any): Dorman Green Architects PHONE: 792-8660
 ADDRESS: 10505 Timon Pl. NW FAX: same
 CITY: Alb. STATE NM ZIP 87114 E-MAIL: dormanbreen-west

DESCRIPTION OF REQUEST: need master site plan for bldg @ comcast.net
permit approval, 4 lots combined use, shared amenities.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. lots 12a, 12b, 13 & 14 Block: _____ Unit: 2
 Subdiv. / Addn. Journal Center 2
 Current Zoning: IP Proposed zoning: same
 Zone Atlas page(s): D-17 No. of existing lots: 4 No. of proposed lots: 3-4
 Total area of site (acres): 3.17 Density if applicable: dwellings per gross acre: NA dwellings per net acre: NA
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? no
 UPC No. 12a=101706310823330701, 12b10170631223330701 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: SE corner of Bartlett st & Westhead St.
UPC 14=101706311520230703 and _____
12c=011706311521730702

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): DRB 95.268
100633, 1002321

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 11/16/04
 (Print) Mark Bacrek _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>04DRB 01773</u>	<u>SBP</u>	<u>PC3)</u>	<u>\$385.00</u>
_____	<u>CMF</u>	_____	<u>\$20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>12-1-04</u>		Total	<u>\$405.00</u>

[Signature] 11-16-04
 Planner signature / date

Project # 1003782

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6** copies.
 - pending* Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Blue-line copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - ___ Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - ___ Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Mark Buczek
 Applicant name (print)
Mark Buczek 11/16/04
 Applicant signature / date

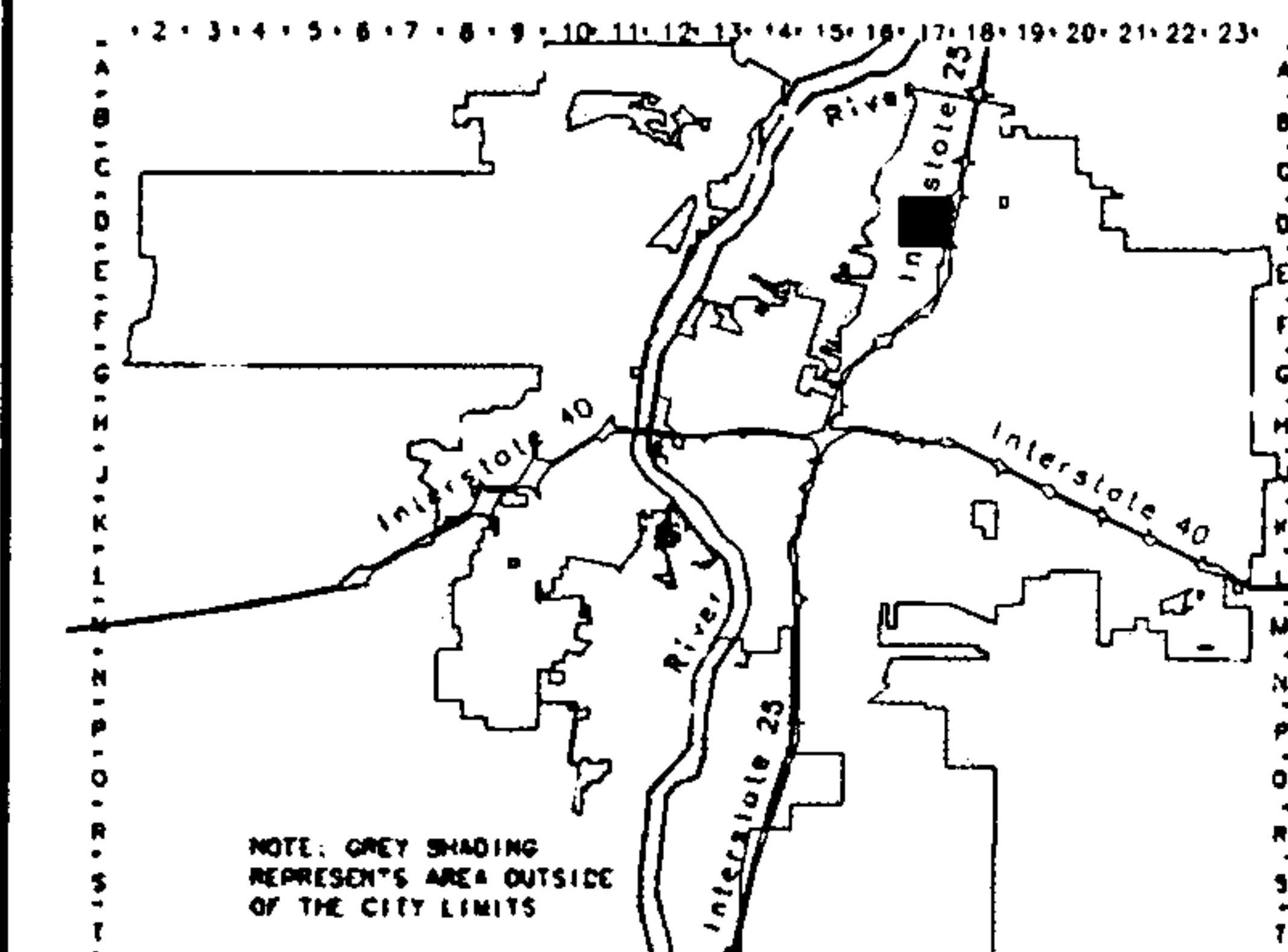
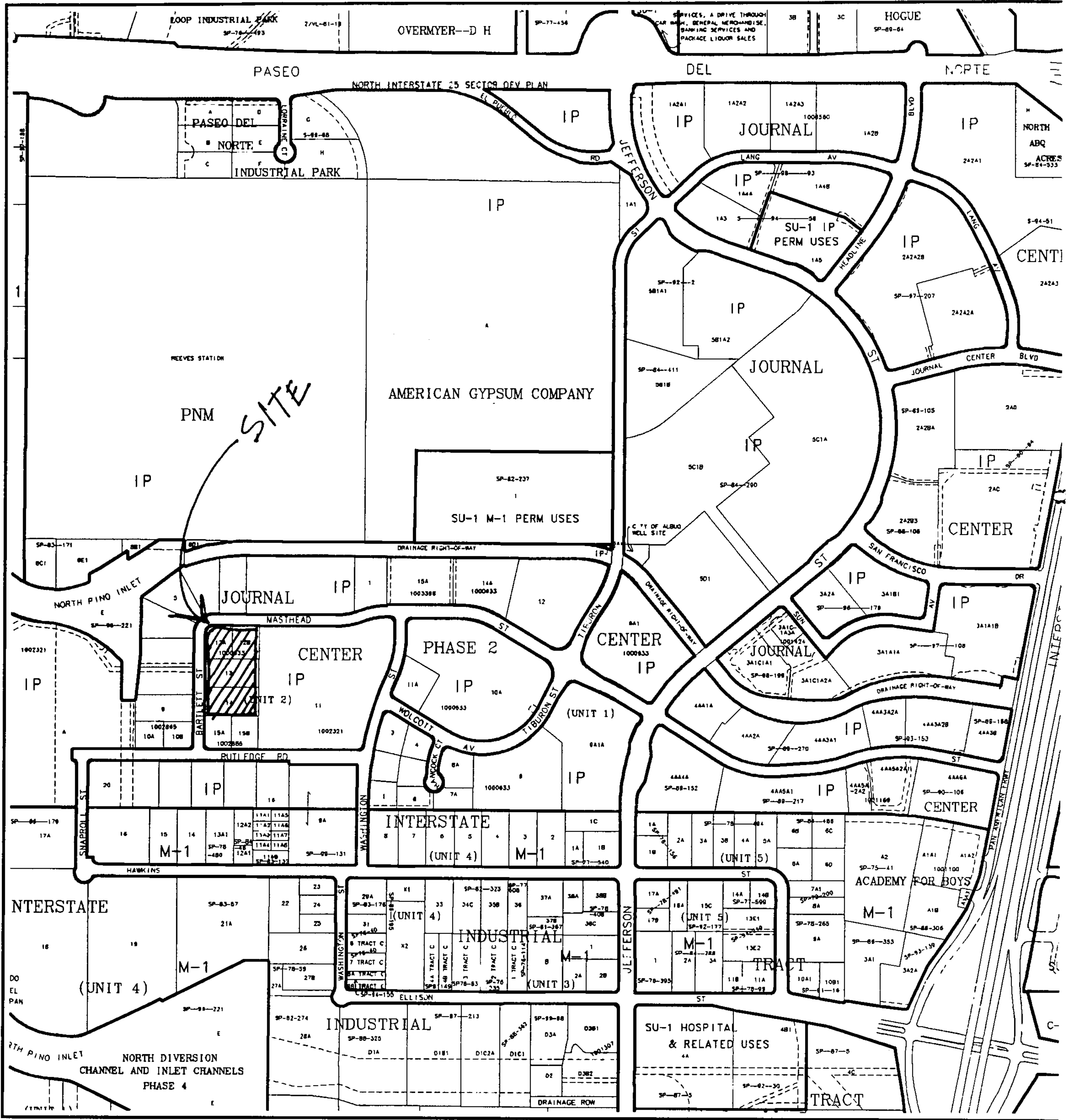


