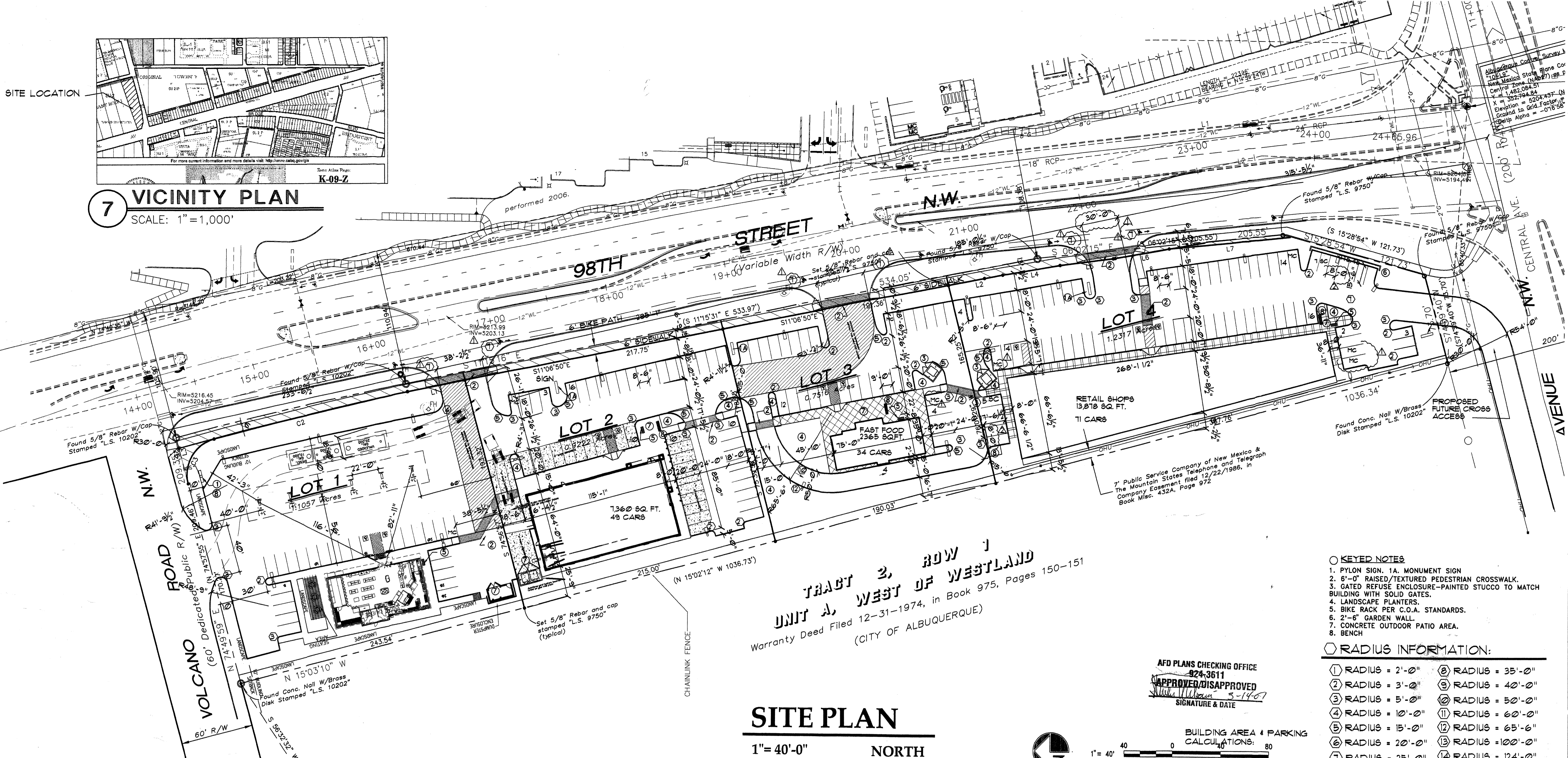


7 VICINITY PLAN
SCALE: 1"=1,000'



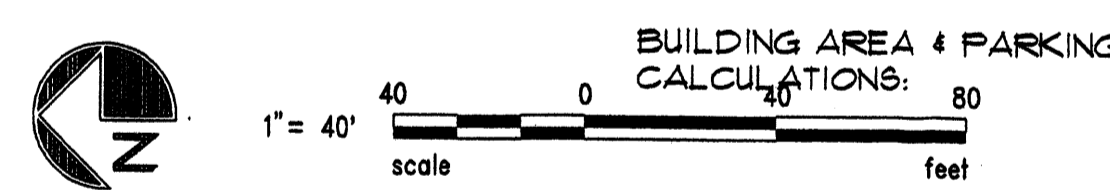
**TRACT 2, ROW 1
UNIT A, WEST OF WESTLAND**
Warranty Deed Filed 12-31-1974, in Book 975, Pages 150-151
(CITY OF ALBUQUERQUE)

SITE PLAN
1"=40'-0" NORTH

LEGAL DESCRIPTION
TRACT "1A" Plat of Tracts 1A & 1B, Row 1, Unit A, West of Westland, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the Plat of said Addition filed in the office of the County clerk of Bernalillo County, New Mexico on May 17, 1988, in Plat Book C36, folio 128.

CURRENT ZONING
SU 2 FOR PCA (PLANNED COMMERCIAL AREA)
TOTAL ACRES 4.1524 ACRES (TOTAL GROSS)
GENERAL ARCHITECTURAL DESIGN REQUIREMENTS
GENERAL ARCHITECTURAL
General architecture character for pad structures is to follow the general design concept depicted on elevations of building for lot 2. Pad buildings will be cementitious finish with a cementitious or split face cmu dado band. The main building walls must be colored to match color benjamin moore (#1) bm953, (#2) bm1032and (#3) bm 993. If the building extends below finish floor that area will also be covered with color #2. Structures are to be predominately flat-roofed however partial building areas such as porches or small extensions of building functions adjacent to the major building mass may have sloped roofs. These roofs are to be shed type. Slate tile clod and the high point of the roof must hit the main building wall below the top of the main building parapet. Architectural entry element roofs may extend above the parapet wall top and area to relate to the entry format of the main buildings. Building heights are limited to 26' parapet heights for major building walls, and 22' parapet heights for pod building walls. Slate tile clod entry roofs may extend above this height to accent and articulate the building mass. The approval of site plans for building permit for parcels 1-4 will be delegated to the City of Albuquerque Design Review Board (DRB). *JSC*

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
William Wilson
SIGNATURE & DATE



- KEYED NOTES**
1. Pylon sign, 1A. Monument sign
 2. 6'-0" RAISED/TEXTURED PEDESTRIAN CROSSWALK.
 3. GATED REFUSE ENCLOSURE-PAINTED STUCCO TO MATCH BUILDING WITH SOLID GATES.
 4. LANDSCAPE PLANTERS.
 5. BIKE RACK PER C.O.A. STANDARDS.
 6. 2'-6" GARDEN WALL.
 7. CONCRETE OUTDOOR PATIO AREA.
 8. BENCH

- RADIUS INFORMATION:**
- | | |
|-------------------|--------------------|
| ① RADIUS = 2'-0" | ⑧ RADIUS = 35'-0" |
| ② RADIUS = 3'-0" | ⑨ RADIUS = 40'-0" |
| ③ RADIUS = 5'-0" | ⑩ RADIUS = 50'-0" |
| ④ RADIUS = 10'-0" | ⑪ RADIUS = 60'-0" |
| ⑤ RADIUS = 15'-0" | ⑫ RADIUS = 65'-6" |
| ⑥ RADIUS = 20'-0" | ⑬ RADIUS = 100'-0" |
| ⑦ RADIUS = 25'-0" | ⑭ RADIUS = 124'-0" |

BUILDING AREA & PARKING CALCULATIONS:

LOT 1: 3,500 SF. BUILDING.
LOT SIZE = 48,164.29 SF OR 1.1057 A.C.
3,500 SF / 200 = 18 SPACES.
SPACES PROVIDED 26 SPACES.
1 MOTOR CYCLE
FAR = .07

LOT 2: 7,360 SF. BUILDING.
LOT SIZE = 40,171.03 SF OR .9222 A.C.
7,360 SF / 200 = 36 SPACES.
SPACES PROVIDED 49 SPACES.
1 MOTOR CYCLE
FAR = .18

LOT 3: FAST FOOD 2,365 SF. BUILDING.
LOT SIZE = 32,739.69 SF OR .7516 A.C.
1 CAR PER 4 PROVIDED SEATS
137 SEATS / 4 = 34 REQ. SPACES
SPACES PROVIDED 34 SPACES.
2 MOTOR CYCLE
FAR = .07

LOT 4: SHOPS 13,878 SF. BUILDING.
LOT SIZE = 53,652.85 SF OR 1.2317 A.C.
13,878 / 200 = 69 SPACES
SPACES PROVIDED 71 SPACES.
4 MOTOR CYCLE
FAR = .24

Albuquerque Control Survey Monument
S.L.C.
New Mexico State Plane Coordinates, as published:
Central Zone (NAD27) as published:
X = 1,481,296.87
Y = 1,481,584.58
Elevation = 5301.894' (NGVD 29)
Ground to Grid Factor = 0.99987241
Delta Alpha = -01720"

FLOOR AREA RATIO
TOTAL BUILDING AREA = 27,103 SQ/FT
TOTAL LOT AREA = 174,727.86 SQ/FT
TOTAL FAR = .16

PARKING NOTES:
TYPICAL STANDARD SPACES ARE -----8'-6" x 20'-0"
TYPICAL SMALL CAR SPACES ARE -----7'-6" x 15'-6"
TYPICAL HANDICAP SPACES ARE -----8'-0" x 20'-0" WITH A 8' WIDE ACCESS AISLE
* ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED *

TOTAL STANDARD PARKING SPACES PROVIDED 158 SPACES
TOTAL HC PARKING SPACES PROVIDED (INCLUDES 8 VAN SPACES) 8 SPACES
TOTAL SMALL CAR PARKING SPACES PROVIDED 14 SPACES
MOTOR CYCLE SPACES 8
TOTAL PROVIDED 188 SPACES
TOTAL REQUIRED SPACES = 157 SPACES
TOTAL PROVIDED SPACES = 188 SPACES

PAD ARCHITECTURAL DESIGN STANDARDS
Shall include the following elements to provide uniform standards for all pads. Each pad to follow building elevations provided. The lower 3'-4" of the area of vertical walls and landscape walls shall be four or eight inch split face cmu or stucco.
color #2. Four or eight inch split face or accent block, color #1 --fuel canopies to be cementitious finish color #1. Lighting to be entirely recessed in soffit of fuel canopies (max 50ft candles). Each pod development to provide an outdoor paved and landscaped patio space with outdoor furniture, such as bench seating or picnic tables.

COLOR PALETTE
color #1 light tan benjamin moore #953
color #2 medium light tan dado band base wall color #1032
color #3 brown/grey benjamin moore #993
color #4 monierite concrete slate tile roofing, trim & accents (brown blend).

LINE TABLE

LINE	LENGTH	BEARING
L1	48.41'	S11°06'50"E
L2	45.81'	S11°06'50"E
L3	39.08'	N74°49'59"E
L4	48.10'	S10°04'56"E
L5	46.13'	S07°37'42"E
L6	45.34'	S10°29'10"E
L7	101.97'	S06°02'15"E

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	196.21'	3038.76'	98.14'	196.18'	N13°14'10"W	3°41'59"
C2	165.56'	4223.75'	82.79'	165.55'	N13°46'43"W	2°14'45"
C3	47.26'	30.00'	30.14'	42.52'	N60°02'03"W	90°15'55"

SEE SHEET AS2

PROJECT NUMBER: 1003794
APPLICATION NUMBER: 07DE8-00181

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on _____ and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () YES (X) NO if yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

<i>Tom A Shea</i> Engineering, Transportation Division Water Utility Department	Date 3-14-07
<i>Christine Dandora</i> Parks and Recreation Department	Date 3/14/07
<i>Bradley D. Bingham</i> City Engineer	Date 3/14/07
NA Environmental Health Department	Date
<i>Michael Holton</i> Solid Waste Management	Date 3/14/07
<i>Tom Wilson</i> DRB Chairperson, Planning Department	Date 3/20/07

* Environmental Health, if necessary

PROJECT # 1003794

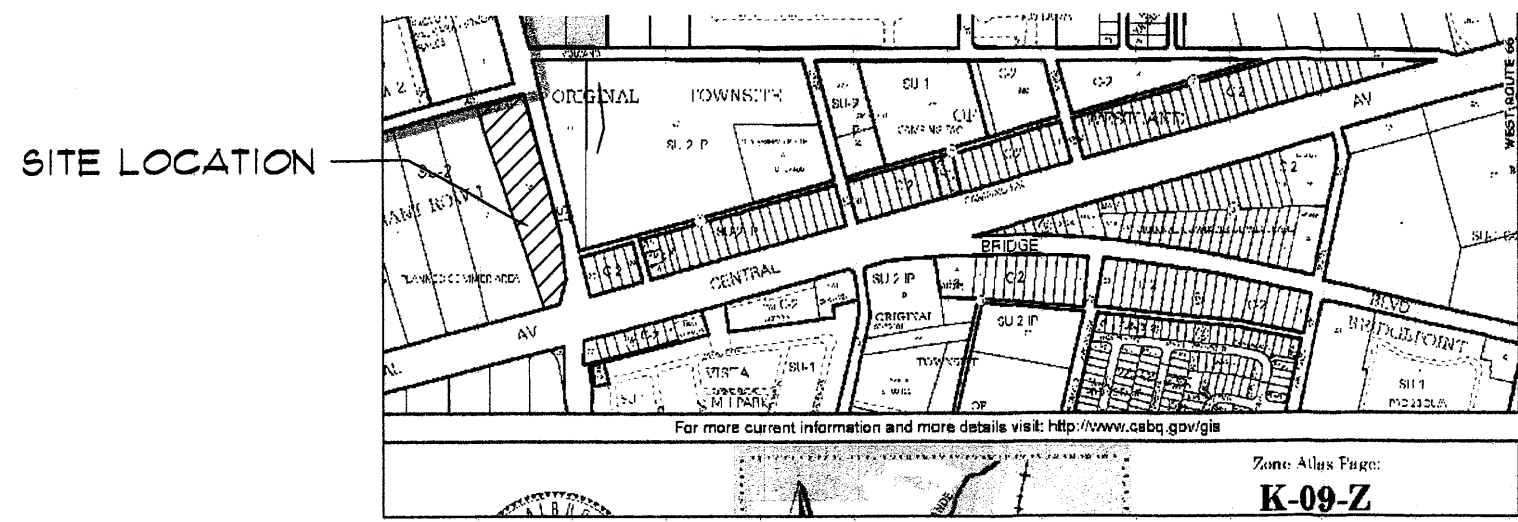
GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

REV	DATE	BY	REVISION
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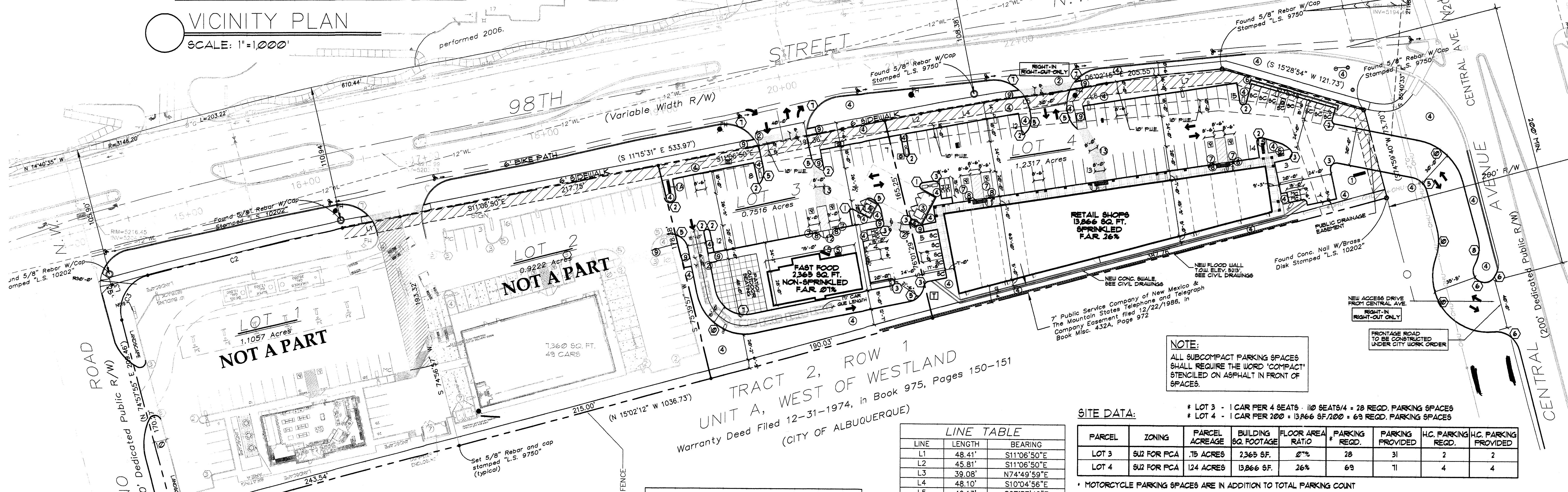
PROJECT TITLE: 98TH AND CENTRAL PLAN
NORTHWEST CORNER OF 98TH ST. & CENTRAL AVENUE
ALBUQUERQUE, NEW MEXICO

