



COMPLETED 07/12/10 Stt
DRB CASE ACTION LOG (Site Plan-BP)

REVISED 10/08/07

DRB CASE ACTION LOG

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 10DRB-7055 Project # 1003794
Project Name: VOLCANO POINT SHOPPING CTR
Agent: DAT JOSEPH Phone No.:

Your request was approved on 06-23-10 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: - address comments

UTILITIES:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): - address comments

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 - Property Management's signature must be obtained prior to Planning Department's signature.
 - AGIS DXF File approval required.
 - Copy of recorded plat for Planning.

Created On:



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

June 23, 2010

Project# 1003794

10DRB-70155 MAJOR – SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

PAT JOSEPH agent(s) for DOUGLAS PETERSON - PETERSON PROPERTIES request(s) the referenced/ above action(s) for all or a portion of Lot(s) 3, **VOLCANO POINT SHOPPING CENTER** zoned SU-2 FOR PCA (Planned Commercial Area), located on the west side of 98TH ST NW between CENTRAL AVE NW and VOLCANO RD NW containing approximately .7516 acre(s). (K-9)

At the June 23, 2010 Development Review Board meeting, the site development plan for building permit was approved with delegation to Transportation and to Planning to address comments.

If you wish to appeal this decision, you must do so by July 9, 2010, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Jack Cloud, AICP, DRB Chair

Cc: Pat Joseph - P.O. Box 14903 – Albuquerque, NM 87191

Cc: Douglas Peterson – 2325 San Pedro NE Ste 2-A – Albuquerque, NM 87110

Marilyn Maldonado

File

ALBUQUERQUE
NEW MEXICO



DRB CASE ACTION LOG

(Site Plan - BP)

REVISED 10/08/07

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DRB Application No.: 10DRB-7055 Project # 1003794
 Project Name: VOLCANO POINT SHOPPING CTR
 Agent: DAT JOSEPH Phone No.: _____

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OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: - address comments

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): - address comments

- Planning must record this plat. Please submit the following items:**
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 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 - Property Management's signature must be obtained prior to Planning Department's signature.
 - AGIS DXF File approval required.
 - Copy of recorded plat for Planning.

Created On:

DRB/EPC/LUCC APPLICATION CHECKLIST

Vertical text on the right margin, possibly a date or reference number.

A review of DRB Case 1003794 indicates the following problems or crimes may occur or that the following concerns may need to be evaluated or addressed on this site or in this area. These comments do not indicate that a thorough CPTED evaluation has been done, or that other criminal activities may not occur.

- Traffic volume/Explain:
- Traffic control devices/Explain:
- Burglaries/Explain:
- Speeding violations/Explain:
- Lighting issues/Explain:
- Maintenance of landscaping/Explain:
- Robbery/Explain:
- Assault/Explain:
- Shoplifting/Explain:
- Accidents in the parking lot/Explain:
- A higher probability of crimes during evening/weekend hours/Explain:
- Commercial burglary/Explain:
- Rape/Explain:
- Adequate security/Explain:
- Alarm security/Explain:
- Alarm response i.e. false alarms, etc/Explain:
- Transients/Explain:
- Need for neighborhood association/Explain:

Exterior lighting does not appear to be adequate. Suggest adding pole lights at the beginning of the drive-through driveway (reduce access to vehicles not moving, with ~~door~~ windows open, etc), at the drive up window (point of sale) and adjacent to trash dumpster.

Landscaping trees appear to be in conflict with pole lighting. Recommend not placing trees and pole lights in the same general area.

Other: Video cameras should be positioned to cover exterior areas including parking lots, walkways, common areas, maintenance areas (including dumpster), drive up point of sale, drive-up line and building access points.

DRB PUBLIC HEARING SIGN IN SHEETS

DRB
PUBLIC
HEARING
SIGN
IN
SHEETS

PROJECT #: 1003794 AGENDA# 1 DATE: 6/23/10

1. Name: _____ Address: _____ Zip: _____
2. Name: _____ Address: _____ Zip: _____
3. Name: _____ Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____
15. Name: _____ Address: _____ Zip: _____
16. Name: _____ Address: _____ Zip: _____
17. Name: _____ Address: _____ Zip: _____



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

June 23, 2010

Project# 1003794

10DRB-70155 MAJOR – SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

PAT JOSEPH agent(s) for DOUGLAS PETERSON - PETERSON PROPERTIES request(s) the referenced/ above action(s) for all or a portion of Lot(s) 3, **VOLCANO POINT SHOPPING CENTER** zoned SU-2 FOR PCA (Planned Commercial Area), located on the west side of 98TH ST NW between CENTRAL AVE NW and VOLCANO RD NW containing approximately .7516 acre(s). (K-9)

AMAFCA No comment.
COG No comment.
TRANSIT Project # 1003794 10DRB-70155 MAJOR-SITE DEVELOPMENT PLAN FOR BUILDING PERMIT. Adjacent and nearby routes Route # 54, Bridge-Westgate route pass near the site 500' south, from the southeast corner of the property on 98 th street. in the southbound direction. Adjacent bus stops None. Site plan requirements None. Large site TDM suggestions None. Other information None.
ZONING ENFORCEMENT No comment.
NEIGHBORHOOD COORDINATION Letters sent to: Avalon NA (R)
APS No comment.
POLICE DEPARTMENT No comment.

FIRE DEPARTMENT No comment.
PNM ELECTRIC & GAS No comment.
COMCAST No comment.
QWEST Concerning the subject case number(s), Qwest has no adverse comments at this time provided all utility easement rights are maintained. Prior to any final plat approval, we will need a copy for review.
ENVIRONMENTAL HEALTH No comment.
M.R.G.C.D No Adverse Comments
OPEN SPACE DIVISION Open Space has no adverse comments
CITY ENGINEER No adverse comments.
TRANSPORTATION DEVELOPMENT Clarify existing versus proposed conditions. Club Cmt #1 Call out all radii; for passenger vehicles, the minimum end island radius is 15 feet. Show all ramps and provide details. What is the purpose of the one directional arrow shown? Call out the width of all sidewalk, existing and proposed. Indicate the site location on the vicinity map. Define and provide recording information for the existing cross access easement. "Do Not Enter" striping and/or signing must be provided at the drive through exit.
PARKS AND RECREATION No comment.
ABCWUA No comment.
PLANNING DEPARTMENT Sheet AS1 thru AS3 do not need to be part of this final site plan for building permit set. Sheet L1 needs to be replaced with Sheet L2 from Aug 28, 2008 approved site plan. 2 motorcycle parking spaces are needed per Aug 28, 2008 site plan (located at east end of parking row on south side of building). All of Sheet AS2 notations for monument sign needed to be noted on Sheet C3.. More specificity is needed for elevations – refer to Sheet A5.0 from Aug 28, 2008 site plan. Black and Red (as shown on color rendering) are not approved colors per Sheet AS2 – again, refer to Sheet A5.0/ Aug 28, 2008. Building mounted signage material and colors need to be specified.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

PLANNING DEPARTMENT
CITY OF ALBUQUERQUE

Meeting Date: Wednesday, June 23, 2010
Zone Atlas Page: (K-9)
Notification Radius: 100ft

Project# 1003794
App# 10DRB-70155

Cross Reference and Location: located on 98TH ST BETWEEN CENTRAL AND VOLCANO

Applicant: DOUGLAS PETERSON - PETERSON PROPERTIES
2325 SAN PEDRO NE
ALBUQUERQUE NM 87110

Agent: PAT JOSEPH
PO BOX 14903
ALBUQUERQUE NM 87191

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: June 4, 2010
SIGNATURE: ANITA TAVASCI

OR CURRENT RESIDENT
100905708503030401
KRANIA LLC
5321 MENAUL NE
ALBUQUERQUE NM 87110

OR CURRENT RESIDENT
100905702008030108
PETERSON PROPERTIES INVESTMENTS LLC
2325 SAN PEDRO DR NE SUITE 2-A
ALBUQUERQUE NM 87110

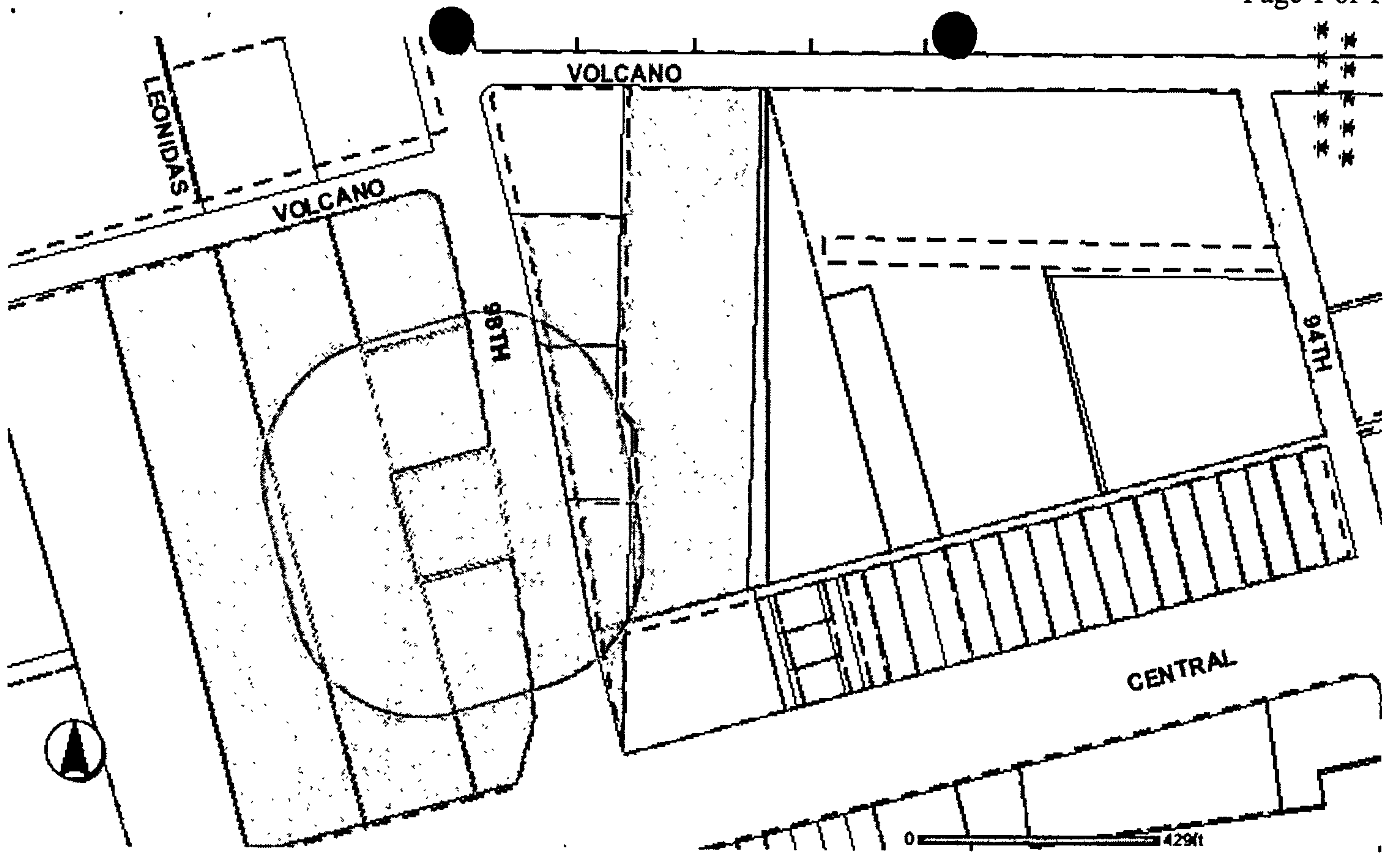
OR CURRENT RESIDENT
100905705003530105
PETERSON-98TH /CENTRAL LLC
2105 CENTRAL AVE NW
ALBUQUERQUE NM 87104

OR CURRENT RESIDENT
100905703006530107
AUTOZONE STORES INC DEPT #8700
PO BOX 2198
MEMPHIS TN 38101

PAR JOSEPH
PO BOX 14903
ABLUQUERQUE, NM 87191
PROJECT #1003794

R e c	UPC CODE	OWNER	OWNER ADDRESS	OWN ER CITY	O W N E R S T A T E	O W N E R Z I P C O D E	P R O P E R T Y C L A S S	T A X D I S T R I C T	LEGAL
1	100905 705003 530105	PETERSON- 98TH /CENTRA L LLC	2105 CENT RAL AVE N W	ALBU QUE RQU E	N M	87 10 4	V	A1 A	LT 4 PLAT OF LOTS 1 THRU 4 VOLCANO POINT SHOP PING CENTER(BEING A REPLAT OF TRACT 1A ROW 1 UNIT 1 WEST OF WESTLAND)CONT 1.2317 AC
2	100905 702805 130104	CITY OF ALBU QUERQUE	PO BOX 12 93	ALBU QUE RQU E	N M	87 10 3	V	A1 A	TR2 ROW1 UNIT A WEST OF WESTLAND ATRISCO G RANT CONT 5.00 AC
3	100905 702008 030108	PETERSON PR OPERTIES INV ESTMENTS LLC	2325 SAN P EDRO DR N E SUITE 2- A	ALBU QUE RQU E	N M	87 11 0	C	A1 A	LT 1 PLAT OF LOTS 1 THRU 4 VOLCANO POINT SHOP PING CENTER(BEING A REPLAT OF TRACT 1A ROW 1 UNIT 1 WEST OF WESTLAND)CONT 1.1057 AC
4	100905 708503 030401	KRANIA LLC	5321 MENA UL NE	ALBU QUE RQU E	N M	87 11 0	V	A1 A	LT 6 PLAT OF LOTS 1, 2, 3, 4, 5 & 6 KRANIA CONT .14 99 AC
5	100905 704005 030106	PETERSON PR OPERTIES INV ESTMENTS LLC	2325 SAN P EDRO DR N E SUITE 2- A	ALBU QUE RQU E	N M	87 11 0	V	A1 A	LT 3 PLAT OF LOTS 1 THRU 4 VOLCANO POINT SHOP PING CENTER(BEING A REPLAT OF TRACT 1A ROW 1 UNIT 1 WEST OF WESTLAND)CONT .7516 AC
6	100905 703006 530107	AUTOZONE ST ORES INC DEP T #8700	PO BOX 21 98	MEM PHIS	TN	38 10 1	C	A1 A	LT 2 PLAT OF LOTS 1 THRU 4 VOLCANO POINT SHOP PING CENTER(BEING A REPLAT OF TRACT 1A ROW 1 UNIT 1 WEST OF WESTLAND)CONT .9222 AC
7	100905 700804 630103	CITY OF ALBU QUERQUE	PO BOX 12 93	ALBU QUE RQU E	N M	87 10 3	V	A1 A	TR3 ROW1 UNIT A WEST OF WESTLAND ATRISCO G RANT CONT 5.00 AC
8	100905 709007 530439	KRANIA LLC	5321 MENA UL NE	ALBU QUE RQU E	N M	87 11 0	C	A1 A	LT 1 PLAT OF LOTS 1, 2, 3, 4, 5 & 6 KRANIA CONT 4.7 944 AC
9	100905 707506 830436	KRANIA LLC	5321 MENA UL NE	ALBU QUE RQU E	N M	87 11 0	V	A1 A	LT 4 PLAT OF LOTS 1, 2, 3, 4, 5 & 6 KRANIA CONT .74 59 AC
1 0	100905 707007 830437	KRANIA LLC	5321 MENA UL NE	ALBU QUE RQU E	N M	87 11 0	V	A1 A	LT 3 PLAT OF LOTS 1, 2, 3, 4, 5 & 6 KRANIA CONT .83 33 AC
1 1	100905 708004 830435	KRANIA LLC	5321 MENA UL NE	ALBU QUE RQU E	N M	87 11 0	V	A1 A	LT 5 PLAT OF LOTS 1, 2, 3, 4, 5 & 6 KRANIA CONT .41 26 AC

20140809 09:00 AM
 20140809 09:00 AM
 20140809 09:00 AM
 20140809 09:00 AM



Anita

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Pat Joseph PHONE 263-6965
 ADDRESS: PO Box 14903 FAX: 797-4906
 CITY: Albuquerque STATE NM ZIP 87191 E-MAIL: PLJPM@ADJ.604

APPLICANT: Douglas Peterson - Peterson Properties PHONE: 884-3578
 ADDRESS: 2325 San Pedro NE Suite 2-A FAX: 884-6793
 CITY: Albuquerque STATE NM ZIP 87110 E-MAIL: www.petersonproperties.net

Proprietary interest in site _____ List all owners: _____

DESCRIPTION OF REQUEST: Approval of a Site Development Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 3 Block: _____
 Subdiv/Addn/TBKA Plat of Lots 1 thru 4 Volcano Point Shopping Center
 Existing Zoning: S42 For PCA Proposed zoning: _____ MRGCD Map No. NM
 Zone Atlas page(s): H-9-Z UPC Code: 100905704005030106

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj, App, DRB, AX, Z, V, S, etc).
Project # 1003794, Applicant - OYDRB-00181

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? _____
 No of existing lots 1 No of proposed lots: 1 Total area of site (acres): .7516 ac
 LOCATION OF PROPERTY BY STREETS: On or Near: 98th St N.W
 Between Central and Volcano

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Pat Joseph DATE 5/21/10
 (Print) Pat Joseph Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F H D P density bonus
- F H D P fee rebate

Application case numbers

10DRB-20155

Action

SBP

ADV

LMF

S.F.

Fees

\$ 365.00

\$ 75.00

\$ 20.00

\$

\$

Total

\$ 480.00

Hearing date June 23, 2010

Vaf

5-27-10
Planner signature / date

Project # 1003794

129

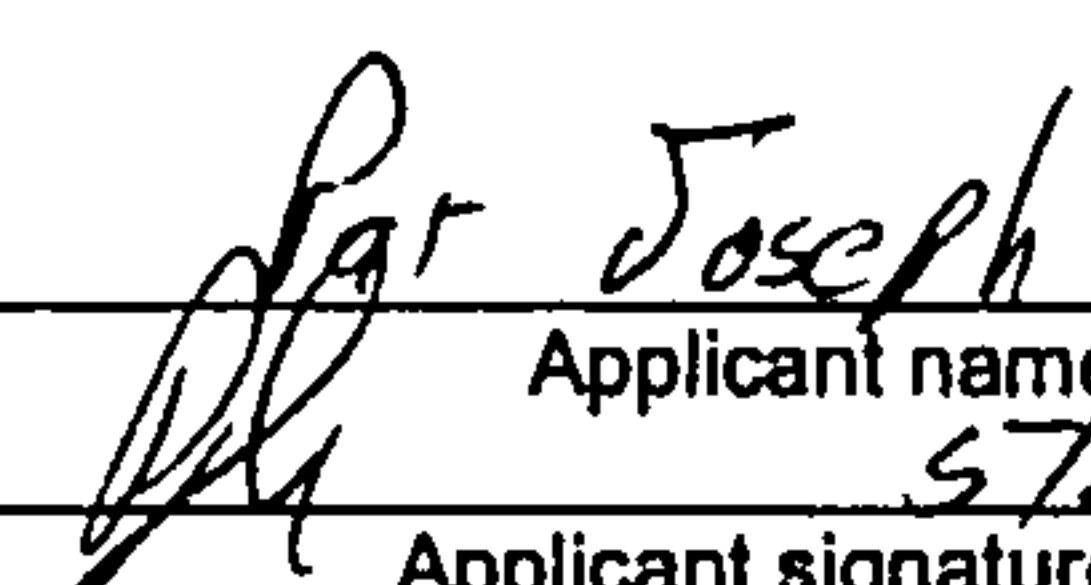
FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

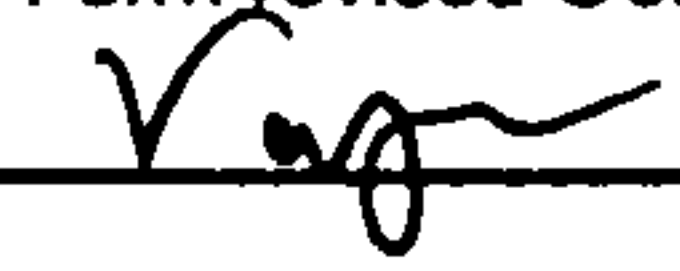

 _____ Applicant name (print): Par Joseph
 _____ Applicant signature / date 5/24/10

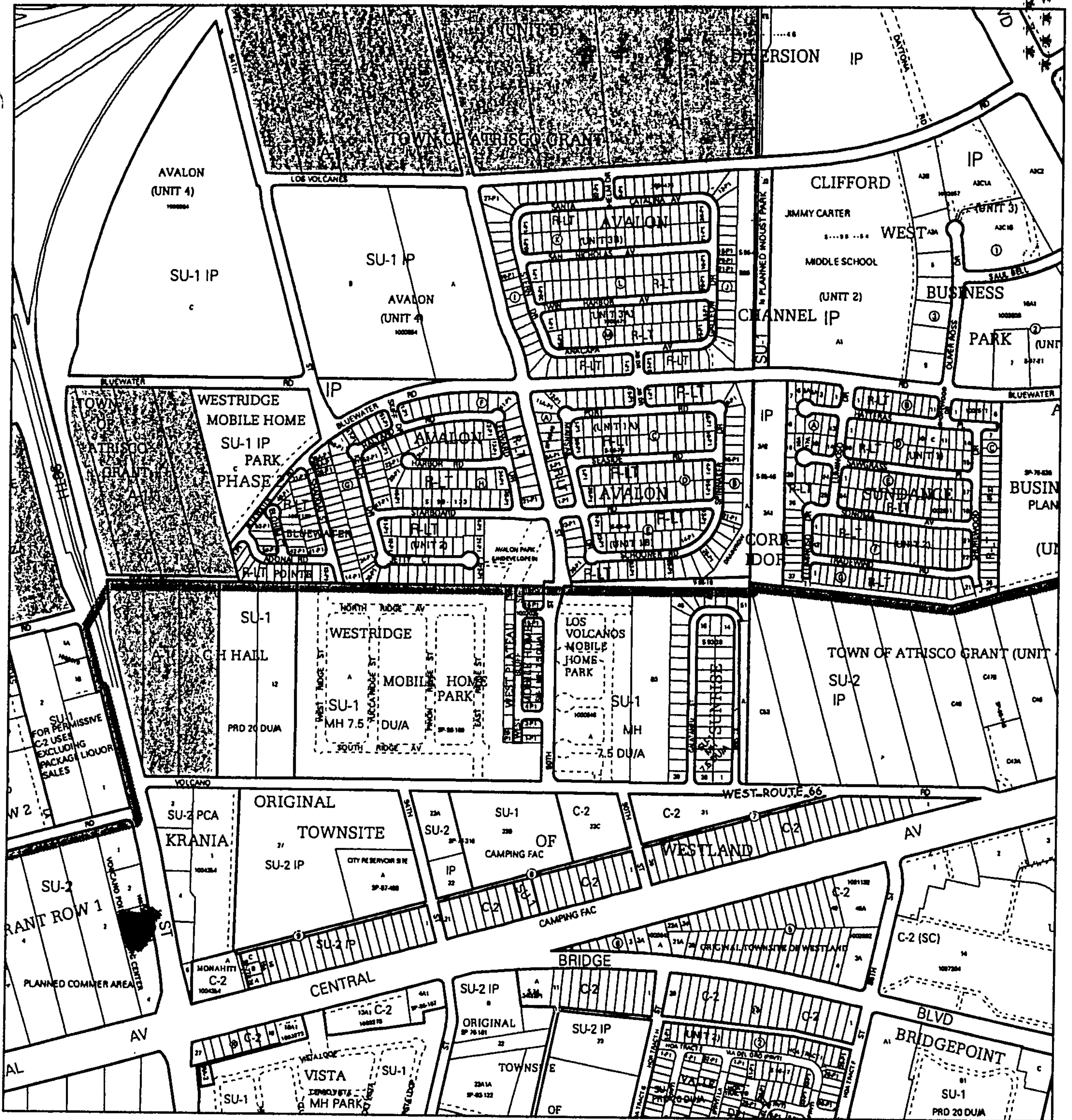


Form revised October 2007

Checklists complete
 Fees collected
 Case #s assigned
 Related #s listed

Application case numbers
 1003794 - 20155


 _____ Planner signature / date 5-27-10
 Project # 1003794



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 6/5/2009

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
K-09-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet



RESIDENTIAL AND
COMMERCIAL
CONSTRUCTION
LICENSE 053428

PAT JOSEPH

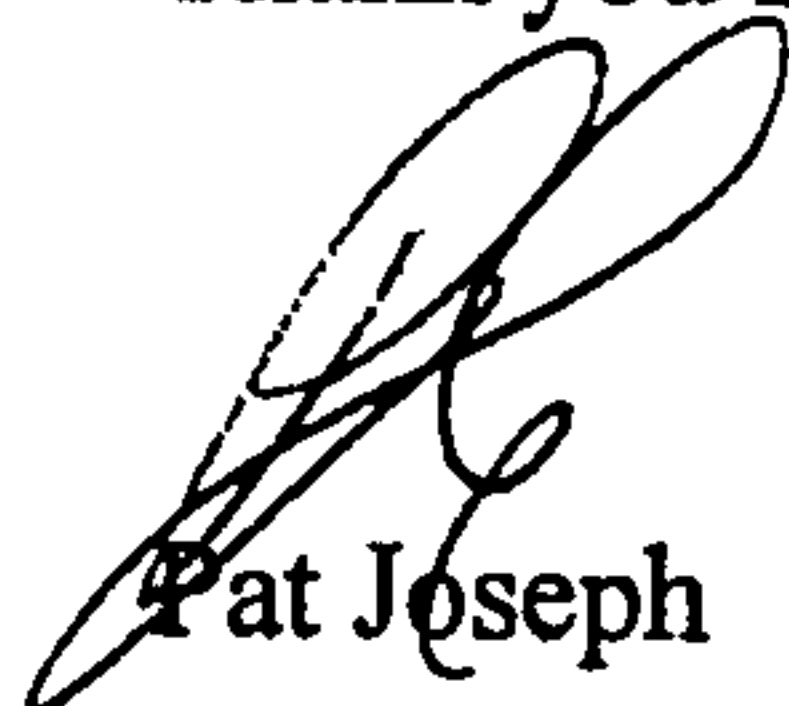
5/19/10
City Of Albuquerque Development Plan Review

Project Title:
Burger King Restaurant
Project Location : 111 98th Street N.W. Albuquerque New Mexico

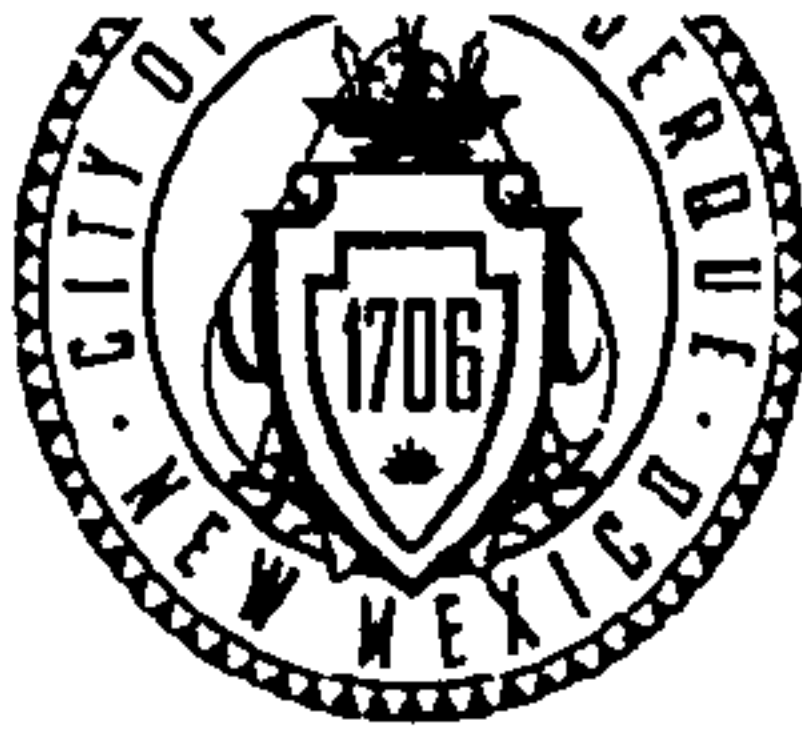
Project Narrative:

We are proposing the construction of a Burger King Restaurant for lot # 3 of the Volcano Point Shopping Center. The site was pre-approved for a fast food restaurant in March of 2007. The new building fits into the existing building envelope, and will not require any site adjustments. This restaurant is compatible with the existing Auto Zone to the North and the new shop space under construction to the South. We are compliant with the Architectural Design Requirements, (Sheet AS1) as to design ,color, flat roof , and height requirements. We are also compliant with the Pad Architectural Design Standards (Sheet AS1) as to color, wall type, and patio furniture.

Thank you for your consideration,



Pat Joseph



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

May 17, 2010

Pat Joseph
P.J. Developments, Inc.
P.O. Box 14903/87191
Phone: 505-263-6965/Fax: 505-797-4800

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Dear Pat:

Thank you for your inquiry of May 17, 2010 requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) LOT 3 OF VOLCANO POINT SHOPPING CENTER (BEING A REPLAT OF TRACT 1-A, ROW 1, UNIT A, WEST OF WESTLAND), WITHIN THE TOWN OF ATRISCO GRANT, LOCATED ON 98TH STREET NW BETWEEN CENTRAL AVENUE NW AND VOLCANO ROAD NW** Zone Map: **K-9**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

AVALON N.A. "R"

Kelly Chappelle

9135 Santa Catalina Ave. NW/87121 836-1766 (h)

Evonne Hight

8624 Hatteras Pl. NW/87121 553-1732 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck

Neighborhood Liaison

OFFICE OF NEIGHBORHOOD COORDINATION

Planning Department

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD AND/OR
HOMEOWNER ASSOCIATION.**

planningrnaform(05/22/08)



RESIDENTIAL AND
COMMERCIAL
CONSTRUCTION
LICENSE 053428

PAT JOSEPH

5/18/10
Evyonne Hight
8624 Hatteras Pl. N.W.
Albuquerque New Mexico 87121

Greetings,

I am writing you with reference to the vacant property located at 111 98th St N.W. Legal description is as follows: Lot 3 of Volcano Point Shopping Center (Being a Replat of Tract 1-A Row 1, Unit A, West of Westland), within the Town of Atrisco Grant, in the City of Albuquerque. This property is on the West side of the street, between the existing Auto Zone and the new Commercial spaces (currently under construction). We are bordered by Central Ave. to the South and Volcano Blvd to the North.

I am the agent for the owner and we are requesting DRB Site plan approval for a building permit for a Burger King Fast Food Restaurant. The property was approved for this use in March of 2007. The building will fit into the approved envelope and the parking will remain the same (34 spaces).

Should you have questions , My Contact information is as follows:

Pat Joseph
P.J.Developments Inc.
P.O Box 14903
Albuquerque New Mexico 87191
Phone - 505-263-6965

Your time is appreciated

Sincerely


Pat Joseph



RESIDENTIAL AND
COMMERCIAL
CONSTRUCTION
LICENSE 053428

PAT JOSEPH

5/18/10
Kelly Chappelle
9135 Santa Catalina Ave N.W.
Albuquerque New Mexico 87121

Greetings,

I am writing you with reference to the vacant property located at 111 98th St N.W. Legal description is as follows: Lot 3 of Volcano Point Shopping Center (Being a Replat of Tract 1-A Row 1, Unit A, West of Westland), within the Town of Atrisco Grant, in the City of Albuquerque. This property is on the West side of the street, between the existing Auto Zone and the new Commercial spaces (currently under construction). We are bordered by Central Ave. to the South and Volcano Blvd to the North.

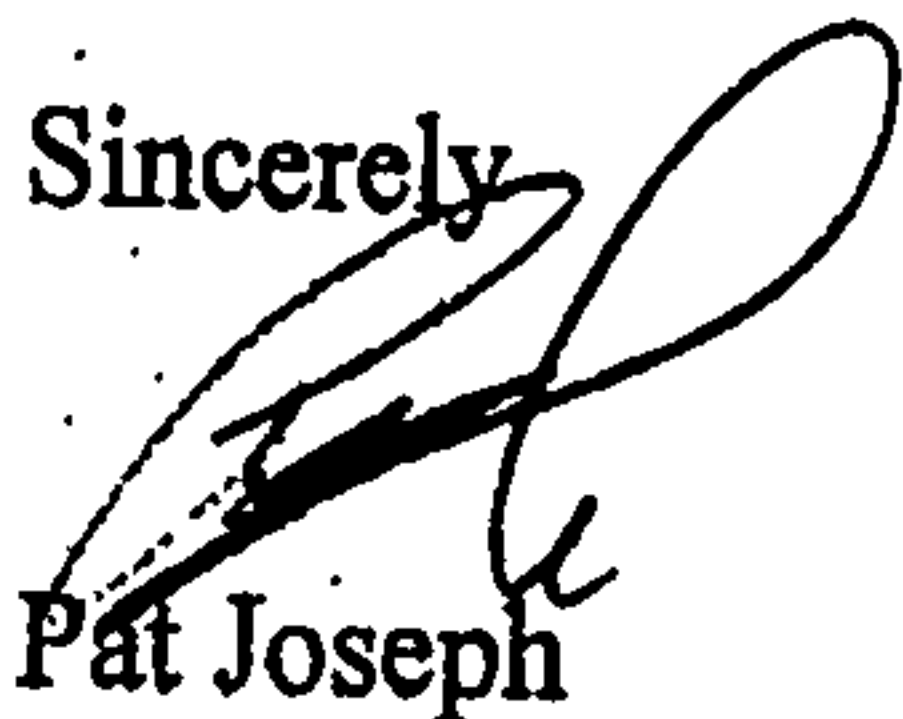
I am the agent for the owner and we are requesting DRB Site plan approval for a building permit for a Burger King Fast Food Restaurant. The property was approved for this use in March of 2007. The building will fit into the approved envelope and the parking will remain the same (34 spaces).

Should you have questions , My Contact information is as follows:

Pat Joseph
P.J.Developments Inc.
P.O Box 14903
Albuquerque New Mexico 87191
Phone - 505-263-6965

Your time is appreciated

Sincerely



Pat Joseph

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none"> Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	<p>A. Signature <input checked="" type="checkbox"/> Agent <input checked="" type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) JAMES HIGHT</p> <p>C. Date of Delivery 5/21/10</p>
<p>1. Article Addressed to: Evonne Hight 8624 Hatteras Pl. P.O. Albuquerque N.M. 87121</p>	<p>D. Is delivery address different from item 1? If YES, enter delivery address below:</p> <p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>3. Service Type <input type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input checked="" type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.</p> <p>4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes</p>
<p>2. Article Number (Transfer from service label)</p>	<p>PS Form 3811, February 2004 Domestic Return Receipt 102595-02-11-1540</p>

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none"> Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	<p>A. Signature <input checked="" type="checkbox"/> Agent <input checked="" type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) Mackell Chapman</p> <p>C. Date of Delivery 5/21/10</p>
<p>1. Article Addressed to: Kelly Chappelle 9135 Santa Catalina Ave N Albuquerque N.M. 87121</p>	<p>D. Is delivery address different from item 1? If YES, enter delivery address below:</p> <p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>3. Service Type <input type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.</p> <p>4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes</p>
<p>2. Article Number (Transfer from service label)</p>	<p>PS Form 3811, February 2004 Domestic Return Receipt 102595-02-11-1540</p>

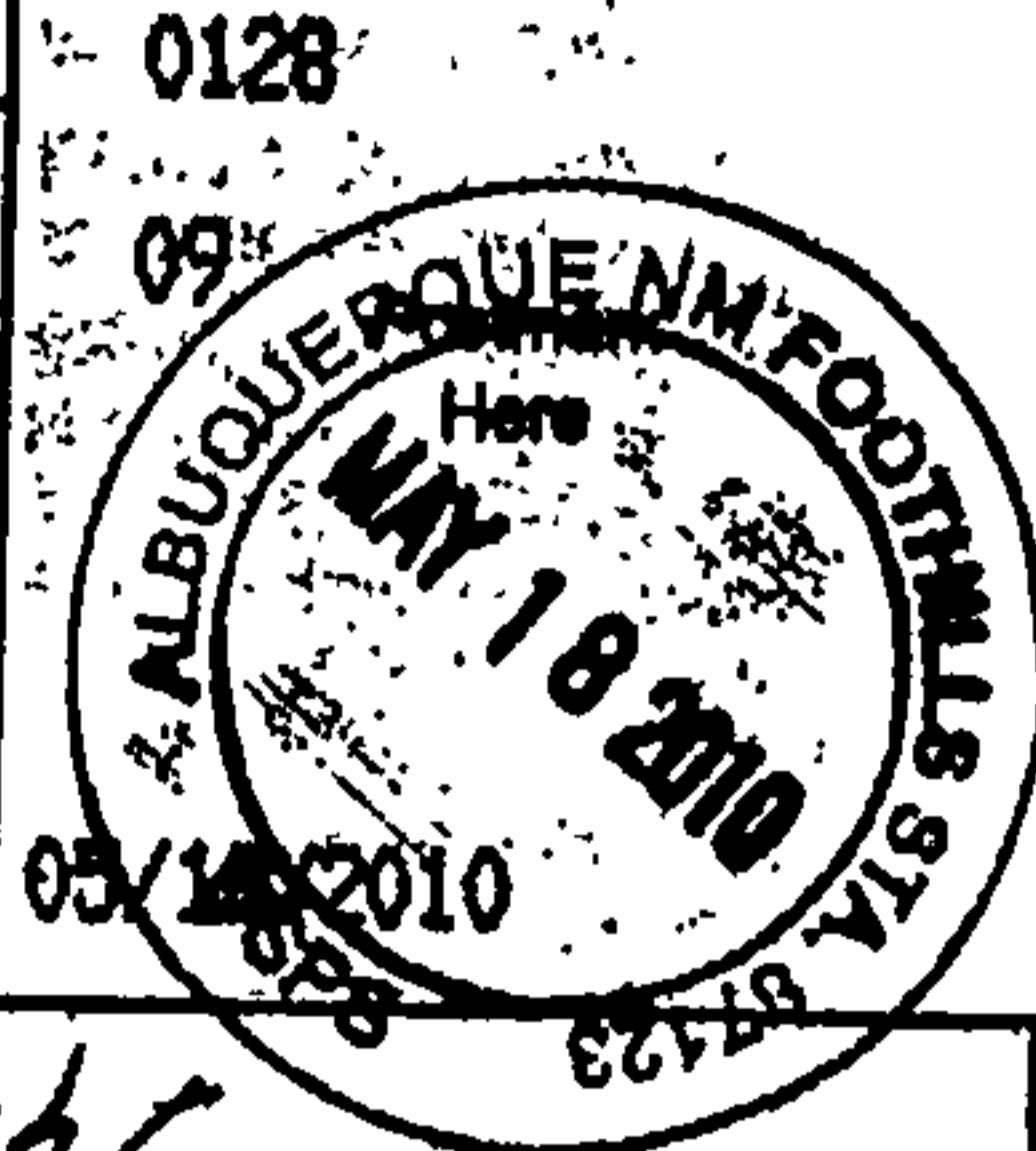
9895 05ES E000 0620 0T02

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only: No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$0.88
Certified Fee	\$2.80
Return Receipt Fee (Endorsement Required)	\$2.30
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$5.98



Sent To Everette Hight
 Street, Apt. No.,
 or PO Box No. 8624 Hatters Pl. N.W.
 City, State, ZIP+4 Albuquerque N.M. 87124

PS Form 3800 August 2006 See Reverse for Instructions

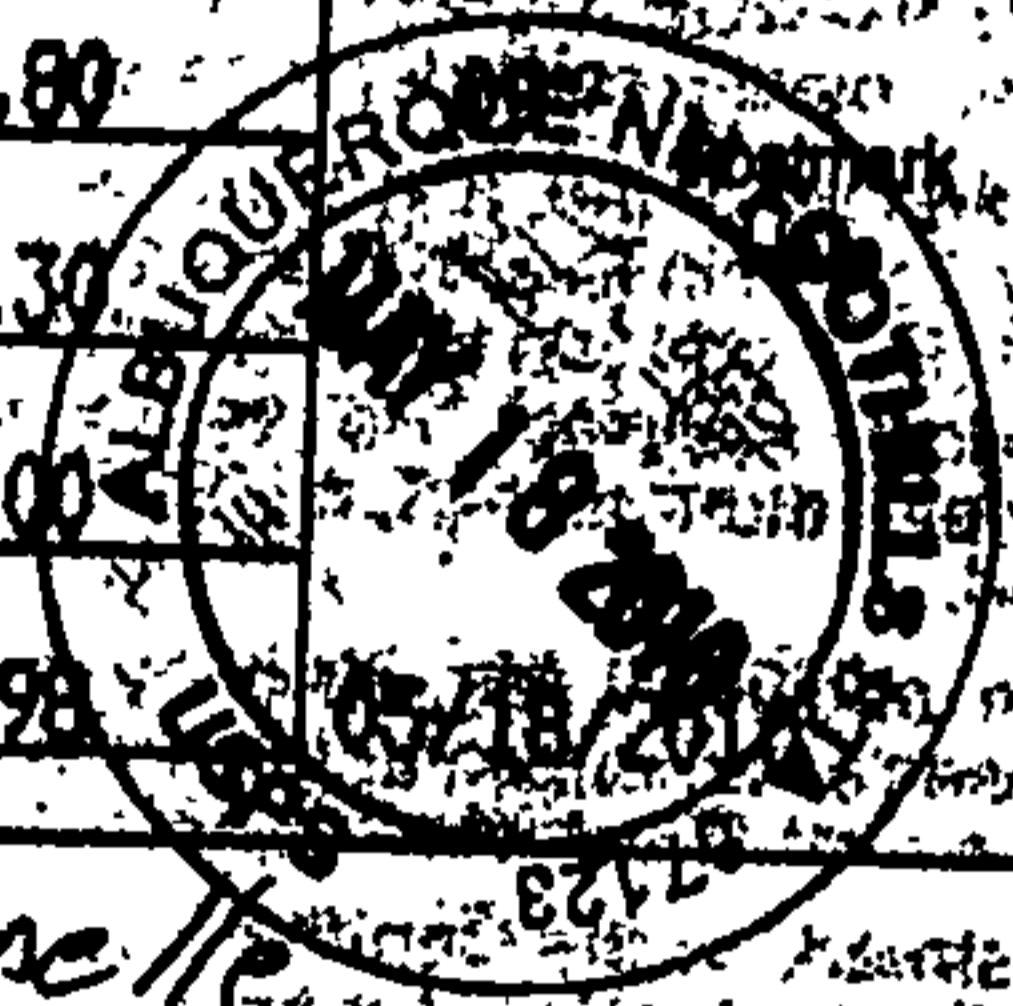
6295 05ES E000 0620 0T02

U.S. Postal Service
CERTIFIED MAIL RECEIPT
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OFFICIAL USE

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Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$5.98



Sent To Kelly Chappelle
 Street, Apt. No.,
 or PO Box No. 9135 Santa Catalina Ave P.O.
 City, State, ZIP+4 Albuquerque N.M. 87124

PS Form 3800 August 2006 See Reverse for Instructions



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, June 23, 2010, beginning at 9:00 a.m. for the purpose of considering the following:

Project# 1000248

**10DRB-70147 VACATION OF PUBLIC
DRAINAGE EASEMENT**

TIERRA WEST LLC agent(s) for WESTERN SECURITY REAL ESTATE request(s) the referenced/ above action(s) for two temporary drainage easements on a portion of Tract(s) A, **WEST RIDGE MOBILE HOME PARK** zoned SU-1 FOR MHP (Mobil Home Park), located on the north side of VOLCANO RD NW between 98TH ST NW and 90TH ST NW containing approximately 27.4898 acre(s). (K-9)

Project# 1006865

**10DRB-70146 MAJOR - 1 YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT (1YR SIA)**

TIERRA WEST LLC agent(s) for SOUTHWEST REGIONAL COUNCIL OF CARPENTERS request(s) the referenced/ above action(s) for all or a portion of Tract(s) A-1-A, **COMANCHE BUSINESS PARK** zoned M-1, located on PAN AMERICAN FWY NE between COMANCHE RD NE and VASSAR DR NE containing approximately 15.6299 acre(s). (G-16)

Project# 1001164

**10DRB-70153 VACATION OF PUBLIC
UTILITY EASEMENT**

JACKS HIGH COUNTRY INC agent(s) for HUNT UPTOWN IV LLC request(s) the referenced/ above action(s) for a portion of a 10 foot public utility easement on Tract(s) B-1-A-1, **ST PIUS X SUBDIVISION** zoned SU-3 MU-UPT (Mixed Use Uptown) /BUFFER, located on the northeast corner of INDAIN SCHOOL RD NE and UPTOWN LOOP RD containing approximately 1.1490 acre(s). (H-19)

Project# 1001939

**10DRB-70156 VACATION OF PUBLIC
SANITARY SEWER EASEMENT**

JD HOMEBUILDER CORP agent(s) for MECCI UGENIA request(s) the referenced/ above action(s) for a portion of a 20 foot sanitary sewer easement on Lot(s) 5, **CIELO OESTE SUBDIVISION** zoned RD, located on the north side of CASA FLORIDA PL NW east of CASA VISTOSA CT NW AND CASA LINDA CT NW containing approximately 0.1007 acre(s). (H-9)

Project# 1003095
10DRB-70151 SIDEWALK WAIVER
10DRB-70152 SUBDIVISION DESIGN
VARIANCE FROM MIN DPM STDS
10DRB-70150 MAJOR - PRELIMINARY
PLAT APPROVAL

WAYJOHN SURVEYING INC agent(s) for FRED CASALE/ JAMES SELIGMAN request(s) the referenced/ above action(s) for all or a portion of Lot(s) 2-A-2, **LA MIRADA SUBDIVISION (TO BE KNOWN AS LA MIRADA TOWNHOMES)** zoned O-1 (CONDITIONAL USE) AND P, located on the south side of LA MIRADA PL NE between WYOMING BLVD NE and PENNSYLVANIA ST NE containing approximately 1.1443 acre(s). (G-19)

Project# 1003794
10DRB-70155 MAJOR – SITE
DEVELOPMENT PLAN FOR BUILDING
PERMIT

PAT JOSEPH agent(s) for DOUGLAS PETERSON - PETERSON PROPERTIES request(s) the referenced/ above action(s) for all or a portion of Lot(s) 3, **VOLCANO POINT SHOPPING CENTER** zoned SU-2 FOR PCA (Planned Commercial Area), located on the west side of 98TH ST NW between CENTRAL AVE NW and VOLCANO RD NW containing approximately .7516 acre(s). (K-9)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3391 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Jack Cloud, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JUNE 7, 2010.

~~HEARING~~ DATE 6-23-10 (S&P)



COMPLETED 10/21/08
DRB CASE ACTION LOG (SDP - BUILDING PERMIT)
 REVISED 10/08/07

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This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 08DRB-70238 Project # 1003794
 Project Name: VOLCANO POINT SHOPPING CENTER
 Agent: GEORGE RAINHART & ASSOCIATES Phone No.: 884-9110 X106

Your request was approved on _____ by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: 5/1/11 ok BAR

PARKS / CIP: _____

PLANNING (Last to sign): 10-21-08 [Signature]

- Planning must record this plat. Please submit the following items:**
- The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

Created On:



DRB
CASE
ACTION
LOG

DRB CASE ACTION LOG (SDP – BUILDING PERMIT)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 08DRB-70238	Project # 1003794
Project Name: VOLCANO POINT SHOPPING CENTER	
Agent: GEORGE RAINHART & ASSOCIATES	Phone No.: 884-9110 X106

Your request was approved on _____ by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: 5/1/11

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

Created On:



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 27, 2008

Project# 1003794

08DRB-70238 MAJOR – SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

GEORGE RAINHART & ASSOC agent(s) for PETERSON PROPERTIES request(s) the above action(s) for Lots 3 and 4, **VOLCANO POINT SHOPPING CENTER**, zoned SU-2 / PCA, located on the northwest corner of 98TH ST NW AND CENTRAL AVE NW containing approximately 1.9833 acre(s). (K-9) [*Deferred from 6/25/08, 7/9/08, 7/23/08 & 8/13/08.*]

At the August 27, 2008, Development Review Board meeting, with the signing of the infrastructure list dated 8/27/08, the site plan for building permit was approved with final sign off delegated to city engineer for the SIA and to Planning for 3 copies of the approved site plan.

If you wish to appeal this decision, you must do so by September 11, 2008 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Jack Cloud, AICP, DRB Chair

Cc: George Rainhart & Assoc. – 2325 San Pedro NE Ste 2B – Albuquerque, NM 87110
Cc: Peterson Properties - 2325 San Pedro NE Ste 2A – Albuquerque, NM 87110
Marilyn Maldonado
File

3. **Project# 1001306**
08DRB-70326 VACATION OF PUBLIC
EASEMENT

SURV-TEK INC agent(s) for PETE DASKALOS
PROPERTIES request(s) the above action(s) for all or a
portion of Tract(s) 1-C, **SEVILLE** zoned SU-1 FOR C-1,
located on UNIVERSE BLVD NW BETWEEN AVENIDA
SEVILLE AND IRVING BLVD NW containing
approximately 9.1925 acre(s). (A-10){*deferred from*
8/13/08}**DEFERRED TO 9/10/08 AT THE AGENT'S**
REQUEST.

4. ~~**Project# 1003794**~~
08DRB-70238 MAJOR – SITE
DEVELOPMENT PLAN FOR
BUILDING PERMIT

GEORGE RAINHART & ASSOC agent(s) for
PETERSON PROPERTIES request(s) the above action(s)
for Lots 3 and 4, **VOLCANO POINT SHOPPING**
CENTER, zoned SU-2 / PCA, located on the northwest
corner of 98TH ST NW AND CENTRAL AVE NW
containing approximately 1.9833 acre(s). (K-9) [*Deferred*
from 6/25/08, 7/9/08, 7/23/08 & 8/13/08.] **WITH THE**
SIGNING OF THE INFRASTRUCTURE LIST DATED
8/27/08, THE SITE PLAN FOR BUILDING PERMIT WAS
APPROVED WITH FINAL SIGN OFF DELEGATED TO
CITY ENGINEER FOR THE SIA AND TO PLANNING
FOR 3 COPIES OF THE APPROVED SITE PLAN.

5. **Project# 1002516**
08DRB-70333 MAJOR - - 2YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS (2YR SIA)

MARK GOODWIN AND ASSOCIATES PA agent(s) for
KB HOME NEW MEXICO INC request(s) the above
action(s) for all or a portion of **ANDERSON HEIGHTS**
Unit(s) 9, zoned RD and RLT, located on the south side of
AMOLE MESA AVE SW BETWEEN 118TH ST SW
AND PORTO ST SW containing approximately 56.3327
acre(s). (N-8) **AN EXTENSION OF THE SUBDIVISION**
IMPROVEMENTS AGREEMENT WAS GRANTED TO
12/08/08.

6. **Project# 1007139**
08DRB-70299 VACATION OF PUBLIC
EASEMENT
08DRB-70304 SIDEWALK WAIVER
08DRB-70305 MINOR - TEMP DEFR
SWDK CONST
08DRB-70306 MAJOR - PRELIMINARY
PLAT APPROVAL
08DRB-70307 MAJOR - SDP FOR
SUBDIVISION

MARK GOODWIN AND ASSOCIATES PA agent(s) for
JUAN TABO HILLS LLC request(s) the above action(s)
for all or a portion of Tract(s) 3-A & 4-A, **JUAN TABO**
HILLS Unit(s) 1, zoned RD, SU-1, located on JUAN
TABO BLVD SE BETWEE N GULFSTREAM DR SE
AND TIJERAS ARROYO containing approximately
14.3953 acre(s). (M-22) [*Deferred from*
7/30/08] **DEFERRED TO 9/3/08 AT THE AGENT'S**
REQUEST.



**DEVELOPMENT REVIEW BOARD
AGENDA**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

August 27, 2008 9:00 AM

MEMBERS:

Jack Cloud, AICP, DRB Chairman, Planning Department

Angela Gomez, Administrative Assistant

**Kristal Metro, P.E., Transportation Development
Brad Bingham, P.E., Hydrology/ Alternate City Engineer**

**Roger Green, P.E., Albuquerque/ Bernalillo Co.WUA
Christina Sandoval, Parks/Municipal Development**

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. Project# 1004240**
08DRB-70347 MAJOR - - 2YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS (2YR SIA)

ADVANCED ENGINEERING. AND CONSULTING.
agent(s) for VILLAS LAS MANANITAS
DEVELOPMENT LLC request(s) the above action(s) for
VILLAS LAS MANANITAS SUBDIVISION zoned R-1,
located on MANANITAS LN NW north of INDIAN
SCHOOL RD NW BETWEEN MEADOW VIEW DR NE
AND RIO GRANDE BLVD NW containing approximately
4.5624 acre(s). (H-13) **THE TWO YEAR EXTENSION OF
THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA)
WAS APPROVED**
- 2. Project# 1004677**
08DRB-70346 SUBDIVISION DESIGN
VARIANCE FROM MINIMUM DPM
STANDARDS

ISAACSON AND ARFMAN PA agent(s) for INFILL
SOLUTIONS, LLC request(s) the above action(s) for curb
& gutter all or a portion of Lot(s) A1A, LAGUNA,
Tract(s) A & B, **HB & CALVIN HORN**, 129B1A,
MRGCD Map #35, and Tract B, **HUNING CASTLE
ADDITION (TBKA COUNTRY CLUB PLAZA)**, zoned
SU-2 / CLD, located on the south side of CENTRAL AVE
SW BETWEEN LAGUNA BLVD SW AND SAN
PASQUALE AVE SW containing approximately 3.1303
acre(s). (J-13) **BASED ON THE INFORMATION
PROVIDED, THE SUBDIVISION DESIGN VARIANCE
FROM MINIMUM STANDARDS WAS APPROVED.**

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003794

AGENDA ITEM NO: 4

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

ENGINEERING COMMENTS:

An approved Subdivision Improvements Agreement with financial guarantees is required for Site Development Plan sign-off.

Albuquerque

NM 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: August 27, 2008

DRB PUBLIC HEARING SIGN IN SHEETS

DRB PUBLIC HEARING SIGN IN SHEETS

DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1003794 AGENDA# 4 DATE: 8/27/08

1. Name: _____ Address: _____ Zip: _____
2. Name: _____ Address: _____ Zip: _____
3. Name: _____ Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
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12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____
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16. Name: _____ Address: _____ Zip: _____
17. Name: _____ Address: _____ Zip: _____



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

June 18, 2008

Project# 1003794

08DRB-70238 MAJOR – SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

GEORGE RAINHART & ASSOC agent(s) for PETERSON PROPERTIES request(s) the above action(s) for Lots 3 and 4, **VOLCANO POINT SHOPPING CENTER**, zoned SU-2 / PCA, located on the northwest corner of 98TH ST NW AND CENTRAL AVE NW containing approximately 1.9833 acre(s). (K-9)

AMAFCA No comment.
COG Central Av is designated for ITS improvements as part of ITS Project 13 "Central Av ITS Deployment" in the ITS Implementation Plan. This project includes CCTV, Remote Monitoring Stations, and Signal Controller upgrades and coordination. 98 th St is designated for ITS improvements on the Long Range ITS Implementation Map. Coordination with City representative on ITS Subcommittee is recommended. For information purposes, Central Av is functionally classified as an urban principal arterial. 98 th functionally classified as an urban minor arterial
TRANSIT No comments.
ZONING ENFORCEMENT 1.) Drive-through facilities included on the condition the vehicle movement plan is approved by the Traffic Engineer. 2.) On corner lots less than five acres are permitted only one freestanding sign. Removal of one free standing sign for the retail shops is needed to conform with the West Route 66 sector plan.
NEIGHBORHOOD COORDINATION Letters sent to: Avalon NA (R) Westside Merchants Assoc. (R) Westgate Heights NA (R)
APS Volcano Point Shopping Center, Lots 3 and 4 is located on the northwest corner of 98 th St NW and Central Ave NW. The owner of the above property requests approval of a Major-Site Development Plan for Building Permit for a development that will consist of a retail shopping center and one restaurant shell/drive-thru building. This will have no adverse impacts to the APS district.
POLICE DEPARTMENT No comments.
FIRE DEPARTMENT No comments.
PNM ELECTRIC & GAS No comments.

COMCAST
QWEST
ENVIRONMENTAL HEALTH
M.R.G.C.D
OPEN SPACE DIVISION
CITY ENGINEER
TRANSPORTATION DEVELOPMENT
PARKS AND RECREATION
ABCWUA
PLANNING DEPARTMENT

COMCAST

No comments.

QWEST

No comments.

ENVIRONMENTAL HEALTH

No comments.

M.R.G.C.D

No adverse comments.

OPEN SPACE DIVISION

Open space has no adverse comments.

CITY ENGINEER

An updated Grading and Drainage plan is required to be submitted to Hydrology.
An executed Subdivision Improvements Agreement with financial guarantees is required for Site Plan approval.

TRANSPORTATION DEVELOPMENT

What is the status of the plat for this site?

An infrastructure list is required for this site.

Offsite mitigation must be determined for this site prior to infrastructure list approval. A separate meeting will be required.

Additional geometric information must be provided. Call out all aisle widths, radii, parking dimensions, etc.

A copy of the Traffic Impact Study (TIS) / Air Quality Impact Assessment (AQIA) Form is not included with this submittal. Additional information regarding the TIS is required.

See EPC conditions 6.A – 6.M. These items must be addressed prior to approval.

Right of way dedication is required. See EPC conditions.

Call out the queuing length of the drive through.

Drive Through Facility: Minimum lane widths are 12 feet minimum with a 25-foot minimum radius (inside edge) for all turns. (A 15-foot radius can be used with an increase in lane width to 14 feet).

The dimensions that are provided are unclear where they interfere with drafting lines. Please clarify.

PARKS AND RECREATION

Are you building a sidewalk or bike trail along 98th street. Both are identified on the plan. If it is a bike trail it needs to be 10 ft wide.

ABCWUA

No adverse comments.

PLANNING DEPARTMENT

The cover sheet should be the EPC approved (signed-off) site development plan for subdivision. Lot 1 data on Sheet AS2 needs to be revised, REF: 07AA-10012, approved 18 July 07.

It appears the 5 parking spaces located on lot 4 but only accessible from Lot 3 have been double counted; a variance or reduction in building area is required.

A pedestrian walkway is needed from the public sidewalk on 98th St to the Fast Food Restaurant; recommend south side of vehicular entry, and moving HC spaces south to align with new walkway. Refuse container in corner of 98th and Central needs to be moved away from public right-of-way. Landscaping needs to be shown between curb and sidewalk.

TIS

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

Cc: George Rainhart & Associates – 2325 San Pedro NE Ste. 2B – Albuquerque, NM
87110

Cc: Peterson Properties – 2325 San Pedro NE Ste. 2A – Albuquerque, NM 87110

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1003794

AGENDA ITEM NO: 4

SUBJECT:

Site Plan for Building Permit

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

An approved SIA with Financial Guarantee(s) is required prior to site plan sign off by City Engineer.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee
(K-09 D033 - VALERO CORNER STORE @ VOLCANO POINT)

505-924-3986

DATE: SEPTEMBER 19, 2007

Jon →

① No FBC

end of meeting

Joel

① make sure Coors Corridor Plan deferred.
90 days - double check

Mini - Work Order - 8 1/2 x 11 copies

Vertical text on the right margin, possibly a page number or reference code.

DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT
Standard Comment Sheet

DRB- 1003794 Item No. 4 Zone Atlas K-9

DATE ON AGENDA 9-19-07

INFRASTRUCTURE REQUIRED (X) YES () NO

CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

- () SKETCH PLAT () PRELIMINARY PLAT () FINAL PLAT
- () SITE PLAN REVIEW AND COMMENT () SITE PLAN FOR SUBDIVISION
- (X) SITE PLAN FOR BUILDING PERMIT

No.	Comment
1)	The radius values per the EPC conditions need to be placed on the site plan sheet.
2)	The sidewalk and infrastructure improvements to Volcano need to be shown and labeled "Per City Work Order".
3)	On the infrastructure list, Volcano Road will need to be flared out to 30' wide at the intersection with 98 th Street.

If you have any questions or comments please call Wilfred Gallegos at 924-3991. Meeting notes:

September 14, 2007

City of Albuquerque
Planning Department
Inter-Office Memorandum

#7

TO: Sheran Matson, DRB Chair

FROM: Maggie Gould, Planner

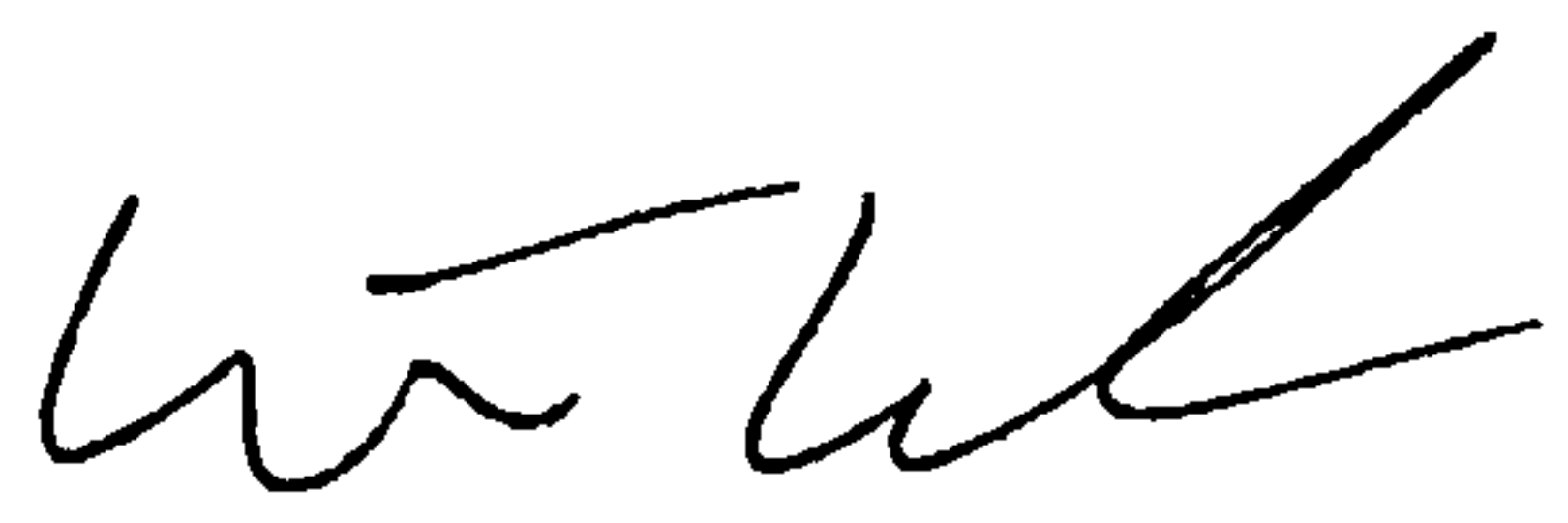
SUBJECT: Project # 1003794

The Environmental Planning Commission approved Project # 1003794 /06 EPC01586 Site Plan for Subdivision and 06EPC01587 Site Plan for Building Permit Lot 1 Volcano Point Shopping Center, located on 98th Street between Volcano road and Central Avenue NW on December 21, 2006. The applicant has satisfied all of the conditions of approval, with the following exceptions:

The note on the landscaping plan regarding changes in plant material should be deleted.

If you should have any questions regarding this case, please do not hesitate to call me at 924-3910.

Thank you.



11/11/07

September 14, 2007

City of Albuquerque
Planning Department
Inter-Office Memorandum

#7

TO: Sheran Matson, DRB Chair

FROM: Maggie Gould, Planner

SUBJECT: Project # 1003794

The Environmental Planning Commission approved Project # 1003794 /06 EPC01586 Site Plan for Subdivision and 06EPC01587 Site Plan for Building Permit Lot 1 Volcano Point Shopping Center, located on 98th Street between Volcano road and Central Avenue NW on December 21, 2006. The applicant has satisfied all of the conditions of approval, with the following exceptions:

The note on the landscaping plan regarding changes in plant material should be deleted.

If you should have any questions regarding this case, please do not hesitate to call me at 924-3910.

Thank you.





#4

Complete
Ag 2/15/08

DRB CASE ACTION LOG (SITE PLAN FOR BUILDING PERMIT)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-70250 (SBP) Project # 1003794
 Project Name: VOLCANO POINT SHOPPING CENTER
 Agent: C.A.D. SOLUTIONS LLC Phone No: 970-988-6302

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 9/19/07 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: See comments dated 9-19-07

ABCWUA: _____

CITY ENGINEER / AMAFCA: SLA

Maggie Boulders Interests
 3 copies

PARKS / CIP: _____

PLANNING (Last to sign): Maggie Boulders Interests

[Signature]

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Project Number 1003794



DRB CASE ACTION LOG (SITE PLAN FOR BUILDING PERMIT)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

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TRANSPORTATION: See comments dated 9-19-07

ABCWUA:

CITY ENGINEER / AMAFCA: SLA
Maggie Boulders/Intels
3 copies

PARKS / CIP:

PLANNING (Last to sign): Maggie Boulders/Intels
3 copies

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 - Tax certificate from the County Treasurer.
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 - Tax printout from the County Assessor.
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Project Number 1003794



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

September 19, 2007 9:00 A.M.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Sandra Handley, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, ABCWUA
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order 9:00 A.M. Adjourned: 10:00 AM
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. **Project# 1003747**
07DRB-70217 MAJOR - 2YR SUBD IMP
AGMT (2YR SIA)

TIERRA WEST LLC agent(s) for WAL-MART STORES EAST LP request(s) the above action(s) for all or a portion of Lot(s) 1-A, 1-B, 1-C, 4-A & 5-A, **WYOMING MALL, WAL-MART**, zoned C-2 (SC), located on WYOMING BLVD NE BETWEEN MENAUL BLVD NE AND NORTHEASTERN ST NE containing approximately 23.1 acre(s). (H-20) **TWO-YEAR EXTENSION OF THE SIA WAS APPROVED.**

2. **Project# 1002315**
07DRB-70216 VACATION OF PUBLIC
EASEMENT

JACK'S HIGH COUNTRY INC agent(s) for KEYSTONE HOMES request(s) the above action(s) for all or a portion of Lot(s) 33, **WILDERNESS AT HIGH DESERT, UNIT 2**, zoned SU-2 HD/RR, located on ALOLA GRANDE PL NE BETWEEN WILDLANDS PL NE AND HIGH DESERT PL NE containing approximately 0.4385 acre(s). (F-23) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A)(1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.**

3. **Project# 1006780**
07DRB-70215 MAJOR - SDP FOR
BUILDING PERMIT

GARLAN BRYAN ARCHITECT agent(s) for MATT PADILLA request(s) the above action(s) for all or a portion of Lot(s) 5, **JOURNAL CENTER PHASE 2, UNIT 1, L'IL SQUIRRELS PRESCHOOL**, zoned IP, located on HANCOCK CT NE BETWEEN WILCOTT AVE NE AND HAWKINS NE containing approximately 0.5016 acre(s). (D-17) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR SOLID WASTE'S SIGNATURE ON THE PLAN, A 15 DAY APPEAL PERIOD AND 3 COPIES.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

4. **Project# 1003794**
07DRB-70250 MINOR - SDP FOR
BUILDING PERMIT/EPC

C.A.D. SOLUTIONS LLC agent(s) for VALERO RETAIL HOLDINGS INC request(s) the above action(s) for all or a portion of Lot(s) 1, **VOLCANO POINT SHOPPING CENTER**, zoned SU-2 FOR PCA, located on 98TH ST NW BETWEEN VOLCANO RD NW AND CENTRAL AVE NW containing approximately 1.1 acre(s). [Maggie Gould, EPC Planner] (K-9) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR COMMENTS PROVIDED AT THE MEETING AND TO CITY ENGINEER FOR APPROVED SIA, MAGGIE GOULD'S INITIALS ON THE PLAN AND 3 COPIES.**

5. **Project# 1006832**
07DRB-70251 MINOR - SDP FOR
BUILDING PERMIT

CLAUDIO VIGIL ARCHITECTS agent(s) for PASEO ONE REAL ESTATE, LLC request(s) the above action(s) for all or a portion of Tract(s) C & E, **FOUNTAIN HILLS PLAZA SUBDIVISION**, zoned SU-1 FOR PDA FOR C-3 USES, located on PASEO DEL NORTE NW BETWEEN EAGLE RANCH NW AND NUNZIO AVE NW containing approximately 3.5 acre(s). (C-12) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR COMMENTS PROVIDED AT THE MEETING AND TO PLANNING FOR CARMEN MARRONE'S INITIALS ON THE PLAN AND 3 COPIES.**

6. **Project# 1003359**
07DRB-70226 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
07DRB-70227 MINOR - SDP FOR
BUILDING PERMIT

RIO GRANDE SURVEYING agent(s) for KASSAM BUSINESS CENTER LLC request(s) the above action(s) for all or a portion of Lot(s) 8-10 & 23-25, Tract(s) A, Block(s) 26, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2/IP, located on EAGLE ROCK AVE NE BETWEEN SAN PEDRO NE AND LOUISIANA NE containing approximately 6.01 acre(s). [Deferred from 09/05/07 & 09/12/07] (C-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 09/19/07, THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO THE PLANNING DEPARTMENT FOR COMMENTS IN THE FILE, AEHD'S SIGNATURE AND 3 COPIES.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

7. **Project# 1006813**
07DRB-70244 SKETCH PLAT REVIEW
AND COMMENT

MICHAEL CARLISLE agent(s) for BONNIE ROMERO request(s) the above action(s) for all or a portion of Lot(s) 23, 23 & 24, Block(s) 2, **BELMONT PLACE ADDITION**, zoned R-1, located on 5TH ST NW BETWEEN BELLROSE NW AND FREEMAN NW containing approximately 0.24 acre(s). (G-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

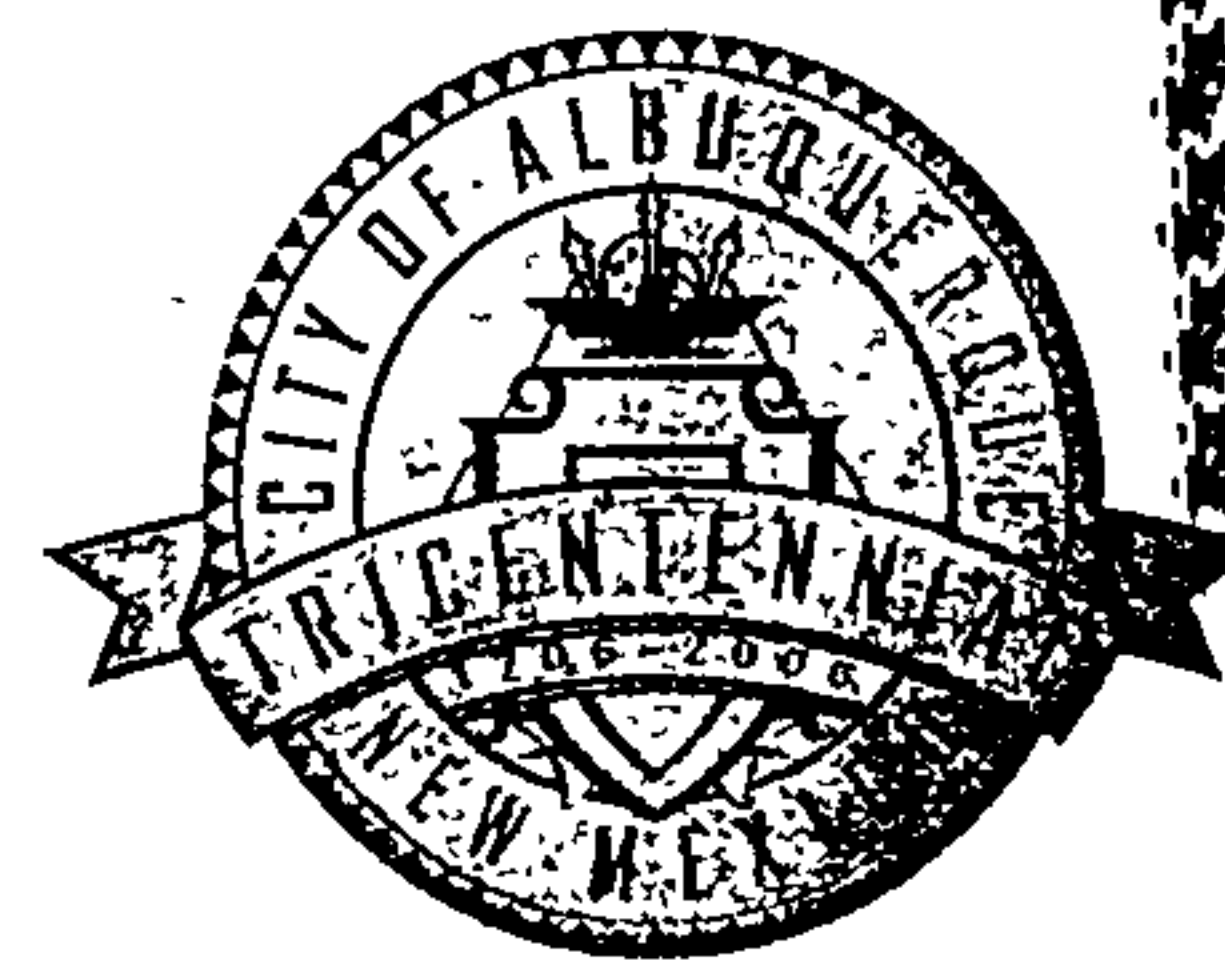
8. **Project# 1006830**
07DRB-70252 SKETCH PLAT REVIEW
AND COMMENT

KEITH MEYER request(s) the above action(s) for all or a portion of Lot(s) 8, Block(s) C, **SOUTH BROADWAY ACRES**, zoned R-1, located on ARNO SE BETWEEN WESMESCO SE AND SAN JOSE SE containing approximately 0.8 acre(s). (M-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

9. Other Matters: None.

ADJOURNED: 10:00 AM

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1003794

AGENDA ITEM NO: 4

SUBJECT:

Site Plan for Building Permit

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

An approved SIA with Financial Guarantee(s) is required prior to site plan sign off by City Engineer.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee
(K-09/D033 - VALERO CORNER STORE @ VOLCANO POINT)

DATE: SEPTEMBER 19, 2007
505-924-3986

September 14, 2007

City of Albuquerque
Planning Department
Inter-Office Memorandum

TO: Sheran Matson, DRB Chair

FROM: Maggie Gould, Planner

SUBJECT: Project # 1003794

The Environmental Planning Commission approved Project # 1003794 /06 EPC01586 Site Plan for Subdivision and 06EPC01587 Site Plan for Building Permit Lot 1 Volcano Point Shopping Center, located on 98th Street between Volcano road and Central Avenue NW on December 21, 2006. The applicant has satisfied all of the conditions of approval, with the following exceptions:

The note on the landscaping plan regarding changes in plant material should be deleted.

