

- UTILITY LEGEND**
- UTILITY PEDESTAL
 - SANITARY SEWER MANHOLE
 - CENTERLINE MONUMENT
 - WATER METER
 - WATER VALVE
 - FIRE HYDRANT
 - TELEPHONE MANHOLE
 - POLE MOUNTED LIGHT FIXTURE 20' HIGH, "LITHONIA" OR EQUAL, MODEL KAD, FLAT LENSED SQUARE.
- PAVEMENT LEGEND**
- CONCRETE
 - COLORED CONCRETE
 - ASPHALT PAVEMENT
 - LANDSCAPE PLANTER AREAS (NO HATCH)
 - DESIGNATED WHEELCHAIR ROUTE, 2X MAX. X-SLOPE

PROPOSED ELECTRICAL TRANSFORMER

NEIGHBOR PARCEL VACANT

NEIGHBOR PARCELS VACANT

NEIGHBOR PARCELS VACANT

BLDG. A
GROSS AREA = 4,171 S.F.
Phase 1
Office Use

BLDG. B
GROSS AREA = 2,602 S.F.
Phase 1
Office Use

BLDG. C
GROSS AREA = 4,785 S.F.
Phase 1
Office Use

BLDG. D
GROSS AREA = 6,297 S.F.
Phase 2
Office Use

BLDG. E
GROSS AREA = 6,031 S.F.
Phase 2
Office Use

BLDG. F
GROSS AREA = 6,138 S.F.
Future Bldg
Office Use

BLDG. G
GROSS AREA = 8,450 S.F.
Future Bldg
Office Use

LOT 14
NET BUILDING AREA: 9,984 S.F.
PARKING (RATIO): 55 (1:182)

LOT 13
NET BUILDING AREA: 11,272 S.F.
PARKING (RATIO): 59 (1:191)

LOT 12
NET BUILDING AREA: 13,444 S.F.
PARKING (RATIO): 66 (1:204)

MASTER SITE PLAN
SCALE: 1" = 20'

PROJECT NO. 1003782	DATE: 12-29-04
APPLICATION NO. 04-10773	DATE: 12/29/04
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? [] YES [X] NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPROVAL:	
TRAFFIC ENGINEER: <i>Bradley A. Bingham</i>	DATE: 12/29/04
UTILITY DEVELOPMENT DIVISION <i>Christina Sandoval</i>	DATE: 12/1/04
CITY ENGINEER <i>Kell Cook</i>	DATE: 12-29-04
ENVIRONMENTAL HEALTH (CONDITIONAL) DATE: <i>Michael Holton</i>	DATE: 1-10-05
SOLID WASTE MANAGEMENT <i>Maureen</i>	DATE: 12/29/04

PROJECT DATA

LEGAL DESCRIPTION:
LOTS 12, 13 & 14 JOURNAL CENTER 2, UNIT 2, BERNALILLO COUNTY, ALBUQUERQUE NEW MEXICO.

ZONE ATLAS: D-17-Z
ZONE CLASSIFICATION: IP
LAND USE DATA
COMBINED LOT AREA: 3.17 AC (137,904 SQ.FT.)
COMBINED BUILDING FLOOR AREAS: 34,700 SQ.FT., 25%
NET LOT AREA: 103,204 SQ.FT., 75%
LANDSCAPE AREA PROVIDED: SEE LANDSCAPE PLAN

OFFSTREET PARKING REQUIREMENTS-
NET LEASEABLE AREA = 34,700 SQ.FT.
OFFICE USE --
REQUIRED PARKING STALLS = 174 STALLS REQ'D @ 1:200 SQ.FT.

PROVIDED PARKING STALLS = 180 STALLS,
INCLUDES 8 REQ'D ACCESSIBLE SPACES PLUS 4 VAN ACCESSIBLE STALLS

REQUIRED & PROVIDED BICYCLE PARKING = 8 SPACES

SITE LIGHTING: SHALL BE PROVIDED BY SHIELDED BUILDING MOUNTED WALL FIXTURES AND SHIELDED 20' POLE LIGHTS.

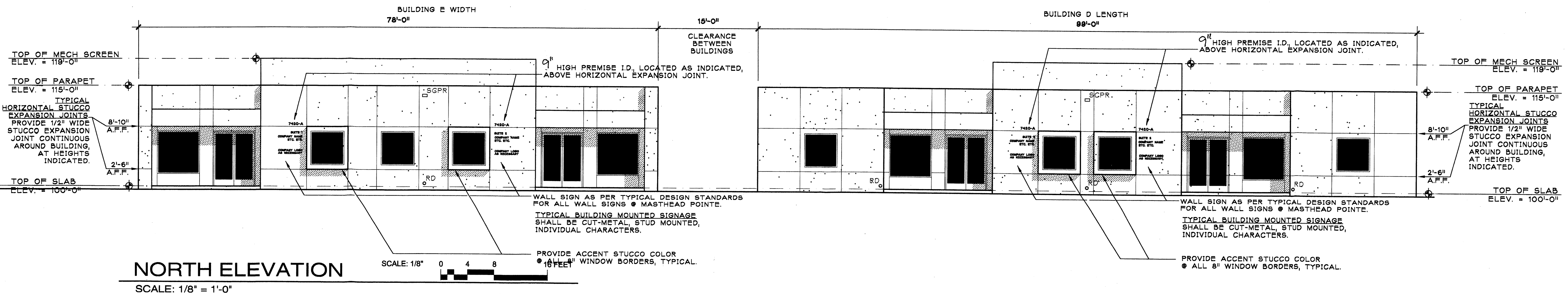
SIGNAGE: A MONUMENT SIGN SHALL BE PROVIDED AT ALL BARTLETT STREET CURB RETURN ENTRANCES. INDIVIDUAL WALL MOUNTED BUILDING SIGNS SHALL BE PROVIDED AT EACH BUSINESS ENTRANCE, AS INDICATED ON BUILDING ELEVATIONS.

DORMAN and BREEN
LAURENCE BREEN F.A.I.A.
SANTA FE, NM 505-982-9196

RICHARD DORMAN F.A.I.A.
ALBUQUERQUE, NM 505-299-5940

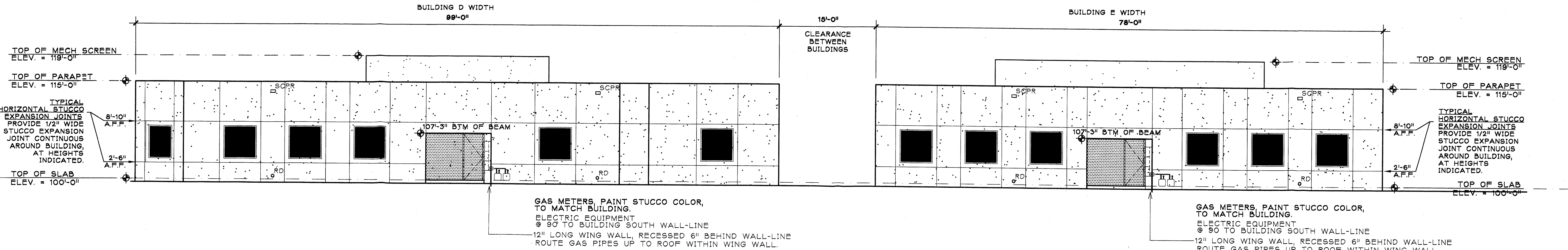
Masthead Pointe
Lots 12, 13 & 14
Journal Center 2, Unit 2
ALBUQUERQUE, NM

C-1.1
2 OF 25



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

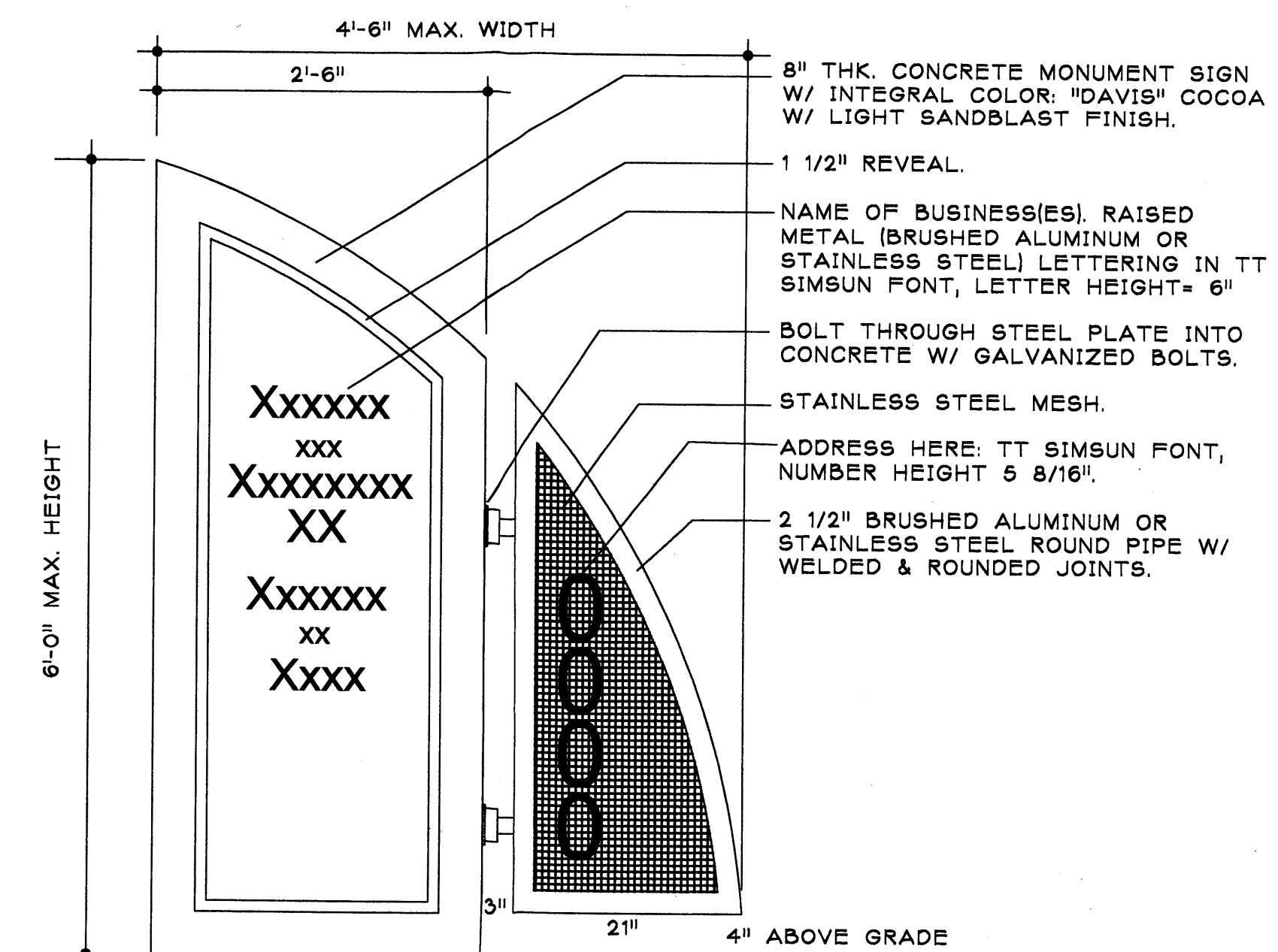
GENERAL NOTES

TYPICAL BUILDING MATERIALS & COLORS ARE AS FOLLOWS:

- [A] PRIMARY STUCCO COLOR & TEXTURE: "STO" AUTUMN WHEAT # 01612, W/ 282B3 COURSE/WORMY-LIKE TEXTURE. PROVIDE THIS COLOR ON ALL BUILDING WALLS, ... EXCEPT AT EXTERIOR FACE OF MECHANICAL SCREENS & AT 8" WIDE RECESSED WINDOW SURROUNDS & AT PROTRUDING BOX WINDOWS; THESE SURFACES SHALL BE FINISHED WITH ACCENT STUCCO COLORS, ONE UNIQUE COLOR PER BUILDING.
- [B] BUILDING D - ACCENT STUCCO COLOR & TEXTURE: "STO" # 33202, W/ 281B3 COURSE TEXTURE. PROVIDE AT EXTERIOR FACE OF MECHANICAL SCREENS & AT 8" WIDE RECESSED WINDOW SURROUNDS & AT PROTRUDING BOX WINDOWS
- [C] BUILDING E - ACCENT STUCCO COLOR & TEXTURE: "STO" # 21309, W/ 281B3 COURSE TEXTURE. PROVIDE AT EXTERIOR FACE OF MECHANICAL SCREENS & AT 8" WIDE RECESSED WINDOW SURROUNDS & AT PROTRUDING BOX WINDOWS
- [D] ALUMINUM STOREFRONT SYSTEMS: PROVIDE "KAWNEER" TRIFAB VG451 INSULATED GLASS SYSTEM AT ALL EXTERIOR DOORS & WINDOWS. ALUMINUM FRAME COLOR SHALL BE MEDIUM BRONZE FLUOROPON FINISH OR ANODIZED BRONZE. ALL GLAZING SHALL BE "LOF" BRONZE TINT.

GENERAL NOTES

- TYPICAL BUILDING MATERIALS & COLORS ARE AS FOLLOWS:
- [A] PRINCIPAL STUCCO COLOR: "STO" # 10612, W/ COURSE TEXTURE. PROVIDE THIS COLOR ON ALL BUILDING WALLS, EXCEPT AT WINDOW BORDERS & MECHANICAL SCREEN.
- [B] ACCENT STUCCO COLOR & TEXTURE: EACH OF THE SEVEN BUILDINGS WILL BE ACCENTED WITH ONE OF THE FOLLOWING COLORS: "STO" 20709, 21109, 21309, 21509, 32202, 33202. EACH COLOR SHALL BE W/ MDM SAND TEXTURE. PROVIDE THIS COLOR ON ALL BUILDING 8"-WIDE WINDOW PERIMETER BORDERS & MECHANICAL SCREEN WALLS.
- [C] ALUMINUM STOREFRONT SYSTEMS: PROVIDE "KAWNEER" TRIFAB VG451 INSULATED GLASS SYSTEM AT ALL EXTERIOR DOORS & WINDOWS. ALUMINUM FRAME COLOR SHALL BE ANODIZED FINISH OR MEDIUM BRONZE FLUOROPON FINISH. ALL GLAZING SHALL BE "LOF" BRONZE TINT.



**TYPICAL MONUMENT SIGN
6' HIGH X 4'6" WIDE**

SIGNAGE NOTES

[] REFERENCE JOURNAL CENTER 2 SIGNAGE STANDARDS & REQUIREMENTS. ALL MONUMENT SIGNS SHALL COMPLY WITH THE JC-2 STANDARDS. PROVIDE ONE MONUMENT SIGN, LOCATE AS NOTED IN SITE PLAN.

