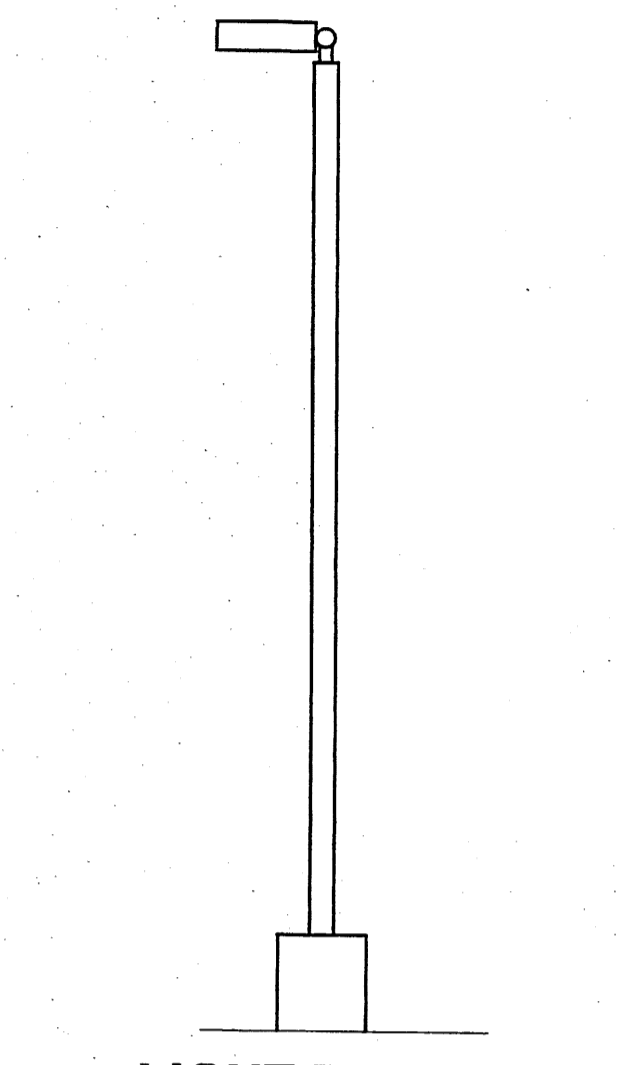
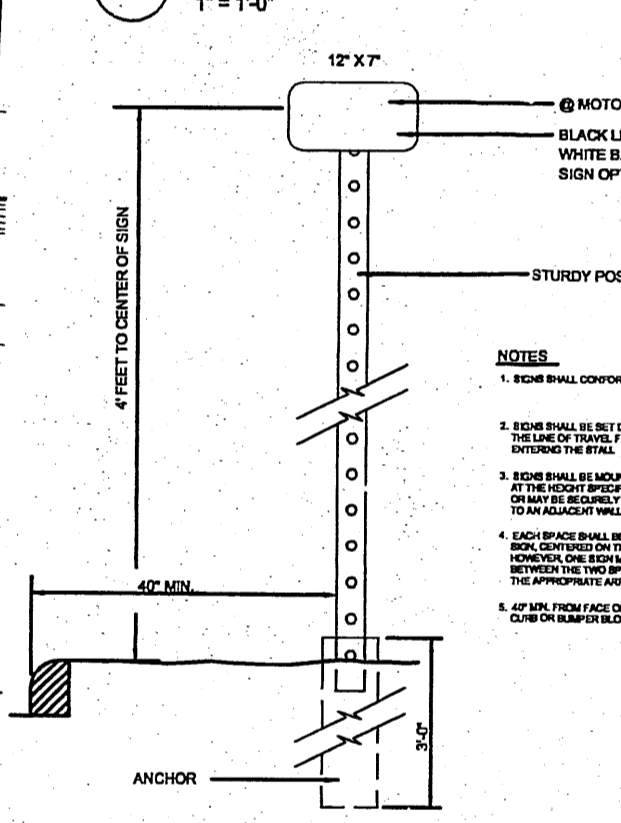


TREE PLANTING DETAIL

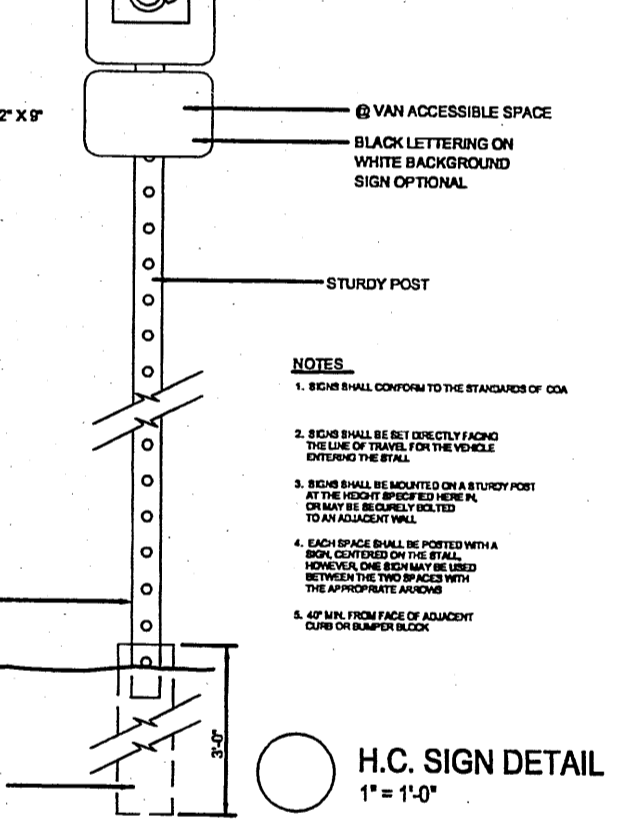


LIGHT POLE

MOTORCYCLE PARKING SIGN



H.C. SIGN DETAIL



LEGAL DESCRIPTION

TRACT 14 PLAT OF TRACTS 1A & 1B, ROW 1, UNIT A WEST OF WESTLAND, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE NAME IS SHOWN AND DESIGNATED ON PLAT OF SAID ACCTING FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 17, 1961, IN PLAT BOOK 36, FOLIO 128

SITE DATA

ZONING: S-1/2 FOR PCA (PLANNED COMMERCIAL AREA)
ZONE ATLAS: 32,730 SQ. FT. (7516 AC.)
BUILDING SIZE: 1/3 OF SITE: 2,248 SQ. FT. / 6.8%

