

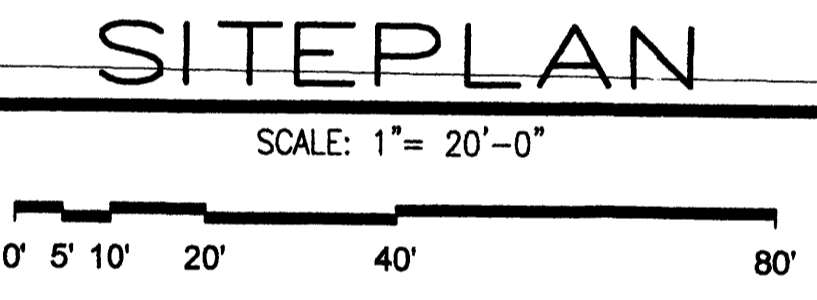
- KEYED NOTES**
- EXISTING CONCRETE WALL.
 - MONUMENT SIGN WITH PLANTER BASE.
 - 3'-0" HIGH SPLIT FACE CMU SCREEN WALL.
 - BICYCLE RACKS. SEE DETAIL 2/AS1.1.
 - DUMPSTER ENCLOSURE. SEE DETAIL 1/AS1.1.
 - CROSSWALK. COLORED AND TEXTURED CONCRETE.
 - 8'-0" X 1'-6" BENCH.
 - PROPOSED FIRE HYDRANT.
 - EXISTING TRAFFIC SIGNAL.
 - EXISTING CMU WALL. ADD CMU AS NEED TO MAKE 6'-0".
 - EXISTING 8" WATER LINE.
 - EXISTING 8" SANITARY SEWER.
 - PROPOSED WATER LINE.
 - PROPOSED SANITARY SEWER.
 - PROPOSED FUTURE R.O.W. DEDICATION.
 - CENTERLINE OF CARLISLE R.O.W.
 - 6'-0" TALL WROUGHT IRON SECURITY FENCE WITH GATE.
 - NOT USED.
 - EXISTING CURB AND GUTTER TO BE REMOVED.
 - NEW CURB AND GUTTER.
 - SITE LIGHTING.
 - 8" BROWN SPLIT FACE CMU.
 - 4" BROWN SMOOTH FACE CMU CAP BLOCK.
 - 5'-0" CONCRETE PEDESTRIAN PATHWAY.
 - CMU RETAINING WALL.
 - SIDEWALK PER COA STANDARD DETAILS 2430-2431.
 - DRIVEPAD PER COA STANDARD DETAIL 2426.
 - 6'-0" HIGH CMU SCREEN WALL. SEE DETAIL 4/AS1.1 FOR MATERIALS.
 - CURB RAMP PER COA STANDARD DETAIL 2426.
 - CONCRETE PARKING BUMPER.

- NOTES**
- THE BAKERY SHALL NOT EXCEED TWELVE SEATS MAXIMUM.
 - THE BAKERY SHALL ONLY HAVE ONE OVEN AND ONE VENT HOOD FROM COOKING EQUIPMENT.
 - THE BAKERY SHALL NOT HAVE STOVE-TOP OR GRILING EQUIPMENT. THE USE OF A PANINI SANDWICH PRESS IS ALLOWED.
 - THE OVEN SHALL OPERATE ONLY BETWEEN THE HOURS OF 4:30 AM AND NOON, EXCEPT DURING THE MONTHS OF NOVEMBER AND DECEMBER WHEN THE OVEN SHALL STOP OPERATION NO LATER THAN 2PM.
 - DELIVERY HOURS SHALL BE BETWEEN 8AM AND 5PM.
 - SPECIAL EVENTS AND BAKING CLASSES SHALL BE LIMITED TO ONCE A MONTH.
 - ONLY RETAIL SALES OF BAKED GOODS ARE ALLOWED AS PER THE EXISTING ZONING.

LEGAL DESCRIPTION
 LOTS 28 THROUGH 31, BLOCK A, ALTURA ADDITION.

SITE DATA

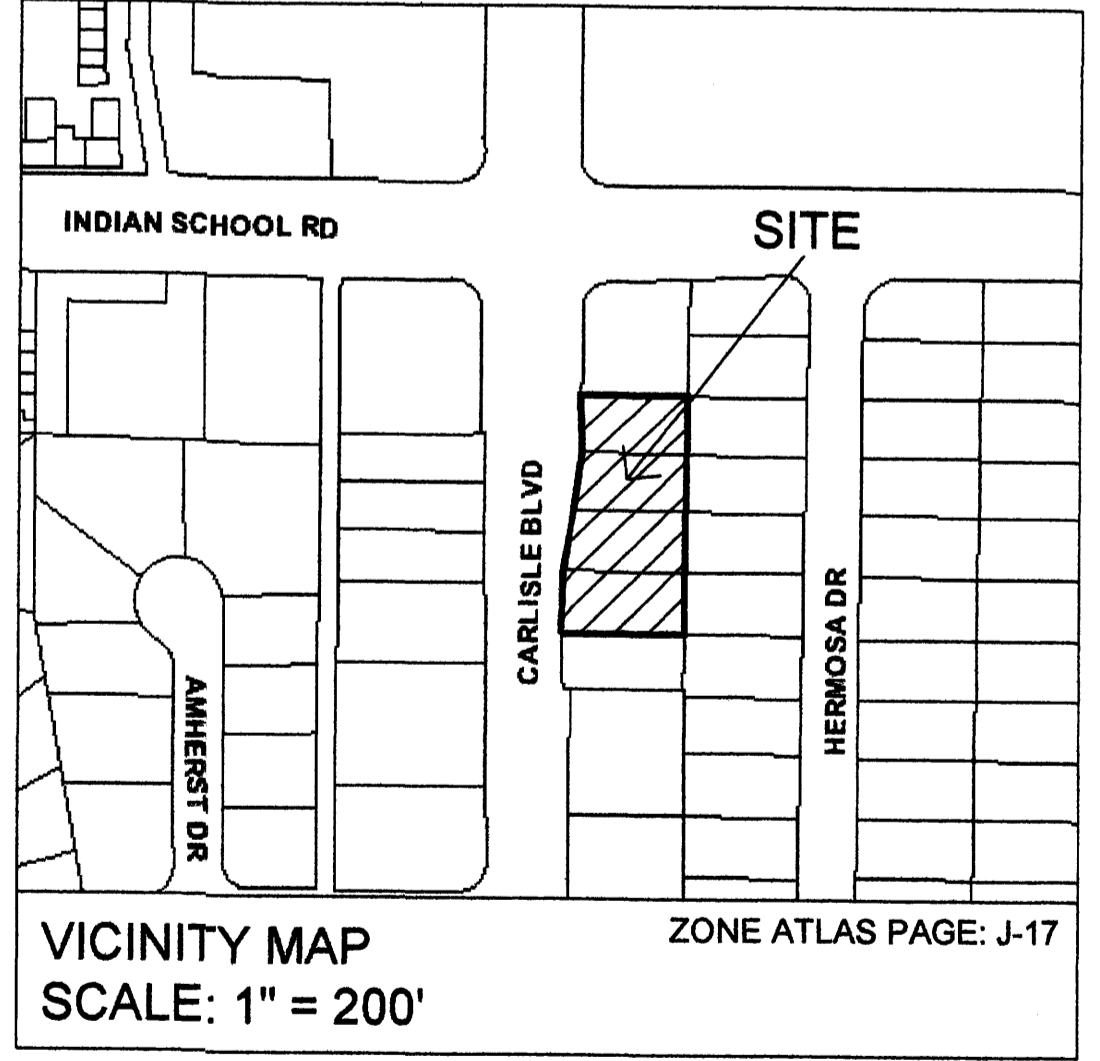
PROPOSED USAGE:	SU-1 FOR C-1
LOT AREA:	27,933 SF (6412 ACRES)
LANDSCAPE REQUIRED:	3,112 SF
LANDSCAPE PROVIDED:	4,920 SF
BUILDING AREA/PARKING:	
BUILDING:	7,184 SF
7,184 SF/200 = 36 - 10% (TRANSIT ROUTE DEDUCTION) = 32	
SPACES REQUIRED:	32 SPACES
SPACES PROVIDED:	27 SPACES (AS APPROVED BY EPC)
	2 HC SPACES PROVIDED
	1 MOTORCYCLE SPACE
BIKE SPACES REQUIRED (1/20):	2 SPACES
BIKE SPACES PROVIDED:	2 SPACES



RADIUS:

① RADIUS = 2'-6"	⑥ RADIUS = 20'-0"
② RADIUS = 3'-0"	⑦ RADIUS = 25'-0"
③ RADIUS = 5'-0"	⑧ RADIUS = 30'-0"
④ RADIUS = 10'-0"	⑨ RADIUS = 50'-0"
⑤ RADIUS = 15'-0"	⑩ RADIUS = 65'-0"
	⑪ RADIUS = 100'-0"

NOTE: RAMP SLOPE NOT TO BE GREATER THAN 1:12.



NOTE: BOTH CARLISLE BLVD AND INDIAN SCHOOL RD HAVE EXISTING BUS ROUTES. THERE IS AN EXISTING BIKE LANE ON CARLISLE BLVD.

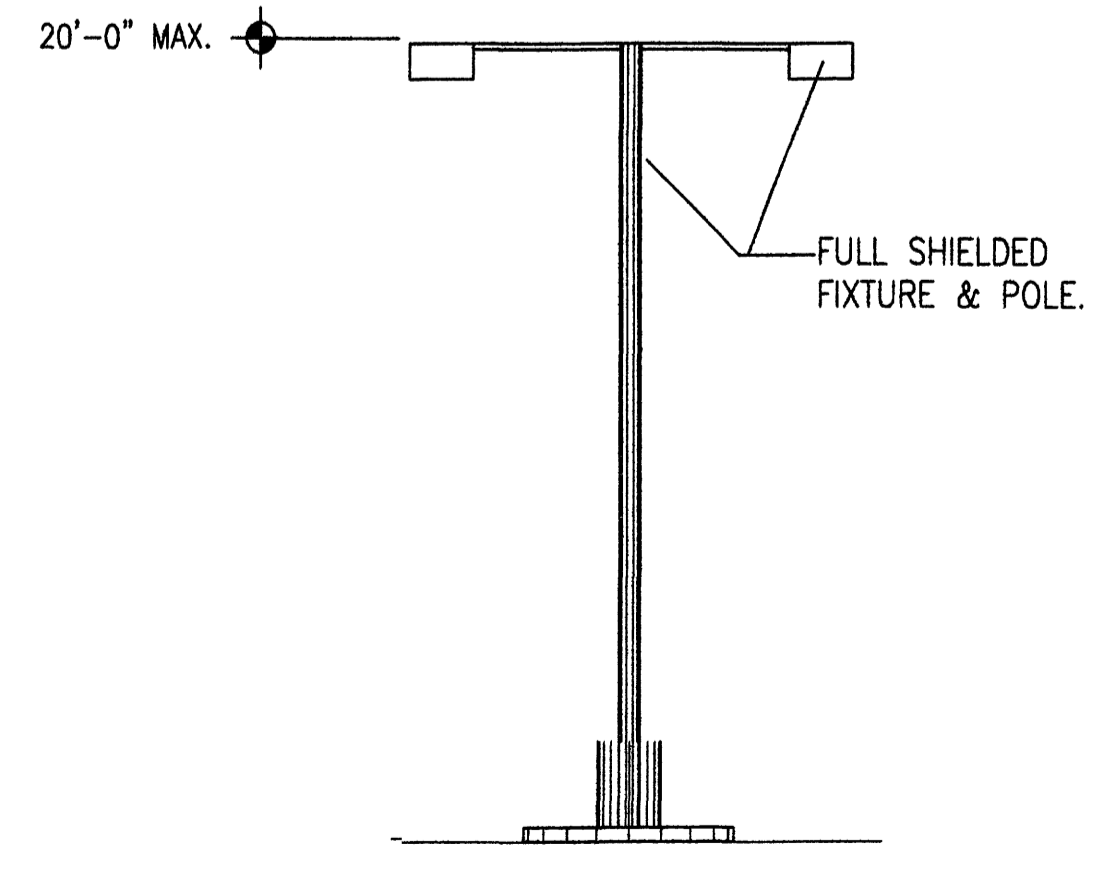
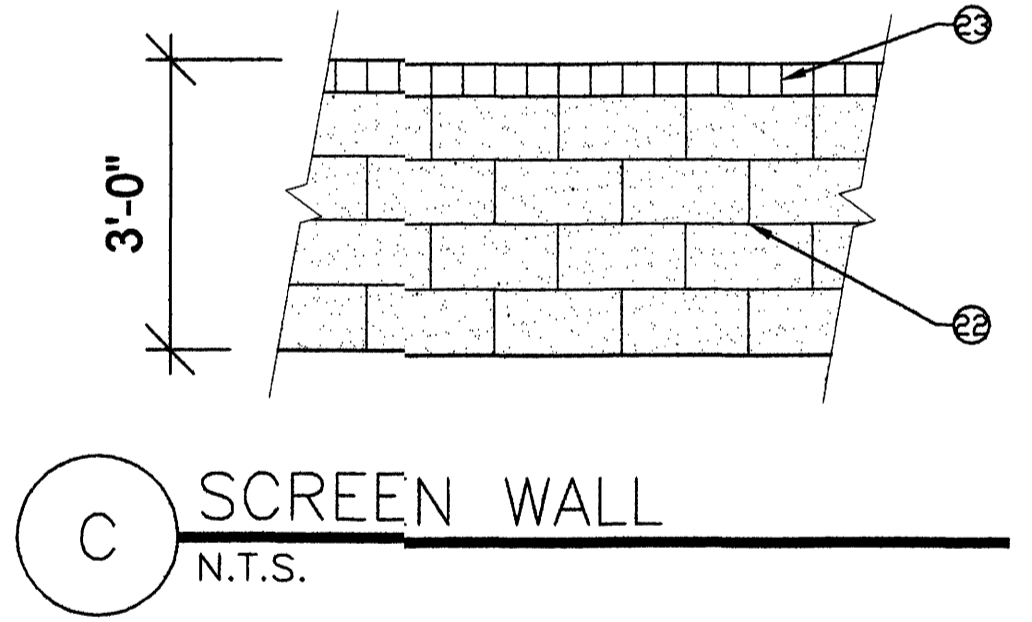
ZONING:
 SU-1 FOR C-1 WITH THE FOLLOWING EXCLUSIONS AND MODIFICATIONS

EXCLUSIONS:

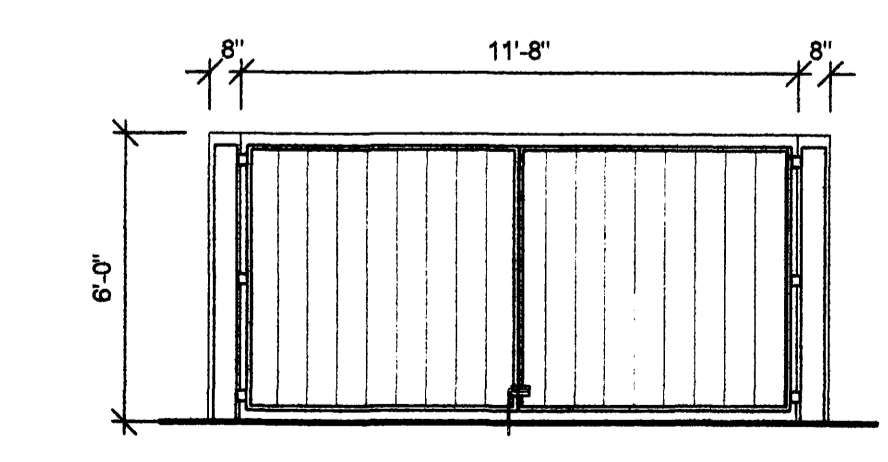
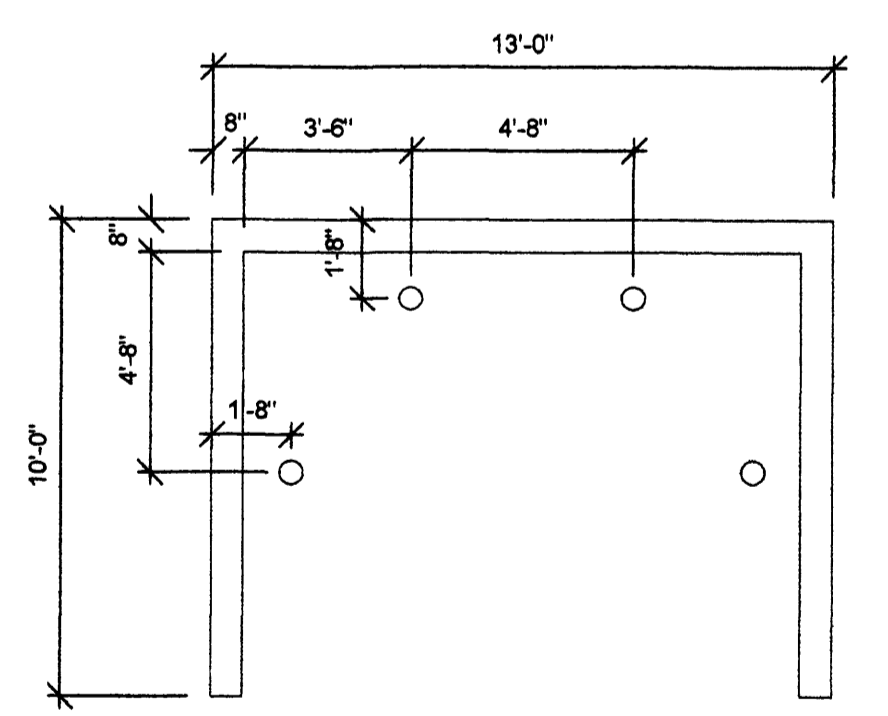
- OUTDOOR RESTAURANT SEATING
- LIQUOR SALES IN CONJUNCTION WITH A RESTAURANT
- GASOLINE SERVICE STATION
- OUTSIDE SALES OF GAS, OIL, OR LIQUEFIED PETROLEUM.
- ON PREMISE AUTOMOBILE AND MOTORIZED BICYCLE (MOPED) REPAIR AND BODY WORK.
- PAWN SHOPS
- CAR WASH
- LAUNDROMATS
- OFF-PREMISE SIGNAGE
- FREE-STANDING WIRELESS TELECOMMUNICATIONS FACILITIES UP TO 65 FEET IN HEIGHT
- COLLOCATED FREE-STANDING WIRELESS TELECOMMUNICATIONS FACILITIES UP TO 75 FEET IN HEIGHT
- ANTENNAE EXCEEDING 65 FEET IN HEIGHT
- COMMUNITY RESIDENTIAL PROGRAM IN ACCORDANCE WITH SECTION 14.16.2.16 B.2 OF THE ZONING CODE
- AUTO, TRAILER AND TRUCK RENTAL, SERVICE AND STORAGE
- DRIVE-UP SERVICE WINDOWS AND DRIVE THRU FACILITIES INCLUDING BANKING FACILITIES.
- FIREWORKS SALES
- GAMES WITHIN A COMPLETELY ENCLOSED BUILDING, OPERATED FOR PROFIT AND NOT A PERMISSIVE C-1 USE
- KENNEL
- MORTUARY
- MOBILE HOME AS CARETAKER QUARTERS
- RECYCLING BIN AS AN ACCESSORY USE.
- USES OR ACTIVITIES IN A TENT
- ROOF-MOUNTED WIRELESS TELECOMMUNICATIONS FACILITIES

MODIFICATIONS:

- BICYCLE REPAIR, PROVIDED IT IS DONE WITHIN A COMPLETELY ENCLOSED BUILDING.
- DRY CLEANING, WITH NO ON-PREMISE DRY-CLEANING OR LAUNDERING (DROP-OFF ONLY).
- ELECTRONIC AND PINBALL GAME ROOMS WITHIN A COMPLETELY ENCLOSED BUILDING AND WITH NO MORE THAN FOUR GAME MACHINES PER BUSINESS.
- RESTAURANT USE IS ALLOWED ONLY IF APPROVED BY THE EPC IN CONJUNCTION WITH A SITE DEVELOPMENT PLAN FOR BUFFERING AND PROTECTION OF ADJACENT RESIDENTIAL USES FROM ADVERSE EFFECTS OF NOISE, LIGHTING, POLLUTION, TRAFFIC AND ODORS.



NOTE: DUMPSTER ENCLOSURE TO MATCH SCREEN WALL MATERIAL AND CONSTRUCTION TYPE



DUMPSTER ENCLOSURE
 N.T.S.

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated June 17, 2002 and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) YES () NO If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department *(conditional)	Date
Michael Holtz (signature)	5/13/08
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
 CARLISLE SHOPS
 CARLISLE AND INDIAN SCHOOL
 Albuquerque, NM

PROJECT MANAGER
 George Rainhart, AIA

DRAWN BY: JCS

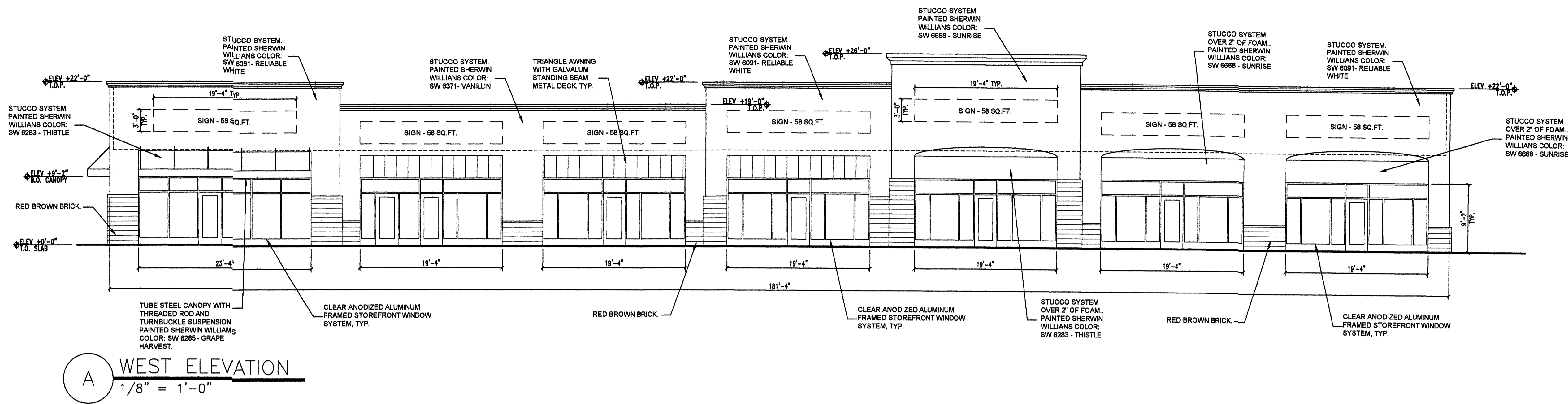
JOB NO.

