



COMPLETED 05/21/08 SH
DRB CASE ACTION LOG (EPC SDP – BUILDING P.)
 REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 08DRB-70227

Project # 1003801

Project Name: ALTURA ADDITION

Agent: DAC ENTERPRISES INC.

Phone No.: 294-5243

Your request was approved on 5.21.08 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

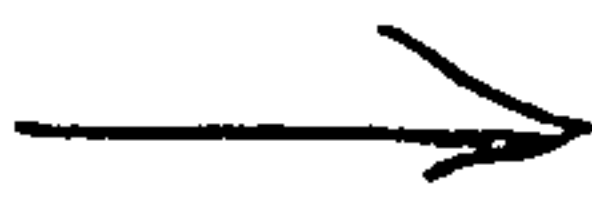
UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

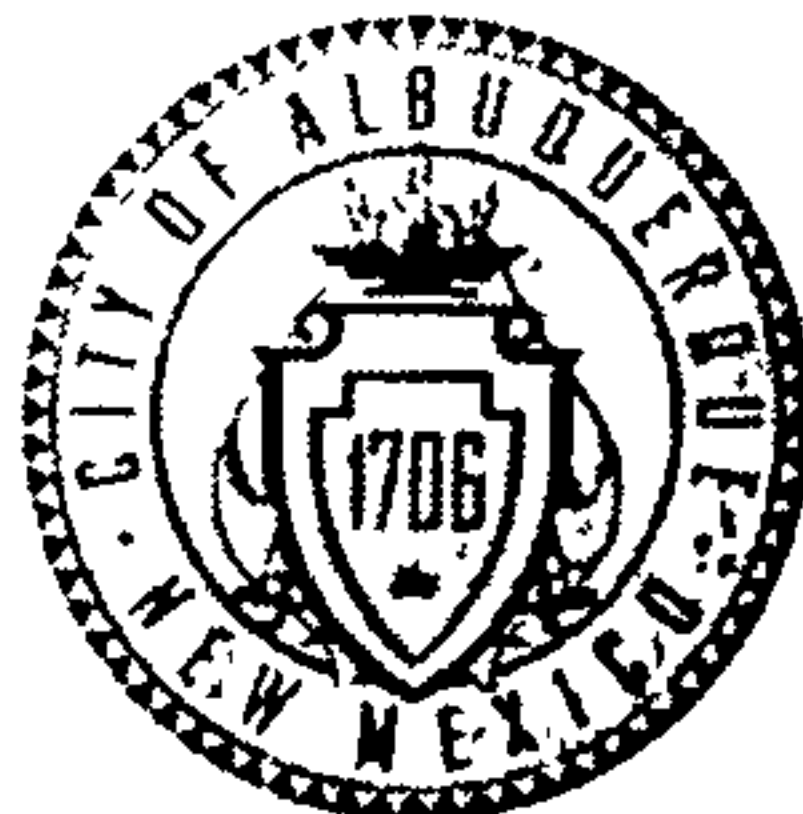
PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
- The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**



Created On:



**DEVELOPMENT REVIEW BOARD
Action Sheet**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building
May 21, 2008**

MEMBERS:

Jack Cloud, AICP, DRB Chairman, Planning Department

Angela Gomez, Administrative Assistant

Kristal Metro, P.E., Transportation Development

Brad Bingham, P.E., Hydrology/ Alternate City Engineer

Roger Green, P.E., Albuquerque/ Bernalillo Co. WUA

Christina Sandoval, Parks/Municipal Development

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. Project# 1007258
08DRB-70200 – SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT**

RICK BENNETT ARCHITECTS agent(s) for RIO GRANDE PROPERTIES LLC request(s) the above action(s) for all or a portion of Lot(s) 7A, JOURNAL CENTER PHASE 2, UNIT 1, zoned IP, located at the southern terminus of HANCOCK CT NW south of WOLCOTT AVE NW containing approximately 0.5 acre(s). (D-17) THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR JOURNAL CENTER ARCHITECTURAL COMMENTS APPROVAL AND TO TRANSPORTATION FOR WRITTEN COMMENTS.

- 2. Project# 1007259
08DRB-70201 – SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT**

PETER BUTTERFIELD, ARCHITECT agent(s) for ALAMEDA PARTNERS, LLC request(s) the above action(s) for all or a portion of Lot 1, ALAMEDA BUSINESS PARK, zoned SU-2 IP-EP, located on the southwest corner of ALAMEDA PARK DR NW AND ALAMEDA RD NW containing approximately 2.2014 acre(s). (C-16) THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION FOR COMMENTS. 3 COPIES OF APPROVED SITE PLAN MUST BE PROVIDED TO PLANNING.

3. **Project# 1005540**
 08DRB-70187 VACATION OF PUBLIC EASEMENT
 08DRB-70188 MAJOR - PRELIMINARY PLAT APPROVAL
 08DRB-70189 - TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION
- WILSON & COMPANY agent(s) for LEGACY SUSTAINABLE DEVELOPMENT, INC. request(s) the above action(s) for all or a portion of Tract(s) D & E, **LA CUENTISTA SUBDIVISION**, zoned SU-2 (VOLCANO HEIGHTS SECTOR PLAN), located on the east side of KIMMICK DR NW BETWEEN FIRE THORN LN NW AND ROSA PARKS RD NW containing approximately 91.037 acre(s). (C-11, D-11)[*Deferred from 5/14/08*] **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. WITH AN APPROVED GRADING AND DRAINAGE PLAN ENGINEER STAMP DATED 4/18/08 THE PRELIMINARY PLAT WAS APPROVED. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT 'C' IN THE PLANNING FILE.**
4. **Project# 1006822**
 08DRB-70146 VACATION OF PUBLIC RIGHT-OF-WAY
 08DRB-70147 MINOR - PRELIMINARY/FINAL PLAT APPROVAL
- SURVEYS SOUTHWEST LTD agent(s) for 2000 GOLD AVE LLC PHILLIP RABY PRINCIPAL request(s) the above action(s) for all or a portion of Lot(s) 1&2, Block(s) 76, **TERRACE ADDITION, TOGETHER WITH VACATED PORTIONS OF TERRACE ST GOLD AV & BUENA VISTA DR**, zoned SU-2 / PR, located on GOLD AV SE BETWEEN TERRACE ST SE AND BUENA VISTA DR SE containing approximately 0.411 acre(s). (R-15) [*Deferred from 4/16/08 & 4/30/08.*] **DEFERRED TO 6/4/08 AT THE AGENT'S REQUEST.**
5. **Project# 1001275**
 08DRB-70192 MAJOR - 2YR EXTENSION OF SUBDIVISION IMPROVEMENTS
- CONSENSUS PLANNING INC agent(s) for TEAM RETAIL COTTONWOOD, LTD request(s) the above action(s) for all or a portion of Lot(s) 1, **LOWES SUBDIVISION**, zoned SU-1/C-2/IP/R-3, located on the north side of OLD AIRPORT AVE NW BETWEEN COTTONWOOD DR NW AND COORS BLVD NW containing approximately 8.13 acre(s). (A-14) **THE TWO YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED**

6. **Project# 1000572**
08DRB-70197 VACATION OF PUBLIC
EASEMENT

SURV-TEK INC agent(s) for MW DEVELOPMENT, LLC request(s) the above action(s) for all or a portion of Tract(s) B, **THE PRESIDIO (TBK COPPER POINTE SUBDIVISION)** zoned SU-1 FOR PRB, located on COPPER AVE NE BETWEEN EUBANK BLVD NE AND MORRIS ST NE containing approximately 18.9993 acre(s). (K-21) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.**

08DRB-70212 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
08DRB-70226 EPC APPROVED SDP
FOR SUBDIVISION

CONSENSUS PLANNING agent(s) for NW DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) B-1, B-2, B-3, B-4 & B-5, **THE PRESIDIO** zoned SU-1 FOR IP, located on COPPER AVE NE BETWEEN EUBANK BLVD NE AND MORRIS ST NE containing approximately 19 acre(s). (K-21) **DEFERRED TO 5/25/08 AT THE AGENT'S REQUEST.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

7. **Project# 1004221**
08DRB-70228 EPC APPROVED SDP
FOR BUILD PERMIT

CONSENSUS PLANNING agent(s) for KENNY HINKES request(s) the above action(s) for all or a portion of Lot(s) D-3, **ACADEMY PLACE SUBDIVISION** zoned SU-1 FOR INSTITUTION, located on JUAN TABO BLVD NE BETWEEN SPAIN RD NE AND OSUNA RD NE containing approximately 1.0842 acre(s). (F-21) [*Planner – Randall Falkner*] **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION FOR REVISED PLAN PER COMMENTS, AND TO ABCWUA FOR REVISED UTILITY PLAN.**

8. **Project# 1000771**
08DRB-70218 AMENDED EPC SDP
FOR SUBDIVISION

DEKKER/PERICH/SABATINI agent(s) for H.R. RENTAL PROPERTIES, INC request(s) the above action(s) for all or a portion of Tract(s) C, **COTTONWOOD POINTE** zoned SU-1, R-2, C-2, IP USES, located on EAGLE RANCH RD AND IRVING BLVD containing approximately 6.76 acre(s). (B-13) **THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED. 3 COPIES OF APPROVED SITE PLAN MUST BE PROVIDED TO PLANNING.**

9. **Project# 1003125**
08DRB-70183 MINOR - SDP FOR
BUILDING PERMIT

MOLZEN-CORBIN & ASSOCIATES agent(s) for TRI MOTOR LLC request(s) the above action(s) for all or a portion of Tract(s) S-1, **AEROSPACE TECHNOLOGY PARK IN DOUBLE EAGLE II AIRPORT**, zoned SU-1 FOR AIRPORT & REL FAC, located on AEROSPACE PARKWAY NW BETWEEN SHOOTING RANGE PARK RD NW AND AREOSPACE PARKWAY NW containing approximately 2 acre(s). (G-6) [*Deferred from 4/30/08 & 5/7/08*] **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION FOR WRITTEN COMMENTS AND TO ABCWUA FOR REVISED UTILITY PLAN. 3 COPIES OF SITE PLAN MUST BE PROVIDED TO PLANNING.**

10. **Project# ~~1003801~~**
08DRB-70227 EPC APPROVED SDP
FOR BUILD PERMIT

DAC ENTERPRISES, INC agent(s) for DOUG PETERSON request(s) the above action(s) for all or a portion of Lot(s) 28-A, Block(s) A, **ALTURA ADDITION** zoned SU-1 FOR C-1 W/ EXCEPTIONS, located on CARLISLE BLVD NE BETWEEN INDIAN SCHOOL RD NE AND HANNETT AVE NE containing approximately 1 acre(s). (J-16) [*Planner – Jennifer Donofrio*] **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED. 3 COPIES OF APPROVED SITE PLAN MUST BE PROVIDED TO PLANNING**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project# 1005073**
08DRB-70217 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

ALEJANDRO GONZALES-BASURTO agent(s) for GABRIEL & ARLENE GONZALES-BASURTO request(s) the above action(s) for all or a portion of Lot(s) 1-3, Block(s) 2, **ROSEMONT PARK ADDITION** zoned SR, located on 12TH ST NW BETWEEN ROSEMONT AVE NW AND ARIAS AV NW containing approximately .48 acre(s). (J-13) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR DEED DOCUMENT WEST OF 1- 40 BEFORE 1973. SHOW SETBACK FROM NEW PROPERTY LINE.**

12. **Project# 1006571**
08DRB-70225 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

DOUG SMITH agent(s) for GEROGE EK request(s) the above action(s) for all or a portion of Tract(s) 309-B-2, **LANDS OF GEORGE R EK** zoned RA-2, located on MOUNTAIN RD NW BETWEEN MONTOYA RD NW AND LULAC AVE NW containing approximately .5326 acre(s). (J-12) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO INDICATE REVISED WATER AND SEWER EASEMENTS TO DISCLOSURE STATEMENT.**

13. **Project# 1006868**
08DRB-70220 MAJOR - FINAL PLAT APPROVAL
- TIERRA WEST LLC agent(s) for PACIFIC PASEO DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Lot(s) 1-A, Block(s) 35, **NORTH ALBUQUERQUE ACRES / TBK LOTS 1-4, DEL NORTE PLAZA Unit(s) B**, zoned SU-2 FOR IP USES, located on HOLLY AVE NE BETWEEN SAN PEDRO DR NE AND LOUISIANA BLVD NE containing approximately 7.4007 acre(s). (C-18) **THE FINAL PLAT WAS APROVED. A COPY OF THE RECORDED PLAT MUST BE PROVIDED TO PLANNING.**
14. **Project# 1006939**
08DRB-70078 MINOR - FINAL PLAT APPROVAL
- WAYJOHN SURVEYING INC agent(s) for E&J INVESTMENTS LLC request(s) the above action(s) for all or a portion of Tract(s) 1, **BRUNACINI INDUSTRIAL PARK Unit 3**, zoned M-1, located on PHOENIX AVE NE BETWEEN VASSAR DR NE AND GIRARD BLVD NE containing approximately 1.9085 acre(s). (H-16) [*Deferred from 2/27/08, 3/5/08 & 3/12/08*] **THE FINAL PLAT WAS APROVED. A COPY OF THE RECORDED PLAT MUST BE PROVIDED TO PLANNING.**
15. **Project # 1002455**
07DRB-70004 VACATION OF PRIVATE EASEMENT
07DRB-70005 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- RIO GRANDE SURVEYING CO. agent(s) for SAN ANTONIO PROPERTIES LLC request(s) the above action(s) for all or a portion of Lot(s) 3-7, **JJ SUBDIVISION**, zoned SU-1 for C-1 USES, located on SAN ANTONIO NE between INTERSTATE 25 NE and FOREST HILLS NE containing approximately 6.5044 acre(s). [*Indef deferred from 5/30/07*] (E-18) **DEFERRED TO 5/28/08 AT THE AGENT'S REQUEST.**
16. **Project# 1007214**
08DRB-70169 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- SURVEYS SOUTHWEST LTD agent(s) for KENDALL SYKES C/O: TERRY SYKES request(s) the above action(s) for all or a portion of Lot(s) L-4, **COLES INDUSTRIAL SUBD., #2** zoned M-1, located on STANFORD DR NE BETWEEN CANDELARIA RD NE AND VASSAR NE containing approximately 0.267 acre(s). (H-16) [*Deferred from 4/16/08, 4/30/08 & 5/14/08*]. **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

17. **Project# 1006749**
08DRB-70216 SKETCH PLAT REVIEW
AND COMMENT

BRUNO MOROSIN agent(s) for BRUNO MOROSIN request(s) the above action(s) for all or a portion of Lot(s) 24, Block(s) 13, **FOUR HILLS VILLAGE ADDITION** zoned R-1, located on HIDEAWAY LN SE AND STAGE COACH containing approximately 1.706 acre(s). (M-23)**THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. Approval of the Development Review Board Minutes for March 5, 2008.

Other Matters: None

ADJOURNED: 11:20

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003801

AGENDA ITEM NO: 10

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:0 APP:(x) SIGN-OFF:0 EXTN:0 AMEND:0

PO Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

NM 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

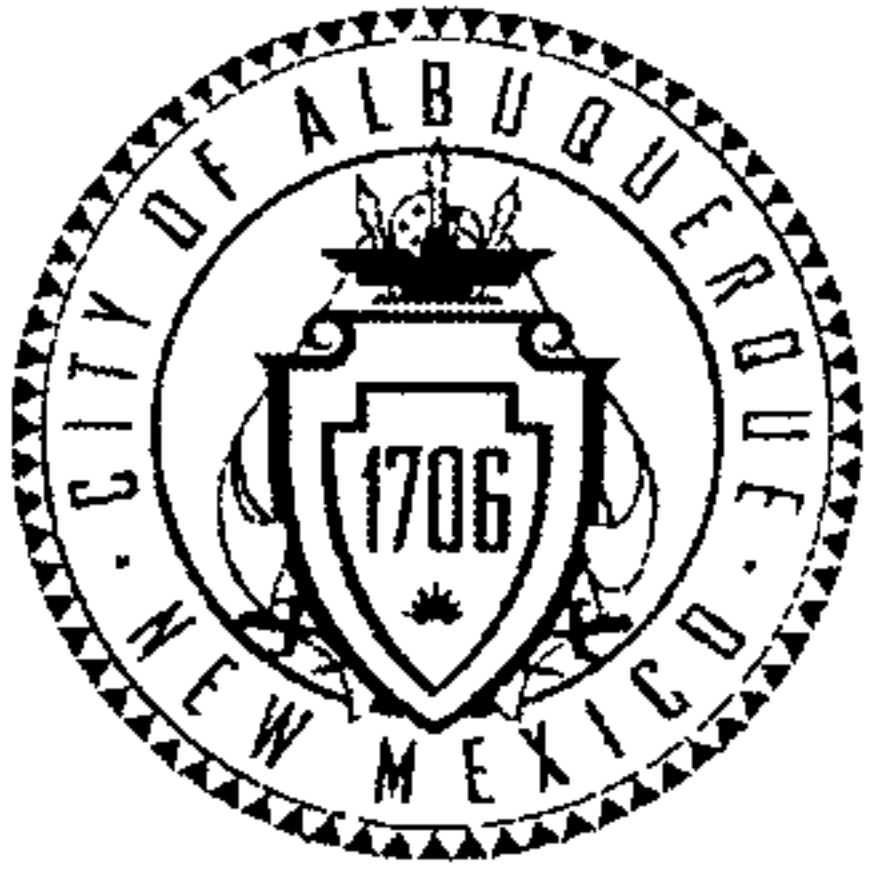
SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR: _____

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: May 21, 2008



**City of Albuquerque
Planning Department
Interoffice Memo**

Date: 19 May 2008

To: Jack Cloud, DRB Chair

From: Russell Brito, Dev. Rvw. Div. Mngr.

RE: Project # 1003801

The applicant's agent met with EPC staff to review the site development plan and the EPC conditions of approval. The current DRB submittal appears to meet all EPC conditions of approval.

Please ensure that the elements of Conditions #3 and #4 are met to the satisfaction of the City Engineer and Solid Waste Department, respectively.



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

March 14, 2007

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 10:50 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000376**
07DRB-00190 Major-One Year SIA

TIERRA WEST LLC agent(s) for BUILDERS INVESTMENTS CO. OF NEW MEXICO LTD request(s) the above action(s) for Lot(s) 1-117, Unit 1 & Lot(s) 1-35, Unit 2, **PARADISE SKIES, UNITS 1 & 2**, zoned RT, located on BANDELIER DR NW, between MCMAHON BLVD NW and UNSER BLVD NW containing approximately 23 acre(s). [REF: 03DRB-00188, 06DRB-00359] (A-11) **ONE YEAR SIA WAS APPROVED.**

2. **Project # 1002739**
07DRB-00172 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES agent(s) for KB HOME NEW MEXICO INC request(s) the above action(s) for all or a portion of Tract(s) B-1, Parcel 2-D, LANDS OF RIO BRAVO ROSNER (to be known as **ANDERSON HEIGHTS, UNIT 1**) zoned RD/R-LT, located on 118TH ST SW, between GIBSON BLVD SW and DENNIS CHAVEZ BLVD SW containing approximately 248 acre(s). (N-8/P-8) **TWO YEAR SIA WAS APPROVED.**

3. **Project # 1000965**
07DRB-00192 Major-One Year SIA

BOHANNAN HUSTON INC. agent(s) for ANDALUCIA DEVELOPMENT CO., INC. request(s) the above action(s) for TRACTS B & 2, LANDS OF RAY GRAHAM III (to be known as **VALLE PARAISO SUBDIVISION @ ANDALUCIA @ LA LUZ**) zoned SU-1 PRD (5DU/AC), located on COORS BLVD NW, between NAMASTE RD NW and LA BIENVENIDA PL NW containing approximately 33 acre(s). [REF: 05DRB-00270] (F-11) **ONE YEAR SIA WAS APPROVED.**

4. **Project # 1002330**
07DRB-00195 Major-Two Year SIA

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for JENNIFER LIN request(s) the above action(s) for all or a portion of Tract(s) G-2-A & G-2-B, **MONTGOMERY COMPLEX**, zoned SU-1 FOR C-2 USES, located on MONTGOMERY BLVD NE, between CARLISLE BLVD NE and I-25 containing approximately 5 acre(s). [REF: 03DRB-00401, 03DRB-00402, 03DRB-00347][*Deferred from 3/14/07*] (F-16) **DEFERRED AT THE AGENT'S REQUEST TO 3/21/07.**

5. **Project # 1005387**
07DRB-00198 Major-Vacation of Pub
Right-of-Way

SURVEYS SOUTHWEST LTD, agent(s) for CENTURION PROPERTIES LLC, request(s) the above action for all or a portion of abutting Lot(s) 1-7 and 13-19, Block(s) 28, **NEW MEXICO COMPANY'S ORIGINAL TOWNSITE**, zoned SU-3, located on 7TH St SW between Gold Ave SW and Silver Ave SW. (K-14) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A CONDITION OF FINAL PLAT: SANITARY SEWER EASEMENT IS RETAINED.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

6. **Project # 1000624**
07DRB-00264 Minor-SiteDev Plan
BldPermit

DON DUDLEY, ARCHITECT agent(s) for RIO GRANDE PROPERTIES, KEITH CHESHIRE request(s) the above action(s) for all or any portion of Lot(s) 30 & 31, Block(s) 0000, **ALAMEDA BUSINESS PARK**, zoned SU-2 IP-EP located at the intersection of ALAMEDA PARK DR NE and PASEO ALAMEDA NE containing approximately 2 acre(s). (C-16) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR STANDARD DRAWING NOTES AND PLANNING FOR 3 COPIES AND TO RECORD THE PLAT.**

7. **Project # 1005348**
07DRB-00270 Minor-SiteDev Plan
BldPermit

CLAUDIO VIGIL ARCHITECTS agent(s) for SOLEDAD DEVELOPMENT GROUP LLC request(s) the above action(s) for all or any portion of Tract(s) 9, **LADERA BUSINESS PARK, UNIT 1**, zoned SU-1 FOR LIGHT INDUSTRIAL located on LA MORADA PL NW, between 98TH ST NW and UNSER BLVD NW containing approximately 7 acre(s). [This case heard under Project #1005416 in error] (H-10) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR COMMENTS THAT WERE PROVIDED ON 3/14/07 AND PLANNING FOR 3 COPIES OF THE SITE PLAN.**

8. **Project # 1001523**
07DRB-00208 Minor-Amnd SiteDev Plan
Subd
07DRB-00207 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for ROBBY L ROBERSON request(s) the above action(s) for all or a portion of Tract(s) 20-23, **LADERA BUSINESS PARK, UNIT 2**, zoned SU-1 FOR LIGHT INDUSTRIAL USES, located on UNSER BLVD NW, between VISTA ORIENTE ST NW and LA MORADA PL NW containing approximately 5 acre(s). [REF: 02DRB00518] [*Deferred from 2/28/07*] (H-9) **THE AMENDED SITE PLAN FOR SUBDIVISION WAS WITHDRAWN AT THE AGENT'S REQUEST. THE PRELIMINARY AND FINAL PLAT WAS INDEFINITELY DEFERRED.**

9. **Project # 1003794**
07DRB-00181 Minor-SiteDev Plan
Subd/EPC
07DRB-00182 Minor-SiteDev Plan Bldg
Permit/EPC
07DRB-00183 Minor-Prelim&Final Plat
Approval

PETERSON - 98TH CENTRAL LLC request(s) the above action(s) for all or a portion of Tract(s) 1-A, ROW 1, UNIT A, WEST OF WESTLAND (to be known as **VOLCANO POINT SHOPPING CENTER**) zoned SU-2 PCA, located on 98th ST NW, between CENTRAL AVE NW and VOLCANO RD NW containing approximately 5 acre(s). [REF: 06EPC-01587] [**Maggie Gould, EPC Case Planner**] [*Deferred from 2/21/07 & 3/07 07*] (K-9) **THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR 3 COPIES. THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR 3 COPIES. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATE 3/14/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 2/12/07 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

10. Project # 1003801

07DRB-00222 Minor-SiteDev Plan
BldPermit/EPC

CARLISLE SHOPS LLC request(s) the above action(s) for all or any portion of Lot(s) 28A, Block(s) A, **ALTURA ADDITION**, zoned SU-1 FOR C-1 WITH EXCLUSIONS located on CARLISLE BLVD NE between INDIAN SCHOOL RD NE and HANNETT AVE NE containing approximately 1 acre(s). [REF: 07EPC00012, 05EPC00745, 04EPC01821] [Anna DiMambro, EPC Case Planner] [Deferred from 3/07/07] (J-16) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR EPC CASE PLANNER'S INITIALS AND 3 COPIES OF THE SITE PLAN.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. Project # 1004073

07DRB-00275 Minor-Subd Design
(DPM) Variance

MARK GOODWIN & ASSOCIATES PA agent(s) for JTH LLC request(s) the above action(s) for all or any portion of Lot(s) 1, 2 and 15-18, Block(s) 21, **JUAN TABO HILLS, UNIT 1**, zoned R-D residential and related uses zone, developing area located on KELSO CT SE and EASY GOER RD SE, containing approximately 2 acre(s). [REF: 05DRB01854] [Deferred from 03/14/07] (M-21) **DEFERRED AT THE AGENT'S REQUEST TO 03/21/07.**

12. Project # 1005412

07DRB-00269 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for RON AKIN request(s) the above action(s) for all or any portion of Tract(s) 60-A-1, M.R.G.C.D. MAP 35, **LANDS OF AKIN**, zoned R-1 located on EL NIDO CT NW, between RIO GRANDE BLVD NW and the ALAMEDA DRAIN containing approximately 1 acre(s). (H-13) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO UTILITIES DEVELOPMENT FOR WATER AND SEWER ACCOUNTS AND TRANSPORTATION DEVELOPMENT FOR ACCESS EASEMENT TO TRACT A AND 3 FOOT PUBLIC ROADWAY EASEMENT ALONG RIO GRANDE BLVD NW.**

13. **Project # 1003673**
07DRB-00272 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for MOCK ASSOCIATES INC request(s) the above action(s) for all or any portion of Lot(s) 6-P1, **OAKLAND SOUTH**, zoned R-D, located on BLACK OAK CT NE , between BARSTOW ST NE and VENTURA ST NE and containing approximately 1 acre(s) (C-20) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR CERTIFICATION OF THE GRADING PLAN AND PLANNING TO RECORD.**

14. **Project # 1003121**
07DRB-00276 Minor-Prelim&Final Plat
Approval

STEWART INGHAM agent(s) for ZIA TRUST INC request(s) the above action(s) for all or any portion of Tract(s) 19, M.R.G.C.D. MAP 36 (to be known as **TRACTS A & B, LANDS OF ZIA TRUST**) zoned R-1 located on FORAKER NW between LOS TOMASES NW and 8TH ST NW containing approximately 1 acre(s). [REF: 07 DRB00135] (H-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO UTILITIES DEVELOPMENT TO ADD BENEFICIARY AND MAINTENANCE LANGUAGE FOR PRIVATE WATER AND SEWER SERVICE LINES AND ACCESS EASEMENT AND TO PLANNING FOR AGIS DXF FILE AND TO RECORD.**

15. **Project # 1005137**
07DRB-00205 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for FRANK VENAGLIA request(s) the above action(s) for all or a portion of Lot(s) 13-24 with vacated portion of Park Ave SW, Block(s) 21, **NEW MEXICO TOWN COMPANY'S ORIGINAL TOWNSITE**, zoned SU-3 SPECIAL CENTER ZONE, located on GOLD ST SW, between 7TH ST SW and 8TH ST SW containing approximately 1 acre(s). [REF: 06DRB-01534] [*Indef deferred from 2/28/07*] (K-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR REAL PROPERTY'S SIGNATURE.**

16. **Project # 1002345**
07DRB-00232 Minor-Prelim&Final Plat
Approval

LAND DEVELOPMENT CONSULTANTS LLC agent(s) for KARSTEN HOMES request(s) the above action(s) for all or any portion of Lot(s) 3 & 8, **BROADWAY INDUSTRIAL CENTER, UNITS 1 & 3**, zoned SU-2/HM located on KARSTEN CT SE between WOODWARD RD SE and SAN JOSE AVE SE containing approximately 18 acre(s). [REF: S-97-76] [Deferred from 3/07/07 & 03/14/07] (M-15) **DEFERRED AT THE AGENT'S REQUEST TO 03/21/07.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

17. **Project # 1005403**
07DRB-00235 Minor-Sketch Plat or Plan

INTEGRATED DESIGN & ARCHITECTURE agent(s) for J & J REAL ESTATE PARTNERSHIP request(s) the above action(s) for Tract(s) 12A1A & 12A1B on **M.R.G.C.D. MAP 35**, zoned R-1 residential zone, located on RIO GRANDE BLVD NW between CONTRERAS PL NW and EL NIDO CT NW containing approximately 2 acre(s).] (H-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. **Project # 1000271**
07DRB-00266 Minor-Sketch Plat or Plan

FORSTBAUER SURVEYING LLC agent(s) for GRACE INVESTMENT CORPORATION request(s) the above action(s) for all or any portion of Lot(s) A-1-A, Block(s) 25, **MESA VERDE ADDITION**, zoned C-2 located on WYOMING BLVD NE, between COPPER AVE NE and MARQUETTE AVE NE containing approximately 1 acre(s). [REF: 00DRB-00229] (K-19) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. **Project # 1003128**
07DRB-00278 Minor-Sketch Plat or Plan
- JOSH SKARSGARD agent(s) for BANDELIER EQUITIES LTD CO request(s) the above action(s) for all or any portion of Lot(s) 1-5, Block(s) 11, **NORTH ALBUQUERQUE ACRES, UNIT A**, zoned R-D located on SAN PEDRO DR NE , between PASEO DEL NORTE NE and PALOMAS AVE NE containing approximately 6 acre(s). [REF: 05DRB01424] [*Deferred from 03/14/07*] (D-18) **DEFERRED AT THE AGENT'S REQUEST TO 03/21/07.**
20. **Project # 1005410**
07DRB-00265 Minor-Sketch Plat or Plan
- FORSTBAUER SURVEYING LLC agent(s) for JOHN & CYNTHIA MECHENBIER request(s) the above action(s) for all or any portion of Lot(s) 4 & 5, **RICHFIELD PARK**, zoned IP located on ALAMEDA BLVD NE between WASHINGTON ST NE and JEFFERSON ST NE containing approximately 2 acre(s). (C-17) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
21. **Project # 1005413**
07DRB-00271 Minor-Sketch Plat or Plan
- CHAMISA CONSTRUCTION INC request(s) the above action(s) for all or any portion of Lot(s) 11-12, Block(s) 5, **UNIVERSITY HEIGHTS**, zoned SU-2 DR and SU-2 RTD located on HARVARD SE between YALE SE and GIRARD SE containing approximately 1 acre(s). (K-16) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. **Project # 1005415**
07DRB-00274 Minor-Sketch Plat or Plan

JACK'S HIGH COUNTRY INC agent(s) for LAWRENCE SEGURA request(s) the above action(s) for all or any portion of Section 12, Township 10 North, Range 2 East (to be known as **LANDS OF LAWRENCE SEGURA**) zoned RA-2 located on CARLOTA NW between GABALDON RD NW and LOS LUCEROS NW containing approximately 1 acre(s). (H-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

23. Approval of the Development Review Board Minutes for March 7, 2007. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR 03/07/07 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:50 A.M.

Complete 3/19/07 Ag



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-00222 (SBP)

Project # 1003801

Project Name: ALTURA ADDITION

Agent: Carlisle Shops LLC

Phone No: 884-3578

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 3/14/07 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): AD's Initials Ag 3/19/07
~~_____~~
Scapessa

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

Project Number 1003801

#10



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-00222 (SBP)
Project Name: ALTURA ADDITION
Agent: Carlisle Shops LLC

Project # 1003801
Phone No: 884-3578

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 3/14/07 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): A.D.'s Initials
 ~~STAFF~~
 Scapes

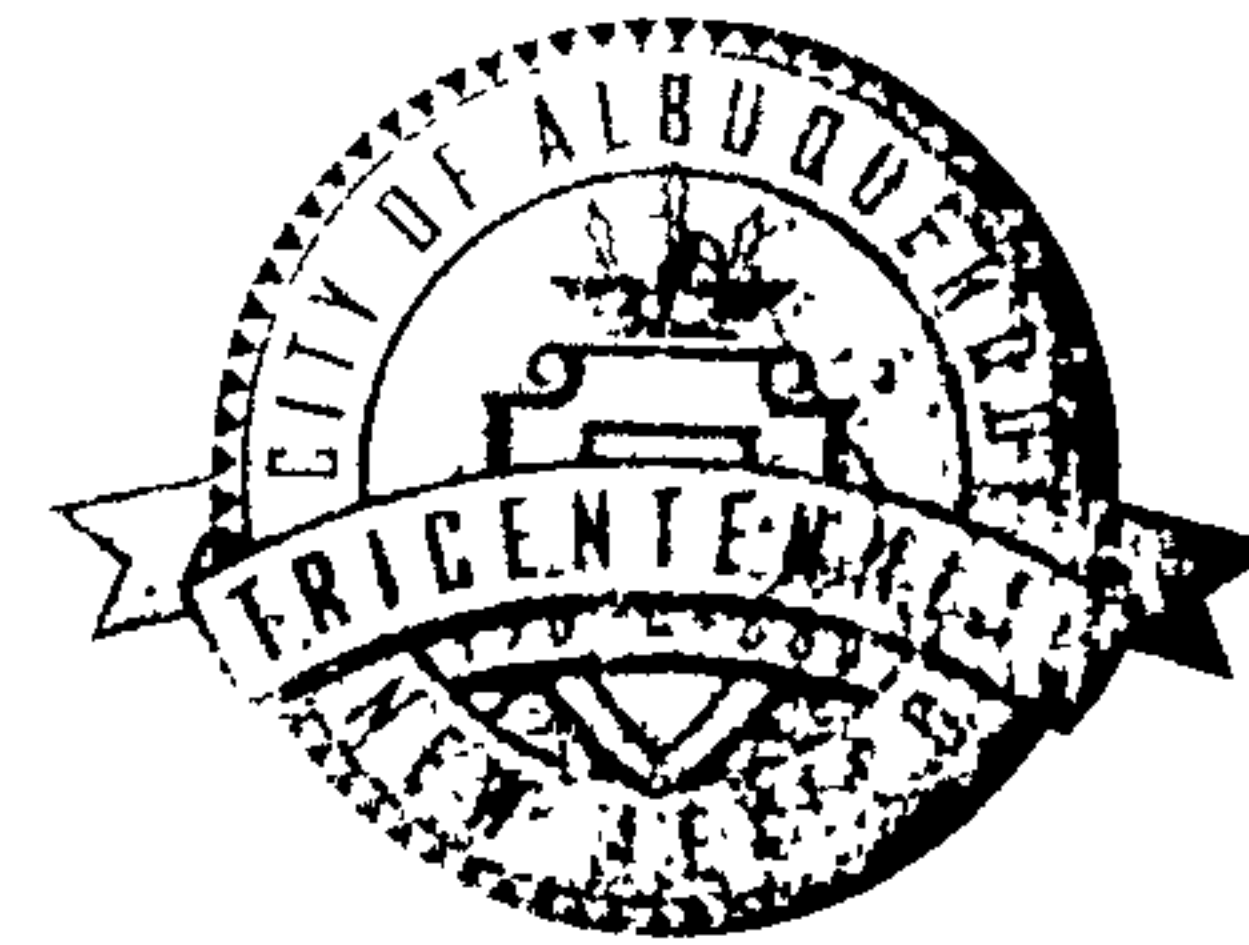
- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 - Property Management's signature must be obtained prior to Planning Department's signature.
 - AGIS DXF File approval required.
 - Copy of recorded plat for Planning.

Project Number

1003801

#10

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1003801

AGENDA ITEM NO: 10

SUBJECT:

Site Plan for Building Permit

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED __; DENIED __; DEFERRED __; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: MARCH 14, 2007



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

March 7, 2007

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 11:10 A.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. **Project # 1003713**
07DRB-00143 Major-Two Year SIA

ISAACSON & ARFMAN agent(s) for FAMILY HOUSING CORPORATION request(s) the above action(s) for all or a portion of Tract(s) A, **BELL TRADING POST LOFTS**, zoned SU-2 SU-1 FOR RES W/C-1, located on CENTRAL AVE SW, between LAGUNA RD SW and 15TH SW containing approximately 1 acre(s). [REF: Z-85-9, 05DRB-00149, 05DRB-00147] (J-13) **TWO YEAR SIA WAS APPROVED.**

2. **Project # 1004246**
07DRB-00144 Major-SiteDev Plan
BldPermit
- TIERRA WEST LLC agent(s) for KOZANI LLC request(s) the above action(s) for Lot(s) 7-10 and 23-26, NORTH ALBUQUERQUE ACRES, UNIT B (to be known as **HOLLY PLAZA**) zoned SU-2 FOR IP, located on PASEO DEL NORTE NE, between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 5 acre(s). [Deferred from 3/07/2007] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 5/02/07.**
3. **Project # 1005346**
07DRB-00134 Major-Vacation of Public
Easements
- SURV-TEK INC agent(s) for ALBUQUERQUE 50 LLC request(s) the above action(s) for all or a portion of Tract(s) D-2, **AEROSPACE TECHNOLOGY PARK**, zoned SU-1 AIRPORT, located WEST OF PASEO DEL VULCAN NW, between I-40 and CITY OF RIO RANCHO containing approximately 50 acre(s). (F-6) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**
4. **Project # 1002739**
06DRB-01621 Major-Vacation of Public
Easements
06DRB-01622 Major-Vacation of Pub
Right-of-Way
06DRB-01623 Minor-Final Plat Approval
- MARK GOODWIN & ASSOCIATES agent(s) for KB HOME NEW MEXICO INC request(s) the above action(s) for **ANDERSON HEIGHTS, UNIT 5A**, zoned RD/RLT, located on 118TH ST SW, between DENNIS CHAVES BLVD SW and COLOBEL AVE SW containing approximately 41 acre(s). [REF: 06DRB-01431] [Deferred from 12/6/06, 12/13/06 & 12/20/06] [Deferred from 1/3/07, 1/10/07, 1/17/07, 1/24/07, 1/31/07, 2/7/07, 2/21/07 & 3/07/07] (P-8) **DEFERRED AT THE BOARD'S REQUEST TO 3/21/07.**

5. **Project # 1005346**
07DRB-00084 Major-Bulk Land Variance
07DRB-00085 Major-Vacation of Public
Easements
07DRB-00086 Minor-Prelim & Final Plat
Approval

CONSENSUS PLANNING INC agent(s) for ALBUQUERQUE 50 LLC request(s) the above action(s) for all or a portion of Tract(s) D-2, **AEROSPACE TECHNOLOGY PARK** and Tract(s) D & S, **DOUBLE EAGLE AIRPORT AND ADJACENT LANDS**, zoned SU-1 FOR AIRPORT & RELATED FACILITIES, located on PASEO DEL VOLCAN NW, between 1-40 and the CITY OF RIO RANCHO containing approximately 50 acre(s). [REF: 04DRB01505, 04DRB01506] [Deferred from 2/21/07 & 2/28/07] (F-6) **THE BULK LAND VARIANCE WAS APPROVED. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR 15-DAY APPEAL PERIOD, VACATION OF REST OF 106-FOOT PUBLIC ACCESS & UTILITY EASEMENT AND TO RECORD THE PLAT AND NOTICE OF SUBDIVISION PLAT CONDITIONS.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

6. **Project # 1003801**
07DRB-00222 Minor-SiteDev Plan
BldPermit/EPC

CARLISLE SHOPS LLC request(s) the above action(s) for all or any portion of Lot(s) 28A, Block(s) A, **ALTURA ADDITION**, zoned SU-1 FOR C-1 WITH EXCLUSIONS located on CARLISLE BLVD NE between INDIAN SCHOOL RD NE and HANNETT AVE NE containing approximately 1 acre(s). [REF: 07EPC00012, 05EPC00745, 04EPC01821] [Anna DiMambro, EPC Case Planner] [Deferred from 3/07/07] (J-16) **DEFERRED AT AGENT'S REQUEST TO 3/14/07.**

7. **Project # 1003794**
07DRB-00181 Minor-SiteDev Plan
Subd/EPC
07DRB-00182 Minor-SiteDev Plan Bldg
Permit/EPC
07DRB-00183 Minor-Prelim&Final Plat
Approval

PETERSON - 98TH CENTRAL LLC request(s) the above action(s) for all or a portion of Tract(s) 1-A, ROW 1, UNIT A, WEST OF WESTLAND (to be known as **VOLCANO POINT SHOPPING CENTER**) zoned SU-2 PCA, located on 98th ST NW, between CENTRAL AVE NW and VOLCANO RD NW containing approximately 5 acre(s). [REF: 06EPC-01587] [**Maggie Gould, EPC Case Planner**] [*Deferred from 2/21/07 & 3/07 07*] (K-9) **DEFERRED AT AGENT'S REQUEST TO 3/14/07.**

8. **Project # 1005189**
07DRB-00089 Minor-SiteDev Plan
BldPermit/EPC

BRASHER & LORENZ INC. agent(s) for LITTLE BROTHERS OF THE GOOD SHEPHERD request(s) the above action(s) for all or a portion of Lot(s) 1-A, Block(s) 45, **PEREA ADDITION**, zoned SU-2/SU-1 for found. house & rel. act., located on MOUNTAIN RD NW, between 14TH ST NW and BROTHER MATHIAS PLACE NW containing approximately 1 acre(s). [REF: Z-89-100] [**Maggie Gould, EPC Case Planner**] [*Deferred from 2/7/07, 2/14/07 & Indef deferred on a no show 2/21/07*] (J-13) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR 3 COPIES.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

9. **Project # 1004354**
07DRB-00216 Minor-Amendment to Final
Plat Conditions

TIERRA WEST LLC agent(s) for PETE DASKALOS request(s) the above action(s) for all or any portion of Lot(s) 22-26, a portion of Lot 27, Block(s) 9, ORIGINAL TOWNSITE OF WESTLAND (to be known as **MONAHITI SUBDIVISION**) zoned SU-2 FOR IP USES located on 98TH ST NW, between VOLCANO RD NW and CENTRAL AVE NW containing approximately 9 acre(s). [REF: 05DRB01229, 05EPC01234] (K-9) **WITHDRAWN AT THE AGENT'S REQUEST.**