EPC / DRB DATA

87TH AND CENTRAL PLAN
PROJECT NUMBER 1003794
APPLICATION NUMBER 07DRB00181
APPROVED 3.14.2007

PARKING CALCULATIONS

SEATING AREA: 690 S.F. / 15 = 46 OCCUPANTS
OCCUPANT LOAD: 46 OCCUPANTS / 4
PARKING CALCULATIONS: 46 OCCUPANTS / 4
TRANSIT REDUCTION OF 10% (5 SPACES)
TOTAL STANDARD PARKING PROVIDED = 8 SPACES
TOTAL H.C. PARKING REQUIRED = 2 SPACES
TOTAL H.C. PARKING PROVIDED = 2 SPACES
TOTAL SHARED PARKING PROVIDED = 4 SPACES
TOTAL MOTORCYCLE SPACES REQUIRED = 2 SPACES
TOTAL MOTORCYCLE SPACES PROVIDED = 2 SPACES
TOTAL PARKING PROVIDED = 38 SPACES
TOTAL PARKING REQUIRED = 10 SPACES

GENERAL PARKING NOTES

TYPICAL STANDARD SPACES: 8'-0" X 20'-0"
TYPICAL COMPACT CAR SPACES: 6'-0" X 15'-0"
TYPICAL HANDICAP SPACES: 8'-0" X 15'-0" WITH 8' WIDE ACCESS AISLE
ALL SPACES ARE STANDARD SIZE UNLESS NOTED OTHERWISE

GENERAL NOTES

1. BECAUSE OF THE SCALE OF THIS DRAWING THE UTILITIES SITE PLAN IS ON A SEPARATE SHEET.
2. NOT USED.
3. THERE ARE NO TURN / DECELERATION LINES THAT SERVE THIS SITE. ALL ACCESS TO THIS SITE IS INTERNAL TO THE SHOPPING CENTERS.
4. BUS STOP SERVES ROUTE 464 CENTRAL WEST

KEYED NOTES

- 1. CURB CUT TO CITY SPECIFICATIONS.
2. ASPHALT PAVING.
3. PAINT ADA ASSE BLUE STRIPES TO CITY SPECIFICATIONS.
4. ADA SIGNAGE, REF. DETAIL THIS SHEET.
5. ADA CURB RAMP, SLOPE 1:10 MAX.
6. DRIVEYTHRU ORDER STATION.
7. DRIVEYTHRU CLEARANCE.
8. DRIVEYTHRU ORDER STATION.
9. CONCRETE PAVING @ SIDEWALK.
10. PARKING LOT STRIPING TO CITY STANDARDS.
11. MOTORCYCLE SPACE & SIGN, REF. SIGN DETAIL.
12. BICYCLE RACK LOCATION, & BICYCLE CAPACITY.
13. SAFETY STRIPING AT PEDESTRIAN WALK ACROSS DRIVE: 4" WIDE WHITE STRIPES, 4' LONG AND SPACED 12" O.C.
14. EXISTING SIDEWALK.
15. EXISTING SEATING AREA, UMBRELLA TABLE PER DETAIL THIS SHEET.
16. MONUMENT SIGN, REF. ELEVATION SHEET C3.
17. LINE OF EXISTING PAVING. THIS IS ALSO THE EXISTING CROSS ACCESS EASEMENT AS LISTED IN THE DECLARATION OF COVENANTS CONDITIONS, RESTRICTIONS, AND CROSS-EASEMENTS AS NUMBER 200701686 AND DATED 20 MARCH 2007 BY PETERSON + BETH + CENTRAL, LLC.
18. EXISTING OR I.G. CONSTRUCTION.
19. PAINTED "DO NOT ENTER", 24" HIGH LETTERS.
20. NOTE: ALL SITE AND BUILDING SIGNAGE WILL BE SUBMITTED UNDER A SEPARATE PERMIT.

PROJECT NUMBER: 1003794

Application Number: 10DRB-70155

This plan is consistent with specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 10-2-2007, and the Findings and Conditions in the Official Notification of Decision are satisfied.

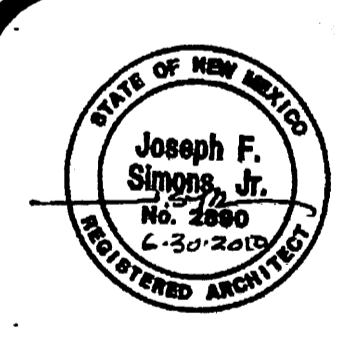
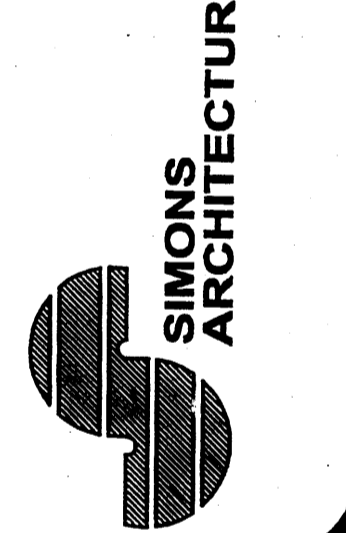
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Signatures and dates for approval: Traffic Engineering, Transportation Division; Planning and Recreation Department; Solid Waste Management; City Engineer; Environmental Health Department; Chairperson, Planning Department.

Table with columns: NO. DATE, DRAWN BY: JFS, CHECKED BY: JFS, REVISION, REVISION PER DRB COMMENTS, REVISION PER DRB COMMENTS. Includes dates 7.1.2010 and 7.1.2010.