DORMAN and BREEN

LAURENCE BREEN A.I.A.
SANTA FE, NM 505-982-9196

R + B

RICHARD DORMAN F.A.I.A.
ALBUQUERQUE, NM 505-299-5940

Masthead Pointe @ Journal Center 2
Building Shells
3820, 3860 Masthead St. N.E.
Lot 13, Journal Center 2, Unit 2
ALBUQUERQUE, NM

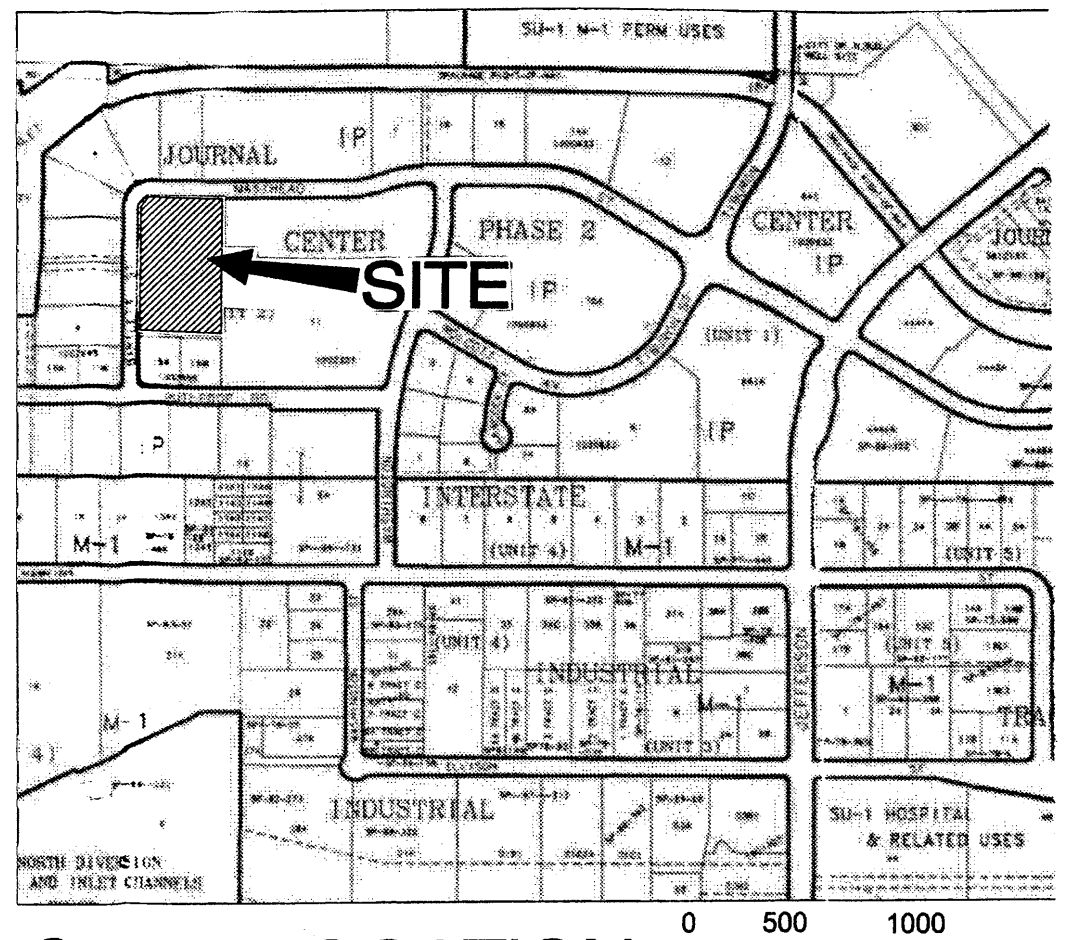
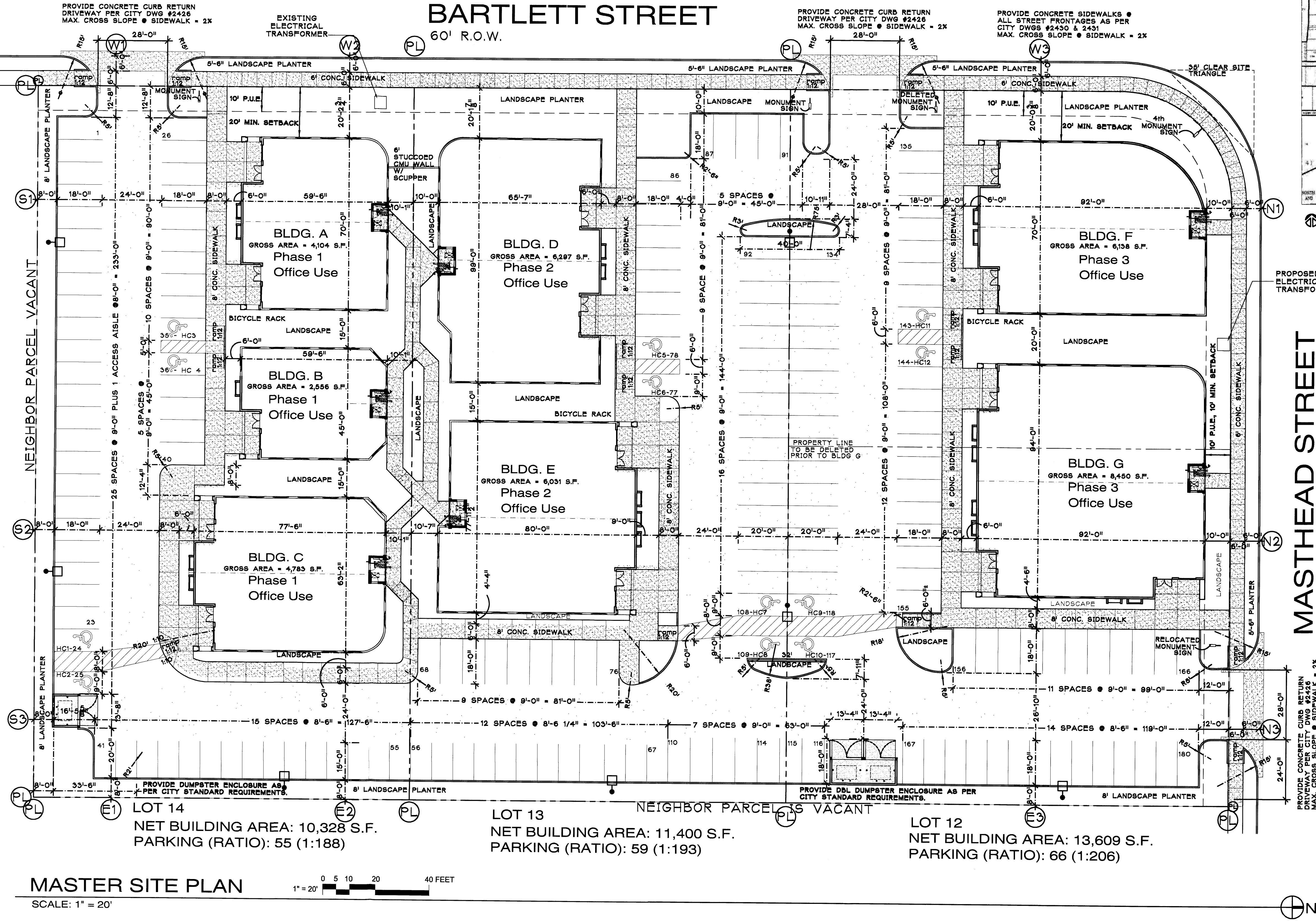
SHEET TITLE:
BUILDING ELEVATIONS

JOB NUMBER:
0505-6

DATE:
5/31/05

REVISIONS:	DATE:
PERMIT PLAN REVIEW	5/31/05
PRELIMINARY I.P.	8/15/04

SHEET:
A-2.1
8 OF 25



UTILITY LEGEND

- UTILITY PEDESTAL
- SANITARY SEWER MANHOLE
- CENTERLINE MONUMENT
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- TELEPHONE MANHOLE
- POLE MOUNTED LIGHT FIXTURE
20' HIGH, "LITHONIA" OR EQUAL,
MODEL KAD, FLAT LENSED SQUARE.

PAVEMENT LEGEND

- CONCRETE
- COLORED CONCRETE
- ASPHALT PAVEMENT
- LANDSCAPE PLANTER AREAS (NO HATCH)
- DESIGNATED WHEELCHAIR ROUTE, 2% MAX. X-SLOPE

PROPOSED ELECTRICAL TRANSFORMER

PROVIDE CONCRETE CURB RETURN DRIVEWAY PER CITY DWG #2426 MAX. CROSS SLOPE SIDEWALK = 2%

PROVIDE CONCRETE SIDEWALKS ALL STREET FRONTS AS PER CITY DWGS #2430 & 2431 MAX. CROSS SLOPE SIDEWALK = 2%

PROVIDE CONCRETE CURB RETURN DRIVEWAY PER CITY DWG #2426 MAX. CROSS SLOPE SIDEWALK = 2%

PROVIDE CONCRETE CURB RETURN DRIVEWAY PER CITY DWG #2426 MAX. CROSS SLOPE SIDEWALK = 2%

PROVIDE DBL DUMPSTER ENCLOSURE AS PER CITY STANDARD REQUIREMENTS.

PROVIDE DBL DUMPSTER ENCLOSURE AS PER CITY STANDARD REQUIREMENTS.

PROVIDE CONCRETE CURB RETURN DRIVEWAY PER CITY DWG #2426 MAX. CROSS SLOPE SIDEWALK = 2%

AMENDMENT TO:
SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT

DBS ADMINISTRATION
SITE PLAN AMENDMENT
PROJECT NO. 1003782
APPLICATION NO. 06-AA-00009

PLANNING DIRECTOR 1/6/06 DATE

MASTER SITE PLAN
SCALE: 1" = 20'

PROJECT DATA

LEGAL DESCRIPTION: LOTS 12, 13 & 14 JOURNAL CENTER 2, UNIT 2, BERNALILLO COUNTY, ALBUQUERQUE NEW MEXICO.	OFFSTREET PARKING REQUIREMENTS- NET LEASEABLE AREA = 35,337 SQ.FT OFFICE USE -- REQUIRED PARKING STALLS = 177 STALLS REQD @ 1:200 SQ.FT.	SITE LIGHTING: SHALL BE PROVIDED BY SHIELDED BUILDING MOUNTED WALL FIXTURES AND SHIELDED 20' POLE LIGHTS.
ZONE ATLAS: D-17-Z ZONE CLASSIFICATION: 1P LAND USE DATA COMBINED LOTS AREA: 3.17 AC (137,904 SQ.FT.) COMBINED BUILDING FLOOR AREAS: 35,337 SQ.FT., 26% NET LOT AREA: 102,567 SQ.FT., 74% LANDSCAPE AREA PROVIDED: SEE LANDSCAPE PLAN	PROVIDED PARKING STALLS = 180 STALLS, INCLUDES 8 REQ'D ACCESSIBLE SPACES PLUS 4 VAN ACCESSIBLE STALLS	SIGNAGE: A MONUMENT SIGN SHALL BE PROVIDED AT ALL BARTLETT STREET CURB RETURN ENTRANCES. INDIVIDUAL WALL MOUNTED BUILDING SIGNS SHALL BE PROVIDED AT EACH BUSINESS ENTRANCE, AS INDICATED ON BUILDING ELEVATIONS.
REQUIRED & PROVIDED BICYCLE PARKING = 8 SPACES		

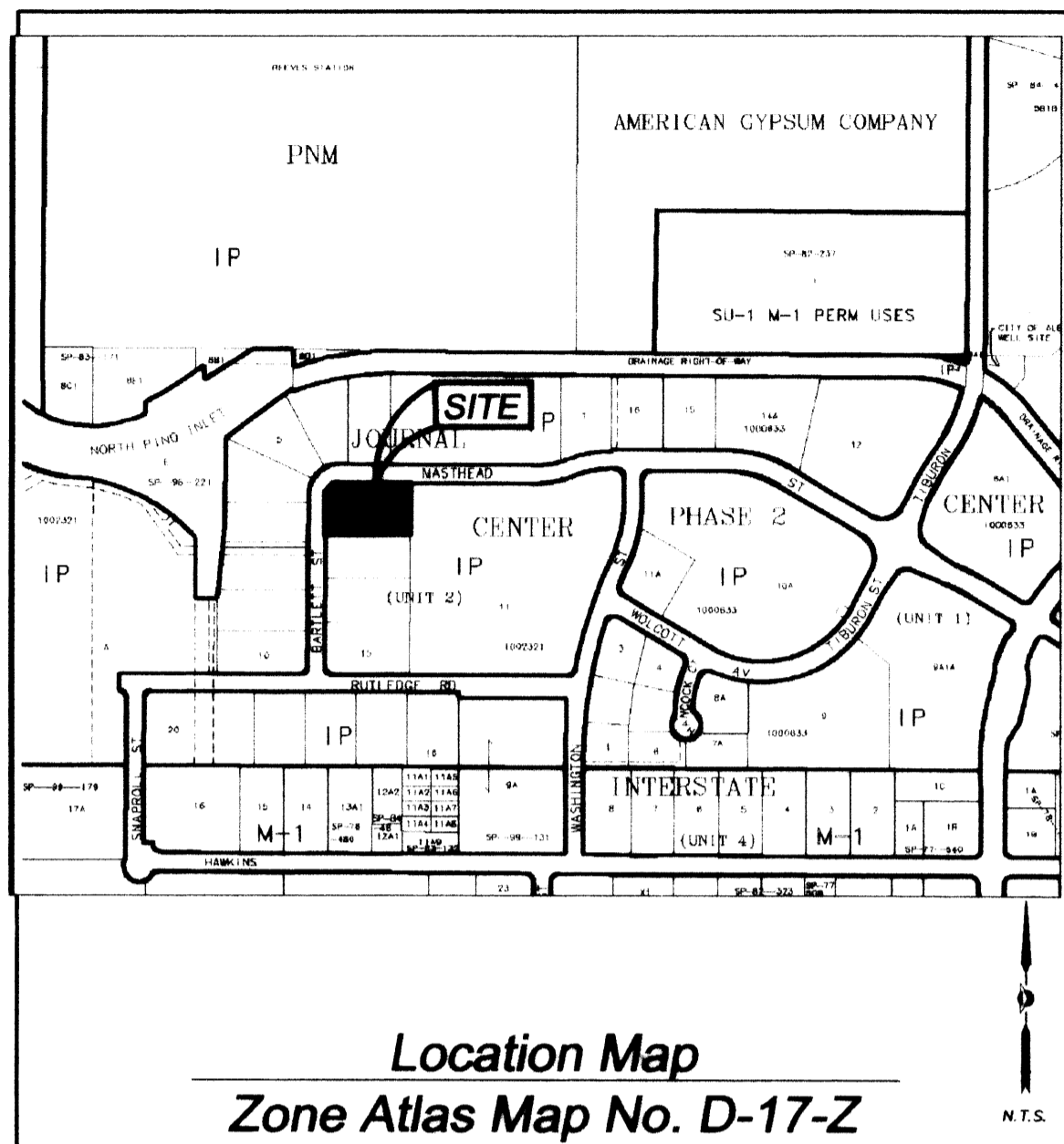
PROJECT NO.	
APPLICATION NO.	
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? (YES/LV/NO). IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS. DRB SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPROVAL:	
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE:
UTILITY DEVELOPMENT DIVISION	DATE:
PARKS RECREATION	DATE:
CITY ENGINEER	DATE:
ENVIRONMENTAL HEALTH (CONDITIONAL)	DATE:
SOLID WASTE MANAGEMENT	DATE:
DRB CHAIRPERSON, PLANNING DEPT.	DATE:

Masthead Pointe
Lots 12a, 12b, 13 & 14
Journal Center 2, Unit 2
ALBUQUERQUE, NM

DORMAN and BREEN
RICHARD DORMAN F.A.I.A.
ALBUQUERQUE, NM 505-299-5940

LAURENCE BREEN A.I.A.
SANTA FE, NM 505-982-9196

SHEET TITLE:	SITE PLAN
JOB NUMBER:	0507
DATE:	1/3/06
REVISIONS:	
CITY ENGINEER:	
ENVIRONMENTAL HEALTH (CONDITIONAL):	
SOLID WASTE MANAGEMENT:	
DRB CHAIRPERSON, PLANNING DEPT.:	
SHEET:	C-1.1



Location Map
Zone Atlas Map No. D-17-Z

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 1.1644 ACRES±
 ZONE ATLAS INDEX NO: D-17-Z
 NO. OF TRACTS CREATED: 0
 NO. OF LOTS CREATED: 1
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: DECEMBER 2004

N.G.S. MONUMENT "REEVES 2"
 STANDARD U.S.C.&G.S. BRASS TABLE
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1927)
 X=394,062.657
 Y=1,516,507.279
 TRIM: =5074.0 (N.A.V.D. 19'19")
 GROUND TO GRID FACTOR=0.99987022
 DELTA ALPHA ANGLE=NOT PUBLISHED

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO LOTS INTO ONE NEW LOT AND VACATE EASEMENTS.

Notes:

- MISC. DATA: ZONING IP
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2004502364
- FIELD MEASUREMENTS MATCH RECORD BEARINGS AND DISTANCES.