Form revised October 2004

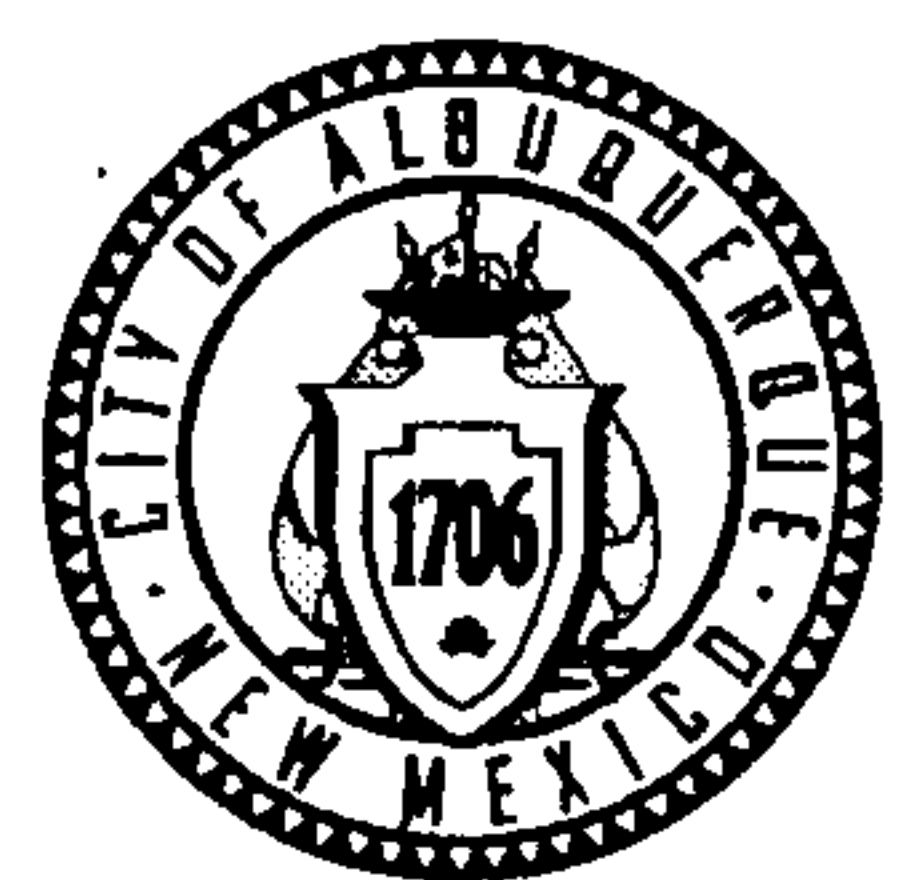
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
04 DRB - 01773
 _____ - _____
 _____ - _____

[Signature] 11-16-04
 Planner signature / date
Project # 1003782

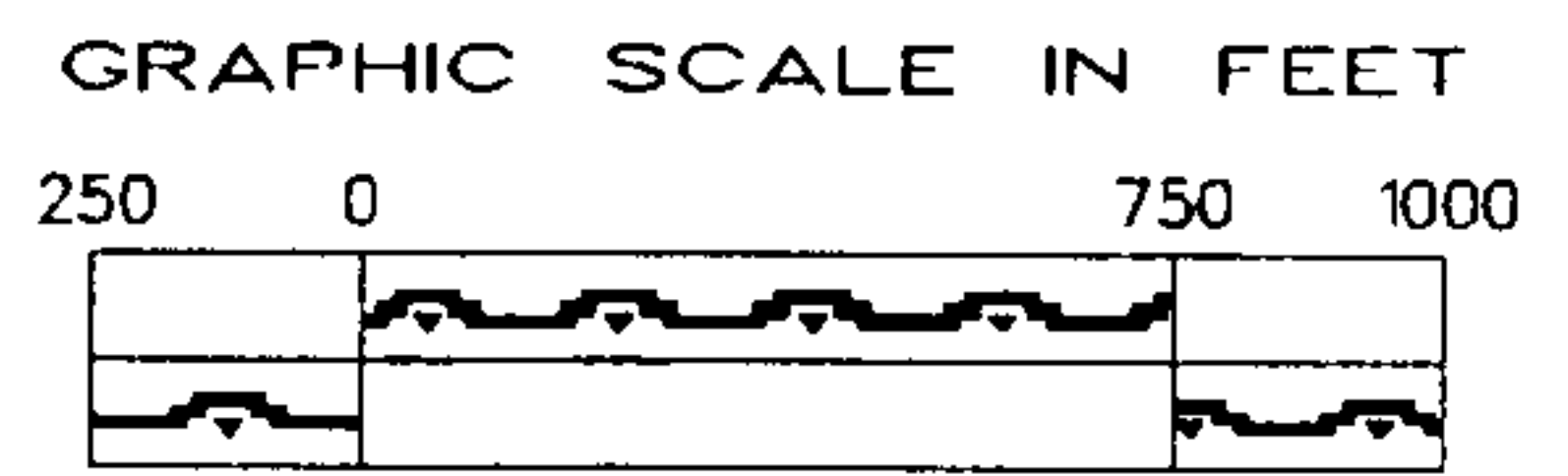


NOTE: GREY SHADING REPRESENTS AREA OUTSIDE OF THE CITY LIMITS



Albuquerque Geographic Information System
PLANNING DEPARTMENT

© Copyright 2004



Zone Atlas Page

D-17-Z

Map Amended through August 03, 2004



November 10, 2004

VIA FACSIMILE - 792-8160 - AND REGULAR MAIL

Mark Baczek
Dorman and Breen Architects
10305 Timan Pl., NW
Albuquerque, NM 87114

Re: Lots 12, 13 and 14, Unit 2 Journal Center 2 Design Review Approval by Journal Center 2 Architectural Review Committee

Dear Mark:

We reviewed your submittal for the above referenced project and approve plans, colors, materials and specifications, with the following conditions:

1. Accent colors, 20209 and 31202 are not approved for use.
2. Individual buildings in the complex must be submitted, with stucco color request prior to any construction activity.
3. Only one accent color per building.
4. While the site plan for the project is approved, please describe phasing of the project and how property will be graded to accommodate phases before any construction activity takes place for committee review and approval.
5. Landscape guidelines do not allow use of Red Tip Photinia, please substitute an approved shrub.
6. At the time common area irrigation is connected to Journal Center 2 common area irrigation system you must contact the developer, Tiburon Investment LLC. This note must be added to the landscape plans.
7. You must prepare and implement a Storm Water Pollution Prevention Plan (SWPPP) and file a Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activity Under an National Pollutant Discharge Elimination System (NPDES) General Permit.

- Under the provisions of the Clean Water Act federal law prohibits storm water discharges from certain construction activities to waters of the U.S. unless that discharge is covered under a NPDES Permit.
- You may obtain additional information regarding NPDES and submit your NOI electronically at: www.epa.gov/npdes/stormwater/cgp, or telephone Storm Water Notice Processing Center at 866-352-7755.