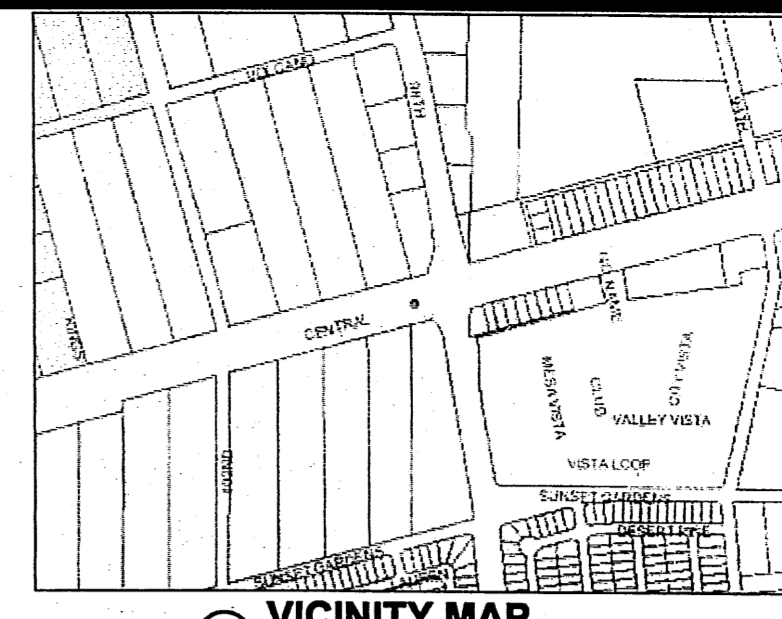
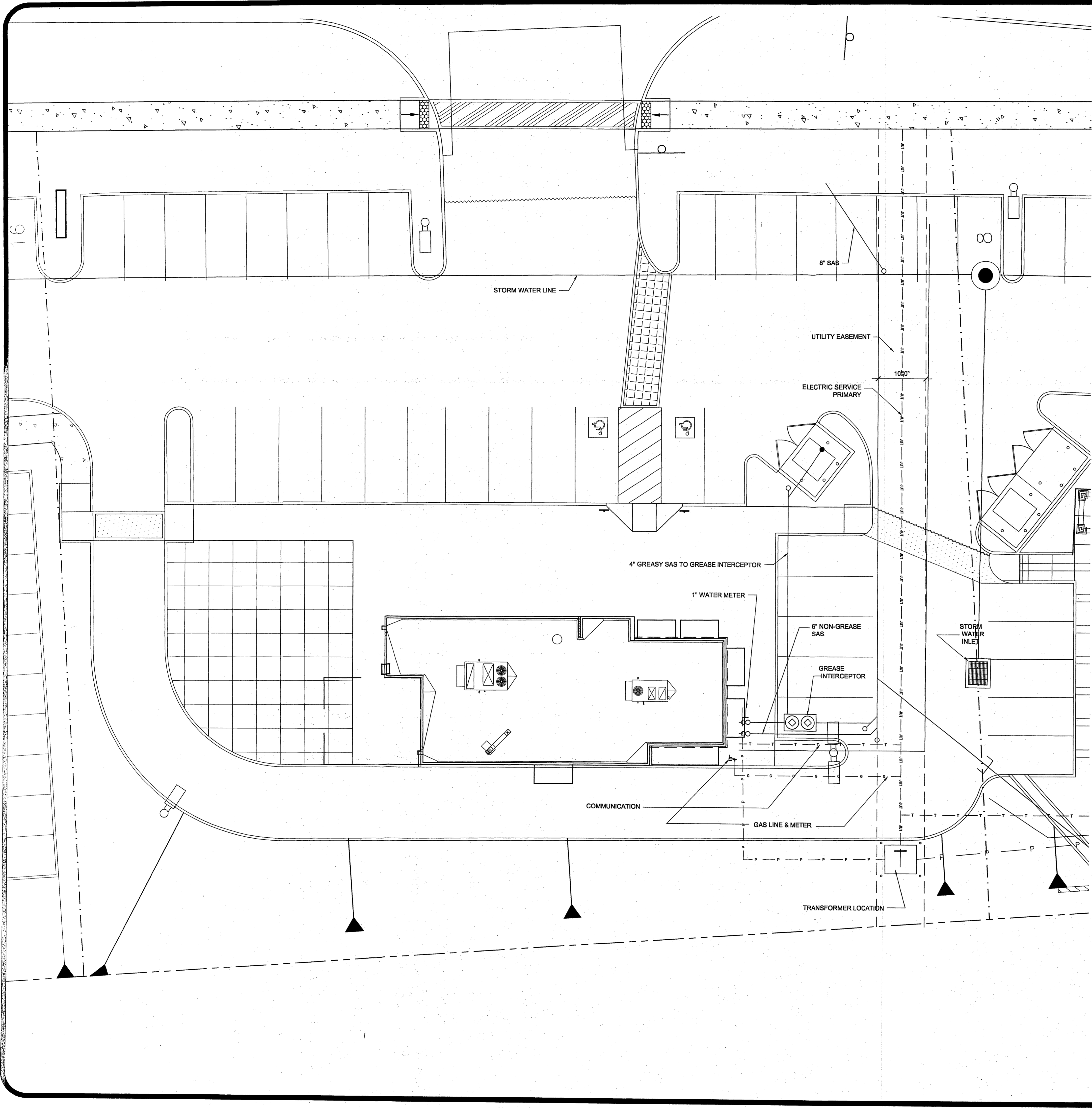
Joseph F. Simons Jr., AIA
Lic. No. 002880
P.O. Box 67408
Albuquerque, NM 87110
www.simonsarchitecture.com



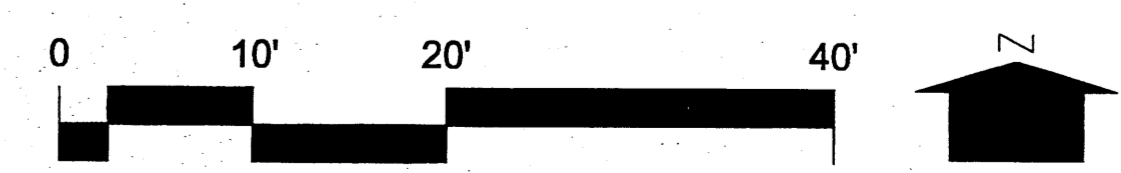
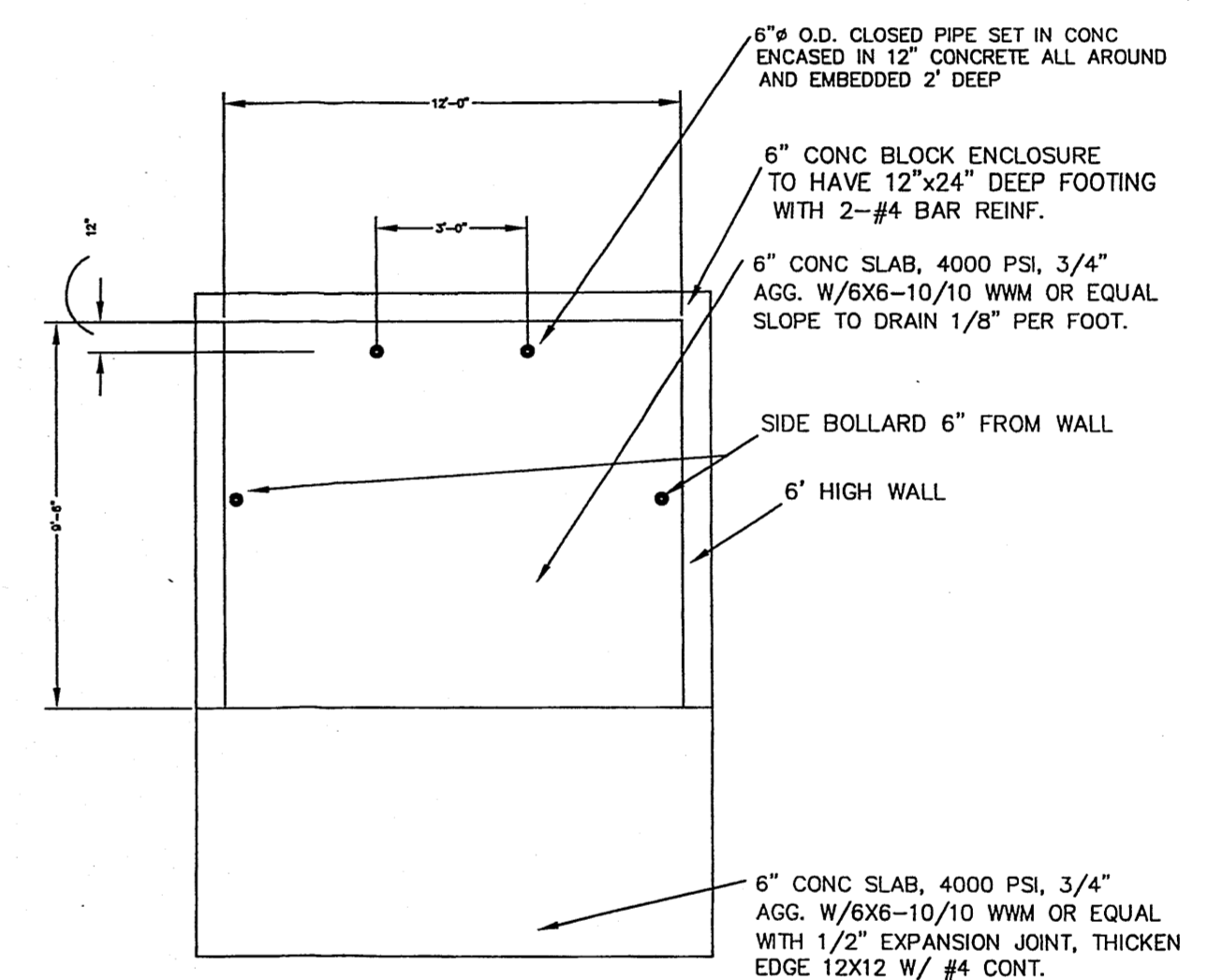
ROC-40
LOT 3, Northwest Corner of
98th Street and Central Avenue
Albuquerque, New Mexico