10. **Project # 1002345**
07DRB-00232 Minor-Prelim&Final Plat
Approval
- LAND DEVELOPMENT CONSULTANTS LLC agent(s) for KARSTEN HOMES request(s) the above action(s) for all or any portion of Lot(s) 3 & 8, **BROADWAY INDUSTRIAL CENTER, UNITS 1 & 3**, zoned SU-2/HM located on KARSTEN CT SE between WOODWARD RD SE and SAN JOSE AVE SE containing approximately 18 acre(s). [REF: S-97-76] [Deferred from 3/07/07] (M-15)
DEFERRED AT AGENT'S REQUEST TO 3/14/07.
11. **Project # 1003857**
07DRB-00230 Minor-Prelim&Final Plat
Approval
- PRECISION SURVEYS INC agent(s) for MICHAEL A GONZALES request(s) the above action(s) for all or any portion of Tract(s) C-1, C-2 & D, LANDS OF BROMO GONZALES and Tract(s) 31-B-1, M.R.G.C.D. MAP 41, Lot(s) 4-6, 10-12, SIMPIER ADDITION 2, Block(s) E, (to be known as **TRACTS A & B BARELAS COFFEE HOUSE**) zoned SU-2 FOR NCR & SU-2 RT located on SIMPIER LN SW, between 8TH ST SW and 4TH ST SW containing approximately 2 acre(s). [REF: 07DRB00166] (L-14) **THE PRLIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR REAL PROPERTIES SIGNATURE AND AGIS DXF FILE.**
12. **Project # 1005402**
07DRB-00234 Minor-Prelim&Final Plat
Approval
- WAYJOHN SURVEYING INC agent(s) for ANSELMO GUTIERREZ request(s) the above action(s) for all or any portion of Lot(s) 17 & 18, Block(s) 9, **EAST CENTRAL BUSINESS ADDITION**, zoned C-3, located on COCHITI RD SE BETWEEN DOROTHY ST SE AND SHIRLEY ST SE, containing approximately 1 acre(s). (L-21) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING TO RECORD THE PLAT.**

13. **Project # 1002730**
06DRB-01521 Minor-Final Plat Approval

ISAACSON & ARFMAN agent(s) for INFILL SOLUTIONS II LLC request(s) the above action(s) for all or a portion of Lot(s) 13-A-1, Block(s) 6, Tract(s) 3, NORTH ALBUQUERQUE ACRES UNIT 3 (to be known as **VILLA FIRENZE**) zoned R-D, located on CORONA AVE NE, between VENTURA ST NE and MENDOCINO DR NE containing approximately 4 acre(s). [REF: 06DRB-01204] *[Deferred from 10/25/06 Indef deferred 11/8/06 & Indef deferred 11/29/06]* (C-20) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING TO RECORD THE PLAT.**

14. **Project # 1004913**
07DRB-00072 Minor- Final Plat Approval

JEFF MORTENSEN & ASSOCIATES INC., agent(s) for REGENTS OF UNM REAL ESTATE request(s) the above action(s) for PARCELS 1, 2, A & B, **UNPLATTED LANDS OF UNM**, zoned C-3 heavy commercial zone, located on UNIVERSITY BLVD NE, between INDIAN SCHOOL RD NE and LOMAS BLVD NE containing approximately 20 acre(s). [REF: 06DRB00730, 06DRB00731] *[Final Plat was indef deferred 1/31/07 for SIA]* (J-15) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING TO RECORD THE PLAT.**

15. **Project # 1005390**
07DRB-00206 Minor-Prelim&Final Plat Approval

BORDENAVE DESIGNS agent(s) for TIMOTHY OTT request(s) the above action(s) for all or a portion of Lot(s) 9, 10 & 12, **NZ OFFICE COMMERCIAL CENTER**, zoned IP industrial park zone, located on RANDOLPH RD SE, between YALE BLVD SE and UNIVERSITY BLVD SE containing approximately 4 acre(s). *[Deferred from 2/28/07]* (M-15) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 3/07/07 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

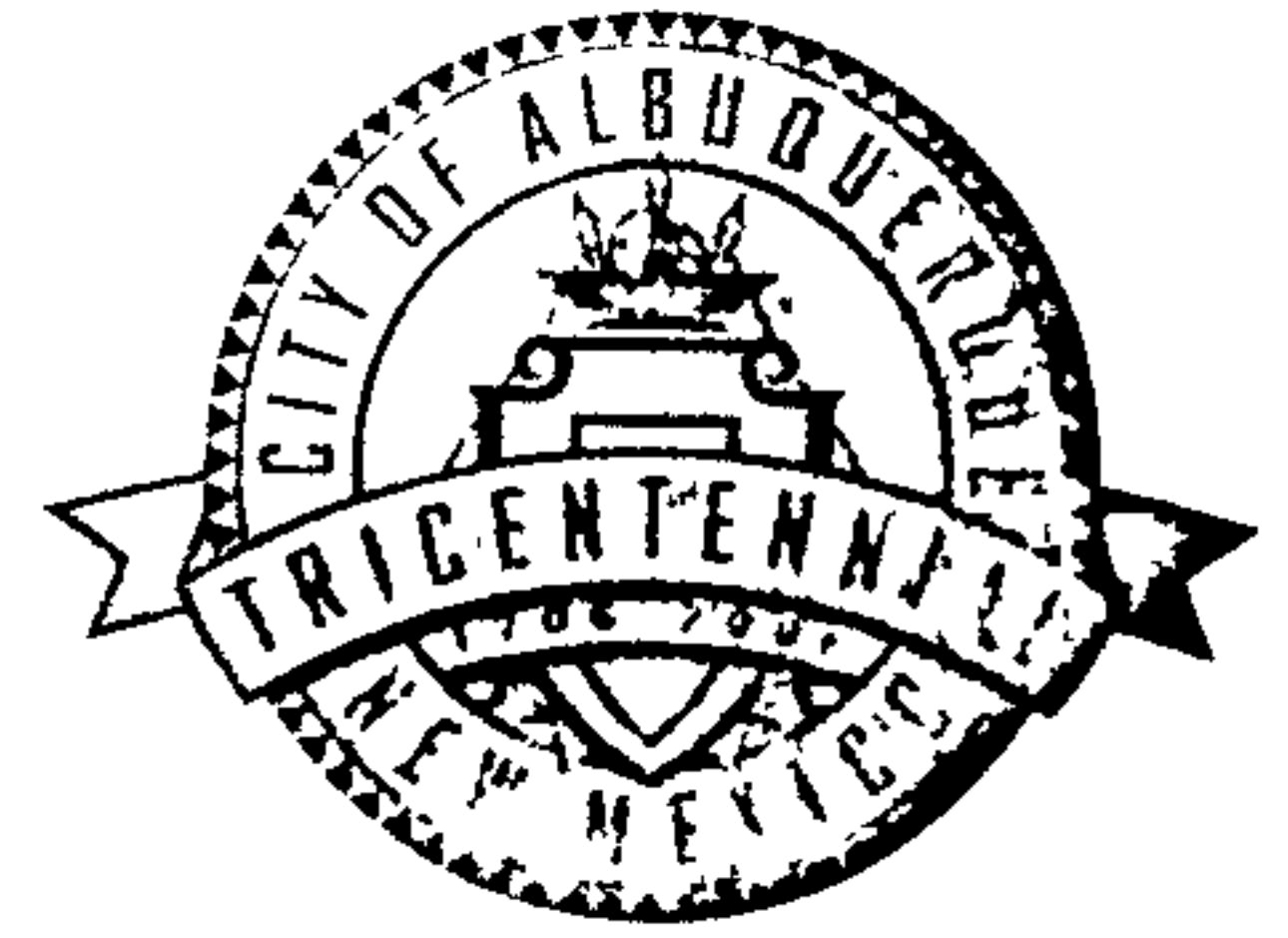
NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

16. **Project # 1005392**
07DRB-00215 Minor-Sketch Plat or Plan
- SANDRA HILDEBRAND agent(s) for VIOLA & ROSS LUCERO request(s) the above action(s) for Lot(s) 3, **TOWN OF ATRISCO GRANT**, zoned R-1 located on GALLEGOS RD SW, between OLD COORS RD SW and GARCIA RD SW containing approximately 1 acre(s). (L-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
17. **Project # 1005394**
07DRB-00223 Minor-Sketch Plat or Plan
- ROBERT MIERA request(s) the above action(s) for all or any portion of Lot(s) 17 thru 20, Block(s) K, **NEW KIMO ADDITION**, zoned SU-2 located on SAN PEDRO DR NE and TAYLOR AVE NE, between MENAUL NE and LOMAS NE containing approximately 1 acre(s). [REF: V-86-32] (H-18) **DUPLICATE REQUEST. WAS WITHDRAWN BY APPLICANT.**
18. **Project # 1005398**
07DRB-00228 Minor-Sketch Plat or Plan
- DANIEL DUNN request(s) the above action(s) for all or any portion of Lot(s) 1, 2 & 3, Block(s) 3, **GARCIA ADDITION**, zoned S-R located on 11TH ST NW between MOUNTAIN NW and SAWMILL NW containing approximately 1 acre(s). (J-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. **Project # 1005401**
07DRB-00233 Minor-Sketch Plat or Plan
- WAYJOHN SURVEYING INC agent(s) for ROBERT MIERA request(s) the above action(s) for all or any portion of Lot(s) 17-20, Block(s) K, **NEW KIMO ADDITION**, zoned SU-2 for R-2 & O-1 office and institution zone, located on SAN PEDRO DR NE between TAYLOR AVE NE and CUTLER AVE NE containing approximately 1 acre(s). (H-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
20. **Project # 1005403**
07DRB-00235 Minor-Sketch Plat or Plan
- INTEGRATED DESIGN & ARCHITECTURE agent(s) for J & J REAL ESTATE PARTNERSHIP request(s) the above action(s) for Tract(s) 12A1A & 12A1B on **M.R.G.C.D. MAP 35**, zoned R-1 residential zone, located on RIO GRANDE BLVD NW between CONTRERAS PL NW and EL NIDO CT NW containing approximately 2 acre(s). (H-13) **INDEFINITELY DEFERRED ON A NO SHOW. AGENT REQUESTED TO BE HEARD ON 3/14/07.**
21. Approval of the Development Review Board Minutes for February 28, 2007. **THE DRB MINUTES FOR 2/28/07 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:10 A.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1003801

AGENDA ITEM NO: 6

SUBJECT:

Site Plan for Building Permit

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

3/14/07

APPROVED ___; DENIED ___; DEFERRED ; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: MARCH 7, 2007

March 1, 2007

City of Albuquerque
Planning Department
Inter-Office Memorandum



TO: Sheran Matson, DRB Chair

FROM: Anna DiMambro, Planner

SUBJECT: Project # 1003801

On February 15, 2007, the Environmental Planning Commission approved Project # 1003801/07EPC-00012, a request for an amendment to a site development plan for building permit for Tract 28A, Altura Addition, located on Carlisle Boulevard NE between Indian School and Hannett Avenue NE.

The applicant has satisfied all of the EPC conditions of approval with the following exception:

1. Site lighting is not in compliance with Zoning Code requirements for lighting within 100' of a residential zone. Existing site lighting is 20', while the Zoning Code requires a maximum of 16'. However, due to a previous oversight, the site plan for building permit that was originally approved by the EPC showed 20' lights.

If you should have any questions regarding this case, please do not hesitate to call me at 924-3924.

Thank you.

#16



DRB CASE ACTION LOG (FINAL PLAT)

REVISED 9/28/05

Comp'd by 10/13/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB01179 (FP)
Project Name: ALTURA ADDITION
Agent: Surv-Tek Inc.

Project # 1003801
Phone No.: 897-3366

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 10/05/05 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: Cross access easement

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): Record plat

10/11/05

43980

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1003801

OK

#16



DRB CASE ACTION LOG (FINAL PLAT)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB01179 (FP)

Project # 1003801

Project Name: ALTURA ADDITION

Agent: Surv-Tek Inc.

Phone No.: 897-3366

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 10/25/05 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: Cross access easement

-
-
-
-

UTILITIES:

-
-
-

CITY ENGINEER / AMAFCA:

-
-
-

PARKS / CIP:

-
-
-

PLANNING (Last to sign): Record plat

-
-
-

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk); RECORDED DATE: _____
- Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required. OK
- Copy of recorded plat for Planning.

Project Number

1003801



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

October 5, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 11:20 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1003573**
05DRB-01379 Major-Amended
Grading Plan Approval

RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES LTD request(s) the above action(s) for all or a portion of Lot(s) 28, 29 and 30, Block(s) 2, Tract(s) 3, NORTH ALBUQUERQUE ACRES, UNIT 3 (to be known as OAKLAND NORTH) zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). [REF:04DRB01138, 04DRB01417, 05DRB00481] [Deferred from 9/28/05 & 10/5/05] (C-20) DEFERRED AT THE AGENT'S REQUEST TO 10/12/05.

2. **Project # 1003747**
05DRB-01410 Major-Vacation of
Public Easements

TIERRA WEST LLC agent(s) for WAL MART STORES EAST LP request(s) the above action(s) for all or a portion of Tract(s) 1 & 5, **WYOMING MALL**, zoned C-2 community commercial zone (SC), located on WYOMING BLVD NE, between MENAUL BLVD NE and NORTHEASTERN ST NE. [REF: ZA-99-017, ZA-79-214, ZA-78-143, ZA-84-226, DRB-97-319, 05EPC00024, 05EPC00025] (H-20) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

3. **Project # 1004404**
05DRB-01364 Major-Bulk Land
Variance
05DRB-01365 Major-Vacation of
Public Easements
05DRB-01367 Minor-Prelim&Final Plat
Approval

SURV-TEK INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) H-2, **THE TRAILS, UNIT 1**, and unplatted lands, zoned R-D residential and related uses zone, developing area, located on PASEO DEL NORTE NW west of RAINBOW ST NW and containing approximately 165 acre(s). [*Deferred from 9/21/05 & 10/5/05*] (C-8/C-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/26/05.**

4. **Project # 1004387**
05DRB-01332 Major-Vacation of Pub
Right-of-Way

MARK HARENBERG agent(s) for SPRUCE PARK LLC request(s) the above action(s) for tract northeast of Lot(s) 35, Block(s) 12, **COUNTRY CLUB ADDITION**, located on the northeast corner of ENCINO PLACE NE and LOS LOMAS RD NE and containing approximately 1 acre(s). [*Deferred from 9/14/05 & 10/5/05*] (J-15) **DEFERRED AT THE AGENT'S REQUEST TO 11/9/05.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

- 5. Project # 1002962**
05DRB-01507 Minor- Sector
Development Plan, Phase 1
- CONSENSUS PLANNING agent(s) for LONGFORD HOMES request(s) the above action(s) for all or a portion of Tract(s) 5, BLACK RANCH, T11N R2E SEC 16 W 1/2 NW 1/4, Tract(s) 4, SANTA FE AT THE TRAILS CO., Tract(s) 1, THE TRAILS, UNIT 2, Tract(s) G & J and Tract(s) 6, THE TRAILS, UNIT 2 (to be known as **LONGFORD TRAILS**, zoned R-D residential and related uses zone, developing area, located on PASEO DEL NORTE R-O-W NW, between COUNTY LAND and STATE LAND. [REF: 1004353, 02DRB01530] (B-8, B-9, B-10, C-8, C-9 and C-10) **THE DRB RECOMMENDS THAT THE BOUNDARIES SHOWN ON THE TRAILS PROPOSED SECTOR PLAN BOUNDARIES MAP INCLUDED WITH THE APPLICATION ARE APPROVED AS THE BOUNDARIES FOR THE TRAILS SECTOR PLAN.**
- 6. Project # 1000081**
05DRB-01512 Minor- Amended
SiteDev Plan Subd
05DRB-01514 Minor- Amended
SiteDev Plan BldPermit
- TIERRA WEST LLC agent(s) for KOHL'S CORPORATION request(s) the above action(s) for all or a portion of Tract(s) A & H, COTTONWOOD CORNERS, (to be known as **KOHL'S COTTONWOOD CORNERS**) zoned SU-1 FOR IP USES, located on ELLISON DR NW, between COTTONWOOD DR NW and ALAMEDA RD NW containing approximately 9 acre(s). [REF: Z-95-26, Z-84-110, AX-84-22, DRB-94-582, DRB-95-487] (**Russell Brito, EPC Case Planner**) (A-14) **WITHDRAWN AT THE AGENT'S REQUEST.**

7. **Project # 1000579**
05DRB-01513 Minor-SiteDev Plan
BldPermit/EPC

TIERRA WEST LLC agent(s) for KOHL'S DEPARTMENT STORES INC request(s) the above action(s) for all or a portion of Tract(s) A, PASEO DE LOUISIANA (to be known as **KOHL'S DEPARTMENT STORES**) zoned SU-2 C-1, located on PASEO DEL NORTE BLVD NE, between LOUISIANA BLVD NE and HOLLY AVE NE containing approximately 8 acre(s). [REF: Z-98-81, DRB-96-66] [Stephanie Shumsky, EPC Case Planner] (C-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/5/05 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR THE SIA AND PLANNING FOR STEPHANIE SHUMSKY'S INITIALS, REMOVAL OF THE JUNIPER TREES, FEWER HIGH WATER USE TREES ON THE SITE PLAN AND APPROVAL BY CITY COUNCIL OF THE REQUEST TO WITHDRAW THE PENDING APPEAL.**

8. **Project # 1003983**
05DRB-01482 Minor-SiteDev Plan
BldPermit

MULLEN HELLER ARCHITECTURE agent(s) for TIMOTHY WEAKS request(s) the above action(s) for all or a portion of Lot(s) 1, RICHFIELD PARK SUBDIVISION (to be known as **DWIGHT'S GLASS AND GLAZING**) zoned IP, located on ALAMEDA BLVD NE, between WASHINGTON ST NE and JEFFERSON ST NE containing approximately 2 acre(s). [REF: 05DRB-00344] [Deferref from 9/28/05 & 10/5/05] (C-17) **DEFERRED AT THE AGENT'S REQUEST TO 10/12/05.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

9. **Project # 1003591**
05DRB-01508 Minor-Extension of
Preliminary Plat Approval

BOHANNAN HUSTON INC agent(s) for D. R. HORTON HOMES request(s) the above action(s) for all or a portion of **SUNGATE ESTATES, UNIT 2**, zoned R-2 FOR R-T AND RLT, located on MESA ARENOSO DR SW, between 98TH ST SW and OPEN RANGE AVE SW, containing approximately 17 acre(s). [REF: 04DRB-01185] (N-9) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

10. **Project # 1002461**
05DRB-01505 Minor-Prelim&Final Plat
Approval
- TIM ALDRICH agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) 8A, **EL RANCHO GRANDE 1, UNIT 1**, zoned R-LT residential zone, located on VERMEJO PARK DR SW at the east end of AMOLE MESA AVE SW and containing approximately 16 acre(s). [REF: 03DRB00163, 03DRB00164] (N-9) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR AMAFCAS SIGNATURE, ADD BENEFICIARY TO NOTES 6 AND 7, THE ZONING SHOULD BE LISTED UNDER SUBDIVISION DATA AND TO TRANSPORTATION DEVELOPMENT FOR NEW AGIS DXF APPROVAL AND RIGHT-OF-WAY DEDICATION ALONG VERMIJO PARK DRIVE.**
11. **Project # 1002819**
05DRB-01506 Minor-Prelim&Final Plat
Approval
- TIM ALDRICH agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) E-6-A, **ALBUQUERQUE SOUTH UNIT 3**, zoned SU-1, R-2, R-T, located on 98TH STREET SW, between GIBSON BLVD SW and BLAKE RD SW containing approximately 31 acre(s). [REF: 03DRB-01183, 06DRB-01180] [*Deferred from 10/5/05*] (N-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/12/05.**
12. **Project # 1004453**
05DRB-01498 Minor-Prelim&Final Plat
Approval
- SURVEYS SOUTHWEST LTD agent(s) for DAMION CHIMENTI request(s) the above action(s) for all or a portion of Lot(s) 19-23, Block(s) E, **BACA & ARMIJO ADDITION**, zoned SU2/RG, located on 3RD ST SW, between CROMWELL AVE SW and 2ND ST SW containing approximately 1 acre(s). [REF: DRB-95-57] (K-14) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR P1 LOT DESIGNATIONS.**

13. **Project # 1002858**
05DRB-01487 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for ANDERSON HILLS LLC request(s) the above action(s) for all or a portion of Tract(s) I-1 PARCEL A-1, MESA @ ANDERSON HILLS, UNIT 1 (to be known as **MESA @ ANDERSON HILLS, UNIT 2**) zoned R-2 residential zone, located on DENNIS CHAVEZ BLVD SW, between UNSER BLVD SW and GRACE VIGIL RD SW containing approximately 21 acre(s). [REF: 04DRB00234, 04DRB00235,, 05DRB00488] (P-9) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO CHECK IF AGIS DXF WAS APPROVED AND TO RECORD.**

14. **Project # 1003470**
05DRB-01493 Major-Final Plat Approval

WILSON & COMPANY agent(s) for VISTA VIEJA INVESTMENTS LLC request(s) the above action(s) for all or a portion of Tract(s) 1, **VISTA VIEJA SUBDIVISION, UNIT 1**, zoned R-1, located on 81ST STREET NW, between ALBERICOQUE PL NW and SCENIC ROAD NW containing approximately 41 acre(s). [REF: 04DRB-01522, 04DRB-01523, 04DRB-01524] (D-9) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

15. **Project # 1003641**
05DRB-01502 Minor-Final Plat Approval

GREATER ALBUQUERQUE HOUSING PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) 1 through 24, BACA ADDITION (to be known as **ATLANTIC & SANTA FE SUBDIVISION**) zoned R-G residential garden apartment zone, located on 1ST ST SW, between ATLANTIC AVE SW and SANTA FE AVE SW containing approximately 2 acre(s). [REF: 04DRB01311] (K-14) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR PRIVATE SEWER EASEMENTS AND SKETCH SHOWING SIDEWALKS AND TO PLANNING FOR LOT SIZE REQUIREMENTS AND TO RECORD THE PLAT.**

16. ~~Project # 1003801~~
05DRB-01179 Minor- Final Plat Approval

SURV-TEK INC agent(s) for PETERSON PROPERTIES request(s) the above action(s) for all or a portion of Lot(s) 28-31, Block(s) A, **ALTURA ADDITION**, zoned SU-1 for C-1, located on CARLISLE NE, between INDIAN SCHOOL NE and CONSTITUTION NE containing approximately 1 acre(s). [REF: 04EPC01821] [David Stallworth, EPC Case Planner] [The Final Plat was Indef Deferred from 7/27/05 for the SIA] (J-16) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CROSS ACCESS EASEMENTS AND PLANNING TO RECORD.**

17. Project # 1003685
05DRB-01477 Minor-Prelim&Final Plat Approval

BOHANNAN HUSTON INC agent(s) for PULTE HOMES OF NEW MEXICO INC request(s) the above action(s) for all or a portion of Lot(s) 14A, Tract(s) O-1, (to be known as **WESTERN SHADOWS@ VENTANA RANCH WEST**) zoned R-LT residential zone, located on RAYNER DR NW, between VENTANA RIDGE RD NW and [REF: 04DRB01448] [Deferred from 9/28/05] (B-8) **PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

18. Project # 1003128
05DRB-01424 Minor-Prelim&Final Plat Approval

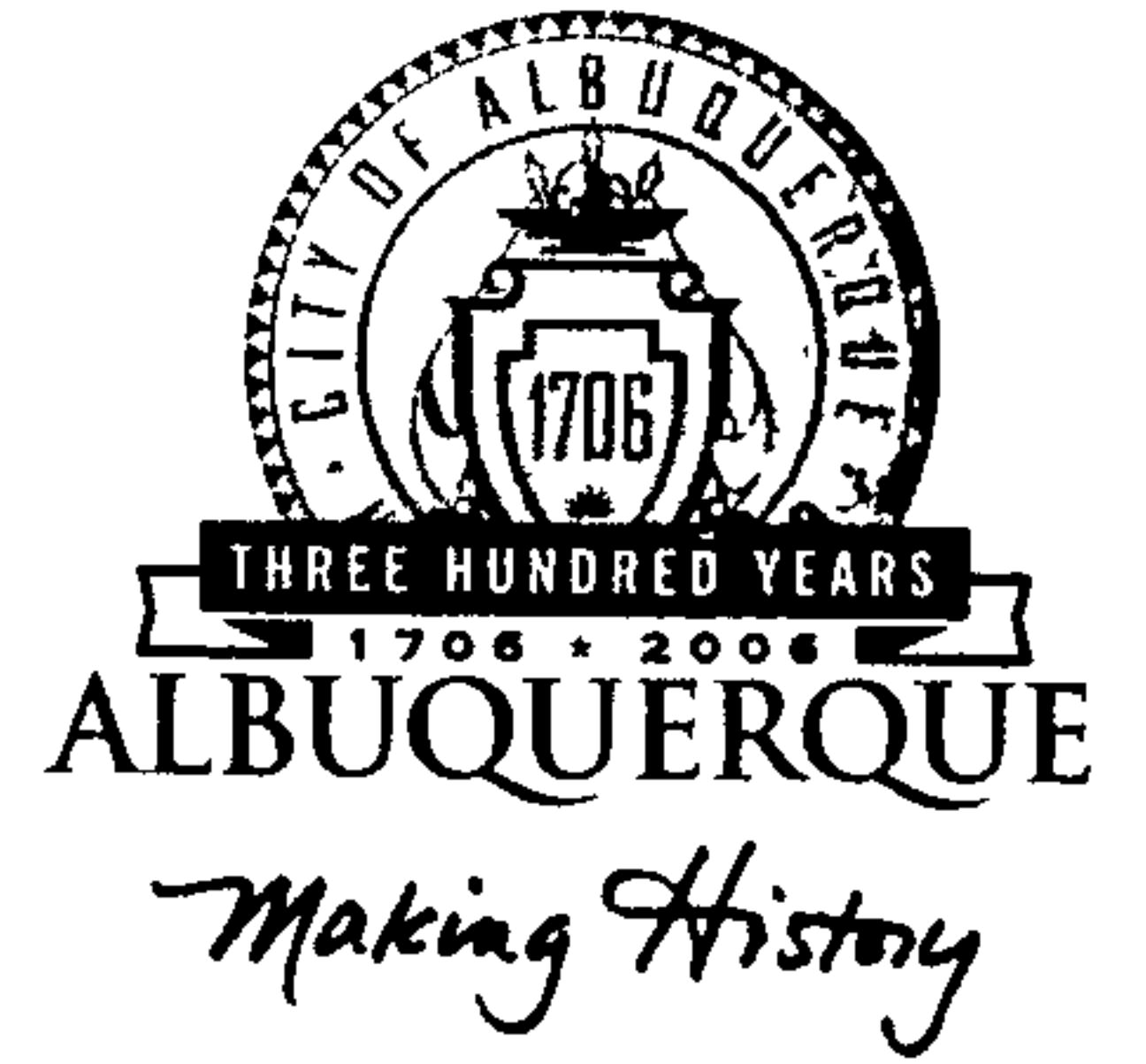
CONSENSUS PLANNING agent(s) for BANDALIER EQUITIES LTD CO request(s) the above action(s) for all or a portion of Lot(s) 1-5, Block(s) 11, Tract(s) 5, **NORTH ALBUQUERQUE ACRES, UNIT A**, zoned R-D residential and related uses zone, developing area, located on PASEO DEL NORTE NE, between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 4 acre(s). [Deferred from 9/21/05 & 9/28/05 & 10/5/05] (D-18) **DEFERRED AT THE AGENT'S REQUEST TO 10/12/05.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

19. **Project # 1004456**
05DRB-01509 Minor-Sketch Plat or Plan
- BRASHER & LORENZ agent(s) for BARON'S RUN LLC request(s) the above action(s) for all or a portion of Lot(s) 14-18, Block(s) 11, Tract(s) 1 NORTH ALBUQUERQUE ACRES, UNIT 3 (to be known as **BARON'S RUN**) zoned R-D residential and related uses zone, developing area, located on BARSTOW ST NE, between FLORENCE AVE NE and GLENDALE AVE NE containing approximately 5 acre(s). (B-19) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
20. **Project # 1004458**
05DRB-01515 Minor-Sketch Plat or Plan
- JUSTIN SIMMONS request(s) the above action(s) for all or a portion of Lot(s) 4, **C J M MOORE REALTY CO ADDITION**, zoned R-1, located on RIO GRANDE BLVD NW, between MOUNTAIN RD NW and PUEBLO BONITO NW containing approximately 1 acre(s). (J-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
21. Approval of the Development Review Board Minutes for September 21, 2005. **THE DRB MINUTES FOR SEPTEMBER 21, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:20 A.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003801

AGENDA ITEM NO: 16

SUBJECT:

Final Plat

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:(x) EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

An executed Subdivision Improvements Agreement with financial guarantees is on file for Final Plat sign-off.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: October 5, 2005



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

July 27, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

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NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 a.m.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 10:50 a.m.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1004300**
05DRB-01080 Minor-SiteDev Plan
BldPermit

JIM MEDLEY, Architect AIA agent(s) for ROBERT NAVARRETTE request(s) the above action(s) for all or a portion of Lot(s) 31, 32, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2, M-1, located on EAGLE ROCK AVE NE and SAN MATEO BLVD NE containing approximately 2 acre(s). [Deferred from 7/27/05] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 8/10/05.**

2. **Project # 1004244**
05DRB-01085 Major-Vacation of Public Easements

WILSON & COMPANY agent(s) for ST. PAUL'S UNITED METHODIST CHURCH request(s) the above action(s) for all or a portion of Lot(s) 6-13, Block(s) 19, and Lot(s) 1-11, Block(s) 18, and vacated Altez NE right-of-way, **MESA VILLAGE ADDITION**, zoned SU-1, located on CONSTITUTION AVE NE, between ERBBE ST NE and CLANCY ST NE containing approximately 4 acre(s). [REF: 05EPC-00928] (J-20) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

05DRB-01176 Minor-Prelim&Final Plat Approval

WILSON & COMPANY agent(s) for ST. PAUL'S UNITED METHODIST CHURCH request(s) the above action(s) for all or a portion of Lot(s) 6-13, 1-11, Block(s) 18, 19, **MESA VILLAGE ADDITION**, zoned SU-1, located on CONSTITUTION AVE NE, between ERBBE ST NE and CLANCY ST NE containing approximately 4 acre(s). [REF: 05EPC-00928] (J-20) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITY DEVELOPMENT FOR ADJUSTMENT OF EASEMENT TO INCLUDE ALL EXISTING METERS, ADD LANGUAGE FROM ORIGINAL VACATION ORDINANCE FOR RETAINED EASEMENTS AND PLANNING FOR 15-DAY APPEAL PERIOD AND TO RECORD.**

3. **Project # 1003257**
05DRB-00934 Major-Vacation of Public Easements
05DRB-00933 Major-Vacation of Pub Right-of-Way
05DRB-00929 Major-Preliminary Plat Approval
05DRB-00935 Minor-Sidewalk Waiver
05DRB-00936 Minor-Temp Defer Sdwk

MARK GOODWIN & ASSOCIATES agent(s) for VISTA ARROYO, LLC request(s) the above action(s) for all or a portion of Tract(s) A, LANDS OF PARADISE HEIGHTS LLC, Lot(s) 48 thru 55, Block(s) 4, Lot(s) 1 thru 7 and Lot(s) 10 thru 14, Block(s) 6, Lot(s) 1 thru 8, Lot(s) 22 thru 45 and an 'undesigned tract, Block(s) 9, Lot(s) 1 thru 16, Block(s) 12, Lot(s) 1 thru 10 and 12 thru 14, Block(s) 14, Lot(s) 7 thru 12, Block(s) 15, Lot(s) 1 thru 61 and 62, Block(s) 16, all of Block(s) 7, 8, 10, 11, 13 and 17, PARADISE HEIGHTS, UNIT 4, Lots 9 thru 14, Block 9, PARADISE HEIGHTS, UNIT 4, Block(s) 1, 2, 3 and 4 and Lot(s) 1 thru 16, Block(s) 5, PARADISE HEIGHTS, UNIT 5, (to be known as **ARROYO VISTA SUBDIVISION**) zoned R-1, SU-1 FOR C-1, located on BLACK ARROYO RD NW, between MCMAHON BLVD NW and CALABACILLAS ARROYO containing approximately 172 acre(s). [REF:04DRB-00204] [Deferred from 6/29/05 & 7/20/05 & 7/27/05] (A-10) **DEFERRED AT THE AGENT'S REQUEST TO 8/3/05.**

4. **Project # 1004282**
05DRB-01061 Major-Preliminary Plat
Approval

GARCIA/KRAEMER & ASSOCIATES agent(s) for PAT MILLIGAN request(s) the above action(s) for all or a portion of Lots(s) A-1, B-1, C-1, D-1, E-1, F-1, H-1, J-1, K-1, **ALAMOSA ADDITION**, zoned R-T residential zone, located on TRUJILLO RD SW, between 62nd ST SW and BATAAN DR SW containing approximately 2 acre(s). [Deferred from 7/20/05 & 7/27/05](K-11) **DEFERRED AT THE AGENT'S REQUEST TO 1/11/2006.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

5. ~~Project # 1003801~~
05DRB-01180 Minor-SiteDev Plan
BldPermit/EPC
05DRB-01179 Minor-Prelim&Final Plat
Approval

SURV-TEK INC agent(s) for PETERSON PROPERTIES request(s) the above action(s) for all or a portion of Lot(s) 28-31, Block(s) A, **ALTURA ADDITION**, zoned SU-1 for C-1, located on CARLISLE NE, between INDIAN SCHOOL NE and CONSTITUTION NE containing approximately 1 acre(s). [REF: 04EPC01821] [David Stallworth, EPC Case Planner] (J-16) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR COMMENTS ON COMMENT SHEET AND PARKING CALCS NOTE FROM DAVID STALLWORTH AND DAVID STALLWORTH'S INITIALS ON THE PLAN AND TO UTILITIES DEVELOPMENT TO REVISE UTILITY PLAN (WATER METER LOCATION & SIZE, FIRE HYDRANT LOCATION). WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/27/05 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

6. **Project # 1001043**
05DRB-01182 Minor-SiteDev Plan
BldPermit/EPC

HUITT-ZOLLARS, INC agent(s) for KITTS DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) A, STONEBRIDGE POINTE SUBDIVISION (to be known as **WEST BANDELIER**) zoned SU-1 FOR R-2, located on MCMAHON NW and BANDELIER DRIVE NW containing approximately 8 acre(s). [REF: 04EPC00850] [Russell Brito, EPC Case Planner] (A-12) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/27/05 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR A CHANGE ON SHEET 8 - CHANGE TITLE TO WEST BANDELIER AND 3 COPIES OF THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT, NEED PLAT, GATE QUEUING, ADA STALLS AND RADII AND TO CITY ENGINEER FOR SIA.**

7. **Project # 1001946**
05DRB-01047 Minor-SiteDev Plan
BldPermit

DEKKER PERICH SABATINI agent(s) for OFFICE DEPOT request(s) the above action(s) for all or a portion of Tract(s) A-1-D, **LOS ANGELES CENTER**, zoned M-1, located on PASEO DEL NORTE NE, between SAN PEDRO NE and INTERSTATE 25 containing approximately 3 acre(s). [REF: DRB-97-224, DRB-97-372; Z-1534] [*Deferred from 6/29/05 & 7/13/05 & 7/20/05 & 7/27/05*] (D-18) **DEFERRED AT AGENT'S REQUEST TO 8/3/05.**

8. **Project # 1004326**
05DRB-01147 Minor-SiteDev Plan
BldPermit

INSITEWORKS agent(s) for JLM INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 14-A-2-A, **LOOP INDUSTRIAL DISTRICT, UNIT 5**, zoned SU-2 for M-1, located on JEFFERSON ST NE, between PASEO DEL NORTE NE and WILSHIRE AVE NE containing approximately 2 acre(s). [*Deferred from 7/20/05*] (C-17) **SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

9. **Project # 1003865**
05DRB-00521 Minor- Final Plat Approval

FORSTBAUER SURVEYING, LLC agent(s) for PARKS CUSTOM BUILDERS INC request(s) the above action(s) for all or a portion of Lot(s) 11, 12, 21 & 22, Block(s) 28, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 IP, located on ALAMEDA BLVD NE, between SAN PEDRO NE and LOUISIANA NE containing approximately 4 acre(s). [REF: 05DRB00006,DRB-99-187, Z-87-42-1] [*Final Plat was Indef Deferred for SIA 4/6/05*] (C-18) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD THE PLAT.**

10. **Project # 1002176**
05DRB-01178 Minor-Extension of Preliminary Plat

SURVEYS SOUTHWEST, LTD. agent(s) for MOUNTAIN WEST DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) E-1, **NORTH FOUR HILLS**, zoned SU-1 special use zone, located on FOUR HILLS RD SE, between LANIER DR SE and WATERFALL DR SE containing approximately 7 acre(s). [REF: Z-98-113, Z-98-54, 02DRB01306, 04DRB00526, 00960, 00961, 04DRB00962, 00963] (L-23) **WITH THE REINITIALING OF THE INFRASTRUCTURE LIST DATED 7/27/05 A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

11. **Project # 1004325**
05DRB-01146 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST LTD, agent(s) for BILL ROBERTS request(s) the above action(s) for all or a portion of Block(s) 1, Tract(s) F, **HOLIDAY PARK, UNIT 11**, zoned C-1 neighborhood commercial zone, located on JUAN TABO BLVD NE, between COMANCHE RD NE and containing approximately 1 acre(s). [REF: Z-1761] [*Deferred from 7/20/05*] (G-21) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO COMPLETE WATER/SEWER TAPPING PERMITS AND OPEN NEW ACCOUNTS FOR TRACT F-2.**

12. **Project # 1002529**
05DRB-01175 Major-Final Plat
Approval
- BORDENAVE DESIGNS agent(s) for CAS LLC request(s) the above action(s) for all or a portion of Tract(s) 6-B, **CAS ADDITION, BLACK RANCH**, zoned SU-1 special use zone, located on COORS BLVD NW, between WESTSIDE DR NW and CALABACILLAS ARROYO NW containing approximately 6 acre(s). [REF: 04DRB01374, 04DRB01059, 04DRB02060, 04EPC01840, 04EPC01841, 04EPC01843, 03EPC02058, 03EPC02059, 03EPC02060, Z-93-115] *[Deferred from 7/27/05]* (B-13/B-14) **DEFERRED AT THE AGENT'S REQUEST TO 8/3/05.**
13. **Project # 1004337**
05DRB-01177 Minor-Prelim&Final Plat
Approval
- HARRIS SURVEYING agent(s) for PALM HARBOR HOMES request(s) the above action(s) for all or a portion of Lot(s) A, **BELLAMAH'S CENTRAL ADDITION**, zoned C-2 community commercial zone, located on CENTRAL AVE NE, between EUBANK BLVD NE and MORRIS NE containing approximately 3 acre(s). (L-21) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE AGIS DXF FILE.**
14. **Project # 1000511**
05DRB-01102 Minor-Vacation of
Private Easements
05DRB-01101 Minor-Prelim&Final Plat
Approval
- MIKE MONTOYA request(s) the above action(s) for all or a portion of Tract(s) A1, A2, A3, **HERITAGE EAST, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on DE VARGAS LOOP NE, between VENTURA ST NE and GREENWOOD ST NE containing approximately 1 acre(s). [REF: DRB-94-551] (D-20) **THE VACATION OF PRIVATE EASEMENTS WILL BE WITHDRAWN BY AGENT. THE REQUEST WAS DEFERRED AT THE AGENT'S REQUEST TO 8/24/05.**

15. **Project # 1002739**
05DRB-01174 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for KB HOMES NEW MEXICO, INC request(s) the above action(s) for all or a portion of Tract(s) PARCEL 2-D LANDS OF RIO BRAVO PARTNERS, (to be known as **ANDERSON HEIGHTS, UNIT 1-A**) zoned R-D residential and related uses zone, developing area, located on 118TH STREET SW, between DENNIS CHAVEZ BLVD SW and GIBSON BLVD SW containing approximately 119 acre(s). (N-8/P-8) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR OPEN SPACE CALCULATIONS AND PLANNING TO RECORD.**

16. **Project # 1004179**
05DRB-01181 Minor-Prelim&Final Plat Approval

TIERRA WEST LLC agent(s) for JOHN PRICE request(s) the above action(s) for all or a portion of Tract(s) 82, (to be known as **ALVARADO GARDENS REPLAT, UNIT #3**) zoned RA-2 residential and agricultural zone, located on CANDELARIA RD NW, between TRELIS DR NW and GLENWOOD DR NW. [REF: DRB-94-102, 05DRB00796] (G-12) **PRELIMINARY AND FINAL PLAT APPROVED AND SIGNED OFF BY THE BOARD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

THERE ARE NO SKETCH PLATS THIS WEEK

17. Approval of the Development Review Board Minutes for June 29, 2005. **THE DRB MINUTES FOR JUNE 29, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:50 A.M.

3801

DXF Electronic Approval Form

DRB Project Case #:

Subdivision Name:

Surveyor:

Contact Person:

Contact Information:

DXF Received:

Hard Copy Received:

Coordinate System:



Approved

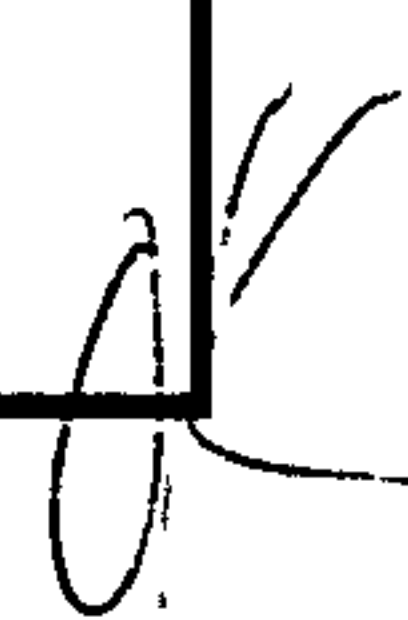
07-19-2005

Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only

Copied fc **3801** to agiscov on **7/19/2005** Contact person notified on **7/19/2005**



#5



DRB CASE ACTION LOG (SITE PLAN B.P.)

Comp 9/6/05 KS

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-01180 (SBP)

Project #: 1003801

Project Name: ALTURA ADDITION

Agent: Surv-Tek Inc.