If you should have any questions regarding this case, please do not hesitate to call me at 924-3910.

Thank you.



City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION

___ Major Subdivision action
 ___ Minor Subdivision action
 ___ Vacation
 ___ Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

___ for Subdivision
 for Building Permit
 ___ Administrative Amendment (AA)
 ___ IP Master Development Plan
 ___ Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

___ Storm Drainage Cost Allocation Plan

Supplemental form

S Z ZONING & PLANNING

___ Annexation
 ___ County Submittal
 ___ EPC Submittal
 ___ Zone Map Amendment (Establish or Change Zoning)
 ___ Sector Plan (Phase I, II, III)
 ___ Amendment to Sector, Area, Facility or Comprehensive Plan
 ___ Text Amendment (Zoning Code/Sub Regs)
 ___ Street Name Change (Local & Collector)

D A APPEAL / PROTEST of...

___ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Pat Joseph PHONE: 263-6965
 ADDRESS: PO Box 14903 FAX: 797-4906
 CITY: Albuquerque STATE NM ZIP 87191 E-MAIL: PLJPM@AD1.com

APPLICANT: Douglas Peterson - Peterson Properties PHONE: 884-3578
 ADDRESS: 2325 San Pedro NE Suite 2-A FAX: 884-6793
 CITY: Albuquerque STATE NM ZIP 87110 E-MAIL: www.petersonproperties.net

Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: Approval of a Site Development Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 3 Block: _____
 Subdiv/Addn/TBKA: Plat of Lots 2 thru 4 Volcano Point Shopping Center
 Existing Zoning: S42 For PCA Proposed zoning: _____ MRGCD Map No. NH
 Zone Atlas page(s): H-9-Z UPC Code: 100905704005030106

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):
Project # 1003794, Application - 07DRB-00181

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? _____
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): .7516 AC
 LOCATION OF PROPERTY BY STREETS: On or Near: 98th St N.W
 Between: Central and Volcano

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Pat Joseph DATE 5/27/10
 (Print) Pat Joseph Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> INTERNAL ROUTING	<u>10DRB-20155</u>	<u>SBP</u>		\$ <u>385.00</u>
<input checked="" type="checkbox"/> All checklists are complete		<u>ADV</u>		\$ <u>75.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>LMF</u>		\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>June 23, 2010</u>			Total \$ <u>480.00</u>

Vaf 5-27-10 Project # 1003794
 Planner signature / date

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Pat Joseph
 Applicant name (print)
5/27/10
 Applicant signature / date



Form revised October 2007

Checklists complete
 Fees collected
 Case #s assigned
 Related #s listed

Application case numbers
10DRB - 20155

V. [Signature] 5-27-10
 Planner signature / date
 Project # 1003794

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

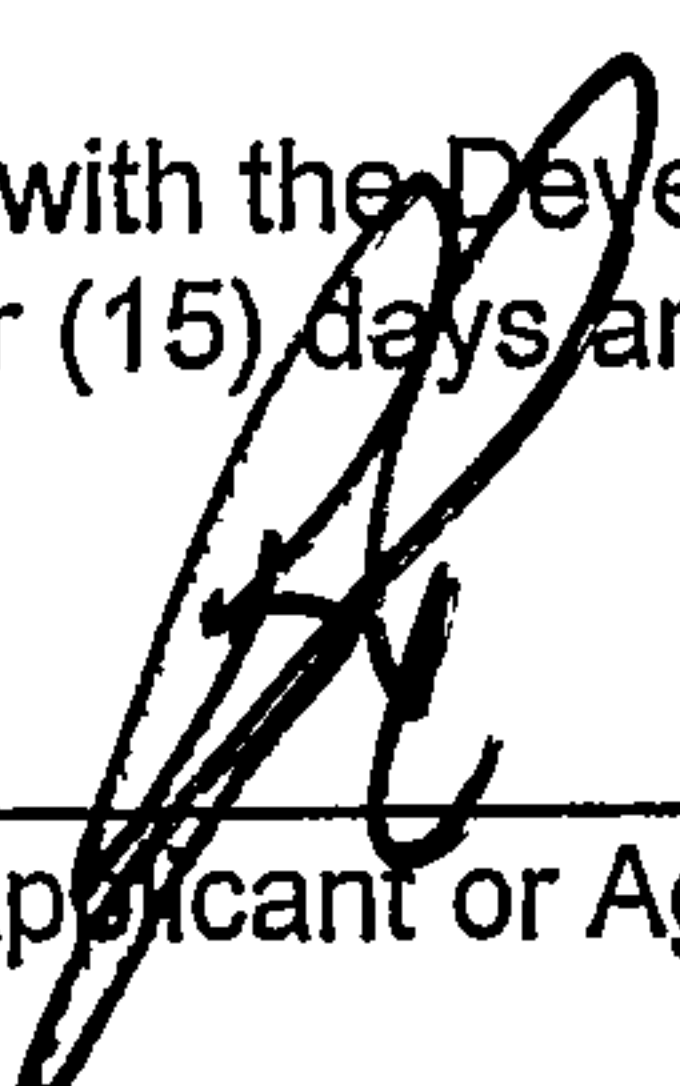
4. TIME

Signs must be posted from June 8, 2010 To June 23, 2010

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.



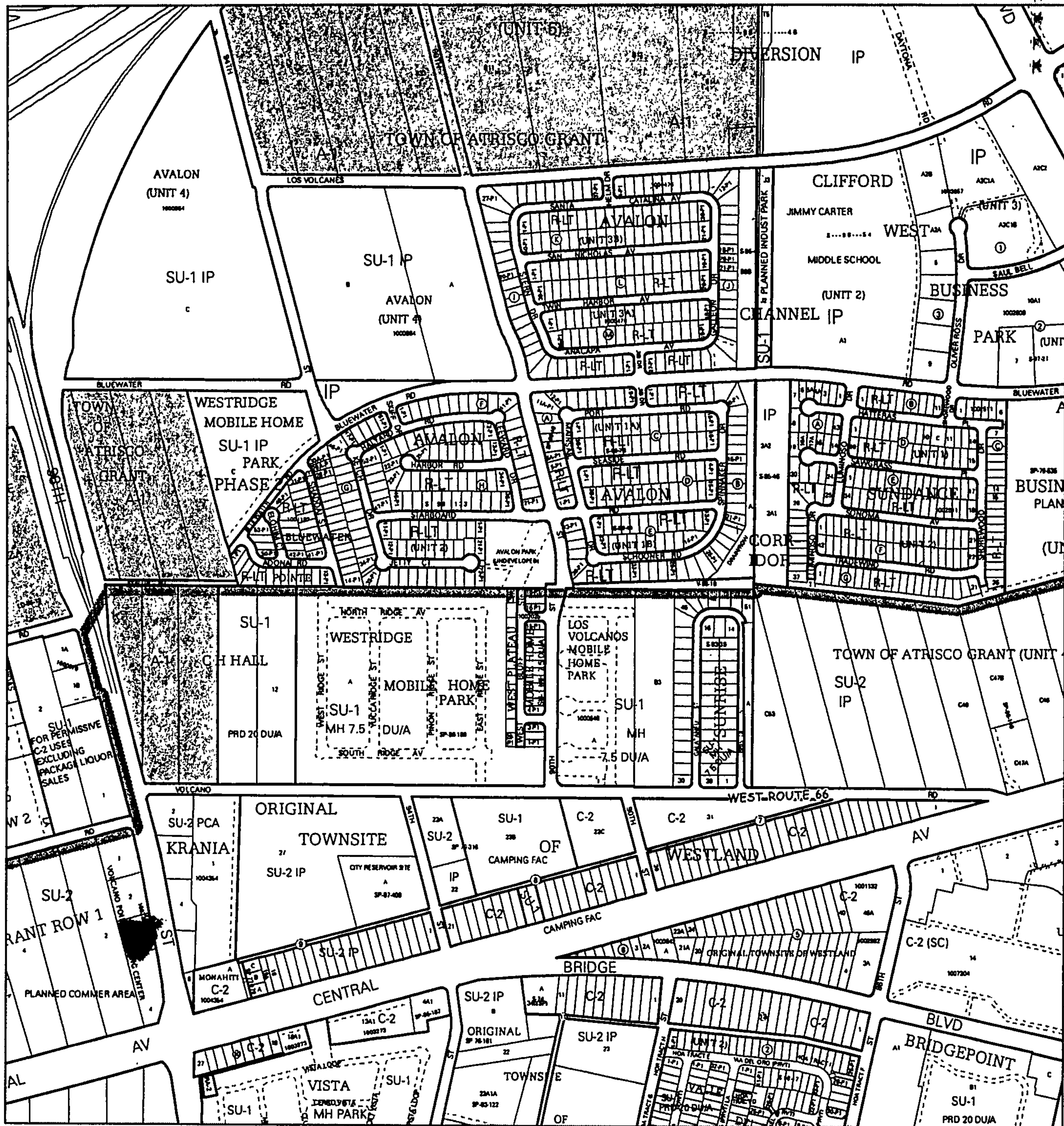
 (Applicant or Agent)

5/27/10

 (Date)

I issued 1 signs for this application, 5-27-10 _____
 (Date) (Staff Member)

DRB PROJECT NUMBER: 1003794



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 6/5/2009

Note: Grey Shading Represents Areas Outside of the City Limits

Zone Atlas Page:
K-09-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet



RESIDENTIAL AND
COMMERCIAL
CONSTRUCTION
LICENSE 053428

PAT JOSEPH

5/19/10

City Of Albuquerque Development Plan Review

Project Title:

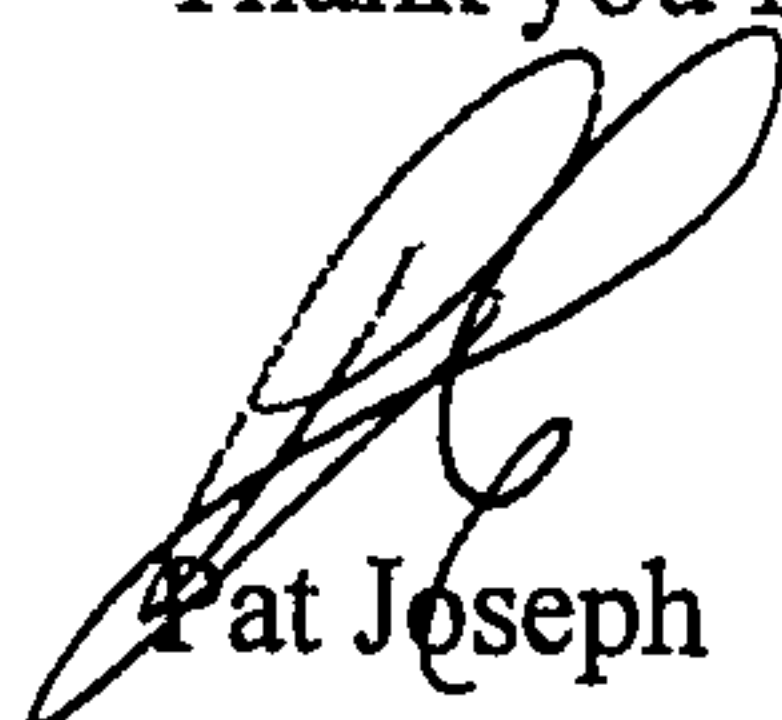
Burger King Restaurant

Project Location : 111 98th Street N.W. Albuquerque New Mexico

Project Narrative:

We are proposing the construction of a Burger King Restaurant for lot # 3 of the Volcano Point Shopping Center. The site was pre-approved for a fast food restaurant in March of 2007. The new building fits into the existing building envelope, and will not require any site adjustments. This restaurant is compatible with the existing Auto Zone to the North and the new shop space under construction to the South. We are compliant with the Architectural Design Requirements, (Sheet AS1) as to design ,color, flat roof , and height requirements. We are also compliant with the Pad Architectural Design Standards (Sheet AS1) as to color, wall type, and patio furniture.

Thank you for your consideration,



Pat Joseph



PETERSON PROPERTIES, LLC

SENT VIA EMAIL AND HAND DELIVERY
May 14, 2010

City of Albuquerque Planning Department
600 Second Street NW
Albuquerque, NM 87102

RE: LOT NUMBERED THREE (3) OF VOLCANO POINT SHOPPING CENTER (BEING A REPLAT OF TRACT "1-A", ROW 1, UNIT A, WEST OF WESTLAND), WITHIN THE TOWN OF ATRISCO GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTRY, NEW MEXICO, ON JULY 13, 2007, IN PLAT BOOK 2007C, PAGE 186, AS DOCUMENT NO. 2007100902

Dear Planning Department,

This letter serves to grant authorization for Pat Joseph to represent owner Peterson – 98th/Central, LLC, with respect to the above-referenced lot to make application to the Albuquerque Development Review Board for the purpose of updating the site plan thereon for a proposed Burger King restaurant.

Sincerely,

Douglas Peterson
Managing Member of Peterson – 98th/Central, LLC

Cc: Mae Peterson

CHAINLII

SITE PLAN

1" = 40'-0"

NORTH



1" = 40'

LEGAL DESCRIPTION

TRACT "IA" Plat of Tracts IA & IB, Row 1, Unit A, West of Westland, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the Plat of said Addition filed in the office of the County clerk of Bernalillo County, New Mexico on May 17, 1988, in Plat Book C36, folio 129.

CURRENT ZONING

SU 2 FOR PCA (PLANNED COMMERCIAL AREA)

TOTAL ACREAGE

4.1524 ACRES (TOTAL GROSS)

GENERAL ARCHITECTURAL DESIGN

REQUIREMENTS

GENERAL ARCHITECTURAL

General architecture character for pad structures is to follow the general design concept depicted on elevations of building for lot 2. Pad buildings will be cementitious finish with a cementitious or split face cmu dado band. The main building walls must be colored to match color benjamin moore (#1) bm953, (#2) bm1032 and (#3) bm 993. If the building extends below finish floor that area will also be covered with color #2. Structures are to be predominately flat-roofed however partial building areas such as portals or small extensions of building functions adjacent to the major building mass may have sloped roofs. These roofs are to be shed type Slate tile clad and the high point of the roof must hit the main building wall below the top of the main building parapet. Architectural entry element roofs may extend above the parapet wall top and area to relate to the entry format of the main buildings. Building heights are limited to 26' parapet heights for major building walls, and 22' parapet heights for pad building walls. Slate tile clad entry roofs may extend above this height to accent and articulate the building mass. ~~The approval of site plans for building permit for parcels 1-3 will be delegated to the City of Albuquerque Design Review Board (DRB).~~ 1, 3 & 4

PAD ARCHITECT STANDARDS

Shall include the following pad to follow building ele walls and landscape walls color #2. Four or eight i to be cementitious finish canopies (max 50ft candi and landscaped patio spa tables.

COLOR PALLET

- color #1 light tan
- color #2 medium light
- color #3 brown
- color #4 monierlife c

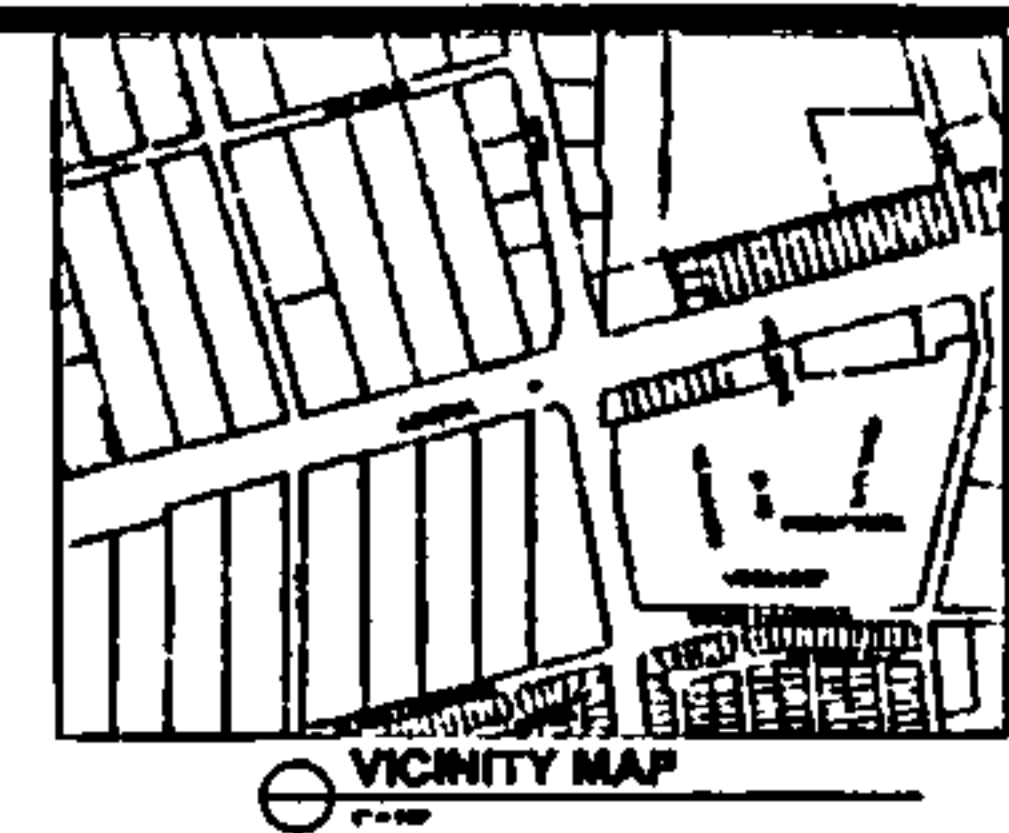
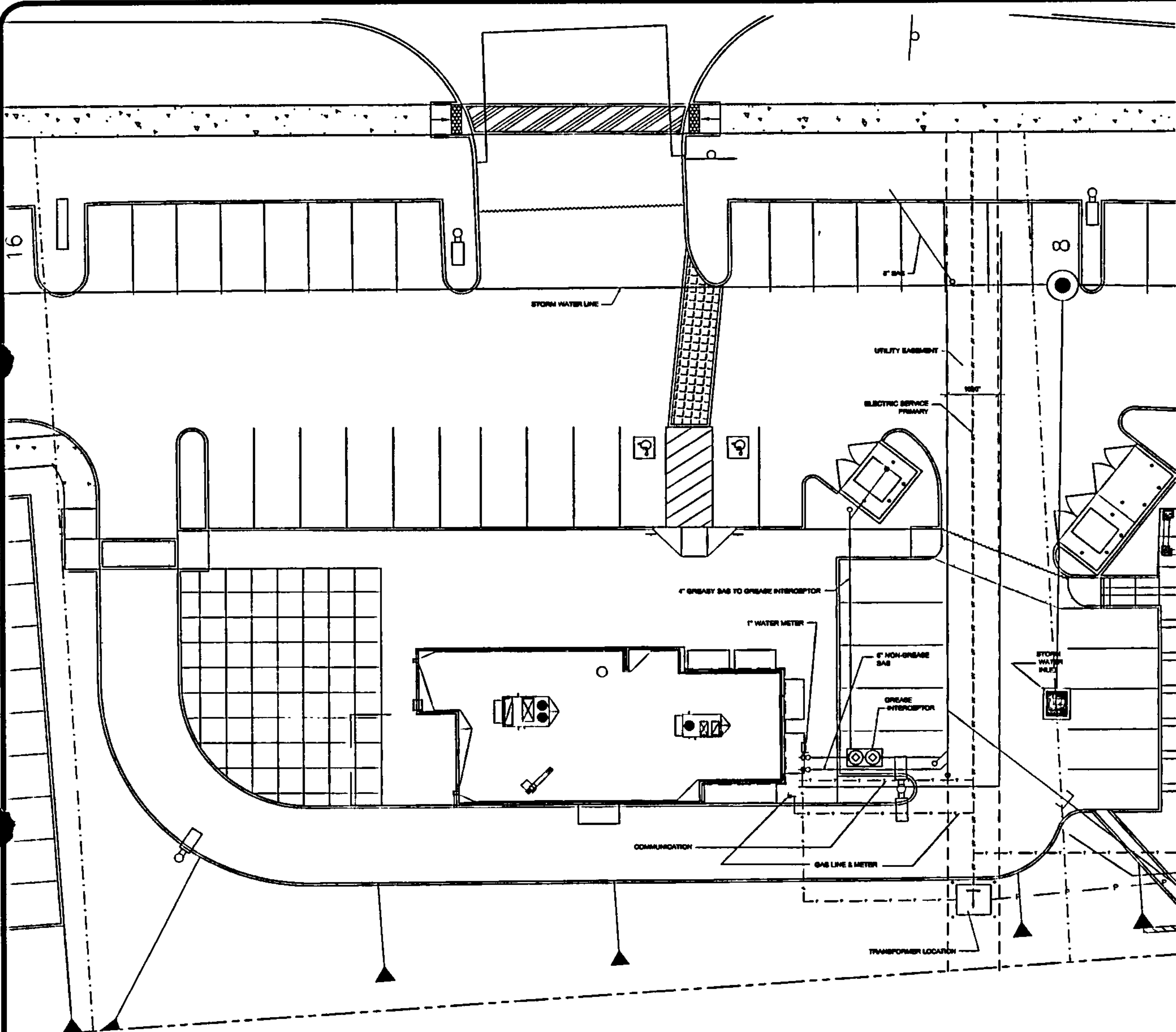
-6" x 20'-0"
-6" x 15'-6"
-0" x 20'-0" WITH A 8' WIDE ACCESS

OTHERWISE NOTED *

ED 158 SPACES
INCLUDES 8 VAN SPACES) 8 SPACES
DED 14 SPACES

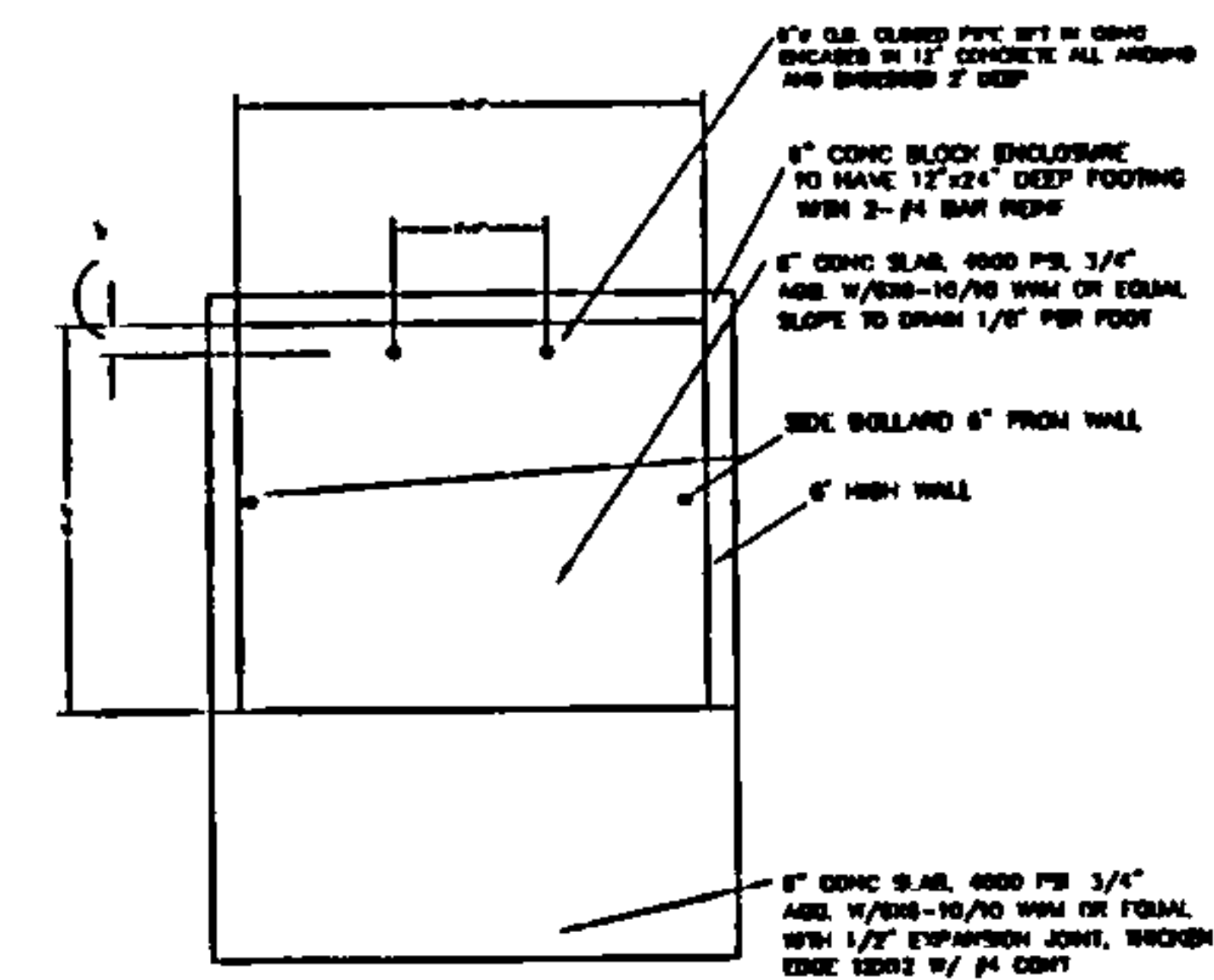


LINE	L
L1	
L2	
L3	
L4	
L5	
L6	
L7	



GENERAL NOTES

1. THE DATA FOR THIS PLAN WAS OBTAINED FROM THE PRIOR APPROVED SITE DEVELOPMENT PLAN BY UTILITIES.
2. FLOW INFORMATION FOR THIS SITE IS SHOWN BY OF VE CONSTRUCTION.
3. ALL UTILITY LINES ARE CALLED OUT BY LEADER AND NOTE.



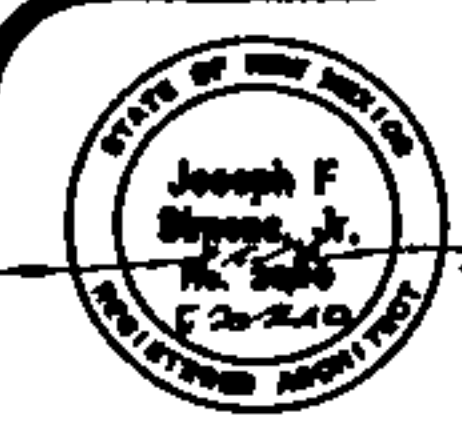
G DUMPSTER ENCLOSURE PLAN
1/8" = 1'-0"



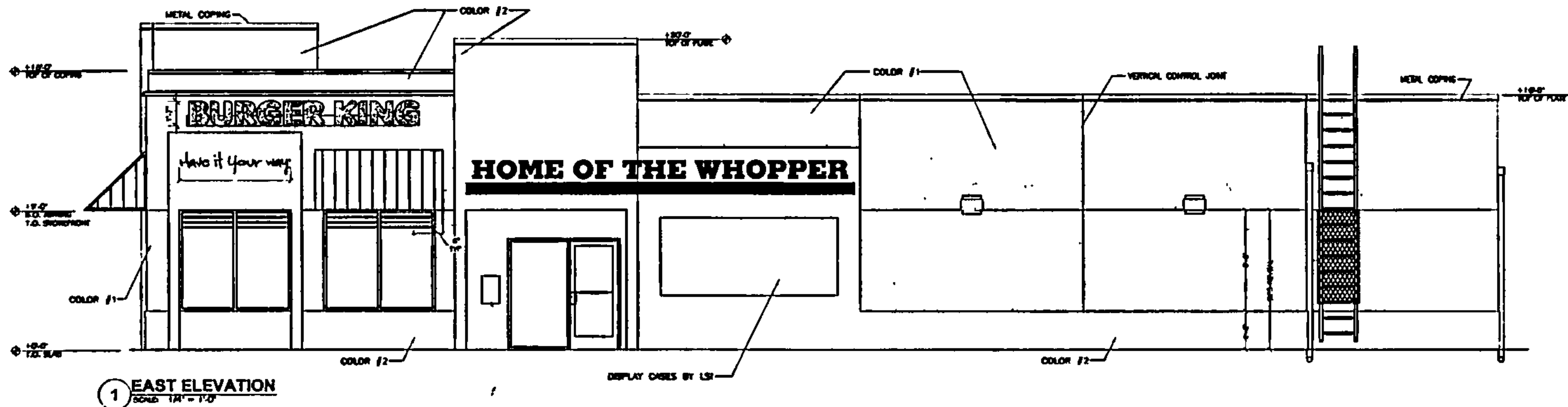
DATE	5/28/02
DRAWN BY	JFS
CHECKED BY	JFS
REVISION	



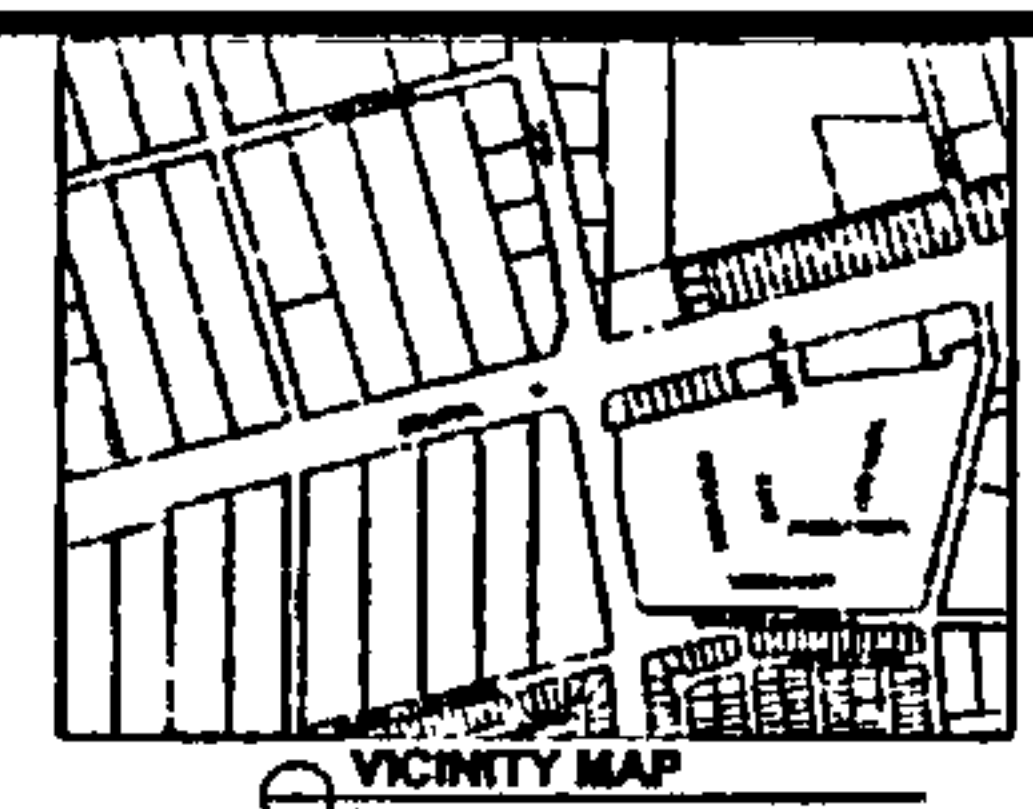
Joseph L. Simmons P.E., AIA
 1000 S. GARDEN AVENUE, SUITE 100
 ALBUQUERQUE, NM 87102
 TEL: 505.263.1234
 FAX: 505.263.1235
 WWW.SIMMONSARCHITECTURE.COM



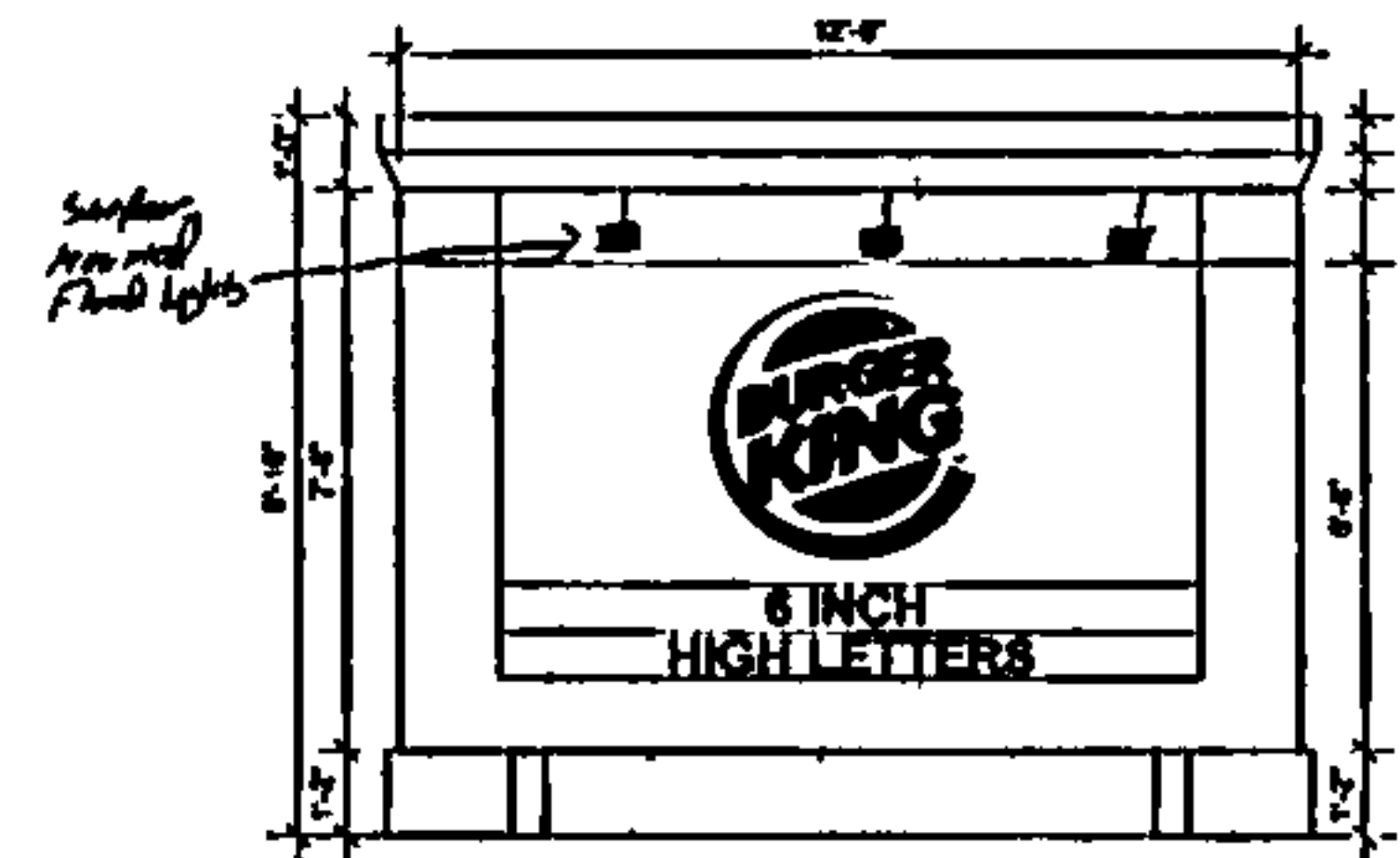
ROC-40
 LOT 3, Northwest Corner of
 88th Street and Central Avenue
 Albuquerque, New Mexico



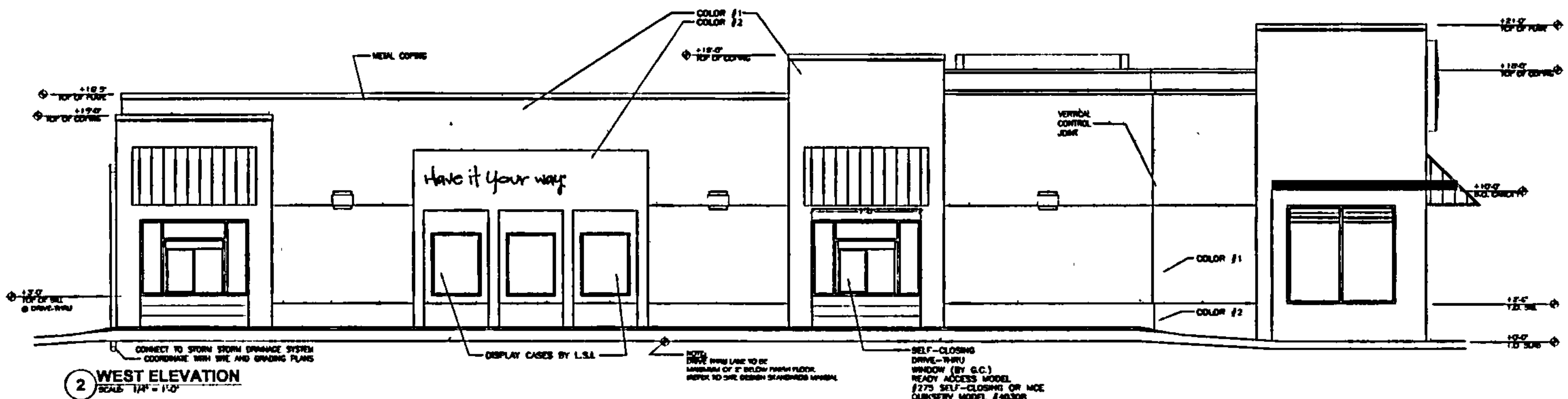
1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



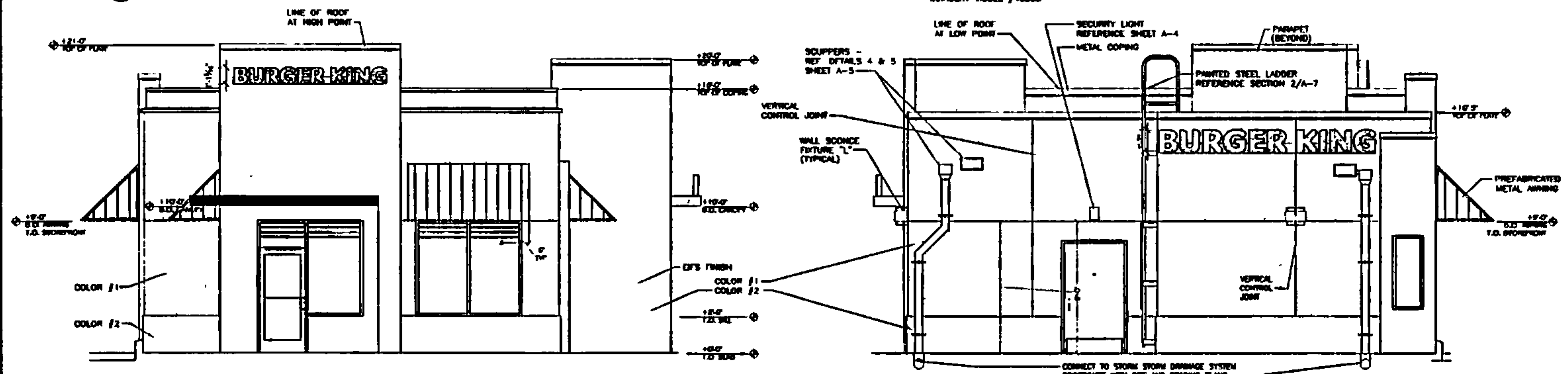
VICINITY MAP



SIGN ELEVATION
SCALE: 1/4" = 1'-0"
THIS IS EXACTLY THE SAME SIGN AS IS SHOWN ON THE SPECIFICATIONS ATTACHED SET FOR 'Surgically Enhanced Sign'



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

4 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

Color 1 - BH 953
Color 2 - BH 103A



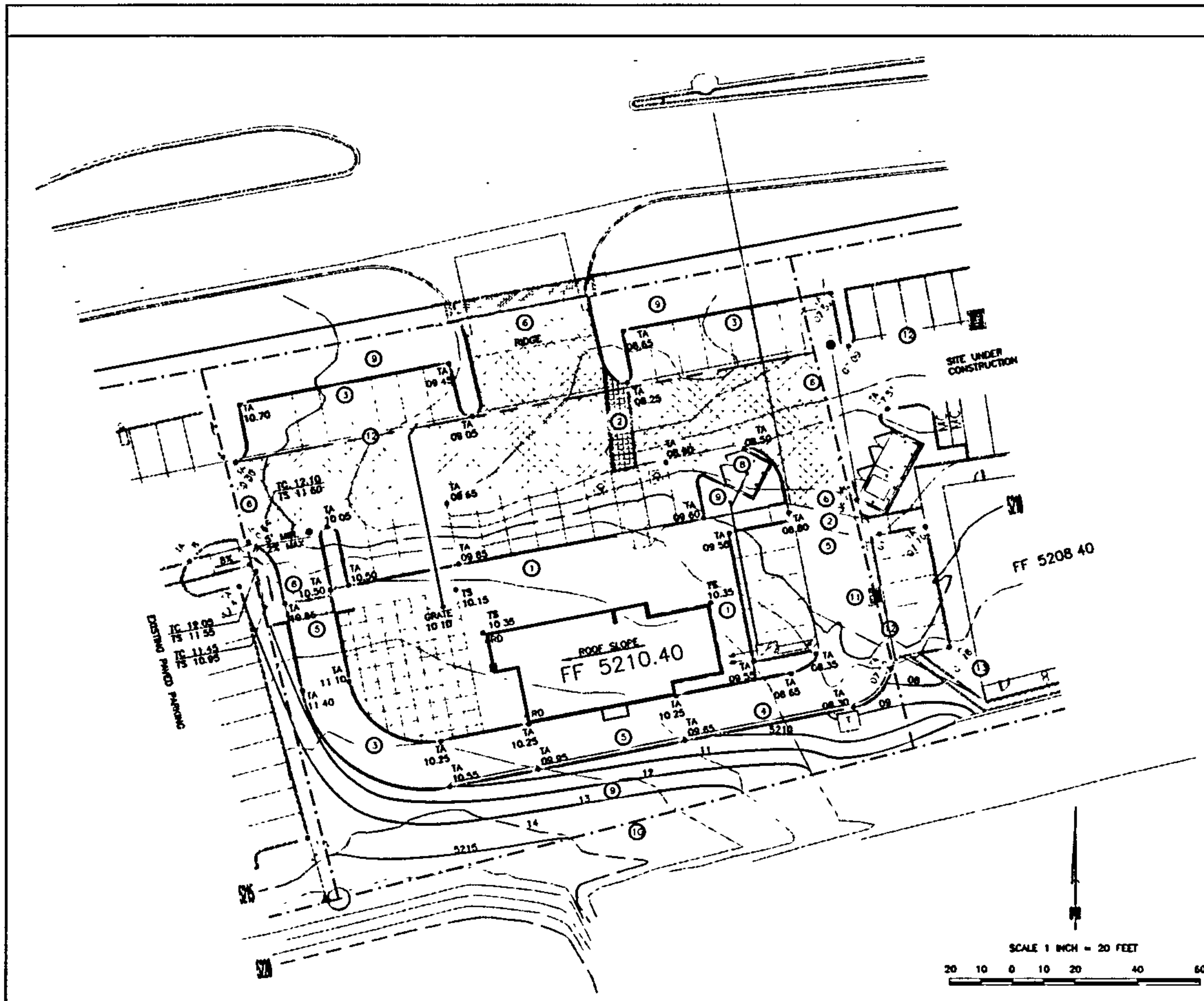
DATE: 12.3.2008
DRAWN BY: JFS
CHECKED BY: JFS
REV DATE



Joseph F. Simons, Jr., AIA
Architect
1000 Central Avenue
Albuquerque, New Mexico 87102
Tel: 505.243.1111
Fax: 505.243.1112
www.simonsarchitecture.com



ROC-40
LOT 3, Northwest Corner of
5th Street and Central Avenue
Albuquerque, New Mexico

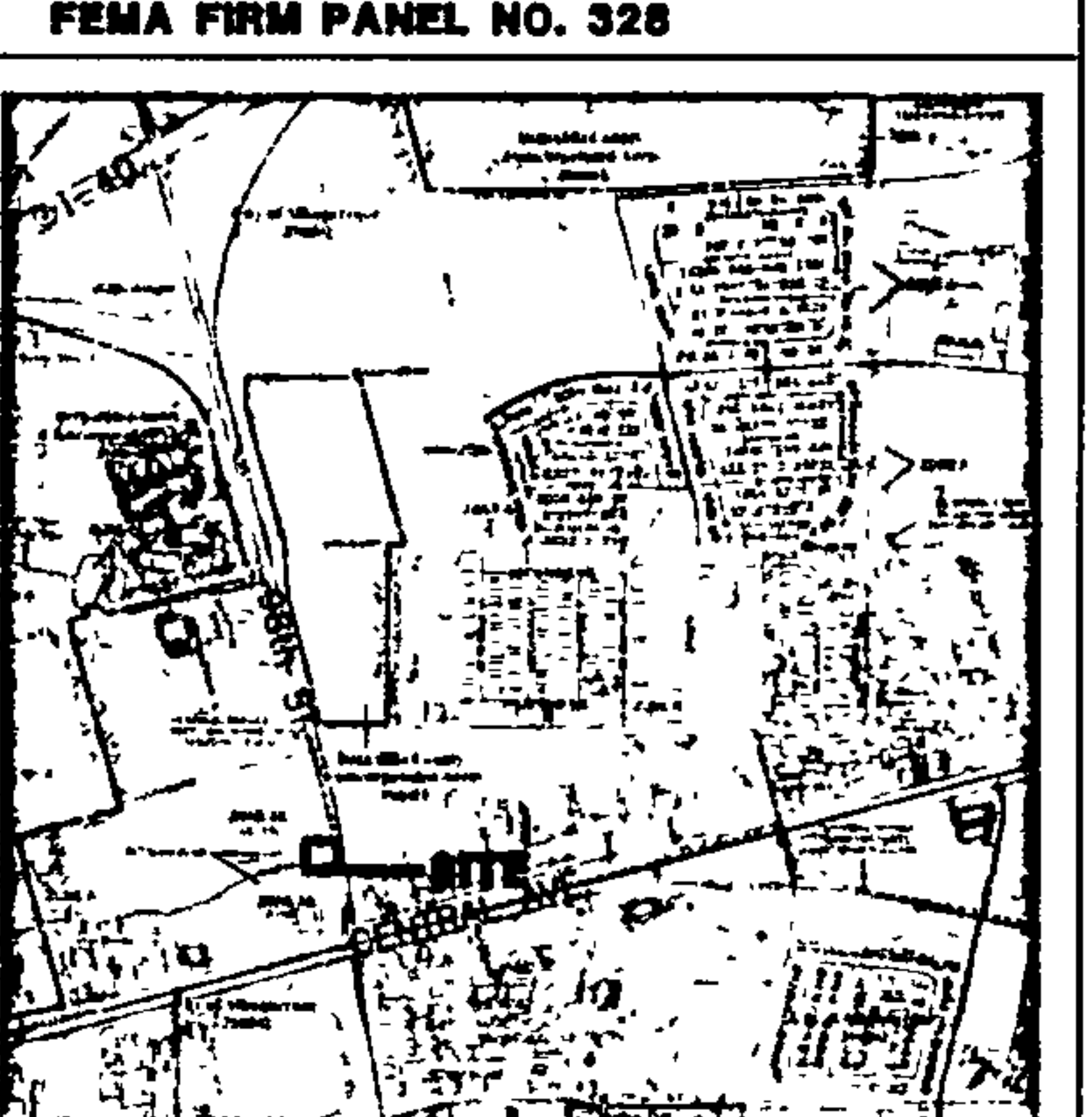
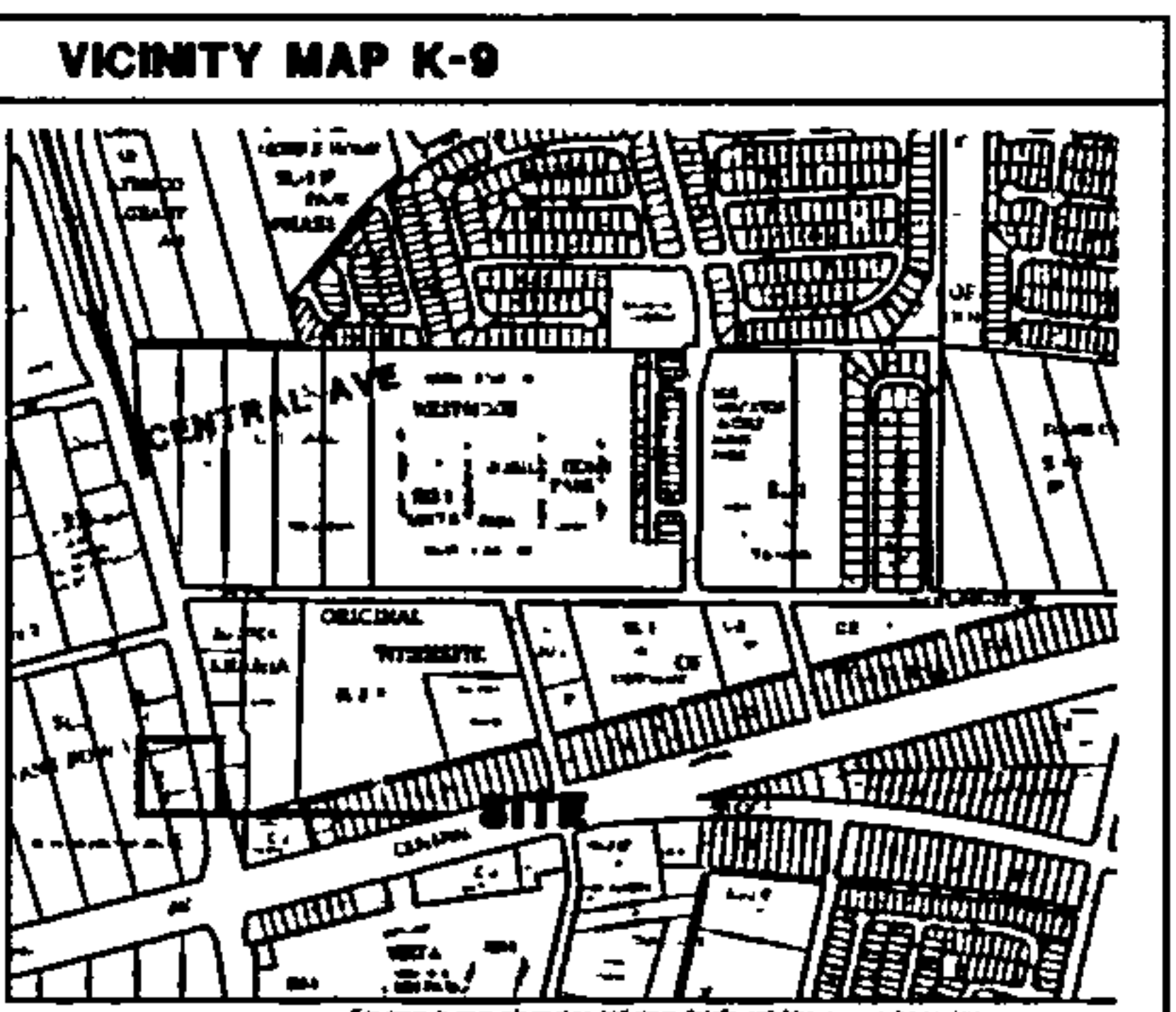


- ### KEYED NOTES
1. TURNDOWN SIDEWALK. SEE DETAIL SHEET CS.2.
 2. PATTERNED CONCRETE WALK. SEE ARCHITECTURAL.
 3. HEADER CURB. SEE DETAIL SHEET CS.2.
 4. CURB & GUTTER. SEE DETAIL SHEET S.2.
 5. ASPHALT PAVEMENT - LIGHT DUTY. SEE DETAIL SHEET CS.2.
 6. ASPHALT PAVEMENT - HEAVY DUTY. CROSSHATCHED AREA. SEE DETAIL SHEET CS.2.
 7. EXISTING PRIVATE ENTRANCE DETAIL TO REMAIN.
 8. REFUSE ENCLOSURE WITH AREA DRAIN TO TRAP. SEE GRADING INFORMATION ON SHEET CS.2.
 9. LANDSCAPE.
 10. EXISTING CHAIN LINK FENCE TO REMAIN.
 11. EXISTING CATCH BASIN. GRATE 07.11.
 12. ASPHALT SHALE.

- ### DRAINAGE NOTES
1. THE SITE IS THE LAST VACANT LOT IN A RECENTLY DEVELOPED COMMERCIAL SUBDIVISION. THE LOT TO THE NORTH WAS DEVELOPED IN 2008 AND THE LOT TO THE SOUTH IS PRESENTLY UNDER CONSTRUCTION.
 2. THERE IS AN APPROVED GRADING AND DRAINAGE PLAN FOR THE SUBDIVISION. AS THE PROPOSED SITE PLAN IS IDENTICAL TO THE SITE PLAN USED IN DEVELOPING THE STORM DRAIN SYSTEM FOR THE SUBDIVISION THERE ARE NO RUNOFF CHANGES PROPOSED FOR THE EXISTING APPROVED DRAINAGE CALCULATIONS.
 3. THE SITE IS LOCATED IN A "ZONE X" PER FEMA FIRM MAP NO. 329, DATED SEPTEMBER, 200.
 4. TOPO SURVEY DATA SHOWN ON THIS DRAWING IS BASED ON PROPOSED AND CERTIFIED PLANS FOR THE SUBDIVISION AND ADJACENT LOTS RESPECTIVELY.

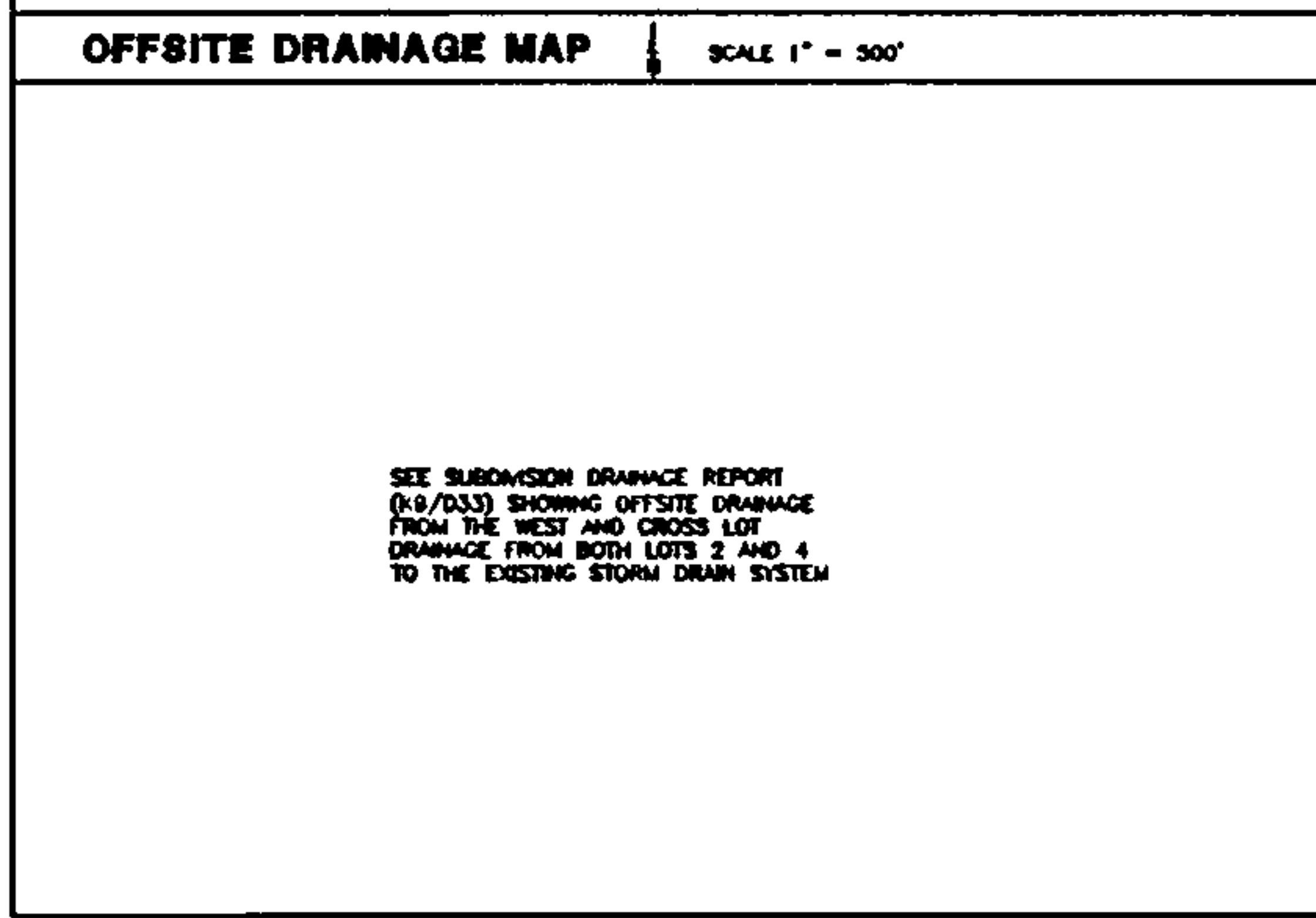
- ### GRADING NOTES
1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
 2. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 4. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

- ### EROSION CONTROL NOTES
1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERM OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWPPP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN.
 2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
 3. THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.



LEGAL DESCRIPTION

LOT 3, VOLCANO POINT SHOPPING CENTER



LEGEND

TBM	TEMPORARY BENCHMARK	GM	GAS METER
G	GROUND	GV	GAS VALVE
FF	FINISH FLOOR	LP	LIGHT POLE
FG	FINISH GRADE	PP	POWER POLE
FL	FLOWLINE	GW	GUY WIRE
TA	TOP OF ASPHALT	PED	ELEC. OR TEL. PEDESTAL
TC	TOP OF CONCRETE	RD	ROOF DRAINAGE POINT
TC	TOP OF CURB		
TP	TOP OF EARTH PAD		
TS	TOP OF SIDEWALK		
TW	TOP OF WALL		
FH	FIRE HYDRANT		
WM	WATER METER		
WV	WATER VALVE		
MH	MANHOLE		
CB	CATCH BASIN GRATE		

DRAINAGE DATA

SEE SUBDIVISION DRAINAGE REPORT (K-9/033) INCLUDING SUBDIVISION STORM DRAIN SYSTEM

PERMANENT BENCHMARK

ACS 10-L9 ELEVATION 5204.437 (NGVD 1928)
NOTE: BASIS IS CONSISTENT WITH BASIS USED ON INFRASTRUCTURE AND AND THE GRADING FOR THE OTHER THREE LOTS IN THE SUBDIVISION

no.	date	remarks	by

REVISIONS

project title
BURGER KING
98TH ST. @ CENTRAL AVE. NW
ALBUQUERQUE, NM

sheet title
GRADING & DRAINAGE PLAN

sheet date: 05/20/10 design by: JUB project no.: 1005

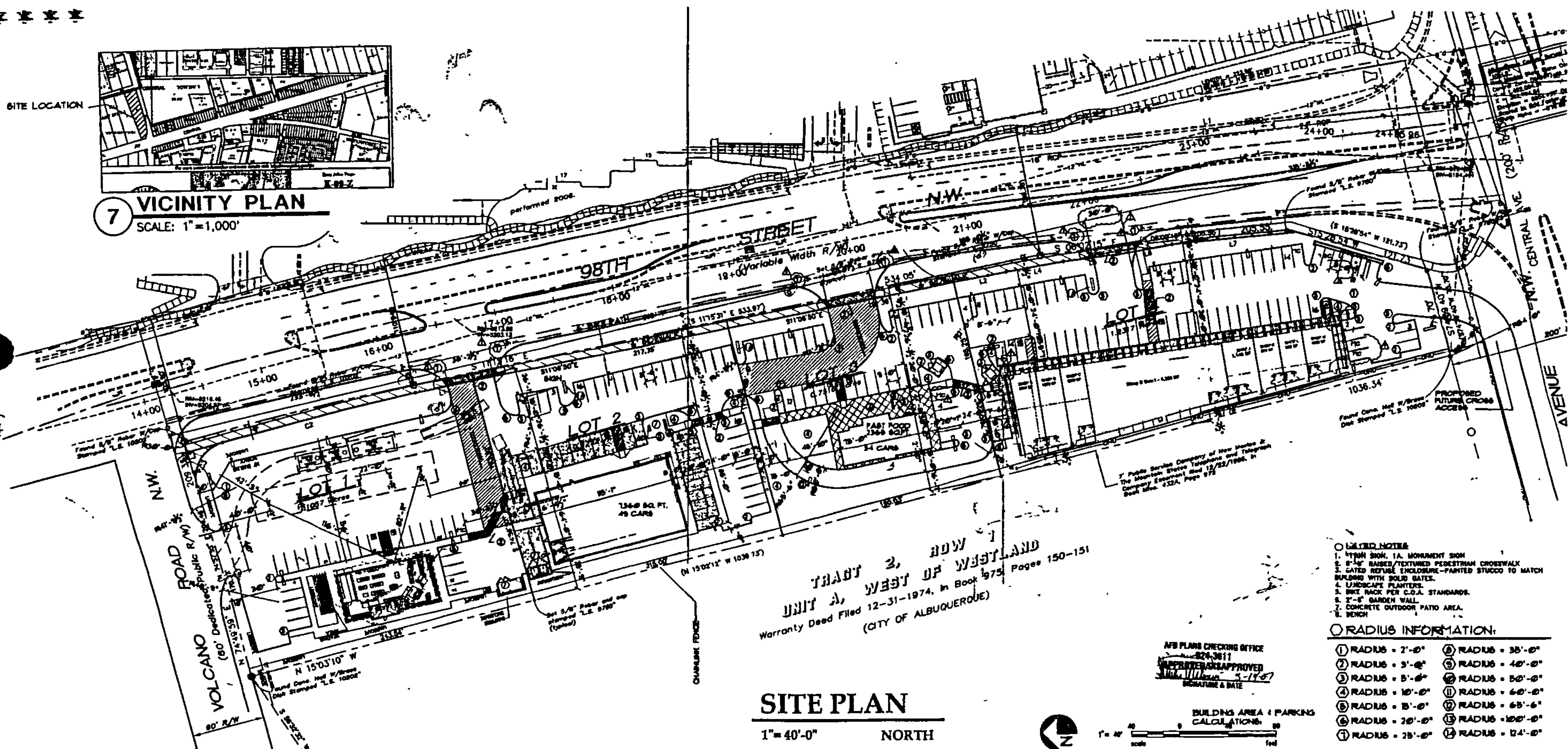
BORDENAVE DESIGNS
P.O. BOX 91194, ALBUQUERQUE, NM 87199
(505)823-1344 FAX (505)821-9105

sheet of **C5.1**

SITE LOCATION



7 VICINITY PLAN
SCALE: 1"=1,000'



TRACT 2, ROW 1
UNIT A, WEST OF WESTLAND
Warranty Deed Filed 12-31-1974, in Book 975, Pages 150-151
(CITY OF ALBUQUERQUE)

SITE PLAN

1"=40'-0" NORTH

LEGAL DESCRIPTION

TRACT "A" Plat of Tracts 1A & 1B, Row 1, Unit A, West of Westland, City of Albuquerque, Bernalillo County, New Mexico. It is the same to whom and designated on the Plat of said Addition filed in the office of the County clerk of Bernalillo County, New Mexico on May 11, 1966, in Plat Book C34, folio 129.

CURRENT ZONING
SU 2 FOR PCA (PLANNED COMMERCIAL AREA)

TOTAL ACRES
4.824 ACRES (TOTAL GROSS)

GENERAL ARCHITECTURAL DESIGN REQUIREMENTS

GENERAL ARCHITECTURAL
General architectural character for pod structures is to follow the general design concept depicted on drawings of building for lot 2. Pod buildings will be constructed with a conventional or wall face, core duct bond. The main building walls must be colored to match color benchmark (F1) bench (F2) benchmark (F3) bench (F4). If the building extends below benchmark floor that area will also be covered with color (F1). Structures are to be predominantly flat-roofed however partial building areas such as porches or small extensions of building facades adjacent to the main building mass may have gabled roofs. These roofs are to be gable type with the eave and the high point of the roof must be at the main building wall below the top of the main building parapet. Architectural entry elements may extend above the parapet wall top and are to relate to the entry format of the main building. Building heights are limited to 28' parapet heights for major building walls, and 22' parapet heights for pod building walls. State the color entry walls may extend above the building parapet and extend the building mass. The approval of site plans for building permit for private industry will be delegated to the City of Albuquerque Design Review Board (DRB).

PAVING ARCHITECTURAL DESIGN STANDARDS

Shall include the following elements to provide uniform standards for all pods. Each pod to follow building elevations provided. The lower 3'-4" of the area of vertical walls and landscape walls shall be four or eight inch soft face concrete or stone. color F2. Four or eight inch soft face or stone block, color F1 - but concrete to be conventional finish color F1. Lighting to be entirely recessed in walls of fuel receptacles (over 50R confined). Each pod development to provide an outdoor paved and landscaped patio space with outdoor furniture, such as bench seating or plant table.

COLOR PALETTE

color F1 light tan benchmark masonry F65
color F2 medium light tan stone head base wall color F1032
color F3 brown/gray benchmark masonry F63
color F4 medium/gray concrete stone the roofing, trim & accents (brown blend).