C1

PROJECT # 1003794



- GENERAL NOTES**
1. THE DATA FOR THIS PLAN WAS TAKEN FROM THE PRIOR APPROVED SITE DEVELOPMENT PLAN W/ UTILITIES.
 2. FIREFLOW INFORMATION FOR THIS SITE IS 2248 S.F. OF VB CONSTRUCTION.
 3. ALL UTILITY LINES ARE CALLED OUT BY LEADER AND NOTE.

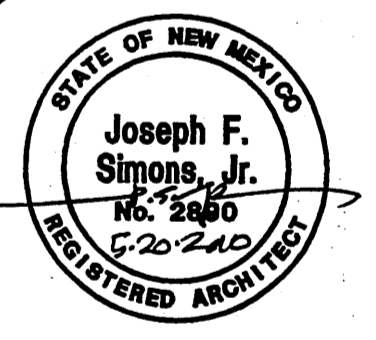


NOI DATE	NOI DATE
DRAWN BY: JFS	CHECKED BY: JFS
DATE: 5/20/12	REVISION

BURGER KING CORPORATION
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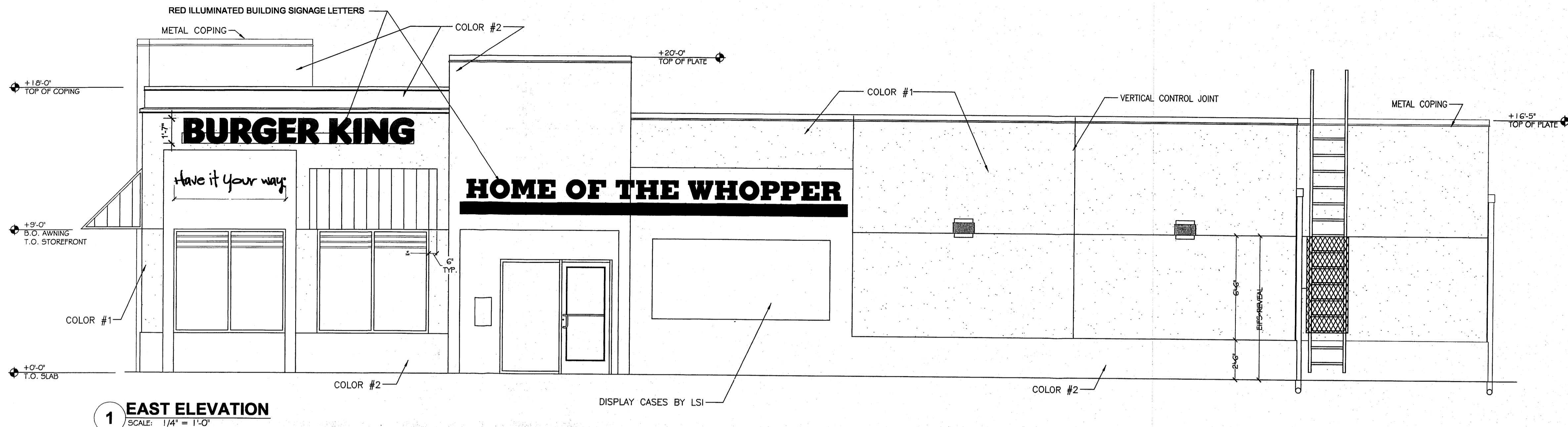


Joseph F. Simons, Jr., AIA
reg. no. 002890
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jfs@simonsarch.com
www.simonsarch.com



ROC-40
LOT 3, Northwest Corner of
98th Street and Central Avenue
Albuquerque, New Mexico