Phone No.: 897-3366

Your request for (SDP for SUB) (SDP for BP) (FINAL PLATS), (MASTER DEVELOPMENT PLAN), was approved on 7/27/05 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: * PER COMMENTS SHEET
 D. Stallworth's initials
 * PARKING CONC'S done by D. STALLWORTH

UTILITIES: revise Utility Plan (Water Meter location & size, fire hydrant location)

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign):

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1003801

#5



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-01180 (SBP)
Project Name: ALTURA ADDITION
Agent: Surv-Tek Inc.

Project # 1003801
Phone No.: 897-3366

Your request for (SDP for SUB) (SDP for BP) (FINAL PLATS), (MASTER DEVELOPMENT PLAN), was approved on 7/27/05 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: * FOR EQUIPMENT SHORTAGE
D. Stallworth's initials
PARKING CONC'S letter for D. STALLWORTH
City Council note 2 05

UTILITIES: revise Utility Plan (Water Meter location & size, fire hydrant location)

CITY ENGINEER / AMAFCA: _____

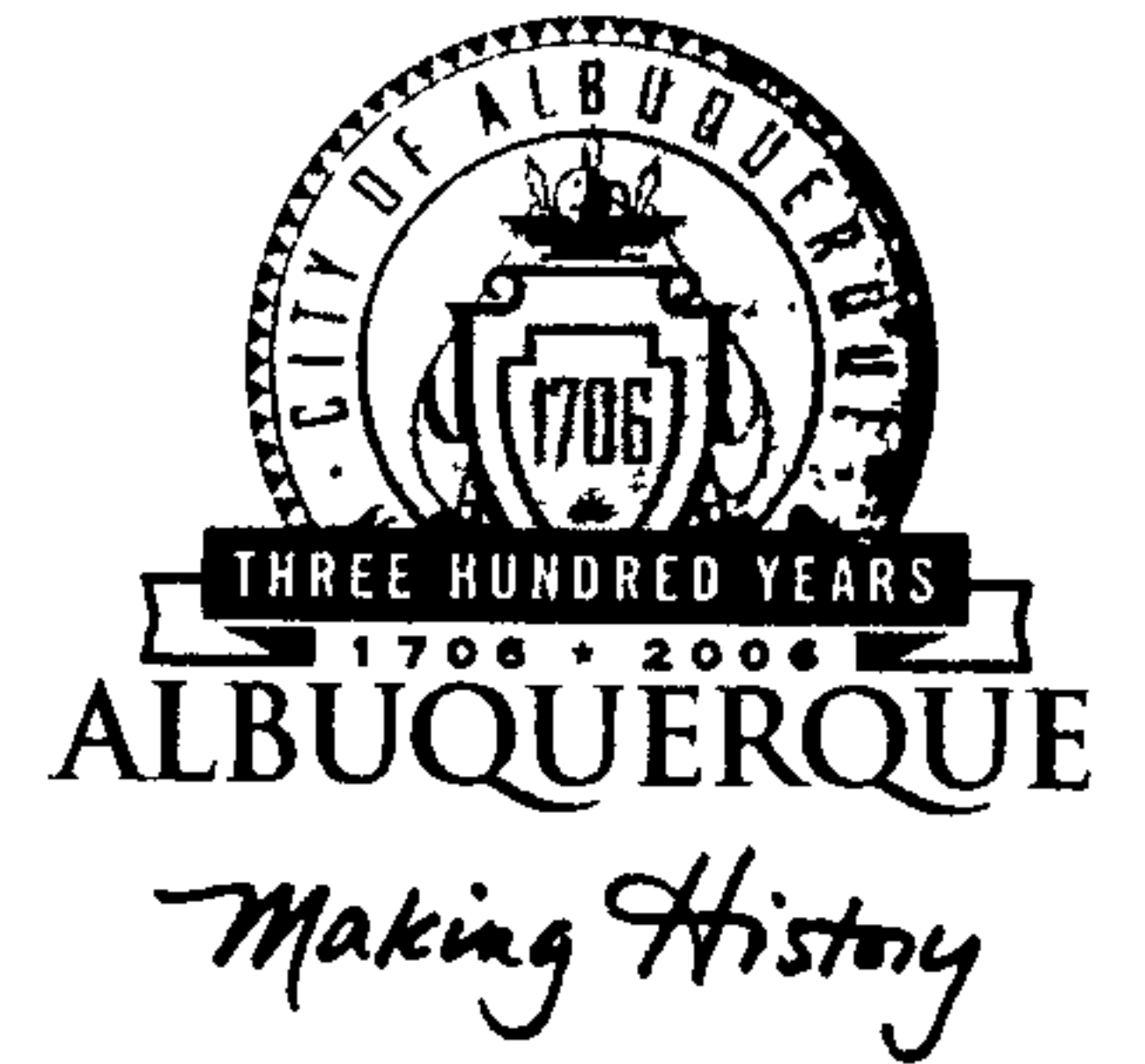
PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.** — OK
- Copy of recorded plat for Planning.**

Project Number 1003801

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1003801

AGENDA ITEM NO: 5

SUBJECT:

**Final Plat
Preliminary Plat
Site Plan for BP**

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

P.O. Box 1293

No adverse comments.

Albuquerque

RESOLUTION:

*Signed IL Indef.
FP for SIA*

APPROVED ; DENIED ; DEFERRED ; COMMENTS PROVIDED ; WITHDRAWN

New Mexico 87103

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PRKS) (PLNG)

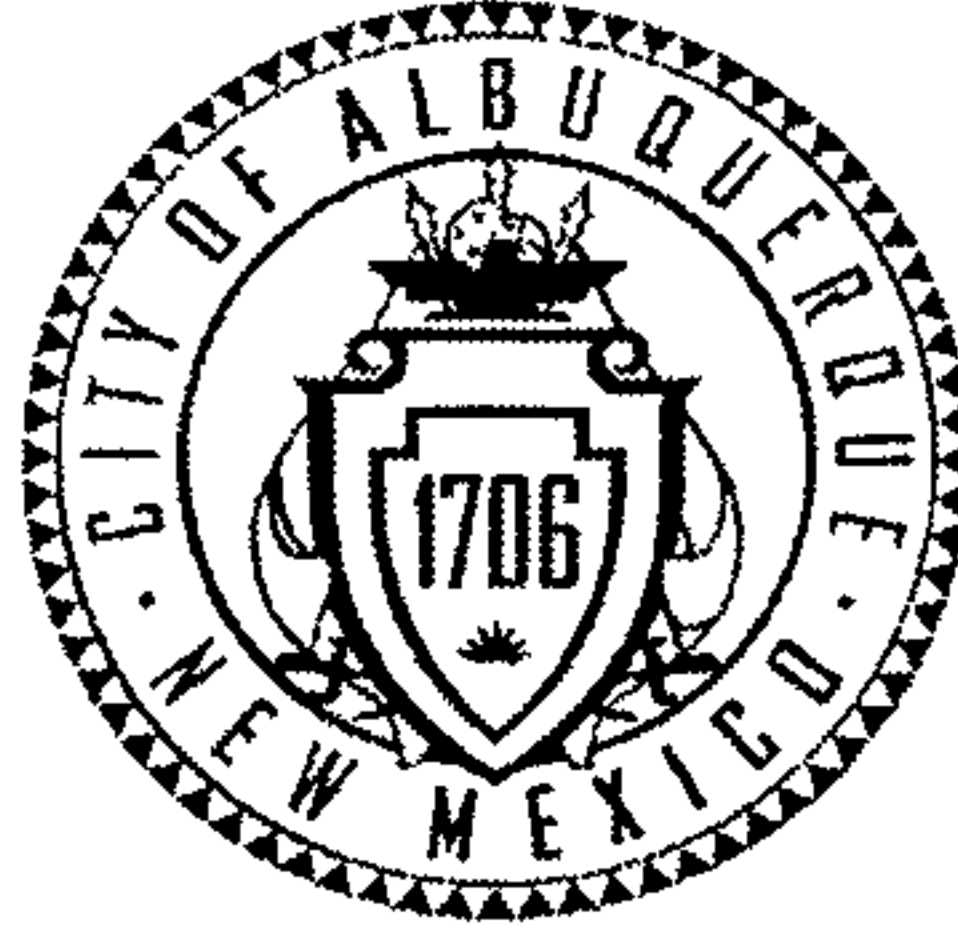
www.cabq.gov

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

FOR:

**SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee**

DATE: JULY 27, 2005



#5

**CITY OF ALBUQUERQUE, PLANNING DEPARTMENT
INTERNAL MEMORANDUM**

TO: Sheran Matson, Chairperson – Development Review Board

FROM: David Stallworth, Planner

COPIES TO: Claire Senova, Development Review

DATE: July 26, 2005

RE: **PROJECT NO. 1003801, Case Numbers 05DRB – 01179 and 01180, Carlisle Shops.**

On July 18, 2005, the applicant provided a site plan for preliminary planning staff review in accordance with condition number two (2) of the official decision notice dated June 17, 2005 for the above-referenced project (cross-reference Environmental Planning Commission case number **04EPC – 01715**, June 16, 2005). Below are my comments to numbers four (4) through eight (8) of those conditions approved:

Condition number:

- 5-d. *The applicant shall provide sufficient shading for any proposed outdoor seating along the building elevation facing Carlisle Boulevard. Awnings are too shallow to provide adequate shading. The applicant should either extend the profile of the awnings, relocate benching completely underneath awnings, or relocate benching to an area with sufficient vegetative shading.*
- 7-a. *Schematics for the proposed 3-foot wall along Carlisle Boulevard shall be shown on the final site plan. Wall materials are demonstrated on keynotes 23 and 24; colorations and texturing are not specified.*
- 7-c. *All existing fences and walls along the north project boundary shall be removed and replaced with an appropriate solid wall or screening. Schematics shall be shown on the final site plan. Existing substandard wall demonstrated on site plan as keynote 1, no further elaboration on its replacement is shown on the site plan. Materials, height, coloration and texturing must be provided.*

Miscellaneous Comments: I requested at the preliminary review that a side profile of the trash enclosure be provided on the final site plan, including material, coloration and texturing, to demonstrate inconspicuousness, given its prominent location along Carlisle.

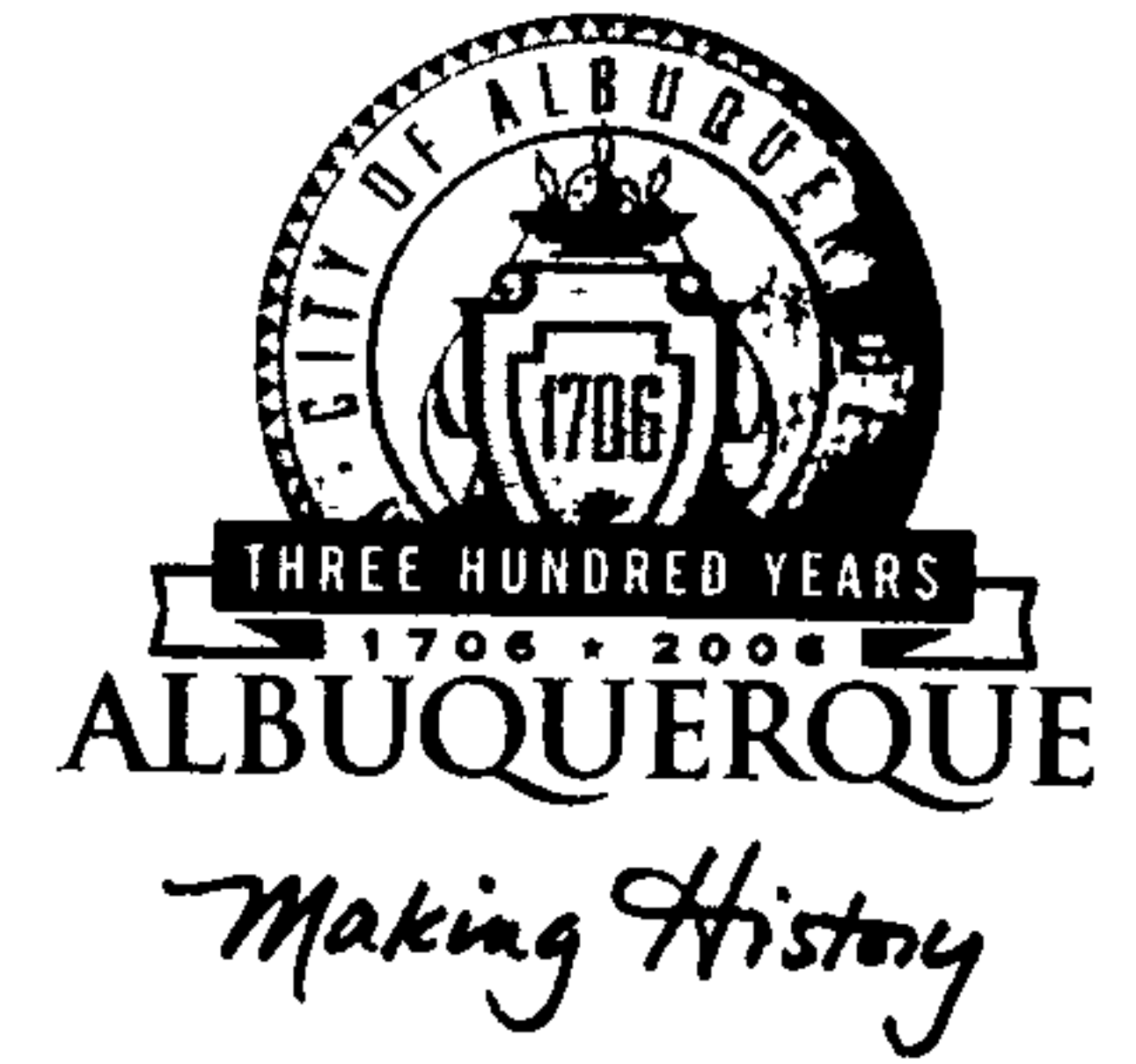
All other conditions appear to have been satisfactorily met. Thank you.

A handwritten signature in cursive script, appearing to read "Stallworth". The signature is written in black ink and is positioned on the left side of the page.

PLANNING TRACKING LOG

Date	Project Name & #	Action Request	Action Taken
2/2/05	Altura Addition 1003801	Sketch Plat	Reviewed & Comments
7/27/05	Same	Site Plan B.P Prel + Final	Given approved P.P. approved 750 Index deferred S.A
10/5/05	Same	Final Plat	

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003801

AGENDA ITEM NO: 16

SUBJECT:

- | | | |
|--------------------------------|---------------------------------|----------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Dev. Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Cost Allocation Plan |

ACTION REQUESTED:

P.O. Box 1293

REV/CMT:(x) APP:() SIGN-OFF:() EXTN:() AMEND:()

Albuquerque

ENGINEERING COMMENTS:

No adverse comments.

New Mexico 87103

RESOLUTION:

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED *discussal* X; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: February 2, 2005

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
February 2, 2005
DRB Comments**

ITEM # 16

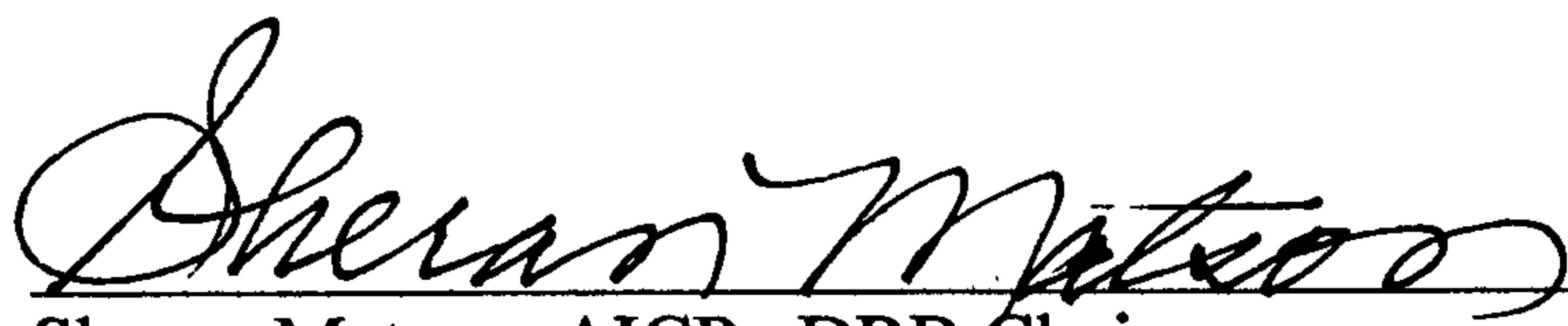
PROJECT # 1003801

APPLICATION # 05-00101

RE: Lots 28-31, Altura Addition/Sketch

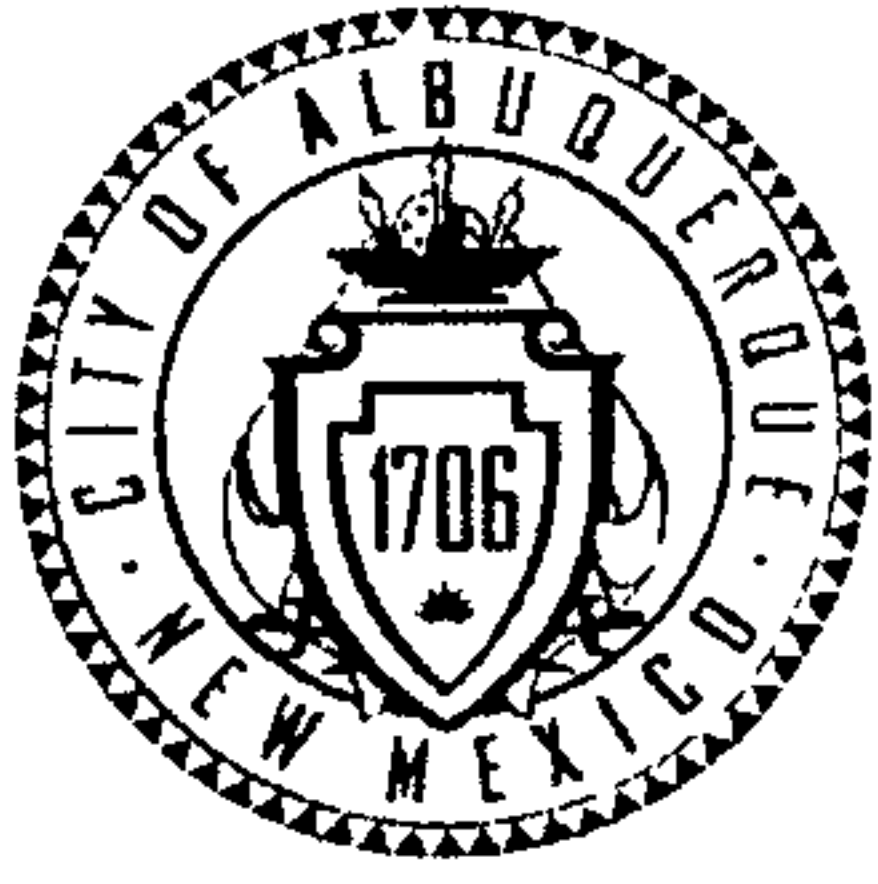
O-1 zoning has no minimum lot size. Planning has no adverse comments.

*Proposed SU1-C1 requires EPC
approval of re-zone & site plan
before replat.*



Sheran Matson, AICP DRB Chair

924-3880 Fax 924-3864 smatson@cabq.gov



**City of Albuquerque
Planning Department
Interoffice Memo**

Date: 19 May 2008

To: Jack Cloud, DRB Chair

From: Russell Brito, Dev. Rvw. Div. Mngr.

RE: Project # 1003801

The applicant's agent met with EPC staff to review the site development plan and the EPC conditions of approval. The current DRB submittal appears to meet all EPC conditions of approval.

Please ensure that the elements of Conditions #3 and #4 are met to the satisfaction of the City Engineer and Solid Waste Department, respectively.

City of Albuquerque Planning Department

One Stop Shop – Development and Building Services

05/13/2008 Issued By: PLNSDH

*
*
*
*
*

Permit Number: 2008 070 227 **Category Code 910**

Application Number: 08DRB-70227, Epc Approved Sdp For Build Permit

Address:

Location Description: CARLISLE BLVD NE BETWEEN INDIAN SCHOOL RD NE AND HANNETT AVE NE

Project Number: 1003801

Applicant

Doug Peterson
Carlisle Shop Lcc
2325 San Pedro Dr Ne Ste A
Albuquerque NM 87110
884-3578

Agent / Contact

Dac Enterprises, Inc

Po Box 16658
Albuquerque NM 87191

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	
TOTAL:		\$20.00

City Of Albuquerque
Treasury Division

5/13/2008 10:56AM LOC: ANWX
WS# 007 TRANS# 0019
RECEIPT# 00098471-00098471
PERMIT# 2008070227 TRSCXG
Trans Act \$20.00
Conflict Manag. Fee \$20.00
Vt \$20.00
CHANGE \$0.00

Total Fee



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional/Agent (if any): DAC ENTERPRISES, INC PHONE: 294-5243
 ADDRESS: P.O. Box 16658 FAX: 247-4530
 CITY: ALBUQUERQUE STATE NM ZIP 87191 E-MAIL: _____

APPLICANT: DOUG PETERSON d/b/k CARLISLE SHOPS, LLC PHONE: 884-3578
 ADDRESS: 2325 SAN PEDRO DR NE, SUITE A FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: FINAL SIGN-OFF FOR EPC APPROVED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOT 28-A Block: A Unit: _____
 Subdiv/Addn/TBKA: ALTURA ADDITION
 Existing Zoning: SM-1 for C-1 w/EXCEPTIONS Proposed zoning: SAME
 Zone Atlas page(s): J-16 UPC Code: _____ MRGCD Map No _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): PROJECT # 1003801 - 08EPC-40026

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 1.0 AC
 LOCATION OF PROPERTY BY STREETS: On or Near: CARLISLE BLVD NE
 Between: INDIAN SCHOOL ROAD NE and HANNETT AVE NE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Doug Crandall DATE 5/12/08
 (Print) DOUG CRANDALL, DAC ENTERPRISES, INC. Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>08DRB-70227</u>	<u>SBP</u>	<u>P(3)</u>	<u>\$0</u>
<input type="checkbox"/> All fees have been collected	_____	<u>CME</u>	_____	<u>\$20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>05/21/08</u>			Total <u>\$20.00</u>

Sandy Handley 05/13/08 Project # 1003801
 Planner signature / date

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 - ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Completed Site Plan for Subdivision Checklist
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist
 - ___ Copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
 - ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - ~~N/A~~ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ~~Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**~~
 - ~~Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**~~
 - ~~Solid Waste Management Department signature on Site Plan for Building Permit~~
 - ~~Zone Atlas map with the entire property(ies) clearly outlined~~
 - ~~Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision~~
 - ~~Infrastructure List, if relevant to the site plan~~
 - ~~Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)~~
 - ~~List any original and/or related file numbers on the cover application~~

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

DOUG CRANDALL, DAC ENTERPRISES INC.

Applicant name (print)

Doug Crandall 5/12/08
Applicant signature / date



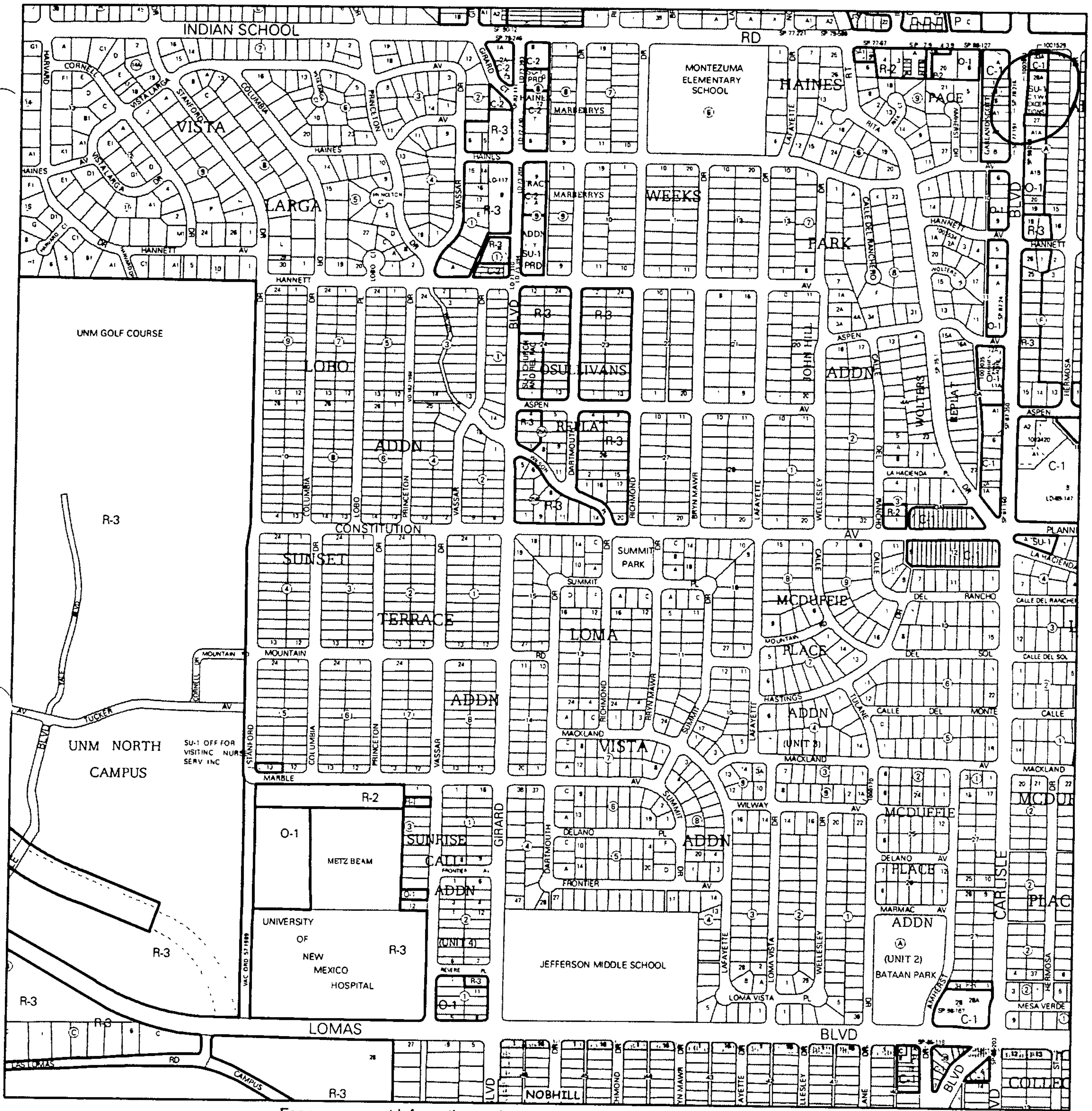
Form revised October 2007

- Checklists complete
- Fees collected
- Case #'s assigned
- Related #'s listed

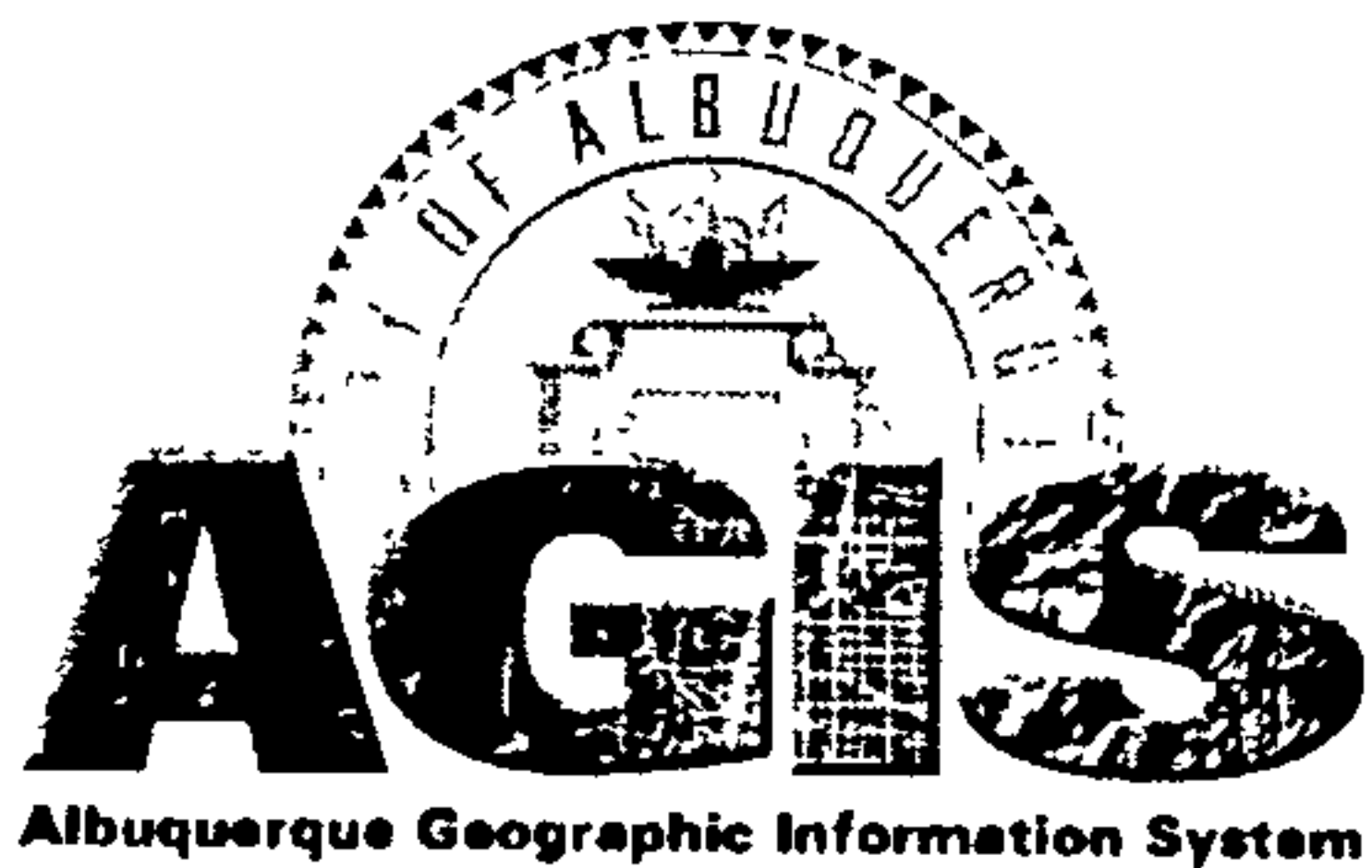
Application case numbers
08DRB- _____ -70227

Sandy Handley 05/13/08
Planner signature / date

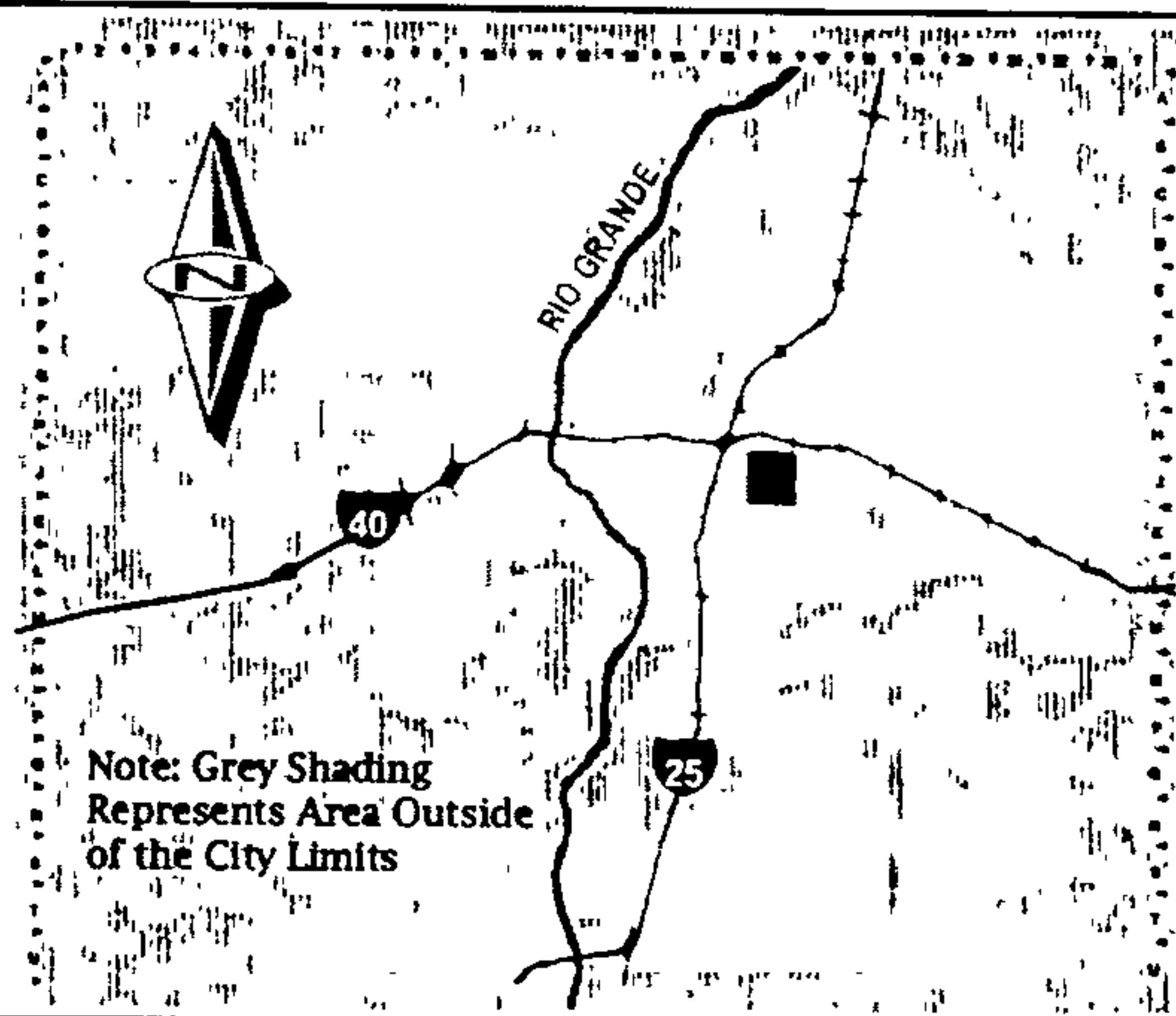
Project # 1003801



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 5/17/2007



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
J-16-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



May 12, 2008

Mr. Jack Cloud, AICP
Chair, Development Review Board
Planning Department
City of Albuquerque
600 2nd St. NW
Albuquerque, New Mexico 87102

Re: 08EPC-40026/Project # 1003801

Dear Mr. Cloud:

This letter is written in to address the conditions of approval for the above referenced property.

Condition # 1 - All requirements of the EPC approval of this site plan have been met as specified in Conditions 2-5 below.

Condition #2 - Staff planner Jennifer Donofrio has left the City of Albuquerque. All conditions of approval were reviewed with Russell Brito, Planning Manager.

Condition # 3 - City engineer has certified that all requirements for previous actions have been completed.

Condition # 4 - Applicant is prepared to comply with any and all requirements imposed by the Solid Waste Management Department regarding this project.

Condition # 5 - The site plan has been amended to reflect: a.) The bakery shall not exceed twelve seats maximum; b.) The bakery shall have one oven and one vent hood from cooking equipment; c.) The bakery shall not have a stove-top or grilling equipment. The use of a Panini sandwich press is allowed; d.) The oven shall operate only between the hours of 4:30 am and noon, except during the months of November and December when the oven shall stop operation no later than 2 pm; e.) Delivery hours shall be between 8 am and 5 pm; f.) Special events and baking classes shall be limited to once a month, and; g.) Only retail sales of baked goods are allowed as per the existing [C-1] zoning.

Applicant will be pleased to answer any questions during the presentation before the Development Review Board next week.

Sincerely,



Doug Crandall
Principal, DAC Enterprises, Inc.
Agent for Carlisle Shops, LLC



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: April 18, 2008

OFFICIAL NOTIFICATION OF DECISION

FILE: Project# 1003801*
08EPC-40026 SITE DEVELOPMENT PLAN -
Building Permit

Doug Peterson d/b/a
Carlisle Shops, LLC
2325 San Pedro NE, Suite A
Albuq. NM 87110

LEGAL DESCRIPTION: for all or a portion of lot 28-A, Block A, ALTURA ADDITION, zoned SU-1 FOR C-1 W/EXCEPTIONS located on CARLISLE BLVD NE BETWEEN INDIAN SCHOOL RD NE AND HANNETT AVE NE containing approximately 1 acre. (J-16) Jennifer Donofrio, Staff Planner

On April 17, 2008 the Environmental Planning Commission voted to approve Project 1003801/08EPC 40026, Amendment of a Site Development Plan for Building Permit to allow Restaurant Use, on Tract 28A, Block A, Altura Addition, zoned SU-1 for C-1 with exclusions, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for approval of an amendment to a site development plan for building permit for Tract 28A, Altura Addition to allow the bakery to locate in the existing shopping center. The 0.64 site is located on Carlisle Boulevard NE between Indian School Road and Hannett Avenue NE.
2. The site is zoned SU-1 for C-1 with exclusions and modifications. Modification D states "Restaurant use is allowed only if approved by the EPC in conjunction with a site development plan for building permit that demonstrates adequate buffering and protection of adjacent residential uses from adverse effects of noise, lighting, pollution, traffic, and odors."
3. The applicant is proposing to operate a 1,664 square foot bakery with 12 seats and one oven within an already existing commercial strip. The applicant is not proposing any changes to the building footprint, parking, lighting, landscaping, or any other exterior features on the site.

OFFICIAL NOTICE OF DECISION

APRIL 17, 2008

PROJECT #1003801

PAGE 3 OF 4

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. City Engineer Condition: All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
4. Solid Waste Management Department Condition: Approved on condition, will comply with all SWMD ordinances and requirements.
5. The following notes shall be added to the site development plan for building permit:
 - a. The bakery shall not exceed twelve seats maximum.
 - b. The bakery shall only have one oven and one vent hood from cooking equipment.
 - c. The bakery shall not have stove-top or grilling equipment. The use of a panini sandwich press is allowed.
 - d. The oven shall operate only between the hours of 4:30am and noon, except during the months of November and December when the oven shall stop operation no later than 2pm.
 - e. Delivery hours shall be between 8am and 5pm.
 - f. Special events and baking classes shall be limited to once a month.
 - g. Only retail sales of baked goods are allowed as per the existing zoning.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY MAY 2, 2008 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION
APRIL 17, 2008
PROJECT #1003801
PAGE 4 OF 4

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

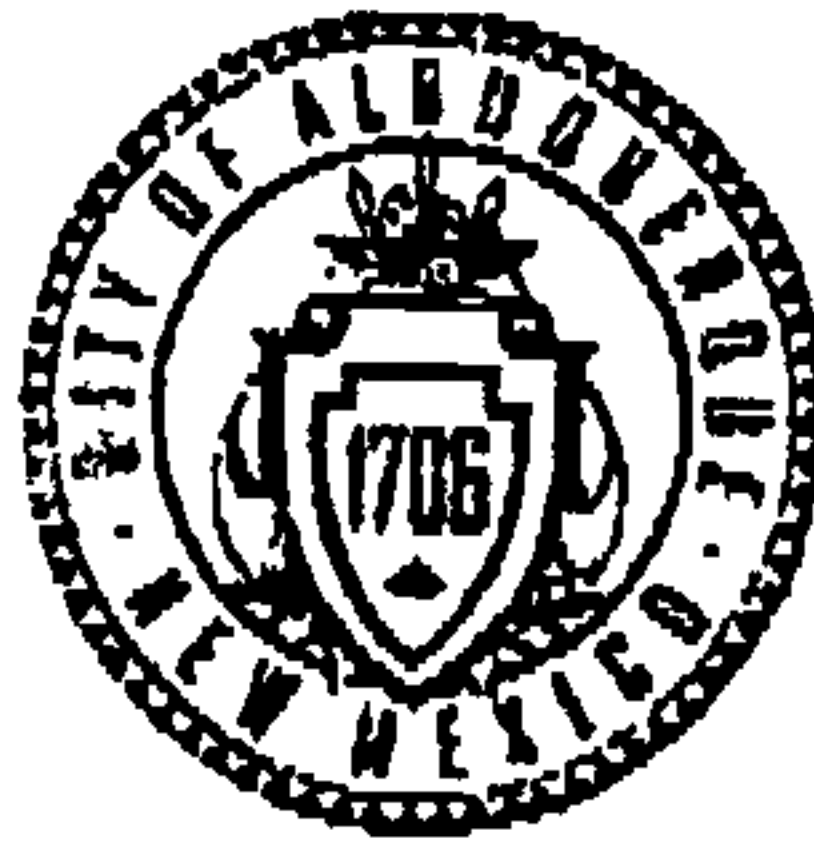
Sincerely,



 Richard Dineen
Planning Director

RD/JD/ac

cc: Denise Hammer, Altura Addition, NA, 1735 Aliso Dr. NE, Albuquerque, NM 87110
Alan Varela, Altura Addition NA, 4004 Solano Pl. NE, Albuquerque, NM 87110
Keith Rasmussen, Summit Park NA, 3401 Calle del Ranchero NE, Albuquerque, NM 87106
Becky Scheib, Summit Park NA, 3509 Calle del Ranchero NE, Albuquerque, NM 87106



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: April 18, 2008

OFFICIAL NOTIFICATION OF DECISION

FILE: Project# 1003801*
08EPC-40026 SITE DEVELOPMENT PLAN -
Building Permit

Doug Peterson d/b/a
Carlisle Shops, LLC
2325 San Pedro NE, Suite A
Albuq. NM 87110

LEGAL DESCRIPTION: for all or a portion of lot 28-A, Block A, ALTURA ADDITION, zoned SU-1 FOR C-1 W/EXCEPTIONS located on CARLISLE BLVD NE BETWEEN INDIAN SCHOOL RD NE AND HANNETT AVE NE containing approximately 1 acre. (J-16) Jennifer Donofrio, Staff Planner

On April 17, 2008 the Environmental Planning Commission voted to approve Project 1003801/08EPC 40026, Amendment of a Site Development Plan for Building Permit to allow Restaurant Use, on Tract 28A, Block A, Altura Addition, zoned SU-1 for C-1 with exclusions, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for approval of an amendment to a site development plan for building permit for Tract 28A, Altura Addition to allow the bakery to locate in the existing shopping center. The 0.64 site is located on Carlisle Boulevard NE between Indian School Road and Hannett Avenue NE.
2. The site is zoned SU-1 for C-1 with exclusions and modifications. Modification D states "Restaurant use is allowed only if approved by the EPC in conjunction with a site development plan for building permit that demonstrates adequate buffering and protection of adjacent residential uses from adverse effects of noise, lighting, pollution, traffic, and odors."
3. The applicant is proposing to operate a 1,664 square foot bakery with 12 seats and one oven within an already existing commercial strip. The applicant is not proposing any changes to the building footprint, parking, lighting, landscaping, or any other exterior features on the site.