This approval constitutes approval of the above referenced plans, colors, materials and specifications for reliance by the City of Albuquerque Development Review Board.

By copy of this letter we are transmitting the plans, colors/material board and specifications to the Journal Center Architectural Review Committee for their review. We will advise you of their action as soon as they review the plans.

Thank you for the submittal.

Very truly yours,

Douglas H. Colister
Administrative Manager

Copy Journal Center Architectural Review Committee - Attention: Mike Callahan
Journal Center 2 Architectural Review Committee INVESTMENT, LLC



To: The City of Albuquerque DRB

Assignment of Dorman Breen Architects as Owner's Agent

**Project Architect:
Mark Baczek
Ofc & Fax: 792-8160**

Project: Masthead Pointe @ the Journal Center

**Property:
Legal Description: Lots 12a, 12b, 13 & 4, Journal Center 2, Unit 2
Location: Located on the southeast corner of Barlett St. and Masthead Street,
Albuquerque, New Mexico, 87109**

**Current Property Owner:
The Chapman Companies, Inc.
401 Brunn School Rd. Bldg A
Santa Fe, NM 87505**

**I hereby designate Dorman Breen Architects as Owner's Agent for purposes relating to
the acquisition of a Site Development Plan for Building Permit Approval.**

Owner:  Date: 11/15/04

The Chapman Companies, Inc.



To: The City of Albuquerque DRB

Assignment of Dorman Breen Architects as Owner's Agent

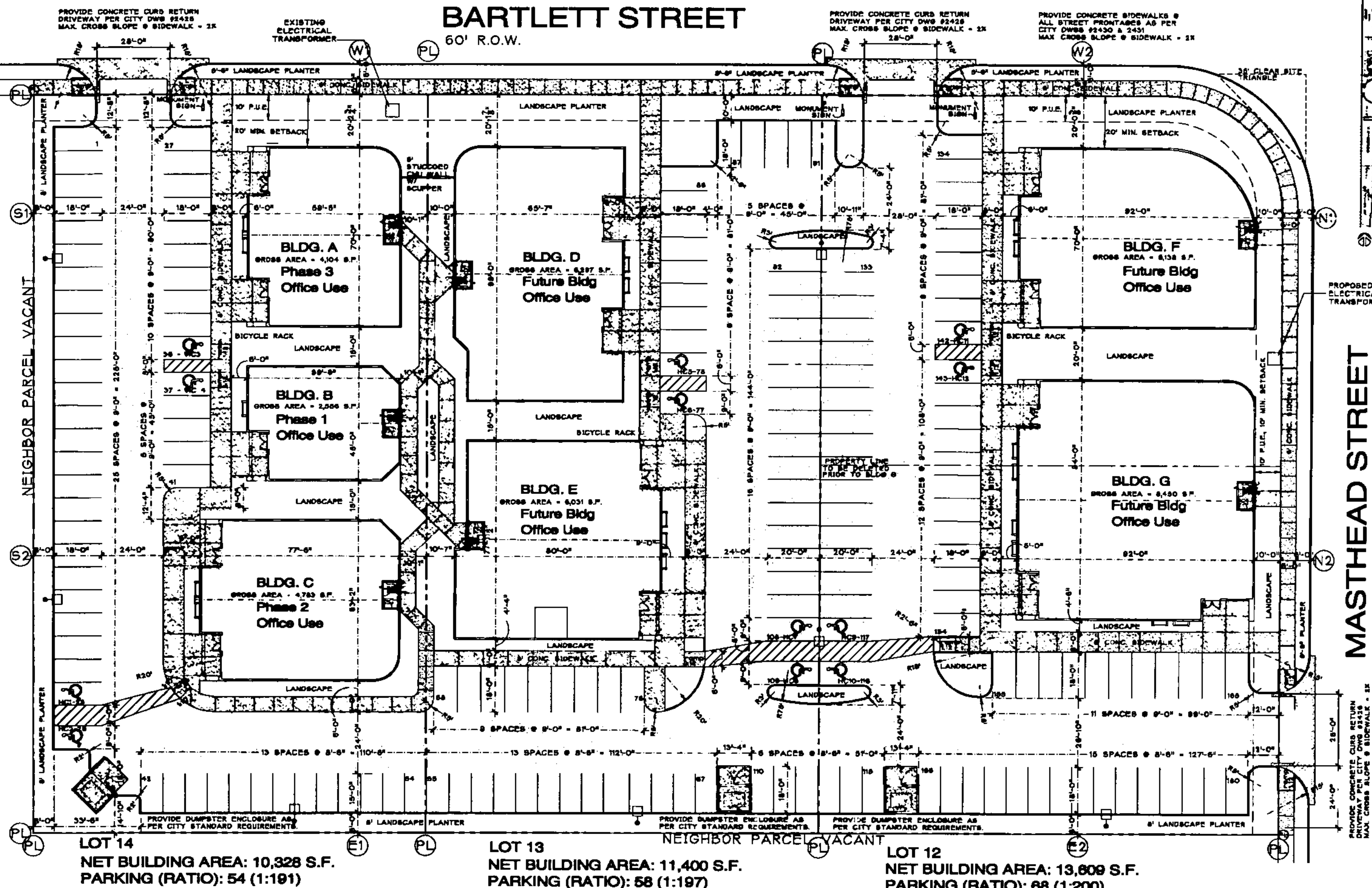
Project Architect:
Mark Baczek
Ofc & Fax: 792-8160

Project: Masthead Pointe @ the Journal Center

Property:

Legal Description: Lots 12a, 12b, 13 & 4, Journal Center 2, Unit 2
Location: Located on the southeast corner of Barlett St. and Masthead Street,
Albuquerque, New Mexico, 87109

- Request DRB approval of the Master Site Plan, for building permit, project phasing begins with building B, lot 14.
- Building Permit for Building B shall be acquired first.



- UTILITY LEGEND**
- UTILITY PEDESTAL
 - ⊙ SANITARY SEWER MANHOLE
 - CENTERLINE MONUMENT
 - ⊙ WATER METER
 - ⊗ WATER VALVE
 - ⊙ FIRE HYDRANT
 - ⊙ TELEPHONE MANHOLE
 - ⊙ POLE MOUNTED LIGHT FIXTURE
20' HIGH "THORN" OR EQUAL,
MODEL KAD, FLAT LENSED SQUARE.
- PAVEMENT LEGEND**
- CONCRETE
 - ▨ COLORED CONCRETE
 - ASPHALT PAVEMENT
 - LANDSCAPE PLANTER AREAS (NO HATCH)
 - ▨ DESIGNATED WHEELCHAIR ROUTE, 2% MAX. SLOPE

MASTER SITE PLAN
SCALE: 1" = 20'

PROJECT DATA		
LEGAL DESCRIPTION: LOTS 12a, 12b, 13 & 14 JOURNAL CENTER 2, UNIT 2, BERNALILLO COUNTY, ALBUQUERQUE NEW MEXICO.	OPERATING PARKING REQUIREMENTS: NET LEASABLE AREA = 35,337 SQ.FT. OFFICE USE -- REQUIRED PARKING STALLS = 177 STALLS REGO @ 1:200 SQ.FT.	SITE LIGHTING: SHALL BE PROVIDED BY SHIELDED BUILDING MOUNTED WALL FIXTURES AND SHIELDED 20' POLE LIGHTS.
ZONE ATLAS: D-17-Z ZONE CLASSIFICATION: IP LAND USE DATA: COMBINED LOTS AREA: 3.17 AC (137,804 SQ.FT.) COMBINED BUILDING FLOOR AREAS: 35,337 SQ.FT., 26% NET LOT AREA: 101,887 SQ.FT., 74% LANDSCAPE AREA PROVIDED: SEE LANDSCAPE PLAN	PROVIDED PARKING STALLS: = 180 STALLS, INCLUDES 8 REGO ACCESSIBLE SPACES PLUS 4 VAN ACCESSIBLE STALLS REQUIRED & PROVIDED BICYCLE PARKING: = 8 SPACES	SIGNAGE: A MONUMENT SIGN SHALL BE PROVIDED AT ALL BARTLETT STREET CURB RETURN ENTRANCES. INDIVIDUAL WALL MOUNTED BUILDING SIGNS SHALL BE PROVIDED AT EACH BUSINESS ENTRANCE, AS INDICATED ON BUILDING ELEVATIONS.

