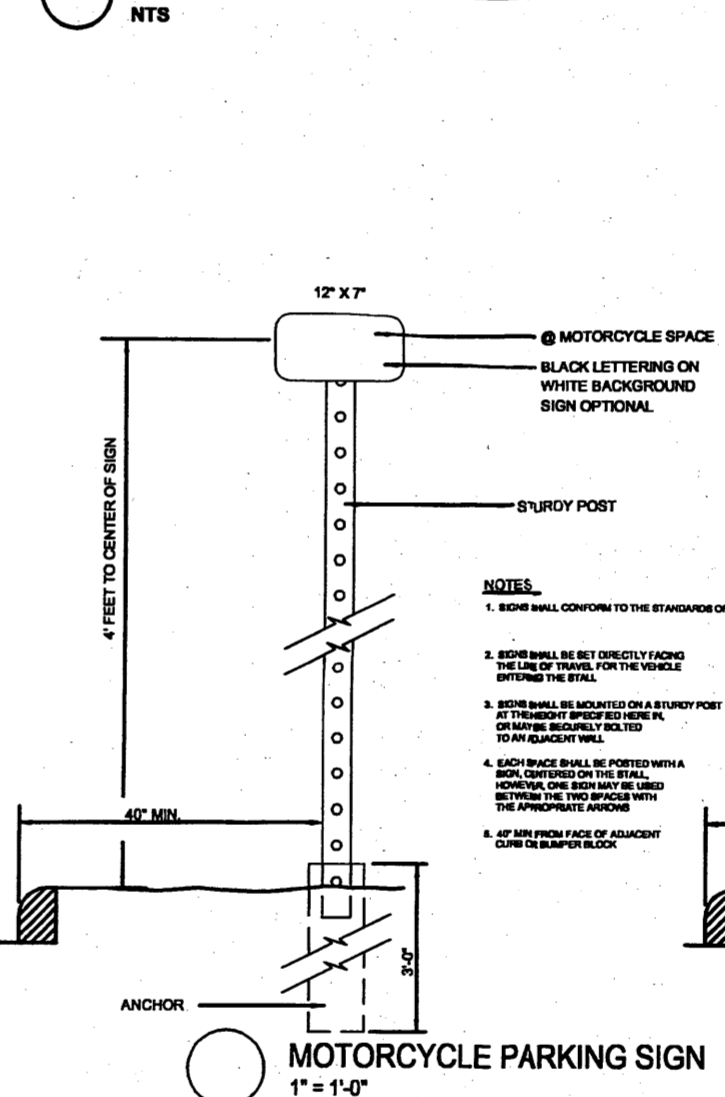


**TREE PLANTING DETAIL**



**LEGAL DESCRIPTION**

TRACT 14" PLAT OF TRACTS 1A & 1B, ROW 1, UNIT A WEST OF BERLAND, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS SHOWN AND DESIGNATED ON PLAT OF SAID ADDITION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 17, 1988, IN PLAT BOOK 36, FOLD 129

**SITE DATA**

ZONING: S-10 FOR PCS (PLANNED COMMERCIAL AREA)  
ZONE ATLAS: K-08-2  
SITE SIZE: 32,780 SQ. FT. (.746 AC.)  
BUILDING SIZE: % OF SITE: 2,348 SQ. FT. / 6.88 %

**EP/C / DRB DATA**

8671 FWD CENTRAL PLAN  
PROJECT NUMBER 100794  
APPLICATION NUMBER 0708B-0181  
APPROVED 5.14.2007

**PARKING CALCULATIONS**

SEATING AREA: 690 S.F. / 15 = 46 OCCUPANTS  
OCCUPANT LOAD: 46 OCCUPANTS / 4  
PARKING CALCULATIONS: 46 OCCUPANTS / 4  
TRANSPORT REDUCTION OF 10 % = 5 SPACES  
10 SPACES REQUIRED

**GENERAL PARKING NOTES**

TYPICAL STANDARD SPACES: 9'-0" X 20'-0"  
TYPICAL COMPACT CAR SPACES: 8'-0" X 15'-0"  
TYPICAL HANDICAP SPACES: 8'-0" X 16'-0"  
WITH A 5' WIDE ACCESS AISLE  
ALL SPACES ARE STANDARD SIZE UNLESS NOTED OTHERWISE

**GENERAL NOTES**

1. BECAUSE OF THE SCALE OF THIS DRAWING THE UTILITIES SITE PLAN IS ON A SEPARATE SHEET.  
2. NOT USED.  
3. THERE ARE NO TURN / DECELERATION LANES THAT SERVE THIS SITE. ALL ACCESS TO THIS SITE IS INTERNAL TO THE SHOPPING CENTER.  
4. BUS STOP SERVES ROUTE #64 CENTRAL WEST

**PROJECT NUMBER:**

Application Number:

This plan is consistent with specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

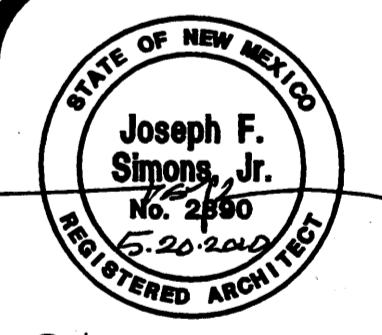
Traffic Engineering, Transportation Division	Date
ABCWJA	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Joe White Solid Waste Management	5-21-10 Date
DRB Chairperson, Planning Department	Date

DRAWN BY: JFS	CHECKED BY: JFS	DATE: 5/17/07
NO. DATE	REVISION	

**BURGER KING CORPORATION**  
© 1988, BURGER KING CORPORATION

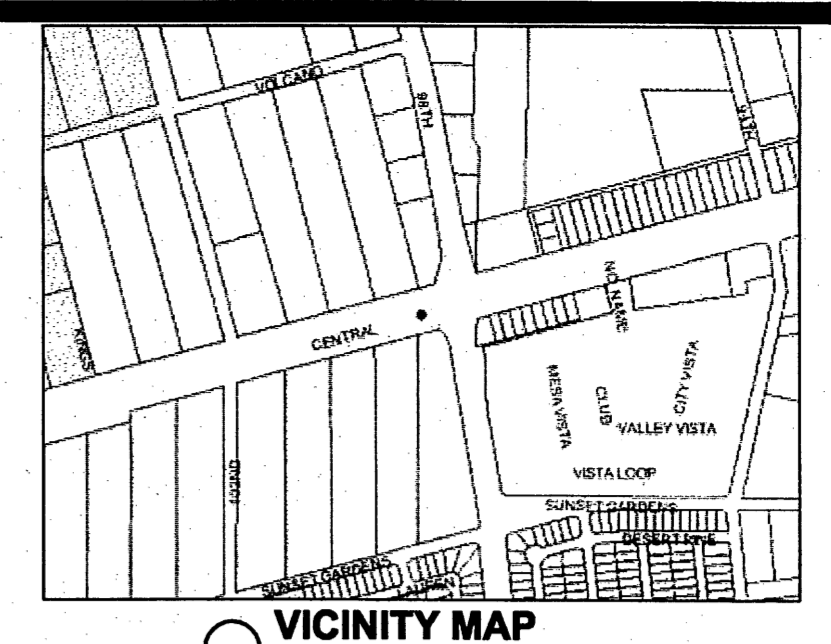
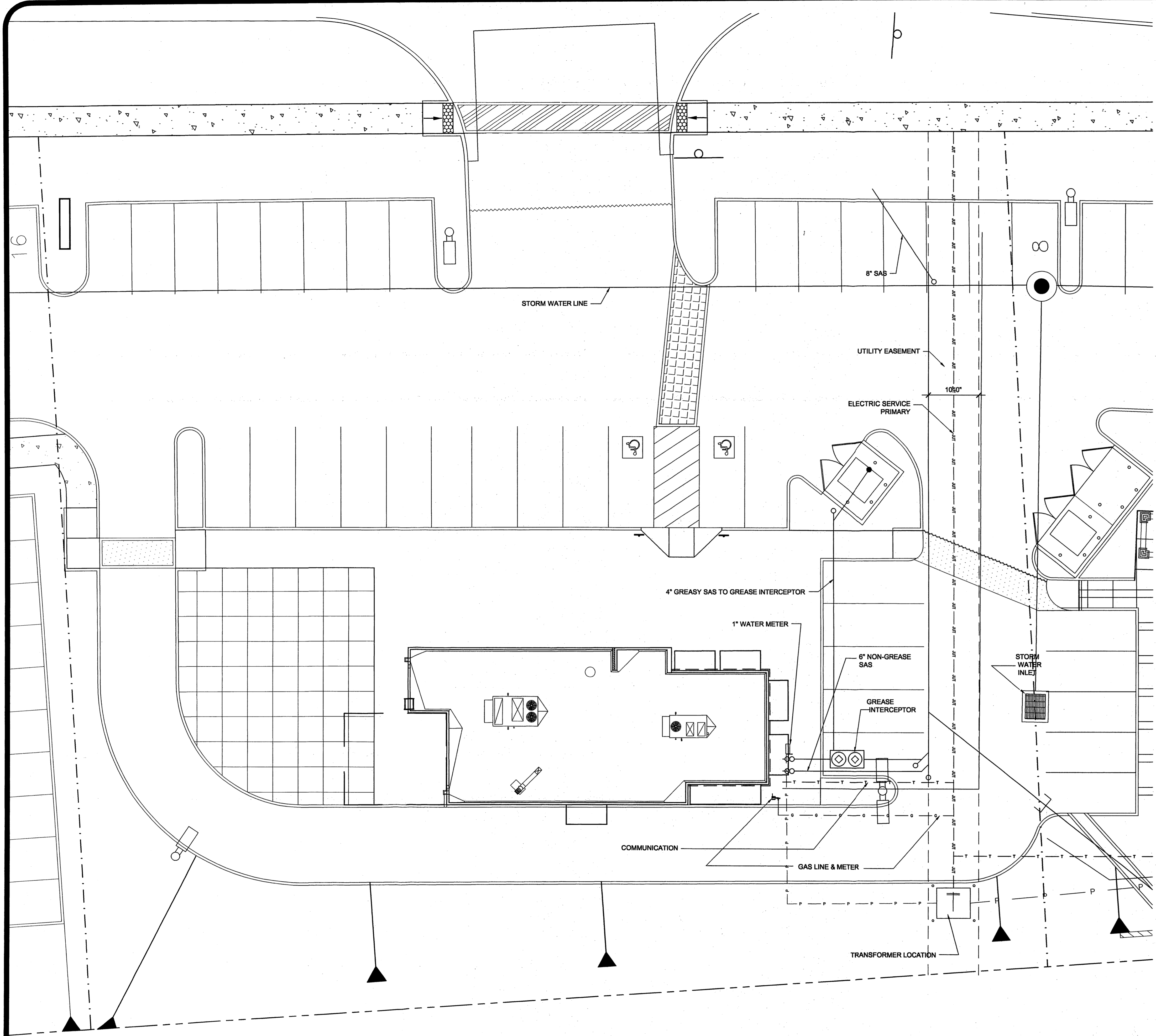
Joseph F. Simons Jr., AIA  
nm lic 002880  
p.o. box 67408  
alb, nm 84601-0408  
jfs@simonsarchitecture.com  
www.simonsarchitecture.com

**SIMONS ARCHITECTURE**

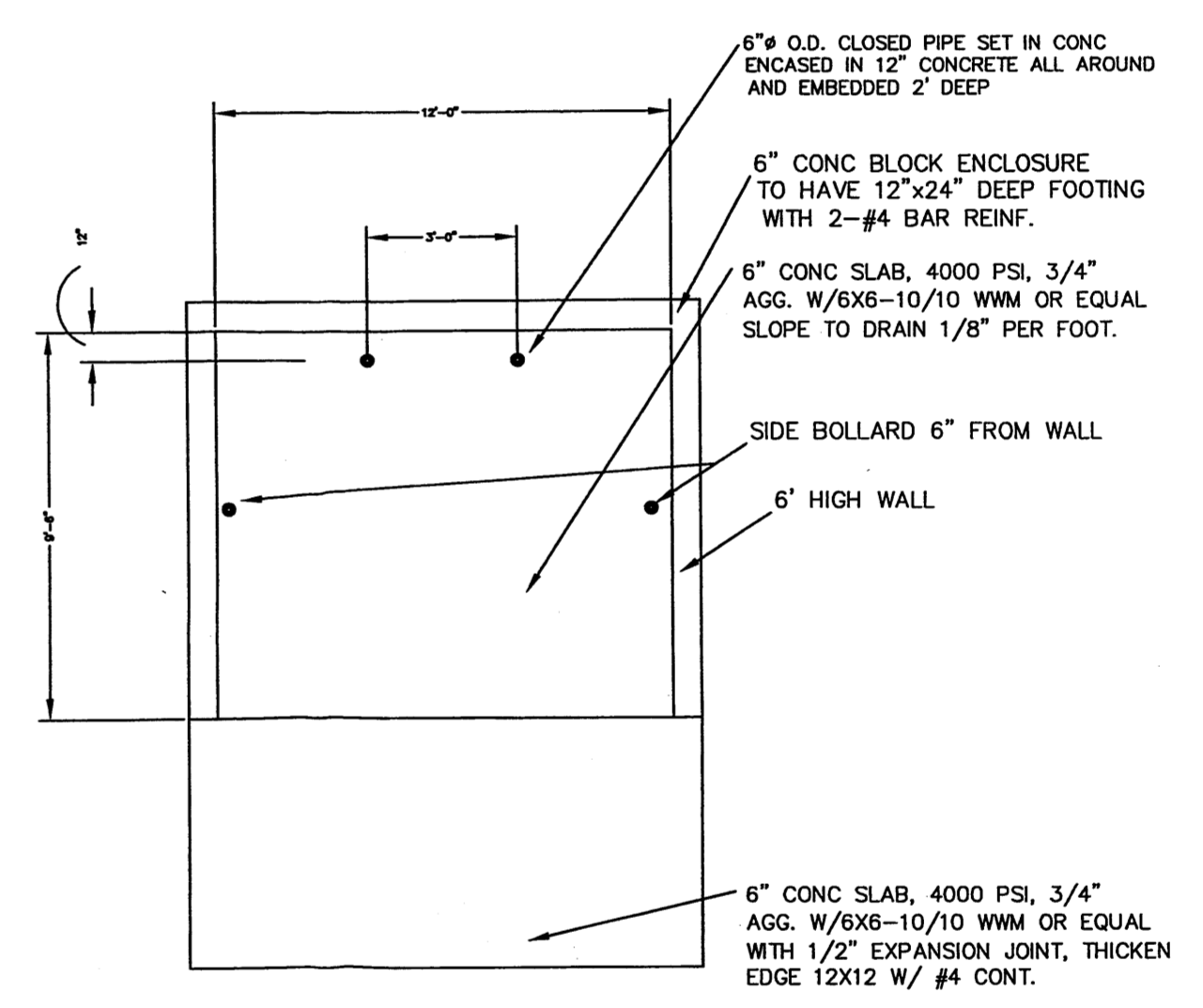


**ROC-40**  
LOT 3, Northwest Corner of  
98th Street and Central Avenue  
Albuquerque, New Mexico

**C1**



- GENERAL NOTES**
1. THE DATA FOR THIS PLAN WAS TAKEN FROM THE PRIOR APPROVED SITE DEVELOPMENT PLAN W/ UTILITIES.
  2. FIREFLOW INFORMATION FOR THIS SITE IS 2248 S.F. OF VBI CONSTRUCTION.
  3. ALL UTILITY LINES ARE CALLED OUT BY LEADER AND NOTE.



**G DUMPSTER ENCLOSURE PLAN**  
1/8" = 1'-0"



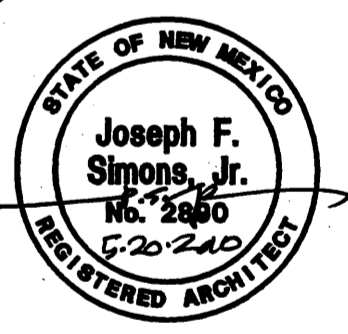
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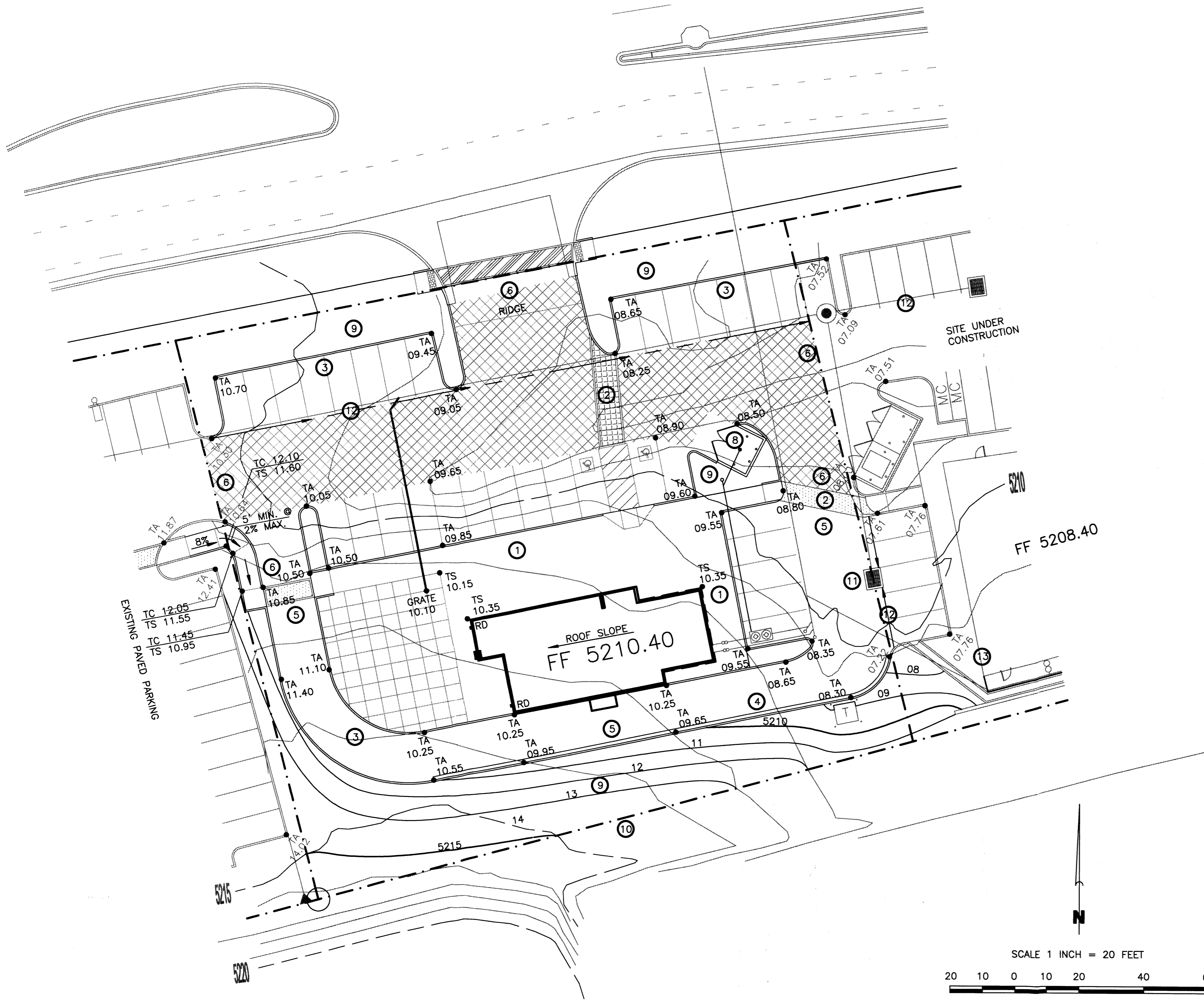
Joseph F. Simons, Jr., AIA  
Lic. No. 00989  
Exp. 12/31/2008  
alt. Lic. No. 27823/2408  
alt. Lic. No. 505,480,4796  
jfs@simonsarchitecture.com  
www.simonsarchitecture.com

**SIMONS ARCHITECTURE**



**ROC-40**  
LOT 3, Northwest Corner of  
98th Street and Central Avenue  
Albuquerque, New Mexico



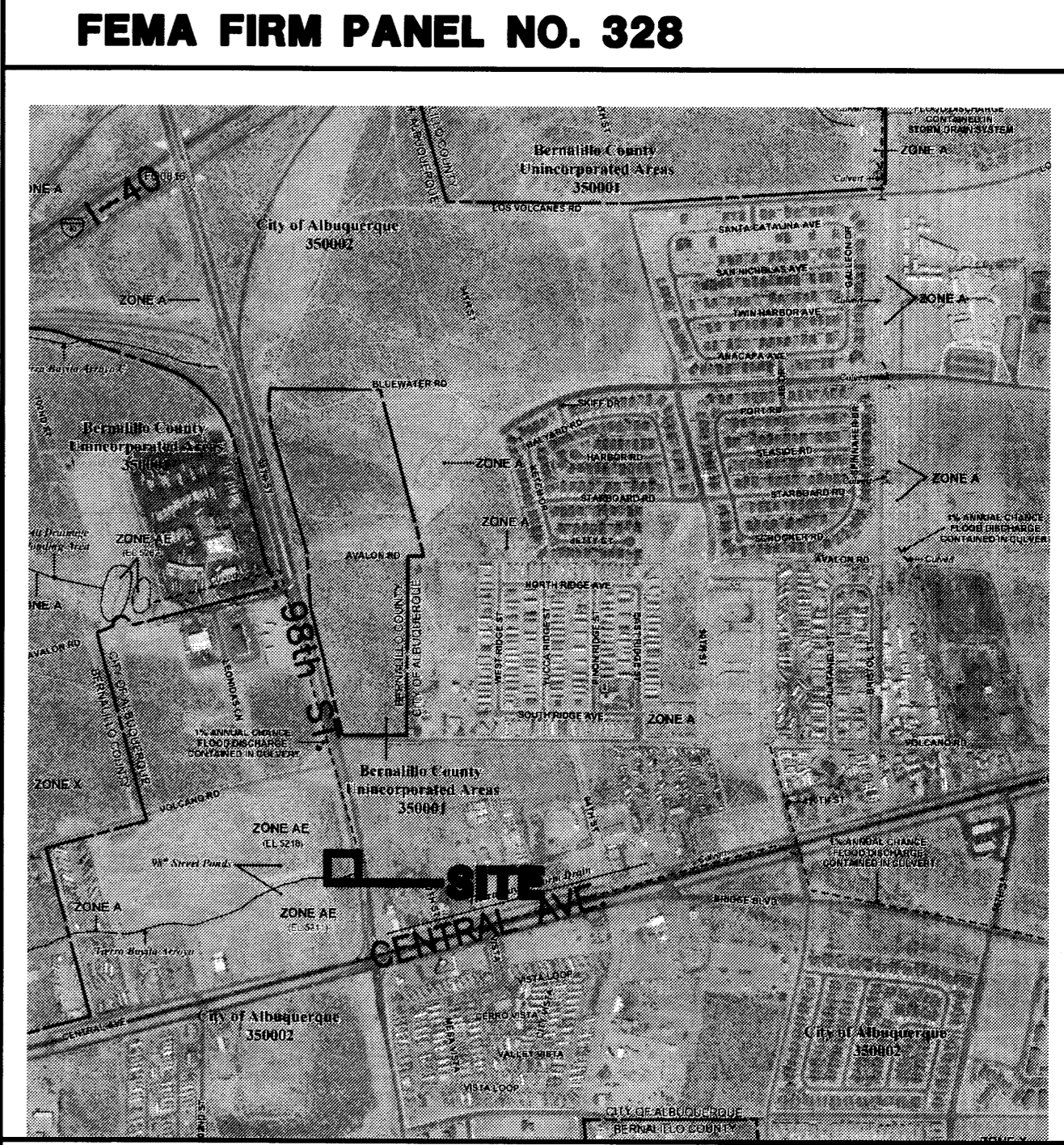
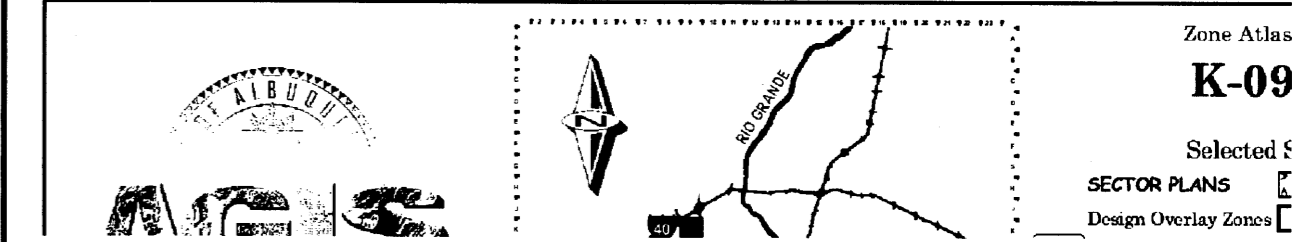
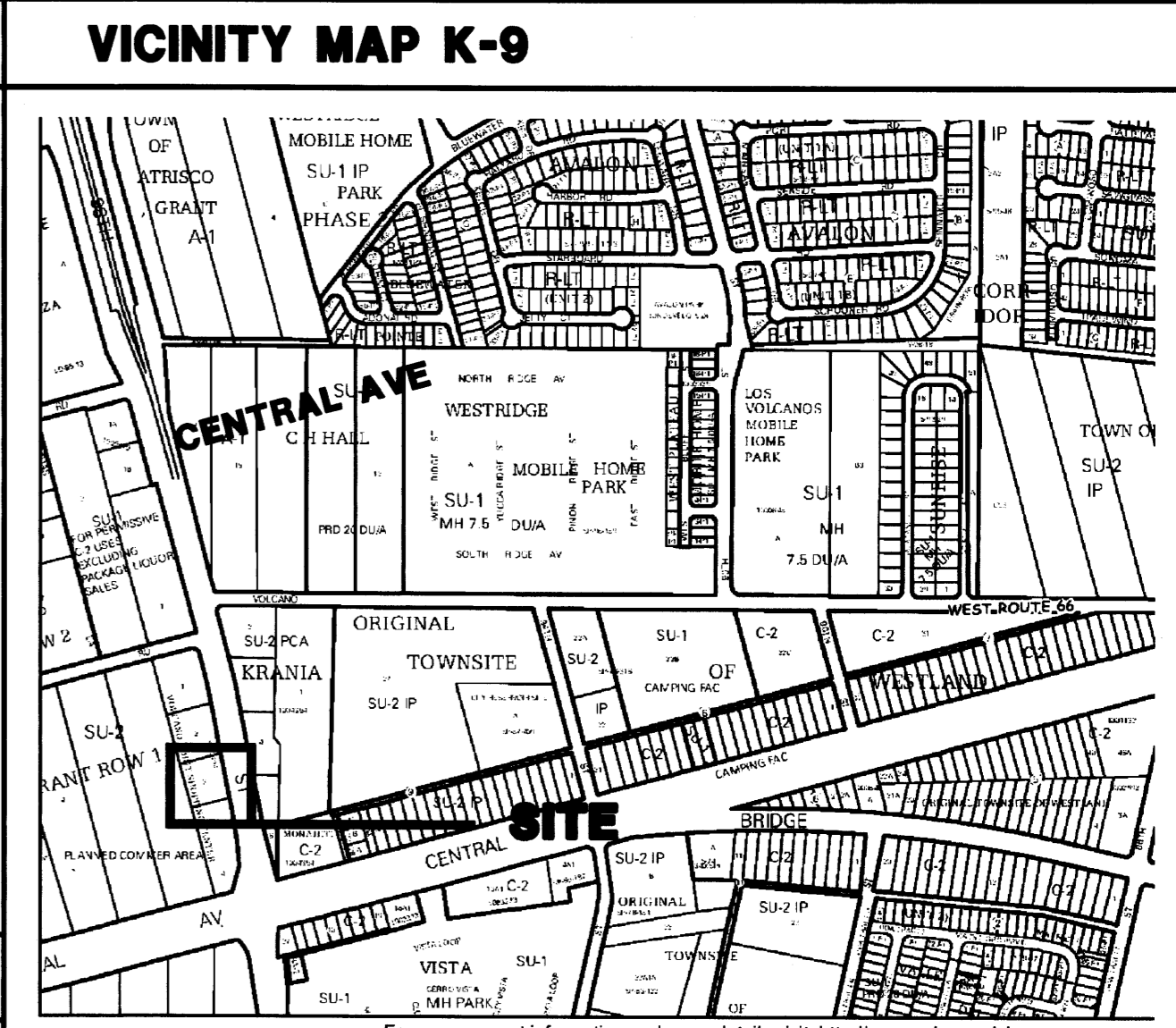


- ### KEYED NOTES
1. TURNDOWN SIDEWALK. SEE DETAIL SHEET C5.2.
  2. PATTERNED CONCRETE WALK. SEE ARCHITECTURAL.
  3. HEADER CURB. SEE DETAIL SHEET C5.2.
  4. CURB & GUTTER. SEE DETAIL SHEET 5.2.
  5. ASPHALT PAVEMENT - LIGHT DUTY. SEE DETAIL SHEET C5.2.
  6. ASPHALT PAVEMENT - HEAVY DUTY. CROSSHATCHED AREA. SEE DETAIL SHEET C5.2.
  7. EXISTING PRIVATE ENTRANCE DETAIL TO REMAIN.
  8. REFUSE ENCLOSURE WITH AREA DRAIN TO TRAP. SEE GRADING INFORMATION ON SHEET C5.2.
  9. LANDSCAPE
  10. EXISTING CHAIN LINK FENCE TO REMAIN.
  11. EXISTING CATCH BASIN. GRATE. 07.11
  12. ASPHALT SWALE.