OFFICIAL NOTICE OF DECISION

APRIL 17, 2008

PROJECT #1003801

PAGE 2 OF 4

4. This request furthers the intent of relevant Comprehensive Plan policies.
 - a. Policy II.B.5.d: The location, intensity, and design of this development respects existing neighborhood values. The applicant and the NA have worked together on the list of proposed Conditions of Approval to protect the neighborhood from the adverse effects of noise, lighting, pollution, and traffic.
 - b. Policy II.B.5.e: The proposed use would not create additional impacts to the existing urban facilities/ services. The "as built" proposal would not change the building footprint, parking, lighting, landscaping, or any other exterior features on the site.
 - c. Policy II.B.5.i: The adopted site development plan for building permit (05EPC-00745) protects the neighbors from the adverse effects noise, lighting, pollution, and traffic. Based on the Zoning Code, a restaurant use with 10 seats would require fewer parking spaces than a 1664 square foot retail use.
 - d. Policy II.B.5.j: The subject site is located near a residential neighborhood and along an existing minor arterial. The proposed neighborhood-oriented bakery would be located in an existing commercially zoned area and within a reasonable distance for residents to walk or bike to the site.
5. There is no opposition to this request. A facilitated meeting was held on March 19, 2008. The Altura Addition Neighborhood Association and the applicant have been working closely to address and resolve differences and have developed a list of conditions of approval that will be noted on the amended site development plan for building permit.
6. Two zoning violations exist on the subject site, which are not directly related to the current request: a restaurant use that did not get EPC approval and outdoor seating that is not allowed by the controlling site development plan. The subject request for a bakery with restaurant seating complies with the requirement for EPC review.
7. The applicant is a member of the Environmental Planning Commission who has recused himself from hearing the matter and left the hearing room during testimony and action. The remaining members of the EPC took action on the case objectively, based on the record, the testimony of speakers, and the facts.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

OFFICIAL NOTICE OF DECISION
APRIL 17, 2008
PROJECT #1003801
PAGE 3 OF 4

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. **City Engineer Condition:** All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
4. **Solid Waste Management Department Condition:** Approved on condition, will comply with all SWMD ordinances and requirements.
5. The following notes shall be added to the site development plan for building permit:
 - a. The bakery shall not exceed twelve seats maximum.
 - b. The bakery shall only have one oven and one vent hood from cooking equipment.
 - c. The bakery shall not have stove-top or grilling equipment. The use of a panini sandwich press is allowed.
 - d. The oven shall operate only between the hours of 4:30am and noon, except during the months of November and December when the oven shall stop operation no later than 2pm.
 - e. Delivery hours shall be between 8am and 5pm.
 - f. Special events and baking classes shall be limited to once a month.
 - g. Only retail sales of baked goods are allowed as per the existing zoning.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY MAY 2, 2008 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION
APRIL 17, 2008
PROJECT #1003801
PAGE 4 OF 4

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,



 Richard Dineen
Planning Director

RD/JD/ac

cc: Denise Hammer, Altura Addition, NA, 1735 Aliso Dr. NE, Albuquerque, NM 87110
Alan Varela, Altura Addition NA, 4004 Solano Pl. NE, Albuquerque, NM 87110
Keith Rasmussen, Summit Park NA, 3401 Calle del Ranchero NE, Albuquerque, NM 87106
Becky Scheib, Summit Park NA, 3509 Calle del Ranchero NE, Albuquerque, NM 87106



PETERSON PROPERTIES-OFFICES

FEB 24 2007

REMOVED TO
CC.

City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: February 16, 2007

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1003801***
07EPC-00012 EPC Site Development Plan-
Amendment to Building Permit

Carlisle Shops, LLC
2325 San Pedro NE, Suite A
Albuq. NM 87110

LEGAL DESCRIPTION: for all or a portion of Tracts 28A, **Altura Addition**, zoned SU-1 for C-1 w/exclusions, located on **CARLISLE BLVD. NE**, between **INDIAN SCHOOL** and **HANNETT AVE. NE**, containing approximately 1 acre. (J-16) Anna DiMambro, Staff Planner

On February 15, 2007 the Environmental Planning Commission voted to approve Project 1003801/07EPC 00012, a Site Development Plan – Amendment to Building Permit, for Tract 28A, Altura Addition, zoned SU-1 for C-1 with exclusions, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for approval of an amendment to a site development plan for building permit for Tract 28A, Altura Addition to allow an ice cream shop to locate in the existing shopping center. The 0.64 site is located on Carlisle Boulevard NE between Indian School Road and Hannett Avenue NE.
2. The site is zoned SU-1 for C-1 with exclusions and modifications. Modification D states “Restaurant use is allowed only if approved by the EPC in conjunction with a site development plan for building permit that demonstrates adequate buffering and protection of adjacent residential uses from adverse effects of noise, lighting, pollution, traffic, and odors.”
3. This request furthers the intent of relevant Comprehensive Plan policies.
 - a. Policy II.B.5.d: The location, intensity, and design of this development respect existing neighborhood values. A landscaping buffer protects the existing neighborhood from this development, and the intensity of the proposed new use will not detract from neighborhood values.

- b. Policy II.B.5.e: The subject site is located on an existing public street right-of-way and has access to existing municipal services. The applicant has provided landscaping to protect the integrity of existing neighborhoods. The new use will not generate significant noise, pollution, or odors that would become a nuisance to neighbors.
 - c. Policy II.B.5.i: The site plan review process, in conjunction with the regulation of certain land uses within the site should mitigate potential adverse impacts. The subject area does not have any direct access to the abutting residential development to the east.
 - d. Policy II.B.5.k: The subject site has approximately 240 feet of frontage along Carlisle, two-thirds of which is affected by a limited, raised median that controls cross-traffic. The requirement of reciprocal access to adjoining lots and modifications to the median to provide for adequate queuing of southbound cross-traffic should offer sufficient mitigation.
4. Approval of this use may create a parking deficiency on the site according to Zoning Code parking requirements for conventionally zoned sites. However, due to the site's SU-1 zoning, the EPC has discretion in this matter.
 5. This request is for approval of the use of one ice cream shop on the subject site. EPC site plan review will be required for any additional restaurant uses that may be proposed for the site.
 6. There is no known opposition to this request. A facilitated meeting was requested for this project, but the affected Neighborhood Associations refused it, as they did not feel it was necessary.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The applicant shall insert a definition of ice cream shop on the site plan to state "The ice cream shop will serve ice cream that is made off-site, will not have ovens, and will not be a drive-thru operation."
4. The applicant shall mark designated motorcycle parking spaces with the signage and demarcation required by the Zoning Code.

5. The applicant shall ensure that site lighting is in compliance with Zoning Code requirements for lighting within 100' of a residential zone.
6. The applicant shall correct spelling errors on pages AS1.1 and AS1 in Zoning Exclusion T. Replace "quaters" with the word "quarters."
7. City Engineer Condition: All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY MARCH 2, 2007 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

OFFICIAL NOTICE OF DECISION
FEBRUARY 15, 2007
PROJECT #1003801
PAGE 4 OF 4

Sincerely,

C. Marone

for Richard Dineen
Planning Director

RD/AD/ac

cc: Denise Hammer, Altura Addition, NA, 1735 Aliso Dr. NE, Albuquerque, NM 87110
Alan Varela, Altura Addition NA, 4004 Solano Pl. NE, Albuquerque, NM 87110
Keith Rasmussen, Summit Park NA, 3401 Calle del Rancho NE, Albuquerque, NM 87106
Becky Scheib, Summit Park NA, 3509 Calle del Rancho NE, Albuquerque, NM 87106



PETERSON PROPERTIES-OFFICES

Carlisle/Indian
JUN 24 2005

BY: Katherine
Routed to: Bluff
CC: Dean, Jim

City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: June 17, 2005

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1003801***
05EPC-00745 EPC Site Development Plan-
Building Permit

Peterson Properties Real Estate, Inc.
2325 San Pedro NE, Suite 2A
Albuq. NM 87110

LEGAL DESCRIPTION: for all or a portion of
Lots 28-31, Block A, Altura Addition, zoned
SU-1 for C-1 w/ Exclusions, located on the east
side of **CARLISLE BOULEVARD, NE**, between
INDIAN SCHOOL ROAD, NE and **HANNETT
AVENUE, NE**, containing approximately 1 acre
(J-16) David Stallworth, Staff Planner

On June 16, 2005 the Environmental Planning Commission voted to approve Project 1003801/05EPC 00745, a site development plan for building permit for Lots 28 through 31, Block A, Altura Addition Subdivision, pending certification of SU-1/C-1 zoning with Exclusions as approved on March 17, 2005, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for consideration and approval of a site development plan for building permit for Lots 28 through 31, Block A, Altura Addition Subdivision to accommodate the new construction of a +/-7200-square-foot neighborhood commercial retail center.
2. The proposed development would be a logical extension of existing commercial zoning to the north of the subject area, and commercial uses would be an appropriate use of the property, in accordance with *Policy II.B.5.d* of the *City/County Comprehensive Plan*.
3. No public improvements or extensions of public utilities are required to accommodate the request, and there are transit facilities in place to adequately support a commercial development, in accordance with *Policy II.B.5.e* of the *City/County Comprehensive Plan*.
4. The proposed development will offer employment opportunities and services that will complement the surrounding area, in accordance with *Policies II.B.5.i* and *II.B.5.o* of the *City/County Comprehensive Plan*.

5. Site plan review and land use restrictions should help ensure that any new development within the subject area is sensitive to, and compatible with, surrounding development, that it functions as an infill development, and that it could become a catalyst for redevelopment, in accordance with *Policies II.B.5.k and II.B.5.l* of the *City/County Comprehensive Plan*.
6. The applicant is authorized to request a site development plan for building permit on the subject property.
7. The applicant has worked closely with area residents and interested community organizations in the design of this project, and the submitted proposal is the end result of that collaboration.
8. There is no known public opposition to the request. Outstanding concerns from area residents include the proposed rear setback, times for garbage pick-up and the possible need for a traffic study.
9. As an infill project flexibility in applying regulatory standards is appropriate, as provided for by the SU-1 provisions of the Zoning Code. The EPC approves the 10 foot rear setback which is a variance from the C-1 standard of 15 feet and the diminished rear landscape buffer (as depicted on the site plan) which is a variance from the standard 10 foot wide landscape strip requirement.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The applicant shall schedule with the Planning Department case manager a preliminary review of the site plan to be submitted to the Development Review Board within a reasonable amount of time prior to a filing for final sign-off.
3. With respect to engineering-related considerations, the following conditions shall apply:
 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).

- b. Modification of median in Carlisle to provide a left turn lane at south driveway. Provide max length possible that does not conflict with existing north bound left turn land on Carlisle at Indian School.
 - c. The site plan shall comply and be designed per DPM Standards.
 4. The applicant shall submit an amendment of this site plan to the Environmental Planning Commission in the event a restaurant or food service tenant is proposed for the site.
 5. With respect to site plan-related considerations, the following conditions shall apply:
 - a. The applicant shall assemble the project area into one lot through a replat. The replat must be recorded prior to the issuance of a building permit and certification of zoning.
 - b. The applicant shall raise the parapet along the proposed east building elevation to a reasonable height that will provide sufficient screening of ventilation equipment to abutting residential properties. The parapet height shall not exceed the maximum height restrictions for C-2 zoning.
 - c. The applicant shall include a minimum five-foot (5') pedestrian pathway along the rear of the building to accommodate emergency exit traffic.
 - d. The applicant shall provide sufficient shading for any proposed outdoor seating along the building elevation facing Carlisle Boulevard.
 - e. The proposed freestanding sign shall be in accordance with specifications submitted during the June 16th public hearing to include a sign area of 9 feet in height, 12 feet width, 7 feet above the ground with a landscaped base and situated a minimum of 10 feet from the east right-of-way line of Carlisle Boulevard. The LED Reader board shall change a minimum of every 30 minutes.
 6. The applicant shall furnish a minimum of 1 motorcycle parking space on the site.
 7. With respect to lighting- and security-related considerations, the following conditions shall apply:
 - a. Schematics for the proposed three-foot (3') wall along Carlisle Boulevard shall be shown on the final site plan.
 - b. The applicant shall either modify the portion of the wall along the east project boundary that abuts any site parking to a minimum height of six feet (6') or seek a variance from this requirement.
 - c. All existing fences and walls along the north project boundary shall be removed and replaced with an appropriate solid wall or screening. The schematics for this wall shall be shown on the final site plan.
 - d. The applicant should ensure that any on-site lighting is shielded in order to provide downward light emission and prevent both light trespass and upward light pollution.
 - e. The applicant shall provide security lighting along the rear of the proposed building.
 8. With respect to landscape-related considerations, the following conditions shall apply:

- a. The applicant shall either install a reasonable amount of evergreen trees within the rear setback area to complement the proposed deciduous plantings or install trellising along the rear building elevation to provide significant visual relief.
 - b. Either evergreen plantings or some alternative creative landscaping should be included near the trash enclosure to provide better year-round concealment.
9. The project will comply with all SWMD ordinances and requirements.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY JULY 1, 2005 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

OFFICIAL NOTICE OF DECISION
JUNE 16, 2005
PROJECT #1003801
PAGE 5 OF 5

Sincerely,


for Richard Dineen
Planning Director

RD/DS/ac

cc: Denise Hammer, Altura Addition NA, 1735 Aliso Dr. NE, Albuquerque, NM 87110
Richard Royman, Altura Addition NA, 1822 Solano NE, Albuquerque, NM 87110
Ken Romig, Summit Park NA, 3317 Wilway NE, Albuquerque, NM 87106
Jolita Leavell, Summit Park NA, 3416 Wilway NE, Albuquerque, NM 87106
Carol Maguire, Netherwood Park NA, 1925 Apache Ct. NE, Albuquerque, NM 87106
Peter Burton, Netherwood Park NA, 2312 Morrow NE, Albuquerque, NM 87106
Walter Bauke, 1829 Hermosa NE, Albuquerque, NM 87110

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**


PAID RECEIPT

APPLICANT NAME CARLISLE SHOPS LLC
 AGENT _____
 ADDRESS _____
 PROJECT & APP # 1003801 / 07 DRB00222
 PROJECT NAME CARLISLE SHOPS / ALTURA SHOPS

\$ _____ 441032/3424000 Conflict Management Fee
 \$ 50.00 441006/4983000 DRB Actions DEFERRAL FEE
 \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
 \$ _____ 441018/4971000 Public Notification
 \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study
 \$ 50.00 TOTAL AMOUNT DUE

*****NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

DUPLICATE
 City of Albuquerque
 Treasury Division
 9:54AM
 LCC: AMX
 RECEIPT# 0007781 WSH 007 TRANSN 001
 Account 441006 Fund 0000
 Activity 4983000
 Trans Amt
 TRSEJA \$50.00
 \$50.00
 \$50.00
 \$0.00
 Thank You
 CHANGE

<p>CARLISLE SHOPS, LLC 2325 SAN PEDRO N.E., STE. 2A ALBUQUERQUE, NEW MEXICO 87110 505-884-3578</p>	<p>COMPASS BANK ALBUQUERQUE, NM 87125 95-78/1070</p>	<p>2141 2141</p>
<p>Pay: *****Fifty dollars and no cents DATE AMOUNT</p> <p align="center">March 8, 2007 \$*****50.00</p>		
<p>PAY TO THE ORDER OF: City of Albuquerque PO Box 1313 Customer Service Albuquerque, NM 87103</p>	<p>CARLISLE SHOPS, LLC</p> <p align="center"> AUTHORIZED SIGNATURE</p>	

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit (DRB SIGN-OFF)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

Supplemental form

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...
- D Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: CARLISLE SHOPS, LLC PHONE: 884-3578
 ADDRESS: 2325 SAN PEDRO NE #2A FAX: 884-6793
 CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners: _____
 AGENT (if any): _____ PHONE: _____
 ADDRESS: _____ FAX: _____
 CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

DESCRIPTION OF REQUEST: DRB SIGN-OFF OF EPC APPROVED AMENDED SITE PLAN FOR BUILDING PERMIT TO ALLOW AN ICE CREAM SHOP

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 28-A Block: A Unit: _____
 Subdiv. / Addn. ALTURA ADDITION
 Current Zoning: SD-1 FOR C-1 w/ EXCLUSIONS Proposed zoning: N/A
 Zone Atlas page(s): J-16-Z No. of existing lots: 1 No. of proposed lots: N/A
 Total area of site (acres): < 1 ACRE Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. 101705801150421423 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: CARLISLE BLVD. NE
 Between: INDIAN SCHOOL RD. NE and HANNETT AVE. NE

CASE HISTORY: Anna De Mambro EPC Case Planner

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.):
PROJECT 1003801, 07EPC-00012, 05EPC-00745, 04EPC-01821

Check-off if project was previously reviewed by Sketch Plat/Plan?, or Pre-application Review Team?. Date of review: PRE ON 1/2/07

SIGNATURE [Signature] DATE 2/27/07
 (Print) DOUGLAS H. PETERSON Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
07DRB - 00222	SBP	P(3)	\$0.00
	CMF		\$20.00
			\$
			\$
			\$
Hearing date <u>03/07/07</u>			Total \$20.00

Sandy Sandley 02/26/07

Project # 1003801

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Completed Site Plan for Subdivision Checklist
- Infrastructure List, if relevant to the site plan
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

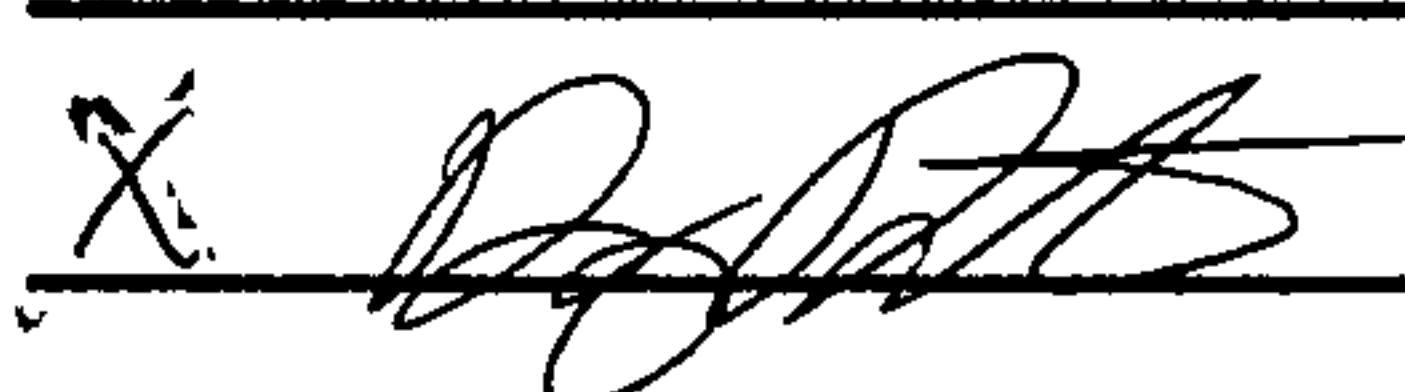
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision ✓
- N/A Infrastructure List, if relevant to the site plan
- Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

FEE

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

DOUGLAS H. PETERSON

 Applicant name (print)


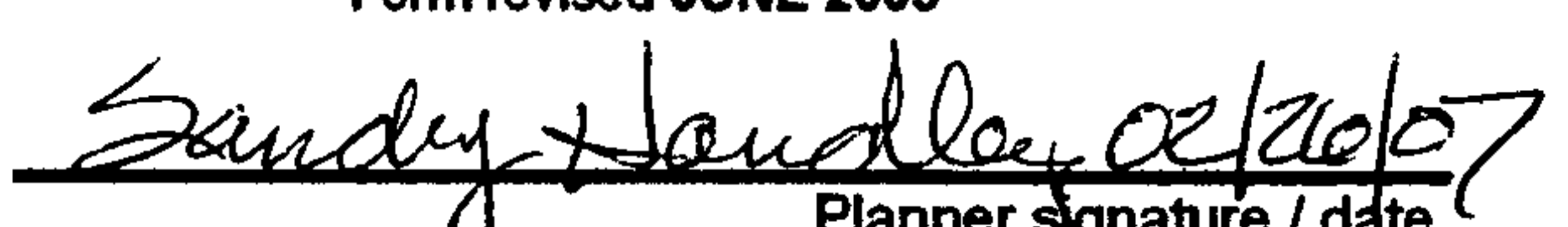
 Applicant signature / date



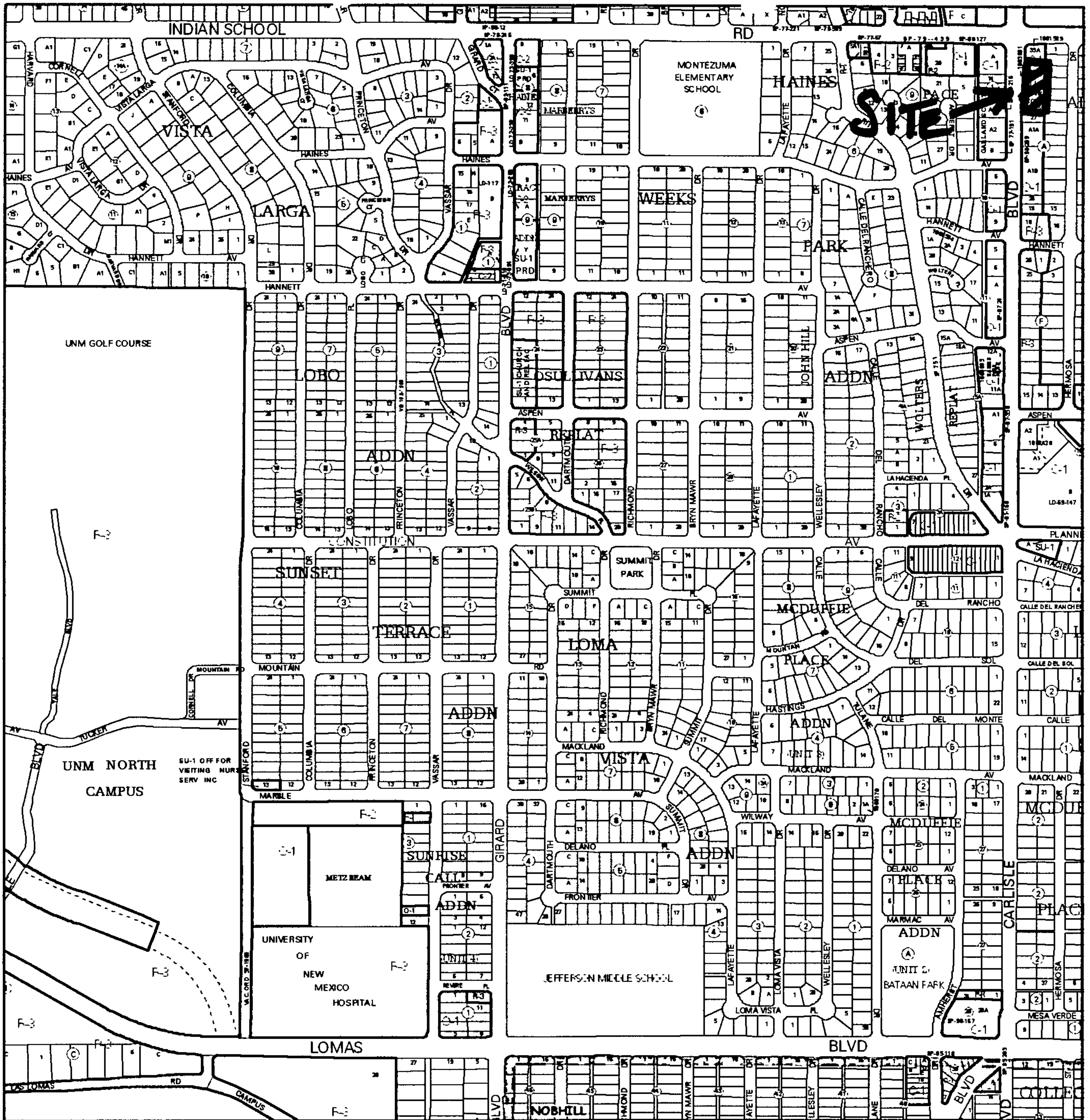
Form revised JUNE 2005

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 07DRB-_____-00222



 Planner signature / date
Project # 1003801



For more current information and more details visit <http://www.cabq.gov/gis>

Map amended through: 2/18/2007

Note Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
J-16-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon		

0 750 1500 Feet



PETERSON PROPERTIES
Real Estate Services, Inc.

HAND DELIVERED
February 27, 2007

Development Review Board
City of Albuquerque
600 2nd St. NW
Albuquerque, NM 87103

**RE: REQUEST FOR DRB SIGN-OFF OF AN EPC APPROVED AMENDED SITE
PLAN FOR BUILDING PERMIT TO ALLOW AN ICE CREAM SHOP AT
ALTURA SHOPS
LOT 28-A, BLOCK A, ALTURA ADDITION
ZONE ATLAS PAGE J-16-Z**

Dear Development Review Board:

This letter is to request your consideration of the enclosed application for DRB sign-off of an EPC approved amended site development plan for building permit with respect to Lot 28-A, Block A, Altura Addition, to allow an ice cream shop at Altura Shops, an approximately 7,000 square foot retail shops building located on Carlisle Blvd., between Indian School Rd. and Hannett Ave. (the "Site"). As shown on the amended site plan submitted with this request, the Applicant proposes to locate the ice cream shop in the approximately 1,100 square foot suite that is the third suite from the south end of the building. This request does not propose any change to the design or construction of the Site, which is fully constructed, including all on-site and off-site improvements (about half of the available tenant spaces are occupied and open for business). Rather, this request is necessary because when the Site was rezoned from O-1 to SU-1 for C-1 with Exclusions on March 17, 2005 (Project 1003801, 04EPC-01821) the following condition of approval was included:

"Restaurant Use is allowed only if approved by the EPC in conjunction with a site development plan for building permit that demonstrates adequate separation buffering and protection of adjacent residential uses from adverse effects of noise, lighting, pollution, traffic and odors."

Likewise, when the site plan for building permit was approved on June 16, 2005 (Project 1003801, 05EPC-00745) the following related condition of approval was included:

"The applicant shall submit an amendment of this site plan to the Environmental Planning Commission in the event a restaurant or food service tenant is proposed for this site."

On February 15, 2007, the EPC voted to approve the amended site plan for building permit to allow the ice cream shop at Altura Shops. The following items are enclosed:

1. Application
2. Form P(3)
3. Zone Atlas Page J-16
4. Letter addressing EPC conditions of approval, with a copy of the Notice of Decision
5. 6 copies of Amended Site Plan for Building Permit
6. 6 copies of original Site Plan for Building Permit approved by the DRB on 7/27/05, including Solid Waste signature and Fire Marshall stamp
7. 6 copies of approved Grading and Drainage Plan dated 12/05/05
8. 6 copies of Building Elevations
9. 6 copies of Landscape Plan
10. December 8, 2005 letter from Rudy E. Rael, approving Grading and Drainage Plan
11. Check in the amount of \$20.00 for Conflict Management Fee

Thank you for your consideration and assistance. Please contact me at the number above with any questions or concerns.

Sincerely,



Douglas H. Peterson



PETERSON PROPERTIES
Real Estate Services, Inc.

February 27, 2007

City of Albuquerque
Attn: Development Review Board
600 2nd Street
Albuquerque, NM 87102

Re: PROJECT #1003801
ALTURA SHOPS (ICE CREAM SHOP TENANT)
SATISFACTION OF CONDITIONS IN OFFICAL NOTICE OF DECISION
DATED 02/16/2007

Project Summary:

07EPC-00012 EPC Amended Site Development Plan for Building Permit

LEGAL DESCRIPTION: Tract 28-A, Block A, Altura Addition
ZONE: SU-1 for C-1 With Exclusions (Zone Atlas Page J-16-Z)
LOCATION: Carlisle Blvd., between Indian School Rd. and Hannett Ave.,
containing approximately 1 acre.

Anna DiMambro, Staff Planner

Conditions:

Item no. 1. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions.

Response: This shall serve as the requested letter.

Item no. 2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that the conditions of approval are met.

Response: Dean Smith met with Anna DiMambro (Staff Planner) on February 22, 2007.

Item no. 3. The Site Plan shall include the following language: "The ice cream shop will serve ice cream that is made off-site, will not have ovens, and will not be a drive-thru operation."

Response: The site plan has been revised accordingly.

Item no. 4. The applicant shall mark designated motorcycle spaces with the signage and demarcation required by the Zoning Code.

Response: Applicant has ordered the appropriate signage, and will install it in a timely manner. See attached copies of email correspondence dated February 21, 2007.

Item no. 5. Applicant shall ensure that site lighting is in compliance with Zoning Code requirements for lighting within 100' of a residential zone.

Response: The site lighting is fully constructed in accordance with the site plan for building permit approved by the EPC in June 2005, including fully shielded parking area lights 20' in height.

Item no. 6. The applicant shall correct spelling errors on pages AS1.1 and AS1 in Zoning Exclusions "T". Replace "quarters" with "quarters".

Response: The site plan has been revised accordingly.

Item no. 7. City Engineer Condition: All the requirements of previous actions taken by the EPC and/or the DRB must be completed and/or provided for.

Response: All previous requirements have been fulfilled.

Thank you for your assistance.

Sincerely,



Douglas H. Peterson

Katharine Kelly

From: Bgreen3311@aol.com
Sent: Wednesday, February 21, 2007 11:58 AM
To: Katharine Kelly
Subject: Re: Motorcycle Parking Sign

Hi Katharine, the sign you requested "MOTORCYCLE PARKING ONLY" is ready to be picked up.
thank you. Bob Green

Check out free AOL. Most comprehensive set of free safety and security tools, millions of free high-quality videos from across the web, free AOL Mail and much more.

Katharine Kelly

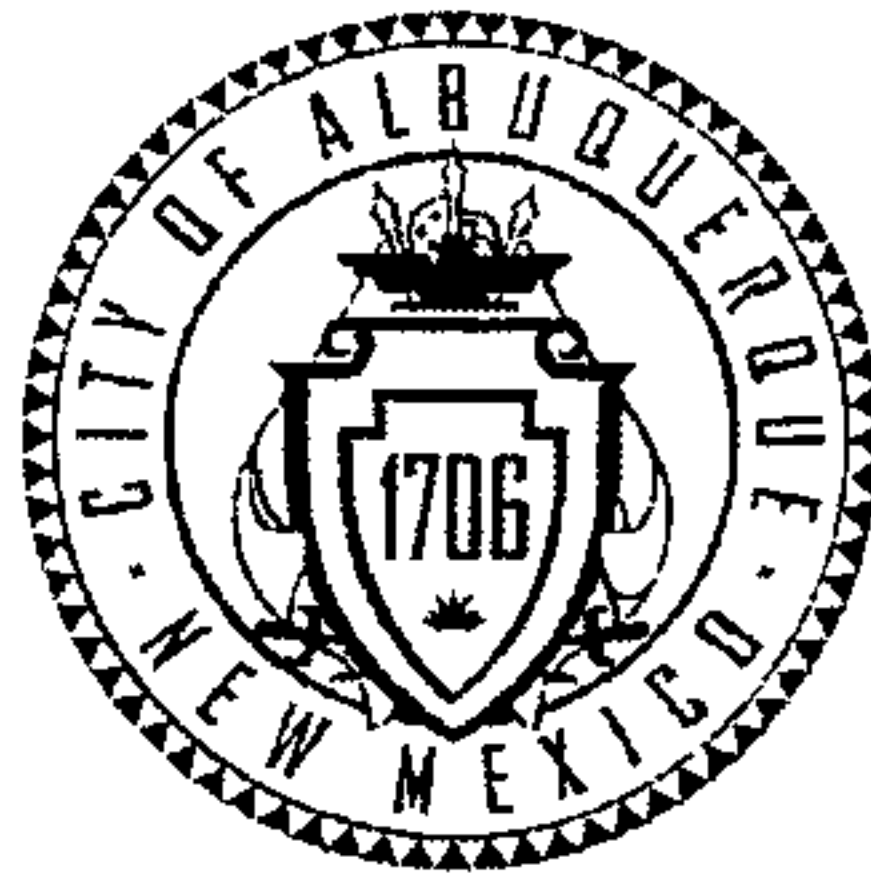
From: Katharine Kelly
Sent: Wednesday, February 21, 2007 8:47 AM
To: 'Bgreen3311@aol.com'
Subject: Motorcycle Parking Sign

Bob,

Please make a 12" x 18" metal sign with the words **Motorcycle Parking Only** in red or black letters. This is a rush order; please call me as soon as it is complete. Thank you.

Katharine L. Kelly
Assistant Property Manager
Peterson Properties Real Estate Services, Inc.
2325 San Pedro NE, Suite 2-A
Albuquerque, NM 87110
505-884-3578 Office
505-884-6793 Fax
katharine@petersonproperties.net

2/21/2007



PETERSON PROPERTIES OFFICES

FEB 2 2007

Signature
K. L. L. L.
CC.

City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: February 16, 2007

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1003801***
07EPC-00012 EPC Site Development Plan-
Amendment to Building Permit

Carlisle Shops, LLC
2325 San Pedro NE, Suite A
Albuq. NM 87110

LEGAL DESCRIPTION: for all or a portion of Tracts 28A, **Altura Addition**, zoned SU-1 for C-1 w/exclusions, located on CARLISLE BLVD. NE, between INDIAN SCHOOL and HANNETT AVE. NE, containing approximately 1 acre. (J-16) Anna DiMambro, Staff Planner

On February 15, 2007 the Environmental Planning Commission voted to approve Project 1003801/07EPC 00012, a Site Development Plan – Amendment to Building Permit, for Tract 28A, Altura Addition, zoned SU-1 for C-1 with exclusions, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for approval of an amendment to a site development plan for building permit for Tract 28A, Altura Addition to allow an ice cream shop to locate in the existing shopping center. The 0.64 site is located on Carlisle Boulevard NE between Indian School Road and Hannett Avenue NE.
2. The site is zoned SU-1 for C-1 with exclusions and modifications. Modification D states “Restaurant use is allowed only if approved by the EPC in conjunction with a site development plan for building permit that demonstrates adequate buffering and protection of adjacent residential uses from adverse effects of noise, lighting, pollution, traffic, and odors.”
3. This request furthers the intent of relevant Comprehensive Plan policies.
 - a. Policy II.B.5.d: The location, intensity, and design of this development respect existing neighborhood values. A landscaping buffer protects the existing neighborhood from this development, and the intensity of the proposed new use will not detract from neighborhood values.

- b. Policy II.B.5.e: The subject site is located on an existing public street right-of-way and has access to existing municipal services. The applicant has provided landscaping to protect the integrity of existing neighborhoods. The new use will not generate significant noise, pollution, or odors that would become a nuisance to neighbors.
 - c. Policy II.B.5.i: The site plan review process, in conjunction with the regulation of certain land uses within the site should mitigate potential adverse impacts. The subject area does not have any direct access to the abutting residential development to the east.
 - d. Policy II.B.5.k: The subject site has approximately 240 feet of frontage along Carlisle, two-thirds of which is affected by a limited, raised median that controls cross-traffic. The requirement of reciprocal access to adjoining lots and modifications to the median to provide for adequate queuing of southbound cross-traffic should offer sufficient mitigation.
4. Approval of this use may create a parking deficiency on the site according to Zoning Code parking requirements for conventionally zoned sites. However, due to the site's SU-1 zoning, the EPC has discretion in this matter.
 5. This request is for approval of the use of one ice cream shop on the subject site. EPC site plan review will be required for any additional restaurant uses that may be proposed for the site.
 6. There is no known opposition to this request. A facilitated meeting was requested for this project, but the affected Neighborhood Associations refused it, as they did not feel it was necessary.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The applicant shall insert a definition of ice cream shop on the site plan to state "The ice cream shop will serve ice cream that is made off-site, will not have ovens, and will not be a drive-thru operation."
4. The applicant shall mark designated motorcycle parking spaces with the signage and demarcation required by the Zoning Code.

5. The applicant shall ensure that site lighting is in compliance with Zoning Code requirements for lighting within 100' of a residential zone.
6. The applicant shall correct spelling errors on pages AS1.1 and AS1 in Zoning Exclusion T. Replace "quaters" with the word "quarters."
7. City Engineer Condition: All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY MARCH 2, 2007 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

OFFICIAL NOTICE OF DECISION
FEBRUARY 15, 2007
PROJECT #1003801
PAGE 4 OF 4

Sincerely,

C. Marone

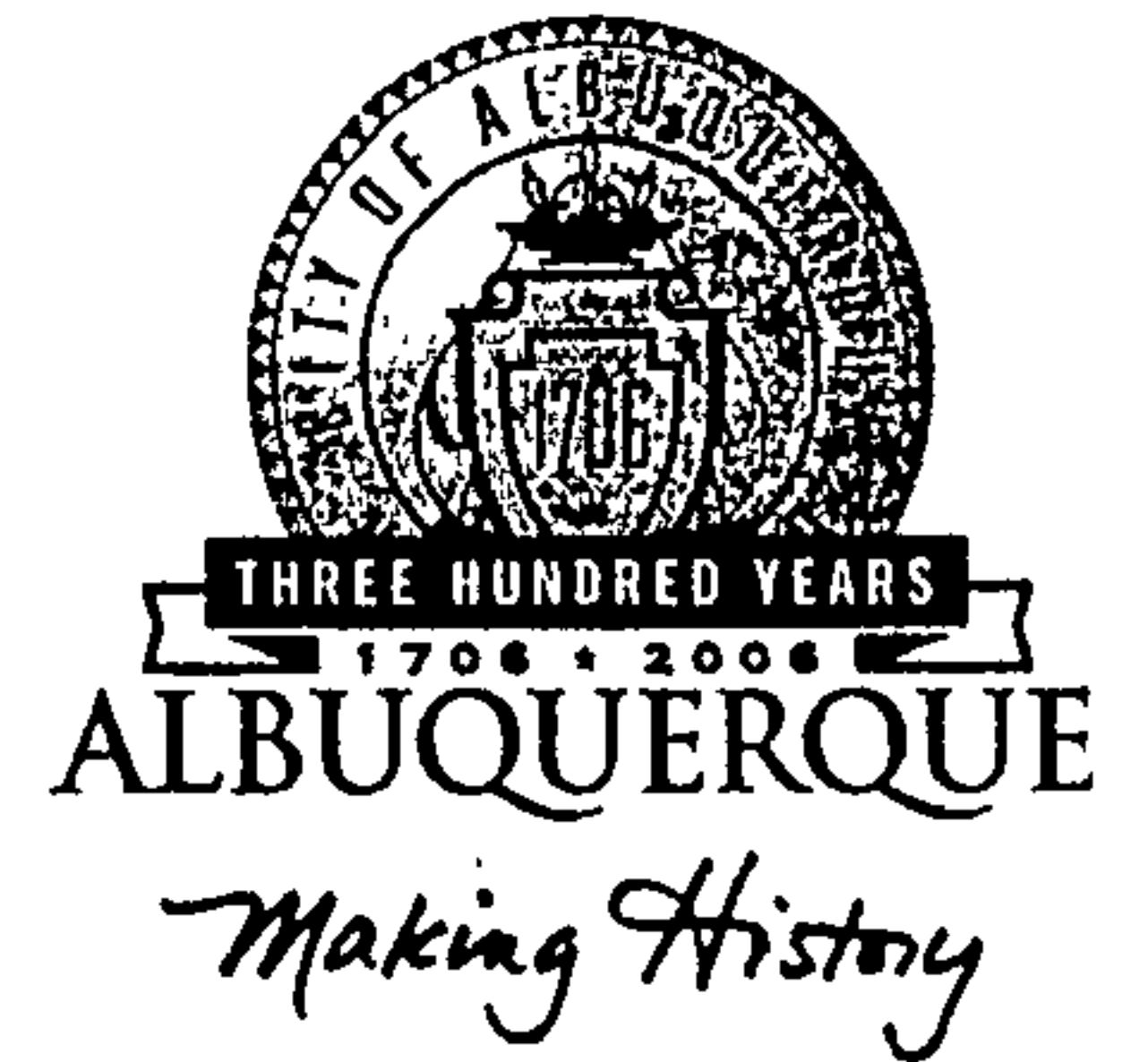
for

Richard Dineen
Planning Director

RD/AD/ac

cc: Denise Hammer, Altura Addition, NA, 1735 Aliso Dr. NE, Albuquerque, NM 87110
Alan Varela, Altura Addition NA, 4004 Solano Pl. NE, Albuquerque, NM 87110
Keith Rasmussen, Summit Park NA, 3401 Calle del Ranchero NE, Albuquerque, NM 87106
Becky Scheib, Summit Park NA, 3509 Calle del Ranchero NE, Albuquerque, NM 87106

CITY OF ALBUQUERQUE



December 8, 2005

Jean J. Bordenave, P.E.
Bordenave Designs
PO Box 91194
Albuquerque, NM 87199

**Re: Carlisle Shops, Lot 28A, Block A Altura Addition
Grading and Drainage Plan
Engineer's Stamp dated 12-05-05 (J17-D28)**

Dear Mr. Bordenave,

Based upon the information provided in your submittal received 12-05-05, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

P.O. Box 1293

Also, prior to Certificate of Occupancy release, Engineer Certification of the grading plan per the DPM checklist will be required.

Albuquerque

If you have any questions, you can contact me at 924-3695.