LINE TABLE

LINE	LENGTH	BEARING
L1	48.31'	S111°08'50"E
L2	45.91'	S111°08'50"E
L3	39.05'	N74°48'58"W
L4	49.10'	S102°45'58"E
L5	48.13'	S102°45'58"E
L6	48.34'	S102°45'58"E
L7	131.87'	S00°32'18"W

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	189.21'	3038.78'	98.14'	189.18'	N131°14'10"W	3°41'58"
C2	185.56'	4223.78'	82.78'	185.50'	S113°48'43"W	2°14'42"
C3	47.28'	30.00'	30.14'	42.57'	S60°29'03"W	89°13'55"

- LAYED NOTES:**
1. TYPON SIGN, 1A. MONUMENT SIGN
 2. 8"-8" BASED/TEXTURED PEDESTRIAN CROSSWALK
 3. GATED RETAINING ENCLOSURE-PAINTED STUCCO TO MATCH BUILDING WITH SOLID GATES.
 4. LANDSCAPE PLANTERS.
 5. BENCH TRACK PER C.O.A. STANDARDS.
 6. 2'-8" GARDEN WALL.
 7. CONCRETE OUTDOOR PATIO AREA.
 8. BENCH

○ RADIUS INFORMATION:

- | | |
|-------------------|--------------------|
| ① RADIUS = 2'-0" | ⑭ RADIUS = 35'-0" |
| ② RADIUS = 3'-0" | ⑮ RADIUS = 40'-0" |
| ③ RADIUS = 5'-0" | ⑯ RADIUS = 50'-0" |
| ④ RADIUS = 10'-0" | ⑰ RADIUS = 60'-0" |
| ⑤ RADIUS = 15'-0" | ⑱ RADIUS = 65'-6" |
| ⑥ RADIUS = 20'-0" | ⑲ RADIUS = 100'-0" |
| ⑦ RADIUS = 25'-0" | ⑳ RADIUS = 124'-0" |

BUILDING AREA & PARKING CALCULATIONS:

LOT 1, 3,500 SF BUILDING.
LOT SIZE= 48,164.29 SF OR 1.1057 A.C.
3,500 SF / 200 = 18 SPACES.
SPACES PROVIDED 26 SPACES.
1 MOTOR CYCLE
FAR= .07

LOT 2, 7,300 SF BUILDING.
LOT SIZE= 40,171.03 SF OR .9222 A.C.
7,300 SF / 200 = 36 SPACES.
SPACES PROVIDED 49 SPACES.
1 MOTOR CYCLE
FAR= .18

LOT 3, FAST FOOD 2,345 SF. BUILDING.
LOT SIZE= 32,739.89 SF OR .7516 A.C.
1 CAR PER 4 PROVIDED SEATS
13 SEATS / 4 = 34 RED. SPACES
SPACES PROVIDED 34 SPACES.
2 MOTOR CYCLE
FAR= .07

LOT 4, SHOPS 13,878 SF BUILDING.
LOT SIZE= 53,652.85 SF OR 1.2317 A.C.
13,878 / 200 = 69 SPACES
SPACES PROVIDED 71 SPACES.
4 MOTOR CYCLE
FAR= .24

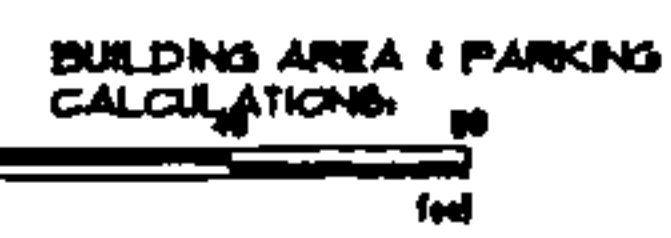
FLOOR AREA RATIO

TOTAL BUILDING AREA = 27,163 SQ/FT
TOTAL LOT AREA = 174,727.84 SQ/FT
TOTAL FAR = .16

PARKING NOTES:
TYPICAL STANDARD SPACES ARE 8'-0" x 32'-0"
TYPICAL SMALL CAR SPACES ARE 7'-5" x 18'-0"
TYPICAL HANDICAP SPACES ARE 8'-0" x 32'-0" WITH A 5' WIDE ACCESS AISLE
• ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED •

TOTAL STANDARD PARKING SPACES PROVIDED 150 SPACES
TOTAL HC PARKING SPACES PROVIDED (INCLUDES 4 MIN SPACES) 8 SPACES
TOTAL SMALL CAR PARKING SPACES PROVIDED 14 SPACES
TOTAL PROVIDED SPACES = 168 SPACES
TOTAL REQUIRED SPACES = 157 SPACES
TOTAL PROVIDED SPACES = 168 SPACES

AFB PLANS CHECKING OFFICE
224-3811
APPROVED
SIGNATURE & DATE



REVISION

REV.	DATE	BY	DESCRIPTION
1			
2			
3			
4			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
98TH AND CENTRAL PLAN
NORTHWEST CORNER OF 98TH ST. & CENTRAL AVENUE
ALBUQUERQUE, NEW MEXICO

PROJECT NUMBER
1003771

APPLICATION NUMBER
OTDES-co181

APPROVALS:

City of Albuquerque, Planning Department	3/14/07
City of Albuquerque, Transportation Division	3/14/07
City of Albuquerque, Water Utility Department	3/14/07
City of Albuquerque, Fire and Emergency Department	3/14/07
City of Albuquerque, Public Works Department	3/14/07
City of Albuquerque, Environmental Health Department	3/14/07
City of Albuquerque, Planning Department	3/14/07

DATE: 11-1-2006
SCALE: 1"=40'

AS1

N16 3-12-07



THE NORTHWEST CORNER OF 98TH AND CENTRAL IS TO BE KNOWN AS VOLCANO POINT VOLCANO POINT DESIGN STANDARDS

THE PURPOSE OF THESE DESIGN STANDARDS IS TO PROVIDE A FRAMEWORK TO ASSIST THE ARCHITECTS, LANDSCAPE ARCHITECTS AND DESIGNERS IN UNDERSTANDING THE VISION OF THE DEVELOPMENT GOALS. THE DESIGN STANDARDS SHOULD BE USED TO FACILITATE THE DESIGN OF BUILDINGS WHICH RESPECT THE EXISTING SITE CONDITIONS AND THE CHARACTER AND LAND USES OF THE ADJACENT PROPERTIES AND NEIGHBORHOODS.

THESE STANDARDS ADDRESS THE ISSUES OF LANDSCAPE, SETBACKS, PEDESTRIAN AMENITIES, SCREENING, LIGHTING, SIGNAGE AND ARCHITECTURE THAT WILL ESTABLISH THE VISUAL PLAZA FOR VOLCANO POINT. THESE STANDARDS ARE ESTABLISHED TO CONTROL FUTURE COMMERCIAL DEVELOPMENT WITHIN VOLCANO POINT.

SUBSEQUENT SITE PLANS FOR BUILDING PERMITS SHALL BE CONSISTENT WITH THE DESIGN STANDARDS ESTABLISHED BY THIS SITE PLAN FOR SUBDIVISION AND SHALL BE APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION. MAJOR AMENDMENTS TO THIS SITE PLAN FOR SUBDIVISION SHALL BE APPROVED ADMINISTRATIVELY BY THE PLANNING DIRECTOR IN ACCORDANCE WITH THE CORPORATION'S CITY ZONING CODE, SECTION 14-16-3-2(A)(2). MAJOR AMENDMENTS SHALL BE REQUIRED APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION.

SITE PLANNING

IT IS INTENDED TO MAINTAIN A STANDARD QUALITY AND CONSISTENCY IN STYLE FOR SITE AMENITIES SUCH AS BENCHES, BALCONIES, LIGHTING, ETC. CREATING SAFE AND PLEASANT PEDESTRIAN CIRCULATION. THE FOLLOWING ARE INTENDED TO SET THOSE STANDARDS.

ALL PEDESTRIAN BALCONIES THROUGHOUT VOLCANO POINT SHALL BE BUILT TO CITY OF ALBUQUERQUE REQUIREMENTS.

ALL CROSS WALKS BETWEEN PARCELS AND ACROSS DRIVES SHALL BE 6'-0" WIDE RAISED TEXTURED CONCRETE WALKS.

ALL PEDESTRIAN WALKS SHALL BE DESIGNED TO SATISFY AMERICAN WITH DISABILITIES ACT CRITERIA EXCEPT WHERE TOPOGRAPHY MAKES THIS UNFEASIBLE.

EACH BUILDING IS TO HAVE A CROSSWALK CONNECTION TO EACH OTHER.

EACH COMMERCIAL LOT IS TO HAVE AN OUTDOOR SITTING AREA WITH JOSEF BENCH. EACH LOT SHALL PROVIDE A SECURE BICYCLE STORAGE RACK THAT IS CONVENIENTLY LOCATED TO EACH BUILDING AND IN A LOCATION LEAST OBSTRUCTIVE TO PEDESTRIAN AND VISUAL CIRCULATION.

PARKING

IN SUPPORT OF THE GOALS FOR PEDESTRIAN ACCESSIBILITY, CAREFUL ATTENTION SHOULD BE PAID TO THE PARKING DESIGN. AN EFFORT SHALL BE MADE BY THE DESIGNER TO MINIMIZE THE VISUAL IMPACT OF PARKING FACILITIES IN LOCATING THE VEHICLES. THE PARKING AREAS SHALL BE SCREENED WITH INTER-SCAPE LANDSCAPE AREAS. ADDITIONAL GUIDELINES ARE AS FOLLOWS.

HANDICAPPED PARKING SPACES SHALL BE PROVIDED ADJACENT TO THE BUILDING ENTRANCES.

PARKING SHALL BE DESIGNED TO INCLUDE A PEDESTRIAN ACCESS TO BUILDINGS.

PARKING AREAS ADJACENT TO 98TH STREET AND CENTRAL AVENUE ARE REQUIRED TO BE SCREENED BY THE USE OF LANDSCAPING. LANDSCAPING BERR'S GARDEN WALLS OR ANY COMBINATION OF SCREENING GARDEN WALLS SHALL BE ARCHITECTURALLY COMPATIBLE WITH THE SURROUNDING BUILDINGS.

OFF STREET PARKING REQUIREMENTS

RETAIL AND FINANCIAL BUSINESSES SHALL BE REQUIRED TO HAVE FIVE PARKING SPACES PER 1000 SQUARE FEET OF LEASED BUILDING AREA.

FAST FOOD RESTAURANTS SHALL HAVE 8 SPACES PER 1000 SQUARE FEET OF BUILDING AREA. FAST FOOD RESTAURANTS SHALL HAVE 12 SPACES PER 1000 SQUARE FEET OF BUILDING AREA OR ONE PARKING SPACE PER FOUR SEATS.

EACH PARCEL SHALL HAVE A MOTORCYCLE PARKING AREA TO ACCOMMODATE TWO MOTORCYCLES.

LANDSCAPING

THE DEVELOPMENT OF THE OVERALL LANDSCAPE DESIGN SHALL ESTABLISH GUIDELINES THAT UNIFY THE PROPERTY AND IS APPROPRIATE FOR THE HEAVY NEIGHBORHOODS. THE LANDSCAPE DESIGN SHOULD EMPHASIZE LOW WATER, NATIVE AND NATURALIZED PLANT SPECIES. ALL LANDSCAPE AREAS NEED TO BE COORDINATED AND RESPONSIVE TO EXISTING ENVIRONMENTAL CONDITIONS AND LOCAL BUILDING POLICIES. THESE STANDARDS ARE TO BE USED AS A SUPPLEMENT TO THE CITY REQUIREMENTS IN THE BATTERY CONSERVATION LANDSCAPING AND BATTERY GATE ORDINANCE, THE STREET TREE ORDINANCE AND LANDSCAPE REGULATIONS INCLUDED IN THE CITY OF ALBUQUERQUE COMMERCIAL CITY ZONING CODE.

THE FOLLOWING ARE MINIMUM STANDARDS FOR THE DEVELOPMENT OF SPECIFIC LANDSCAPE PLANS.

STREET TREES SHALL BE PROVIDED ALONG ROADWAYS AT THE RATE OF ONE PER 20 LINEAR FEET. THEY MAY BE RANDOM OR REGULARLY PLACED.

THE DEVELOPER/OWNER WILL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE LANDSCAPE ON THE PROPERTY. ALL PLANT MATERIALS INCLUDING TREES, SHRUBS, GRASS, TURF, BLDG. ETC. SHALL BE MAINTAINED BY THE PROPERTY OWNER FOR THE LIFESPAN ATTRACTIVE CONDITION.

A MINIMUM OF 5 PERCENT OF THE SITE AREA FOR COMMERCIAL PRODUCTS (MINUS THE BUILDING SQUARE FOOTAGE) SHALL BE DEVOTED TO LANDSCAPE MATERIALS.

LANDSCAPE AREAS SHALL BE A MINIMUM OF 16 SQUARE FEET AND A MINIMUM WITH 3 FEET LIVING VEGETATIVE MATERIALS SHALL COVER A MINIMUM OF 75 PERCENT OF THE LANDSCAPED AREA. THE AREA AND PERCENTAGE IS CALCULATED BASED ON THE MATURE CANOPY SIZE OF ALL PLANT MATERIAL.

ALL PLANT AREAS NOT COVERED WITH TURF SHALL HAVE A GROUND TOPPING OF RIVER ROCK, SPREADDED SAND, GRAVEL, PULVERIZED OR OTHER MATERIAL WHICH EXTENDS COMPLETELY UNDER THE PLANT MATERIAL.

LANDSCAPE HEADINGS SHALL BE USED TO SEPARATE ANY TURF AND GROUND COVER AREAS.

TO SHADE AND MITIGATE VISUAL IMPACT OF LARGE EXPANSES OF PAVEMENT, INTERIOR PARKING AREAS SHALL HAVE ONE TREE FOR EACH 10 PARKING SPACES WITH NO SPACE BEING MORE THAN 100 FEET FROM A TREE.

75 PERCENT OF THE REQUIRED PARKING AREA TREES SHALL BE OBSCURUS AND HAVE A MATURE HEIGHT AND CANOPY OF AT LEAST 20 FEET.

AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM SHALL BE PROVIDED TO SUPPORT ALL REQUIRED LANDSCAPING. IRRIGATION COMPONENTS SHOULD BE CHECKED PERIODICALLY TO ENSURE MAXIMUM EFFICIENCY.

MINIMUM PLANT SIZES AT TIME OF INSTALLATION SHALL BE AS FOLLOWS:

TREES 1/2" INCH CALIPER OR 10" TO 12 FEET IN HEIGHT

SHRUBS 1 GROUND COVER 1 GALLON

TURF GRASSES SHALL PROVIDE COMPLETE GROUND COVERAGE WITHIN 1 GROWING SEASON AFTER INSTALLATION.

ARCHITECTURE

THE ARCHITECTURAL DESIGN SHALL DEMONSTRATE A QUALITY AESTHETIC CHARACTER THROUGHOUT THE PROPERTY AND SHALL RESPOND TO CLIMATE, VIEWS, SOLAR SENSITIVITY AND AESTHETIC COMPATIBILITY.

COMMERCIAL ARCHITECTURAL STYLE

THE GENERAL ARCHITECTURAL CHARACTER FOR THE RETAIL STRUCTURES SHALL BE A CONTEMPORARY DESIGN STYLE. ABOVE IS A PRELIMINARY ELEVATION OF THE PROPOSED ARCHITECTURAL DESIGN. RETAIL STORE FRONTS MAY HAVE PITCH ROOFS OVER COLONNADS COVERED BALCONY AREA. PITCHED ROOF AREAS ARE TO BE ROOFED WITH HORIZONTAL SLATE TILE. EXTERIOR CORNER ELEMENTS ARE TO BE ARTICULATED TO BALK THROUGH WITH RAISED VAULTED CEILING AND UPPER GROUND TO ALLOW PENETRATION OF NATURAL LIGHT. MAIN STRUCTURE ROOFS ARE TO BE FLAT ROOFS WITH RAISED PARAPETS TO CREATE ROOF TOP BOUTIQUE SCREENING. OTHER FEATURES ARE TO INCLUDE CONCRETE MASSIVE, UNFINISHED FACED BRICK. ADDITIONAL DETAILS SUCH AS CORNICE, TRI-CORNER, PICTURES ARE ALSO REQUIRED. MAJOR BUILDING PARAPET HEIGHT IS LIMITED TO 36" WITH ARCHITECTURAL ACCENTS SUCH AS VERTICAL ENTRY ELEMENTS MAY EXTEND ABOVE PARAPET HEIGHT. THE MAXIMUM HEIGHT OF A PITCHED ROOF SHALL BE BASED ON THE AVERAGE HEIGHT BETWEEN THE PLATE AND RIDGE.

THE FOLLOWING ARE MINIMUM ARCHITECTURAL STANDARDS FOR COMMERCIAL DEVELOPMENT. COMMERCIAL BUILDINGS SHALL COMPLY WITH SECTION 14-16-3-3, GENERAL BUILDING AND SITE DESIGN REGULATIONS FOR NON-RESIDENTIAL USES OF THE CORPORATION'S CITY ZONING CODE, AS WELL AS OTHER LOCAL BUILDING AND FIRE CODES.

ADVERTISEMENTS ARE PERMITTED ABOVE WINDOW AREAS, ADVERTISEMENTS WITH PART OR ENCLOSED CORPORATE LOGOS OR SIGNS ARE PERMITTED PROVIDED THE AREA BEING ADDED TO ALL OTHER SIGNAGE DOES NOT EXCEED THE ALLOWABLE AREA OF BUILDING WALLS. ILLUMINATION OF ADVERTISEMENTS FROM FREESTANDING LIGHTS LOCATED ABOVE THE ADVERTISEMENTS ARE TO BE COMPATIBLE WITH THE GENERAL COLOR PALETTE AND SAMPLES OF THE PROPOSED SIGNAGE COLORS ARE TO BE PROVIDED WITH EACH SUBMITTAL.

REFLECTIVE GLAZING IS PROHIBITED. CLEAR BRONZE TINTED GLASS IS PERMITTED.

NO PLASTIC OR VINYL BUILDING PANELS, ADVERTISEMENTS OR CANOPIES ARE ALLOWED.

ENTRANCES TO COMMERCIAL BUILDINGS SHALL BE CLEARLY DEFINED.

ROOFS MAY BE FLAT, PITCHED (TILE) OR A COMBINATION OF BOTH AND SHALL BE MADE OF NON-REFLECTIVE MATERIALS. ROOF TILE COLOR SHALL BE CHESTNUT BROWN BUILDING FINISHES WILL BE STUCCO AND COLORS SHALL BE LIGHT TAN, FRESH TAN AND BROWN/GRAY.

SCREENING/BUFFERING

THE EFFECTIVE USE OF SCREENING DEVICES FOR PARKING LOTS, LOADING AREAS, REFUSE ENCLOSURES, DELIVERY/STORAGE AREAS AND MECHANICAL EQUIPMENT IS ESSENTIAL TO LIMIT THEIR ADVERSE VISUAL IMPACT ON THE PROPERTY. THE STANDARDS ESTABLISHED IN THE LANDSCAPE SECTION WILL PROVIDE THE MAIN OBJECTIVES TO SCREENING UNATTRACTIVE ELEMENTS AND ACTIVITIES.

PERIMETER FENCES ARE ALLOWED. HOWEVER, AN EFFORT SHOULD BE MADE BY THE SITE DESIGNER TO LESSEN THE VISUAL IMPACT THROUGH LANDSCAPING, SCREENING WITHIN LANDSCAPE AREA OR PROVIDING OPENINGS. WALLS AND FENCES SHALL COMPLY WITH SECTION 14-16-3-3, GENERAL HEIGHT AND DESIGN REGULATIONS FOR WALLS, FENCES AND RETAINING WALLS OR THESE DESIGN STANDARDS AS SPECIFIED BELOW.

CONCRETE AND METAL WALLS SHALL BE SCREENED WITH A 3 FOOT HIGH OPAQUE WALL, AND 3 FOOT SIDE (MINIMUM) LANDSCAPE AREA WITH EVERGREEN TREES. A BERRY OF SAME HEIGHT AS THE WALL MAY BE PROVIDED IN LINE OF THE WALL.

SERVICE AREAS SUCH AS REFUSE LOCATIONS AND COMPACTORS ARE TO BE SCREENED FROM THE VIEW OF THE ADJACENT RESIDENTIAL AREA. PUBLIC RIGHTS-OF-WAY AND ADJACENT HOUSING AREA. FENCE STANDING BETWEEN AND COMPACTOR LOCATIONS ARE TO BE GATED. SCREENING MATERIAL SHALL MATCH BUILDING WALL COLOR AND MATERIAL.

UPPERMID BLOCK WALLS AND BARBED WIRE, CHAIN LINK, CONCRETE WIRE AND PLASTIC/VINYL FENCING ARE PROHIBITED.

CLEAR SIGN DISTANCES FOR SAFETY PURPOSES WILL BE MAINTAINED AT ALL DRIVEWAY LOCATIONS.

THE MAXIMUM HEIGHT OF RETAINING WALLS IS 8 FEET. AREAS REQUIRING GREATER RETAINAGE ARE REQUIRED TO BE TERRACED WITH A 4 FOOT HORIZONTAL SEPARATION BETWEEN WALLS.

LIGHTING

IN ORDER TO ENHANCE THE SAFETY, SECURITY AND VISUAL AESTHETICS, CAREFUL CONSIDERATION MUST BE GIVEN TO BOTH THE DAYTIME AND NIGHT-TIME APPEARANCE OF THE LIGHTING DESIGN AND FEATURES. THE PRIMARY DESIGN OBJECTIVE OF THE SITE LIGHTING SHALL BE TO MAXIMIZE PUBLIC SAFETY. WALLS NOT AFFECTING ADJACENT PROPERTIES, BUILDINGS OR ROADWAYS WITH UNNECESSARY GLARE, REFLECTION OR BRIGHT LIGHTING.

THE FOLLOWING ARE THE GUIDELINES TO THE LIGHTING DESIGN TO SUCCESSFULLY ACCOMPLISH THESE GOALS. ALL LIGHTING SHALL COMPLY WITH SECTION 14-16-3-3, AREA LIGHTING REGULATIONS OF THE CORPORATION'S CITY ZONING CODE. PLACEMENT OF FIXTURES AND STANDARDS SHALL CONFORM TO STATE AND LOCAL SAFETY AND ILLUMINATION STANDARDS.

SITE LIGHTING FOR PAD STRUCTURES IS TO MATCH THE SITE LIGHTING PROVIDED FOR THE MAIN COMMERCIAL PARKING AREA.

PAD SIGN LIGHTING SHALL NOT EXCEED 30 FEET FROM THE FINISHED GRADE TO THE TOP OF THE POLE. MAIN COMMERCIAL PARKING AREA LIGHTING SHALL NOT EXCEED 30 FEET. PARKING LOT LIGHTS WITHIN 100 FEET OF RESIDENTIAL AREAS SHALL BE A MAXIMUM OF 15 FEET HIGH FROM FINISHED GRADE TO TOP OF POLE.

SPROCED UNSHIELDED LIGHT FIXTURES ARE PROHIBITED. ALL LAMPS SHALL BE SHIELDED (NO BOX-TYPE FIXTURES).

INDIVIDUAL SITE LIGHTING STANDARDS SHALL BLEND WITH THE ARCHITECTURAL CHARACTER OF THE BUILDINGS AND OTHER SITE FIXTURES.

THE LOCATION OF LIGHT FIXTURES SHALL BE IDENTIFIED ON SUBSEQUENT SITE PLANS FOR BUILDING PERMIT.

AREA LIGHTING SHALL BE RESTRICTED TO A MAXIMUM OFF-SITE LUMINANCE OF 1000 FOOT-CANDELES FROM ANY POINT AND MAXIMUM OF 100 FOOT-CANDELES FROM ANY RESIDENTIAL PROPERTY LINE.

ACCENT LIGHTING IS PERMITTED. HOWEVER, SURFACE LIGHTING IS LIMITED TO AN AVERAGE OF 3 FOOT-CANDELES MEASURED 4 FEET FROM THE SURFACE LEVEL OF ANY POINT ON THE BUILDING SURFACE BEING ILLUMINATED. UTILITIES

TO ENSURE THE OVERALL AESTHETIC QUALITY AND THE NATURAL ENVIRONMENT, THE VISUAL IMPACT OF UTILITIES AND EQUIPMENT SHOULD BE MINIMIZED BY THE FOLLOWING:

TRANSFORMERS, UTILITY PADS AND TELEPHONE BOXES SHALL BE APPROPRIATELY SCREENED WITH WALLS AND/OR VEGETATION 6-8" HIGH VIEWED FROM THE PUBLIC RIGHT-OF-WAY.

WHEN AN ABOVEGROUND BACK FLOW PREVENTION DEVICE IS REQUIRED BY THE CITY OF ALBUQUERQUE, THE HEATED ENCLOSURE SHALL BE CONSTRUCTED OF MATERIALS COMPATIBLE WITH THE ARCHITECTURAL MATERIALS USED AS THE MAIN ELEMENTS OF THE BUILDING. IF PREFABRICATED FIBERGLASS ENCLOSURES ARE USED, THEY SHALL BE APPROPRIATELY SCREENED FROM VIEW BY WALLS AND/OR LANDSCAPING.

SIGNAGE

THE FOLLOWING SIGNAGE STANDARDS WERE DEVELOPED TO REGULATE THE SIZE, LOCATION, TYPE AND QUALITY OF THE SIGN ELEMENTS WITHIN VOLCANO POINT. THE PRIMARY GOAL IS TO PROVIDE A SIGNAGE PROGRAM WITH QUALITY, MAINTAIN A CONSISTENT STYLE, CREATE A SENSE OF ARRIVAL, AND COMPLEMENT THE VISUAL CHARACTER OF THE DEVELOPMENT.

ALL SIGNS SHALL BE IN COMPLIANCE WITH SECTION 14-16-3-3 GENERAL SIGN REGULATIONS OF THE CORPORATION'S CITY ZONING CODE.

ONE ARCHITECTURALLY COORDINATED 27 FOOT TALL SIGN, 100 SQUARE FEET IN SIGN AREA IS ALLOWED ALONG CENTRAL AVENUE. ONE ARCHITECTURALLY COORDINATED 18 FOOT TALL SIGN PER PARCEL (TOTAL 4) 80 SQUARE FEET IN SIGN AREA IS ALLOWED ALONG WITH STREET. EACH BUILDING PAD IS PERMITTED 80 SQUARE FEET PER SIGN ADJACENT TO THE INTERNAL SITE DRIVE.

ALL BUILDING MOUNTED SIGNAGE WILL BE INDIVIDUAL TYPE LETTERING NOT TO EXCEED 8 PERCENT OF THE WALL AREA OF EACH BUILDING ELEVATION OR TEN PERCENT OF THE WALL AREA OF MULTI-TENANT SHOP BUILDINGS.

ALL SIGNS ARE TO BE OF INDIVIDUAL LETTERS. THE FOLLOWING TYPES OF LETTERS ARE ACCEPTABLE:

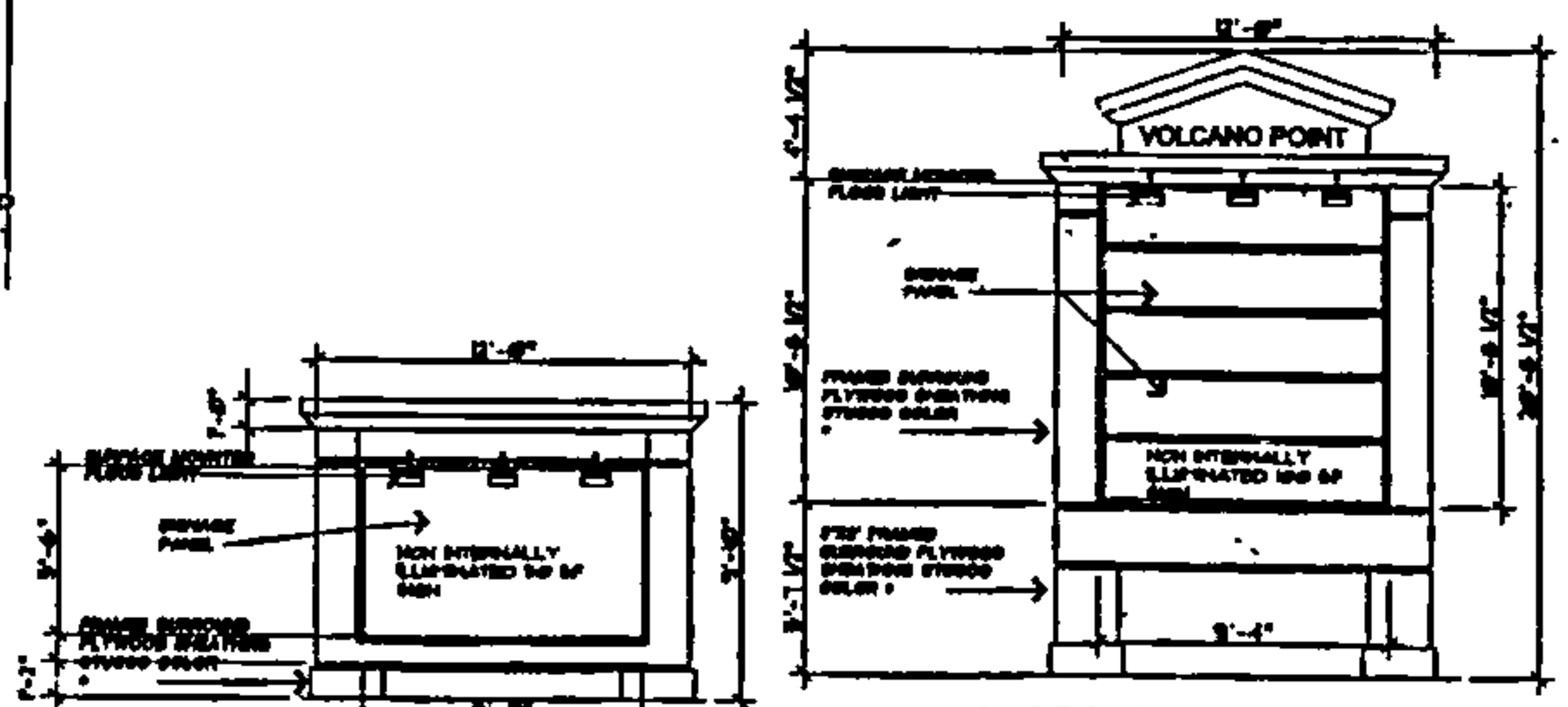
TYPE 1: OPAQUE LETTERING INDEPENDENTLY ILLUMINATED BY GROUND NECK TYPE LIGHTING.

TYPE 2: CHANNEL LETTERS DARK BROWN OR BLACK IN COLOR INTERNALLY ILLUMINATED WITH LETTER SIGNS TO MATCH LETTER FACE COLOR. FACE COLORS TO BE TO THE DISCRETION OF THE TENANT.

TYPE 3: SAFE AS TYPE 2 EXCEPT HALO LIGHT.

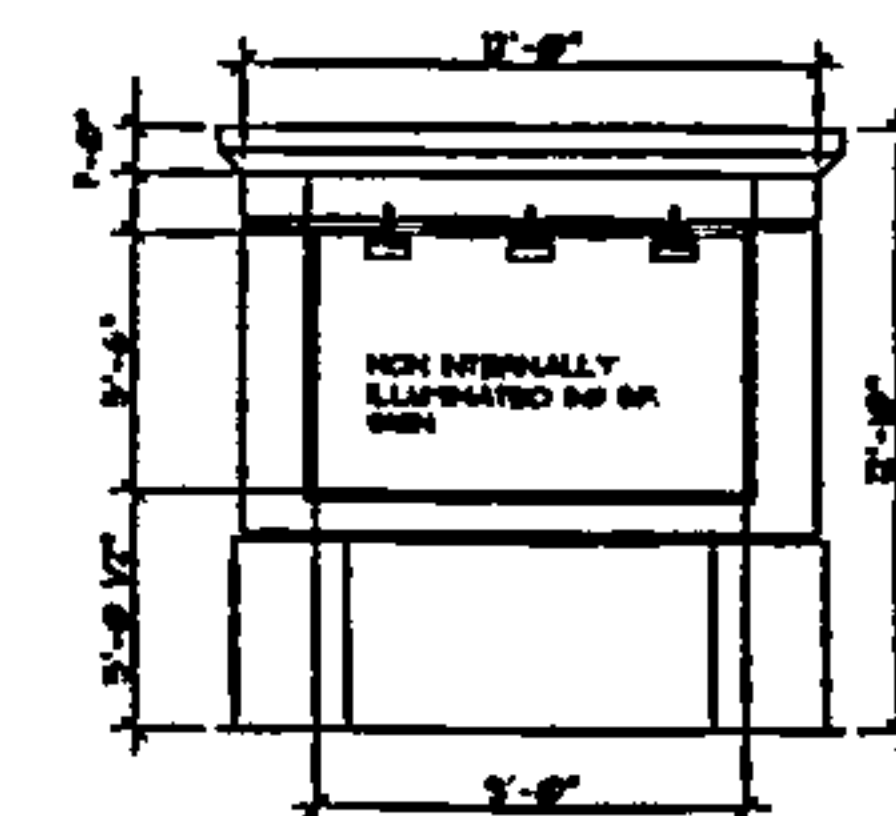
TYPE 4: HALO LIGHT LETTERS CUT OUT OF SOLID METAL BACKGROUND MOUNTED ON THE FACE OF THE BUILDING.

CAN TYPE SIGNS ARE PROHIBITED. ANY SPECIAL LOGOS ASSOCIATED WITH SPECIFIC TENANT ARE TO BE PROVIDED IN A NON-ILLUMINATED FASHION FOR SPECIFIC APPROVAL.



50 S.F. 98TH STREET NW SIGNS

100 S.F. CENTRAL AVE.



50 S.F. 98TH STREET NW PARCEL 1 SIGN

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
98TH AND CENTRAL PLAN
NORTHWEST CORNER OF 98TH ST. & CENTRAL AVENUE
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER
ANTHONY DIMITRO

DATE
11-1-2006

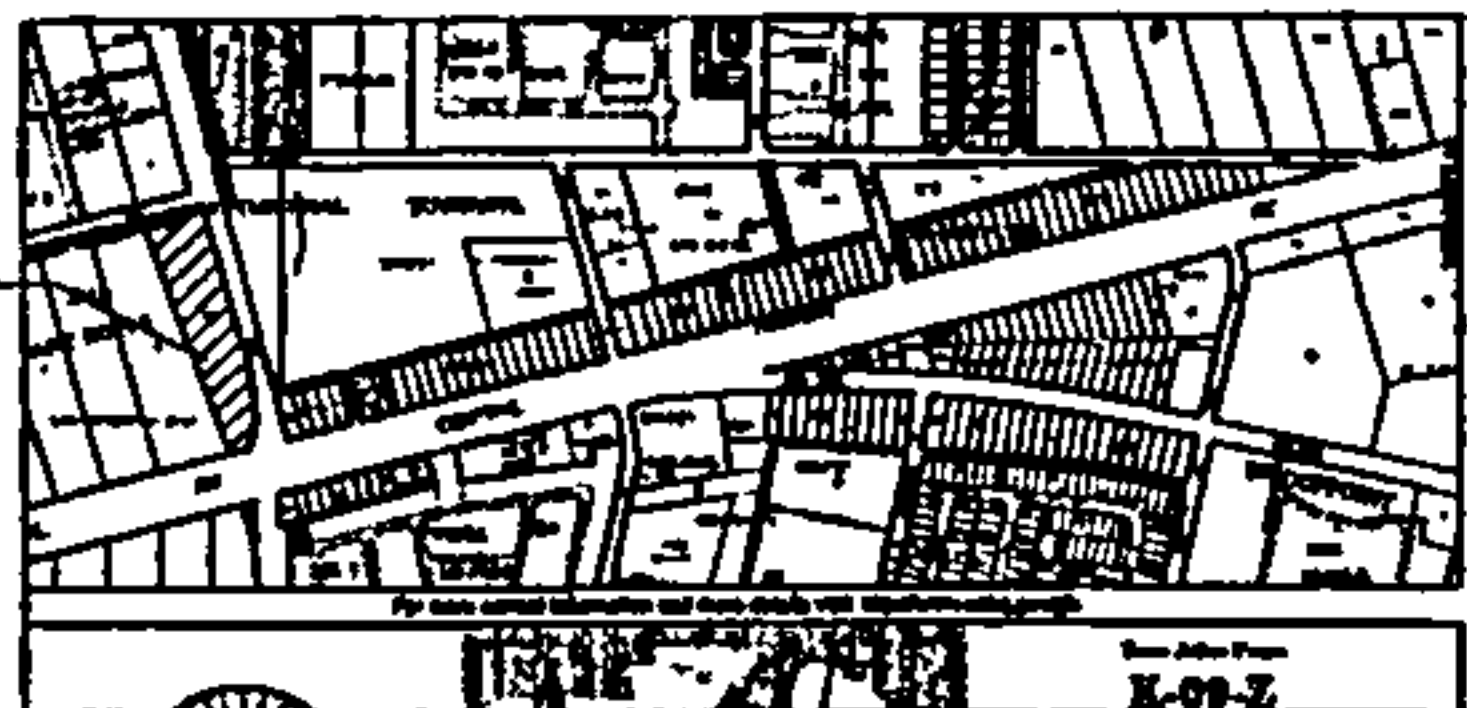
SCALE
1"=40'

DATE
11-1-2006

SCALE
AS2

SHEET TITLE
SITE PLAN FOR SUBDIVISION

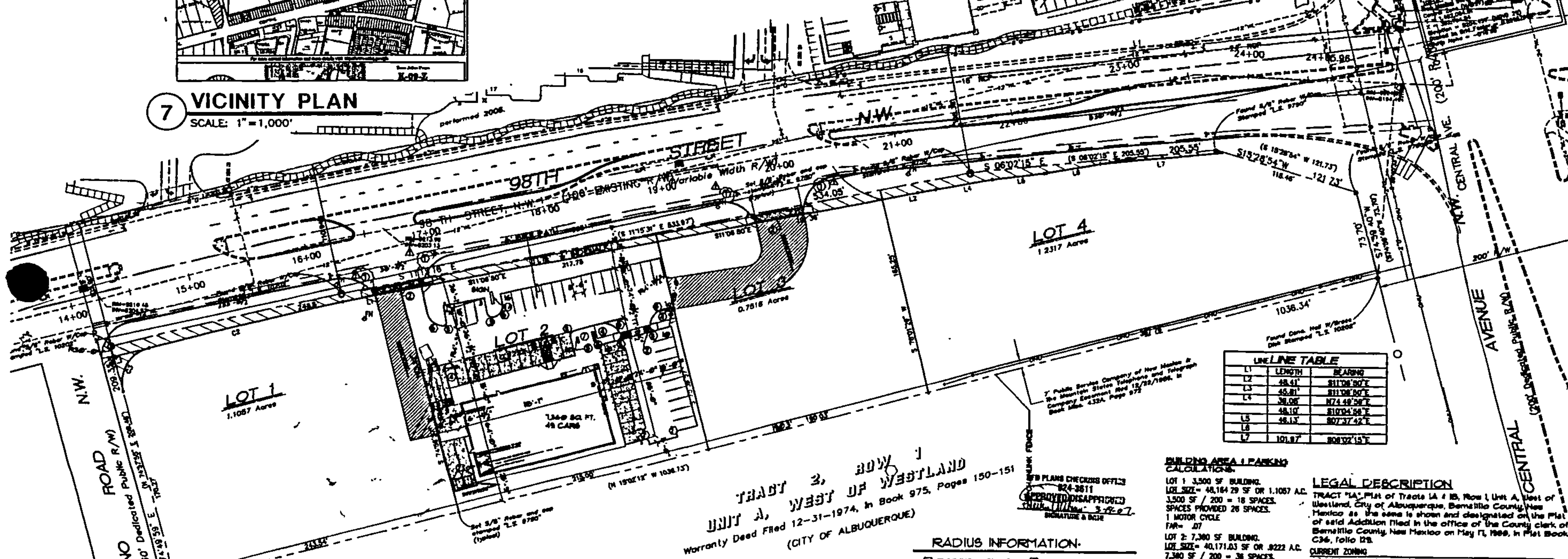
SITE LOCATION



CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	196.21	3238.78	88.14	196.16	N181°47'00"	2°41'58"
C2	185.56	4223.78	82.79	185.56	N182°46'53"	2°12'42"
C3	47.28	30.07	30.14	42.57	N89°20'57"	8°21'55"

7 VICINITY PLAN

SCALE: 1"=1,000'



REV#	DATE	BY	REVISION
1			GENERAL CORRECTIONS
2			CONVERSION ACRES AND SHALL ON PARKING SIZE
3			
4			

LOT 1
1.1057 Acres

**TRACT 3, ROW 1
UNIT A, WEST OF WESTLAND**
Warranty Deed Filed 12-31-1974, in Book 975, Pages 150-151
(CITY OF ALBUQUERQUE)

LINE	LENGTH	BEARING
L1	48.41'	S117°06'00"E
L2	45.81'	S117°06'00"E
L3	38.08'	N74°49'56"E
L4	48.10'	S109°45'56"E
L5	48.12'	S07°37'42"E
L7	101.87'	S08°32'15"E

SITE PLAN

1"=40'-0"

NORTH

7:00 ELEVATION



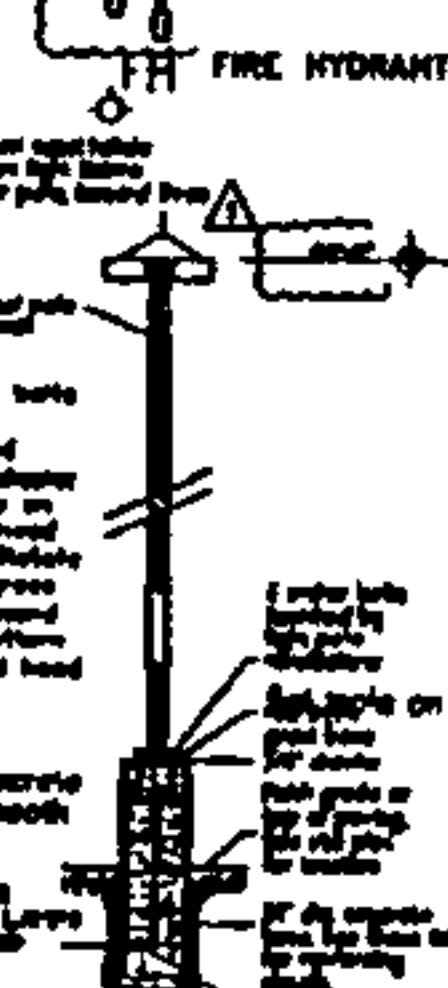
RADIUS INFORMATION

- ① RADIUS = 2'-0"
- ② RADIUS = 3'-0"
- ③ RADIUS = 5'-0"
- ④ RADIUS = 10'-0"
- ⑤ RADIUS = 15'-0"
- ⑥ RADIUS = 20'-0"
- ⑦ RADIUS = 30'-0"
- ⑧ RADIUS = 35'-0"
- ⑨ RADIUS = 40'-0"
- ⑩ RADIUS = 50'-0"
- ⑪ RADIUS = 60'-0"
- ⑫ RADIUS = 65'-6"
- ⑬ RADIUS = 100'-0"
- ⑭ RADIUS = 124'-0"

KEYED NOTES

1. Pylon sign
2. 2'-0" RAISED/TEXTURED PEDESTRIAN CROSSWALK
3. GATED REFUSE ENCLOSURE-PAINTED STUCCO TO MATCH BUILDING WITH SOLID GATES. (ALL REFUSE ENCLOSURES TO RECEIVE SANITARY DRAINS)
4. TREE PLANTINGS MIN. 3" SQUARE FEET.
5. BIKE RACK PER C.O.L. STANDARDS.
6. 2'-6" GARDEN WALL
7. REFUSE ENCLOSURE WITH ADDITIONAL RECYCLE CONTAINER
8. RECYCLE CONTAINER AREA

LEGEND



② BIKE RACK
Scale: Not to Scale

③ SITE LIGHTING
Scale: Not to Scale

⑧ MONUMENT SIGN
Scale: Not to Scale

⑥ MONUMENT SIGN
Scale: Not to Scale

⑦ GARDEN WALL
Scale: Not to Scale

⑥ PYLON SIGN
Scale: Not to Scale

BUILDING AREA & PARKING CALCULATIONS

LOT 1: 3,500 SF BUILDING
LOT SIZE = 48,184.29 SF OR 1.1057 A.C.
3,500 SF / 200 = 18 SPACES
SPACES PROVIDED 26 SPACES
1 MOTOR CYCLE
FAR = .07

LOT 2: 7,300 SF BUILDING
LOT SIZE = 40,171.03 SF OR .9222 A.C.
7,300 SF / 200 = 38 SPACES
SPACES PROVIDED 48 SPACES
1 MOTOR CYCLE
FAR = .18

LOT 3: FAST FOOD 2,300 SF BUILDING
LOT SIZE = 32,738.88 SF OR .7516 A.C.
1 CAR PER 4 PROVIDED SEATS
137 SEATS / 4 = 34 RED SPACES
SPACES PROVIDED 34 SPACES
2 MOTOR CYCLE
FAR = .07

LOT 4: SHOPS 13,878 SF BUILDING
LOT SIZE = 53,852.85 SF OR 1.2317 A.C.
13,878 / 200 = 69 SPACES
SPACES PROVIDED 71 SPACES
4 MOTOR CYCLE
FAR = .21

FLOOR AREA RATIO
BUILDING SQUARE FOOTAGE MAY BE HIGHER, BUT SHALL NOT EXCEED 10,000 SQ/FT PER ACRES ACRE IN ACCORDANCE WITH THE MAY 31, 1998 AGREEMENT WITH C.O.A.

TOTAL BUILDING AREA = 22,185 SQ/FT
TOTAL LOT AREA = 174,727.88 SQ/FT
TOTAL FAR = .16

LEGAL DESCRIPTION

TRACT PART of Tracts 1A & 1B, Row 1, Unit A, West of Westland, City of Albuquerque, Bernalillo County, New Mexico as the same is shown and designated on the Plat of said Addition filed in the office of the County Clerk of Bernalillo County, New Mexico on May 11, 1988, in Plat Book C36, Folio 128.

CURRENT ZONING

BU 2 FORM PCA (PLANNED COMMERCIAL AREA)
TOTAL ACRES = 4.824 ACRES (TOTAL GROSS)

PARKING NOTES

TYPICAL STANDARD SPACES ARE 8'-6" X 18'-0" WITH 5'-0" SIDE CLEARANCE
TYPICAL HANDICAP SPACES ARE 8'-6" X 20'-0" WITH A 6' WIDE ACCESS AISLE
ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED

TOTAL STANDARD PARKING SPACES PROVIDED 158 SPACES
TOTAL HO PARKING SPACES PROVIDED (BICYCLES & VAN SPACES) 8 SPACES
TOTAL SMALL CAR PARKING SPACES PROVIDED 14 SPACES
MOTOR CYCLE SPACES 8

TOTAL PROVIDED 178 SPACES
TOTAL REQUIRED SPACES = 157 SPACES
TOTAL PROVIDED SPACES = 188 SPACES

PROJECT NUMBER: 1003194

APPLICATION NUMBER: 07DKA-00182

This plan is submitted with the specific site development plan approved by the Environmental Planning Commission (EPC) on 11-1-2008 and for the building and construction in the District indicated. If conditions are satisfied, it is an Intermunicipal EIR required () YES () NO. If yes, then a set of approved EIR plans with a work order is required for any construction which Public Right-of-Way or for construction of public improvements.

SEE THE DEVELOPMENT PLAN FOR MORE APPROVALS

City of Albuquerque, Environmental Division	3-1-07
City of Albuquerque, Planning Department	3-1-07
City of Albuquerque, Parks and Recreation Department	3/1/07
City of Albuquerque, Public Works Department	3/1/07
City of Albuquerque, Health Department	3/1/07
City of Albuquerque, Fire Department	3/1/07
City of Albuquerque, Police Department	3/1/07

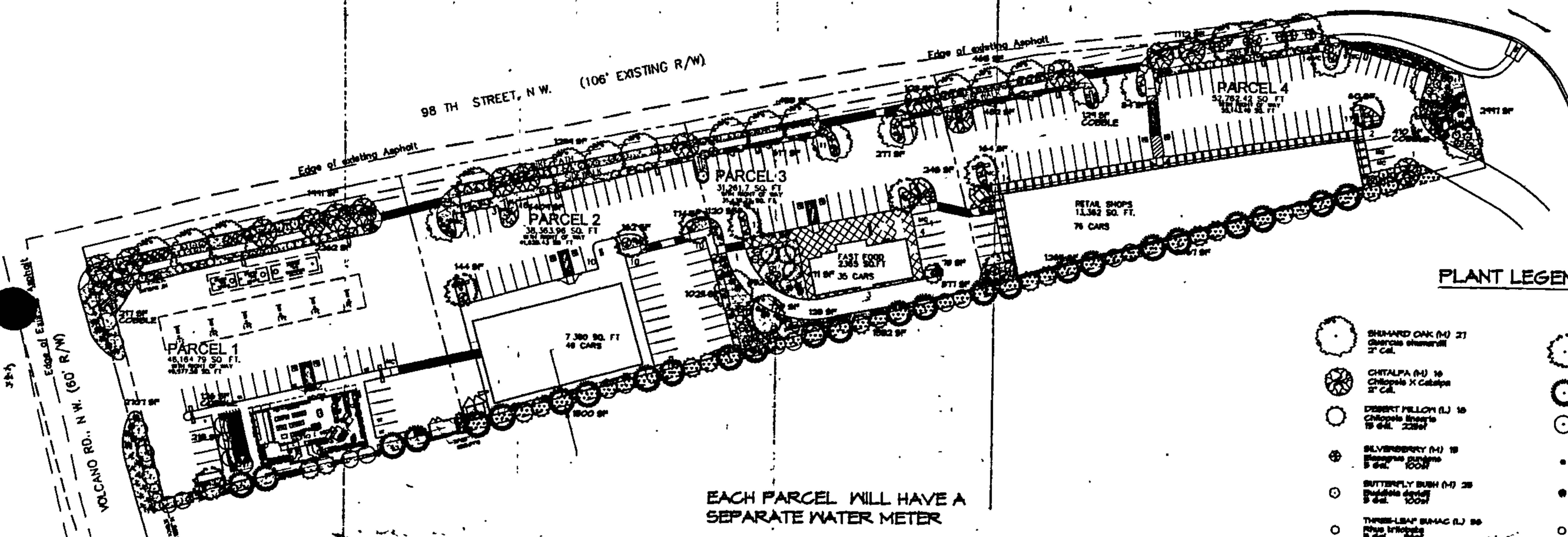
Environmental Health, if necessary

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY NOT FOR CONSTRUCTION

PROJECT TITLE: 98TH AND CENTRAL PLAN
NORTHWEST CORNER OF 98TH ST. & CENTRAL AVENUE, ALBUQUERQUE, NEW MEXICO
PROJECT NUMBER: 1003194
JOB NO.: 0883
DRAWN BY: WRS
CHECKED BY: WRS
DATE: 11-1-2008
SCALE: 1"=40'

SITE PLAN FOR BLDG. PERMIT AS3



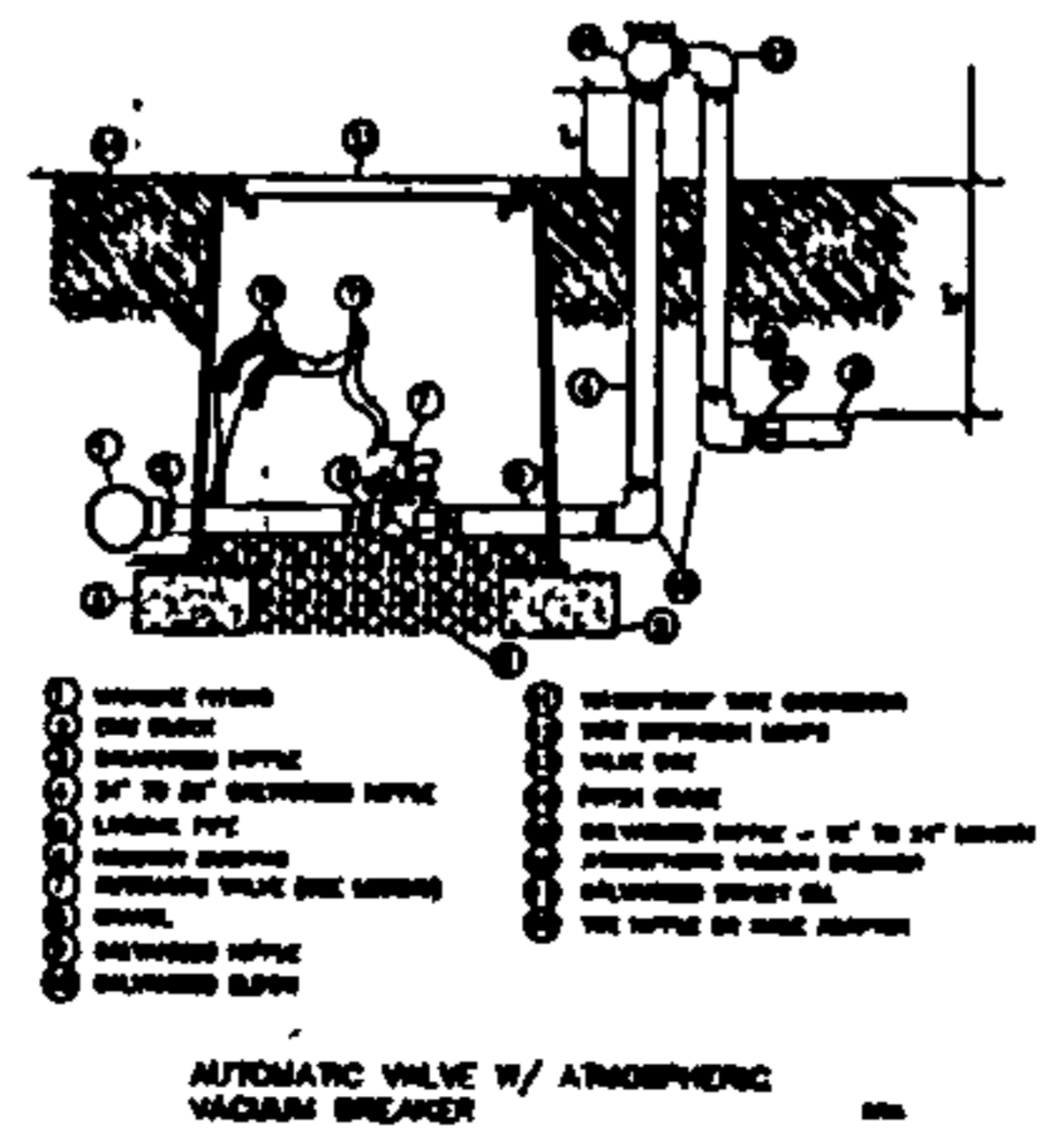
EACH PARCEL WILL HAVE A SEPARATE WATER METER

PLANT LEGEND

- SHENARD OAK (M) 21
Quercus shumardii
2" Cal.
- CHITALPA (M) 16
Chitalpa X Catalpa
2" Cal.
- DESERT YELLOE (L) 16
Chilopsis linearis
15 Gal. 2200'
- SILVERBERRY (M) 18
Elaeagnus pungens
5 Gal. 1000'
- BUTTERFLY BUSH (M) 28
Buddleia davidii
5 Gal. 1000'
- THREE-LEAF BUNAC (L) 36
Rhus trilobata
5 Gal. 800'
- RED YUCCA (L) 36
Nagebeya parviflora
5 Gal. 400'
- KHADHA (M) 21
Nerita domestica
5 Gal. 200'
- GREY-LEAF COTONBASTER (M) 6
Cotoneaster lucidifolia
5 Gal. 500'
- NATURAL EDGE
- COMMERCIAL GRADE
STEEL EDGING
- SANTA FE BROWN GRAVEL
WITH FILTER FABRIC
- SANTA FE BROWN CRUSHER
CRUSHER PAVED PAVT
- COBBLE PAVT
- 5/8" GREY GRAVEL
WITH FILTER FABRIC
- CHINESE PISTACHE (M) 4
Pistacia chinensis
2" Cal.
- AUSTRALIAN PINE (M) 22
Pinus nigra
9'-8"
- NEW HIBISCO OLIVE (L) 24
Foresteria neocanariensis
15 Gal.
- REBBL MIST (M) 18
Lobelia spicata
5 Gal. 400'
- OCOTILLO (L) 9
Fouquieria splendens
- RUSSIAN SAGE (M) 36
Perovskia atriplicifolia
5 Gal. 800'
- POTENTILLA (M) 48
Potentilla fruticosa
1 Gal. 400'
- HONEYBUCKLE (M) 32
Lonicera japonica
1 Gal. 400'
- FIELDFLOWER 30
1 Gal. 400'
- THREASGRASS (M) 36
Stipa tenuifolia
1 Gal. 400'
- PRICKLY PEAR (L) 16
Opuntia macrocentra
4 Gal.
- AGAVE (L) 2
Agave spp.
16 Gal.
- 12 Boulders

LANDSCAPE CALCULATIONS					
	PARCEL 1	PARCEL 2	PARCEL 3	PARCEL 4	TOTAL SITE
TOTAL LOT AREA	4178 SF	4161 SF	5841 SF	5914 SF	18294 SF
TOTAL BUILDING AREA	8666 SF	1840 SF	2848 SF	15942 SF	24356 SF
OFFSITE AREA	8618 SF	3708 SF	4171 SF	3884 SF	18381 SF
NET LOT AREA	4321 SF	8864 SF	2891 SF	9140 SF	14916 SF
LANDSCAPE REQUIREMENT (1%)	6648 SF	4129 SF	4888 SF	8110 SF	23775 SF
TOTAL BED PROVIDED	9708 SF	4418 SF	6284 SF	8148 SF	28558 SF
GROUNDCOVER REQ. (7%)	4271 SF	894 SF	4691 SF	6181 SF	16437 SF
TOTAL LANDSCAPE PROVIDED	14008 SF (17%)	14008 SF (17%)	14008 SF (17%)	14008 SF (17%)	14008 SF (17%)

NOTE TO CLIENT:
Should The Hilltop not receive a grading and drainage plan during the design process or the on-site grades differ from the grading and drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 3/4" cobblestone will not stay on a slope greater than 5:1. If the grades are greater than what was originally designed, we will request an in-field change-order to lay cobblestone or rip-rap. In lieu of the specified gravel, to stabilize the slope, all vegetative material shall remain per plan.



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.
It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply assumption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.
Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Foliage Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.
Plant beds shall achieve 75% live ground cover at maturity.
Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (3) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubble systems to be tied to 1/2" poly pipe with flush caps at each end.
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.
Location of controller to be field determined and power source for controller to be provided by others.
Irrigation maintenance shall be the responsibility of the Property Owner.
Water and power source shall be the responsibility of the Developer/Builder.

STREET TREE REQUIREMENTS:
Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:
Name of Street: 48th Street NW
Required = 31 Provided = 31
Name of Street: Central Ave. NW
Required = 3 Provided = 3

PARKING LOT TREE REQUIREMENTS:
Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:
1 Shade tree per 10 spaces
Required = 11 Provided = 20

REV	DATE	BY	REVISION
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GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT TITLE
VOLCANO POINT
NORTHWEST CORNER OF 98TH ST. & CENTRAL AVENUE
ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER
ANTHONY DANTILLO
JOB NO.
0853
DRAWN BY
RAMI
SHEET TITLE
LANDSCAPE PLAN

The Hilltop
LANDSCAPE ARCHITECTS & CONSULTANTS
Cont Lic. #26456
7908 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 896-8890
Fax (505) 896-7737
www.hilltoplandscape.com
All services also provided through the courtesy of The Hilltop Landscape Architecture. Consultations are provided by request only. This is a conceptual design and does not constitute a contract. All applicable laws and codes shall be followed.

LANDSCAPE PLAN
1" = 40'-0" NORTH

DATE	SHEET
11-1-2006	1

SCALE: 1" = 40'

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: Pat Joseph DATE OF REQUEST: 5/27/10 ZONE ATLAS PAGE(S): 15-9-2

CURRENT:

ZONING S42 For Reg

PARCEL SIZE (AC/SQ. FT.) .75/16

REQUESTED CITY ACTION(S):

ANNEXATION []

SECTOR PLAN []

SITE DEVELOPMENT PLAN:

COMP. PLAN []

ZONE CHANGE []

A) SUBDIVISION []

BUILDING PERMIT

AMENDMENT []

CONDITIONAL USE []

B) BUILD'G PURPOSES []

ACCESS PERMIT []

C) AMENDMENT []

OTHER []

LEGAL DESCRIPTION:

LOT OR TRACT # 3 BLOCK # _____

SUBDIVISION NAME Plat of Lots 1 thru 4 Volcano Point Shopping Center

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT []

OF UNITS: _____

NEW CONSTRUCTION

BUILDING SIZE: 2,248 (sq. ft.)

EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION: ¹

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE [Signature] DATE 5/27/10
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO BORDERLINE []

THRESHOLDS MET? YES NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED:

Notes: CENTRAL 198th COMMERCIAL DEV. TIS (2007)

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

TRAFFIC ENGINEER [Signature] DATE 5-27-10

Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [] NO

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

APPLICANT [Signature] DATE 5/25/10

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED 6/10/07 -FINALIZED 1/1/ TRAFFIC ENGINEER [Signature] DATE 5-27-10

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

_____ **Applicant or Agent Signature / Date**

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**
6. **Previously approved Development Plan (if applicable)**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.**

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'
 1.0 - 5.0 acres 1" = 20'
 Over 5 acres 1" = 50'
 Over 20 acres 1" = 100' *[Other scales as approved by staff]*
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Property lines (clearly identify)
- 7. Existing and proposed easements (identify each)
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

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B. Proposed Development (If supplemental Sheets are used please indicate sheet #)

1. Structural

- A. Location of existing & proposed structures (distinguish between existing & proposed, include phasing)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Site amenities including patios, benches, tables, (indicating square footage of patios/ plazas).

2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. **Location and typical dimensions**, including handicapped spaces
 - 2. **Calculations:** spaces required: 10 provided: 37
Handicapped spaces (included in required total) required: 2 provided: 2
Motorcycle spaces (in addition to required total) required: 1 provided: 1
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 2 provided: 2
 - 2. Bikeways and other bicycle facilities, if applicable
- C. Public Transit
 - 1. Bus facilities, including routes, bays and shelters existing or required
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
- E. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
 - 6. Existing and proposed street widths, right-of-way widths and curve radii
 - 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 8. Location of traffic signs and signals related to the functioning of the proposal
 - 9. Identify existing and proposed medians and median cuts

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

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3. Phasing

- NA A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Backflow prevention detail
- 10. Planting Beds, indicating square footage of each bed
- 11. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 12. Responsibility for Maintenance (statement)
- 13. Statement of compliance with Water Conservation Ordinance, see article 6-1-1-1.
- 14. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 15. Landscaped area provided; square footage and percent (specify clearly on plan)
- 16. Planting or tree well detail
- 17. Street Tree Plan as defined in the Street Tree Ord.

SHEET # 3 PRELIMINARY GRADING PLAN

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1 with written approval from the Planning Department Staff.

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

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- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 UTILITY PLAN

- Sheet #51*
- 1. Fire hydrant locations, existing and proposed.
 - 2. Distribution lines
 - 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
 - 4. Existing water, sewer, storm drainage facilities (public and/or private).
 - 5. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation (north, south, east, & west).
 - 2. Facade dimensions including overall height and width
 - 3. Location, dimensions, materials, and colors of principle facade elements- windows, doors, etc.
 - 4. For EPC and DRB submittals only – Color renderings or similar (12 copies) illustrations
- E. *NR* Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

May 17, 2010

Pat Joseph
P.J. Developments, Inc.
P.O. Box 14903/87191
Phone: 505-263-6965/Fax: 505-797-4800

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Dear Pat:

Thank you for your inquiry of May 17, 2010 requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) LOT 3 OF VOLCANO POINT SHOPPING CENTER (BEING A REPLAT OF TRACT 1-A, ROW 1, UNIT A, WEST OF WESTLAND), WITHIN THE TOWN OF ATRISCO GRANT, LOCATED ON 98TH STREET NW BETWEEN CENTRAL AVENUE NW AND VOLCANO ROAD NW** Zone Map: **K-9.**

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

AVALON N.A. "R"

Kelly Chappelle

9135 Santa Catalina Ave. NW/87121 836-1766 (h)

Evonne Hight

8624 Hatteras Pl. NW/87121 553-1732 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck

Neighborhood Liaison

OFFICE OF NEIGHBORHOOD COORDINATION

Planning Department

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD AND/OR
HOMEOWNER ASSOCIATION.**

planningrnaform(05/22/08)



**DEVELOPMENTS
INCORPORATED**

**RESIDENTIAL AND
COMMERCIAL
CONSTRUCTION
LICENSE 053428**

PAT JOSEPH

5/18/10
Evonne Hight
8624 Hatteras Pl. N.W.
Albuquerque New Mexico 87121

Greetings,

I am writing you with reference to the vacant property located at 111 98th St N.W. Legal description is as follows: Lot 3 of Volcano Point Shopping Center (Being a Replat of Tract 1-A Row 1, Unit A, West of Westland), within the Town of Atrisco Grant, in the City of Albuquerque. This property is on the West side of the street, between the existing Auto Zone and the new Commercial spaces (currently under construction). We are bordered by Central Ave. to the South and Volcano Blvd to the North.

I am the agent for the owner and we are requesting DRB Site plan approval for a building permit for a Burger King Fast Food Restaurant. The property was approved for this use in March of 2007. The building will fit into the approved envelope and the parking will remain the same (34 spaces).

Should you have questions , My Contact information is as follows:

Pat Joseph
P.J.Developments Inc.
P.O Box 14903
Albuquerque New Mexico 87191
Phone - 505-263-6965

Your time is appreciated

Sincerely


Pat Joseph



RESIDENTIAL AND
COMMERCIAL
CONSTRUCTION
LICENSE 053428

PAT JOSEPH

5/18/10

Kelly Chappelle
9135 Santa Catalina Ave N.W.
Albuquerque New Mexico 87121

Greetings,

I am writing you with reference to the vacant property located at 111 98th St N.W. Legal description is as follows: Lot 3 of Volcano Point Shopping Center (Being a Replat of Tract 1-A Row 1, Unit A, West of Westland), within the Town of Atrisco Grant, in the City of Albuquerque. This property is on the West side of the street, between the existing Auto Zone and the new Commercial spaces (currently under construction). We are bordered by Central Ave. to the South and Volcano Blvd to the North.

I am the agent for the owner and we are requesting DRB Site plan approval for a building permit for a Burger King Fast Food Restaurant. The property was approved for this use in March of 2007. The building will fit into the approved envelope and the parking will remain the same (34 spaces).

Should you have questions , My Contact information is as follows:

Pat Joseph
P.J.Developments Inc.
P.O Box 14903
Albuquerque New Mexico 87191
Phone - 505-263-6965

Your time is appreciated

Sincerely


Pat Joseph

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none"> Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	A. Signature <input checked="" type="checkbox"/> Agent <input checked="" type="checkbox"/> Addressee <i>[Signature]</i>	C. Date of Delivery 5-21-10
1. Article Addressed to: Evonne Hight 8624 Hatheras Pl. P.O. Albuquerque N.M. 87121	B. Received by (Printed Name) JAMES HIGHT	D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No
2. Article Number (Transfer from service label)	3. Service Type <input type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.	
PS Form 3811, February 2004		Domestic Return Receipt
		102595-02-M-1540

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none"> Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	A. Signature <input checked="" type="checkbox"/> Agent <input checked="" type="checkbox"/> Addressee <i>[Signature]</i>	C. Date of Delivery 2010
1. Article Addressed to: Kelly Chappelle 9135 Santa Catalina Ave. N.W. Albuquerque N.M. 87121	B. Received by (Printed Name) Mackel Chappelle	D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No
2. Article Number (Transfer from service label)	3. Service Type <input type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.	
PS Form 3811, February 2004		Domestic Return Receipt
		102595-02-M-1540

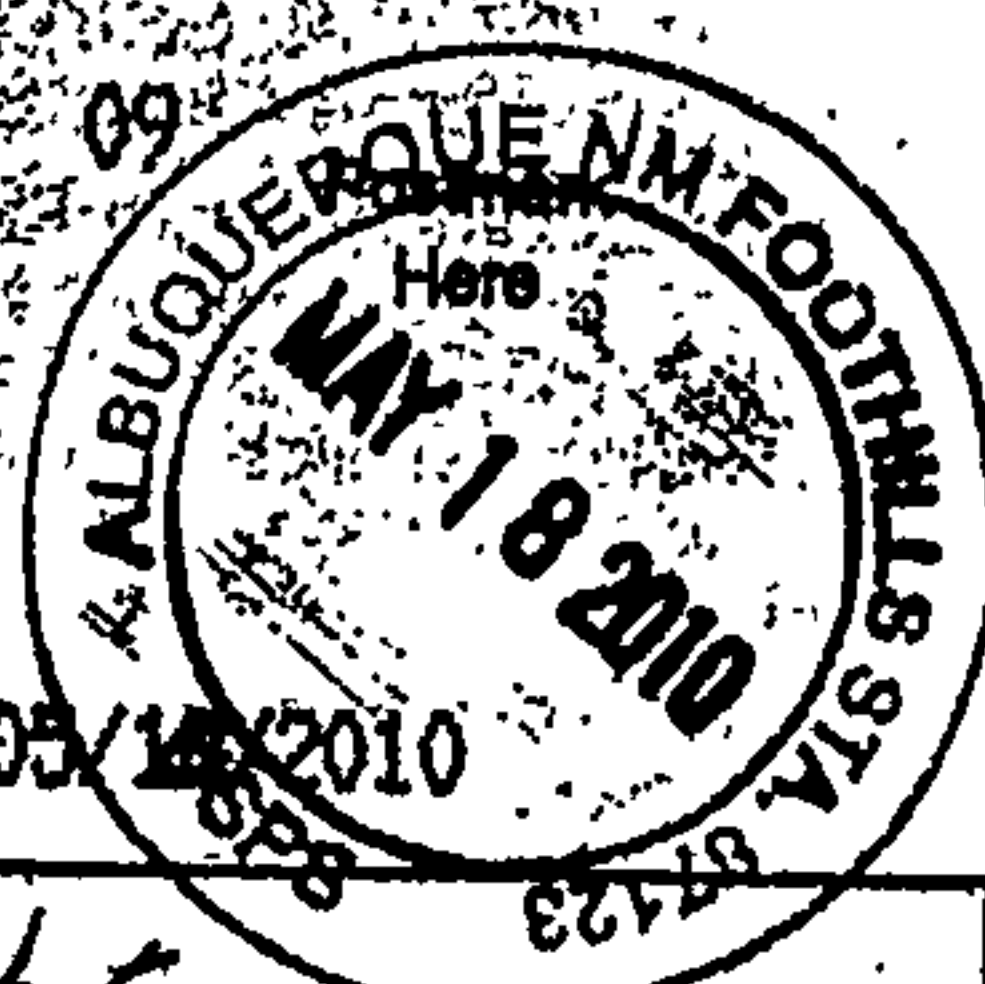
7010 0290 0003 5350 5679

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com.

OFFICIAL USE

Postage	\$0.88	0128
Certified Fee	\$2.80	09
Return Receipt Fee (Endorsement Required)	\$2.30	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$5.98	



Sent To: *Erin High*
 Street, Apt. No., or PO Box No.: *8624 Hatteras Pl. N.W.*
 City, State, ZIP+4: *Albuquerque N.M. 87121*

PS Form 3800, August 2006 See Reverse for Instructions

7010 0290 0003 5350 5679

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com.

OFFICIAL USE

Postage	\$0.88	0128
Certified Fee	\$2.80	
Return Receipt Fee (Endorsement Required)	\$2.30	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$5.98	



Sent To: *Kelly Chappelle*
 Street, Apt. No., or PO Box No.: *9135 Santa Cataline Ave P.W.*
 City, State, ZIP+4: *Albuquerque N.M. 87121*

PS Form 3800, August 2006 See Reverse for Instructions

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1003794

AGENDA ITEM NO: 4

SUBJECT:

Site Plan for Building Permit

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

An approved SIA with Financial Guarantee(s) is required prior to site plan sign off by City Engineer.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee
(K-09/D033 - VALERO CORNER STORE @ VOLCANO POINT)

505-924-3986

DATE: SEPTEMBER 19, 2007

September 14, 2007

City of Albuquerque
Planning Department
Inter-Office Memorandum

TO: Sheran Matson, DRB Chair

FROM: Maggie Gould, Planner

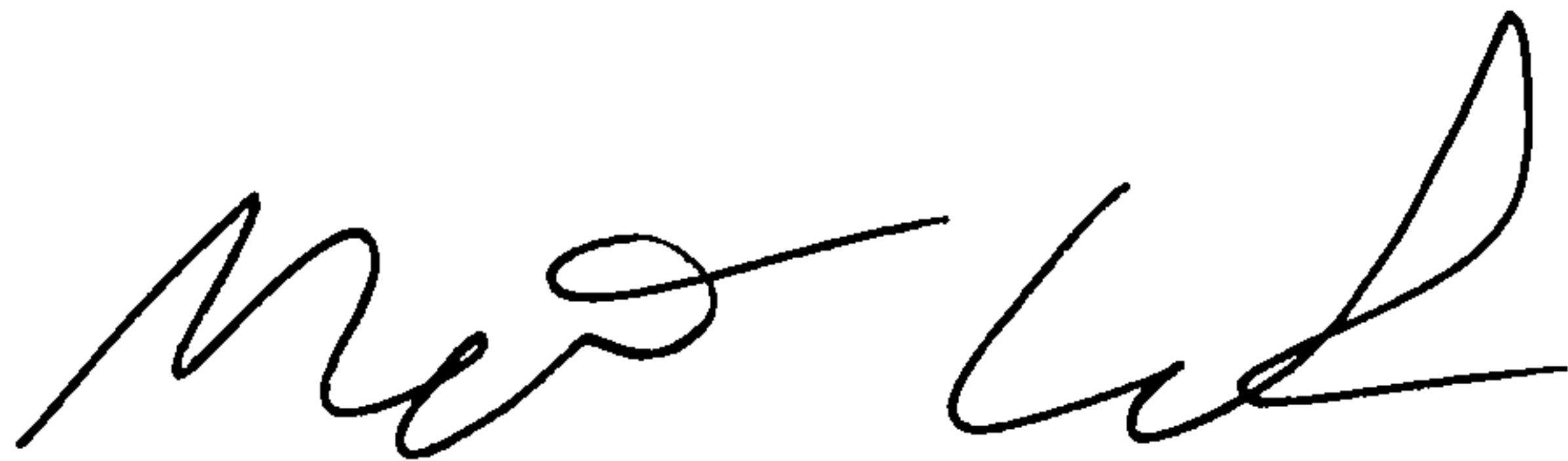
SUBJECT: Project # 1003794

The Environmental Planning Commission approved Project # 1003794 /06 EPC01586 Site Plan for Subdivision and 06EPC01587 Site Plan for Building Permit Lot 1 Volcano Point Shopping Center, located on 98th Street between Volcano road and Central Avenue NW on December 21, 2006. The applicant has satisfied all of the conditions of approval, with the following exceptions:

The note on the landscaping plan regarding changes in plant material should be deleted.