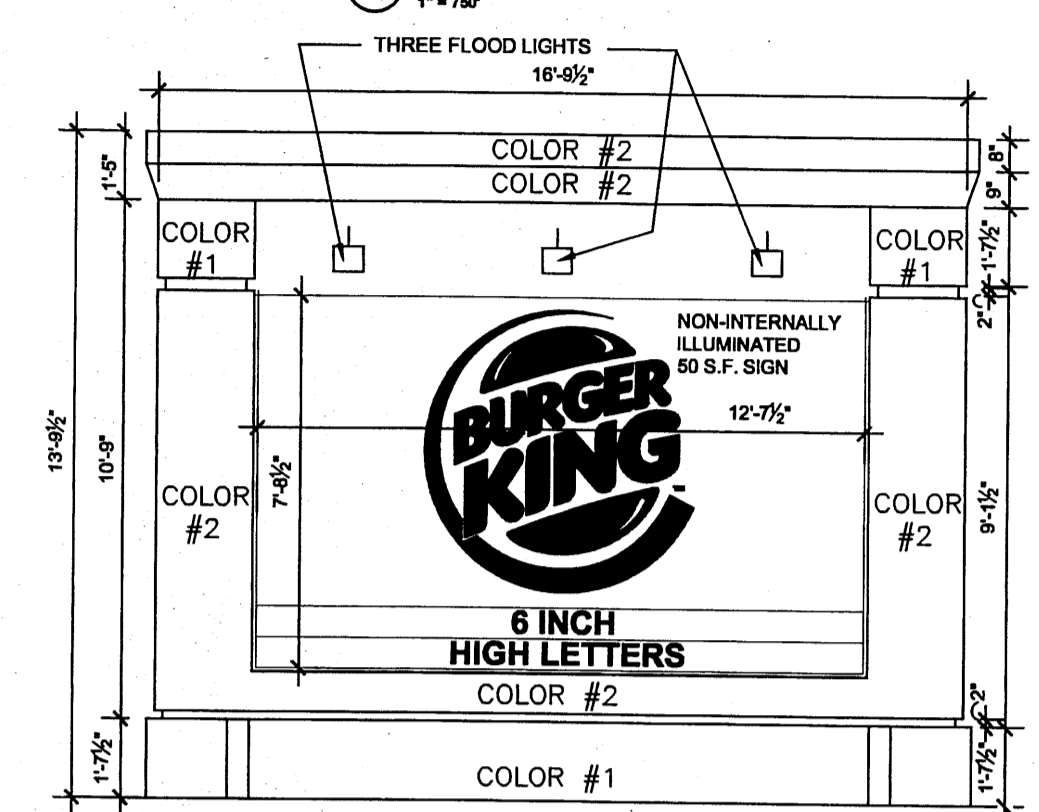
C2



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



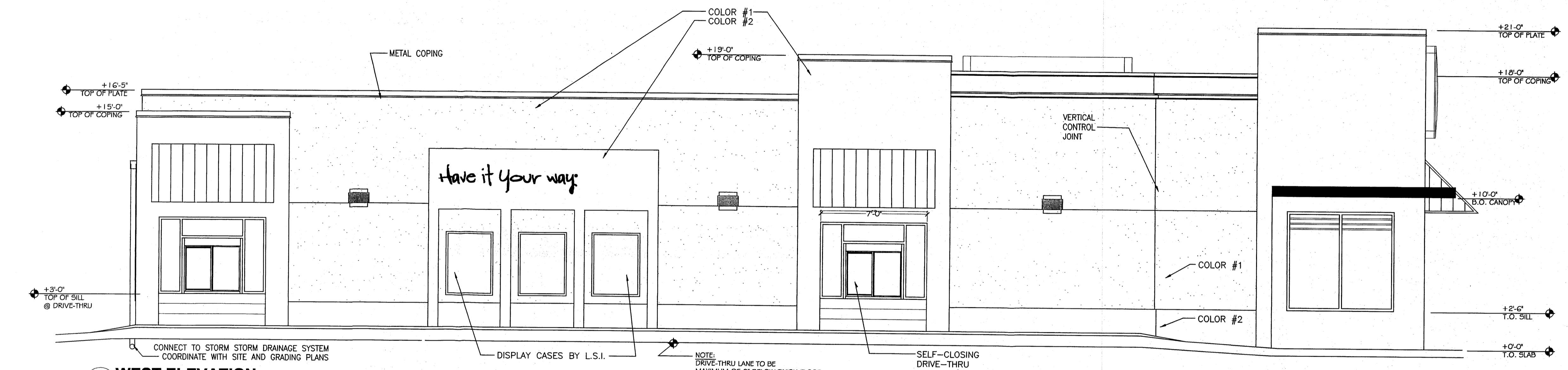
VICINITY MAP
1" = 100'



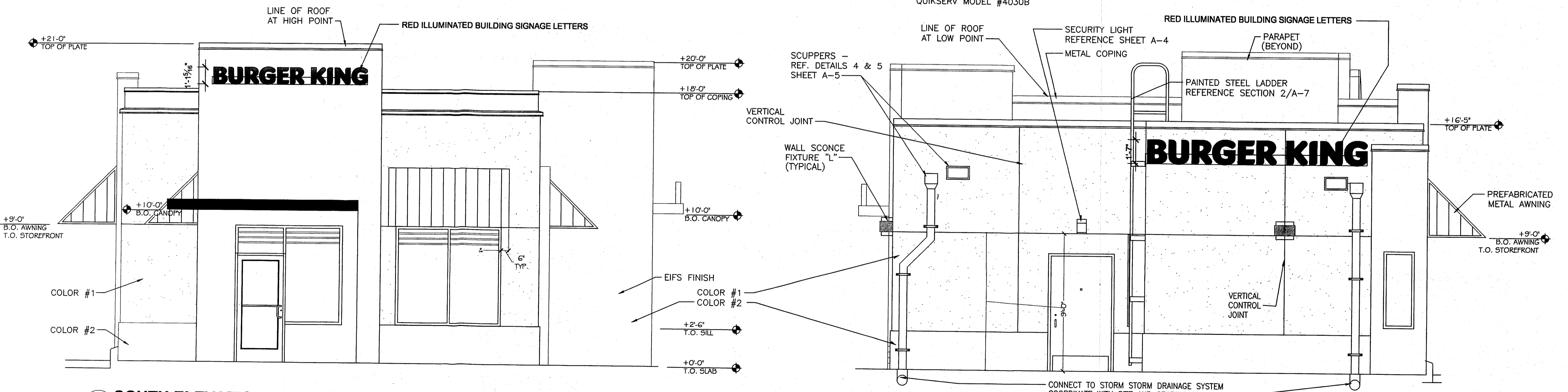
SIGN ELEVATION
1/4" = 1'-0"
THIS IS EXACTLY THE SAME SIGN AS IS SHOWN ON THE EPCOR'S APPROVED SET