New Mexico 87103

Sincerely,

Rudy E. Rael, Associate Engineer
Planning Department.
Development and Building Services

www.cabq.gov

C: File

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME CARLISLE SHOPS
AGENT " "
ADDRESS 2325 SAN PEDRO NE # 24
PROJECT & APP # 1003801/OTDRB 00222
PROJECT NAME _____

\$ 20.00 441032/3424000 Conflict Management Fee
\$ _____ 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 20.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

CARLISLE SHOPS, LLC
2325 SAN PEDRO N.E., STE. 2A
ALBUQUERQUE, NEW MEXICO 87110
505-884-3578

COMPASS BANK
ALBUQUERQUE, NM 87125
95-78/1070

2133
2133

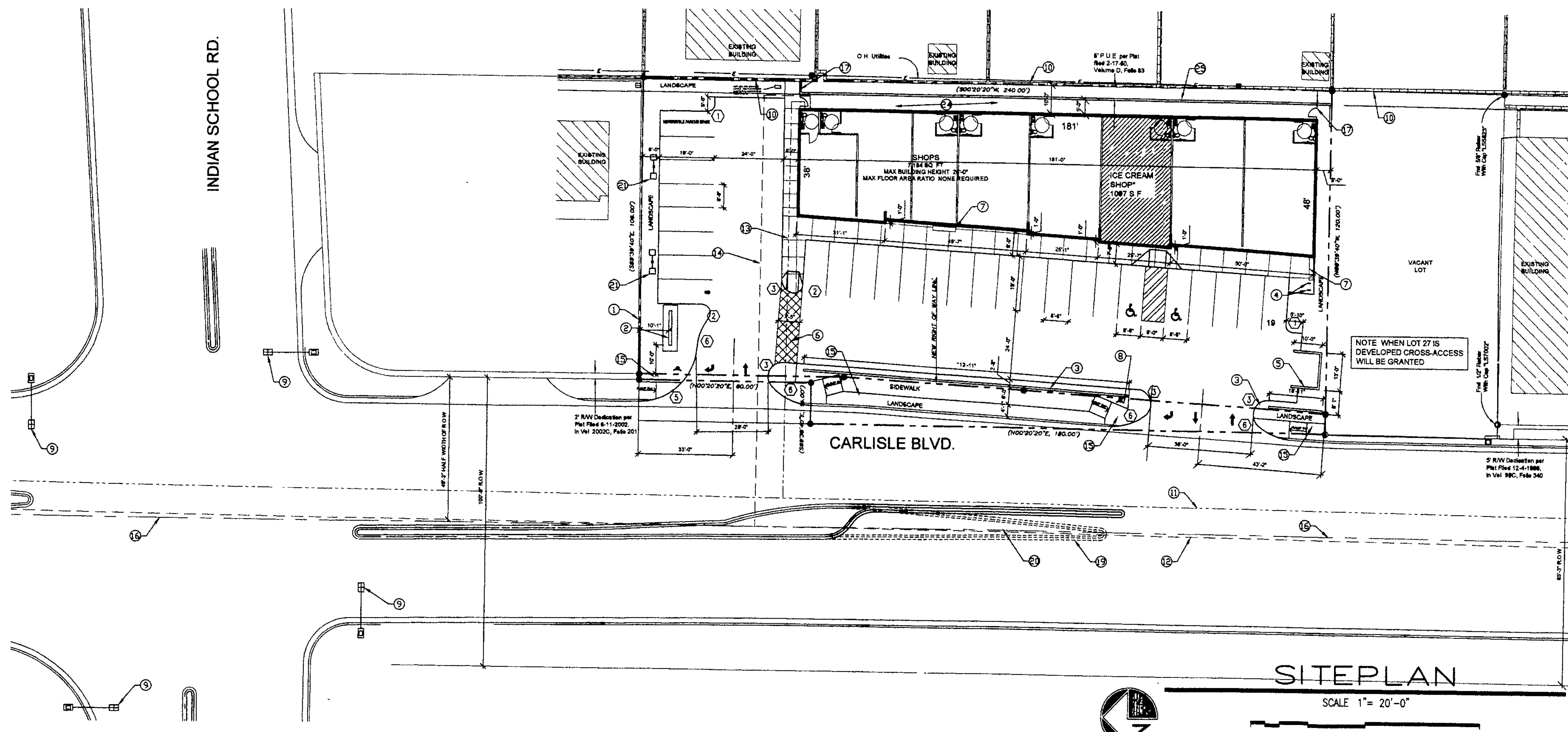
Twenty dollars and no cents
DATE AMOUNT
February 20, 2007 \$*****20.00

CITY OF ALBUQUERQUE
PO BOX 1313
Customer Service
Albuquerque, NM 87103

CARLISLE SHOPS, LLC
Mae Peterson
AUTHORIZED SIGNATURE

Security features. Details on back.

002133 107000783 2505462907



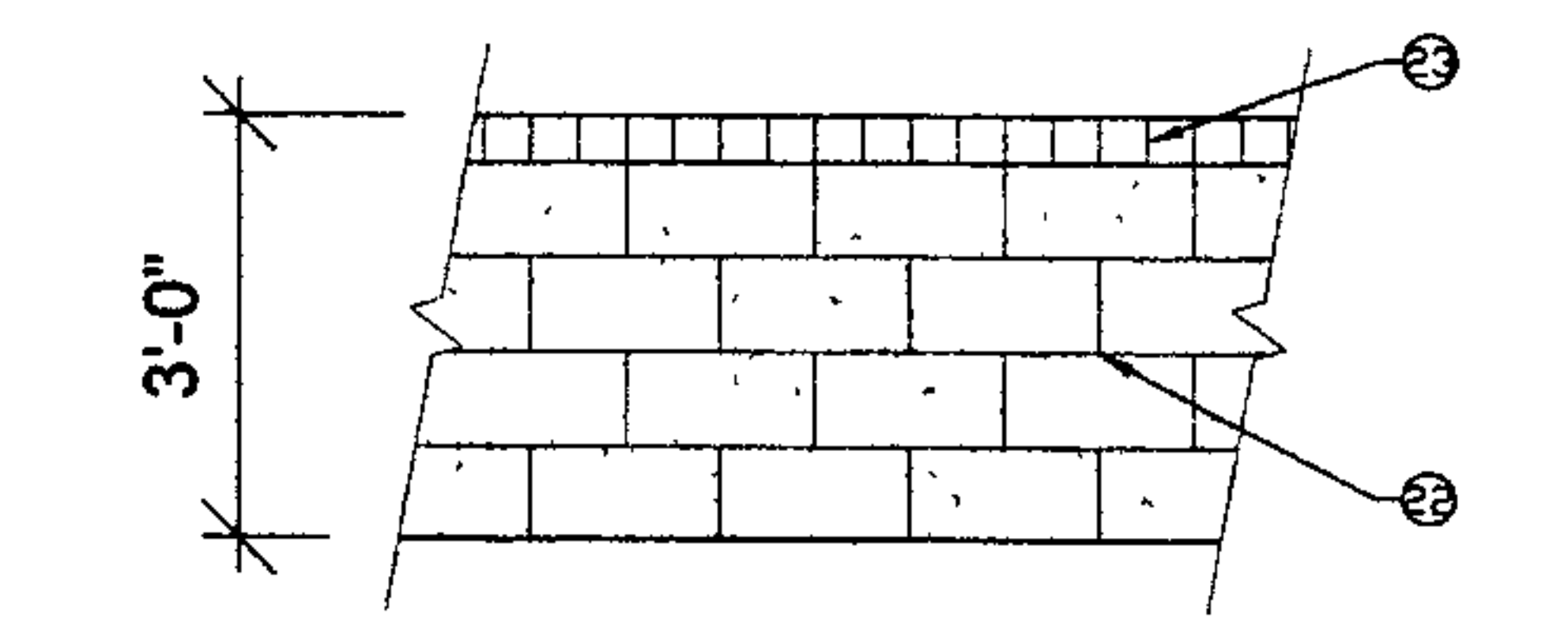
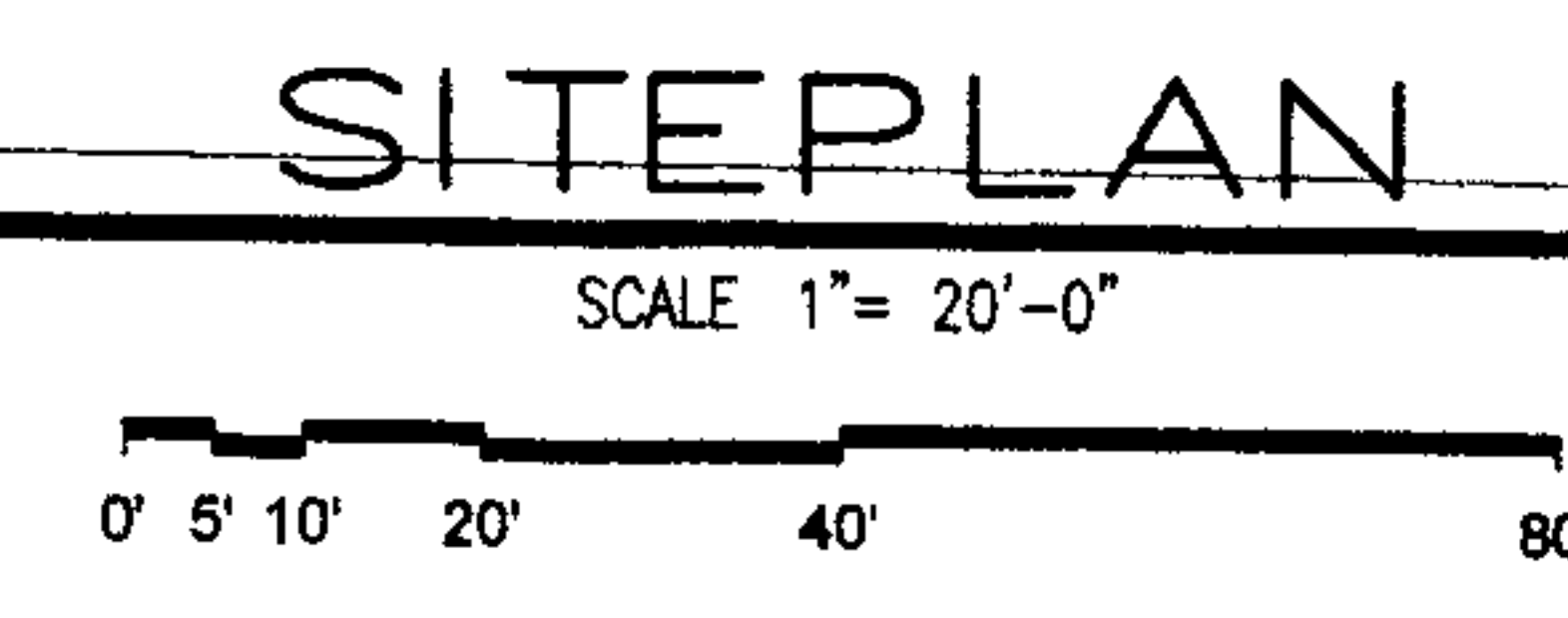
- KEYED NOTES**
- EXISTING CONCRETE WALL
 - MONUMENT SIGN WITH PLANTER BASE
 - 3'-0" HIGH SPLIT FACE CMU SCREEN WALL
 - BICYCLE RACKS SEE DETAIL 2/AS1.1
 - DUMPSTER ENCLOSURE SEE DETAIL 1/AS1.1
 - CROSSWALK COLORED AND TEXTURED CONCRETE
 - 8'-0" X 1'-6" BENCH
 - PROPOSED FIRE HYDRANT
 - EXISTING TRAFFIC SIGNAL
 - EXISTING CMU WALL. ADD CMU AS NEED TO MAKE 6'-0"
 - EXISTING 6" WATER LINE
 - EXISTING SANITARY SEWER
 - PROPOSED WATER LINE
 - PROPOSED SANITARY SEWER
 - PROPOSED FUTURE R.O.W. DEDICATION
 - CENTERLINE OF CARLISLE R.O.W.
 - 8'-0" TALL WROUGHT IRON SECURITY FENCE WITH GATE
 - NOT USED
 - EXISTING CURB AND GUTTER TO BE REMOVED
 - NEW CURB AND GUTTER
 - SITE LIGHTING
 - 6" BROWN SPLIT FACE CMU
 - 4" BROWN SMOOTH FACE CMU CAP BLOCK
 - 5'-0" CONCRETE PEDESTRIAN PATHWAY
 - CMU RETAINING WALL
 - SIDEWALK PER COA STANDARD DETAILS 2430-2431
 - DRIVEPAD PER COA STANDARD DETAIL 2426
 - 6'-0" HIGH CMU SCREEN WALL SEE DETAIL 1/AS1.1 FOR MATERIALS
 - CURB RAMP PER COA STANDARD DETAIL 2426

LEGAL DESCRIPTION
 LOTS 28 THROUGH 31, BLOCK A, ALTURA ADDITION

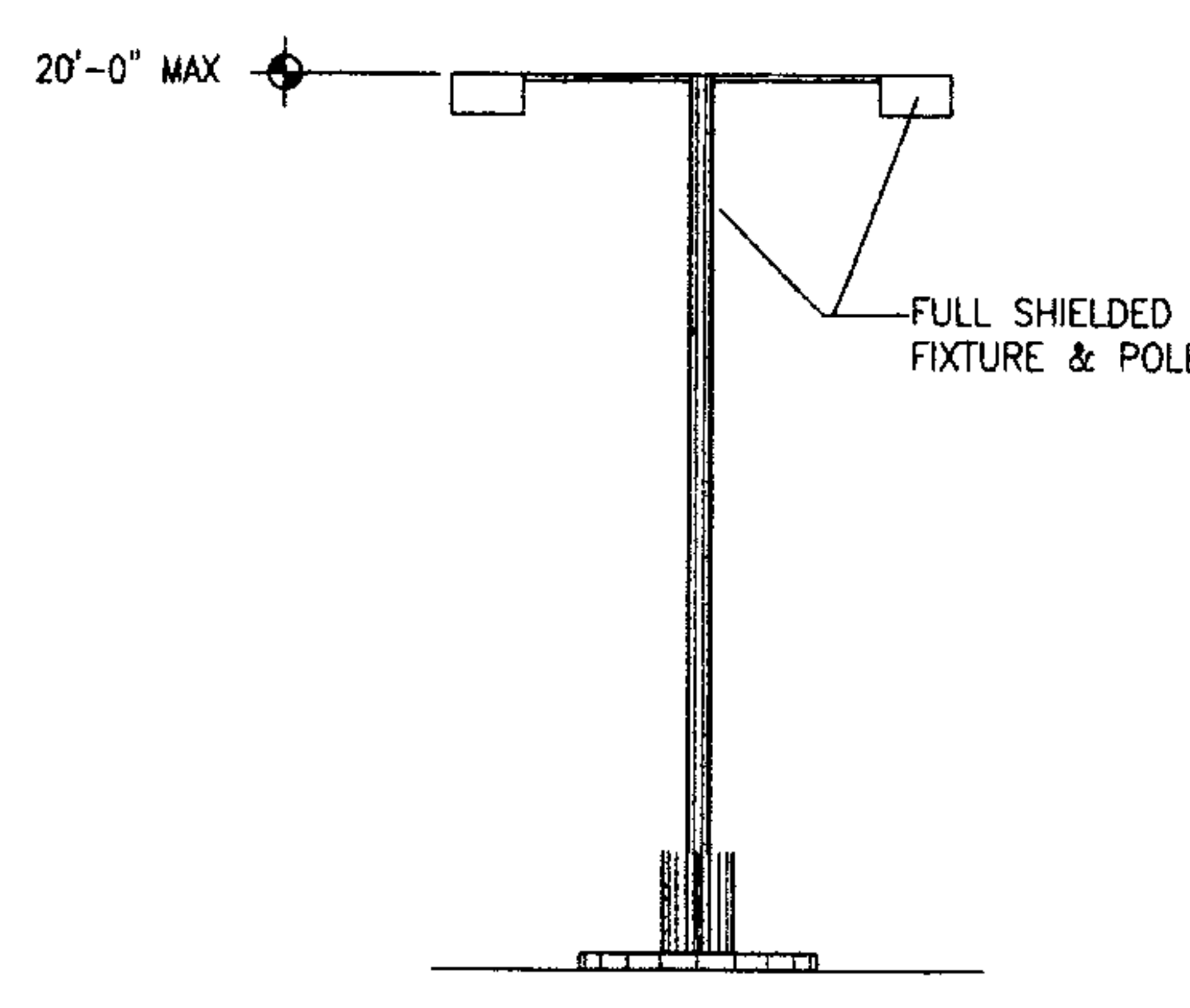
SITE DATA

PROPOSED USAGE	SU-1 FOR C-1
LOT AREA	27,933 SF (6412 ACRES)
LANDSCAPE REQUIRED	3,112 SF
LANDSCAPE PROVIDED	4,920 SF
BUILDING AREA/PARKING	
BUILDING	7,184 SF
7,184 SF/200 = 36 - 10% TRANSIT ROUTE DEDUCTION = 32	
SPACES REQUIRED	32 SPACES
SPACES PROVIDED	27 SPACES (AS APPROVED BY EPC)
	2 HC SPACES PROVIDED
	1 MOTORCYCLE SPACE
BIKE SPACES REQUIRED (1/200)	2 SPACES
BIKE SPACES PROVIDED	2 SPACES

- RADIUS:**
- | | |
|-------------------|--------------------|
| ① RADIUS = 2'-6" | ⑥ RADIUS = 20'-0" |
| ② RADIUS = 3'-0" | ⑦ RADIUS = 25'-0" |
| ③ RADIUS = 5'-0" | ⑧ RADIUS = 30'-0" |
| ④ RADIUS = 10'-0" | ⑨ RADIUS = 50'-0" |
| ⑤ RADIUS = 15'-0" | ⑩ RADIUS = 65'-0" |
| | ⑪ RADIUS = 100'-0" |

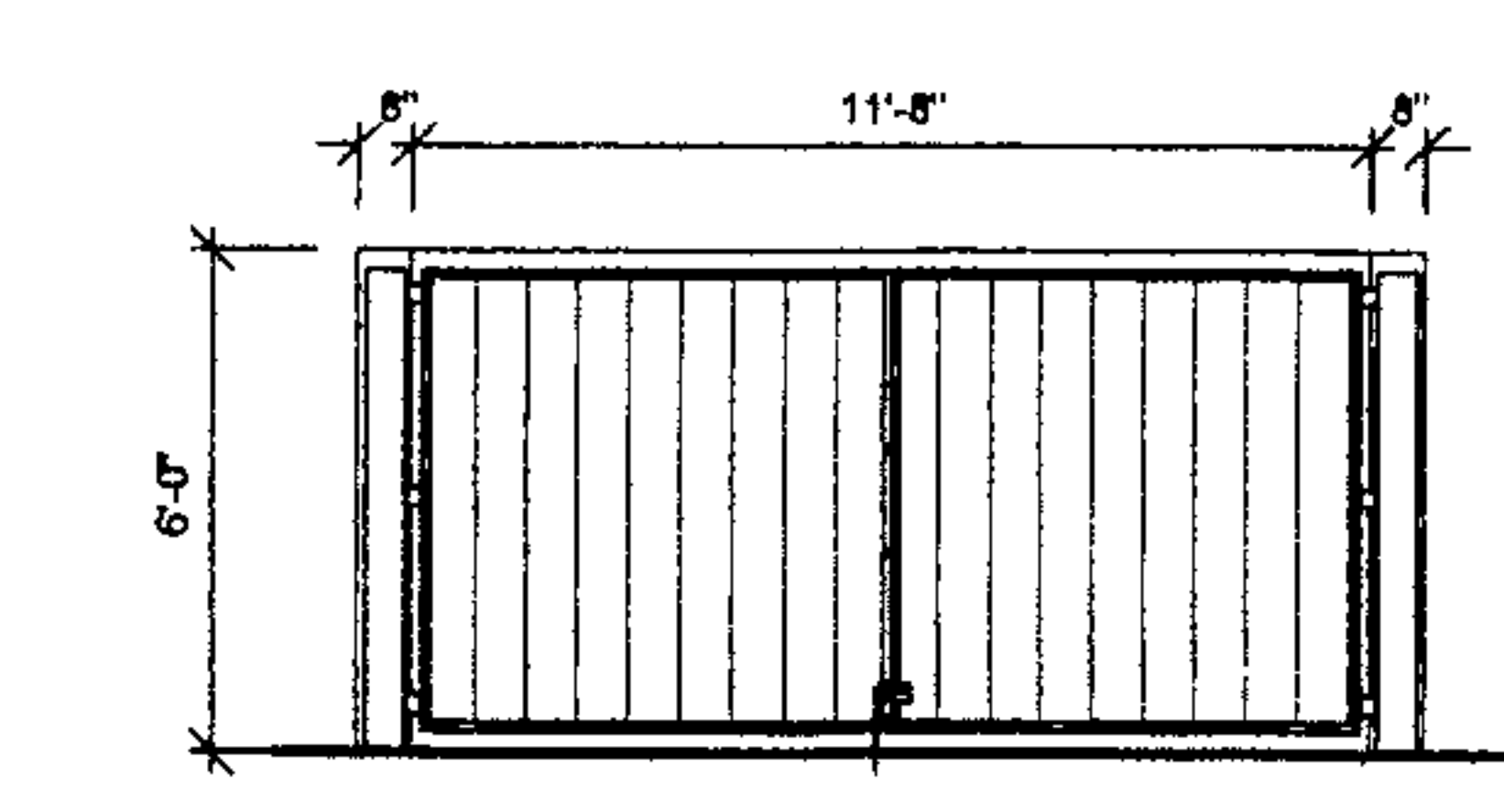
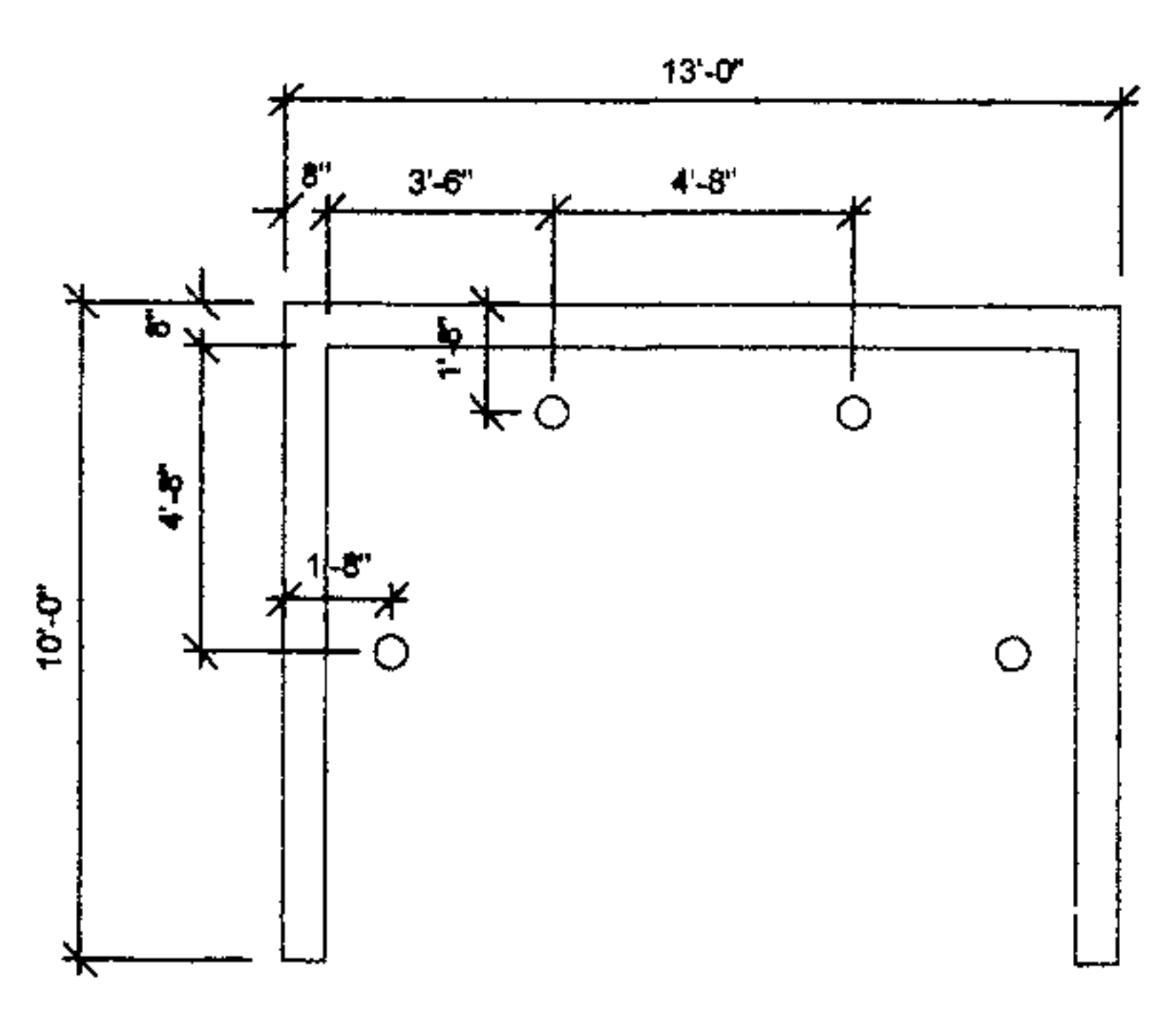


C SCREEN WALL
N.T.S.



A SITE LIGHTING
N.T.S.

NOTE: DUMPSTER ENCLOSURE TO MATCH SCREEN WALL MATERIAL AND CONSTRUCTION TYPE



B DUMPSTER ENCLOSURE
N.T.S.

NOTE: BOTH CARLISLE BLVD AND INDIAN SCHOOL RD HAVE EXISTING BUS ROUTES. THERE IS AN EXISTING BIKE LANE ON CARLISLE BLVD.

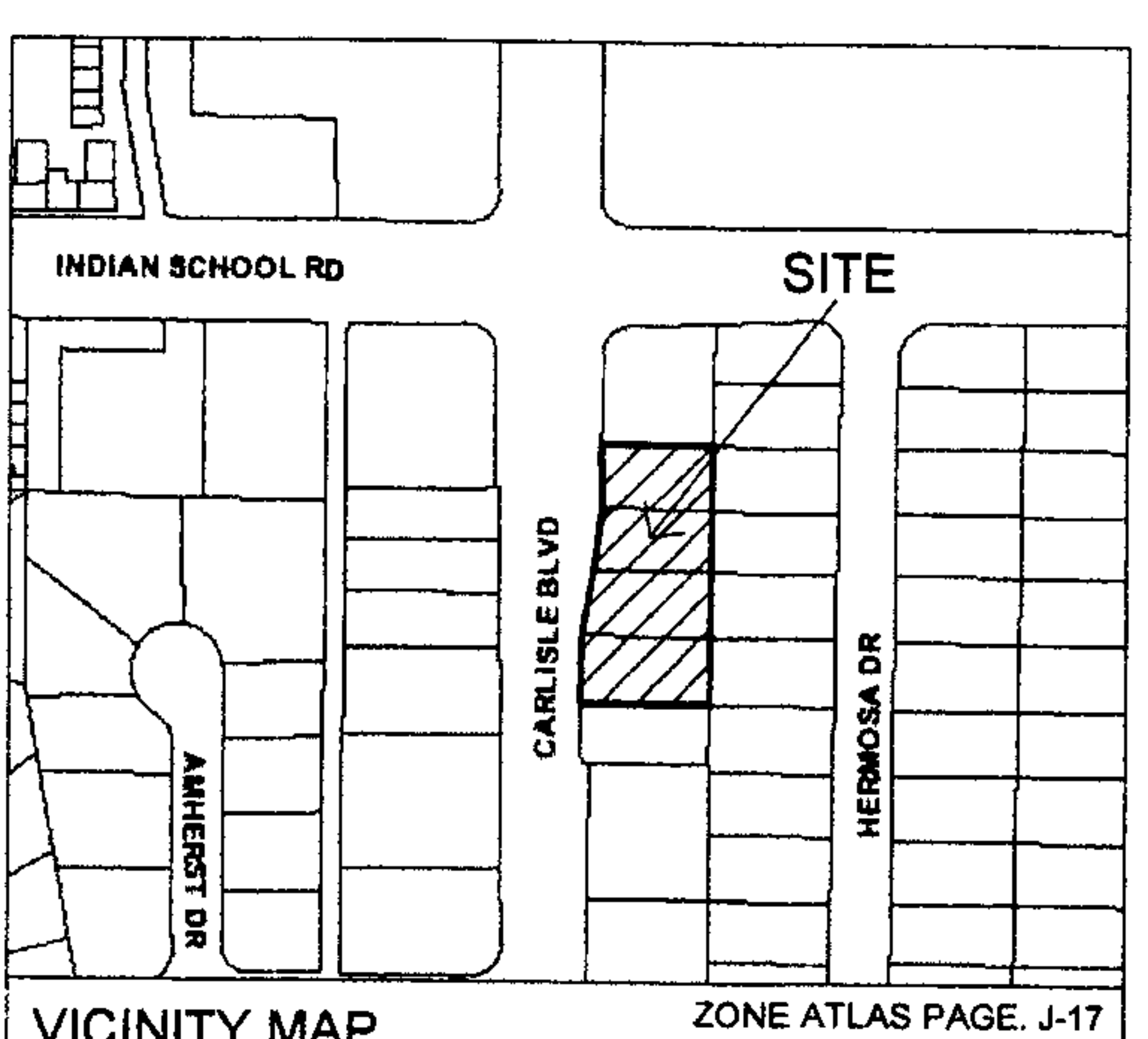
ZONING:
 SU-1 FOR C-1 WITH THE FOLLOWING EXCLUSIONS AND MODIFICATIONS

EXCLUSIONS

- A OUTDOOR RESTAURANT SEATING
- B LIQUOR SALES IN CONJUNCTION WITH A RESTAURANT
- C GASOLINE SERVICE STATION
- D OUTSIDE SALES OF GAS, OIL, OR LIQUEFIED PETROLEUM
- E ON PREMISE AUTOMOBILE AND MOTORIZED BICYCLE (MOPED) REPAIR AND BODY WORK
- F PAWN SHOPS
- G CAR WASH
- H LAUNDROMATS
- I OFF-PREMISE SIGNAGE
- J FREE-STANDING WIRELESS TELECOMMUNICATIONS FACILITIES UP TO 65 FEET IN HEIGHT
- K COLLOCATED FREE-STANDING WIRELESS TELECOMMUNICATIONS FACILITIES UP TO 75 FEET IN HEIGHT
- L ANTENNAE EXCEEDING 65 FEET IN HEIGHT
- M COMMUNITY RESIDENTIAL PROGRAM IN ACCORDANCE WITH SECTION 14 16 2 16 B 2 OF THE ZONING CODE
- N AUTO, TRAILER AND TRUCK RENTAL, SERVICE AND STORAGE
- O DRIVE-UP SERVICE WINDOWS AND DRIVE THRU FACILITIES INCLUDING BANKING FACILITIES
- P FIREWORKS SALES
- Q GAMES WITHIN A COMPLETELY ENCLOSED BUILDING, OPERATED FOR PROFIT AND NOT A PERMISSIVE C-1 USE
- R KENNEL
- S MORTUARY
- T MOBILE HOME AS CARETAKER QUARTERS
- U RECYCLING BIN AS AN ACCESSORY USE
- V USES OR ACTIVITIES IN A TENT
- W ROOF-MOUNTED WIRELESS TELECOMMUNICATIONS FACILITIES

MODIFICATIONS

- A BICYCLE REPAIR, PROVIDED IT IS DONE WITHIN A COMPLETELY ENCLOSED BUILDING
- B DRY CLEANING, WITH NO ON-PREMISE DRY-CLEANING OR LAUNDERING (DROP-OFF ONLY)
- C ELECTRONIC AND PINBALL GAME ROOMS WITHIN A COMPLETELY ENCLOSED BUILDING AND WITH NO MORE THAN FOUR GAME MACHINES PER BUSINESS
- D RESTAURANT USE IS ALLOWED ONLY IF APPROVED BY THE EPC IN CONJUNCTION WITH A SITE DEVELOPMENT PLAN FOR BUILDING PERMIT THAT DEMONSTRATES ADEQUATE BUFFERING AND PROTECTION OF ADJACENT RESIDENTIAL USES FROM ADVERSE EFFECTS OF NOISE, LIGHTING, POLLUTION, TRAFFIC AND ODORS



VICINITY MAP
 SCALE: 1" = 200'

ZONE ATLAS PAGE: J-17

*THE ICE CREAM SHOP WILL SERVE ICE CREAM THAT IS MADE OFF-SITE, WILL NOT HAVE OVENS, AND WILL NOT BE A DRIVE-THRU OPERATION.

NOTE: RAMP SLOPE NOT TO BE GREATER THAN 1:12.

PROJECT NUMBER: _____

APPLICATION NUMBER _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated June 17, 2005 and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) YES () NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department *(conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

REV	DATE	BY	REVISION
1	10/17/05	JCS	CITY COMMENTS
2	7/1/06	JCS	ECP COMMENTS
3	5/10/06	JCS	PLANNING COMMENTS
4	3/31/06	JCS	SITE PLAN AND BUILDING FOOTPRINT UPDATE

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
 CARLISLE SHOPS
 CARLISLE AND INDIAN SCHOOL
 ALBUQUERQUE, NM

PROJECT MANAGER
 George Rainhart, AIA

DRAWN BY
 JCS

JOB NO.

SHEET TITLE
 OVERALL SITE PLAN

DATE
 02/03/06

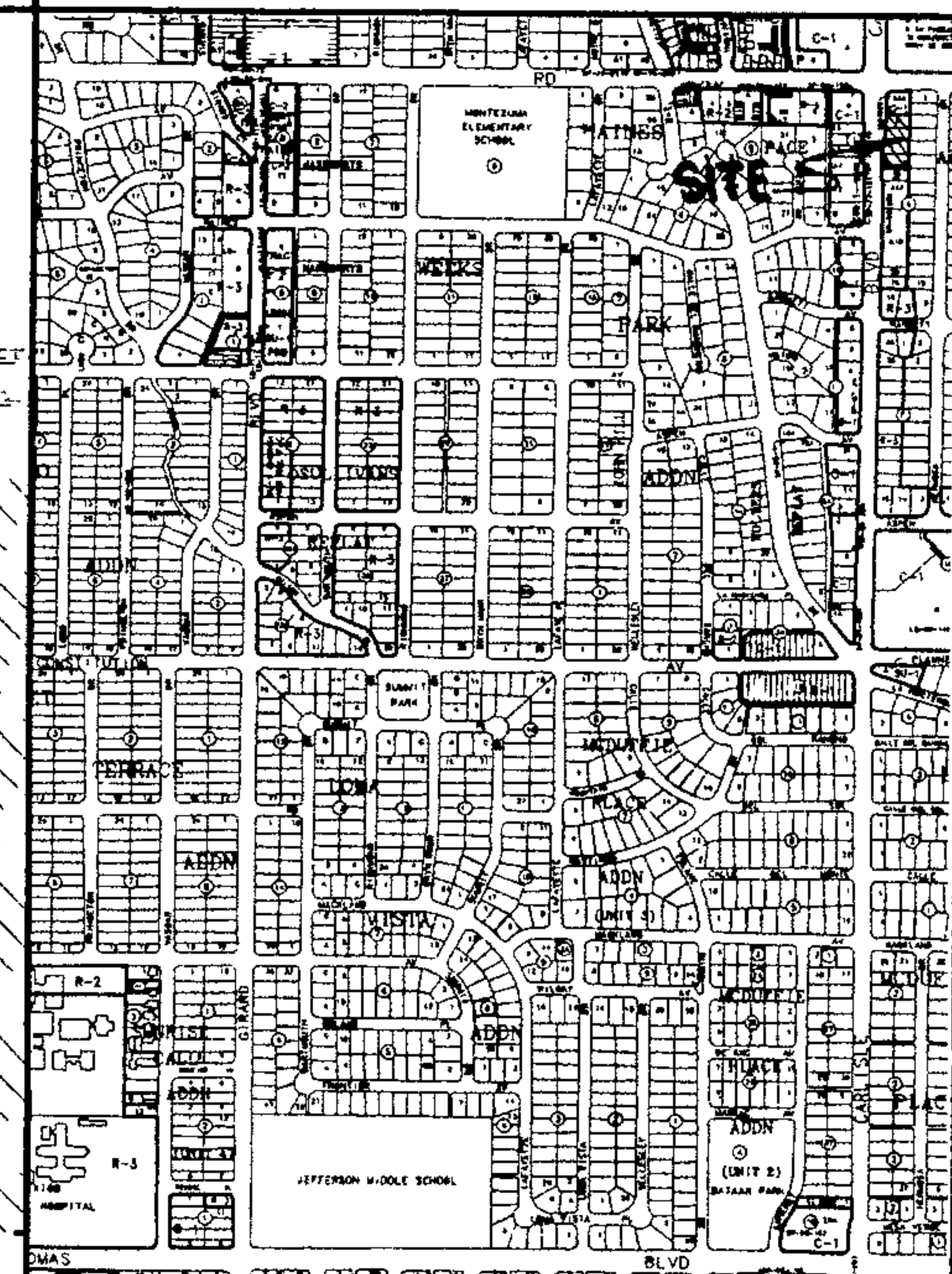
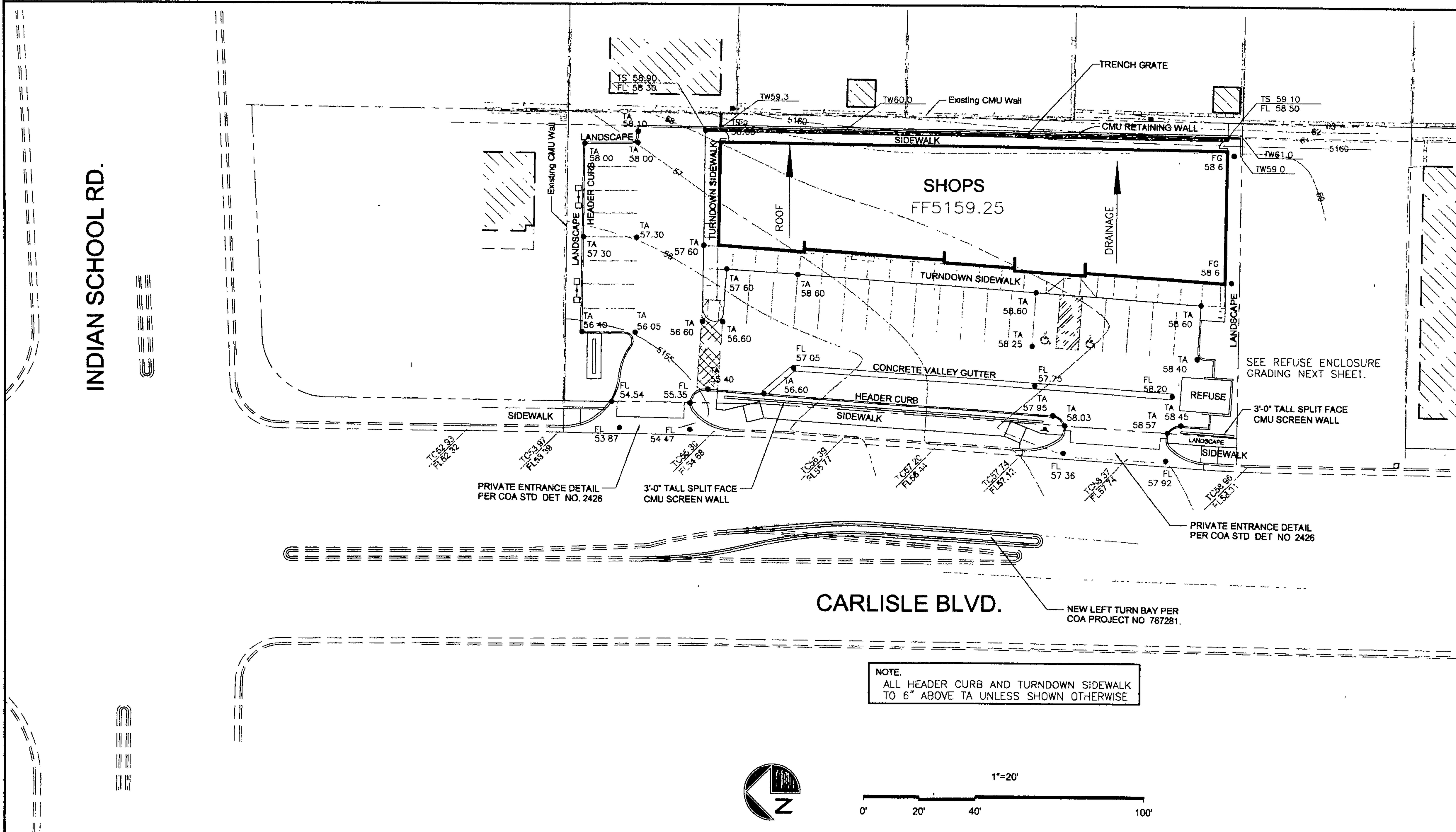
SCALE
 AS NOTED

Sheet
 AS1.1

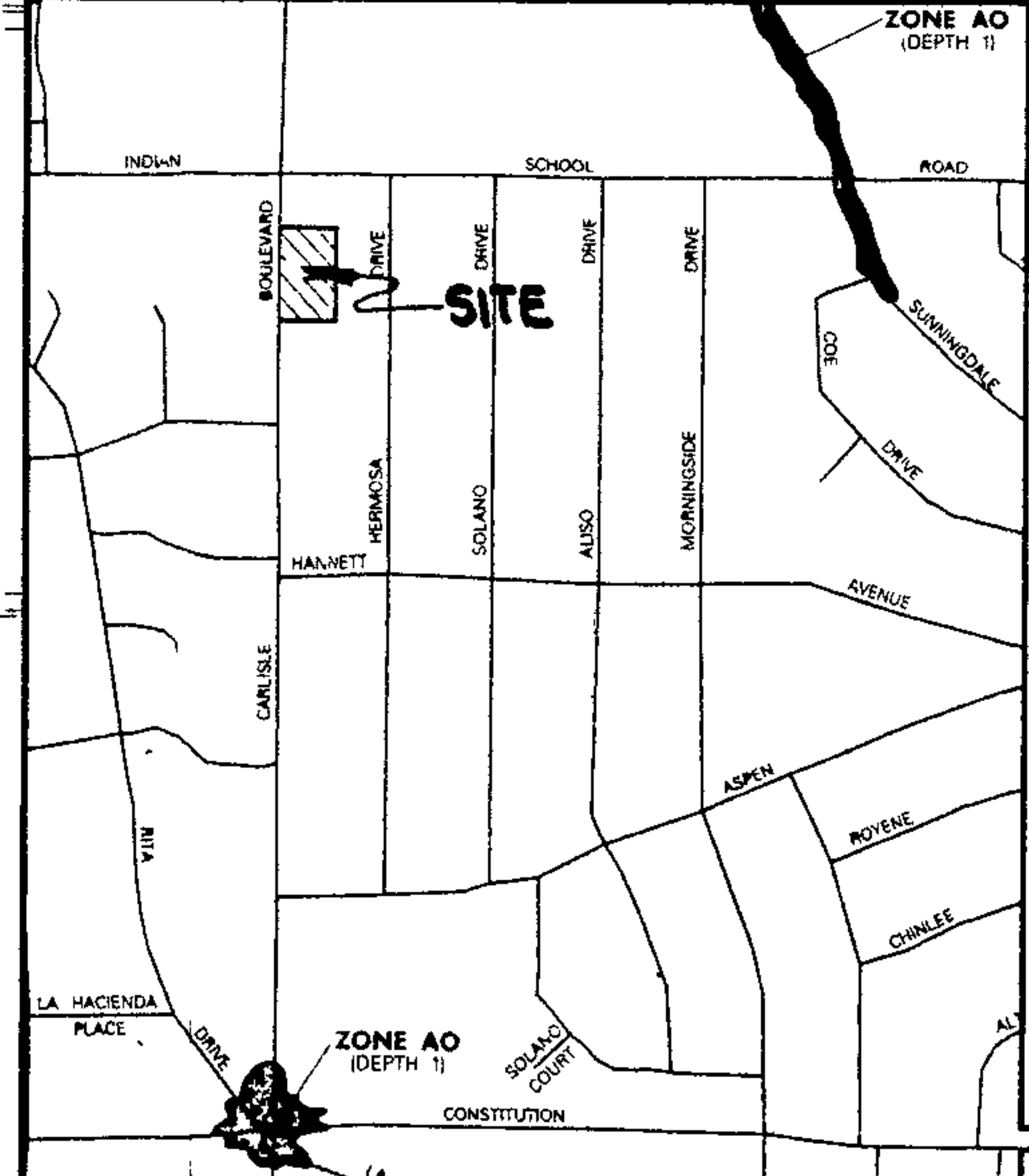
of

GRADING PLAN

VICINITY MAP NO. J-16



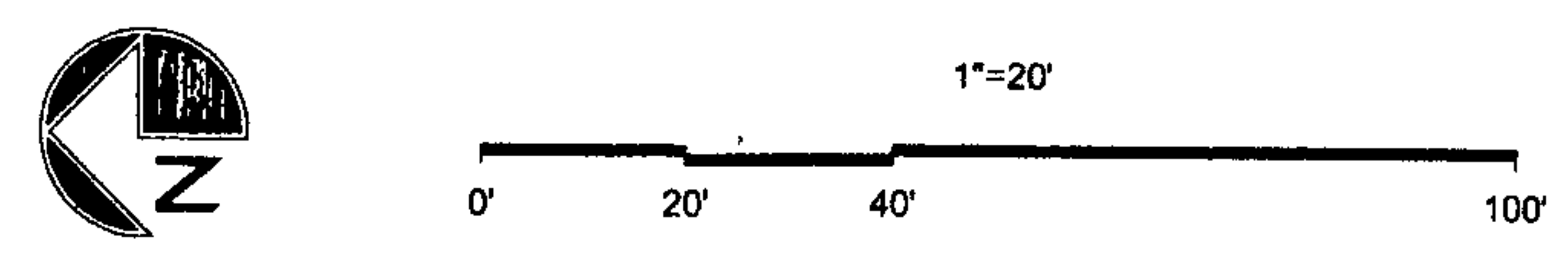
FEMA FIRM PANEL NO. 351



GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

CARLISLE BLVD.