If you should have any questions regarding this case, please do not hesitate to call me at 924-3910.

Thank you.

A handwritten signature in black ink, appearing to read "Maggie Gould", is written in a cursive style.

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD MEMO

DRB CASE NO/PROJECT NO: 1003794

AGENDA ITEM NO: 4

SUBJECT:

Site Plan for Building Permit

ENGINEERING COMMENTS:

Site requires infrastructure. An executed Subdivision Improvements Agreement with financial guarantees is required for Site Plan approval.

PO Box 1293

RESOLUTION:

9-24-08 e-13-08

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

Albuquerque

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

NM 87103

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

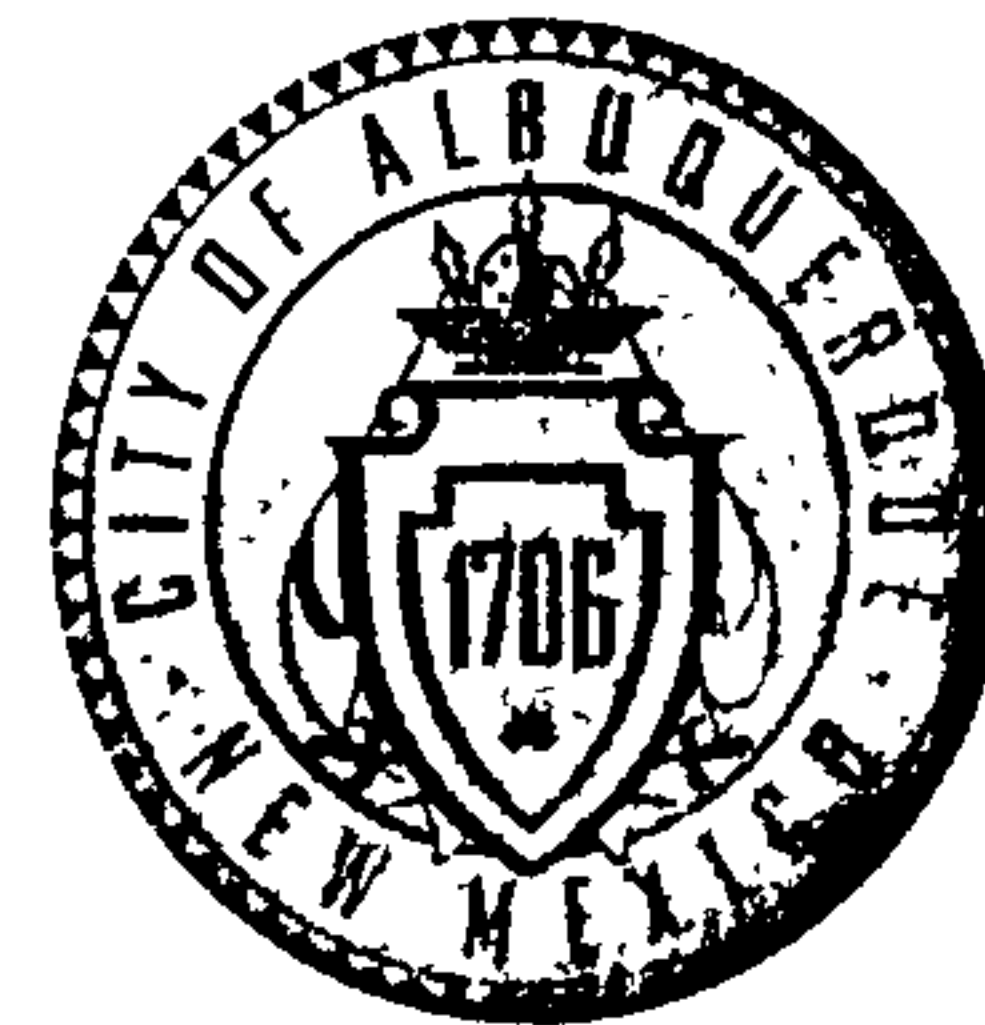
www.cabq.gov

SIGNED:

Curtis Cherne
City Engineer Designee
924-3695

DATE: 7-23-08

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003794

AGENDA ITEM NO: 3

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

ENGINEERING COMMENTS:

An approved Subdivision Improvements Agreement with financial guarantees is required for Site Development Plan sign-off by City Engineer.

Albuquerque

NM 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ^{8.21.08} X; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: August 20, 2008

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003794

AGENDA ITEM NO: 2

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

ENGINEERING COMMENTS:

Albuquerque

An approved infrastructure list is required for Site Plan approval.
An approved Subdivision Improvements Agreement with financial guarantees is required for Site Development Plan sign-off.

NM 87103

RESOLUTION:

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED ⁷⁻²³⁻⁰⁸ X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: July 9, 2008

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003794

AGENDA ITEM NO: 3

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

ENGINEERING COMMENTS:

An approved Subdivision Improvements Agreement with financial guarantees is required for Site Development Plan sign-off.

Albuquerque

8-20-08

NM 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: August 13, 2008

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: June 18, 2008
Zone Atlas Page: K-9
Notification Radius: 100 Ft.

Project# 1003794
App#08DRB-70238

Cross Reference and Location: 98TH ST BETWEEN VOLCANE RD NW AND
CENTRAL AVE NW

Applicant: PETERSON PROPERTIES
2325 SAN PEDRO STE 2A
ALBUQUERQUE, NM 87110

Agent: GEORGE RAINHART & ASSOC.
2325 SAN PEDRO NE STE 2B
ALBUQUERQUE, NM 87110

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: MAY 30, 2008
Signature: ERIN TREMLIN

Signature: ERIN TREMLIN

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

Supplemental form

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...
- D Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional Agent (if any): GEORGE RINHART / Assoc. PHONE: 884.9110
 ADDRESS: 2325 SAN PEDRO NE STE. 2B FAX: 837.9877
 CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: _____

APPLICANT: Peterson Properties PHONE: 884.3578
 ADDRESS: 2325 SAN PEDRO STE. 2A FAX: 884.6793
 CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: _____

Proprietary interest in site: RETAIL List all owners: _____

DESCRIPTION OF REQUEST: A Retail Drive-thru Restaurant Shell building to be constructed on lots 3 & 4

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 1A Plat of Tracts 1A & 1B Block: _____ Unit: _____
 Subdiv/Addr/TBKA: Westland, City of ALBUQUERQUE
 Existing Zoning: SUZ-PCK Proposed zoning: C2 MRGCD Map No _____
 Zone Atlas page(s): K-9-2 UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc):
07 DRB - 00182

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 4 No. of proposed lots: 2 Total area of site (acres): ± 2 ACRES
 LOCATION OF PROPERTY BY STREETS: On or Near: 98th STREET
 Between: Volcano Rd. NW and CENTRAL AVE. NW

Check-off if project was previously reviewed by Sketch Plan Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 5/20/08
 (Print) WILLIAM SUTTLER Applicant Agent

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

DRDRB - 70238

Attorn

SBP
ADY
CMF

S.F.

Fees

_____	\$ 385.00
_____	\$ 75.00
_____	\$ 20.00
_____	\$ _____
_____	\$ _____
_____	\$ _____
Total	\$ 480.00

Hearing date JUNE 18, 08

[Signature] 5/20/08
 Planner signature / date

Project # 1003794

Form revised 4/07

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. Bring the original Mylar to the meeting for sign-off. Your attendance is required.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB 1A)

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) 24 copies for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. Bring the original Mylar to the meeting for sign-off. Your attendance is required.

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) 24 copies for DRB public hearings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. Bring the original Mylar to the meeting for sign-off. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

William R. Suttles
 Applicant name (print)
[Signature] 5.22.08
 Applicant signature / date



Form revised JUNE 2005

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 OS/DRB - 70238

Sandy Handley 05/23/08
 Planner signature / date
 Project # 1003794

REC	COASD E.BERN CO.PA RCELD EC_200 7.UPC	COASDE.BERN CO.PARCELDEC _2007.OWNER	COASD E.BERN CO.PAR CELDEC _2007.O WNADD	COASD E.BERN CO.PAR CELDEC _2007.O WNCITY	COASDE .BERNC O.PARC ELDEC_ 2007.OW NSTATE	COASDE. BERNCO. PARCEL DEC_200 7.OWNZI PCODE	COASDE .BERNC O.PARC ELDEC_2 007.PRO PCLASS	COASD E.BERN CO.PAR CELDEC _2007.T AXDIST	COASDE.BERNCO.PARCEL DEC_2007.LEGALDESC
1	100905 609251 221032	MOYA DONMINI CA M	9317 CE NTRAL A VE NW	ALBUQU ERQUE	NM	87105	C	A1A	SOUTHERLY 120'FT OF LOT 25 BLK 10 ORIGINAL TOWN SITE OF WESTLAND
2	100905 608450 921034	MOYA DOMINIC A M	9317 CE NTRAL A VE NW	ALBUQU ERQUE	NM	87105	C	A1A	SLY 120 FT OF LT 27 BLK 10 EXC THE NLY & WLY PORT S OUT TO RW ORIGINAL T OWNSITE OF WESTLAND C ONT 0.0573 AC M/L OR 2,50 0SQ FT M/L
3	100905 702215 630606	GORHAM MARK L & INGRID J TR GORHAM RVT & LESLIE JANE LU BIN TRUSTEE L UBIN RVT	13615 PI NO RID GE PL N E	ALBUQU ERQUE	NM	87111	V	A1A	PART OF TR 1 ROW 2 UNIT A WEST OF WESTLAND AT RISCO GRANT CONT 2.00 A C
4	100905 700804 630103	CITY OF ALBUQ UERQUE	PO BOX 1293	ALBUQU ERQUE	NM	87103	V	A1A	TR3 ROW1 UNIT A WEST OF WESTLAND ATRISCO GRA NT CONT 5.00 AC
5	100905 606346 420405	COLUCCI ONORI O & VIRGINIA M	3305 TE NNESSE E ST NE	ALBUQU ERQUE	NM	87110	V	A1A	LT 1- A BLK 1 EXC THE ELY POR PLAT OF LTS 1-A & 1- B 'LANDS OF ATRISCO LAND GRANT' CONT 4.2489 AC M/ L OR 185,082 SF M/L
6	100905 606851 120406	CITY OF ALBUQ UERQUE	PO BOX 1293	ALBUQU ERQUE	NM	87103	V	A1A	ELY POR OF LT 1- A BLK 1 PLAT OF LTS 1- A & 1- B 'LANDS OF ATRISCO LAN D GRANT' CONT 0.3019 AC M/L OR 13,151 SF M/L
7	100905 608751 121033	MOYA DOMINIC A M	9317 CE NTRAL A VE NW	ALBUQU ERQUE	NM	87105	C	A1A	SOUTHERLY 120'FT OF LOT 26 BLK 10 ORIGINAL TOWN SITE OF WESTLAND
8	100905 604545 720404	COLUCCI ONORI O & VIRGINIA M	3305 TE NNESSE E ST NE	ALBUQU ERQUE	NM	87110	V	A1A	ALL TR 2 WEST OF WESTLA ND AKA LOT 2 BLK 1 LANDS OF TWN ATRISCO GRT CO NT 4.
9	100905 702805 130104	CITY OF ALBUQ UERQUE	PO BOX 1293	ALBUQU ERQUE	NM	87103	V	A1A	TR2 ROW1 UNIT A WEST OF WESTLAND ATRISCO GRA NT CONT 5.00 AC
10	100805 751012 240402	RIZVI ADIL & RIZ VI SHAKEEL & N ARJIS	7049 LU ELLA AN NE NE	ALBUQU ERQUE	NM	87109	V	A1A	TR 3E PLAT OF TRS 3A, 3B, 3C, 3D & 3E ROW 2 UNIT A WEST OF WESTLAND WITHI N THE TOWN OF ATRISCOG RANT CONT 5.006 AC
11	100905 705918 530705	MAJEX LIMITED PARTNERSHIP	PO BOX 3168	CORRAL ES	NM	87048	V	X1A	TR 15 LAND OF C H HALL C ONT 5.0 AC
12	100905 718518 430701	MAJEC LIMITED PARTNERSHIP	PO BOX 3168	CORRAL ES	NM	87048	V	X1A	TR 14 LAND OF C H HALL C ONT 5.0 AC
13	100905 702112 130605	DEME EILEEN M & STEVEN S HE RRERA & MICHA EL P HERRERA AS TRUSTEES	1436 GA TEWOOD D SW	ALBUQU ERQUE	NM	87105	V	A1A	SO 233FT TRS 1 & 2 ROW2 UNIT A WEST OF WESTLAN D ATRISCO GRANT CONT 2. 25 AC
14	100905 709202 430407	MONAHITI LLC	5321 ME NAUL BL VD NE	ALBUQU ERQUE	NM	87110	V	A1A	TR A PLAT OF TRACT A MO NAHITI SUBDIVISION CONT 1.3566 AC
15	100905	PETERSON PRO	1213 SA	ALBUQU	NM	87110	V	A1A	LT 4 PLAT OF LOTS 1 THRU

5	705003 530105	PETIES INVES TMENTS LLC	N PEDR O DR NE	ERQUE					4 VOLCANO POINT SHOPPI NG CENTER(BEING A REPL AT OF TRACT 1A ROW 1 UN IT 1 WEST OF WESTLAND)C ONT 1.2317 AC
1 6	100905 704005 030106	PETERSON PRO PERTIES INVES TMENTS LLC	1213 SA N PEDR O DR NE	ALBUQU ERQUE	NM	87110	V	A1A	LT 3 PLAT OF LOTS 1 THRU 4 VOLCANO POINT SHOPPI NG CENTER(BEING A REPL AT OF TRACT 1A ROW 1 UN IT 1 WEST OF WESTLAND)C ONT .7516 AC
1 7	100905 703006 530107	PETERSON PRO PERTIES INVES TMENTS LLC	1213 SA N PEDR O DR NE	ALBUQU ERQUE	NM	87110	V	A1A	LT 2 PLAT OF LOTS 1 THRU 4 VOLCANO POINT SHOPPI NG CENTER(BEING A REPL AT OF TRACT 1A ROW 1 UN IT 1 WEST OF WESTLAND)C ONT .9222 AC
1 8	100905 702008 030108	PETERSON PRO PERTIES INVES TMENTS LLC	1213 SA N PEDR O DR NE	ALBUQU ERQUE	NM	87110	V	A1A	LT 1 PLAT OF LOTS 1 THRU 4 VOLCANO POINT SHOPPI NG CENTER(BEING A REPL AT OF TRACT 1A ROW 1 UN IT 1 WEST OF WESTLAND)C ONT 1.1057 AC
1 9	100905 708004 830435	KRANIA LLC	5321 ME NAUL N E	ALBUQU ERQUE	NM	87110	V	A1A	LT 5 PLAT OF LOTS 1, 2, 3, 4 , 5 & 6 KRANIA CONT .4126 AC
2 0	100905 707506 830436	KRANIA LLC	5321 ME NAUL N E	ALBUQU ERQUE	NM	87110	V	A1A	LT 4 PLAT OF LOTS 1, 2, 3, 4 , 5 & 6 KRANIA CONT .7459 AC
2 1	100905 707007 830437	KRANIA LLC	5321 ME NAUL N E	ALBUQU ERQUE	NM	87110	V	A1A	LT 3 PLAT OF LOTS 1, 2, 3, 4 , 5 & 6 KRANIA CONT .8333 AC
2 2	100905 709007 530439	KRANIA LLC	5321 ME NAUL N E	ALBUQU ERQUE	NM	87110	V	A1A	LT 1 PLAT OF LOTS 1, 2, 3, 4 , 5 & 6 KRANIA CONT 4.794 4 AC
2 3	100905 706511 030438	KRANIA LLC	5321 ME NAUL N E	ALBUQU ERQUE	NM	87110	V	A1A	LT 2 PLAT OF LOTS 1, 2, 3, 4 , 5 & 6 KRANIA CONT 1.117 2 AC
2 4	100905 706503 030401	KRANIA LLC	5321 ME NAUL N E	ALBUQU ERQUE	NM	87110	V	A1A	LT 6 PLAT OF LOTS 1, 2, 3, 4 , 5 & 6 KRANIA CONT .1499 AC
2 5	100905 602445 320403	G- BART DEVELOP MENT GROUP	PO DRA WER K	ALBUQU ERQUE	NM	87103	V	A1A	TR 69 AKA TR 3 ROW 1 SO UNIT B W OF WESTLAND A KA LOT 3 BLK 1 LANDS OF T WN
2 6	100905 708503 030401	KRANIA LLC	5321 ME NAUL N E	ALBUQU ERQUE	NM	87110	V	A1A	LT 6 PLAT OF LOTS 1, 2, 3, 4 , 5 & 6 KRANIA CONT .1499 AC

Record	COASDE.BERNCO.PARCEL DEC_2007.UPC	COASDE.BERNCO.PARCEL DEC_2007.OWNER	COASDE.BERNCO.PARCEL DEC_2007.OWN NADD	COASDE.BERNCO.PARCEL DEC_2007.OWN NCITY	COASDE.BERNCO.PARCEL DEC_2007.OWN STATE	COASDE.BERNCO.PARCEL DEC_2007.OWNZ IPCODE	COASDE.BERNCO.PARCEL DEC_2007.PROP CLASS	COASDE.BERNCO.PARCEL DEC_2007.T AXDIST	COASDE.BERNCO.PARCEL DEC_2007.LEGALDESC
1	10090570 02150306 07	STEFAN A DRIAN I & MARICA	2704 BOS QUE DEL SOL LN N W	ALBUQUE RQUE	NM	87120	V	A1A	PART OF TR2 RO W 2 UNIT A WEST OF WESTLAND AT RISCO GRANT CO NT 2.00 AC

OR CURRENT RESIDENT
100905606346420405
COLUCCI ONORIO & VIRGINIA M
3305 TENNESSEE ST NE
ALBUQUERQUE, NM 87110

OR CURRENT RESIDENT
100905702215630606
GORHAM MARK L & INGRID J TR
GORHAM RVT & LESLIE JANE LUBIN
TRUSTEE LUBIN RVT
13615 PINO RIDGE PL NE
ALBUQUERQUE, NM 87111

OR CURRENT RESIDENT
100905709202430407
MONAHITI LLC
5321 MENAUL BLVD NE
ALBUQUERQUE, NM 87110

OR CURRENT RESIDENT
100805751012240402
RIZVI ADIL & RIZVI SHAKEEL &
NARJIS
7049 LUELLA ANNE NE
ALBUQUERQUE, NM 87109

Project# 1003794
KELLY CHAPPELLE
Avalon NA
9135 SANTA CATALINA AVE NW
ALBUQUERQUE, NM 87121

OR CURRENT RESIDENT
100905702112130605
DEME EILEEN M & STEVEN S
HERRERA & MICHAEL P HERRERA AS
TRUSTEES
1436 GATEWOOD SW
ALBUQUERQUE, NM 87105

OR CURRENT RESIDENT
100905708004830435
KRANIA LLC
5321 MENAUL NE
ALBUQUERQUE, NM 87110

OR CURRENT RESIDENT
100905608450921034
MOYA DOMINICA M
9317 CENTRAL AVE NW
ALBUQUERQUE, NM 87105

Project# 1003794
GEORGE RAINHART & ASSOC.
2325 SAN PEDRO NE STE 2B
ALBUQUERQUE, NM 87110

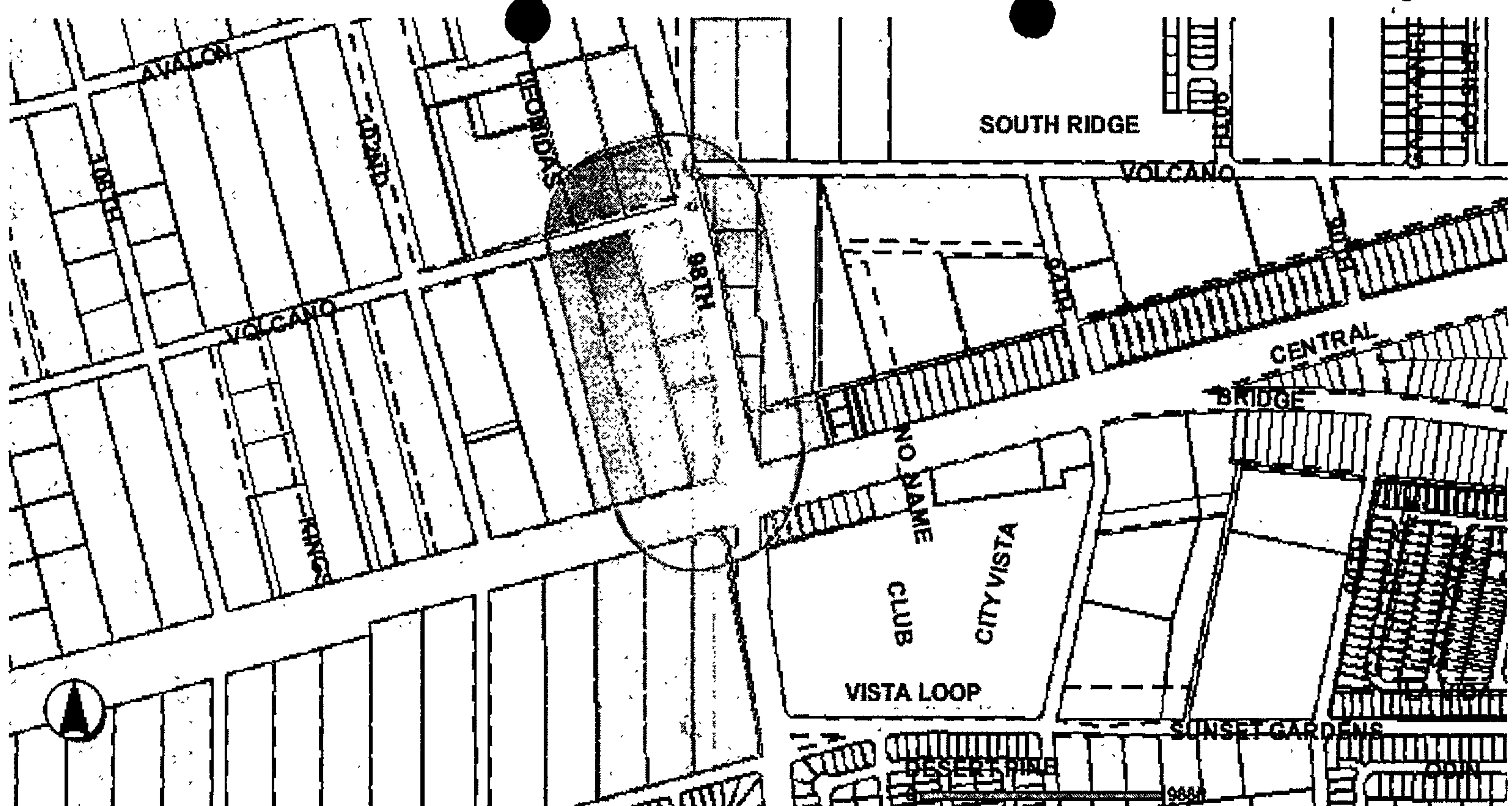
OR CURRENT RESIDENT
STEFAN ADRAIN & MARCIA
2704 BOSQUE DEL SOL LN NW
ALBUQUERQUE, NM 87120

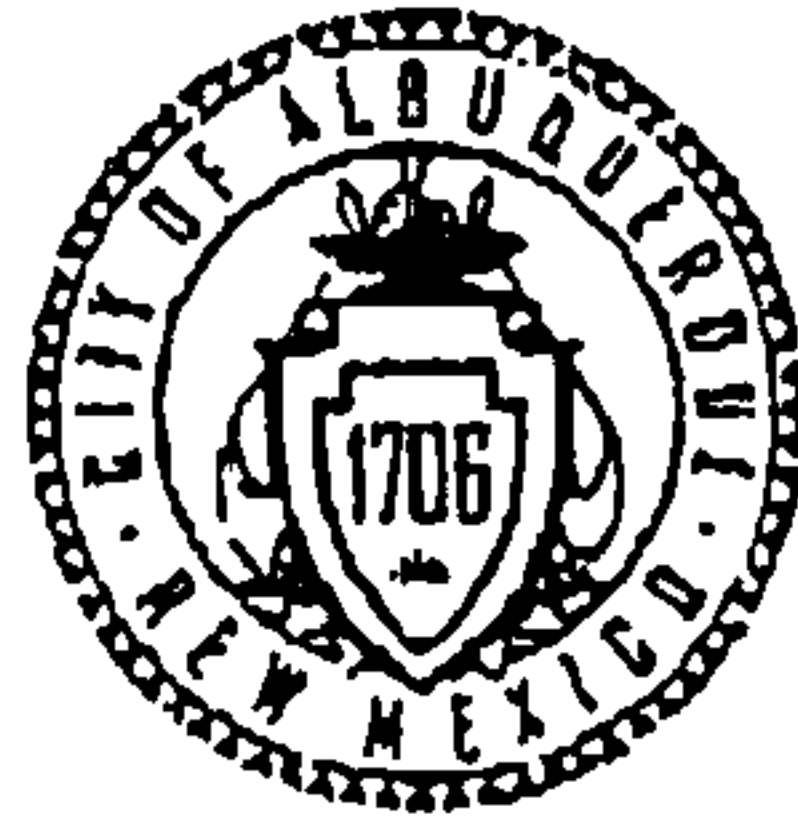
OR CURRENT RESIDENT
100905602445320403
G-BART DEVELOPMENT GROUP
PO DRAWER K
ALBUQUERQUE, NM 87103

OR CURRENT RESIDENT
100905718518430701
MAJEC LIMITED PARTNERSHIP
PO BOX 3168
CORRALES, NM 87048

Project# 1003794
100905705003530105
PETERSON PROPERTIES
INVESTMENTS LLC
1213 SAN PEDRO DR NE
ALBUQUERQUE, NM 87110

Project# 1003794
MIGUEL MAESTAS
Avalon NA
9400 HARBOR RD NW
ALBUQUERQUE, NM 87121





City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: May 21, 2008

TO CONTACT NAME: Bill Suttles
 COMPANY/AGENCY: George Barnhart Architects Assoc.
 ADDRESS/ZIP: 2325 San Pedro NE Ste 20
 PHONE/FAX #: 884-9110 ext 112 / 837-9877

Thank you for your inquiry of May 21, 2008 (date) requesting the names of **ALL Affected**

Neighborhood and/or Homeowner Associations who would be affected under the provisions of O-92 by your proposed project at Tract "1A" Plots of Tracts 1A and 1B, row 1 Unit A, West of Westland COA. Located on 98th St. Volcano Rd NW and Central Ave. NW zone map page(s) K-9.

Our records indicate that the **Affected Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

Avalon N.A.
 Neighborhood or Homeowner Association
 Contacts: Miguel Maestas
9400 Harbor Rd. NW 87121
831-9629 (h)
Kelly Chappelle
9135 Santa Catalina Ave NW 87121
836-1766 (h)

Neighborhood or Homeowner Association
 Contacts: _____

See reverse side for additional Neighborhood and/or Homeowner Associations

Information:

YES { } NO {X}

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Stephan [Signature]
 OFFICE OF NEIGHBORHOOD COORDINATION

ATTENTION: Both contacts for each Neighborhood and/or Homeowner Associations need to be notified.

NOTICE TO APPLICANTS - SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify **ALL AFFECTED NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATIONS** PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property. . .
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendments describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
5. The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood and/or homeowner associations may contact someone with questions or comments.

INFORMATION FROM THE OFFICE OF NEIGHBORHOOD COORDINATION

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.**
- Copies of Letters to Neighborhood and/or Homeowner Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood and/or Homeowner Associations (if there are associations). A copy must be submitted with application packet.**

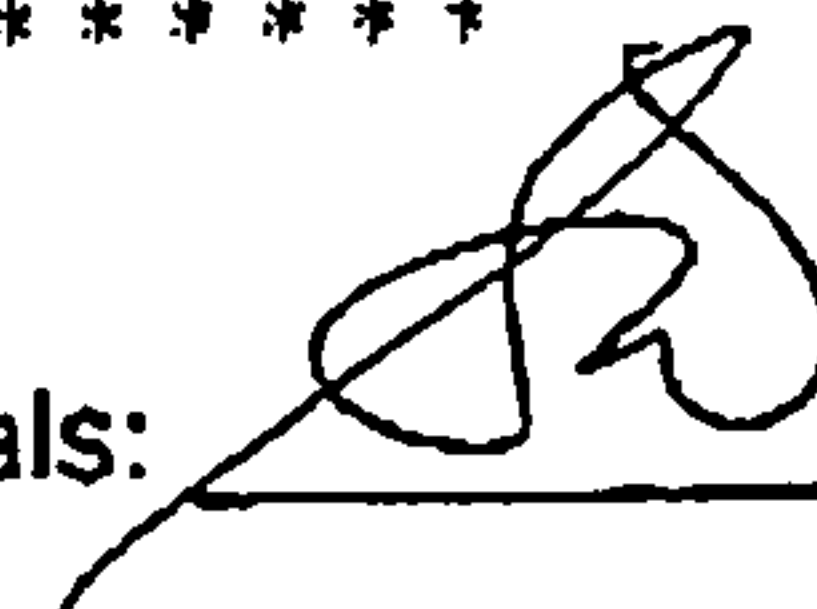
Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

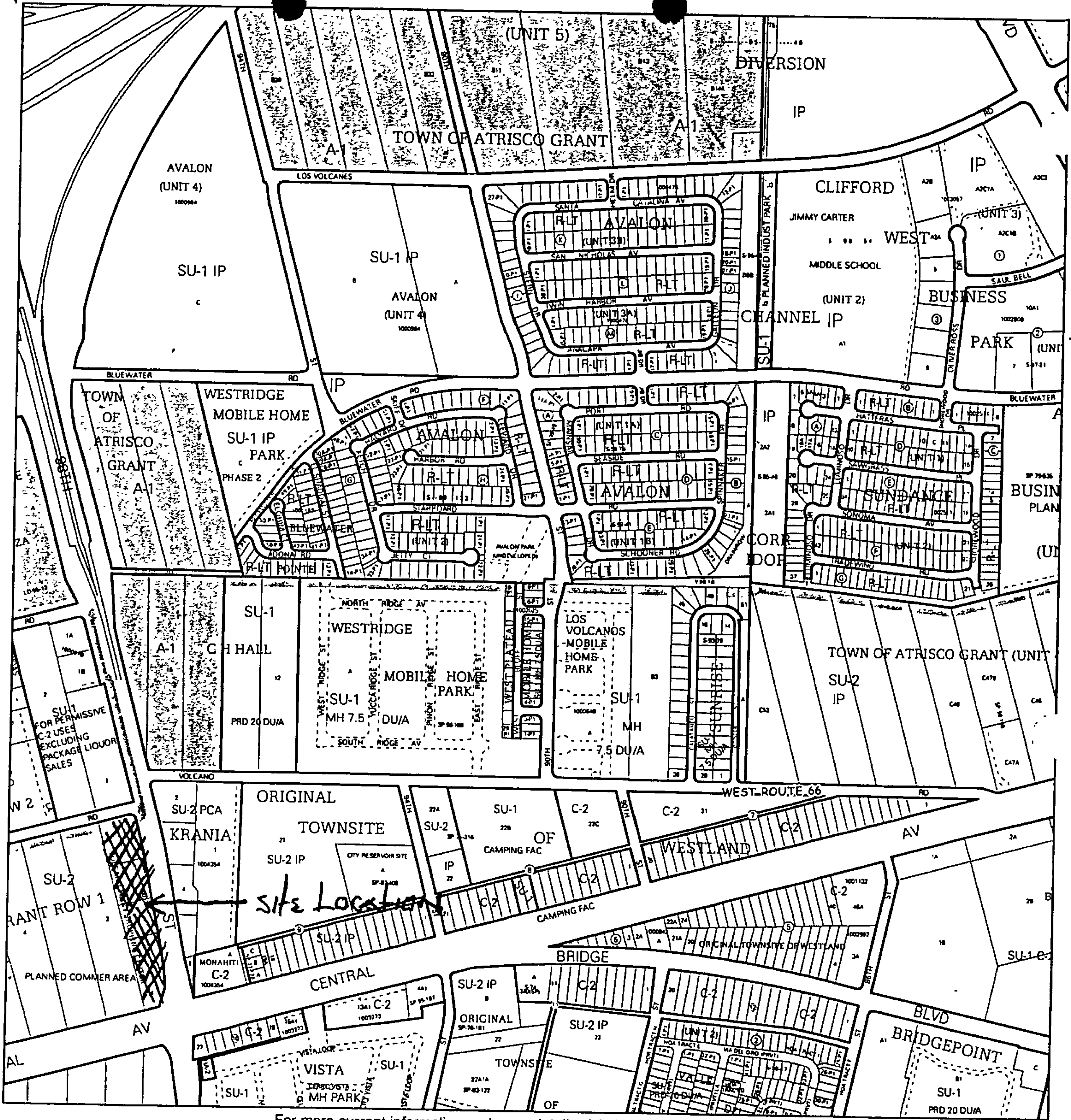
(Below this line for ONC use only)

Date of Inquiry: 5.21.08

Time Entered: 9:47 AM

ONC Rep. Initials:





For more current information and more details visit: <http://www.cabq.gov/gis>

Albuquerque Geographic Information System

Map amended through: 2/8/2008

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
K-09-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contour
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet

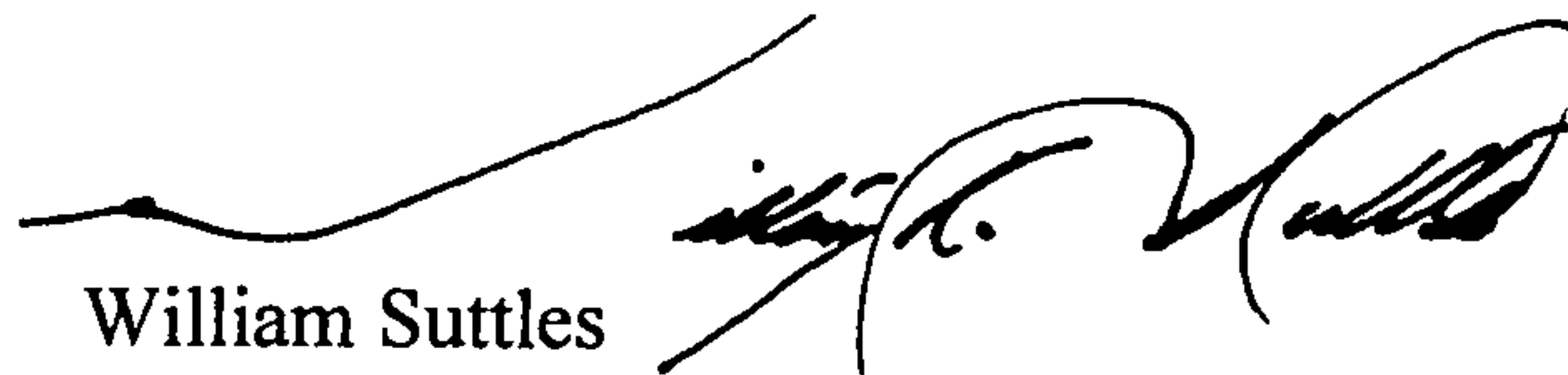
May 22, 2008

City of Albuquerque
Attn: DRB Committee
600 Second St.
Albuquerque, NM 87102

To Whom It May Concern:

We herewith wish to inform you that we will be submitting a DRB application for a new proposed retail shops building as well as a restaurant shell/drive-thru building for the purpose Site plan for Building Permit. These two lots are 3 and 4 of a four (4) lot site. The proposed project is located at the NW corner of 98th & Central (zone map #K-9-Z). The proposed buildings (phase 1 & phase 2) are a 13,866 sf retail shops and a 2,365 sf restaurant shell/drive-thru building, totaling 16,231 sf. The height and size of the buildings are appropriate for the site and will be consistent with that of the materials, finishes & colors of surrounding buildings in and around the area. The current site zoning is SU-2 PCA but will be used for C-2 use.

Sincerely,



William Suttles
Project Manager
George Rainhart Architect & Assoc.



GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110
PHONE: 505-884-9110 ■ FAX: 505-837-9877 ■ Email: graa@gra-arch.com

August 26, 2008

City of Albuquerque
Attn: DRB Committee
600 Second Street
Albuquerque, NM 87102

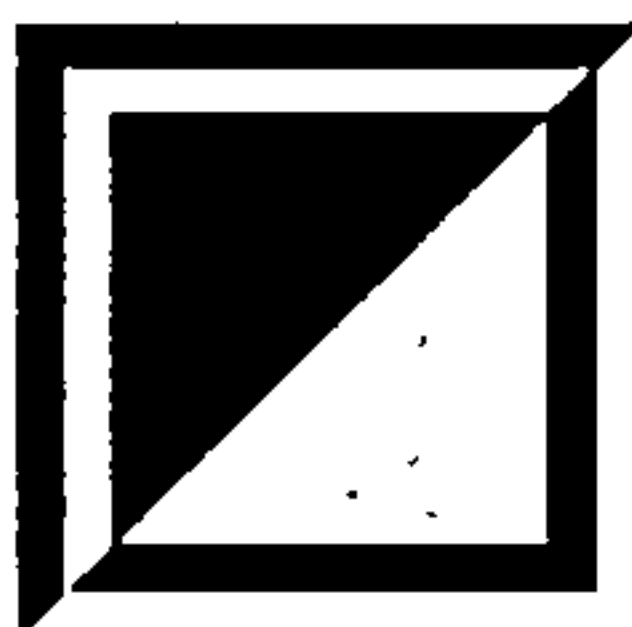
To Whom It May Concern:

We are re-submitting for Project #1003794 (08DRB-70238 Major-Site Plan for Building Permit) with city reviewed/addressed comments for Lots 3 & 4, Volcano Point Shopping Center that has been deferred to Wed. August 27, 2008.

Sincerely,



Jonathan Stern AIA
for
George Rainhart Architect & Assoc.



GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110
PHONE: 505-884-9110 ■ FAX: 505-837-9877 ■ Email: graa@gra-arch.com

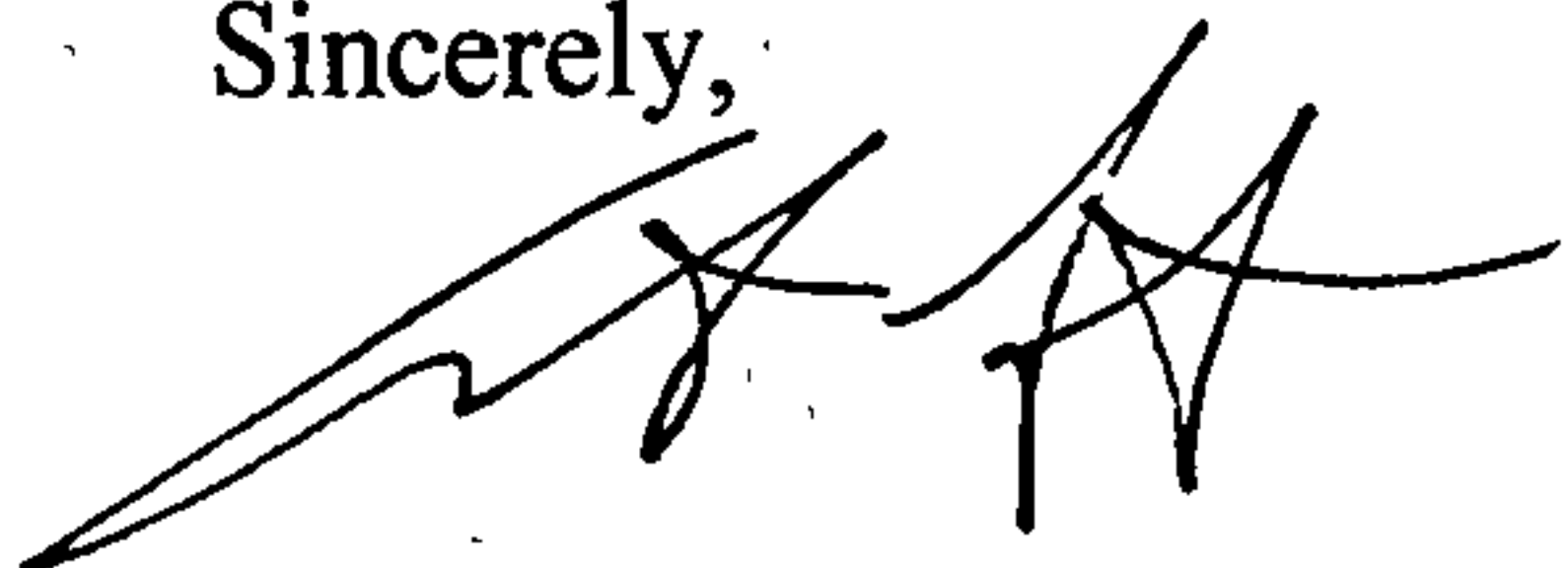
August 19, 2008

City of Albuquerque
Attn: DRB Committee
600 Second St.
Albuquerque, NM 87102

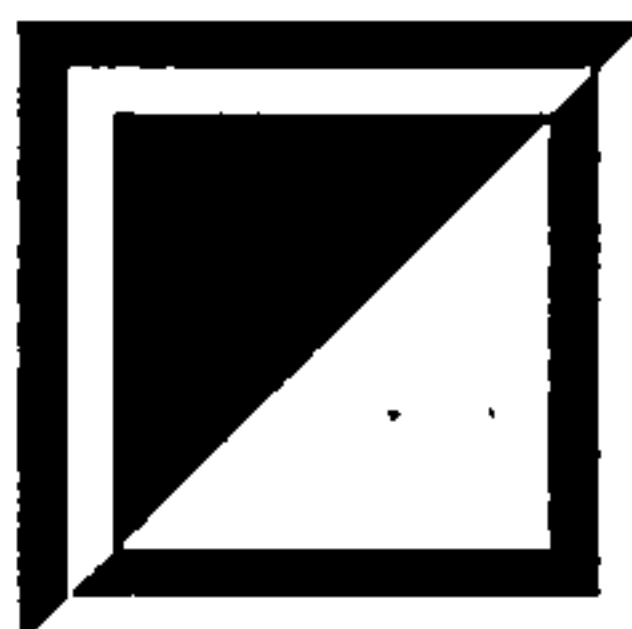
To Whom It May Concern:

We herewith wish to request a deferral of Project # 1003794 (08DRB-70238 Major-site development plan for building permit) for Lots 3 and 4, Volcano Point Shopping Center until August 27, 2008.

Sincerely,



Jonathan Stern AIA
for
George Rainhart Architect & Assoc.



GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110
PHONE: 505-884-9110 ■ FAX: 505-837-9877 ■ Email: graa@gra-arch.com

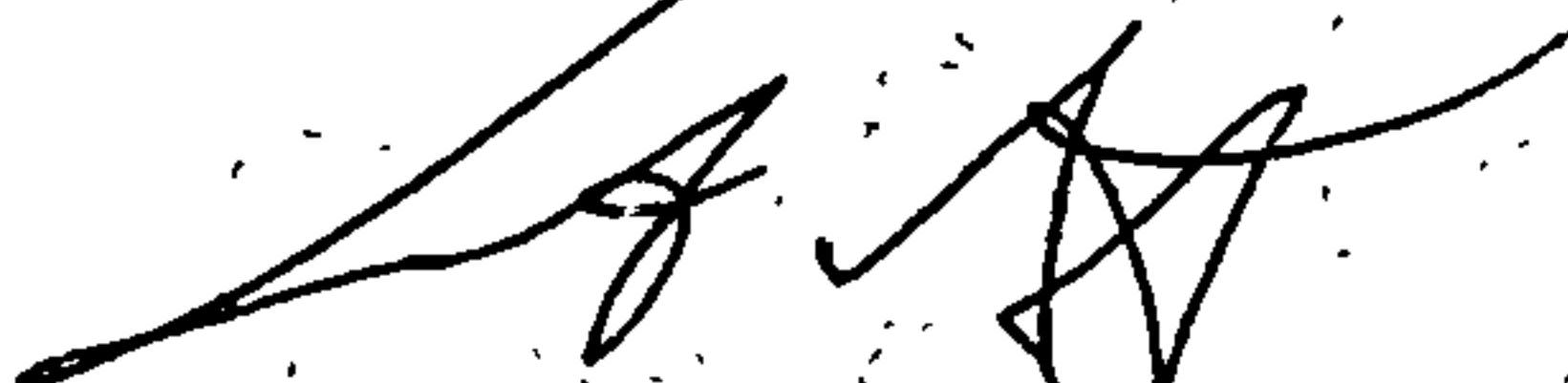
August 11, 2008

City of Albuquerque
Attn: DRB Committee
600 Second St.
Albuquerque, NM 87102

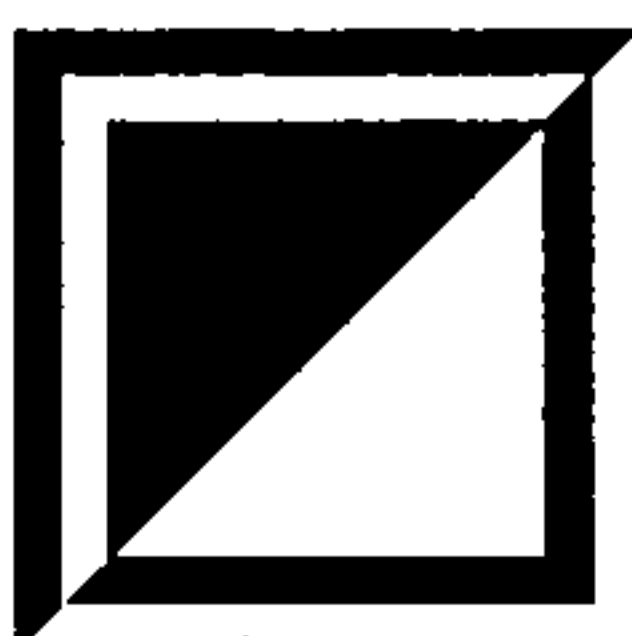
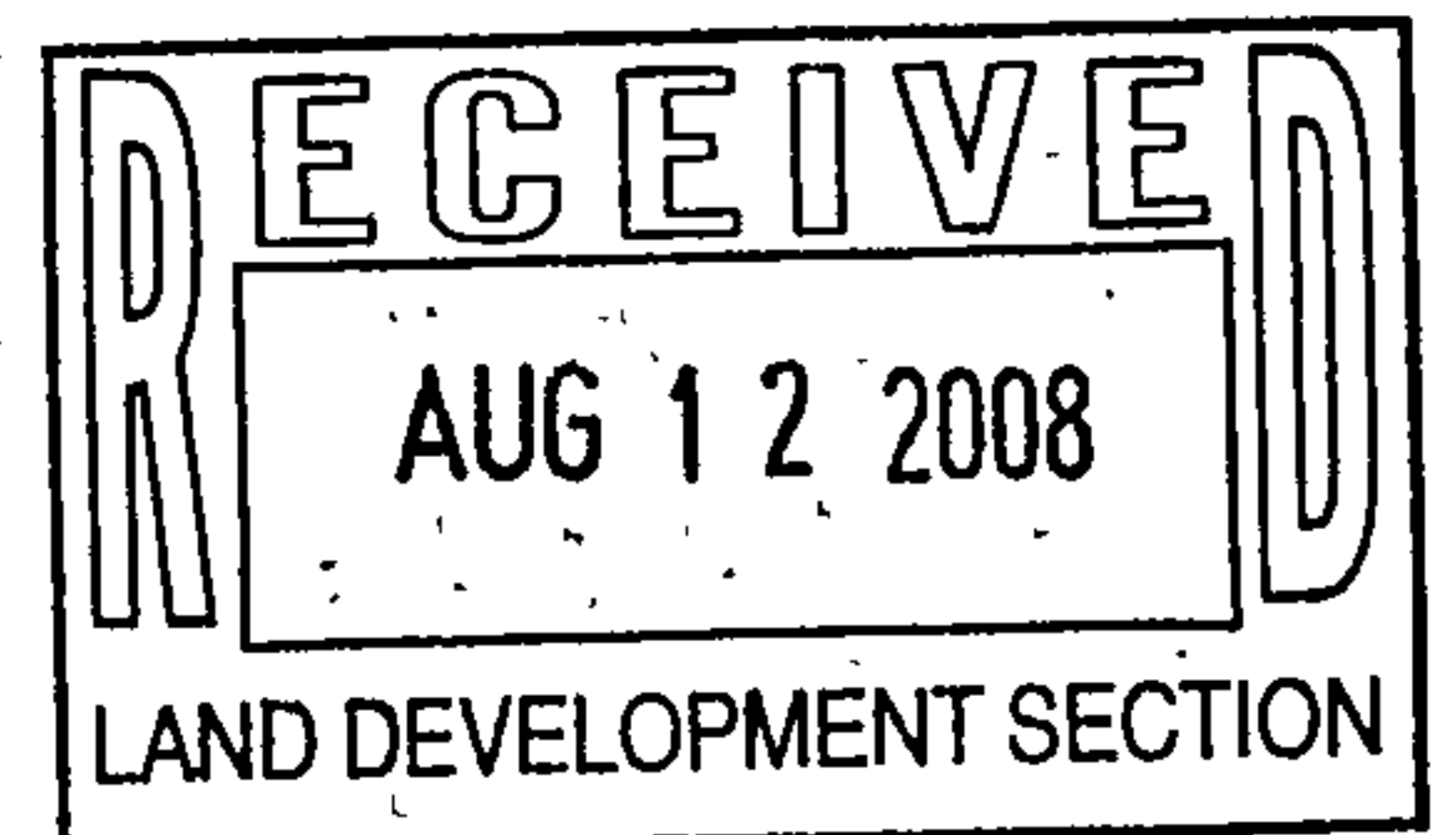
To Whom It May Concern:

We herewith wish to request a deferral of Project # 1003794 (08DRB-70238 Major-site development plan for building permit) for Lots 3 and 4, Volcano Point Shopping Center until August 20, 2008.

Sincerely,



Jonathan Stern AIA
for
George Rainhart Architect & Assoc.



GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110
PHONE: 505-884-9110 ■ FAX: 505-837-9877 ■ Email: graa@gra-arch.com

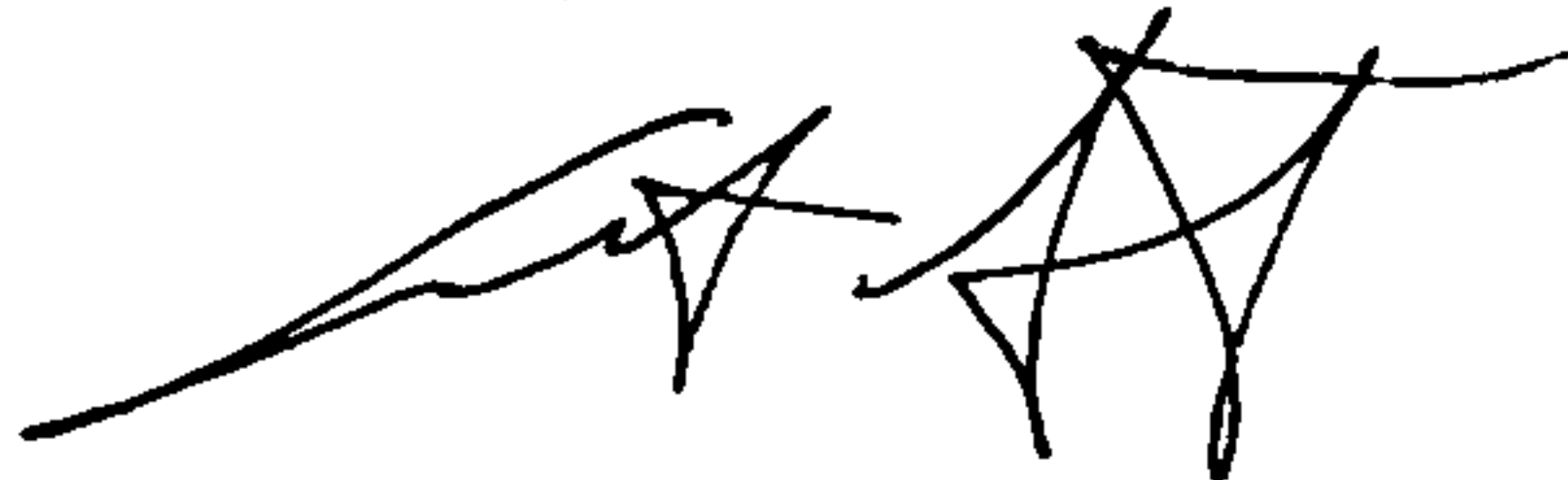
July 22, 2008

City of Albuquerque
Attn: DRB Committee
600 Second St.
Albuquerque, NM 87102

To Whom It May Concern:

We herewith wish to request a deferral of Project # 1003794 (08DRB-70238 Major-site development plan for building permit) for Lots 3 and 4, Volcano Point Shopping Center until August 13, 2008.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jonathan Stern', with a stylized flourish extending to the right.

Jonathan Stern AIA
for
George Rainhart Architect & Assoc.

FAX TRANSMITTAL SHEET



MODULUS ARCHITECTS
2325 SAN PEDRO, N.E., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE: (505) 338-1499
FAX: (505) 338-1498

GRA PROJECT #: _____

DATE: 7/9/08

TO: JACK CLOUD OR ANGELA GOMEZ

FAX NUMBER: 924-3864 PHONE NUMBER: _____

NUMBER OF PAGES BEING SENT (including Transmittal Sheet): 2

FROM: Modulus Architects Jon Stern

PROJECT: VOLCANO POINT DRB DEFERRAL REQUEST

COMMENTS: PLEASE SEE ATTACHED LETTER

THANKS!

Jon Stern

IF YOU DO NOT RECEIVE THE NUMBER OF PAGES REFERENCED ABOVE, PLEASE CALL _____ AT EXT. _____

COPIES TO: _____

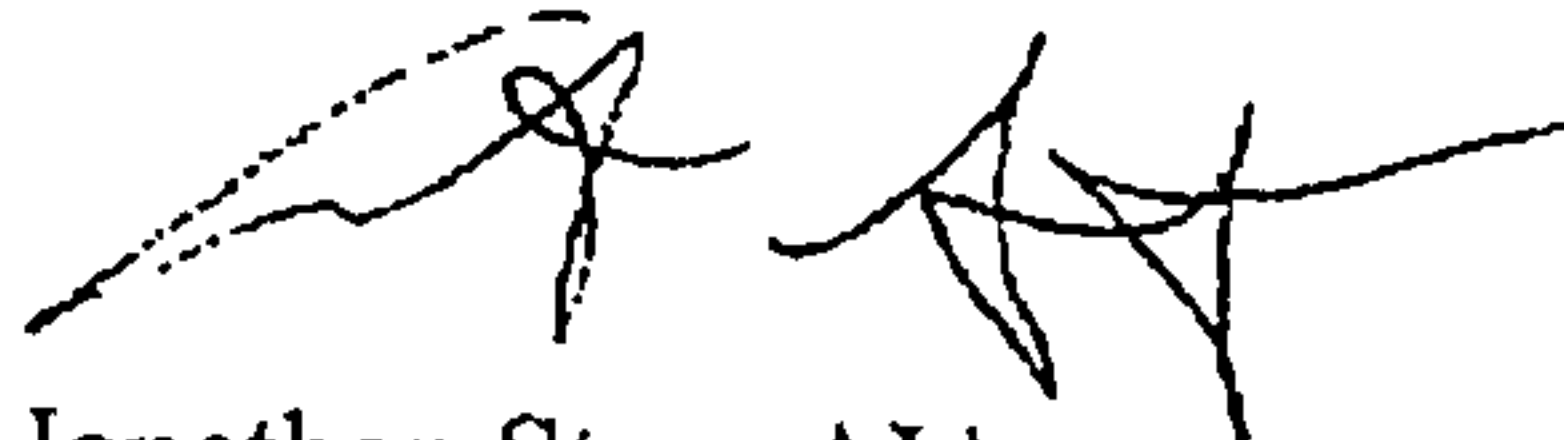
July 8, 2008

City of Albuquerque
Attn: DRB Committee
600 Second St.
Albuquerque, NM 87102

To Whom It May Concern:

We herewith wish to request a deferral of Project # 1003794 (08DRB-70238 Major-site development plan for building permit) for Lots 3 and 4, Volcano Point Shopping Center until July 23, 2008.

Sincerely,



Jonathan Stern AIA
for
George Rainhart Architect & Assoc.



GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110
PHONE: 505-884-9110 ■ FAX: 505-837-9877 ■ Email: graa@gra-arch.com



**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003794

AGENDA ITEM NO: 4

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:(x) EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

Albuquerque

An approved infrastructure list is required for Site Plan approval.
An approved Subdivision Improvements Agreement with financial guarantees is required for Site Development Plan sign-off.

New Mexico 87103

RESOLUTION:

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED ⁷⁻⁹⁻⁰⁸ X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: June 25, 2008

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD MEMO

DRB CASE NO/PROJECT NO: 1003794

AGENDA ITEM NO: 3

SUBJECT:

Site Development Plan for Building Permit

ENGINEERING COMMENTS:

It appears a Type "D" inlet and a 24" RCP are proposed in the Central Ave. ROW. An updated Grading and Drainage Plan is required to be submitted to Hydrology. An executed Subdivision Improvement Agreement with financial guarantees is required for Site Plan approval.

PO Box 1293

RESOLUTION:

6-25-08

Albuquerque

APPROVED ___; DENIED ___; DEFERRED X; COMMENTS PROVIDED ___; WITHDRAWN

NM 87103

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

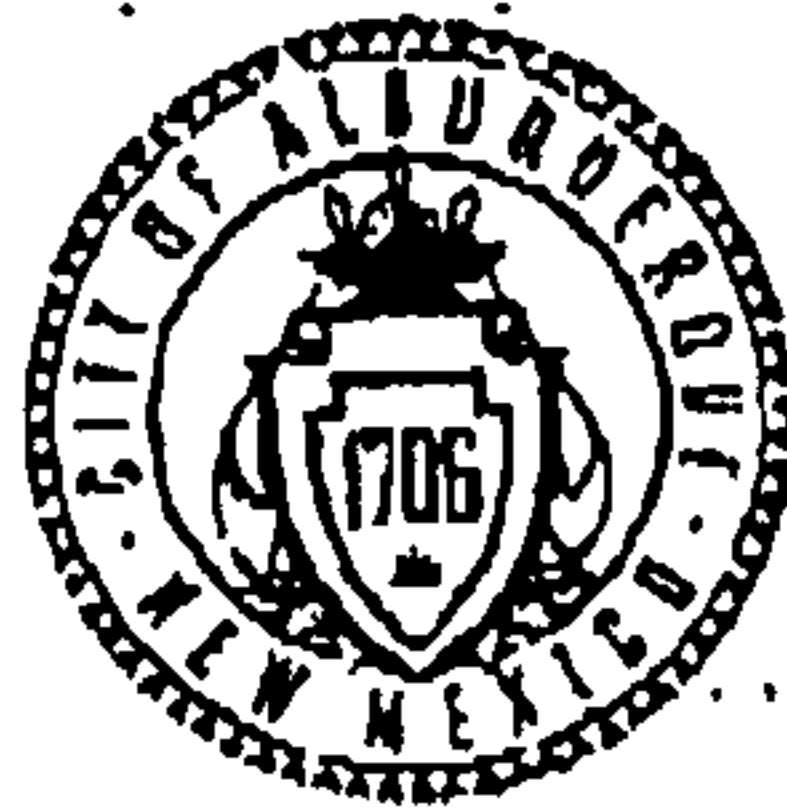
www.cabq.gov

FOR:

SIGNED:

Curtis Cherne
City Engineer Designee
924-3695

DATE: 6-18-08



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: June 5, 2008

TO CONTACT NAME: William Suttles
 COMPANY/AGENCY: Modulus Architects, Inc. (Formerly George Bainhart)
 ADDRESS/ZIP: 2325 San Pedro NE Ste 2B
 PHONE/FAX #: 338-499 / 338-1498

Thank you for your inquiry of June 5, 2008 (date) requesting the names of ALL Affected

Neighborhood and/or Homeowner Associations who would be affected under the provisions of O-92 by your proposed project at Tract 1A plots of tracts 1A & 1B, Row 1 Unit A, West of Westland C.O.A. located on 98th St. Between Volcano Rd NW and Central Ave. NW zone map page(s) K-9.

Our records indicate that the Affected Neighborhood and/or Homeowner Associations affected by this proposal and the contact names are as follows:

Avalon NA.
 Neighborhood or Homeowner Association
 Contacts: Miguel Maestas
9400 Harbor Rd. NW 87121
831-9629 (h)
Kelly Chappelle
9135 Santa Catalina Ave. NW 87121
836-1766 (h)

Westside Merchants Assoc.
 Neighborhood or Homeowner Association
 Contacts: Van Barber
5201 Central NW 87105
350-2515 (c)
Miguel Maestas
6013 Sunset Gardens SW 87121
831-5406 (w)

See reverse side for additional Neighborhood and/or Homeowner Associations

Information:

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,


 OFFICE OF NEIGHBORHOOD COORDINATION

ATTENTION: Both contacts for each Neighborhood and/or Homeowner Associations need to be notified.

NOTICE TO APPLICANTS - SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify **ALL AFFECTED NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATIONS** PRIOR TO FILING THE APPLICATION TO THE **PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendments describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
5. The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood and/or homeowner associations may contact someone with questions or comments.

INFORMATION FROM THE OFFICE OF NEIGHBORHOOD COORDINATION

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowner Associations (if there are associations). A copy must be submitted with application packet.
- Copies of the certified receipts to Neighborhood and/or Homeowner Associations (if there are associations). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

(Below this line for ONC use only)

Date of Inquiry: June 5, 2008 Time Entered: 10:15 AM ONC Rep. Initials: 



DEVELOPER INQUIRY SHEET

(To be completed prior to application submittal)

The Office of Neighborhood Coordination (ONC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second St. NW, Fax – (505) 924-3913 - will need the following information **BEFORE** neighborhood association information will be released to the applicant/developer on any project being presented to the Planning Department. If you have any questions, please feel free to contact our office at (505) 924-3914. Your request is for the following:

Cell Tower and Type: Free-Standing Tower [] **-OR-** Concealed Tower [];
Private Development []; City Project []; **-OR-** Other []

CONTACT NAME: JUAN SUTLES
COMPANY NAME: MODULUS ARCHITECTS INC. (FORMERLY GEORGE RANHART)
ADDRESS/ZIP: 2325 SAN PEDRO NE, STE. 213
PHONE: 338.1499 FAX: 338.1498

NEIGHBORHOOD ASSOCIATION INFORMATION

PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD ASSOCIATIONS IN THE AREA OF THE PROPERTY DESCRIBED AS:

TRACT "1A" PLATS OF TRACTS 1A & 1B, ROW 1, UNIT A, WEST OF WESTLAND, C.O.A

LOCATED ON

LEGAL DESCRIPTION

98th Street

STREET NAME OR OTHER IDENTIFYING LANDMARK

BETWEEN

Valcano Rd. NW

STREET NAME OR OTHER IDENTIFYING LANDMARK

AND

CENTRAL AVE. NW

STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS PAGE (K-9).
(PLEASE MARK/HATCH ZONE MAP WHERE PROPERTY IS LOCATED)
(Zone Map **MUST** be provided with request)

7004 1160 0005 8623 9163

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our Website at www.usps.com

02 1P
0003862433 JUN 05 2008
MAILED FROM ZIP CODE 87110

Certified Fee		Postmark Here
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	

Sent To Miguel Maestas
 Street, Apt. No.;
 or PO Box No. 6013 Sunset Gardens Sw 87121
 City, State, ZIP+4

PS Form 3800, June 2002 See Reverse for Instructions

7004 1160 0005 8623 9156

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our Website at www.usps.com

02 1P
0003862433 JUN 05 2008
MAILED FROM ZIP CODE 87110

Certified Fee		Postmark Here
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	

Sent To Van Barbar
 Street, Apt. No.;
 or PO Box No. 5201 Central NW
 City, State, ZIP+4 Alb, NM 87105

PS Form 3800, June 2002 See Reverse for Instructions

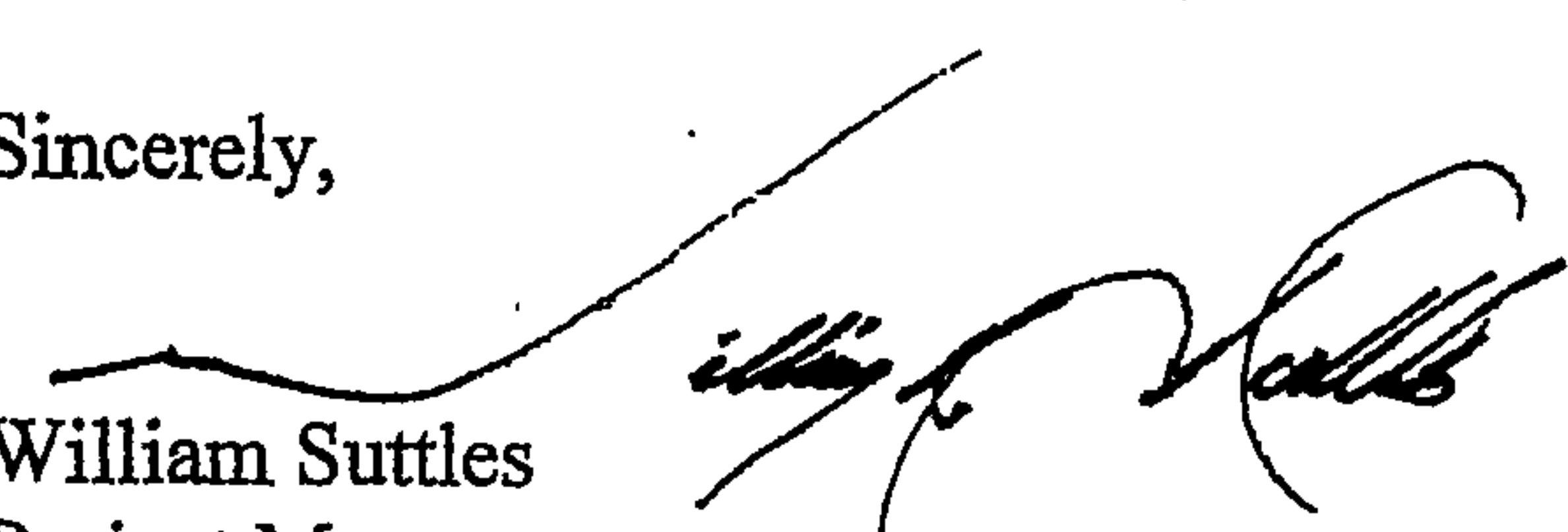
June 5, 2008

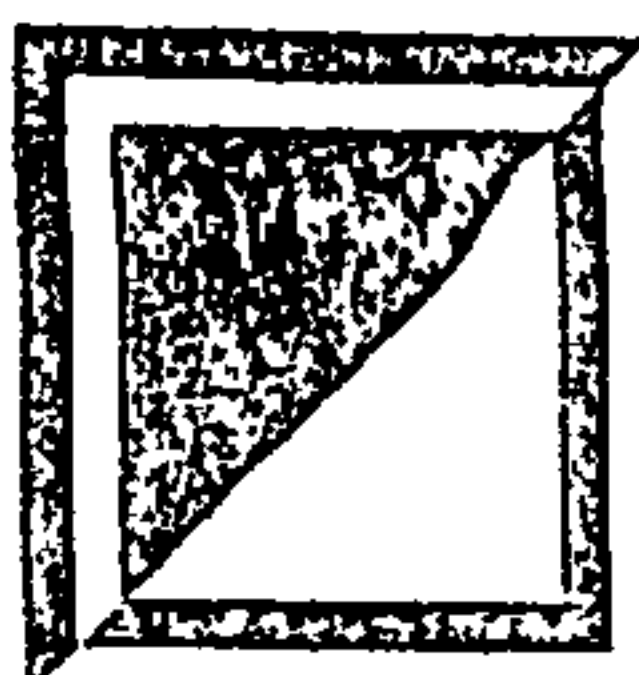
Westside Merchants Neighborhood Association
Attn: Miguel Maestas
6013 Sunset Gardens SW
Albuquerque, NM 87121

To Whom It May Concern:

We herewith wish to inform you that we will be submitting a Site Plan for Building Permit to D.R.B. (Design Review Board) for lots 3 & 4, located on the NW corner of 98th & Central, between Central & Volcano Rd. (zone map #K-9-Z). The submittal is for a proposed 13,866 square foot retail shops building as well as a 2,365 square foot restaurant shell/drive-thru building. Included in the submittal is the proposed site plan for building permit, proposed landscaping plan, grading & drainage plan, master site utility plan and exterior building elevations for each of the buildings (lots 3 & 4). The proposed retail & drive-thru buildings will present materials, finishes & colors that shall be consistent with that of surrounding buildings in & around the area. For your use we have included a copy of the submittal package, which includes the drawings mentioned above. If you have any questions or comments concerning this project please feel free to give me a call at 884-9110 xt-112, and I will be happy to discuss or clarify any questions.

Sincerely,


William Suttles
Project Manager
George Rainhart Architect & Assoc.



GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110
PHONE: 505-884-9110 ■ FAX: 505-837-9877 ■ Email: graa@gra-arch.com

11111111

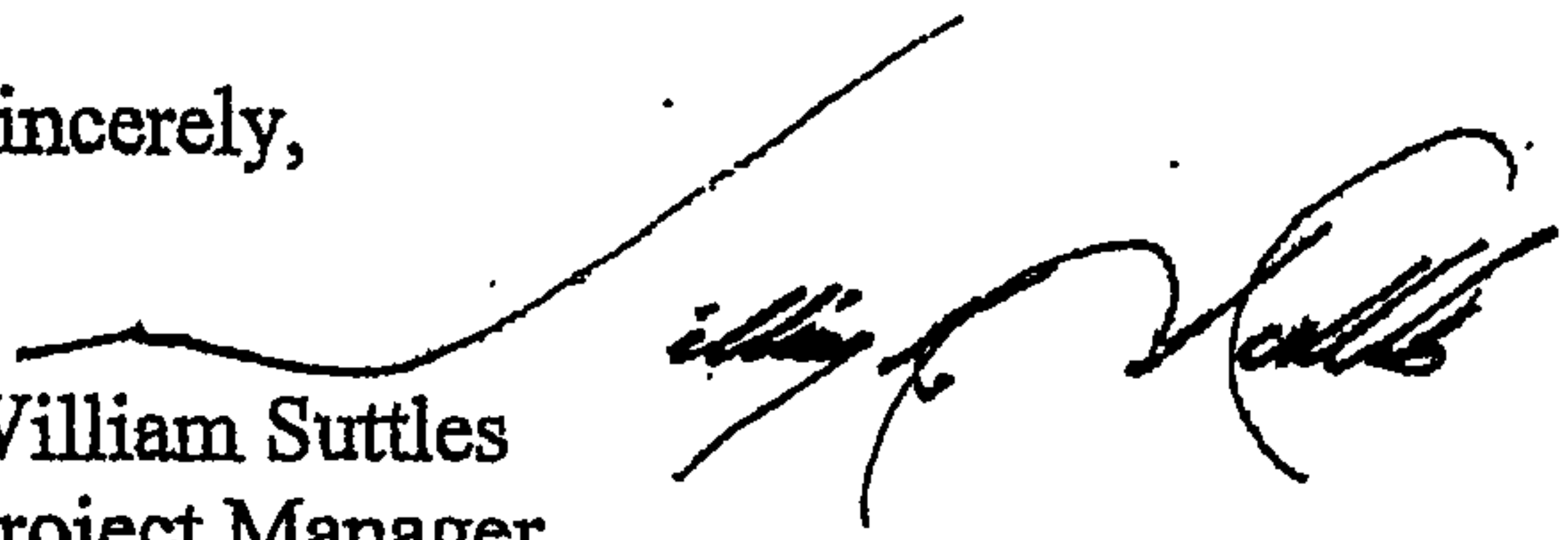
June 5, 2008

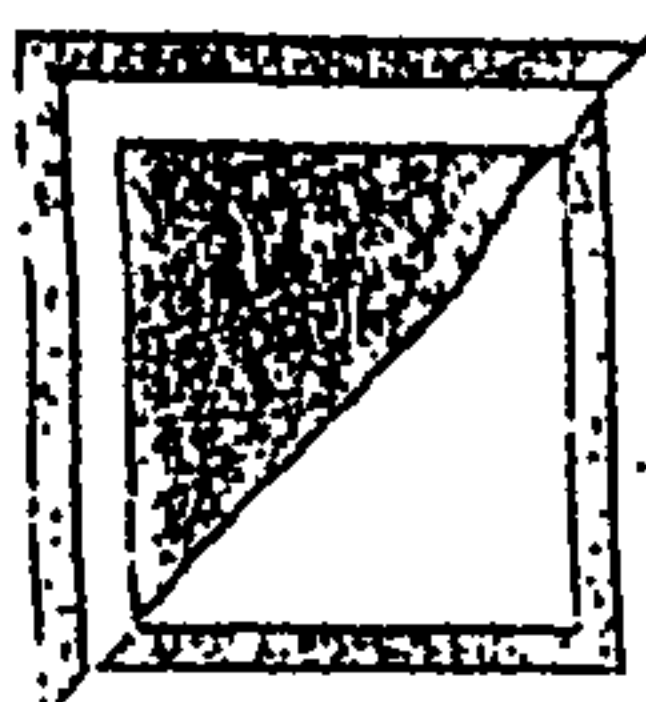
Westside Merchants Neighborhood Association
Attn: Van Barber
5201 Central Ave. NW
Albuquerque, NM 87105

To Whom It May Concern:

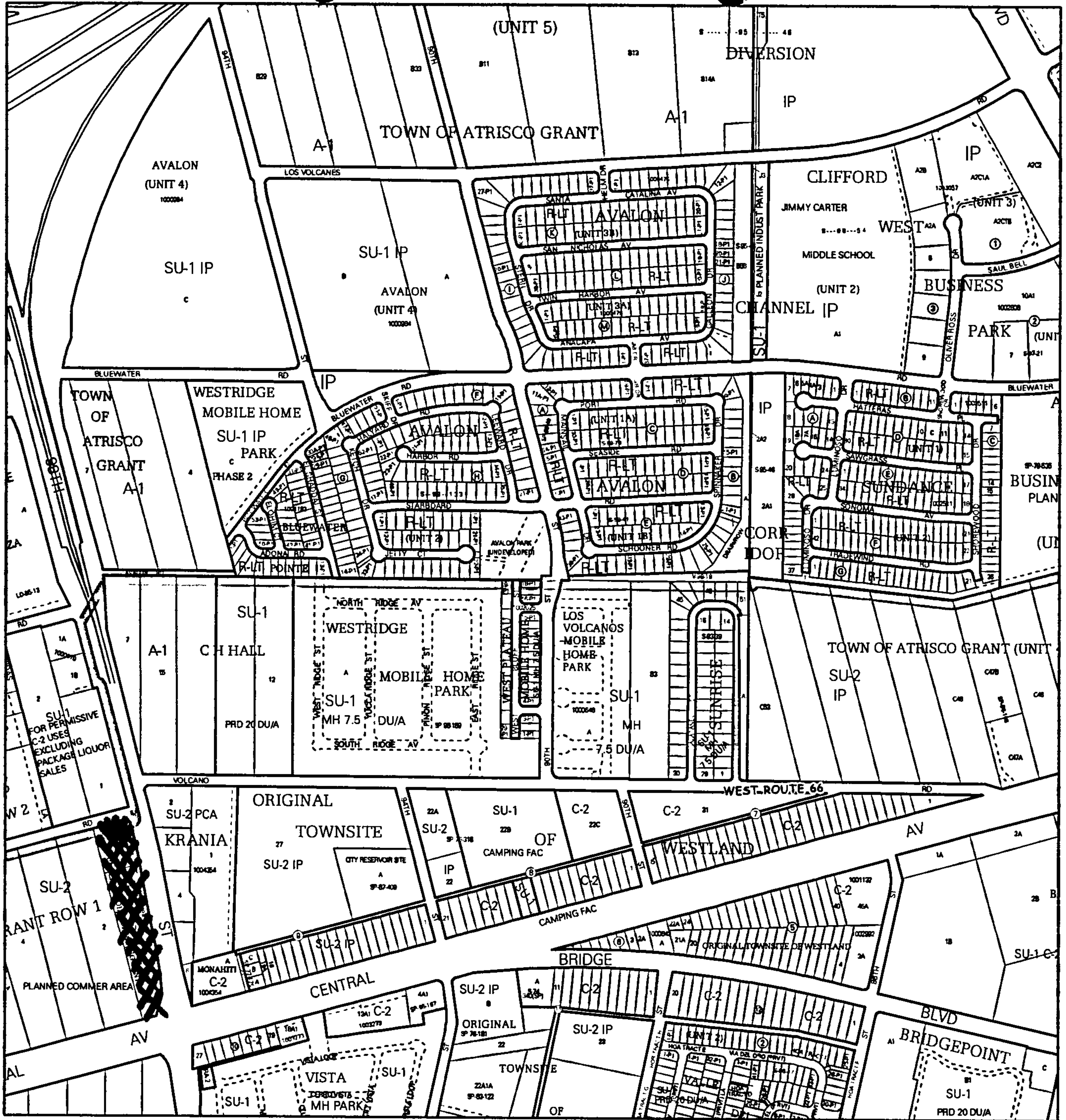
We herewith wish to inform you that we will be submitting a Site Plan for Building Permit to D.R.B. (Design Review Board) for lots 3 & 4, located on the NW corner of 98th & Central, between Central & Volcano Rd. (zone map #K-9-Z). The submittal is for a proposed 13,866 square foot retail shops building as well as a 2,365 square foot restaurant shell/drive-thru building. Included in the submittal is the proposed site plan for building permit, proposed landscaping plan, grading & drainage plan, master site utility plan and exterior building elevations for each of the buildings (lots 3 & 4). The proposed retail & drive-thru buildings will present materials, finishes & colors that shall be consistent with that of surrounding buildings in & around the area. For your use we have included a copy of the submittal package, which includes the drawings mentioned above. If you have any questions or comments concerning this project please feel free to give me a call at 884-9110 xt-112, and I will be happy to discuss or clarify any questions.

Sincerely,



William Suttles
Project Manager
George Rainhart Architect & Assoc.



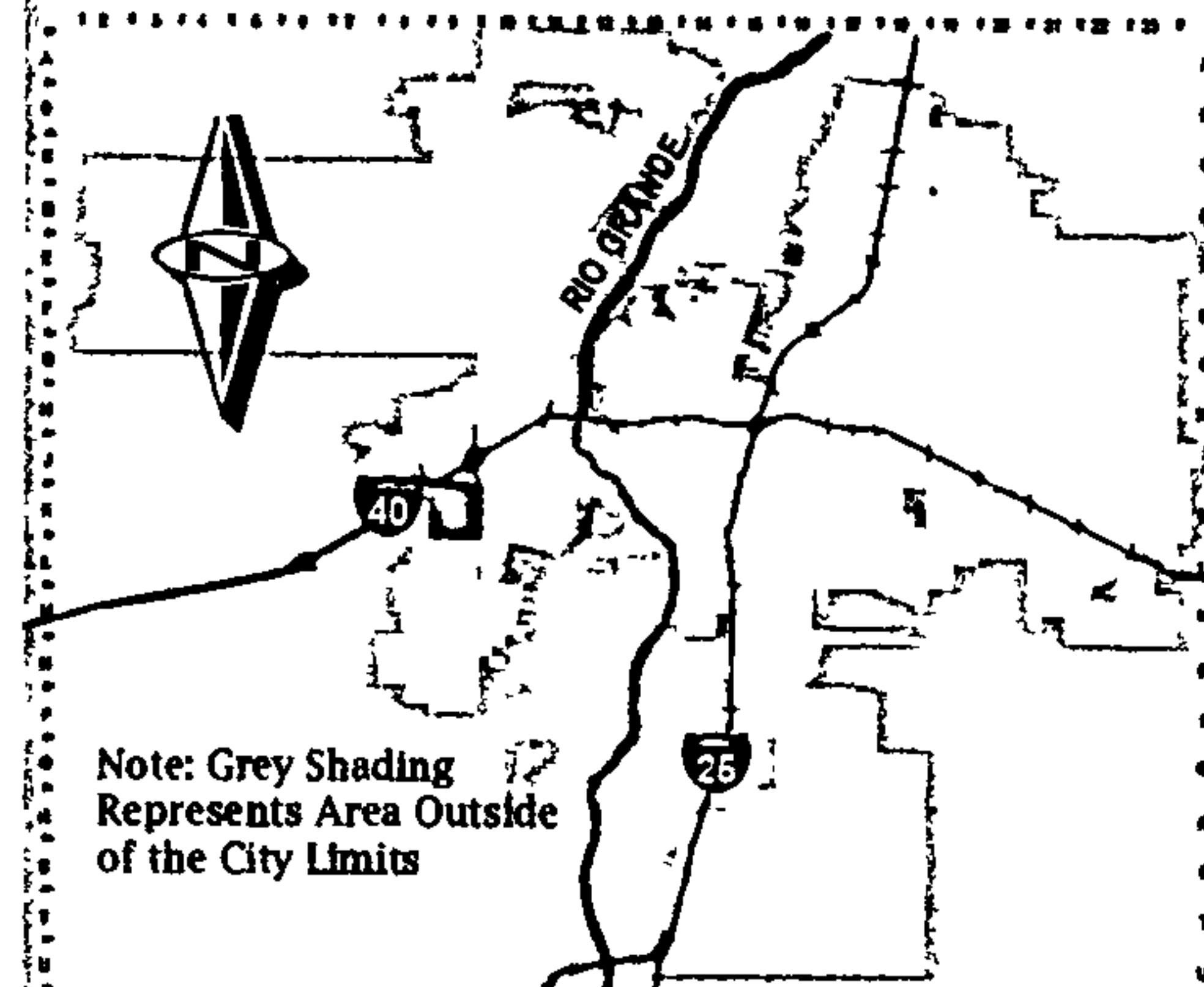
GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110
PHONE: 505-884-9110 □ FAX: 505-837-9877 □ Email: graa@gra-arch.com



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 1/4/2008



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
K-09-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

Jack Cloud
FYI



PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Project # 1003794 City of Albuquerque
08DRB-70238

Date: June 5, 2008

TO CONTACT NAME: William Suttles
COMPANY/AGENCY: Modulus Architects, Inc. (Formerly George Rainhart)
ADDRESS/ZIP: 2325 San Pedro NE Ste 2B
PHONE/FAX #: 338-1499 / 338-1498

Thank you for your inquiry of June 5, 2008 requesting the names of **ALL Affected**

Neighborhood and/or Homeowner Associations who would be affected under the provisions of O-92 by your proposed project at Tract 1A plots of tracts 1A & 1B, Row 1 Unit A, West of Westland C.O.A. Located on 98th St. Between Volcano Rd NW and Central Ave. NW zone map page(s) K-9.

Our records indicate that the **Affected Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

Avalon NA.
Neighborhood or Homeowner Association
Contacts: Miguel Maestas
9400 Harbor Rd. NW 87121
831-9629 (h)
Kelly Chappelle
9135 Santa Catalina Ave. NW 87121
836-1766 (h)

Westside Merchants Assoc.
Neighborhood or Homeowner Association
Contacts: Van Barber
5201 Central NW 87105
350-2515 (c)
Miguel Maestas
6013 Sunset Gardens SW 87121
831-5406 (w)

See reverse side for additional Neighborhood and/or Homeowner Associations Information:

YES {x} NO { }

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

OFFICE OF NEIGHBORHOOD COORDINATION

ATTENTION: Both contacts for each Neighborhood and/or Homeowner Associations need to be notified.

Additional Neighborhood or Homeowner Association Information

Westgate Heights N.A.
Neighborhood or Homeowner Association
Contacts: Matthew Archuleta
1628 Summerfield SW 87121
836-7251 (h)
Libby McIntosh
1316 Ladrones Ct. SW 87121
831-5189 (h)

Neighborhood or Homeowner Association
Contacts: _____

Neighborhood or Homeowner Association
Contacts: _____

Neighborhood or Homeowner Association
Contacts: _____

Neighborhood or Homeowner Association
Contacts: _____

JACK -

Stephanie Winkle-
pleck would like
for you to review
A-

Neighborhood or Homeowner Association
Contacts: _____

Neighborhood or Homeowner Association
Contacts: _____

**NOTICE TO APPLICANTS - SUGGESTED INFORMATION FOR
NEIGHBORHOOD NOTIFICATION LETTERS**

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify **ALL AFFECTED NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATIONS** PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendments describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
5. The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood and/or homeowner associations may contact someone with questions or comments.

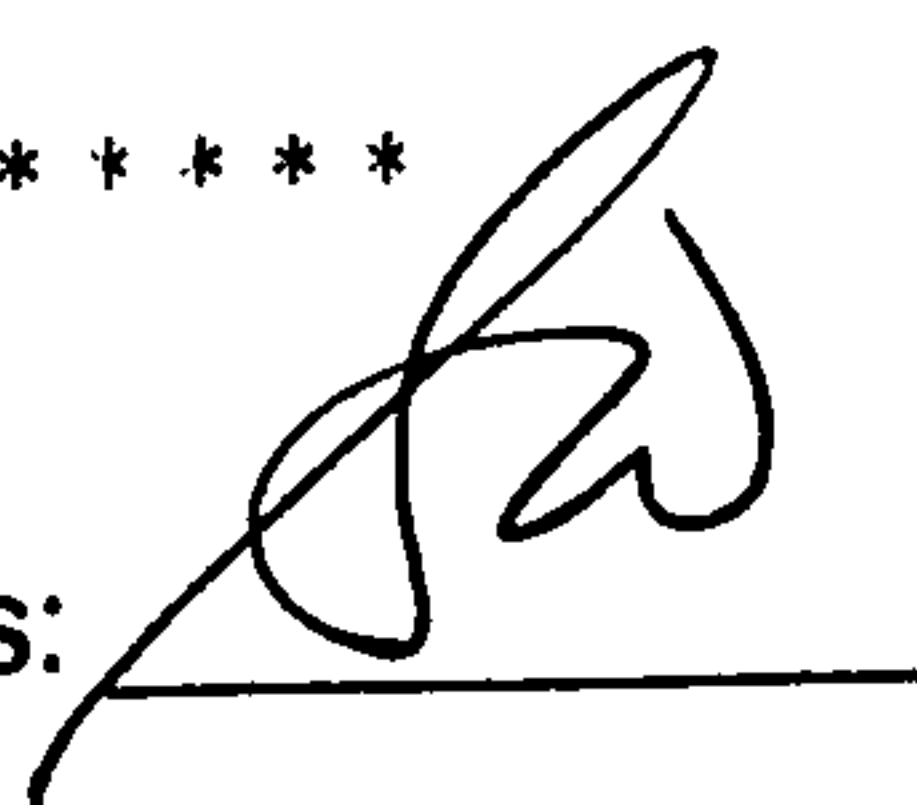
INFORMATION FROM THE OFFICE OF NEIGHBORHOOD COORDINATION

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- [X] ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-
- [] The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- [X] Copies of Letters to Neighborhood and/or Homeowner Associations (if there are associations). A copy must be submitted with application packet.
- [X] Copies of the certified receipts to Neighborhood and/or Homeowner Associations (if there are associations). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

(Below this line for ONC use only)

Date of Inquiry: June 5, 2008 Time Entered: 10:15 AM ONC Rep. Initials: 



DEVELOPER INQUIRY SHEET

(To be completed prior to application submittal)

The Office of Neighborhood Coordination (ONC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second St. NW, Fax – (505) 924-3913 - will need the following information **BEFORE** neighborhood association information will be released to the applicant/developer on any project being presented to the Planning Department. If you have any questions, please feel free to contact our office at (505) 924-3914. Your request is for the following:

Cell Tower and Type: Free-Standing Tower [] **-OR-** Concealed Tower [];
Private Development []; **City Project** []; **-OR-** Other []

CONTACT NAME: William Suttles
COMPANY NAME: Modulus Architects Inc. (formerly George Reinhart)
ADDRESS/ZIP: 2325 SAN PEDRO NE, STE. 2B
PHONE: 338. 1499 FAX: 338. 1498

NEIGHBORHOOD ASSOCIATION INFORMATION

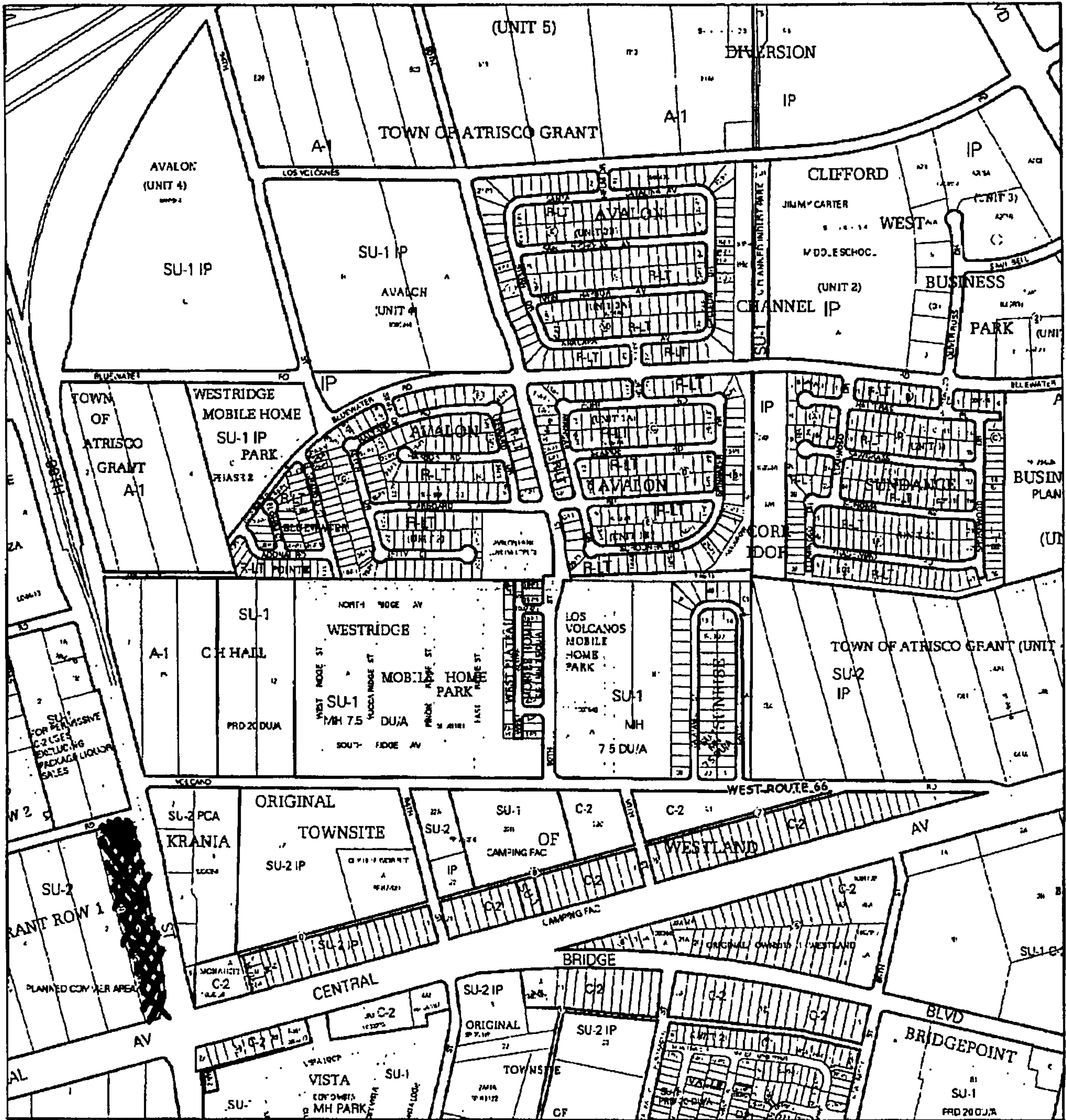
PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD ASSOCIATIONS IN THE AREA OF THE PROPERTY DESCRIBED AS:

TRACT "1A" PLATS OF TRACTS 1A & 1B, ROW 1, UNIT A, WEST OF WESTHOLD, C.O.A.

LOCATED ON 98th STREET
LEGAL DESCRIPTION
STREET NAME OR OTHER IDENTIFYING LANDMARK

BETWEEN Volcano Rd. NW AND CENTRAL AVE. NW
STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS PAGE (K-9).
(PLEASE MARK/HATCH ZONE MAP WHERE PROPERTY IS LOCATED)
(Zone Map **MUST** be provided with request)



For more current information and more details visit <http://www.cabq.gov/gis>

Map amended through: 1/4/2008

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
K-09-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1 500 Feet

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

08/19/2008 Issued By: E08375

Permit Number: 2008 070 238 **Category Code 910**

Application Number: 08DRB-70238, Major - Sdp For Building Permit

Address:

Location Description: 88TH ST NW BETWEEN VOLCANO RD NW AND CENTRAL AVE NW

Project Number: 1003784

Applicant
Peterson Properties

2325 San Pedro Suite 2a
Albuquerque NM 87110
884-3578

Agent / Contact
George Chant & Assoc
George Chant
_Po Box 3528 Ne
Albuquerque NM 87108
5053441833

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	
441006/4983000	DRB Actions Deferral	\$110.00
TOTAL:		\$110.00

City Of Albuquerque
Treasury Division

8/19/2008 3:13PM LOC: ANNX
WSH 006 TRNSH 0029
RECEIPT# 00096688-00096688
PERMIT# 2008070238 TRSDMG
Trans Ant \$110.00
DRB Actions \$110.00
CK \$110.00
CHANGE \$0.00

Thank: You

City of Albuquerque Planning Department

One Stop Shop – Development and Building Services

08/12/2008 Issued By: E08375

*
*
*
*
*

Permit Number: 2008 070 238 Category Code 910

Application Number: 08DRB-70238, Major - Sdp For Building Permit

Address:

Location Description: 98TH ST NW BETWEEN VOLCANO RD NW AND CENTRAL AVE NW

Project Number: 1003794

Applicant

Peterson Properties

2325 San Pedro Suite 2a
Albuquerque NM 87110
884-3578

Agent / Contact

George Chant & Assoc
George Chant
_Po Box 3529 Ne
Albuquerque NM 87108
5053441833

Application Fees

441018/4971000	Public Notification	
441032/3424000		
441008/4983000	DRB deferral fee	\$110.00
TOTAL:		\$110.00

City Of Albuquerque
Treasury Division

8/12/2008 9:46AM LOC: ANNX
WSH 006 TRANSH 0013
RECEIPT# 00096319-00096319
PERMITH 2008070238 TRSDMG
Trans Amt \$110.00
DRB Actions \$110.00
CK \$110.00
CHANGE \$0.00

Thank You

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

05/20/2008 Issued By: E08375

Permit Number: 2008 070 239 **Category Code 910**

Application Number: 08DRB-70239, Minor - Sdp For Subdivision

Address:

Location Description: 98TH ST NW BETWEEN VOLCANO RD NW AND CENTRAL AVE NW

Project Number: 1003794

Applicant
Peterson Properties

2325 San Pedro Suite 2a
Albuquerque NM 87110
884-3578

Agent / Contact
George Chant & Assoc
George Chant
_ Po Box 3529 Ne
Albuquerque NM 87109
5053441833

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	
441006/4983000	DRB Actions	\$385.00
TOTAL:		\$385.00

City Of Albuquerque
Treasury Division

5/20/2008 12:05PM LOC: ANNX
WS# 006 TRANS# 0025
RECEIPT# 00092308-00092309
PERMIT# 2008070239 TRSCS
Trans Amt \$790.00
DRB Actions \$385.00
CK \$790.00
CHANGE \$0.00

Thank You

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

07/22/2008 Issued By: E08375

Permit Number: 2008 070 238 **Category Code 910**

Application Number: 08DRB-70238, Major - Sdp For Building Permit

Address:

Location Description: 98TH ST NW BETWEEN VOLCANO RD NW AND CENTRAL AVE NW

Project Number: 1003794

Applicant
Peterson Properties

2325 San Pedro Suite 2a
Albuquerque NM 87110
884-3578

Agent / Contact
George Chant & Assoc
George Chant
_Po Box 3529 Ne
Albuquerque NM 87109
5053441833

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	
441006/4983000	DRB Actions Deferral	\$110.00
TOTAL:		\$110.00

City Of Albuquerque
Treasury Division

7/22/2008 12:37PM LOC: ANNX
WSH 007 TRANS# 0028
RECEIPT# 00101724-00101724
PERMIT# 2008070238 TRSLJS
Trans Amt \$110.00
DRB Actions \$110.00
CK \$110.00
CHANGE \$0.00

Thank You

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

05/20/2008 Issued By: E08375

Permit Number: 2008 070 238 **Category Code 910**

Application Number: 08DRB-70238, Minor - Sdp For Building Permit

Address:

Location Description: 98TH ST NW BETWEEN VOLCANO RD NW AND CENTRAL AVE NW

Project Number: 1003794

Applicant
Peterson Properties

2325 San Pedro Suite 2a
Albuquerque NM 87110
884-3578

Agent / Contact
George Chant & Assoc
George Chant
_Po Box 3528 Ne
Albuquerque NM 87109
5053441633

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$385.00
TOTAL:		\$405.00

City Of Albuquerque
Treasury Division

5/20/2008 12:04PM LOC: ANNX
WS# 006 TRANSH 0025
RECEIPT# 00092308-00092308
PERMITH 2008070238 TRSCCS
Trans Amt \$790.00
Conflict Manaq. Fee \$20.00
DRB Actions \$385.00

Thank You

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A **APPEAL / PROTEST of...**
- D Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional/Agent (if any): GEORGE RUMHART & ASSOC. PHONE: 884.9110
 ADDRESS: 2325 SAN PEDRO NE STE. 2B FAX: 837.9877
 CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: _____

APPLICANT: Peterson Properties PHONE: 884.3578
 ADDRESS: 2325 SAN PEDRO STE. 2A FAX: 884.6793
 CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: _____
 Proprietary interest in site: RETAIL List all owners: _____

DESCRIPTION OF REQUEST: A Retail Drive-thru Restaurant shell building to be constructed on lots 3 & 4
 Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 1A Plat of Tracts 1A & 1B Block: _____ Unit: _____
 Subdiv/Addr/TBKA: Westland, City of Albuquerque
 Existing Zoning: SUZ-PCA Proposed zoning: C2 MRGCD Map No. _____
 Zone Atlas page(s): K-9-2 UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):
07DRB-00182

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 4 No. of proposed lots: 2 Total area of site (acres): ±2 acres
 LOCATION OF PROPERTY BY STREETS: On or Near: 98th street
 Between: Volcano Rd. NW and Central Ave. NW
 Check-off if project was previously reviewed by Sketch Plat Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 5.20.08
 (Print) WILLIAM SUTLES Applicant: Agent

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
DRB - 70238	SBP		\$ 385.00
	ADY		\$ 75.00
	CMF		\$ 20.00
			\$
			\$
			Total
			\$ 480.00

Hearing date JUNE 18, 08

[Signature] 5/20/08
 Planner signature / date

Project # 1003794

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Completed Site Plan for Subdivision Checklist
 - ___ 6 copies of the Infrastructure List, if relevant to the site plan
 - ___ TIS/AQIA Traffic Impact Study form with required signature
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB 1A)

- ✓ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
 - ✓ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) 24 copies for DRB public hearings
 - ✓ Solid Waste Management Department signature on Site Plan
 - ✓ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ✓ Letter briefly describing, explaining, and justifying the request
 - ✓ Letter of authorization from the property owner if application is submitted by an agent
 - ✓ Copy of the document delegating approval authority to the DRB
 - ✓ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ✓ Sign Posting Agreement
 - ✓ Completed Site Plan for Building Permit Checklist
 - ✓ 6 copies of the Infrastructure List, if relevant to the site plan
 - ✓ TIS/AQIA Traffic Impact Study form with required signature
 - ✓ Copy of Site Plan with Fire Marshal's stamp
 - ✓ Fee (see schedule)
 - ✓ Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
 - ___ DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) 24 copies for DRB public hearings
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ 6 copies of the Infrastructure List, if relevant to the site plan
 - ___ TIS/AQIA Traffic Impact Study form with required signature
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Juan R. Suttles
Applicant name (print)
[Signature] 5.22.08
Applicant signature / date



Form revised JUNE 2005

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
08DRB - 70238

Sandy Handley 05/23/08
 Planner signature / date
Project # 1003794

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

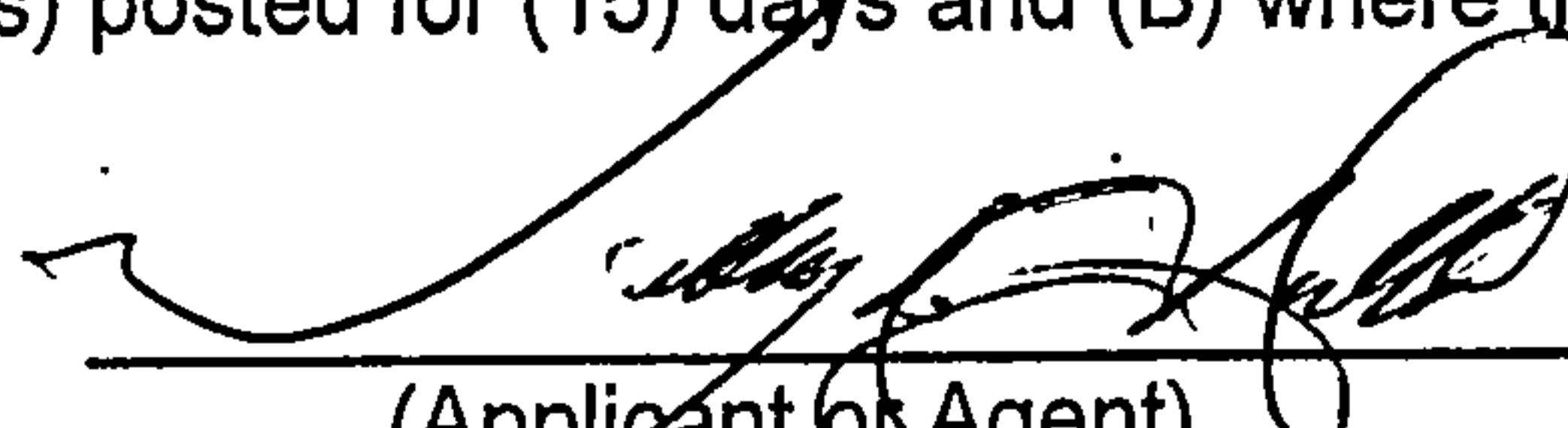
4. TIME

Signs must be posted from JUNE 3, 2008 To JUNE 18, 2008

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.



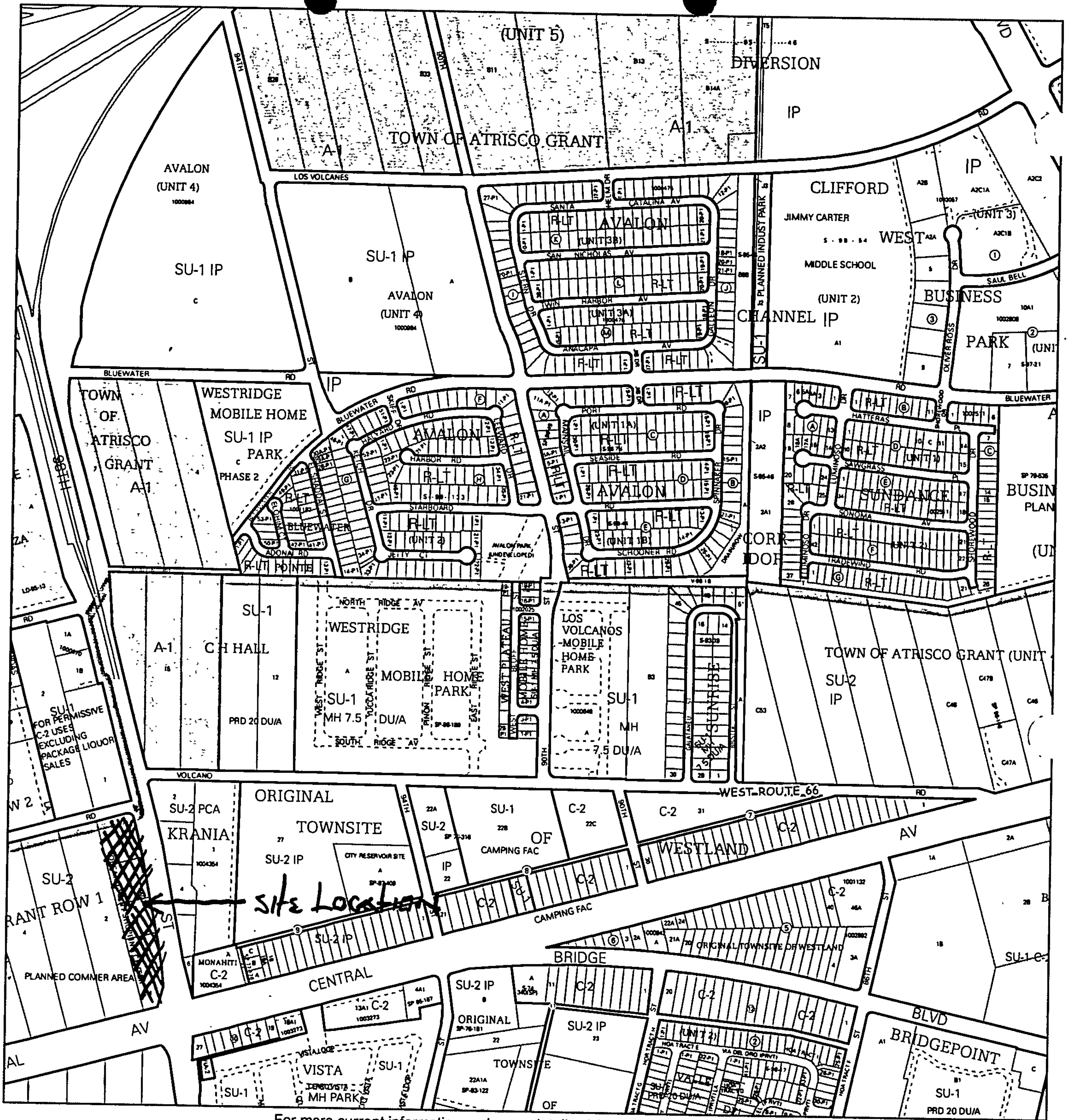
(Applicant or Agent)

5.23.08


(Date)

I issued 1 signs for this application, 05/23/08 Sandy Handley
(Date) (Staff Member)

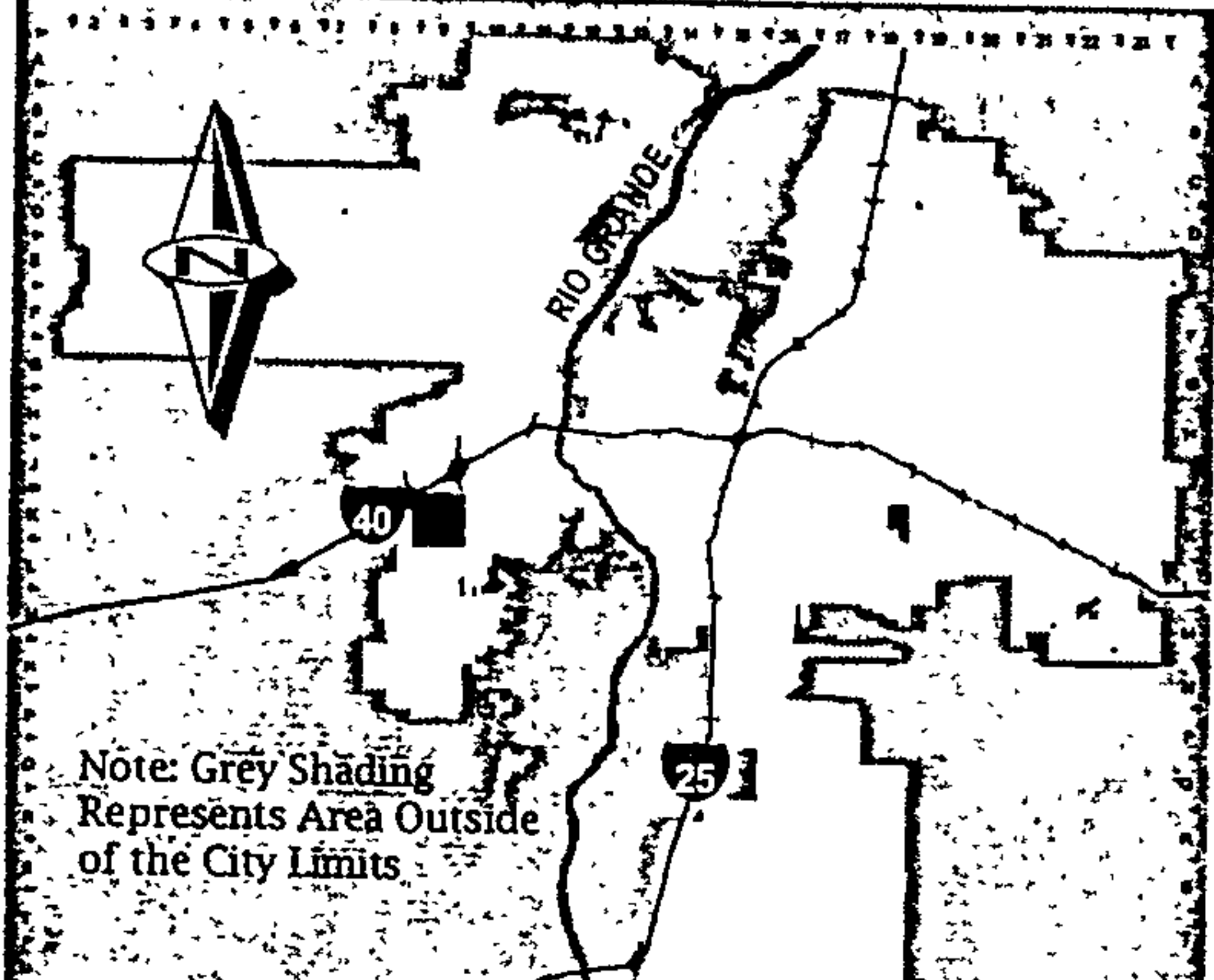
DRB PROJECT NUMBER: 1003794



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 2/8/2008



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
K-09-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contour
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

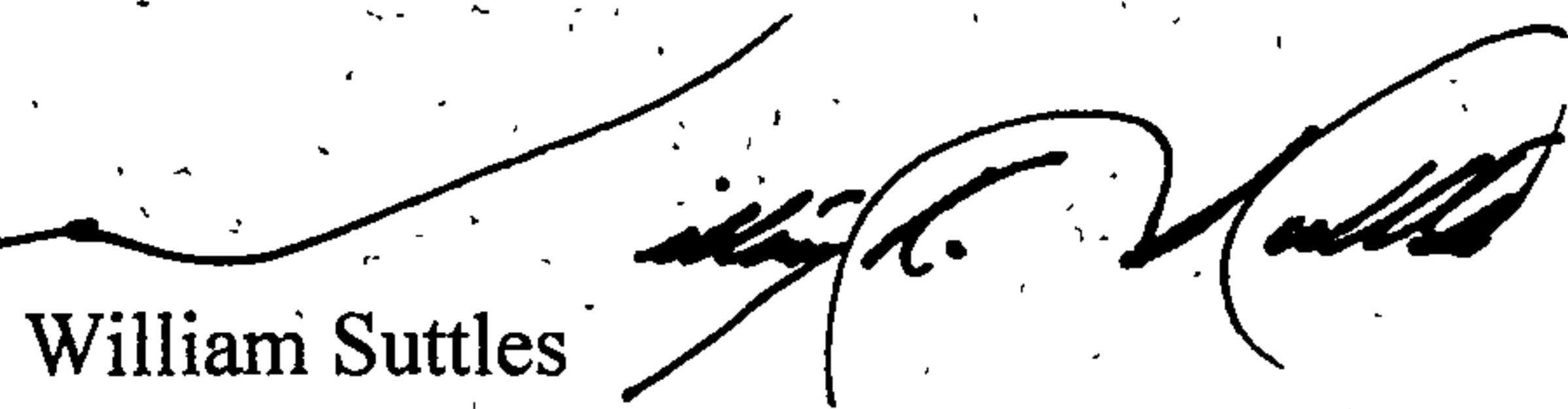
May 22, 2008

City of Albuquerque
Attn: DRB Committee
600 Second St.
Albuquerque, NM 87102

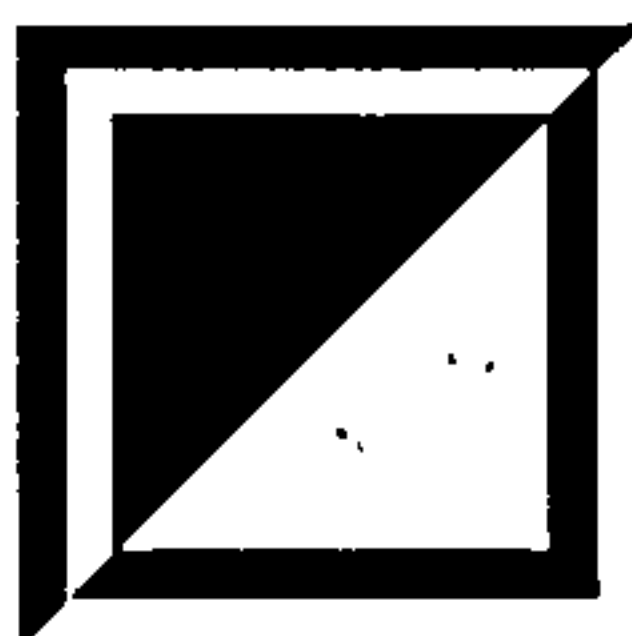
To Whom It May Concern:

We herewith wish to inform you that we will be submitting a DRB application for a new proposed retail shops building as well as a restaurant shell/drive-thru building for the purpose Site plan for Building Permit. These two lots are 3 and 4 of a four (4) lot site. The proposed project is located at the NW corner of 98th & Central (zone map #K-9-Z). The proposed buildings (phase 1 & phase 2) are a 13,866 sf retail shops and a 2,365 sf restaurant shell/drive-thru building, totaling 16,231 sf. The height and size of the buildings are appropriate for the site and will be consistent with that of the materials, finishes & colors of surrounding buildings in and around the area. The current site zoning is SU-2 PCA but will be used for C-2 use.

Sincerely,



William Suttles
Project Manager
George Rainhart Architect & Assoc.



GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110
PHONE: 505-884-9110 ■ FAX: 505-837-9877 ■ Email: graa@gra-arch.com



PETERSON PROPERTIES
Real Estate Services, Inc.

Monday, May 19, 2008

City of Albuquerque
Albuquerque, NM

RE: AGENT AUTHORIZATION FOR DRB SUBMITTAL
NWC 98th/CENTRAL
ALBUQUERQUE, NM

To whom it may concern:

In connection with the project located at the Northwest corner of 98th Street and Central Avenue, I hereby authorize George Rainhart and Architect & Associates, P.C. and/or Modulus Architects to act as our agent for the submission of DRB. Please free to contact us if you have any questions.

Yours truly,

PETERSON PROPERTIES REAL ESTATE SERVICES, INC.
(Managing Agent for Peterson Inv-98th/Central, LLC)

Mae Peterson
mp@petersonproperties.net

cc: Doug Peterson
file

PRE-APPLICATION DISCUSSION

NOTE: PRE APPLICATION DISCUSSIONS ARE PROVIDED TO ASSIST APPLICANTS IN ACQUIRING INFORMATION ON PROCESS AND REQUIREMENTS PERTAINING TO THEIR REQUEST. THE INTERPRETATION OF SPECIFIC USES ALLOWED WITHIN VARIOUS ZONES IS THE RESPONSIBILITY OF THE ZONING ENFORCEMENT OFFICER, AS PROVIDED FOR BY THE COMPREHENSIVE ZONING CODE. ANY STATEMENTS REGARDING ZONING AT THE PRE APPLICATION DISCUSSION ARE NOT CERTIFICATES OF ZONING.

PA # 08-46 APPLICANT George Rainhart TEL. # 884-9110 FAX# _____

RECEIVED BY Erin Tremlin DATE April 18, 2008

APPOINTMENT TIME & DATE: Tuesday @ 1:30 pm; April 22, 2008

Appointment requests received by Friday will be schedule for Tuesday of the following week, if times are available. Requests received after Friday will be scheduled for the following Tuesday. **Please contact the Planning Division at 924-3860 for more information.**

1. **BRIEFLY DESCRIBE REQUEST:** (What do you plan to develop on this site?)
Fast food restaurant exterior elevations.

2. **RESPOND TO THE FOLLOWING QUESTIONS:**

Size of site: .7516 Existing: Zoning: SU-2 Planned Commercial Area Proposed Zoning: no change

Previous zone change or site plan approval case #s for this site: ~~N/A~~ 1003794

Applicable Area or Sector Development Plans: West Route 66, Westside Strategic Area Plan

Residential: Type and # of Units Proposed N/A

Commercial: Estimated building square footage: 3,365 No. Of Employees: 10

3. **LOCATION OF REQUEST:** Provide a **legal description** of property and indicate location using surrounding streets. Indicate significant landmarks or notable features in the vicinity. **Include Zone atlas number.**

NW corner of 98th & Central. Lot 1-A Volcano Heights Shopping Center
Zone atlas page K-9

4. **WHAT QUESTIONS OR CONCERNS DO YOU HAVE REGARDING THIS REQUEST:**

Already approved site plan without elevations. Need to go over exterior elevations. Does this go to DRB or EPC for site plan for building permit for lot 3 fast food restaurants? No change to approved site plan.

SPS allows DRB delegation for Parcels 1, 3 + 4

1. AGENCY REPRESENTATIVES PRESENT AT MEETING

- Planning: Carmen Marrone Others _____
- Transportation: Tony Loyd Others _____
- ONC: Stephanie Winklepleck Others _____
- Code Enforce: Robert Pierson Others _____
- Others: _____

2. TYPE OF APPLICATION ANTICIPATED / APPROVAL AUTHORITY

- Zone Map Amendment: EPC Approval City Council Approval
- Sector Dev. Plan Amendment: EPC Approval City Council Approval
- Site Dev. Plan for Subdivision: EPC Approval DRB Approval
- Site Dev. Plan for Bldg. Permit: EPC Approval DRB Approval
- Annexation: Bern. Co. Commission Approval EPC Approval DRB Approval
- OTHER:

3. SUMMARY OF PRT DISCUSSION

site plan for bldg permit for lots 1, 3 + 4 are delegated to the DRB

site plan must comply w/ SPS design reqs + West Route 66 SDP design reqs.

no req. for nrbhood notification

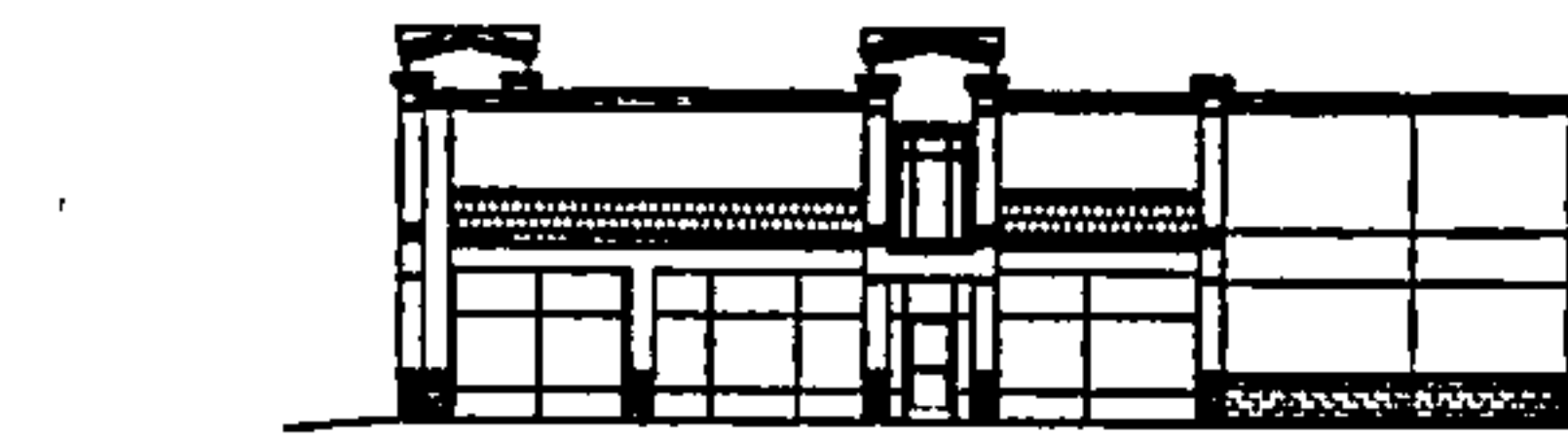
4. SIGN & DATE TO VERIFY ATTENDANCE & RECEIPT OF THIS SUMMARY (PRT DISCUSSIONS ARE INFORMATIONAL & NON-BIND)

C. Marrone 4/22/08
PRT CHAIRMAN / DATE

[Signature]
APPLICATION OR AGENT / DATE



RETAIL SHOPS



RESTAURANT SHELL - DRIVE-THRU

THE NORTHWEST CORNER OF
98TH AND CENTRAL IS TO BE KNOWN AS
VOLCANO POINT
VOLCANO POINT DESIGN STANDARDS

THE PURPOSE OF THESE DESIGN STANDARDS IS TO PROVIDE A FRAMEWORK TO ASSIST THE ARCHITECT, LANDSCAPE ARCHITECT AND DESIGNERS IN UNDERSTANDING THE VISION OF THE DEVELOPER GOALS. THESE STANDARDS SHOULD BE USED TO FACILITATE THE DESIGN OF BUILDINGS WHICH RESPECT THE EXISTING SITE CONDITIONS AND THE CHARACTER AND LAND USES OF THE ADJACENT PROPERTIES AND NEIGHBORHOODS.

THESE STANDARDS ADDRESS THE ISSUES OF LANDSCAPE, SETBACKS, PEDESTRIAN ACCESS, SCREENING, LIGHTING, SIGNAGE AND ARCHITECTURE THAT WILL ESTABLISH THE VISUAL IMAGE FOR VOLCANO POINT. THESE STANDARDS ARE ESTABLISHED TO CONTROL FUTURE COMMERCIAL DEVELOPMENT WITHIN VOLCANO POINT.

SUBSEQUENT SITE PLANS FOR BUILDING PERMITS SHALL BE CONSISTENT WITH THE DESIGN STANDARDS ESTABLISHED BY THIS SITE PLAN FOR SUBDIVISION AND SHALL BE APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION PRIOR TO ANY PERMITS TO THIS SITE PLAN FOR SUBDIVISION SHALL BE APPROVED APPROXIMATELY BY THE PLANNING DIRECTOR IN ACCORDANCE WITH THE COMPREHENSIVE CITY ZONING CODE, SECTION 14-16-1-2(A)(6) MAJOR AMENDMENTS SHALL BE REQUIRED APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION.

SITE PLANNING

IT IS INTENDED TO MAINTAIN A STANDARD QUALITY AND CONSISTENCY IN STYLE FOR SITE AMENITIES SUCH AS BENCHES, BALCONIES, LIGHTING, ETC. CREATING SAFE AND PLEASANT PEDESTRIAN CIRCULATION.

ALL PEDESTRIAN WALKWAYS THROUGHOUT VOLCANO POINT SHALL BE BUILT TO CITY OF ALBUQUERQUE REQUIREMENTS.

ALL CROSS WALKS BETWEEN PARCELS AND ACROSS DRIVES SHALL BE 6'-0" WIDE RAISED TEXTURED CONCRETE SLABS.

ALL PEDESTRIAN WALKWAYS SHALL BE DESIGNED TO SATISFY AMERICAN WITH DISABILITIES ACT CRITERIA EXCEPT WHERE TOPOGRAPHY MAKES THIS UNFEASIBLE.

EACH BUILDING IS TO HAVE A CROSSWALK CONNECTION TO EACH OTHER.

EACH COMMERCIAL LOT IS TO HAVE AN OUTDOOR SITTING AREA WITH POSED BENCH. EACH LOT SHALL PROVIDE A CROSSWALK CONNECTION TO EACH OTHER AND TO THE ADJACENT SIDEWALK LOCATED TO EACH BUILDING AND IN A LOCATION LEAST OBSTRUCTIVE TO PEDESTRIAN AND VEHICULAR CIRCULATION.

PARKING

IN SUPPORT OF THE GOALS FOR PEDESTRIAN ACCESSIBILITY, CAREFUL ATTENTION SHOULD BE PAID TO THE PARKING DESIGN. AN EFFORT SHALL BE MADE BY THE DEVELOPER TO MINIMIZE THE VISUAL IMPACT OF PARKING FACILITIES. IN ADDITION TO THE VISUAL IMPACT OF THE PARKING AREAS SHALL BE PROVIDED WITH INTERMEDIATE LANDSCAPE AREAS. ADDITIONAL GUIDELINES ARE AS FOLLOWS.

HANDICAPPED PARKING SPACES SHALL BE PROVIDED ADJACENT TO THE BUILDING ENTRANCES.

PARKING SHALL BE DESIGNED TO INCLUDE A PEDESTRIAN ACCESS TO BUILDINGS.

PARKING AREAS ADJACENT TO 98TH STREET AND CENTRAL AVENUE ARE REQUIRED TO BE SCREENED BY THE USE OF LANDSCAPING, LANDSCAPING BARRIERS, GARDEN WALLS OR ANY COMBINATION OF SCREENING, GARDEN WALLS SHALL BE ARCHITECTURALLY COMPATIBLE WITH THE SURROUNDING BUILDINGS.

ON-STREET PARKING REQUIREMENTS

RETAIL AND FINANCIAL BUSINESSES SHALL BE REQUIRED TO HAVE FIVE PARKING SPACES PER 1000 SQUARE FEET OF LEASED BUILDING AREA.

FAST FOOD RESTAURANTS SHALL HAVE 8 SPACES PER 1000 SQUARE FEET OF BUILDING AREA. FAST FOOD RESTAURANTS SHALL HAVE 18 SPACES PER 1000 SQUARE FEET OF BUILDING AREA OR ONE PARKING SPACE PER FOUR SEATS.

EACH PARCEL SHALL HAVE A MOTORCYCLE PARKING AREA TO ACCOMMODATE TWO MOTORCYCLES.

LANDSCAPING

THE DEVELOPMENT OF THE OVERALL LANDSCAPE DESIGN SHALL ESTABLISH GUIDELINES THAT UNIFY THE SCENERY AND IS APPROPRIATE FOR THE NEIGHBORHOODS. THE LANDSCAPE DESIGN SHOULD ENHANCE THE VISUAL QUALITY OF THE NEIGHBORHOODS. ALL LANDSCAPE AREAS NEED TO BE COORDINATED AND RESPONSIVE TO EXISTING ENVIRONMENTAL CONDITIONS AND LOCAL BUILDING POLICIES. THESE STANDARDS ARE TO BE USED AS A SUPPLEMENT TO THE CITY REQUIREMENTS IN THE WATER CONSERVATION, LANDSCAPING AND WATER USES ORDINANCE, THE STREET TREE ORDINANCE AND LANDSCAPE REGULATIONS INCLUDED IN THE CITY OF ALBUQUERQUE COMPREHENSIVE CITY ZONING CODE.

THE FOLLOWING ARE MINIMUM STANDARDS FOR THE DEVELOPMENT OF SPECIFIC LANDSCAPE PLANS.

STREET TREES SHALL BE PROVIDED ALONG ROADWAYS AT THE RATE OF ONE PER 30 LINEAR FEET. THEY MAY BE RANDOM OR REGULARLY PLACED.

THE DEVELOPER/OWNER WILL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE LANDSCAPE ON THE PROPERTY. ALL PLANT MATERIALS INCLUDING TREES, SHRUBS, GROUND COVERS, TURF, BULBOUS, ETC. SHALL BE MAINTAINED BY THE PROPERTY OWNER FOR THE LIVING ATTRACTIVE CONDITION.

A MINIMUM OF 8 PERCENT OF THE SITE AREA FOR COMMERCIAL PROJECTS (FROM THE BUILDING SQUARE FOOTAGE) SHALL BE DEVOTED TO LANDSCAPE PLANTING.

LANDSCAPE AREAS SHALL BE A MINIMUM OF 30 SQUARE FEET AND A MINIMUM OF 3 FEET. LIVING VEGETATIVE MATERIALS SHALL COVER A MINIMUM OF 75 PERCENT OF THE LANDSCAPE AREA. THE AREA AND PERCENTAGE IS CALCULATED BASED ON THE MATURE CANOPY SIZE OF ALL PLANT MATERIAL.

ALL PLANT AREAS NOT COVERED WITH TURF SHALL HAVE A GROUND TOPPING OF RIVER ROCK, SHREDED BARK, GRAVEL, PALM OR SPIDER MATERIAL. EACH EXTENDS COMPLETELY UNDER THE PLANT MATERIAL.

LANDSCAPE HEADERS SHALL BE USED TO SEPARATE ANY TURF AND GROUND COVER AREAS.

TO SHADE AND MITIGATE VISUAL IMPACT OF LARGE EXPANSIONS OF PAVEMENT, INTERIOR PARKING AREAS SHALL HAVE ONE TREE FOR EACH 10 PARKING SPACES WITH NO SPACE BEING MORE THAN 100 FEET FROM A TREE.

75 PERCENT OF THE REQUIRED PARKING AREA TREES SHALL BE DECIDUOUS AND HAVE A MATURE HEIGHT AND CANOPY OF AT LEAST 20 FEET.

AN APPROPRIATE UNDERGROUND IRRIGATION SYSTEM SHALL BE PROVIDED TO SUPPORT ALL REQUIRED LANDSCAPING. IRRIGATION COMPONENTS SHOULD BE CHECKED PERIODICALLY TO ENSURE MAXIMUM EFFICIENCY.

MINIMUM PLANT SIZES AT THE TIME OF INSTALLATION SHALL BE AS FOLLOWS:

TREES: 1 1/2" INCH CALIPER OR 10" TO 12" FEET IN HEIGHT

SHRUBS: 1 GROUND COVER: 1 GALLON

TURF GRASSES SHALL PROVIDE COMPLETE GROUND COVERAGE WITHIN 1 GROUND SEASON AFTER INSTALLATION.

ARCHITECTURE

THE ARCHITECTURAL DESIGN SHALL DEMONSTRATE A QUALITY AESTHETIC CHARACTER THROUGHOUT THE PROPERTY AND SHOULD RESPOND TO CLIMATE, WIND, SOLAR SENSITIVITY AND AESTHETIC COMPATIBILITY.

COMMERCIAL ARCHITECTURAL STYLE

THE GENERAL ARCHITECTURAL CHARACTER FOR THE RETAIL STRUCTURES SHALL BE A CONTEMPORARY DESIGN STYLE. ABOVE IS A PRELIMINARY ELEVATION OF THE PROPOSED ARCHITECTURAL STYLE.

RETAIL STORE FRONTAGES MAY HAVE FLAT ROOFS OVER COLONNADAE COVERED WALK AREAS. FLAT ROOF AREAS ARE TO BE ROOFED WITH HORIZONTAL SLATE TILE OR FLAT ROOF. TOWER LIGHTS ARE TO BE ARTICULATED TO WALK THROUGH WITH RAISED VALUED CEILING AND UPPER OPENINGS TO ALLOW PENETRATION OF NATURAL LIGHT. MAIN STRUCTURE ROOFS ARE TO BE FLAT ROOFS WITH RAISED PARAPETS TO CREATE ROOF TOP EQUIPMENT SCREENING. OTHER FEATURES ARE TO INCLUDE CONCRETE HANDRAILS, RAILING, FACED BRICKWORK. ADDITIONAL DETAILS SUCH AS CORNICES THAT ORNAMENTAL FEATURES ARE ALSO ALLOWED.

MAXIMUM BUILDING PARAPET HEIGHT IS LIMITED TO 36" WITH ARCHITECTURAL ACCENTS SUCH AS TOWER AND ENTRY ELEMENTS MAY EXTEND ABOVE MAXIMUM PARAPET HEIGHT. THE MAXIMUM HEIGHT OF A FLAT ROOF SHALL BE BASED ON THE AVERAGE HEIGHT BETWEEN THE FLATS AND RIDGE.

THE FOLLOWING ARE MINIMUM ARCHITECTURAL STANDARDS FOR COMMERCIAL DEVELOPMENT.

COMMERCIAL BUILDINGS SHALL COMPLY WITH SECTION 14-16-3-B GENERAL BUILDING AND SITE DESIGN REGULATIONS FOR NON-RESIDENTIAL USES OF THE COMPREHENSIVE CITY ZONING CODE, AS WELL AS OTHER LOCAL BUILDING AND FIRE CODES.

AWNINGS ARE PERMITTED ABOVE WINDOW AREAS. AWNINGS WITH PLANT OR BRUSHED COPPER COLOR LOGOS OR SIGNAGE ARE PERMITTED PROVIDED THE AREA UNDER AWNINGS DOES NOT EXCEED THE ALLOWABLE SIGN AREA OF BUILDING WALL. ILLUMINATION OF AWNINGS MUST BE FRONT FACING POINTED LIGHTS LOCATED ABOVE THE AWNING. ACCENT COLORS ON AWNINGS ARE TO BE COMPATIBLE WITH THE GENERAL COLOR PALETTE AND MATERIALS OF THE PROPOSED AWNING COLORS ARE TO BE PROVIDED WITH EACH SUBMITTAL.

REFLECTIVE GLAZES IS PROHIBITED. CLEAR BRONZE TINTED GLASS IS PERMITTED.

NO PLASTIC OR VINYL BUILDING PANELS, AWNINGS OR CANOPIES ARE ALLOWED.

ENTRANCEWAYS TO COMMERCIAL BUILDINGS SHALL BE CLEARLY DEFINED.

ROOFS MAY BE FLAT, PITCHED (TILE) OR A COMBINATION OF BOTH AND SHALL BE MADE OF NON-FLEETING MATERIALS. ROOF TILE COLOR SHALL BE GAMBUR BROWN. BUILDING FINISHES SHALL BE STUCCO AND GLAZES SHALL BE LIGHT TAN, PEGGY TAN AND BRONZEWEST.

SCREENING/BUFFERING

THE EFFECTIVE USE OF SCREENING DEVICES FOR PARKING LOTS, LOADING AREAS, REFUSE ENCLOSURES, DELIVERY YARDS AND RECREATIONAL EQUIPMENT IS ESSENTIAL TO LIMIT THEIR ADVERSE VISUAL IMPACT ON THE PROPERTY. THE STANDARDS ESTABLISHED IN THE LANDSCAPE SECTION WILL PROVIDE THE MAIN OBJECTIVES TO SCREENING UNATTRACTIVE ELEMENTS AND ACTIVITIES.

PERIMETER FENCES ARE ALLOWED. HOWEVER, AN EFFORT SHOULD BE MADE BY THE SITE DESIGNER TO LEARN THE VISUAL IMPACT THROUGH LANDSCAPING, SCREENING WITH LANDSCAPE AREA OR PROVIDED OPENING WALLS AND RETAINING WALLS OR THESE DESIGN STANDARDS AS SPECIFIED BELOW.

DRIVE-UP AND PICKUP AREAS SHALL BE SCREENED WITH A 5 FOOT HIGH OPAQUE WALL AND 8 FOOT SIDE CURB. LANDSCAPE AREAS WITH EVERGREEN TREES A SERIES OF 6 FEET HEIGHT AS THE WALL MAY BE PROVIDED IN LIEU OF THE WALL.

SERVICE AREAS SUCH AS REFUSE LOCATIONS AND COMPACTORS ARE TO BE SCREENED FROM THE VIEW OF THE ADJACENT NEIGHBORHOODS. PUBLIC RIGHTS-OF-WAY AND ADJACENT FRONTAGE AREA FREE STATIONS, DRIVEWAYS AND DRIVEWAYS LOCATIONS ARE TO BE BARRIERS SCREENING MATERIAL SHALL MATCH BUILDING WALL COLOR AND MATERIAL.

UNFINISHED BLOCK WALLS AND BARBED WIRE, CHAIN LINK, CONCRETE WIRE AND PLASTIC/VINYL FENCES ARE PROHIBITED.

CLEAR SIGHT DISTANCES FOR SAFETY PURPOSES WILL BE MAINTAINED AT ALL DRIVEWAY LOCATIONS. THE MAXIMUM HEIGHT OF RETAINING WALLS IS 6 FEET. AREAS REQUIRING GREATER RETAINAGE ARE REQUIRED TO BE TERRACED WITH A 4 FOOT HORIZONTAL SEPARATION BETWEEN WALLS.

LIGHTING

IN ORDER TO ENHANCE THE SAFETY, SECURITY AND VISUAL AESTHETICS CAREFUL CONSIDERATION MUST BE GIVEN TO BOTH THE DAYTIME AND NIGHT-TIME APPEARANCE OF THE LIGHTING DESIGN AND FIXTURES. THE PRIMARY DESIGN OBJECTIVE OF THE SITE LIGHTING SHALL BE TO MAXIMIZE PUBLIC SAFETY WHILE NOT AFFECTING ADJACENT PROPERTIES, BUILDINGS OR ROADWAYS WITH UNNECESSARY GLARE, REFLECTION OR BRIGHT LIGHTING.

THE FOLLOWING ARE THE GUIDELINES TO THE LIGHTING DESIGN TO SUCCESSFULLY ACCOMPLISH THESE GOALS:

ALL LIGHTING SHALL COMPLY WITH SECTION 14-16-3-B AREA LIGHTING REGULATIONS OF THE COMPREHENSIVE CITY ZONING CODE. PLACEMENT OF FIXTURES AND STANDARDS SHALL CONFORM TO STATE AND LOCAL SAFETY AND ILLUMINATION STANDARDS.

SITE LIGHTING FOR PAD STRUCTURES IS TO MATCH THE SITE LIGHTING PROVIDED FOR THE MAIN COMMERCIAL PARKING AREA.

PAD MOUNT LIGHTS SHALL NOT EXCEED 30 FEET FROM THE FINISHED GRADE TO THE TOP OF THE POLE. MAIN COMMERCIAL PARKING AREA LIGHTING SHALL NOT EXCEED 30 FEET. PARKING LOT LIGHTS WITHIN 100 FEET OF RESIDENTIAL AREAS SHALL BE A MAXIMUM OF 16 FEET HIGH FROM FINISHED GRADE TO TOP OF POLE.

EXPOSED UNSHIELDED LIGHT FIXTURES ARE PROHIBITED. ALL LIGHTS SHALL BE SHIELDED SHOW BOW-TYPE FIXTURES.

INDIVIDUAL SITE LIGHTING STANDARDS SHALL BLEND WITH THE ARCHITECTURAL CHARACTER OF THE BUILDINGS AND OTHER SITE FIXTURES.

THE LOCATION OF LIGHT FIXTURES SHALL BE IDENTIFIED ON SUBSEQUENT SITE PLANS FOR BUILDING PERMITS.

AREA LIGHTING SHALL BE RESTRICTED TO A MAXIMUM OFF-SITE LUMINANCE OF 1000 FOOT-CANDELES FROM ANY POINT AND MAXIMUM OF 100 FOOT-CANDELES FROM ANY RESIDENTIAL PROPERTY LINE.

ACCENT LIGHTING IS PERMITTED. HOWEVER, SURFACE LIGHTING IS LIMITED TO AN AVERAGE OF 3 FOOT-CANDELES PER SQUARE FOOT FROM THE SURFACE LEVEL OF ANY POINT ON THE BUILDING SURFACE BEING ILLUMINATED.

TO ENSURE THE OVERALL AESTHETIC QUALITY AND THE NATURAL ENVIRONMENT, THE VISUAL IMPACT OF UTILITIES AND EQUIPMENT SHOULD BE MINIMIZED BY THE FOLLOWING:

TRANSPARENCY UTILITY PADS AND TELEPHONE BOXES SHALL BE APPROPRIATELY SCREENED WITH WALLS AND/OR VEGETATION 18-INCH VIEWED FROM THE PUBLIC RIGHT-OF-WAY.

SEMI AN ABOVEGROUND BACK FLOW PREVENTION DEVICE IS REQUIRED BY THE CITY OF ALBUQUERQUE. THE HEATED ENCLOSURE SHALL BE CONSTRUCTED OF MATERIALS COMPATIBLE WITH THE ARCHITECTURAL MATERIALS USED AS THE MAIN ELEMENTS OF THE BUILDING. IF PRE-ASSEMBLED ENCLOSURES ARE USED, THEY SHALL BE APPROPRIATELY SCREENED FROM VIEW BY WALLS AND/OR LANDSCAPING.