PROJECT NO.	
APPLICATION NO.	
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? YES / NO. IF YES, THEN A SET OF APPROVED DRO PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS. DRS SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPROVAL:	
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE
UTILITY DEVELOPMENT DIVISION	DATE
PARKS RECREATION	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRS CHAIRPERSON, PLANNING DEPT.	DATE

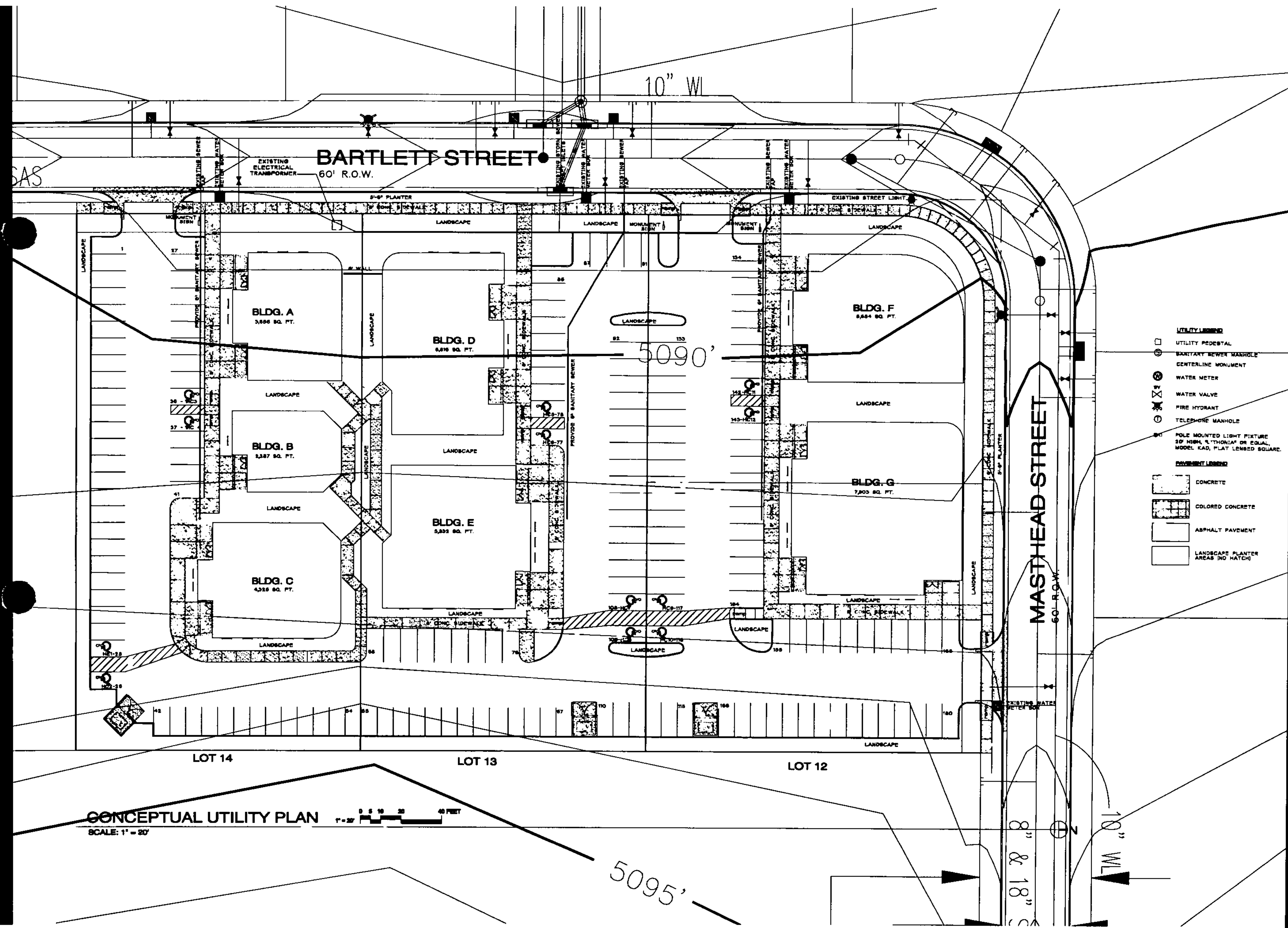
DORMAN and BREEN
LAURENCE BREEN F.A.I.A.
SANTA FE, NM 505-982-9198