SHEET TITLE
 SITE PLAN FOR BUILDING PERMIT

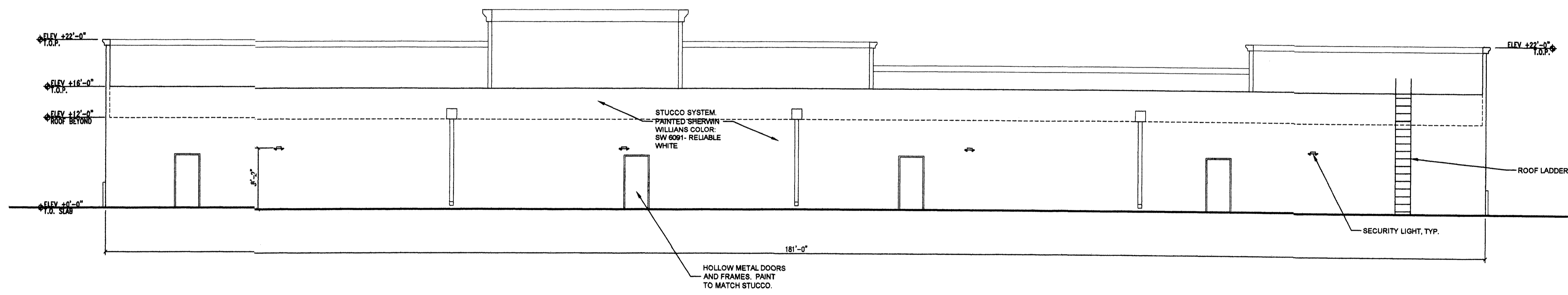
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JACK
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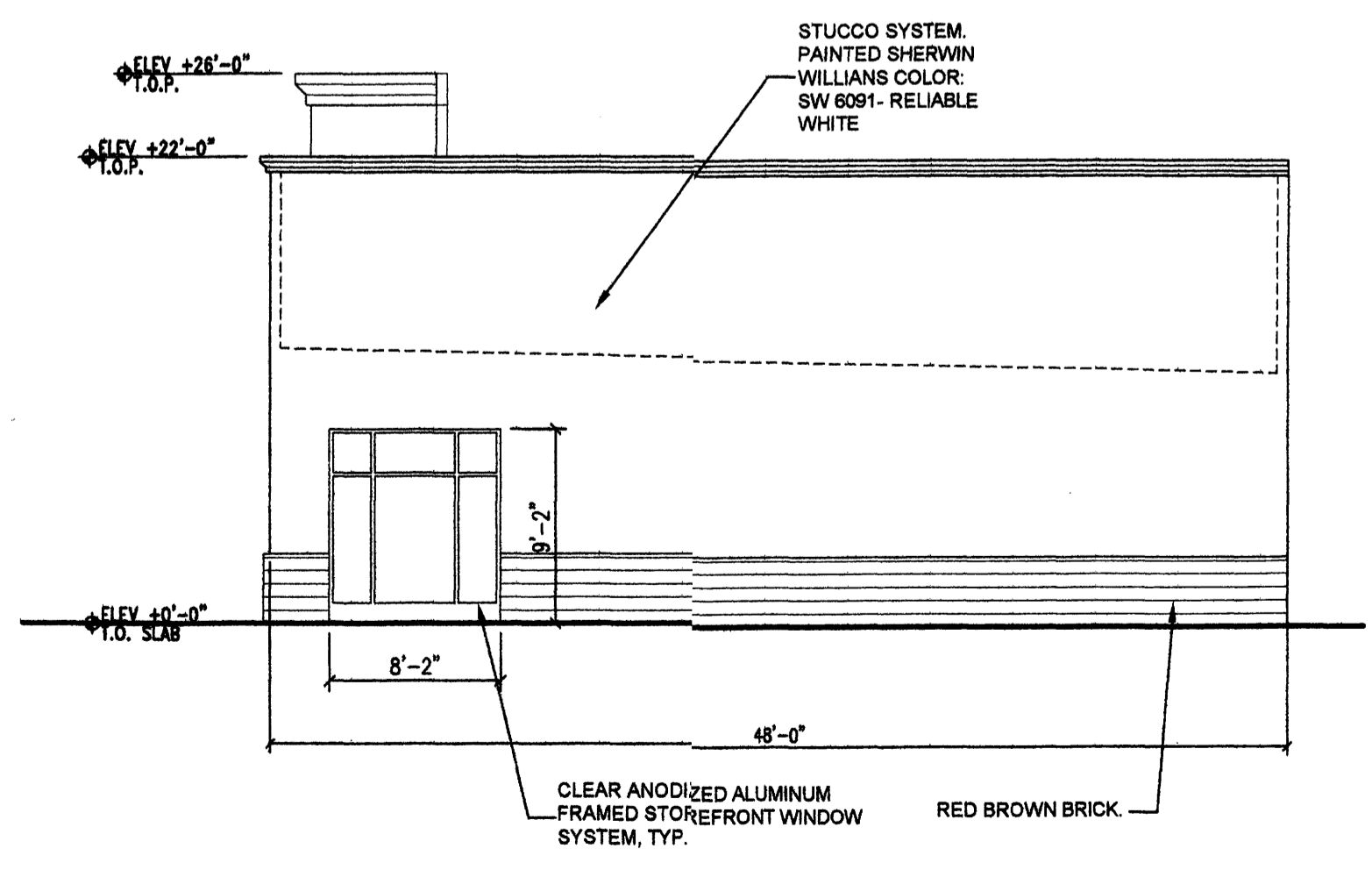
AFD PLANS CHECKING OFFICE
 824-3610
 APPROVED/DISAPPROVED
 5/13/08
 SIGNATURE & DATE



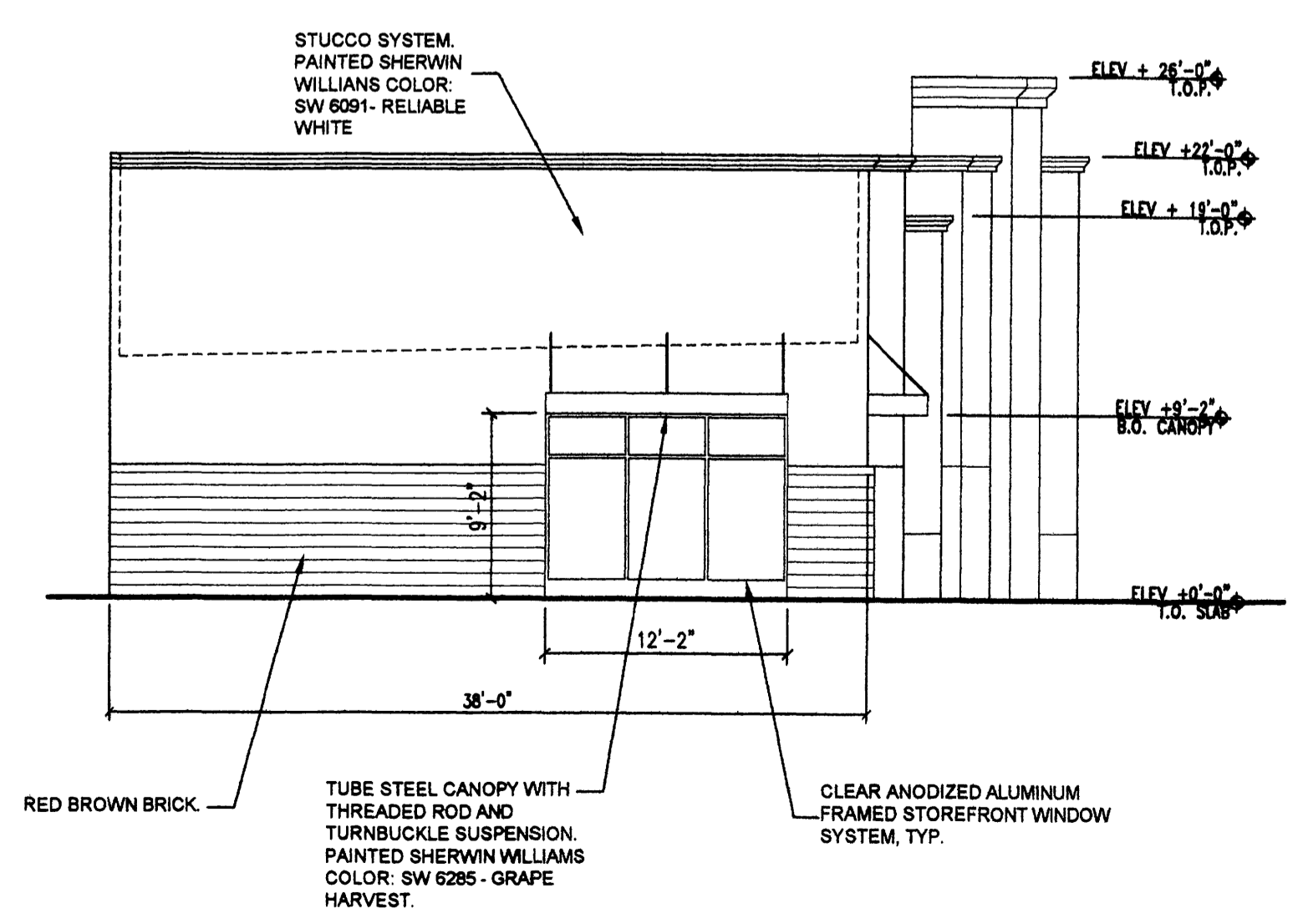
A WEST ELEVATION
1/8" = 1'-0"



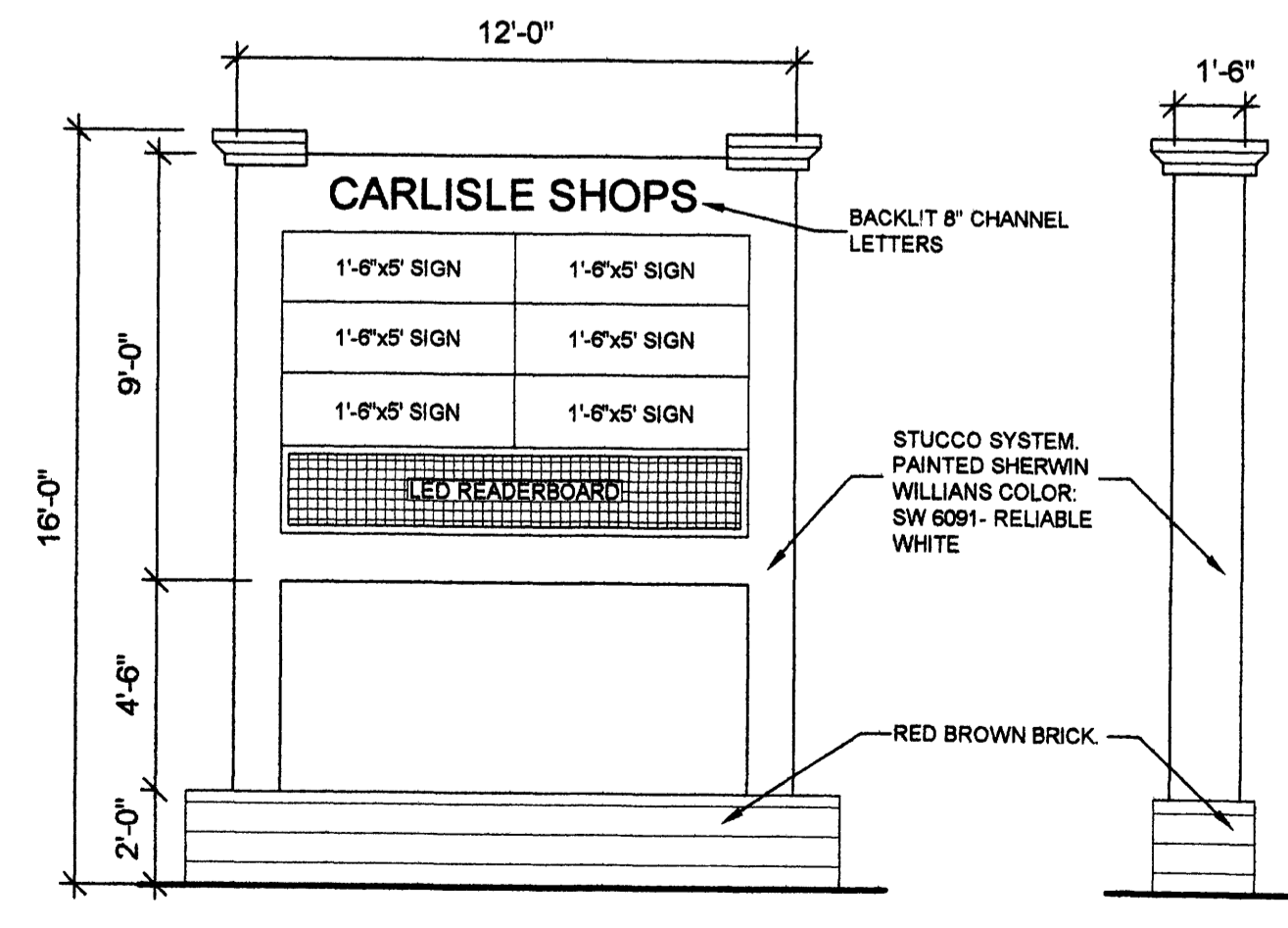
B EAST ELEVATION
1/8" = 1'-0"



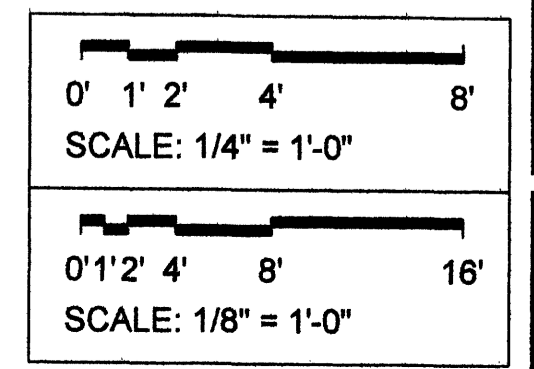
C SOUTH ELEVATION
1/8" = 1'-0"



D NORTH ELEVATION
1/8" = 1'-0"

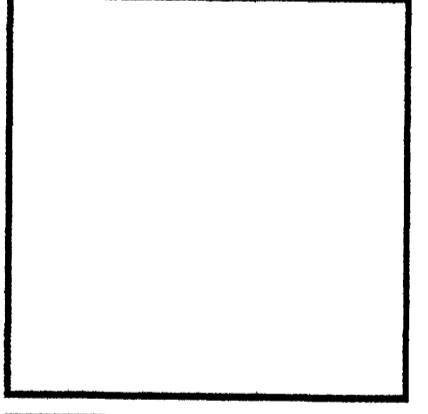


E MONUMENT SIGN
1/4" = 1'-0"



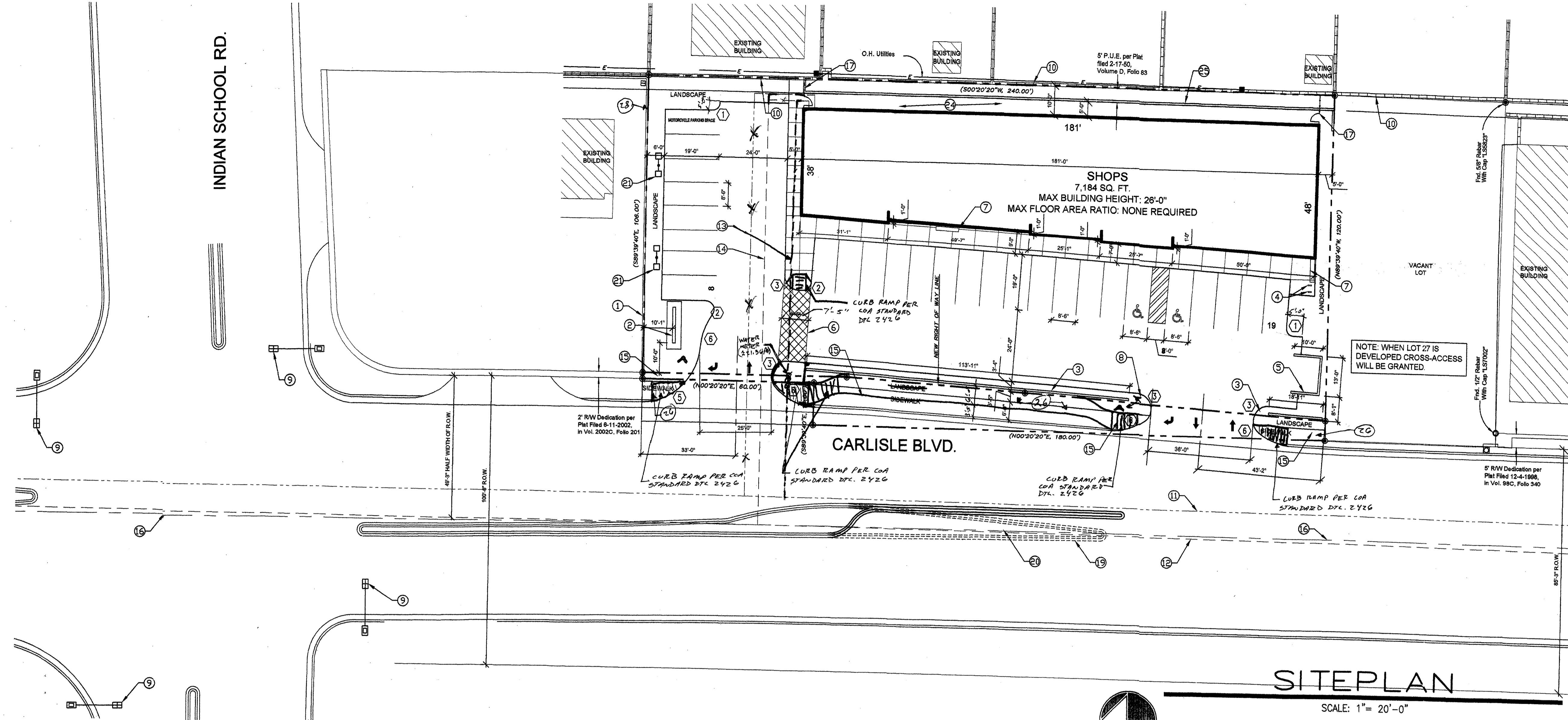
REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877



CARLISLE SHOPS
CARLISLE AND INDIAN SCHOOL
Albuquerque, NM
PROJECT MANAGER: George Rainhart, AIA
JOB NO.:
DRAWN BY: JCS
BUILDING ELEVATIONS

DATE: 02/03/05
SCALE: AS NOTED
Sheet: **A1**
of:



- KEYED NOTES**
- EXISTING CONCRETE WALL.
 - MONUMENT SIGN WITH PLANTER BASE.
 - 3'-0" HIGH SPLIT FACE CMU SCREEN WALL.
 - BICYCLE RACKS.
 - DUMPSTER ENCLOSURE.
 - CROSSWALK, COLORED AND TEXTURED CONCRETE.
 - 8'-0" X 1'-6" BENCH.
 - PROPOSED FIRE HYDRANT.
 - EXISTING TRAFFIC SIGNAL.
 - EXISTING CMU WALL. ADD CMU AS NEED TO MAKE 6'-0" HIGH.
 - EXISTING 8" SANITARY SEWER.
 - EXISTING 8" WATER LINE.
 - PROPOSED 8" SANITARY SEWER WITH NEW WATER METER.
 - PROPOSED WATER LINE WITH NEW WATER METER.
 - PROPOSED SANITARY SEWER.
 - PROPOSED FUTURE R.O.W. DEDICATION.
 - CENTERLINE OF CARLISLE R.O.W.
 - 5'-0" TALL WROUGHT IRON SECURITY FENCE WITH GATE.
 - NOT USED.
 - EXISTING CURB AND GUTTER TO BE REMOVED.
 - NEW CURB AND GUTTER. PER WORK ORDER.
 - SITE LIGHTING.
 - 8" BROWN SPLIT FACE CMU.
 - 4" BROWN SMOOTH FACE CMU CAP BLOCK.
 - CONCRETE PEDESTRIAN PATHWAY.
 - CMU RETAINING WALL.
 - 5'-0" DRIVE PAD PER COA STANDARD. DETAIL 5 2430 + 2431 + 2432 FOR CURB. SEE DETAIL 2426.
 - 6'-0" HIGH CMU SCREEN WALL. SEE DETAIL L FOR MATERIALS.

LEGAL DESCRIPTION
 LOTS 28 THROUGH 31, BLOCK A, ALURA ADDITION.