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN, NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

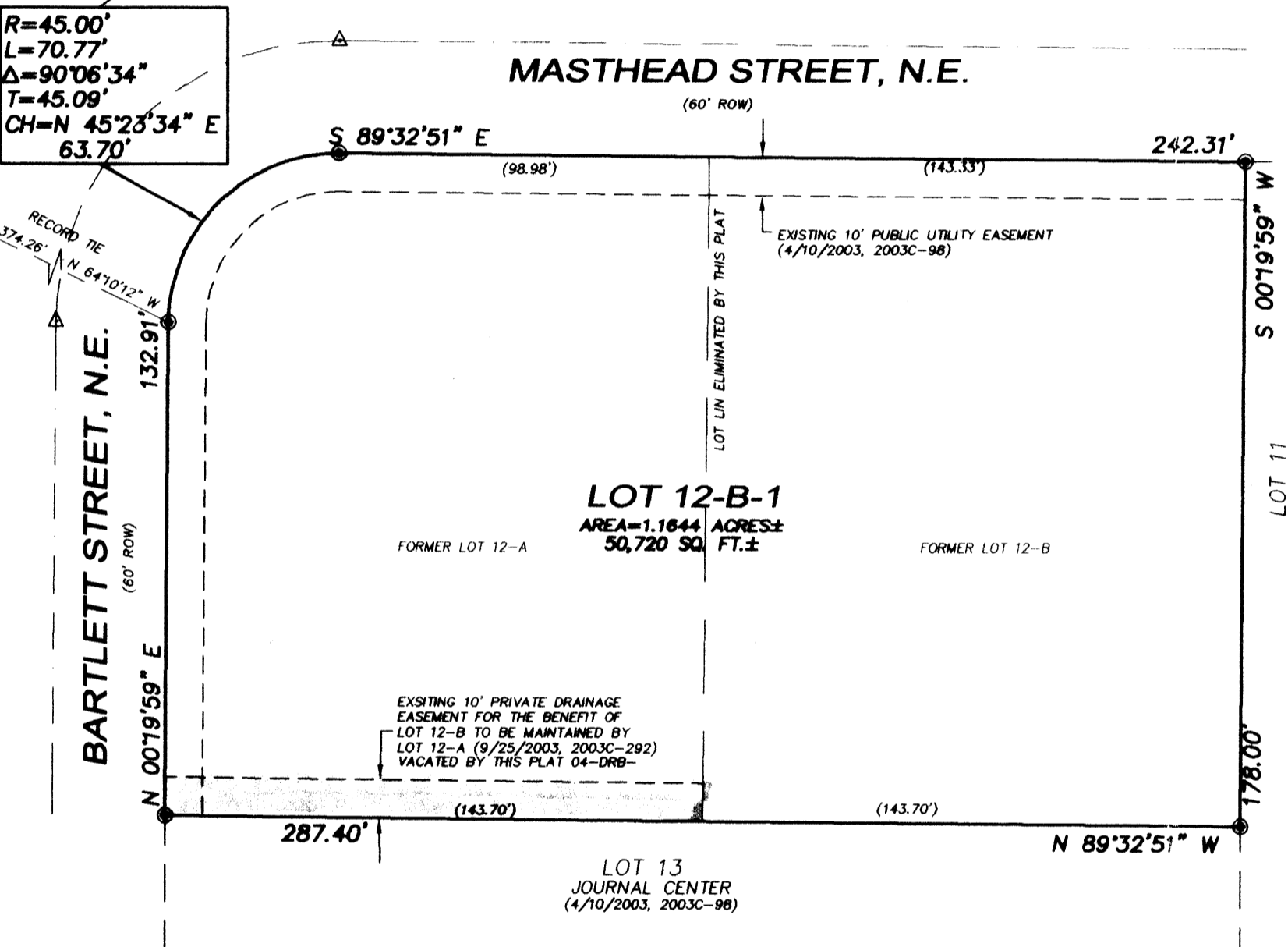
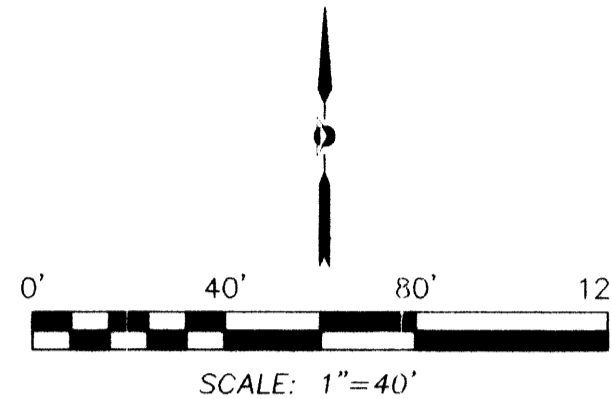
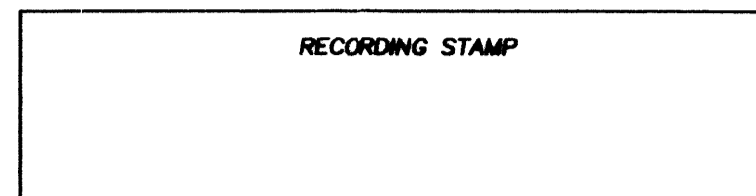
IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, NEW MEXICO, COMPRISING OF LOTS 12-A AND 12-B, JOURNAL CENTER PHASE 2, UNIT 2, CONTAINING 1.1644 ACRES (50,720 SQUARE FEET), MORE OR LESS, NOW COMPRISING LOT 12-B-1, JOURNAL CENTER, PHASE 2, UNIT 2.

Legend

- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND REBAR WITH YELLOW PLASTIC CAP "LS 6544"
- ▲ FOUND ALUMINUM CENTERLINE MONUMENT "LS 6544"



Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

Michael B. Chapman
 MICHAEL B. CHAPMAN, PRESIDENT
 WALTON CHAPMAN BUILDERS COMPANY, INC.
 A NEW MEXICO CORPORATION

12/10/04
 DATE

Acknowledgment

STATE OF NEW MEXICO) SS
 COUNTY OF SANTA FE)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 10 DAY OF December, 2004 BY MICHAEL B. CHAPMAN, PRESIDENT, WALTON CHAPMAN BUILDERS COMPANY, INC., A NEW MEXICO CORPORATION

BY *Larry W. Medrano* MY COMMISSION EXPIRES: 3-10-05
 NOTARY PUBLIC

EXHIBIT B
 Date 12/29/04

Plat of
 Lot 12-B-1

**Journal Center
 Phase 2, Unit 2**

Albuquerque, Bernalillo County, New Mexico
 December 2004

Project No. _____

Application No. _____

Utility Approvals

PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST	DATE
City Approvals	
<i>Larry W. Medrano</i>	12/14/04
CITY SURVEYOR	DATE
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE
UTILITY DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



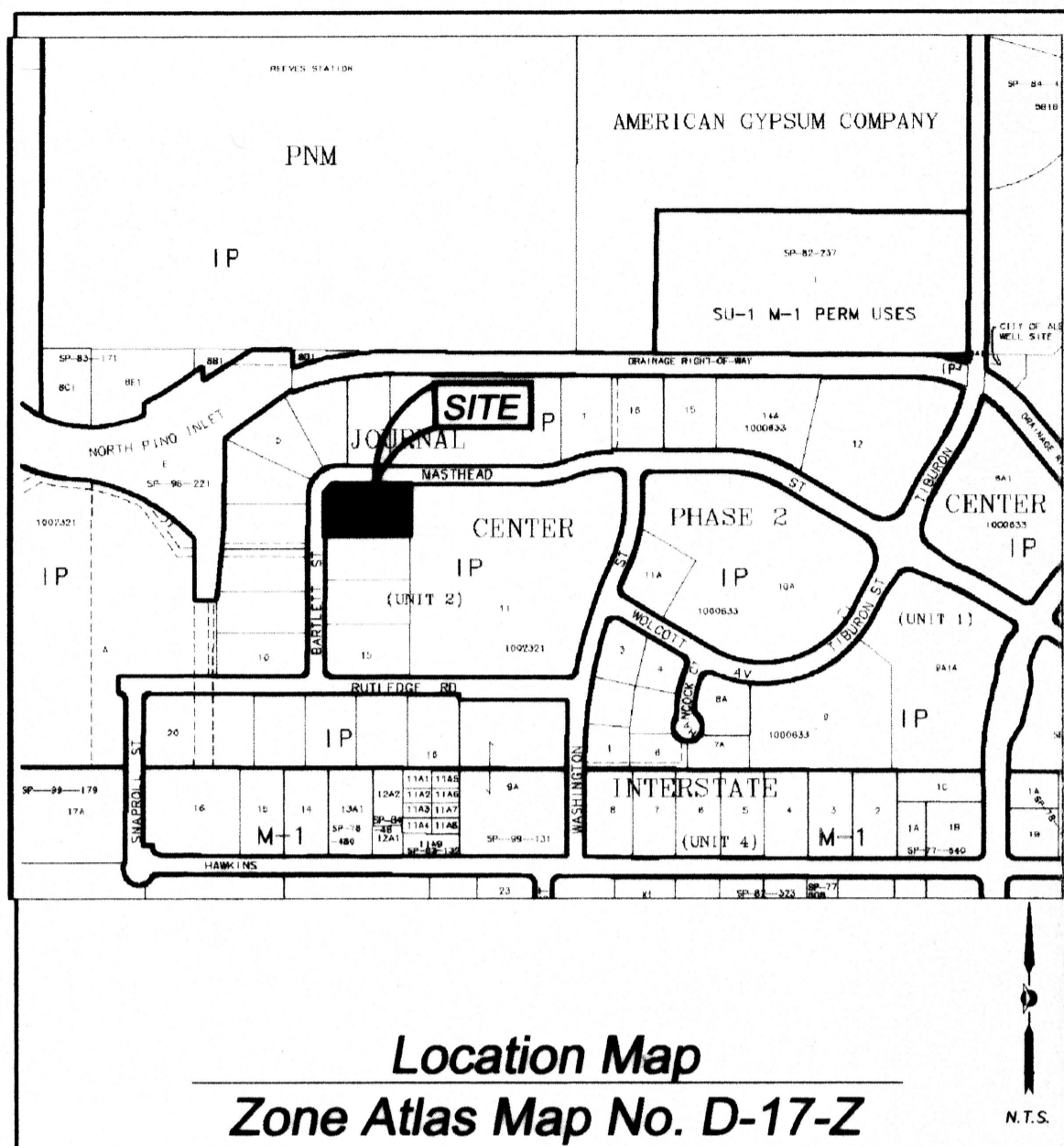
Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 12/10/2004
 LARRY W. MEDRANO
 N.M.P.S. No. 11993
 DATE



PRECISION SURVEYS, INC.
 8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900



Subdivision Data:

GROSS SUBDIVISION ACREAGE: 1.1644 ACRES±
 ZONE ATLAS INDEX NO: D-17-Z
 NO. OF TRACTS CREATED: 0
 NO. OF LOTS CREATED: 1
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: DECEMBER 2004

N.G.S. MONUMENT "REEVES 2"
 STANDARD U.S.C. & G.S. BRASS TABLET
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE - N.A.D. 1927)
 X=394,062.557
 Y=1,516,507.279
 TRNS. = 5074.0 (N.A.V.D. 1929)
 GROUND TO GRID FACTOR=0.99967322
 DELTA ALPHA ANGLE=NOT PUBLISHED

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO LOTS INTO ONE NEW LOT AND VACATE EASEMENTS.

Notes:

- MISC. DATA: ZONING IP
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2004502364
- FIELD MEASUREMENTS MATCH RECORD BEARINGS AND DISTANCES.

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN, NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

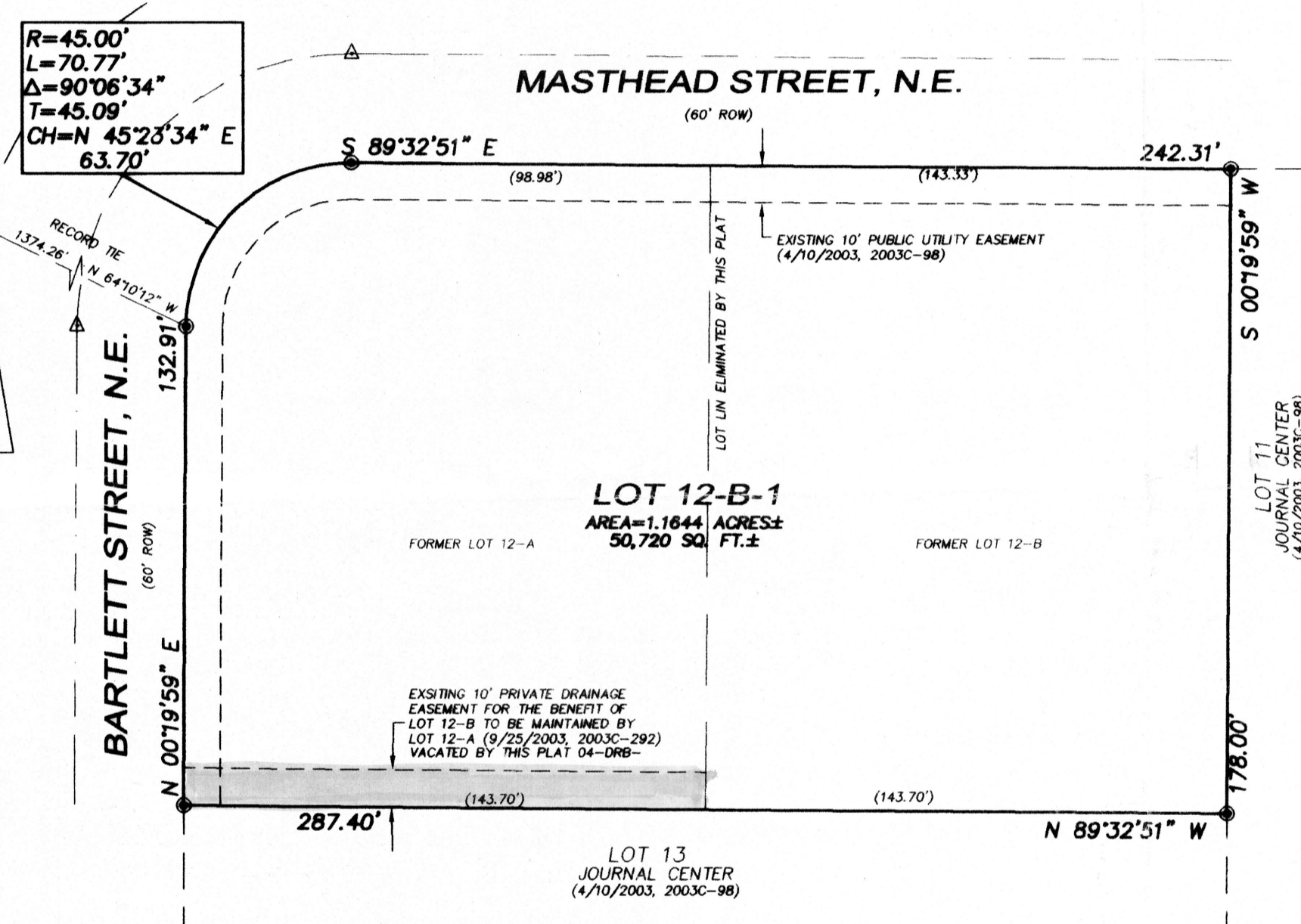
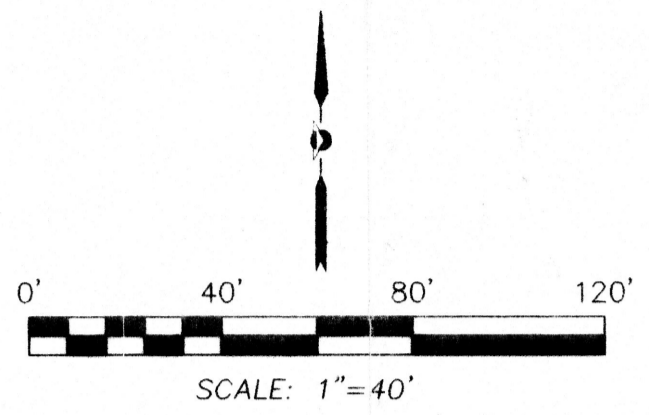
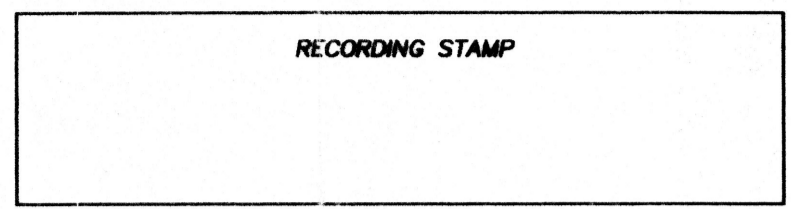
IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY, OF ALBUQUERQUE, NEW MEXICO, COMPRISING OF LOTS 12-A AND 12-B, JOURNAL CENTER PHASE 2, UNIT 2, CONTAINING 1.1644 ACRES (50,720 SQUARE FEET), MORE OR LESS, NOW COMPRISING LOT 12-B-1, JOURNAL CENTER, PHASE 2, UNIT 2.