NOTE:
 ALL HEADER CURB AND TURNDOWN SIDEWALK
 TO 6" ABOVE TA UNLESS SHOWN OTHERWISE



DRAINAGE DATA							
CONDITION	RETURN PERIOD	TREATMENT TYPE	TREATMENT AREA	EXCESS PRECIPITATION	PEAK RUNOFF	RUNOFF VOLUME	RUNOFF RATE
	year	(table 4)	sq ft	in	(table 8)	(table 9)	
					cfs/acre	cu ft	cfs
EXISTING	10	A	0	0.13	0.38	0	0.00
		B	24008	0.28	0.95	560	0.52
		C	1687	0.52	1.71	73	0.07
		D	0	1.34	3.14	0	0.00
		TOTAL	25695			633	0.59
DEVELOPED	100	A	0	0.53	1.56	0	0.00
		B	24008	0.78	2.28	1581	1.26
		C	1687	1.13	3.14	159	0.12
		D	0	2.12	4.7	0	0.00
		TOTAL	25695			1719	1.38
TOTAL	100	A	0	0.53	1.56	0	0.00
		B	2285	0.78	2.28	149	0.12
		C	300	1.13	3.14	28	0.02
		D	23110	2.12	4.7	4063	2.48
		TOTAL	25695			4260	2.63

LEGAL DESCRIPTION

LOT 28A, BLOCK A, ALTURA ADDITION

PERMANENT BENCHMARK

ACS '2-H16' ELEVATION 5147.44 (NGVD 1929)

ENGINEER'S CERTIFICATION

I, Jean J. Bordenave, New Mexico Professional Engineer and Land Surveyor No 5110, hereby certify that I have personally inspected the property shown hereon and that it appears that no grading, filling or excavation has occurred thereon since the contour map shown hereon was prepared.

Jean J. Bordenave, NM PE & PS No 5110

SITE CONDITIONS

EXISTING

THE EXISTING SITE IS BOUNDED ON THE EAST AND NORTH BY EXISTING CMU WALLS. THERE IS NO OFFSITE FLOW.

THE SITE SLOPES GENTLY DOWNWARD FROM SOUTHWEST TO NORTHEAST WITH A STEEPLY GRADED PORTION IMMEDIATELY WEST OF THE EASTERLY PROPERTY LINE. PROPERTIES EAST AND NORTH OF THE SITE ARE PRESENTLY DEVELOPED AND DRAINAGE IS DIRECTED AWAY FROM THE PROPOSED SITE. THERE IS A SMALL PARCEL TO THE SOUTH THAT IS UNDEVELOPED. THIS PARCEL PRESENTLY DRAINS FROM SOUTHWEST TO NORTHEAST AND A PORTION OF THIS FLOW ENTERS THE PROPOSED SITE.

PROPOSED

THE SITE GRADING WILL BE DEVELOPED TO DIRECT ALL INTERNALLY GENERATED FLOWS TO CARLISLE BLVD VIA THE NORTHERLY DRIVEWAY.

ALL FLOWS GENERATED ONSITE BY IMPERVIOUS SURFACES ARE ROUTED TO REMAIN ON IMPERVIOUS SURFACES TO THE POINT OF DISCHARGE.

THE OFFSITE FLOWS FROM THE PARCEL TO THE SOUTH OF THE PROPOSED DEVELOPMENT WILL BE ACCEPTED BY THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT THE SOUTHERLY PARCEL IS DEVELOPED.

LEGEND

TBM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TCP	TOP OF CONCRETE
TC	TOP OF CURB
TP	TOP OF EARTH PAD
TS	TOP OF SIDEWALK
TW	TOP OF WALL
FH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
LP	LIGHT POLE
PP	POWER POLE
GW	GUY WIRE
PED	ELEC OR TEL PEDESTAL
RD	ROOF DRAINAGE POINT
(dashed line)	EXISTING CONTOUR
(solid line)	PROPOSED CONTOUR
XX XX	EXISTING SPOT ELEVATION
XX XX	PROPOSED SPOT ELEVATION
XX XX	RECORD SPOT ELEVATION



PROJECT TITLE
 CARLISLE SHOPS
 CARLISLE AND INDIAN SCHOOL
 ALBUQUERQUE, NM

PROJECT NO.
 0615

DATE
 10/03/05

SCALE
 AS NOTED

SHEET TITLE
 GRADING PLAN

Sheet No.
 C1

194
Pray 1003801

Jake Cordova
823 1344
9.9.05



Mary Herrera

Bern. Co. AORE

R 19.00

2005131139
6327188
Page: 1 of 6
09/07/2005 02:57P
Bk-A103 Pg-761

No. of Lots:
Nearest Major Streets

FIGURE 12

**SUBDIVISION IMPROVEMENTS
AGREEMENT-PUBLIC AND/OR PRIVATE
(Procedure B)**

**AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS**

THIS AGREEMENT is made this 1st day of September, 2005, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and Carlisle Shops, LLC ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] New Mexico LLC, whose address is 2325 San Pedro NE, #2A, Alb. NM 87110 and whose telephone number is 505-884-3578, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [existing legal description:] Lots 28-31, Block A, Altura Addition, recorded on 2/17/1950 in the records of the Bernalillo County Clerk at Book Vol. D, pages through Folio 83 (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] Carlisle Shops, LLC ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as Lot 28-A, Block A, Altura Addition describing Subdivider's Property. (Carlisle Shops)

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private Improvements described in Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 15 day of August, 2007 ("Construction Completion Deadline"), at no cost to the City. The Improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 767281.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board ("DRB"), unless

the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for the extension.

3. Work Order Requirements. The City agrees to issue a Work Order after:

A. The Subdivider causes to be submitted all documents, and meets all requirements listed in Development Process Manual, Volume 1, Chapter 5, Work Order Process, and figure 1, including submitting a Certificate of Insurance in a form acceptable to the City. The certificate must establish that the Subdivider has procured or has caused to be procured public liability insurance in the amount of not less than One Million Dollars (\$1,000,000) combined single limit for accidents or occurrences which cause bodily injury, death or property damage as a result of any condition of the Subdivision, the Improvements or the Subdivider's construction activities within, or related to the Subdivision. The insurance policy must name the City of Albuquerque, its employees and elected officials, as their interest may appear, as additional insured. The Subdivider must maintain the insurance until the City accepts the public Improvements and/or approves the private Improvements. The cancellation provision must provide that, if the policy is either canceled prior to the expiration date of the policy or is materially changed or not renewed, the issuing company will mail 30 days written notice to the City, attention City Engineer.

B. The Subdivider complies with all applicable laws, ordinances and regulations, including, but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pays the following required engineering, staking, testing fees, and other related City fees and County Clerk recording fees:

<u>Type of Fee</u>	<u>Amount</u>
<u>Engineering Fee</u>	<u>3.25% of Actual Construction Cost</u>
<u>Excavation And Sidewalk Ordinance, Street Restoration Fees</u>	<u>As required per City-approved estimate. (Figure 7)</u>

(Note: The Subdivider must pay the City all City fees which have been incurred during construction before the City will accept the public Improvements.

4. Surveying, Inspection and Testing. The Improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the public Improvements shall be performed by Surv-Tek, Inc., ~~and construction surveying of the private Improvements shall be performed by~~ _____. If the construction surveying is performed by an entity other than the City, the City may monitor the construction surveying and the Subdivider shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey. The Subdivider shall pay the City a reasonable fee for any construction surveying performed by the City.

B. Construction Inspection Methods. Inspection of the construction of the public Improvements shall be performed by Bordonave Designs, ~~and inspection of the private Improvements shall be performed by~~ _____, both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the City, the City may monitor the inspection and the Subdivider



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Page: 2 of 6
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shall ensure that the inspecting entity provides all inspection results, reports and related data to the City which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City Engineer. The Subdivider shall pay the City a reasonable fee for the level of inspection performed by the City.

C. Field Testing. Field testing of the construction of the public Improvements shall be performed by Vinyard & Associates, Inc., ~~and field testing of the private Improvements shall be performed by _____~~, both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for Public Works Construction. If any field testing is performed by an entity other than the City, the City may monitor the field testing and the Subdivider shall ensure that the field testing entity provides all field testing results, reports and related data to the City which the City requires for review. The Subdivider shall pay the City a reasonable fee for any field testing performed by the City.

D. Additional Testing. The City retains the right to perform all additional testing which the City Engineer deems is necessary or advisable, and the Subdivider shall pay the City a reasonable fee therefor.

5. Financial Guaranty. If final plat approval is not requested prior to construction of the Subdivision, a financial guaranty is not required. If final plat approval is requested, the Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guaranty:"

Type of Financial Guaranty: Cashier's Check issued by Compass Bank #4677023484
Amount: \$24,752.01 Name of Financial Institution or Surety
Date City first able to call Guaranty: August 15 2007
[Construction Completion Deadline]: August 15 2007
If Guaranty other than a Bond, last day City able to call Guaranty is:
October 15, 2007
Additional information: _____

6. Notice of Start of Construction. Before construction begins, the Subdivider shall deliver an acceptable Notice to Proceed to the City and shall arrange or a preconstruction conference and all required inspections.

7. Completion, Acceptance and Termination. When the City receives Subdivider's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Volume 1, Chapter 5, Work Order Process, Step 9.) If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the public Improvements and a Certificate of Completion for the private Improvements. Thereafter, the Subdivider's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Subdivider has provided to assure the materials and workmanship, as required by the Subdivision Ordinance. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.



8. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon or in which the public Improvements are constructed, the Subdivider will convey to the City all real and personal property rights which the City deems reasonably necessary, and all public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the public Improvements. Conveyance may be made by appropriate dedication on the final plat of the Subdivision.

9. Reduction of Financial Guaranty Upon Partial Completion. The Subdivider shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Subdivider must follow the procedures and meet the requirements detailed in the Development Process Manual, Volume 1, Chapter 5.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guarantee other than a loan reserve letter has been provided, the completed Improvements must be free-standing, functionally independent of any Improvements which have not yet been completed and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements which have been completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the subdivider must submit the following documents to the City for review and approval:

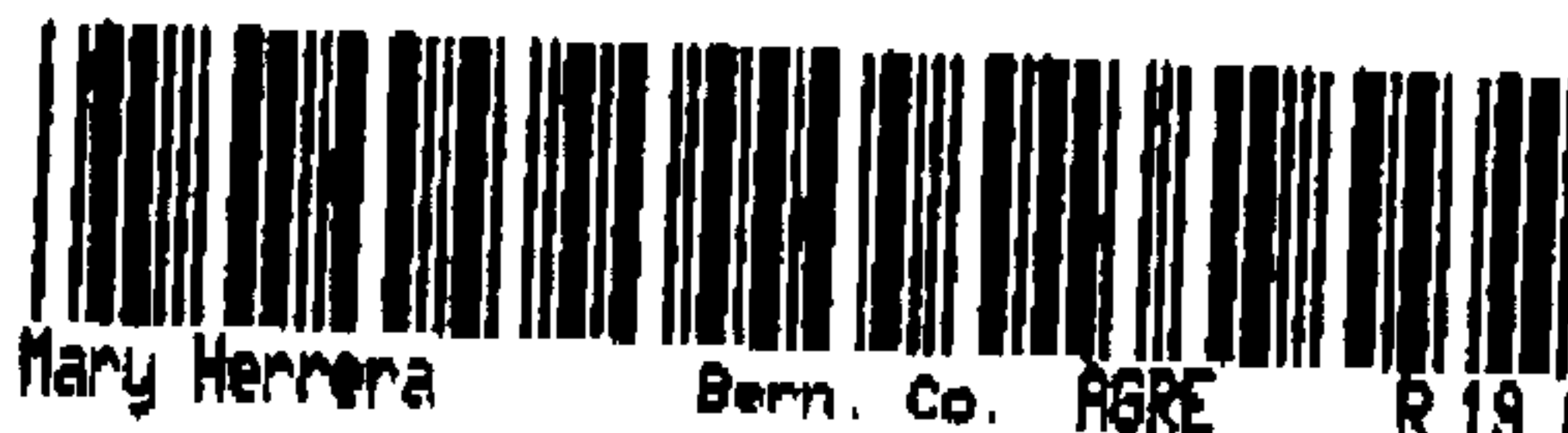
(1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;

(2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the Subdivision Ordinance.

(3) Conveyance of real and personal property rights which meet the requirements of section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed public Improvements and a Certificate of Partial Completion for the completed private Improvements.

10. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.



11. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

12. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has entered into a Subdivision Improvements Agreement with the City. Thereafter, if the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

13. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to any Financial Guaranty.

14. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

15. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

16. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

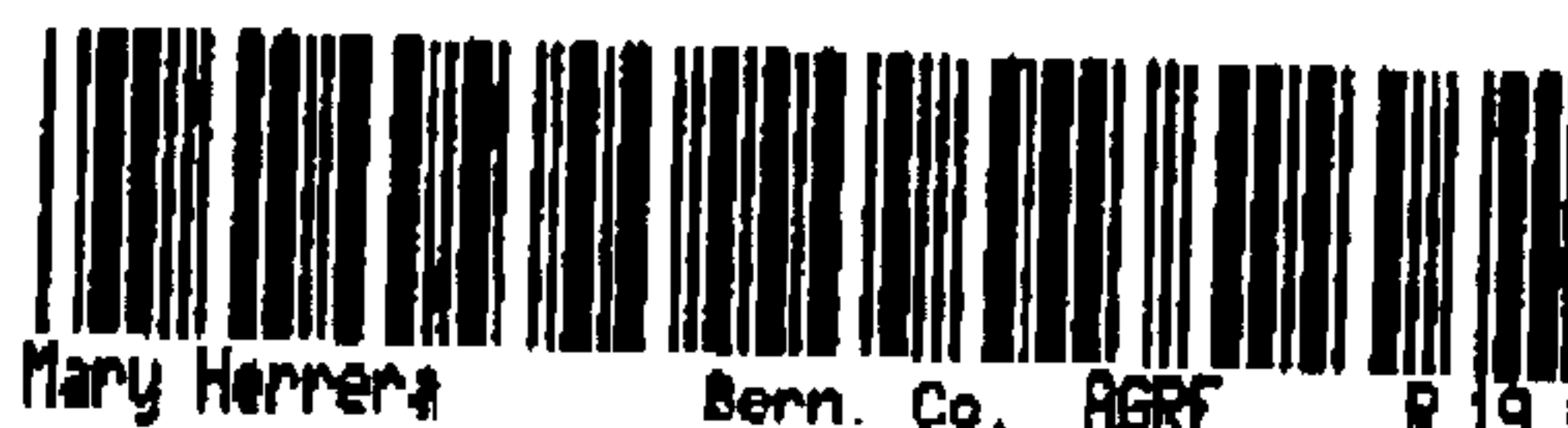
17. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the subdivider and signed by the City's Legal Department on this form.

21. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.



Current DRC
Project Number

FIGURE 12

INFRASTRUCTURE LIST

ORIGINAL

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

CARUSLE SHOPS

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

LOTS 28, -31, BLOCK A, ALTURA ADDITION
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Date Submitted 03/23/05
Date Site Plan Approved
Date Preliminary Plat Approved 01/27/05
Date Preliminary Plat Expires 07/27/05
DRB Project No. 1003801
DRB Application No. 05-01179

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantees. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, those revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Crst Engineer
1	70788	-	REMOVE MEDIAN CURB	CARUSLE BLVD	28'S OF N R	163'S OF N R	/	/	/
2		VARIES 1" MIN.	REMOVE ASPHALT PAVEMENT	CARUSLE BLVD	28'S OF N R	180'S OF N R	/	/	/
3		-	MEDIAN CURB w/ MEDIAN CONC. PAVT	CARUSLE BLVD	28'S OF N R	180'S OF N R	/	/	/
4		VARIES 1" MIN.	ASPHALT PAVEMENT	CARUSLE BLVD	28'S OF N R	180'S OF N R	/	/	/
5		-	LANE STOPP	CARUSLE BLVD	102'S OF N R	180'S OF N R	/	/	/

EXHIBIT "A"

FINANCIAL GUARANTY AMOUNT

08/09/2005

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

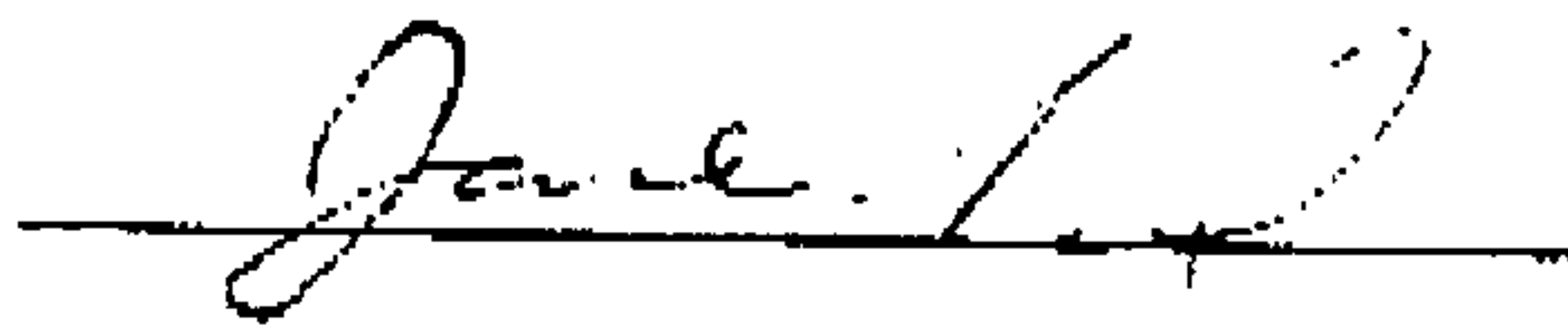
Project ID #: 767281, Carlisle Shops, Paving Improvements, Phase/Unit #

Requested By: Jake Bordenave, PE w/ Bordenave Designs

Approved estimate amount:		\$13,728.18
Contingency Amount:	20.00%	\$2,745.64
Subtotal:		\$16,473.82
NMGRT	6.75%	\$1,111.98
Subtotal:		\$17,585.80
Engineering Fee	6.60%	\$1,160.66
Testing Fee	6.00%	\$1,055.15
Subtotal:		\$19,801.61
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$.00
TOTAL FINANCIAL GUARANTY REQUIRED		<u>\$24,752.01</u>

APPROVAL:

DATE:



8-17-2005

Notes: 20% contingency, plans not approved.

TREASURER'S REPORT OF DEPOSITS

DEPOSITOR: Compass Bank Check NO. 4677023484 Remitted: Carlsbad Shops LLC	DESCRIPTION: CPN #. 767281 Alterra Addition (Carlsbad Shops)
COMMENTS: STA Procedure "B" Financial Guaranty.	FUND: _____ ACCOUNT: <u>233100</u> ACTIVITY: <u>7000110</u> AMOUNT: <u>\$24,752.01</u>
	 FUND: _____ ACCOUNT: _____ ACTIVITY: _____ AMOUNT: _____
TOTAL AMOUNT: <u>\$24,752.01</u> VERIFIED BY: <u>Marilyn Maldonado</u> PHONE NUMBER: <u>924-3997</u> DEPOSIT DATE: <u>8-26-05</u>	

DEPOSITOR

(Faint stamp)

RECEIVED AMOUNT
 Amount: 233.00
 Date: 8/26/05



Compass Bank

THE PURCHASE OF AN INDEMNITY BOND MAY BE REQUIRED BEFORE A LOST OR STOLEN CHECK CAN BE REPLACED

4677023484

24-16-05
304

1221
Carlisle Shops, LLC
REMITTER

Date August 16, 2005

CC: 46535

PAY TO THE ORDER OF
Compass Bank **\$ 24,752.01** **cts**

\$ 24,752.01

CITY OF ALBUQUERQUE

PAYABLE THROUGH
US BANK
ST. PAUL, MN

Melissa F. Peterson
NOTHORIZED SIGNATURE
SUCH ACCEPTS AS DRAWER/CHAWEE

⑆096016785⑆00467 70234840⑆

ORIGINAL

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

CARLISLE SHOPS

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

LOTS 28, -31, BLOCK A, ALTURA ADDITION

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		-	REMOVE MEDIAN CURB	CARLISLE BLVD	28'S OF N R	163'S OF N R	/	/	/
		VARIES 1' MIN.	REMOVE ASPHALT PAVEMENT	CARLISLE BLVD	28'S OF N R	180'S OF N R	/	/	/
		-	MEDIAN CURB w/ MEDIAN CONC. PYMT	CARLISLE BLVD	28'S OF N R	180'S OF N R	/	/	/
		VARIES 1' MIN.	ASPHALT PAVEMENT	CARLISLE BLVD	28'S OF N R	180'S OF N R	/	/	/
			LANE STRIPE	CARLISLE BLVD	102'S OF N R	180'S OF N R	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

SIA Sequence #	COA DRC Project #

Size

Type of Improvement

Location

From

To

Private Inspector	City Inspector	City Cnst Engineer
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/

NOTES

1 _____

2 _____

3 _____

AGENT / OWNER

J. J. BORDENAVE
NAME (print)

BORDENAVE DESIGNS
FIRM

[Signature] 07/27/05
SIGNATURE - date

MAXIMUM TIME ALLOWED TO CONSTRUCT
THE IMPROVEMENTS WITHOUT A DRB
EXTENSION: _____

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

[Signature] 7/27/05 DRB CHAIR - date
Christina Sandora 7/27/05
PARKS & GENERAL SERVICES - date

[Signature] 7-27-05
TRANSPORTATION DEVELOPMENT - date

Roger Lee 7/27/05
UTILITY DEVELOPMENT - date

Bradley J. Bingham 7/27/05
CITY ENGINEER - date

AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



SUBDIVISION	Supplemental form S	ZONING AND PLANNING	Supplemental form Z
<input checked="" type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation	
<input checked="" type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal	
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)	
SITE DEVELOPMENT PLAN		<input type="checkbox"/> Sector Plan (Phase I, II, III)	
<input type="checkbox"/> ... for Subdivision Purposes	P	<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan	
<input checked="" type="checkbox"/> ... for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)	
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L		
		APPEAL / PROTEST OF ...	A
		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: <u>PETERSON PROPERTIES</u>	PHONE: <u>884-3578</u>
ADDRESS: <u>2325 SAN PEDRO NE SUITE 2-A</u>	FAX: <u>884-6793</u>
CITY: <u>ALBUQ</u> STATE <u>NM</u> ZIP <u>87110</u>	E-MAIL: _____
Proprietary Interest in Site: <u>OWNERS</u> List all owners: _____	
AGENT (if any): <u>Surv-Tek, Inc</u>	PHONE: <u>897-3366</u>
ADDRESS: <u>9384 Valley View Drive NW</u>	FAX: <u>897-3377</u>
CITY: <u>Albuquerque</u> STATE <u>NM</u> ZIP <u>87114</u>	E-MAIL: <u>Hugg@survtek.com</u>

DESCRIPTION OF REQUEST: PRELIMINARY AND FINAL PLAT APPROVAL
DRB SIGN-OFF OF EPC APPROVED SDP FOR BUILDING PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY

Lot or Tract No. <u>LOTS 28 THRU 31</u>	Block: <u>A</u>	Unit: _____
Subdv. / Adn. <u>ALTURA ADDITION</u>		
Current Zoning: <u>SU-1 FOR C-USES</u>	Proposed zoning: _____	
Zone Atlas pages(s) <u>1-16</u>	No. of existing lots: <u>4</u>	No. of proposed lots: <u>1</u>
Total area of site (acres): <u>0.64</u>	Density if applicable: dwellings per gross acre: <u>N/A</u>	dwellings per net acre: <u>N/A</u>
Within city Limits? <input checked="" type="checkbox"/> Yes. <input type="checkbox"/> No, (but site is within 5 miles of the city limits.)	Within 1000FT of a landfill? <u>N/A</u>	
UPC No. <u>101705801049721423</u>	<u>101705801050321422</u>	MRGCD Map No. <u>N/A</u>
<u>101705801050921421</u>	<u>101705801051721420</u>	
LOCATION OF PROPERTY BY STREETS: On or Near: <u>CARLISE NE</u>		
Between: <u>INDIAN SCHOOL</u> and <u>CONSTITUTION</u>		

CASE HISTORY: David Stallworth, EPC Case Planner
List any current or prior case numbers that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.):
1003801 04EPC01821

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-Application Review Team Date of review: 2.2.05

SIGNATURE [Signature] DATE 7.18.05
(Print) Russ Hugg Applicant Agent

FOR OFFICIAL USE ONLY
3/04

Form revised 9/01, 3/03, 7/03, 10/03,

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>05DRB</u> - <u>01179</u>	<u>P&F</u>	<u>5(3)</u>	\$ <u>215.50</u>
<input type="checkbox"/> All fees have been collected	-	-	<u>CMF</u>	\$ <u>20.00</u>
<input type="checkbox"/> All case #s are assigned	<u>05DRB</u> - <u>01180</u>	<u>SBP</u>	-	\$ <u>-0-</u>
<input type="checkbox"/> AGIS copy has been sent	-	-	-	\$
<input type="checkbox"/> AGIS copy has been sent	-	-	-	\$
<input type="checkbox"/> Case history #s are listed	-	-	-	\$
<input type="checkbox"/> Site is within 1000ft of a landfill	-	-	-	\$
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>07/27/2005</u>			\$ <u>235.00</u>

[Signature] 07/19/2005
Planner signature / date

Project # 1003801

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Completed Site Plan for Subdivision Checklist
- Infrastructure List, if relevant to the site plan
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

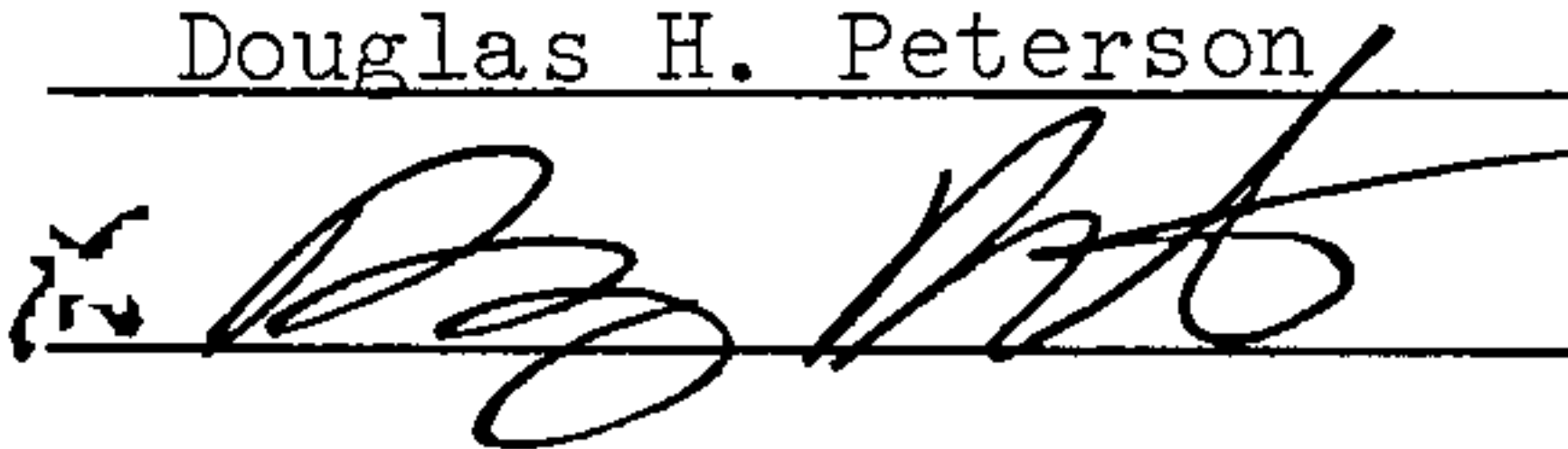
D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
- Infrastructure List, if relevant to the site plan
- Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Douglas H. Peterson

 Applicant name (print) _____
 Applicant signature / date _____



Form revised JUNE 2005

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
05DRB - 01180

T. Sins

 Planner signature / date
Project # 1003801

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

- SKETCH PLAT REVIEW AND COMMENT** **YOUR ATTENDANCE IS REQUIRED.**
- ___ Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
 - ___ Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Any original and/or related file numbers are listed on the cover application

- MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT** **Your attendance is required.**
- ___ Preliminary Plat reduced to 8.5" x 11"
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Copy of previous D.R.B. approved infrastructure list
 - ___ Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
 - ___ Any original and/or related file numbers are listed on the cover application
- Extensions are not reviewed through internal routing.**
Extension of preliminary plat approval expires after one year.

- MAJOR SUBDIVISION FINAL PLAT APPROVAL** **Your attendance is required.**
- ___ Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - ___ Design elevations & cross sections of perimeter walls **3 copies**
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
 - ___ Property owner's and City Surveyor's signatures on the Mylar drawing
 - ___ SIA financial guaranty verification
 - ___ Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - ___ Any original and/or related file numbers are listed on the cover application
 - ___ **DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

- MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL** **Your attendance is required.**
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing
 - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - Signed** Pre-Annexation Agreement if Annexation required.
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
 - Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
 - ___ **DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

- AMENDMENT TO PRELIMINARY PLAT (with minor changes)** **Your attendance is required.**
- AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)**
- AMENDMENT TO GRADING PLAN (with minor changes)**
- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- ___ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
 - ___ Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - ___ Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - ___ Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

ANTONIO SILVA _____
Applicant name (print)

Antonio Silva _____
Applicant signature / date 7/19/05

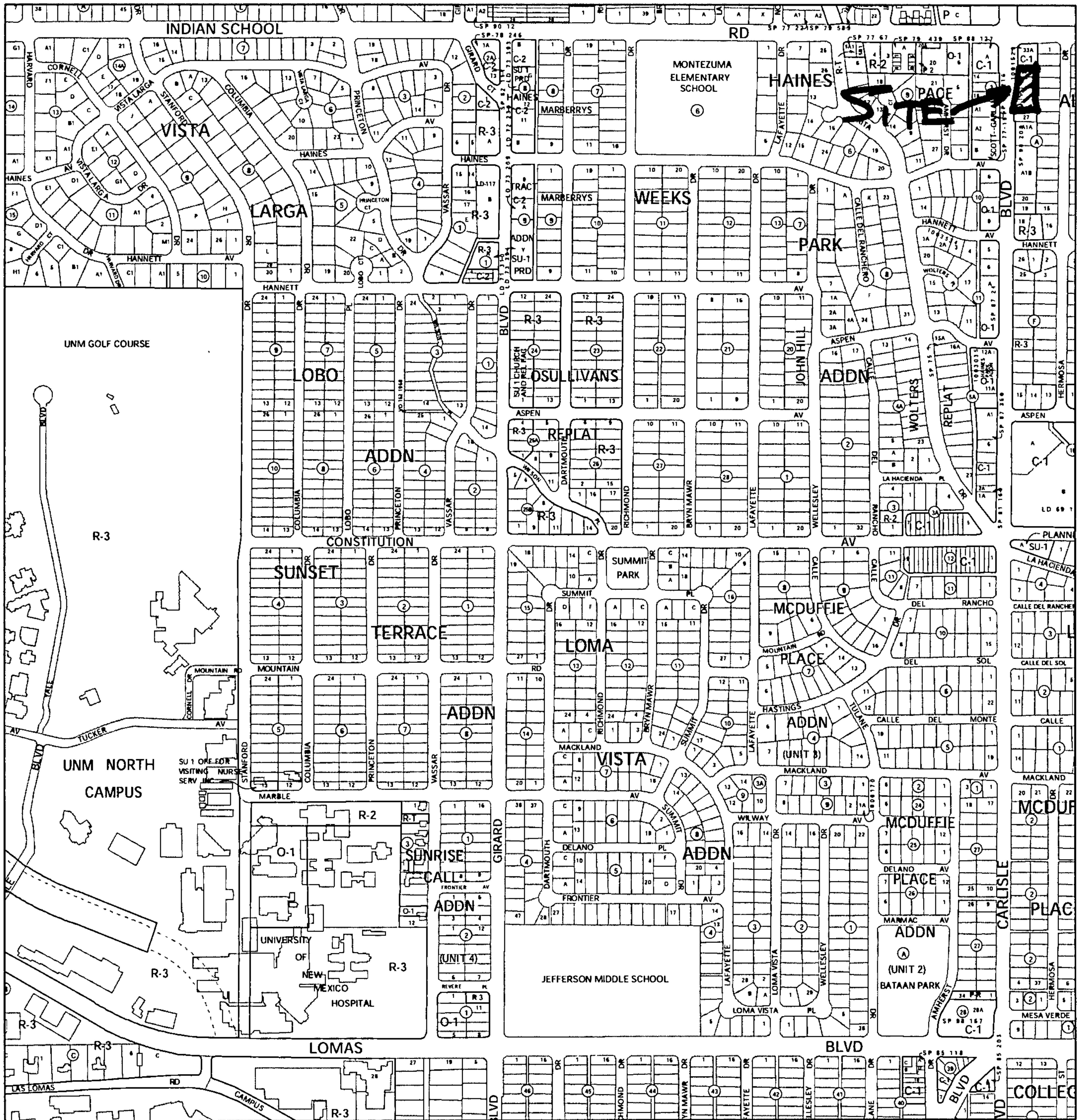


- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
05228 - _____ - 01179
- _____ - _____ - _____
- _____ - _____ - _____

Form revised 11/04

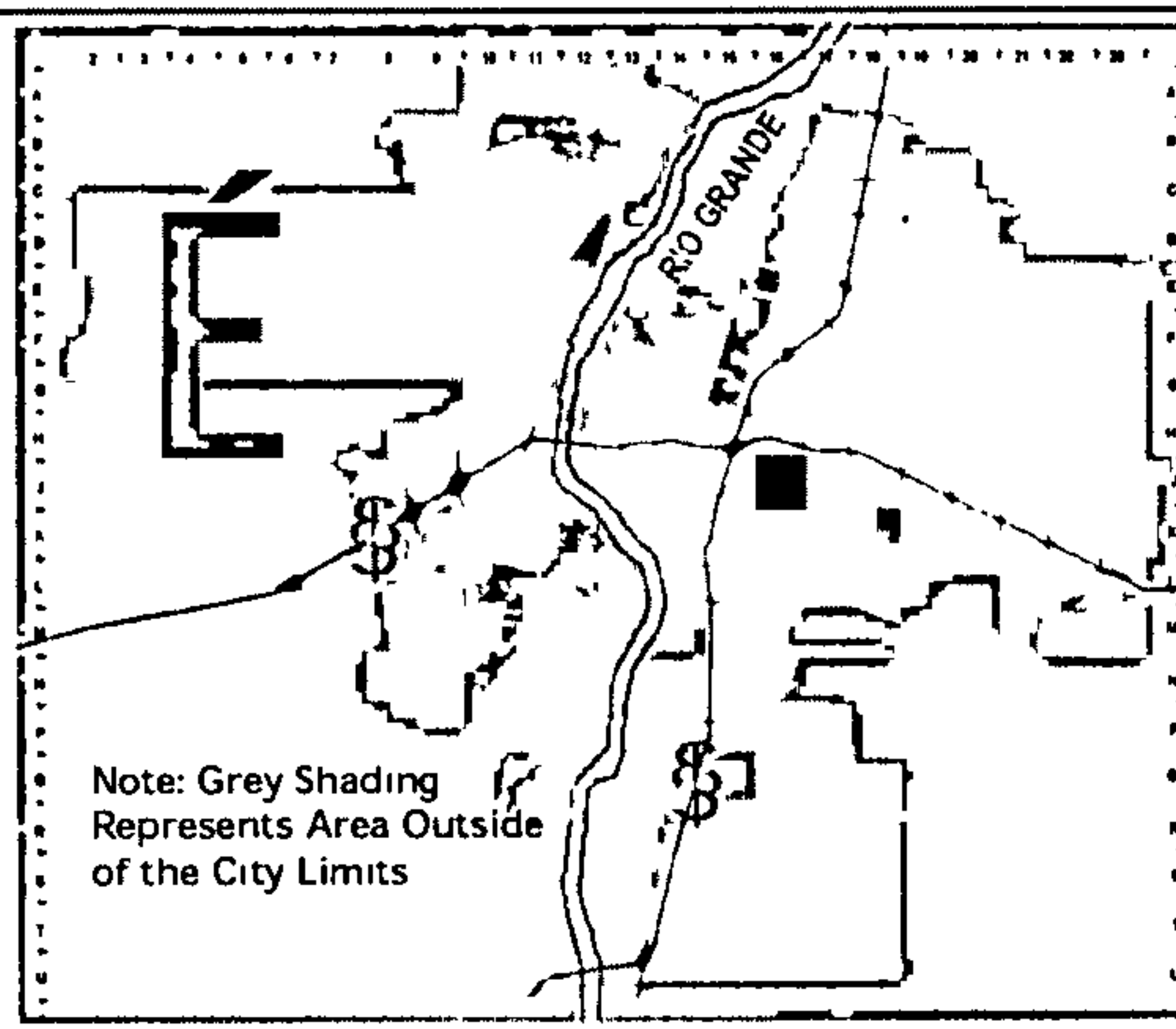
Vic Sís _____
Planner signature / date 07/19/05

Project # 100 3801



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: Apr 22, 2005

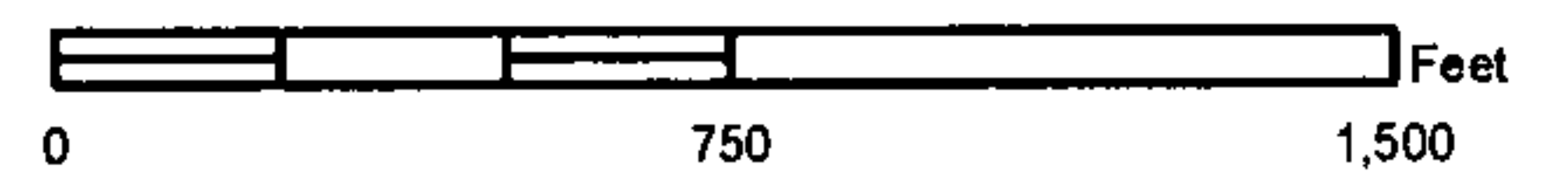


Zone Atlas Page:

J-16-Z

Selected Symbols

- Outside City Limits
- Sector Plans
- Design Overlay Zones
- City Historic Zone
- KKKH-1 Buffer Zone
- Petroglyph Mon
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



SURV TEK, INC.