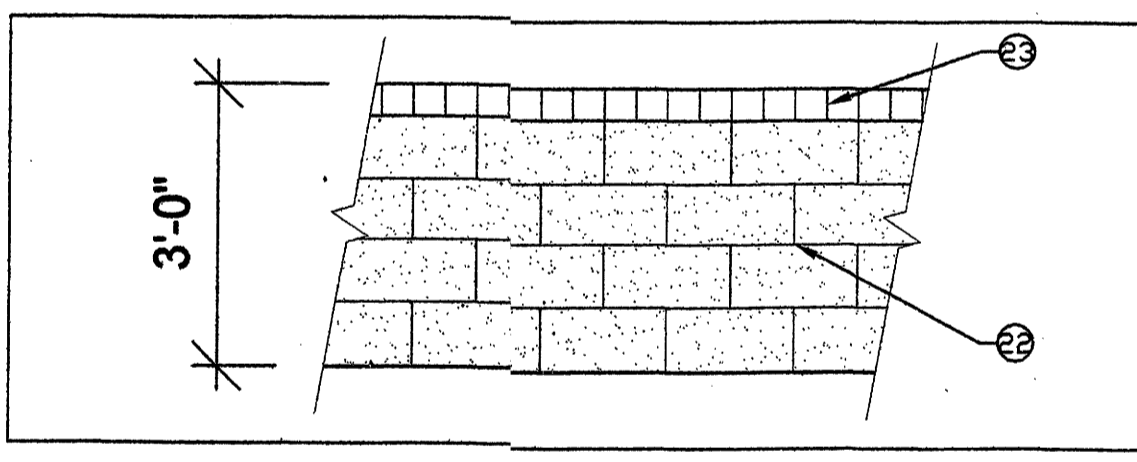
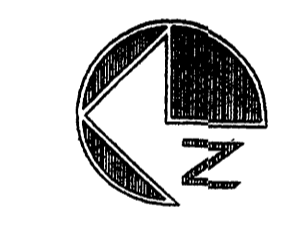
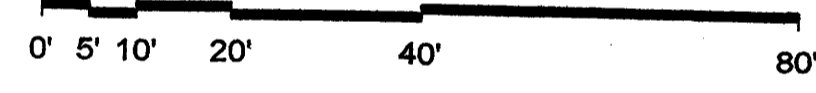
SITE DATA

PROPOSED USAGE: SU-1 FOR C-1
 LOT AREA: 27,933 SF (6412 ACRES)
 LANDSCAPE REQUIRED: 3,112 SF
 LANDSCAPE PROVIDED: 4,920 SF
 BUILDING AREA/PARKING:
 BUILDING: 7,184 SF
 7,184 SF/200 = 36 - 10% (TRANSIT ROUTE DEDUCTION) = 32
 SPACES REQUIRED: 32 SPACES
 SPACES PROVIDED: 27 SPACES
 2 HC SPACES PROVIDED.
 BIKE SPACES REQUIRED (1/20): 2 SPACES
 BIKE SPACES PROVIDED: 2 SPACES

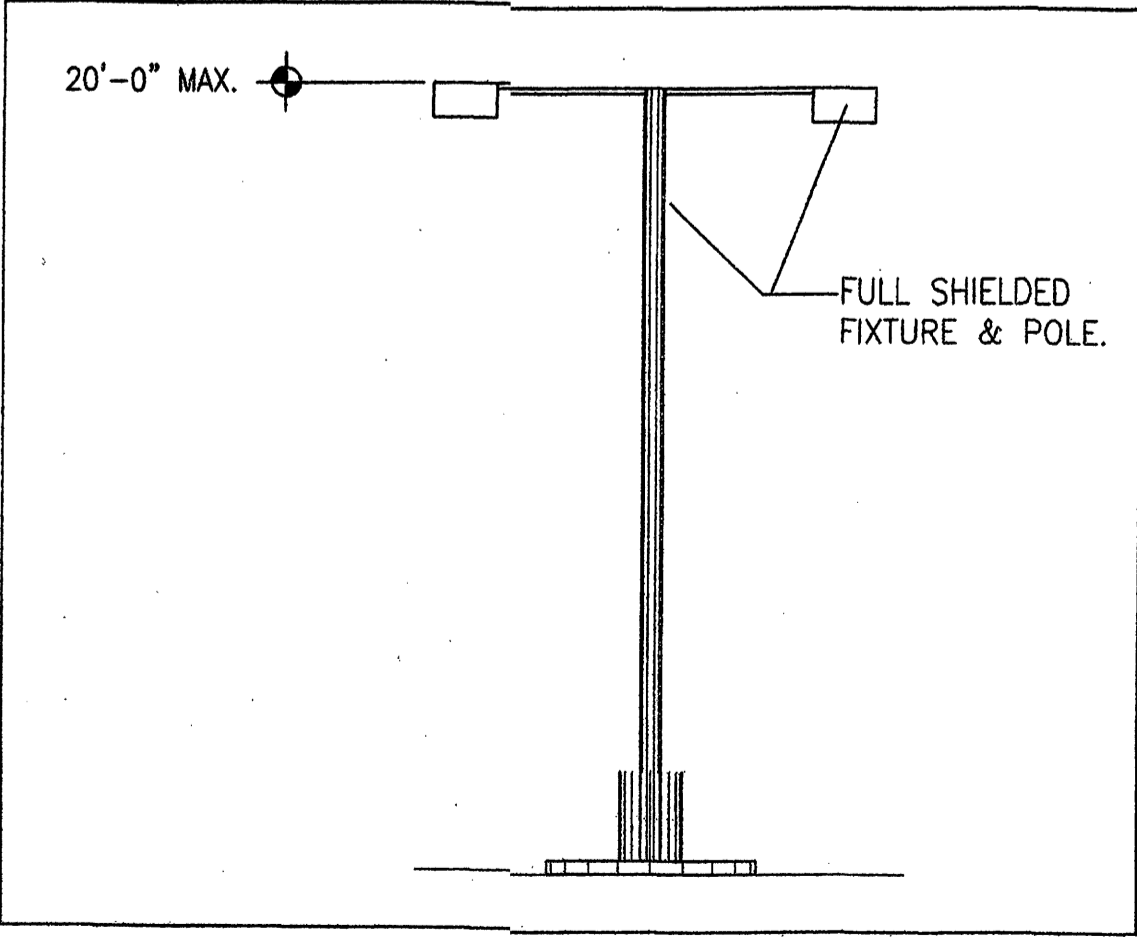
- RADIUS**
- ① RADIUS = 2'-6"
 - ② RADIUS = 3'-0"
 - ③ RADIUS = 5'-0"
 - ④ RADIUS = 10'-0"
 - ⑤ RADIUS = 15'-0"
 - ⑥ RADIUS = 20'-0"
 - ⑦ RADIUS = 25'-0"
 - ⑧ RADIUS = 30'-0"
 - ⑨ RADIUS = 50'-0"
 - ⑩ RADIUS = 65'-0"
 - ⑪ RADIUS = 100'-0"

SITEPLAN

SCALE: 1" = 20'-0"

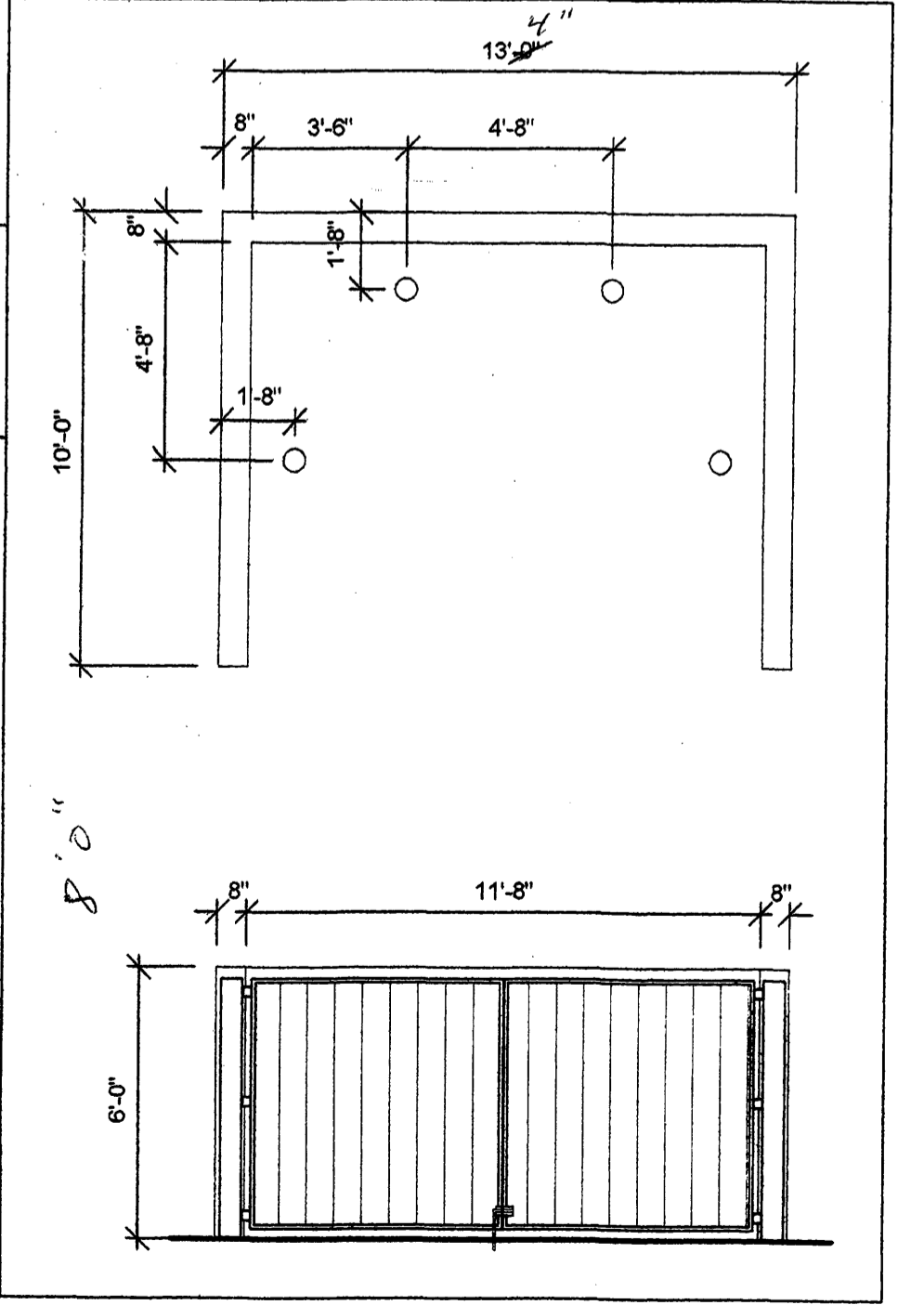


C SCREEN WALL
N.T.S.



A SITE LIGHTING
N.T.S.

NOTE: DUMPSTER ENCLOSURE TO MATCH SCREEN WALL MATERIAL AND CONSTRUCTION TYPE.



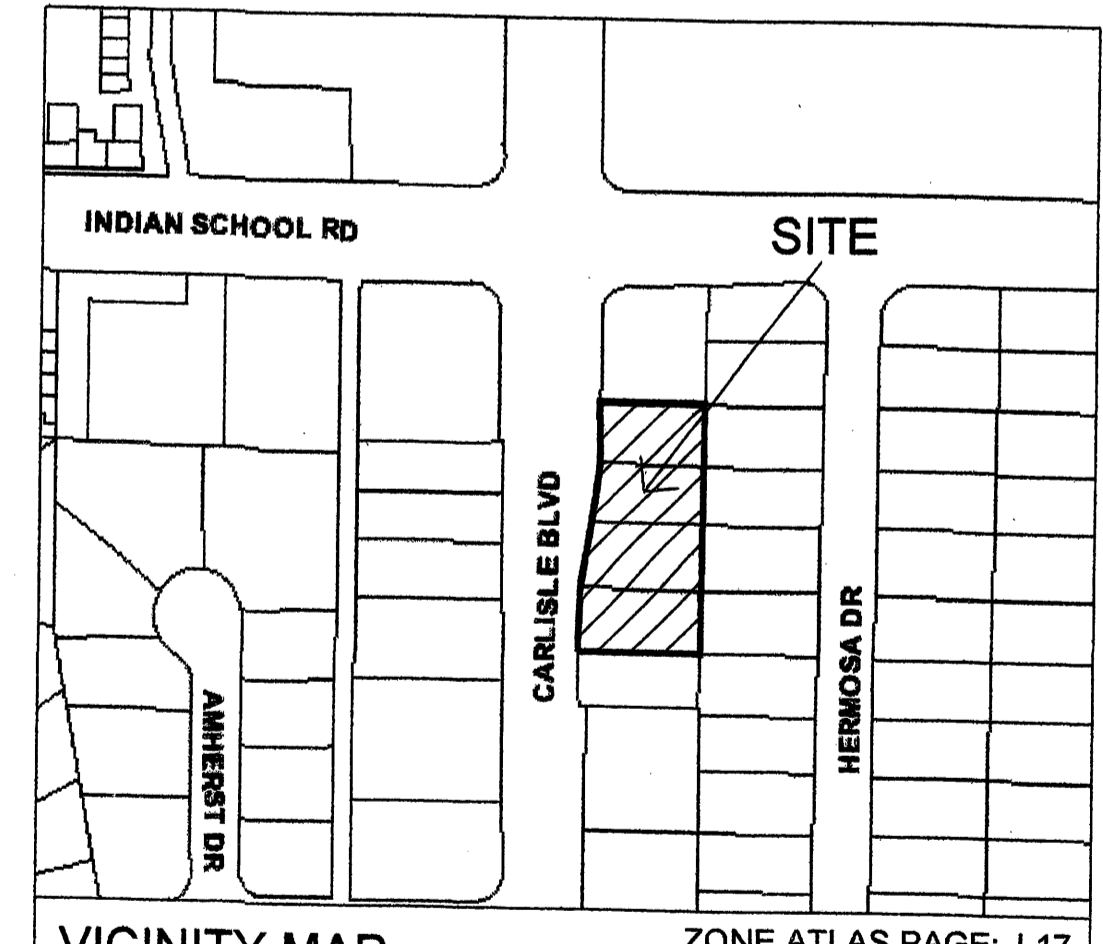
B DUMPSTER ENCLOSURE
N.T.S.

NOTE: BOTH CARLISLE BLVD AND INDIAN SCHOOL RD HAVE EXISTING BUS ROUTES. THERE IS AN EXISTING BIKE LANE ON CARLISLE BLVD.

ZONING:
 SU-1 FOR C-1 WITH THE FOLLOWING EXCLUSIONS AND MODIFICATIONS

EXCLUSIONS:
 A. OUTDOOR RESTAURANT SEATING
 B. LIQUOR SALES IN CONJUNCTION WITH A RESTAURANT
 C. GASOLINE SERVICE STATION
 D. OUTSIDE SALES OF GAS, OIL, OR LIQUEFIED PETROLEUM.
 E. ON PREMISE AUTOMOBILE AND MOTORIZED BICYCLE (MOPED) REPAIR AND BODY WORK.
 F. PAWN SHOPS
 G. CAR WASH
 H. LAUNDROMATS
 I. OFF-PREMISE SIGNAGE
 J. FREE-STANDING WIRELESS TELECOMMUNICATIONS FACILITIES UP TO 65 FEET IN HEIGHT
 K. COLLOCATED FREE-STANDING WIRELESS TELECOMMUNICATIONS FACILITIES UP TO 75 FEET IN HEIGHT
 L. ANTENNAE EXCEEDING 65 FEET IN HEIGHT
 M. COMMUNITY RESIDENTIAL PROGRAM IN ACCORDANCE WITH SECTION 14.16.2.16.B.2 OF THE ZONING CODE.
 N. AUTO, TRAILER AND TRUCK RENTAL, SERVICE AND STORAGE.
 O. DRIVE-UP SERVICE WINDOWS AND DRIVE THRU FACILITIES INCLUDING BANKING FACILITIES.
 P. FIREWORKS SALES
 Q. GAMES WITHIN A COMPLETELY ENCLOSED BUILDING, OPERATED FOR PROFIT AND NOT A PERMISSIVE C-1 USE
 R. KENNEL
 S. MORTUARY
 T. MOBILE HOME AS CARETAKER QUATERS
 U. RECYCLING BIN AS AN ACCESSORY USE
 V. USES OR ACTIVITIES IN A TENT
 W. ROOF-MOUNTED WIRELESS TELECOMMUNICATIONS FACILITIES

MODIFICATIONS
 A. BICYCLE REPAIR, PROVIDED IT IS DONE WITHIN A COMPLETELY ENCLOSED BUILDING.
 B. DRY CLEANING, WITH AND ON-PREMISE DRY-CLEANING OR LAUNDERING (DROP-OFF ONLY).
 C. ELECTRONIC AND PINBALL GAME ROOMS WITHIN A COMPLETELY ENCLOSED BUILDING AND WITH NO MORE THAN FOUR GAME MACHINES PER BUSINESS.



VICINITY MAP
SCALE: 1" = 200'

AFD PLANS CHECKING OFFICE
 924-3611
APPROVED/DISAPPROVED
 Signature: William J. 7-24-05
 SIGNATURE & DATE

PROJECT NUMBER: 1003801
 APPLICATION NUMBER: 05DRB-01180

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated June 17, 2005 and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) YES () NO If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Transportation Division	2-6-05	Date
Water Utility Department	8-18-05	Date
Parks and Recreation Department	7/27/05	Date
City Engineer	7/22/05	Date
Environmental Health Department *(conditional)		Date
Solid Waste Management	7-27-05	Date
DRB Chairperson, Planning Department	7/27/05	Date

* Environmental Health, if necessary

REV	DATE	BY	REVISION
A			
A			
A			
A			
A			

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE: **CARLISLE SHOPS**
 CARLISLE AND INDIAN SCHOOL, ALBUQUERQUE, NM

PROJECT MANAGER: George Rainhart, AIA

JOB NO.:

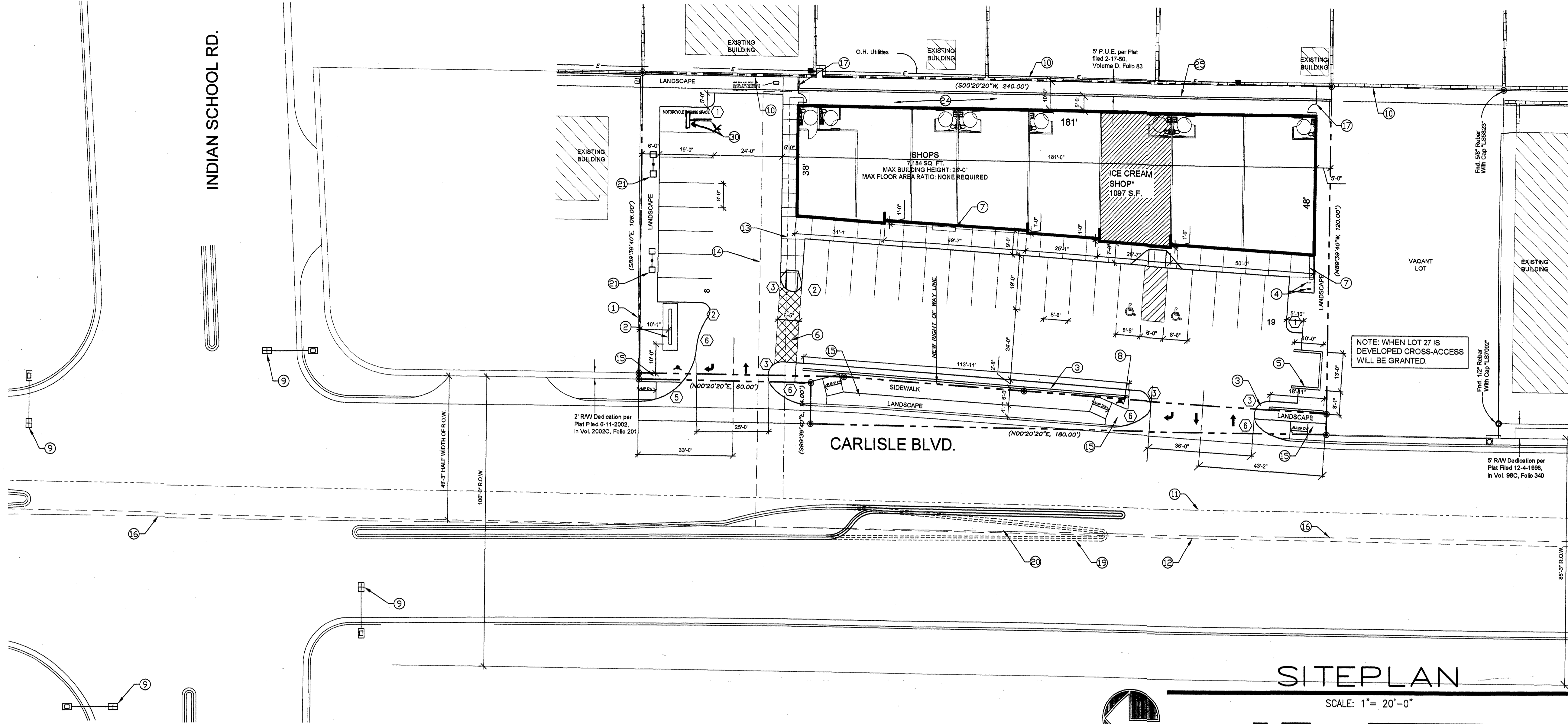
DRAWN BY: JCS

SHEET TITLE: **SITE PLAN FOR BLD. PERMIT**

DATE: 02/03/05

SCALE: AS NOTED

of:



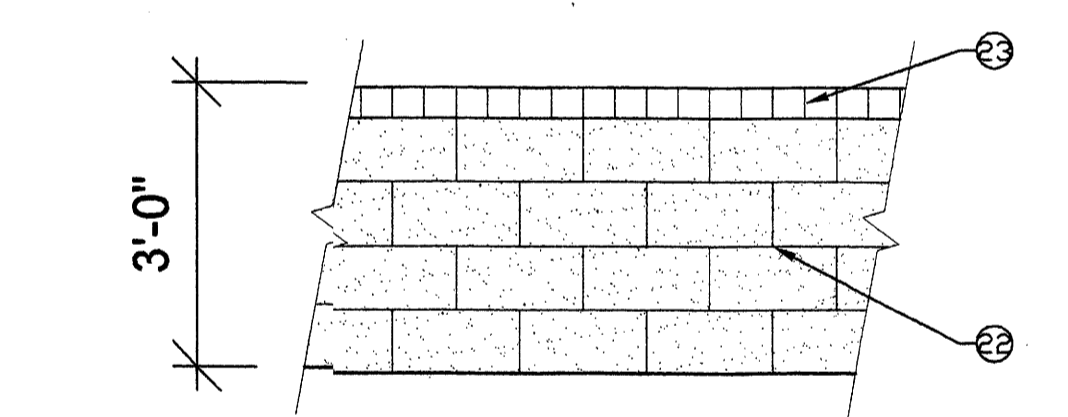
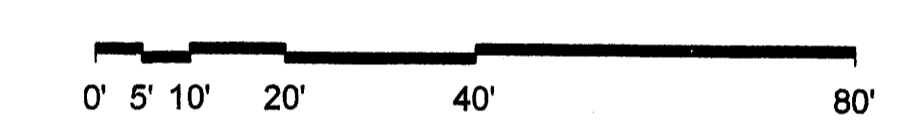
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 - MONUMENT SIGN WITH PLANTER BASE
 - 3'-0" HIGH SPLIT FACE CMU SCREEN WALL
 - BICYCLE RACKS. SEE DETAIL 2/AS.1
 - DUMPSTER ENCLOSURE. SEE DETAIL 1/AS.1
 - CROSSWALK. COLORED AND TEXTURED CONCRETE.
 - 8'-0" X 1'-6" BENCH
 - PROPOSED FIRE HYDRANT.
 - EXISTING TRAFFIC SIGNAL
 - EXISTING CMU WALL. ADD CMU AS NEEDED TO MAKE 6'-0"
 - EXISTING 6" WATER LINE
 - EXISTING 8" SANITARY SEWER
 - PROPOSED WATER LINE
 - PROPOSED SANITARY SEWER
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 - CENTERLINE OF CARLISLE R.O.W.
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 - NEW CURB AND GUTTER
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 - 8" BROWN SPLIT FACE CMU
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 - 6'-0" CONCRETE PEDESTRIAN PATHWAY.
 - CMU RETAINING WALL
 - SIDEWALK PER COA STANDARD DETAILS 2430-2431.
 - DRIVEPAD PER COA STANDARD DETAILS 2428.
 - 6'-0" HIGH CMU SCREEN WALL. SEE DETAIL 4/AS.1 FOR MATERIALS.
 - CURB RAMP PER COA STANDARD DETAIL 2426.
 - CONCRETE PARKING BUMPER.

LEGAL DESCRIPTION
 LOTS 28 THROUGH 31, BLOCK A, ALTURA ADDITION.