DRAWN BY: WRS
JOB NO.: 0653
PROJECT MANAGER: ANTON DANTILLO
SHEET TITLE: SITE PLAN FOR SUBDIVISION

DATE: 11-1-2006 sheet-
SCALE: 1"=40' of AS1



VICINITY PLAN
SCALE: 1"=1000'



SITE PLAN

1"=40'-0"
scale
0 40 80
feet

LOTS 3 & 4 WILL BE CONSTRUCTED UNDER SEPARATE BUILDING PERMITS

LINE TABLE

LINE	LENGTH	BEARING
L1	48.41'	S11°06'50"E
L2	45.81'	S11°06'50"E
L3	39.08'	N74°49'59"E
L4	48.10'	S10°04'56"E
L5	46.13'	S07°37'42"E
L6	45.34'	S10°29'10"E
L7	101.97'	S06°02'15"E

SITE DATA:

* LOT 3 - 1 CAR PER 4 SEATS = 10 SEATS/4 = 25 REQD. PARKING SPACES
* LOT 4 - 1 CAR PER 200 = 13,866 SF/200 = 69 REQD. PARKING SPACES

PARCEL	ZONING	PARCEL ACREAGE	BUILDING SQ. FOOTAGE	FLOOR AREA RATIO	PARKING REQD.	PARKING PROVIDED	H.C. PARKING REQD.	H.C. PARKING PROVIDED
LOT 3	SUZ FOR PCA	.75 ACRES	2365 SF.	2%	28	31	2	2
LOT 4	SUZ FOR PCA	124 ACRES	13,866 SF.	26%	69	71	4	4

* MOTORCYCLE PARKING SPACES ARE IN ADDITION TO TOTAL PARKING COUNT
LOT 3 - 2 MOTORCYCLE SPACES REQD. = 2 SPACES PROVIDED
LOT 4 - 4 MOTORCYCLE SPACES REQD. = 4 SPACES PROVIDED

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	196.21'	3038.76'	98.14'	196.18'	N13°14'10"W	3°41'59"
C2	165.56'	4223.75'	82.79'	165.55'	N13°46'43"W	2°14'45"
C3	47.26'	30.00'	30.14'	42.52'	N60°02'03"W	90°15'55"

RADIUS INFORMATION:

- ① RADIUS = 2'-0"
- ② RADIUS = 3'-0"
- ③ RADIUS = 5'-0"
- ④ NOT USED
- ⑤ RADIUS = 15'-0"
- ⑥ RADIUS = 20'-0"
- ⑦ RADIUS = 25'-0"
- ⑧ RADIUS = 30'-0"
- ⑨ RADIUS = 35'-0"
- ⑩ RADIUS = 40'-0"
- ⑪ RADIUS = 50'-0"
- ⑫ RADIUS = 54'-0"
- ⑬ RADIUS = 60'-0"
- ⑭ RADIUS = 65'-6"
- ⑮ RADIUS = 100'-0"

KEYED NOTES

- (N) PYLON SIGN, REFER TO A/AS2
- (N) MONUMENT SIGN, REFER TO B/AS2
- 6'-0" CROSS-PATTERN COLORED PEDESTRIAN CROSSWALK.
- GATED REFUSE ENCLOSURE WITH RECYCLE CONTAINER-PAINTED STUCCO TO MATCH BUILDING WITH SOLID METAL GATES. (ALL REFUSE ENCLOSURES TO RECEIVE SANITARY DRAINS). REFER TO DETAIL 4/AS3 (SIM.)
- LANDSCAPE AREA, REFER TO LANDSCAPE DRAWINGS BIKE RACK PER C.O.A. STANDARDS, REFER TO DETAIL 2/AS3
- 2'-6" GARDEN WALL, REFER TO DETAIL C/AS2
- PARKING BLOCK, REFER TO DETAIL 7/AS3
- ACCESSIBLE PARKING SIGN, REFER TO DETAIL 3/AS3
- ACCESSIBLE RAMP, REFER TO DETAIL 6/AS3
- NOT USED
- ACCESSIBLE RAMP, REFER TO DETAIL 8/AS3
- ACCESSIBLE RAMP, REFER TO DETAIL 1/AS3
- 8'-0" RAISED/TEXTURED PEDESTRIAN CROSSWALK
- GATED REFUSE ENCLOSURE - PAINTED STUCCO TO MATCH BUILDING WITH SOLID METAL GATES. (ALL REFUSE ENCLOSURES TO RECEIVE SANITARY DRAINS). REFER TO DETAIL 4/AS3 (SIM.)
- SITE BENCH, TYPE/STYLE PER OWNER/CONTRACTOR, REFER TO DETAIL 9/AS3

LEGEND

- ☐ LIGHT POLE, REFER TO DETAIL 5/AS3
- ⦿ FIRE HYDRANT

PLANS CHECKING OFFICE

824-3611
DISAPPROVED
L. M. ... 8/26/08

PARKING NOTES:

TYPICAL STANDARD SPACES ARE 8'-6" x 20'-0"
TYPICAL SMALL CAR SPACES ARE 7'-6" x 13'-6"
TYPICAL HANDICAP SPACES ARE 8'-0" x 20'-0" WITH A 6' WIDE ACCESS AISLE
* ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED *

LEGAL DESCRIPTION

Lots numbered Three (3) and Four (4), Plat of Lots 1 thru 4, VOLCANO POINT SHOPPING CENTER, (Being a replat of Tract 1A, Row 1, Unit 1 West of Westland) within the Town of Atrisco Grant in Projected Section 21, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat of said Addition, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on July 13, 2007, in Plat Book 2007C, folio 186, as Document No. 2007100302.

NOTE:

REFER TO SHEET A53 FOR SITE DETAILS

PROJECT NUMBER: 1003794

APPLICATION NUMBER: 0811R-70238

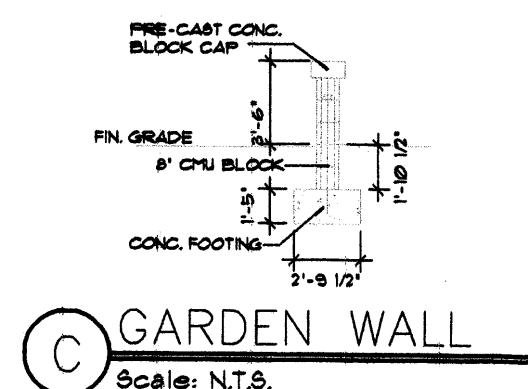
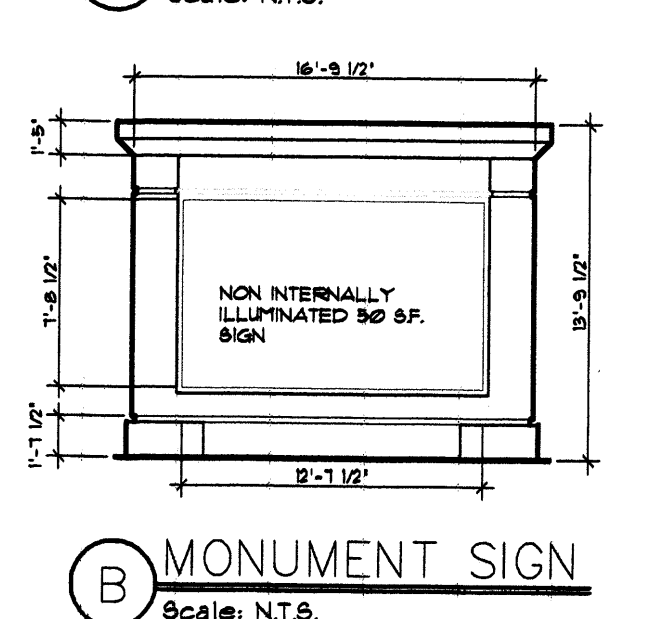
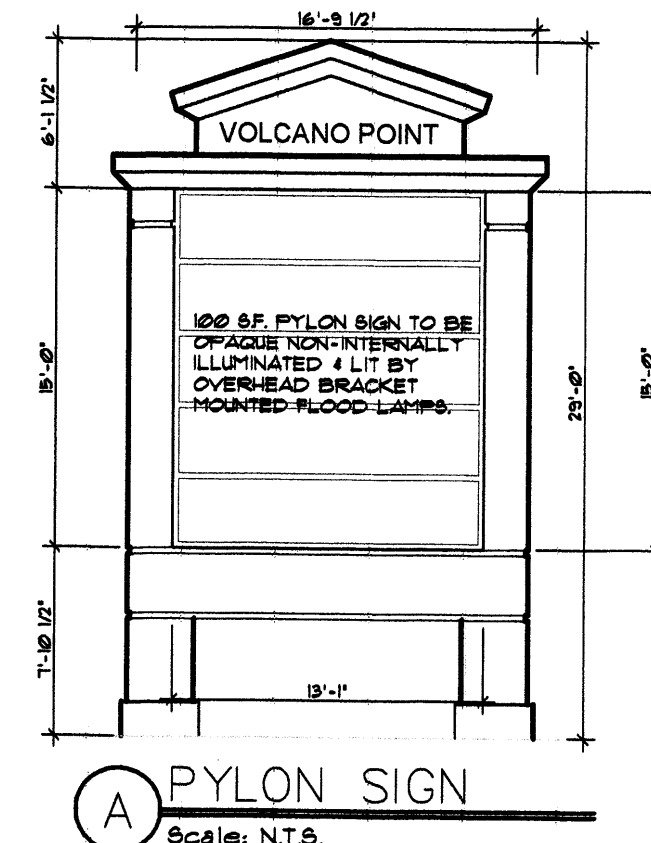
This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on ... and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DESIGN DEVELOPMENT PLAN APPROVAL

Traffic Engineering, Transportation Division	8/27/08
Water Utility Department	8-27-08
Christina Sandoval Parks and Recreation Department	8/27/08
Bradley Blythe City Engineer	8/21/08
Environmental Health Department	
Michael Holton Solid Waste Management	8/27/08
City Engineer	8/27/08
City Engineer	8/27/08
City Engineer	8/27/08

* Environmental Health, if necessary



REVISION

REV	DATE	BY
1		
2		
3		
4		
5		

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT TITLE: 98TH AND CENTRAL PLAN
NORTHWEST CORNER OF 98TH ST. & CENTRAL AVENUE
ALBUQUERQUE, NEW MEXICO

DRAWN BY: WRS

JOB NO: 0653

PROJECT MANAGER: William Suttles

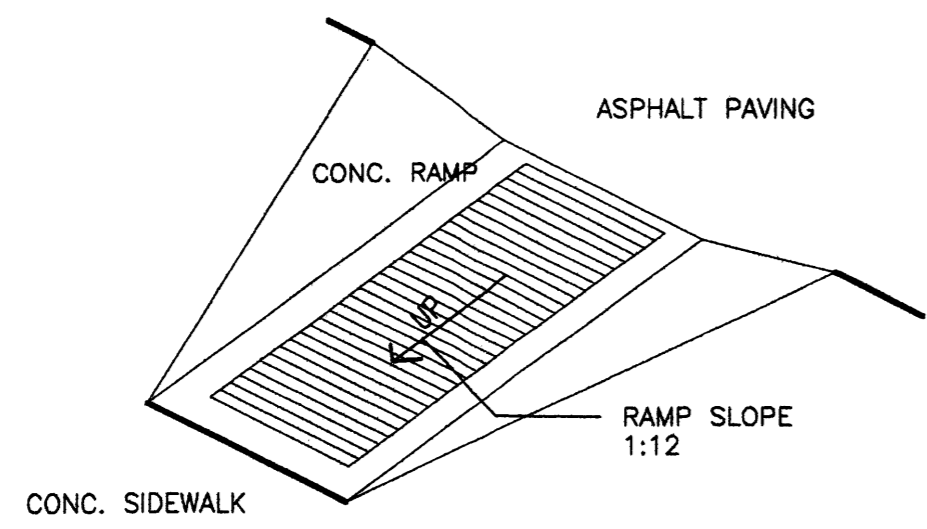
SHEET TITLE: SITE PLAN FOR BLDG. PERMIT

DATE: 8/26/08

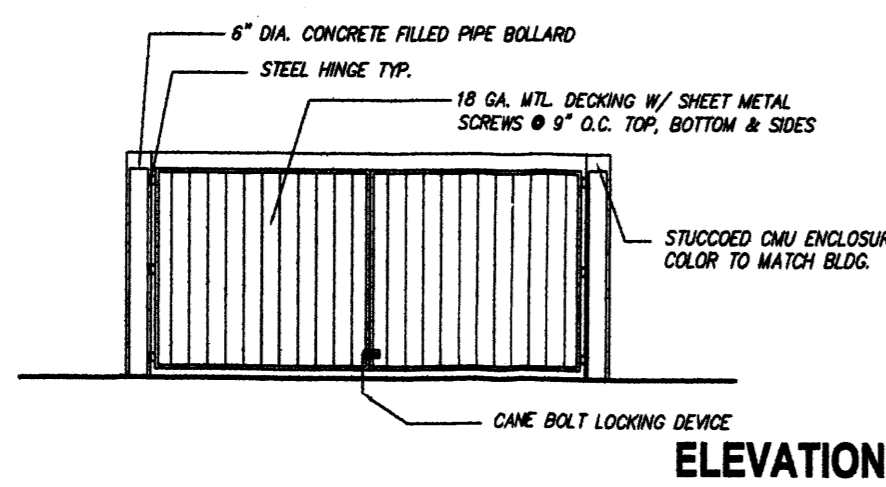
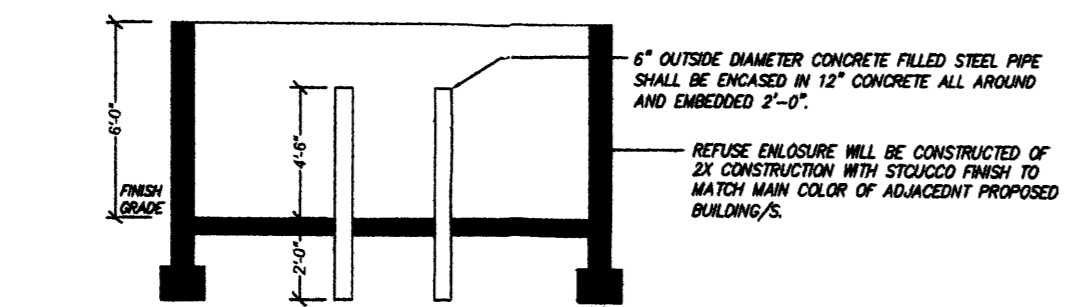
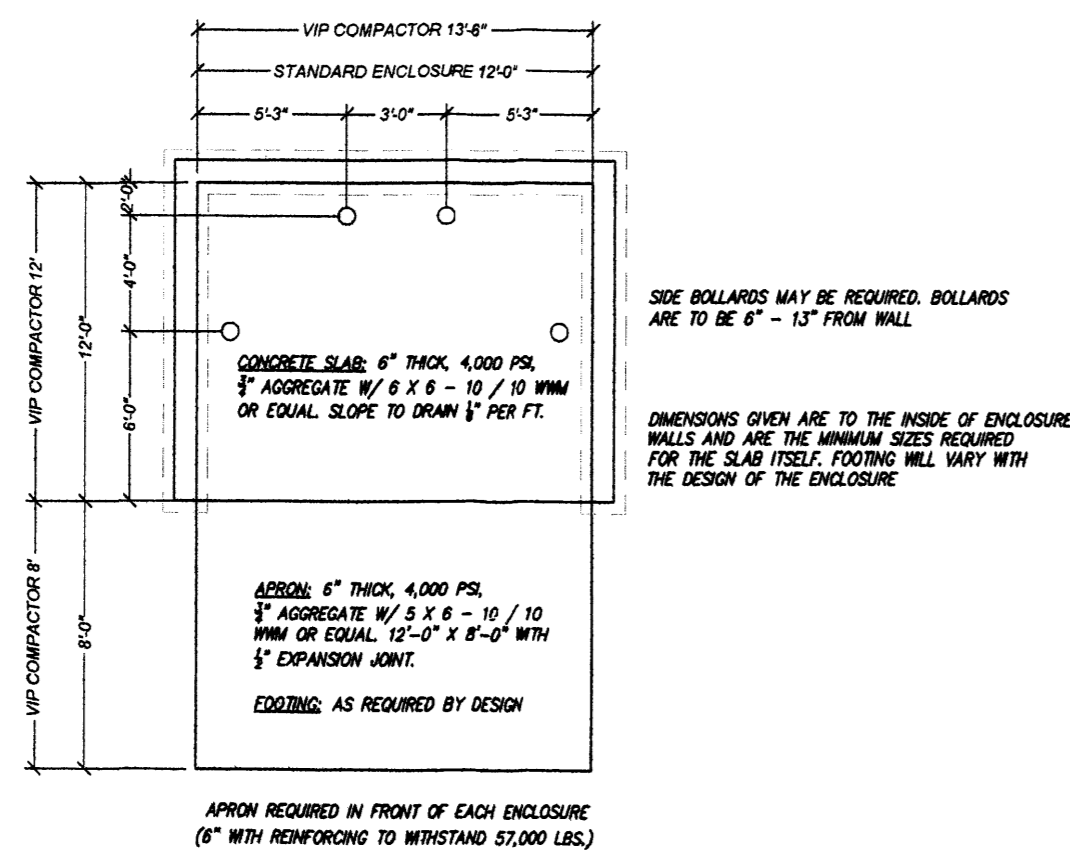
SCALE: 1"=40'