Legend

- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND REBAR WITH YELLOW PLASTIC CAP "LS 6544"
- ▲ FOUND ALUMINUM CENTERLINE MONUMENT "LS 6544"



Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

Michael B. Chapman 12/10/04
 MICHAEL B. CHAPMAN, PRESIDENT
 WALTON CHAPMAN BUILDERS COMPANY, INC.
 A NEW MEXICO CORPORATION

Acknowledgment

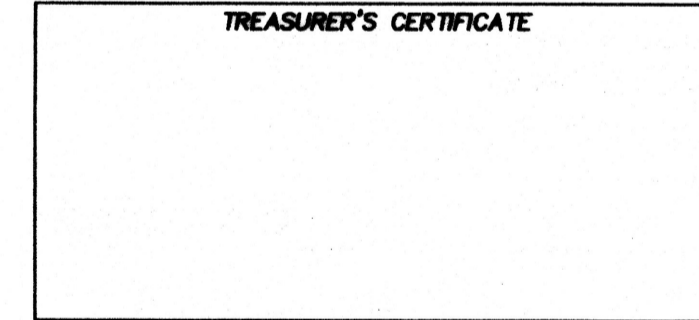
STATE OF NEW MEXICO) SS
 COUNTY OF SANTA FE)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 10 DAY OF DECEMBER, 2004 BY
 MICHAEL B. CHAPMAN, PRESIDENT, WALTON CHAPMAN BUILDERS COMPANY, INC., A NEW MEXICO CORPORATION

BY *[Signature]* MY COMMISSION EXPIRES: 3-10-05
 NOTARY PUBLIC

Plat of
 Lot 12-B-1
**Journal Center
 Phase 2, Unit 2**
 Albuquerque, Bernalillo County, New Mexico
 December 2004

Project No. _____
 Application No. _____
 Utility Approvals

PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST	DATE
City Approvals	
CITY SURVEYOR <i>[Signature]</i>	12/14/04 DATE
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE
UTILITY DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 12/10/2004
 LARRY W. MEDRANO
 N.M.P.S. No. 11993
 DATE

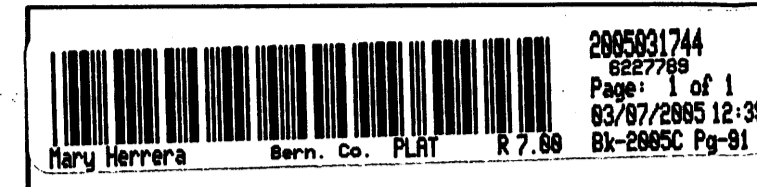


PRECISION SURVEYS, INC.
 8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

Plat of
Lot 12-B-1

Journal Center Phase 2, Unit 2

Albuquerque, Bernalillo County, New Mexico
December 2004

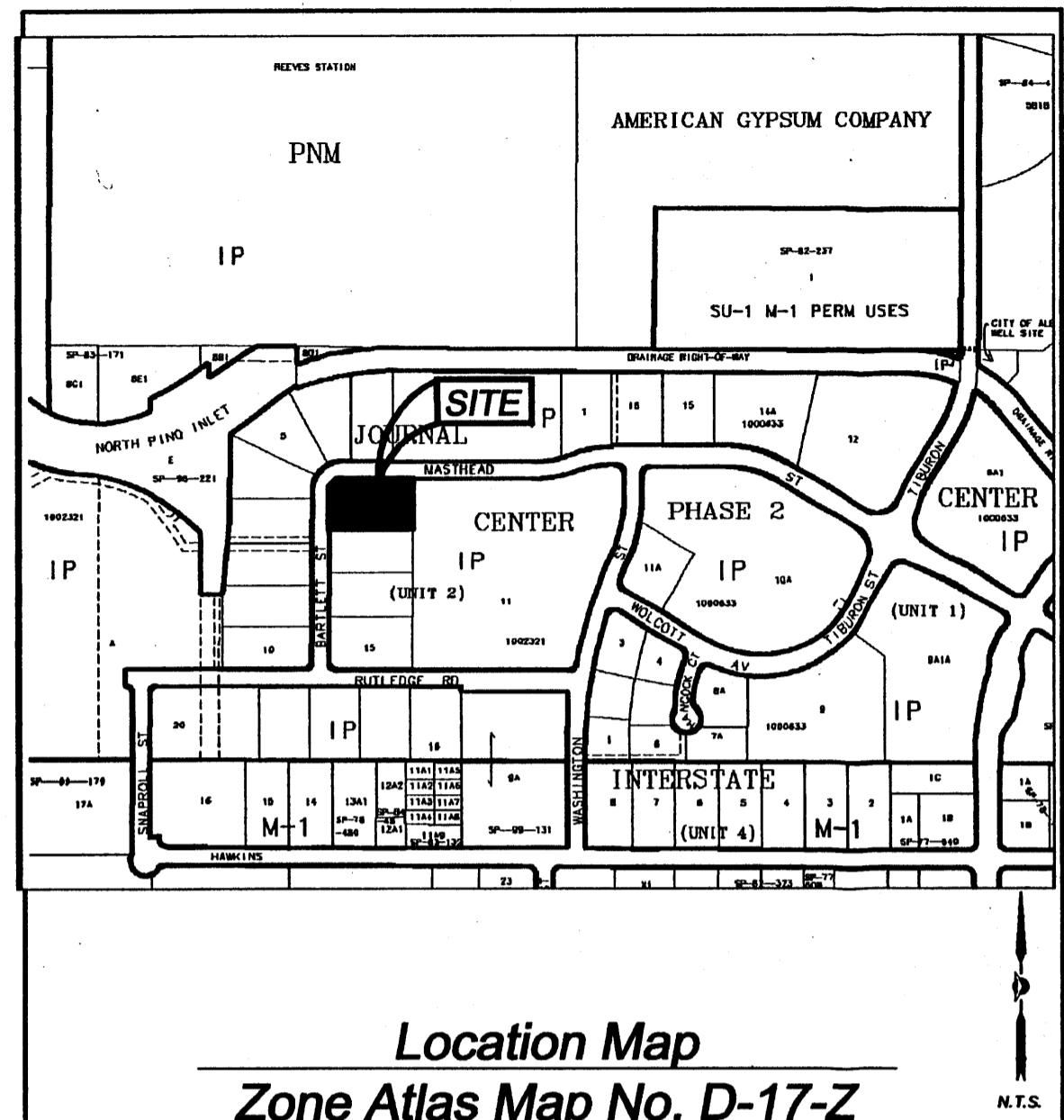
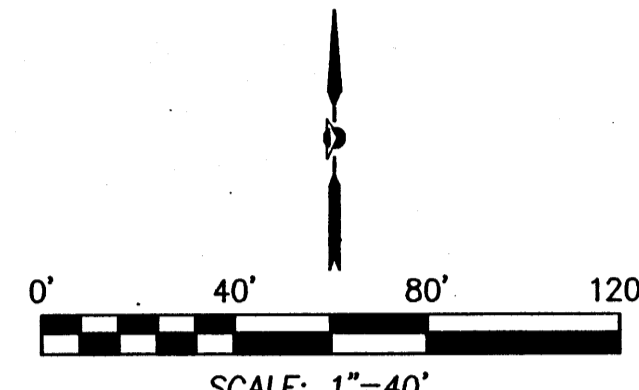


Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, NEW MEXICO, COMPRISING OF LOTS 12-A AND 12-B, JOURNAL CENTER PHASE 2, UNIT 2, CONTAINING 1.1644 ACRES (50,720 SQUARE FEET), MORE OR LESS, NOW COMPRISING LOT 12-B-1, JOURNAL CENTER, PHASE 2, UNIT 2.

Legend

- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND REBAR WITH YELLOW PLASTIC CAP "LS 6544"
- ▲ FOUND ALUMINUM CENTERLINE MONUMENT "LS 6544"



Location Map
Zone Atlas Map No. D-17-Z

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 1.1644 ACRES±
ZONE ATLAS INDEX NO: D-17-Z
NO. OF TRACTS CREATED: 0
NO. OF LOTS CREATED: 1
MILES OF FULL-WIDTH STREETS CREATED: 0
DATE OF SURVEY: DECEMBER 2004

N.G.S. MONUMENT "REEVES 2" STANDARD U.S.C. & G.S. BRASS TABLET (FOUND BY PLACE)
NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE - N.A.D. 1927)
X=394,062.257
Y=1,516,507.279
TRIG. ... 5074.0 (N.A.V.D. 1929)
GROUND TO GRID FACTOR=-0.99967022
DELTA ALPHA ANGLE-NOT PUBLISHED

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO LOTS INTO ONE NEW LOT, AND VACATE EASEMENTS.

Notes:

- MISC. DATA: ZONING IP
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2004502364
- FIELD MEASUREMENTS MATCH RECORD BEARINGS AND DISTANCES.

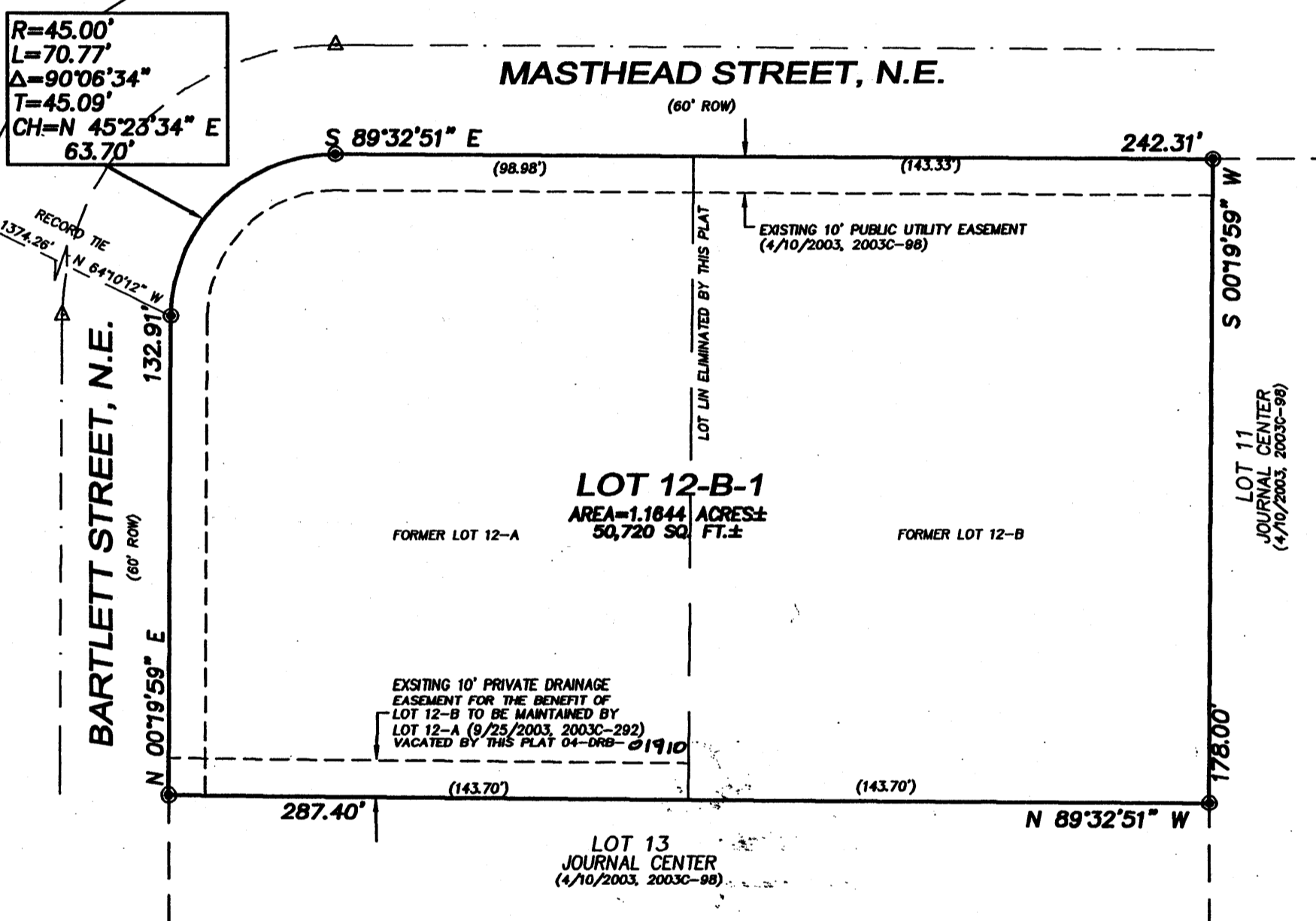
Easements

- THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.
- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 - PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 - QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 - COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

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Michael B. Chapman
MICHAEL B. CHAPMAN, PRESIDENT
WALTON CHAPMAN BUILDERS COMPANY, INC.
A NEW MEXICO CORPORATION
12/10/04
DATE

Acknowledgment

STATE OF NEW MEXICO) SS
COUNTY OF SANTA FE)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 10 DAY OF DECEMBER, 2004 BY MICHAEL B. CHAPMAN, PRESIDENT, WALTON CHAPMAN BUILDERS COMPANY, INC., A NEW MEXICO CORPORATION

BY *[Signature]* MY COMMISSION EXPIRES: 3-10-05
NOTARY PUBLIC

Project No.	1003782
Application No.	04 D&B 01909
Utility Approvals	
<i>Leonard D. Mark</i>	1-4-05
PNM ELECTRIC SERVICES	DATE
<i>Leonard D. Mark</i>	1-4-05
PNM GAS SERVICES	DATE
<i>Daniel R. Muller</i>	1-4-05
QWEST TELECOMMUNICATIONS	DATE
<i>Kevin Burton</i>	1-4-05
COMCAST	DATE
City Approvals	
<i>[Signature]</i>	12-14-04
CITY SURVEYOR	DATE
<i>[Signature]</i>	12-29-04
TRAFFIC/ENGINEERING TRANSPORTATION DIVISION	DATE
<i>Bradley J. Brigham</i>	12/29/04
UTILITY DEVELOPMENT	DATE
<i>Christina Sandoval</i>	12/29/04
PARKS AND RECREATION DEPARTMENT	DATE
<i>Bradley J. Brigham</i>	12/29/04
AMAF	DATE
<i>Bill Davis</i>	12-29-04
CITY ENGINEER	DATE
<i>Aaron Matson</i>	1/04/05
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

TREASURER'S CERTIFICATE
I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

1017065-1022731 30707
1017065-1022731 30707
PROPERTY OWNER OF RECORD:
Walton Chapman Builders Co.
BERNALILLO COUNTY TREASURER'S OFFICE
[Signature] 03-07-05

Surveyor's Certificate

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Larry W. Medrano 12/10/2004
LARRY W. MEDRANO
N.M.P.S. No. 11993
DATE