SIGNAGE

THE FOLLOWING SIGNAGE STANDARDS WERE DEVELOPED TO REGULATE THE SIZE, LOCATION, TYPE AND QUALITY OF THE SIGN ELEMENTS WITHIN VOLCANO POINT. THE PRIMARY GOAL IS TO PROVIDE A SIGNAGE PROGRAM WITH QUALITY THAT HAS A CONSISTENT STYLE, CREATING A SENSE OF ARRIVAL AND COMPLEMENTS THE VISUAL CHARACTER OF THE DEVELOPMENT.

ALL SIGNS SHALL BE IN COMPLIANCE WITH SECTION 14-16-3-B GENERAL SIGN REGULATIONS OF THE COMPREHENSIVE CITY ZONING CODE.

ONE ARCHITECTURALLY COORDINATED 22 FOOT TALL SIGN, 100 SQUARE FEET IN SIGN AREA IS ALLOWED ALONG CENTRAL AVENUE. ONE ARCHITECTURALLY COORDINATED 18 FOOT TALL SIGN PER PARCEL (TOTAL 4100 SQUARE FEET IN SIGN AREA IS ALLOWED ALONG WITH STREET EACH BUILDING PAD IS PERMITTED 50 SQUARE FEET TOWER SIGN ADJACENT TO THE INTERNAL SITE DRIVE.

ALL BUILDING MOUNTED SIGNAGE WILL BE INDIVIDUAL TYPE LETTERING NOT TO EXCEED 8 PERCENT OF THE WALL AREA OF EACH BUILDING ELEVATION OR 100 PERCENT OF THE WALL AREA OF MULTI-TENANT SHOP BUILDINGS.

ALL SIGNS ARE TO BE OF INDIVIDUAL LETTERS THE FOLLOWING TYPES OF LETTERS ARE ACCEPTABLE:

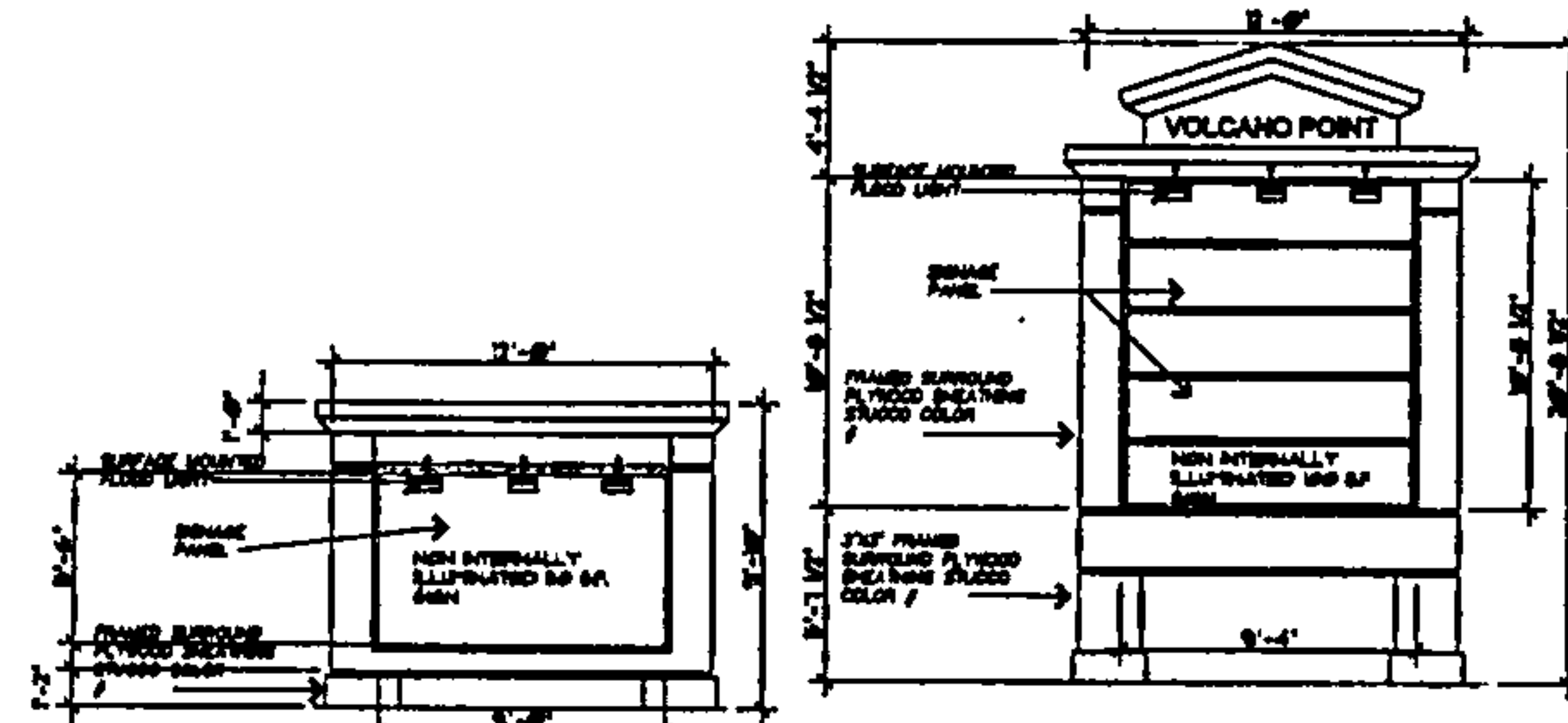
TYPE 1: OPAQUE LETTERING INDEPENDENTLY ILLUMINATED BY GLOBE NECK TYPE LIGHTING

TYPE 2: CHANNEL LETTERS DARK BROWN OR BLACK IN COLOR INTERNALLY ILLUMINATED WITH LETTER COLORS TO MATCH LETTER FACE COLOR. FACE COLORS TO BE TO THE DISCRETION OF THE TENANT.

TYPE 3: SAME AS TYPE 2 EXCEPT HALO LIT.

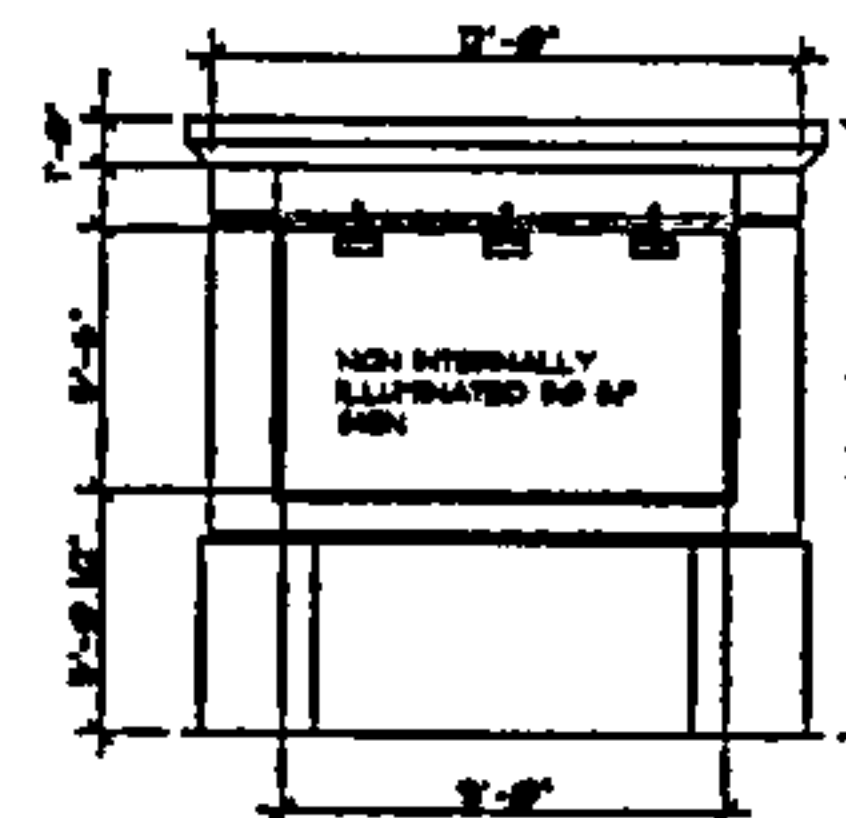
TYPE 4: HALO LIT LETTERS CUT OUT OF SOLID METAL BACKGROUND SPACED OFF THE FACE OF THE BUILDING.

CAN TYPE SIGNS ARE PROHIBITED. ANY SPECIAL LOGOS ASSOCIATED WITH SPECIFIC TENANTS ARE TO BE PROVIDED IN A NON-ILLUMINATED FASHION FOR SPECIFIC APPROVAL.



50 S.F. 98TH STREET NW SIGNS

100 S.F. CENTRAL AVE.



50 S.F. 98TH STREET NW PARCEL 1 SIGN

REV	DATE	BY	REVISION
1			
2			
3			
4			

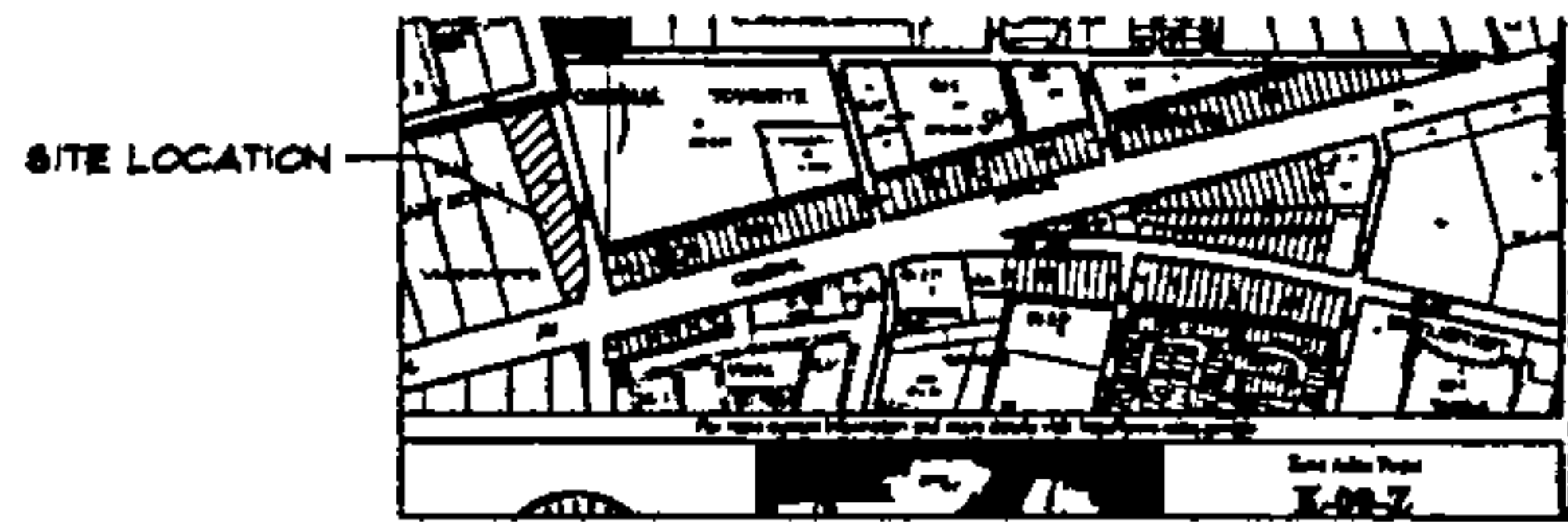
GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2326 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 864-9110 FAX (505) 837-9877

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CONSTRUCTION

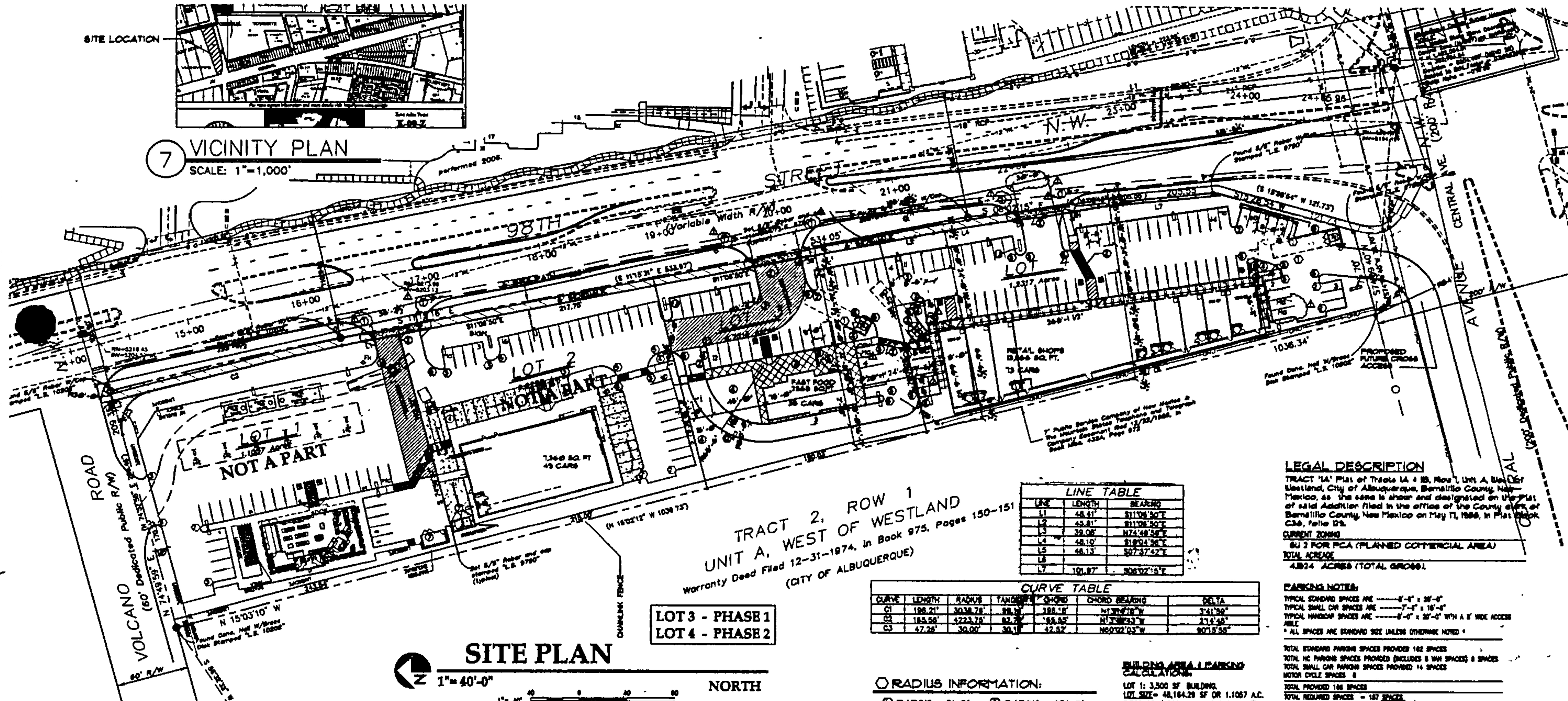
PROJECT TITLE 98TH AND CENTRAL NORTHWEST CORNER OF 98TH ST. & CENTRAL AVENUE ALBUQUERQUE, NEW MEXICO	DRAWN BY: BWS
PROJECT NUMBER 1000000000	JOB NO. 0003
OWNER TITLE COVER-DESIGN STDOS.	

DATE: 5.20.2008
SCALE: 1"=40'

ASI



7 VICINITY PLAN
SCALE: 1"=1,000'



SITE PLAN
1"=40'-0" NORTH

TRACT 2, ROW 1
UNIT A, WEST OF WESTLAND
Warranty Deed Filed 12-31-1974, in Book 975, Pages 150-151
(CITY OF ALBUQUERQUE)

LINE TABLE

LINE	LENGTH	BEARING
L1	48.41'	S11°08'30"E
L2	45.81'	S11°08'30"E
L3	39.08'	N74°48'58"E
L4	48.10'	S18°04'36"E
L5	48.13'	S67°37'42"E
L6	101.87'	S08°02'15"E

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	188.21'	3038.78'	88.15'	188.15'	S11°08'30"W	3°41'39"
C2	183.98'	4223.78'	82.78'	183.85'	N17°38'53"W	2°14'48"
C3	47.28'	30.00'	30.1'	47.92'	N62°02'03"W	80°15'55"

LEGAL DESCRIPTION
TRACT 2A, Part of Tracts 1A & 2B, Row 1, Unit A, West of Westland, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat of said Addition filed in the office of the County Clerk of Bernalillo County, New Mexico on May 17, 1968, in Plat Book C36, folio 129.
CURRENT ZONING
BU 2 FOR PCA (PLANNED COMMERCIAL AREA)
TOTAL ACRES
4.824 ACRES (TOTAL GROSS)

PARKING NOTES:
TYPICAL STANDARD SPACES ARE 8'-0" x 30'-0"
TYPICAL SMALL CAR SPACES ARE 7'-6" x 18'-0"
TYPICAL HANDICAP SPACES ARE 8'-0" x 32'-0" WITH A 5' WIDE ACCESS AISLE
* ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED *
TOTAL STANDARD PARKING SPACES PROVIDED 162 SPACES
TOTAL HC PARKING SPACES PROVIDED (INCLUDES 8 VAN SPACES) 8 SPACES
TOTAL SMALL CAR PARKING SPACES PROVIDED 14 SPACES
TOTAL PROVIDED 180 SPACES
TOTAL REQUIRED SPACES = 137 SPACES
TOTAL PROVIDED SPACES = 180 SPACES

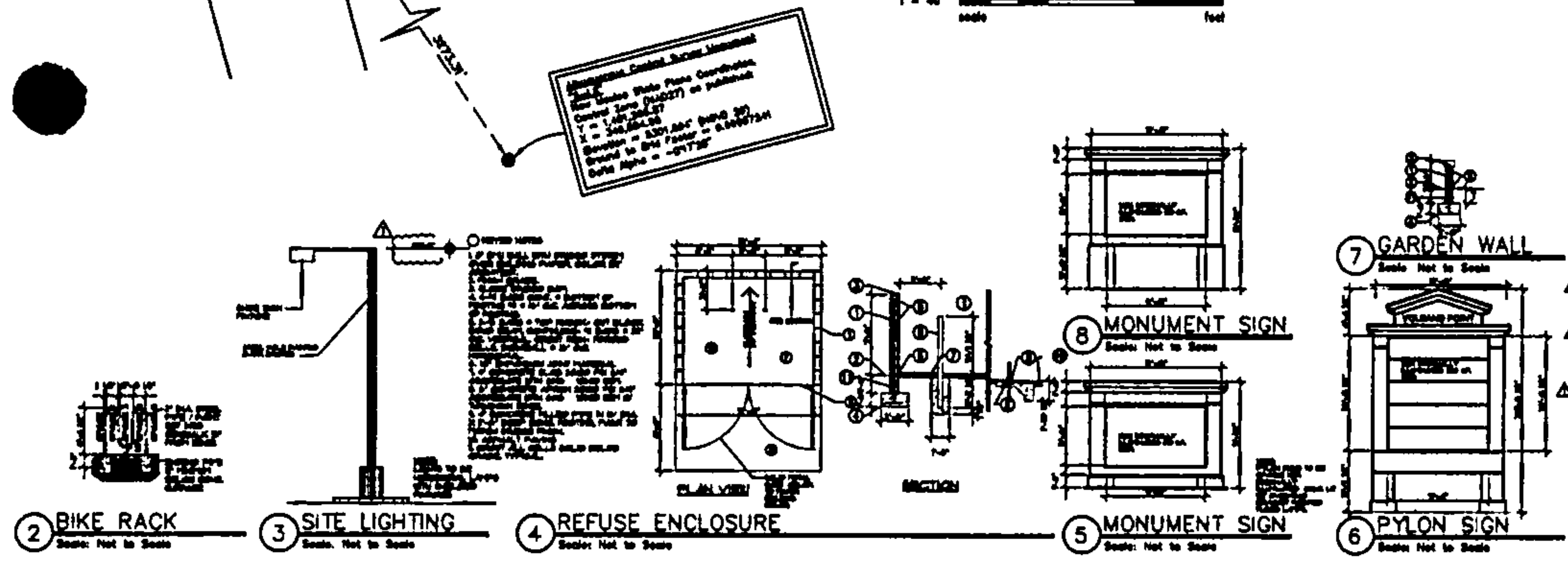
BUILDING AREA / PARKING CALCULATION:
LOT 1: 3,500 SF BUILDING
LOT SIZE = 48,184.29 SF OR 1,105.7 A.C.
3,500 SF / 200 = 18 SPACES
SPACES PROVIDED 26 SPACES
1 MOTOR CYCLE
FAR = .07
LOT 2: 7,380 SF BUILDING
LOT SIZE = 40,171.03 SF OR 922.48 A.C.
7,380 SF / 200 = 36 SPACES
SPACES PROVIDED 48 SPACES
1 MOTOR CYCLE
FAR = .18
LOT 3: FAST FOOD 2,386 SF BUILDING
LOT SIZE = 32,738.80 SF OR 751.6 A.C.
1 CAR PER 4 PROVIDED SEATS
137 SEATS / 4 = 34 REQ. SPACES
SPACES PROVIDED 34 SPACES
2 MOTOR CYCLE
FAR = .07
LOT 4: SHOPS 13,878 SF BUILDING
LOT SIZE = 53,862.85 SF OR 1,231.7 A.C.
13,878 / 200 = 69 SPACES
SPACES PROVIDED 71 SPACES
4 MOTOR CYCLE
FAR = .24

APR PLANS CHECKING OFFICE
884-9111
APPROVED FOR CONSTRUCTION
SIGNATURE & DATE

- RADIUS INFORMATION:
- ① RADIUS = 2'-0"
 - ② RADIUS = 3'-0"
 - ③ RADIUS = 5'-0"
 - ④ RADIUS = 10'-0"
 - ⑤ RADIUS = 15'-0"
 - ⑥ RADIUS = 20'-0"
 - ⑦ RADIUS = 30'-0"
 - ⑧ RADIUS = 38'-0"
 - ⑨ RADIUS = 40'-0"
 - ⑩ RADIUS = 50'-0"
 - ⑪ RADIUS = 60'-0"
 - ⑫ RADIUS = 65'-0"
 - ⑬ RADIUS = 100'-0"
 - ⑭ RADIUS = 124'-0"

- KEYED NOTES:
1. Pylon Sign.
 2. 4'-0" RASED/TEXTURED PEDESTRIAN CROSSWALK.
 3. GATED REFUSE ENCLOSURE-PAINTED STUCCO TO MATCH BUILDING WITH SOLID GATES. (ALL REFUSE ENCLOSURES TO RECEIVE SANITARY DRAINS)
 4. 12" X 12" PLANTERS MIN. 36" SQUARE FEET.
 5. BIKE RACK PER C.O.A. STANDARDS.
 6. 2'-0" GARDEN WALL.
 7. REFUSE ENCLOSURE WITH ADDITIONAL RECYCLE CONTAINER & RECYCLE CONTAINER AREA.
- LEGEND:
○ LIGHT POST.
□ FIRE HYDRANT

FLOOR AREA RATIO
BUILDING SQUARE FOOTAGE MAY BE HIGHER, BUT SHALL NOT EXCEED 16,000 SQ/FT PER GROSS ACRE IN ACCORDANCE WITH THE MV 31,100 AMENDMENT WITH C.O.A.
TOTAL BUILDING AREA = 27,163 SQ/FT
TOTAL LOT AREA = 174,727.86 SQ/FT
TOTAL FAR = .18



REV	DATE	BY	REVISION
1			
2			
3			
4			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT TITLE
88TH AND CENTRAL PLAN
NORTHWEST CORNER OF 88TH ST. & CENTRAL AVENUE
ALBUQUERQUE, NEW MEXICO

DATE
5.20.2008

SCALE
1"=40'

PROJECT NUMBER
884-9111

DATE
5/20/08

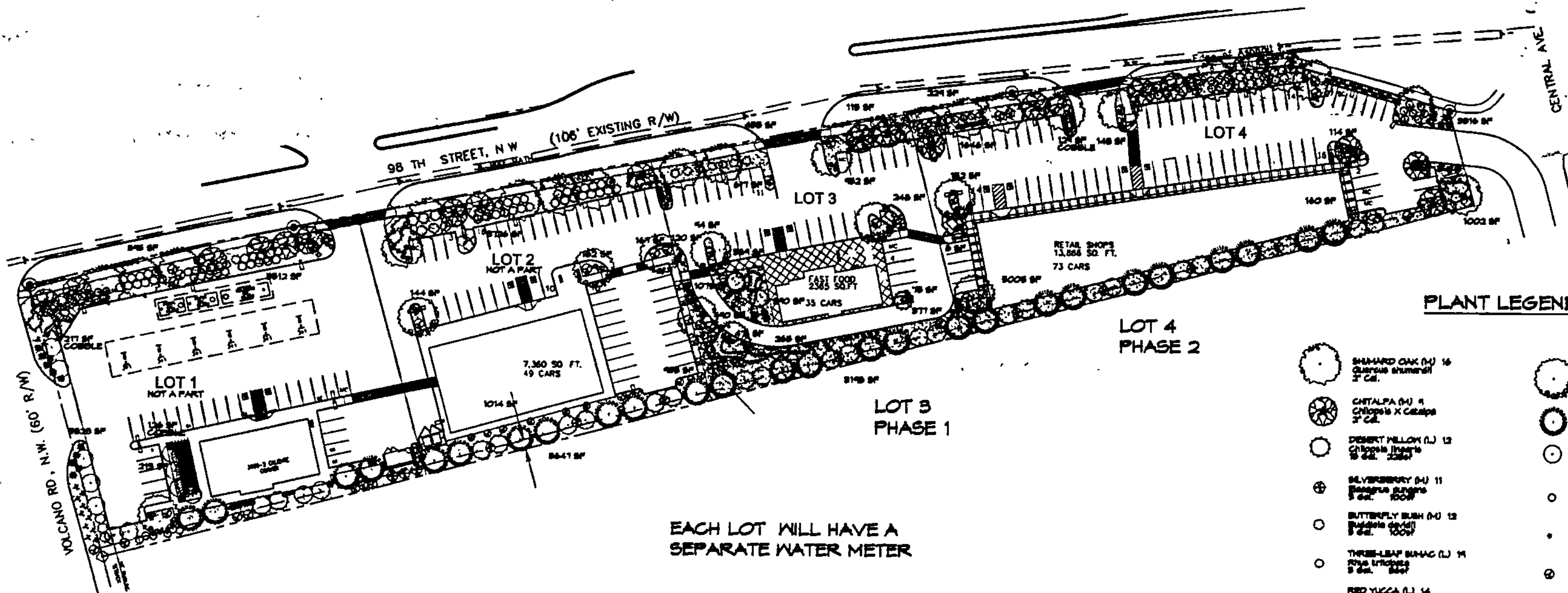
SCALE
1"=40'

SITE PLAN FOR BLDG. PERMIT

APPROVALS:

Traffic Engineering, Transportation Division	_____
Water Utility Department	_____
Parks and Recreation Department	_____
City Engineer	_____
Environmental Health Department	_____
Public Works Management	_____
URS Chairperson, Planning Department	_____

* Environmental Health, if necessary



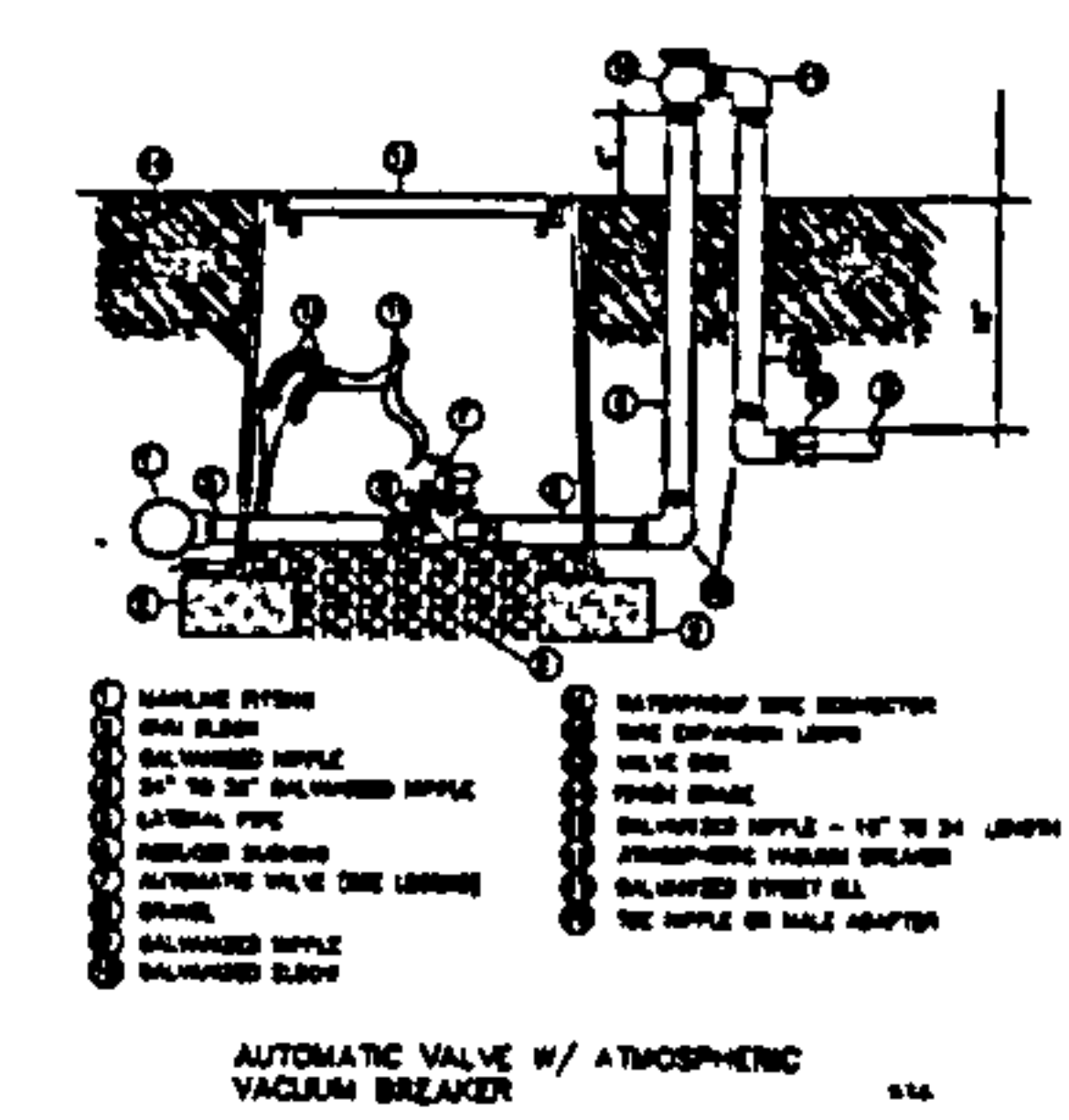
PLANT LEGEND

- SHAWBARK OAK (M) 16
Quercus shumardii
3' Cal.
- CATALPA (M) 4
Chippels X Catalpa
3' Cal.
- DESERT YUCCA (L) 12
Chippels Yucca
3' Cal. 2200'
- SILVERBERRY (M) 11
Bougainvillea
3' Cal. 2000'
- BUTTERFLY BUSH (M) 12
Butterfly bush
3' Cal. 1000'
- THREE-LEAF BAMBOO (L) 14
Bambusa multiplex
3' Cal. 2000'
- RED YUCCA (L) 14
Hesperaloe parviflora
3' Cal. 2000'
- NANDINA (M) 8
Nandina domestica
3' Cal. 2000'
- GREY-LEAF COTONEASTER (M) 8
Cotoneaster lucidifolia
3' Cal. 2000'
- NATURAL EDGE
- COMMERCIAL GRADE
STEEL EDGING
- CHINESE PISTACHE (M) 4
Pistacia chinensis
3' Cal.
- AUSTRIAN PINE (M) 18
Pinus nigra
3' Cal.
- NEW MEXICO OLIVE (L) 8
Foresters noemadocens
3' Cal.
- RUSSIAN BAGE (M) 20
Perovskia atriplicifolia
3' Cal. 2000'
- POTENTILLA (M) 44
Potentilla fruticosa
1' Cal. 2000'
- HONEYBUCKLE (M) 41
Lonicera japonica
3' Cal. 2000'
- WILDFLOWER 18
1' Cal. 40'
- THREADESSAGE (M) 47
Sida torreyana
1' Cal. 40'
- COBBLE PAVT
- SANTA FE BROWN CRUSHER
CRUSHER FINES PAVT
- SANTA FE BROWN GRAVEL
WITH FILTER FABRIC

EACH LOT WILL HAVE A SEPARATE WATER METER

LANDSCAPE CALCULATIONS

	LOT 3	LOT 4	TOTAL SITE
TOTAL LOT AREA	8438 SF	8484 SF	16922 SF
TOTAL BUILDING AREA	2848 SF	1863 SF	4711 SF
OFFSITE AREA	-	-	-
NET LOT AREA	5190 SF	4123 SF	9313 SF
LANDSCAPE REQUIREMENT (75%)	4788 SF	3192 SF	7980 SF
TOTAL BED PROVIDED	8412 SF	1104 SF	9516 SF
GROUNDCOVER REQ. (75%)	3604 SF	3128 SF	6732 SF
TOTAL GROUNDCOVER PROVIDED	8412 SF (181%)	3192 SF (102%)	11604 SF (172%)
TOTAL LANDSCAPE PROVIDED	8412 SF	1104 SF	9516 SF



NOTE TO CLIENT:
Should The Hilltop not receive a grading and drainage plan during the design process or the on-site grades differ from the grading and drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 3/4" cobblestone will not stay on a slope greater than 3:1; if the grades are greater than what was originally designed, we will request an in-field change-order to lay cobblestone or rip-rap, in lieu of the specified gravel to stabilize the slope. All vegetative material shall remain per plan.

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live-plant cover at maturity.

Santa Fe Brown gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Traces to receive (1) 1.0 GPH Drip Emitters and shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubble systems to be tied to 1/2" polytube with flush caps at each end.

Run time per each drip valve will be approximately 18 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

STREET TREE REQUIREMENTS:
Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: 98th Street NW
Required = 18 Provided = 18

Name of Street: Central Ave. NW
Required = 2 Provided = 2

PARKING LOT TREE REQUIREMENTS:
Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 shade tree per 10 spaces
Required = 11 Provided = 11

LANDSCAPE PLAN
1" = 40'-0" NORTH

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Con. Lic. #28458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
on@hilltopdecors.com

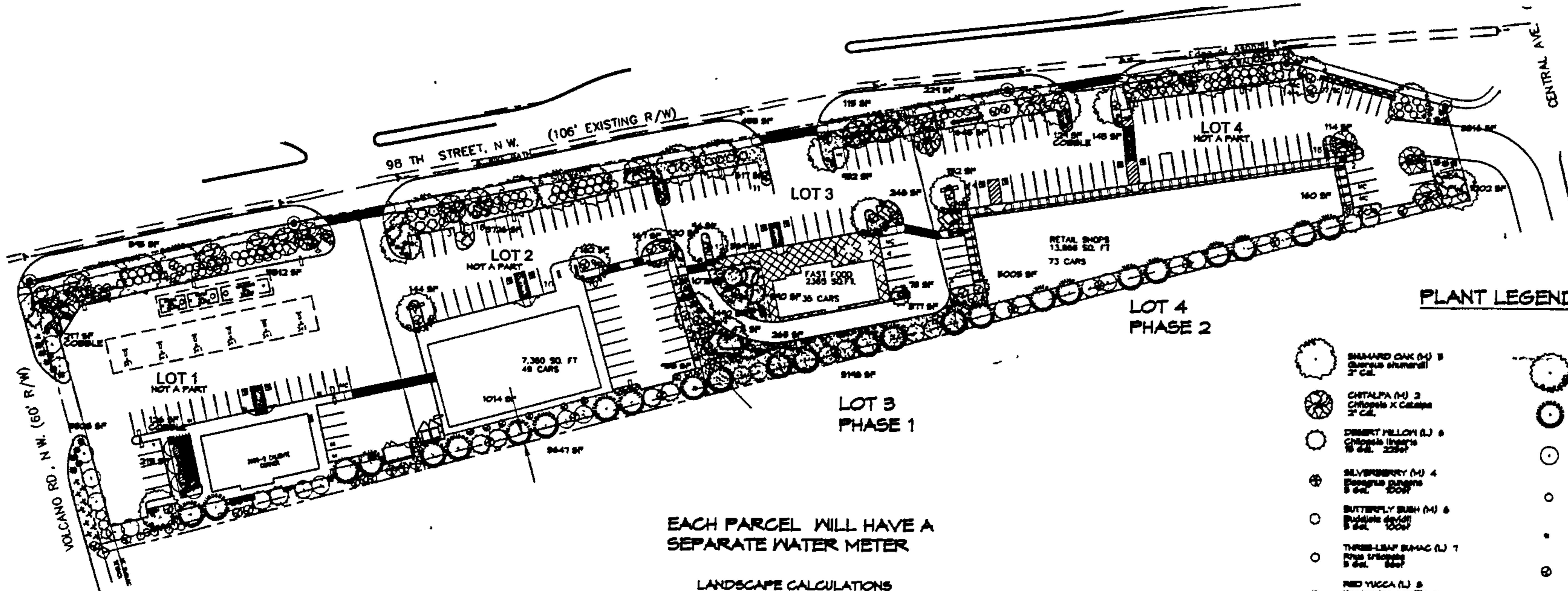
REVISION	BY	DATE	DESCRIPTION
1	GH	11-1-2006	ISSUED FOR PERMITS
2	GH	11-1-2006	ISSUED FOR PERMITS
3	GH	11-1-2006	ISSUED FOR PERMITS
4	GH	11-1-2006	ISSUED FOR PERMITS
5	GH	11-1-2006	ISSUED FOR PERMITS
6	GH	11-1-2006	ISSUED FOR PERMITS
7	GH	11-1-2006	ISSUED FOR PERMITS
8	GH	11-1-2006	ISSUED FOR PERMITS
9	GH	11-1-2006	ISSUED FOR PERMITS
10	GH	11-1-2006	ISSUED FOR PERMITS

PROJECT TITLE: VOLCANO POINT - LOTS 3 & 4
PROJECT LOCATION: NORTHWEST CORNER OF 98TH ST. & CENTRAL AVENUE, ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER: ANTHONY LANTIERO
JOB NO.: 0053
DESIGNER: RYAN
DRAWN BY: RYAN
CHECKED BY: RYAN
DATE: 11-1-2006
SCALE: 1" = 40'

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-8110 FAX (505) 837-9877

PRELIMINARY NOT FOR CONSTRUCTION

LANDSCAPE PLAN - LOTS 3 & 4



PLANT LEGEND

- STANDARD OAK (M) 8
Quercus shumardii 2" Cal.
- CATALPA (M) 3
Catalpa x Calypso 2" Cal.
- DESERT YELLOON (L) 6
Chrysothamnus 18" Cal. 2500'
- SILVERBERRY (M) 4
Elaeagnus argentea 5" Cal. 1000'
- BUTTERFLY BUSH (M) 6
Buddleia davidii 5" Cal. 1000'
- THREE-LEAF SUMAC (L) 7
Rhus trilobata 5" Cal. 500'
- RED YUCCA (L) 5
Hesperaloe parviflora 5" Cal. 500'
- NATURAL EDGE
- COMMERCIAL GRADE STEEL EDGING
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC
- CHINESE PISTACHE (M) 2
Pistacia chinensis 2" Cal.
- AUSTRIAN PINE (M) 6
Pinus nigra 6" Cal.
- NEW MEXICO OLIVE (L) 4
Forseythia rostrata 18" Cal.
- RUSSIAN SAGE (M) 11
Perovskia atriplicifolia 9" Cal. 500'
- POTENTILLA (M) 6
Potentilla fruticosa 1" Cal. 500'
- HONEYSUCKLE (M) 17
Lonicera japonica 'Halleri' 1" Cal. 500'
- HELIOTROPUM 5
1" Cal. 400'
- THREADGRASS (M) 21
Stipa tenuifolia 1" Cal. 400'
- SANTA FE BROWN GRAVEL CRUSHER FINES FVTT

EACH PARCEL WILL HAVE A SEPARATE WATER METER

LANDSCAPE CALCULATIONS

	PHASE 1
TOTAL LOT AREA	34268 SF
TOTAL BUILDING AREA	2868 SF
OFFSITE AREA	-
NET LOT AREA	31400 SF
LANDSCAPE REQUIREMENT (1.5X)	47100 SF
TOTAL BED PROVIDED	5413 SF
GROUNDCOVER REQ. (75X)	6804 SF
TOTAL GROUNDCOVER PROVIDED	6873 (76%)
TOTAL LANDSCAPE PROVIDED	8413 SF

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Meter Conservation Landscaping and Meter Maintenance Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Meter Conservation Landscaping and Meter Maintenance Ordinance.

Meter management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Meter Conservation Landscaping and Meter Maintenance Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (3) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Subirrigation systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

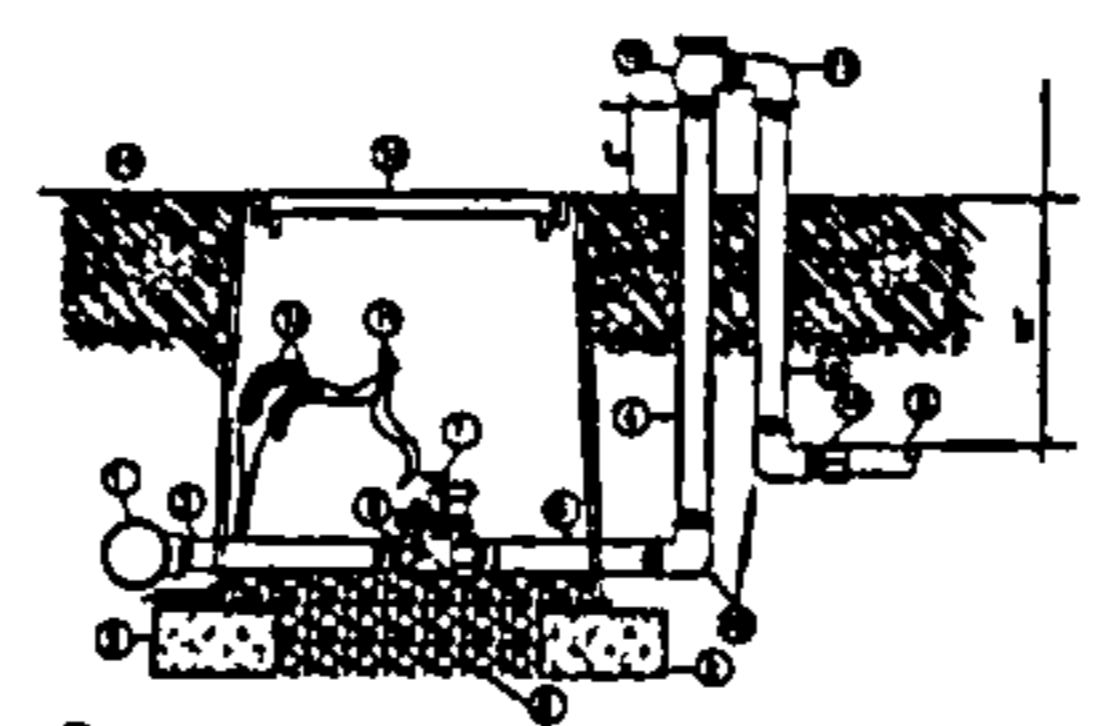
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Meter and Power source shall be the responsibility of the Developer/Builder.

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 3/4" cobblestones will not stay on a slope greater than 3:1 if the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestones or rip-rap in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



- 1. RISER PIPE
- 2. RISER CAP
- 3. RISER VALVE
- 4. RISER SEAL
- 5. RISER GASKET
- 6. RISER NUT
- 7. RISER WASHER
- 8. RISER O-RING
- 9. RISER GASKET
- 10. RISER NUT
- 11. RISER WASHER
- 12. RISER O-RING
- 13. RISER GASKET
- 14. RISER NUT
- 15. RISER WASHER
- 16. RISER O-RING
- 17. RISER GASKET
- 18. RISER NUT
- 19. RISER WASHER
- 20. RISER O-RING
- 21. RISER GASKET
- 22. RISER NUT
- 23. RISER WASHER
- 24. RISER O-RING
- 25. RISER GASKET
- 26. RISER NUT
- 27. RISER WASHER
- 28. RISER O-RING
- 29. RISER GASKET
- 30. RISER NUT
- 31. RISER WASHER
- 32. RISER O-RING
- 33. RISER GASKET
- 34. RISER NUT
- 35. RISER WASHER
- 36. RISER O-RING
- 37. RISER GASKET
- 38. RISER NUT
- 39. RISER WASHER
- 40. RISER O-RING
- 41. RISER GASKET
- 42. RISER NUT
- 43. RISER WASHER
- 44. RISER O-RING
- 45. RISER GASKET
- 46. RISER NUT
- 47. RISER WASHER
- 48. RISER O-RING
- 49. RISER GASKET
- 50. RISER NUT
- 51. RISER WASHER
- 52. RISER O-RING
- 53. RISER GASKET
- 54. RISER NUT
- 55. RISER WASHER
- 56. RISER O-RING
- 57. RISER GASKET
- 58. RISER NUT
- 59. RISER WASHER
- 60. RISER O-RING
- 61. RISER GASKET
- 62. RISER NUT
- 63. RISER WASHER
- 64. RISER O-RING
- 65. RISER GASKET
- 66. RISER NUT
- 67. RISER WASHER
- 68. RISER O-RING
- 69. RISER GASKET
- 70. RISER NUT
- 71. RISER WASHER
- 72. RISER O-RING
- 73. RISER GASKET
- 74. RISER NUT
- 75. RISER WASHER
- 76. RISER O-RING
- 77. RISER GASKET
- 78. RISER NUT
- 79. RISER WASHER
- 80. RISER O-RING
- 81. RISER GASKET
- 82. RISER NUT
- 83. RISER WASHER
- 84. RISER O-RING
- 85. RISER GASKET
- 86. RISER NUT
- 87. RISER WASHER
- 88. RISER O-RING
- 89. RISER GASKET
- 90. RISER NUT
- 91. RISER WASHER
- 92. RISER O-RING
- 93. RISER GASKET
- 94. RISER NUT
- 95. RISER WASHER
- 96. RISER O-RING
- 97. RISER GASKET
- 98. RISER NUT
- 99. RISER WASHER
- 100. RISER O-RING

STREET TREE REQUIREMENTS:
Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:
Name of Street: 48th Street NW
Required = 5 Provided = 5

PARKING LOT TREE REQUIREMENTS:
Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:
1 Shade tree per 10 spaces
Required = 5 Provided = 5



LANDSCAPE PLAN
1" = 40'-0" NORTH

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26456
7808 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 895-9890
Fax (505) 898-7737
cm@hilltoplandscape.com

REV	DATE	BY	REVISION
1	5-14-08	AK	Phase 1 only
2	2-14-07	AK	Revised site plan
3	1-14-07	AK	Revised site plan, site plan, site plan
4	11-08-06	AK	Comments from the city
5	1-28-08	AK	Revised site plan and approvals

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY NOT FOR CONSTRUCTION

PROJECT TITLE
VOLCANO POINT - LOT 3
NORTHWEST CORNER OF 98TH ST. & CENTRAL AVENUE
ALBUQUERQUE, NEW MEXICO

JOB NO. 0853
DRAWN BY RHM

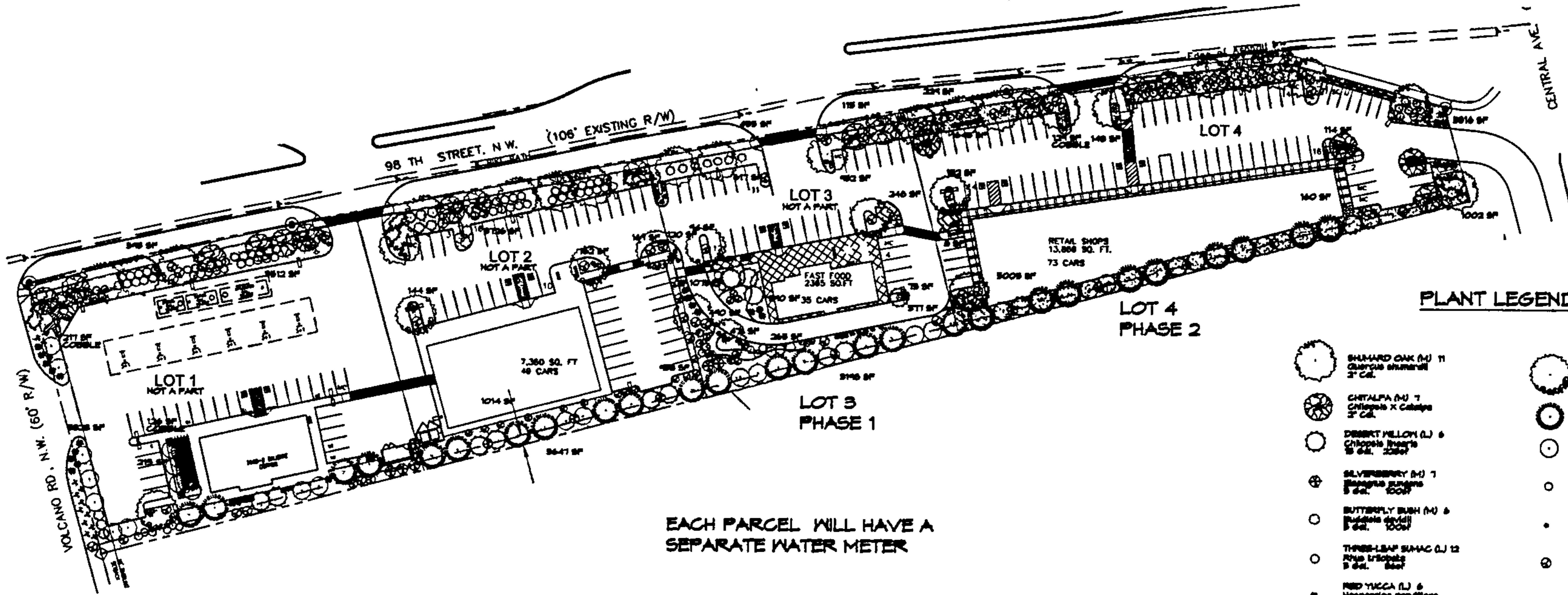
PROJECT MANAGER
ANTON DAITLO

SHEET TITLE
LANDSCAPE PLAN - LOT 3





















DATE
11-1-2008

SCALE
1" = 40'

SHEET
12



PLANT LEGEND

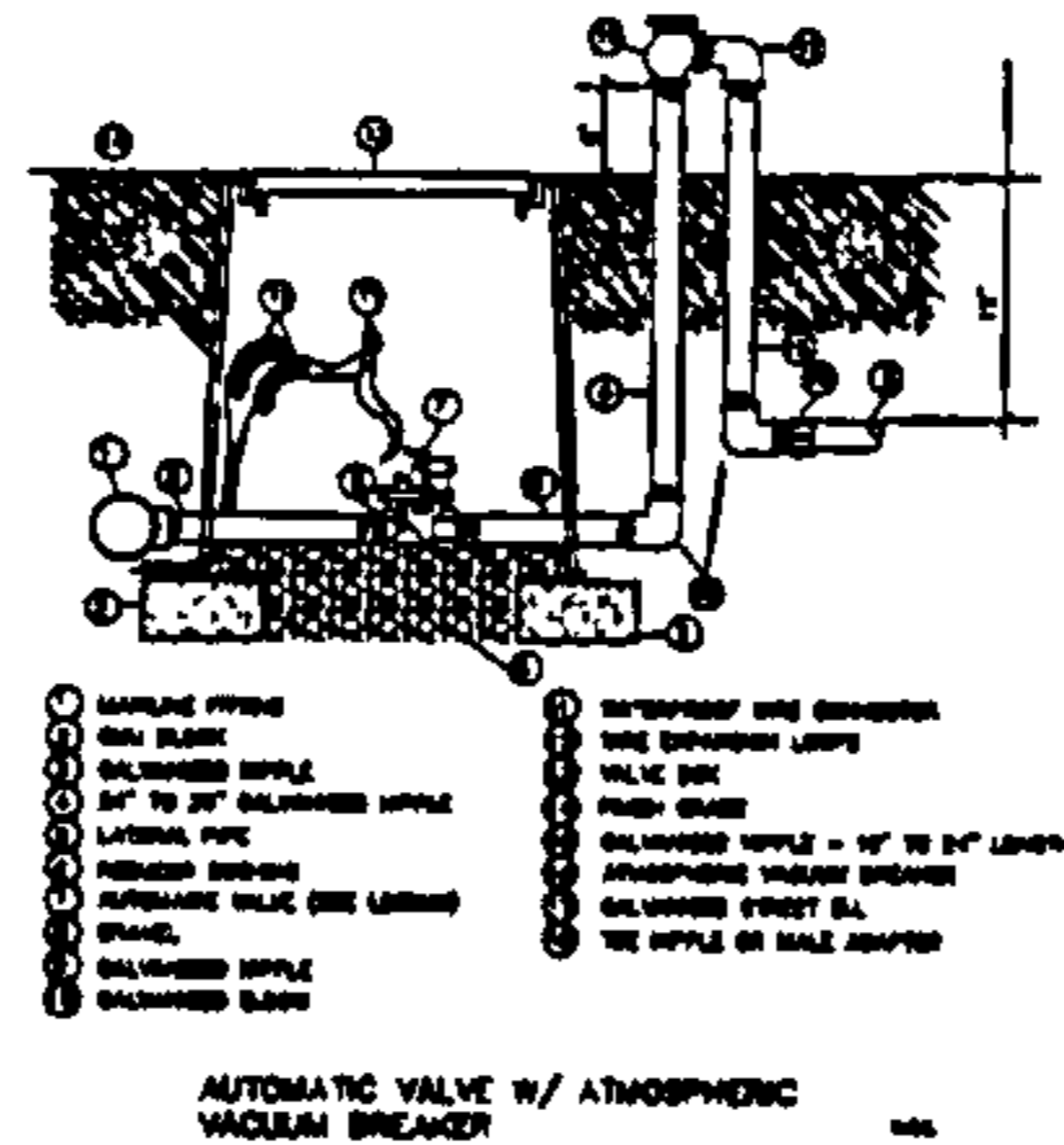
-  SHAMARD OAK (M) 11
Quercus shumardii
2" Cal.
-  CATALPA (M) 7
Chopped X Catalpa
2" Cal.
-  DESERT YELLOW (L) 6
Cholla Yucca
15" Cal. 2500'
-  SILVERBERRY (M) 7
Elaeagnus pungens
5" Cal. 1000'
-  BUTTERFLY BUSH (M) 6
Buddleia davidii
5" Cal. 1000'
-  THREE-LEAF YUCCA (L) 12
Yucca trispicata
5" Cal. 500'
-  RED YUCCA (L) 6
Nolina parviflora
5" Cal. 400'
-  YANDINA (M) 5
Yucca domestica
5" Cal. 250'
-  GREYLEAF COTONEASTER (M) 3
Cotoneaster lucidifolia
5" Cal. 500'
-  COBBLE PVT
-  SANTA FE BROWN GRAVEL WITH FILTER FABRIC
-  CHERRY PISTACHE (M) 2
Elaeagnus angustifolia
2" Cal.
-  ALBERTAN PINE (M) 4
Pinus nigra
6"-8"
-  NEW MEXICO OLIVE (L) 4
Persea nelsoniana
15" Cal.
-  RUSSIAN BAGE (L) 14
Perovskia atriplicifolia
5" Cal. 500'
-  POTENTILLA (M) 80
Potentilla fruticosa
1" Cal. 400'
-  HONEYBUCKLE (M) 34
Lonicera japonica 'Halleri'
1" Cal. 500'
-  UNIDENTIFIED GROUND COVER
-  WILDFLOWER 8
1" Cal. 400'
-  THREEDORRIS (M) 18
Stipa tenuifolia
1" Cal. 400'

EACH PARCEL WILL HAVE A SEPARATE WATER METER

LANDSCAPE CALCULATIONS

	PHASE 2
TOTAL LOT AREA	54864
TOTAL BUILDING AREA	18863 SF
OFFSITE AREA	-
NET LOT AREA	41302 SF
LANDSCAPE REQUIREMENT (1%)	5160 SF
TOTAL BED PROVIDED	11404 SF
GROUND COVER REQ. (7%)	5428 SF
TOTAL GROUND COVER PROVIDED	5440 (78%)
TOTAL LANDSCAPE PROVIDED	11404 SF

NOTE TO CLIENT:
Should the Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, the Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 3/4" cobblestone will not stay on a slope greater than 1:1. If the grades are greater than what was originally designed, we will request an in-field change-order to lay cobblestone or rip-rap. In lieu of the specified gravel, to stabilize the slope, all vegetative material shall remain per plan.



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.
It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.
Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Foliage Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.
Plant beds shall achieve 75% live ground cover at maturity.
Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Traces to receive (1) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubble systems to be tied to 1/2" polytube with flush caps at each end.
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.
Location of controller to be field determined and power source for controller to be provided by others.
Irrigation maintenance shall be the responsibility of the Property Owner.
Water and Power source shall be the responsibility of the Developer/Builder.

STREET TREE REQUIREMENTS:
Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:
Name of Street: 98th Street NW
Required # 18 Provided # 18
Name of Street: Central Ave. NW
Required # 3 Provided # 2

PARKING LOT TREE REQUIREMENTS:
Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:
1 Shade tree per 10 spaces
Required # 9 Provided # 8

LANDSCAPE PLAN

1"= 40'-0" NORTH

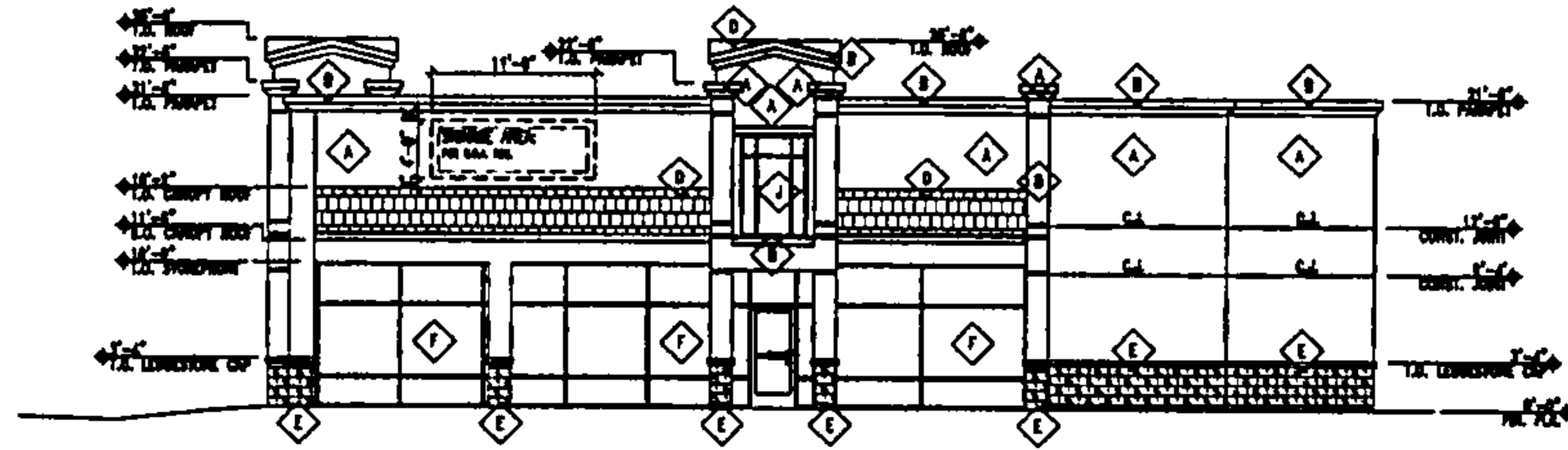
The Hilltop
LANDSCAPE ARCHITECTURE & SITEWORKS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87154
Ph. (505) 898-9690
Fax. (505) 898-7737
cm@hilltoplandscape.com
All drawings and specifications are the property of The Hilltop Landscape Architecture and Siteworks and are intended to represent the design of a project. They are not to be used for any other project without the prior written approval of The Hilltop Landscape Architecture and Siteworks.

REV	DATE	BY	REVISION
1	5-19-08	cm	Issue 1 only
2	5-19-08	cm	Revised site plan
3	5-19-08	cm	Revised site plan, contours
4	5-19-08	cm	Revised site plan, contours
5	5-19-08	cm	Revised site plan and contours

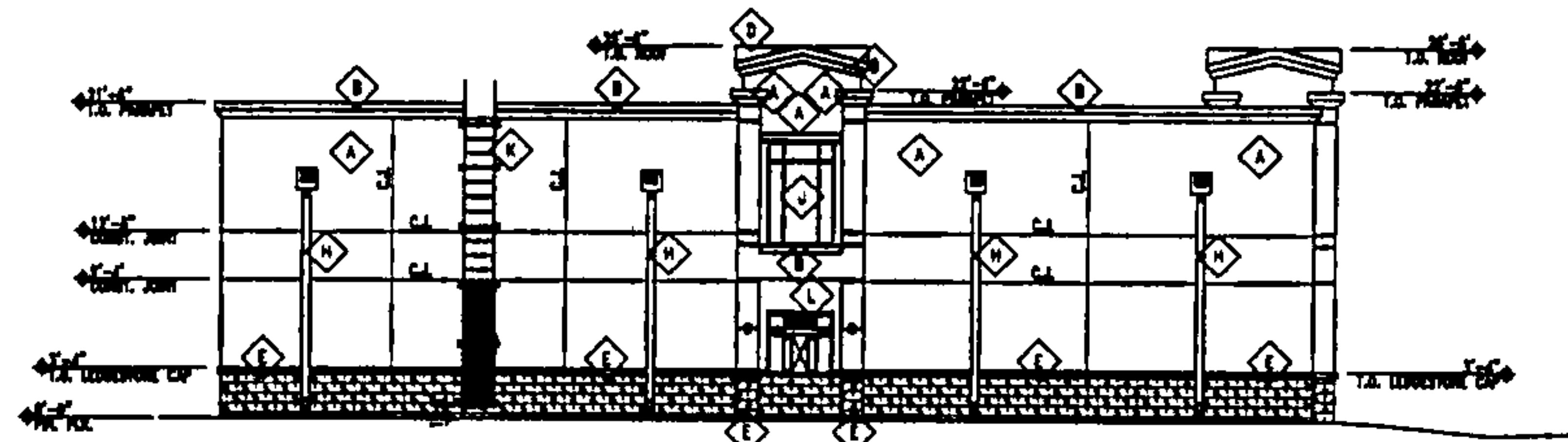
GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY NOT FOR CONSTRUCTION

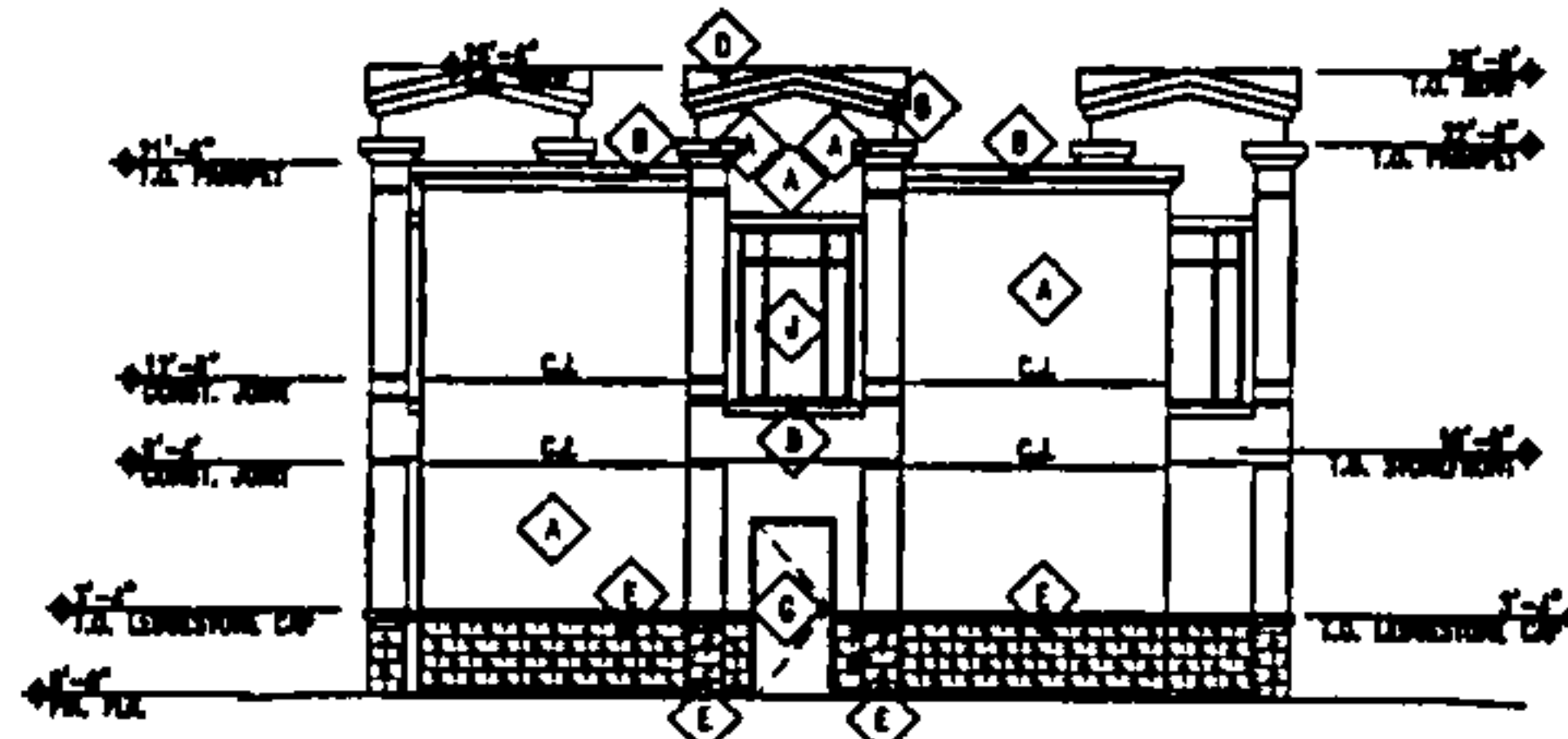
PROJECT TITLE: **VOLCANO POINT - LOT 4**
NORTHWEST CORNER OF 98TH ST. & CENTRAL AVENUE
ALBUQUERQUE, NEW MEXICO
PROJECT NUMBER: **0653**
DRAWN BY: **RAM**
PROJECT MANAGER: **ANTON DANTLO**
SHEET TITLE: **LANDSCAPE PLAN - LOT 4**
DATE: **5-20-08**
SCALE: **1"=40'**
SHEET: **13**



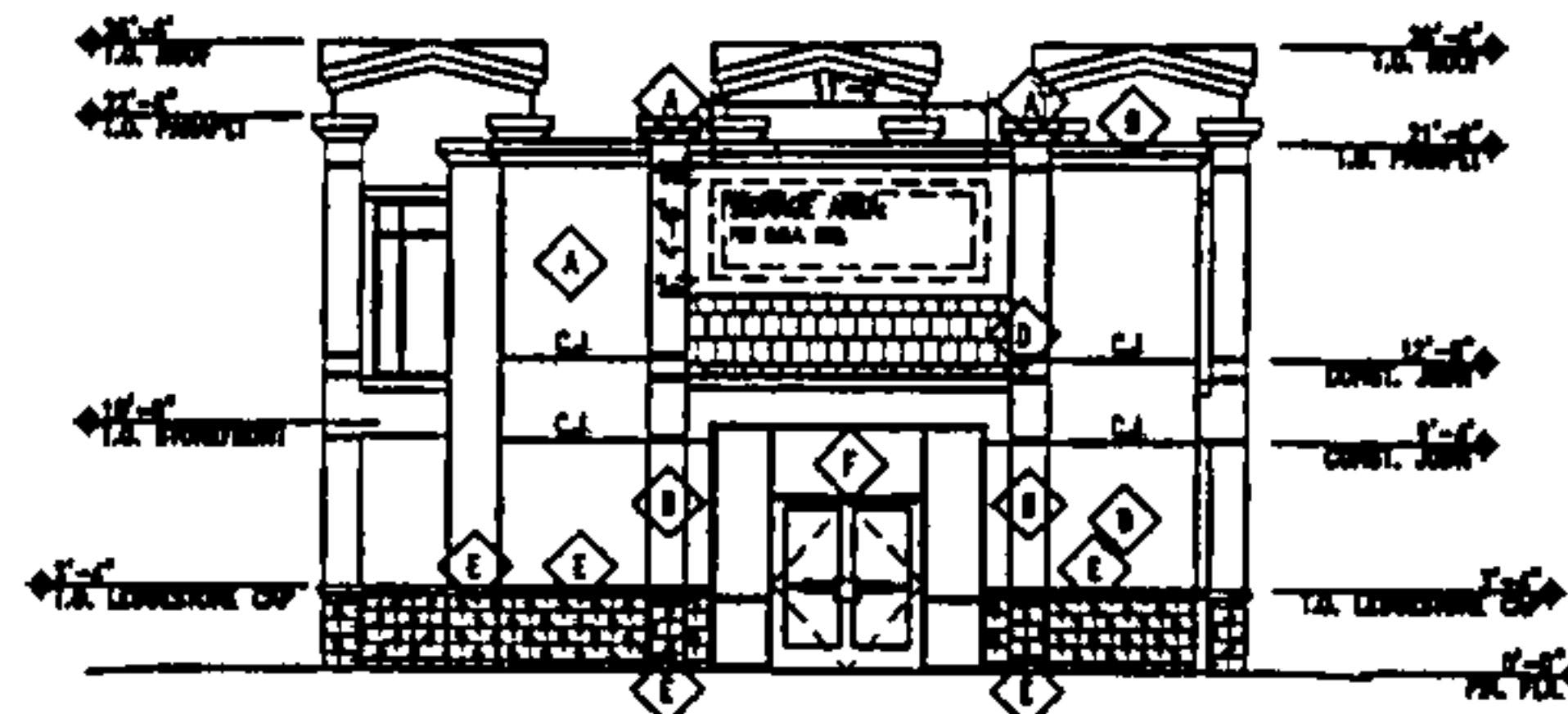
1 EAST ELEVATION
1/8"=1'-0"



2 WEST ELEVATION
1/8"=1'-0"



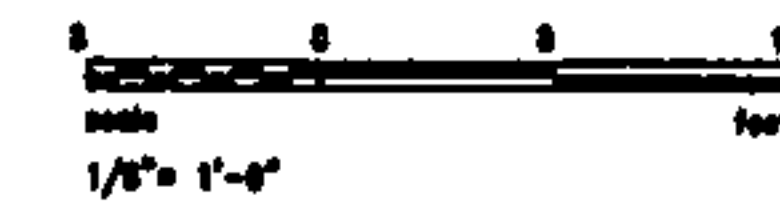
3 SOUTH ELEVATION
1/8"=1'-0"



4 NORTH ELEVATION
1/8"=1'-0"

Keyed Color / Material Schedule	Common Name
◆ STUCCO BENJAMIN MOORE 1883	LIGHT TAN
◆ STUCCO BENJAMIN MOORE 1832	LIGHT TAN
◆ STUCCO BENJAMIN MOORE 1888	BROWN GREY
◆ CONC ROOF TILE MONIER LIFE TILE CHESTNUT BROWN	
◆ SPLIT-FACE CHL JC WHITE	
◆ ALUM. STOREFRONT BRONZE	
◆ HOLLOW METAL DOOR PAINT TO MATCH ADJACENT FINISH	
◆ DOWNSPOUT PAINT TO MATCH ADJACENT FINISH	
◆ ALUM. STOREFRONT BRONZE BY NO GLAZING	
◆ ROOF ACCESS LADDER PAINT TO MATCH ADJACENT FINISH	
◆ BRICK-THRU BRICK BRONZE	

NOTES:
ALL MECH EQUIP. SHALL BE SHIELDED
ALUM. STOREFRONT SHALL BE RECESSED 2' FROM FACE OF STUCCO.
BUILDING SIGNAGE DETERMINED BY LOCAL CODE. TENANT SIGNAGE TO BE APPROVED BY ZONING AND DONE UNDER SEPARATE ZONING PERMIT.
ALL BUILDING MATERIALS SHALL BE NON-REFLECTIVE.