RICHARD DORMAN F.A.I.A.
ALBUQUERQUE, NM 505-298-6940

Masthead Pointe
Lots 12a, 12b, 13 & 14
Journal Center 2, Unit 2
ALBUQUERQUE, NM

11/18/04

C-1.1



DORMAN and BREEN
LAURENCE BREEN A.L.A.
SANTA FE, NM 505-962-9195

R + B
RICHARD DORMAN F.A.L.A.
ALBUQUERQUE, NM 505-399-6940

Masthead Pointe
Lots 12a, 12b, 13 & 14
Journal Center 2, Unit 2
ALBUQUERQUE, NM

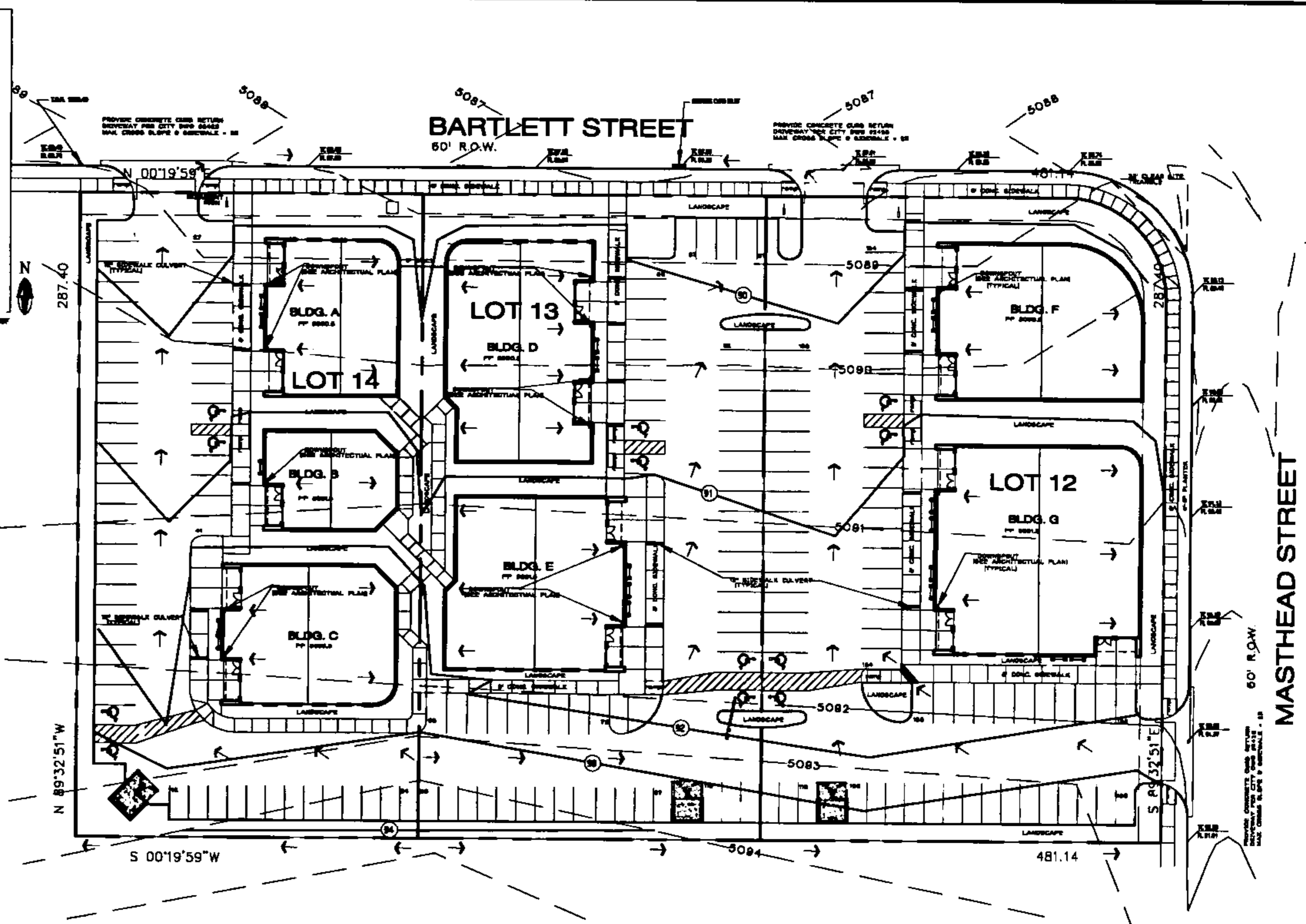
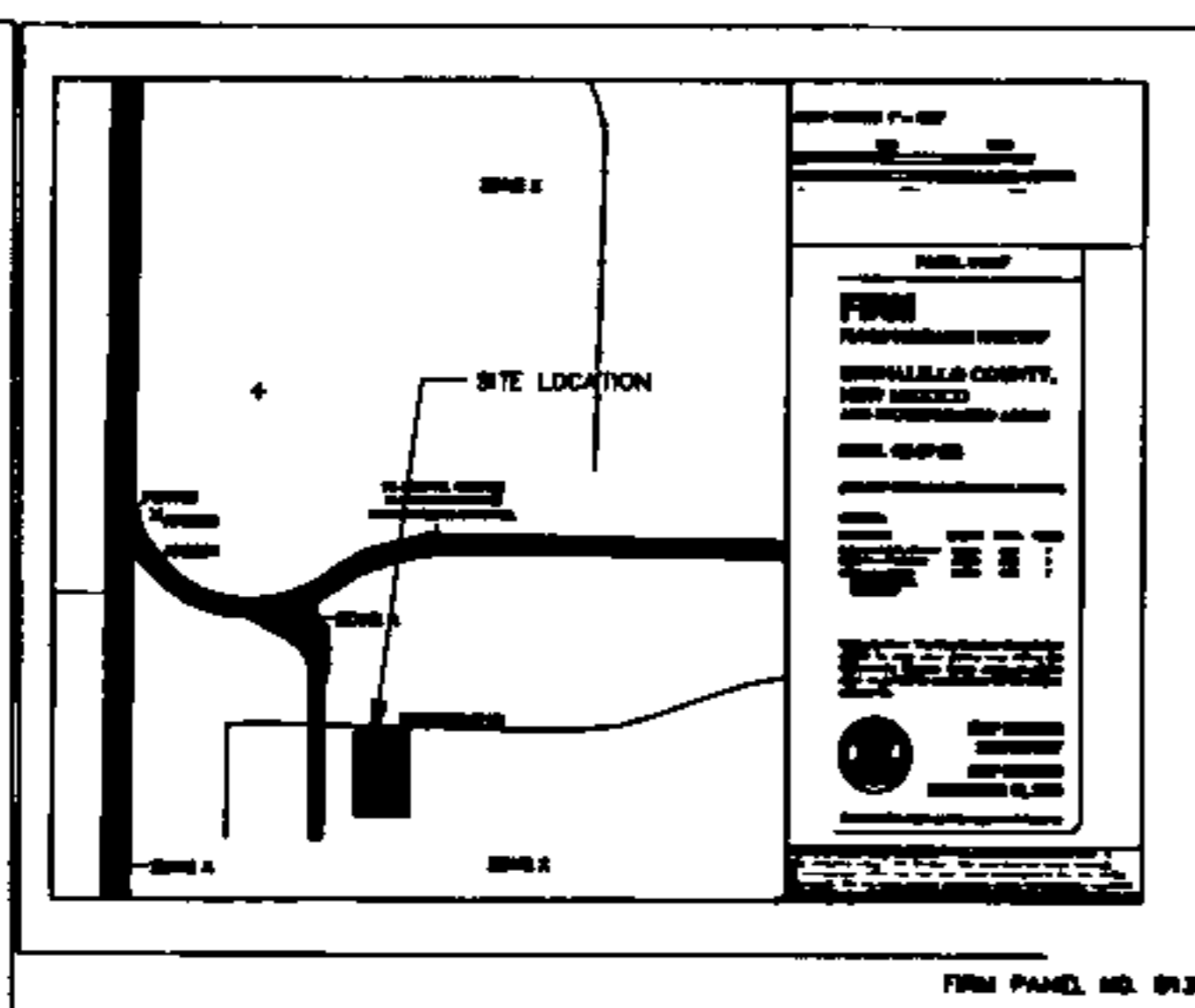
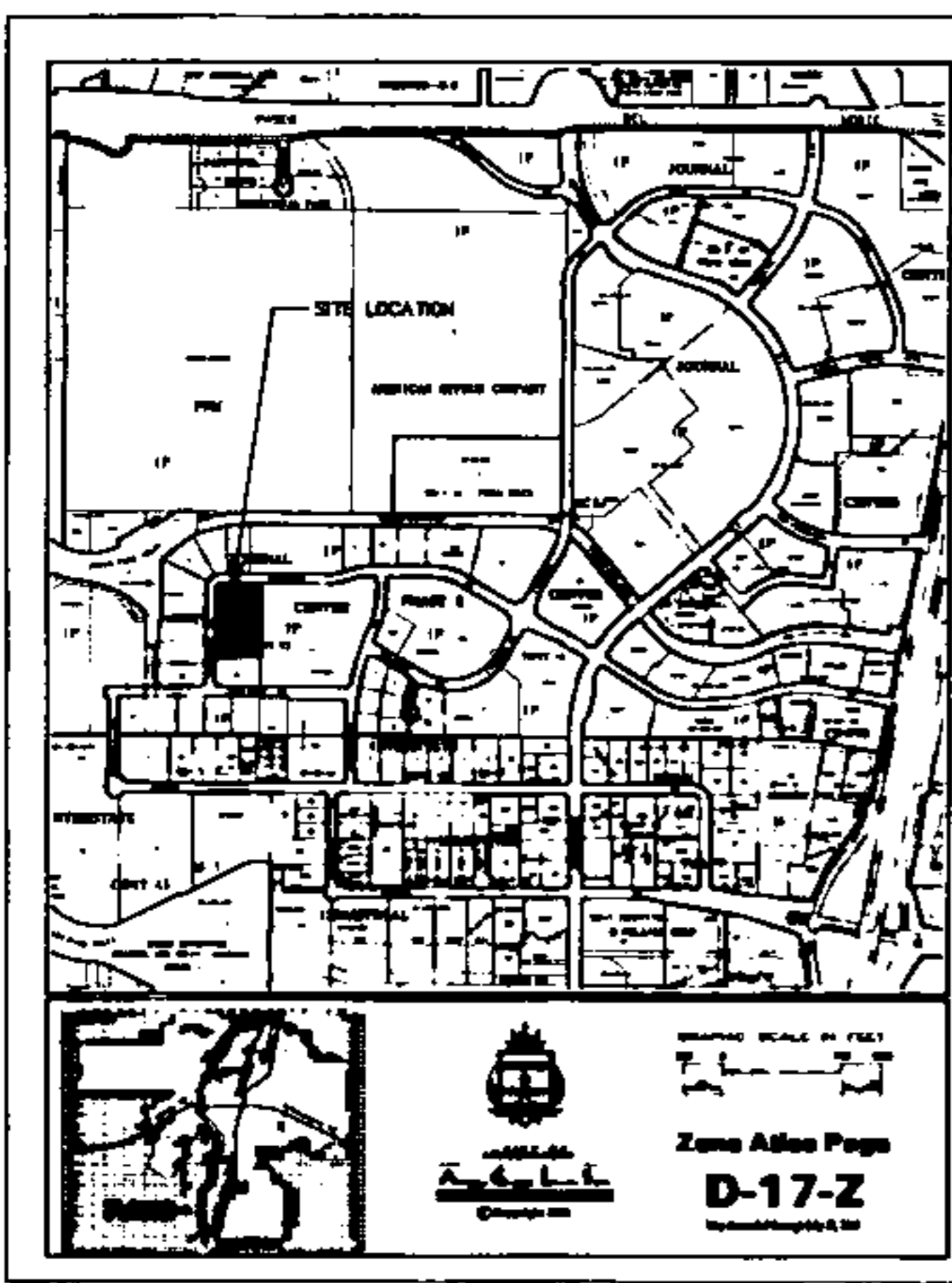
PROJECT TITLE
UTILITY PLAN