- ### DRAINAGE NOTES
1. THE SITE IS THE LAST VACANT LOT IN A RECENTLY DEVELOPED COMMERCIAL SUBDIVISION. THE LOT TO THE NORTH WAS DEVELOPED IN 2008 AND THE LOT TO THE SOUTH IS PRESENTLY UNDER CONSTRUCTION.
  2. THERE IS AN APPROVED GRADING AND DRAINAGE PLAN FOR THE SUBDIVISION. AS THE PROPOSED SITE PLAN IS IDENTICAL TO THE SITE PLAN USED IN DEVELOPING THE STORM DRAIN SYSTEM FOR THE SUBDIVISION THERE ARE NO RUNOFF CHANGES PROPOSED FOR THE EXISTING APPROVED DRAINAGE CALCULATIONS.
  3. THE SITE IS LOCATED IN A 'ZONE X' PER FEMA FIRM MAP NO. 329, DATED SEPTEMBER, 200.
  4. TOPO SURVEY DATA SHOWN ON THIS DRAWING IS BASED ON PROPOSED AND CERTIFIED PLANS FOR THE SUBDIVISION AND ADJACENT LOTS RESPECTIVELY.

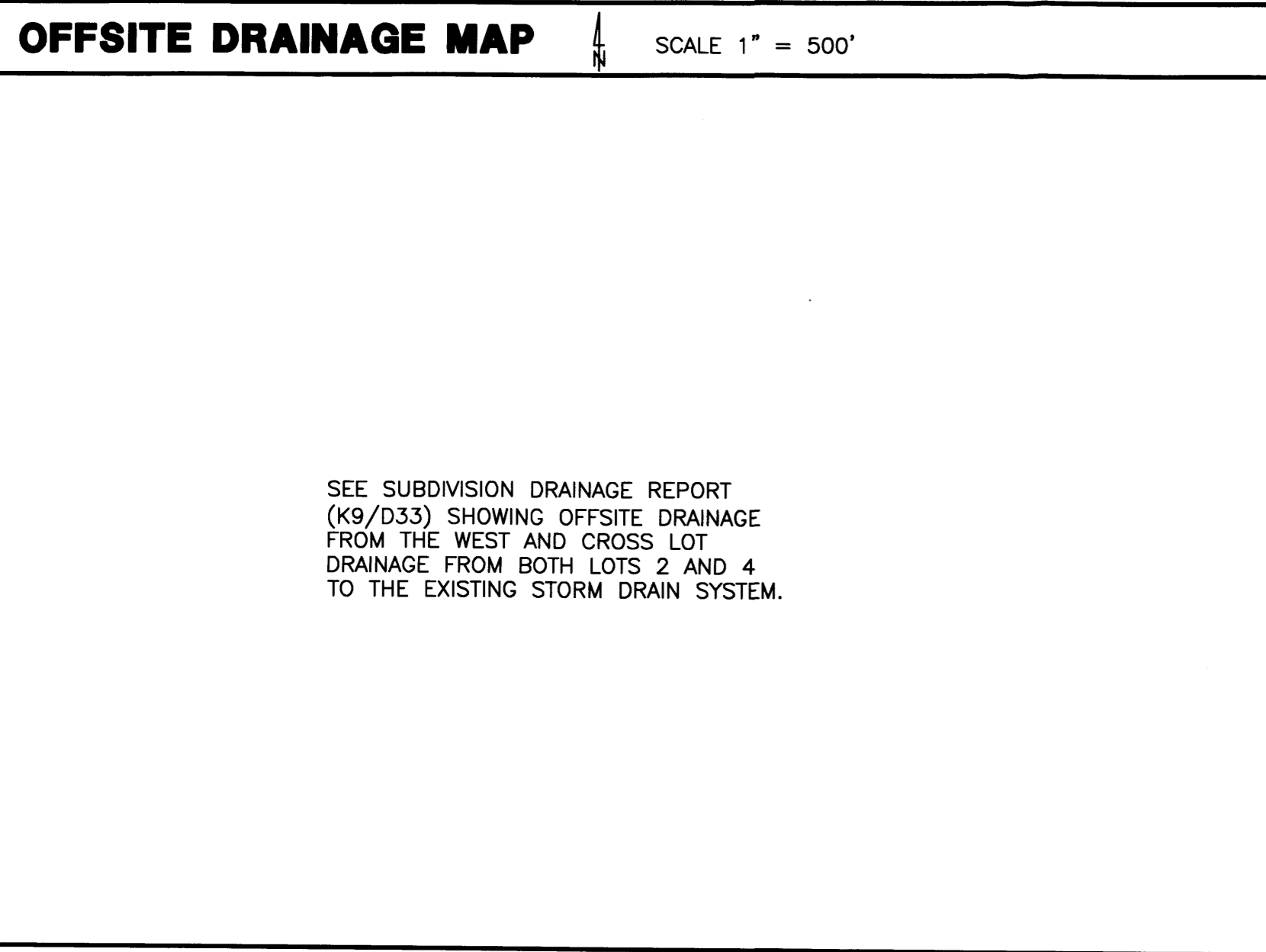
- ### GRADING NOTES
1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
  2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
  4. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

- ### EROSION CONTROL NOTES
1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERMS OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWPPP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN.
  2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
  3. THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.



### LEGAL DESCRIPTION

LOT 3, VOLCANO POINT SHOPPING CENTER



### LEGEND

TBM	TEMPORARY BENCHMARK	GM	GAS MATER
G	GROUND	GV	GAS VALVE
FF	FINISH FLOOR	LP	LIGHT POLE
FG	FINISH GRADE	PP	POWER POLE
FL	FLOWLINE	GW	GUY WIRE
TA	TOP OF ASPHALT	PED	ELEC. OR TEL. PEDESTAL
TCP	TOP OF CONCRETE	RD	ROOF DRAINAGE POINT
TC	TOP OF CURB		FEMA FLOODPLAIN BOUNDARY
TP	TOP OF EARTH PAD		DRAINAGE BASIN BOUNDARY
TS	TOP OF SIDEWALK		EROSION SETBACK LINE
TW	TOP OF WALL		EXISTING CONTOUR
FH	FIRE HYDRANT		PROPOSED CONTOUR
WM	WATER METER	XX.XX	EXISTING SPOT ELEVATION
WV	WATER VALVE	●XX.XX	PROPOSED SPOT ELEVATION
MH	MANHOLE	XX.XX	RECORD SPOT ELEVATION
CB	CATCH BASIN GRATE		

### DRAINAGE DATA

SEE SUBDIVISION DRAINAGE REPORT (K9/D33) INCLUDING SUBDIVISION STORM DRAIN SYSTEM.

### PERMANENT BENCHMARK

ACS 10-L9 ELEVATION 5204.437 (NGVD 1929)  
NOTE: BASIS IS CONSISTENT WITH BASIS USED ON INFRASTRUCTURE AND AND THE GRADING FOR THE OTHER THREE LOTS IN THE SUBDIVISION.

no.	date	remarks	by

REVISIONS

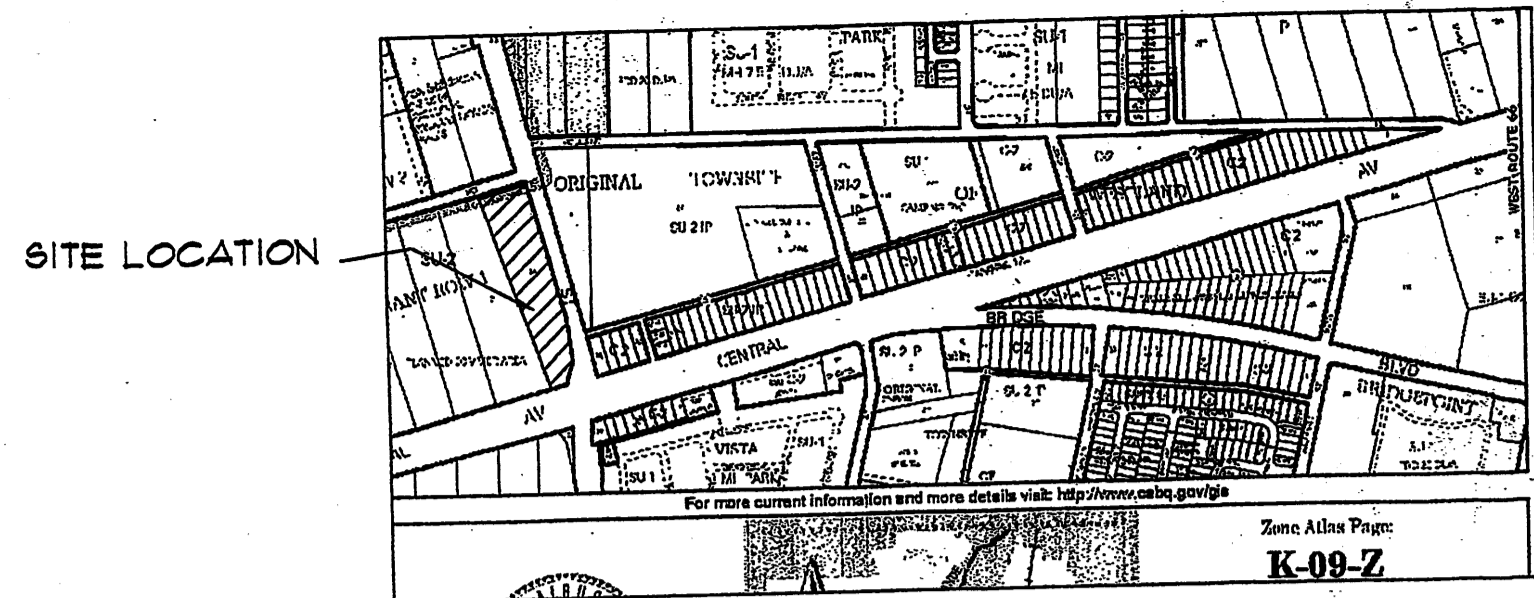
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**BURGER KING  
98TH ST. & CENTRAL AVE. NW  
ALBUQUERQUE, NM**

sheet title  
**GRADING & DRAINAGE PLAN**

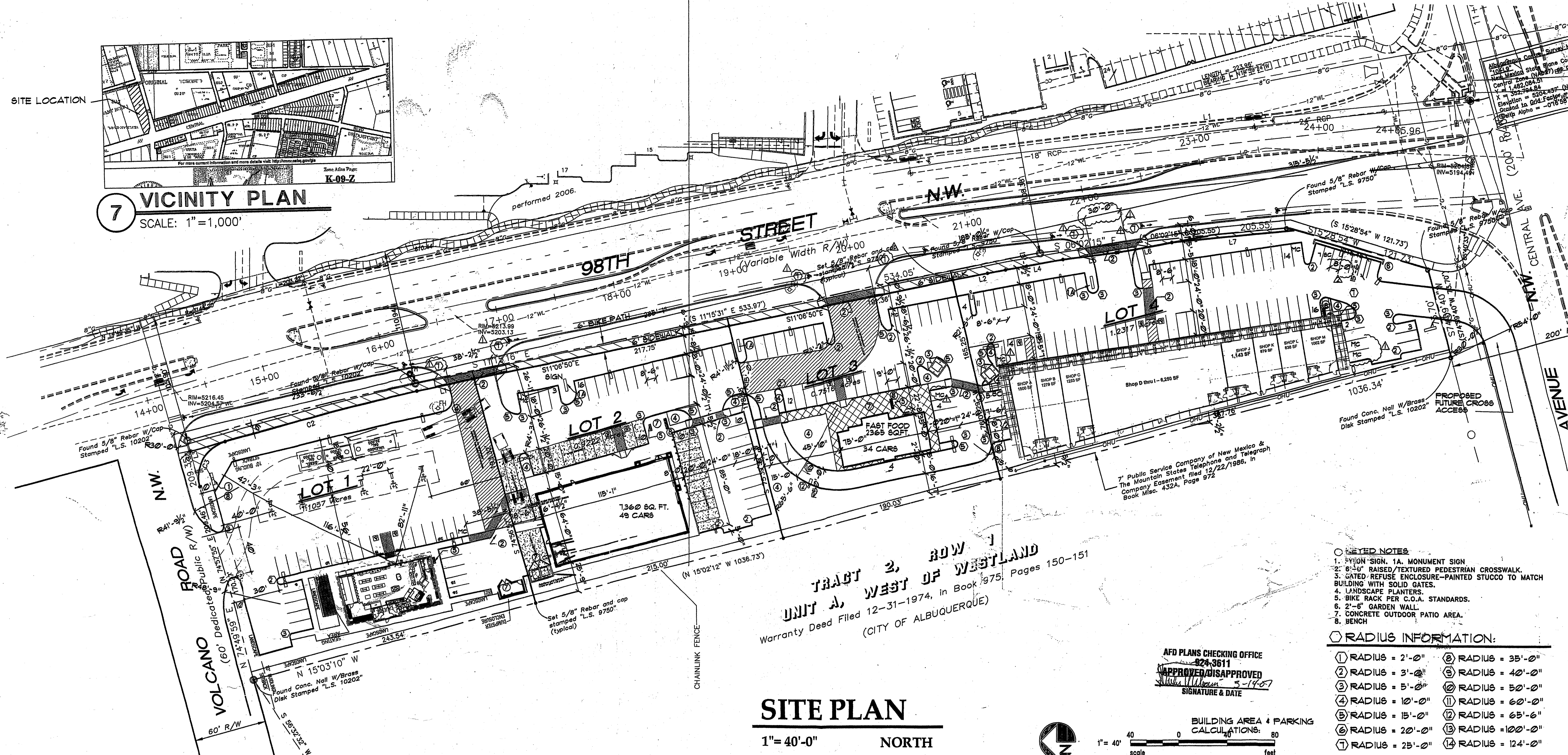
sheet date 05/20/10	design by JJB	project no. 1005
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**BORDENAVE DESIGNS**  
P.O. BOX 91194, ALBUQUERQUE, NM 87199  
(505)823-1344 FAX (505)821-9105

sheet  
**C5.1**



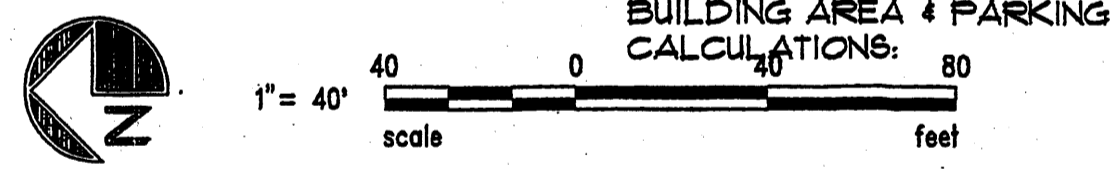
**7 VICINITY PLAN**  
SCALE: 1" = 1,000'



**TRACT 2, ROW 1**  
**UNIT A, WEST OF WESTLAND**  
Warranty Deed Filed 12-31-1974, in Book 1975 Pages 150-151  
(CITY OF ALBUQUERQUE)

**SITE PLAN**  
1" = 40'-0" NORTH

AFD PLANS CHECKING OFFICE  
824-3611  
APPROVED/DISAPPROVED  
Signature: [Signature]  
DATE: 5-14-07



**BUILDING AREA & PARKING CALCULATIONS:**  
LOT 1: 3,500 SF. BUILDING.  
LOT SIZE = 48,164.29 SF OR 1.1057 A.C.  
3,500 SF / 200 = 18 SPACES.  
SPACES PROVIDED 26 SPACES.  
1 MOTOR CYCLE  
FAR = .07  
LOT 2: 7,360 SF. BUILDING.  
LOT SIZE = 40,171.03 SF OR .9222 A.C.  
7,360 SF / 200 = 36 SPACES.  
SPACES PROVIDED 49 SPACES.  
1 MOTOR CYCLE  
FAR = .18  
LOT 3: FAST FOOD 2,365 SF. BUILDING.  
LOT SIZE = 32,739.69 SF OR .7516 A.C.  
1 CAR PER 4 PROVIDED SEATS  
137 SEATS / 4 = 34 REQ. SPACES  
SPACES PROVIDED 34 SPACES.  
2 MOTOR CYCLE  
FAR = .07  
LOT 4: SHOPS 13,878 SF. BUILDING.  
LOT SIZE = 53,652.85 SF OR 1.2317 A.C.  
13,878 / 200 = 69 SPACES  
SPACES PROVIDED 71 SPACES.  
4 MOTOR CYCLE  
FAR = .24

Albuquerque Control Survey Monument  
New Mexico State Plane Coordinates  
Central Zone (NAD27) as published:  
X = 1,481,286.87  
Y = 3,488,584.58  
Elevation = 5301.894' (NOV 29)  
Ground to Grid Factor = 0.99987241  
Delta Alpha = -01720"

**FLOOR AREA RATIO**  
TOTAL BUILDING AREA = 27,103 SQ/FT  
TOTAL LOT AREA = 174,727.86 SQ/FT  
TOTAL FAR = .16

**PARKING NOTES:**  
TYPICAL STANDARD SPACES ARE 8'-6" x 20'-0"  
TYPICAL SMALL CAR SPACES ARE 7'-6" x 15'-6"  
TYPICAL HANDICAP SPACES ARE 8'-0" x 20'-0" WITH A 6' WIDE ACCESS AISLE  
\* ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED \*

TOTAL STANDARD PARKING SPACES PROVIDED 158 SPACES  
TOTAL HC PARKING SPACES PROVIDED (INCLUDES 8 VAN SPACES) 8 SPACES  
TOTAL SMALL CAR PARKING SPACES PROVIDED 14 SPACES  
MOTOR CYCLE SPACES 8  
TOTAL PROVIDED 188 SPACES  
TOTAL REQUIRED SPACES = 157 SPACES  
TOTAL PROVIDED SPACES = 188 SPACES

**LEGAL DESCRIPTION**  
TRACT "A" Plat of Tracts 1A & 1B, Row 1, Unit A, West of Westland, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the Plat of said Addition filed in the office of the County clerk of Bernalillo County, New Mexico on May 11, 1988, in Plat Book C36, folio 129.

**GENERAL ARCHITECTURAL DESIGN REQUIREMENTS**  
General architectural character for pod structures is to follow the general design concept depicted on elevations of building for lot 2. Pod buildings will be cementitious finish with a cementitious or split face emu dodo band. The main building walls must be colored to match color benjamin moore (#1) bm953, (#2) bm1032 and (#3) bm 993. If the building extends below finish floor that area will also be covered with color #2. Structures are to be predominantly flat-roofed however partial building areas such as porches or small extensions of building functions adjacent to the major building mass may have sloped roofs. These roofs are to be shed type Slate tile clad and the high point of the roof must hit the main building wall below the top of the main building parapet. Architectural entry element roofs may extend above the parapet wall top and area to relate to the entry format of the main buildings. Building heights are limited to 26' parapet heights for major building walls, and 22' parapet heights for pod building walls. Slate tile clad entry roofs may extend above this height to accent and articulate the building mass. The approval of site plans for building permit for parcels 1-3 will be delegated to the City of Albuquerque Design Review Board (DRB).  
fsc

**PAD ARCHITECTURAL DESIGN STANDARDS**  
Shall include the following elements to provide uniform standards for all pads. Each pod to follow building elevations provided. The lower 3'-4" of the area of vertical walls and landscape walls shall be four or eight inch split face emu or stucco, color #2. Four or eight inch split face or accent block, color #1 - fuel canopies to be cementitious finish color #1. Lighting to be entirely recessed in soffit of fuel canopies (max 50ft candles). Each pod development to provide an outdoor paved and landscaped patio space with outdoor furniture, such as bench seating or picnic tables.

**COLOR PALETTE**  
color #1 light tan benjamin moore #953  
color #2 medium light tan dodo band base wall color #1032  
color #3 brown/grey benjamin moore #993  
color #4 monierlife concrete slate tile roofing, trim & accents (brown blend).

**LINE TABLE**

LINE	LENGTH	BEARING
L1	48.41'	S11°08'50"E
L2	45.81'	S11°06'50"E
L3	39.08'	N74°49'59"E
L4	48.10'	S10°04'56"E
L5	46.13'	S07°37'42"E
L6	45.34'	S10°29'10"E
L7	101.97'	S06°02'15"E

**CURVE TABLE**

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	196.21'	3038.76'	98.14'	196.18'	N13°14'10"W	3°41'59"
C2	165.56'	4223.75'	82.79'	165.55'	N13°46'43"W	2°14'45"
C3	47.26'	30.00'	30.14'	42.52'	N60°02'03"W	90°15'55"

- KEYED NOTES**
1. Pylon sign, 1A. Monument sign
  2. 8'-0" raised textured pedestrian crosswalk.
  3. GATED REFUSE ENCLOSURE-PAINTED STUCCO TO MATCH BUILDING WITH SOLID GLAZES.
  4. LANDSCAPE PLANTERS.
  5. BIKE RACK PER C.O.A. STANDARDS.
  6. 2'-6" GARDEN WALL.
  7. CONCRETE OUTDOOR PATIO AREA.
  8. BENCH

- RADIUS INFORMATION:**
- |                   |                    |
|-------------------|--------------------|
| ① RADIUS = 2'-0"  | ⑧ RADIUS = 35'-0"  |
| ② RADIUS = 3'-0"  | ⑨ RADIUS = 40'-0"  |
| ③ RADIUS = 5'-0"  | ⑩ RADIUS = 50'-0"  |
| ④ RADIUS = 10'-0" | ⑪ RADIUS = 60'-0"  |
| ⑤ RADIUS = 15'-0" | ⑫ RADIUS = 65'-6"  |
| ⑥ RADIUS = 20'-0" | ⑬ RADIUS = 100'-0" |
| ⑦ RADIUS = 25'-0" | ⑭ RADIUS = 124'-0" |

**PROJECT NUMBER:** 1003794  
**APPLICATION NUMBER:** 07DRB-00181

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on [Date] and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) YES (X) NO If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

[Signature]	Transportation Division	3-14-07
[Signature]	Water Utility Department	3/14/07
[Signature]	Parks and Recreation Department	3/14/07
[Signature]	City Engineer	3/14/07
[Signature]	Environmental Health Department	[Date]
[Signature]	Solid Waste Management	3/14/07
[Signature]	DRB Chairperson, Planning Department	3/14/07

\* Environmental Health, if necessary

**REVISION**

REV	DATE	BY	DESCRIPTION
1			
2			
3			
4			
5			

**GENERAL CORRECTIONS**

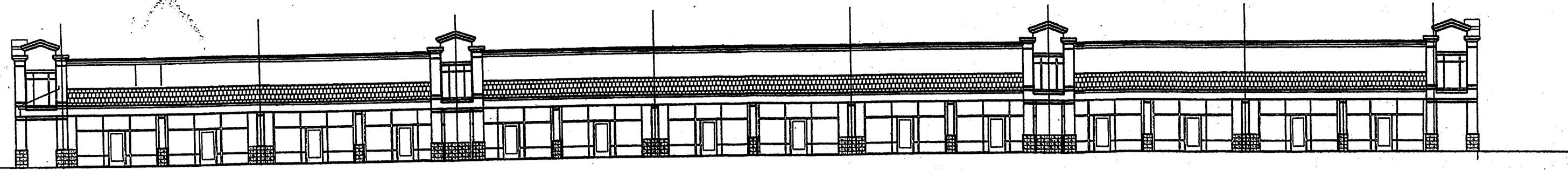
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AD	03/07/07	AD	
AD	01/12/07	AD	

**GEORGE RAINHART ARCHITECT AND ASSOCIATES PC**  
2325 SAN PEDRO N.E. SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

**PROJECT TITLE**  
98TH AND CENTRAL PLAN  
NORTHWEST CORNER OF 98TH ST. & CENTRAL AVENUE  
ALBUQUERQUE, NEW MEXICO

**DRAWN BY:** WIS  
**JOB NO.:** 0653  
**PROJECT MANAGER:** ANTON DAITILO  
**SHEET TITLE:** SITE PLAN FOR SUBDIVISION

**DATE:** 11-1-2006  
**SCALE:** 1" = 40'-0"  
**SHEET:** AS1 of



# THE NORTHWEST CORNER OF 98TH AND CENTRAL IS TO BE KNOWN AS VOLCANO POINT VOLCANO POINT DESIGN STANDARDS

THE PURPOSE OF THESE DESIGN STANDARDS IS TO PROVIDE A FRAMEWORK TO ASSIST THE ARCHITECTS, LANDSCAPE ARCHITECTS AND DESIGNERS IN UNDERSTANDING THE VISION OF THE DEVELOPMENT GOALS. THE DESIGN STANDARDS SHOULD BE USED TO FACILITATE THE DESIGN OF BUILDINGS WHICH RESPECT THE EXISTING SITE CONDITIONS AND THE CHARACTER AND LAND USES OF THE ADJACENT PROPERTIES AND NEIGHBORHOODS.

THESE STANDARDS ADDRESS THE ISSUES OF LANDSCAPE, SETBACKS, PEDESTRIAN AMENITIES, SCREENING, LIGHTING, SIGNAGE AND ARCHITECTURE THAT WILL ESTABLISH THE VISUAL IMAGE FOR VOLCANO POINT. THESE STANDARDS ARE ESTABLISHED TO CONTROL FUTURE COMMERCIAL DEVELOPMENT WITHIN VOLCANO POINT.

SUBSEQUENT SITE PLANS FOR BUILDING PERMITS SHALL BE CONSISTENT WITH THE DESIGN STANDARDS ESTABLISHED BY THIS SITE PLAN FOR SUBDIVISION AND SHALL BE APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION. MINOR AMENDMENTS TO THIS SITE PLAN FOR SUBDIVISION SHALL BE APPROVED ADMINISTRATIVELY BY THE PLANNING DIRECTOR IN ACCORDANCE WITH THE COMPREHENSIVE CITY ZONING CODE, SECTION 14-16-2-22(A)(6). MAJOR AMENDMENTS SHALL BE REQUIRED APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION.

## SITE PLANNING

IT IS INTENDED TO MAINTAIN A STANDARD QUALITY AND CONSISTENCY IN STYLE FOR SITE AMENITIES SUCH AS BENCHES, WALKWAYS, LIGHTING, ETC., CREATING SAFE AND PLEASANT PEDESTRIAN CIRCULATION. THE FOLLOWING ARE INTENDED TO SET THOSE STANDARDS.

ALL PEDESTRIAN WALKWAYS THROUGHOUT VOLCANO POINT SHALL BE BUILT TO CITY OF ALBUQUERQUE REQUIREMENTS.

ALL CROSS WALKS BETWEEN PARCELS AND ACROSS DRIVES SHALL BE 6'-0" WIDE RAISED TEXTURED CONCRETE WALKS.

ALL PEDESTRIAN WALKS SHALL BE DESIGNED TO SATISFY AMERICAN WITH DISABILITIES ACT CRITERIA EXCEPT WHERE TOPOGRAPHY MAKES THIS UNFEASIBLE.

EACH BUILDING IS TO HAVE A CROSSWALK CONNECTION TO EACH OTHER.