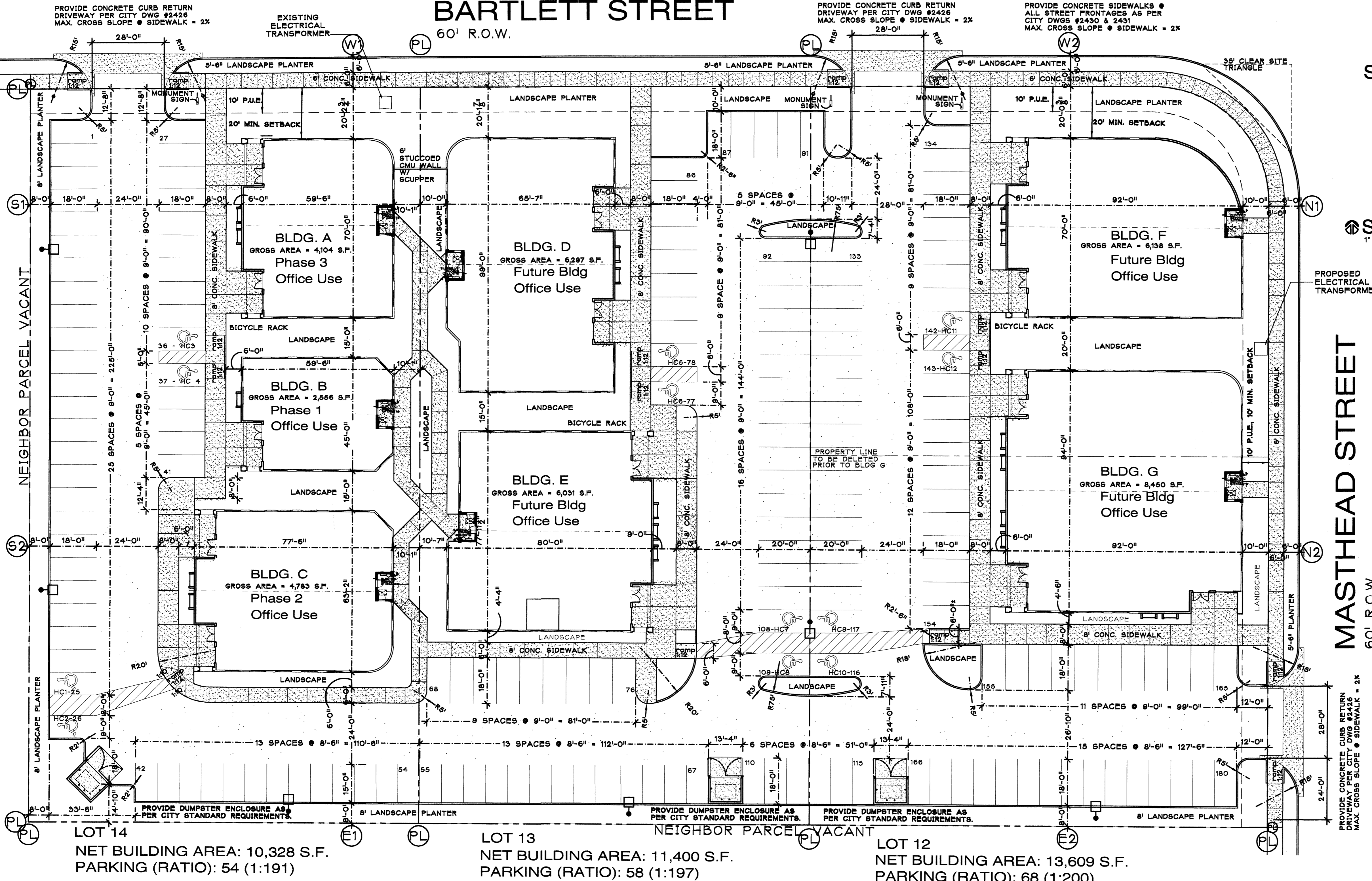


PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

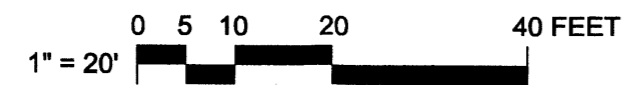
BARTLETT STREET

60' R.O.W.



MASTER SITE PLAN

SCALE: 1" = 20'



PROJECT DATA

LEGAL DESCRIPTION:
LOTS 12a, 12b, 13 & 14 JOURNAL CENTER 2, UNIT 2,
BERNALILLO COUNTY, ALBUQUERQUE NEW MEXICO.

ZONE ATLAS: D-17-Z
ZONE CLASSIFICATION: IP
LAND USE DATA
COMBINED LOTS AREA: 3.17 AC (137,904 SQ.FT.)
COMBINED BUILDING FLOOR AREAS: 35,337 SQ.FT., 26%
NET LOT AREA: 102,567 SQ.FT., 74%
LANDSCAPE AREA PROVIDED: SEE LANDSCAPE PLAN

OFFSTREET PARKING REQUIREMENTS-
NET LEASEABLE AREA = 35,337 SQ.FT.
OFFICE USE --
REQUIRED PARKING STALLS
= 177 STALLS REQ'D @ 1:200 SQ.FT.

PROVIDED PARKING STALLS = 180 STALLS,
INCLUDES 8 REQ'D ACCESSIBLE SPACES
PLUS 4 VAN ACCESSIBLE STALLS

REQUIRED & PROVIDED BICYCLE PARKING =
8 SPACES

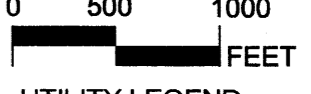
SITE LIGHTING: SHALL BE PROVIDED BY SHIELDED
BUILDING MOUNTED WALL FIXTURES AND SHIELDED
20' POLE LIGHTS.

SIGNAGE: A MONUMENT SIGN SHALL BE PROVIDED
AT ALL BARTLETT STREET CURB RETURN
ENTRANCES. INDIVIDUAL WALL MOUNTED BUILDING
SIGNS SHALL BE PROVIDED AT EACH BUSINESS
ENTRANCE, AS INDICATED ON BUILDING
ELEVATIONS.

SITE

NO 12/16/14
APPROVED BY DRB
PRELIMINARY PLAN

SITE LOCATION



UTILITY LEGEND

- UTILITY PEDESTAL
- SANITARY SEWER MANHOLE
- CENTERLINE MONUMENT
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- TELEPHONE MANHOLE
- POLE MOUNTED LIGHT FIXTURE
20' HIGH, 'LITHONIA' OR EQUAL,
MODEL KAD, FLAT LENSED SQUARE.

PAVEMENT LEGEND

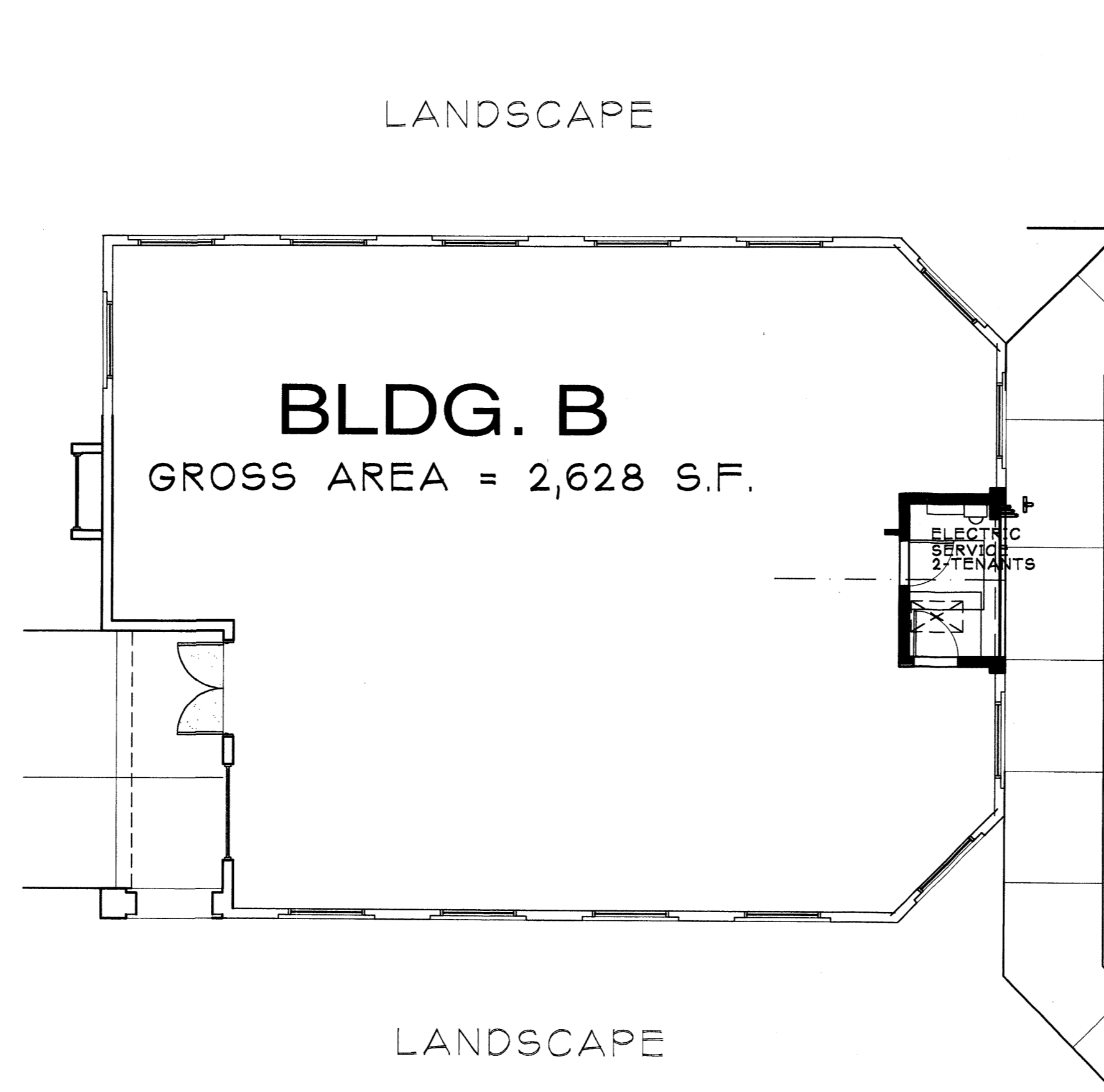
- CONCRETE
- COLORED CONCRETE
- ASPHALT PAVEMENT
- LANDSCAPE PLANTER
AREAS (NO HATCH)
- DESIGNATED WHEELCHAIR
ROUTE, 2X MAX. X-SLOPE

PROJECT NO.	
APPLICATION NO.	
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? (YES/NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS. DRB SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPROVAL:	
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE:
UTILITY DEVELOPMENT DIVISION	DATE:
PARKS RECREATION	DATE:
CITY ENGINEER	DATE:
ENVIRONMENTAL HEALTH (CONDITIONAL)	DATE:
SOLID WASTE MANAGEMENT	DATE:
DRB CHAIRPERSON, PLANNING DEPT.	DATE:

Masthead Pointe
Lots 12a, 12b, 13 & 14
Journal Center 2, Unit 2
ALBUQUERQUE, NM

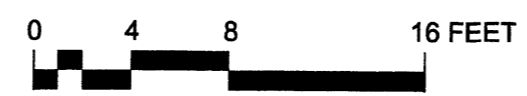
DORMAN and BREEN
LAURENCE BREEN A.I.A.
RICHARD DORMAN F.A.I.A.
ALBUQUERQUE, NM 505-299-5940

SHEET NUMBER:
0422
DATE:
11/16/04
REVISIONS:
ARC p11 DESIGN 8/20/04
SHEET:
C-1.1



FLOOR PLAN

SCALE: 1/8" = 1'



GROSS BUILDING AREA = 2,628 SQ. F.T

R + B **DORMAN and BREEN**
 RICHARD DORMAN F.A.I.A. LAURENCE BREEN A.I.A.
 ALBUQUERQUE, NM 505-299-5940 SANTA FE, NM 505-982-9196

Masthead Pointe
 Lots 12a, 12b, 13 & 14
 Journal Center 2, Unit 2
 ALBUQUERQUE, NM