JOB NUMBER
0422

DATE
11/18/04

REVISIONS	DATE

DATE
UT-1.1



GRADING/DRAINAGE PLAN
 THE FOLLOWING ITEMS CONCERNING LOT 12, 13, AND 14, JOURNAL CENTER, PHASE 2, UNIT 1 (7430 BARTLETT STREET N.E.) ARE CONTAINED HEREIN:

EXISTING CONDITIONS
 AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 3.18 ACRES AND IS LOCATED NORTH OF THE INTERSECTION OF BARTLETT STREET N.E. AND RIFLESCO ROAD N.E., ON THE EAST SIDE OF BARTLETT STREET N.E. THE SITE IN ITS EXISTING CONDITION SLOPES FROM EAST TO WEST, AS SHOWN BY THE LOCAL SURVEYOR'S DATA MAP, PANEL BUSH, DATED NOVEMBER 18, 2001. THIS SITE IS NOT LOCATED WITHIN A DESIGNATED FLOODED ZONE NOR DOES IT CONTRIBUTE TO ANY DOWNSTREAM FLOODING.

PROPOSED CONDITIONS
 AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL CONSIST OF SEVEN OFFICE BUILDINGS TOTALING 35,190 SQ. FT. ALONG WITH PAVED PARKING AND ASSOCIATED LANDSCAPED AREAS. ALL THE DEVELOPED FLOORS WILL BE ROUTED OUT TOWARDS THE PROPOSED DRAINAGE AND INTO BARTLETT STREET N.E. FROM THAT POINT THE RUN-OFF WILL TRAVEL ALONG BARTLETT STREET N.E. INTO EXISTING CATCHBASINS. ALL THE DEVELOPER'S RUN-OFF WILL EVENTUALLY ENTER THE NORTH FLOOD ARROYO AND INTO THE NORTH INVERSION CHANNEL. NO OFF-SITE FLOORS ENTER THE SITE FROM ANY DIRECTION. THE CALCULATIONS, WHICH APPEAR HEREON, ANALYZE BOTH THE EXISTING AND DEVELOPER'S CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRES AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 OF THE DEVELOPMENT PROCESS MANUAL DATED 1987 WAS USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME GENERATED.

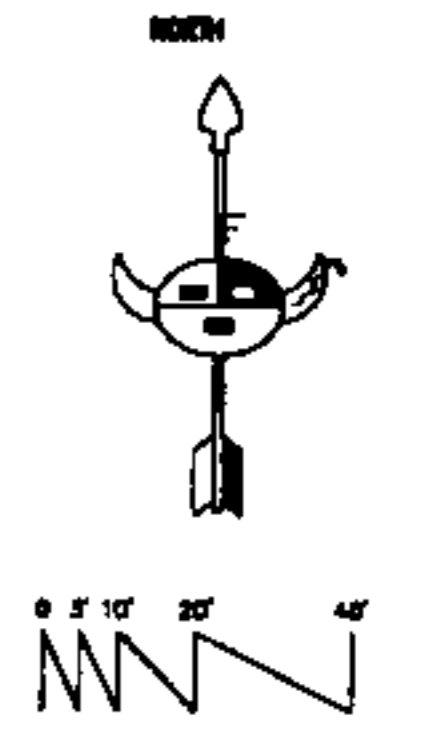
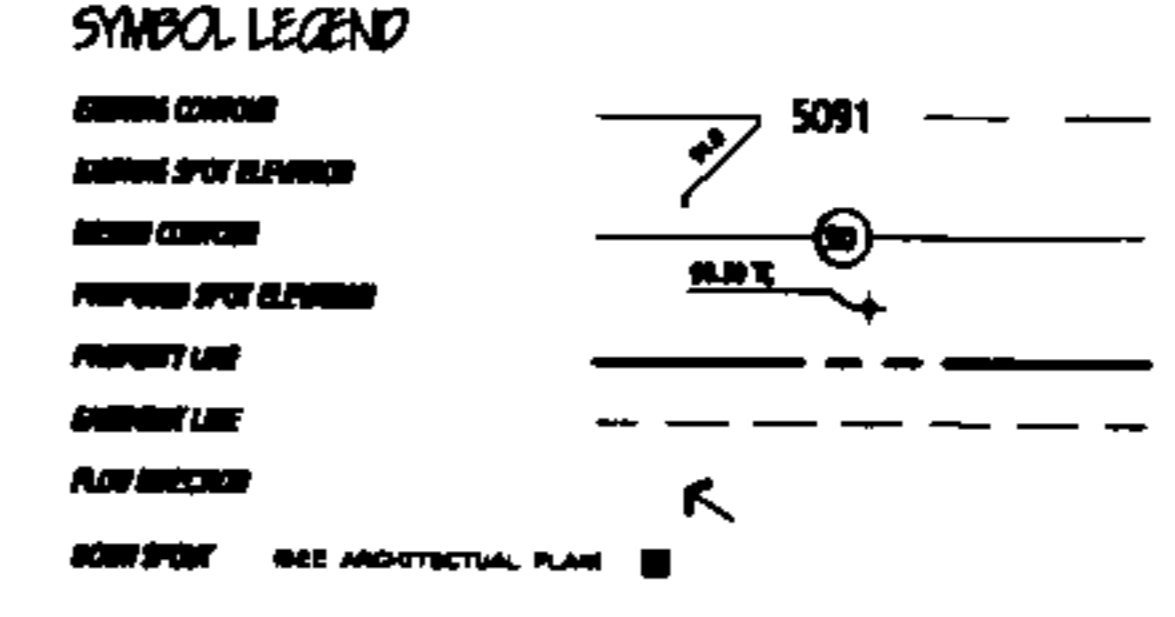
PROJECT AREA = 3.18 ac.	
LOT 12, 13, & 14, JOURNAL CENTER	
ZONE 2	
PRECIPITATION:	
360 = 2.35 in.	
1440 = 2.75 in.	
10day = 3.95 in.	
EXCESS PRECIPITATION:	
PEAK DISCHARGE:	
TREATMENT A 0.53 in.	1.58 cfs/ac.
TREATMENT B 0.78 in.	2.28 cfs/ac.
TREATMENT C 1.13 in.	3.14 cfs/ac.
TREATMENT D 2.12 in.	4.70 cfs/ac.
EXISTING CONDITIONS:	
PROPOSED CONDITIONS:	
TREATMENT A 0 ac.	0 ac.
TREATMENT B 0 ac.	0.4652 ac.
TREATMENT C 3.18 ac.	0 ac.
TREATMENT D 0 ac.	2.715 ac.