EACH COMMERCIAL LOT IS TO HAVE AN OUTDOOR SITTING AREA WITH FIXED BENCH. EACH LOT SHALL PROVIDE A SECURE BICYCLE STORAGE RACK THAT IS CONVENIENTLY LOCATED TO EACH BUILDING AND IN A LOCATION LEAST OBSTRUCTIVE TO PEDESTRIAN AND VEHICULAR CIRCULATION.

## PARKING

IN SUPPORT OF THE GOALS FOR PEDESTRIAN ACCESSIBILITY, CAREFUL ATTENTION SHOULD BE PAID TO THE PARKING DESIGN. AN EFFORT SHALL BE MADE BY SITE DESIGNERS TO MINIMIZE THE VISUAL IMPACT OF PARKING FACILITIES. IN REDUCING THE VISUAL IMPACT OF PARKING AREAS SHALL BE BROKEN WITH INTERMEDIATE LANDSCAPE AREAS. ADDITIONAL GUIDELINES ARE AS FOLLOWS.

HANDICAPPED PARKING SPACES SHALL BE PROVIDED ADJACENT TO THE BUILDING ENTRANCES.

PARKING SHALL BE DESIGNED TO INCLUDE A PEDESTRIAN ACCESS TO BUILDINGS.

PARKING AREAS ADJACENT TO 98TH STREET AND CENTRAL AVENUE ARE REQUIRED TO BE SCREENED BY THE USE OF LANDSCAPING, LANDSCAPING BERRIS, GARDEN WALLS OR ANY COMBINATION OF SCREENING, GARDEN WALLS SHALL BE ARCHITECTURALLY COMPATIBLE WITH THE SURROUNDING BUILDINGS.

## OFF STREET PARKING REQUIREMENTS:

RETAIL AND FINANCIAL BUSINESSES SHALL BE REQUIRED TO HAVE FIVE PARKING SPACES PER 1000 SQUARE FEET OF LEASED BUILDING AREA.

SIT DOWN RESTAURANTS SHALL HAVE 15 SPACES PER 1000 SQUARE FEET OF BUILDING AREA. FAST FOOD RESTAURANTS SHALL HAVE 10 SPACES PER 1000 SQUARE FEET OF BUILDING AREA OR ONE PARKING SPACE PER FOUR SEATS.

EACH PARCEL SHALL HAVE A MOTORCYCLE PARKING AREA TO ACCOMMODATE TWO MOTORCYCLES.

## LANDSCAPING

THE DEVELOPMENT OF THE OVERALL LANDSCAPE DESIGN SHALL ESTABLISH GUIDELINES THAT UNIFY THE PROPERTY AND IS APPROPRIATE FOR THE NEARBY NEIGHBORHOODS. THE LANDSCAPE DESIGN SHOULD EMPHASIZE LOW WATER NATIVE AND NATURALIZED PLANT SPECIES. ALL LANDSCAPE AREAS NEED TO BE COORDINATED AND RESPONSIVE TO EXISTING ENVIRONMENTAL CONDITIONS AND LOCAL BUILDING POLICIES. THESE STANDARDS ARE TO BE USED AS A SUPPLEMENT TO THE CITY REQUIREMENTS IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE, THE STREET TREE ORDINANCE AND LANDSCAPE REGULATIONS INCLUDED IN THE CITY OF ALBUQUERQUE COMPREHENSIVE CITY ZONING CODE.

THE FOLLOWING ARE MINIMUM STANDARDS FOR THE DEVELOPMENT OF SPECIFIC LANDSCAPE PLANS:

STREET TREES SHALL BE PROVIDED ALONG ROADWAYS AT THE RATE OF ONE PER 30 LINEAR FEET. THEY MAY BE RANDOM OR REGULARLY PLACED.

THE DEVELOPER/OWNER WILL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE LANDSCAPE ON THE PROPERTY. ALL PLANT MATERIALS, INCLUDING TREES, SHRUBS, GROUND COVER, TURF, WILDFLOWERS, ETC. SHALL BE MAINTAINED BY THE PROPERTY OWNER FOR THE LIVING ATTRACTIVE CONDITION.

A MINIMUM OF 15 PERCENT OF THE SITE AREA FOR COMMERCIAL PROJECTS (MINUS THE BUILDING SQUARE FOOTAGE) SHALL BE DEVOTED TO LANDSCAPE MATERIALS.

LANDSCAPE AREAS SHALL BE A MINIMUM OF 36 SQUARE FEET AND A MINIMUM WITH OF 5 FEET. LIVING VEGETATIVE MATERIALS SHALL COVER A MINIMUM OF 15 PERCENT OF THE LANDSCAPED AREAS. THE AREA AND PERCENTAGE IS CALCULATED BASED ON THE MATURE CANOPY SIZE OF ALL PLANT MATERIAL.

ALL PLANT AREAS NOT COVERED WITH TURF SHALL HAVE A GROUND TOPPING OF RIVER ROCK, SHREPPED BARK, GRAVEL MULCH OR SIMILAR MATERIAL WHICH EXTENDS COMPLETELY UNDER THE PLANT MATERIAL.

LANDSCAPE HEADERS SHALL BE USED TO SEPARATE ANY TURF AND GROUND COVER AREAS.

TO SHADE AND MITIGATE VISUAL IMPACT OF LARGE EXPANSES OF PAVEMENT, INTERIOR PARKING AREAS SHALL HAVE ONE TREE FOR EACH 10 PARKING SPACES WITH NO SPACE BEING MORE THAN 100 FEET FROM A TREE.

15 PERCENT OF THE REQUIRED PARKING AREA TREES SHALL BE DECIDUOUS AND HAVE A MATURE HEIGHT AND CANOPY OF AT LEAST 20 FEET.

AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM SHALL BE PROVIDED TO SUPPORT ALL REQUIRED LANDSCAPING. IRRIGATION COMPONENTS SHOULD BE CHECKED PERIODICALLY TO ENSURE MAXIMUM EFFICIENCY.

MINIMUM PLANT SIZES AT TIME OF INSTALLATION SHALL BE AS FOLLOWS:

TREES: 1 1/2 INCH CALIFER OR 10 TO 12 FEET IN HEIGHT

SHRUBS: 4 GROUND COVER 1 GAL ON

TURF GRASSES SHALL PROVIDE COMPLETE GROUND COVERAGE WITHIN 1 GROWING SEASON AFTER INSTALLATION.

## ARCHITECTURE

THE ARCHITECTURAL DESIGN SHALL DEMONSTRATE A QUALITY AESTHETIC CHARACTER THROUGHOUT THE PROPERTY AND SHOULD RESPOND TO CLIMATE, VIEWS, SOLAR SENSITIVITY AND AESTHETIC COMPATIBILITY.

### COMMERCIAL ARCHITECTURAL STYLE

THE GENERAL ARCHITECTURAL CHARACTER FOR THE RETAIL STRUCTURES SHALL BE A CONTEMPORARY MISSION STYLE. ABOVE IS A PRELIMINARY ELEVATION OF THE PROPOSED ARCHITECTURAL THEME. RETAIL STORE FRONTS MAY HAVE PITCH ROOFS OVER COLONADE COVERED WALK AREA. PITCHED ROOF AREAS ARE TO BE ROOFED WITH MONIERLIFE TILE SLATE TILE CHESTNUT BROWN. TOWER ELEMENTS ARE TO BE ARTICULATED TO WALK THROUGH WITH RAISED VAULTED CEILINGS AND UPPER OPENINGS TO ALLOW PENETRATION OF NATURAL LIGHT. MAIN STRUCTURE ROOFS ARE TO BE FLAT ROOFS WITH RAISED PARAPETS TO CREATE ROOF TOP EQUIPMENT SCREENING. OTHER FEATURES ARE TO INCLUDED CONCRETE MASONRY, UNIT-SPLIT FACED WAINSCOT, ADDITIONAL DETAILS SUCH AS CORNICE TRIM, ORNAMENTAL FIXTURES ARE ALSO REQUIRED. MAXIMUM BUILDING PARAPET HEIGHT IS LIMITED TO 26' WITH ARCHITECTURAL ACCENTS SUCH AS TOWER AND ENTRY ELEMENTS MAY EXTEND ABOVE MAXIMUM PARAPET HEIGHT. THE MAXIMUM HEIGHT OF A PITCHED ROOF SHALL BE BASED ON THE AVERAGE HEIGHT BETWEEN THE FLATE AND RIDGE.

THE FOLLOWING ARE MINIMUM ARCHITECTURAL STANDARDS FOR COMMERCIAL DEVELOPMENT:

COMMERCIAL BUILDINGS SHALL COMPLY WITH SECTION 14-16-3-19, GENERAL BUILDING AND SITE DESIGN REGULATIONS FOR NON-RESIDENTIAL USES OF THE COMPREHENSIVE CITY ZONING CODE, AS WELL AS OTHER LOCAL BUILDING AND FIRE CODES.

AININGS ARE PERMITTED ABOVE WINDOW AREAS. AININGS WITH PAINT OR EMBOSSED CORPORATE LOGOS OR SIGNAGE ARE PERMITTED PROVIDED THE AREA WHEN ADDED TO ALL OTHER WALL SIGNAGE DOES NOT EXCEED THE ALLOWABLE SIGN AREA OF BUILDING WALL. ILLUMINATION OF AININGS MUST BE FROM PENDANT MOUNTED FIXTURES LOCATED ABOVE THE AINING. ACCENT COLORS ON AININGS ARE TO BE COMPATIBLE WITH THE GENERAL COLOR PALETTE AND SAMPLES OF THE PROPOSED AINING COLORS ARE TO BE PROVIDED WITH EACH SUBMITTAL.

REFLECTIVE GLAZING IS PROHIBITED. CLEAR BRONZE TINTED GLASS IS PERMITTED.

NO PLASTIC OR VINYL BUILDING PANELS, AININGS OR CANOPIES ARE ALLOWED.

ENTRWAYS TO COMMERCIAL BUILDINGS SHALL BE CLEARLY DEFINED.

ROOFS MAY BE FLAT, PITCHED (TILE) OR A COMBINATION OF BOTH AND SHALL BE MADE OF NON-REFLECTIVE MATERIALS. ROOF TILE COLOR SHALL BE CHESTNUT BROWN. BUILDING FINISHES WILL BE STUCCO AND COLORS SHALL BE LIGHT TAN, MEDIUM TAN AND BROWN/GRAY.

### SCREENING/BUFFERING

THE EFFECTIVE USE OF SCREENING DEVICES FOR PARKING LOTS, LOADING AREAS, REFUSE ENCLOSURES, DELIVERY/STORAGE AREAS AND MECHANICAL EQUIPMENT IS ESSENTIAL TO LIMIT THEIR ADVERSE VISUAL IMPACT ON THE PROPERTY. THE STANDARDS ESTABLISHED IN THE LANDSCAPE SECTION WILL PROVIDE THE MAIN OBJECTIVES TO SCREENING UNATTRACTIVE ELEMENTS AND ACTIVITIES.

PERIMETER FENCING ARE ALLOWED, HOWEVER, AN EFFORT SHOULD BE MADE BY THE SITE DESIGNER TO LESSEN ITS VISUAL IMPACT THROUGH LANDSCAPING, MEANDERING WITHIN LANDSCAPE AREA OR PROVIDING OPENINGS. WALLS AND FENCES SHALL COMPLY WITH SECTION 14-16-3-19 GENERAL HEIGHT AND DESIGN REGULATIONS FOR WALLS, FENCES AND RETAINING WALLS OR THESE DESIGN STANDARDS AS SPECIFIED BELOW.

DRIVE-UP AND PICKUP WINDOWS SHALL BE SCREENED WITH A 5 FOOT HIGH OPAQUE WALL AND 5 FOOT WIDE (MINIMUM) LANDSCAPE AREA WITH EVERGREEN TREES. A BERRY OF SAME HEIGHT AS THE WALL MAY BE PROVIDED IN LIEU OF THE WALL.

SERVICE AREAS SUCH AS REFUSE LOCATIONS AND COMPACTORS ARE TO BE SCREENED FROM THE VIEW OF THE ADJACENT RESIDENTIAL AREA. PUBLIC RIGHTS-OF-WAY AND ADJACENT MONUMENT AREA. FREE-STANDING DUMPSTER AND COMPACTOR LOCATIONS ARE TO BE GATED. SCREENING MATERIAL SHALL MATCH BUILDING WALL COLOR AND MATERIAL.

UNFINISHED BLOCK WALLS AND BARBED WIRE, CHAIN LINK, CONCERTINA WIRE AND PLASTIC/VINYL FENCING ARE PROHIBITED.

CLEAR SIGHT DISTANCES FOR SAFETY PURPOSES WILL BE MAINTAINED AT ALL DRIVEWAY LOCATIONS.

THE MAXIMUM HEIGHT OF RETAINING WALLS IS 8 FEET. AREAS REQUIRING GREATER RETAINAGE ARE REQUIRED TO BE TERRACED WITH A 4 FOOT HORIZONTAL SEPARATION BETWEEN WALLS.

### LIGHTING

IN ORDER TO ENHANCE THE SAFETY, SECURITY AND VISUAL AESTHETICS CAREFUL CONSIDERATION MUST BE GIVEN TO BOTH THE DAYTIME AND NIGHT-TIME APPEARANCE OF THE LIGHTING DESIGN AND FIXTURES. THE PRIMARY DESIGN OBJECTIVE OF THE SITE LIGHTING SHALL BE TO MAXIMIZE PUBLIC SAFETY WHILE NOT AFFECTING ADJACENT PROPERTIES, BUILDINGS OR ROADWAYS WITH UNNECESSARY GLARE, REFLECTION OR BRIGHT LIGHTING.

THE FOLLOWING ARE THE GUIDELINES TO THE LIGHTING DESIGN TO SUCCESSFULLY ACCOMPLISH THESE GOALS:

ALL LIGHTING SHALL COMPLY WITH SECTION 14-16-3-9, AREA LIGHTING REGULATIONS OF THE COMPREHENSIVE CITY ZONING CODE. PLACEMENT OF FIXTURES AND STANDARDS SHALL CONFORM TO STATE AND LOCAL SAFETY AND ILLUMINATION STANDARDS.

SITE LIGHTING FOR PAD STRUCTURES IS TO MATCH THE SITE LIGHTING PROVIDED FOR THE MAIN COMMERCIAL PARKING AREA.

PAD SIGHT LIGHTING SHALL NOT EXCEED 20 FEET FROM THE FINISHED GRADE TO THE TOP OF THE POLE. MAIN COMMERCIAL PARKING AREA LIGHTING SHALL NOT EXCEED 30 FEET. PARKING LOT LIGHTS WITHIN 100 FEET OF RESIDENTIAL AREAS SHALL BE A MAXIMUM OF 16 FEET HIGH FROM FINISHED GRADE TO TOP OF POLE.

UNFOSED UNSHIELDED LIGHT FIXTURES ARE PROHIBITED. ALL LAMPS SHALL BE SHIELDED SHOE BOX-TYPE FIXTURES.

INDIVIDUAL SITE LIGHTING STANDARDS SHALL BLEND WITH THE ARCHITECTURAL CHARACTER OF THE BUILDINGS AND OTHER SITE FIXTURES.

THE LOCATION OF LIGHT FIXTURES SHALL BE IDENTIFIED ON SUBSEQUENT SITE PLANS FOR BUILDING PERMIT.

AREA LIGHTING SHALL BE RESTRICTED TO A MAXIMUM OFF-SITE LUMINANCE OF 1000 FOOT-LAMBERTS FROM ANY POINT AND MAXIMUM OF 200 FOOT-LAMBERTS FROM ANY RESIDENTIAL PROPERTY LINE.

ACCENT LIGHTING IS PERMITTED, HOWEVER SURFACE LIGHTING IS LIMITED TO AN AVERAGE OF 2 FOOT-CANDLES MEASURED 4 FEET FROM THE SURFACE LEVEL OF ANY POINT ON THE BUILDING SURFACE BEING ILLUMINATED. UTILITIES

TO ENSURE THE OVERALL AESTHETIC QUALITY AND THE NATURAL ENVIRONMENT, THE VISUAL IMPACT OF UTILITIES AND EQUIPMENT SHOULD BE MINIMIZED BY THE FOLLOWING:

TRANSFORMERS, UTILITY PADS AND TELEPHONE BOXES SHALL BE APPROPRIATELY SCREENED WITH WALLS AND/OR VEGETATION WHEN VIEWED FROM THE PUBLIC RIGHT-OF-WAY.

WHEN AN ABOVEGROUND BACK FLOW PREVENTION DEVICE IS REQUIRED BY THE CITY OF ALBUQUERQUE, THE HEATED ENCLOSURE SHALL BE CONSTRUCTED OF MATERIALS COMPATIBLE WITH THE ARCHITECTURAL MATERIALS USED AS THE MAIN ELEMENTS OF THE BUILDING. IF PREFABRICATED FIBERGLASS ENCLOSURES ARE USED, THEY SHALL BE APPROPRIATELY SCREENED FROM VIEW BY WALLS AND/OR LANDSCAPING.

## SIGNAGE

THE FOLLOWING SIGNAGE STANDARDS WERE DEVELOPED TO REGULATE THE SIZE, LOCATION, TYPE AND QUALITY OF THE SIGN ELEMENTS WITHIN VOLCANO POINT. THE PRIMARY GOAL IS TO PROVIDE A SIGNAGE PROGRAM WITH QUALITY, MAINTAIN A CONSISTENT STYLE, CREATES A SENSE OF ARRIVAL AND COMPLEMENTS THE VISUAL CHARACTER OF THE DEVELOPMENT.

ALL SIGNS SHALL BE IN COMPLIANCE WITH SECTION 14-16-3-5 GENERAL SIGN REGULATIONS OF THE COMPREHENSIVE CITY ZONING CODE.

ONE ARCHITECTURALLY COORDINATED 22 FOOT TALL SIGN, 100 SQUARE FEET IN SIGN AREA IS ALLOWED ALONG CENTRAL AVENUE. ONE ARCHITECTURALLY COORDINATED 16-FOOT TALL SIGN PER PARCEL (TOTAL 4), 50 SQUARE FEET IN SIGN AREA IS ALLOWED ALONG 98TH STREET. EACH BUILDING PAD IS PERMITTED 50 SQUARE FEET MONUMENT SIGN ADJACENT TO THE INTERNAL SITE DRIVE.

ALL BUILDING MOUNTED SIGNAGE WILL BE INDIVIDUAL TYPE LETTERING NOT TO EXCEED 6 PERCENT OF THE WALL AREA OF EACH BUILDING ELEVATION OR TEN PERCENT OF THE WALL AREA OF MULTI-TENANT SHOP BUILDINGS.

ALL SIGNS ARE TO BE OF INDIVIDUAL LETTERS. THE FOLLOWING TYPES OF LETTERS ARE ACCEPTABLE:

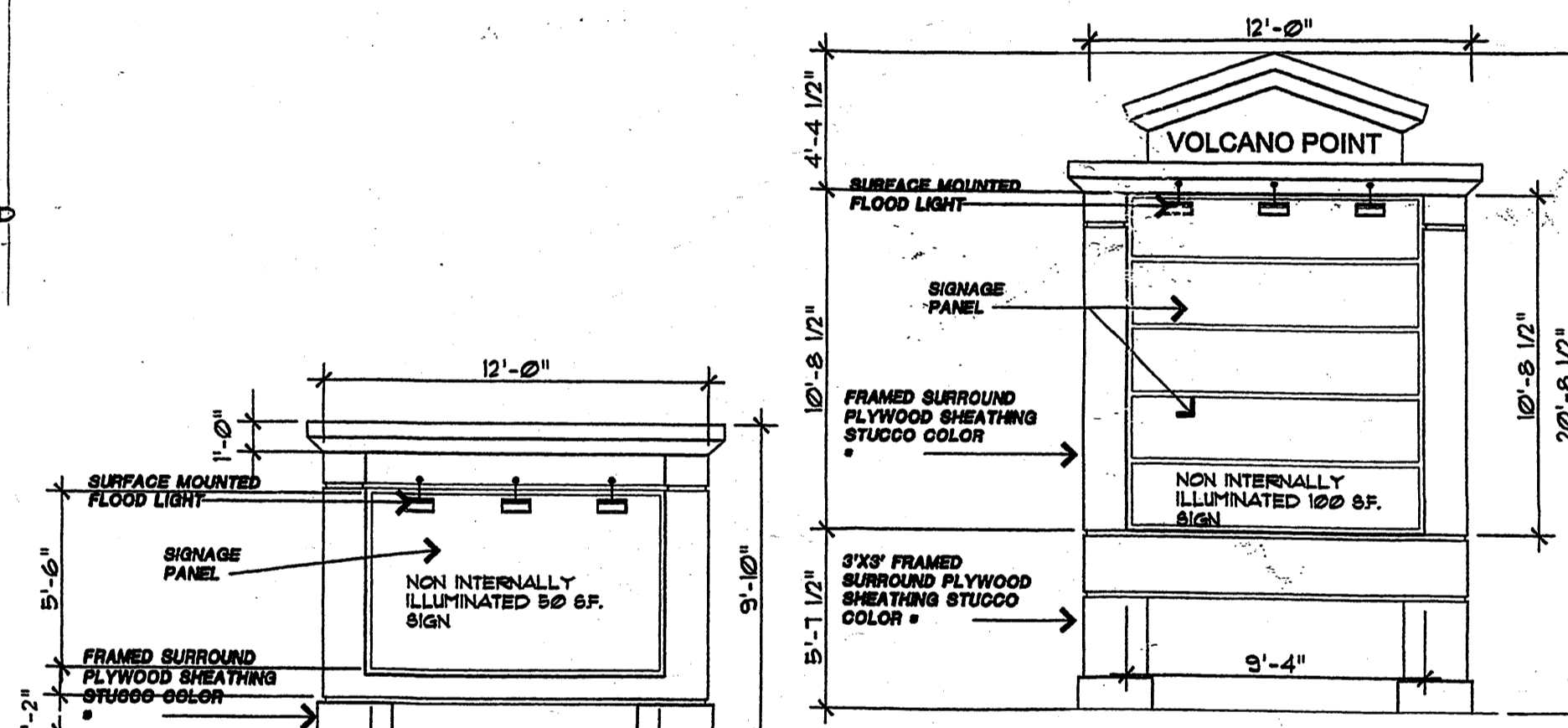
TYPE 1: OPAQUE LETTERING INDEPENDENTLY ILLUMINATED BY GOOSE NECK TYPE LIGHTING

TYPE 2: CHANNEL LETTERS DARK BROWN OR BLACK IN COLOR INTERNALLY ILLUMINATED WITH LETTER SIDES TO MATCH LETTER FACE COLOR. FACE COLORS TO BE TO THE DISCRETION OF THE TENANT.

TYPE 3: SAME AS TYPE 2 EXCEPT HALO LIT.

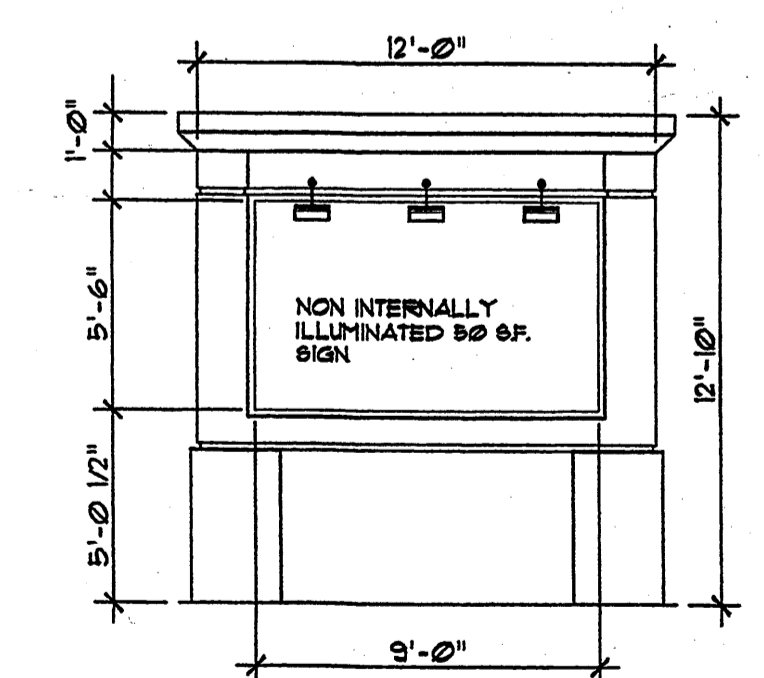
TYPE 4: HALO LIT LETTERS CUT OUT OF SOLID METAL BACKGROUND SPACED OFF THE FACE OF THE BUILDING.

CAN TYPE SIGNS ARE PROHIBITED. ANY SPECIAL LOGOS ASSOCIATED WITH SPECIFIC TENANT ARE TO BE PROVIDED IN A NON-ILLUMINATED FASHION FOR SPECIFIC APPROVAL.



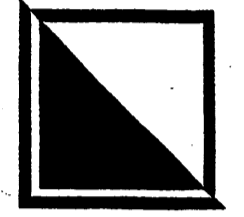
50 S.F. 98TH STREET NW SIGNS

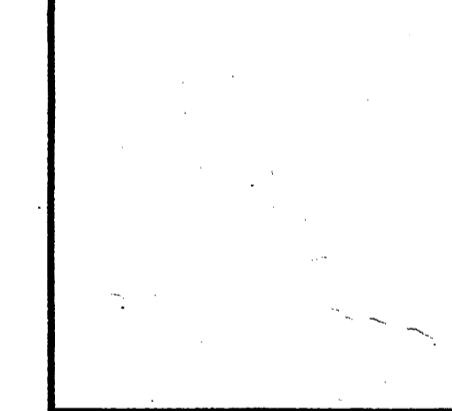
100 S.F. CENTRAL AVE.