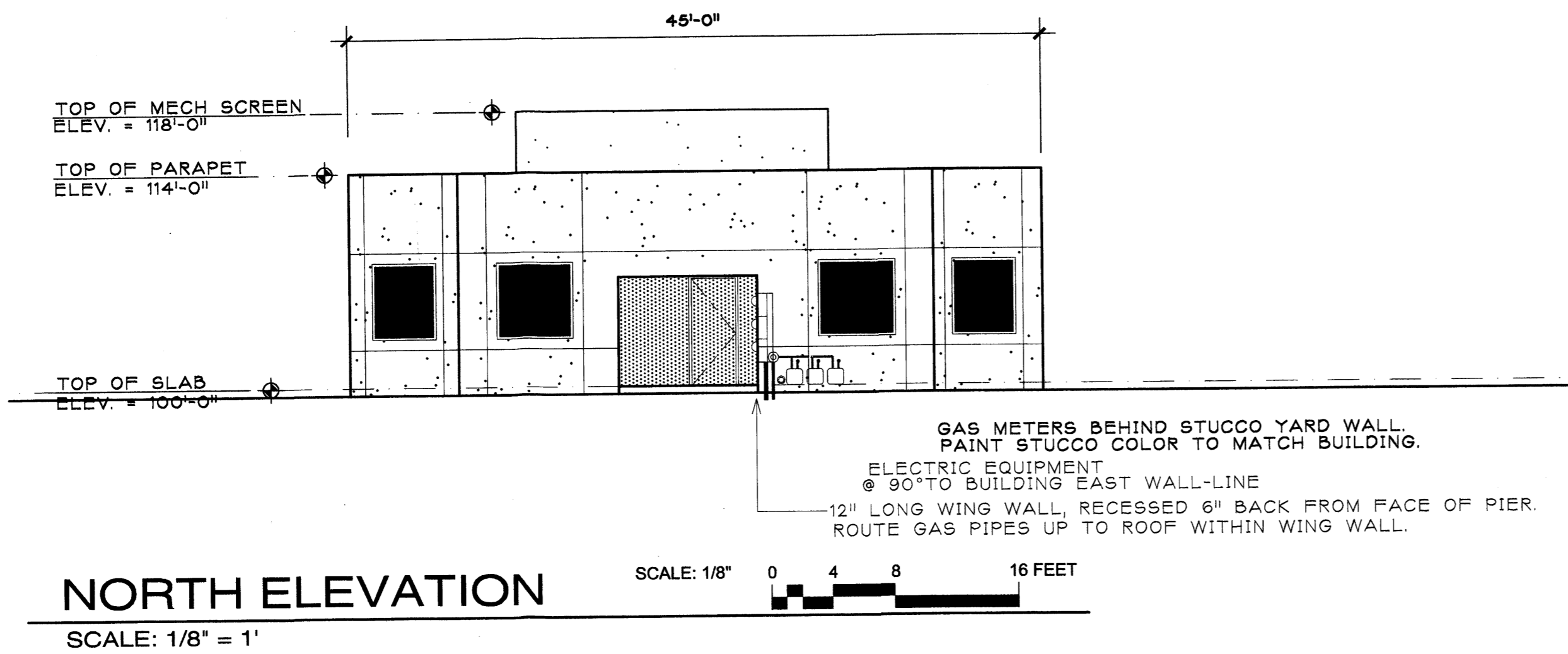
SHEET TITLE:
 FLOOR PLANS:
 MAIN LEVEL
 BASEMENT
 YARD WALL
 DIMENSIONS

JOB NUMBER:
 0422

DATE:
 11/16/04

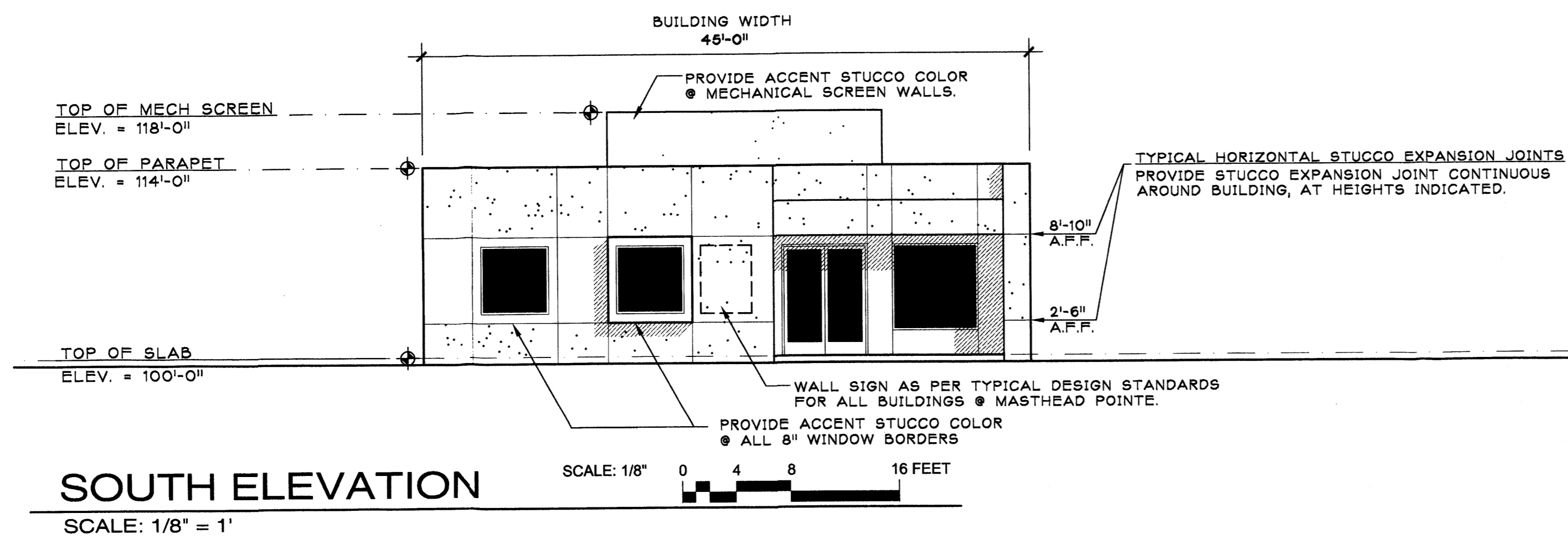
REVISIONS:	DATE:
ARC ph1 DESIGN	8/20/04

SHEET:
A-1.1



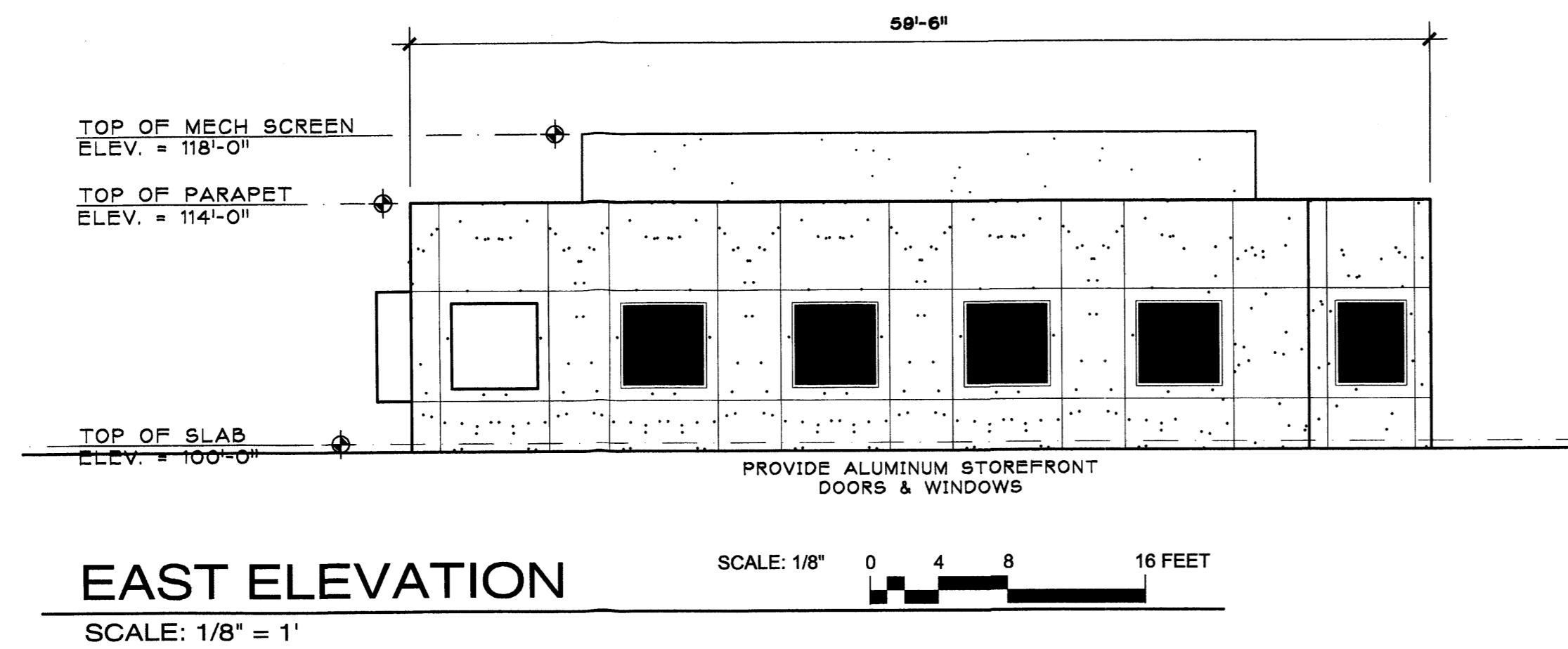
NORTH ELEVATION

SCALE: 1/8" = 1'



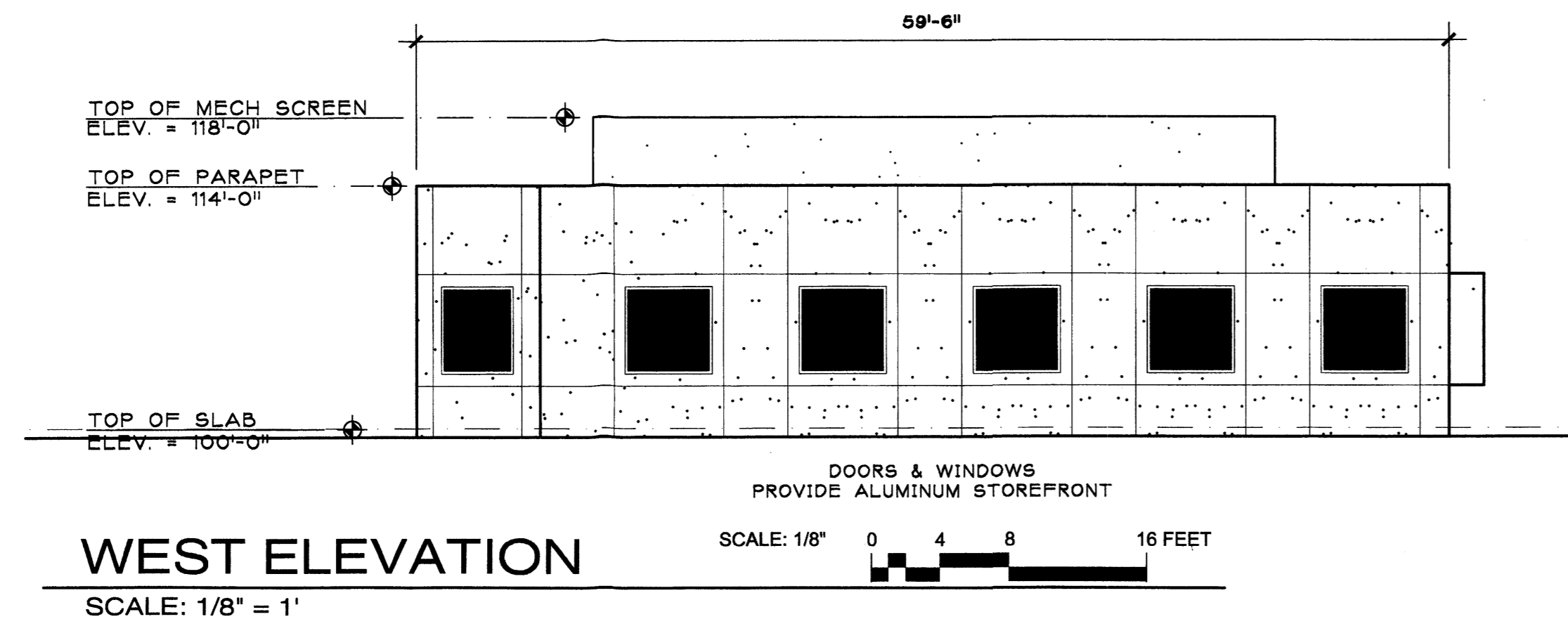
SOUTH ELEVATION

SCALE: 1/8" = 1'



EAST ELEVATION

SCALE: 1/8" = 1'



WEST ELEVATION

SCALE: 1/8" = 1'

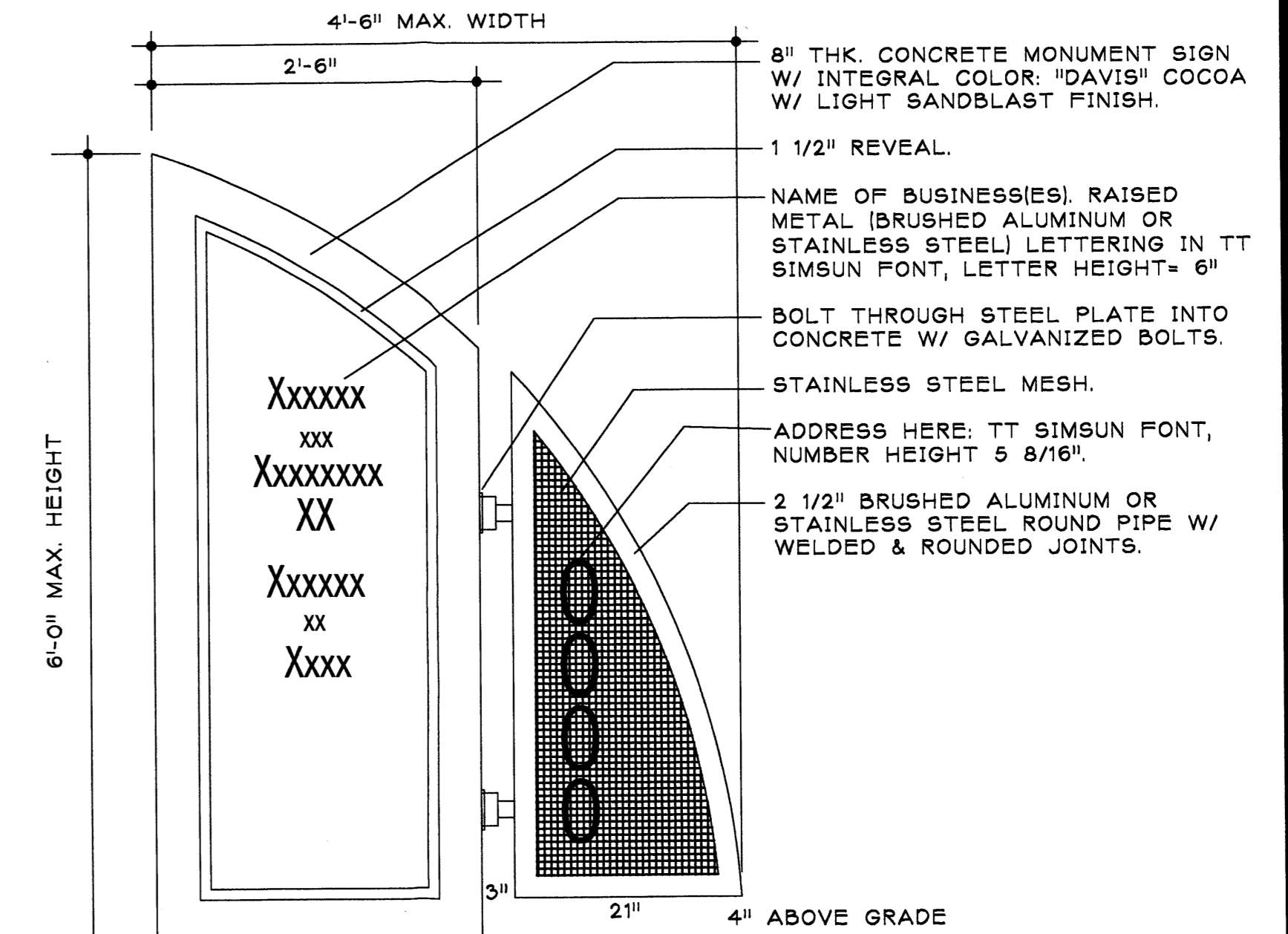
GENERAL NOTES

TYPICAL BUILDING MATERIALS & COLORS ARE AS FOLLOWS:

[A] PRINCIPAL STUCCO COLOR: "STO" # 10612, W/ COURSE TEXTURE. PROVIDE THIS COLOR ON ALL BUILDING WALLS, EXCEPT AT WINDOW BORDERS & MECHANICAL SCREEN.

[B] ACCENT STUCCO COLOR & TEXTURE: EACH OF THE SEVEN BUILDINGS WILL BE ACCENTED WITH ONE OF THE FOLLOWING COLORS: "STO" # 20209, 20709, 21109, 21309, 21609, 31202, 32202, 33202. EACH COLOR SHALL BE W/ MDM SAND TEXTURE. PROVIDE THIS COLOR ON ALL BUILDING 8"-WIDE WINDOW PERIMETER BORDERS & MECHANICAL SCREEN WALLS.

[C] ALUMINUM STOREFRONT SYSTEMS: PROVIDE "KAWNEER" TRIFAB VG451 INSULATED GLASS SYSTEM AT ALL EXTERIOR DOORS & WINDOWS. ALUMINUM FRAME COLOR SHALL BE ANTIQUE BRONZE FLUOROPOLYMER FINISH. ALL GLAZING SHALL BE "LO" BRONZE TINT, 1/4 SOLARCOOL REFLECTIVE GLASS. REFLECTIVE SURFACE SHALL BE INSTALLED TO INTERIOR SIDE OF GLASS.



**TYPICAL MONUMENT SIGN
6' HIGH X 4'6" WIDE**

SIGNAGE NOTES

[1] REFERENCE JOURNAL CENTER 2 SIGNAGE STANDARDS & REQUIREMENTS. ALL MONUMENT SIGNS SHALL COMPLY WITH THE JC-2 STANDARDS. PROVIDE ONE MONUMENT SIGN, LOCATE AS NOTED IN SITE PLAN.

DORMAN and BREEN
LAURENCE BREEN A.I.A.
SANTA FE, NM 505-982-9196

R + B
RICHARD DORMAN F.A.I.A.
ALBUQUERQUE, NM 505-299-5940

Masthead Pointe
Lots 12a, 12b, 13 & 14
Journal Center 2, Unit 2
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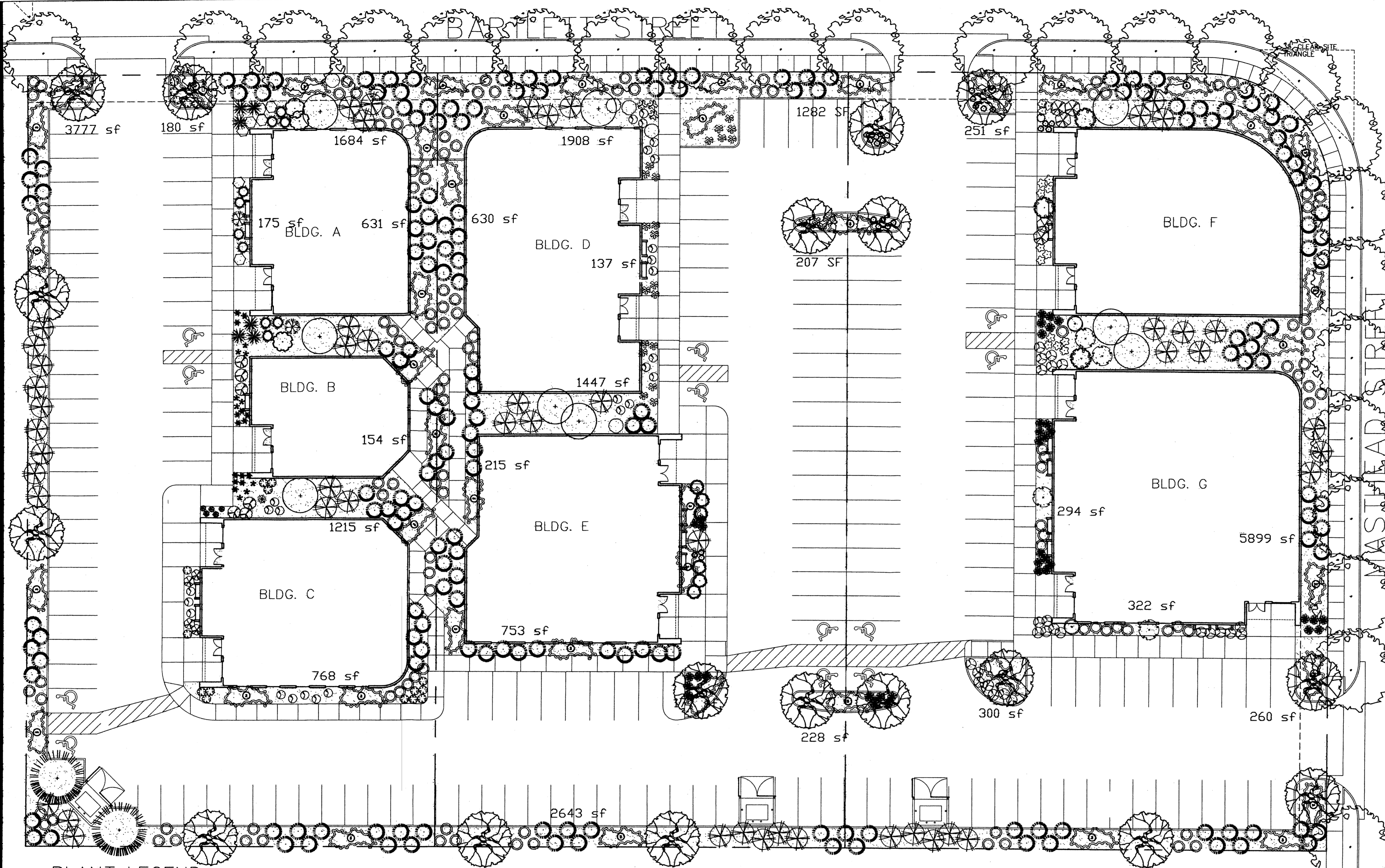
SHEET TITLE:
BUILDING
ELEVATIONS

JOB NUMBER:
0422

DATE:
11/16/04

REVISIONS: DATE:
ARC ph1 DESIGN 8/20/04

SHEET:
A-2.1



LANDSCAPE NOTES:
 Landscape maintenance shall be the responsibility of the Property Owner.
 It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.
 Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.
 All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.
 Plant beds shall achieve 75% live ground cover at maturity.
 Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
 Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.
 Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.
 Point of connection for irrigation system is unknown at current time and will be coordinated in the field.
 Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.
 Irrigation maintenance shall be the responsibility of the Property Owner.
 Drip irrigation must comply with cross connection prevention and control ordinance.