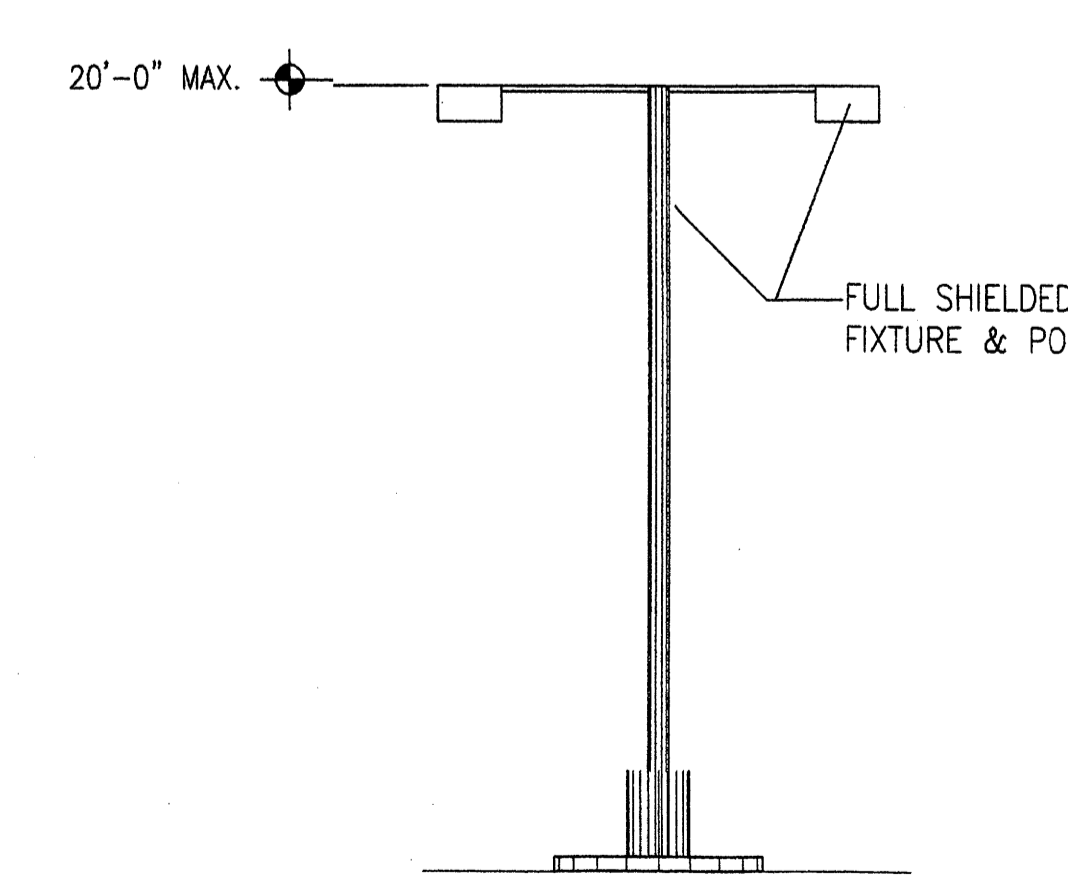
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 SPACES REQUIRED: 32 SPACES
 SPACES PROVIDED: 27 SPACES (AS APPROVED BY EPC)
 2 HC SPACES PROVIDED
 1 MOTORCYCLE SPACE
 BIKE SPACES REQUIRED (100): 2 SPACES
 BIKE SPACES PROVIDED: 2 SPACES

- RADIUS:**
- ① RADIUS = 2'-6"
 - ② RADIUS = 3'-0"
 - ③ RADIUS = 5'-0"
 - ④ RADIUS = 10'-0"
 - ⑤ RADIUS = 15'-0"
 - ⑥ RADIUS = 20'-0"
 - ⑦ RADIUS = 25'-0"
 - ⑧ RADIUS = 30'-0"
 - ⑨ RADIUS = 50'-0"
 - ⑩ RADIUS = 65'-0"
 - ⑪ RADIUS = 100'-0"

SITEPLAN
 SCALE: 1" = 20'-0"

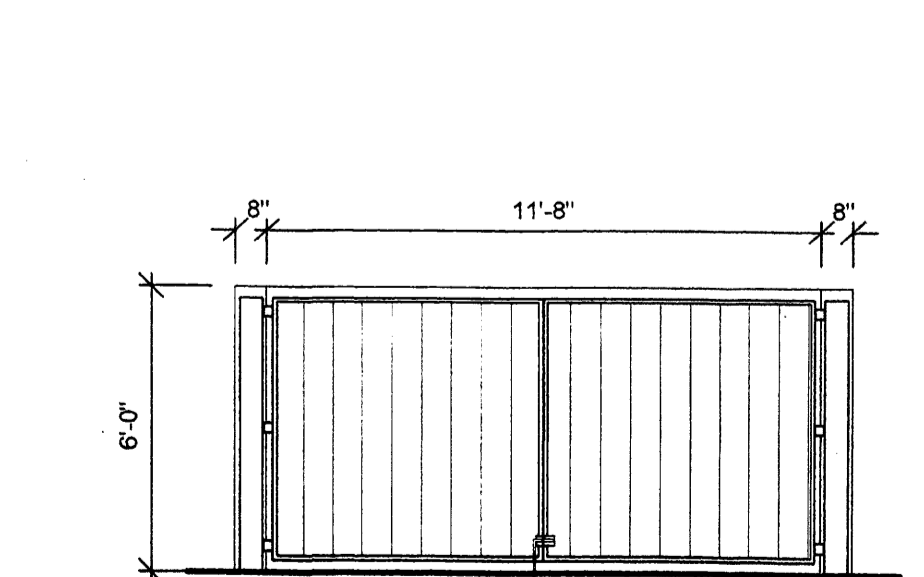
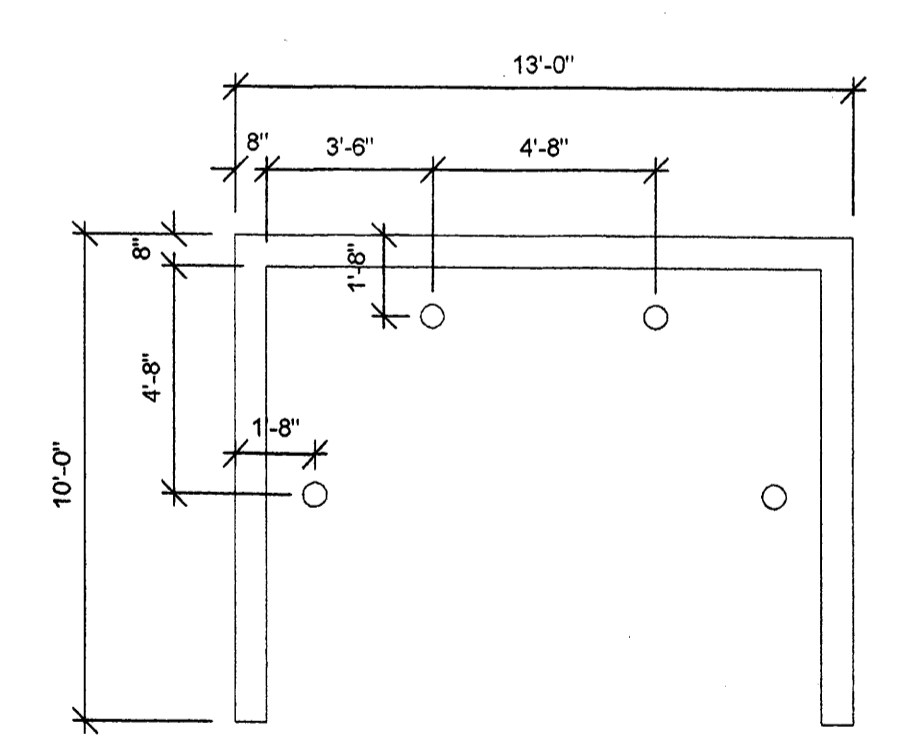


C SCREEN WALL
 N.T.S.



A SITE LIGHTING
 N.T.S.

NOTE: DUMSTER ENCLOSURE TO MATCH SCREEN WALL MATERIAL AND CONSTRUCTION TYPE



B DUMPSTER ENCLOSURE
 N.T.S.

NOTE: BOTH CARLISLE BLVD AND INDIAN SCHOOL RD HAVE EXISTING BUS ROUTES. THERE IS AN EXISTING BIKE LANE ON CARLISLE BLVD.

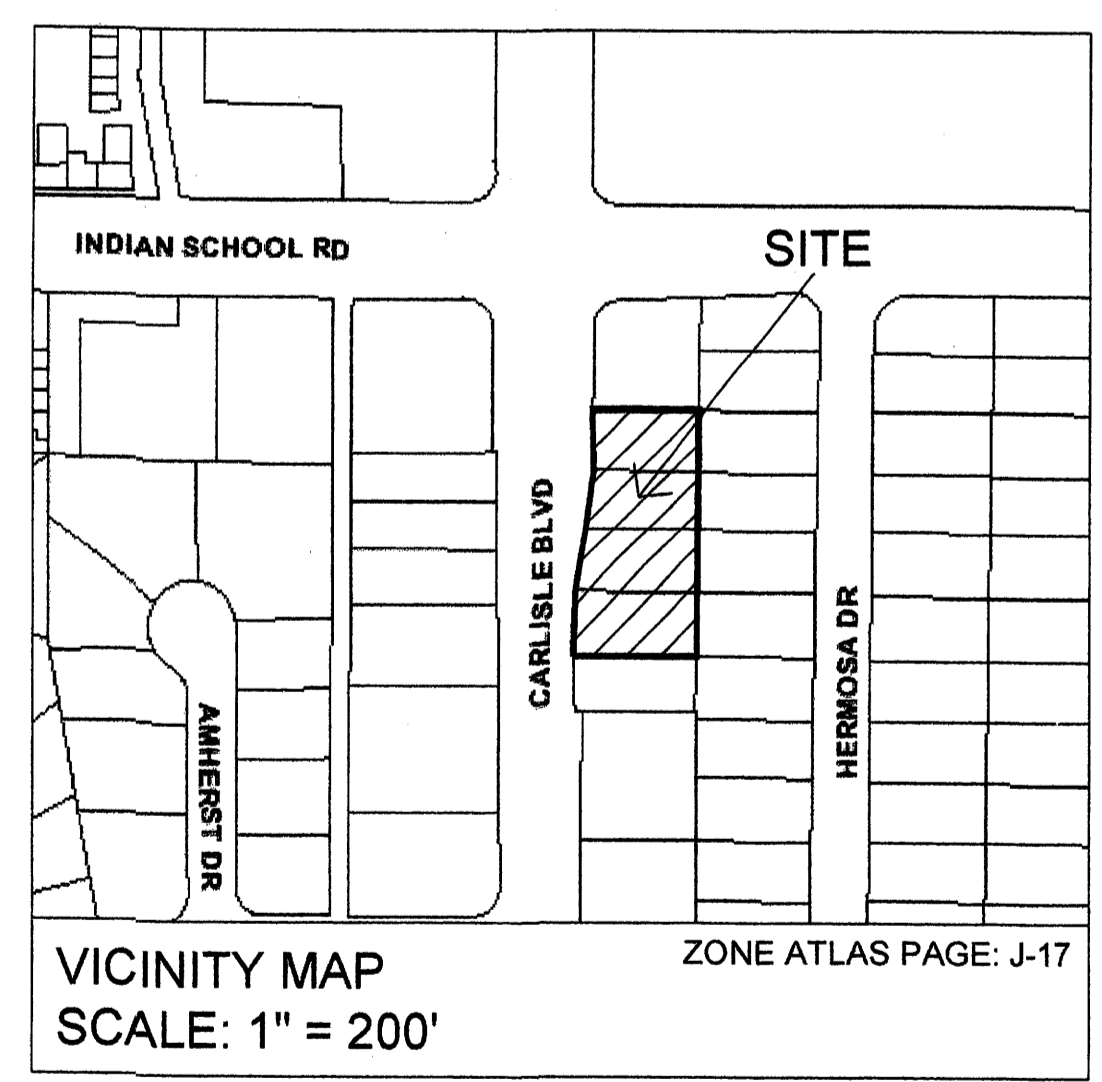
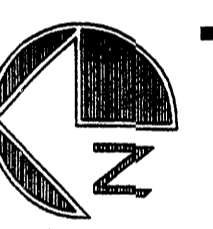
ZONING:
 SU-1 FOR C-1 WITH THE FOLLOWING EXCLUSIONS AND MODIFICATIONS

EXCLUSIONS:

- A. OUTDOOR RESTAURANT SEATING
- B. LIQUOR SALES IN CONJUNCTION WITH A RESTAURANT
- C. GASOLINE SERVICE STATION
- D. OUTSIDE SALES OF GAS, OIL, OR LIQUEFIED PETROLEUM
- E. ON PREMISE AUTOMOBILE AND MOTORIZED BICYCLE (MOPED) REPAIR AND BODY WORK.
- F. PAWN SHOPS
- G. CAR WASH
- H. LAUNDROMATS
- I. OFF-PREMISE SIGNAGE
- J. FREE-STANDING WIRELESS TELECOMMUNICATIONS FACILITIES UP TO 65 FEET IN HEIGHT
- K. COLLOCATED FREE-STANDING WIRELESS TELECOMMUNICATIONS FACILITIES UP TO 75 FEET IN HEIGHT
- L. ANTENNAE EXCEEDING 65 FEET IN HEIGHT
- M. COMMUNITY RESIDENTIAL PROGRAM IN ACCORDANCE WITH SECTION 14.15.2.16 B.2 OF THE ZONING CODE
- N. AUTO, TRAILER AND TRUCK RENTAL, SERVICE AND STORAGE
- O. DRIVE-UP SERVICE WINDOWS AND DRIVE THRU FACILITIES INCLUDING BANKING FACILITIES
- P. FIREWORKS SALES
- Q. GAMES WITHIN A COMPLETELY ENCLOSED BUILDING OPERATED FOR PROFIT AND NOT A PERMISSIVE C-1 USE
- R. KENNEL
- S. MORTUARY
- T. MOBILE HOME AS CARETAKER QUARTERS
- U. RECYCLING BIN AS AN ACCESSORY USE.
- V. USES OR ACTIVITIES IN A TENT
- W. ROOF-MOUNTED WIRELESS TELECOMMUNICATIONS FACILITIES

MODIFICATIONS

- A. BICYCLE REPAIR, PROVIDED IT IS DONE WITHIN A COMPLETELY ENCLOSED BUILDING.
- B. DRY CLEANING, WITH NO ON-PREMISE DRY-CLEANING OR LAUNDRING (DROP-OFF ONLY)
- C. ELECTRONIC AND PINBALL GAME ROOMS WITHIN A COMPLETELY ENCLOSED BUILDING AND WITH NO MORE THAN FOUR GAME MACHINES PER BUSINESS.
- D. RESTAURANT USE IS ALLOWED ONLY IF APPROVED BY THE EPC IN CONJUNCTION WITH A SITE DEVELOPMENT PLAN FOR BUILDING PERMIT THAT DEMONSTRATES ADEQUATE BUFFERING AND PROTECTION OF ADJACENT RESIDENTIAL USES FROM ADVERSE EFFECTS OF NOISE, LIGHTING, POLLUTION, TRAFFIC AND ODORS.



*THE ICE CREAM SHOP WILL SERVE ICE CREAM THAT IS MADE OFF-SITE. WILL NOT HAVE OVENS, AND WILL NOT BE A DRIVE-THRU OPERATION.

NOTE: RAMP SLOPE NOT TO BE GREATER THAN 1:12.

PLANS CHECKING OFFICE
 924-3611
 APPROVED/DISAPPROVED
 R.C. Hagedorn 3-13-07
 SIGNATURE & DATE

PROJECT NUMBER: 1003801
 APPLICATION NUMBER: 07DRB-00222

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated June 17, 2005 and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? YES NO If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Transportation Division	3-14-07
Water Utility Department	3-14-07
Parks and Recreation Department	3-14-07
City Engineer	3-14-07
N/A	3-19-07
Environmental Health Department *(conditional)	
Soils Waste Management	3-13-07
DRB Chairperson/Planning Department	3-19-07

* Environmental Health, if necessary

REV	DATE	BY	REVISION
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GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE: CARLISLE SHOPS
 CARLISLE AND INDIAN SCHOOL
 ALBUQUERQUE, NM

PROJECT MANAGER: George Rainhart, AIA

DRAWN BY: JCS

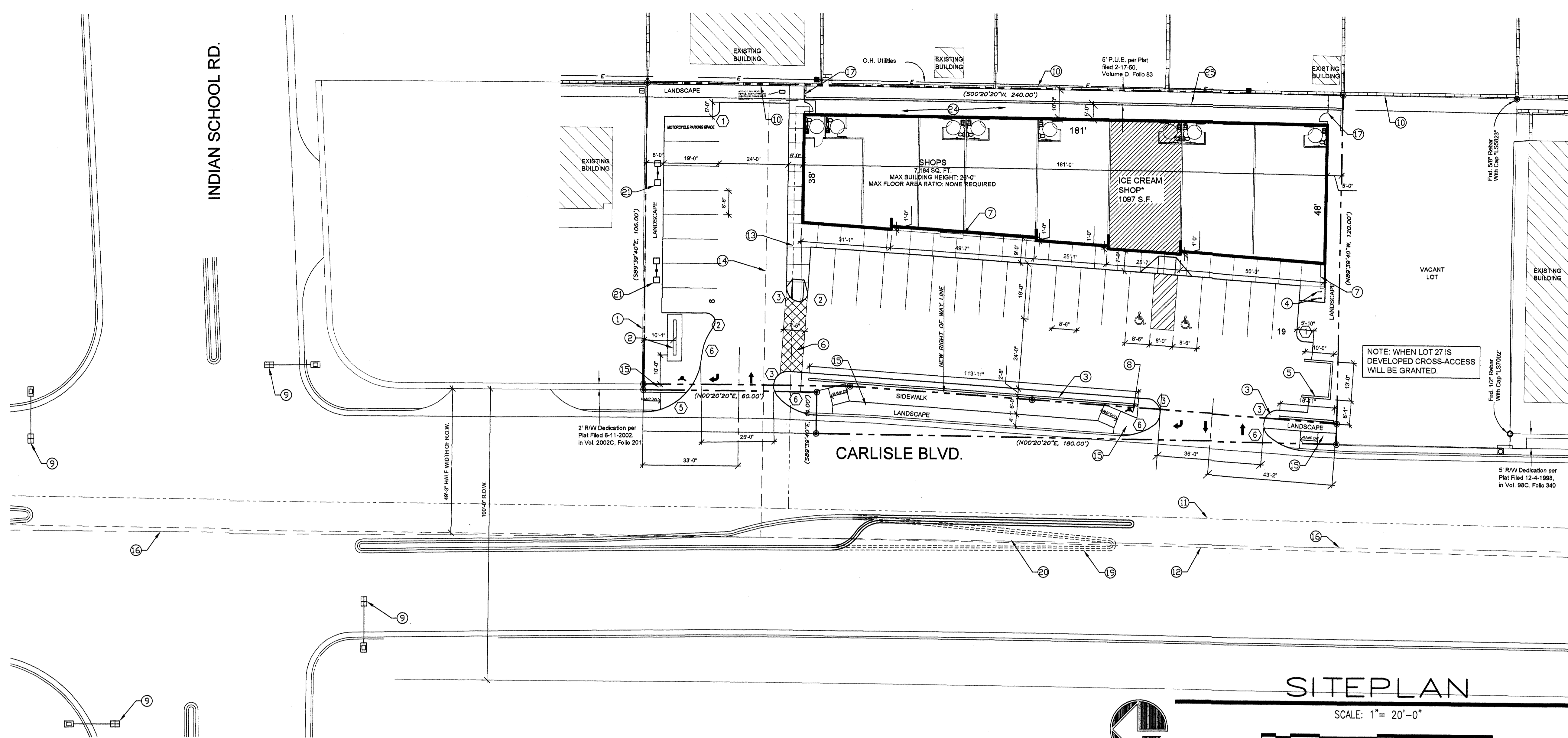
JCS NO.

SHEET TITLE: SITE PLAN FOR BUILDING PERMIT

DATE: 02/03/06

SCALE: AS NOTED

sheet of 11



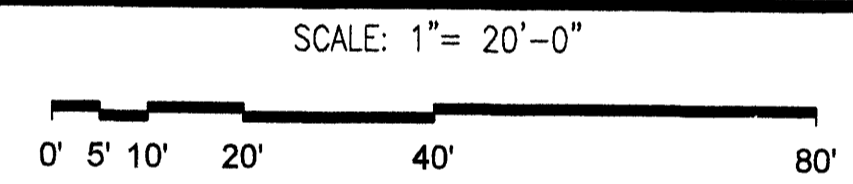
- KEYED NOTES**
- EXISTING CONCRETE WALL.
 - MONUMENT SIGN WITH PLANTER BASE.
 - 3'-0" HIGH SPLIT FACE CMU SCREEN WALL.
 - BICYCLE RACKS. SEE DETAIL 2/AS1.1.
 - DUMPSTER ENCLOSURE. SEE DETAIL 1/AS1.1.
 - CROSSWALK. COLORED AND TEXTURED CONCRETE.
 - 8'-0" X 1'-6" BENCH.
 - PROPOSED FIRE HYDRANT.
 - EXISTING TRAFFIC SIGNAL.
 - EXISTING CMU WALL. ADD CMU AS NEED TO MAKE 6'-0" HIGH.
 - EXISTING 6" WATER LINE.
 - EXISTING 6" SANITARY SEWER.
 - PROPOSED WATER LINE.
 - PROPOSED SANITARY SEWER.
 - PROPOSED FUTURE R.O.W. DEDICATION.
 - CENTERLINE OF CARLISLE R.O.W.
 - 6'-0" TALL WROUGHT IRON SECURITY FENCE WITH GATE.
 - NOT USED.
 - EXISTING CURB AND GUTTER TO BE REMOVED.
 - NEW CURB AND GUTTER.
 - SITE LIGHTING.
 - 8" BROWN SPLIT FACE CMU.
 - 4" BROWN SMOOTH FACE CMU CAP BLOCK.
 - 5'-0" CONCRETE PEDESTRIAN PATHWAY.
 - CMU RETAINING WALL.
 - SIDEWALK PER COA STANDARD DETAILS 2430-2431.
 - DRIVEPAD PER COA STANDARD DETAIL 2426.
 - 6'-0" HIGH CMU SCREEN WALL. SEE DETAIL 4/AS1.1 FOR MATERIALS.
 - CURB RAMP PER COA STANDARD DETAIL 2426.

LEGAL DESCRIPTION
 LOTS 28 THROUGH 31, BLOCK A, ALTURA ADDITION.