50 S.F. 98TH STREET NW PARCEL 1 SIGN

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

  
**GEORGE RAINHART ARCHITECT AND ASSOCIATES PC**  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877



**PROJECT TITLE**  
 98TH AND CENTRAL PLAN  
 NORTHWEST CORNER OF 98TH ST. & CENTRAL AVENUE  
 ALBUQUERQUE, NEW MEXICO

**PROJECT MANAGER**  
 ANTON DATILLO

**DRAWN BY:**  
 WRS

**JOB NO.**  
 0653

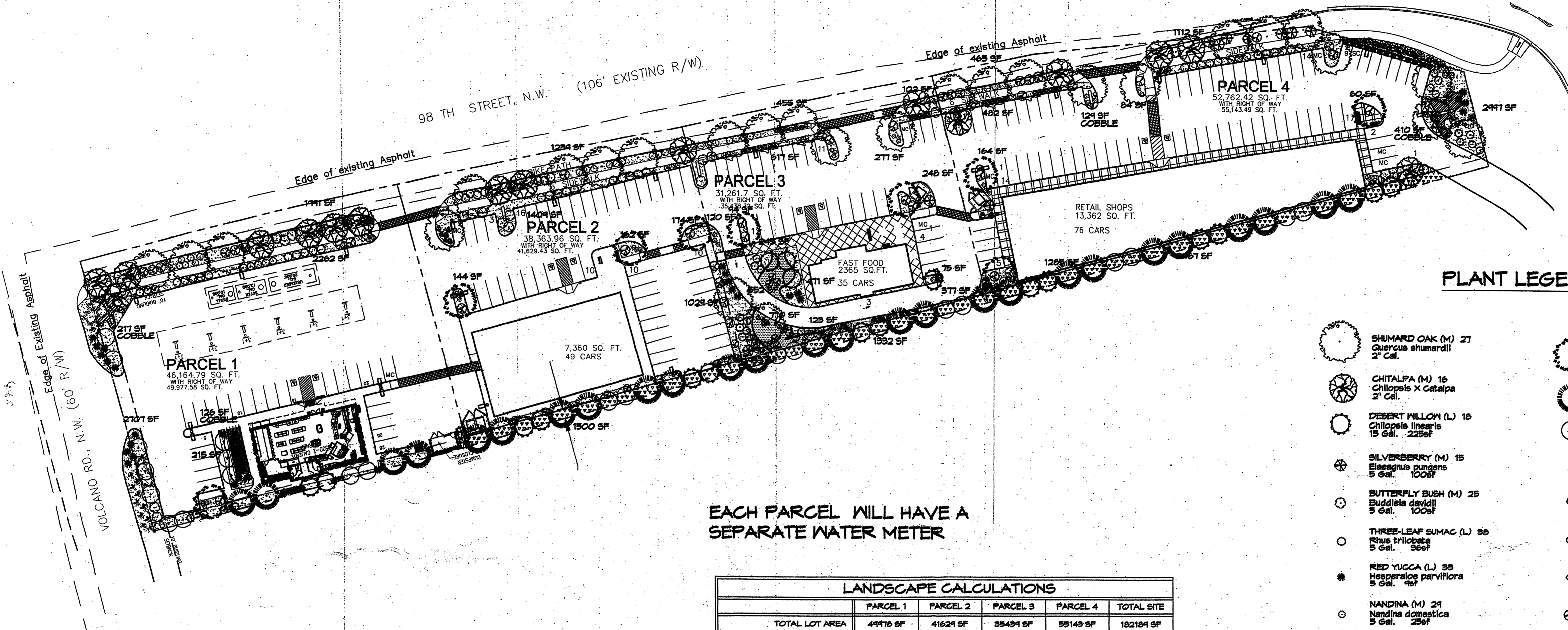
**SHEET TITLE**  
 SITE PLAN FOR SUBDIVISION

**DATE:**  
 11-1-2006

**SCALE:**  
 1"=40'

**sheet:**  
**AS2**  
 of

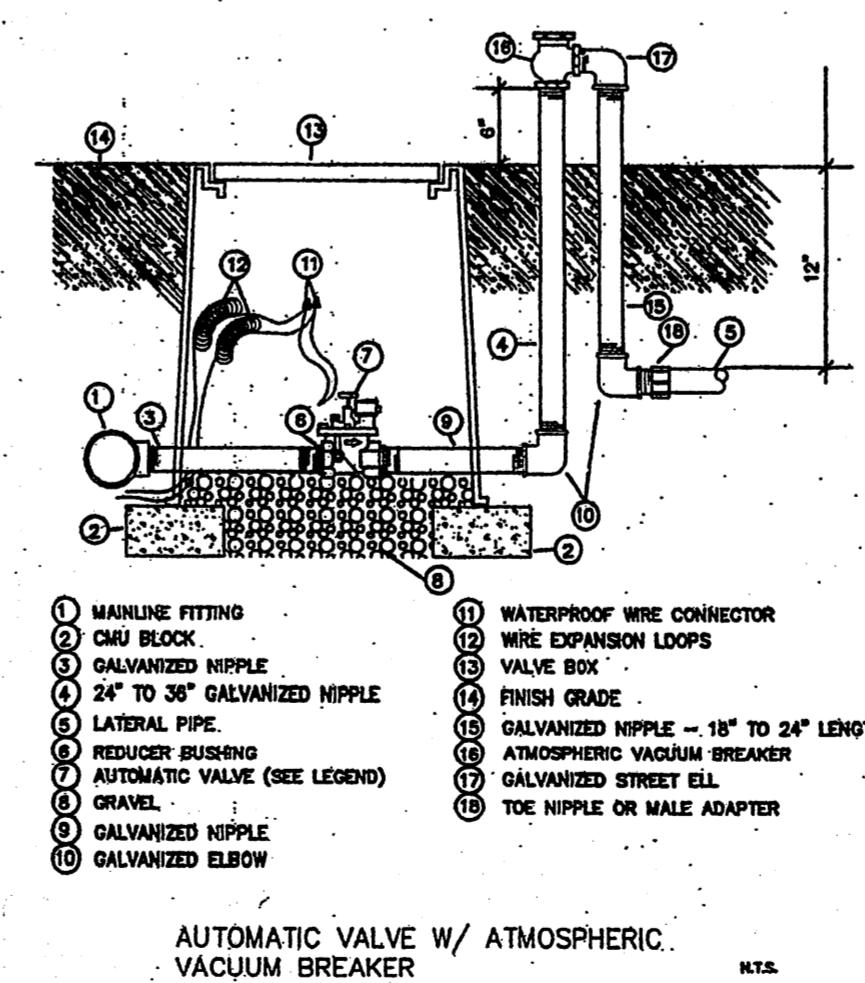




**EACH PARCEL WILL HAVE A SEPARATE WATER METER**

LANDSCAPE CALCULATIONS					
	PARCEL 1	PARCEL 2	PARCEL 3	PARCEL 4	TOTAL SITE
TOTAL LOT AREA	44918 SF	41629 SF	35439 SF	55149 SF	182135 SF
TOTAL BUILDINGS AREA	8866 SF	7580 SF	2365 SF	13362 SF	26173 SF
OFFSITE AREA	3819 SF	2405 SF	4171 SF	2381 SF	13776 SF
NET LOT AREA	42299 SF	31964 SF	28899 SF	39400 SF	142562 SF
LANDSCAPE REQUIREMENT (.15)	6343 SF	4795 SF	4335 SF	5910 SF	21383 SF
TOTAL BED PROVIDED	5108 SF	4418 SF	6254 SF	8185 SF	24965 SF
GROUND COVER REQ. (.75)	4271 SF	3314 SF	4691 SF	6139 SF	18420 SF
TOTAL LANDSCAPE PROVIDED	4403 SF (11%)	4036 SF (11%)	4805 SF (17%)	5928 SF (12%)	19172 SF (18%)

**NOTE TO CLIENT:**  
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an in-field change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



**PLANT LEGEND**

- SHUMARD OAK (M) 27  
Quercus shumardii  
2" Cal.
- CHITALPA (M) 16  
Chilopsis x Catalpa  
2" Cal.
- DESERT WILLOW (L) 18  
Chilopsis linearis  
15 Gal. 225sf
- SILVERBERRY (M) 15  
Elaeagnus pungens  
5 Gal. 100sf
- BUTTERFLY BUSH (M) 25  
Buddleia davidii  
5 Gal. 100sf
- THREE-LEAF SUMAC (L) 38  
Rhus trilobata  
5 Gal. 36sf
- RED YUCCA (L) 33  
Hesperaloe parviflora  
5 Gal. 4sf
- NANDINA (M) 24  
Nandina domestica  
5 Gal. 25sf
- GREYLEAF COTONEASTER (M) 6  
Cotoneaster buxifolius  
5 Gal. 81sf  
Symbol indicates 3 plants
- NATURAL EDGE
- COMMERCIAL GRADE STEEL EDGING
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC
- SANTA FE BROWN CRUSHER CRUSHER FINES W/FF
- COBBLE W/FF
- 3/4" GREY GRAVEL WITH FILTER FABRIC
- CHINESE PISTACHE (M) 4  
Pistacia chinensis  
2" Cal.
- AUSTRIAN PINE (M) 22  
Pinus nigra  
6'-8'
- NEW MEXICO OLIVE (L) 24  
Forestiera neomexicana  
15 Gal.
- REGAL MIST (M) 13  
Muhlenbergia capillaris  
5 Gal. 4sf
- OCOTILLO (L) 3  
Fouquieria splendens
- RUSSIAN SAGE (M) 38  
Perovskia atriplicifolia  
5 Gal. 36sf
- POTENTILLA (M) 45  
Potentilla fruticosa  
1 Gal. 4sf
- HONEYSUCKLE (M) 52  
Lonicera japonica 'Halliana'  
1 Gal. 144sf  
Unstaked-Groundcover
- WILDFLOWER 30  
1 Gal. 4sf
- THREADGRASS (M) 35  
Stipa tenuissima  
1 Gal. 4sf
- PRICKLY PEAR (L) 18  
Opuntia macrocentra  
4 sf
- AGAVE (L) 2  
Agave spp.  
16 sf
- 12 BOULDERS

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Foliage Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

**STREET TREE REQUIREMENTS**

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: 98th Street NW  
Required # 31 Provided # 31

Name of Street: Central Ave. NW  
Required # 3 Provided # 3

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

**PARKING LOT TREE REQUIREMENTS**

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces  
Required # 14 Provided # 20

REV	DATE	BY	REVISION
1	1-18-07	eff	revised site plan, comments
2	11-09-06	mm	comments from the city
3	11-2-06	mm	revised site plan and comments

**GEORGE RAINHART ARCHITECT AND ASSOCIATES PC**  
2325 SAN PEDRO N.E. SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

**PRELIMINARY NOT FOR CONSTRUCTION**

**PROJECT TITLE**  
VOLCANO POINT  
NORTHWEST CORNER OF 98TH ST. & CENTRAL AVENUE  
ALBUQUERQUE, NEW MEXICO

**PROJECT MANAGER**  
ANTONIO DANTILLO

**JOB NO.**  
0653

**DRAWN BY:**  
RMM

**SHEET TITLE**  
LANDSCAPE PLAN

**DATE:**  
11-1-2006

**SCALE:**  
1"=40'

**sheet:**  
1

**L1**

**LANDSCAPE PLAN**

1"=40'-0" NORTH

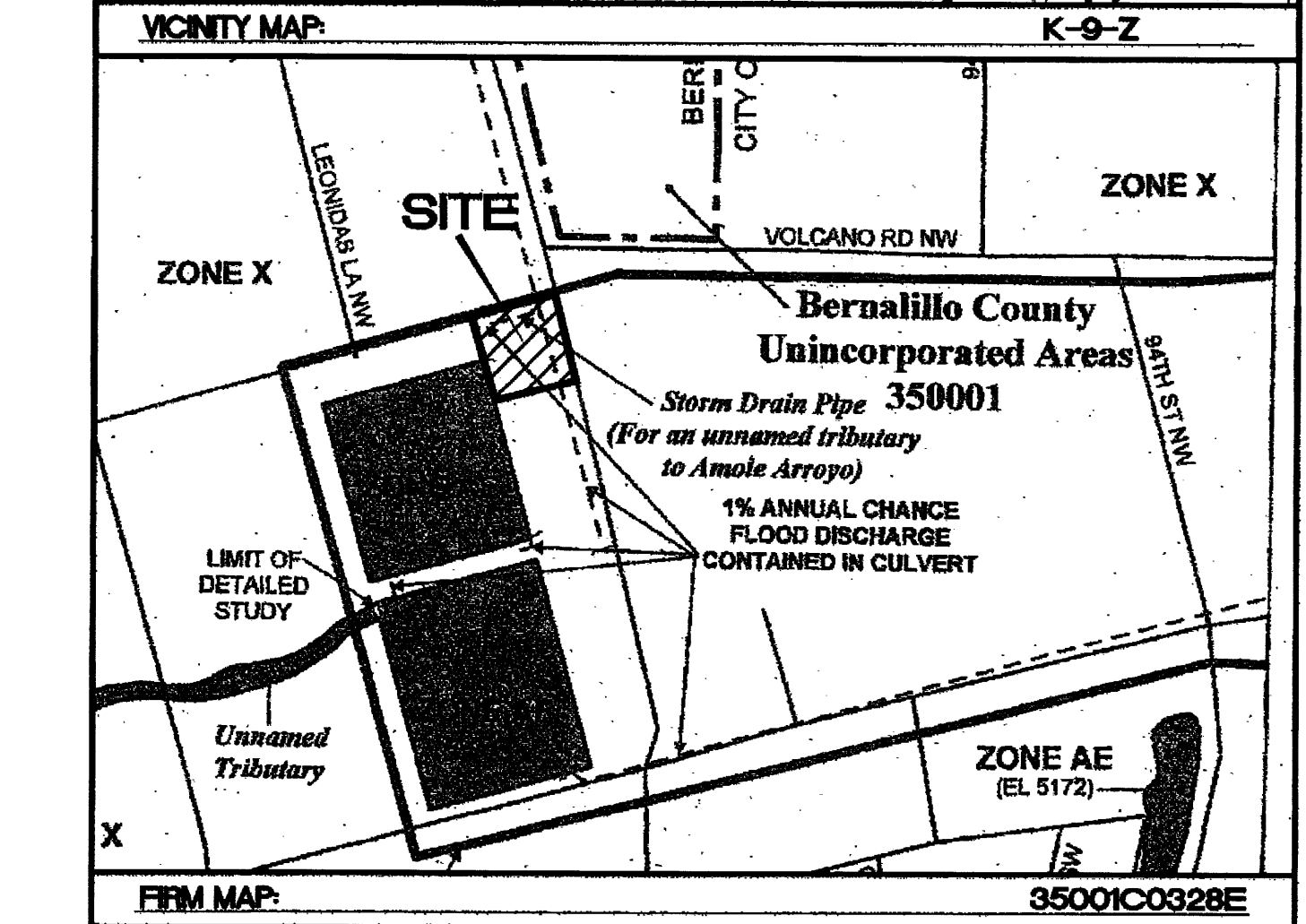
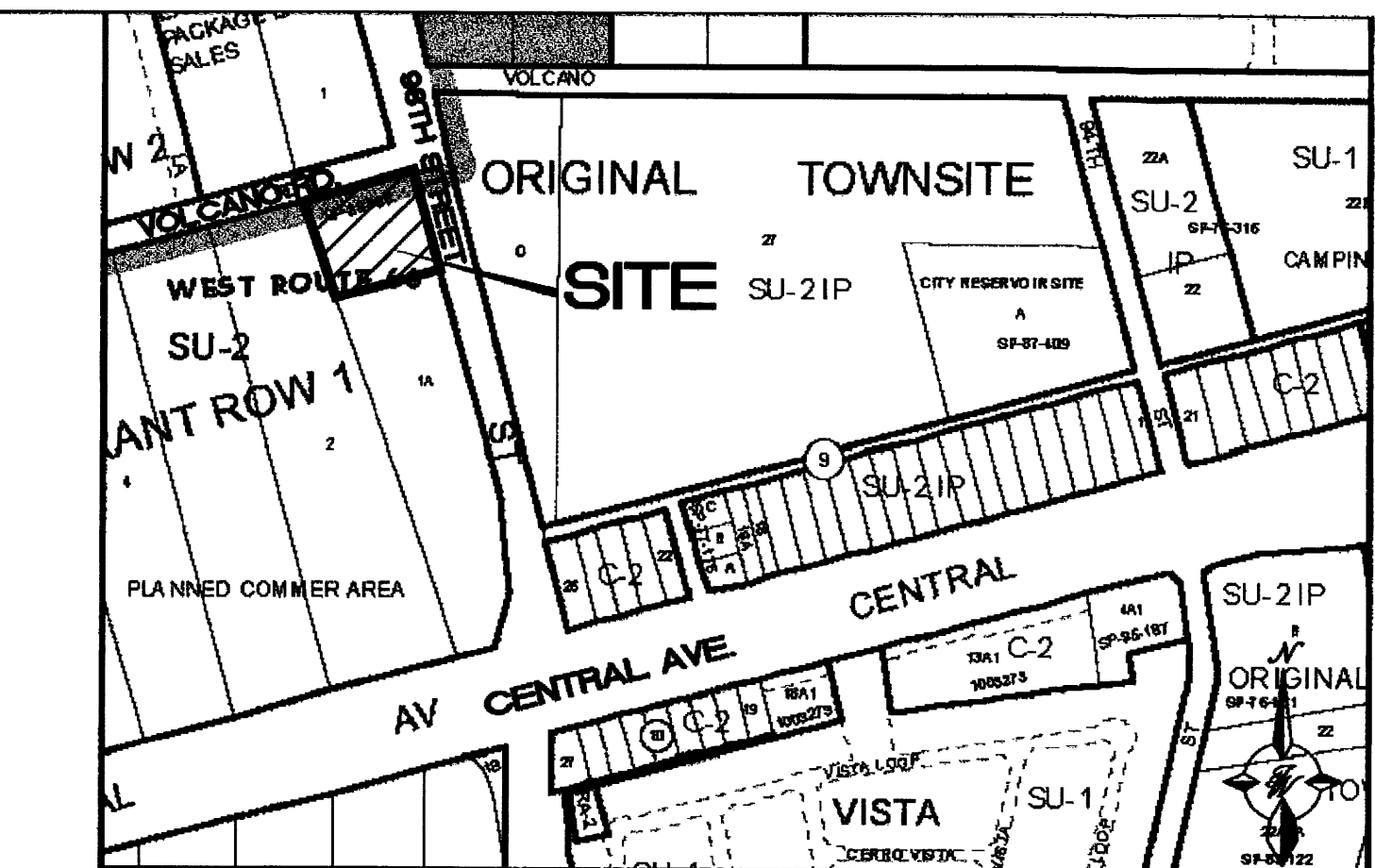
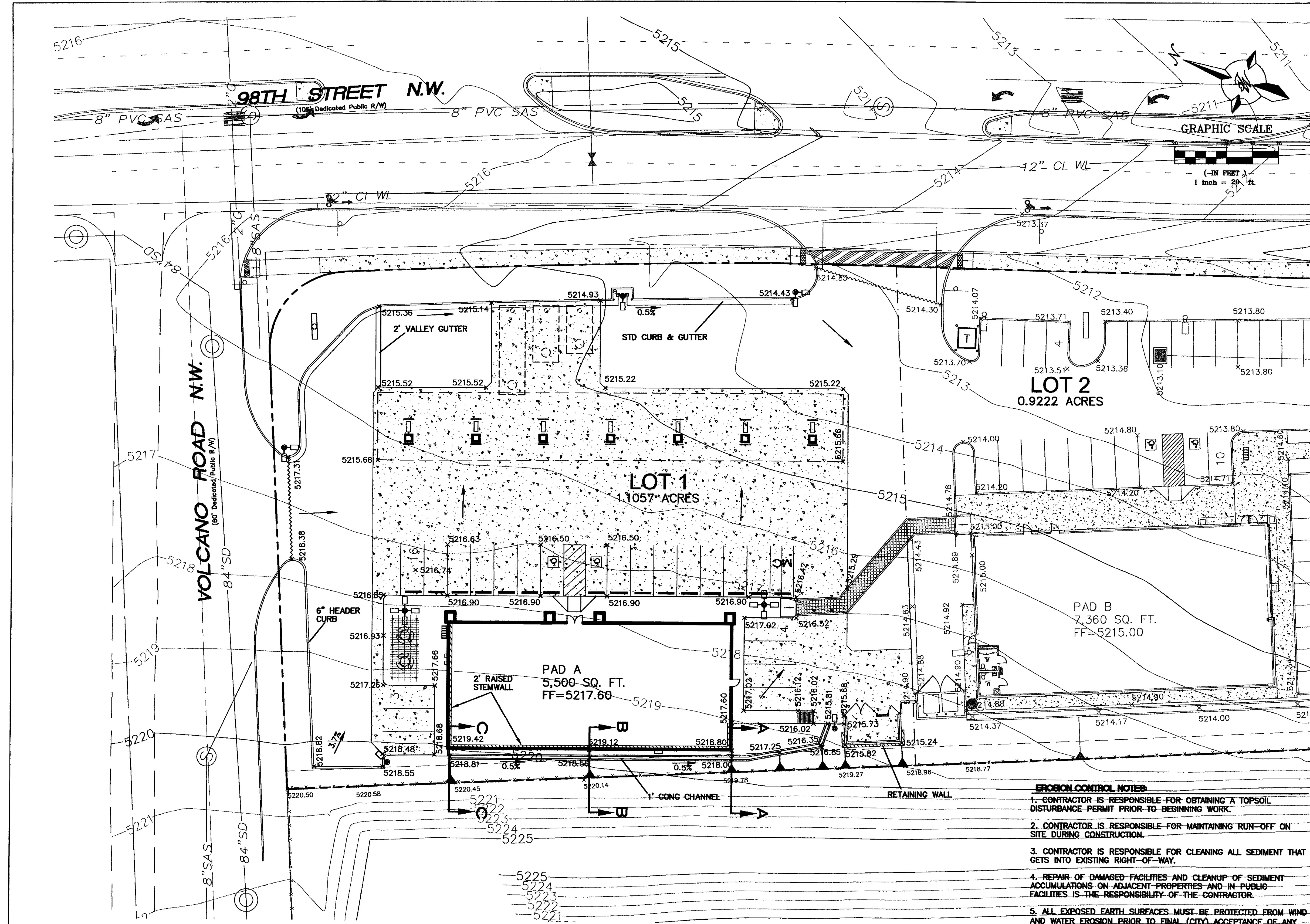


**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS  
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Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cmj@hilltoplandscaping.com







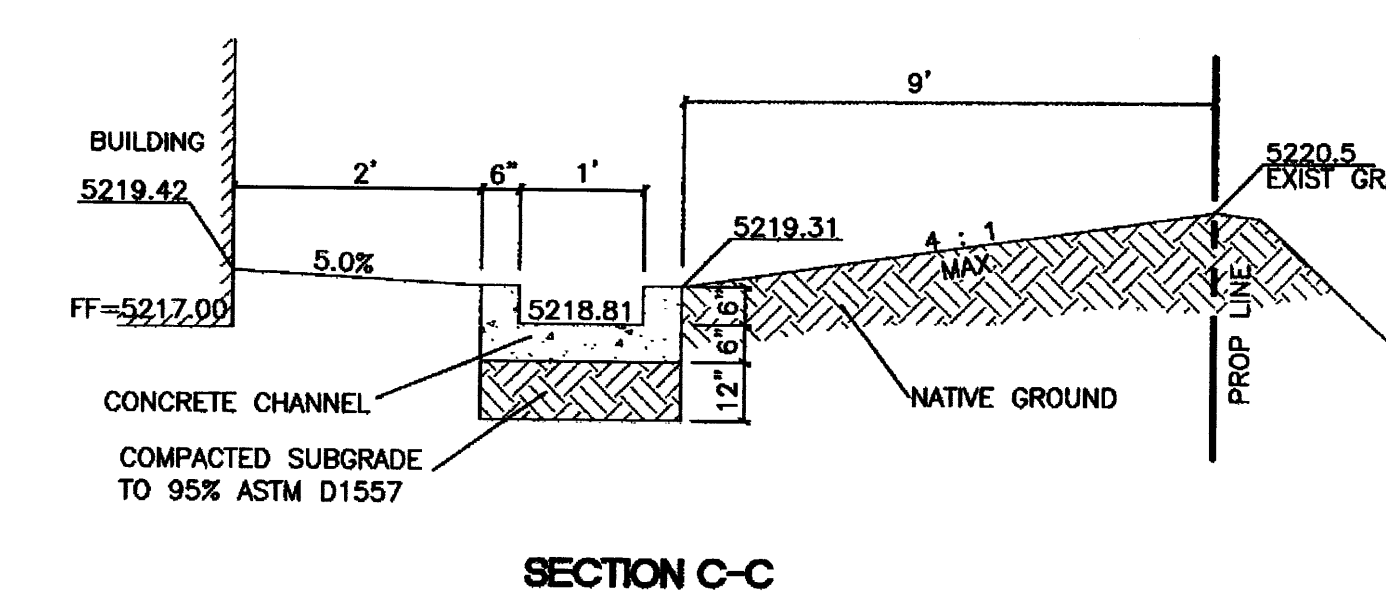
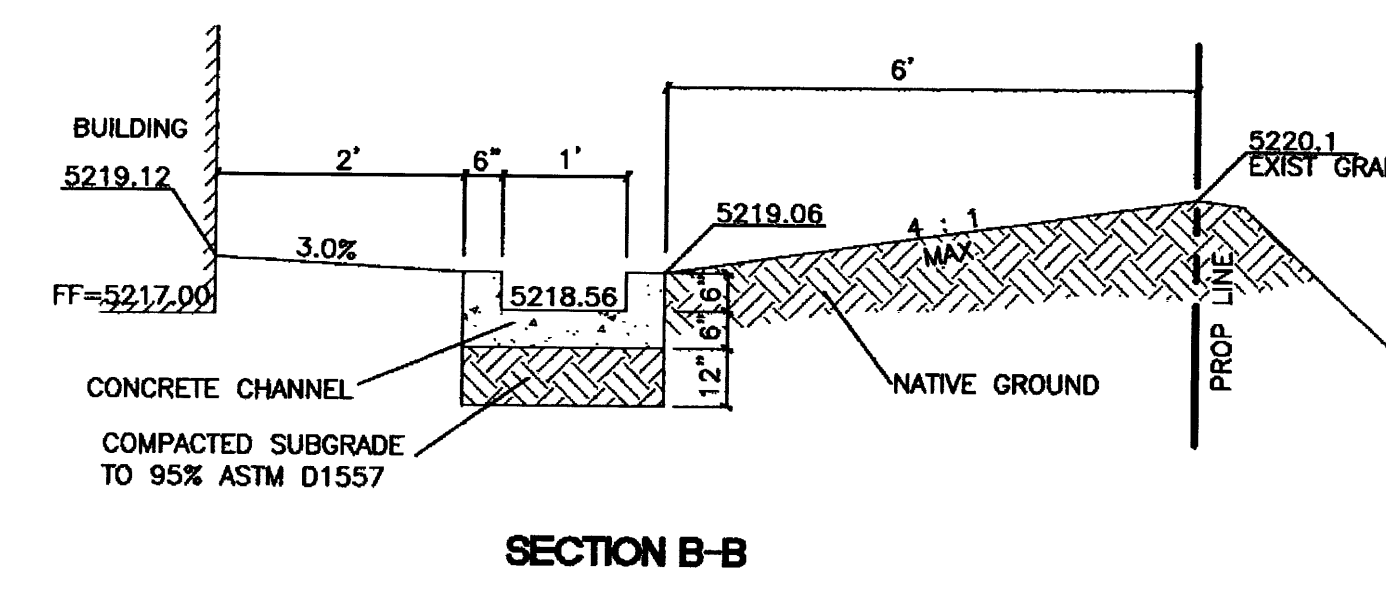
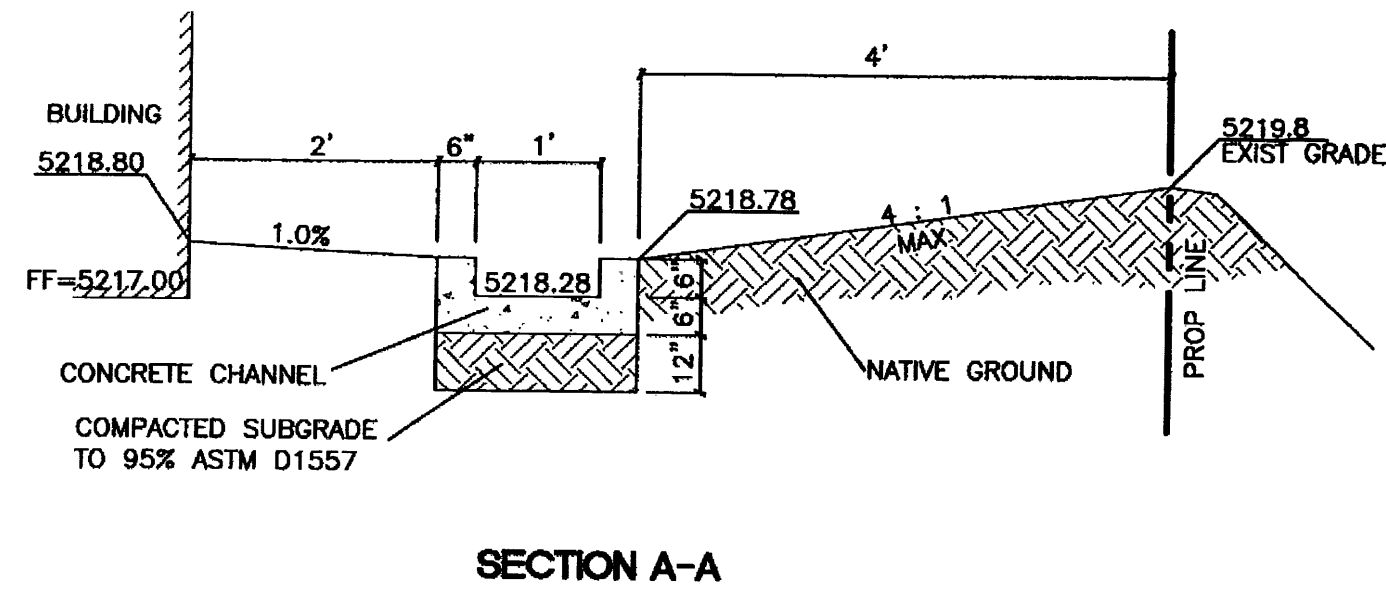


**LEGEND**

- ===== EXISTING CURB & GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED RETAINING WALL
- PROPOSED SIDEWALK
- 5011 EXISTING CONTOUR
- 5010 EXISTING INDEX CONTOUR
- x 5048.25 EXISTING SPOT ELEVATION
- x 5048.25 PROPOSED SPOT ELEVATION
- FLOW ARROW
- EX. RCP EXISTING STORM SEWER LINE
- o EXISTING SD MANHOLE
- PROPOSED WATER BLOCK