HILLTOP SHALL CONTACT TIBURON INVESTMENT AT TIME OF LANDSCAPE IRRIGATION INSTALLATION TO COORDINATE CONNECTION TO CENTER IRRIGATION.
STREET TREE REQUIREMENTS
 Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

MASTHEAD STREET
 Required # 9 Provided # 9
BARTLETT STREET
 Required # 15 Provided # 15

PLANT LEGEND

- BERINDA ASH (M) 24
Fraxinus spp.
2" Cal.
- REDBUD (M) 18
Cercis spp.
2" Cal.
- AUSTRIAN PINE (M) 2
Pinus nigra
6"-8"
- WASHINGTON HAWTHORN (M+) 9
Crataegus phaenopyrum
15 Gal.

- SILVERBERRY (M) 50
Elaeagnus pungens
5 Gal. 100sf
- BUTTERFLY BUSH PURPLE (M) 2
Buddleia davidii
5 Gal. 100sf
- BUTTERFLY BUSH YELLOW (M) 3
Buddleia davidii
5 Gal. 100sf
- RED YUCCA (L) 3
Hesperaloe parviflora
5 Gal. 9sf
- REGAL MIST (M) 4
Muhlenbergia capillaris
5 Gal. 9sf
- CRIMSON PIGMY BARBERRY (M) 5
Berberis thunbergii 'Atropur. Nana'
5 Gal. 4sf

COLOR SCHEME
 Building A—RUST
 Building B—BLUE
 Building C—RED
 Building D—PINK
 Building E—SAGE
 Building F—YELLOW
 Building G—PURPLE

- RUSSIAN SAGE (M) 2
Perovskia atriplicifolia
5 Gal. 36sf
- REGAL MIST (L) 26
Muhlenbergia capillaris
5 Gal. 9sf
- THREE-LEAF SUMAC (L) 2
Rhus trilobata
5 Gal. 36sf
- BIRD OF PARADISE (L) 3
Caesalpinia gilliesii
5 Gal. 100sf
- POMIS CASTLE SAGE (L) 175
Artemisia X powis castle
5 Gal. 10sf
- BLUE AVENA (M) 6
Helictotrichon sempervirens
5 Gal. 4 sf
- SCOTCH BROOM (L) 9
Cytisus scoparius
5 Gal. 16sf

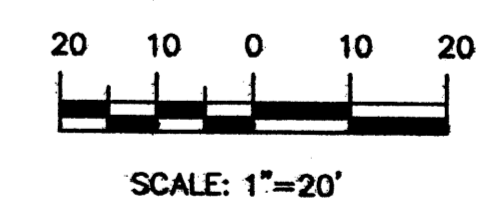
FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

- WOOLLY LAMBS EAR (L) 36
Stachys byzantina
5 Gal. 25sf
- APACHE PLUME (L) 6
Fallugia paradoxa
5 Gal. 9sf
- BLUE MIST SPIREA (M) 1
Caryopteris clandonensis
5 Gal. 9sf
- LENAS BROOM (M) 10
Genista hispanica
5 Gal. 9sf
- ROSEMARY (M) 114
Rosmarinus officinalis
2 Gal. 9sf
- POTENTILLA (M) 15
Potentilla fruticosa
2 Gal. 2 sf
- AUTUMN SAGE (M) 7
Salvia greggii
2 Gal. 9sf

- LAVENDER (M) 6
Lavandula angustifolia
1 Gal. 9sf
- PURPLE CONEFLOWER 25
Echinacea purpurea
1 Gal. 10sf
- PINK ICE PLANT 3
Delosperma cooperi
1 Gal. 4sf
- YELLOW ICE PLANT 1
Delosperma nubigenum
1 Gal. 4sf
- BLUE FESCUE (M) 14
Festuca ovina glauca
5 Gal. 2sf
- GUARA (L) 26
Guara lindheimeri
5 Gal. 16sf

- DELPHINIUM (M) 9
Delphinium bellamson
5 Gal. 4sf
- SANTOLINA (M) 25
Santolina serratifolia
5 Gal. 2 sf
- GREYLEAF COTONEASTER (M)
Cotoneaster buxifolius
5 Gal. 81sf
Symbol indicates 3 plants
- SANTA ANA TAN GRAVEL WITH FILTER FABRIC

GRAPHIC SCALE



LANDSCAPE CALCULATIONS

TOTAL LOT AREA	3.17 ac	138752 square feet
TOTAL BUILDINGS AREA	38359	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	100393	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	15059	square feet
TOTAL BED PROVIDED	25537	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	19153	square feet
TOTAL GROUNDCOVER PROVIDED	22023	square feet

The Hilltop
 LANDSCAPE ARCHITECTS & CONTRACTORS
 Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9690
 Fax (505) 898-7737
 cmd@hilltoplandscaping.com



LANDSCAPE PLAN

DATE: 10-21-2004

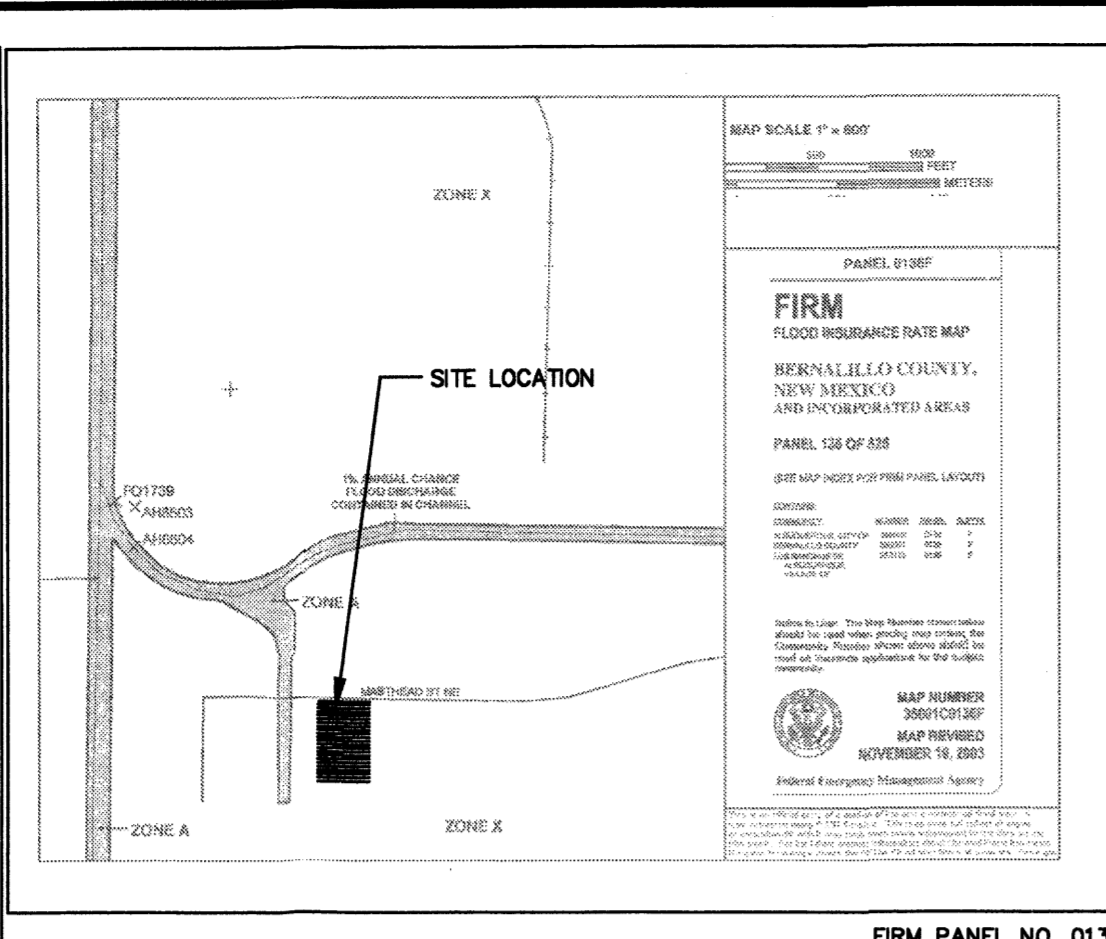
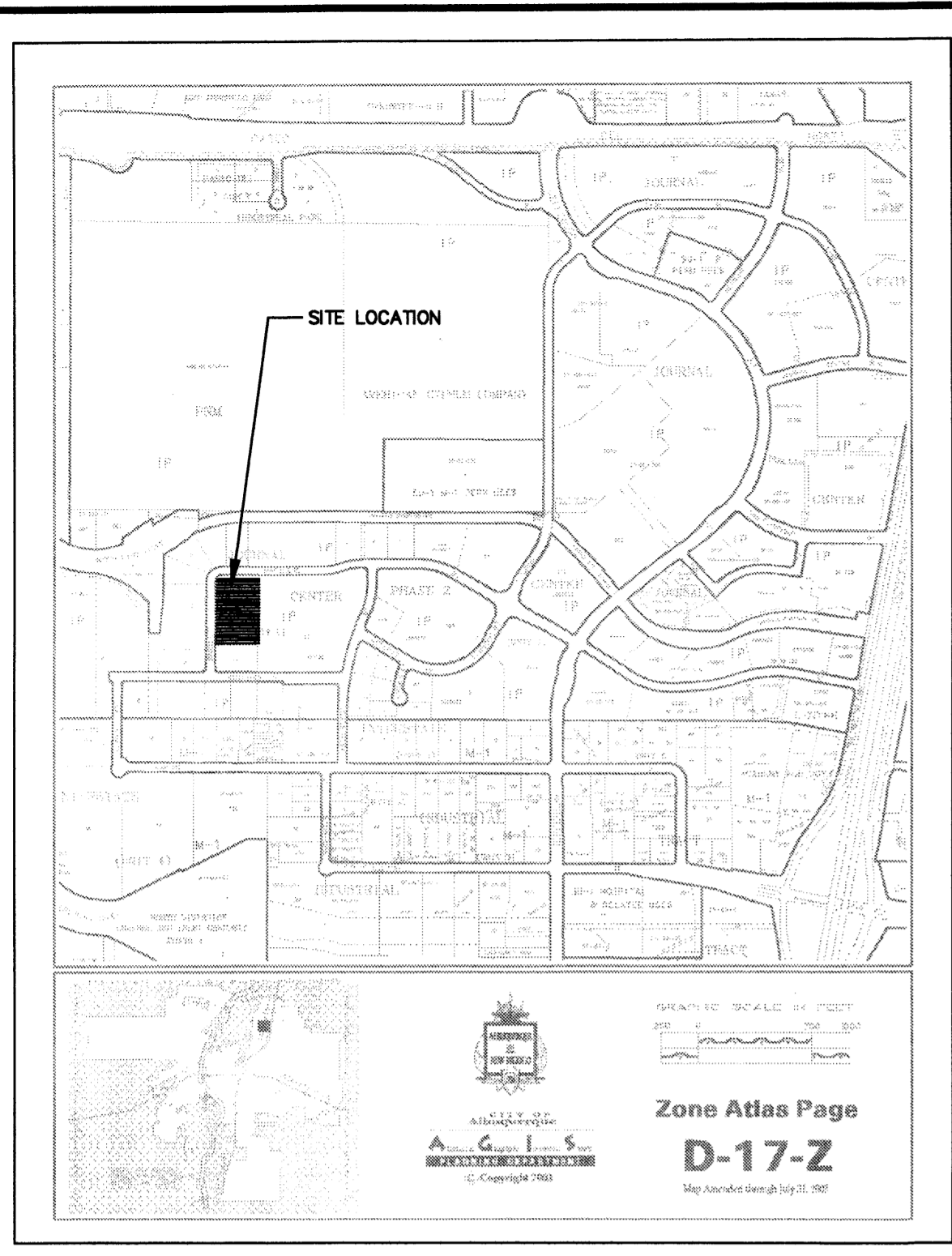
JOB NUMBER:

REVISIONS:

SHEET: L-1

DORMAN and BREEN
 LAURENCE BREEN A.I.A.
 SANTA FE, NM 505-982-9196
 RICHARD DORMAN F.A.I.A.
 ALBUQUERQUE, NM 505-299-5940

Masthead Pointe
 Lots 12a, 12b, 13 & 14
 Journal Center 2, Unit 2
 ALBUQUERQUE, NM



VICINITY MAP D-17

GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING LOT 12A, 12B, 13, AND 14, JOURNAL CENTER, PHASE 2, UNIT 1 (7430 BARTLETT STREET N.E.) ARE CONTAINED HEREON:

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 3.18 ACRES AND IS LOCATED NORTH OF THE INTERSECTION OF BARTLETT STREET N.E. AND RUTLEDGE ROAD N.E., ON THE EAST SIDE OF BARTLETT STREET N.E. THE SITE IN ITS EXISTING CONDITION SLOPES FROM EAST TO WEST. AS SHOWN BY THE FLOOD INSURANCE RATE MAPS, PANEL 0136F, DATED NOVEMBER 19, 2003, THIS SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE NOR DOES IT CONTRIBUTE TO ANY DOWNSTREAM FLOODING.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL CONSIST OF SEVEN OFFICE BUILDINGS TOTALING 35,180 SQ. FT. ALONG WITH PAVED PARKING AND ASSOCIATED LANDSCAPED AREAS. ALL THE DEVELOPED FLOWS WILL BE ROUTED OUT TOWARDS THE PROPOSED DRIVEPADS AND ONTO BARTLETT STREET N.E., FROM THAT POINT THE RUN-OFF WILL TRAVEL ALONG BARTLETT STREET N.E. INTO EXISTING CATCHBASINS. ALL THE DEVELOPED RUN-OFF WILL EVENTUALLY ENTER THE NORTH PINO ARROYO AND INTO THE NORTH DIVERSION CHANNEL. NO OFF-SITE FLOWS ENTER THE SITE FROM ANY DIRECTION. THE CALCULATIONS, WHICH APPEAR HEREON, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRES AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 OF THE DEVELOPMENT PROCESS MANUAL DATED 1997 WAS USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME GENERATED.

PROJECT AREA = 3.18 ac.
 "LOT 12,13, & 14 JOURNAL CENTER"
 ZONE 2
 PRECIPITATION: 360 = 2.35 in.
 1440 = 2.75 in.
 10day = 3.95 in.

EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A 0.53 in.	1.56 cfs/ac.
TREATMENT B 0.78 in.	2.28 cfs/ac.
TREATMENT C 1.13 in.	3.14 cfs/ac.
TREATMENT D 2.12 in.	4.70 cfs/ac.