SITE DATA
 PROPOSED USAGE: SU-1 FOR C-1
 LOT AREA: 27,933 SF (6412 ACRES)
 LANDSCAPE REQUIRED: 3,112 SF
 LANDSCAPE PROVIDED: 4,920 SF
 BUILDING AREA/PARKING:
 BUILDING: 7,184 SF
 7,184 SF/200 = 36 - 10% (TRANSIT ROUTE DEDUCTION) = 32
 SPACES REQUIRED: 32 SPACES
 SPACES PROVIDED: 27 SPACES (AS APPROVED BY EPC)
 2 HC SPACES PROVIDED
 1 MOTORCYCLE SPACE
 BIKE SPACES REQUIRED (100): 2 SPACES
 BIKE SPACES PROVIDED: 2 SPACES

- RADIUS:**
- ① RADIUS = 2'-6"
 - ② RADIUS = 3'-0"
 - ③ RADIUS = 5'-0"
 - ④ RADIUS = 10'-0"
 - ⑤ RADIUS = 15'-0"
 - ⑥ RADIUS = 20'-0"
 - ⑦ RADIUS = 25'-0"
 - ⑧ RADIUS = 30'-0"
 - ⑨ RADIUS = 50'-0"
 - ⑩ RADIUS = 65'-0"
 - ⑪ RADIUS = 100'-0"

SITEPLAN



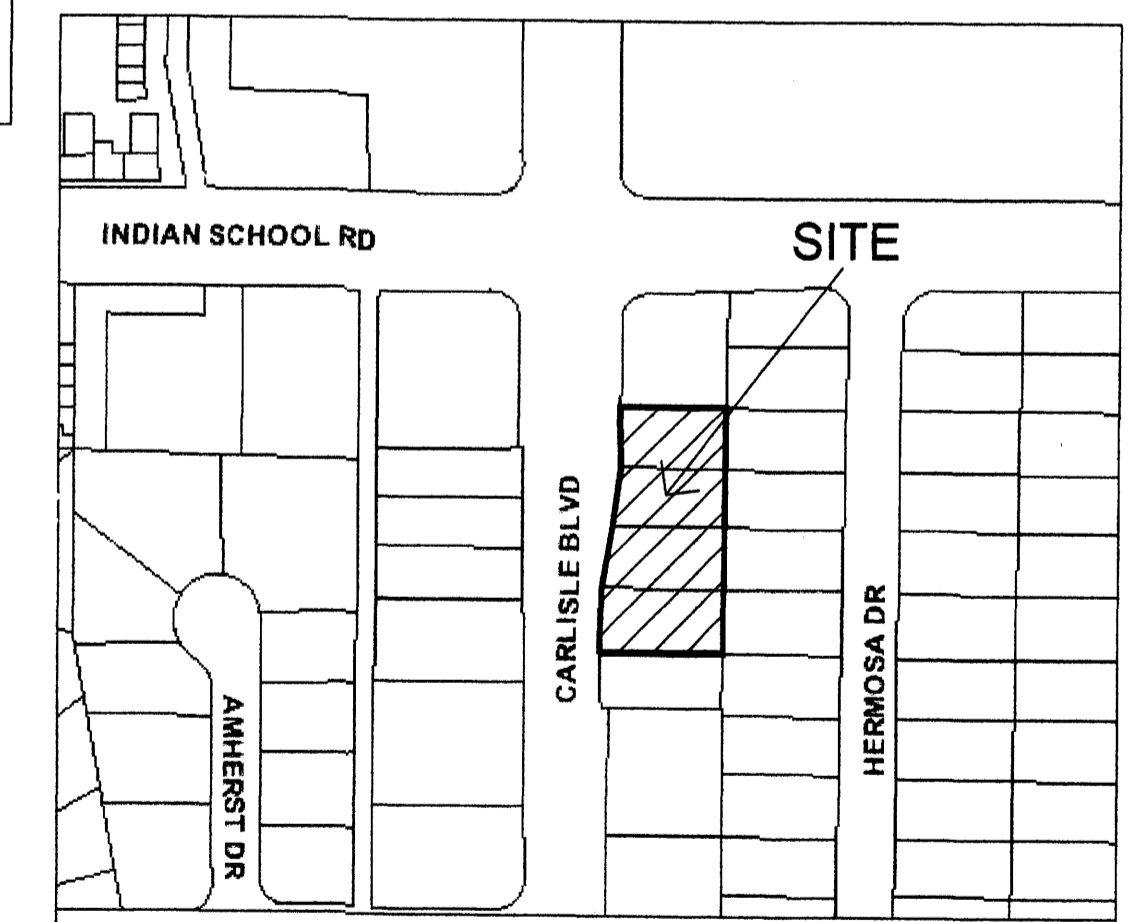
NOTE: RAMP SLOPE NOT TO BE GREATER THAN 1:12.

NOTE: BOTH CARLISLE BLVD AND INDIAN SCHOOL RD HAVE EXISTING BUS ROUTES. THERE IS AN EXISTING BIKE LANE ON CARLISLE BLVD.

ZONING:
 SU-1 FOR C-1 WITH THE FOLLOWING EXCLUSIONS AND MODIFICATIONS

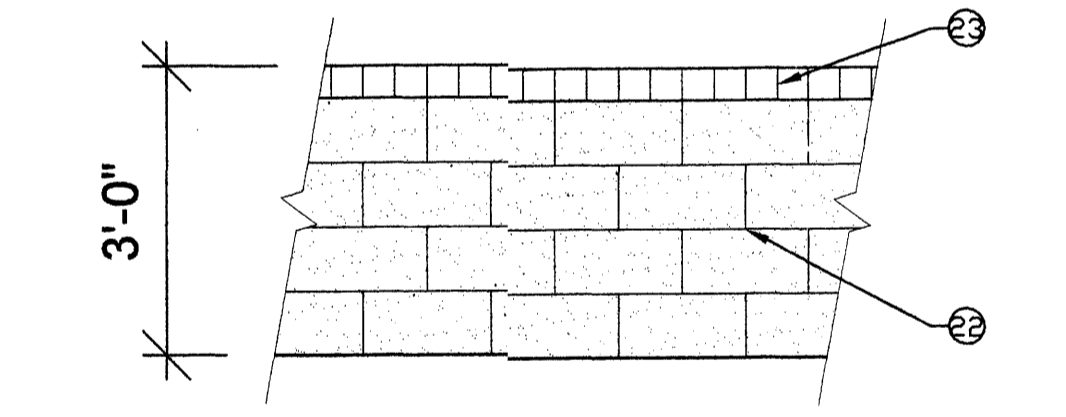
EXCLUSIONS:
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 C. GASOLINE SERVICE STATION
 D. OUTSIDE SALES OF GAS, OIL, OR LIQUEFIED PETROLEUM.
 E. ON PREMISE AUTOMOBILE AND MOTORIZED BICYCLE (MOPED) REPAIR AND BODY WORK.
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 K. COLLOCATED FREE-STANDING WIRELESS TELECOMMUNICATIONS FACILITIES UP TO 75 FEET IN HEIGHT
 L. ANTENNAE EXCEEDING 65 FEET IN HEIGHT
 M. COMMUNITY RESIDENTIAL PROGRAM IN ACCORDANCE WITH SECTION 14.16.2 16.B.2 OF THE ZONING CODE
 N. AUTO, TRAILER AND TRUCK RENTAL, SERVICE AND STORAGE.
 O. DRIVE-UP SERVICE WINDOWS AND DRIVE THRU FACILITIES INCLUDING BANKING FACILITIES.
 P. FIREWORKS SALES
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 R. KENNEL
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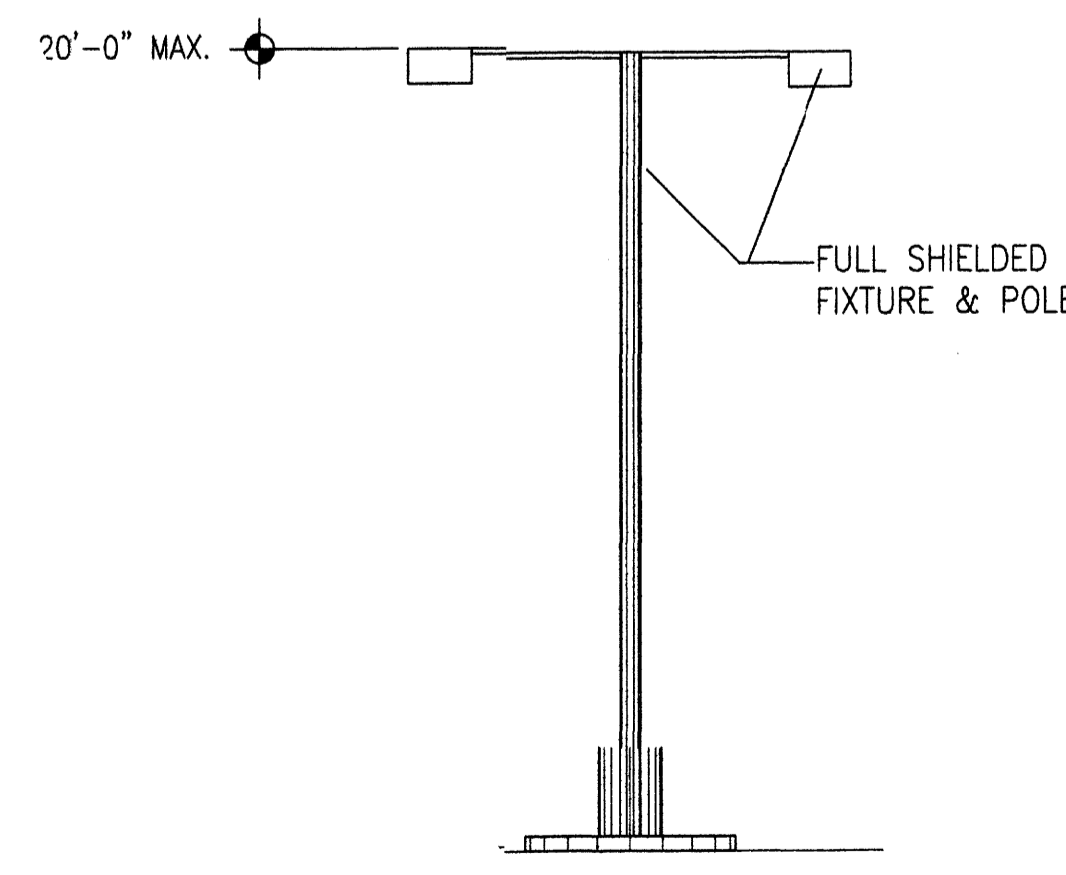


VICINITY MAP SCALE: 1" = 200'

*THE ICE CREAM SHOP WILL SERVE ICE CREAM THAT IS MADE OFF-SITE. WILL NOT HAVE OVENS, AND WILL NOT BE A DRIVE-THRU OPERATION.

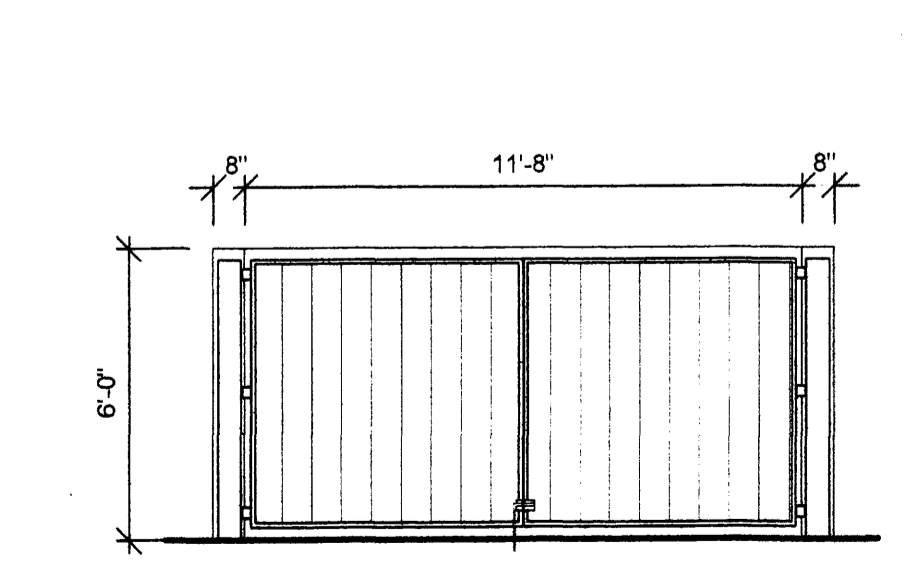
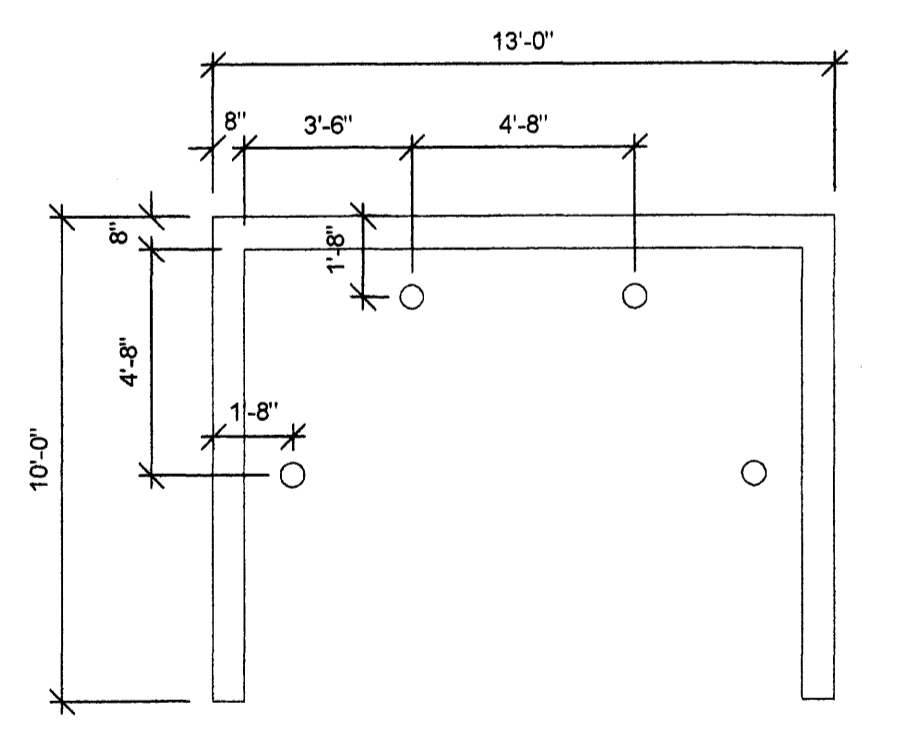


C SCREEN WALL N.T.S.



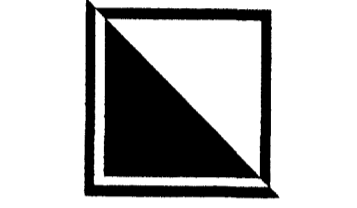
D FULL SHIELDED FIXTURE & POLE N.T.S.

NOTE: DUMSTER ENCLOSURE TO MATCH SCREEN WALL MATERIAL AND CONSTRUCTION TYPE



B DUMPSITER ENCLOSURE N.T.S.

REV	DATE	BY	REVISION
6			
5			
4	10-17-05	JCS	CITY COMMENTS
3	7/11/05	JCS	EPC COMMENTS
2	5/10/05	JCS	PLANNING COMMENTS
1	3/21/05	JCS	SITE PLAN AND BUILDING FOOT PRINT UPDATE



GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

DRB Chair
 3/14/07
 Date

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated June 17, 2005 and the findings and conditions in the Official Notification of Decision are satisfied.

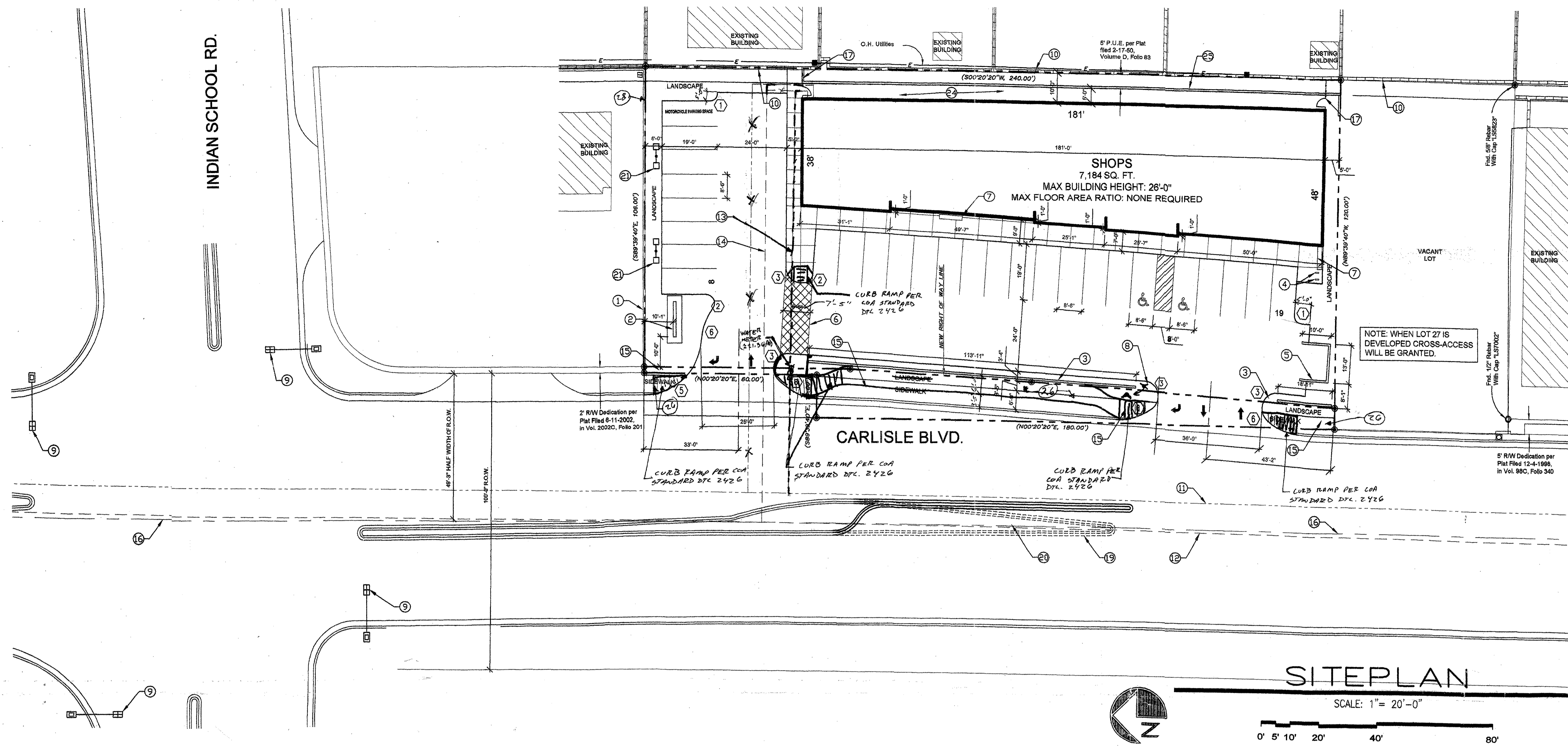
Is an Infrastructure List required? (X) YES () NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	_____	Date
Water Utility Department	_____	Date
Parks and Recreation Department	_____	Date
City Engineer	_____	Date
Environmental Health Department *(conditional)	_____	Date
Solid Waste Management	_____	Date
DRB Chairperson, Planning Department	_____	Date

* Environmental Health, if necessary

PROJECT TITLE CARLISLE SHOPS CARLISLE AND INDIAN SCHOOL Albuquerque, NM	DRAWN BY: JCS
PROJECT MANAGER George Rainhart, AIA	JOB NO. _____
SHEET TITLE OVERALL SITE PLAN	DATE: 02/03/05
	SCALE: AS1.1
	AS NOTED



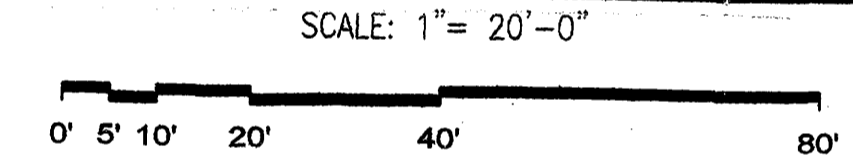
- KEYED NOTES**
- EXISTING CONCRETE WALL MONUMENT SIGN WITH PLANTER BASE
 - 3'-0" HIGH SPLIT FACE CMU SCREEN WALL
 - BICYCLE RACKS
 - DUMPSTER ENCLOSURE
 - CROSSWALK, COLORED AND TEXTURED CONCRETE
 - 8'-0" X 1'-6" BENCH
 - PROPOSED FIRE HYDRANT
 - EXISTING TRAFFIC SIGNAL
 - EXISTING CMU WALL. ADD CMU AS NEED TO MAKE 6'-0"
 - EXISTING 8" WATER LINE
 - EXISTING 8" SANITARY SEWER
 - PROPOSED WATER LINE WITH NEW WATER METER
 - PROPOSED SANITARY SEWER
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 - CENTERLINE OF CARLISLE R.O.W.
 - 6'-0" TALL WROUGHT IRON SECURITY FENCE WITH GATE
 - NOT USED
 - EXISTING CURB AND GUTTER TO BE REMOVED
 - NEW CURB AND GUTTER, PER WORK ORDER
 - SITE LIGHTING
 - 8" BROWN SPLIT FACE CMU
 - 4" BROWN SMOOTH FACE CMU CAP BLOCK
 - 5'-0" CONCRETE PEDESTRIAN PATHWAY
 - CMU RETAINING WALL
 - SIDEWALK PER COA STANDARD DETAILS 2420 & 2421 & 2426 FOR CURB RAMP
 - DRIVE PAD PER COA STANDARD DETAIL 2426
 - 6'-0" HIGH CMU SCREEN WALL. SEE DETAIL L FOR MATERIALS.

LEGAL DESCRIPTION
 LOTS 28 THROUGH 31, BLOCK A, ALTURA ADDITION.