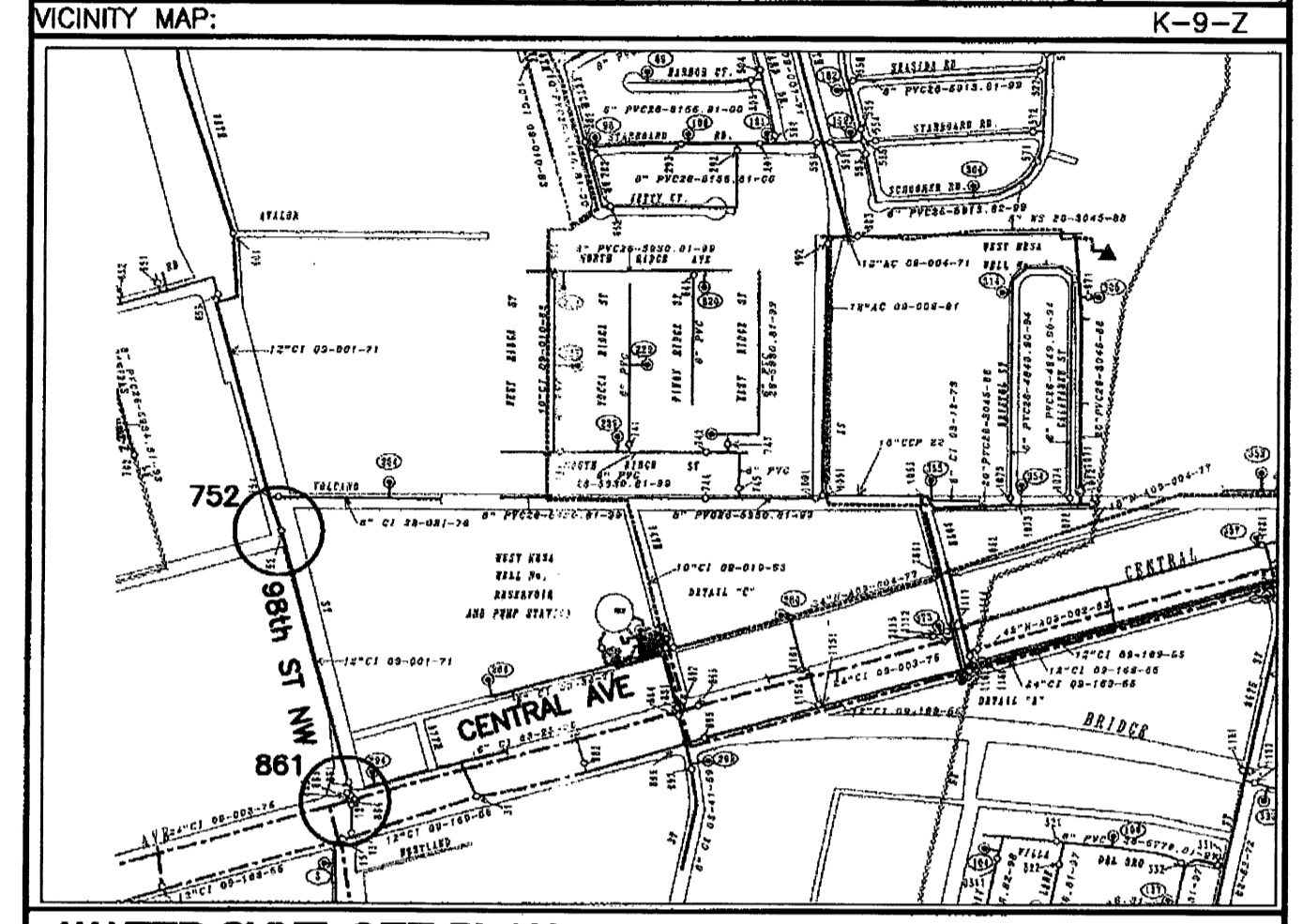
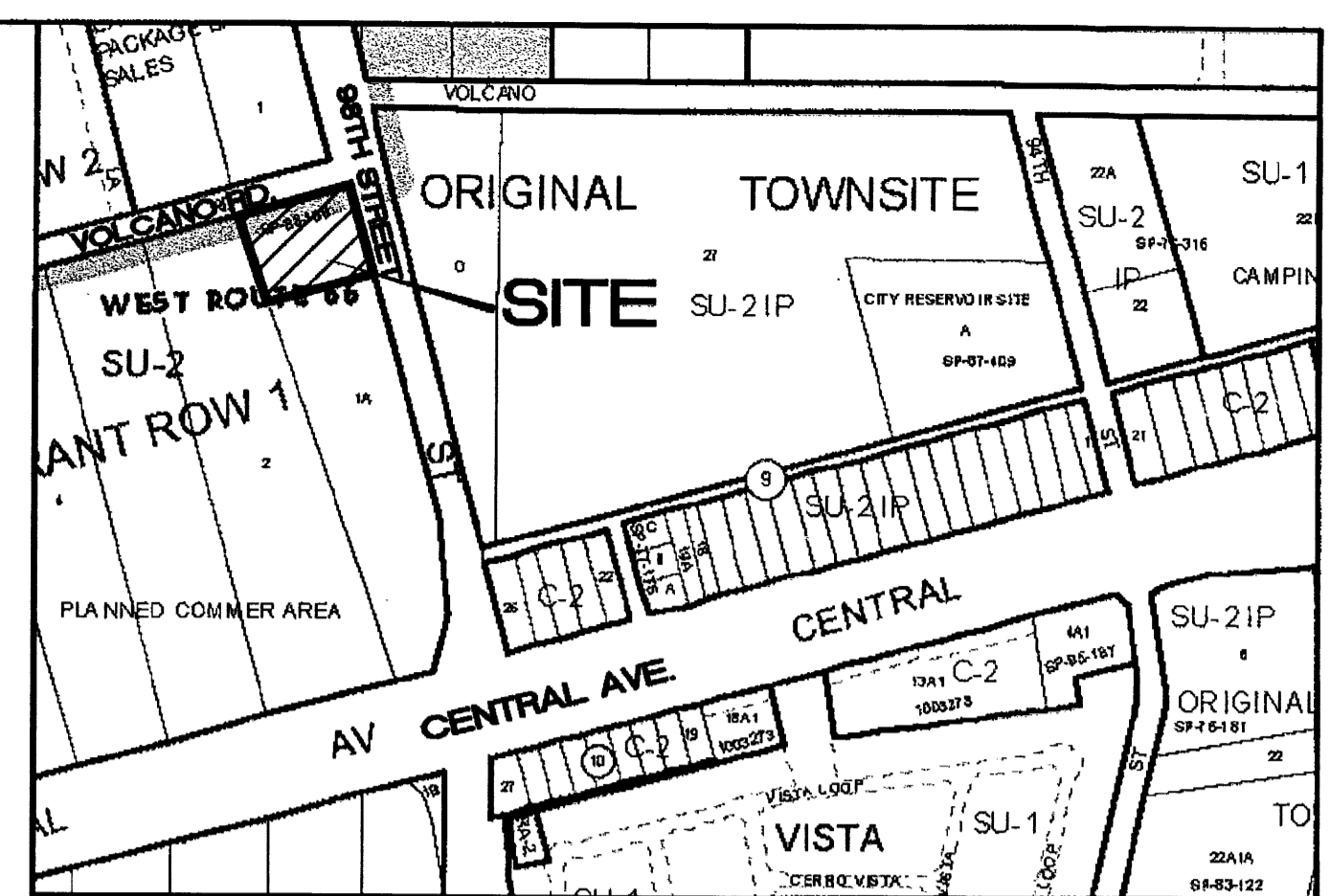
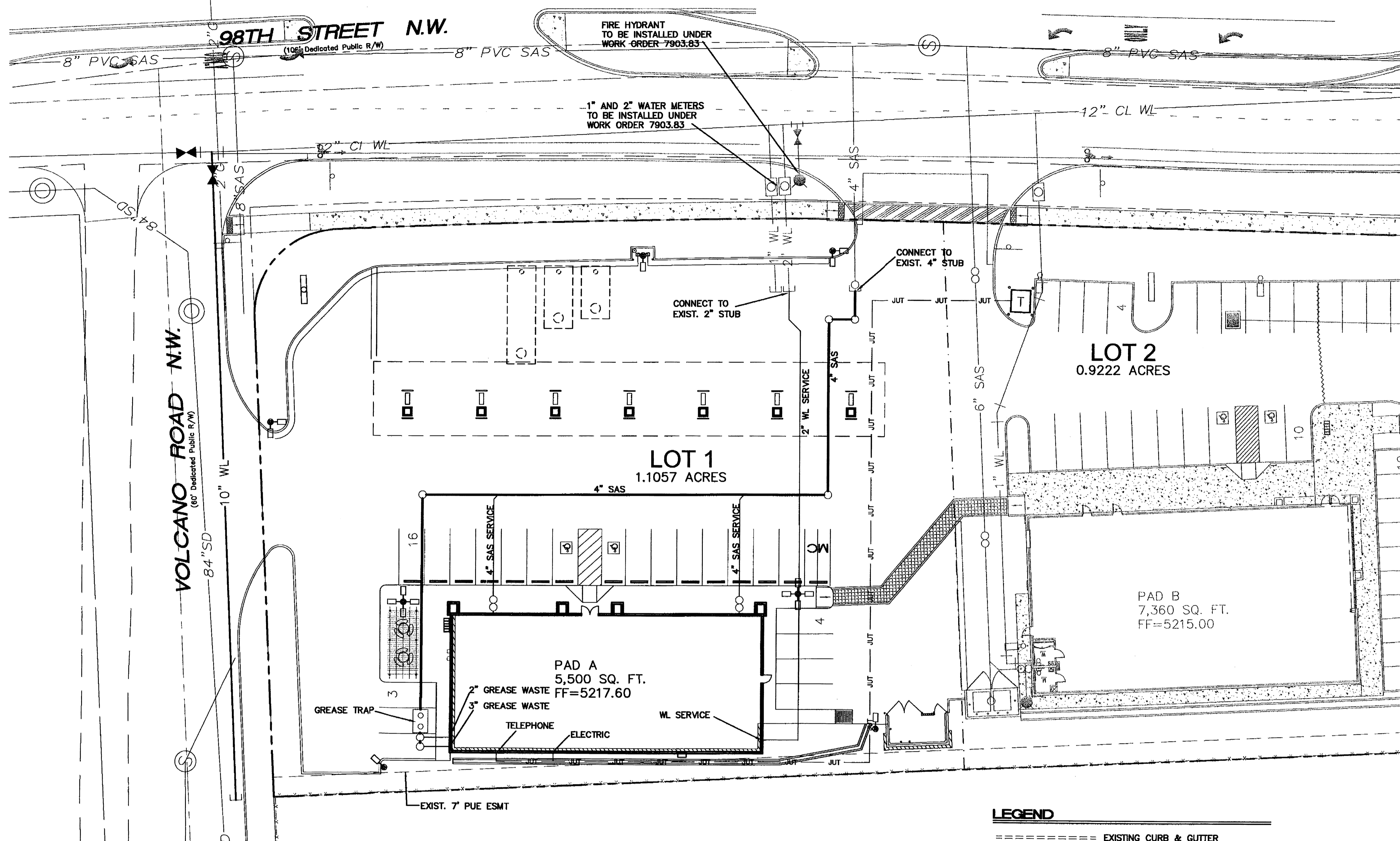
- EROSION CONTROL NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
  3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
  4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

**BENCHMARK**  
 ALBUQUERQUE CONTROL SURVEY MONUMENT "10-19"  
 NEW MEXICO STATE PLANE COORDINATES,  
 CENTRAL ZONE (NAD27) AS PUBLISHED:  
 Y = 1,482,084.51  
 X = 352,794.84  
 ELEVATION = 5204.437' (NGVD 29)  
 GROUND TO GRID FACTOR = 0.99967602  
 DELTA ALPHA = -0'16"58"



**ROUGH GRADING APPROVAL**

ENGINEER'S SEAL	<b>VALERO CORNER STORE STORE #1243</b>	DRAWN BY	pm
	<b>VALERO RETAIL HOLDINGS, INC</b>	DATE	8/31/07
	<b>GRADING AND DRAINAGE PLAN</b>		2774-GRB
<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100		SHEET #	<b>C4</b>
RONALD R. BOHANNAN P.E. #7888		JOB #	27074



WATER SHUT-OFF PLAN SHUT OFF VALVES # 752, 861

**WATER SHUT-OFF NOTE**

1. ONLY WATER SYSTEMS PERSONNEL WITH COA ARE AUTHORIZED TO OPERATE VALVES.
2. NOTIFY CITY OF ALBUQUERQUE WATER SYSTEM DIVISION (PH 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF EXECUTION OF WATER SHUT OFF PLAN.
3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
4. ALL WATERLINES TO BE PVC, UNLESS OTHERWISE NOTED.

**NOTICE TO CONTRACTORS**

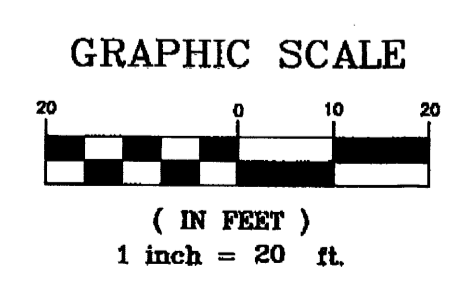
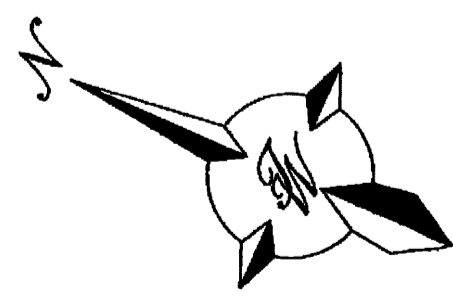
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

**GENERAL NOTES:**

1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
3. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
4. CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. CLEAN OUTS & MANHOLE TIE POINTS ARE TAKEN USING THE NW PROPERTY CORNER X=10,000, Y=10,000 SEE TABLE 2.
6. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
7. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.

**LEGEND**

- ===== EXISTING CURB & GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- EASEMENT
- ===== PROPOSED RETAINING WALL
- ===== PROPOSED SIDEWALK
- EX. SD --- EXISTING STORM SEWER LINE
- EX. SAS --- EXISTING SANITARY SEWER LINE
- EX. S --- EXISTING SAS MANHOLE
- EX. WL --- EXISTING WATER LINE
- EX. WM --- EXISTING WATER METER
- EX. GAS --- EXISTING GAS
- 8" SAS --- PROPOSED SANITARY SEWER LINE
- PROPOSED SAS MANHOLE
- PROPOSED DOUBLE CLEAN OUT
- PROPOSED SINGLE CLEAN OUT
- 6" WL --- PROPOSED WATERLINE
- PROPOSED FIRE HYDRANT
- PROPOSED WATER VALVE
- PROPOSED WATER METER
- PROPOSED SITE LIGHTING
- JUT --- JOINT UTILITIES



**CAUTION:**

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

	<b>VALERO CORNER STORE</b> <b>STORE #1243</b> <b>VALERO RETAIL HOLDINGS, INC</b>	DRAWN BY pm
	<b>MASTER UTILITY PLAN</b>	DATE 8/31/07
	<b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100	SHEET # <b>C5</b>
RONALD R. BOHANNAN P.E. #7868		JOB # 27074



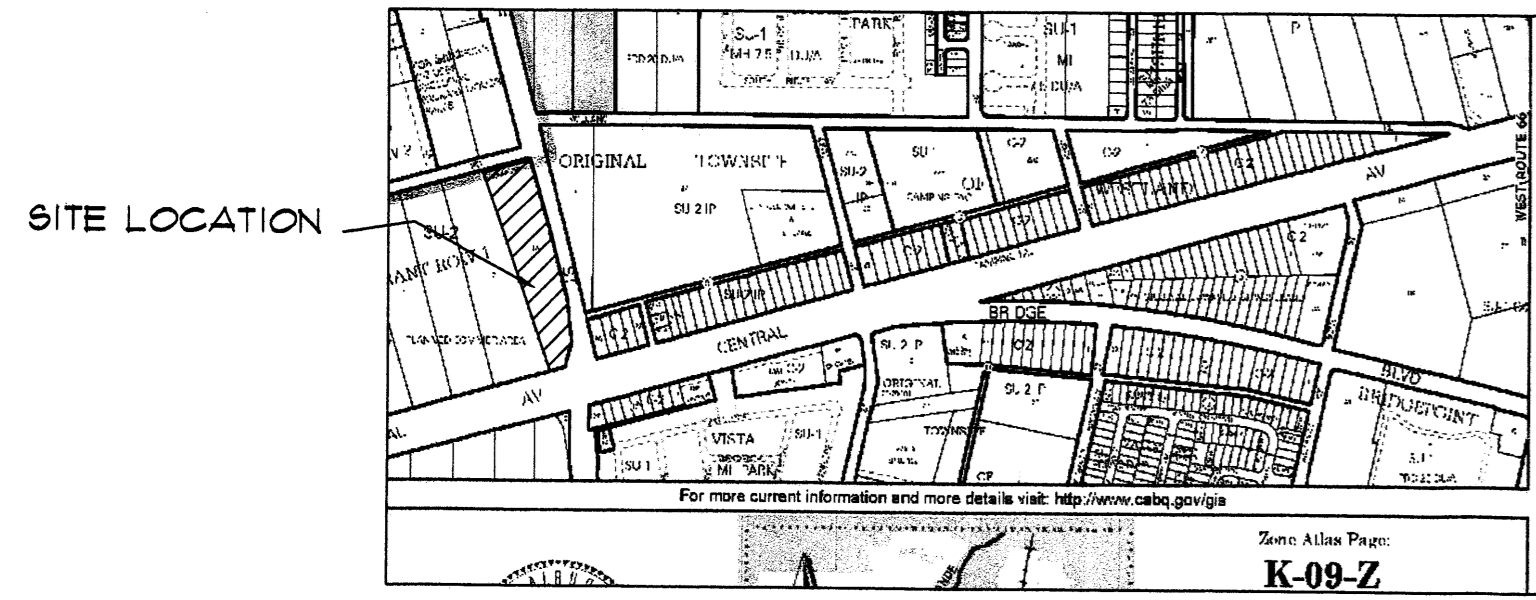




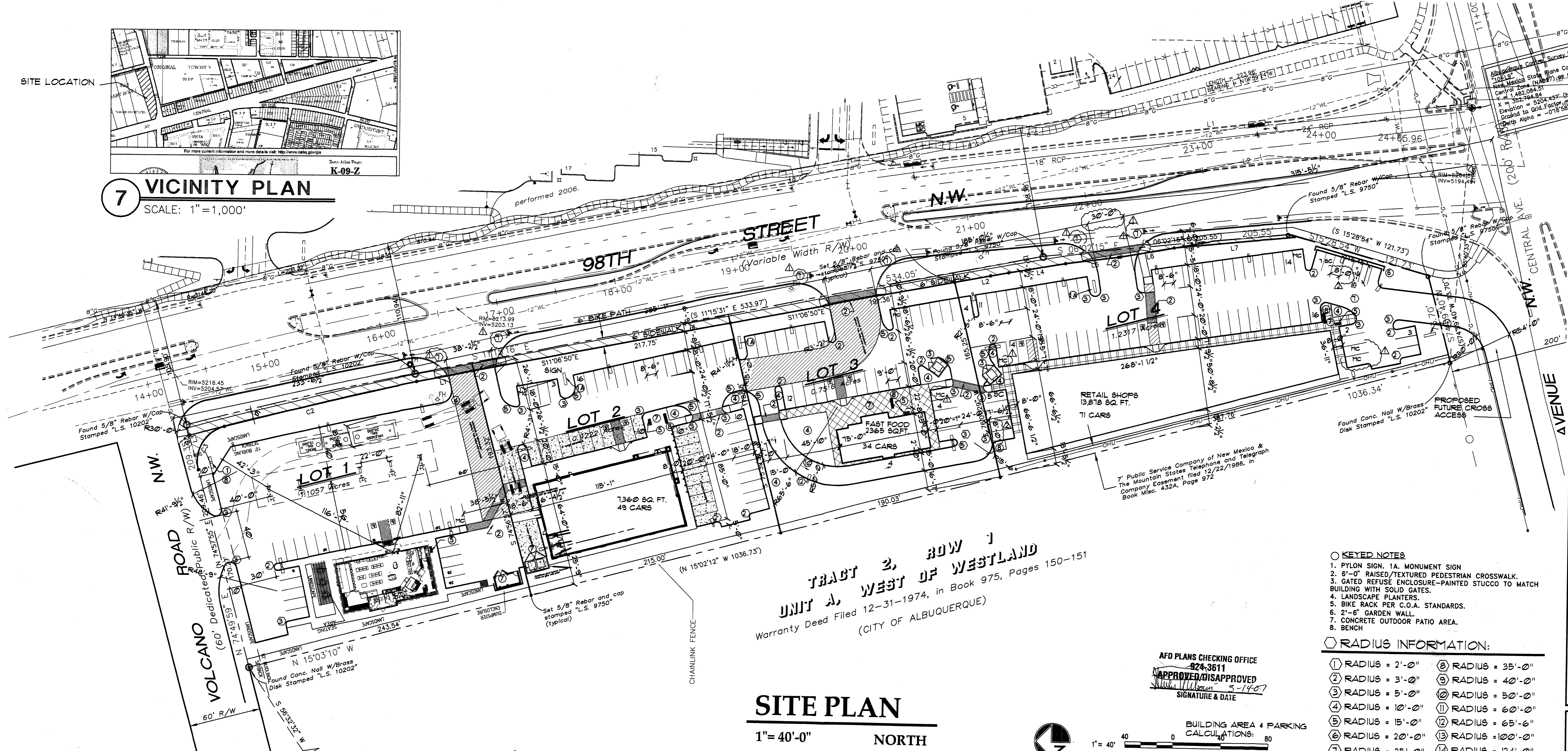








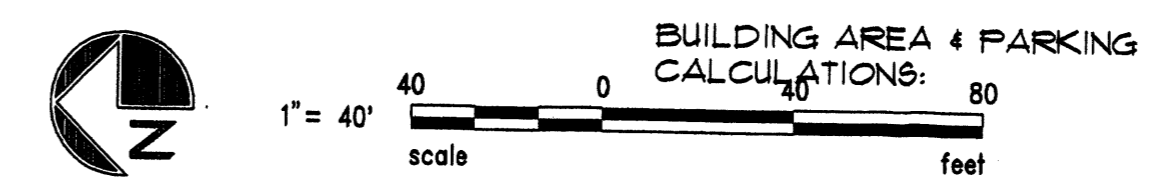
**7 VICINITY PLAN**  
SCALE: 1"=1,000'



**TRACT 2, ROW 1  
UNIT A, WEST OF WESTLAND**  
Warranty Deed Filed 12-31-1974, in Book 975, Pages 150-151  
(CITY OF ALBUQUERQUE)

**SITE PLAN**  
1"=40'-0" NORTH

AFD PLANS CHECKING OFFICE  
924-3611  
APPROVED/DISAPPROVED  
Signature: [Signature]  
DATE: 5-14-07



**LEGAL DESCRIPTION**

TRACT "1A" Plat of Tracts 1A & 1B, Row 1, Unit A, West of Westland, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the Plat of said Addition filed in the office of the County clerk of Bernalillo County, New Mexico on May 17, 1928, in Plat Book C36, folio 129.

**CURRENT ZONING**  
SU 2 FOR PCA (PLANNED COMMERCIAL AREA)  
TOTAL ACREAGE  
4.1524 ACRES (TOTAL GROSS)

**GENERAL ARCHITECTURAL DESIGN REQUIREMENTS**

**GENERAL ARCHITECTURAL**  
General architecture character for pad structures is to follow the general design concept depicted on elevations of building for lot 2. Pad buildings will be cementitious finish with a cementitious or split face cmu dado band. The main building walls must be colored to match color benjamin moore (#1) ben953, (#2) bm1032and (#3) bm 993. If the building extends below finish floor that area will also be covered with color #2. Structures are to be predominately flat-roofed however partial building areas such as porches or small extensions of building functions adjacent to the major building mass may have sloped roofs. These roofs are to be shed type. Slate tile clad and the high point of the roof must hit the main building wall below the top of the main building parapet. Architectural entry element roofs may extend above the parapet wall top and area to relate to the entry format of the main buildings. Building heights are limited to 26' parapet heights for major building walls, and 22' parapet heights for pad building walls. Slate tile clad entry roofs may extend above this height to accent and articulate the building mass. The approval of site plans for building permit for parcels 1-4 will be delegated to the City of Albuquerque Design Review Board (DRB). 1, 3, 4

**PAD ARCHITECTURAL DESIGN STANDARDS**

Shall include the following elements to provide uniform standards for all pads. Each pad to follow building elevations provided. The lower 3'-4" of the area of vertical walls and landscape walls shall be four or eight inch split face cmu or stucco. color #2. Four or eight inch split face or accent block. color #1 - fuel canopies to be cementitious finish color #1. Lighting to be entirely recessed in soffit of fuel canopies (max 50ft candles). Each pad development to provide on outdoor paved and landscaped patio space with outdoor furniture, such as bench seating or picnic tables.

**COLOR PALETTE**  
color #1 light tan benjamin moore #953  
color #2 medium light tan dado band base wall color #1032  
color #3 brown/grey benjamin moore #993  
color #4 monierite concrete slate tile roofing, trim & accents (brown blend).