COLOR #1 - BENJAMIN MOORE #953 LIGHT TAN
COLOR #2 - BENJAMIN MOORE #993 BROWN / GREY

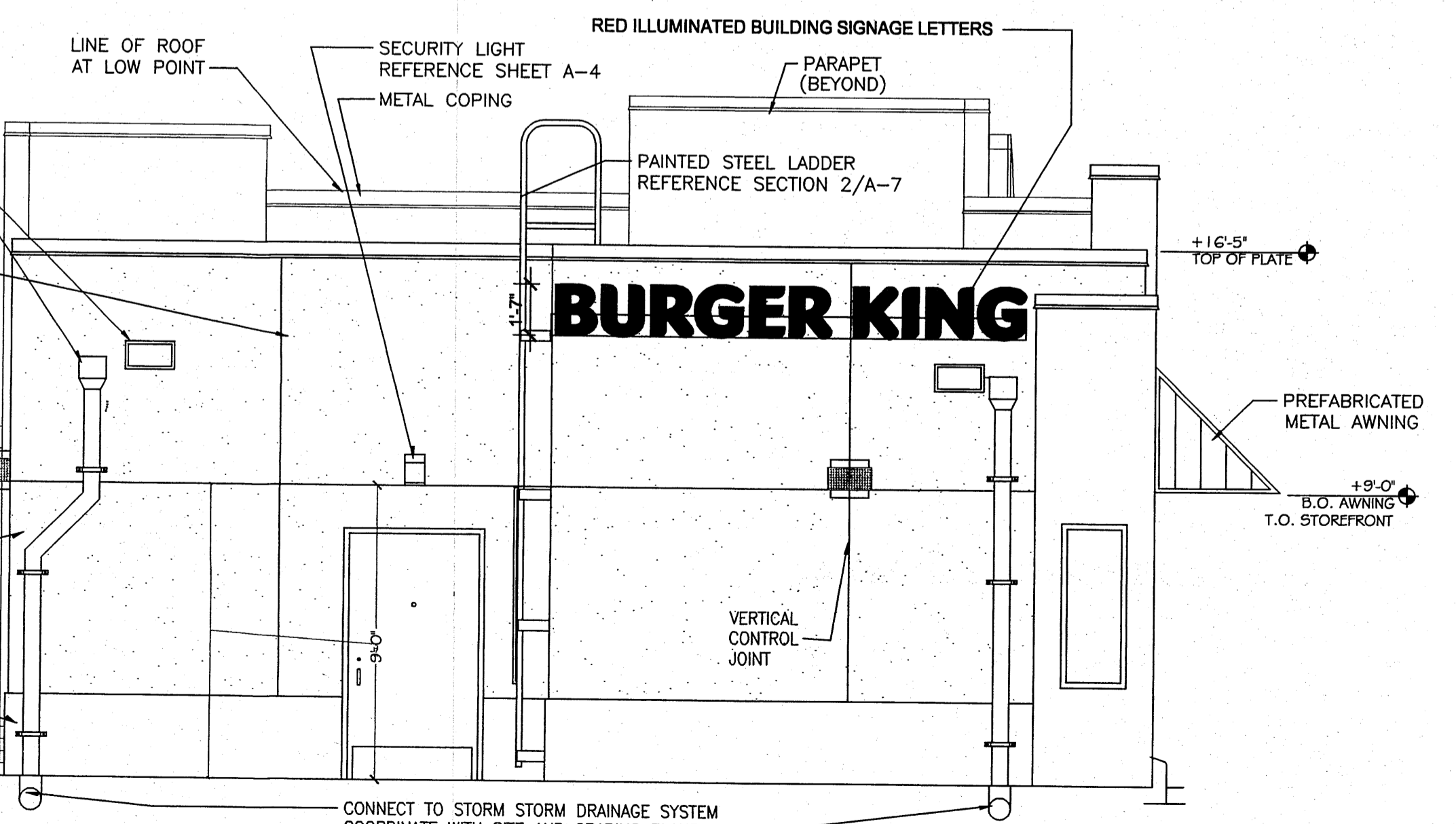
COLOR CHART



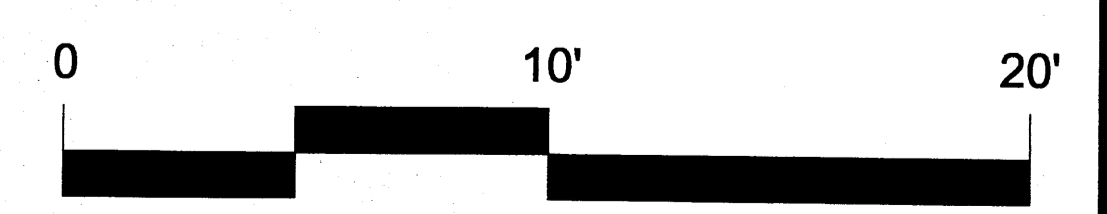
2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



4 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

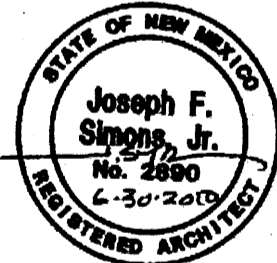


DATE: 12.2.2008
DRAWN BY: JFS
CHECKED BY: JFS
NOI DATE: 6.29.2010
REVISION PER DRE COMMENTS: 7.1.2010
REVISION PER DRE COMMENTS:

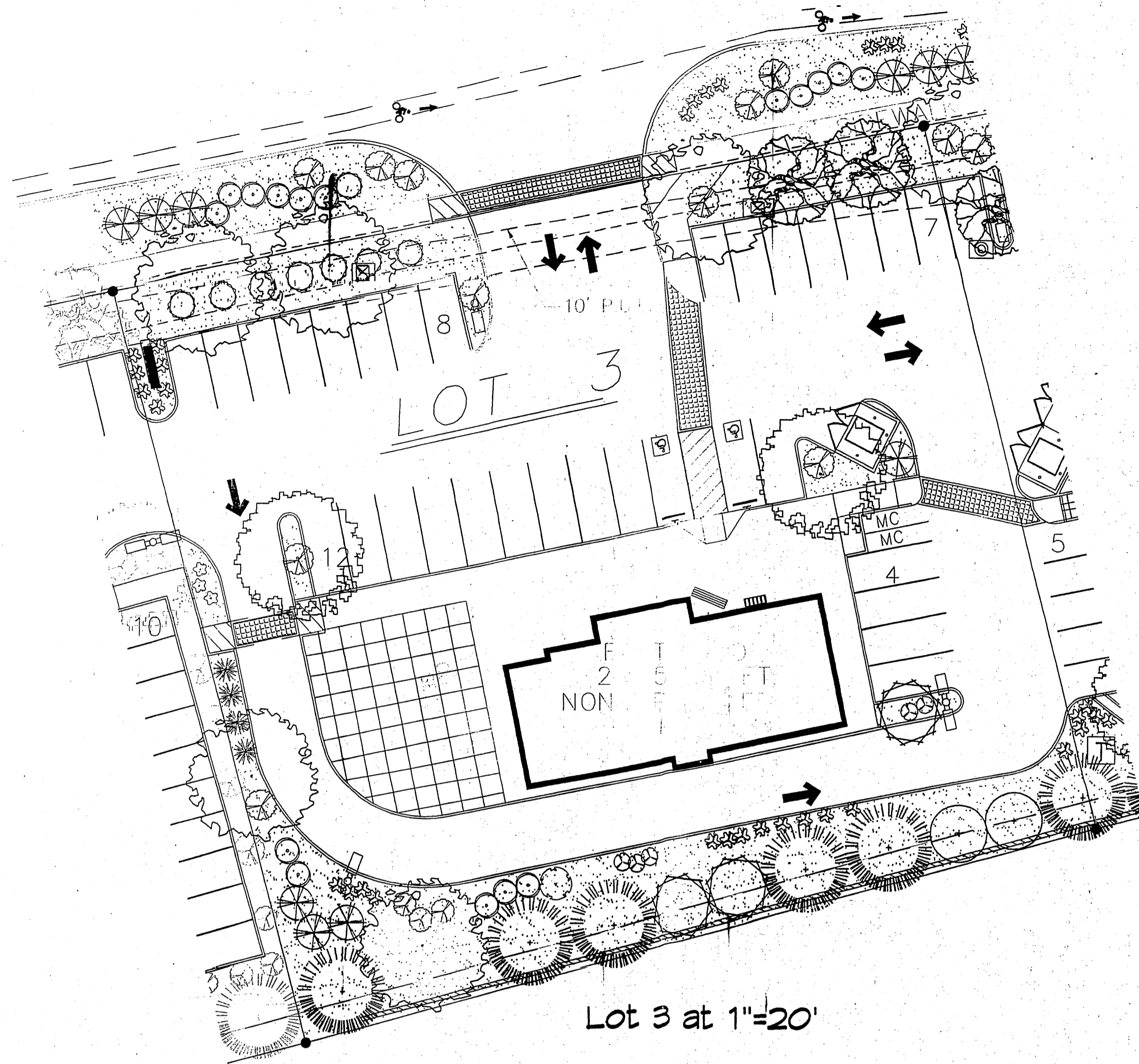
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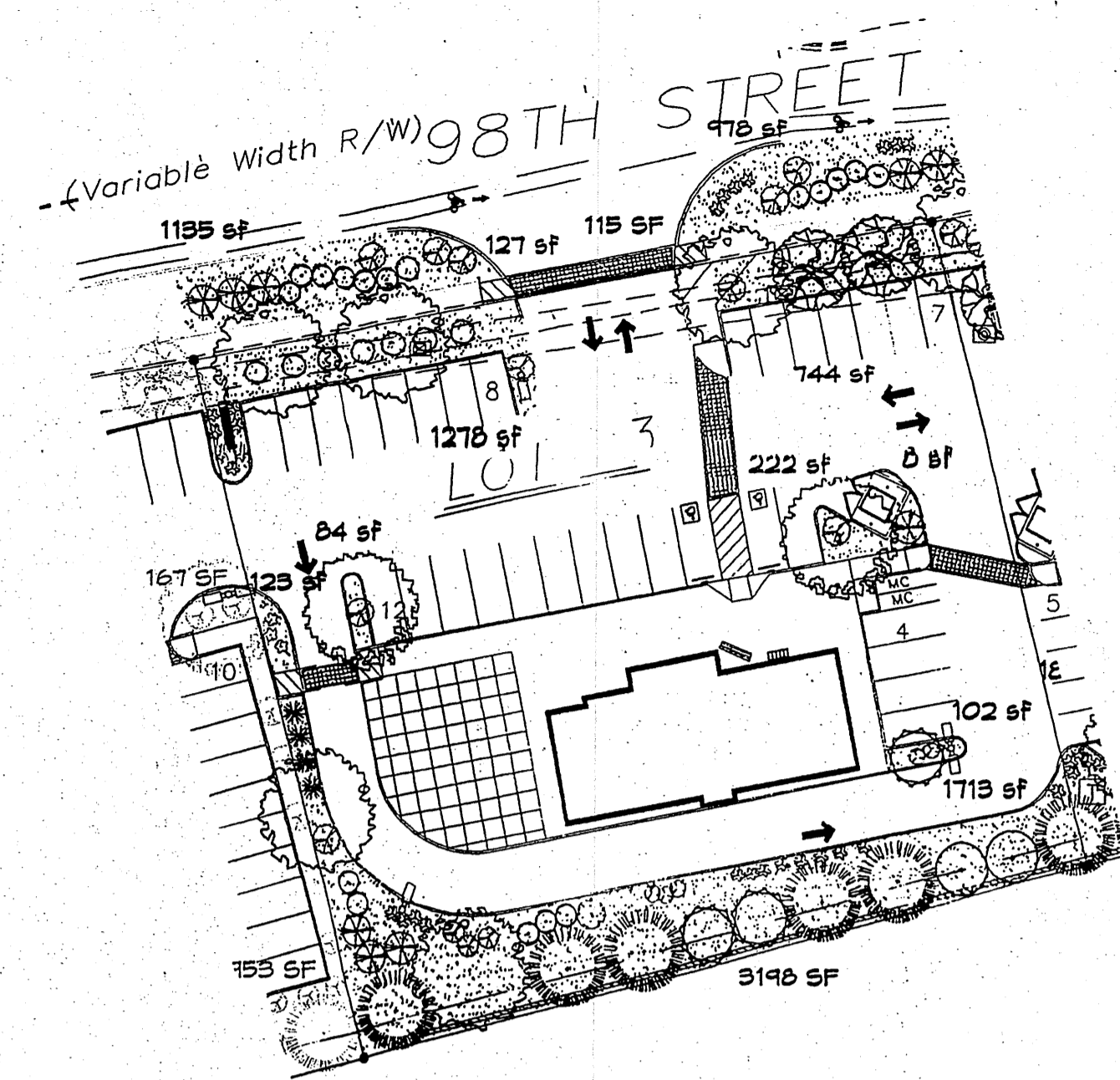
SIMONS ARCHITECTURE



ROC-40
LOT 3, Northwest Corner of
98th Street and Central Avenue
Albuquerque, New Mexico



Lot 3 at 1"=20'