SITE DATA
 PROPOSED USAGE: SU-1 FOR C-1
 LOT AREA: 27,933 SF (6412 ACRES)
 LANDSCAPE REQUIRED: 3,112 SF
 LANDSCAPE PROVIDED: 4,920 SF
 BUILDING AREA/PARKING:
 BUILDING: 7,184 SF
 7,184 SF/220 = 32.65 (TRANSIT ROUTE DEDUCTION) = 32
 SPACES REQUIRED: 32 SPACES
 SPACES PROVIDED: 27 SPACES
 2 HC SPACES PROVIDED
 BIKE SPACES REQUIRED (1/20): 2 SPACES
 BIKE SPACES PROVIDED: 2 SPACES

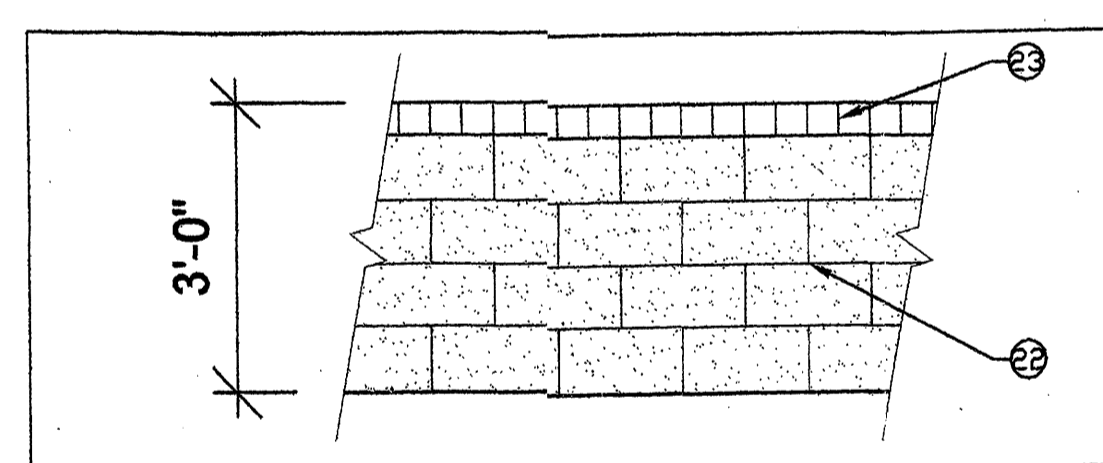
- RADIUS:**
- ① RADIUS = 2'-6"
 - ② RADIUS = 3'-0"
 - ③ RADIUS = 5'-0"
 - ④ RADIUS = 10'-0"
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 - ⑨ RADIUS = 50'-0"
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SITEPLAN

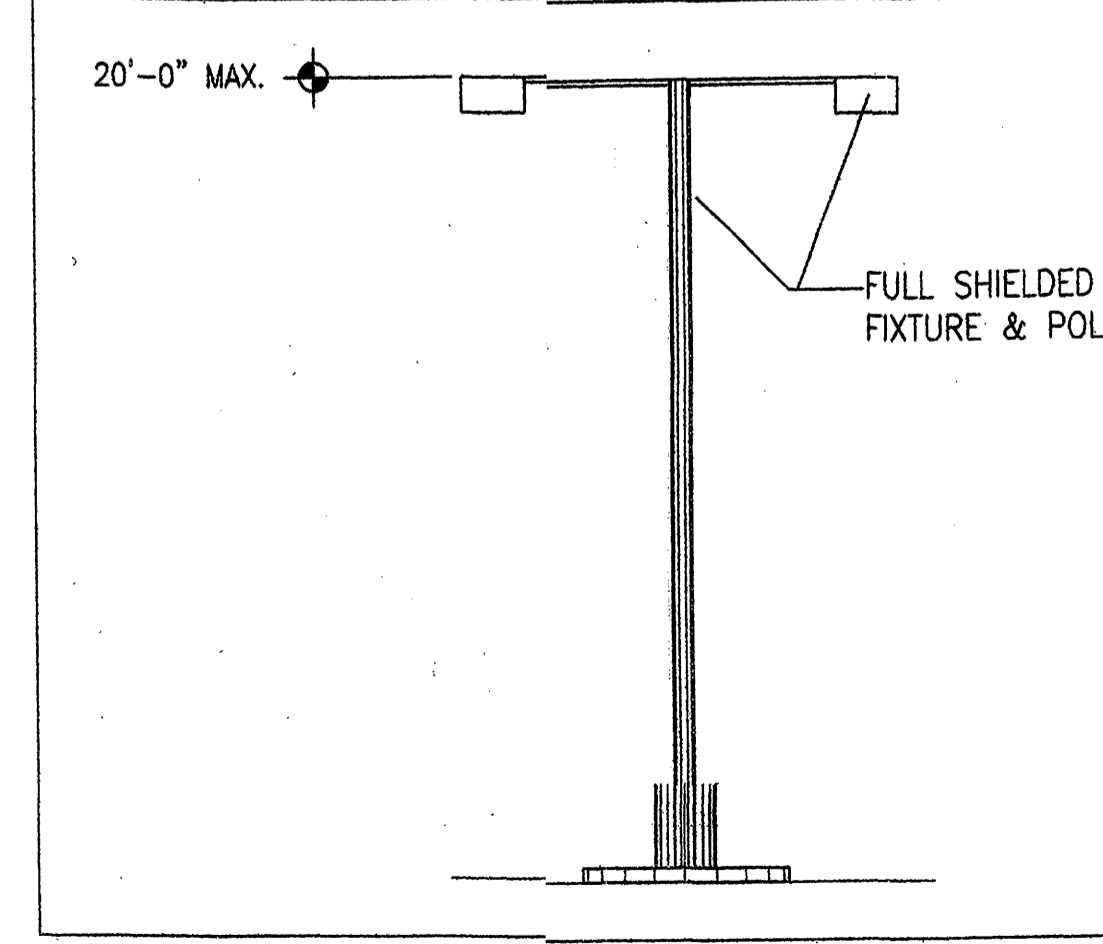


REV	DATE	BY	REVISION
1		JCS	ECP COMMENTS
2	7/1/05	JCS	PLANNING COMMENTS
3	9/10/05	JCS	SITE PLAN AND BUILDING FOOT PRINT UPDATE

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

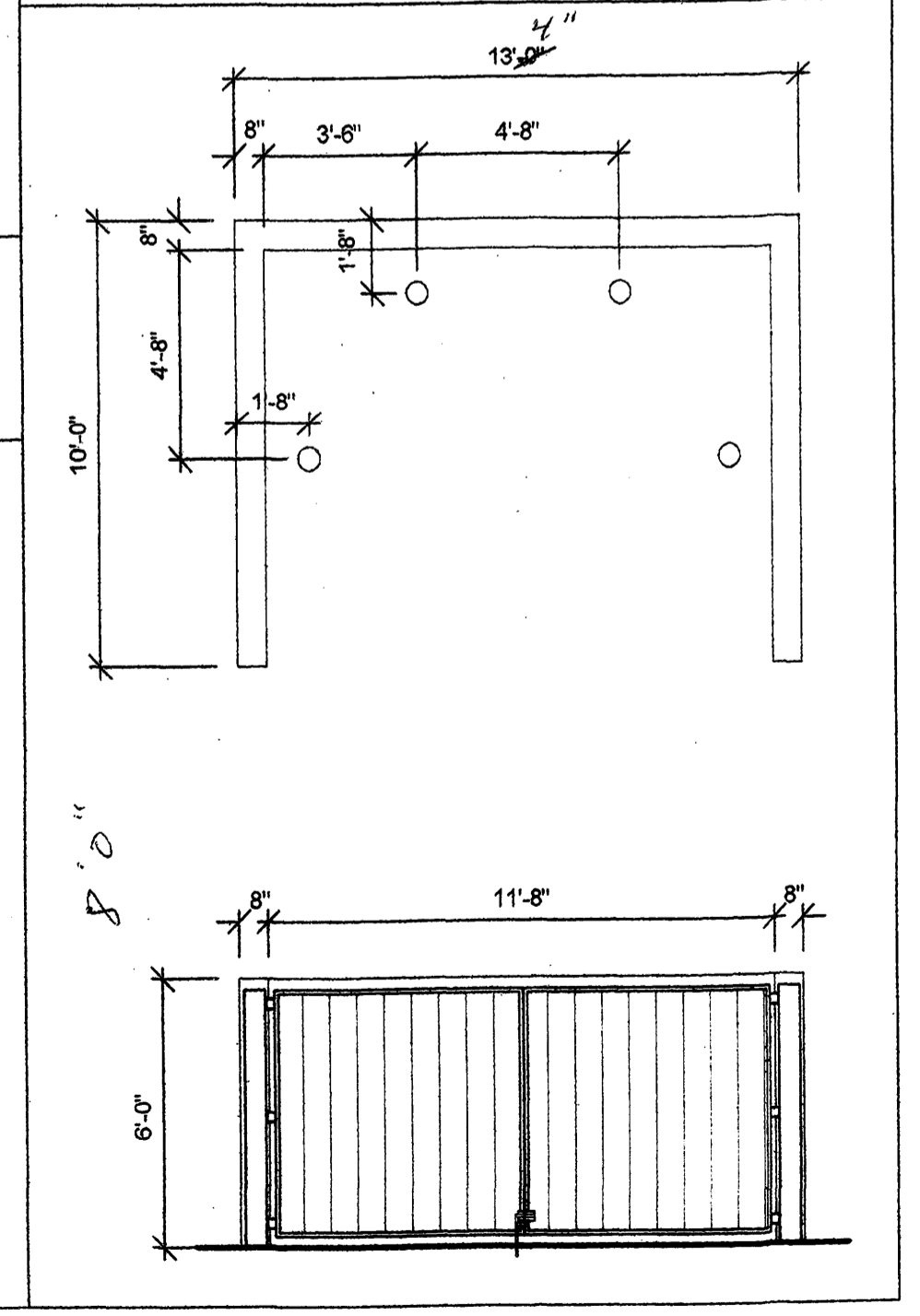


C SCREEN WALL
 N.T.S.



A SITE LIGHTING
 N.T.S.

NOTE: DUMPSTER ENCLOSURE TO MATCH SCREEN WALL MATERIAL AND CONSTRUCTION TYPE



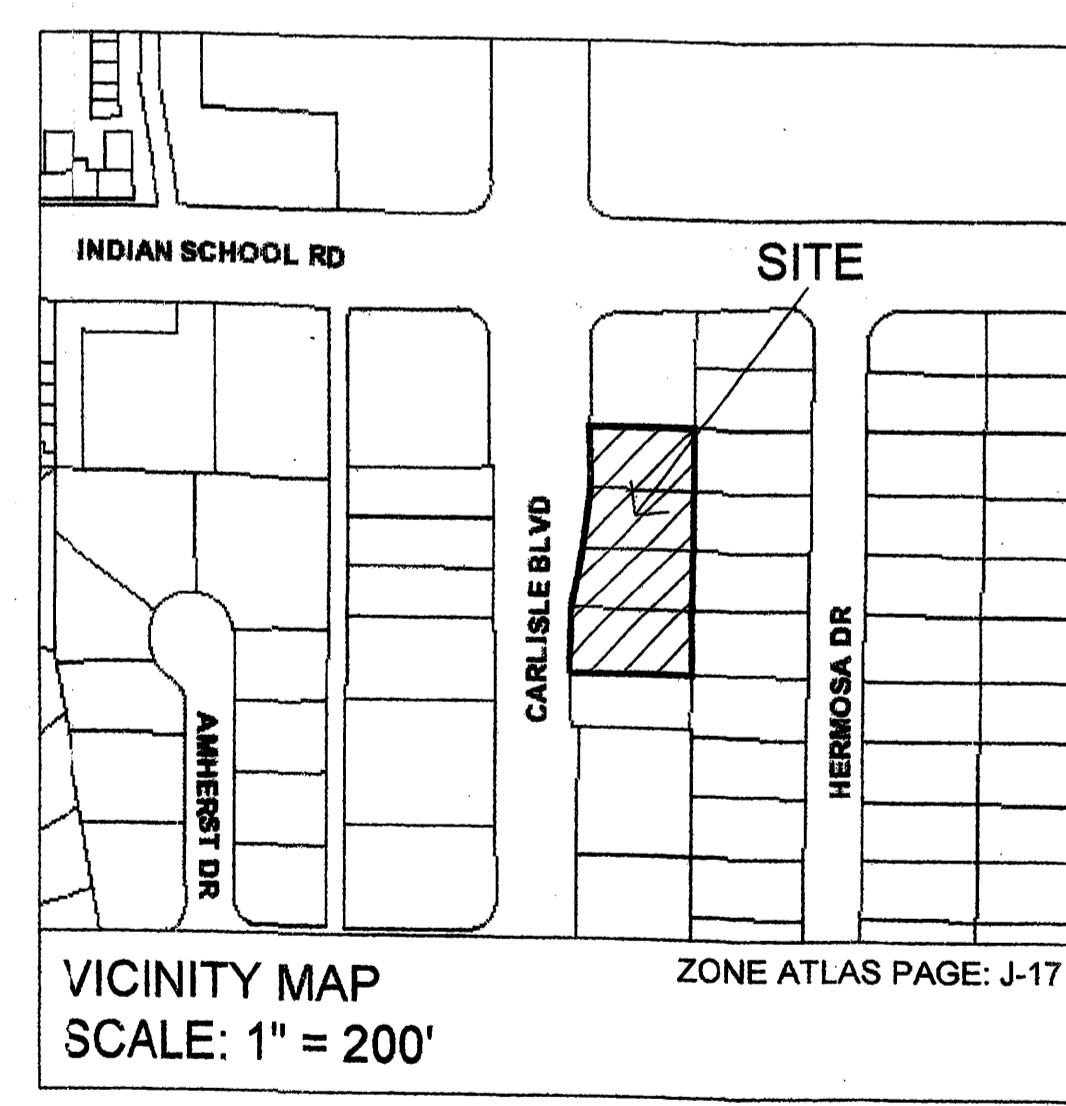
B DUMPSTER ENCLOSURE
 N.T.S.

NOTE: BOTH CARLISLE BLVD AND INDIAN SCHOOL RD HAVE EXISTING BUS ROUTES. THERE IS AN EXISTING BIKE LANE ON CARLISLE BLVD.

ZONING:
 SU-1 FOR C-1 WITH THE FOLLOWING EXCLUSIONS AND MODIFICATIONS

EXCLUSIONS:
 A. OUTDOOR RESTAURANT SEATING
 B. LIQUOR SALES IN CONJUNCTION WITH A RESTAURANT
 C. GASOLINE SERVICE STATION
 D. OUTSIDE SALES OF GAS, OIL, OR LIQUEFIED PETROLEUM
 E. ON PREMISE AUTOMOBILE AND MOTORIZED BICYCLE (MOPED) REPAIR AND BODY WORK
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 L. ANTENNAE EXCEEDING 66 FEET IN HEIGHT
 M. COMMUNITY RESIDENTIAL PROGRAM IN ACCORDANCE WITH SECTION 14.16.2.16.B.2 OF THE ZONING CODE
 N. AUTO TRAILER AND TRUCK RENTAL, SERVICE AND STORAGE
 O. DRIVE-UP SERVICE WINDOWS AND DRIVE THRU FACILITIES INCLUDING BANKING FACILITIES
 P. FIREWORKS SALES
 Q. GAMES WITHIN A COMPLETELY ENCLOSED BUILDING, OPERATED FOR PROFIT AND NOT A PERMISSIVE C-1 USE
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MODIFICATIONS:
 A. BICYCLE REPAIR, PROVIDED IT IS DONE WITHIN A COMPLETELY ENCLOSED BUILDING
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 C. ELECTRONIC AND PINBALL GAME ROOMS WITHIN A COMPLETELY ENCLOSED BUILDING AND WITH NO MORE THAN FOUR GAME MACHINES PER BUSINESS



APD PLANS CHECKING OFFICE
 924-3611
 APPROVED/DISAPPROVED
 SIGNATURE & DATE

PROJECT NUMBER: 1003801
 APPLICATION NUMBER: 05DRB-01180

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated June 17, 2003 and the findings and conditions in the Official Notification of Decision are satisfied.

is an Infrastructure List required? (X) YES () NO If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Transportation Division	7-6-05	Date
Water Utility Department	8-18-05	Date
Parks and Recreation Department	7-27-05	Date
City Engineer	7-27-05	Date
Environmental Health Department *(conditional)		Date
Solid Waste Management	7-27-05	Date
DRB Chairperson, Planning Department	7/27/05	Date

* Environmental Health, if necessary

PROJECT TITLE: CARLISLE SHOPS
 CARLISLE AND INDIAN SCHOOL
 ALBUQUERQUE, NM

PROJECT MANAGER: George Rainhart, AIA

DATE: 02/03/05

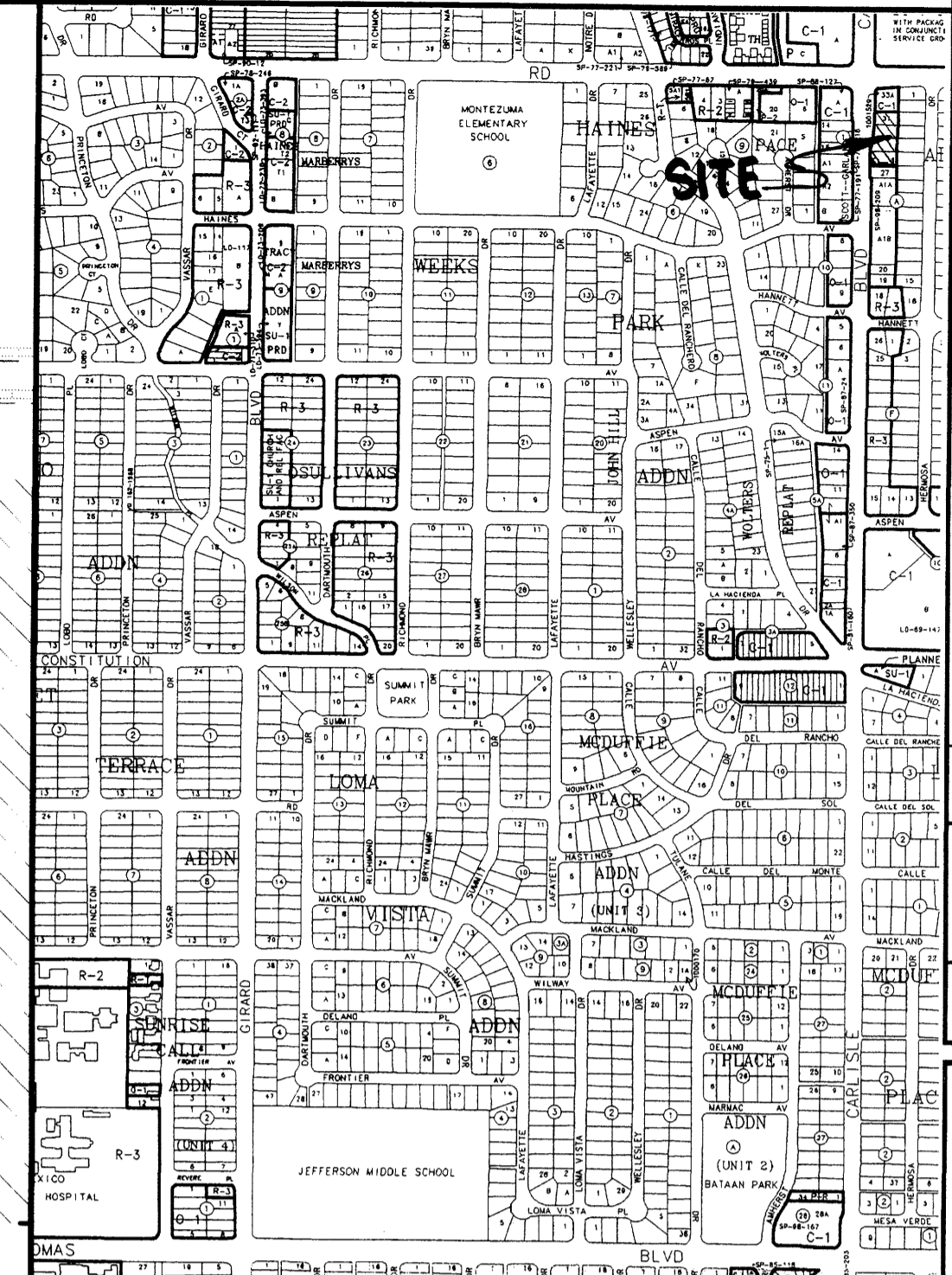
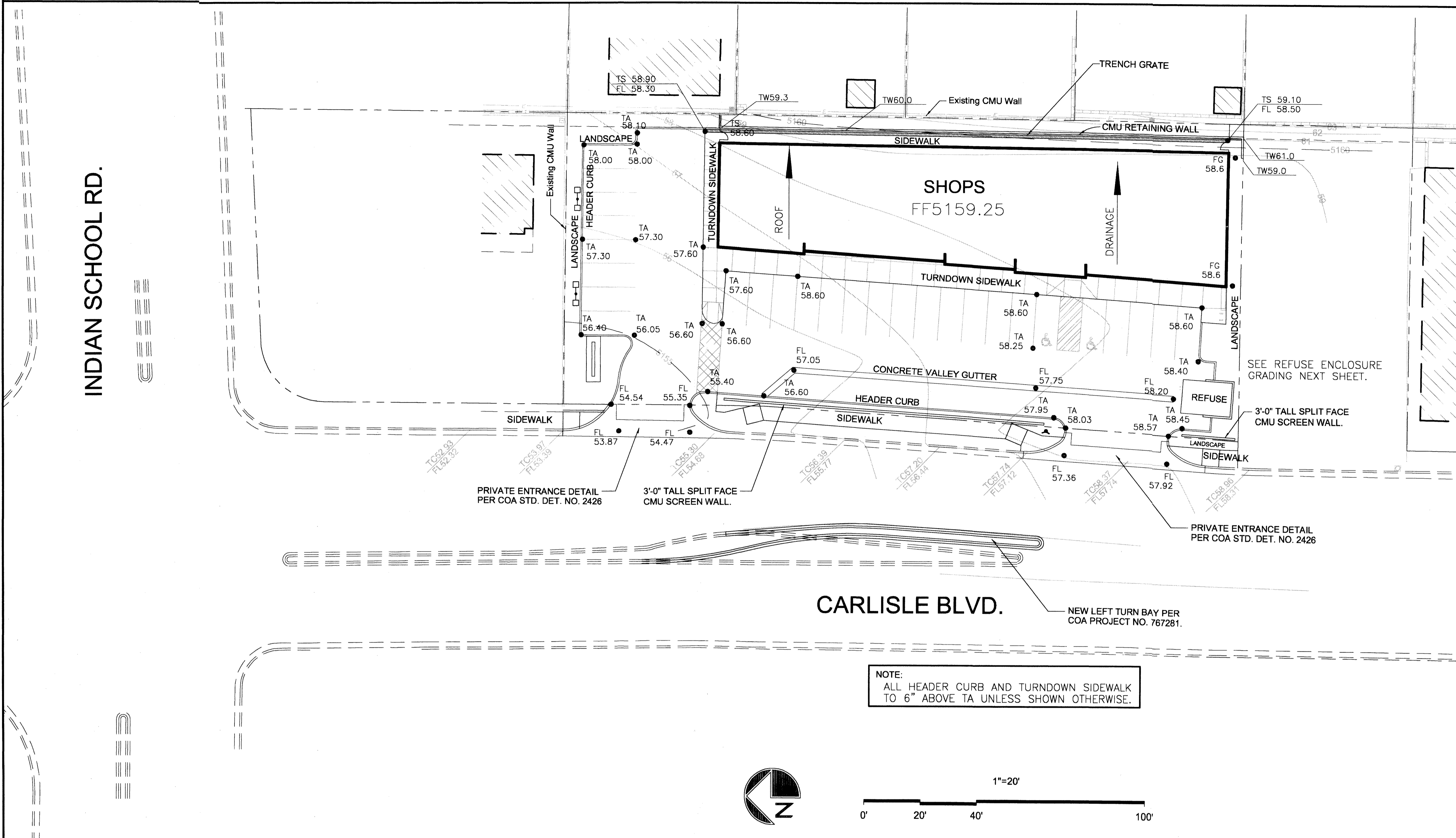
SCALE: AS NOTED

SHEET: AS1

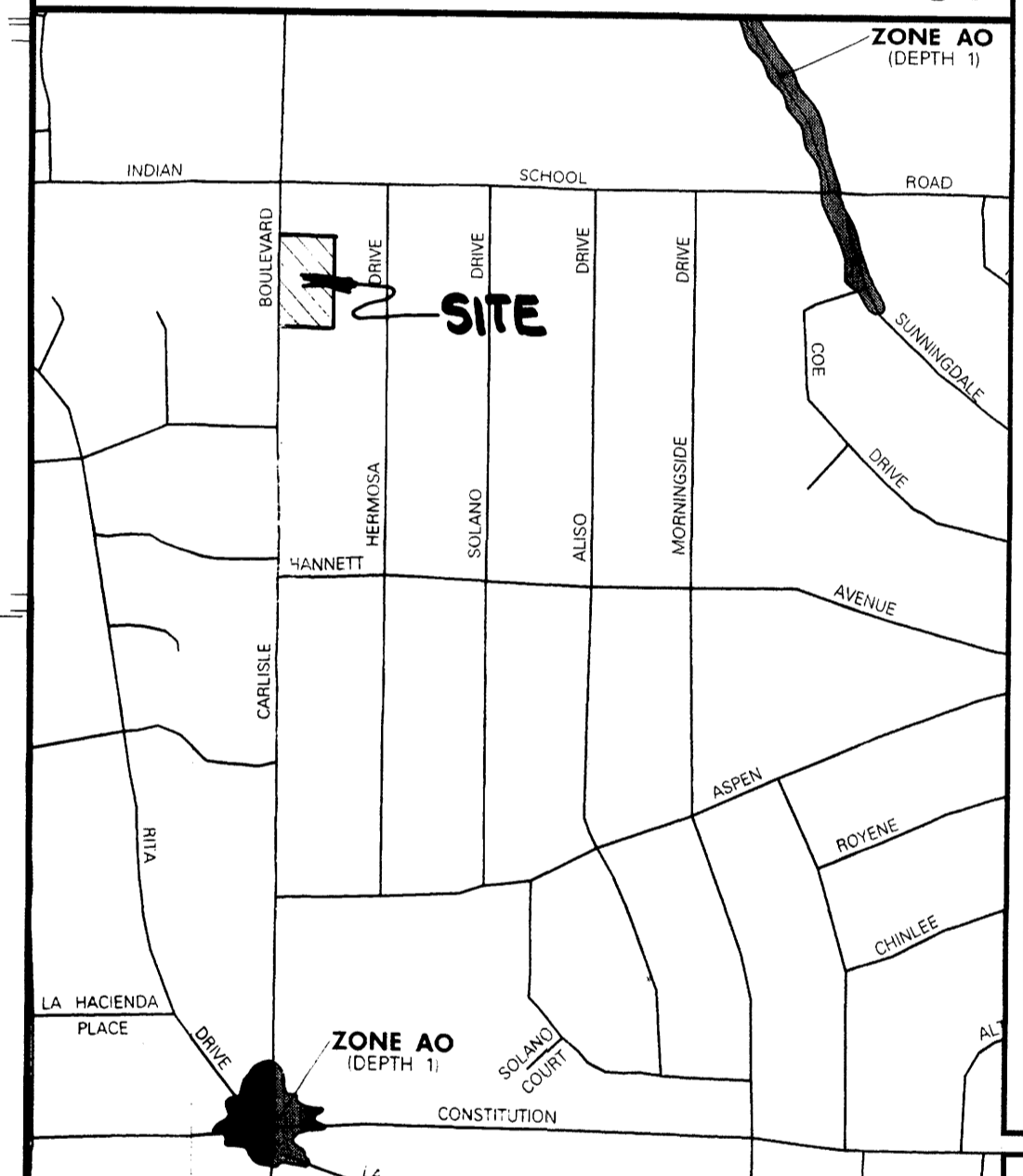
SITE PLAN FOR BLD. PERMIT

GRADING PLAN

VICINITY MAP NO. J-16



FEMA FIRM PANEL NO. 351



REV	DATE	BY	REVISION
6			
5			
4			
3			

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

NOTE:
 ALL HEADER CURB AND TURNDOWN SIDEWALK TO 6" ABOVE TA UNLESS SHOWN OTHERWISE.