SHEET: AS2

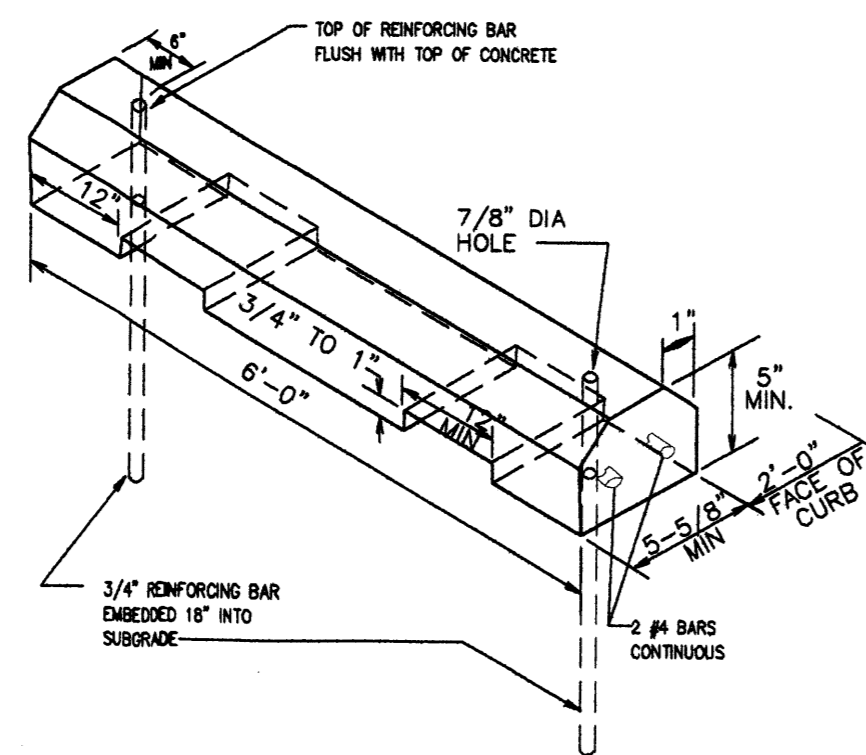
1003794



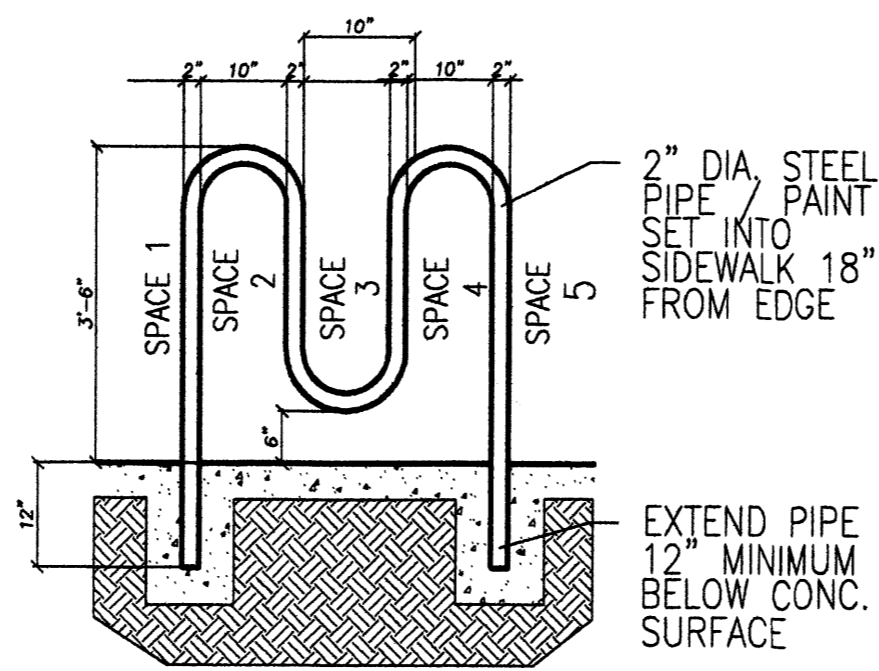
1 HANDICAP RAMP DETAIL
AS3 SCALE: N.T.S.



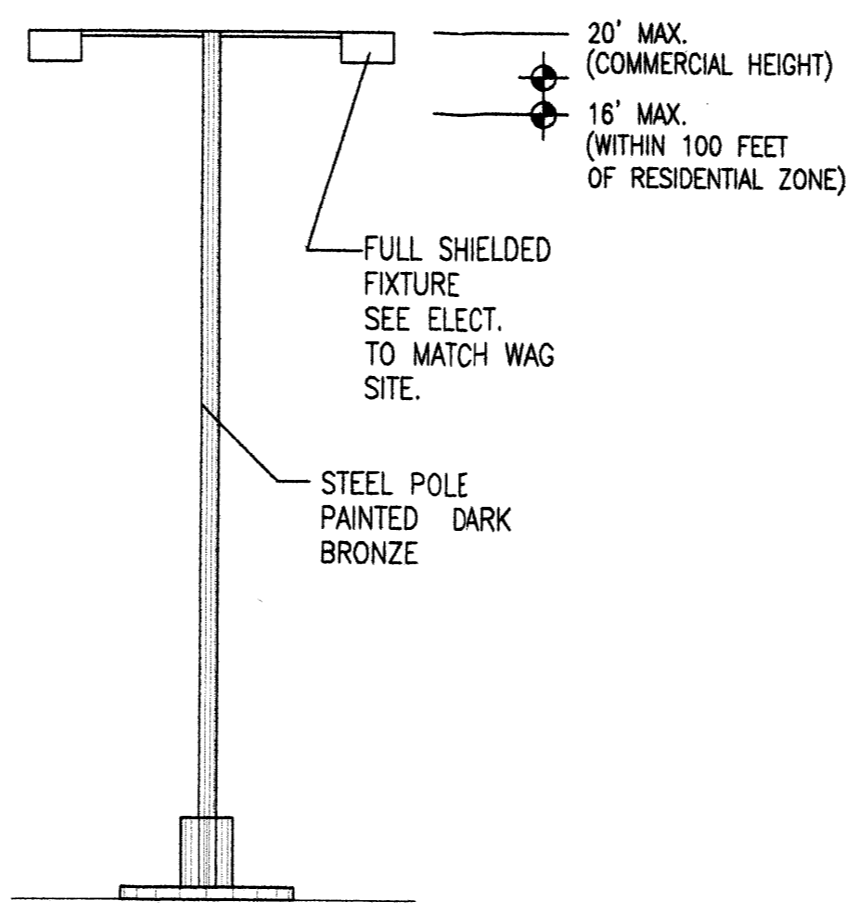
4 TRASH ENCLOSURE
AS3 SCALE: N.T.S.



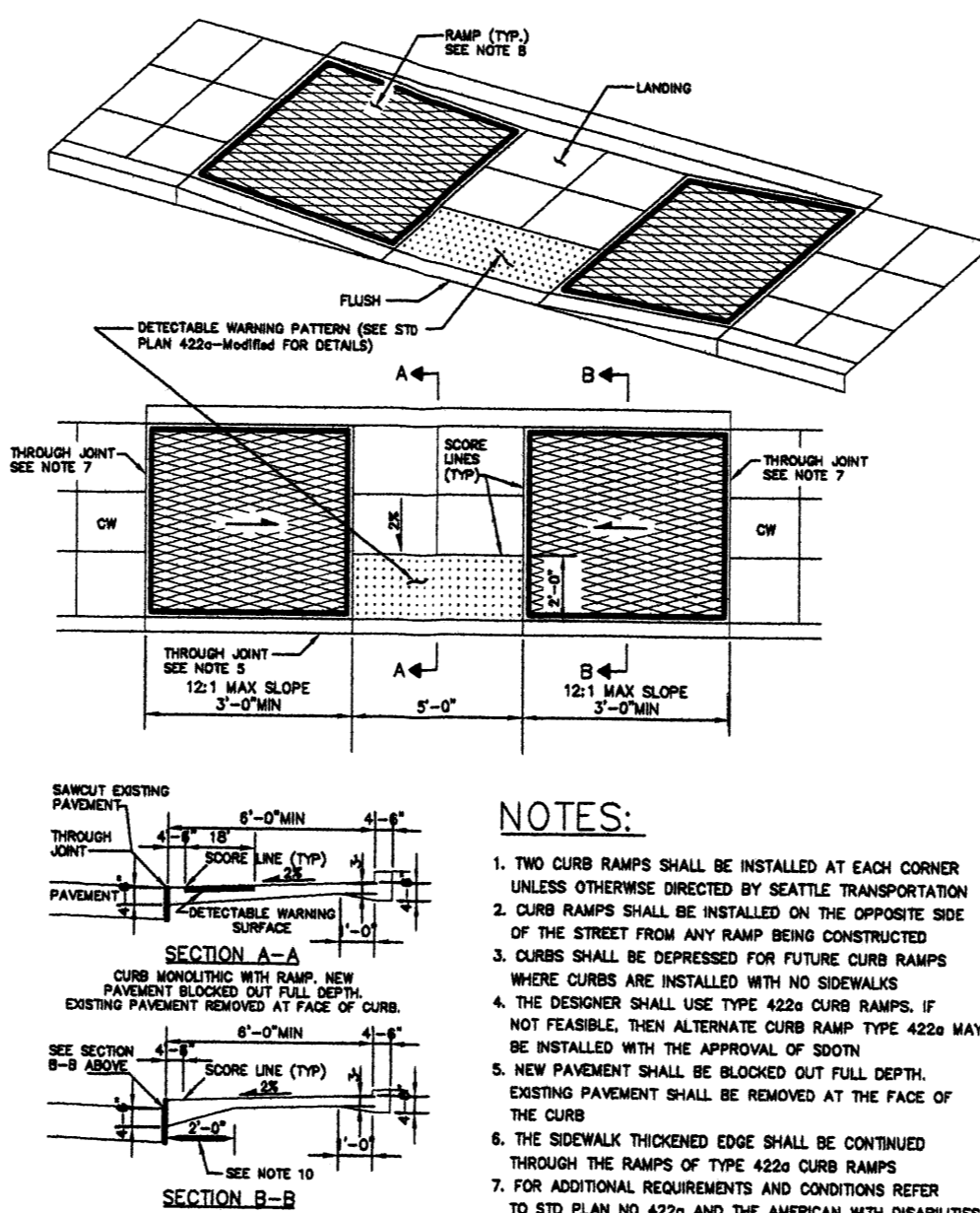
7 PARKING BLOCK DETAIL
AS3 SCALE: N.T.S.



2 BIKE RACK DETAIL
AS3 SCALE: N.T.S.



5 SITE LIGHTING DETAIL
AS3 SCALE: N.T.S.



8 RAMP DETAIL
AS3 SCALE: N.T.S.

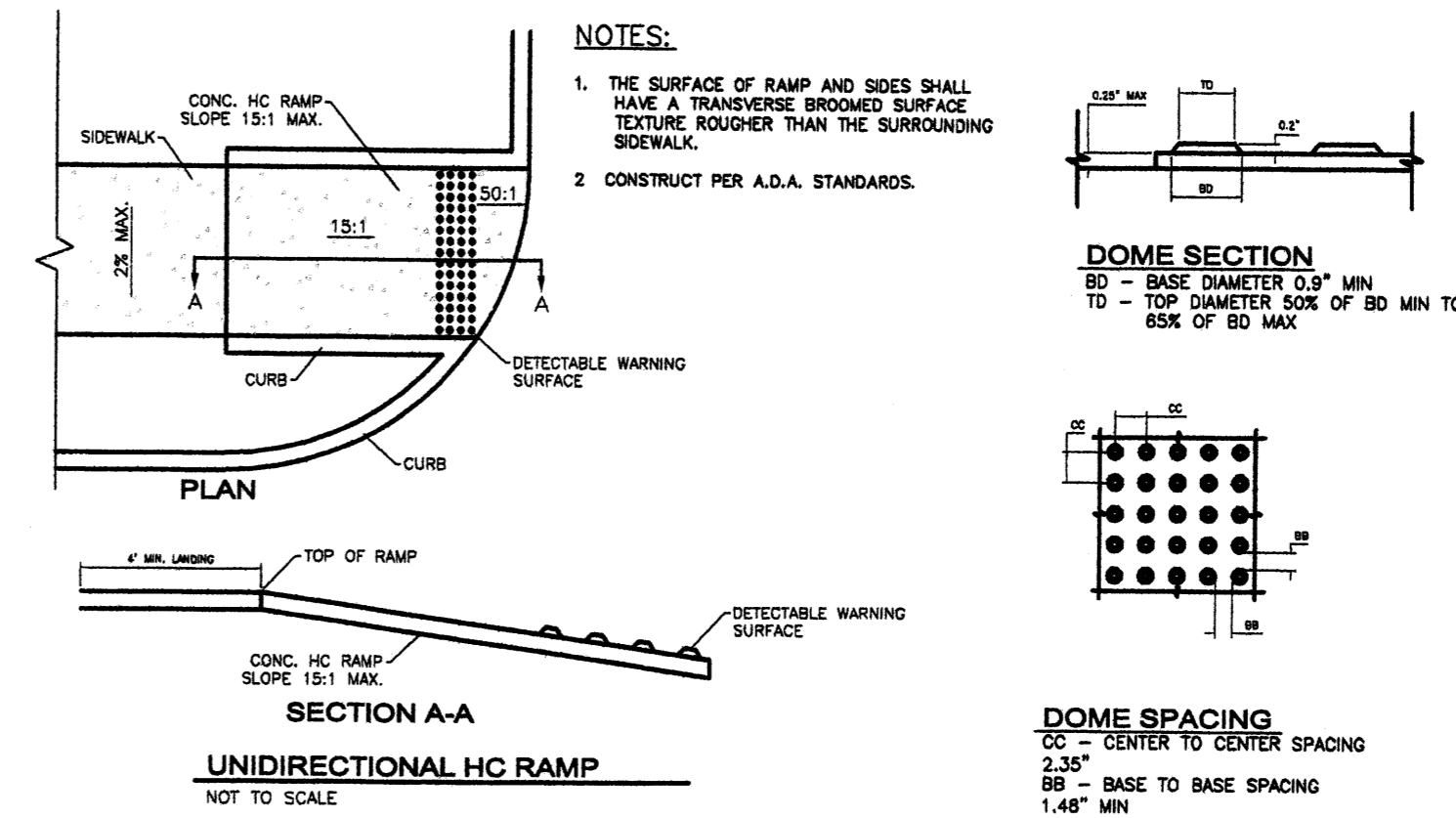
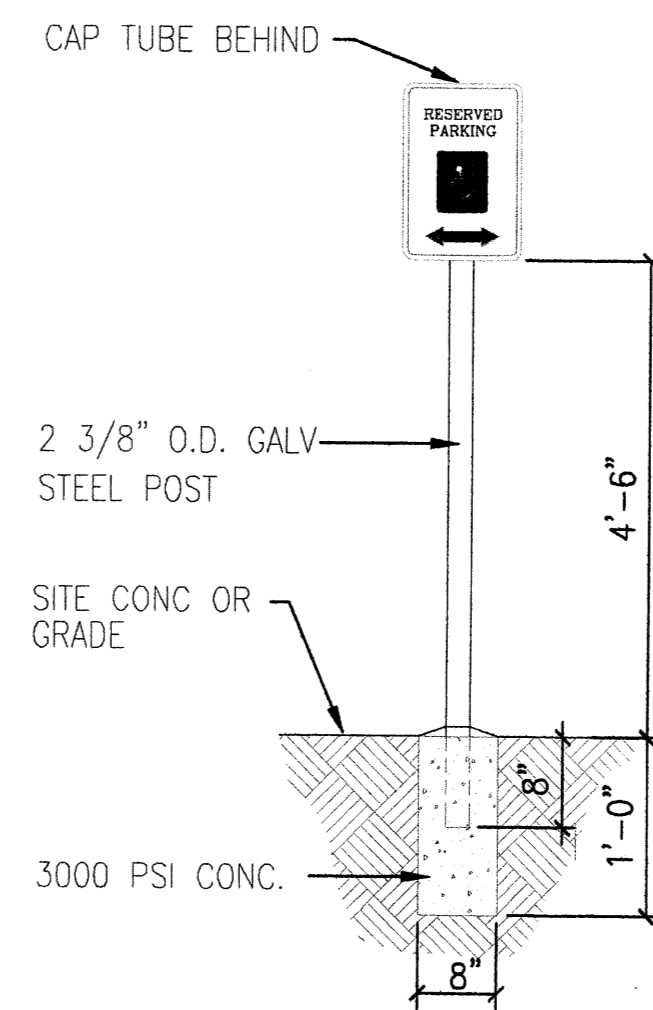