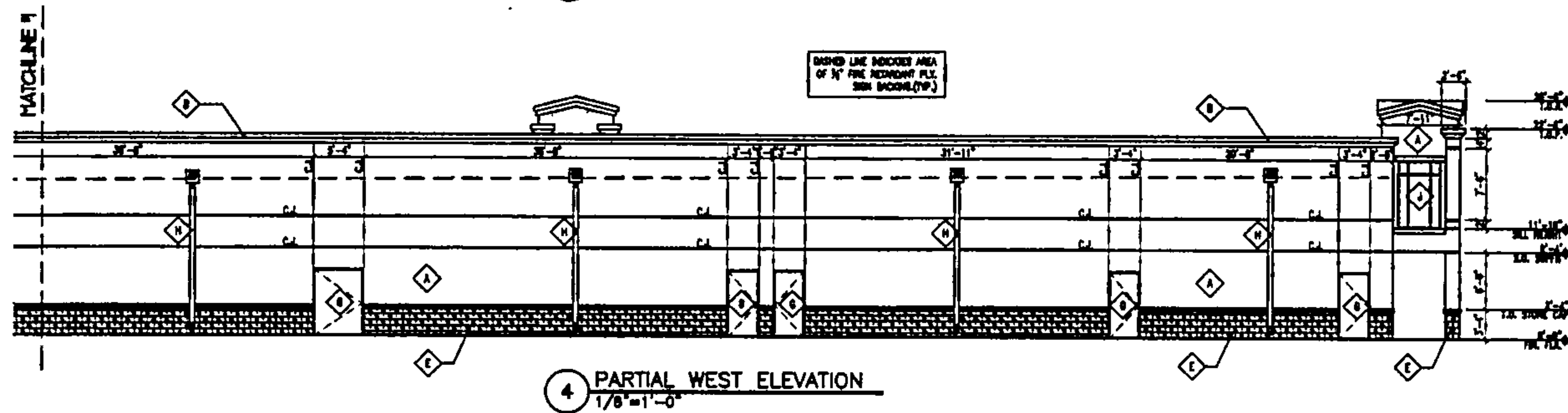
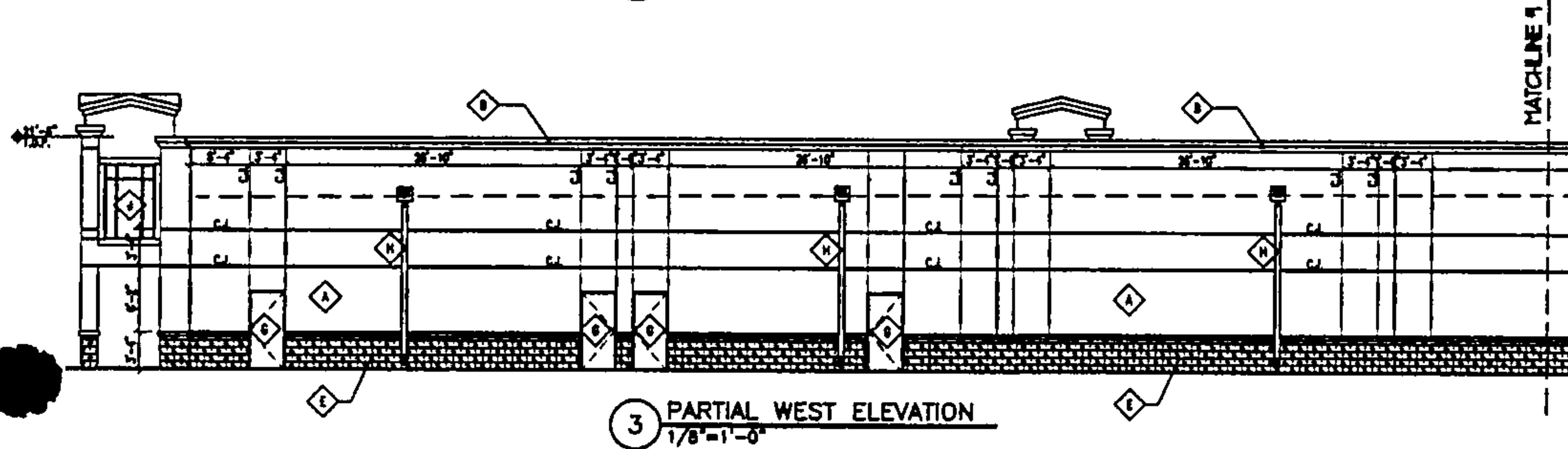
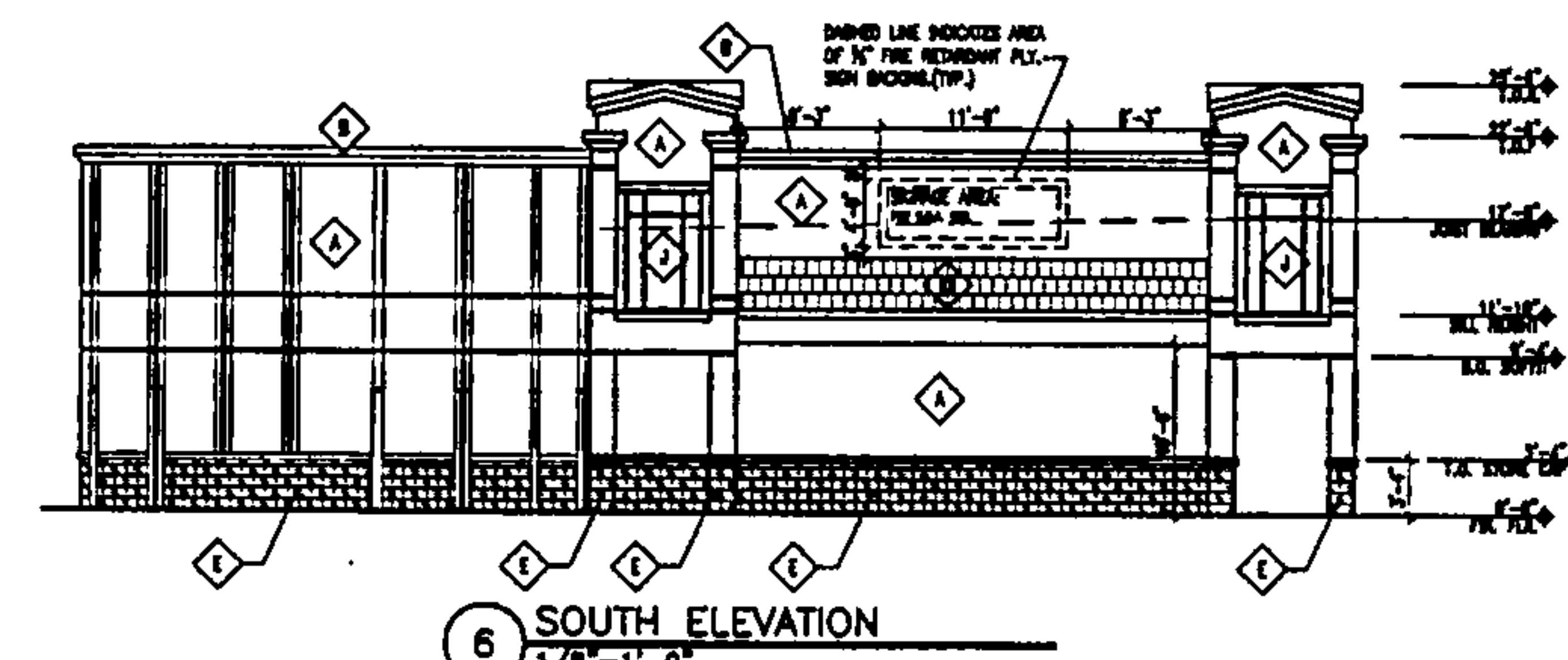
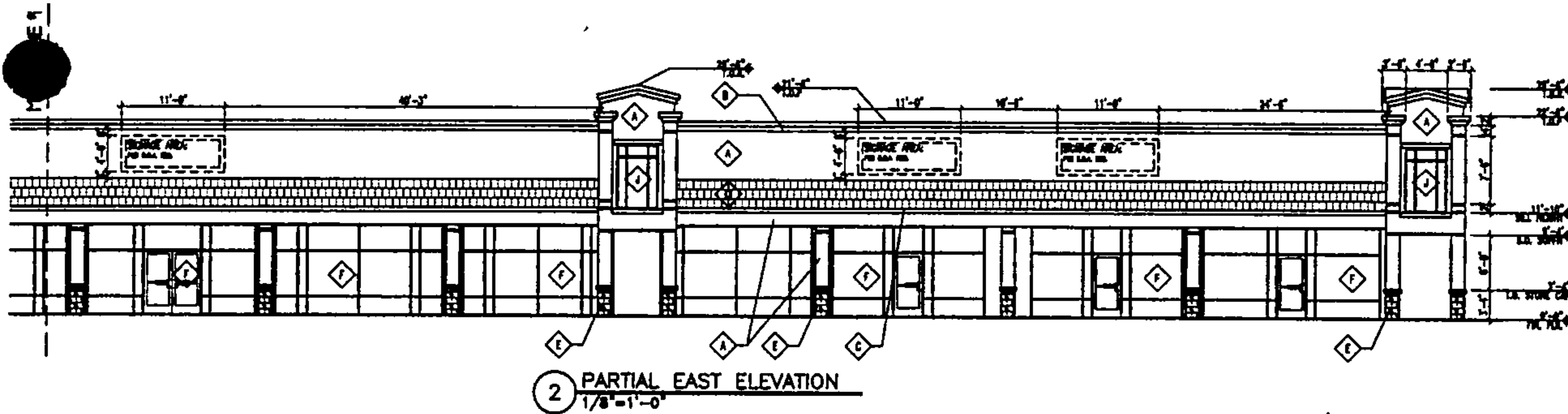
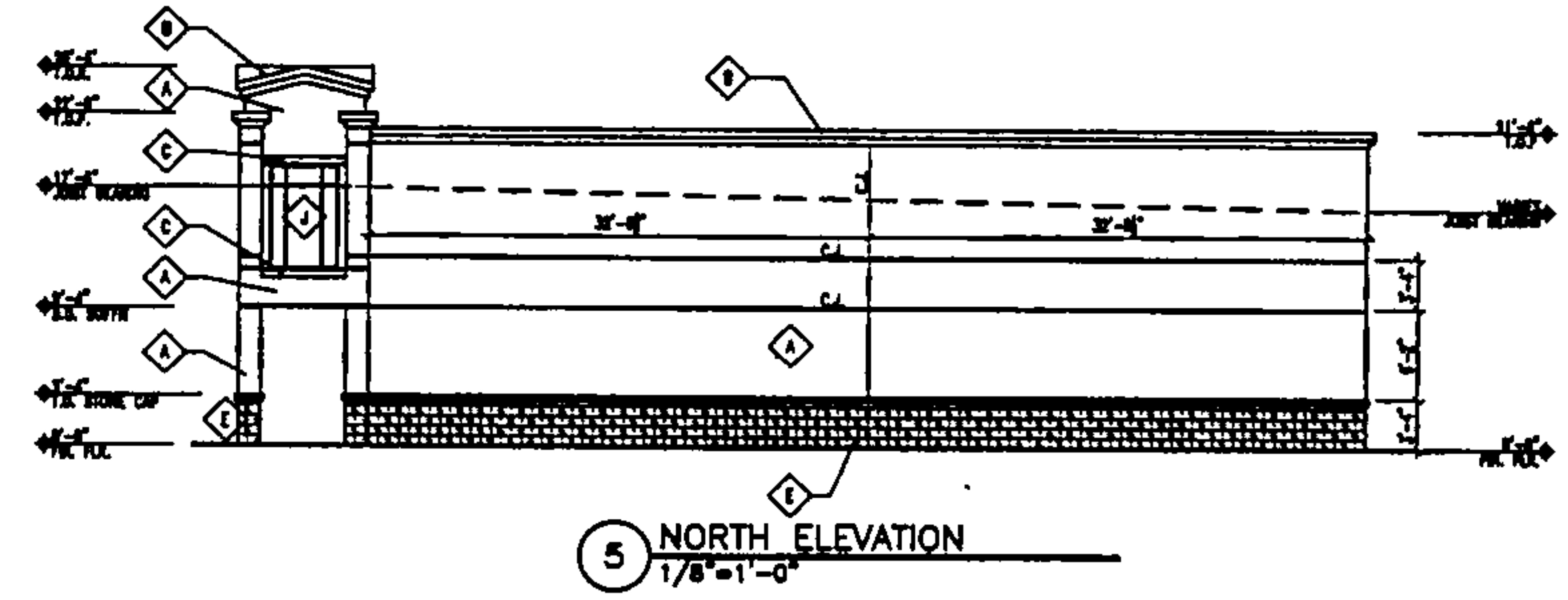
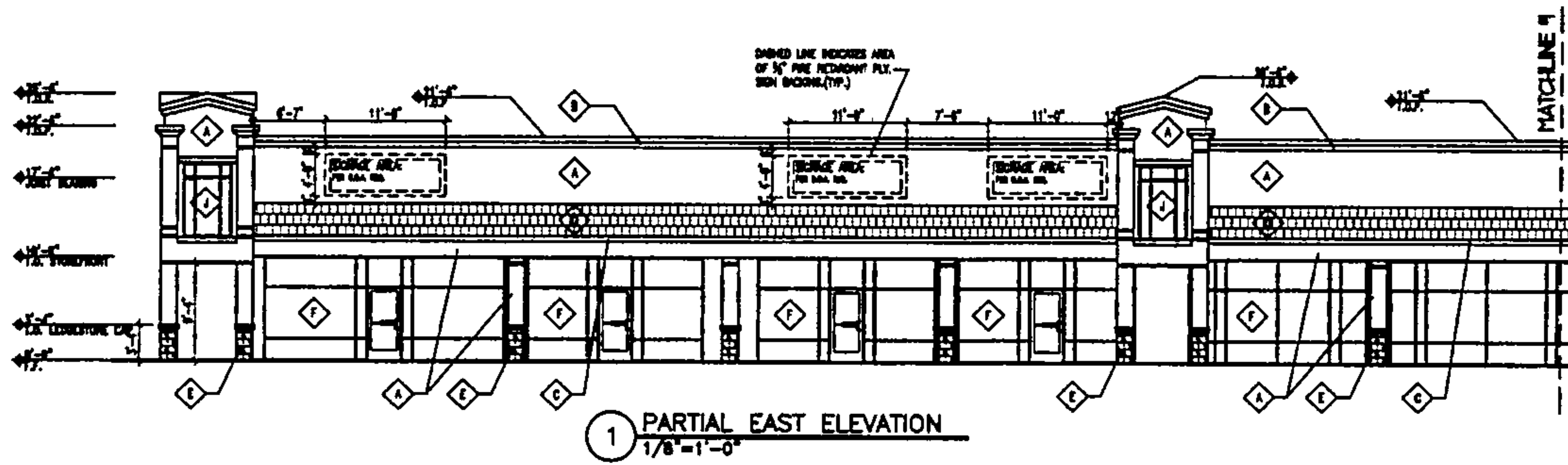
REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-8877

PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT TITLE
98TH AND CENTRAL
89TH AND CENTRAL
ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER
JESSE BUSHNELL
JOB NO.
09633
DRAWN BY
WED
SHEET TITLE
RESTAURANT SHELL ELEV

DATE
3.28.2008
SCALE
AS NOTED
SHEET NO.
A5.0
OF
07



Keyed Color / Material Schedule		Common Name
◆	STUCCO	BENJAMIN MOORE 1663
◆	STUCCO	BENJAMIN MOORE 1692
◆	STUCCO	BENJAMIN MOORE 1663
◆	CONC. ROOF TILE	MONIER TILE
◆	SPLIT-FACE CHL	JC WHITE
◆	ALUM. STOREFRONT	BRONZE
◆	HOLLOW METAL DOOR	PANT TO MATCH ADJACENT FINISH
◆	DOWNPOUT	PANT TO MATCH ADJACENT FINISH
◆	ALUM. STOREFRONT	BRONZE W/ NO GLAZING

NOTES:
 ALL MECH. EQUIP. SHALL BE SHIELDED
 ALUM. STOREFRONT SHALL BE RECESSED 2" FROM FACE OF STUCCO.
 BUILDING SIGNAGE DETERMINED BY LOCAL CODE. TENANT SIGNAGE TO BE APPROVED BY ZONING AND DONE UNDER SEPARATE ZONING PERMIT.
 ALL BUILDING MATERIALS SHALL BE NON-REFLECTIVE.



REV	DATE	BY	REVISION

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-8110 FAX (505) 837-8877

PRELIMINARY
 NOT FOR
 CONSTRUCTION

PROJECT TITLE
98TH AND CENTRAL
 98TH AND CENTRAL
 ALBUQUERQUE, NEW MEXICO
 PROJECT MANAGER
 BRUCE GARDNER
 JOB NO.
 0603
 DRAWN BY
 BRG
 SHEET TITLE
SHOPS ELEVATIONS

DATE
 3/26/08
 SCALE
 AS NOTED
 SHEET
 A6.0
 OF
 07

May 22, 2008

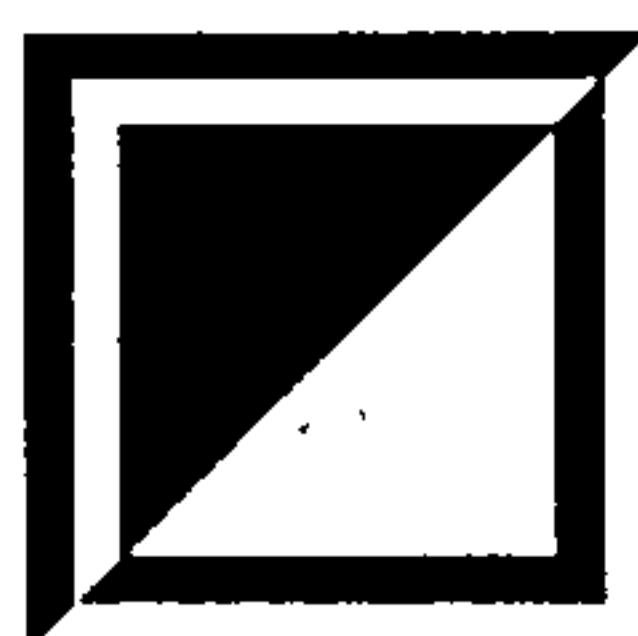
Avalon Neighborhood Association
Attn: Kelly Chappelle
9135 Santa Catalina Ave. NW
Albuquerque, NM 87121

To Whom It May Concern:

We herewith wish to inform you that we will be submitting a Site Plan for Building Permit to D.R.B. (Design Review Board) for lots 3 & 4, located on the NW corner of 98th & Central, between Central & Volcano Rd. (zone map #K-9-Z). The submittal is for a proposed 13,866 square foot retail shops building as well as a 2,365 square foot restaurant shell/drive-thru building. Included in the submittal is the proposed site plan for building permit, proposed landscaping plan, grading & drainage plan, master site utility plan and exterior building elevations for each of the buildings (lots 3 & 4). The proposed retail & drive-thru buildings will present materials, finishes & colors that shall be consistent with that of surrounding buildings in & around the area. For your use we have included a copy of the submittal package, which includes the drawings mentioned above. If you have any questions or comments concerning this project please feel free to give me a call at 884-9110 xt-112, and I will be happy to discuss or clarify any questions.

Sincerely,


William Suttles
Project Manager
George Rainhart Architect & Assoc.



GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110
PHONE: 505-884-9110 ■ FAX: 505-837-9877 ■ Email: graa@gra-arch.com

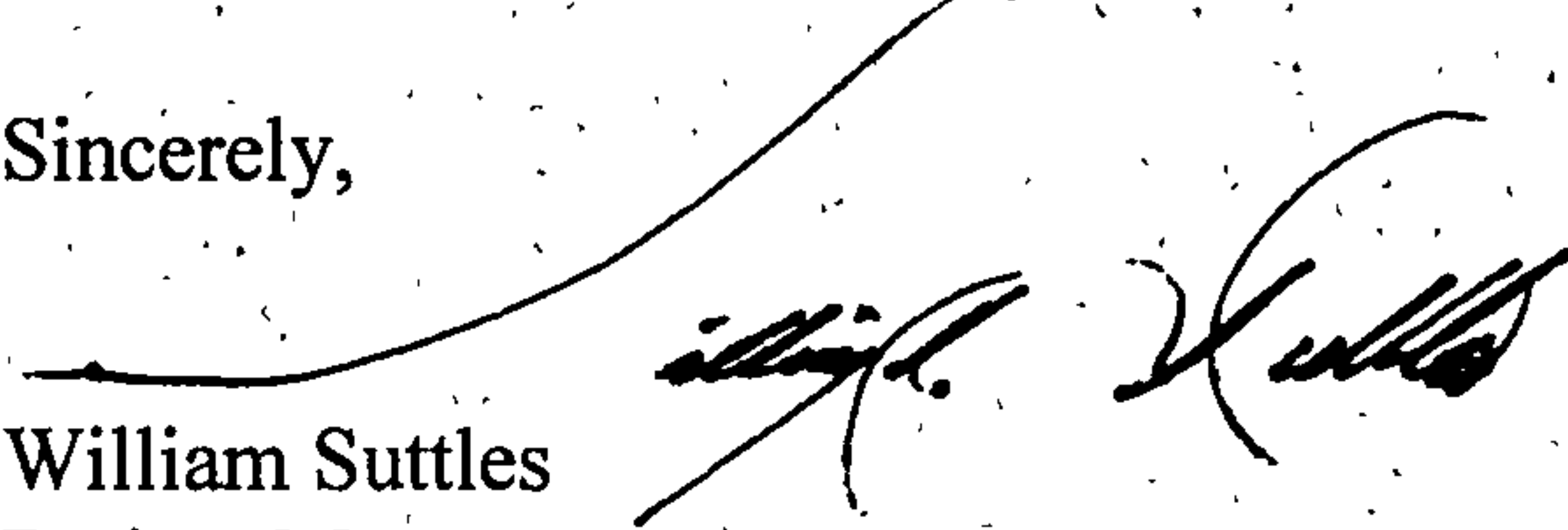
May 22, 2008

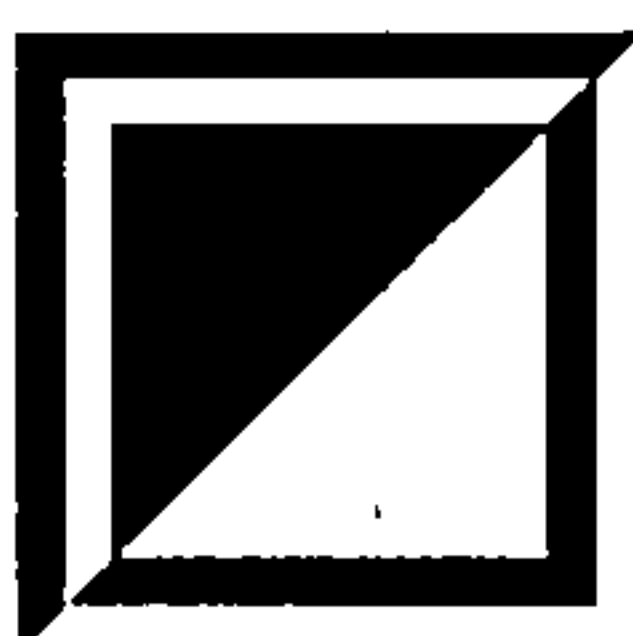
Avalon Neighborhood Association
Attn: Miguel Maestas
9400 Harbor Rd. NW
Albuquerque, NM 87121

To Whom It May Concern:

We herewith wish to inform you that we will be submitting a Site Plan for Building Permit to D.R.B. (Design Review Board) for lots 3 & 4, located on the NW corner of 98th & Central, between Central & Volcano Rd. (zone map #K-9-Z). The submittal is for a proposed 13,866 square foot retail shops building as well as a 2,365 square foot restaurant shell/drive-thru building. Included in the submittal is the proposed site plan for building permit, proposed landscaping plan, grading & drainage plan, master site utility plan and exterior building elevations for each of the buildings (lots 3 & 4). The proposed retail & drive-thru buildings will present materials, finishes & colors that shall be consistent with that of surrounding buildings in & around the area. For your use we have included a copy of the submittal package, which includes the drawings mentioned above. If you have any questions or comments concerning this project please feel free to give me a call at 884-9110 xt-112, and I will be happy to discuss or clarify any questions.

Sincerely,


William Suttles
Project Manager
George Rainhart Architect & Assoc.



GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110
PHONE: 505-884-9110 ■ FAX: 505-837-9877 ■ Email: graa@gra-arch.com

7007 0220 0002 4337 2777

U.S. Postal Service
CERTIFIED MAIL RECEIPT
 (Domestic Mail Only) Insurance Coverage Provided

For delivery information visit our website at www.usps.com

PAID PITNEY BOWES
 02 IP \$ 000.00
 98062433 MAY 23 2008
 MAILED FROM ZIP CODE 87110

Certified Fee	2.70	Postmark Here
Return Receipt Fee (Endorsement Required)	2.20	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 9.70	

Sent To Kelly Chappelle
 Street, Apt. No.,
 or PO Box No. 9135 Santa Catalina Ave NW
 City, State, ZIP+4
ABQ, NM 87121

PS Form 3800, August 2006 See Reverse for Instructions

7004 1160 0005 8623 9187

U.S. Postal Service
CERTIFIED MAIL RECEIPT
 (Domestic Mail Only) Insurance Coverage Provided

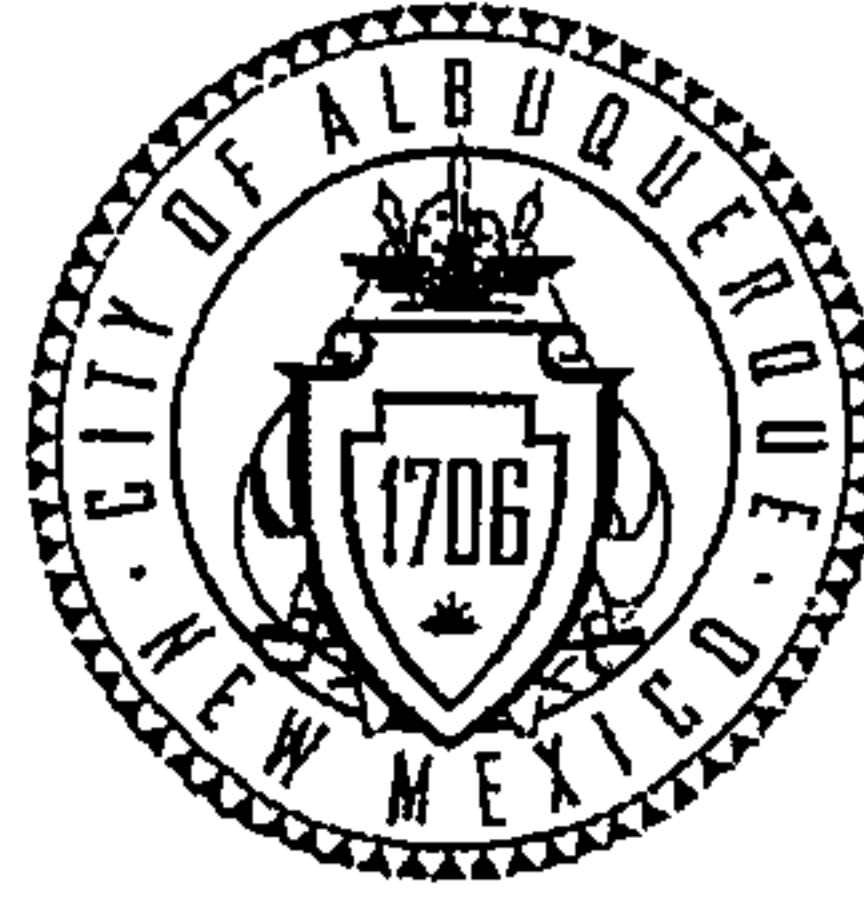
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Sent To Miguel Maestas
 Street, Apt. No.,
 or PO Box No. 9400 Harbor Rd. NW
 City, State, ZIP+4
ABQ, NM 87121

PS Form 3800, June 2002 See Reverse for Instructions



PETERSON PROPERTIES-OFFICES

98th Central
JAN 09 2007

BY: Nathaniel
Routed to: File
CC: Doug, Jim, Mae

City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: January 8, 2007

AMENDED OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1003794***
06EPC-01586 EPC Site Development Plan-
Subdivision
06EPC-01587 EPC Site Development Plan-
Building Permit

Peterson 98th/Central LLC
2325 San Pedro Ne, Ste 2A
Albuq. NM 87110

LEGAL DESCRIPTION: for all or a portion of Tract 1-A, **West of Westland**, Town of Atrisco Grant Row 1, Unit A, zoned SU-2 Planned Commercial Area, located on 98TH ST. NW, between CENTRAL AVE. and VOLCANO ROAD NW, containing approximately 5 acres. (K-9) Maggie Gould, Staff Planner

On December 21, 2006 the Environmental Planning Commission voted to approve Project #1003794/ 06EPC 1001586 a, Site Plan for Subdivision for Tract 1-A, Row 1, Unit A, West of Westland, Town of Atrisco Grant, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is request for a Site Development Plan for Subdivision for a four-acre parcel, Tract 1-A, Row 1, Unit A, West of Westland, within the Town of Atrisco Grant. The site is located on the northwest corner of 98th street and Central Avenue. The site is zone SU-2 PCA, as per the West Route 66 Sector Development Plan.
2. The Site Development Plan for Subdivision will divide the tract into four individual parcels of approximately one acre each.
3. The site is in the Developing Urban Area of the Comprehensive Plan. The Westside Strategic Plan, West Route 66 Sector Development Plan and Central Avenue Streetscape Master Plan also govern the site.

4. Policies of the Comprehensive Plan are furthered by this request.
 - a. Established and Developing Urban Areas

Policies a, d and e would be furthered by this request because it will allow the addition of retail and commercial land uses, it will be compatible with the approved development across the street and it is in an area with access to a full range of municipal services.

Policy i is furthered by this request because this project will offer employment opportunities without adversely impacting a residential area. Policies j and m are furthered because the site is close to residential development and will have an adjacent bike path. This is lower than the site to the west.
 - b. Economic Development

The goal and policies a, b and g would be furthered by this request because this development will allow an opportunity for the development of new business that will provide jobs in an area where they are currently needed.
 - c. Transportation and Transit

The goal is furthered because Central Avenue is an Enhanced Transit Corridor up to 98th street. This project is at the edge of that corridor but still has good access to public transportation.
5. Goals and Objectives of the Westside Strategic Plan are furthered by this request.

Objective 1 and Objective 8 are furthered because this request will provide job opportunities

Policy 1.5 is furthered because of the bike path and pedestrian connections.

Policy 3.38 would be furthered by the request because it will develop of commercial services on the West Side at the intersection of 98th and Central.

Policy 4.10 is furthered by the transit opportunities , bike path and pedestrian improvements.
6. Goals of the West Route 66 Sector Development Plan are met by this request because the development will provide an acceptable visual impression upon entering the City.
7. Goals of the Central Avenue Streetscape Urban Design Master Plan are furthered by this request: Views will be maintained, Street trees and additional landscaping will be visually appealing, the development will offer an option for a food and shopping for travelers.
8. Access to or from Parcel 4, to or from Central Avenue shall be at the discretion of the City and shall not be in perpetuity.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
 2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
 3. Design Guidelines:
 - a. The applicant shall amend the landscaping guidelines to include low water as a criterion in addition to native and naturalized.
 - b. Applicant shall amend the commercial architecture guidelines to require additional details rather than encourage them.
-

On December 21, 2006 the Environmental Planning Commission voted to approve Project #1003794/ 06 EPC 01587 a Site Plan for Building Permit for Tract 1-A, Row 1, Unit A, West of Westland, Town of Atrisco Grant, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a Site Development Plan for Building Permit for an approximately four acres site located at the northwest corner of 98th street and Central Avenue.
2. The applicant proposes two retail buildings a 7,360 square foot building to house an Auto Zone, on parcel 2 and a 13,362 square foot retail space with up to seven tenants on parcel 4.
3. The site is directly across Central Avenue from a designated Neighborhood Activity Center.
4. Several policies of the Comprehensive plan are furthered by this request:
 - a. Established and Developing Urban Areas

- i. Policies a, d and e would be furthered by this request because it will allow the addition of retail and commercial land uses, it will be compatible with the approved development across the street and it is in an area with access to a full range of municipal services.
 - ii. Policy i is furthered by this request because this project will offer employment opportunities without adversely impacting a residential area. Policies j and m are furthered because the site is close to residential development and will have an adjacent bike path. This is lower than the site to the west.
 - b. Economic Development
 - i. The goal and policies a, b and g would be furthered by this request because this development will allow an opportunity for the development of new business that will provide jobs in an area where they are currently needed.
 - c. Transportation and Transit
 - i. The goal is furthered because Central Avenue is an Enhanced Transit Corridor up to 98th street. This project is at the edge of that corridor but still has good access to public transportation.
5. Policies of the Westside Strategic Plan are furthered by this request
 - a. Objective 1 and Objective 8 are furthered because this request will provide job opportunities
 - b. Policy 1.5 is furthered because of the bike path and pedestrian connections.
 - c. Policy 3.38 would be furthered by the request because it will develop of commercial services on the West Side at the intersection of 98th and Central.
 - d. Policy 4.10 is furthered by the transit opportunities, bike path and pedestrian improvements.
6. Goals of the West Route 66 Sector Development Plan are met by this request because the development will provide an acceptable visual impression upon entering the City.
7. Goals of the Central Avenue Streetscape Urban Design Master Plan are furthered by this request: views will be maintained, street trees and additional landscaping will be visually appealing, and the development will offer an option for a food and shopping for travelers.
8. Access to or from Parcel 4, to or from Central Avenue shall be at the discretion of the City and shall not be in perpetuity.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Landscape
 - a. All Landscape areas shall contain 75% live vegetative cover.
 - b. Applicant shall replace the Ash trees and 13 of the Honey Locust trees with a similar low water, low allergen tree.
 - c. Tree wells shall be 36square feet, as shown in the design guidelines for the Site Plan for Subdivision.
 - d. Applicant shall provide a mixture of evergreen and deciduous trees at 30 feet on center at the west end of the property. These are to screen the building from and improve the view for eastbound traffic. The trees will also provide shade for the building.
 - e. The landscaping plan as approved by the EPC shall be what is installed, regardless of the note to client from The Hilltop.
 - f. The applicant shall provide landscape calculations before submittal to the DRB.
4. Site Plan Details
 - a. Applicant shall provide height information for light posts.
 - b. Applicant shall show correct symbol for light posts.
 - c. Applicant shall label pylon signs with correct street names.
5. Applicant shall provide a minimum of four additional motorcycle parking spaces. Place one motorcycle space in front of the fast food and one in front of the retail shops.
6. CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:
 - A. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - B. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
 - C. Provide 25' to 30' curb return radii at north and middle site drives.
 - D. South site drive is limited to right turn in / right turn out only. Drive to be 30' wide with 25' to 30' curb return radii.
 - E. Provide northbound left turn bays at north and middle site drives per TIS. Adjustments to 98th Street center medians as required.
 - F. Provide cross access agreement with City of Albuquerque to extend frontage road across City owned property.
 - G. Frontage road to be designed per DPM (includes width) or as directed by Traffic Engineer.

- H. At south side of retail shops, delete 1 parking space² where frontage road enters site. Provide end cap that better delineates access to site from frontage road. Provide 2 motorcycle spaces and two standard car spaces. (see Traffic Engineer).
- I. Site plan shall comply and be designed per DPM Standards and/or as previously approved by the Traffic Engineer.
- J. Platting must be a concurrent DRB action.
- K. Dedication of a *minimum* 62 feet of right-of-way from the centerline of 98th Street a principal arterial as designated on the Long Range Roadway System map.
- L. Dedication of an additional 6 feet of right-of-way along 98th Street as required by the City Engineer to provide for on-street bicycle lanes.
- M. Construction of the on-street bicycle lane along 98th Street adjacent to the subject property, as designated on Long Range Bikeways System map.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **JANUARY 5, 2007** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

AMENDED OFFICIAL NOTICE OF DECISION
DECEMBER 21, 2006
PROJECT #1003794
PAGE 7 OF 7

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

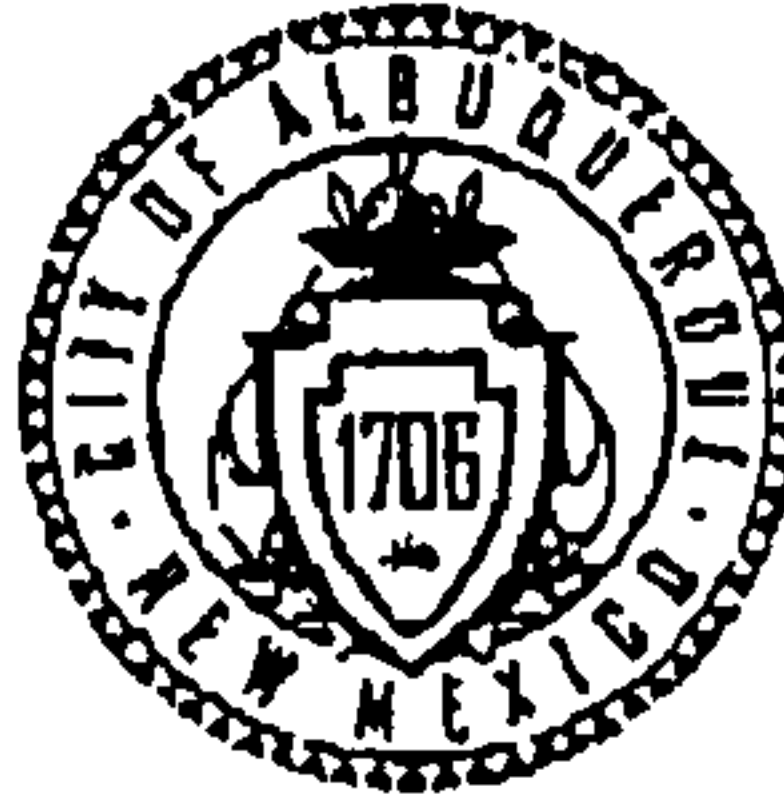
CManone

for

Richard Dineen
Planning Director

RD/ /ac

cc: Miguel Maestas, Avalon NA, 9400 Harbor Blvd. NW, Albuquerque, NM 87121
Kelly Chappelle, Avalon NA, 9135 Santa Catalina Ave. NW, Albuquerque, NM 87121
Matthew Archuleta, Westgate Heights NA, 1628 Summerfield SW, Albuquerque, NM 87121
Libby McIntosh, Westgate Heights Na, 1316 Ladrones Ct. SW, Albuquerque, NM 87121
Van Barber, Westside Merchants Assoc., 5201 Central NW, Albuquerque, NM 87105
Klarissa Pena, Westside Merchants Assoc., 6013 Sunset Gardens SW, Albuquerque, NM 87121
Melissa Lama, Route 66 West Na, 600 Thoroughbred Dr. SW, Albuquerque, NM 87121
Efie Mormon, 10125 Central Ave. NW, Albuquerque, NM 87121



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: May 21, 2008

TO CONTACT NAME: Bill Suttles
 COMPANY/AGENCY: George Rainhart Architects Assoc.
 ADDRESS/ZIP: 2325 San Pedro NE Ste 20
 PHONE/FAX #: 884-9110 ext 112 / 837-9877

Thank you for your inquiry of May 21, 2008 (date) requesting the names of **ALL Affected**

Neighborhood and/or Homeowner Associations who would be affected under the provisions of O-92 by your proposed project at Tract "LA" Plots of Tracts 1A and 1B, row 1, Unit A, West of Westland COA. Located on 98th St. Volcano Rd NW and Central Ave. NW zone map page(s) K-9.

Our records indicate that the **Affected Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

Avalon N.A.
 Neighborhood or Homeowner Association
 Contacts: Miguel Maestas
9400 Harbor Rd. NW 87121
831-9629 (h)
Kelly Chappelle
9135 Santa Catalina Ave NW 87121
836-1766 (h)

Neighborhood or Homeowner Association
 Contacts: _____

See reverse side for additional Neighborhood and/or Homeowner Associations

Information:

YES { } NO {X}

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Stephan [Signature]
 OFFICE OF NEIGHBORHOOD COORDINATION

ATTENTION: Both contacts for each Neighborhood and/or Homeowner Associations need to be notified.

NOTICE TO APPLICANTS - SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify **ALL AFFECTED NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATIONS** PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property. . .
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendments describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
5. The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood and/or homeowner associations may contact someone with questions or comments.

INFORMATION FROM THE OFFICE OF NEIGHBORHOOD COORDINATION

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowner Associations (if there are associations). A copy must be submitted with application packet.
- Copies of the certified receipts to Neighborhood and/or Homeowner Associations (if there are associations). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

(Below this line for ONC use only)

Date of Inquiry: 5.21.08 Time Entered: 9:47 AM ONC Rep. Initials: 

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

Vertical text on the right margin.

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

Applicant or Agent Signature / Date

5.20.08

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' *[Other scales as approved by staff]*
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Property lines (clearly identify)
- 7. Existing and proposed easements (identify each)
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: _____ provided: _____ (SEE SITE PLAN)
Handicapped spaces required: _____ provided: _____ (SEE SITE PLAN)
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: _____ provided: _____ (SEE SITE PLAN)
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

5. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

FIGURE 12
SUBDIVISION IMPROVEMENTS
AGREEMENT-PUBLIC AND/OR PRIVATE
(Procedure B)

AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 7th day of January, 2008, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and Diamond Shamrock Stations, Inc., "Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] Delaware corporation, whose address is One Valero Way, San Antonio, TX 78249 and whose telephone number is 210-345-2000, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [describe:] Volcano Point Shopping Center, recorded on July 13, 20 07 in the records of the Bernalillo County Clerk at Book 2007C, Folio 186 (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] Diamond Shamrock Stations, Inc., ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as #1243 Valero Corner Store describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private Improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described in Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 28th day of November, 20 09 ("Construction Completion Deadline"), at no cost to the City. The improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 790384.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board (DRB), unless the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for the extension.

Work Order Requirements. The City agrees to issue a Work Order after:

A. The Subdivider causes to be submitted all documents, and meets all requirements listed in Development Process Manual, Volume 1, Chapter 5, Work Order Process, and figure 1, including submitting a Certificate of Insurance in a form acceptable to the City. The certificate must establish that the Subdivider has procured or has caused to be procured public liability insurance in the amount of not less than One Million Dollars (\$1,000,000) combined single limit for accidents or occurrences which cause bodily injury, death or property damage as a result of any condition of the Subdivision, the Improvements or the Subdivider's construction activities within, or related to the Subdivision. The insurance policy must name the City of Albuquerque, its employees and elected officials, as their interest may appear, as additional insured's. The Subdivider must maintain the insurance until the City accepts the public Improvements and/or approves the private Improvements. The cancellation provision must provide that, if the policy is either canceled prior to the expiration date of the policy or is materially changed or not renewed, the issuing company will mail 30 days written notice to the City, attention City Engineer.

B. The Subdivider complies with all applicable laws, ordinances and regulations, including, but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pays the following required engineering, staking, testing fees, and other related City fees and County Clerk recording fees:

<u>Type of Fee</u>	<u>Amount</u>
<u>Engineering Fee</u>	<u>3.25% of Actual Construction Cost</u>
<u>Excavation & Sidewalk Fees</u>	<u>As required per City-approved estimate</u>
<u>Street Restoration Fees</u>	<u>As required per City-approved estimate (Fig. 7)</u>

(Note: The Subdivider must pay the City all City fees which have been incurred during construction before the City will accept the Public Improvements.)

4. Surveying, Inspection and Testing. The improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the Public Improvements shall be performed by To Be Determined, and construction surveying of the Private Improvements shall be performed by To Be Determined. If the construction surveying is performed by an entity other than the City, the City may monitor the construction surveying and the Subdivider shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey. The Subdivider shall pay the City a reasonable fee for any construction surveying performed by the City.

B. Construction Inspection methods. Inspection of the construction of the Public Improvements shall be performed by To Be Determined, and inspection of the Private Improvements shall be performed by To Be Determined, both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the City, the City may monitor the inspection and the Subdivider shall ensure that the inspecting entity provides all inspection results, reports and related data to the City, which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City engineer. The Subdivider shall pay the City a reasonable fee for the level of inspection performed by the City.

C. Field Testing. Field-testing of the construction of the Public Improvements shall be performed by To Be Determined, and field testing of the Private Improvements shall be performed by To Be Determined, both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for the Public Works Construction. If any field-testing is performed by an entity other than the City, the City may monitor the field testing and the Subdivider shall ensure that the field testing entity provides all field testing results, reports, and related data to the City which the City requires for review. The Subdivider shall pay the City a reasonable fee for any field-testing performed by the City.

D. Additional Testing. The City retains the right to perform all additional testing which the City Engineer deems is necessary or advisable and the Subdivider shall pay the City a reasonable fee therefore.

5. Financial Guaranty. If final plat approval is not requested prior to construction of the Subdivision, a financial guaranty is not required. If final plat approval is requested, the Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guarantee:"

Type of Financial Guaranty: SUBDIVISION BOND # 105015364

Amount: \$ 110,614.59

Name of Financial Institution or Surety providing Guaranty: _____

TRAVELERS CASUALTY AND SURETY COMPANY OF AMERICA

Date City first able to call Guaranty: November 28, 2009

[Construction Completion Deadline]: November 28, 2009

If Guarantee other than a Bond, last day City able to call on Guaranty is: _____

January 28, 2010

Additional information: _____

6. Notice of Start of Construction. Before construction begins, the Subdivider shall deliver an acceptable Notice to Proceed to the City and shall arrange or a preconstruction conference and all required inspections.

7. Completion, Acceptance and Termination. When the City receives Subdivider's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Volume 1, Chapter 5, Work Order Process, Step 9.) If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the Public Improvements and a Certificate of Completion for the Private Improvements. Thereafter, the Subdivider's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Subdivider has provided to assure the materials and workmanship, as required by the Subdivision Ordinance. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.

8. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon or in which the Public Improvements are constructed, the Subdivider will convey to the city all real and personal property rights which the City deems reasonably necessary, and all Public Improvements, free and clear

of all claims, encumbrances and liens before the City will accept the Public Improvements. Conveyance may be made by appropriate dedication on the final plat of the Subdivision.

9. Reduction of Financial Guaranty Upon Partial Completion. The subdivider shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Subdivider must follow the procedures and meet the requirements detailed in the Development Process Manual, Volume 1, Chapter 5.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guaranty other than a loan reserve letter has been provided, the completed Improvements must be freestanding, functionally independent of any Improvements which have not yet been completed and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements, which have been, completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the subdivider must submit the following documents to the City for review and approval:

- (1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;
- (2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the Subdivision Ordinance.
- (3) Conveyance of real and personal property rights which meet the requirements of Section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed Public Improvements and a Certificate of Partial Completion for the completed Private Improvements.

10. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.

11. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety, which has undertaken to guarantee the completion of the Improvements.

The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

12. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has posted a suitable financial guaranty and entered into a Subdivision Improvements Agreement with the City. Thereafter, when the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

13. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to the Financial Guaranty.

14. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

15. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

16. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

17. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the Subdivider and signed by the City's Legal Department on this form.

21. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.

ORIGINAL

FIGURE 12

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Submitted: 9-11-07
 Date Site Plan Approved: 9/19/07
 Date Preliminary Plat Approved: N/A
 Date Preliminary Plat Expires: N/A
 DRB Project No.: 1003794
 DRB Application No.: _____

**Lot 1 Volcano Point Shopping Center
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**Lots 1 thru 4 Volcano Point Shopping Center
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>	8"	Standard Curb & Gutter South Side Only	Volcano Road	East Property Line	West Property Line	/	/	/
<input type="text"/>	<input type="text"/>	6'	Concrete Sidewalk South Side Only	Volcano Road	East Property Line	West Property Line	/	/	/
<input type="text"/>	<input type="text"/>	2x30'	Pavement Section	Volcano Road	98th Street	West Property Line	/	/	/
<input type="text"/>	<input type="text"/>		Drop Inlet	Volcano Road <i>at 98th Street</i>			/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
							/	/	/
							/	/	/

Approval of Creditable Items:		Approval of Creditable Items:	
Impact Fee Administrator Signature	Date	City User Dept. Signature	Date

NOTES
 If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

- Street lights per City requirements.
Street Lights and Signs per DPM requirements.
-
-

AGENT / OWNER
Kel D. Krueger
 NAME (print)
Tierra West LLC
 FIRM
Kel D. Krueger 9/11/07
 SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

D. Nelson 9/19/07
 DRB CHAIR - date

K. [unclear] 9-19-07
 TRANSPORTATION DEVELOPMENT - date

Logan [unclear] 9/19/07
 UTILITY DEVELOPMENT - date

Bradley L. Bingham 9/19/07
 CITY ENGINEER - date

Christina Sandoval 9/19/07
 PARKS & RECREATION - date

AMAFCA - date _____ - date _____ - date _____

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

FINANCIAL GUARANTY AMOUNT

10/26/2007

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

Project ID #: 790384, VALERO CORNER STORE, Phase/Unit #: 1

Requested By: **Sarah Abeyta**

Approved estimate amount:		\$69,311.25
Contingency Amount:	10.00%	\$6,931.13
Subtotal:		\$76,242.38
NMGRT	6.875%	\$5,241.66
Subtotal:		\$81,484.04
Engineering Fee	6.60%	\$5,377.95
Testing Fee	2.00%	\$1,629.68
Subtotal:		\$88,491.67
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$0.00
TOTAL FINANCIAL GUARANTY REQUIRED		<u>\$110,614.59</u>

APPROVAL:

DATE:

S. Woodall

10-26-07

Notes: SIA B-1: 10% Contingency, Plans and final eng. est. not yet approved, Street lights and signage per DPM,

SUBDIVISION BOND

Bond No. 105015364

KNOW ALL MEN BY THESE PRESENTS, that we DIAMOND SHAMROCK STATIONS, INC.

One Valero Way San Antonio TX 78249

as Principal, and TRAVELERS CASUALTY AND SURETY COMPANY OF AMERICA

authorized to do business in the State of NM, as Surety, are held and firmly bound unto

CITY OF ALBUQUERQUE

as Obligee, in the penal sum of

One Hundred Ten Thousand Six Hundred Fourteen and 59/100 (\$ 110,614.59) DOLLARS, lawful money of the United States of America, for the payment of which well and truly to be made, we bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, DIAMOND SHAMROCK STATIONS, INC.

has agreed to construct in 98th St. NW & Volcano Rd. NW

the following improvements: Valero Comer Store at Volcano Point Shopping Center; Project 790384.

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if the said Principal shall construct, or have constructed, the improvements herein described and shall save the Obligee harmless from any loss, cost or damage by reason of its failure to complete said work, then this obligation shall be null and void; otherwise to remain in full force and effect.

Signed, sealed and dated this 15th day of November, 2007.

DIAMOND SHAMROCK STATIONS, INC.

By: Jay Browning
Jay Browning, Sr. Vice President & Secretary



TRAVELERS CASUALTY AND SURETY COMPANY OF AMERICA

By: Lupe Tamayo
Attorney-in-Fact



POWER OF ATTORNEY

Farmington Casualty Company
Fidelity and Guaranty Insurance Company
Fidelity and Guaranty Insurance Underwriters, Inc.
Seaboard Surety Company
St. Paul Fire and Marine Insurance Company

St. Paul Guardian Insurance Company
St. Paul Mercury Insurance Company
Travelers Casualty and Surety Company
Travelers Casualty and Surety Company of America
United States Fidelity and Guaranty Company

Attorney-In Fact No. 214986

Certificate No. 001562266

KNOW ALL MEN BY THESE PRESENTS: That Seaboard Surety Company is a corporation duly organized under the laws of the State of New York, that St. Paul Fire and Marine Insurance Company, St. Paul Guardian Insurance Company and St. Paul Mercury Insurance Company are corporations duly organized under the laws of the State of Minnesota, that Farmington Casualty Company, Travelers Casualty and Surety Company, and Travelers Casualty and Surety Company of America are corporations duly organized under the laws of the State of Connecticut, that United States Fidelity and Guaranty Company is a corporation duly organized under the laws of the State of Maryland, that Fidelity and Guaranty Insurance Company is a corporation duly organized under the laws of the State of Iowa, and that Fidelity and Guaranty Insurance Underwriters, Inc. is a corporation duly organized under the laws of the State of Wisconsin (herein collectively called the "Companies"), and that the Companies do hereby make, constitute and appoint

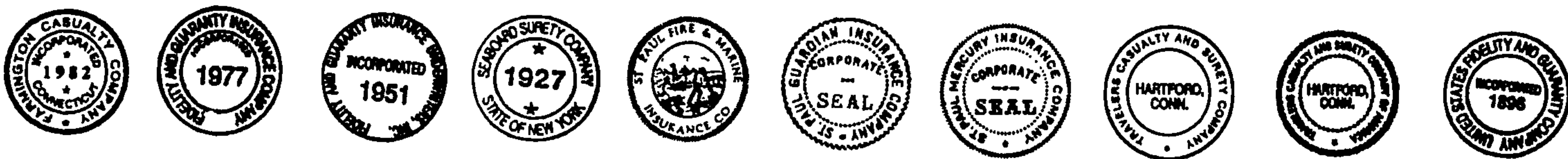
William N. Burke, Michael J. Herrod, Wendy W. Stuckey, Lupe Tamayo, Margaret Buboltz, Lisa A. Ward, Patti A. Ebarb, U. Theresa Gardner, Kathleen M. Meeks, and Nancy Thomas

of the City of Houston, State of Texas, their true and lawful Attorney(s)-in-Fact, each in their separate capacity if more than one is named above, to sign, execute, seal and acknowledge any and all bonds, recognizances, conditional undertakings and other writings obligatory in the nature thereof on behalf of the Companies in their business of guaranteeing the fidelity of persons, guaranteeing the performance of contracts and executing or guaranteeing bonds and undertakings required or permitted in any actions or proceedings allowed by law.

IN WITNESS WHEREOF, the Companies have caused this instrument to be signed and their corporate seals to be hereto affixed, this 6th day of April, 2007.

Farmington Casualty Company
Fidelity and Guaranty Insurance Company
Fidelity and Guaranty Insurance Underwriters, Inc.
Seaboard Surety Company
St. Paul Fire and Marine Insurance Company

St. Paul Guardian Insurance Company
St. Paul Mercury Insurance Company
Travelers Casualty and Surety Company
Travelers Casualty and Surety Company of America
United States Fidelity and Guaranty Company

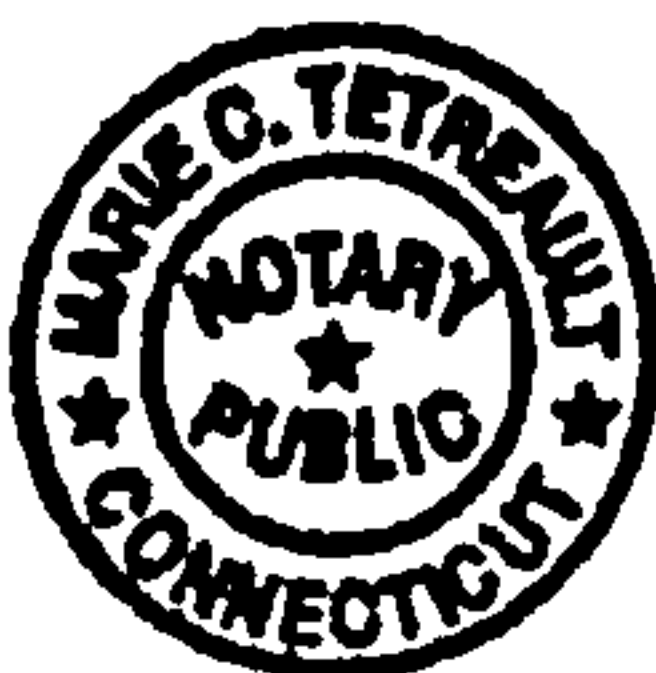


State of Connecticut
City of Hartford ss.

By: George W. Thompson, Senior Vice President

On this the 6th day of April, 2007, before me personally appeared George W. Thompson, who acknowledged himself to be the Senior Vice President of Farmington Casualty Company, Fidelity and Guaranty Insurance Company, Fidelity and Guaranty Insurance Underwriters, Inc., Seaboard Surety Company, St. Paul Fire and Marine Insurance Company, St. Paul Guardian Insurance Company, St. Paul Mercury Insurance Company, Travelers Casualty and Surety Company, Travelers Casualty and Surety Company of America, and United States Fidelity and Guaranty Company, and that he, as such, being authorized so to do, executed the foregoing instrument for the purposes therein contained by signing on behalf of the corporations by himself as a duly authorized officer.

In Witness Whereof, I hereunto set my hand and official seal. My Commission expires the 30th day of June, 2011.



Marie C. Tetreault
Marie C. Tetreault, Notary Public

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: 9-11-07
 Date Site Plan Approved: 9/19/07
 Date Preliminary Plat Approved: N/A
 Date Preliminary Plat Expires: N/A
 DRB Project No.: 1003794
 DRB Application No.: _____

ORIGINAL

INFRASTRUCTURE LIST

(Rev 9-20-05)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**Lot 1 Volcano Point Shopping Center
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**Lots 1 thru 4 Volcano Point Shopping Center
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be incorporated project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		8"	Standard Curb & Gutter South Side Only	Volcano Road	East Property Line	West Property Line	/	/	/
		6'	Concrete Sidewalk South Side Only	Volcano Road	East Property Line	West Property Line	/	/	/
		2x30'	Pavement Section	Volcano Road	98th Street	West Property Line	/	/	/
			Drop Inlet	Volcano Road <i>at 98th Street</i>			/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
Approval of Creditable Items:							Approval of Creditable Items:			
Impact Fee Administrator Signature							Date	City User Dept. Signature		Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

Street lights per City requirements.

Street Lights and Signs per DPM requirements.

1

2

3

AGENT / OWNER

Keli D. Krueger
NAME (print)
Tierra West LLC
FIRM
Keli D. Krueger 9/11/07
SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

D. Watson 9/19/07
DRB CHAIR - date
K. [Signature] 9-19-07
TRANSPORTATION DEVELOPMENT - date
[Signature] 9/19/07
UTILITY DEVELOPMENT - date
Bradley L. Bingham 9/19/07
CITY ENGINEER - date
Christina Sandoval 9/19/07
PARKS & RECREATION - date

AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

09/11/2007 Issued By: PLNABG

Permit Number: 2007 070 250 **Category Code 910**

Application Number: 07DRB-70250, Minor - Sdp For Building Permit

Address:

Location Description: 98TH ST NW VOLCANO RD NW AND CENTRAL AVE NW

Project Number: 1003794

Applicant
Valero Energy Corp.
Brent Steadman
5590 Havana
Loveland, CO 80239
303-373-6036

Agent / Contact
Tierra West Llc
Ronald Bohannon
5571 Midway Park Pl Ne
Albuquerque, NM 87109

twllc@tierrawestllc.com

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$385.00
TOTAL:		\$405.00

City Of Albuquerque
Treasury Division

9/11/2007 10:06AM LOC: ANNX
WS# 008 TRANSH 0014
RECEIPT# 00081073-00081073
PERMITH 2007070250 TRSLJS
Trans Amt \$405.00
Conflict Manag. Fee \$20.00
DRB Actions \$385.00
CK \$405.00
CHANGE \$0.00

Thank You

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT *DRB 17*

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

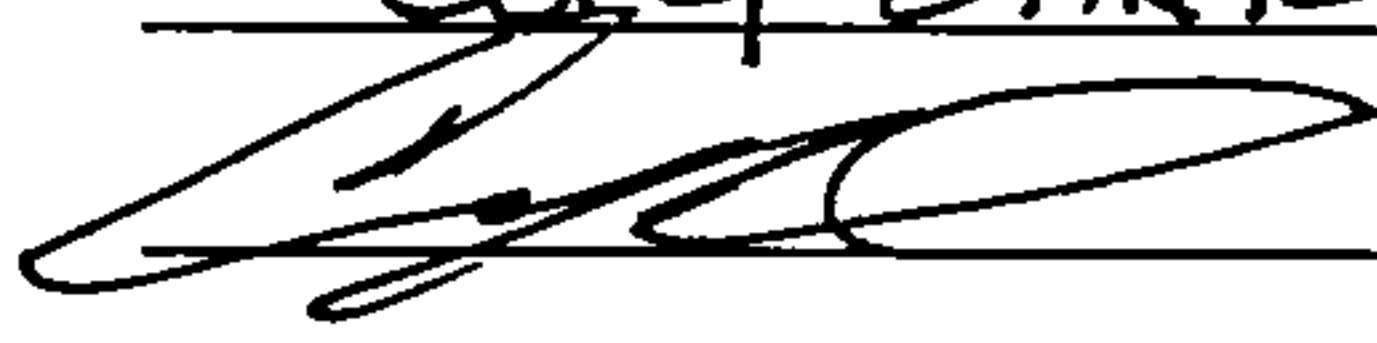
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

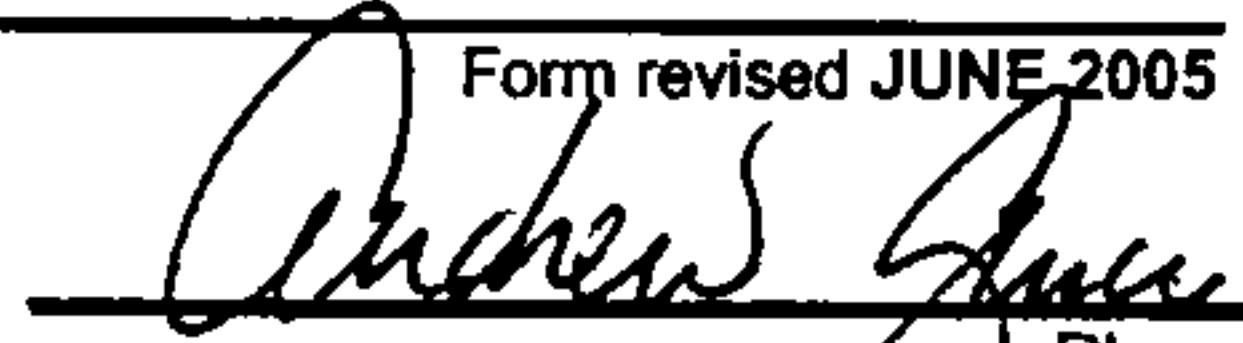
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

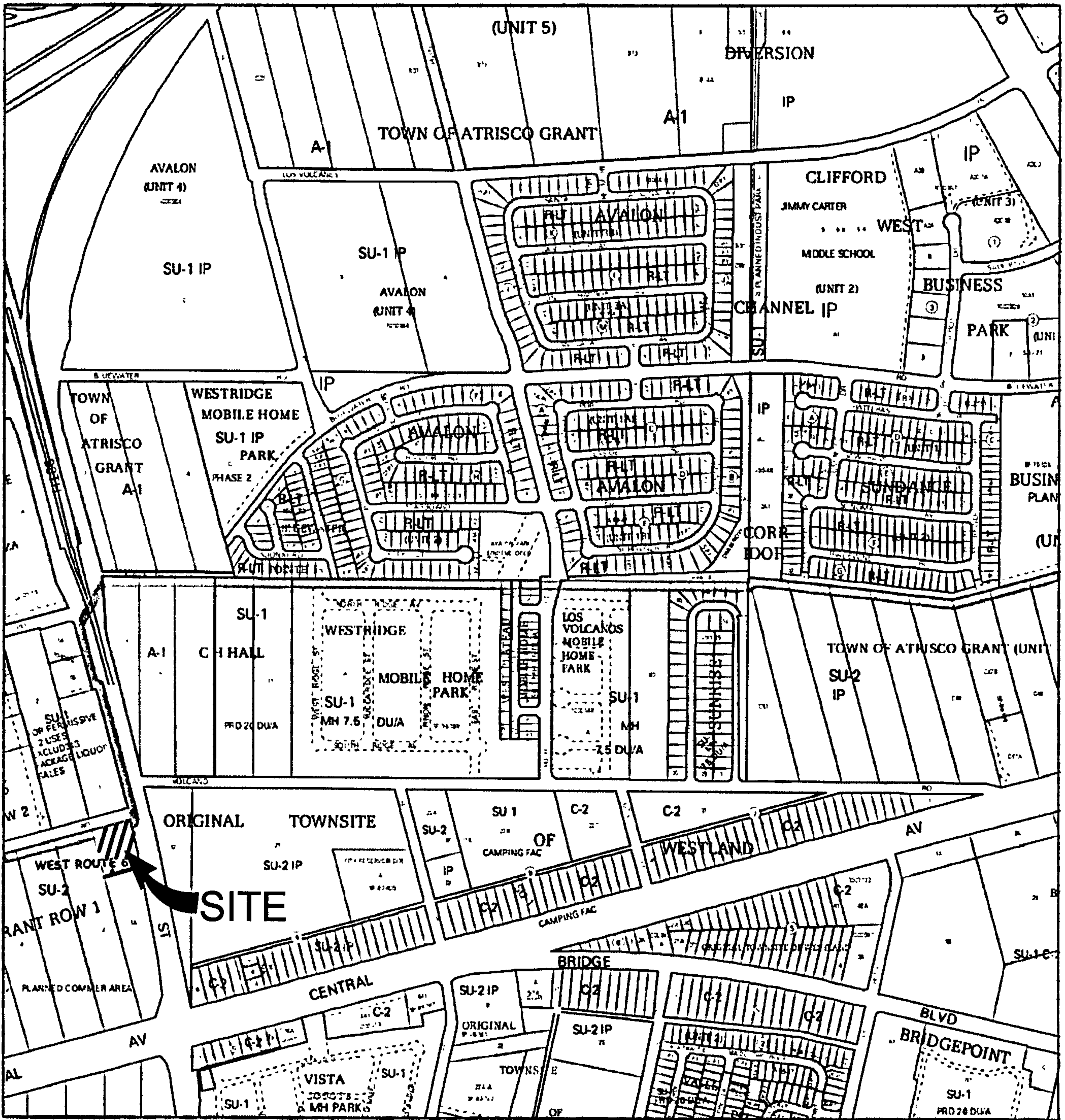
I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Coley Stinar

 Applicant name (print)
 9/6/07
 Applicant signature / date

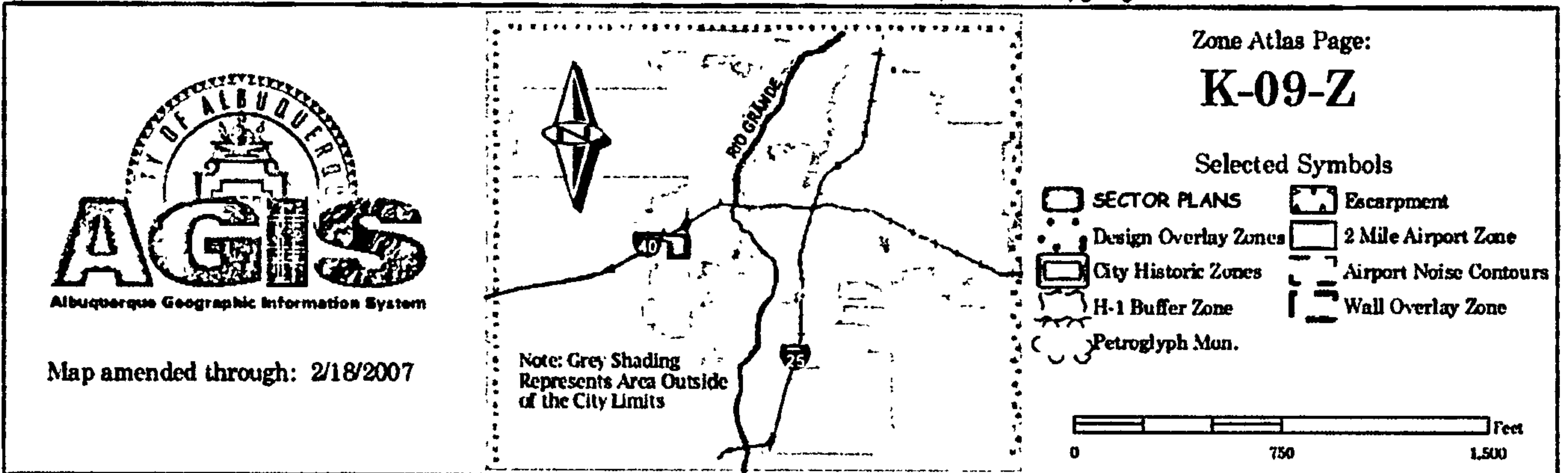


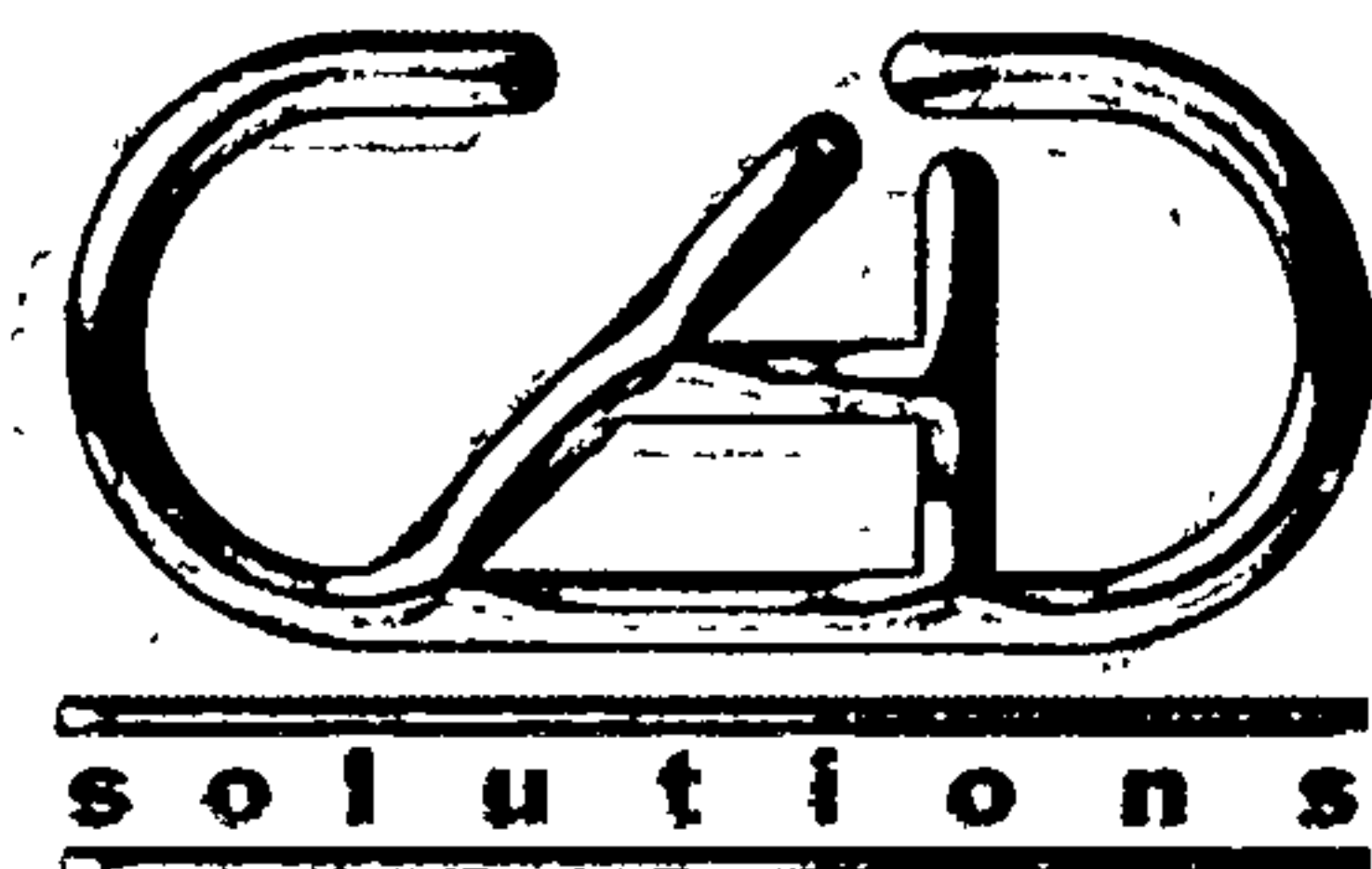
- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 07 DRB - 70250

Form revised JUNE 2005

 Planner signature / date
 Project # 1003794



For more current information and more details visit <http://www.cabq.gov/gis>





3436 New Castle Drive
Loveland, CO 80538
970.593.6656
Fax: 970.593.6656
Email:coreys@cadsolution.net

September 6, 2007

City of Albuquerque
Planning Department
600 2nd Street NW
Albuquerque, NM 87103

RE: Valero Corner Store
Site Plan for Building Permit
LOT 1, TRACT "1A" PLAT OF TRACTS 1A & 1B, ROW 1, UNIT A, WEST OF WESTLAND
Albuquerque, NM

To Whom It May Concern:

Please find enclosed our completed application, submittal fees and additional documentation for Site Plan for Building Permit for the above-mentioned project.