Consulting Surveyors

9384 Valley View Drive, NW Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377 E-mail: hugg@swcp.com

July 18, 2005

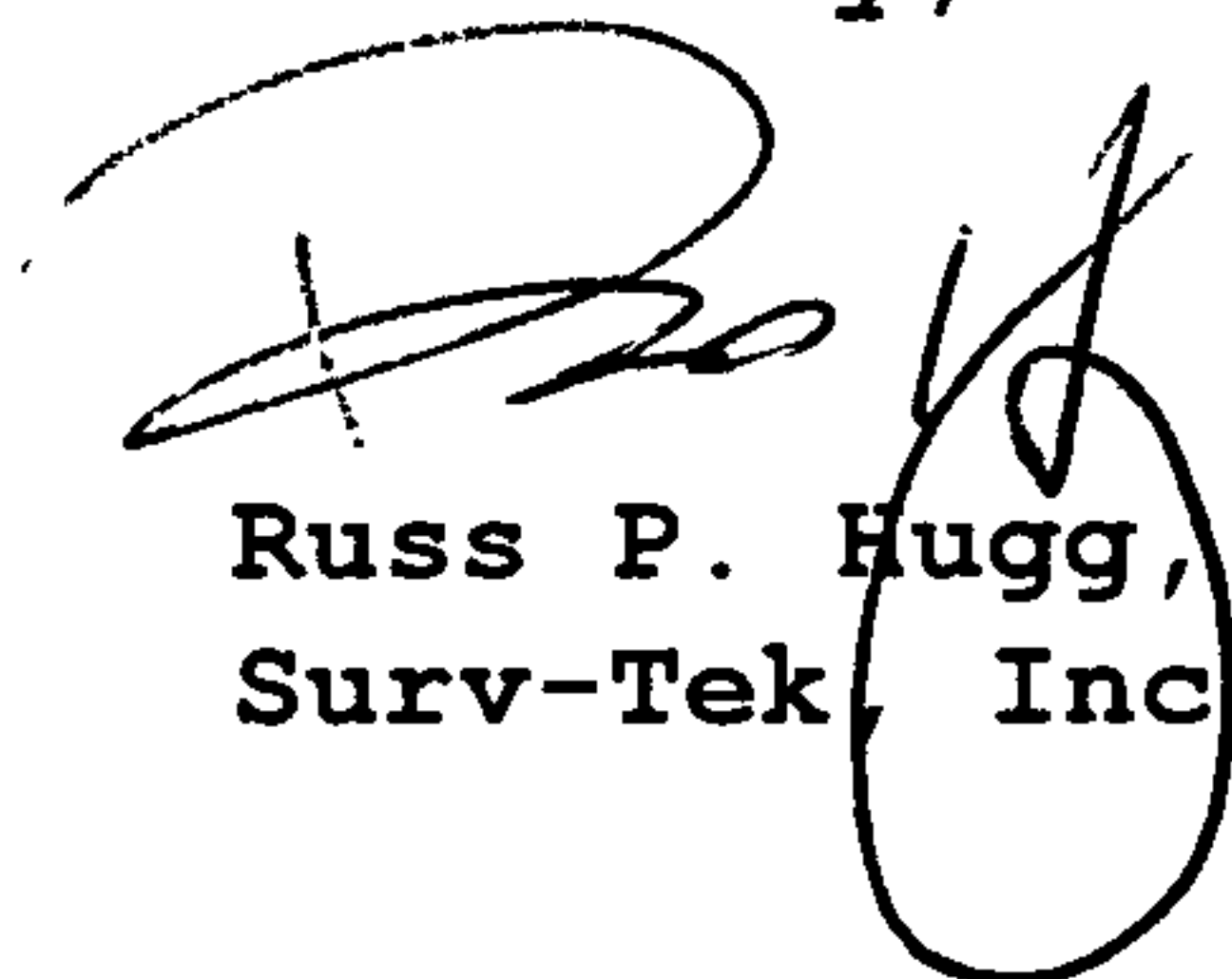
Albuquerque Development Review Board
PO Box 1293
Albuquerque, New Mexico 87103

Attention: Sheran Matson, Chair

RE: Lots 28 thru 31, Block A, Altura Addition, City of
Albuquerque, Bernalillo County, New Mexico.
DRB 1003801 (Zone Atlas Page J-16-Z).

The owner of the above captioned property, Peterson Properties, is hereby filing application with the City of Albuquerque Development Review Board for: Preliminary and Final Plat approval, to eliminate the existing interior lot lines between lots 28 thru 31 and combine into one lot; dedicate additional right of way for Carlisle Boulevard N.E. and grant public utility easements in conformance with the EPC Notice of Decision 05EPC-00745, Site Development Plan-Building Permit, June 17, 2005.

Sincerely,



Russ P. Hugg, PS
Surv-Tek, Inc.



PETERSON PROPERTIES
Real Estate Services, Inc.

HAND DELIVERED

July 19, 2005

Development Review Board
City of Albuquerque
600 2nd St. NW
Albuquerque, NM 87103

Dear Sir or Madam:

This letter is to request your consideration of the enclosed application for DRB sign-off of an EPC approved site development plan for building permit with respect to Lots 28, 29, 30 and 31, Block A, Altura Addition, Albuquerque. This application is being submitted together with an application for minor subdivision action (to combine the four lots into one). The following items are enclosed:

1. Application
2. Form P(3)
3. Zone Atlas Page J-16
4. Letter describing how each of the EPC's conditions have been met
5. 6 copies of Site Plan, Landscape Plan and Elevations – full size, folded
6. 6 copies of approved Grading and Drainage Plan – full size, folded
7. June 7, 2005 letter from Phillip J. Lovato, approving Grading and Drainage Plan
8. Fire Department Requirements sheet dated July 18, 2005

Thank you for your consideration and assistance. Please contact me at the number below if there are any questions or concerns.

Sincerely,

Douglas H. Peterson



PETERSON PROPERTIES
Real Estate Services, Inc.

VIA HAND DELIVERY

July 19, 2005

Development Review Board
Attn: Sheran Matson, Chair
600 2nd St. NW
Albuquerque, NM 87103

RE: PROJECT #1003801
DRB SIGN-OFF OF EPC APPROVED SDP FOR BUILDING PERMIT

Dear Ms. Matson:

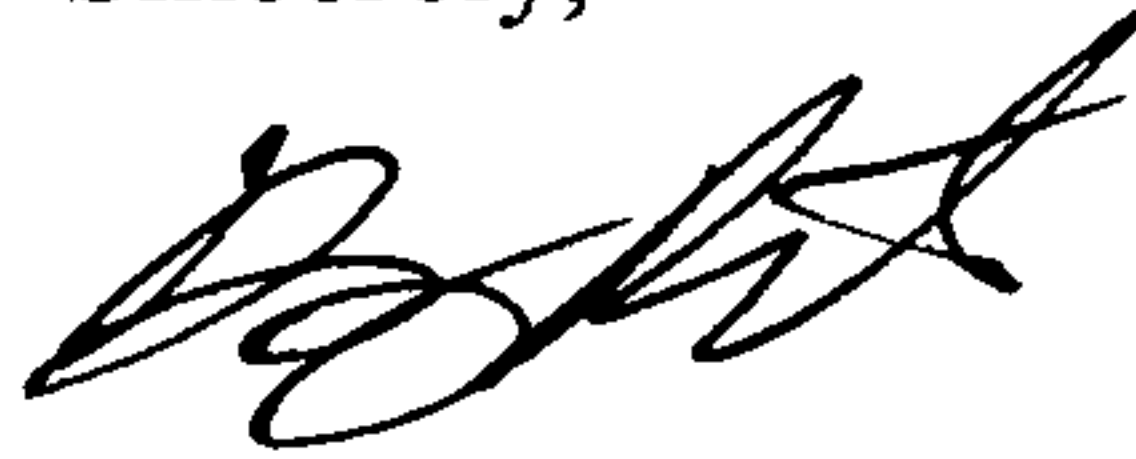
This letter is pursuant to condition #1 of Official Notification of Decision ("OND") to approve Project #1003801, 05EPC-00745, dated June 17, 2005, which requires a letter specifying all modifications to the site plan made subsequent to the EPC hearing. A copy of the OND is attached as Exhibit "A". This letter also serves as explanation as to how each condition in said OND has been met, as required in Form P(3) of the application materials.

1. Condition 1: This letter satisfies this condition.
2. Condition 2: A meeting with David Stallworth, Staff Planner, Albuquerque Planning Department, was held on July 18, 2005 to conduct a preliminary review of the site plan. Mr. Stallworth's comments are attached as Exhibit "B". Developer's response to Mr. Stallworth's comments is attached as Exhibit "C".
3. Condition 3: Developer accepts responsibility for the matters described in this condition. All requirements will be met at the time improvements are made.
4. Condition 4: Developer agrees to submit an amendment of the site plan to the EPC in the event a restaurant or food service tenant is proposed for the site.
5. Condition 5(a): Developer is applying for a replat in conjunction with this application.
6. Condition 5(b): The parapet along the east wall of the building has been raised to four (4) feet above the roof level in order to provide sufficient screening of roof-mounted equipment from abutting residential properties.
7. Condition 5(c): The pedestrian pathway along the rear of the building has been increased to a width of five (5) feet to accommodate emergency exit traffic.
8. Condition 5(d): Shading of the outdoor seating along the west of the building is accomplished via two (2) awnings, as well as trees located immediately adjacent to the sidewalk at the south of the building.
9. Condition 5(e): The site plan now includes a schematic of the freestanding sign that was submitted and approved at the June 16, 2005 EPC hearing.
10. Condition 6: One parking space has been designated as motorcycle parking.

11. Conditions 7(a) and 7(c): A schematic of the screen walls has been included on the site plan.
12. Condition 7(b): The east wall will be raised to a minimum of six (6) feet in height.
13. Condition 7(d): On-site lighting now shows shielding to prevent light trespass and pollution.
14. Condition 7(e): Security lighting has been included along the rear of the building.
15. Conditions 8(a) and (b): The site plan now shows evergreen plantings at the rear of the building and near the trash enclosure for visual relief.
16. Condition 9: Developer agrees to comply with all SWMD requirements. SWMD's approval of the site plan is evidenced by its signature thereon.

Having met all of the requirements of the OND, we respectfully request your approval of this project. Please contact me if you have any questions. Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read 'Douglas Peterson', written in a cursive style.

Douglas Peterson

CC: James A. Peterson



PETERSON PROPERTIES OFFICES

Carlisle/Indian
JUN 24 2005

BY: Katherine
Routed to: WJL
CC: Dean, Tim

City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: June 17, 2005

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1003801***
05EPC-00745 EPC Site Development Plan-
Building Permit

Peterson Properties Real Estate, Inc.
2325 San Pedro NE, Suite 2A
Albuq. NM 87110

LEGAL DESCRIPTION: for all or a portion of
Lots 28-31, Block A, Altura Addition, zoned
SU-1 for C-1 w/ Exclusions, located on the east
side of CARLISLE BOULEVARD, NE, between
INDIAN SCHOOL ROAD, NE and HANNETT
AVENUE, NE, containing approximately 1 acre
(J-16) David Stallworth, Staff Planner

On June 16, 2005 the Environmental Planning Commission voted to approve Project 1003801/05EPC 00745, a site development plan for building permit for Lots 28 through 31, Block A, Altura Addition Subdivision, pending certification of SU-1/C-1 zoning with Exclusions as approved on March 17, 2005, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for consideration and approval of a site development plan for building permit for Lots 28 through 31, Block A, Altura Addition Subdivision to accommodate the new construction of a +/-7200-square-foot neighborhood commercial retail center.
2. The proposed development would be a logical extension of existing commercial zoning to the north of the subject area, and commercial uses would be an appropriate use of the property, in accordance with *Policy II.B.5.d* of the *City/County Comprehensive Plan*.
3. No public improvements or extensions of public utilities are required to accommodate the request, and there are transit facilities in place to adequately support a commercial development, in accordance with *Policy II.B.5.e* of the *City/County Comprehensive Plan*.
4. The proposed development will offer employment opportunities and services that will complement the surrounding area, in accordance with *Policies II.B.5.i* and *II.B.5.o* of the *City/County Comprehensive Plan*.

EXHIBIT "A"

OFFICIAL NOTICE OF DECISION

JUNE 16, 2005

PROJECT #1003801

PAGE 2 OF 5

5. Site plan review and land use restrictions should help ensure that any new development within the subject area is sensitive to, and compatible with, surrounding development, that it functions as an infill development, and that it could become a catalyst for redevelopment, in accordance with *Policies II.B.5.k and II.B.5.l of the City/County Comprehensive Plan.*
6. The applicant is authorized to request a site development plan for building permit on the subject property.
7. The applicant has worked closely with area residents and interested community organizations in the design of this project, and the submitted proposal is the end result of that collaboration.
8. There is no known public opposition to the request. Outstanding concerns from area residents include the proposed rear setback, times for garbage pick-up and the possible need for a traffic study.
9. As an infill project flexibility in applying regulatory standards is appropriate, as provided for by the SU-1 provisions of the Zoning Code. The EPC approves the 10 foot rear setback which is a variance from the C-1 standard of 15 feet and the diminished rear landscape buffer (as depicted on the site plan) which is a variance from the standard 10 foot wide landscape strip requirement.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The applicant shall schedule with the Planning Department case manager a preliminary review of the site plan to be submitted to the Development Review Board within a reasonable amount of time prior to a filing for final sign-off.
3. With respect to engineering-related considerations, the following conditions shall apply:
 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).

- b. Modification of median in Carlisle to provide a left turn lane at south driveway. Provide max length possible that does not conflict with existing north bound left turn land on Carlisle at Indian School.
 - c. The site plan shall comply and be designed per DPM Standards.
4. The applicant shall submit an amendment of this site plan to the Environmental Planning Commission in the event a restaurant or food service tenant is proposed for the site.
5. With respect to site plan-related considerations, the following conditions shall apply:
 - a. The applicant shall assemble the project area into one lot through a replat. The replat must be recorded prior to the issuance of a building permit and certification of zoning.
 - b. The applicant shall raise the parapet along the proposed east building elevation to a reasonable height that will provide sufficient screening of ventilation equipment to abutting residential properties. The parapet height shall not exceed the maximum height restrictions for C-2 zoning.
 - c. The applicant shall include a minimum five-foot (5') pedestrian pathway along the rear of the building to accommodate emergency exit traffic.
 - d. The applicant shall provide sufficient shading for any proposed outdoor seating along the building elevation facing Carlisle Boulevard.
 - e. The proposed freestanding sign shall be in accordance with specifications submitted during the June 16th public hearing to include a sign area of 9 feet in height, 12 feet width, 7 feet above the ground with a landscaped base and situated a minimum of 10 feet from the east right-of-way line of Carlisle Boulevard. The LED Reader board shall change a minimum of every 30 minutes.
6. The applicant shall furnish a minimum of 1 motorcycle parking space on the site.
7. With respect to lighting- and security-related considerations, the following conditions shall apply:
 - a. Schematics for the proposed three-foot (3') wall along Carlisle Boulevard shall be shown on the final site plan.
 - b. The applicant shall either modify the portion of the wall along the east project boundary that abuts any site parking to a minimum height of six feet (6') or seek a variance from this requirement.
 - c. All existing fences and walls along the north project boundary shall be removed and replaced with an appropriate solid wall or screening. The schematics for this wall shall be shown on the final site plan.
 - d. The applicant should ensure that any on-site lighting is shielded in order to provide downward light emission and prevent both light trespass and upward light pollution.
 - e. The applicant shall provide security lighting along the rear of the proposed building.
8. With respect to landscape-related considerations, the following conditions shall apply:

- a. The applicant shall either install a reasonable amount of evergreen trees within the rear setback area to complement the proposed deciduous plantings or install trellising along the rear building elevation to provide significant visual relief.
 - b. Either evergreen plantings or some alternative creative landscaping should be included near the trash enclosure to provide better year-round concealment.
9. The project will comply with all SWMD ordinances and requirements.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **JULY 1, 2005** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

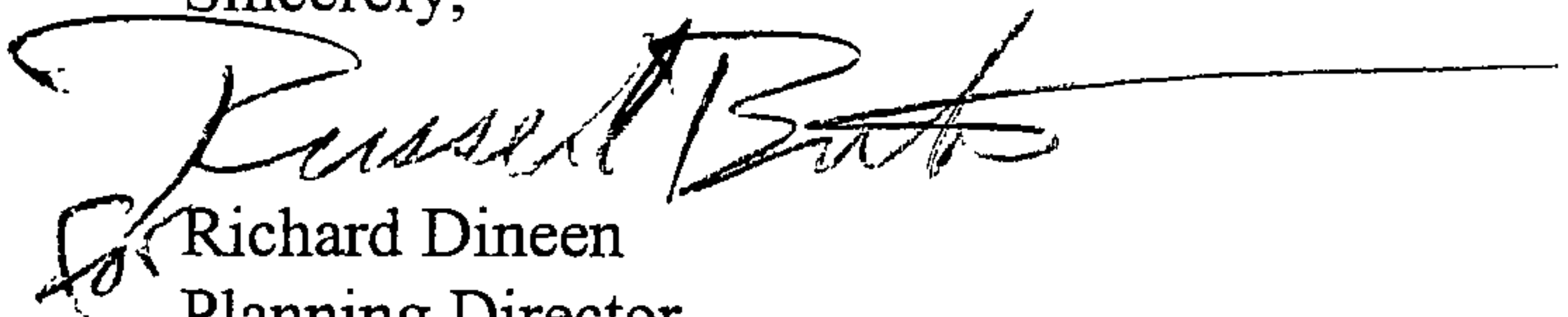
Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

OFFICIAL NOTICE OF DECISION
JUNE 16, 2005
PROJECT #1003801
PAGE 5 OF 5

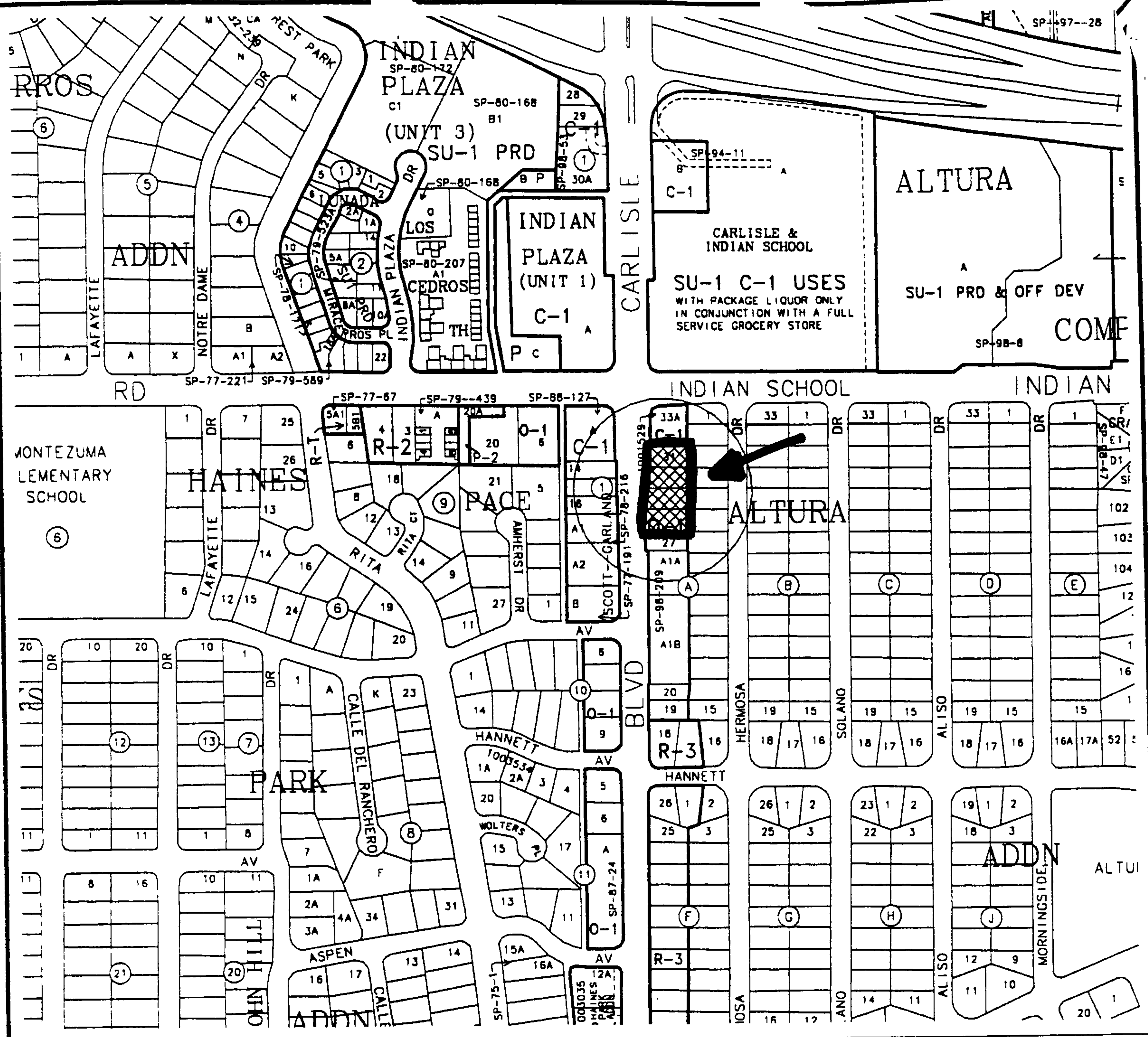
Sincerely,



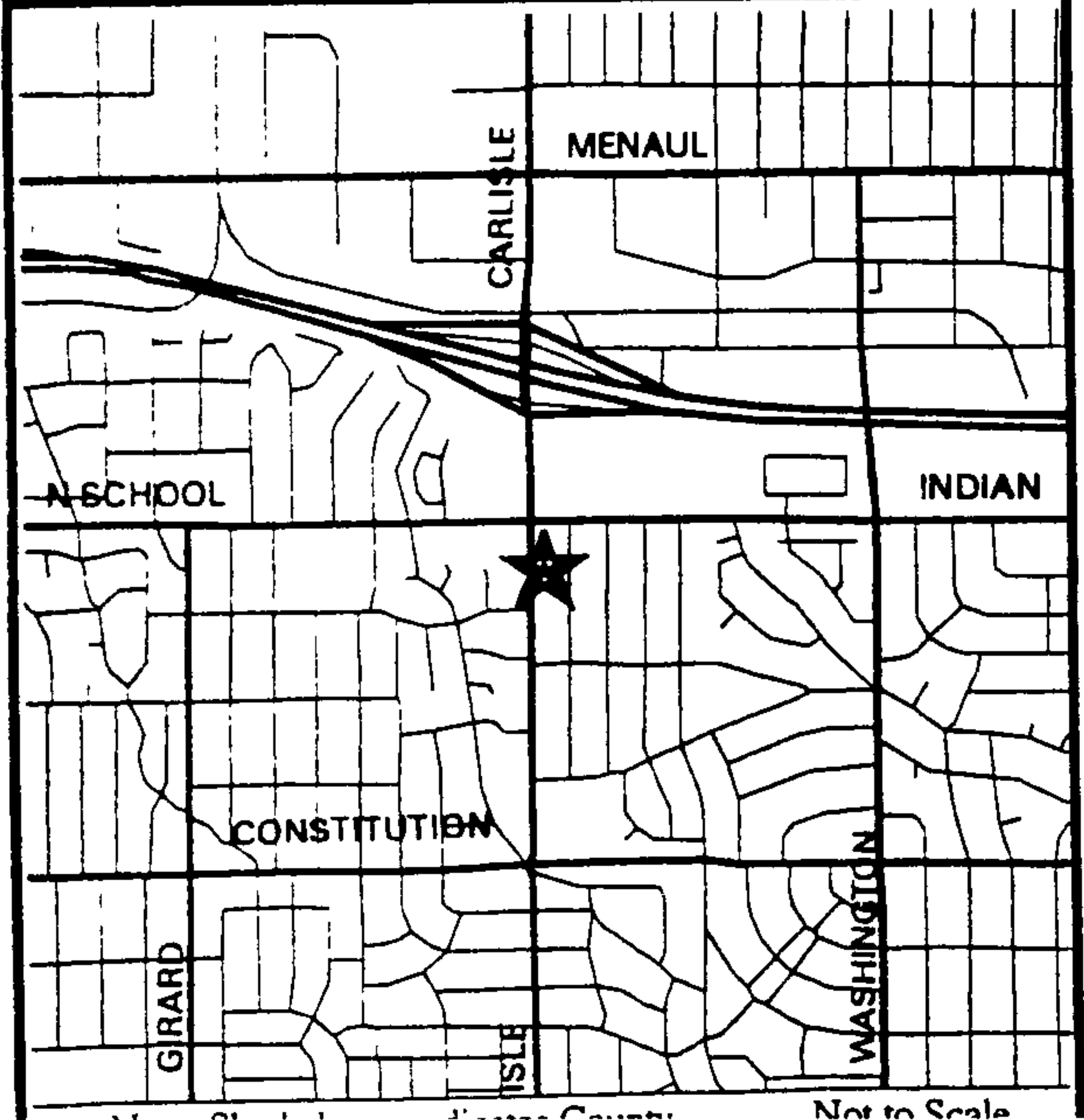
Richard Dineen
Planning Director

RD/DS/ac

cc: Denise Hammer, Altura Addition NA, 1735 Aliso Dr. NE, Albuquerque, NM 87110
Richard Royman, Altura Addition NA, 1822 Solano NE, Albuquerque, NM 87110
Ken Romig, Summit Park NA, 3317 Wilway NE, Albuquerque, NM 87106
Jolita Leavell, Summit Park NA, 3416 Wilway NE, Albuquerque, NM 87106
Carol Maguire, Netherwood Park NA, 1925 Apache Ct. NE, Albuquerque, NM 87106
Peter Burton, Netherwood Park NA, 2312 Morrow NE, Albuquerque, NM 87106
Walter Bauke, 1829 Hermosa NE, Albuquerque, NM 87110



ZONING MAP



Scale 1" = 408'

PROJECT NO. 1003801
HEARING DATE 1-20-05
MAP NO. J-16
ADDITIONAL CASE NUMBER(S) 04EPC-01821

=== COVER PAGE ===

TO:

FROM:

CITY OF ALBUQUERQUE

FAX: 5059243339

TEL: 5059243339

COMMENT:

EXHIBIT "B"

884-6793

To: Dean S
From: David S, CABQ

VIA HAND DELIVERY
July 19, 2005

Development Review Board
Attn: Sheran Matson, Chair
600 2nd St. NW
Albuquerque, NM 87103

RE: PROJECT #1003801
DRB SIGN-OFF OF EPC APPROVED SDP FOR BUILDING PERMIT

Dear Ms. Matson:

This letter is pursuant to condition #1 of Official Notification of Decision ("OND") to approve Project #1003801, 05EPC-00745, dated June 17, 2005, which requires a letter specifying all modifications to the site plan made subsequent to the EPC hearing. A copy of the OND is attached. This letter also serves as explanation as to how each condition in said OND has been met, as required in Form P(3) of the application materials.

- OK 1. Condition 1: This letter satisfies this condition.
- 2. Condition 2: A meeting with David Stallworth, Staff Planner, Albuquerque Planning Department, was held on 7.18.05 to conduct a preliminary review of the site plan.
- 3. Condition 3: Developer accepts responsibility for the matters described in this condition. All requirements will be met at the time improvements are made.
- 4. Condition 4: Developer agrees to submit an amendment of the site plan to the EPC in the event a restaurant or food service tenant is proposed for the site.
- OK 5. Condition 5(a): Developer is applying for a replat in conjunction with this application.
- OK 6. Condition 5(b): The parapet along the east wall of the building has been raised to four (4) feet above the roof level in order to provide sufficient screening of roof-mounted equipment from abutting residential properties.
- OK 7. Condition 5(c): The pedestrian pathway along the rear of the building has been increased to a width of five (5) feet to accommodate emergency exit traffic.
- NO 8. Condition 5(d): Shading of the outdoor seating along the west of the building is Noted accomplished via two (2) awnings, as well as trees located immediately adjacent to the sidewalk at the south of the building.
- OK 9. Condition 5(e): The site plan now includes a schematic of the freestanding sign that was submitted and approved at the June 16, 2005 EPC hearing.
- OK 10. Condition 6: One parking space has been designated as motorcycle parking.
- NO 11. Conditions 7(a) and 7(c): A schematic of the screen walls has been included on the site plan. No description of materials, texturing provided. No colors provided

- OK 12. Condition 7(b): The east wall will be raised to a minimum of six (6) feet in height.
- OK 13. Condition 7(d): On-site lighting now shows shielding to prevent light trespass and pollution.
- OK 14. Condition 7(e): Security lighting has been included along the rear of the building. Note 3
- NO 15. Conditions 8(a) and (b): The site plan now shows evergreen plantings at the rear of the building and near the trash enclosure for visual relief. Where?
- 7 16. Condition 9: Developer agrees to comply with all SWMD requirements. SWMD's approval of the site plan is evidenced by its signature thereon. Note 2

Having met all of the requirements of the OND, we respectfully request your approval of this project. Please contact me if you have any questions. Thank you.

Sincerely,

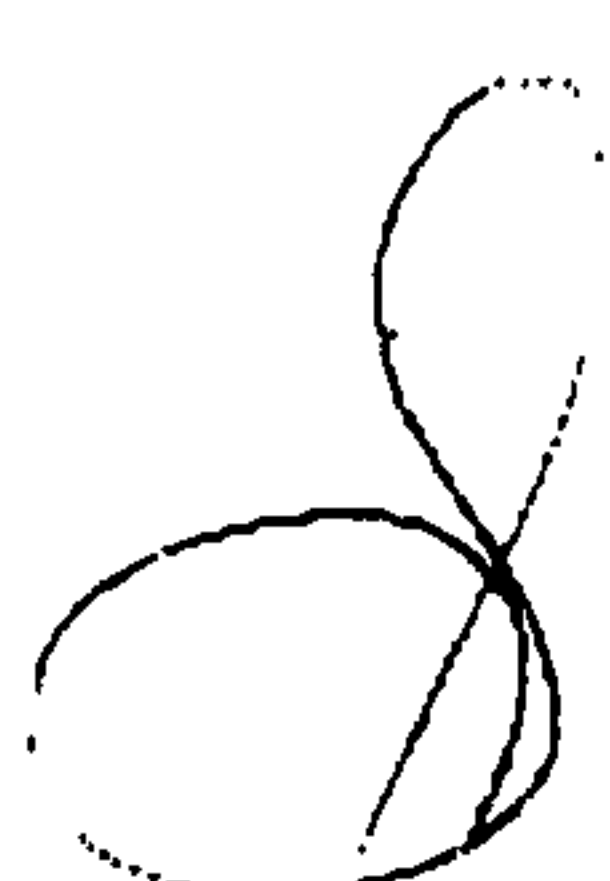
Dean Smith

CC: James A. Peterson

Note 1: Awnings too shallow to provide adequate shading @ mid-day to afternoon. Either extend profile of awnings to encompass sidewalk & relocate benches underneath — or — relocate benches to area w/ sufficient vegetative shading. You may want to consider peninsular sidewalk near textured crosswalk as possible seating area w/ shade tree

Note 2: Where is SWMD appr. on site plan? Plz provide side profile showing type of materials, texturing, color used.

Note 3: You may want to ~~include wall scene descr.~~ include wall scene descr. to include schematic for further clarification on rear security Hg.



7.18.05

— All else OK —



PETERSON PROPERTIES
Real Estate Services, Inc.

VIA U.S. MAIL
July 18, 2005

Planning Department
Attn: David Stallworth
600 2nd St. NW, 3rd Floor
Albuquerque, NM 87103

RE: PROJECT #1003801
PRELIMINARY REVIEW OF SITE PLAN FOR DRB SUBMITTAL

Dear Mr. Stallworth:

This letter is in response to your July 18, 2005 comments concerning the revised site plan for the above-referenced Project.

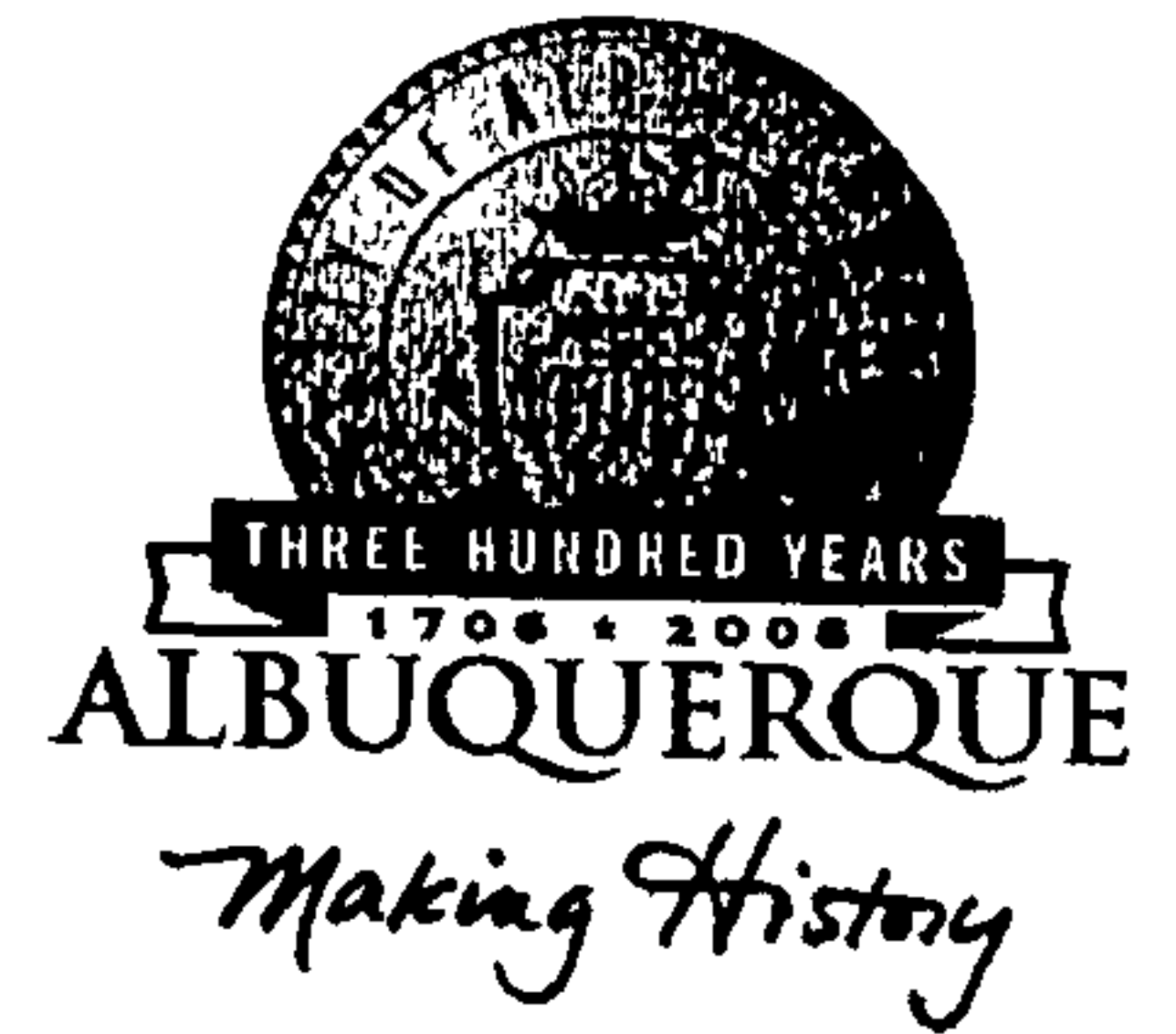
- Condition 5(d): Developer will relocate the benches such that they are positioned directly under awnings or trees. This revision will be reflected on the site plan prior to the date of the DRB hearing.
- Conditions 7(a) and 7(c): Developer will revise site plan to include this additional information with respect to the screen walls. This revision will be reflected on the site plan prior to the date of the DRB hearing.
- Condition 7(e): The location of security lighting along the rear of the building is shown on the site plan. Specific type and/or style has not yet been determined.
- Conditions 8(a) and 8(b): This information is shown on the landscape plans (not the site plan) which are being submitted with Developer's application for DRB hearing.
- Condition 9: The SWMD's approval is shown on the site plans which are being submitted with Developer's application for DRB hearing. The version you reviewed did not yet have this approval.

Sincerely,

Douglas Peterson

EXHIBIT "C"

CITY OF ALBUQUERQUE



June 7, 2005

Jake Bordenave, P.E.
 Bordenave Designs
 P.O. Box 91194
 Albuquerque, NM 87199

**Re: Carlisle Shops, Lot 28A, Block A, Altura Addition
 Grading & Drainage Plan - Engineer's Stamp dated 6-1-05 (J17-D28)**

Dear Mr. Bordenave,

Based upon the information provided in your submittal dated 5-9-05, the above referenced plan is approved for Site Development Plan for Building Permit action by the DRB. However, our records indicate the site is zoned O-1 which does not require Site Plan approval.

Additionally, prior to Building Permit approval, provide additional spot elevations and a detail for the valley gutter located behind the proposed building. Also, show how the roof drainage is conveyed to the north drive pad.

If you have any questions, you can contact me at 924-3990.

Sincerely,

Phillip J. Lovato, E.I.
 Engineering Associate, Planning Dept.
 Development and Building Services

Cc: file

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

**FIRE HYDRANT AND INSTANTANEOUS
FIRE FLOW REQUIREMENTS**

ALBUQUERQUE FIRE DEPARTMENT
FIRE MARSHAL'S PLAN CHECKING OFFICE
600 2ND ST N.W, 8TH Floor, Plaza del Sol
Albuquerque, New Mexico 87102
(505) 924-3611 / FAX (505) 924-3619

ZONE MAP NUMBER _____

REFERRAL # _____

SITE ADDRESS _____

LEGAL DESCRIPTION: SUBJECT TRACT Lots 28 thru 31 Block A
Altura Addition

NUMBER HYDRANTS REQUIRED FOR THE LARGEST BUILDING _____

INSTANTANEOUS FLOW REQUIRED 1220

SQUARE FOOTAGE - LARGEST BUILDING 7189

TYPE CONSTRUCTION II

PERTINENT DATA FOR DETERMINATION AND LOCATION OF FIRE HYDRANTS

ALL REQUIRED HYDRANTS SHALL BE INSTALLED AND OPERABLE PRIOR TO CONSTRUCTION

ALL REQUIRED HYDRANTS SHALL BE WITHIN 450 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

ALL REQUIRED HYDRANTS SHALL BE WITHIN 300 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

TOTAL NUMBER HYDRANTS REQUIRED FOR THIS PHASE OF CONSTRUCTION OR SITE 1

DATE: 7-18-05

FIRE DEPARTMENT INSPECTOR: Steven Williams

RECEIVED BY: [Signature] TELEPHONE: 884-9110 EXT 105

NOTES

- 1 ALL HYDRANTS NEEDED TO PROTECT AN INDIVIDUAL BUILDING MUST BE ABLE TO PROVIDE A MINIMUM RESIDUAL OF 20 PSI, UNDER REQUIRED FIRE FLOW CONDITIONS
- 2 DETERMINATION OF THE WATER SYSTEM CAPACITY TO PROVIDE REQUIRED FIRE FLOW SHALL BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION (924-3987), BASED ON PEAK DAY CRITERIA
- 3 DESIGN OF PRIVATE FIRE PROTECTION SYSTEMS IS THE RESPOSIBILITY OF THE DEVELOPER'S CONSULTANT APPROVAL OF DESIGN MUST BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION

WHITE - INDIVIDUAL

YELLOW - FILE



January 17, 2005

Mr. Russ Hugg
Surv-Tek, Inc.
5643 Paradise Blvd. N.W.
Albuquerque, New Mexico 87114

Dear Russ:

By this letter, I hereby authorize you to act as agent on behalf of Peterson Properties, for the purpose of re-platting of Lots 28 thru 31, Block A, Altura Addition, City of Albuquerque, Bernalillo County, New Mexico.

Please call me if you have any further questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Doug Peterson', is written above the typed name.