EXISTING EXCESS PRECIPITATION:	
Weighted E = (0.53)(0.00) + (0.78)(0.00) + (1.13)(3.18) + (2.12)(0.00) / 3.18 ac.	= 1.13 cfs
V100-360 = (1.13)(3.18) / 12 = 0.29940 ac-ft	ac-ft = 1.394 CF
EXISTING PEAK DISCHARGE:	
Q100 = (1.58)(0.00) + (2.28)(0.00) + (3.14)(3.18) + (4.70)(0.00) = 9.98 CFS	
PROPOSED EXCESS PRECIPITATION:	
Weighted E = (0.53)(0.00) + (0.78)(0.47) + (1.13)(0.00) + (2.12)(2.72) / 3.18 ac.	= 1.82 cfs
V100-360 = (1.82)(3.18) / 12.0 = 0.50088 ac-ft	ac-ft = 2.221 CF
V100-1440 = (0.51)(2.72) + 2.75 - 2.35 / 12 = 0.80038 ac-ft	ac-ft = 2615 CF
V100-10day = (0.51)(2.72) + 3.95 - 2.35 / 12 = 0.87188 ac-ft	ac-ft = 3767 CF
PROPOSED PEAK DISCHARGE:	
Q100 = (1.58)(0.00) + (2.28)(0.47) + (3.14)(0.00) + (4.70)(2.72) = 12.78 CFS	
INCREASE 12.78 CFS - 9.98 CFS = 2.77 CFS	

- NOTE TO CONTRACTOR:**
1. An excavation/construction permit will be required before beginning any work within the City right-of-way. Approved copy of this plan must be submitted at the time of application for permit.
 2. All work detailed in this plan to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Standard Specification for Public Works Construction.
 3. Two working days prior to any excavation, contractor must contact line locating Services (760-1990) for locating existing sub-surface utilities.
 4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all potential constructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay to the subject project.
 5. Backfill compaction shall be according to commercial use or soils report(s) recommendations.
 6. All work on this project shall be performed in accordance with applicable Federal, State and local laws, rules and regulations concerning construction safety and health.
 7. Maintenance of this facilities shall be the responsibility of the owner of the property it serves.

- EROSION CONTROL MEASURES**
1. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION. HE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE:
 - A) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY SEDIMENT BARRIERS, SLOTTED AND OTHER EROSION CONTROL MEASURES AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
 - B) ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREET.
 2. THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL SEDIMENT WITHIN THE PUBLIC STREET THAT HAVE BEEN EXPOSED FROM THE SITE AND REPORTED THERE.

LEGAL DESCRIPTION
 LOT 12, 13, AND 14
 JOURNAL CENTER PHASE 2, UNIT 1
 BERNALILLO COUNTY, ALBUQUERQUE
 NEW MEXICO.
BENCHMARK:
 A.C.S. BENCHMARK 9-D17 ELEVATION 5124.40
I.B.M.
 TOP OF CURB ON THE PROJECTION OF THE SOUTH PROPERTY LINE
 OF LOT 14, AS SHOWN ON PLAN DRAWING ELEVATION 5089.40

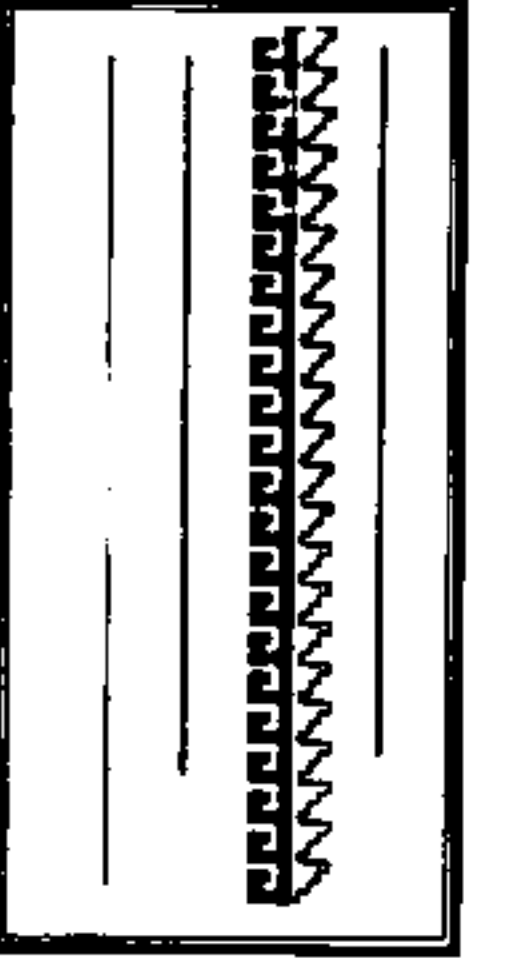


GRADING & DRAINAGE PLAN
 Scale 1/8" = 1'-0"



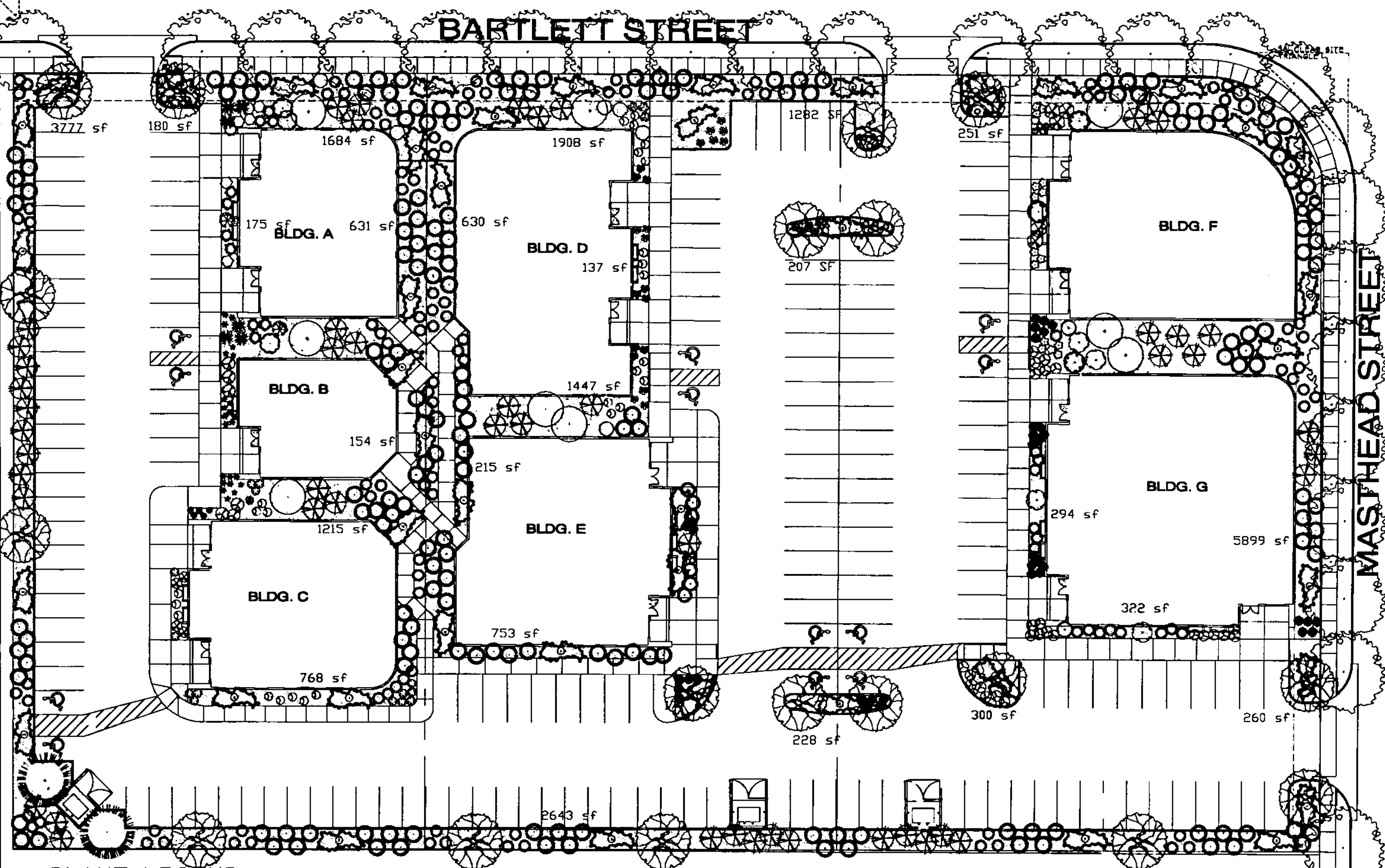
JOB NO.	0000
DATE	NOVEMBER 2011
REVISIONS	