EXISTING CONDITIONS:	PROPOSED CONDITIONS:
TREATMENT A 0 ac.	0 ac.
TREATMENT B 0 ac.	0.4652 ac.
TREATMENT C 3.18 ac.	0 ac.
TREATMENT D 0 ac.	2.715 ac.

EXISTING EXCESS PRECIPITATION:
 $Weighted E = (0.53)(0.00) + (0.78)(0.00) + (1.13)(3.18) + (2.12)(0.00) / 3.18 ac. = 1.13 in.$
 $V_{100-360} = (1.13)(3.18) / 12 = 0.299450 ac-ft = 13044 CF$

EXISTING PEAK DISCHARGE:
 $Q_{100} = (1.56)(0.00) + (2.28)(0.00) + (3.14)(3.18) + (4.70)(0.00) = 9.99 CFS$

PROPOSED EXCESS PRECIPITATION:
 $Weighted E = (0.53)(0.00) + (0.78)(0.47) + (1.13)(0.00) + (2.12)(2.72) / 3.18 ac. = 1.92 in.$
 $V_{100-360} = (1.92)(3.18) / 12.0 = 0.509888 ac-ft = 22211 CF$

$V_{100-1440} = (0.51)(2.72)(2.75 - 2.35) / 12 = 0.600388 ac-ft = 26153 CF$
 $V_{100-10day} = (0.51)(2.72)(3.95 - 2.35) / 12 = 0.871888 ac-ft = 37979 CF$

PROPOSED PEAK DISCHARGE:
 $Q_{100} = (1.56)(0.00) + (2.28)(0.47) + (3.14)(0.00) + (4.70)(2.72) = 12.76 CFS$
 INCREASE 12.76 CFS - 9.99 CFS = 2.77 CFS

NOTE TO CONTRACTOR:

1. An excavation/construction permit will be required before beginning any work within the City right-of-way. Approved copy of this plan must be submitted at the time of application for permit.
2. All work detailed in this plan to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Standard Specification for Public Works Construction.
3. Two working days prior to any excavation, contractor must contact line locating Services (760-1990) for locating existing sub-surface utilities.
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all potential constructions; Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay to the subject project.
5. Backfill compaction shall be according to commercial use or soils report(s) recommendations.
6. All work on this project shall be performed in accordance with applicable Federal, State and local laws, rules and regulations concerning construction safety and health.
7. Maintenance of this facilities shall be the responsibility of the owner of the property it serves

EROSION CONTROL MEASURES

1. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION. HE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE:
 - A) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DIKES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
 - B) ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.
2. THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL SEDIMENT WITHIN THE PUBLIC STREETS THAT HAVE BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

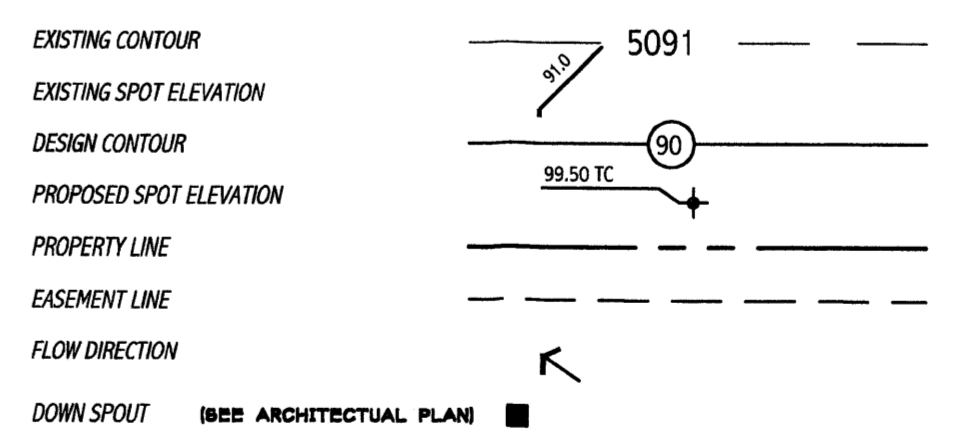
LEGAL DESCRIPTION

LOT 12, 13, AND 14
 JOURNAL CENTER PHASE 2, UNIT 1
 BERNALILLO COUNTY, ALBUQUERQUE
 NEW MEXICO.

BENCHMARK:
 A.C.S. BENCHMARK 9-D17 ELEVATION 5124.40

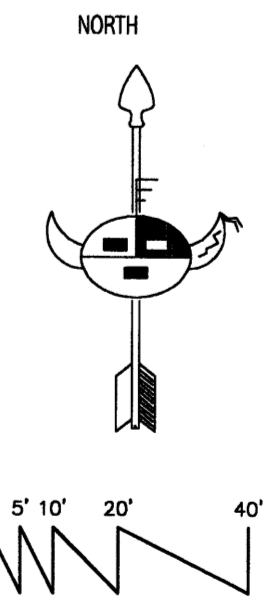
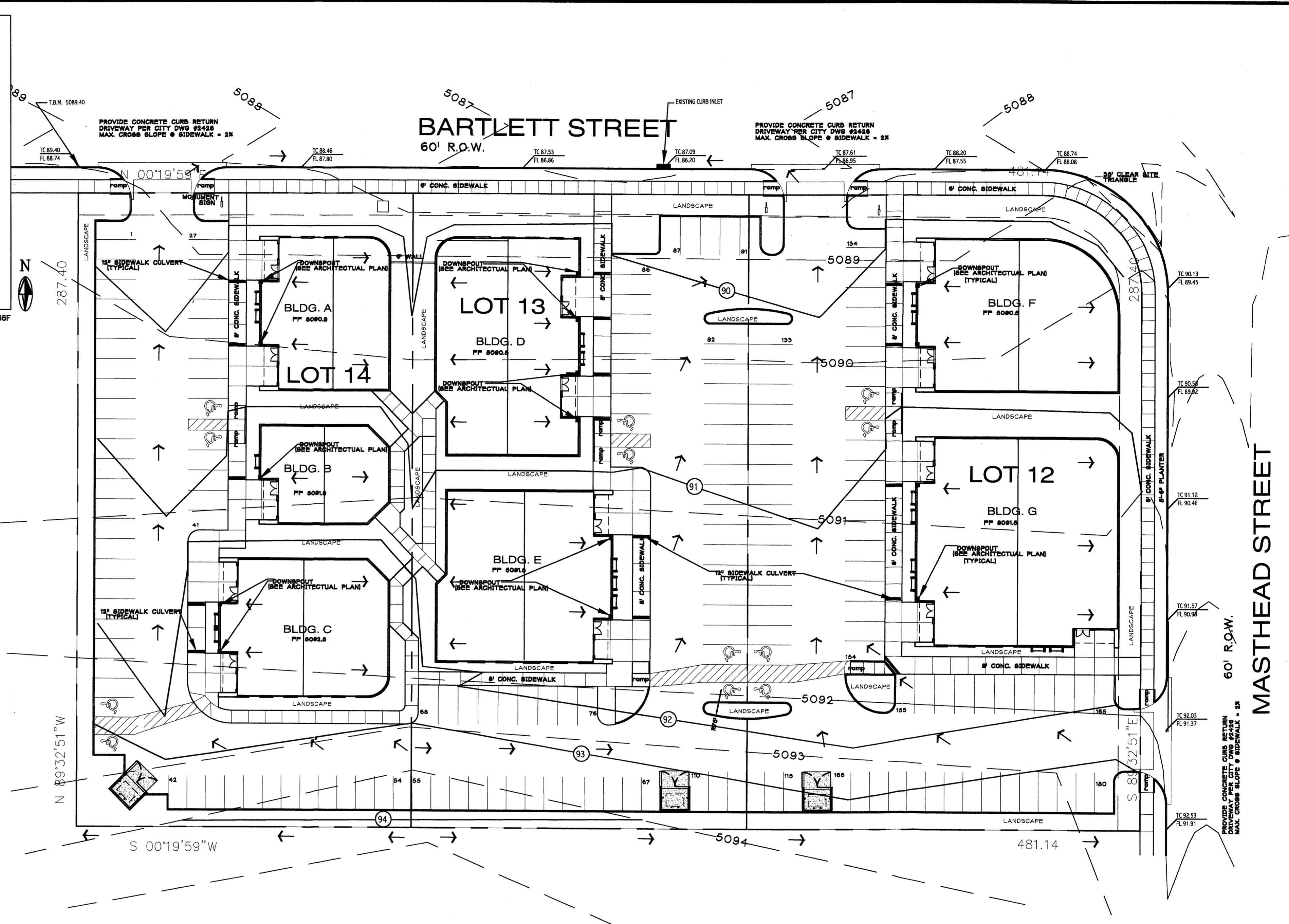
T.B.M.
 TOP OF CURB ON THE PROJECTION OF THE SOUTH PROPERTY LINE OF LOT 14, AS SHOWN ON PLAN DRAWING ELEVATION 5089.40

SYMBOL LEGEND



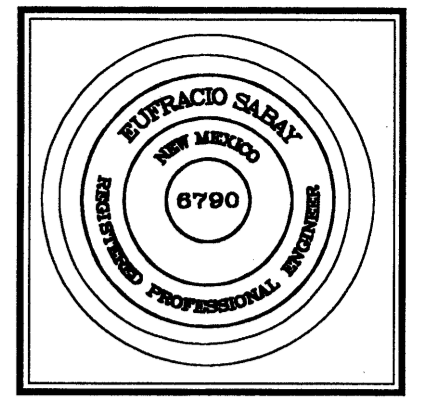
ABBREVIATION LEGEND

- TOP OF CONC. APRON - TCA
- TOP OF CURB - TC
- TOP OF ASPHALT - TA
- TOP OF BERM - TB
- BOTTOM OF POND - BP
- FINISHED FLOOR - FF



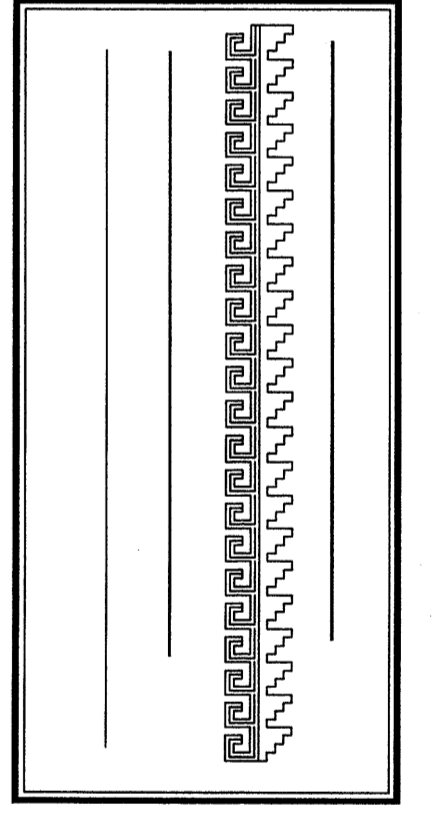
GRADING & DRAINAGE PLAN

Scale 1"=50'-0"



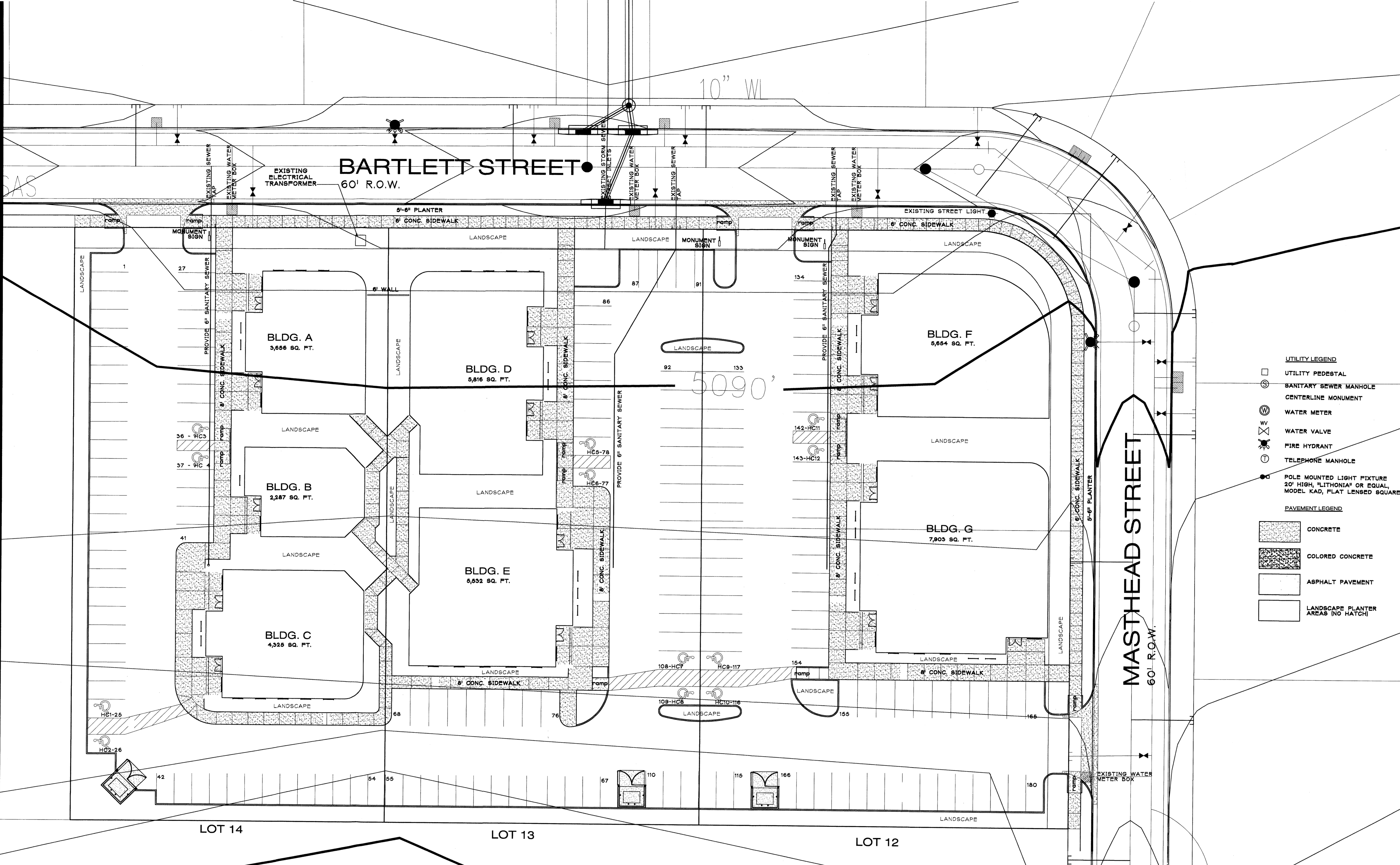
JOB NO: XXXXXX
 DATE: NOVEMBER 2004
 REVISIONS:

Sheet Title
GRADING AND DRAINAGE PLAN
 Drawn By: HTH/EBM
 Checked By: WLB



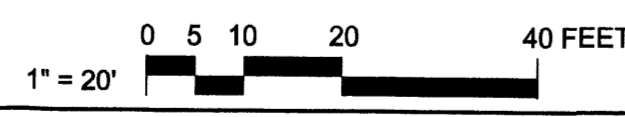
Project Name
MASTHEAD POINTE
 7430 BARTLETT STREET NE
 ALBUQUERQUE, NEW MEXICO

SHEET NO.
GD



- UTILITY LEGEND**
- UTILITY PEDESTAL
 - SANITARY SEWER MANHOLE
 - CENTERLINE MONUMENT
 - ⊕ WATER METER
 - ⊗ WATER VALVE
 - ⊘ FIRE HYDRANT
 - ⊙ TELEPHONE MANHOLE
 - POLE MOUNTED LIGHT FIXTURE 20' HIGH, "LITHONIA" OR EQUAL, MODEL KAD, FLAT LENSED SQUARE.
- PAVEMENT LEGEND**
- ▒ CONCRETE
 - ▔ COLORED CONCRETE
 - ▓ ASPHALT PAVEMENT
 - LANDSCAPE PLANTER AREAS (NO HATCH)

CONCEPTUAL UTILITY PLAN
 SCALE: 1" = 20'



5095'

SHEET TITLE: UTILITY PLAN

JOB NUMBER: 0422

DATE: 11/16/04

REVISIONS:

NO.	DATE	DESCRIPTION

SHEET: **UT-1.1**