DRAINAGE DATA

CONDITION	STORM RETURN PERIOD - year	TREATMENT TYPE (table 4)	TREATMENT AREA - sq. ft.	EXCESS PRECIPITATION (table 8) - in.	PEAK RUNOFF (table 9) - cfs/acre	RUNOFF VOLUME - cu. ft.	RUNOFF RATE - cfs	Worksheet Flow Element Method Solve For
EXISTING	10	A	0	0.13	0.38	0	0.00	Input Data Slope 001000 ft/ft Water Surface Elev 10.12 ft
		B	24008	0.28	0.95	560	0.52	
		C	1687	0.52	1.71	73	0.07	
		D	0	1.34	3.14	0	0.00	
		TOTAL	25695			633	0.59	
		100	A	0	0.53	1.56	0	
B	24008	0.78	2.28	1561	1.26			
C	1687	1.13	3.14	159	0.12			
D	0	2.12	4.7	0	0.00			
TOTAL	25695			1719	1.38			
100	A	0	0.53	1.56	0	0.00	Results Manning's Coefficient 0.013 Discharge 1.09 cfs Flow Area 1.0 ft² Wetted Perimeter 6.30 ft Top Width 5.01 ft Actual Depth 0.70 ft Critical Elevation 9.76 ft Critical Slope 0.006980 ft/ft Velocity 1.07 ft/s Velocity Head 0.02 ft Specific Energy 10.14 ft Froude Number 0.42 Flow Type Subcritical	
B	2285	0.78	2.28	149	0.12			
C	300	1.13	3.14	28	0.02			
D	23110	2.12	4.7	4083	2.49			
TOTAL	25695			4260	2.63			
100	A	0	0.53	1.56	0	0.00		
B	0	0.78	2.28	0	0.00			
C	0	1.13	3.14	0	0.00			
D	0	1.34	3.14	0	0.00			
TOTAL	7814			1380	0.84			
100	A	0	0.53	1.56	0	0.00		
B	0	0.78	2.28	0	0.00			
C	0	1.13	3.14	0	0.00			
D	0	1.34	3.14	0	0.00			
TOTAL	7814			1380	0.84			

LEGAL DESCRIPTION

LOT 28A, BLOCK A, ALTURA ADDITION

PERMANENT BENCHMARK
 ACS "2-H16" ELEVATION 5147.44 (NGVD 1929)

ENGINEER'S CERTIFICATION
 I, Jean J. Bordenave, New Mexico Professional Engineer and Land Surveyor No. 5110, hereby certify that I have personally inspected the property shown herein and that it appears that no grading, filling or excavation has occurred thereon since the contour map shown herein was prepared.

Jean J. Bordenave
 Jean J. Bordenave, NM PE & PS No. 5110

SITE CONDITIONS

EXISTING
 THE EXISTING SITE IS BOUNDED ON THE EAST AND NORTH BY EXISTING CMU WALLS. THERE IS NO OFFSITE FLOW.

THE SITE SLOPES GENTLY DOWNWARD FROM SOUTHEAST TO NORTHWEST WITH A STEEPLY GRADED PORTION IMMEDIATELY WEST OF THE EASTERLY PROPERTY LINE. PROPERTIES EAST AND NORTH OF THE SITE ARE PRESENTLY DEVELOPED AND DRAINAGE IS DIRECTED AWAY FROM THE PROPOSED SITE. THERE IS A SMALL PARCEL TO THE SOUTH THAT IS UNDEVELOPED. THIS PARCEL PRESENTLY DRAINS FROM SOUTHEAST TO NORTHWEST AND A PORTION OF THIS FLOW ENTERS THE PROPOSED SITE.

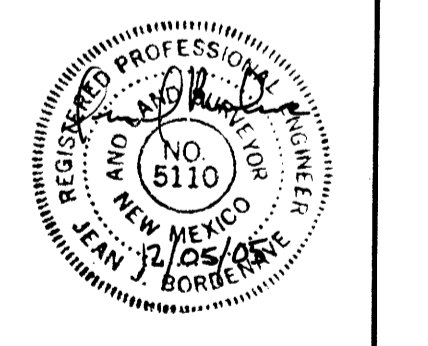
PROPOSED
 THE SITE GRADING WILL BE DEVELOPED TO DIRECT ALL INTERNALLY GENERATED FLOWS TO CARLISLE BLVD. VIA THE NORTHERLY DRIVEWAY.

ALL FLOWS GENERATED ONSITE BY IMPERVIOUS SURFACES ARE ROUTED TO REMAIN ON IMPERVIOUS SURFACES TO THE POINT OF DISCHARGE.

THE OFFSITE FLOWS FROM THE PARCEL TO THE SOUTH OF THE PROPOSED DEVELOPMENT WILL BE ACCEPTED BY THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT THE SOUTHERLY PARCEL IS DEVELOPED.

LEGEND

- TBM TEMPORARY BENCHMARK
- FF FINISH FLOOR
- FG FINISH GRADE
- FL FLOWLINE
- TA TOP OF ASPHALT
- TCP TOP OF CONCRETE
- TC TOP OF CURB
- TP TOP OF EARTH PAD
- TS TOP OF SIDEWALK
- TW TOP OF WALL
- FH FIRE HYDRANT
- WM WATER METER
- WV WATER VALVE
- LP LIGHT POLE
- PP POWER POLE
- GW GUY WIRE
- PED ELEC. OR TEL. PEDESTAL
- RD ROOF DRAINAGE POINT
- EXISTING CONTOUR
- PROPOSED CONTOUR
- XXX.XX EXISTING SPOT ELEVATION
- XX.XX PROPOSED SPOT ELEVATION
- XX.XX RECORD SPOT ELEVATION
- XX.XX



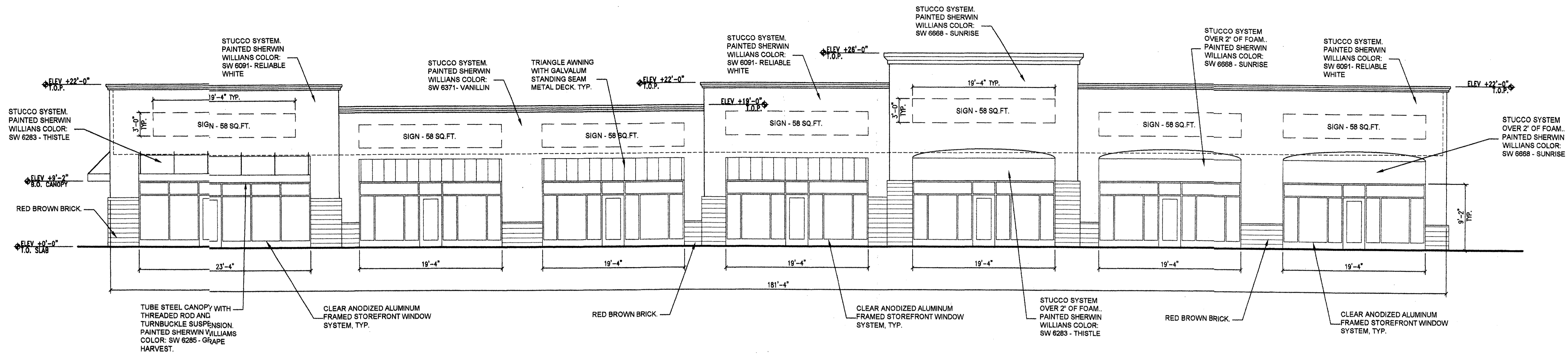
PROJECT TITLE
CARLISLE SHOPS
 CARLISLE AND INDIAN SCHOOL
 ALBUQUERQUE, NM

PROJECT MANAGER
 George Rainhart, AIA

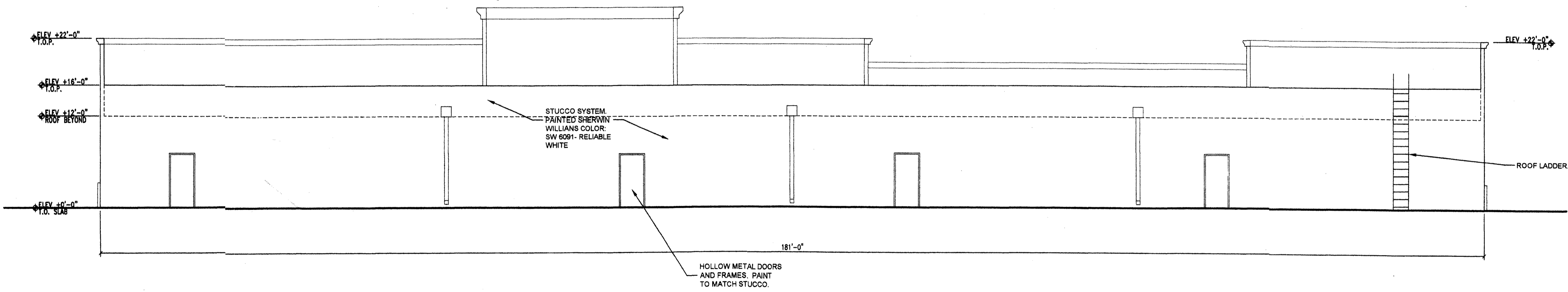
JOB NO. 0515
 DRAWN BY: JUB

SHEET TITLE
GRADING PLAN

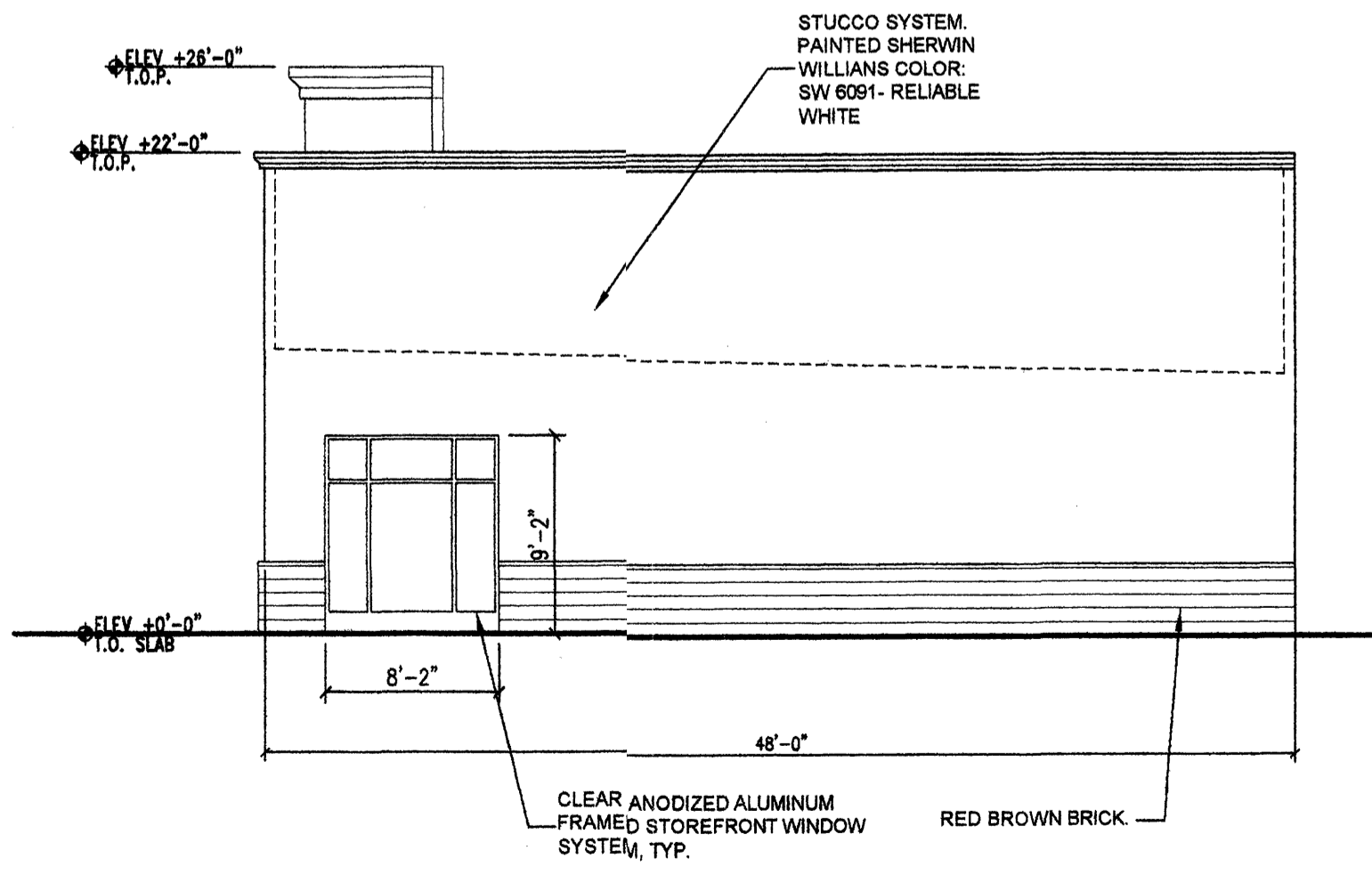
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 SHEET: C1
 OF: 1



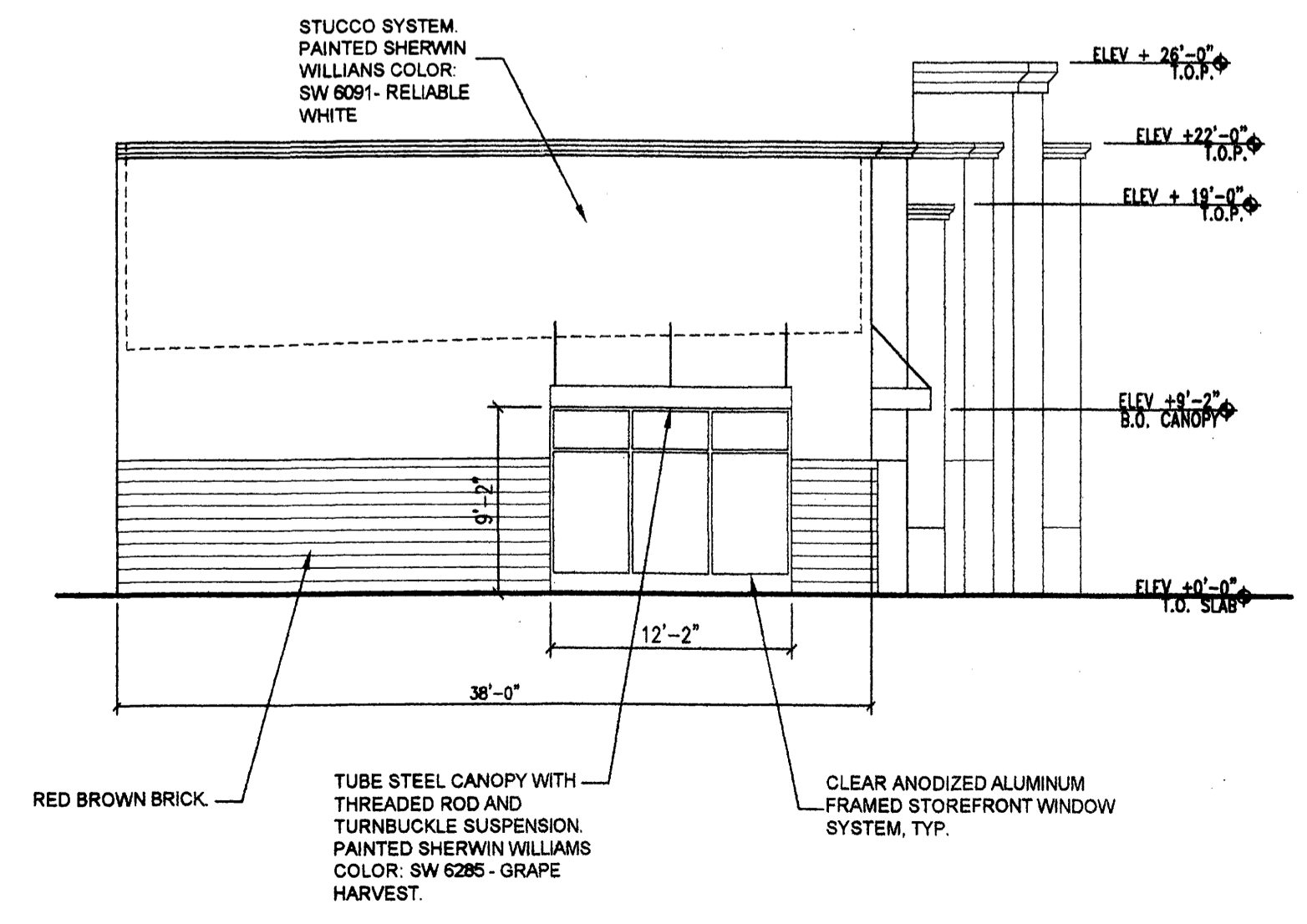
A WEST ELEVATION
1/8" = 1'-0"



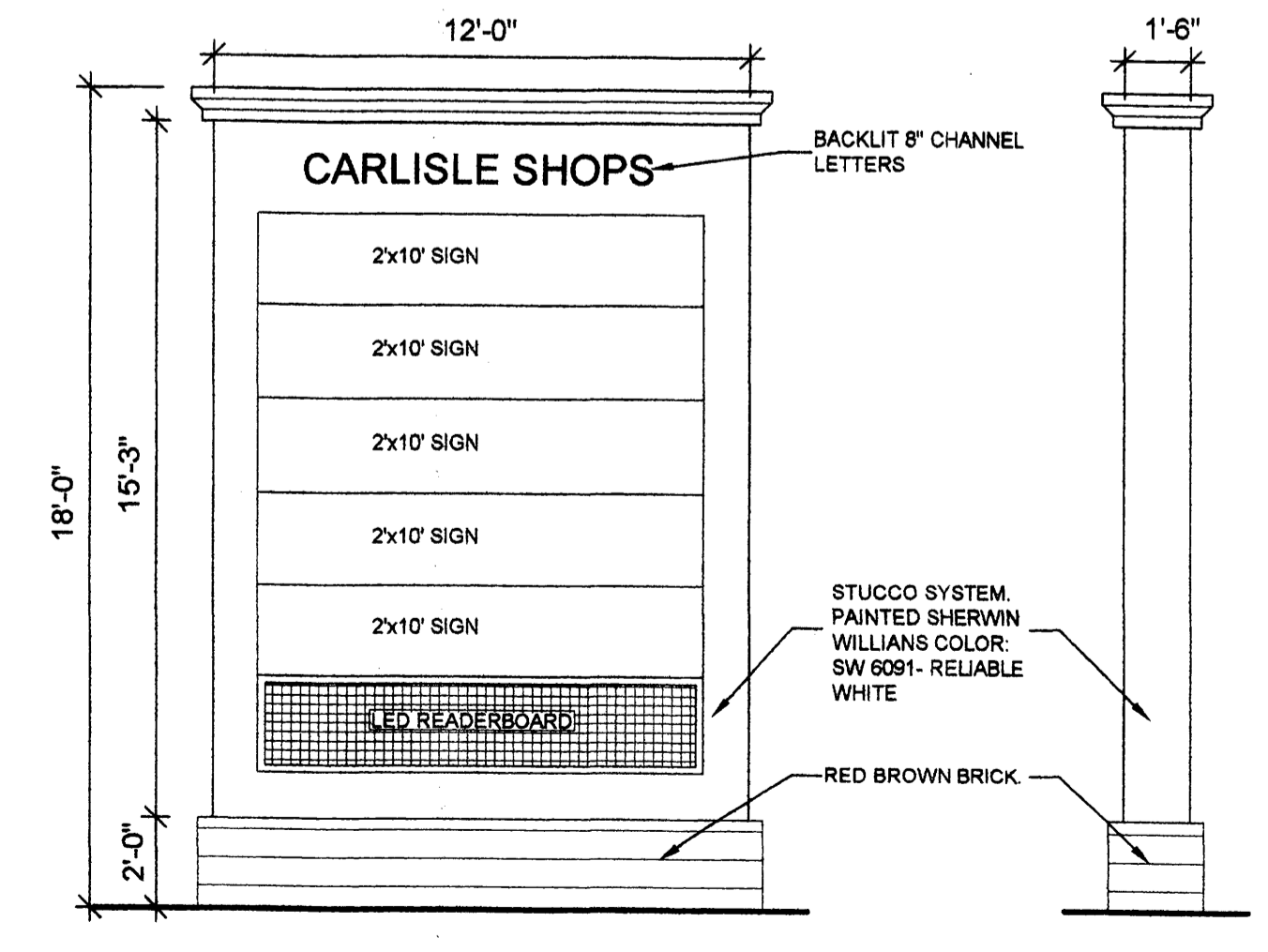
B EAST ELEVATION
1/8" = 1'-0"