LINE	LENGTH	BEARING
L1	48.41'	S11°06'50"E
L2	45.81'	S11°06'50"E
L3	39.08'	N74°49'59"E
L4	48.10'	S10°04'56"E
L5	46.13'	S07°37'42"E
L6	45.34'	S10°29'10"E
L7	101.97'	S06°02'15"E

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	196.21'	3038.76'	98.14'	196.18'	N13°14'10"W	3°41'59"
C2	165.56'	4223.75'	82.79'	165.55'	N13°46'43"W	2°14'45"
C3	47.26'	30.00'	30.14'	42.52'	N60°02'03"W	90°15'55"

- KEYED NOTES**
1. Pylon sign, 1A. Monument sign
  2. 6'-0" raised/ textured pedestrian crosswalk.
  3. Gated refuse enclosure-painted stucco to match building with solid gates.
  4. Landscape planters.
  5. Bike rack per C.O.A. standards.
  6. 2'-6" garden wall.
  7. Concrete outdoor patio area.
  8. Bench

**RADIUS INFORMATION:**

- |                   |                    |
|-------------------|--------------------|
| ① RADIUS = 2'-0"  | ⑧ RADIUS = 35'-0"  |
| ② RADIUS = 3'-0"  | ⑨ RADIUS = 40'-0"  |
| ③ RADIUS = 5'-0"  | ⑩ RADIUS = 50'-0"  |
| ④ RADIUS = 10'-0" | ⑪ RADIUS = 60'-0"  |
| ⑤ RADIUS = 15'-0" | ⑫ RADIUS = 65'-6"  |
| ⑥ RADIUS = 20'-0" | ⑬ RADIUS = 100'-0" |
| ⑦ RADIUS = 25'-0" | ⑭ RADIUS = 124'-0" |

**BUILDING AREA & PARKING CALCULATIONS:**

LOT 1: 3,500 SF. BUILDING.  
LOT SIZE= 48,164.29 SF OR 1.1057 A.C.  
3,500 SF / 200 = 18 SPACES.  
SPACES PROVIDED 26 SPACES.  
1 MOTOR CYCLE  
FAR= .07

LOT 2: 7,360 SF. BUILDING.  
LOT SIZE= 40,171.03 SF OR .9222 A.C.  
7,360 SF / 200 = 36 SPACES.  
SPACES PROVIDED 49 SPACES.  
1 MOTOR CYCLE  
FAR= .18

LOT 3: FAST FOOD 2,365 SF. BUILDING.  
LOT SIZE= 32,739.69 SF OR .7516 A.C.  
1 CAR PER 4 PROVIDED SEATS  
137 SEATS / 4 = 34 REQ. SPACES  
SPACES PROVIDED 34 SPACES.  
2 MOTOR CYCLE  
FAR= .07

LOT 4 : SHOPS 13,878 SF. BUILDING.  
LOT SIZE= 53,652.85 SF OR 1.2317 A.C.  
13,878 / 200 = 69 SPACES  
SPACES PROVIDED 71 SPACES.  
4 MOTOR CYCLE  
FAR= .24

Albuquerque Control Survey Monument  
New Mexico State Plane Coordinates:  
Central Zone (NAD27) as published:  
X = 1,481,296.57  
Y = 548,584.58  
Elevation = 5301.894' (NGVD 29)  
Ground to Grid Factor = 0.99967241  
Delta Alpha = -0°17'20"

**FLOOR AREA RATIO**  
TOTAL BUILDING AREA = 27,103 SQ/FT  
TOTAL LOT AREA = 174,727.86 SQ/FT  
TOTAL FAR = .16

**PARKING NOTES:**  
TYPICAL STANDARD SPACES ARE 8'-6" x 20'-0"  
TYPICAL SMALL CAR SPACES ARE 7'-6" x 15'-6"  
TYPICAL HANDICAP SPACES ARE 8'-0" x 20'-0" WITH A 8' WIDE ACCESS  
\* ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED \*

TOTAL STANDARD PARKING SPACES PROVIDED 158 SPACES  
TOTAL HC PARKING SPACES PROVIDED (INCLUDES 8 VAN SPACES) 8 SPACES  
TOTAL SMALL CAR PARKING SPACES PROVIDED 14 SPACES  
MOTOR CYCLE SPACES 8  
TOTAL PROVIDED 188 SPACES  
TOTAL REQUIRED SPACES = 157 SPACES  
TOTAL PROVIDED SPACES = 188 SPACES

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
2325 SAN PEDRO N.E. SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE  
**98TH AND CENTRAL PLAN**  
NORTHWEST CORNER OF 98TH ST. & CENTRAL AVENUE  
ALBUQUERQUE, NEW MEXICO

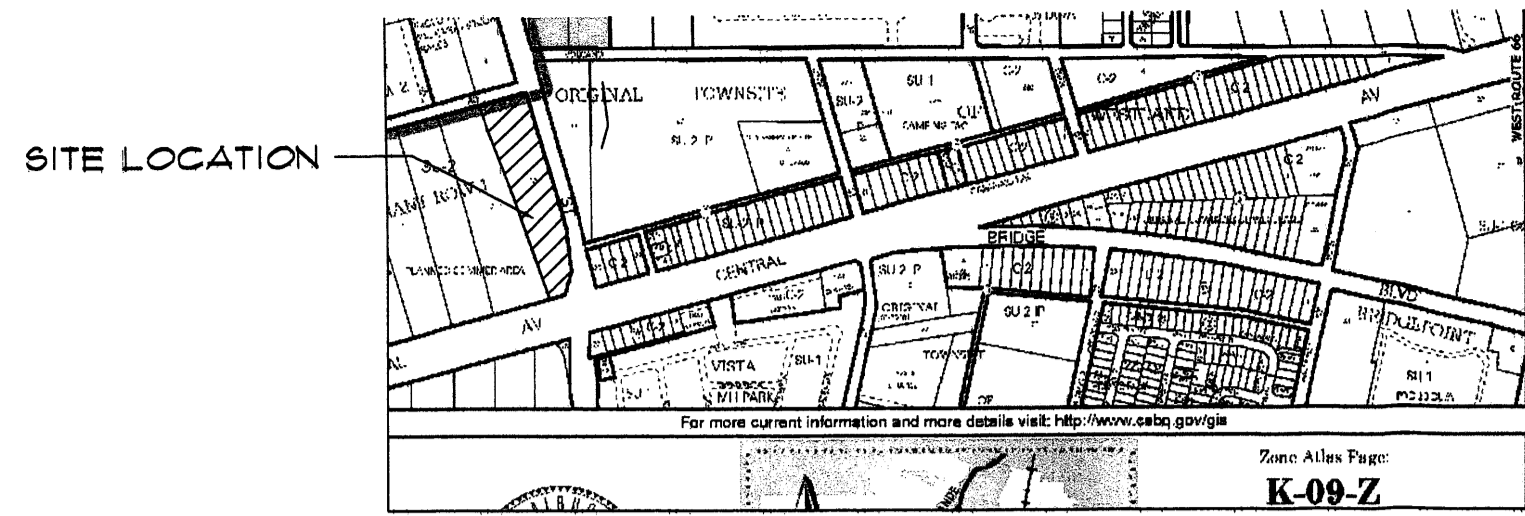
PROJECT MANAGER  
ANTON DANTILLO

DRAWN BY  
WRS

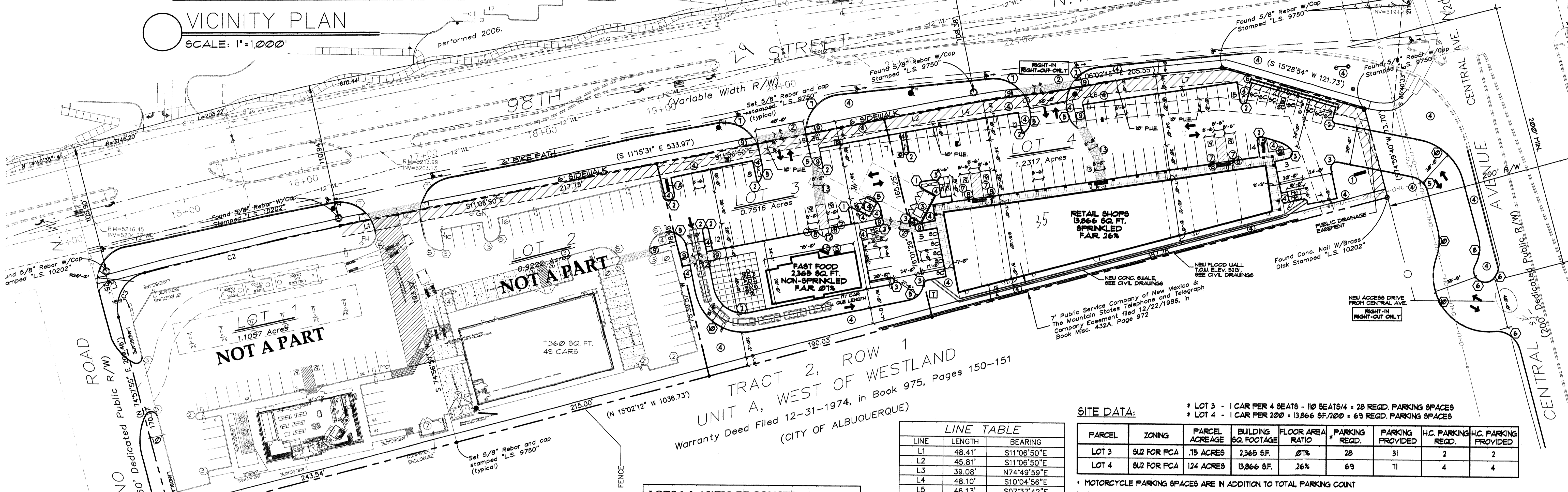
JOB NO.  
0653

SHEET TITLE  
**SITE PLAN FOR SUBDIVISION**

DATE: 11-1-2006  
SCALE: 1"=40'  
sheet: AS1  
of:



VICINITY PLAN  
SCALE: 1"=1,000'

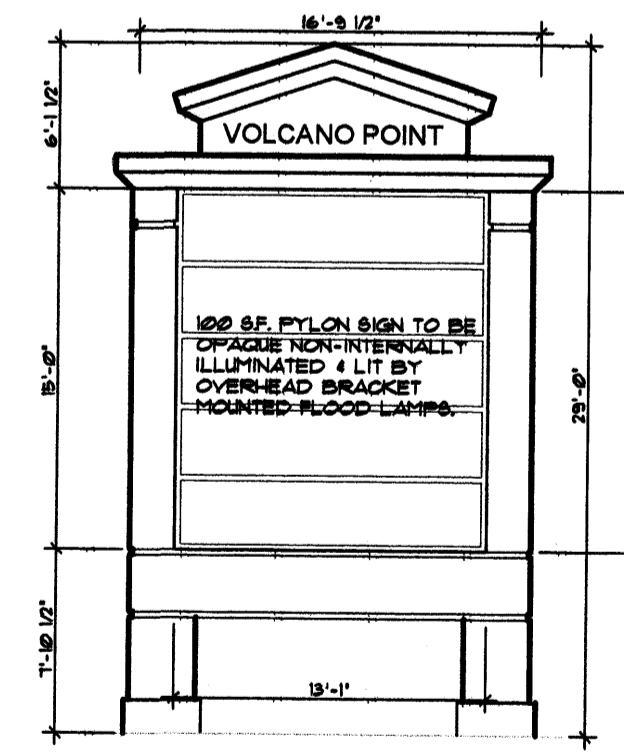


**SITE PLAN**

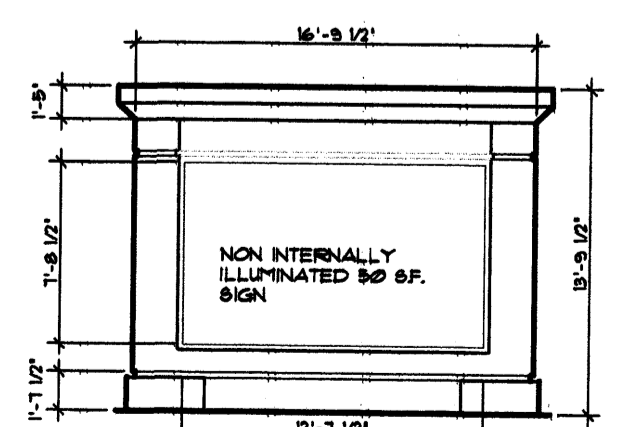
1"=40'-0"  
0 40 80  
feet

LOTS 3 & 4 WILL BE CONSTRUCTED UNDER SEPARATE BUILDING PERMITS

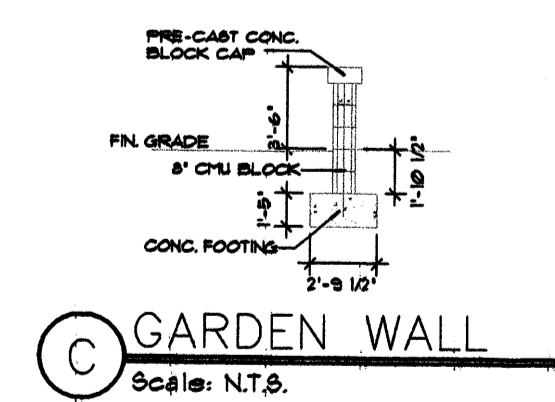
Albuquerque Control Survey Monument  
New Mexico State Plane Coordinates  
Central Zone (NAD27) as published:  
X = 1481298.51  
Y = 349584.58  
Elevation = 5201.894' (NGVD 29)  
Ground to Grid Factor = 0.99997241  
Delta Alpha = -01'720"



(A) PYLON SIGN  
Scale: N.T.S.



(B) MONUMENT SIGN  
Scale: N.T.S.



(C) GARDEN WALL  
Scale: N.T.S.

**LINE TABLE**

LINE	LENGTH	BEARING
L1	48.41'	S11°06'50"E
L2	45.81'	S11°06'50"E
L3	39.08'	N74°49'59"E
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**CURVE TABLE**

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C2	165.56'	4223.75'	82.79'	165.55'	N13°46'43"W	2°14'45"
C3	47.26'	30.00'	30.14'	42.52'	N60°02'03"W	90°15'55"

- RADIUS INFORMATION:**
- ① RADIUS = 2'-0"
  - ② RADIUS = 3'-0"
  - ③ RADIUS = 5'-0"
  - ④ NOT USED
  - ⑤ RADIUS = 15'-0"
  - ⑥ RADIUS = 20'-0"
  - ⑦ RADIUS = 25'-0"
  - ⑧ RADIUS = 30'-0"
  - ⑨ RADIUS = 35'-0"
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  - ⑬ RADIUS = 60'-0"
  - ⑭ RADIUS = 65'-6"
  - ⑮ RADIUS = 100'-0"

- KEYED NOTES**
- (N) PYLON SIGN, REFER TO A/AS2
  - (N) MONUMENT SIGN, REFER TO B/AS2
  - 8'-0" RAISED/TEXTURED PEDESTRIAN CROSSWALK.
  - GATED REFUSE ENCLOSURE WITH RECYCLE CONTAINER-PAINTED STUCCO TO MATCH BUILDING WITH SOLID METAL GATES. (ALL REFUSE ENCLOSURES TO RECEIVE SANITARY DRAINS), REFER TO DETAIL 4/AS3 (SIM.)
  - LANDSCAPE AREA, REFER TO LANDSCAPE DRAWINGS
  - BIKE RACK PER C.O.A. STANDARDS, REFER TO DETAIL 2/AS3
  - 2'-6" GARDEN WALL, REFER TO DETAIL C/AS2
  - PARKING BLOCK, REFER TO DETAIL 7/AS3
  - ACCESSIBLE PARKING SIGN, REFER TO DETAIL 5/AS3
  - ACCESSIBLE RAMP, REFER TO DETAIL 6/AS3
  - NOT USED
  - ACCESSIBLE RAMP, REFER TO DETAIL 8/AS3
  - ACCESSIBLE RAMP, REFER TO DETAIL 1/AS3
  - 8'-0" RAISED/TEXTURED PEDESTRIAN CROSSWALK
  - GATED REFUSE ENCLOSURE - PAINTED STUCCO TO MATCH BUILDING WITH SOLID METAL GATES. (ALL REFUSE ENCLOSURES TO RECEIVE SANITARY DRAINS), REFER TO DETAIL 4/AS3 (SIM.)
  - SITE BENCH, TYPE/STYLE PER OWNER/CONTRACTOR, REFER TO DETAIL 9/AS3

- LEGEND**
- ☐ LIGHT POLE, REFER TO DETAIL 5/AS3
  - ⊕ FIRE HYDRANT

**SITE DATA:**

PARCEL	ZONING	PARCEL ACREAGE	BUILDING SQ. FOOTAGE	FLOOR AREA RATIO	PARKING REQD.	PARKING PROVIDED	H.C. PARKING REQD.	H.C. PARKING PROVIDED
LOT 3	SU2 FOR PCA	.75 ACRES	2366 SF.	0%	28	31	2	2
LOT 4	SU2 FOR PCA	124 ACRES	13866 SF.	26%	69	11	4	4

\* LOT 3 - 1 CAR PER 4 SEATS - 110 SEATS/4 = 28 REQD. PARKING SPACES  
 \* LOT 4 - 1 CAR PER 200 = 13866 SF./200 = 69 REQD. PARKING SPACES

\* MOTORCYCLE PARKING SPACES ARE IN ADDITION TO TOTAL PARKING COUNT  
 LOT 3 - 2 MOTORCYCLE SPACES REQD. : 2 SPACES PROVIDED  
 LOT 4 - 4 MOTORCYCLE SPACES REQD. : 4 SPACES PROVIDED

**LEGAL DESCRIPTION**

Lots numbered Three (3) and Four (4), Plat of Lots 1 thru 4, VOLCANO POINT SHOPPING CENTER, (Being a replat of Tract 1A, Row 1, Unit 1 West of Westland) within The Town of Atrisco Grant in Projected Section 21, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat of said Addition, filed in the office of the County Clerk of Bernalillo County, New Mexico, on July 13, 2007, in Plat Book 2007C, folio 186, as Document No. 2007100902.

**NOTE:**  
REFER TO SHEET A93 FOR SITE DETAILS

AFD PLANS CHECKING OFFICE  
924-3611  
APPROVED/DISAPPROVED HYDRANT(S) ONLY  
L. H. W. 8-25-08  
SIGNATURE & DATE

**PROJECT NUMBER:** \_\_\_\_\_  
**APPLICATION NUMBER:** \_\_\_\_\_

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on \_\_\_\_\_ and the findings and conditions in the Official Notification of Decision are satisfied. Is an Infrastructure List required? ( ) YES ( ) NO If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

Department	Date
Traffic Engineering, Transportation Division	
Water Utility Department	
Parks and Recreation Department	
City Engineer	
Environmental Health Department	
Michael Holton	8/25/08
Solid Waste Management	
DRB Chairperson, Planning Department	

\* Environmental Health, if necessary

REV	DATE	BY	REVISION

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
2325 SAN PEDRO N.E. SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

**PRELIMINARY NOT FOR CONSTRUCTION**

PROJECT TITLE  
98TH AND CENTRAL PLAN  
NORTHWEST CORNER OF 98TH ST. & CENTRAL AVENUE  
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER  
William Suttles

DRAWN BY  
WPS

JOB NO.  
0653

SHEET TITLE  
SITE PLAN FOR BLDG. PERMIT

DATE:  
8/25/08

SCALE:  
1"=40'

sheet:  
**AS2**  
of





**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 280-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
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**LEGEND**

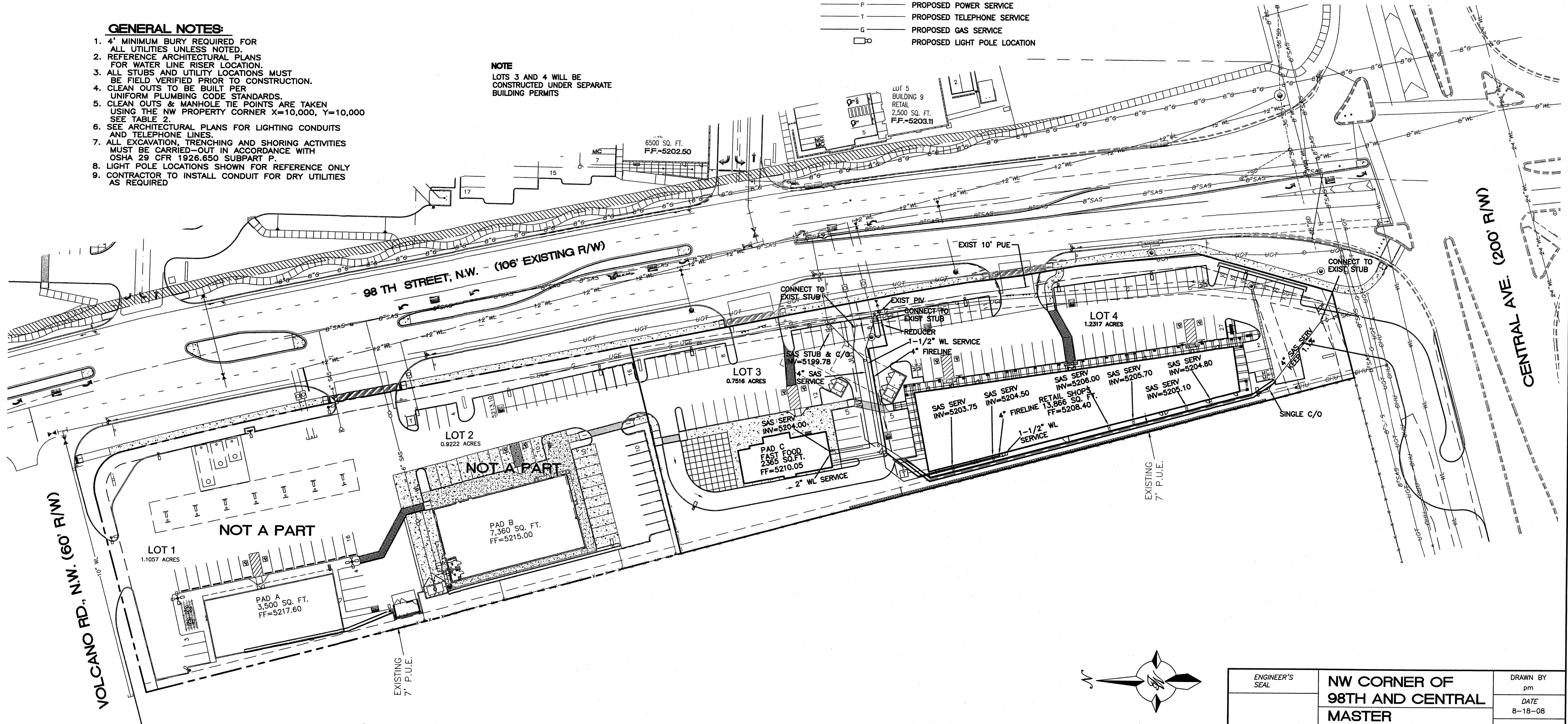
- ===== EXISTING CURB & GUTTER
- BOUNDARY LINE
- - - - - EXISTING BOUNDARY LINE
- - - - - EASEMENT
- ===== PROPOSED SCREEN WALL
- ===== PROPOSED RETAINING WALL
- ===== PROPOSED SIDEWALK
- - - - - EX. RCP
- EXISTING STORM SEWER LINE
- EXISTING SD MANHOLE
- PROPOSED WATER BLOCK
- EXISTING METER
- △ EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING POWER POLE
- JUT JOINT UTILITY TRENCH
- P PROPOSED POWER SERVICE
- T PROPOSED TELEPHONE SERVICE
- G PROPOSED GAS SERVICE
- PROPOSED LIGHT POLE LOCATION

**GENERAL NOTES:**

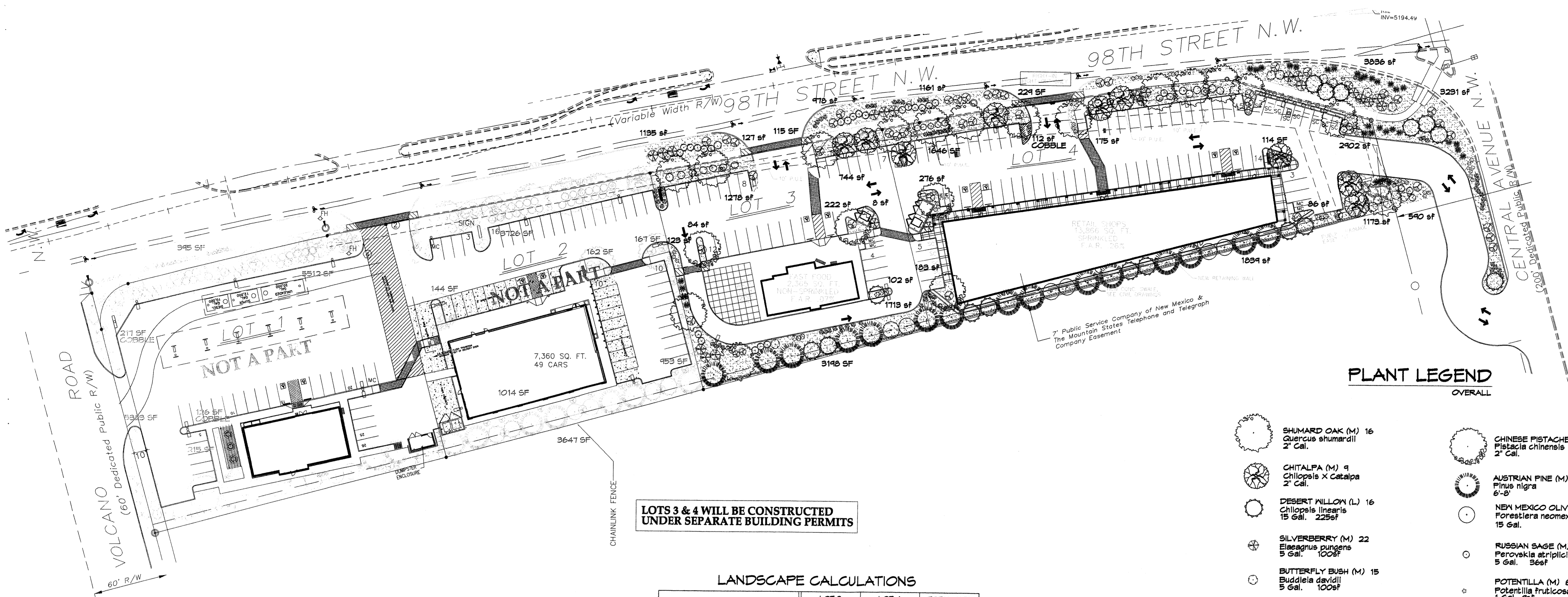
1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
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4. CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. CLEAN OUTS & MANHOLE TIE POINTS ARE TAKEN USING THE NW PROPERTY CORNER X=10,000, Y=10,000 SEE TABLE 2.
6. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
7. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
8. LIGHT POLE LOCATIONS SHOWN FOR REFERENCE ONLY.
9. CONTRACTOR TO INSTALL CONDUIT FOR DRY UTILITIES AS REQUIRED.

**NOTE**

LOTS 3 AND 4 WILL BE CONSTRUCTED UNDER SEPARATE BUILDING PERMITS



ENGINEER'S SEAL	<b>NW CORNER OF 98TH AND CENTRAL</b>	DRAWN BY pm
	<b>MASTER UTILITY PLAN</b>	DATE 8-18-08
RONALD R. BOHANNAN P.E. #7868	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100	2865-MUB
		SHEET # <b>C2</b>
		JOB # 28065



**LOTS 3 & 4 WILL BE CONSTRUCTED UNDER SEPARATE BUILDING PERMITS**

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

**STREET TREE REQUIREMENTS**

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: 98th Street NW  
Required # 18 Provided # 18

Name of Street: Central Ave. NW  
Required # 2 Provided # 2

**PARKING LOT TREE REQUIREMENTS**

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

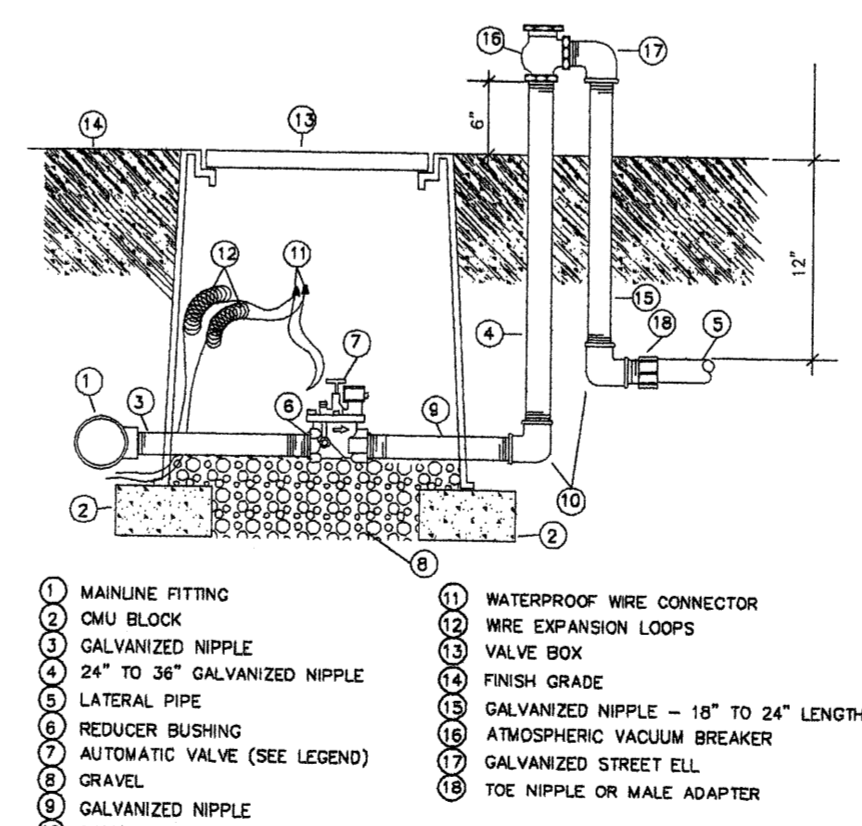
1 Shade tree per 10 spaces  
Required # 11 Provided # 11

**LANDSCAPE CALCULATIONS**

	LOT 3	LOT 4	TOTAL SITE
TOTAL LOT AREA	34265 SF	54564	88829 SF
TOTAL BUILDINGS AREA	2365 SF	13362 SF	15727 SF
OFFSITE AREA	-	-	-
NET LOT AREA	31900 SF	41202 SF	73102 SF
LANDSCAPE REQUIREMENT (.15)	4785 SF	6180 SF	10965 SF
TOTAL BED PROVIDED	6629 SF	14572 SF	23443 SF
GROUND COVER REQ. (.75)	4472 SF	14679 SF	17451 SF
TOTAL GROUND COVER PROVIDED	5124 (71%)	15126 (77%)	12531 (71%)
TOTAL LANDSCAPE PROVIDED	6629 SF	14572 SF	23443 SF