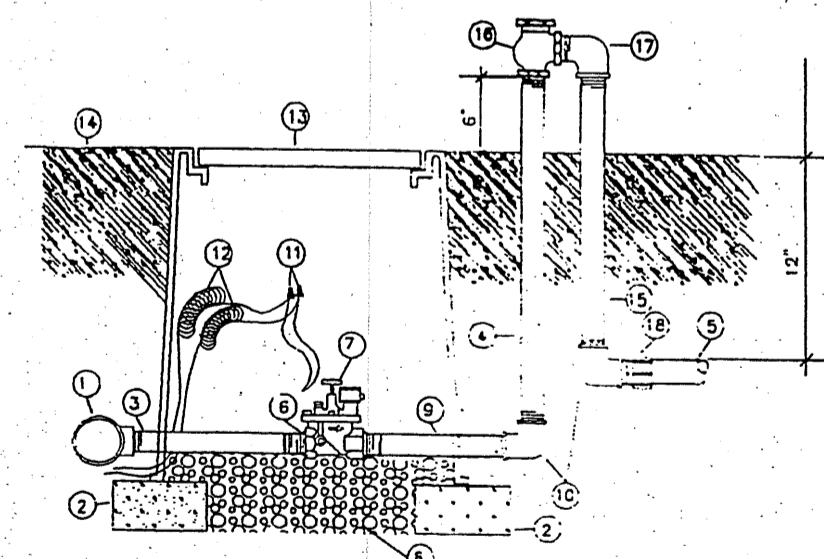
EACH LOT WILL HAVE A SEPARATE WATER METER

LANDSCAPE CALCULATIONS

	LOT 3
TOTAL LOT AREA	34265 SF
TOTAL BUILDINGS AREA	2365 SF
OFFSITE AREA	-
NET LOT AREA	31900 SF
LANDSCAPE REQUIREMENT (.15)	4785 SF
TOTAL BED PROVIDED	6502 SF
GROUND COVER REQ. (.75)	4877 SF
TOTAL GROUND COVER PROVIDED	4980 (77%)
TOTAL LANDSCAPE PROVIDED	6502 SF

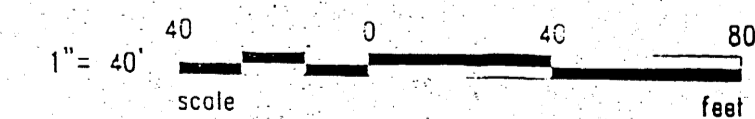
NOTE TO CLIENT:

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an Infield change-order to lay cobblestone or rip-rap. In lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



- ① MANLINE FITTING
- ② PVC BLOCK
- ③ GALVANIZED NIPPLE
- ④ 24" TO 36" GALVANIZED NIPPLE
- ⑤ LATERAL PIPE
- ⑥ REDUCER BUSHING
- ⑦ AUTOMATIC VALVE (SEE LEGEND)
- ⑧ GRAVEL
- ⑨ GALVANIZED NIPPLE
- ⑩ GALVANIZED ELBOW
- ⑪ WATERPROOF WIRE CONNECTOR
- ⑫ WIRE EXPANSION LOOPS
- ⑬ VALVE BOX
- ⑭ FINISH GRADE
- ⑮ GALVANIZED NIPPLE - 18" TO 24" LENGTH
- ⑯ ATMOSPHERIC VACUUM BREAKER
- ⑰ GALVANIZED STREET ELL
- ⑱ TEE NIPPLE OR WALE ADAPTER

AUTOMATIC VALVE, ATMOSPHERIC VACUUM BREAKER



PLANT LEGEND

LOT 3

- SHUMARD OAK (M) 5
Quercus shumardii
2" Gal.
- CHITALPA (M) 2
Chilopsis X Catalpa
2" Gal.
- DESERT WILLOW (L) 3
Chilopsis linearis
15 Gal. 225sf
- SILVERBERRY (M) 3
Elaeagnus pungens
5 Gal. 100sf
- BUTTERFLY BUSH (M) 1
Buddleia davidii
5 Gal. 100sf
- THREE-LEAF SUMAC (L) 3
Rhus trilobata
5 Gal. 36sf
- RED YUCCA (L) 4
Hesperaloe parviflora
5 Gal. 4sf
- CHINESE PISTACHE (M) 2
Platanus chinensis
2" Gal.
- AUSTRIAN PINE (M) 6
Pinus nigra
6-8
- NEW MEXICO OLIVE (L) 2
Forestiera neomexicana
15 Gal.
- RUSSIAN SAGE (M) 16
Perovskia atriplicifolia
5 Gal. 36sf
- POTENTILLA (M) 3
Potentilla fruticosa
1 Gal. 4sf
- HONEYSUCKLE (M) 13
Lonicera japonica 'Halliana'
1 Gal. 14sf
Unstaked-Groundcover
- WILDFLOWER 5
1 Gal. 4sf
- THREADGRASS (M) 27
Stipa tenuissima
1 Gal. 4sf
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel Over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

STREET TREE REQUIREMENTS - Lot 3

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: 98th Street NW
Required # 5 Provided # 5

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

PARKING LOT TREE REQUIREMENTS - Lot 3

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

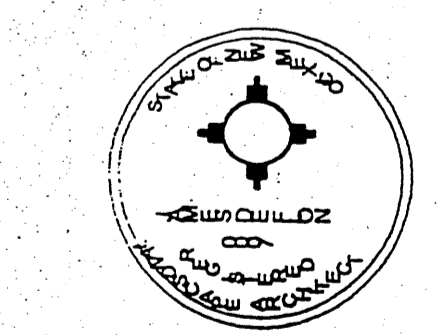
1 Shade tree per 10 spaces
Required # 3 Provided # 3

REV	DATE	BY	REVISION
6	8-8-08	rnc	revised site plan
5	7-17-08	rnc	revised site plan and comments
4	2-6-07	rmm	revised site plan
3	1-18-07	adl	revised site plan, comments
2	11-08-06	rmm	revised site plan, comments
1	11-2-06	rmm	revised site plan, comments

GORDON RAINHART ARCHITECT AND ASSOCIATES PC
 1000 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 TEL: (505) 261-1140 FAX: (505) 831-1140

PRELIMINARY NOT FOR CONSTRUCTION

VOLCANO POINT - LOT 3
 NORTHWEST CORNER OF 98TH ST. & CENTRAL AVENUE
 ALBUQUERQUE, NEW MEXICO
 DRAWN BY: WILLIAM SUTTLER
 JOB NO: 0653
LANDSCAPE PLAN - LOT 3



The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

Company #26458
 7509 Edith N.E.
 Albuquerque, NM 87184
 Ph: (505) 998-9690
 Fax: (505) 998-7737
 cmjohn@hillslope.com

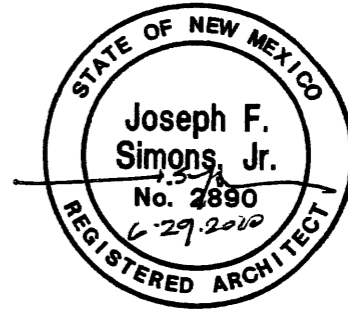
LANDSCAPE PLAN

1" = 40'-0" NORTH



15-18-08
1" = 40'
L2

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DATE _____
 JOB NUMBER 5LA-001
 A1

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 of 98th street and Central Ave.
 Albuquerque, NM
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1 EAST ELEVATION
 SCALE: 3/32" = 1'-0"