Doug Peterson
Peterson Properties
2325 San Pedro NE, Suite 2-A
Albuquerque, New Mexico 87110

2325 SAN PEDRO, N.E., SUITE 2-A • ALBUQUERQUE, NEW MEXICO 87110 • (505) 884-3578 • FAX (505) 884-6793
www.PetersonProperties.net

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

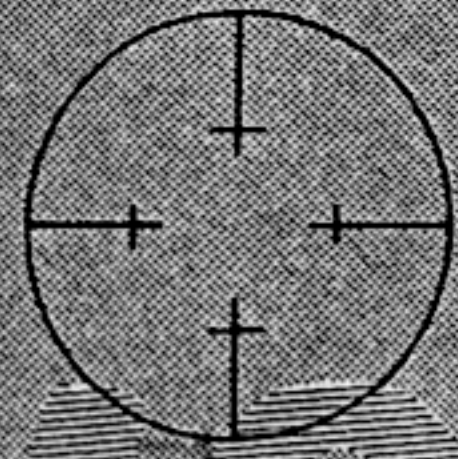
PAID RECEIPT

APPLICANT NAME Peter son Properties
AGENT Suro-tek
ADDRESS 9384 Valley DR. NW
PROJECT & APP # 100 3801 / 05DRB 01179
PROJECT NAME Altura Addition

\$ 20.00 441032/3424000 Conflict Management Fee
\$ 215.00 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 235.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

ORIGINAL CHECK HAS A COLORED BACKGROUND PRINTED ON CHEMICAL REACTIVE PAPER - SEE BACK FOR DETAILS



SURV-TEK, Inc.
Consulting Surveyors

9384 Valley View Drive Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377

BANK OF AMERICA
ACH R/T 107000327

2211 95-32 NM
1070

051826

7.19.05

PAY TO THE
ORDER OF

City Of Albuquerque
Treasury Division \$

235.00

DOLLARS

7/19/2005 9:49AM LDCI ANNEX
RECEIPT 00/45396 NEW 007 TRANSN 0005
Account 441032 Fund 0110

AUTHORIZED SIGNATURE

MP

MEMO
⑈051826⑈ ⑆107000327⑆ 004275593649⑈



<p style="text-align:center">Supplemental form</p> <p>SUBDIVISION</p> <p><input checked="" type="checkbox"/> Major Subdivision action <input checked="" type="checkbox"/> Minor Subdivision action <input type="checkbox"/> Vacation <input type="checkbox"/> Variance (Non-Zoning)</p> <p>SITE DEVELOPMENT PLAN</p> <p><input type="checkbox"/> ... for Subdivision Purposes <input type="checkbox"/> ... for Building Permit <input type="checkbox"/> IP Master Development Plan <input type="checkbox"/> Cert. of Appropriateness (LUCC)</p>	<p>S</p> <p>V</p> <p>P</p> <p>L</p>	<p style="text-align:center">Supplemental form</p> <p>ZONING AND PLANNING</p> <p><input type="checkbox"/> Annexation <input type="checkbox"/> County Submittal <input type="checkbox"/> EPC Submittal <input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning) <input type="checkbox"/> Sector Plan (Phase I, II, III) <input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan <input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)</p> <p>APPEAL / PROTEST OF ...</p> <p><input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals</p>	<p>Z</p> <p>A</p>
---	---	---	---------------------------------

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: <u>PETERSON PROPERTIES</u>	PHONE: <u>884-3578</u>
ADDRESS: <u>2325 SAN PEDRO NE SUITE 2-A</u>	FAX: <u>884-6793</u>
CITY: <u>ALBUQ</u> STATE <u>NM</u> ZIP <u>87110</u>	E-MAIL: _____
Proprietary Interest in Site: <u>OWNERS</u> List all owners: _____	
AGENT (if any): <u>Surv-Tek, Inc</u>	PHONE: <u>897-3366</u>
ADDRESS: <u>9384 Valley View Drive NW</u>	FAX: <u>897-3377</u>
CITY: <u>Albuquerque</u> STATE <u>NM</u> ZIP <u>87114</u>	E-MAIL: <u>Hugg@survtek.com</u>

DESCRIPTION OF REQUEST: SKETCH PLAT REVIEW AND COMMENT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY

Lot or Tract No. <u>LOTS 28 THRU 31</u>	Block: <u>"A"</u>	Unit: _____
Subdv. / Addn. <u>ALTURA ADDITION</u>		
Current Zoning: <u>O-1</u>	Proposed zoning: <u>SAME SU-1-C-1</u>	
Zone Atlas pages(s) <u>1-16</u>	No. of existing lots: <u>4</u>	No. of proposed lots: <u>1</u>
Total area of site (acres): <u>0.64</u>	Density if applicable: dwellings per gross acre: <u>N/A</u>	dwellings per net acre: <u>N/A</u>
Within city Limits? <input checked="" type="checkbox"/> Yes. <input type="checkbox"/> No, (but site is within 5 miles of the city limits.)		Within 1000FT of a landfill? <u>N/A</u>
UPC No. <u>101705801049721423, 101705801050321422</u>		MRGCD Map No. <u>N/A</u>
LOCATION OF PROPERTY BY STREETS: On or Near: <u>ON CARLISE NE</u>		
Between: <u>INDIAN SCHOOL</u> and <u>CONSTITUTION</u>		

CASE HISTORY:

List any current or prior case numbers that may be relevant to your application (Proj., App., DRB-, AX_Z_V_S_, etc.): 04EPC01821
1950 ORIGINAL PLAT - NO CASE NO'S AVAILABLE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-Application Review Team Date of review: _____

SIGNATURE <u>[Signature]</u>	DATE <u>1-18-05</u>
(Print) <u>Margo Lucero</u>	Applicant <input type="checkbox"/> Agent <input checked="" type="checkbox"/>

<p>FOR OFFICIAL USE ONLY 3/04</p> <p><input type="checkbox"/> INTERNAL ROUTING</p> <p><input checked="" type="checkbox"/> All checklists are complete</p> <p><input checked="" type="checkbox"/> All fees have been collected</p> <p><input checked="" type="checkbox"/> All case #s are assigned</p> <p><input checked="" type="checkbox"/> GIS copy has been sent</p> <p><input checked="" type="checkbox"/> Case history #s are listed</p> <p><input checked="" type="checkbox"/> Site is within 1000ft of a landfill</p> <p><input checked="" type="checkbox"/> F.H.D.P. density bonus</p> <p><input checked="" type="checkbox"/> F.H.D.P. fee rebate</p>	<table border="0" style="width:100%"> <tr> <th style="text-align:left">Application case numbers</th> <th style="text-align:left">Action</th> <th style="text-align:left">S.F.</th> <th style="text-align:left">Fees</th> </tr> <tr> <td><u>05DRB - 00101</u></td> <td><u>SR</u></td> <td><u>5(3)</u></td> <td><u>\$ 0</u></td> </tr> <tr> <td>_____</td> <td>_____</td> <td>_____</td> <td>\$ _____</td> </tr> <tr> <td>_____</td> <td>_____</td> <td>_____</td> <td>\$ _____</td> </tr> <tr> <td>_____</td> <td>_____</td> <td>_____</td> <td>\$ _____</td> </tr> <tr> <td>_____</td> <td>_____</td> <td>_____</td> <td>\$ _____</td> </tr> <tr> <td>_____</td> <td>_____</td> <td>_____</td> <td>\$ _____</td> </tr> <tr> <td>Hearing date <u>2-2-05</u></td> <td></td> <td></td> <td>Total \$ <u>0</u></td> </tr> </table>	Application case numbers	Action	S.F.	Fees	<u>05DRB - 00101</u>	<u>SR</u>	<u>5(3)</u>	<u>\$ 0</u>	_____	_____	_____	\$ _____	_____	_____	_____	\$ _____	_____	_____	_____	\$ _____	_____	_____	_____	\$ _____	_____	_____	_____	\$ _____	Hearing date <u>2-2-05</u>			Total \$ <u>0</u>	<p><u>[Signature]</u> <u>1-19-05</u> Planner signature / date</p> <p>Project # <u>1003801</u></p>
Application case numbers	Action	S.F.	Fees																															
<u>05DRB - 00101</u>	<u>SR</u>	<u>5(3)</u>	<u>\$ 0</u>																															
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_____	_____	_____	\$ _____																															
Hearing date <u>2-2-05</u>			Total \$ <u>0</u>																															

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- ___ Preliminary Plat reduced to 8.5" x 11"
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Copy of previous D.R.B. approved infrastructure list
- ___ Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- ___ Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.
Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- ___ Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- ___ Design elevations & cross sections of perimeter walls **3 copies**
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- ___ Property owner's and City Surveyor's signatures on the Mylar drawing
- ___ SIA financial guaranty verification
- ___ Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- ___ Any original and/or related file numbers are listed on the cover application
- ___ **DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- ___ Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- ___ Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- ___ Property owner's and City Surveyor's signatures on the Mylar drawing
- ___ Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- ___ **Signed** Pre-Annexation Agreement if Annexation required.
- ___ Fee (see schedule)
- ___ Any original and/or related file numbers are listed on the cover application
- ___ Infrastructure list if required (**verify with DRB Engineer**) **NO INTERNAL ROUTING**
- ___ **DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- ___ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
 - ___ Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - ___ Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - ___ Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

_____ Applicant name (print)

_____ Applicant signature / date

Form revised 11/04

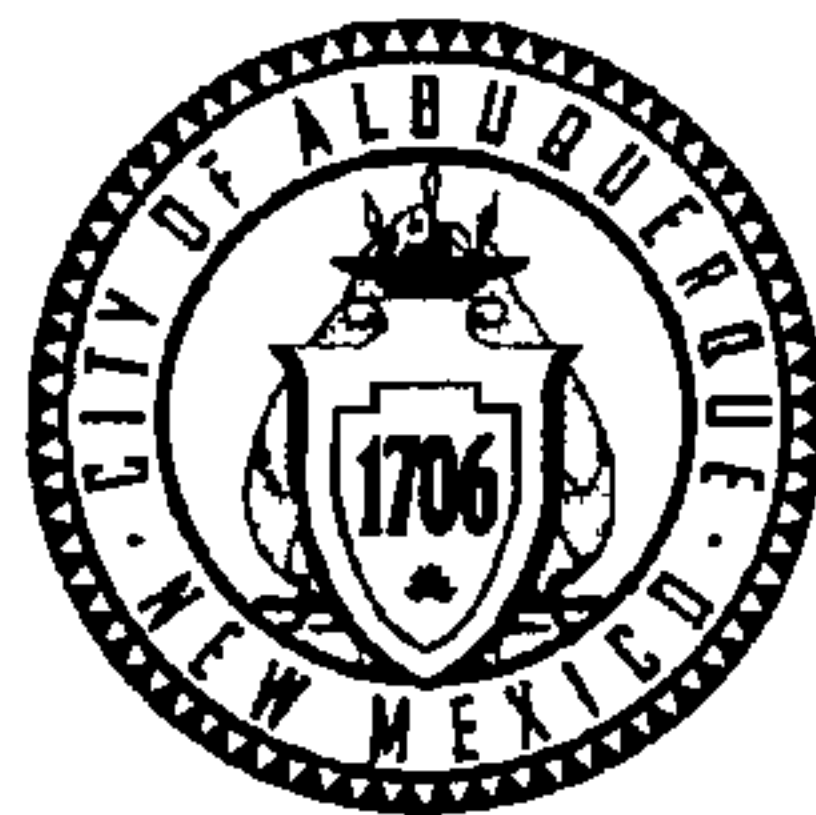
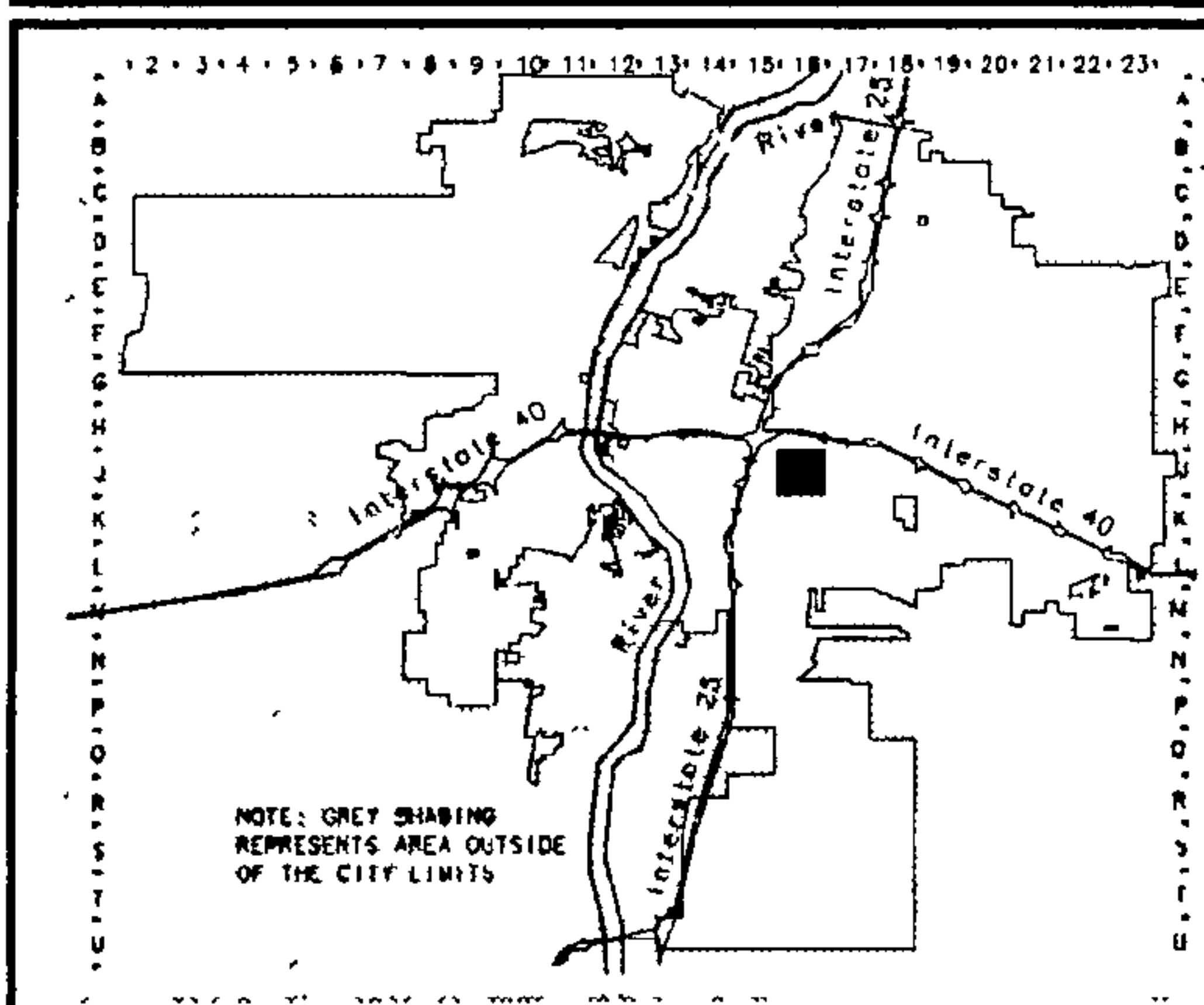
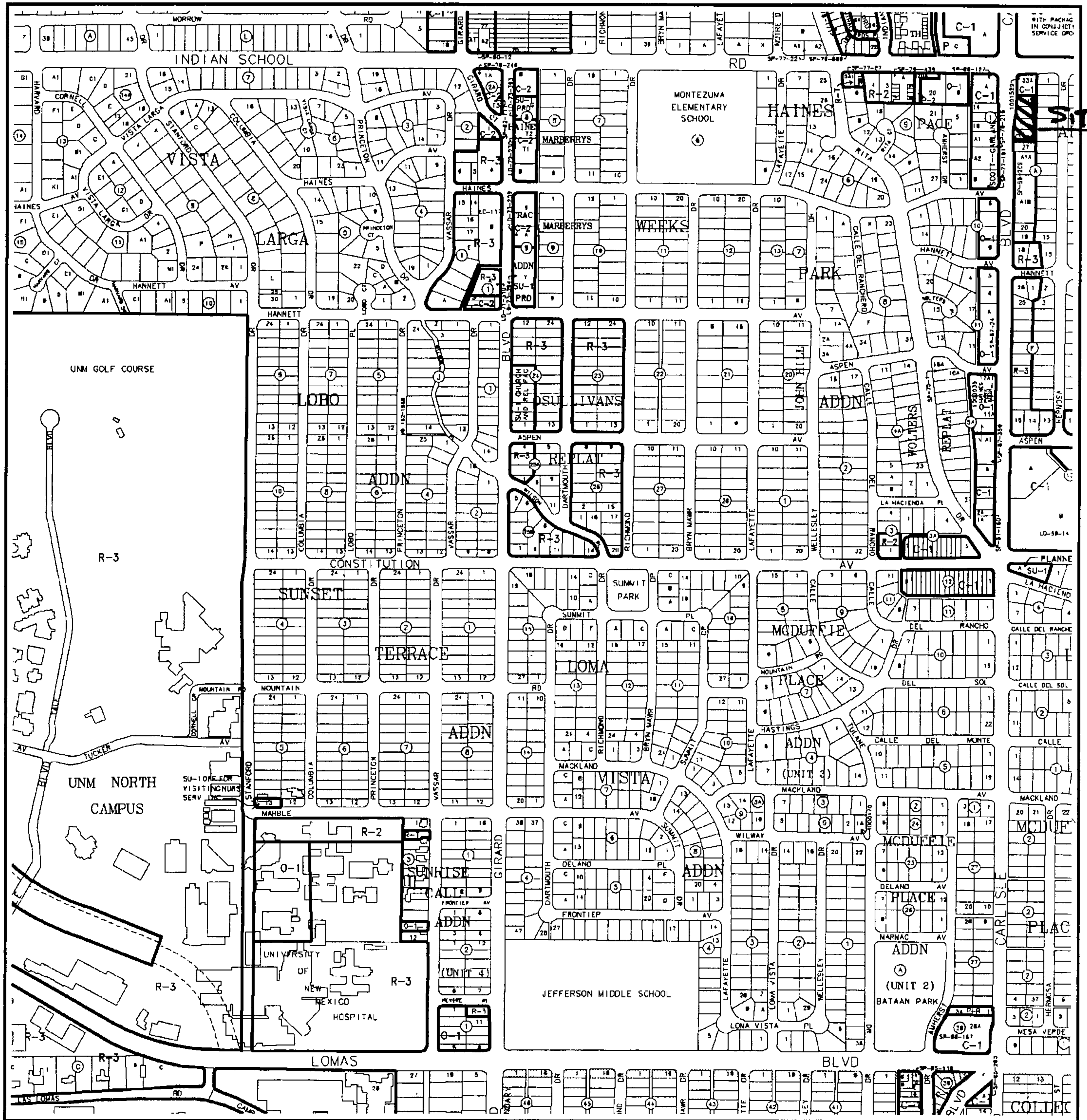


- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
05DRB - 00101
 _____ - _____
 _____ - _____

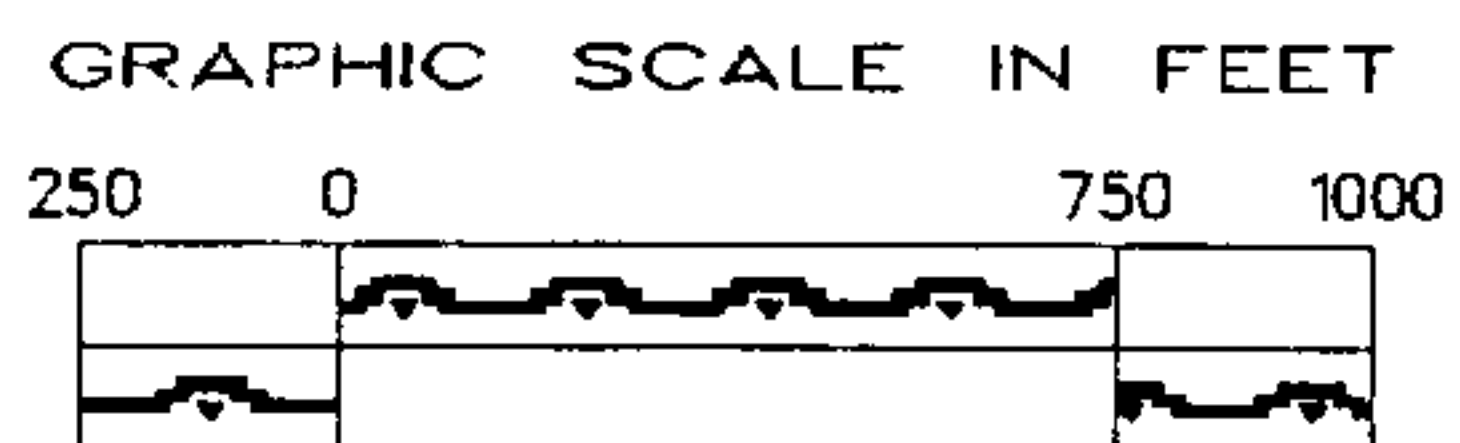
[Signature] 1-19-05
 Planner signature / date

Project # 1003801



Albuquerque Geographic Information System
 PLANNING DEPARTMENT

© Copyright 2004



Zone Atlas Page

J-16-Z

Map Amended through July 06, 2004



PETERSON PROPERTIES, LLC

January 17, 2005

Mr. Russ Hugg
Surv-Tek, Inc.
5643 Paradise Blvd. N.W.
Albuquerque, New Mexico 87114

Dear Russ:

By this letter, I hereby authorize you to act as agent on behalf of Peterson Properties, for the purpose of re-platting of Lots 28 thru 31, Block A, Altura Addition, City of Albuquerque, Bernalillo County, New Mexico.

Please call me if you have any further questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Doug Peterson', written in a cursive style.

Doug Peterson
Peterson Properties
2325 San Pedro NE, Suite 2-A
Albuquerque, New Mexico 87110

2325 SAN PEDRO, N.E., SUITE 2-A • ALBUQUERQUE, NEW MEXICO 87110 • (505) 884-3578 • FAX (505) 884-6793
www.PetersonProperties.net

SURV TEK, INC.

Consulting Surveyors

9384 Valley View Drive, NW Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377 E-mail: hugg@swcp.com

January 17, 2005

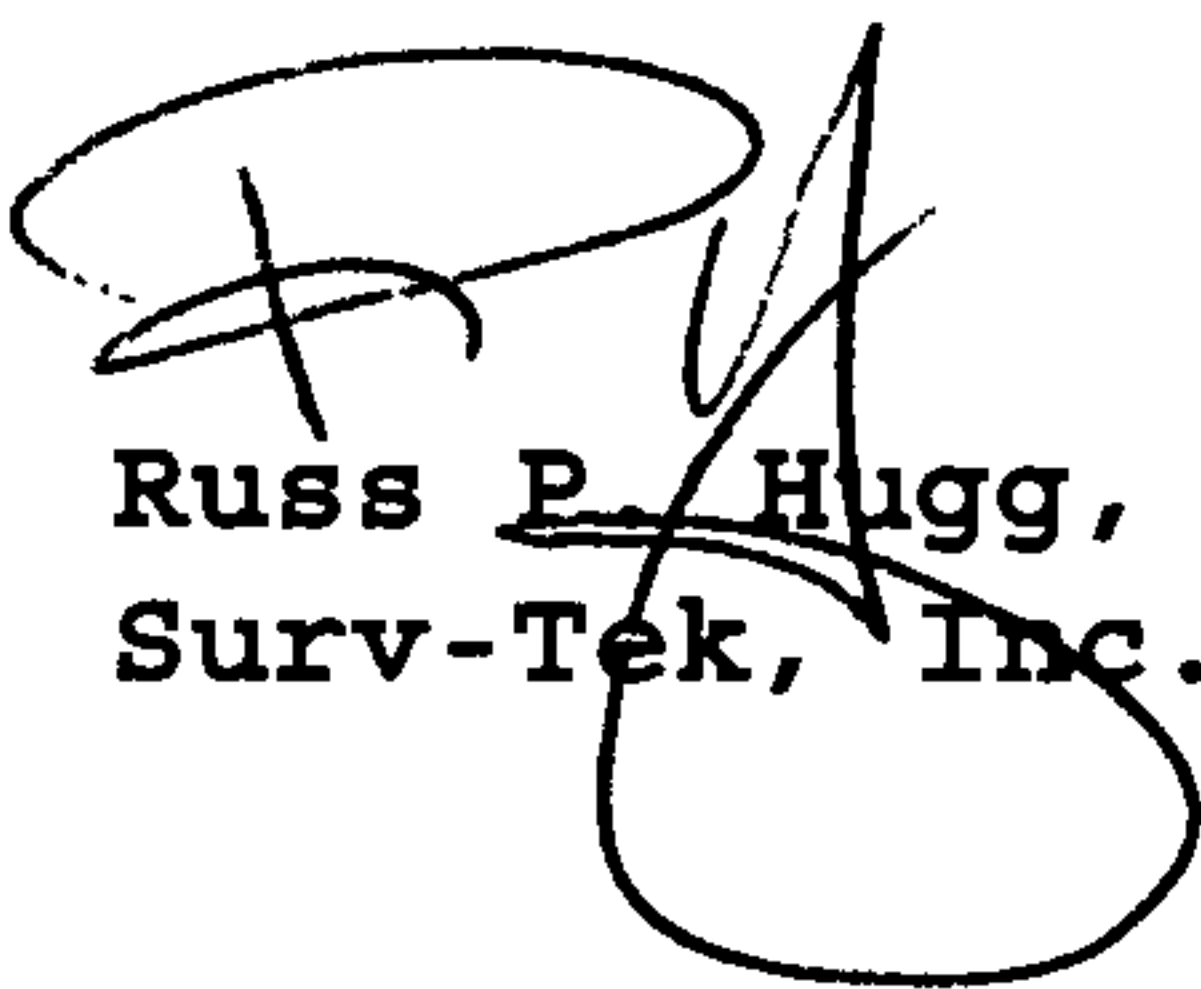
Albuquerque Development Review Board
PO Box 1293
Albuquerque, New Mexico 87103

Attention: Sheran Matson, Chair

RE: Lots 28 thru 31, Block A, Altura Addition, City of
Albuquerque, Bernalillo County, New Mexico (J-16-Z).

The owner of the above captioned property, Peterson Properties, is hereby filing application with the City of Albuquerque Development Review Board for: Sketch plat review and comment, to eliminate the existing interior lot lines between lots 28 thru 31 and combine into one lot.

Sincerely,




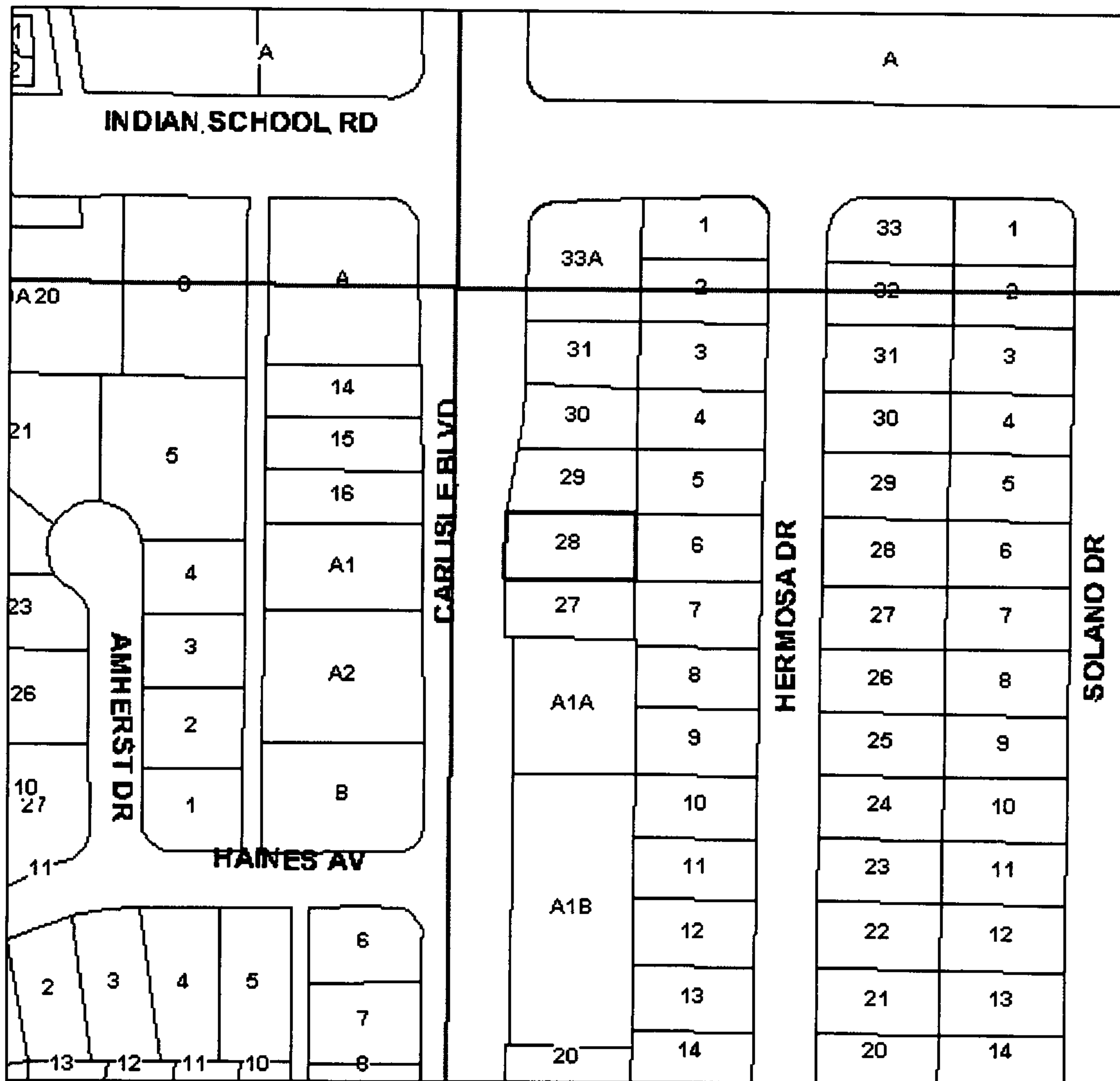
Russ P. Hugg, PS
Surv-Tek, Inc.

ACTIVATE BUTTONS BY 'CLICKING' ON THE MAP

Zoom In Id Address Id ZM Pan Zoom Out

LAYER LEGEND

- STREET NAMES
- PARKS
- CITY LIMITS
- ZONE MAP GRID
- 
- NBR BOUNDARY
- COMMUNITY PLAN
- WATER LINES
- SEWER LINES
- STORM DRAINS
- ZONING
- LOT NUMBERS
- ZIP CODES
- COUNCIL DISTRICT
- FLOOD ZONES (disc)
- PARCELS
- CONTROL STATION
- SENATE DIST.
- REPRESENTATIVE I
- COUNTY COMMISSI
- PARCEL ADDRESS
- CRIMINAL ACTIVIT
- PUBLIC FACILITIES
- LAND USE
- 1960 CITY LIMITS
- LANDFILLS/BUFFE
- CRP LOCATIONS



ReDraw Screen

SHOW LOCATION M

SHOW 1999 AERIAI

Selected Address: 99999 CARLISLE BLVD NE

Zoning: O-1 Lot/Block/Subd: 28 , A , ALTURA ADDN

Council District/Name: SEVEN , MAYER County Commission: 3

Rep District/Sen District: 25 , 15

Nbr Assoc: ALTURA ADDITION R Comp. Plan: Established Urban

Voter Pct: 375

High Sch District: ALBUQUERQUE Mid Sch District: JEFFERSON

Elem Sch District: MONTEZUMA

ZoneMap Page: J17 Jurisdiction: CITY

Police Beat: 325/SOUTHEAST

Flood Zone: ZONE X

Comm Plan Area: NEAR HEIGHTS

UPC #: 101705801049721423

Owner Name: PETERSON JAMES A TRUSTEE

Owner Street Address: 2325 SAN PEDRO DR

Owner City/State/Zip: ALBUQUERQUE / NM / 87110 NM

Note: Accuracy for Owner info cannot be guaranteed correct.

Please check with the Bernalillo County Assessor for official data.

SEARCH FOR OTHER SERVICES AROUND THIS ADDRESS


ZOOM LEVEL

TEXT SIZE

ACTIVATE BUTTONS BY 'CLICKING' ON THE MAP

Zoom In Id Address Id ZM Pan Zoom Out

LAYER LEGEND

- STREET NAMES
- PARKS
- CITY LIMITS
- ZONE MAP GRID
- 
- NBR BOUNDARY
- COMMUNITY PLAN
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- STORM DRAINS
- ZONING
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- ZIP CODES
- COUNCIL DISTRICT
- FLOOD ZONES (dis)
- PARCELS
- CONTROL STATION
- SENATE DIST.
- REPRESENTATIVE I
- COUNTY COMMISS
- PARCEL ADDRESS
- CRIMINAL ACTIVIT
- PUBLIC FACILITIES
- LAND USE
- 1960 CITY LIMITS
- LANDFILLS/BUFFE
- CRP LOCATIONS



ReDraw Screen

SHOW LOCATION M

SHOW 1999 AERIAI

Selected Address: 2000 CARLISLE BLVD NE

Zoning: O-1 Lot/Block/Subd: 29 , A , ALTURA ADDN
 Council District/Name: SEVEN , MAYER County Commission: 3
 Nbr Assoc: ALTURA ADDITION R Comp. Plan: Established Urban
 Voter Pct: 375
 High Sch District: ALBUQUERQUE Mid Sch District: JEFFERSON
 ZoneMap Page: J17 Jurisdiction: CITY
 Police Beat: 325/SOUTHEAST
 Flood Zone: ZONE X
 Comm Plan Area: NEAR HEIGHTS
 UPC #: 101705801050321422
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 Note: Accuracy for Owner info cannot be guaranteed correct.
 Please check with the Bernalillo County Assessor for official data.

Rep District/Sen District: 25 , 15

Elem Sch District: MONTEZUMA

SEARCH FOR OTHER SERVICES AROUND THIS ADDRESS


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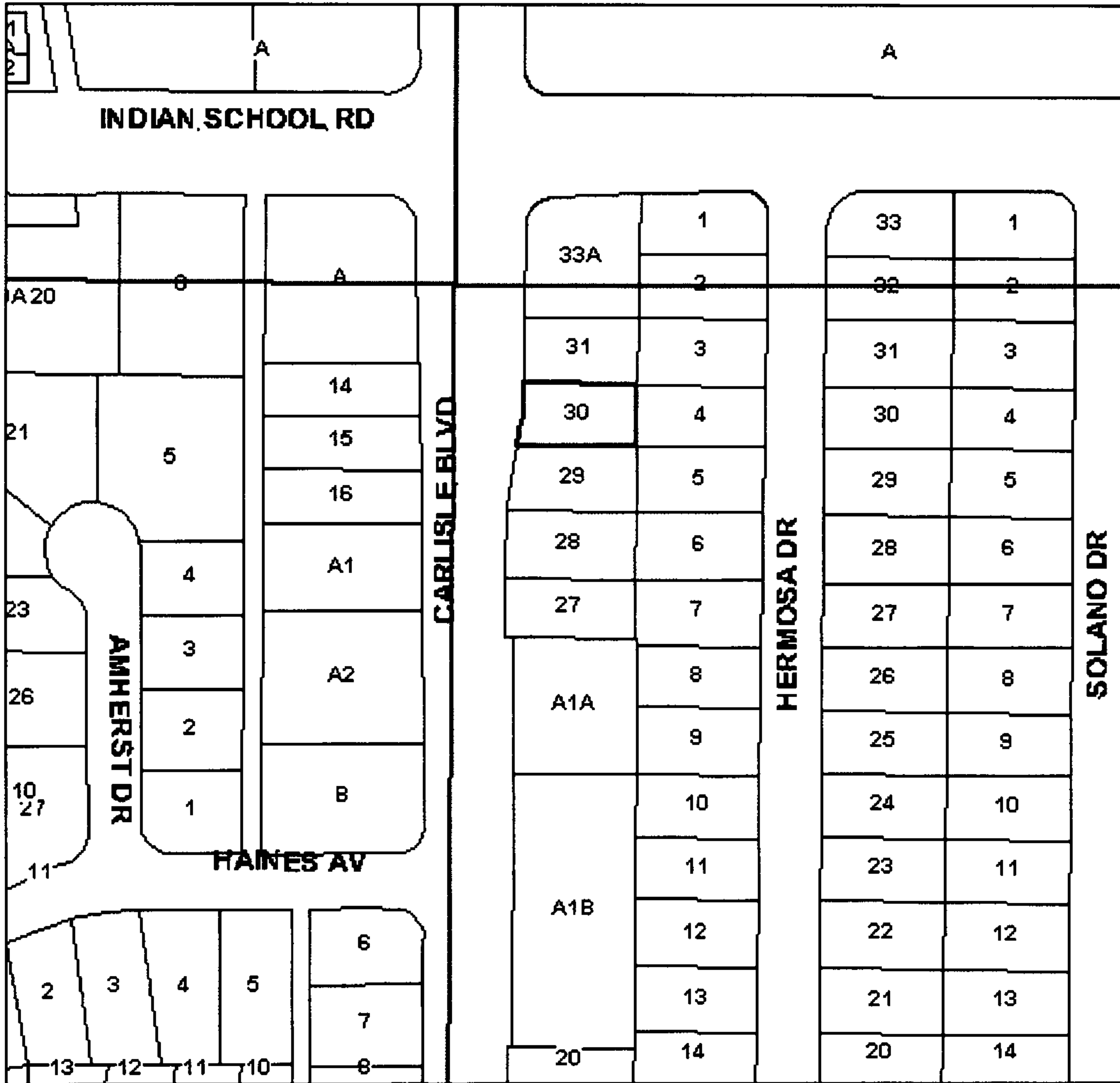
TEXT SIZE

ACTIVATE BUTTONS BY 'CLICKING' ON THE MAP

Zoom In Id Address Id ZM Pan Zoom Out

LAYER LEGEND

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- PARCELS
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- COUNTY COMMISSI
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- CRIMINAL ACTIVIT
- PUBLIC FACILITIES
- LAND USE
- 1960 CITY LIMITS
- LANDFILLS/BUFFE
- CRP LOCATIONS



ReDraw Screen

SHOW LOCATION M

SHOW 1999 AERIAI

Selected Address: 99999 CARLISLE BLVD NE

Zoning: O-1 Lot/Block/Subd: 30 , A , ALTURA ADDN

Council District/Name: SEVEN , MAYER County Commission: 3

Rep District/Sen District: 25 , 15

Nbr Assoc: ALTURA ADDITION R Comp. Plan: Established Urban

Voter Pct: 375

High Sch District: ALBUQUERQUE Mid Sch District: JEFFERSON

Elem Sch District: MONTEZUMA

ZoneMap Page: J17 Jurisdiction: CITY

Police Beat: 325/SOUTHEAST

Flood Zone: ZONE X

Comm Plan Area: NEAR HEIGHTS

UPC #: 101705801050921421

Owner Name: PETERSON JAMES A TRUSTEE

Owner Street Adress: 2325 SAN PEDRO DR

Owner City/State/Zip: ALBUQUERQUE / NM / 87110 NM

Note: Accuracy for Owner info cannot be guaranteed correct.

Please check with the Bernalillo County Assessor for official data.

SEARCH FOR OTHER SERVICES AROUND THIS ADDRESS


ZOOM LEVEL

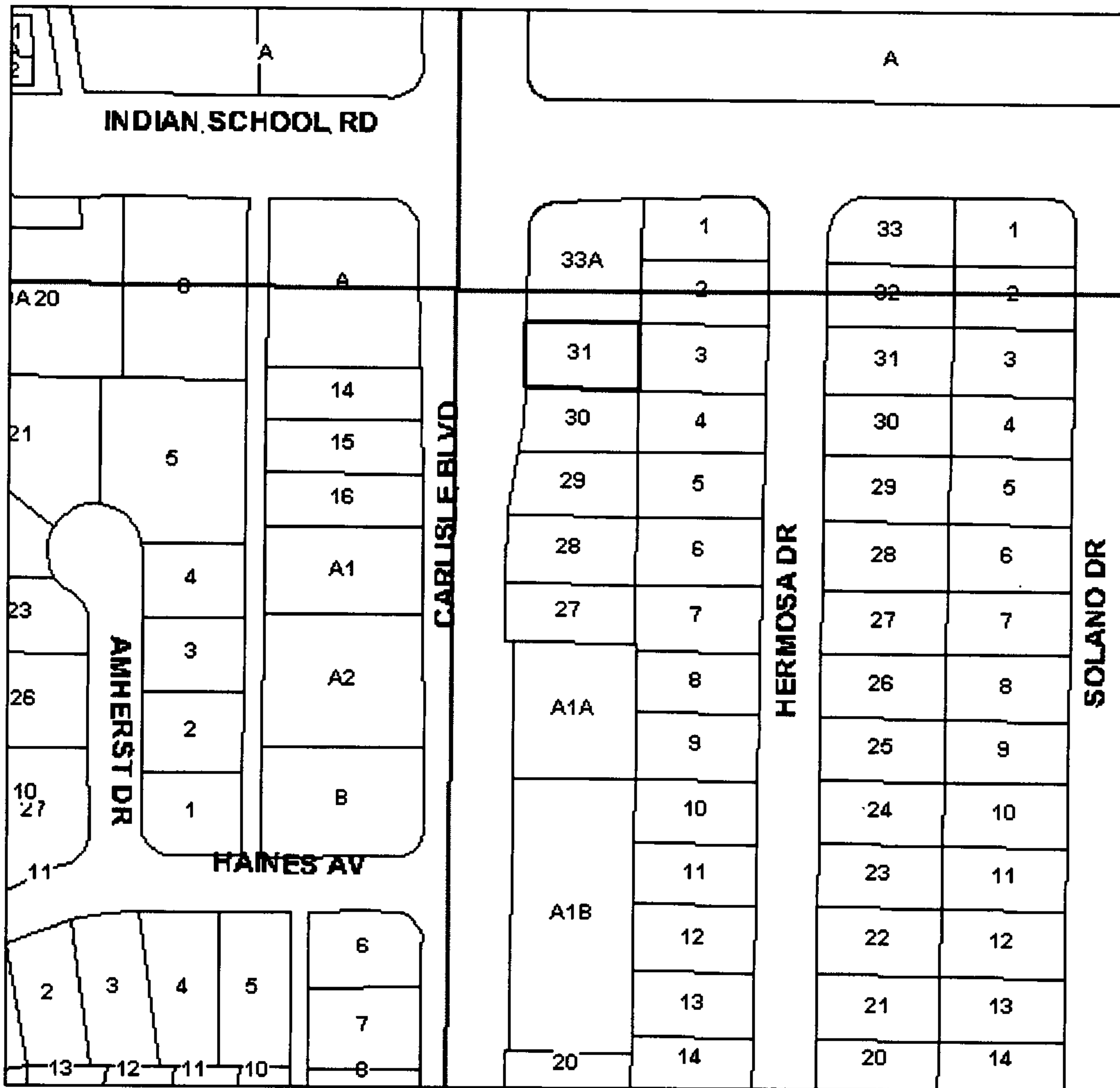
TEXT SIZE

ACTIVATE BUTTONS BY 'CLICKING' ON THE MAP

Zoom In Id Address Id ZM Pan Zoom Out

LAYER LEGEND

- STREET NAMES
- PARKS
- CITY LIMITS
- ZONE MAP GRID
- 
- NBR BOUNDARY
- COMMUNITY PLAN
- WATER LINES
- SEWER LINES
- STORM DRAINS
- ZONING
- LOT NUMBERS
- ZIP CODES
- COUNCIL DISTRICT
- FLOOD ZONES (dis)
- PARCELS
- CONTROL STATION
- SENATE DIST.
- REPRESENTATIVE I
- COUNTY COMMISSI
- PARCEL ADDRESS
- CRIMINAL ACTIVIT
- PUBLIC FACILITIES
- LAND USE
- 1960 CITY LIMITS
- LANDFILLS/BUFFE
- CRP LOCATIONS



ReDraw Screen

SHOW LOCATION M

SHOW 1999 AERIA

Selected Address: 99999 CARLISLE BLVD NE

Zoning: O-1 Lot/Block/Subd: 31 , A , ALTURA ADDN

Council District/Name: SEVEN , MAYER County Commission: 3

Rep District/Sen District: 25 , 15

Nbr Assoc: ALTURA ADDITION R Comp. Plan: Established Urban

Voter Pct: 375

High Sch District: ALBUQUERQUE Mid Sch District: JEFFERSON

Elem Sch District: MONTEZUMA

ZoneMap Page: J17 Jurisdiction: CITY

Police Beat: 325/SOUTHEAST

Flood Zone: ZONE X

Comm Plan Area: NEAR HEIGHTS

UPC #: 101705801051721420

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Owner Street Address: 2325 SAN PEDRO DR

Owner City/State/Zip: ALBUQUERQUE / NM / 87110 NM

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ZOOM LEVEL MEDIUM

TEXT SIZE MEDIUM