LEGEND & BORDER-GREEN BACKGROUND-WHITE SYMBOL-WHITE ON BLUE BACKGROUND

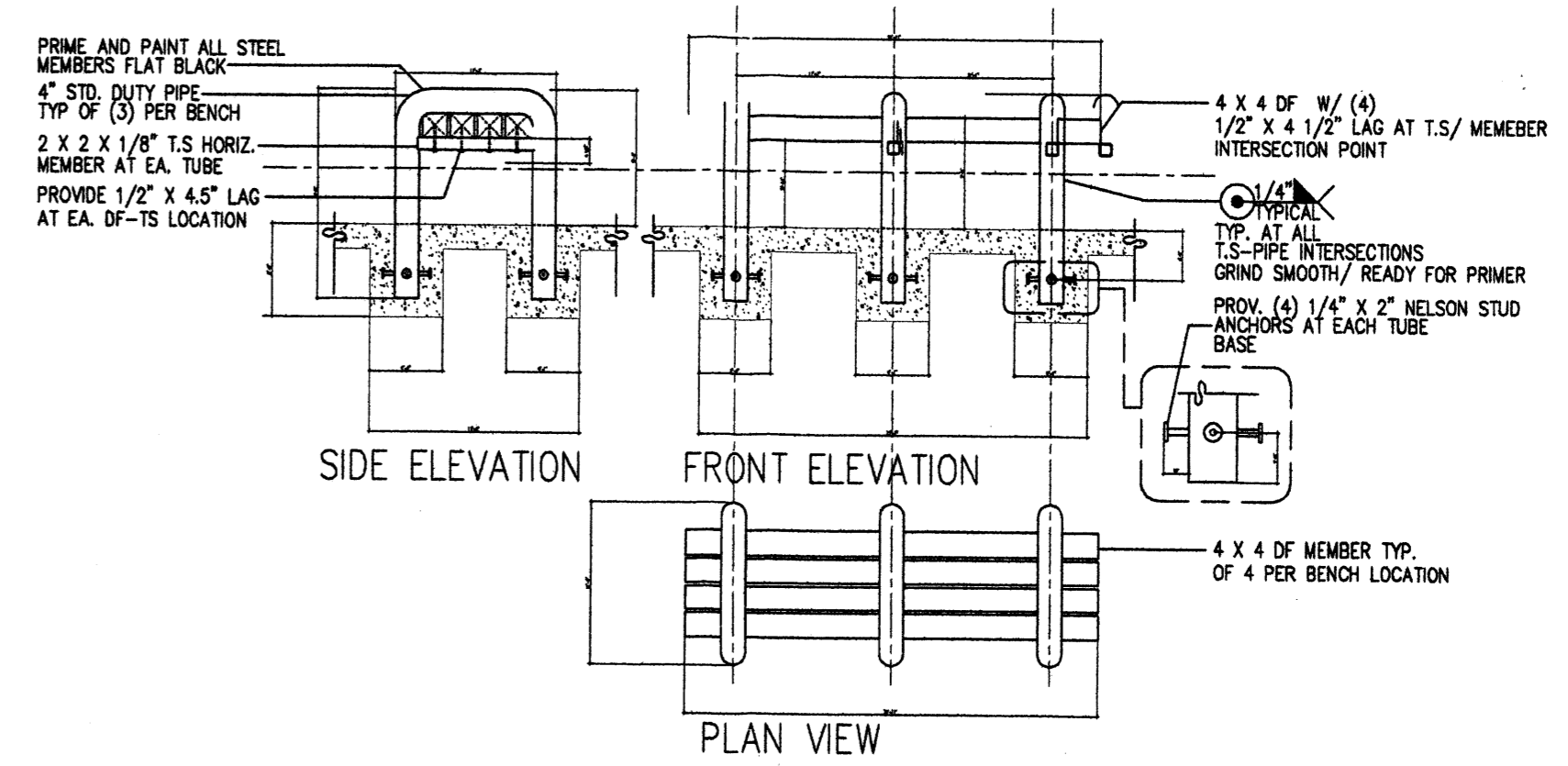
PROVIDE "H.C. VAN PARKING" ON SIGN AT VAN SPACE

* PER ANSI REQUIREMENTS

3 ACCESSIBLE PARKING SIGN
AS3 SCALE: N.T.S.



6 RAMP DETAIL
AS3 SCALE: N.T.S.



9 BENCH DETAIL
AS3 SCALE: N.T.S.

REV	DATE	BY	REVISION
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9			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT TITLE
98TH & CENTRAL PLAN
NORTHWEST CORNER OF 98TH ST. & CENTRAL AVE.
ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER
William Suttles
JOB NO.
0653
DRAWN BY
WRS
SHEET TITLE
SITE DETAILS

DATE:
8.18.2008
SCALE:
AS NOTED
sheet
of
AS3

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

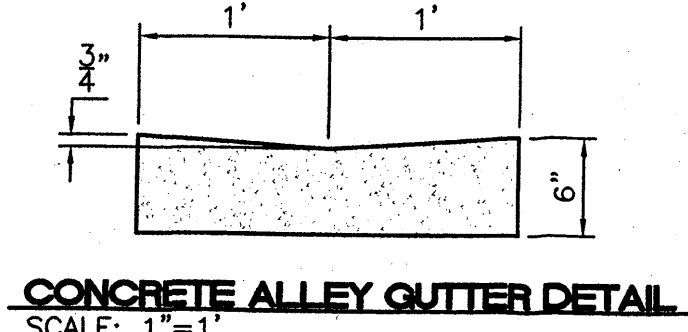
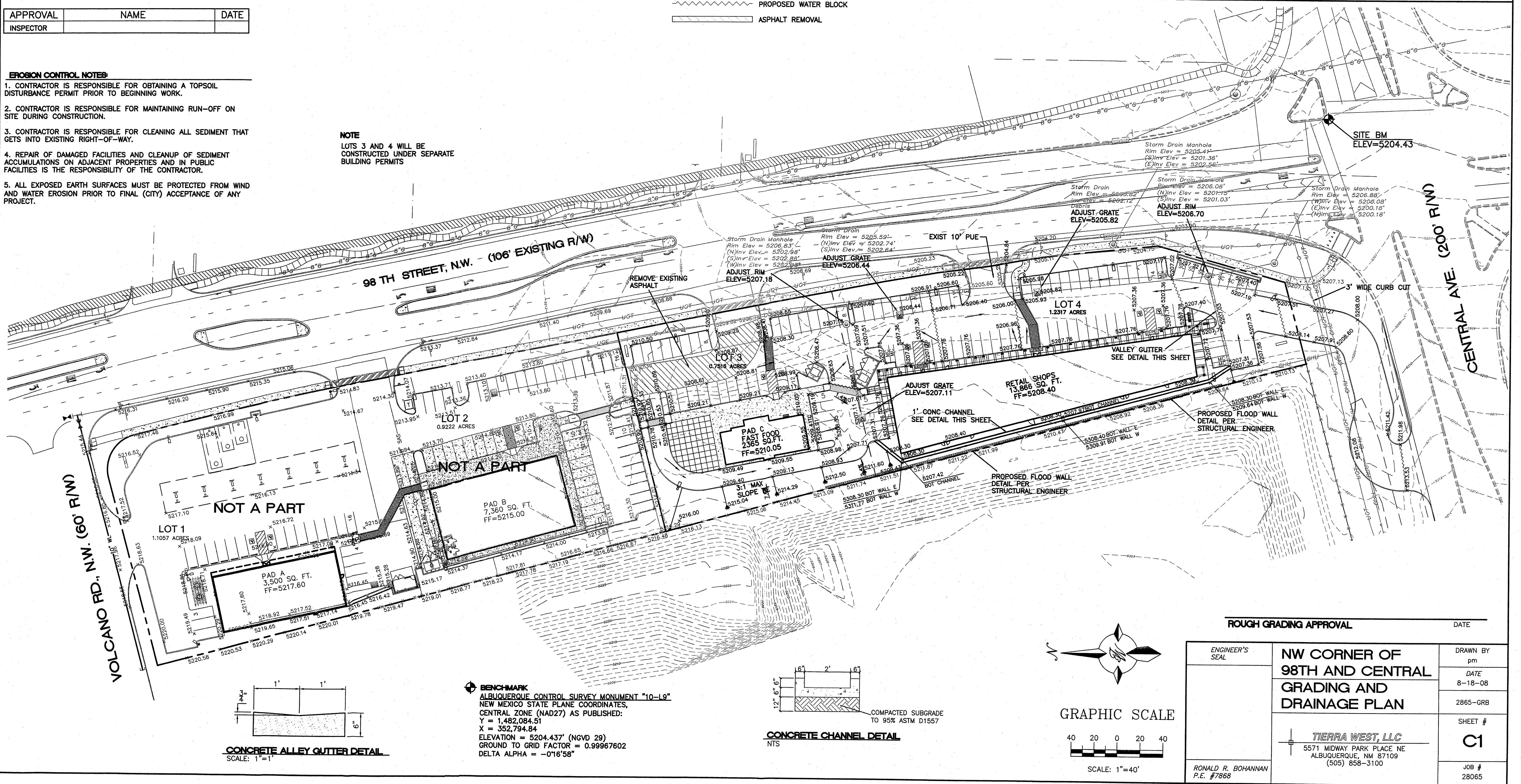
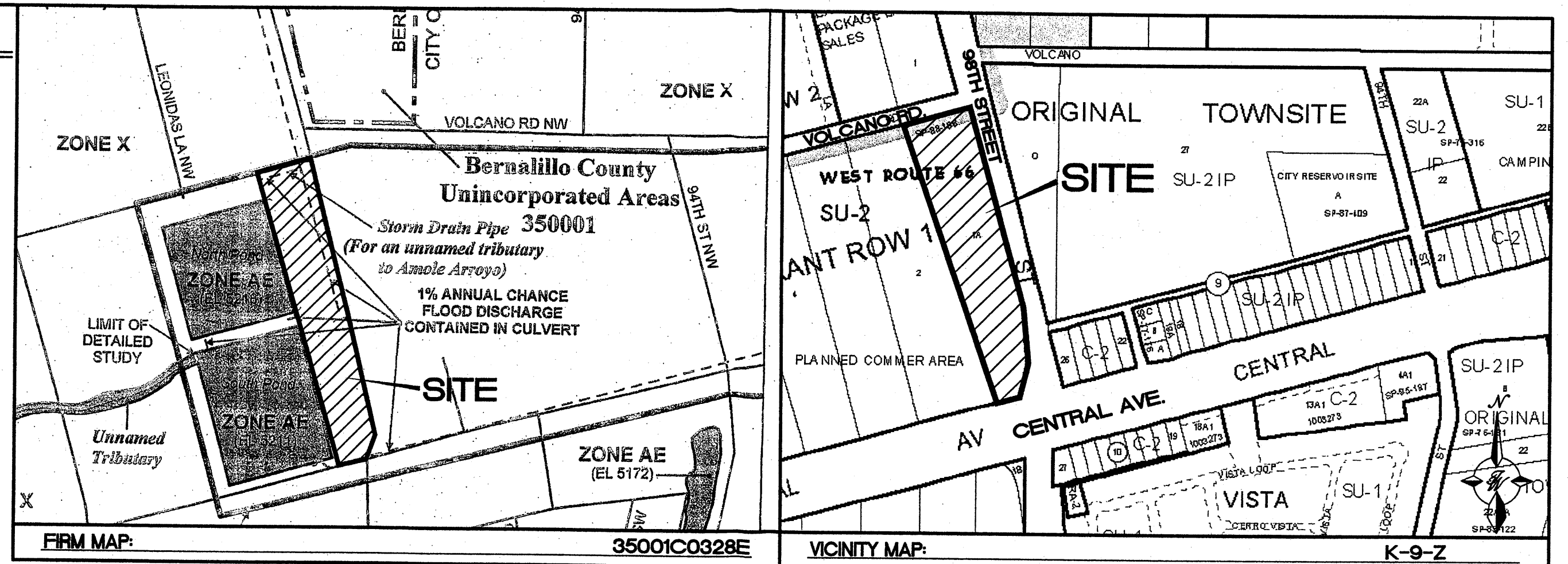
EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

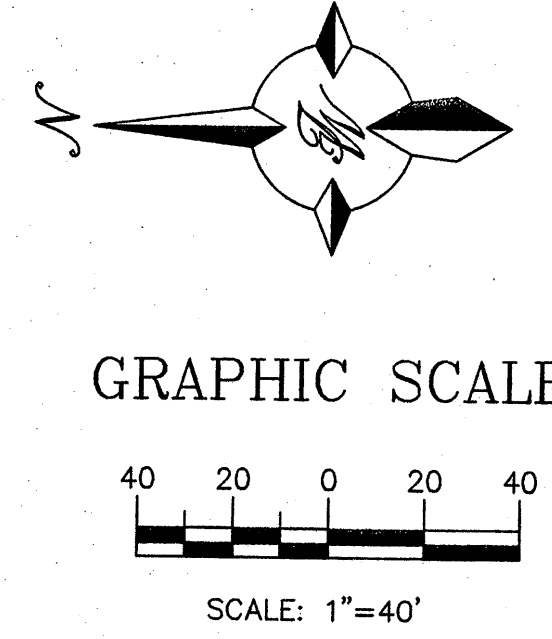
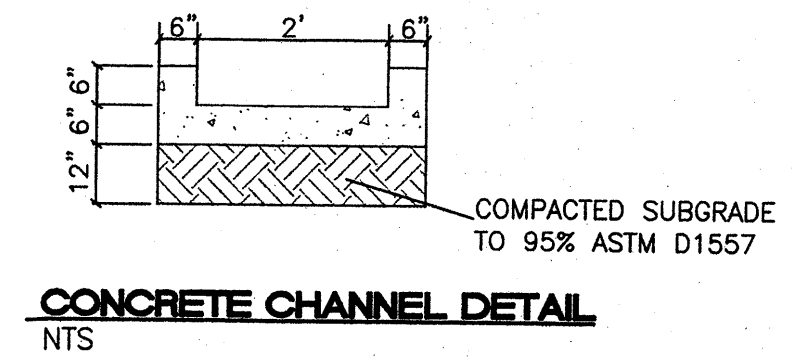
NOTE
LOTS 3 AND 4 WILL BE CONSTRUCTED UNDER SEPARATE BUILDING PERMITS

LEGEND

- ===== EXISTING CURB & GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- EASEMENT
- ===== PROPOSED SCREEN WALL
- ===== PROPOSED RETAINING WALL
- ===== PROPOSED SIDEWALK
- 5011 EXISTING CONTOUR
- 5010 EXISTING INDEX CONTOUR
- x 5048.25 EXISTING SPOT ELEVATION
- 5011 PROPOSED CONTOUR
- 5010 PROPOSED INDEX CONTOUR
- x 5048.25 PROPOSED SPOT ELEVATION
- - - - - EX. RCP ----- EXISTING STORM SEWER LINE
- EXISTING SD MANHOLE
- PROPOSED WATER BLOCK
- ASPHALT REMOVAL



BENCHMARK
ALBUQUERQUE CONTROL SURVEY MONUMENT "10-19"
NEW MEXICO STATE PLANE COORDINATES,
CENTRAL ZONE (NAD27) AS PUBLISHED:
Y = 1,482,084.51
X = 352,794.84
ELEVATION = 5204.437' (NGVD 29)
GROUND TO GRID FACTOR = 0.99967602
DELTA ALPHA = -0'16'58"



ROUGH GRADING APPROVAL _____ DATE _____

ENGINEER'S SEAL	NW CORNER OF 98TH AND CENTRAL GRADING AND DRAINAGE PLAN	DRAWN BY	pm
		DATE	8-18-08
		2865-GRB	
		SHEET #	C1
RONALD R. BOHANNAN P.E. #7868		TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100	
		JOB #	28065

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

GENERAL NOTES:

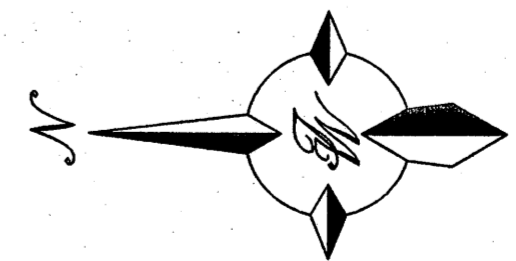
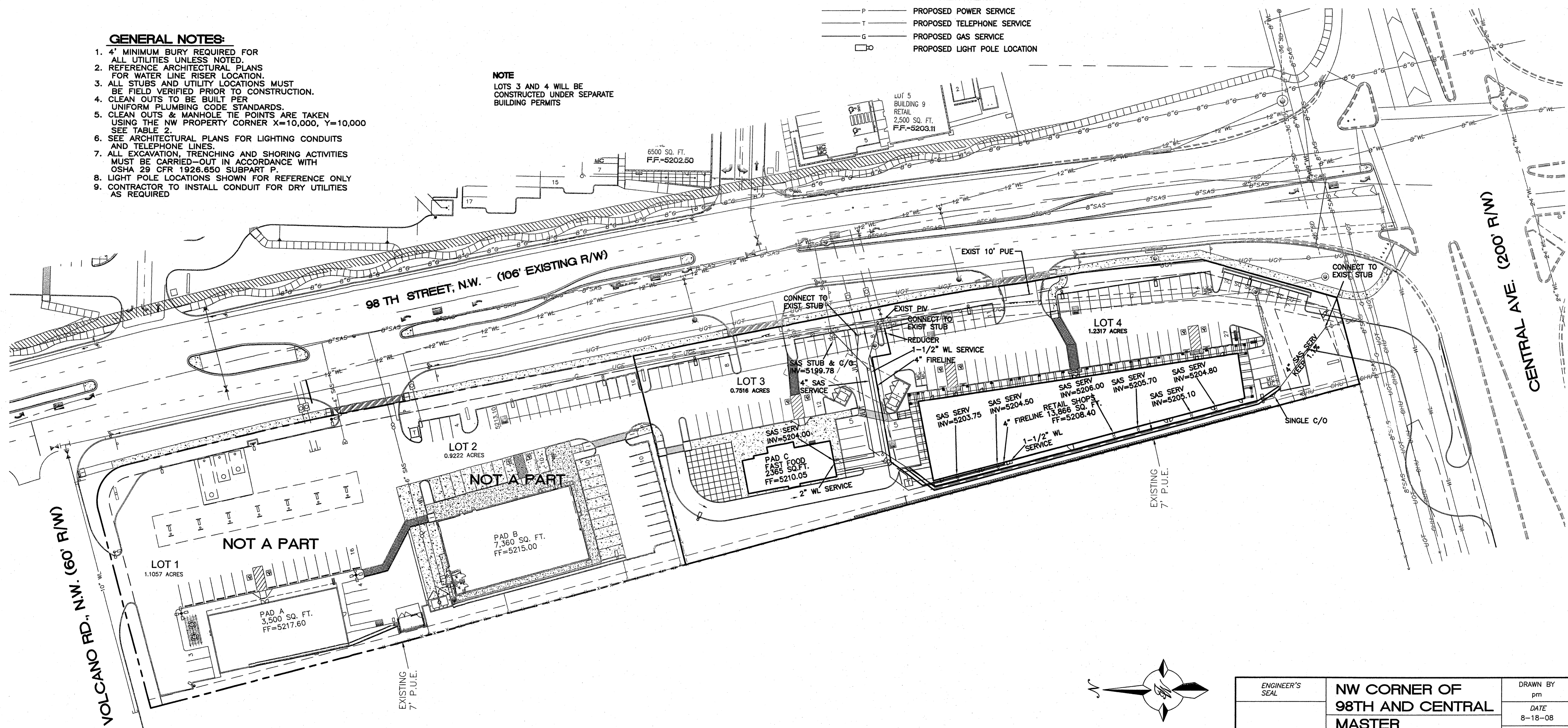
1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
3. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
4. CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. CLEAN OUTS & MANHOLE TIE POINTS ARE TAKEN USING THE NW PROPERTY CORNER X=10,000, Y=10,000 SEE TABLE 2.
6. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
7. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
8. LIGHT POLE LOCATIONS SHOWN FOR REFERENCE ONLY.
9. CONTRACTOR TO INSTALL CONDUIT FOR DRY UTILITIES AS REQUIRED.

NOTE

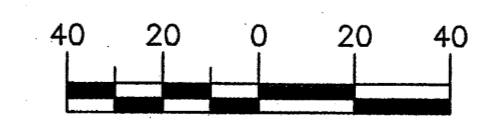
LOTS 3 AND 4 WILL BE CONSTRUCTED UNDER SEPARATE BUILDING PERMITS

LEGEND

- ===== EXISTING CURB & GUTTER
- BOUNDARY LINE
- - - - - EXISTING BOUNDARY LINE
- - - - - EASEMENT
- ===== PROPOSED SCREEN WALL
- ===== PROPOSED RETAINING WALL
- ===== PROPOSED SIDEWALK
- - - - - EX. ROP ----- EXISTING STORM SEWER LINE
- EXISTING SD MANHOLE
- PROPOSED WATER BLOCK
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING POWER POLE
- JUT — JOINT UTILITY TRENCH
- P — PROPOSED POWER SERVICE
- T — PROPOSED TELEPHONE SERVICE
- G — PROPOSED GAS SERVICE
- PROPOSED LIGHT POLE LOCATION

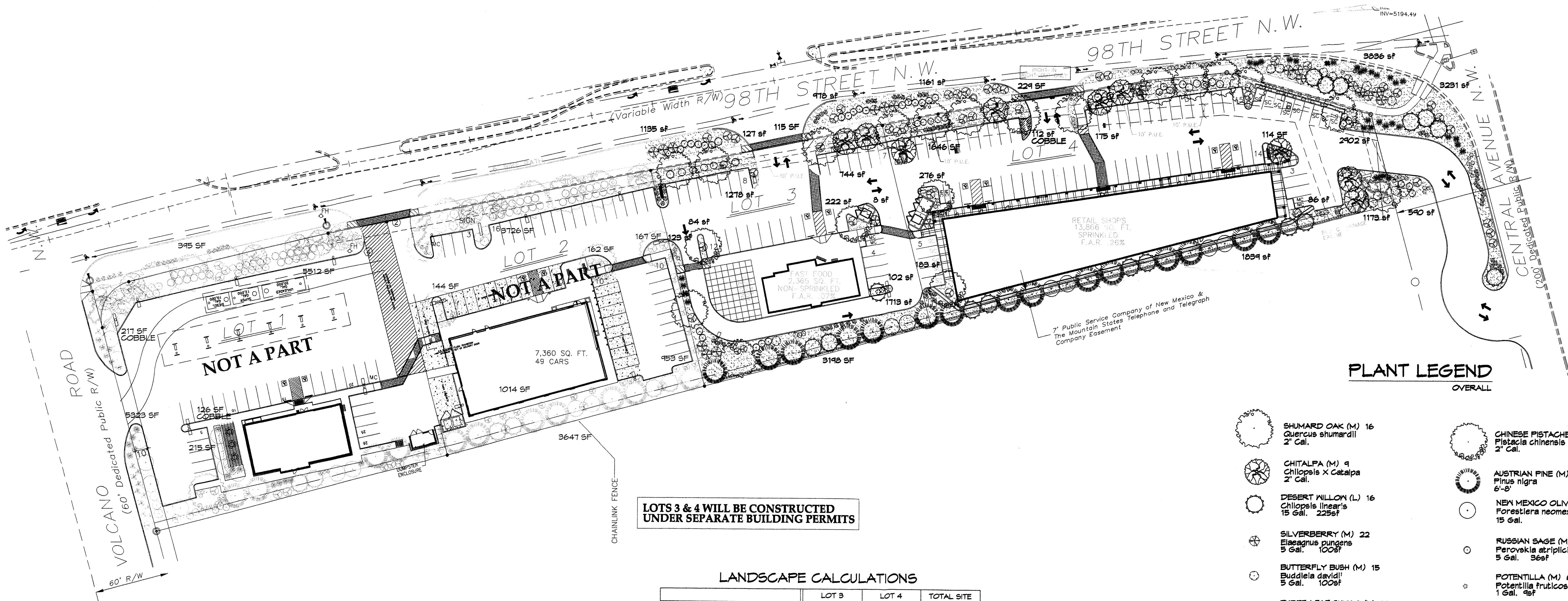


GRAPHIC SCALE



SCALE: 1"=40'

ENGINEER'S SEAL	NW CORNER OF 98TH AND CENTRAL	DRAWN BY pm
	MASTER UTILITY PLAN	DATE 8-18-08
		2865-MUB
		SHEET # C2
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100	JOB # 28065
RONALD R. BOHANNAN P.E. #7868		



LOTS 3 & 4 WILL BE CONSTRUCTED UNDER SEPARATE BUILDING PERMITS

PLANT LEGEND
OVERALL

- SHUMARD OAK (M) 16
Quercus shumardii
2" Gal.
- CHITALPA (M) 9
Chilopsis x Catalpa
2" Gal.
- DESERT WILLOW (L) 16
Chilopsis linearis
15 Gal. 225sf
- SILVERBERRY (M) 22
Elaeagnus pungens
5 Gal. 100sf
- BUTTERFLY BUSH (M) 15
Buddleia davidii
5 Gal. 100sf
- THREE-LEAF SUMAC (L) 14
Rhus trilobata
5 Gal. 96sf
- RED YUCCA (L) 33
Hesperaloe parviflora
5 Gal. 96sf
- NANDINA (M) 5
Nandina domestica
5 Gal. 25sf
- GREYLEAF COTONEASTER (M) 3
Cotoneaster buxifolius
5 Gal. 81sf
Symbol indicates 3 plants
- NATURAL EDGE
- CHINESE PISTACHE (M) 4
Pistacia chinensis
2" Gal.
- AUSTRIAN PINE (M) 15
Pinus nigra
6'-8'
- NEW MEXICO OLIVE (L) 6
Forestiera neomexicana
15 Gal.
- RUSSIAN SAGE (M) 34
Perovskia atriplicifolia
5 Gal. 96sf
- POTENTILLA (M) 65
Potentilla fruticosa
1 Gal. 49sf
- HONEYBUCKLE (M) 44
Lonicera japonica 'Halliana'
1 Gal. 144sf
Unstaked-Groundcover
- WILDFLOWER 13
1 Gal. 49sf
- THREADGRASS (M) 62
Stipa tenuiflora
1 Gal. 49sf
- COBBLE W/FF
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Foliage Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

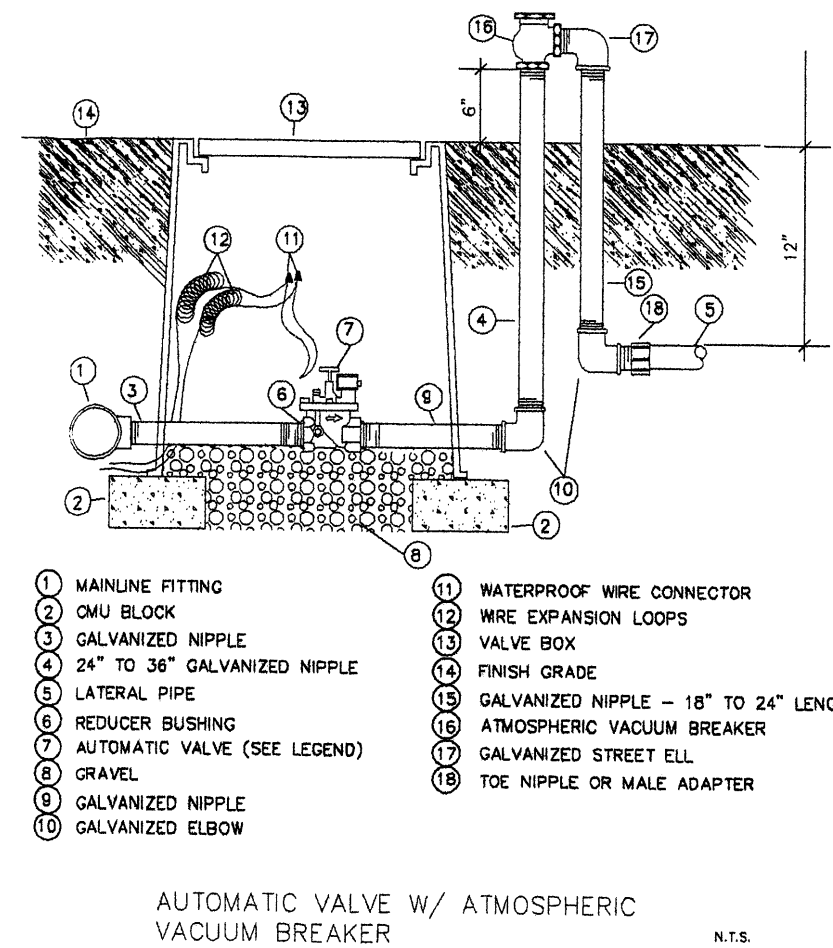
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

LANDSCAPE CALCULATIONS

	LOT 3	LOT 4	TOTAL SITE
TOTAL LOT AREA	34265 SF	54564	88829 SF
TOTAL BUILDINGS AREA	2365 SF	13362 SF	15727 SF
OFFSITE AREA	-	-	-
NET LOT AREA	31900 SF	41202 SF	73102 SF
LANDSCAPE REQUIREMENT (.15)	4785 SF	6180 SF	10965 SF
TOTAL BED PROVIDED	6624 SF	19572 SF	23196 SF
GROUND COVER REQ. (.75)	4472 SF	14679 SF	17151 SF
TOTAL GROUND COVER PROVIDED	5124 SF (71%)	15126 SF (71%)	18591 SF (71%)
TOTAL LANDSCAPE PROVIDED	6624 SF	19572 SF	23196 SF

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an in-field change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



EACH LOT WILL HAVE A SEPARATE WATER METER

STREET TREE REQUIREMENTS

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: 98th Street NW
Required # 18 Provided # 18

Name of Street: Central Ave. NW
Required # 2 Provided # 2

PARKING LOT TREE REQUIREMENTS

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required # 11 Provided # 11

REV	DATE	BY	REVISION
1	8-8-08	rnc	revised site plan
2	7-17-08	rnc	revised site plan and comments
3	2-6-07	rmm	revised site plan
4	1-18-07	adf	revised site plan, comments
5	11-09-06	rmm	comments from the city
6	11-2-06	rmm	revised site plan and comments

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110
FA X (505) 837-9877

PRELIMINARY NOT FOR CONSTRUCTION

VOLCANO POINT - LOTS 3 & 4
NORTHWEST CORNER OF 98TH ST. & CENTRAL AVENUE
ALBUQUERQUE, NEW MEXICO

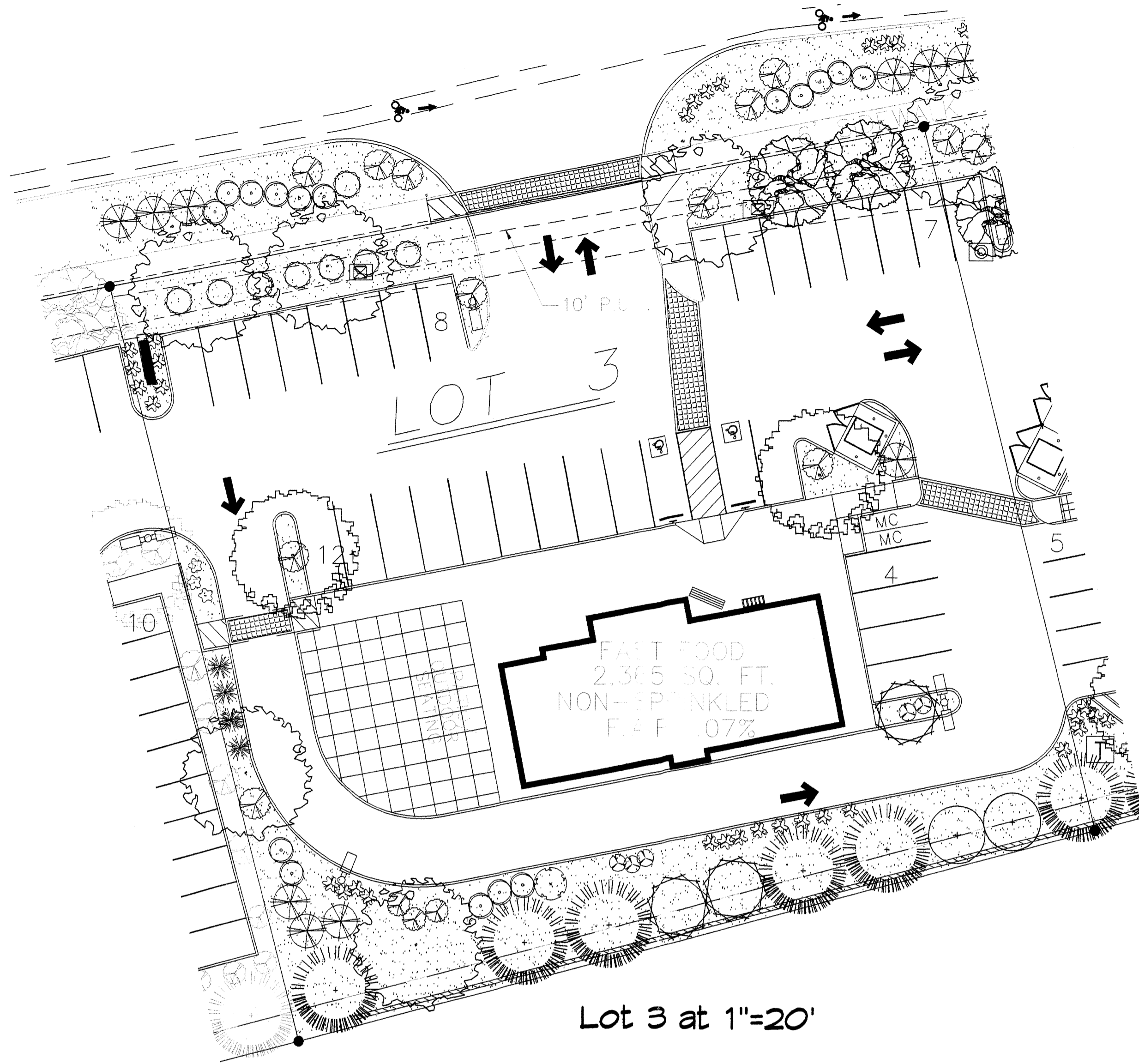
PROJECT MANAGER: WILLIAM SUTTLER
JOB NO: 0653
DRAWN BY: RMM