**NOTE TO CLIENT:**  
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

**EACH LOT WILL HAVE A SEPARATE WATER METER**

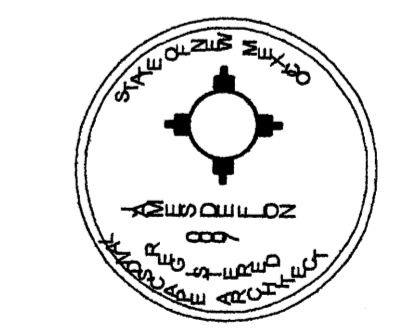
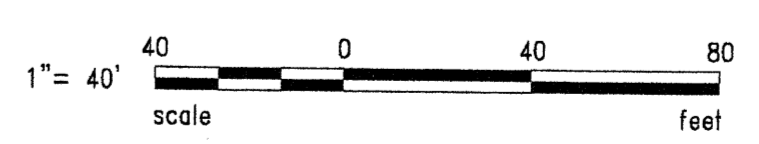


- 1 MAINLINE FITTING
- 2 3/4" ODU BLOCK
- 3 GALVANIZED NIPPLE
- 4 24" TO 36" GALVANIZED NIPPLE
- 5 LATERAL PIPE
- 6 REDUCER BUSHING
- 7 AUTOMATIC VALVE (SEE LEGEND)
- 8 GRAVEL
- 9 GALVANIZED NIPPLE
- 10 GALVANIZED ELBOW
- 11 WATERPROOF WIRE CONNECTOR
- 12 WIRE EXPANSION LOOPS
- 13 VALVE BOX
- 14 FINISH GRADE
- 15 GALVANIZED NIPPLE - 18" TO 24" LENGTH
- 16 ATMOSPHERIC VACUUM BREAKER
- 17 GALVANIZED STREET ELL
- 18 TOE NIPPLE OR MALE ADAPTER

AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER

**PLANT LEGEND**  
OVERALL

- SHUMARD OAK (M) 16  
Quercus shumardii  
2" Gal.
- CHITALPA (M) 9  
Chilopsis X Catalpa  
2" Gal.
- DESERT WILLOW (L) 16  
Chilopsis linearis  
15 Gal. 225sf
- SILVERBERRY (M) 22  
Elaeagnus pungens  
5 Gal. 100sf
- BUTTERFLY BUSH (M) 15  
Buddleia davidii  
5 Gal. 100sf
- THREE-LEAF SUMAC (L) 14  
Rhus trilobata  
5 Gal. 56sf
- RED YUCCA (L) 33  
Hesperaloe parviflora  
5 Gal. 4sf
- NANDINA (M) 5  
Nandina domestica  
5 Gal. 25sf
- GREYLEAF COTONEASTER (M) 3  
Cotoneaster buxifolius  
5 Gal. 81sf  
Symbol indicates 3 plants
- NATURAL EDGE
- CHINESE PISTACHE (M) 4  
Pistacia chinensis  
2" Gal.
- AUSTRIAN PINE (M) 15  
Pinus nigra  
6'-8'
- NEW MEXICO OLIVE (L) 6  
Forestiera neomexicana  
15 Gal.
- RUSSIAN SAGE (M) 34  
Perovskia atriplicifolia  
5 Gal. 36sf
- POTENTILLA (M) 65  
Potentilla fruticosa  
1 Gal. 4sf
- HONEYSUCKLE (M) 44  
Lonicera japonica 'Halliana'  
1 Gal. 144sf  
Unstaked-Groundcover
- WILDFLOWER 15  
1 Gal. 4sf
- THREADGRASS (M) 62  
Stipa tenuissima  
1 Gal. 4sf
- COBBLE W/FF
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC



**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cmj@hilltoplandscaping.com

**LANDSCAPE PLAN**  
1" = 40'-0" NORTH

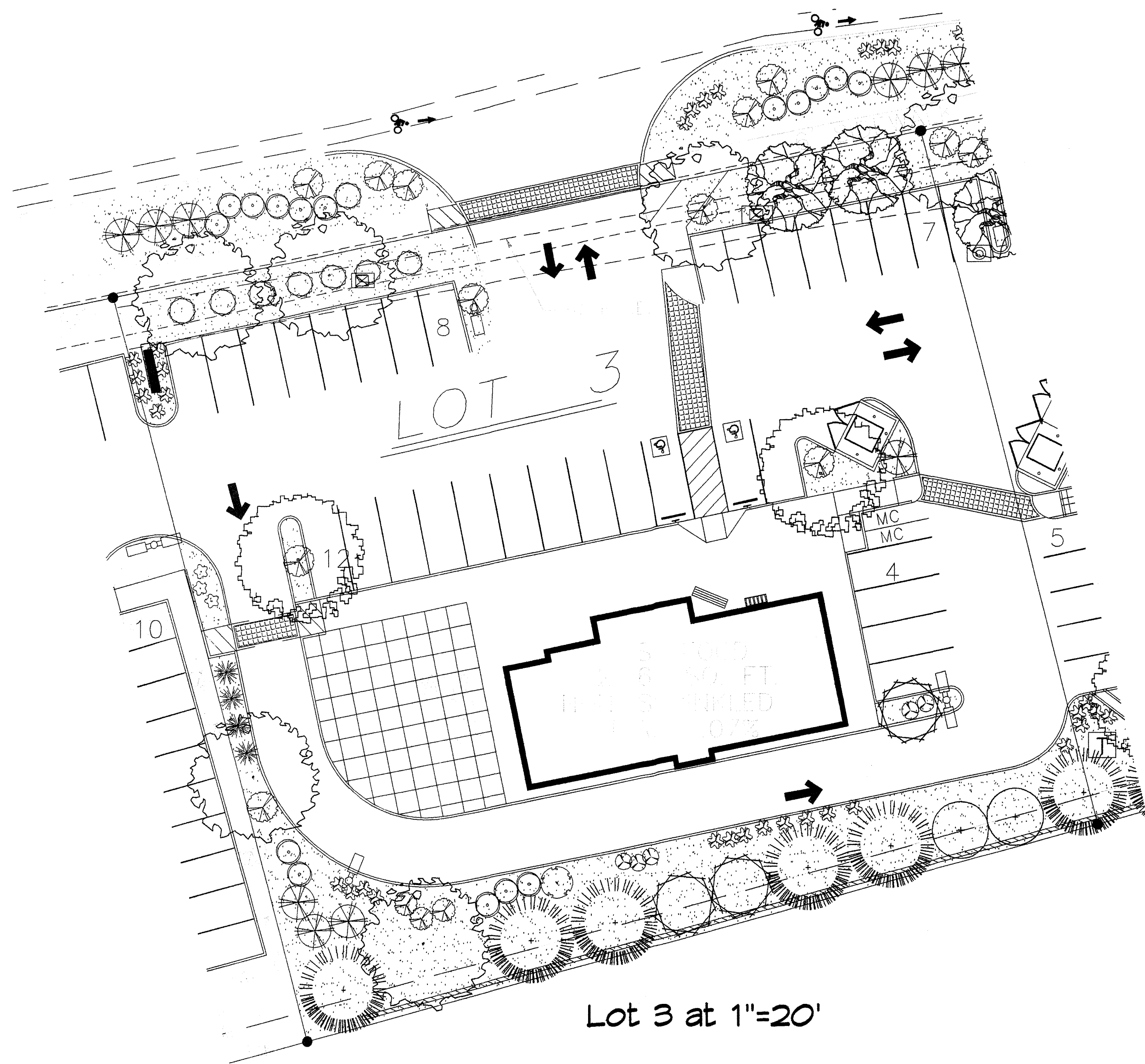
REV	DATE	BY	REVISION
A	8-8-08	rnc	revised site plan
B	7-17-08	rnc	revised site plan and comments
C	2-6-07	rnc	revised site plan
D	1-18-07	adf	revised site plan, comments
E	11-09-06	rnc	comments from the city
F	11-2-06	rnc	revised site plan and comments

**GEORGE RAINHART ARCHITECT AND ASSOCIATES PC**  
2325 SAN PEDRO N.E. SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

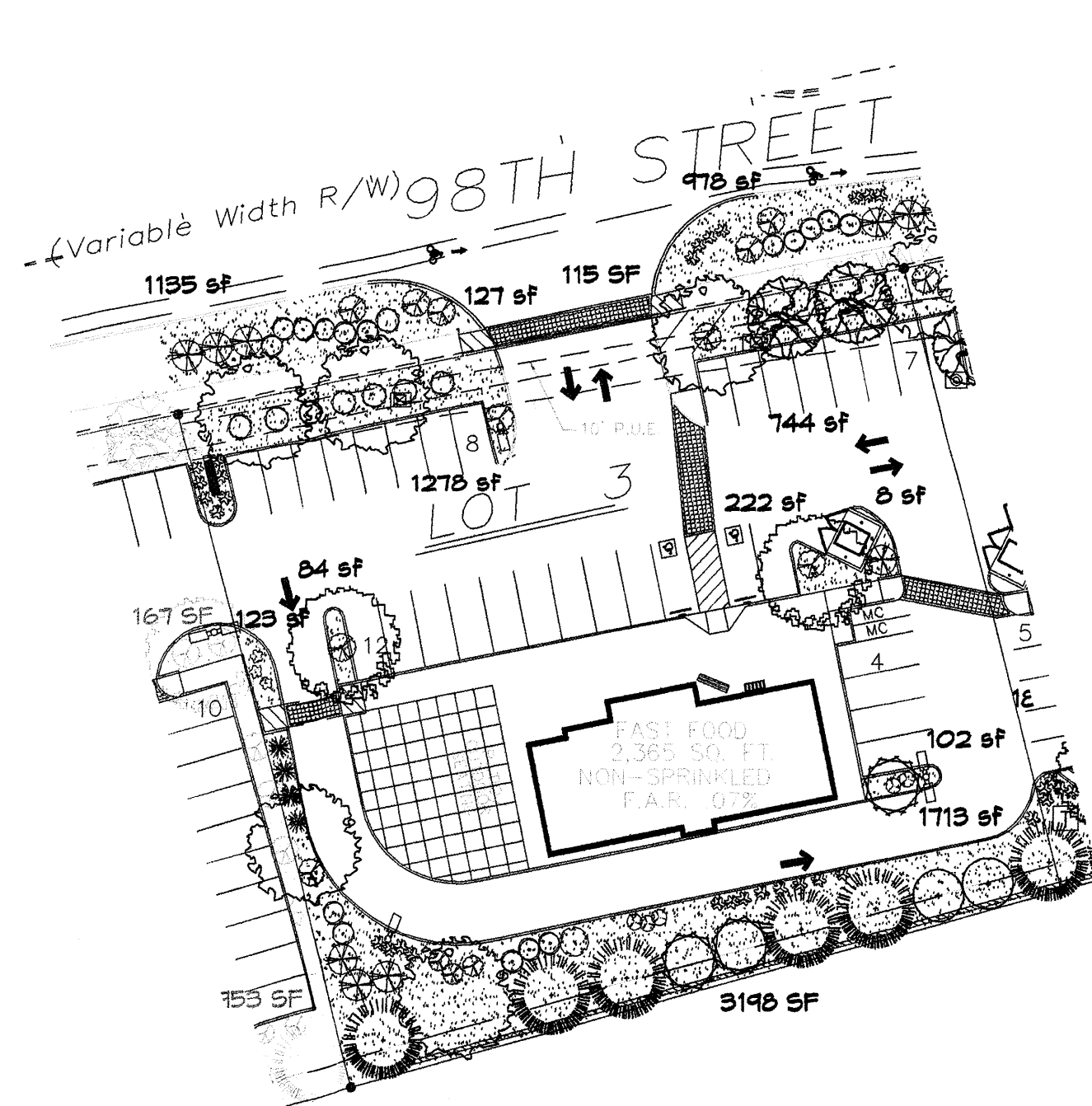
**PRELIMINARY NOT FOR CONSTRUCTION**

**VOLCANO POINT - LOTS 3 & 4**  
NORTHWEST CORNER OF 98TH ST. & CENTRAL AVENUE  
ALBUQUERQUE, NEW MEXICO  
PROJECT MANAGER: WILLIAM SUTTLER  
JOB NO: 0653  
DRAWN BY: RMM

DATE: 08-18-08	SHEET: 1
SCALE: 1" = 40'	<b>L1</b>
	OF: 3



Lot 3 at 1"=20'

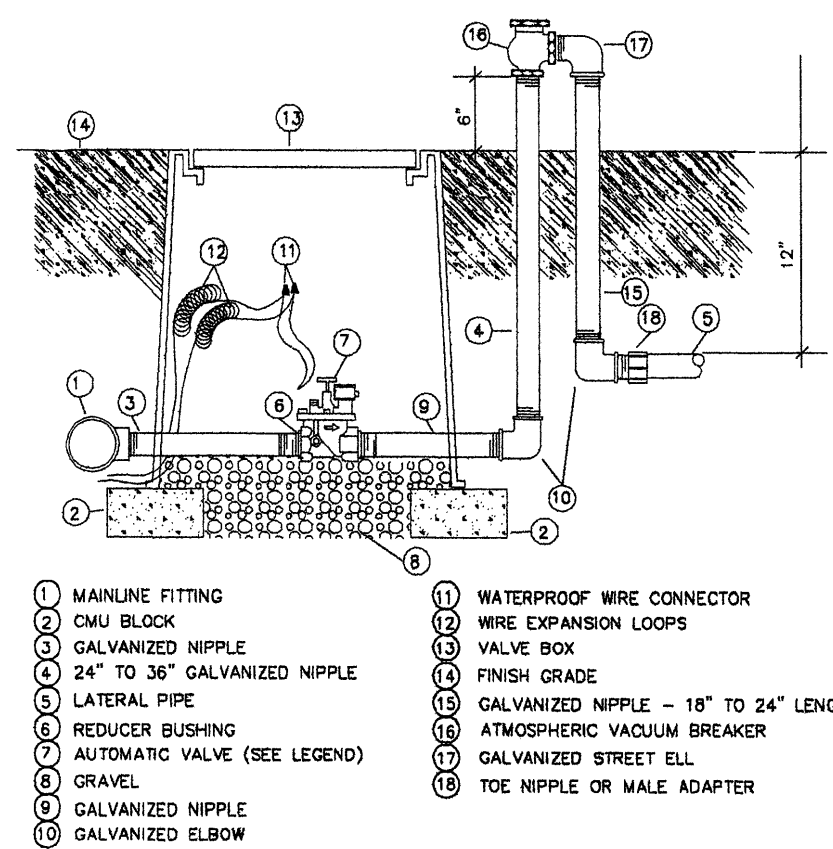


EACH LOT WILL HAVE A SEPARATE WATER METER

LANDSCAPE CALCULATIONS

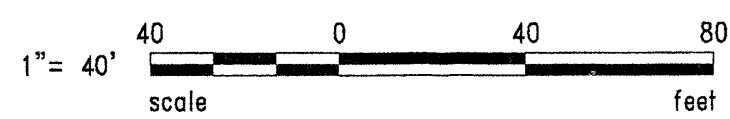
	LOT 3
TOTAL LOT AREA	34265 SF
TOTAL BUILDINGS AREA	2365 SF
OFFSITE AREA	-
NET LOT AREA	31900 SF
LANDSCAPE REQUIREMENT (.15)	4785 SF
TOTAL BED PROVIDED	6502 SF
GROUND COVER REQ. (.75)	4871 SF
TOTAL GROUND COVER PROVIDED	4980 (71%)
TOTAL LANDSCAPE PROVIDED	6502 SF

**NOTE TO CLIENT:**  
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- 6 REDUCER BUSHING
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- 17 GALVANIZED STREET ELL
- 18 TOE NIPPLE OR MALE ADAPTER

AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER



PLANT LEGEND

LOT 3

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Quercus shumardii  
2" Cal.
- CHITALPA (M) 2  
Chilopsis X Catalpa  
2" Cal.
- DESERT WILLOW (L) 3  
Chilopsis linearis  
15 Gal. 225sf
- SILVERBERRY (M) 8  
Elaeagnus pungens  
5 Gal. 100sf
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Buddleia davidii  
5 Gal. 100sf
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Hesperaloe parviflora  
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Pistacia chinensis  
2" Cal.
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Pinus nigra  
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15 Gal.
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Unstaked-Groundcover
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1 Gal. 4sf
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1 Gal. 4sf
- SANTA FE BROWN GRAVEL  
WITH FILTER FABRIC

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STREET TREE REQUIREMENTS - Lot 3

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street: 98th Street NW  
Required # 5 Provided # 5

PARKING LOT TREE REQUIREMENTS - Lot 3

Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces  
Required # 3 Provided # 3

REV	DATE	BY	REVISION
1	8-8-08	rnc	revised site plan
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3	2-6-07	rmm	revised site plan
4	1-18-07	odf	revised site plan, comments
5	11-09-06	rmm	comments from the city
6	11-2-06	rmm	revised site plan and comments

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
2326 SAN PEDRO N.E., SUITE 2-B  
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PRELIMINARY NOT FOR CONSTRUCTION

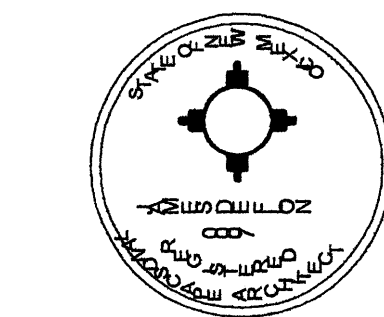
PROJECT TITLE  
**VOLCANO POINT - LOT 3**  
NORTHWEST CORNER OF 98TH ST. & CENTRAL AVENUE  
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER  
WILLIAM SUTTLER

JOB NO.  
0653

DRAWN BY  
RMM

SHEET TITLE  
**LANDSCAPE PLAN - LOT 3**



**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS

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cmj@hilltoplandscaping.com

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.

DATE	08-18-08	SHEET	2
SCALE	1"=40'	L2	of 3

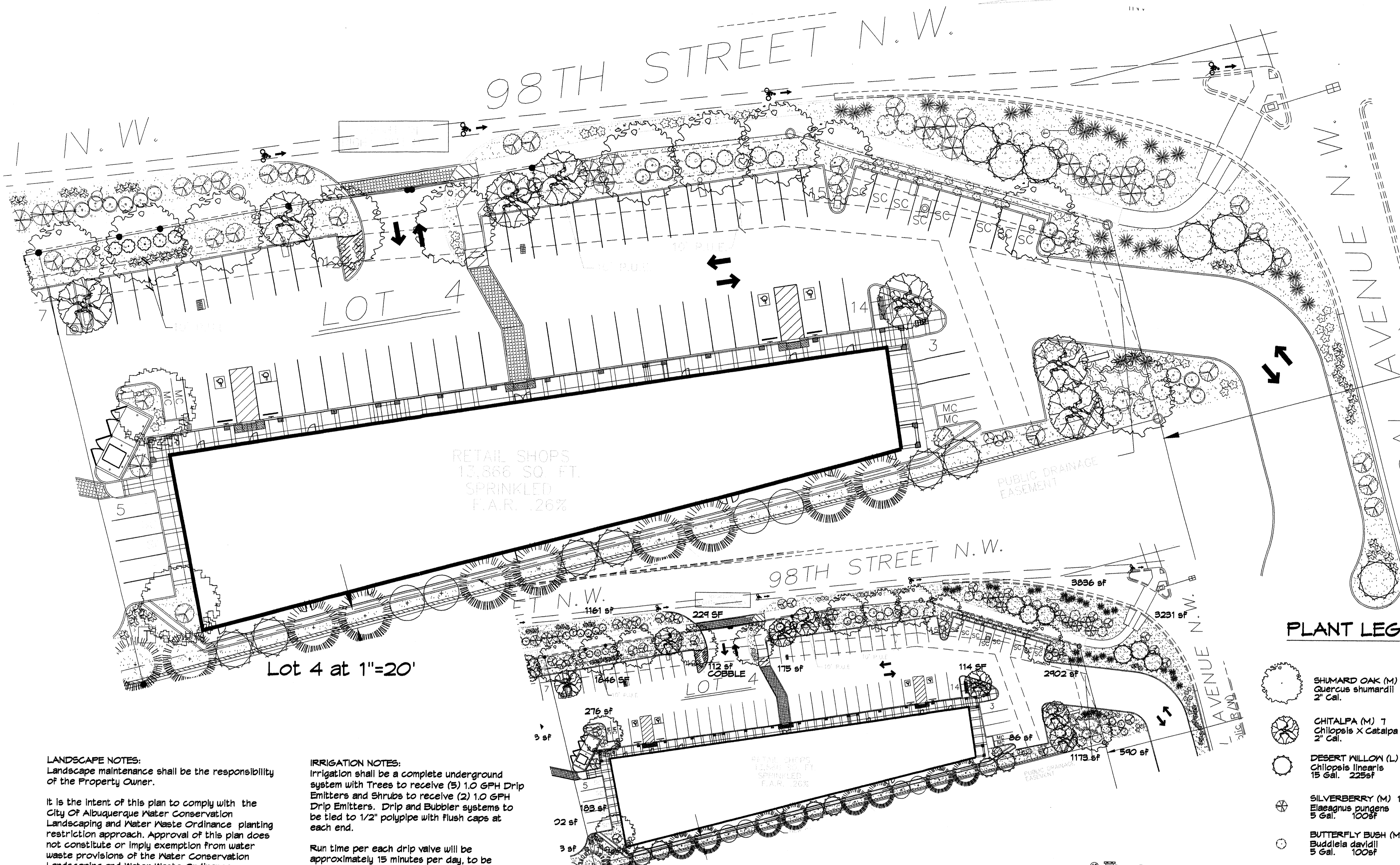
LANDSCAPE PLAN

1"= 40'-0"

NORTH

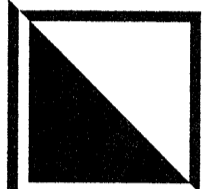




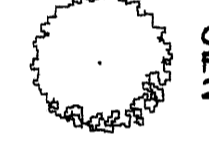
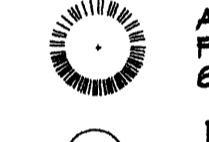
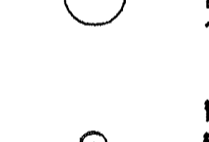




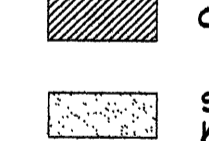



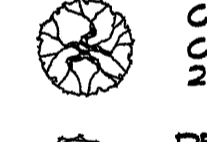

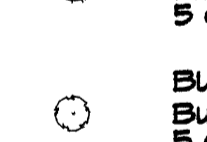
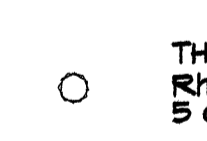
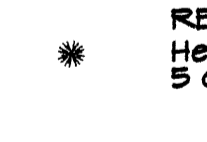
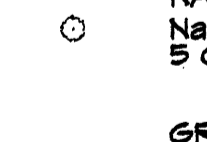
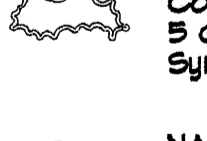

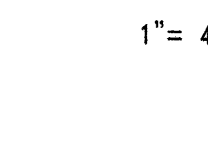


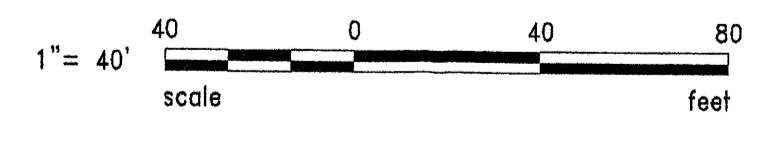
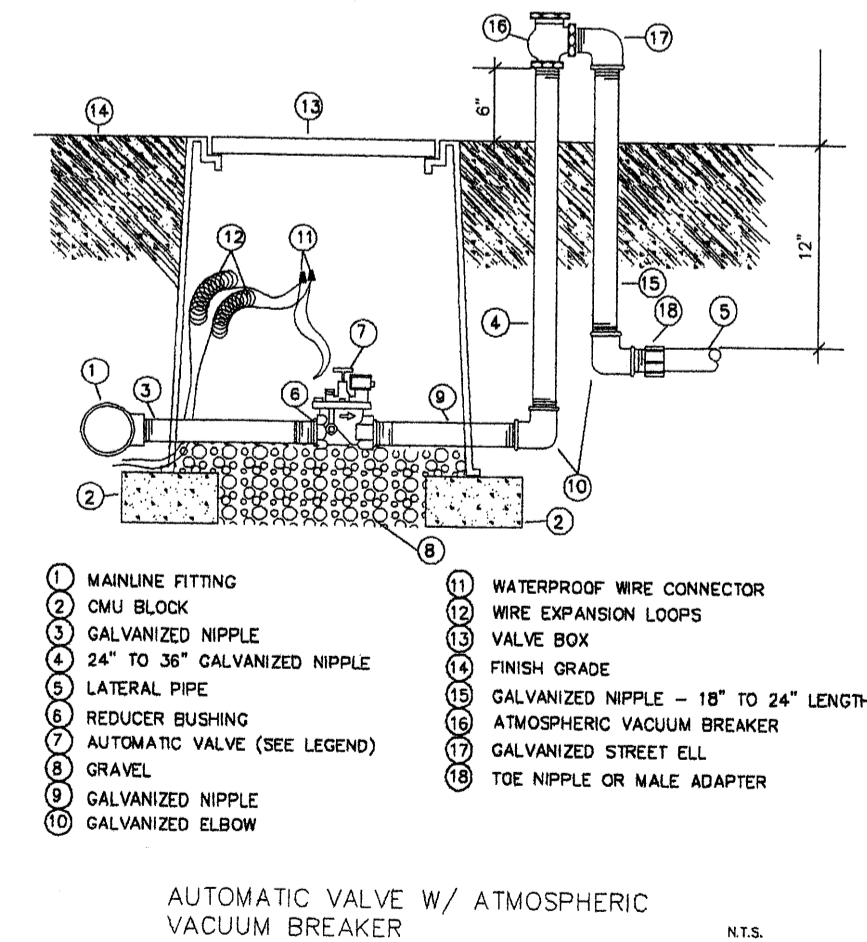
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6	11-1-06	rmm	revised site plan and comments

  
 GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
 2325 SAN PEDRO N.E., SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110    FAX (505) 837-9877

**PLANT LEGEND**  
LOT 4

-  CHINESE PISTACHE (M) 2  
*Pistacia chinensis*  
2" Cal.
-  AUSTRIAN PINE (M) 9  
*Pinus nigra*  
6'-8'
-  NEW MEXICO OLIVE (L) 4  
*Forestiera neomexicana*  
15 Gal.
-  RUSSIAN SAGE (M) 15  
*Quercus atriplicifolia*  
5 Gal. 36sf
-  POTENTILLA (M) 62  
*Potentilla fruticosa*  
1 Gal. 4sf
-  HONEYSUCKLE (M) 31  
*Lonicera japonica 'Halliana'*  
1 Gal. 144sf  
Unstaked-Groundcover
-  WILDFLOWER 8  
1 Gal. 4sf
-  THREADGRASS (M) 35  
*Stipa tenuissima*  
1 Gal. 4sf
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Symbol indicates 3 plants
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**STREET TREE REQUIREMENTS - Lot 4**

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: 98th Street NW  
Required # 13 Provided # 13

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Required # 2 Provided # 2

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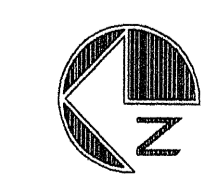
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	LOT 4
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TOTAL BED PROVIDED	17441 SF
GROUNDCOVER REQ. (.75)	13081 SF
TOTAL GROUNDCOVER PROVIDED	13551 (78%)
TOTAL LANDSCAPE PROVIDED	17441 SF

**LANDSCAPE PLAN**

1" = 40'-0"