Valero Energy is requesting approval for the site improvements, Building design, and Signage. The buildings design follows the design guide set-forth by the Volcano Point Design Standards. All colors, material, and architectural elements have been incorporated into the buildings design.

Parking, landscaping, and other site related items meet or exceed the minimum requirements.

All proposed signage is opaque lettering or logos independently illuminated by goose neck type, or flood light type lighting, as specified by the Volcano Point Design Standards.

If you should have any questions please do not hesitate to call me.

Sincerely,

A handwritten signature in black ink, appearing to read 'Corey Stinar', with a long, sweeping underline.

Corey Stinar
Project Manager /
Owner Agent for Valero Energy Corporation



**Valero
Retail Holdings, Inc.**

August 30, 2007

Please accept this letter to authorize Corey Stinar, CAD Solutions, LLC to act as Owner Agent for Valero Energy Corporation, for the submittal and processing of our Site Plan for Building Permit application package on Lot 1, Volcano Point Development, Parcel 1, Tract 1A, Plat of Tracks 1A & 1B Row 1, Unit A, West of Westla (Southwest Corner of 98th Street N.W. & Volcano Road N.W. City of Albuquerque, Bernalillo County, New Mexico

Brent Steadman – Construction Specialist

A handwritten signature in cursive script that reads "B Steadman".

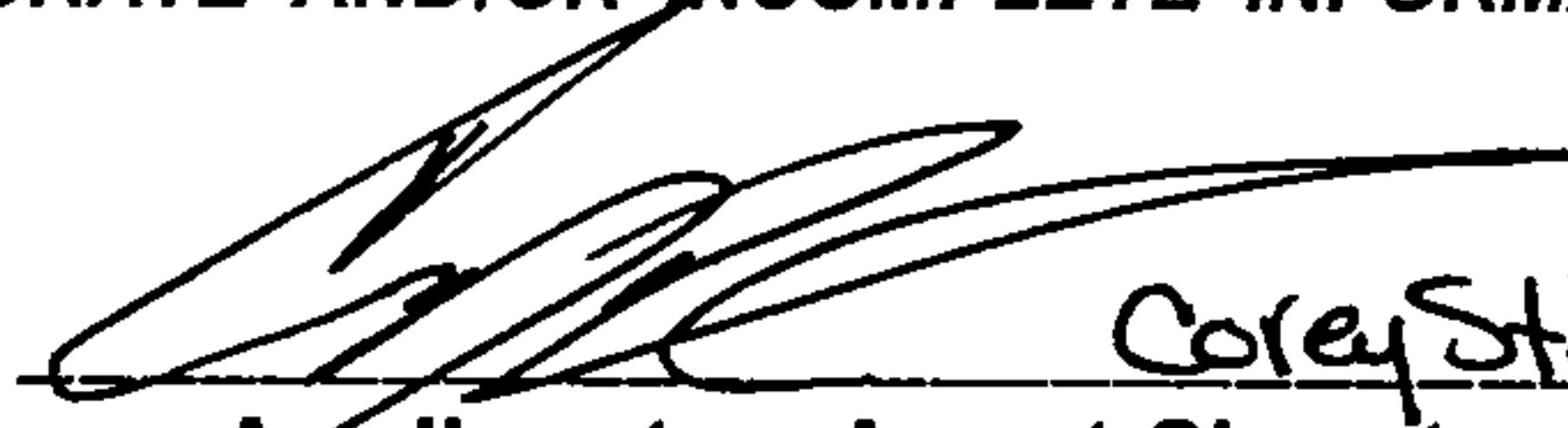
5590-B Havana Street
Denver, CO 80239

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.


Corey Stinar 9/6/07
Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.**

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' [Other scales as approved by staff]
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Property lines (clearly identify)
- 7. Existing and proposed easements (identify each)
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. **Location and typical dimensions**, including handicapped spaces
 - 2. **Calculations:** spaces required: 28 provided: 37
Handicapped spaces required: 2 provided: 2
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 2
provided: 2
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

5. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation...Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)
- 15. Planting or tree well detail
- 16. Street Tree Plan as defined in the Street Tree Ord.

SHEET #3 –PRELIMINARY GRADING PLAN –

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

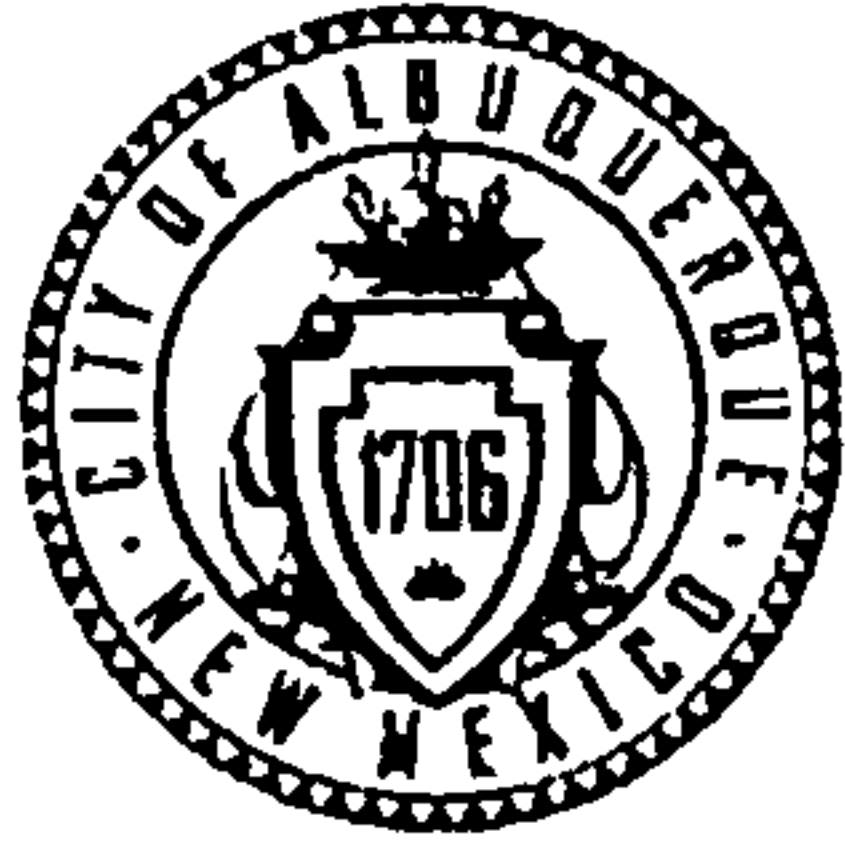
A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. For EPC and DRB submittals only – Color renderings or similar illustrations
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.



City of Albuquerque
 Planning Department
 Development Review Division
 P.O. Box 1293
 Albuquerque, New Mexico 87103

Date: December 22, 2006

OFFICIAL NOTIFICATION OF DECISION

FILE: Project # 1003794*
 06EPC-01586 EPC Site Development Plan-
 Subdivision
 06EPC-01587 EPC Site Development Plan-
 Building Permit

Peterson 98th/Central LLC
 2325 San Pedro Ne, Ste 2A
 Albuquerque, NM 87110

LEGAL DESCRIPTION: for all or a portion of Tract 1-A, **West of Westland**, Town of Atrisco Grant Row 1, Unit A, zoned SU-2 Planned Commercial Area, located on 98TH ST. NW, between CENTRAL AVE. and VOLCANO ROAD NW, containing approximately 5 acres. (K-9) Maggie Gould, Staff Planner

On December 21, 2006 the Environmental Planning Commission voted to approve Project #1003794/ 06EPC 1001586 a, Site Plan for Subdivision for Tract 1-A, Row 1, Unit A, West of Westland, Town of Atrisco Grant, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is request for a Site Development Plan for Subdivision for a four acre parcel, tract 1-A, row 1, Unit A, West of Westland, within the Town of Atrisco Grant. The site is located on the northwest corner of 98th street and Central Avenue. The site is zone SU-2 PCA, as per the West Route 66 Sector Development Plan.
2. The Site Development Plan for Subdivision will divide the tract into four individual parcels of approximately one acre each.
3. The site is in the Developing Urban Area of the Comprehensive Plan. Westside Strategic Plan, West Route 66 Sector Development Plan and Central Avenue Streetscape Master Plan also govern the site.

OFFICIAL NOTICE OF DECISION
DECEMBER 21, 2006
PROJECT #1003794
PAGE 2 OF 7

4. Policies of the Comprehensive Plan are furthered by this request.
 - a. Established and Developing Urban Areas

Policies a, d and e would be furthered by this request because it will allow the addition of retail and commercial land uses, it will be compatible with the approved development across the street and it is in an area with access to a full range of municipal services.

Policy i is furthered by this request because this project will offer employment opportunities without adversely impacting a residential area. Policies j and m are furthered because the site is close to residential development and will have an adjacent bike path. This is lower than the site to the west.
 - b. Economic Development

The goal and policies a, b and g would be furthered by this request because this development will allow an opportunity for the development of new business that will provide jobs in an area where they are currently needed.
 - c. Transportation and Transit

The goal is furthered because Central Avenue is an Enhanced Transit Corridor up to 98th street. This project is at the edge of that corridor but still has good access to public transportation.
5. Goals and Objectives of the Westside Strategic Plan are furthered by this request.

Objective 1 and Objective 8 are furthered because this request will provide job opportunities

Policy 1.5 is furthered because of the bike path and pedestrian connections.

Policy 3.38 would be furthered by the request because it will develop of commercial services on the West Side at the intersection of 98th and Central.

Policy 4.10 is furthered by the transit opportunities , bike path and pedestrian improvements.
6. Goals of the West Route 66 Sector Development Plan are met by this request because the development will provide an acceptable visual impression upon entering the City.
7. Goals of the Central Avenue Streetscape Urban Design Master Plan are furthered by this request: Views will be maintained, Street trees and additional landscaping will be visually appealing, the development will offer an option for a food and shopping for travelers.
8. Access to or from Parcel 4, to or from Central shall be at the discretion of the City and shall not be in perpetuity.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
 2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
 3. Design Guidelines:
 - a. The applicant shall amend the landscaping guidelines to include low water as a criteria in addition to native and naturalized.
 - b. Applicant shall amend the commercial architecture guidelines to require additional details rather than encourage them.
-

On December 21, 2006 the Environmental Planning Commission voted to approve Project #1003794/ 06 EPC 01587 a Site Plan for Building Permit for Tract 1-A, Row 1, Unit A, West of Westland, Town of Atrisco Grant, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a Site Development Plan for Building Permit for an approximately four acres site located at the northwest corner of 98th street and Central Avenue.
2. The applicant proposes two retail buildings a 7, 360 square foot building to house an Auto Zone, on parcel 2 and a 13,362 square foot retail space with up to seven tenants on parcel 4.
3. The site is directly across Central Avenue from a designated Neighborhood Activity Center.
4. Several policies of the Comprehensive plan are furthered by this request:
 - a. Established and Developing Urban Areas

OFFICIAL NOTICE OF DECISION
DECEMBER 21, 2006
PROJECT #1003794
PAGE 4 OF 7

- i. Policies a, d and e would be furthered by this request because it will allow the addition of retail and commercial land uses, it will be compatible with the approved development across the street and it is in an area with access to a full range of municipal services.
 - ii. Policy i is furthered by this request because this project will offer employment opportunities without adversely impacting a residential area. Policies j and m are furthered because the site is close to residential development and will have an adjacent bike path. This is lower than the site to the west.
 - b. Economic Development
 - i. The goal and policies a, b and g would be furthered by this request because this development will allow an opportunity for the development of new business that will provide jobs in an area where they are currently needed.
 - c. Transportation and Transit
 - i. The goal is furthered because Central Avenue is an Enhanced Transit Corridor up to 98th street. This project is at the edge of that corridor but still has good access to public transportation.
5. Policies of the Westside Strategic Plan are furthered by this request
 - a. Objective 1 and Objective 8 are furthered because this request will provide job opportunities
 - b. Policy 1.5 is furthered because of the bike path and pedestrian connections.
 - c. Policy 3.38 would be furthered by the request because it will develop of commercial services on the West Side at the intersection of 98th and Central.
 - d. Policy 4.10 is furthered by the transit opportunities, bike path and pedestrian improvements.
6. Goals of the West Route 66 Sector Development Plan are met by this request because the development will provide an acceptable visual impression upon entering the City.
7. Goals of the Central Avenue Streetscape Urban Design Master Plan are furthered by this request:
8. Views will be maintained, Street trees and additional landscaping will be visually appealing, the development will offer an option for a food and shopping for travelers.
9. Access to or from Parcel 4, to or from Central shall be at the discretion of the City and shall not be in perpetuity.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

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DECEMBER 21, 2006
PROJECT #1003794
PAGE 5 OF 7

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Landscape
 - a. All Landscape areas shall contain 75% live vegetative cover.
 - b. Applicant shall replace the Ash trees and 13 of the Honey Locust trees with a similar low water, low allergen tree.
 - c. Tree wells shall be 36square feet, as shown in the design guidelines for the Site Plan for Subdivision.
 - d. Applicant shall provide a mixture of evergreen and deciduous trees at 30 feet on center at the west end of the property. These are to screen the building from and improve the view for eastbound traffic. The trees will also provide shade for the building.
 - e. The landscaping plan as approved by the EPC shall be what is installed, regardless of the note to client from The Hilltop.
 - f. The applicant shall provide landscape calculations before submittal to the DRB.
4. Site Plan Details
 - a. Applicant shall provide height information for light posts.
 - b. Applicant shall show correct symbol for light posts.
 - c. Applicant shall label pylon signs with correct street names.
5. Applicant shall provide a minimum of four additional motorcycle parking spaces.
6. CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:
 - A. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - B. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
 - C. Provide 25' to 30' curb return radii at north and middle site drives.
 - D. South site drive is limited to right turn in / right turn out only. Drive to be 30' wide with 25' to 30' curb return radii.
 - E. Provide northbound left turn bays at north and middle site drives per TIS. Adjustments to 98th Street center medians as required.
 - F. Provide cross access agreement with City of Albuquerque to extend frontage road across City owned property.
 - G. Frontage road to be designed per DPM (includes width) or as directed by Traffic Engineer.

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DECEMBER 21, 2006
PROJECT #1003794
PAGE 6 OF 7

- H. At south side of retail shops, delete end three parking spaces where frontage road enters site. Provide end cap that better delineates access to site from frontage road (see Traffic Engineer).
- I. Site plan shall comply and be designed per DPM Standards and/or as previously approved by the Traffic Engineer.
- J. Platting must be a concurrent DRB action.
- K. Dedication of a *minimum* 62 feet of right-of-way from the centerline of 98th Street a principal arterial as designated on the Long Range Roadway System map.
- L. Dedication of an additional 6 feet of right-of-way along 98th Street as required by the City Engineer to provide for on-street bicycle lanes.
- M. Construction of the on-street bicycle lane along 98th Street adjacent to the subject property, as designated on Long Range Bikeways System map.
- N. Place one motorcycle space in front of the fast food and one in front of the retail shops.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY JANUARY 5, 2007 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

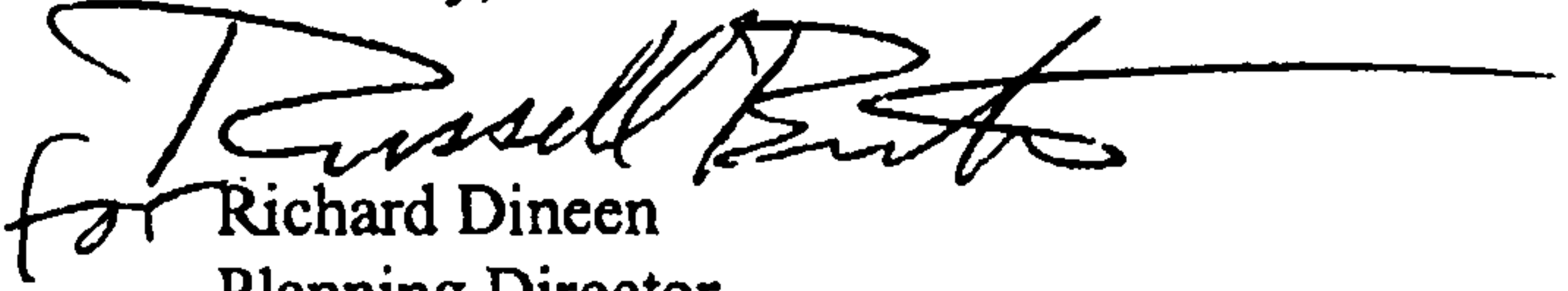
Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

OFFICIAL NOTICE OF DECISION
DECEMBER 21, 2006
PROJECT #1003794
PAGE 7 OF 7

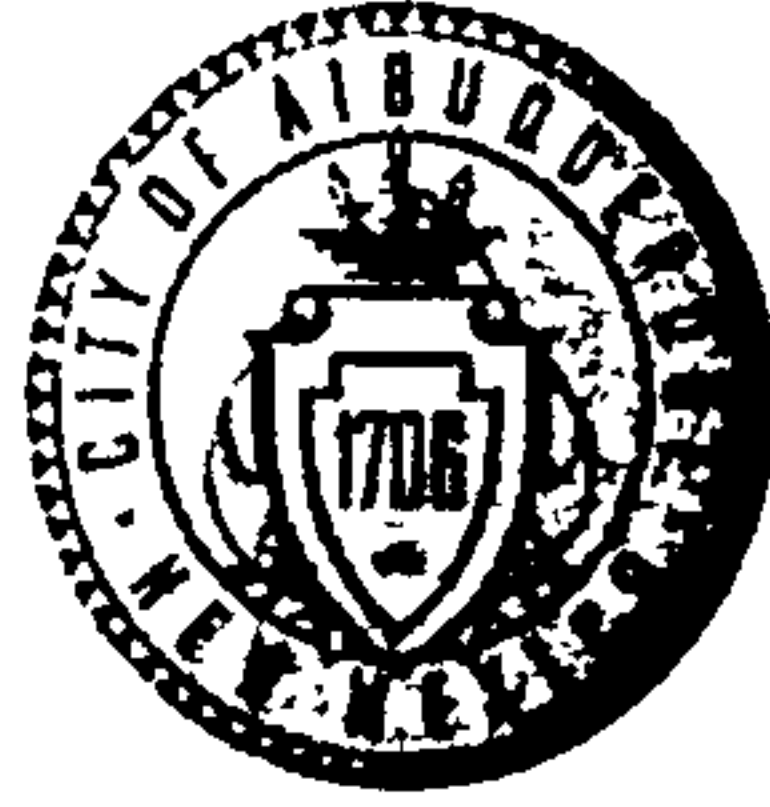
Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


for Richard Dineen
Planning Director

RD/ /ac

cc: Miguel Maestas, Avalon NA, 9400 Harbor Blvd. NW, Albuquerque, NM 87121
Kelly Chappelle, Avalon NA, 9135 Santa Catalina Ave. NW, Albuquerque, NM 87121
Matthew Archuleta, Westgate Heights NA, 1628 Summerfield SW, Albuquerque, NM 87121
Libby McIntosh, Westgate Heights Na, 1316 Ladrones Ct. SW, Albuquerque, NM 87121
Van Barber, Westside Merchants Assoc., 5201 Central NW, Albuquerque, NM 87105
Klarissa Pena, Westside Merchants Assoc., 6013 Sunset Gardens SW, Albuquerque, NM 87121
Melissa Lama, Route 66 West Na, 600 Thoroughbred Dr. SW, Albuquerque, NM 87121
Efie Mormon, 10125 Central Ave. NW, Albuquerque, NM 87121



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, June 18, 2008, beginning at 9:00 a.m. for the purpose of considering the following:

Project# 1002856
08DRB-70233 MAJOR - 2YEAR EXTENSION OF
SUBDIVISION IMPROVEMENTS

MARK GOODWIN AND ASSOCIATES PA agent(s) for ANDERSON HILLS LLC request(s) the referenced/above action(s) for all or a portion of **BLOSSOM RIDGE, PHASE 1**, zoned RLT, located on the west side of UNSER BLVD SW BETWEEN DENNIS CHAVEZ BLVD SW AND ANDERSON HILL RD SW containing approximately 23.9505 acre(s). (N-9, P-9)

Project# 1003794
08DRB-70238 MAJOR - SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT

GEORGE RAINHART & ASSOC agent(s) for PETERSON PROPERTIES request(s) the above action(s) for Lots 3 and 4, **VOLCANO POINT SHOPPING CENTER**, zoned SU-2 / PCA, located on the northwest corner of 98TH ST NW AND CENTRAL AVE NW containing approximately 1.9833 acre(s). (K-9)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 - TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

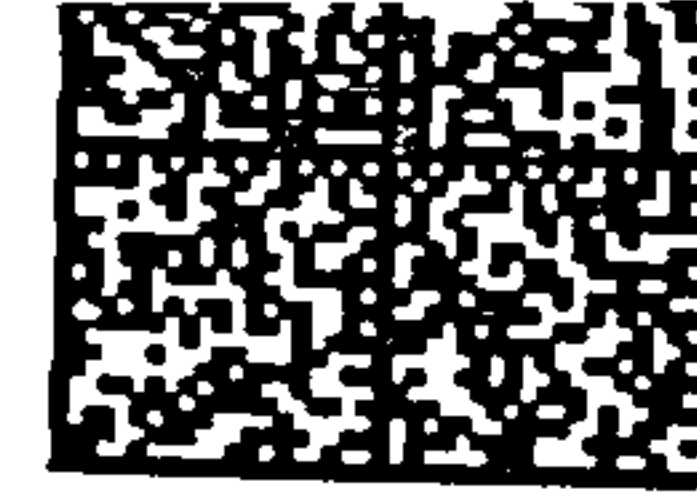
Jack Cloud, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JUNE 2, 2008.

CITY OF ALBUC



Planning Department



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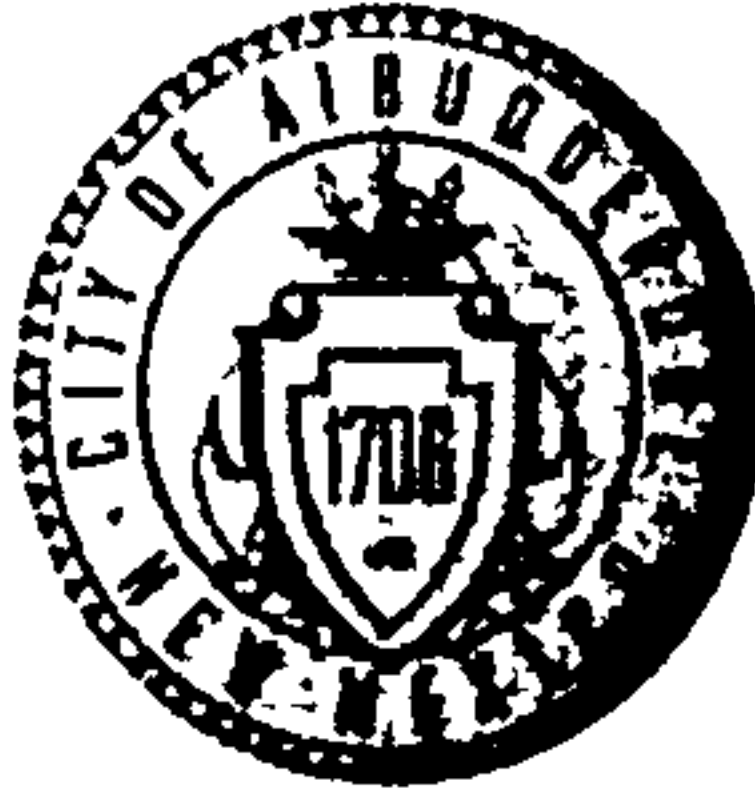
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OR CURRENT RESIDENT
STEFAN ADRAIN & MARCIA
2704 BOSQUE DEL SOL LN NW
ALBUQUERQUE, NM 87120

DRB

*Not at
this address*



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A handwritten signature in black ink, appearing to read "Jack Cloud".

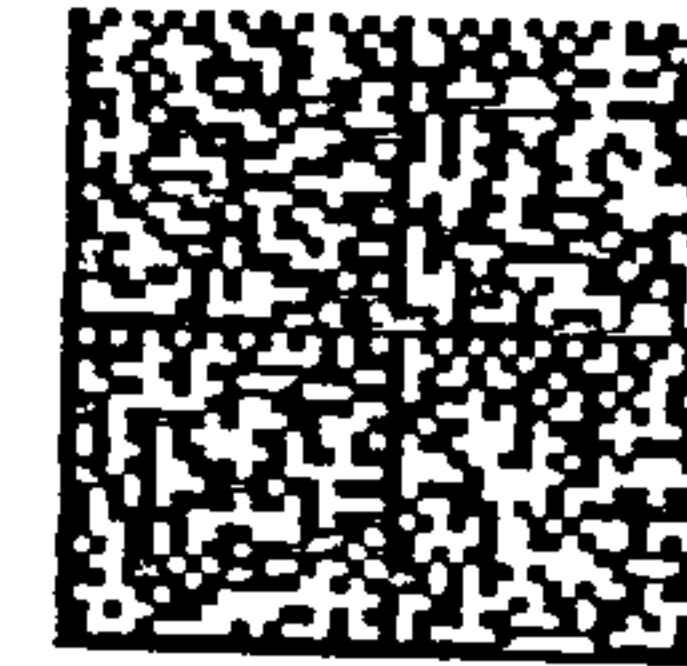
Jack Cloud, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JUNE 2, 2008.

CITY OF ALBUQUERQUE

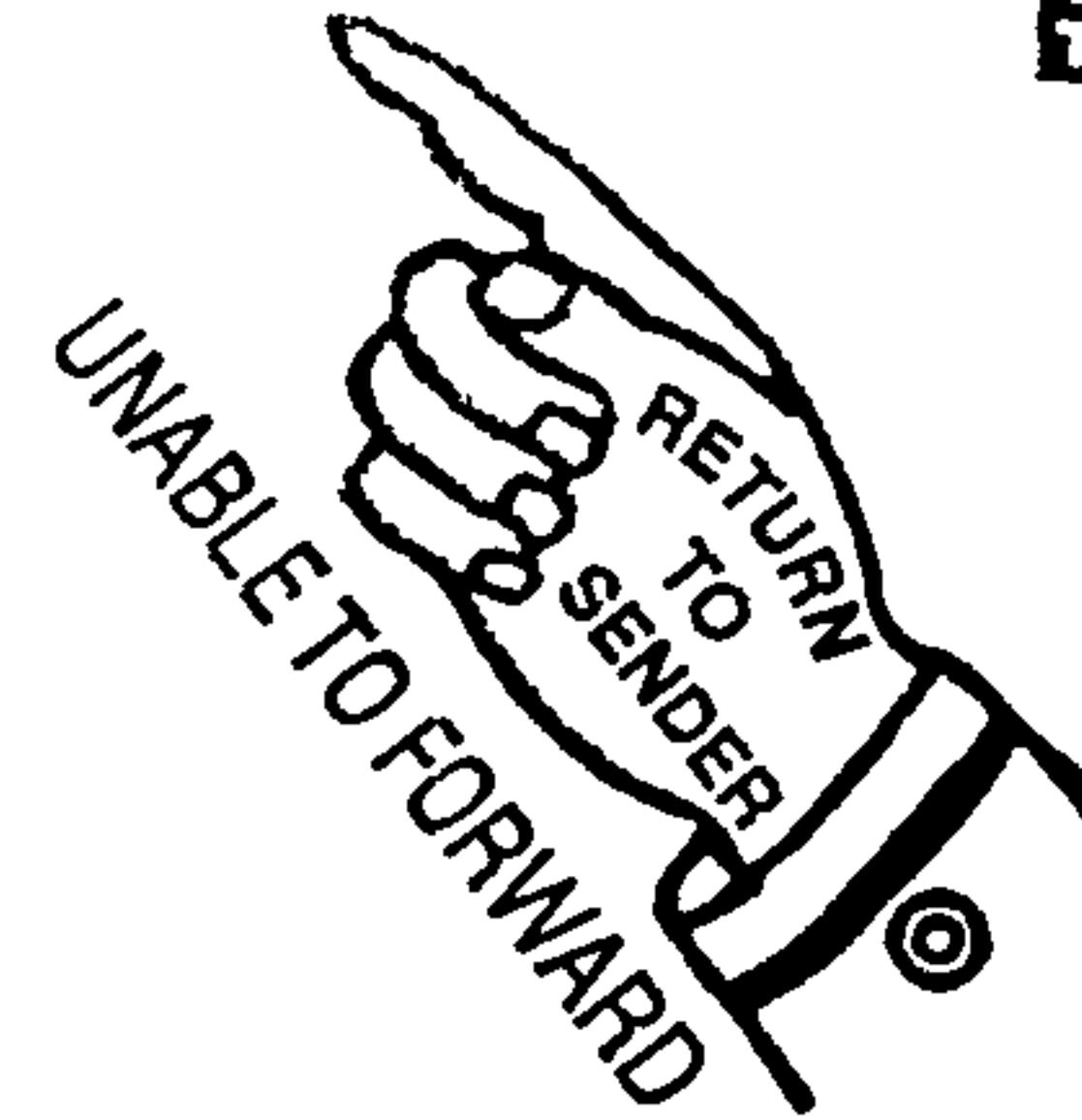


Planning Department



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ALBUQUERQUE, NM 87109



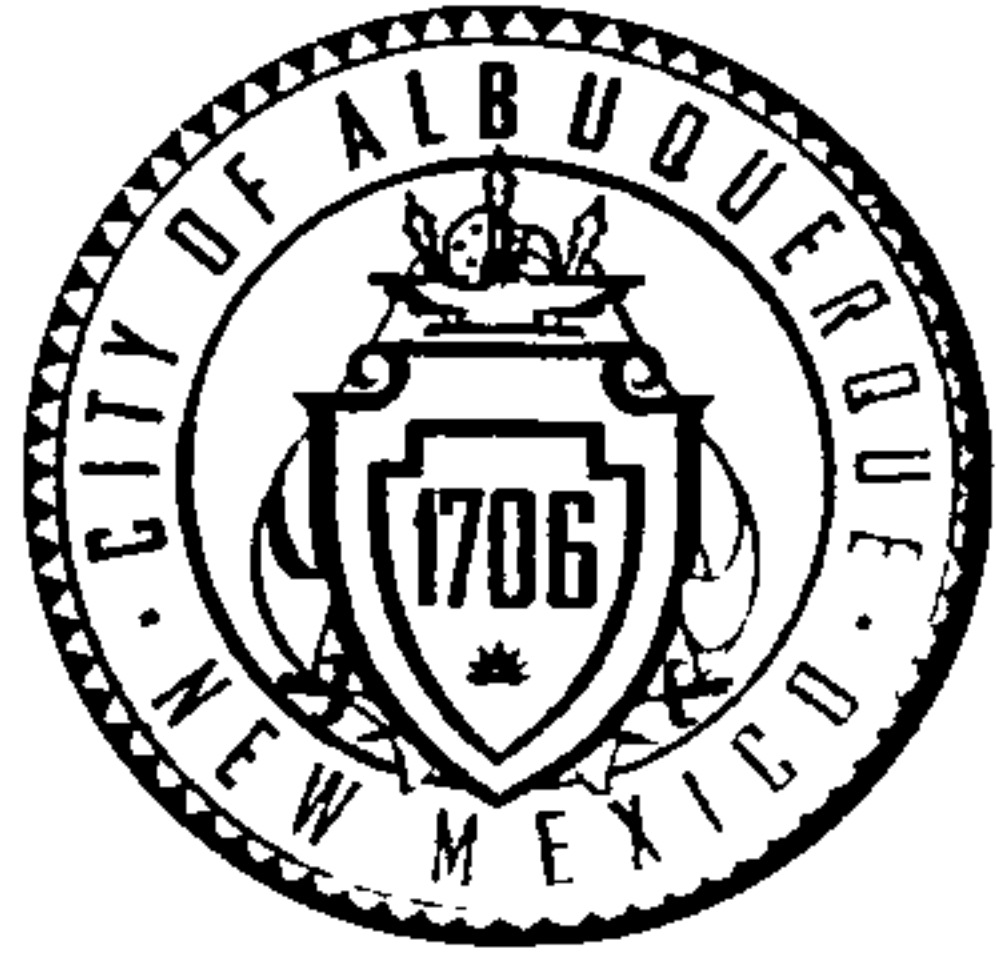
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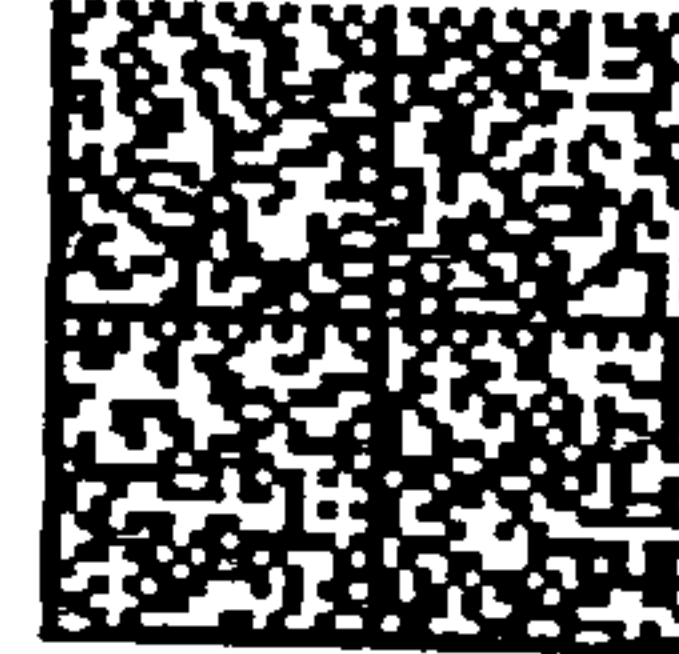



CITY OF ALBUQUERQUE



Planning Department

Project# 1003/94
100905705003530105
PETERSON PROPERTIES
INVESTMENTS LLC
1213 SAN PEDRO DR NE
ALBUQUERQUE, NM 87110



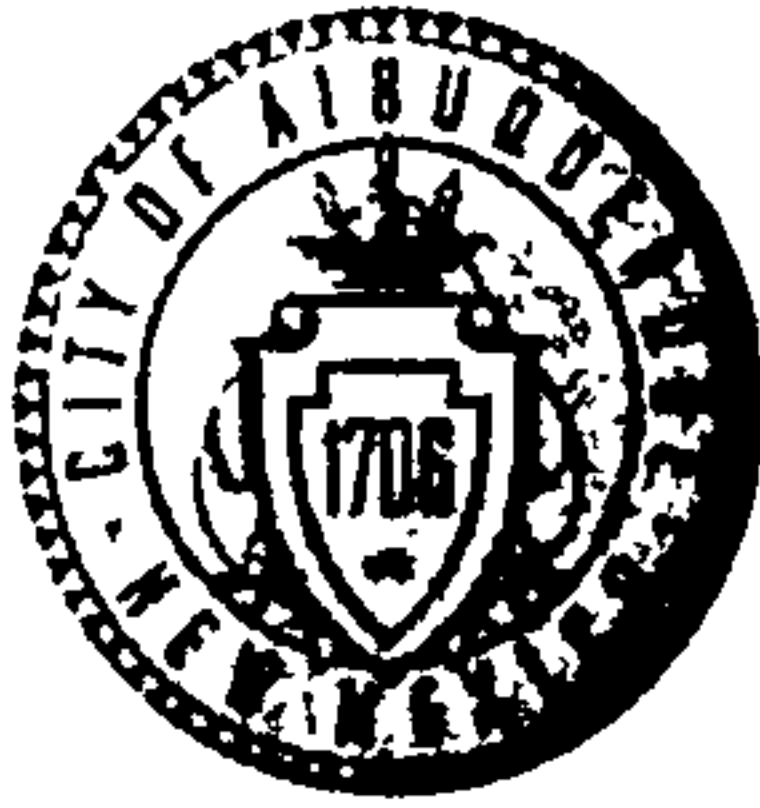
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Jack Cloud, AICP, DRB Chair
Development Review Board

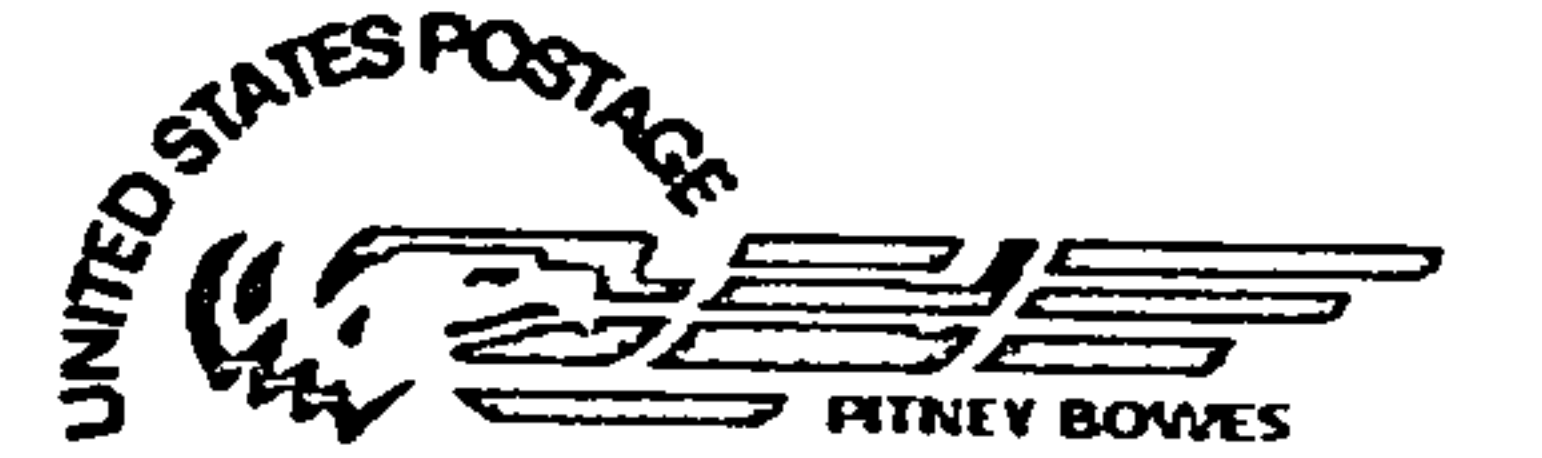
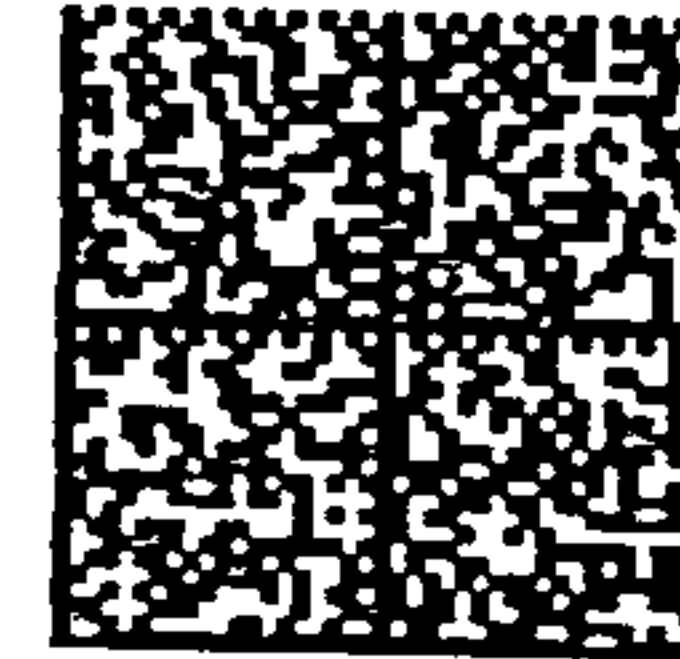
TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JUNE 2, 2008.

CITY OF ALBUQUERQUE



Planning Department

Project# 1003/94
100905705003530105
PETERSON PROPERTIES
INVESTMENTS LLC
1213 SAN PEDRO DR NE
ALBUQUERQUE, NM 87110



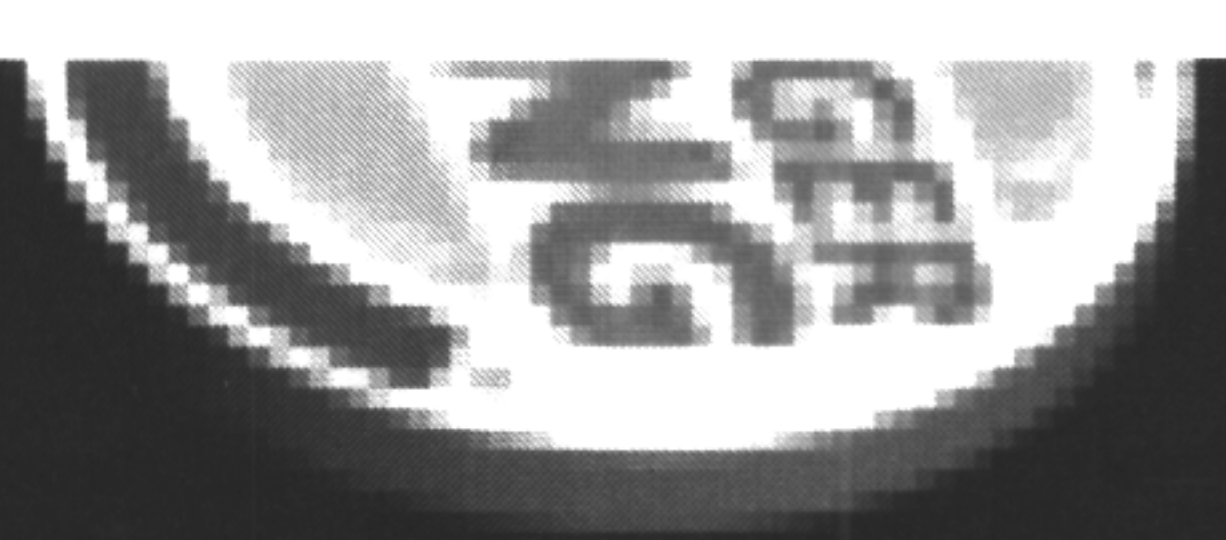
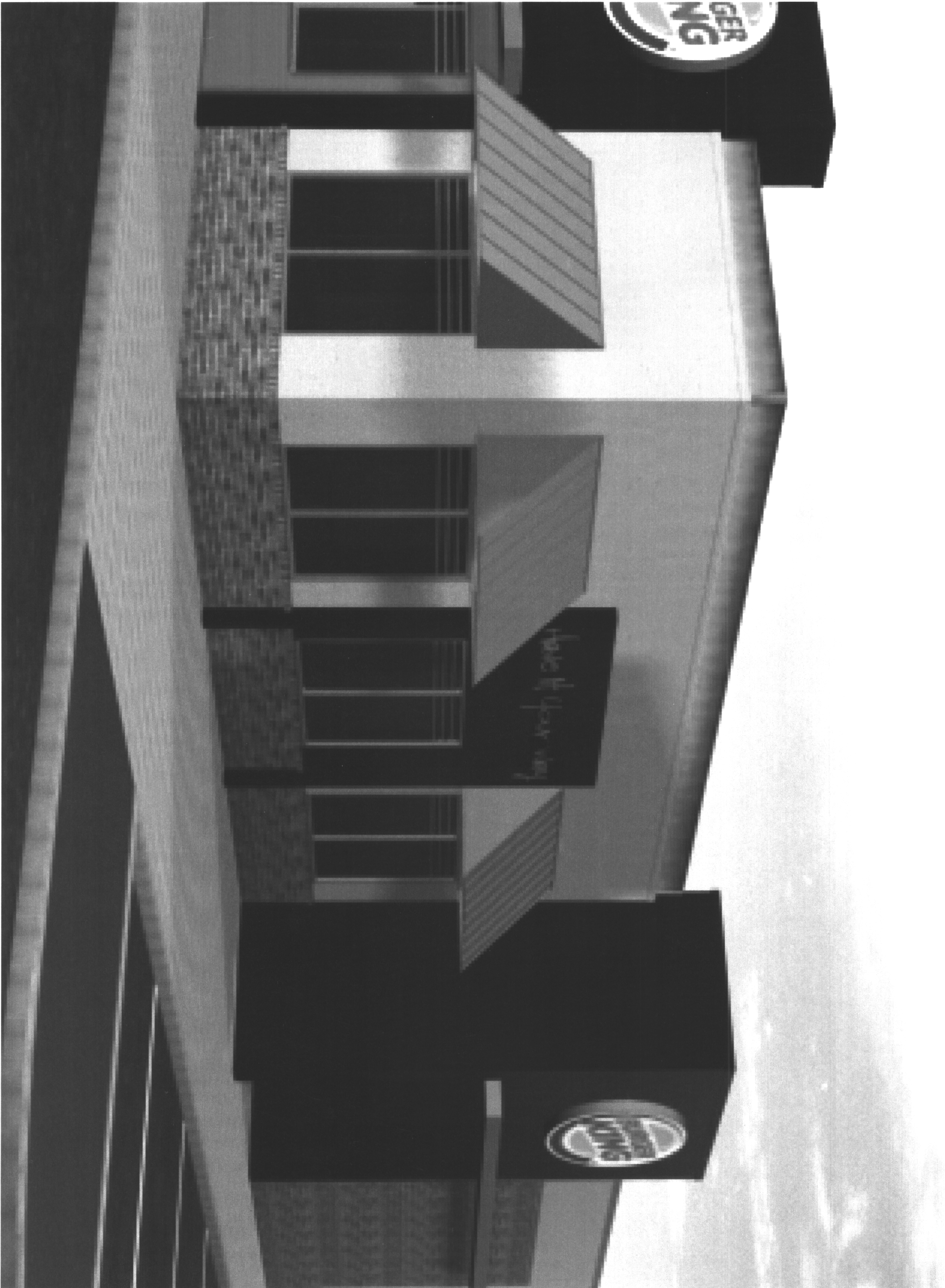
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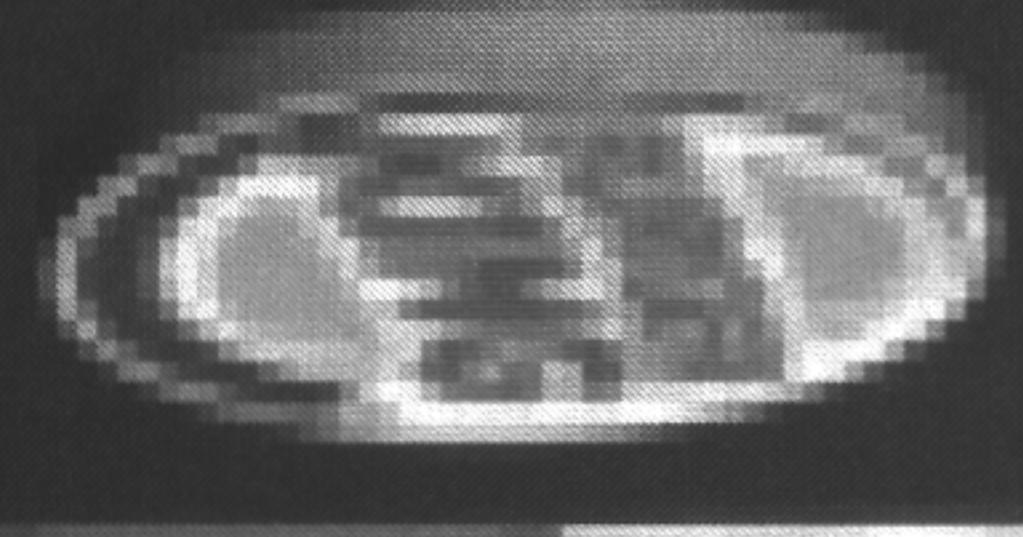
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Have it your way





Item# 2
Project# 1003794
Hearing Date: July 9, 2008

CENTRAL AV W + 98TH

CENTRAL

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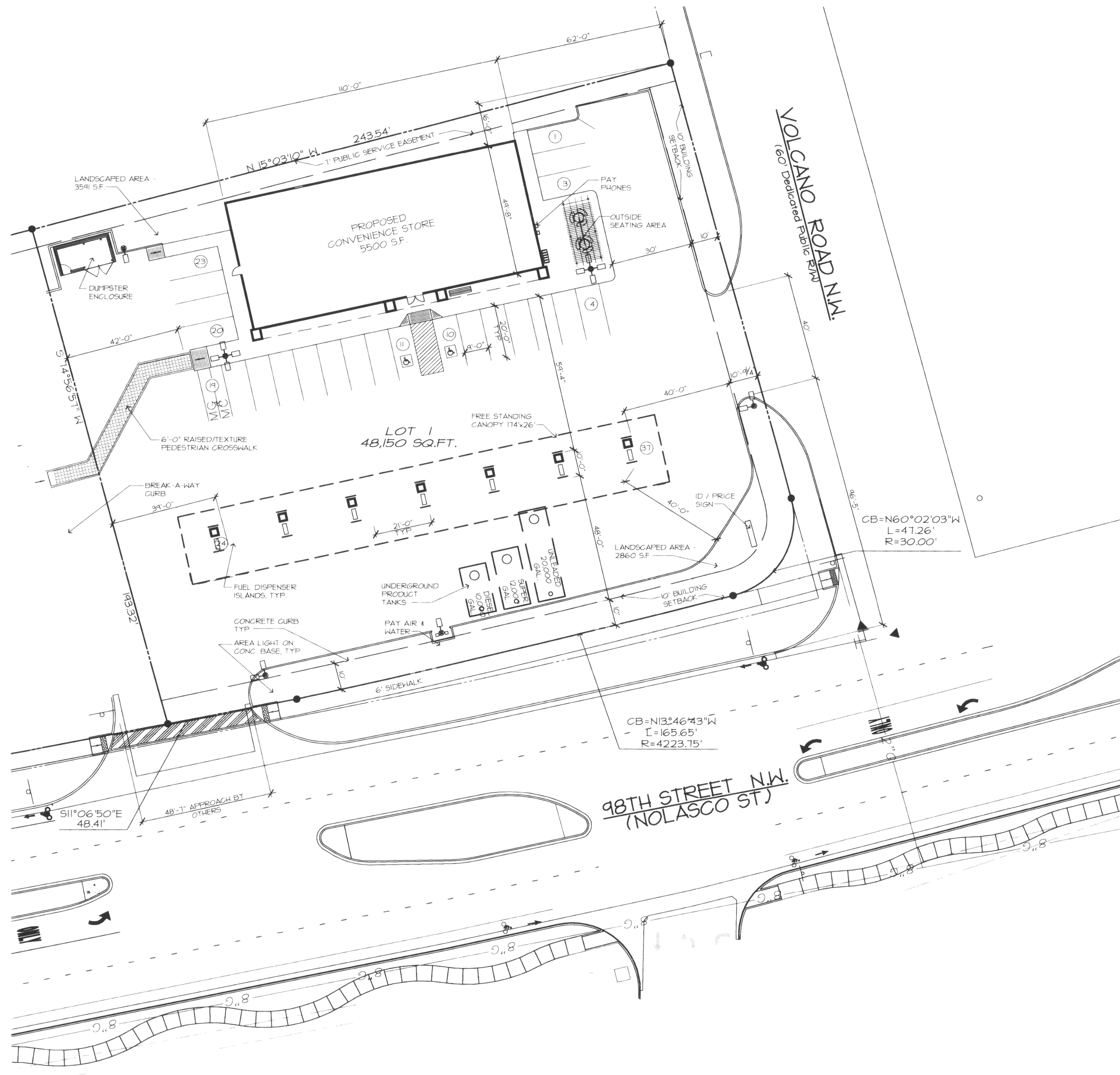
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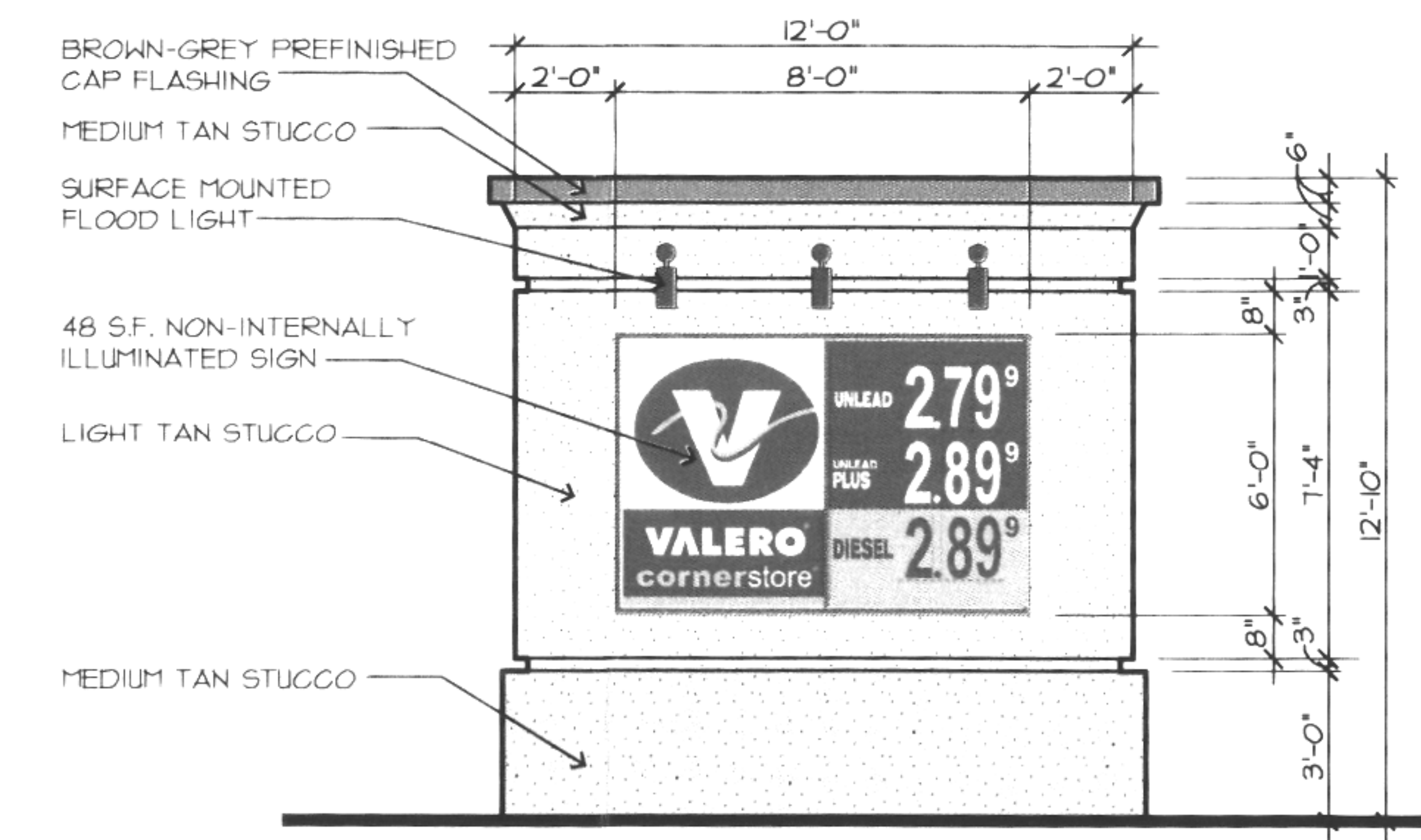
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Site Plan



ID / PRICE SIGN ELEVATION
SCALE = 1/4" = 1'-0"

Valero Corner Store #1243
98th St. N.W. & Volcano Rd. N.W.
Albuquerque, New Mexico



Valero Retail Holdings, Inc.

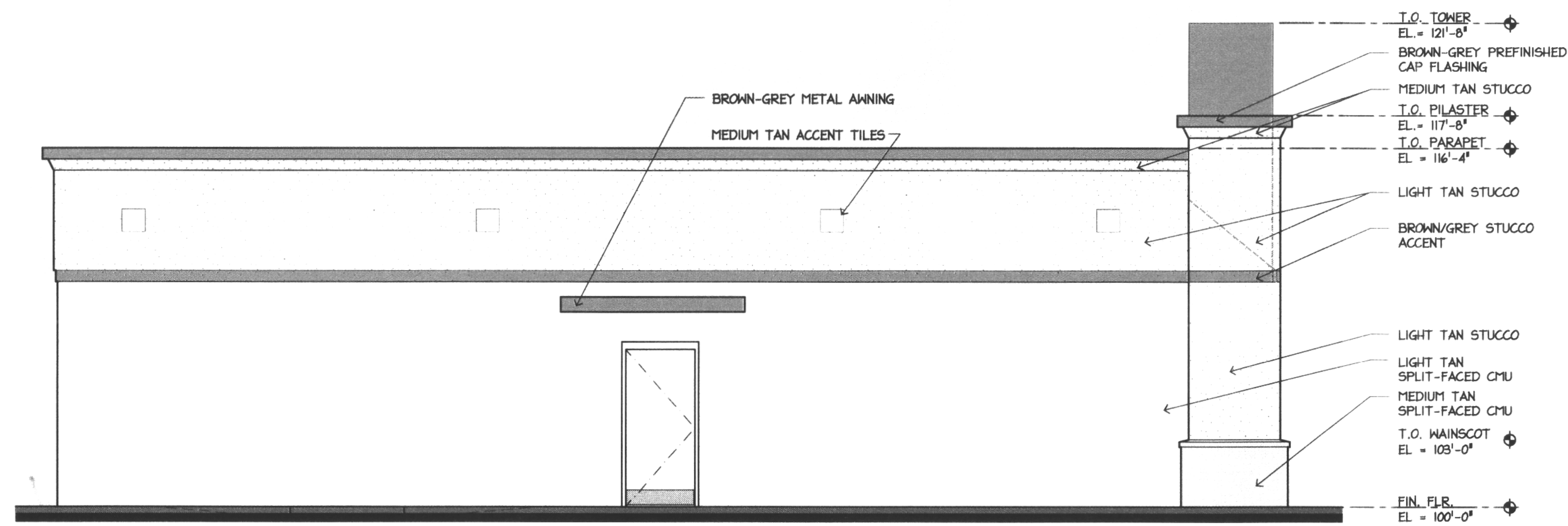
One Valero Way

San Antonio, TX 78249-1616





East C-Store Elevation



South C-Store Elevation

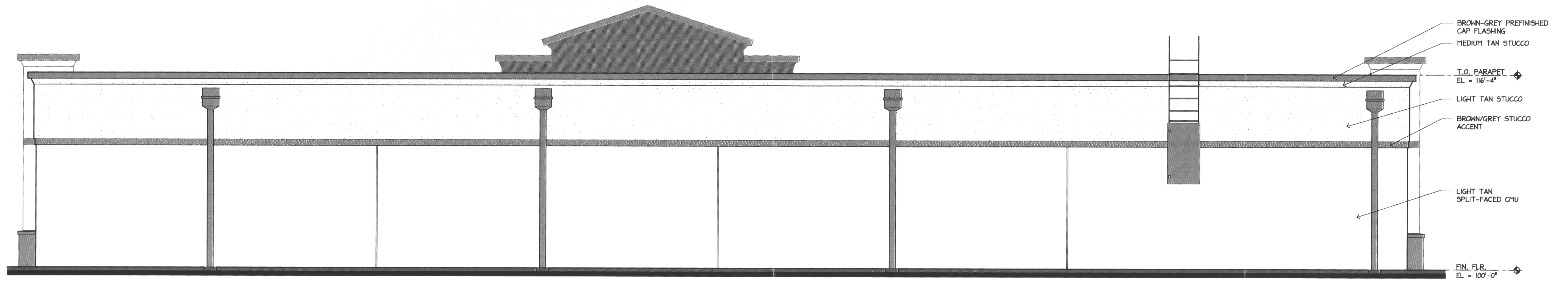
Valero Corner Store #1243
 98th St. N.W. & Volcano Rd. N.W.
 Albuquerque, New Mexico
 August 21, 2007



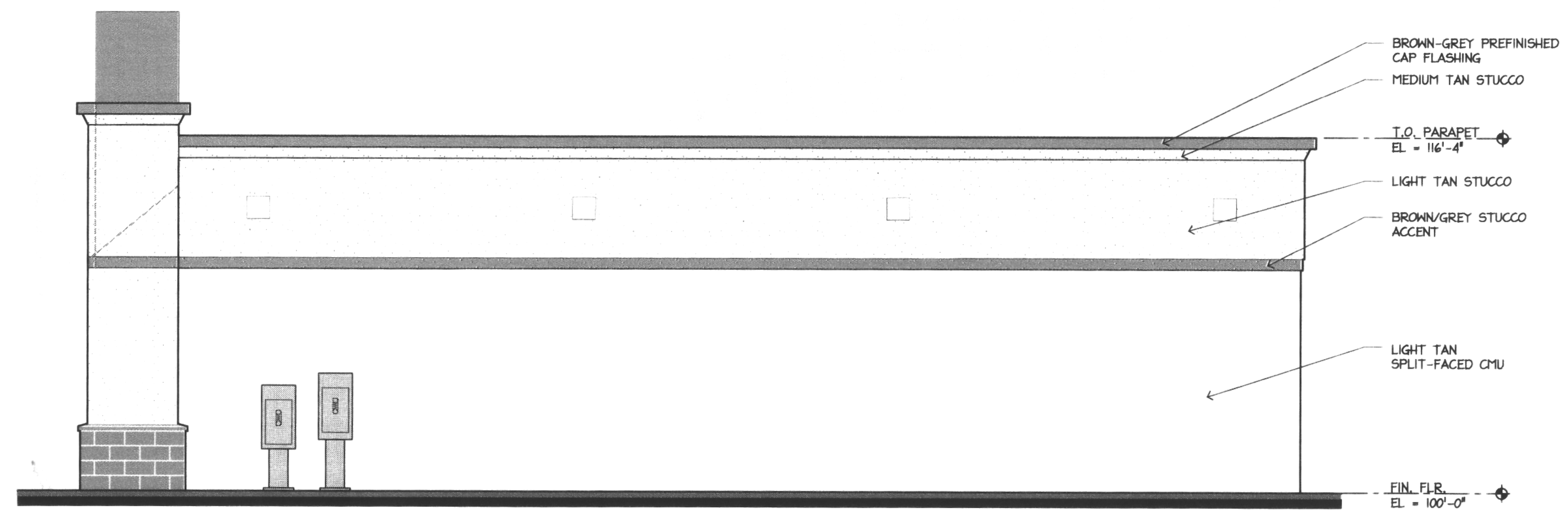
Valero Retail Holdings, Inc.

One Valero Way

San Antonio, TX 78249-1616



West C-Store Elevation



North C-Store Elevation

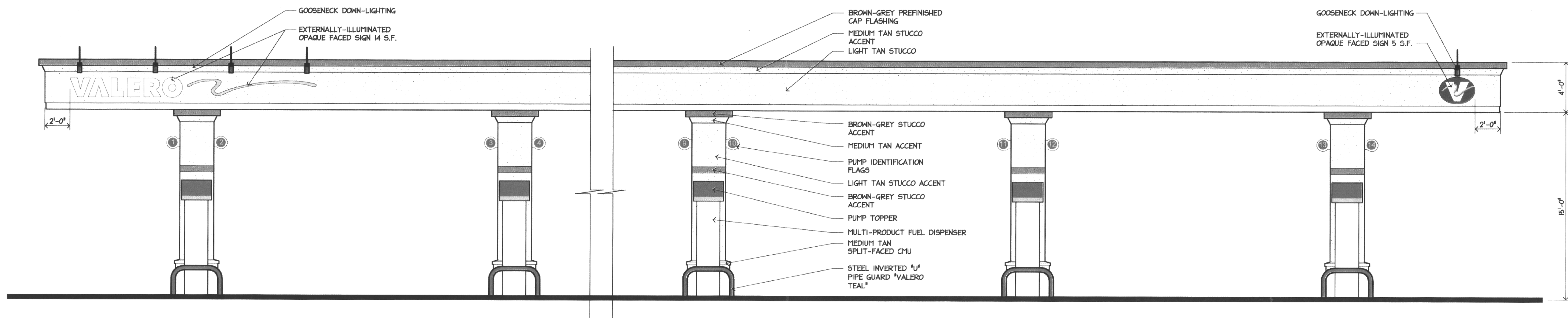
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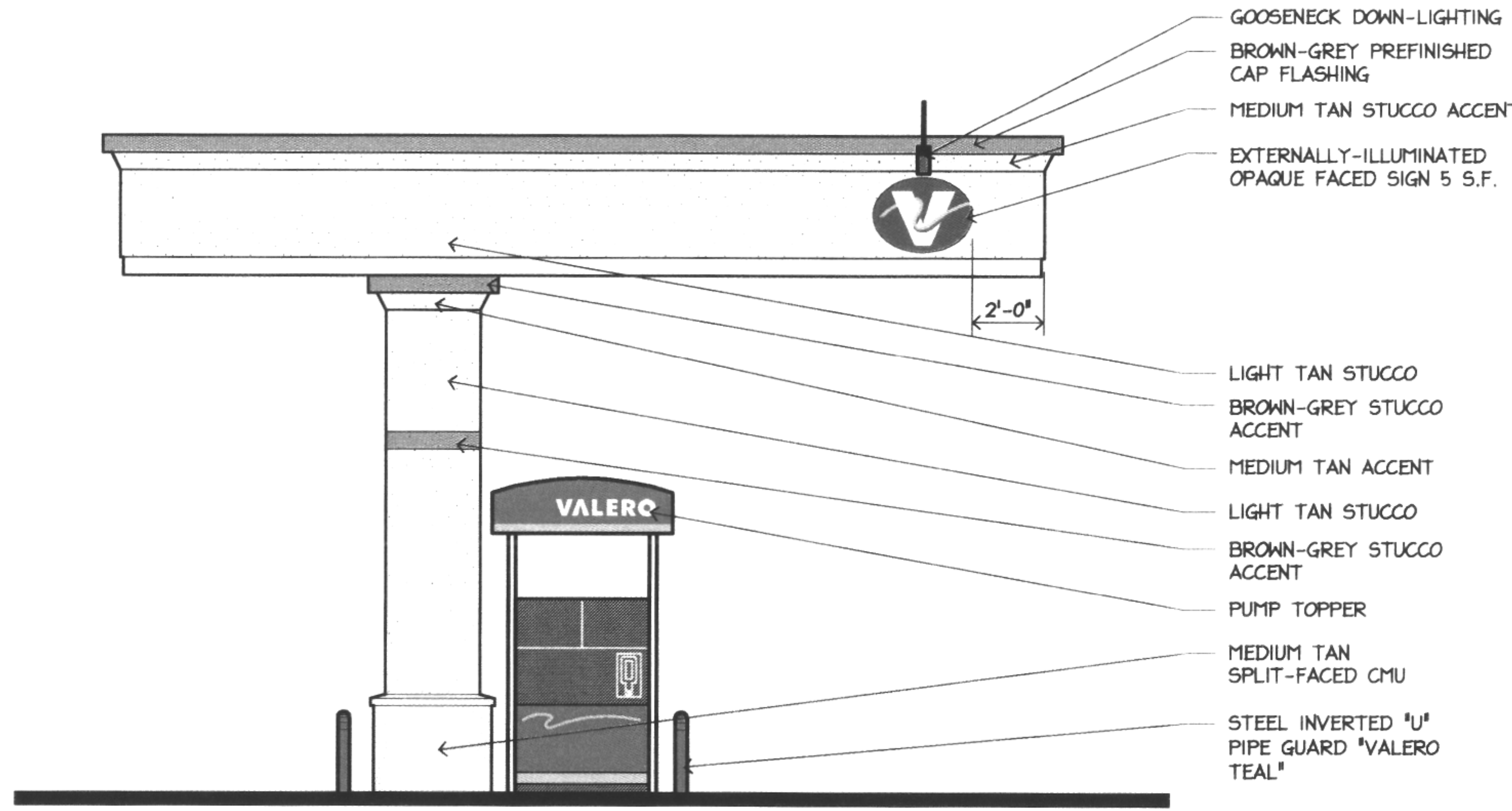
Valero Retail Holdings, Inc.

One Valero Way

San Antonio, TX 78249-1616



East Canopy Elevation



South Canopy Elevation

Valero Corner Store #1243
 98th St. N.W. & Volcano Rd. N.W.
 Albuquerque, New Mexico
 August 21, 2007



Valero Retail Holdings, Inc.

One Valero Way

San Antonio, TX 78249-1616