LANDSCAPE PLAN - LOTS 3 & 4

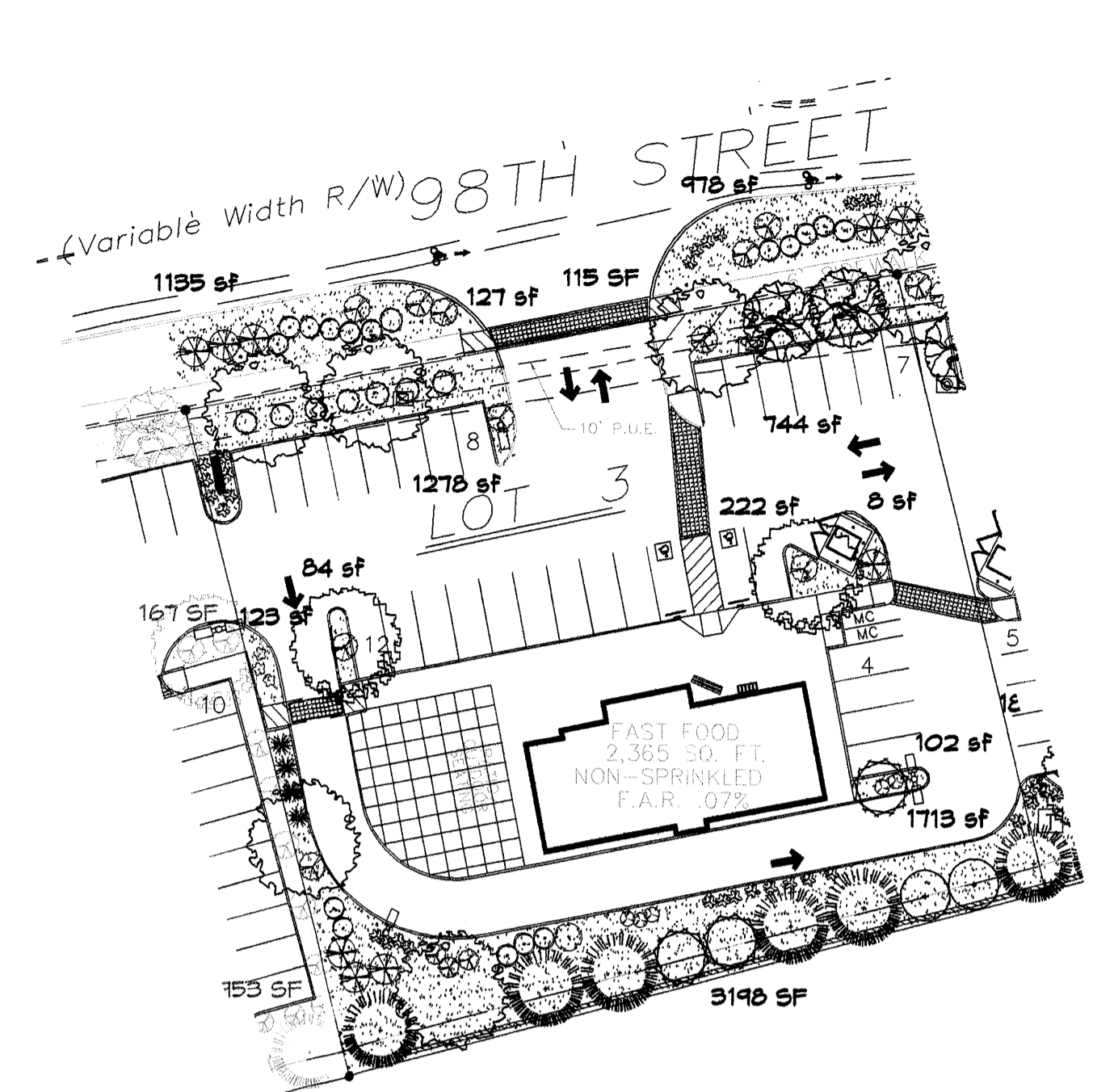
DATE:	08-18-08	SHEET:	1
SCALE:	1"=40'	OF:	3

LANDSCAPE PLAN
1"= 40'-0" NORTH

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be reprinted or copied unless applicable fees have been paid or job order placed.



Lot 3 at 1"=20'

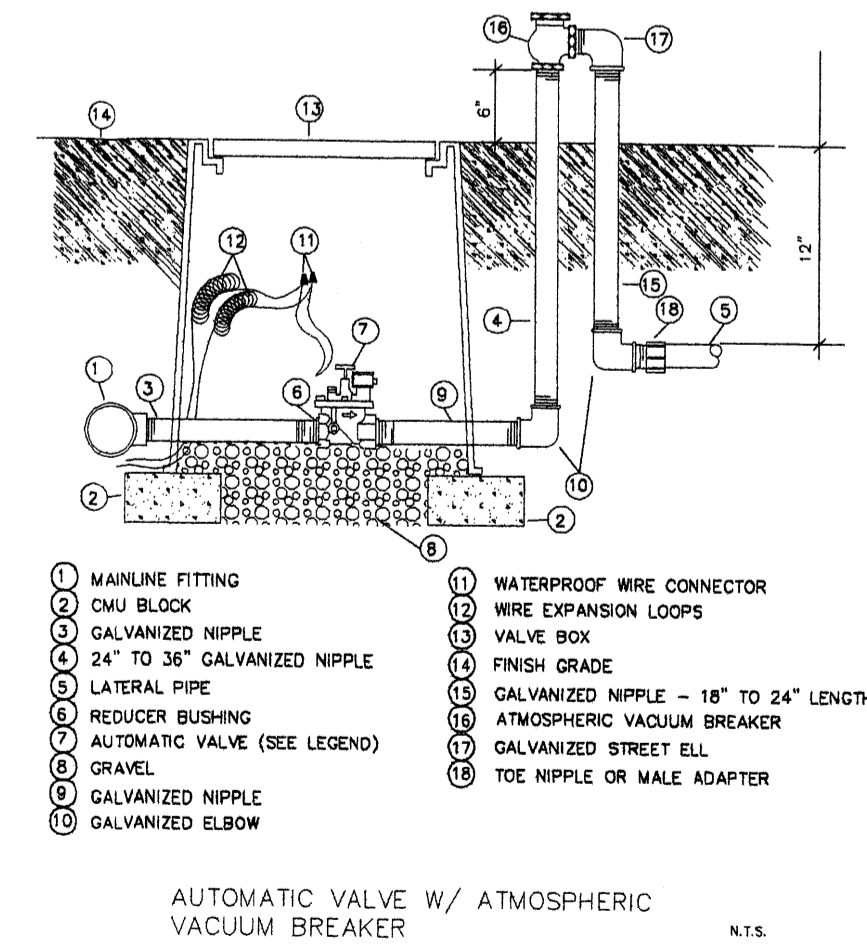


EACH LOT WILL HAVE A SEPARATE WATER METER

LANDSCAPE CALCULATIONS

	LOT 3
TOTAL LOT AREA	34265 SF
TOTAL BUILDINGS AREA	2365 SF
OFFSITE AREA	-
NET LOT AREA	31900 SF
LANDSCAPE REQUIREMENT (.15)	4785 SF
TOTAL BED PROVIDED	6502 SF
GROUNDCOVER REQ. (.75)	4877 SF
TOTAL GROUNDCOVER PROVIDED	4980 (71%)
TOTAL LANDSCAPE PROVIDED	6502 SF

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AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER

PLANT LEGEND

- SHUMARD OAK (M) 5
Quercus shumardii
2" Cal.
- CHITALPA (M) 2
Chilopsis X Catalpa
2" Cal.
- DESERT WILLOW (L) 3
Chilopsis linearis
15 Gal. 225sf
- SILVERBERRY (M) 3
Elaeagnus pungens
5 Gal. 100sf
- BUTTERFLY BUSH (M) 1
Buddleia davidii
5 Gal. 100sf
- THREE-LEAF SUMAC (L) 3
Rhus trilobata
1 Gal. 36sf
- RED YUCCA (L) 4
Hesperaloe parviflora
5 Gal. 9sf
- CHINESE PISTACHE (M) 2
Pistacia chinensis
2" Cal.
- AUSTRIAN PINE (M) 6
Pinus nigra
6'-8"
- NEW MEXICO OLIVE (L) 2
Forestiera neomexicana
15 Gal.
- RUSSIAN SAGE (M) 16
Perovskia atriplicifolia
5 Gal. 36sf
- POTENTILLA (M) 3
Potentilla fruticosa
1 Gal. 9sf
- HONEYSUCKLE (M) 13
Lonicera japonica 'Halliana'
1 Gal. 144sf
Unstaked-groundcover
- WILDFLOWER 5
1 Gal. 4sf
- THREADGRASS (M) 27
Stipa tenuissima
1 Gal. 4sf
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC

LANDSCAPE NOTES:
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STREET TREE REQUIREMENTS - Lot 3

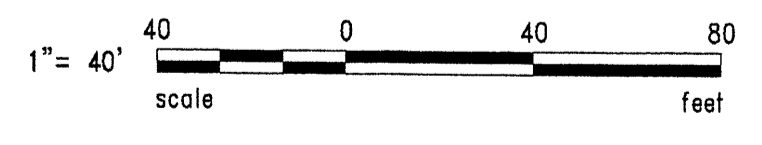
Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: 98th Street NW
Required # 5 Provided # 5

PARKING LOT TREE REQUIREMENTS - Lot 3

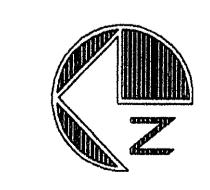
Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required # 3 Provided # 3



LANDSCAPE PLAN

1" = 40'-0" NORTH



REV	DATE	BY	REVISION
1	8-8-08	rnc	revised site plan
2	7-17-08	rnc	revised site plan and comments
3	2-6-07	rmm	revised site plan
4	1-18-07	off	revised site plan, comments
5	11-09-06	rmm	comments from the city
6	11-2-06	rmm	revised site plan and comments

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY
NOT FOR
CONSTRUCTION

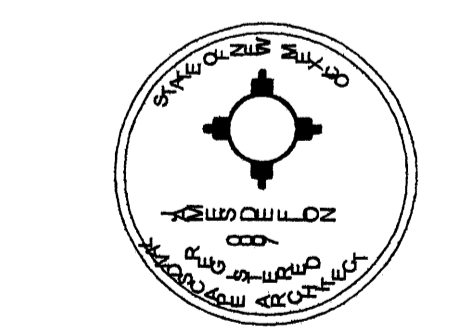
PROJECT TITLE
VOLCANO POINT - LOT 3
NORTHWEST CORNER OF 98TH ST. & CENTRAL AVENUE
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER
WILLIAM SUITLES

DRAWN BY
RMM

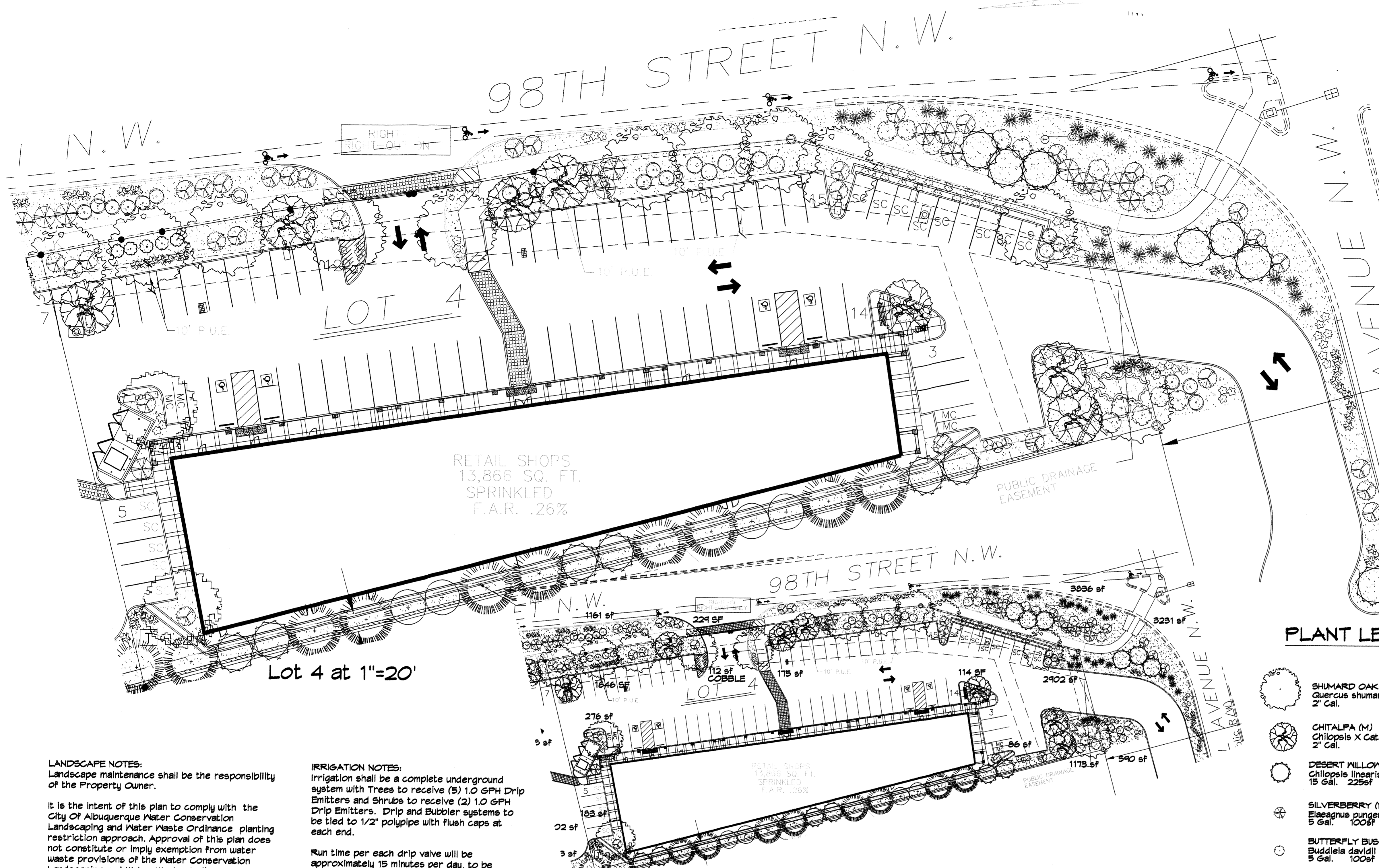
JOB NO
0653

SHEET TITLE
LANDSCAPE PLAN - LOT 3




The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

DATE: 08-18-08	sheet- 2
SCALE: 1" = 40'	L2 of. 3



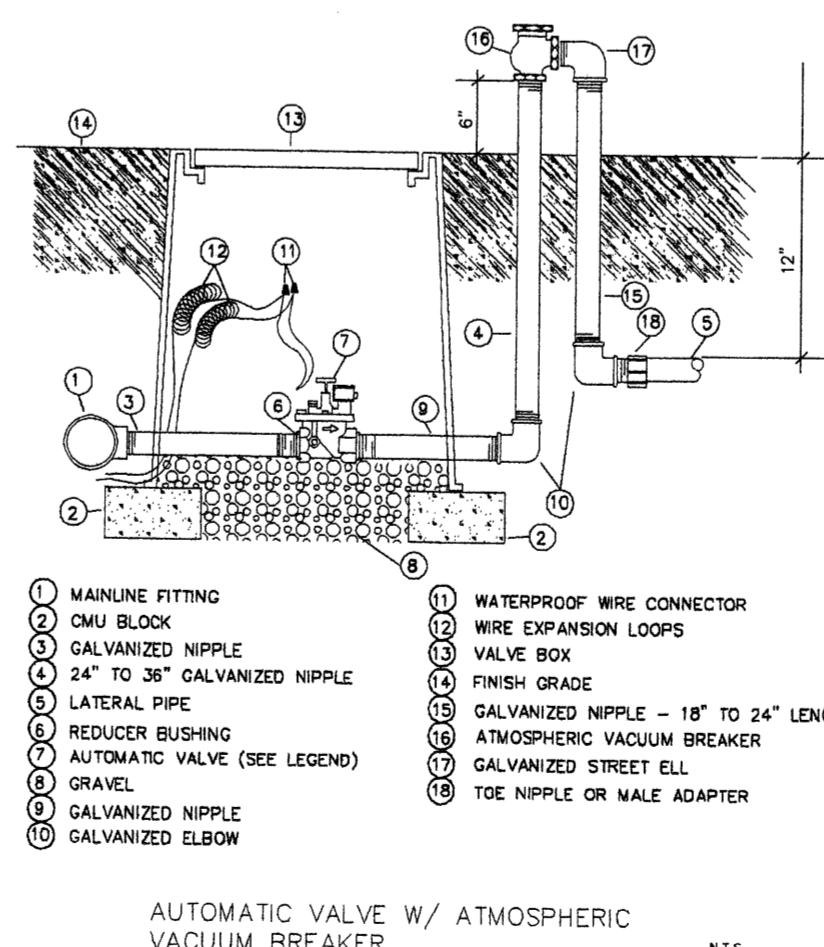
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REV	DATE	BY	REVISION
1	8-8-08	rnc	revised site plan
2	7-17-08	rnc	revised site plan and comments
3	2-6-07	rmm	revised site plan
4	1-18-07	odf	revised site plan, comments
5	11-09-06	rmm	comments from the city
6	11-1-06	rmm	revised site plan and comments