Sheet Title
GRADING AND DRAINAGE PLAN
 Checked By: RLD
 Drawn By: MTH/2011



Project Name
MASTHEAD POINTE
 7430 BARTLETT STREET NE
 ALBUQUERQUE, NEW MEXICO

SHEET NO.
GD



LANDSCAPE NOTES
 Landscape maintenance shall be the responsibility of the Property Owner.
 It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.
 Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.
 All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Palen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.
 Plant beds shall achieve 75% live ground cover at maturity.
 Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.
IRRIGATION NOTES
 Irrigation shall be a complete underground system with Trees to receive (8) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubble systems to be fed to 1/2" poly pipe with flush caps at each end.
 Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.
 Point of connection for irrigation system is unknown at current time and will be coordinated in the field.
 Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.
 Irrigation maintenance shall be the responsibility of the Property Owner.
 Drip irrigation must comply with cross connection prevention and control ordinance.
 HILLTOP SHALL CONTACT TIBURON INVESTMENT AT TIME OF LANDSCAPE IRRIGATION INSTALLATION TO COORDINATE CONNECTION TO CENTER IRRIGATION.
STREET TREE REQUIREMENTS
 Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:
 MASTHEAD STREET
 Required # 8 Provided # 8
 BARTLETT STREET
 Required # 15 Provided # 15

R + B DORMAN and BREEN
 LAURENCE BREEN A.I.A.
 SANTA FE, NM 805-882-9198
 RICHARD DORMAN F.A.I.A.
 ALBUQUERQUE, NM 505-299-5940

Masthead Pointe
 Lots 12a, 12b, 13 & 14
 Journal Center 2, Unit 2
 ALBUQUERQUE, NM

The Hilltop
 LANDSCAPE ARCHITECTS & CONTRACTORS
 Cont. # 26458
 7908 Edith N.E.
 Albuquerque, NM 87184
 Ph (505) 898-8580
 Fax (505) 888-7757
 amd@hilltoplandscaping.com

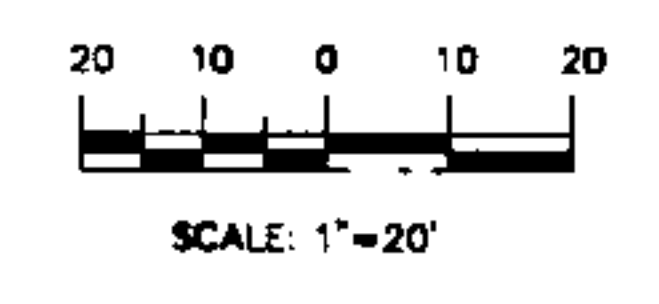
PLANT LEGEND

- DERINDA ASH (M) 24
Fraxinus spp.
2" Cal.
- REDBUD (M) 18
Cercia spp.
2" Cal.
- AUSTRIAN PINE (M) 2
Pinus nigra
6"-8"
- WASHINGTON HAWTHORN (M) 9
Crataegus phaenopyrum
16 Gal.
- SILVERBERRY (M) 50 5000
Elaeagnus pungens
5 Gal. 100 sf
- BUTTERFLY BUSH PURPLE (M) 20
Buddleia davidii
5 Gal. 100sf
- BUTTERFLY BUSH YELLOW (M)
Buddleia davidii
5 Gal. 100sf 300
- RED YUCCA (L) 3
Hesperaloe parviflora 27
5 Gal. 9sf
- REGAL MIST (M) 4 36
Muhlenbergia capillaris
5 Gal. 9sf
- CRIMSON PIGMY BARBERRY (M) 5
Berberis thunbergii 'Atropur. Nana'
5 Gal. 4sf 20

COLOR SCHEME
 Building D-PINK
 Building A-RUST Building E-SAGE
 Building B-BLUE Building F-YELLOW
 Building C-RED Building G-PURPLE
 FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

- RUSSIAN SAGE (M) 2
Perovskia atriplicifolia
5 Gal. 36sf
- REGAL MIST (L) 26
Muhlenbergia capillaris
5 Gal. 9sf
- THREE-LEAF SUMAC (L) 2
Rhus trilobata
5 Gal. 36sf 72
- BIRD OF PARADISE (L) 3
Atropa X povia caerulea
5 Gal. 100sf 300
- POWIS CASTLE SAGE (L) 175
Artemisia X povia caerulea
5 Gal. 10sf 1750
- BLUE AVENA (M) 6
Helictotrichon sempervirens
5 Gal. 4 sf 24
- SCOTCH BROOM (L) 9
Cytisus scoparius
5 Gal. 16sf 144
- WOOLLY LAMBS EAR (L) 5
Stachys byzantina
5 Gal. 25sf
- APACHE PLUME (L) 1086
Fallugia paradoxa
5 Gal. 18sf
- BLUE MIST SPIREA (M)
Compositis clandestina
5 Gal. 9sf
- LENAS BROOM (M) 90
Gentia hispanica
5 Gal. 9sf
- ROSEMARY (M) 118026
Rosmarinus officinalis
5 Gal. 9sf
- POTENTILLA (M) 15
Potentilla fruticosa
2 Gal. 2 sf
- AUTUMN SAGE (M) 7
Salvia Greggii
2 Gal. 16sf 63
- LAVENDER (M) 64
Lavandula angustifolia
1 Gal. 9sf
- PURPLE CONEFLOWER 25
Echinacea purpurea
1 Gal. 10sf 25
- PINK ICE PLANT 3
Delosperma cooperi
1 Gal. 4sf 12
- YELLOW ICE PLANT 1
Delosperma nubigenum
1 Gal. 4sf 4
- BLUE RESCUE (M) 14
Festuca ovina glauca
5 Gal. 2sf29
- AUTUMN JOY SEDUM (L) 19
Sedum telephium
5 Gal. 4sf 76
- GUARA (L) 26
Guara lindheimeri
5 Gal. 16sf 416
- DELPHINIUM (M) 9
Delphinium bellaeag
5 Gal. 4sf
- SANTOLINA (M) 25
Santolina serratifolia
5 Gal. 2 sf 50
- GREYLEAF COTONEASTER
Cotoneaster buxifolia
5 Gal. 81sf 1065
Symbol indicates 3 plants
- SANTA ANA TAN GRAVEL WITH FILTER FABRIC

GRAPHIC SCALE



LANDSCAPE CALCULATIONS

TOTAL LOT AREA	3.17 ac	138752	square feet
TOTAL BUILDINGS AREA		38358	square feet
OFFSITE AREA		0	square feet
NET LOT AREA		100393	square feet
LANDSCAPE REQUIREMENT		15X	
TOTAL LANDSCAPE REQUIREMENT		15058	square feet
TOTAL BED PROVIDED		25537	square feet
GROUNDCOVER REQ.		75%	square feet
TOTAL GROUNDCOVER REQUIREMENT		11275	square feet
TOTAL GROUNDCOVER PROVIDED		22025	square feet



DATE: 10-21-2004
 SHEET TITLE: LANDSCAPE PLAN
 SHEET NO: L-1

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME The Chapman Companies
 AGENT DORIAN BREEN
 ADDRESS 10305 Timon Pl NW
 PROJECT & APP # 1003782/04DRB01773
 PROJECT NAME Journal Center 2

\$ 20.00 441032/3424000 Conflict Management Fee
 \$ 385.00 441006/4983000 DRB Actions
 \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
 \$ _____ 441018/4971000 Public Notification
 \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study
 \$ 405.00 TOTAL AMOUNT DUE

*****NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

11/16/2004 11:52AM LOC ANN
 X
 RECEIPT# 00034701 WSH 007 TRANS# 0018
 Account 441006 Fund 0110
 Activity 4983000 TRSLJS
 Trans Amt \$405.00
 J24 Misc \$385.00
 VI \$405.00
 CHANGE \$0.00
 Counterreceipt.doc 6/21/04

City Of Albuquerque
 Treasury Division

City Of Albuquerque
 Treasury Division

11/16/2004 11:51AM LOC: ANN
 X
 RECEIPT# 00034700 WSH 007 TRANS# 0018
 Account 441323 Fund 0000
 Activity 3424000 TRSLJS
 Trans Amt \$405.00
 J24 Misc \$20.00

Thank You

Thank You