NORTH



**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS

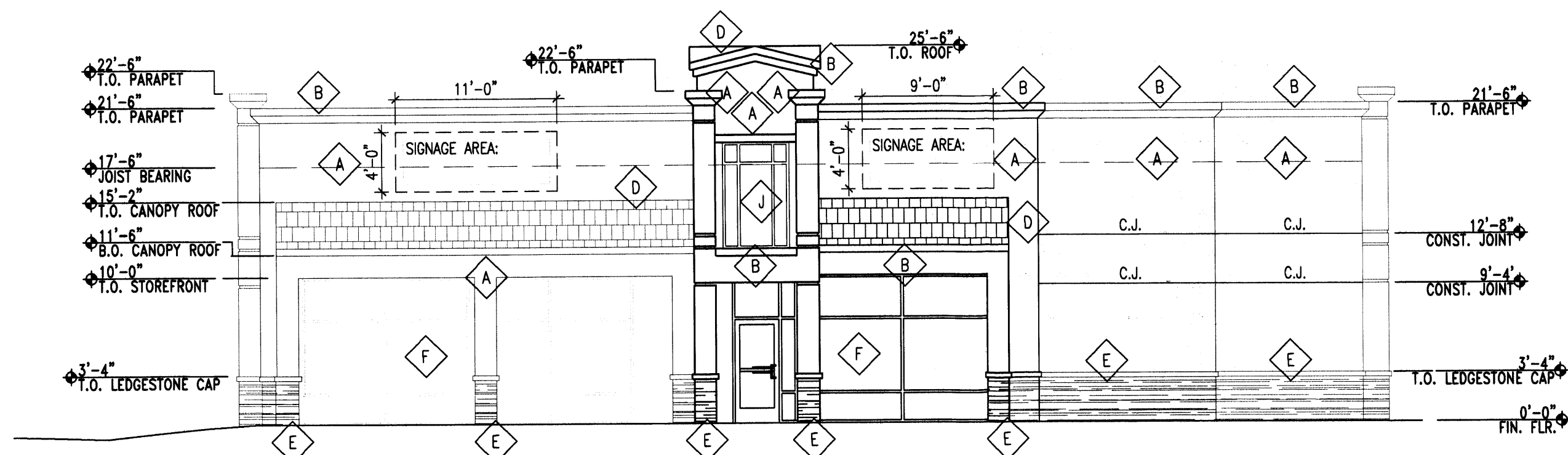
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cmj@hilltoplandscaping.com

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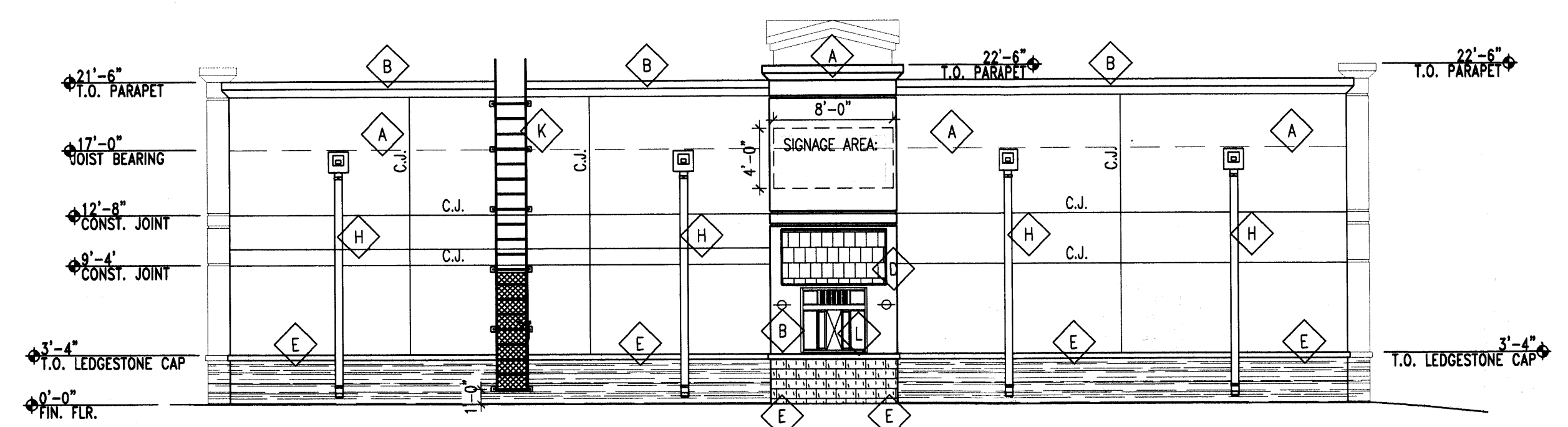
**PRELIMINARY NOT FOR CONSTRUCTION**

PROJECT TITLE  
**VOLCANO POINT - LOT 4**  
NORTHWEST CORNER OF 98TH ST. & CENTRAL AVENUE  
ALBUQUERQUE, NEW MEXICO  
JOB NO. 0653  
DRAWN BY: RMM  
PROJECT MANAGER: WILLIAM SUITES  
SHEET TITLE  
**LANDSCAPE PLAN - LOT 4**

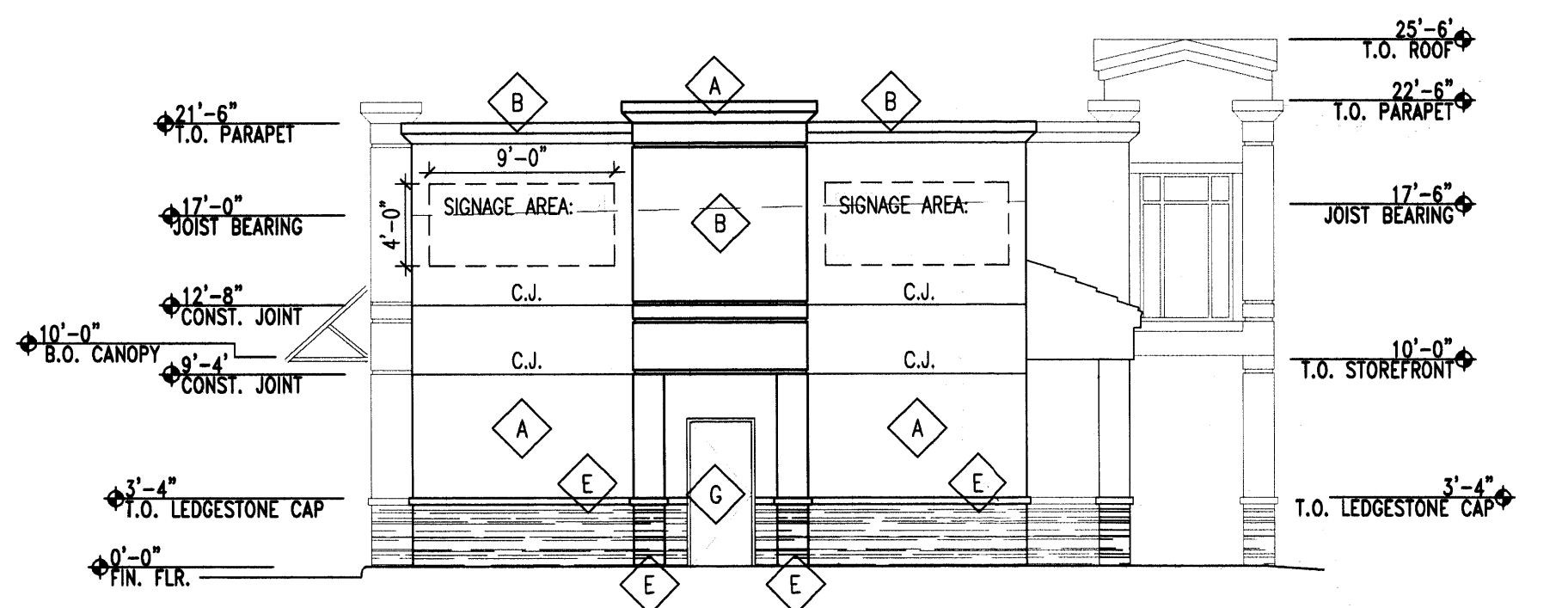
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SCALE: 1" = 40'  
sheet 3 of 3  
**L3**



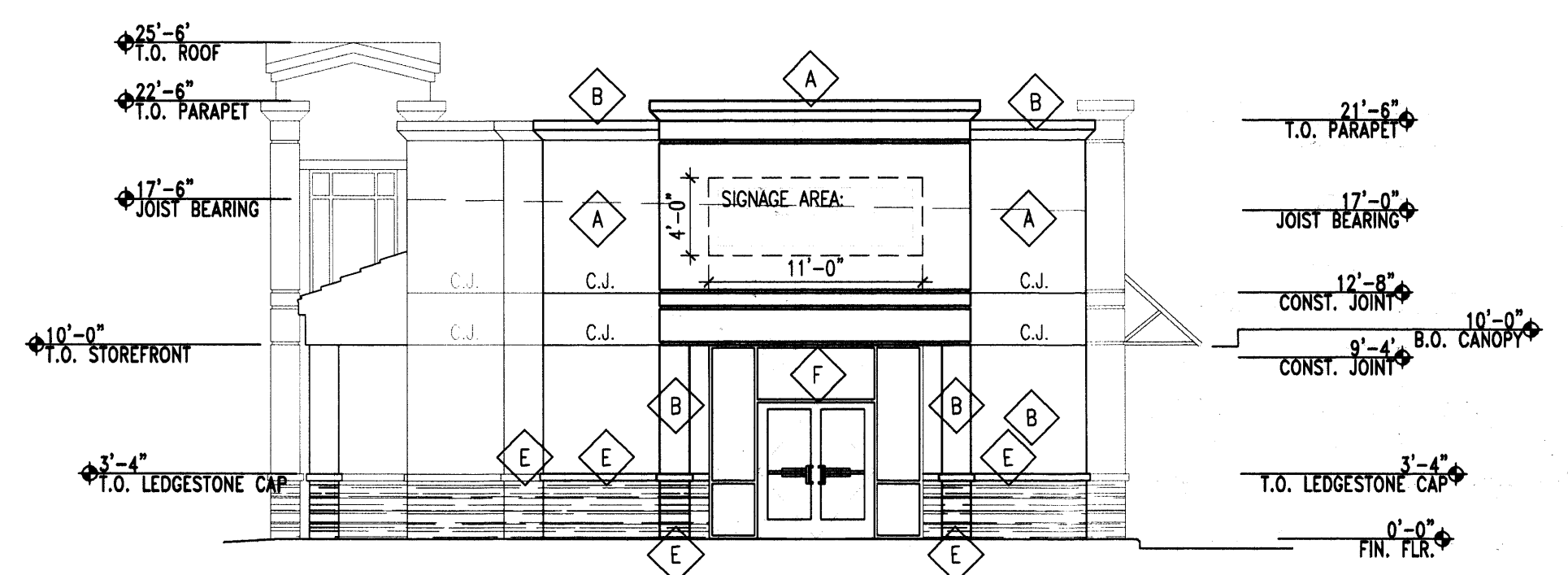
1 EAST ELEVATION  
1/8"=1'-0"



2 WEST ELEVATION  
1/8"=1'-0"



3 SOUTH ELEVATION  
1/8"=1'-0"



4 NORTH ELEVATION  
1/8"=1'-0"

Keyed Color / Material Schedule		Common Name
	STUCCO BENJAMIN MOORE #353	LIGHT TAN
	STUCCO BENJAMIN MOORE #1032	LIGHT TAN
	STUCCO BENJAMIN MOORE #393	BROWN/GREY
	CONC. ROOF TILE	MONIER LIFE TILE CHESTNUT BROWN
	DRYSTACK LEDGESTONE	JC WHITE
	ALUM. STOREFRONT	BRONZE
	HOLLOW METAL DOOR	PAINT TO MATCH ADJACENT FINISH
	DOWNSPOUT	PAINT TO MATCH ADJACENT FINISH
	ALUM. STOREFRONT	BRONZE W/ NO GLAZING
	ROOF ACCESS LADDER	PAINT TO MATCH ADJACENT FINISH
	DRIVE-THRU WINDOW	BRONZE

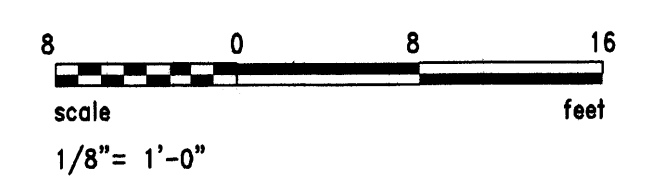
**GENERAL NOTES:**

ALL MECH. EQUIP. SHALL BE SHIELDED

ALUM. STOREFRONT SHALL BE RECESSED 2' FROM FACE OF STUCCO.

ALL BUILDING MOUNTED SIGNAGE SHALL BE INDIVIDUAL TYPE LETTERING NOT TO EXCEED 6 PERCENT OF THE WALL AREA OF EACH BUILDINGS ELEVATION OR TEN PERCENT OF THE WALL AREA OF MULTI-TENANT SHOPS BUILDINGS PER C.O.A. AND SHALL REQUIRE A SEPARATE PERMIT FOR EACH TENANTS SIGNAGE.

ALL BUILDING MATERIALS SHALL BE NON-REFLECTIVE.



REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
2325 SAN PEDRO N.E. SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

PROJECT TITLE  
**98TH AND CENTRAL**  
98TH AND CENTRAL  
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER  
William Suttles

JOB NO.  
0653

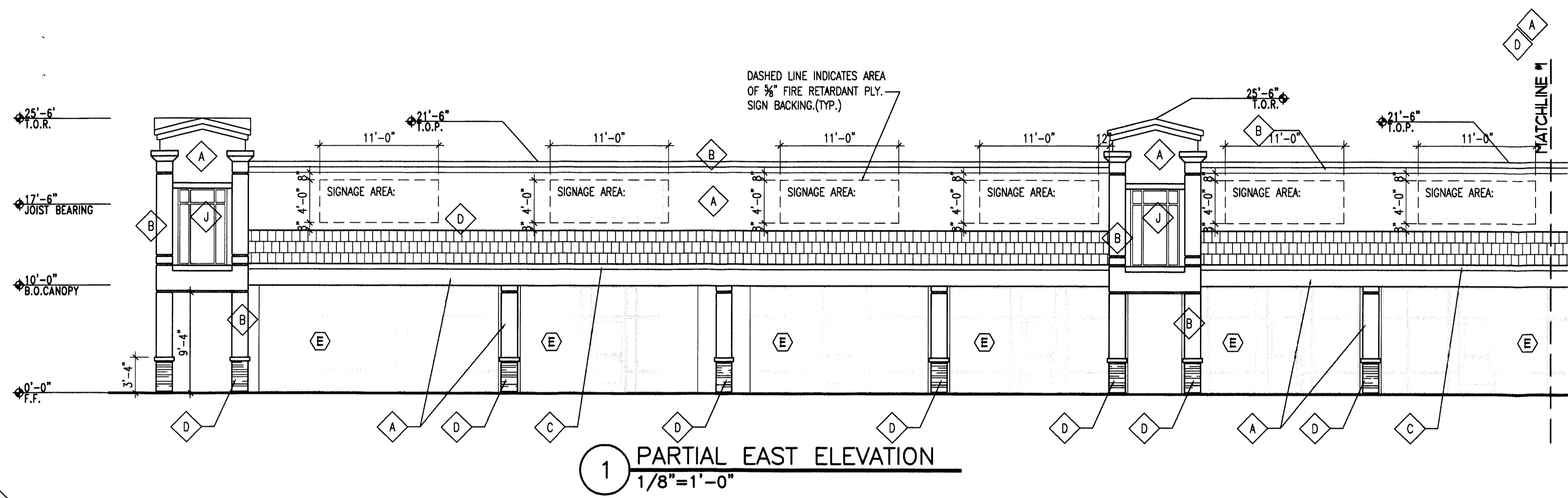
DRAWN BY:  
LWS

SHEET TITLE  
**RESTAURANT SHELL ELEV**

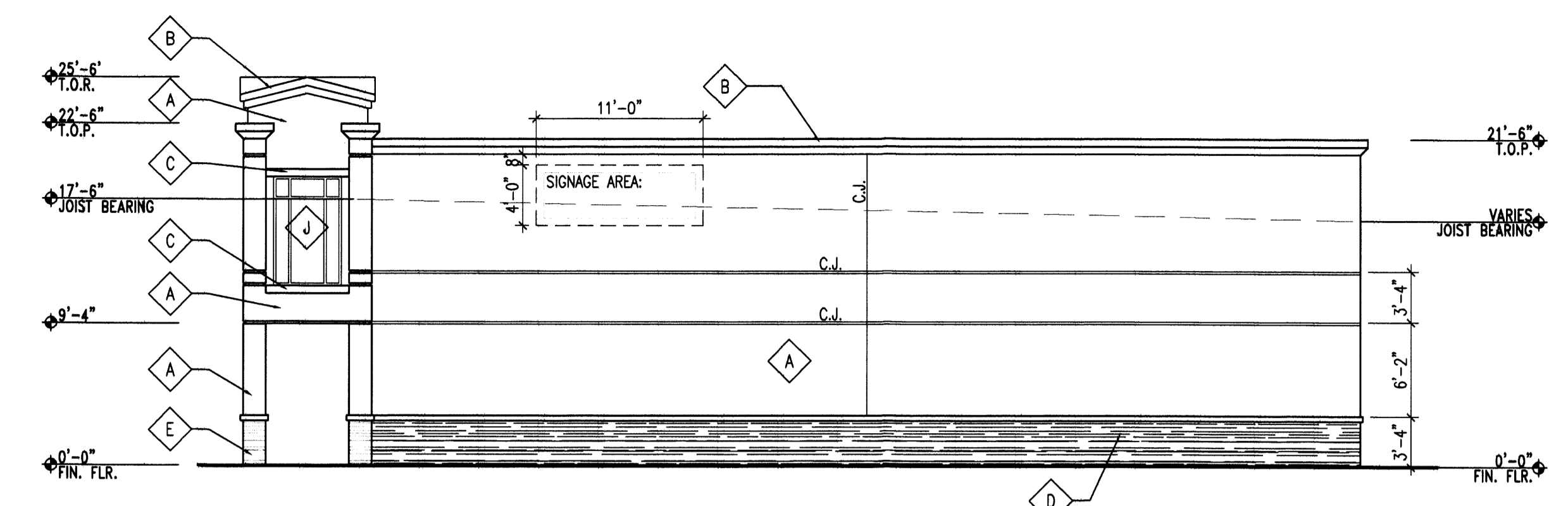
DATE:  
8/25/2008

SCALE:  
AS NOTED

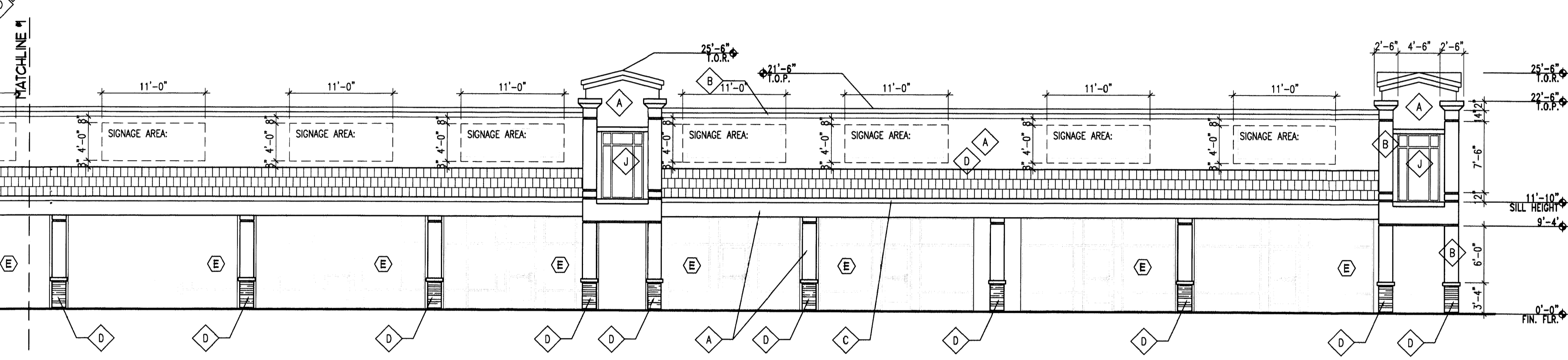
sheet -  
A5.0  
of -



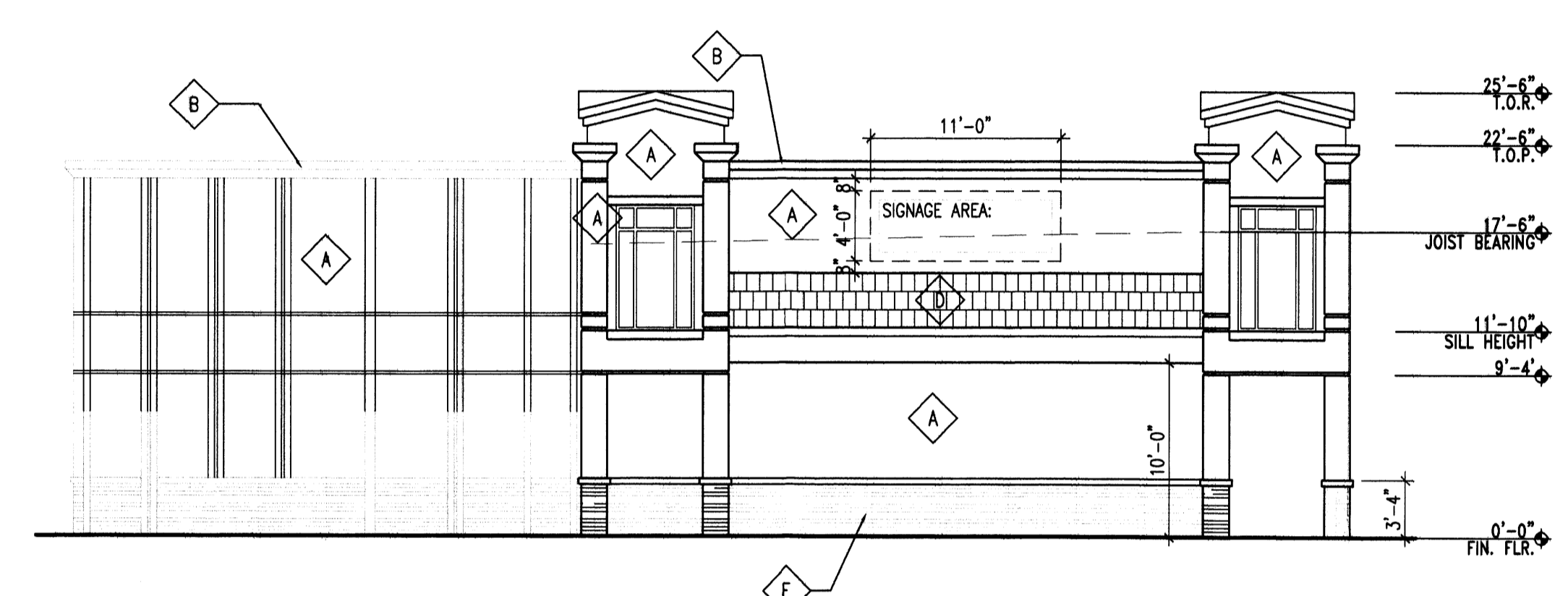
1 PARTIAL EAST ELEVATION  
1/8"=1'-0"



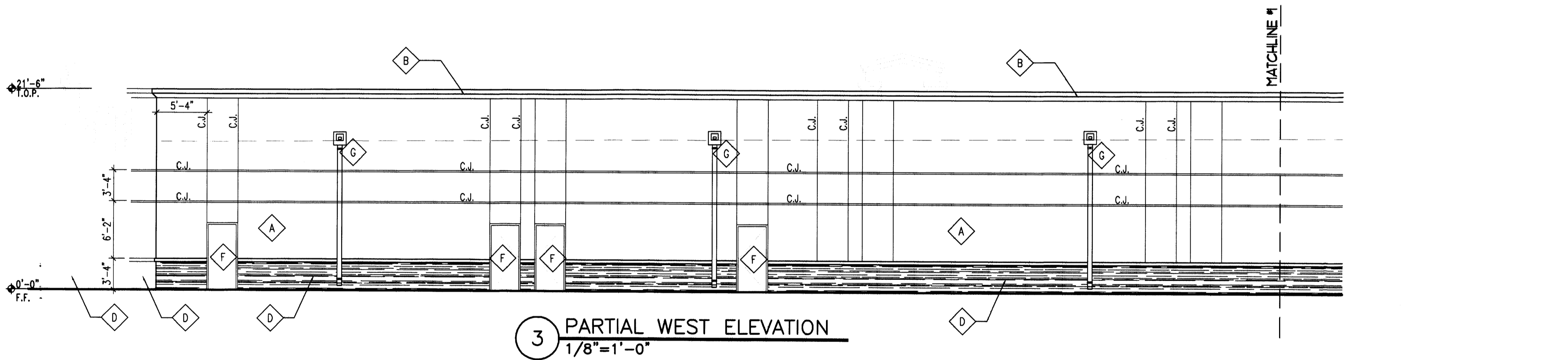
5 NORTH ELEVATION  
1/8"=1'-0"



2 PARTIAL EAST ELEVATION  
1/8"=1'-0"

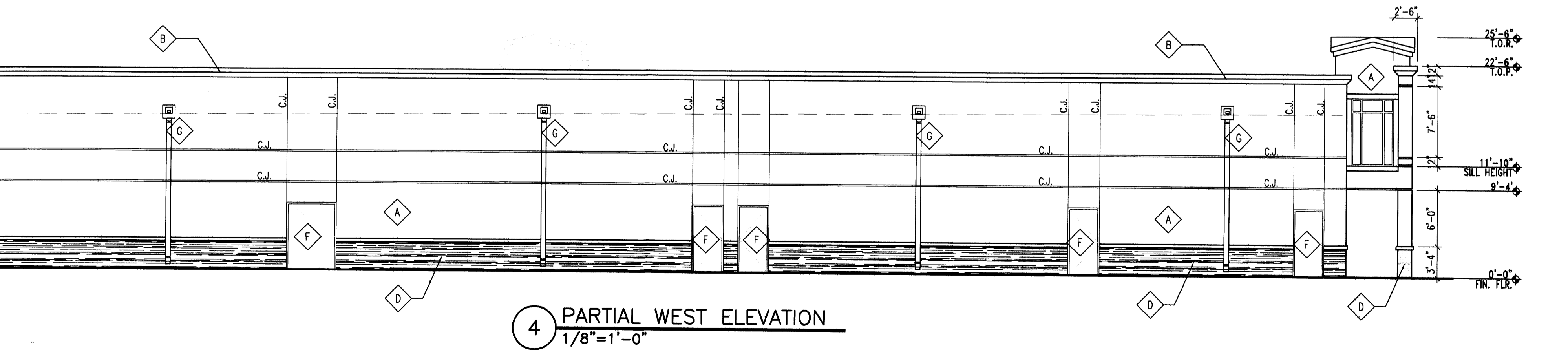


6 SOUTH ELEVATION  
1/8"=1'-0"



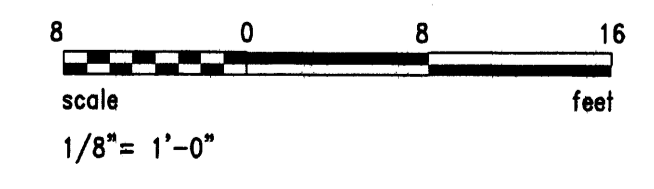
3 PARTIAL WEST ELEVATION  
1/8"=1'-0"

Keyed Color / Material Schedule		Common Name
◆ STUCCO	BENJAMIN MOORE #953	LIGHT TAN
◆ STUCCO	BENJAMIN MOORE #932	LIGHT TAN
◆ STUCCO	BENJAMIN MOORE #993	BROWN/ GREY
◆ DRYSTACK LEDGESTONE	JC WHITE	
◆ ALUM. STOREFRONT	BRONZE	
◆ HOLLOW METAL DOOR	PAINT TO MATCH ADJACENT STUCCO FINISH	
◆ DOWNSPOUT	TRUE WHITE	
◆ STANDING-BEAM HTL. ROOFING	GLAVALLUME	
◆ ALUM. STOREFRONT	BRONZE - FRAME WITH NO GLAZING	

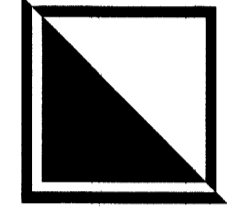


4 PARTIAL WEST ELEVATION  
1/8"=1'-0"

**GENERAL NOTES:**  
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 ALUM. STOREFRONT SHALL BE RECESSED 2' FROM FACE OF STUCCO.  
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 ALL BUILDING MATERIALS SHALL BE NON-REFLECTIVE.



REV	DATE	BY	REVISION
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NOT FOR  
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PROJECT TITLE  
**98TH AND CENTRAL**  
 98TH AND CENTRAL  
 ALBUQUERQUE, NEW MEXICO  
 PROJECT MANAGER  
 William Suttles  
 JOB NO.  
 0653  
 DRAWN BY:  
 WRS  
 SHEET TITLE  
**SHOPS ELEVATIONS**

DATE:  
 0252008  
 SCALE:  
 AS NOTED  
 sheet -  
**A6.0**  
 of -