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 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PLANT LEGEND
LOT 4

- CHINESE PISTACHE (M) 2
Pistacia chinensis
2" Cal.
- AUSTRIAN PINE (M) 4
Pinus nigra
6'-8'
- NEW MEXICO OLIVE (L) 4
Forestiera neomexicana
15 Gal.
- RUSSIAN SAGE (M) 18
Perovskia atriplicifolia
5 Gal. 36sf
- POTENTILLA (M) 62
Potentilla fruticosa
1 Gal. 4sf
- HONEYSUCKLE (M) 31
Lonicera japonica 'Halliana'
1 Gal. 144sf
Unstaked-Groundcover
- WILDFLOWER 8
1 Gal. 4sf
- THREADGRASS (M) 35
Stipa tenuissima
1 Gal. 4sf
- COBBLE IVFF
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC
- SHUMARD OAK (M) 11
Quercus shumardii
2" Cal.
- CHITALPA (M) 7
Chitalpa X Catalpa
2" Cal.
- DESERT WILLOW (L) 18
Chilopsis linearis
15 Gal. 225sf
- SILVERBERRY (M) 14
Elaeagnus pungens
5 Gal. 100sf
- BUTTERFLY BUSH (M) 14
Buddleia davidii
5 Gal. 100sf
- THREE-LEAF SUMAC (L) 6
Rhus trilobata
5 Gal. 36sf
- RED YUCCA (L) 24
Hesperaloe parviflora
5 Gal. 4sf
- NANDINA (M) 5
Nandina domestica
5 Gal. 25sf
- GREYLEAF COTONEASTER (M) 3
Cotoneaster buxifolius
5 Gal. 21sf
Symbol indicates 3 plants
- NATURAL EDGE



EACH LOT WILL HAVE A SEPARATE WATER METER

LANDSCAPE CALCULATIONS

	LOT 4
TOTAL LOT AREA	54564
TOTAL BUILDINGS AREA	19362 SF
OFFSITE AREA	-
NET LOT AREA	41202 SF
LANDSCAPE REQUIREMENT (.15)	6180 SF
TOTAL BED PROVIDED	17441 SF
GROUNDCOVER REQ. (.75)	13081 SF
TOTAL GROUNDCOVER PROVIDED	19551 (18%)
TOTAL LANDSCAPE PROVIDED	17441 SF

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

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Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

STREET TREE REQUIREMENTS - Lot 4

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: 98th Street NW
Required # 13 Provided # 13

Name of Street: Central Ave. NW
Required # 2 Provided # 2

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

PARKING LOT TREE REQUIREMENTS - Lot 4

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required # 8 Provided # 8

PRELIMINARY NOT FOR CONSTRUCTION

PROJECT TITLE
VOLCANO POINT - LOT 4
NORTHWEST CORNER OF 98TH ST. & CENTRAL AVENUE
ALBUQUERQUE, NEW MEXICO

JOB NO. 0653
DRAWN BY: RMM
PROJECT MANAGER: WILLIAM SUTTLER

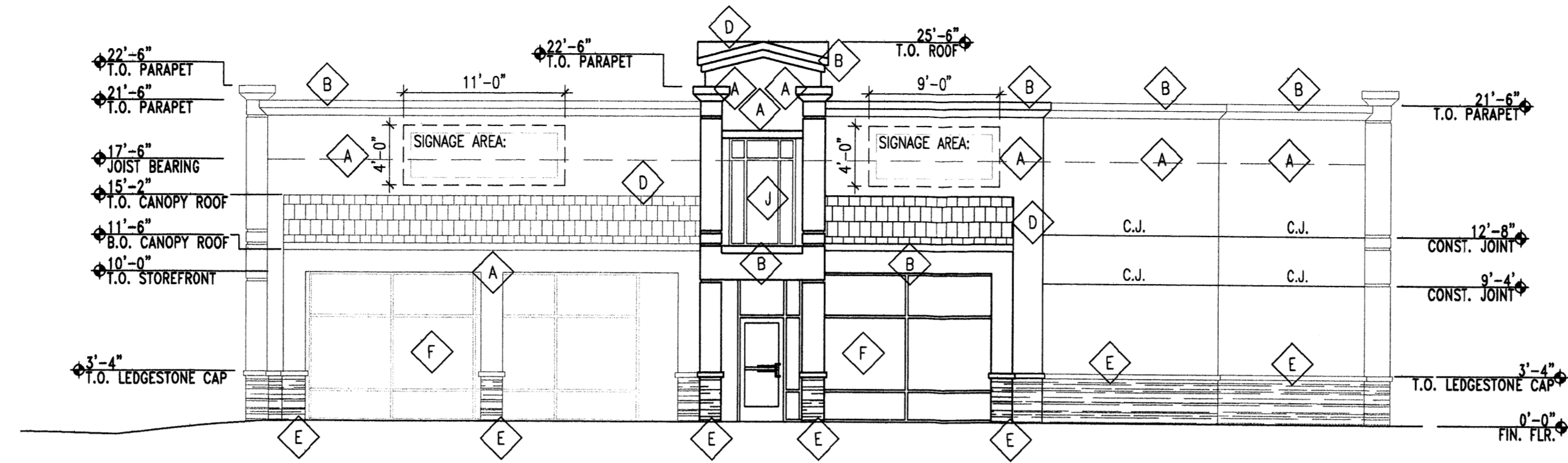
SHEET TITLE
LANDSCAPE PLAN - LOT 4



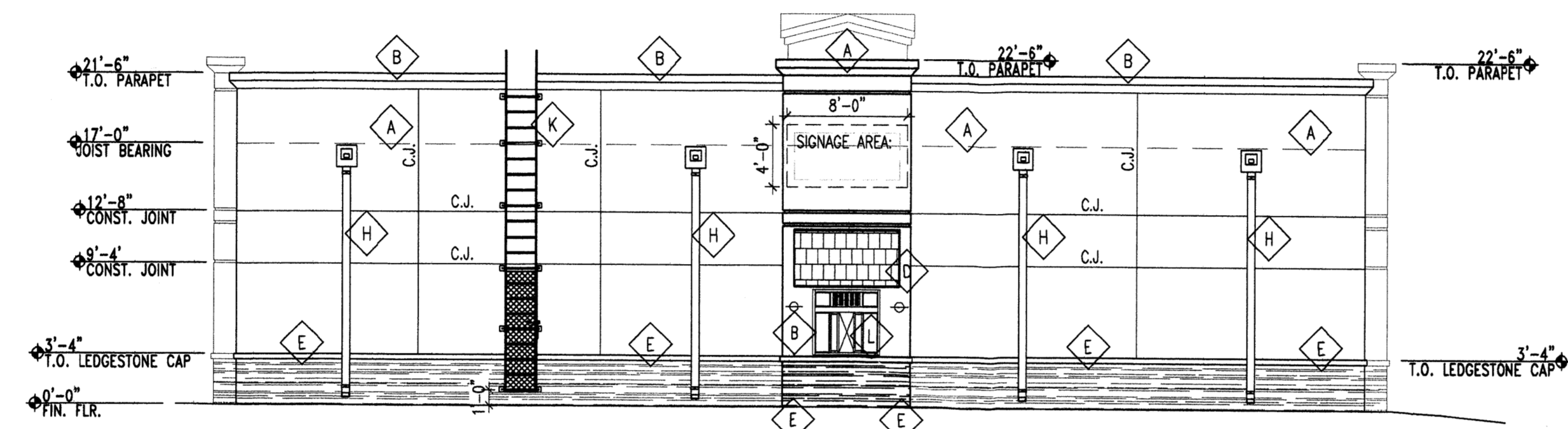
The Hilltop
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LANDSCAPE PLAN
1" = 40'-0" NORTH

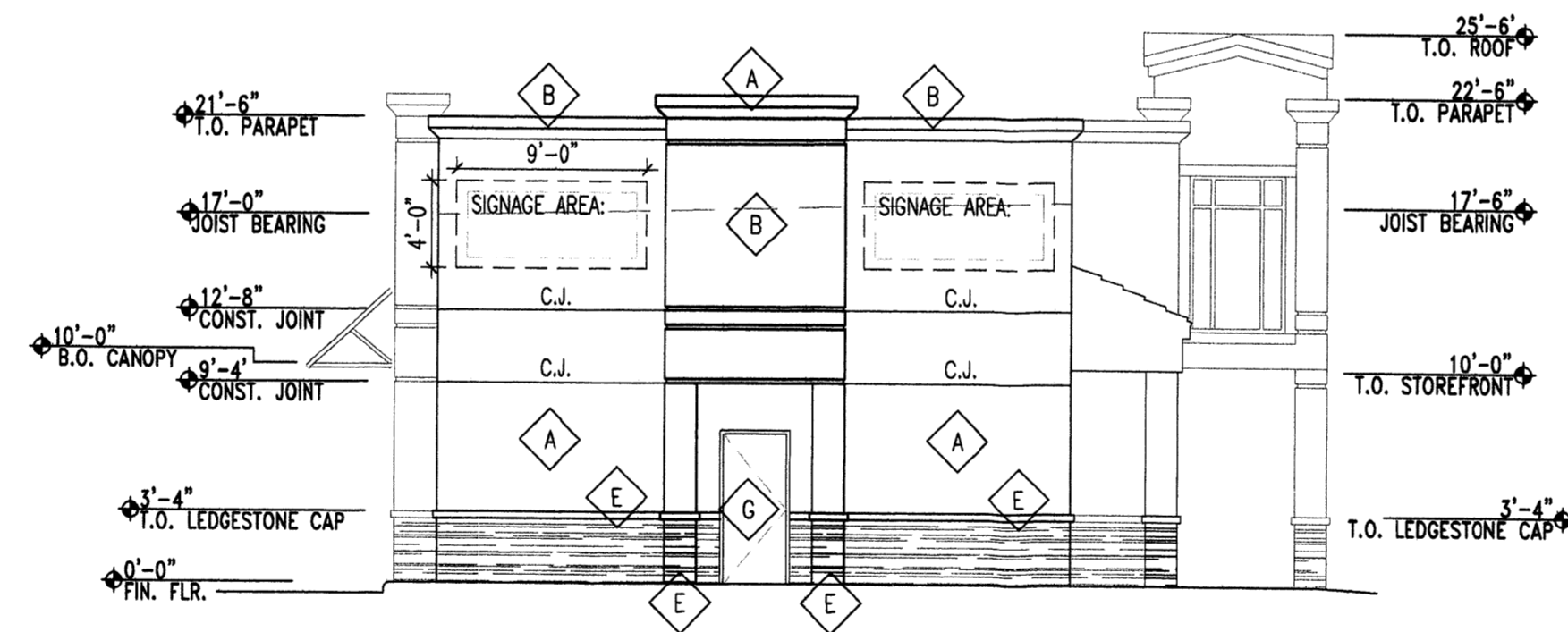
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SCALE:	1" = 40'	L3	of 3



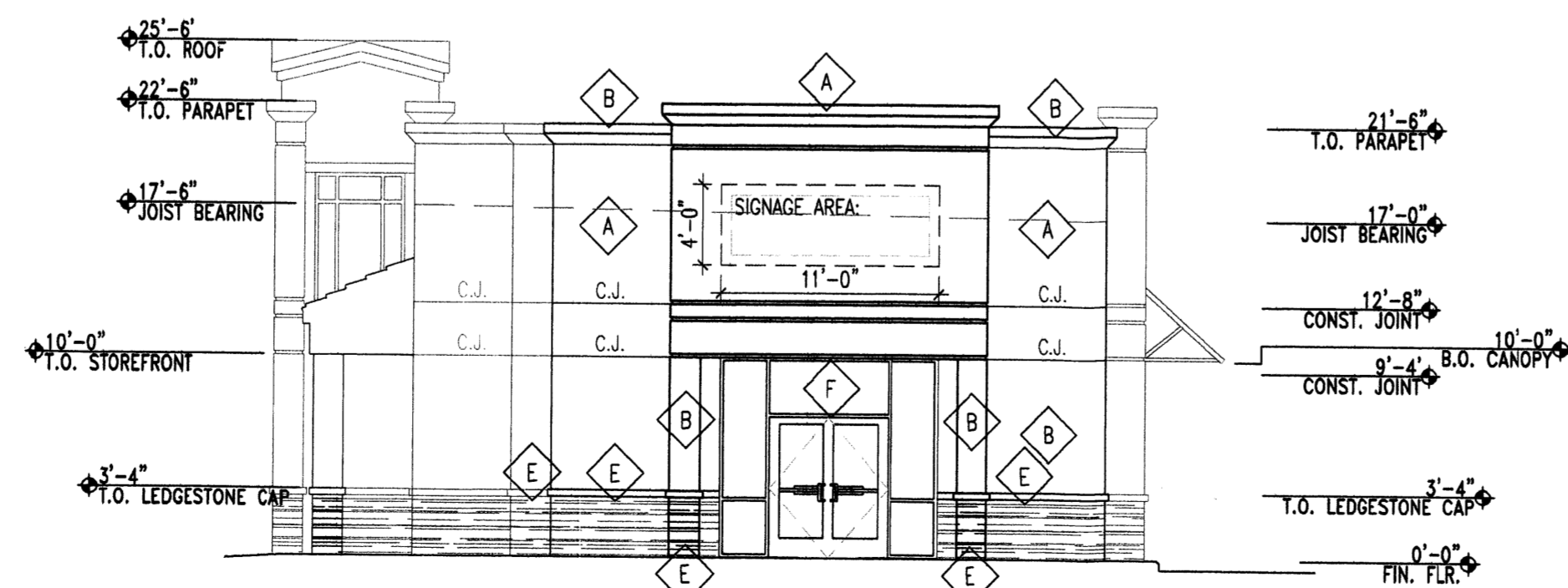
1 EAST ELEVATION
1/8"=1'-0"



2 WEST ELEVATION
1/8"=1'-0"



3 SOUTH ELEVATION
1/8"=1'-0"



4 NORTH ELEVATION
1/8"=1'-0"

Keyed Color / Material Schedule	Common Name
⬡ STUCCO BENJAMIN MOORE #953	LIGHT TAN
⬡ STUCCO BENJAMIN MOORE #1032	LIGHT TAN
⬡ STUCCO BENJAMIN MOORE #993	BROWN/GREY
⬡ CONC. ROOF TILE MONIER LIFE TILE CHESTNUT BROWN	
⬡ DRYSTACK LEDGESTONE JC WHITE	
⬡ ALUM. STOREFRONT BRONZE	
⬡ HOLLOW METAL DOOR PAINT TO MATCH ADJACENT FINISH	
⬡ DOWNSPOUT PAINT TO MATCH ADJACENT FINISH	
⬡ ALUM. STOREFRONT BRONZE W/ NO GLAZING	
⬡ ROOF ACCESS LADDER PAINT TO MATCH ADJACENT FINISH	
⬡ DRIVE-THRU WINDOW BRONZE	

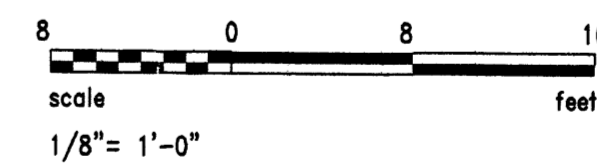
GENERAL NOTES:

ALL MECH. EQUIP. SHALL BE SHIELDED

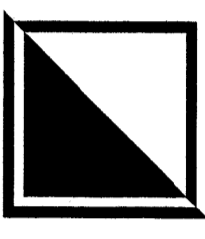
ALUM. STOREFRONT SHALL BE RECESSED 2' FROM FACE OF STUCCO.

ALL BUILDING MOUNTED SIGNAGE SHALL BE INDIVIDUAL TYPE LETTERING NOT TO EXCEED 6 PERCENT OF THE WALL AREA OF EACH BUILDINGS ELEVATION OR TEN PERCENT OF THE WALL AREA OF MULTI-TENANT SHOPS BUILDINGS PER C.O.A. AND SHALL REQUIRE A SEPARATE PERMIT FOR EACH TENANTS SIGNAGE.

ALL BUILDING MATERIALS SHALL BE NON-REFLECTIVE.



REV.	DATE	BY	REVISION
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2			
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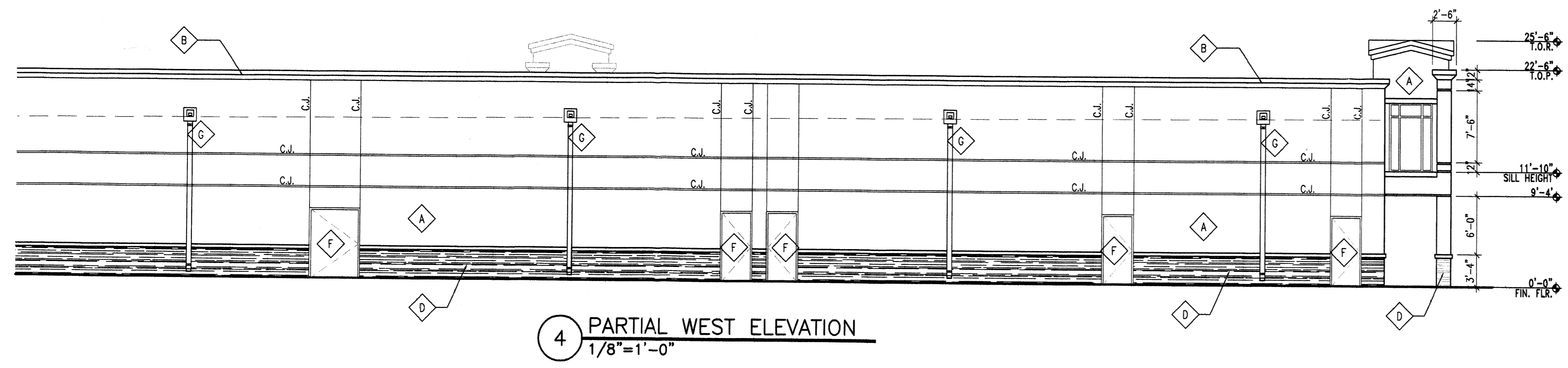
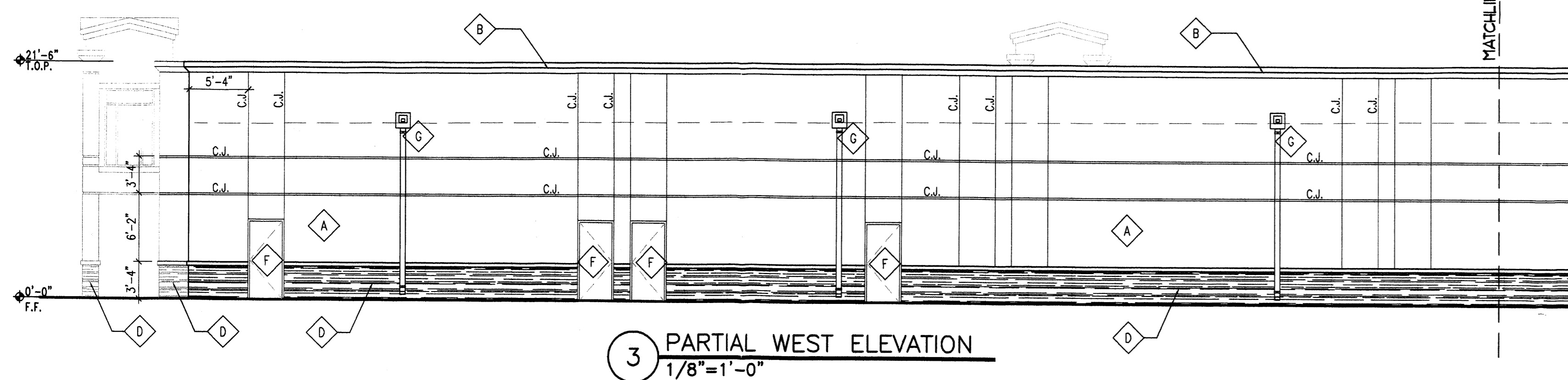
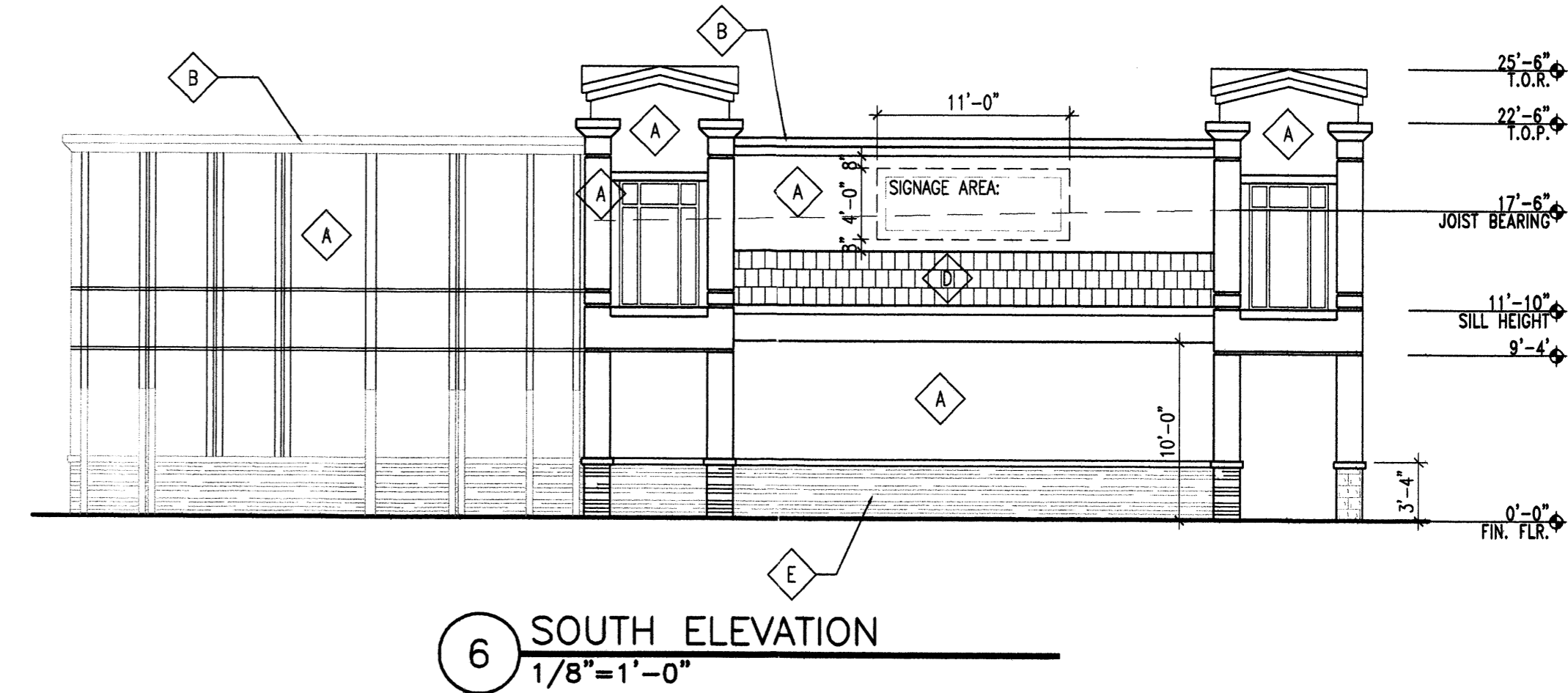
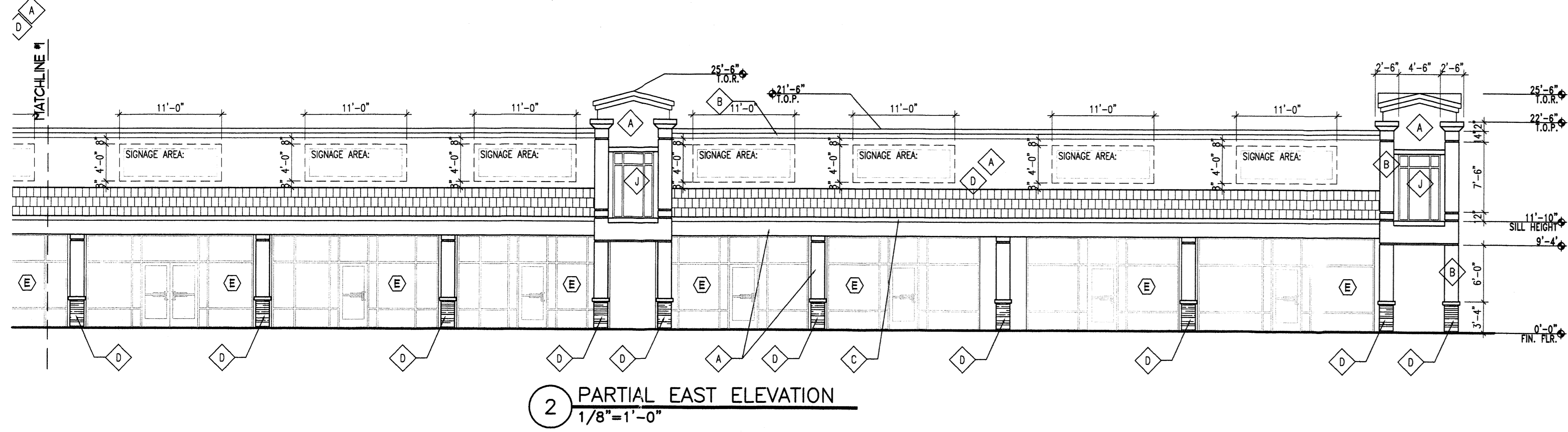
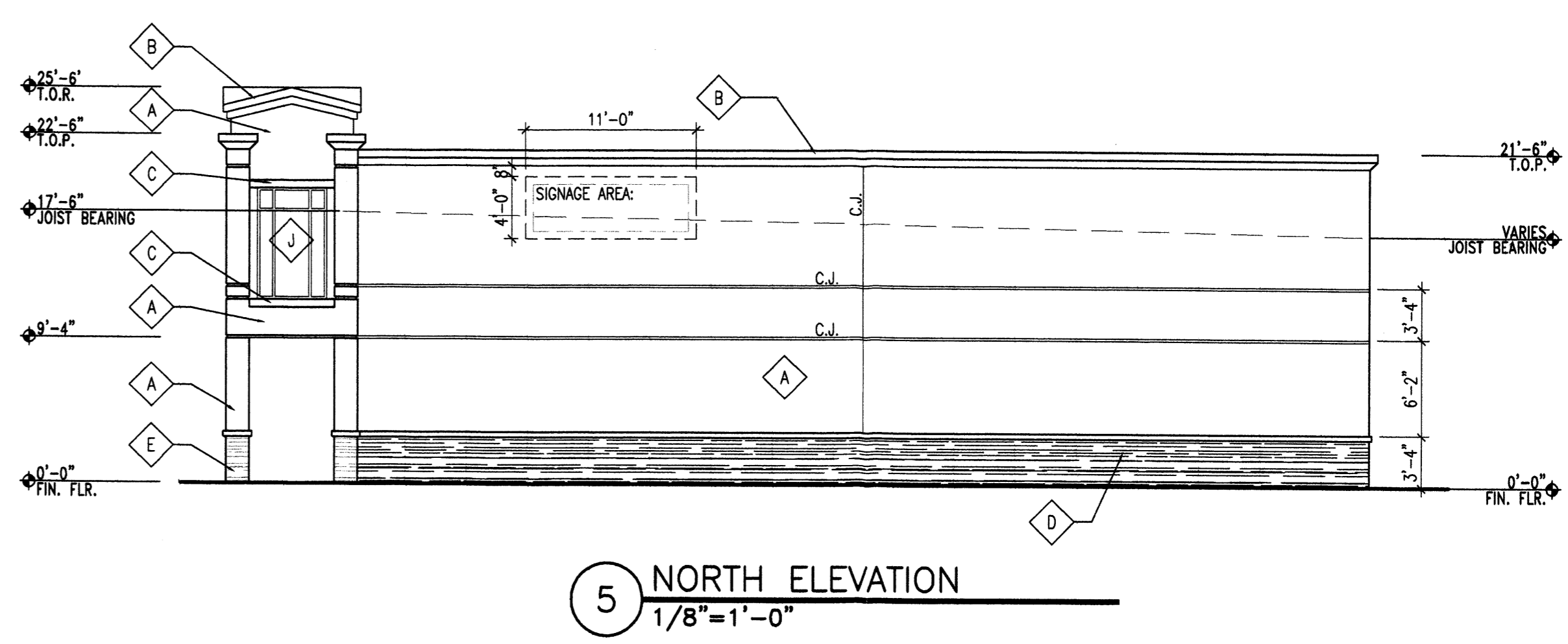
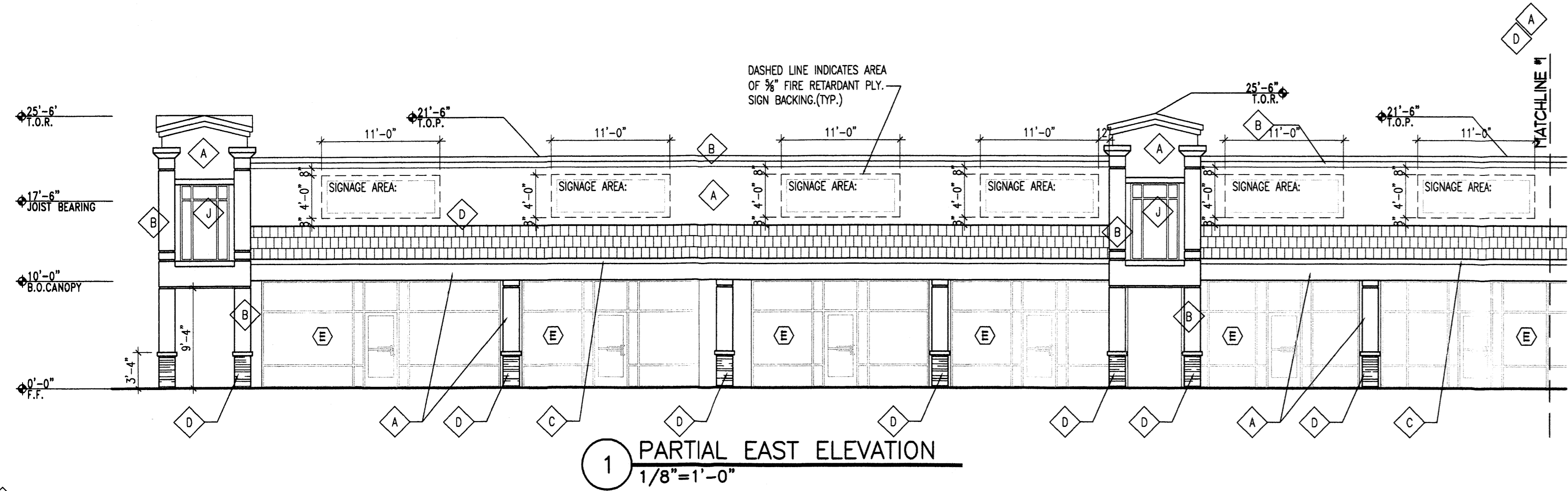


GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

**PRELIMINARY
NOT FOR
CONSTRUCTION**

PROJECT TITLE
98TH AND CENTRAL
 98TH AND CENTRAL
 ALBUQUERQUE, NEW MEXICO
 PROJECT MANAGER
 William Suttles
 JOB NO.
 0653
 DRAWN BY
 WRS
 SHEET TITLE
RESTAURANT SHELL ELEV.

DATE:
 8.25.2008
 SCALE:
 AS NOTED
 sheet-
A5.0
 of-



Keyed Color / Material Schedule		Common Name
◆	STUCCO BENJAMIN MOORE #953	LIGHT TAN
◆	STUCCO BENJAMIN MOORE #952	LIGHT TAN
◆	STUCCO BENJAMIN MOORE #953	BROWN/ GREY
◆	DRYSTACK LEDGESTONE JC WHITE	
◆	ALUM. STOREFRONT BRONZE	
◆	HOLLOW METAL DOOR PAINT TO MATCH ADJACENT STUCCO FINISH	
◆	DOWNSPOUT TRUE WHITE	
◆	STANDING-BEAM MTL. ROOFING GLVALUMINE	
◆	ALUM. STOREFRONT BRONZE - FRAME WITH NO GLAZING	

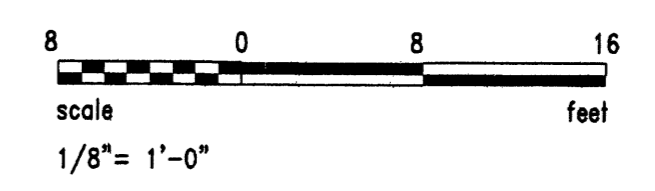
GENERAL NOTES:

ALL MECH. EQUIP. SHALL BE SHIELDED

ALUM. STOREFRONT SHALL BE RECESSED 2' FROM FACE OF STUCCO.

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REV.	DATE	BY	REVISION
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4			
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 ALBUQUERQUE, NEW MEXICO 87110
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**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

PROJECT TITLE: **98TH AND CENTRAL**
 98TH AND CENTRAL ALBUQUERQUE, NEW MEXICO

JOB NO.: **0653**

PROJECT MANAGER: **William Suttles**

DRAWN BY: **WRS**

SHEET TITLE: **SHOPS ELEVATIONS**

DATE: **8/25/2008**

SCALE: **A6.0**

AS NOTED

sheet - **of -**