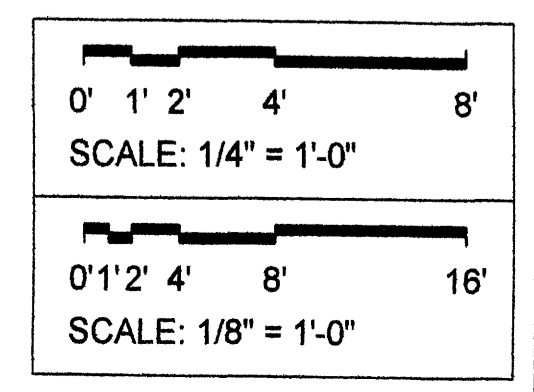
C SOUTH ELEVATION
1/8" = 1'-0"




D NORTH ELEVATION
1/8" = 1'-0"



E MONUMENT SIGN
1/4" = 1'-0"



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GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 864-9110 FAX (505) 837-9877

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 CARLISLE AND INDIAN SCHOOL
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JOB NO.
 DRAWN BY:
 JCS

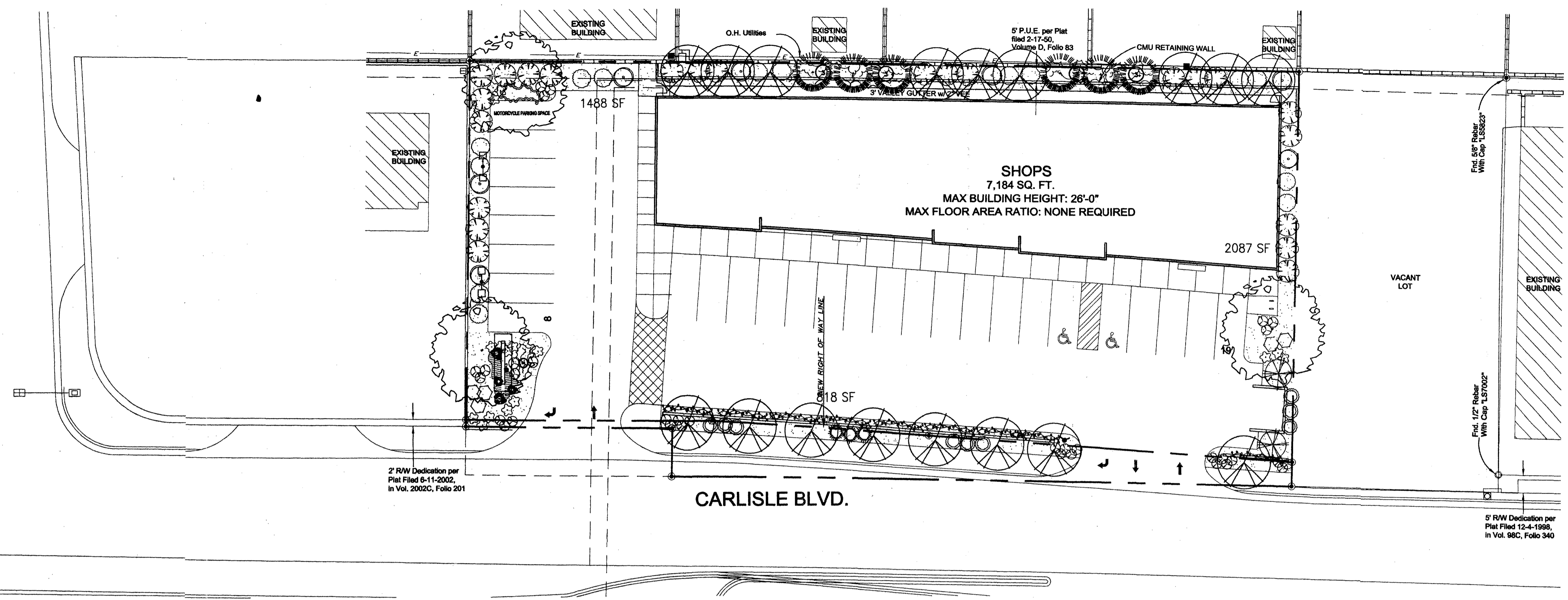
SHEET TITLE
BUILDING ELEVATIONS

DATE:
 02/03/05

SCALE:
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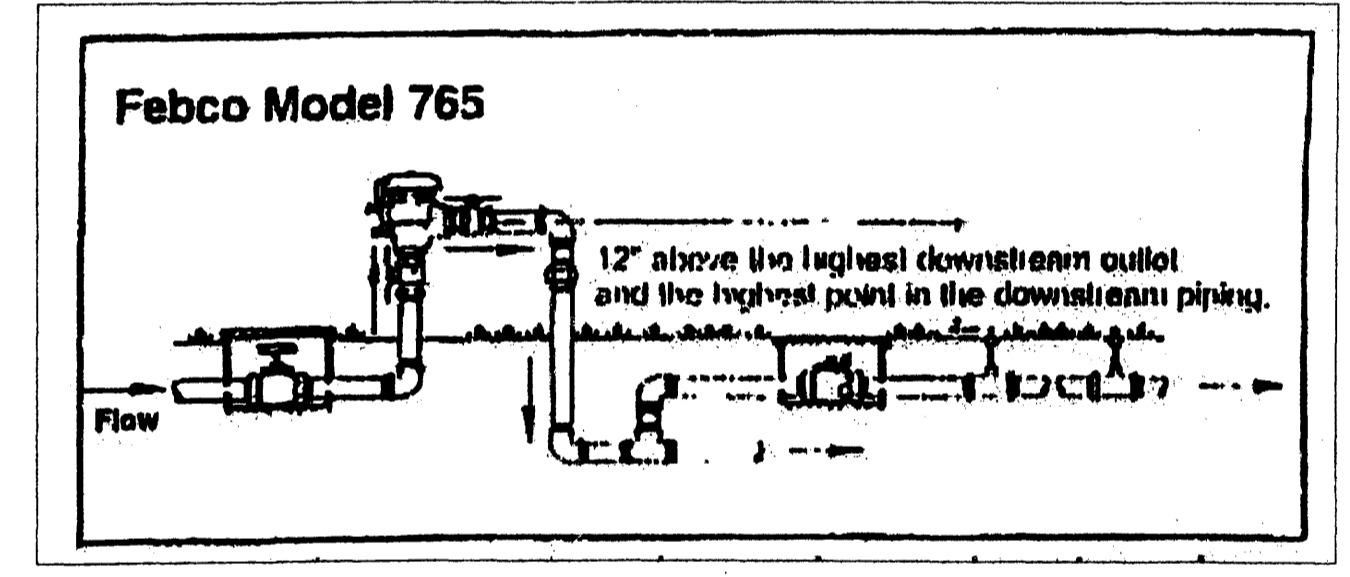
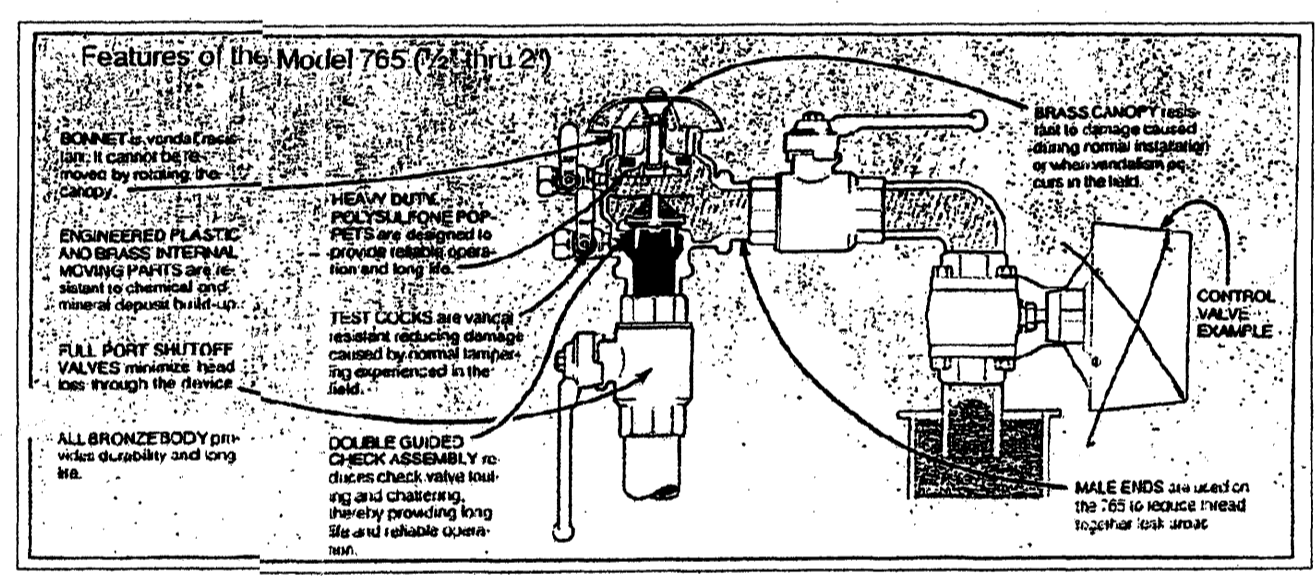
INDIAN SCHOOL RD.



PLANT LEGEND

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|--|---|------------|
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<i>Fraxinus pennsylvanica</i>
<i>Oledisia triacanthos</i>
2" Cal. | 60'-80' |
| | FLOWERING PEAR (M+) 23
<i>Pyrus calleryana</i>
2" Cal. | 25' |
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<i>Juniperus chinensis 'Spearmint'</i>
6-8' | 15' |
| | * SILVERBERRY (M) 2
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5 Gal. 100sf | |
| | RUSSIAN SAGE (M) 7
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<i>Rosmarinus officinalis</i>
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<i>Potentilla fruticosa</i>
2 Gal. 9sf | |
| | WILDFLOWER 33
1 Gal. 4sf | |
| | HONEYSUCKLE (M) 8
<i>Lonicera sempervirens</i>
1 Gal. 144 sf | |
| | * CREEPING ROSEMARY (L) 15
<i>Rosmarinus officinalis 'Prostrata'</i>
1 Gal. 36sf
Symbol indicates 3 plants | |
| | TRUMPET VINE (M) 9
<i>Campsis radicans</i>
1 Gal. | |
| | OVERSIZED GRAVEL
& 5 BOULDERS | |
| | NATURAL EDGE | |
| | SANTA FE BROWN GRAVEL
WITH FILTER FABRIC | |

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Water and Power source shall be the responsibility of the Developer/Builder.

LANDSCAPE CALCULATIONS

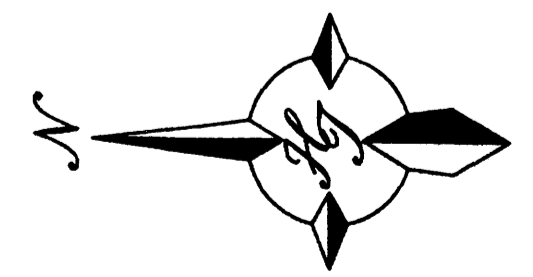
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TOTAL BED PROVIDED	4393	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	3295	square feet
TOTAL GROUNDCOVER PROVIDED	3471	square feet
TOTAL LANDSCAPE PROVIDED	4393	square feet

STREET TREE REQUIREMENTS

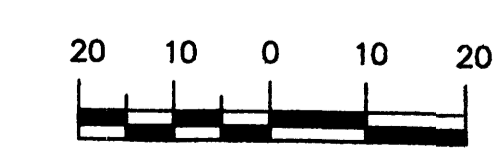
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Name of Street Carlisle Blvd.
Required # 8 Provided # 8

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.



GRAPHIC SCALE



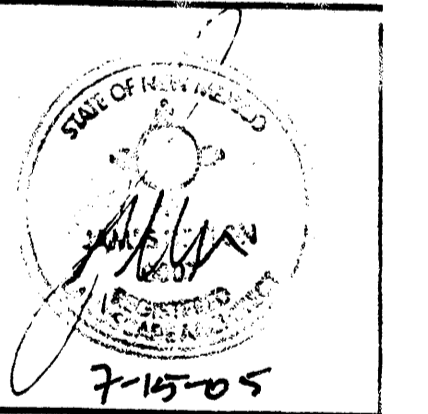
SCALE: 1"=20'-0"



LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cjohnson@hilltoplandscaping.com

REV	DATE	BY	REVISION
A			
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GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
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PROJECT TITLE
CARLISLE SHOPS
CARLISLE AND INDIAN SCHOOL
Albuquerque, NM

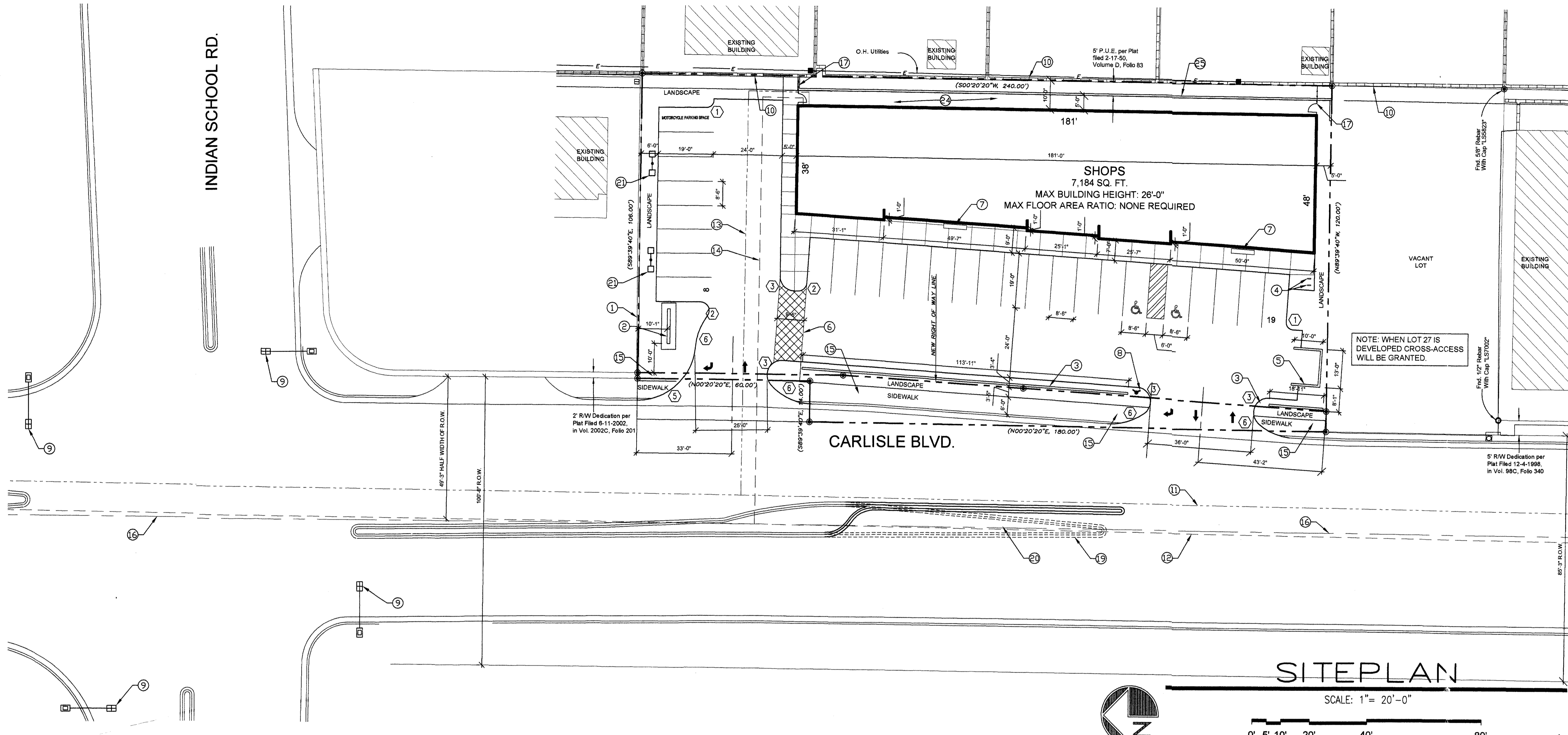
PROJECT MANAGER
George Rainhart, AIA

DRAWN BY
JCS

JOB NO.

SHEET TITLE
LANDSCAPE PLAN

DATE: 4/29/05	sheet: 1 of 1
SCALE: 1"=20'	of:



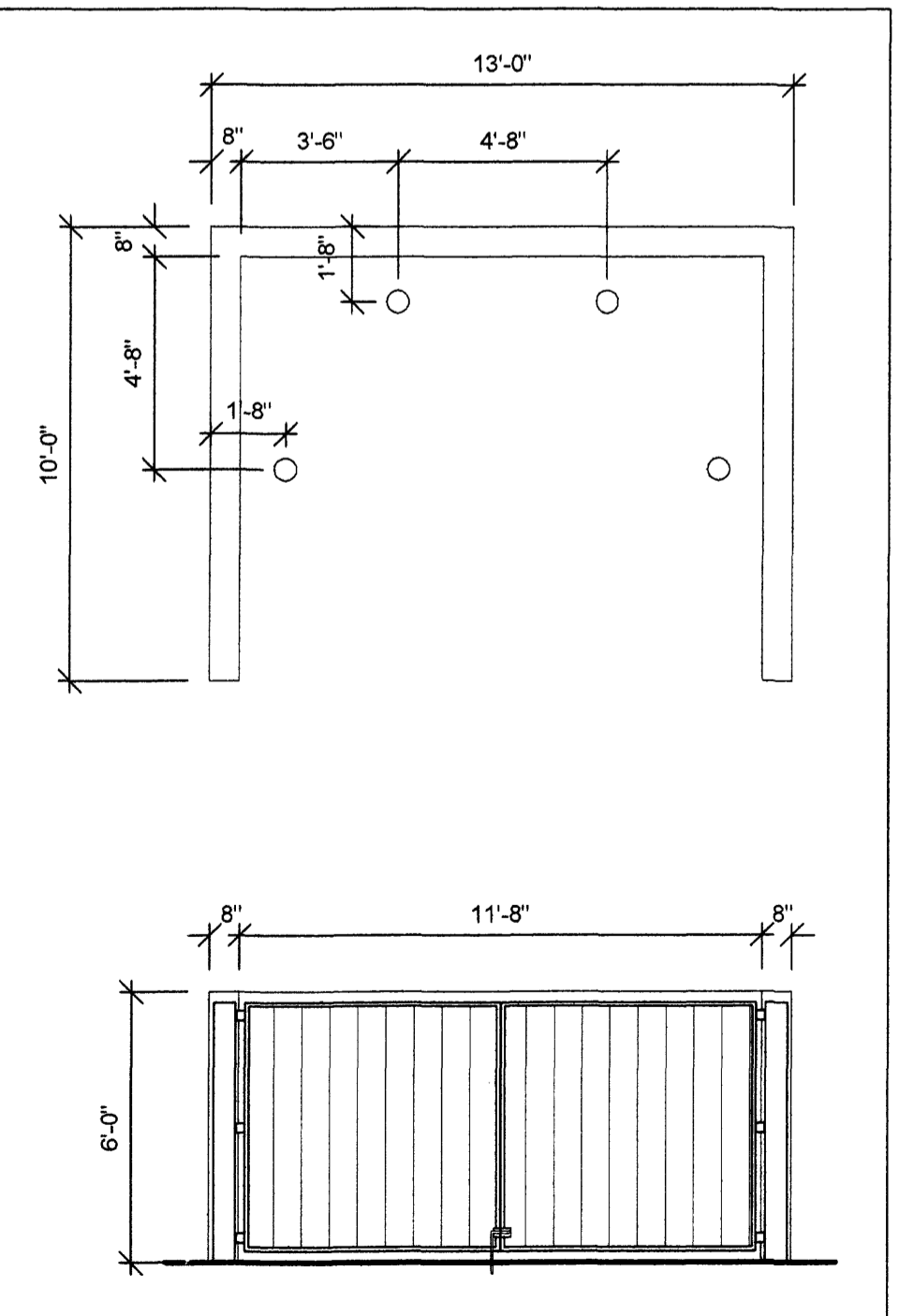
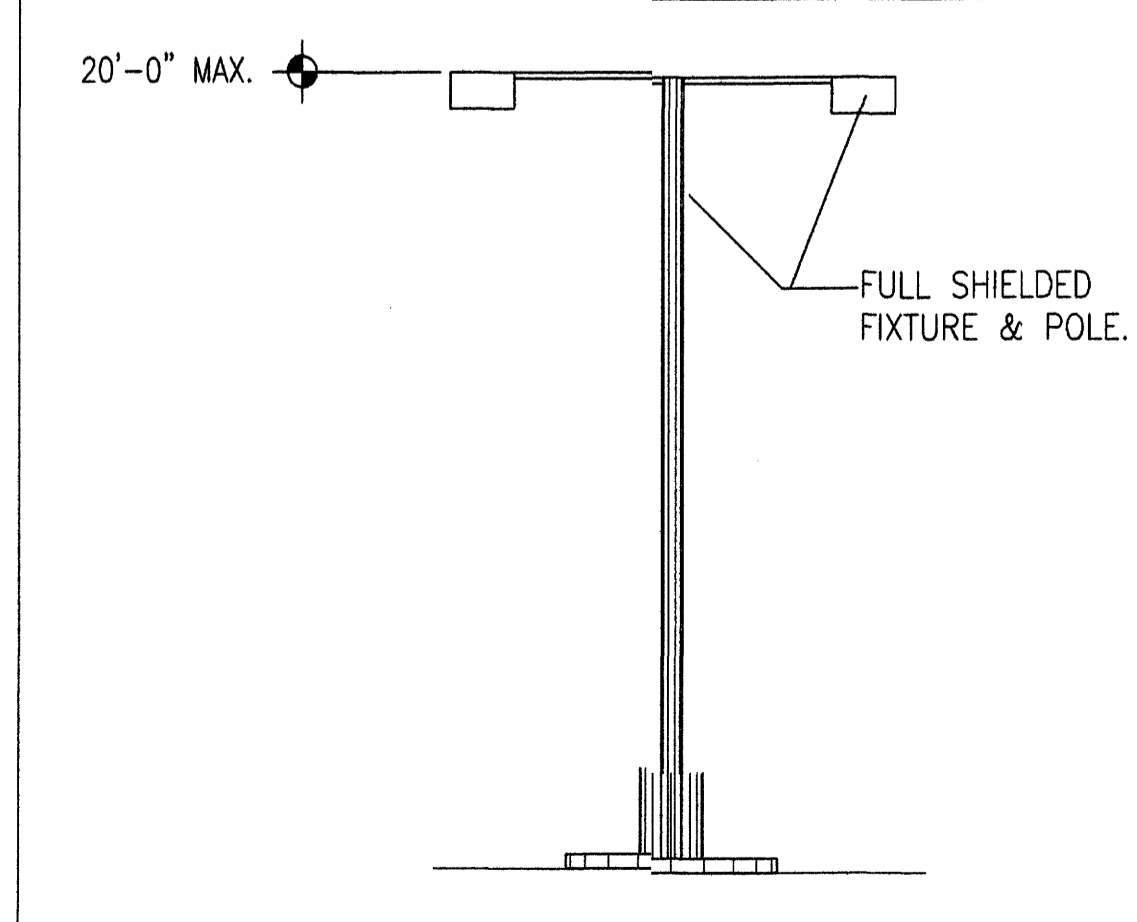
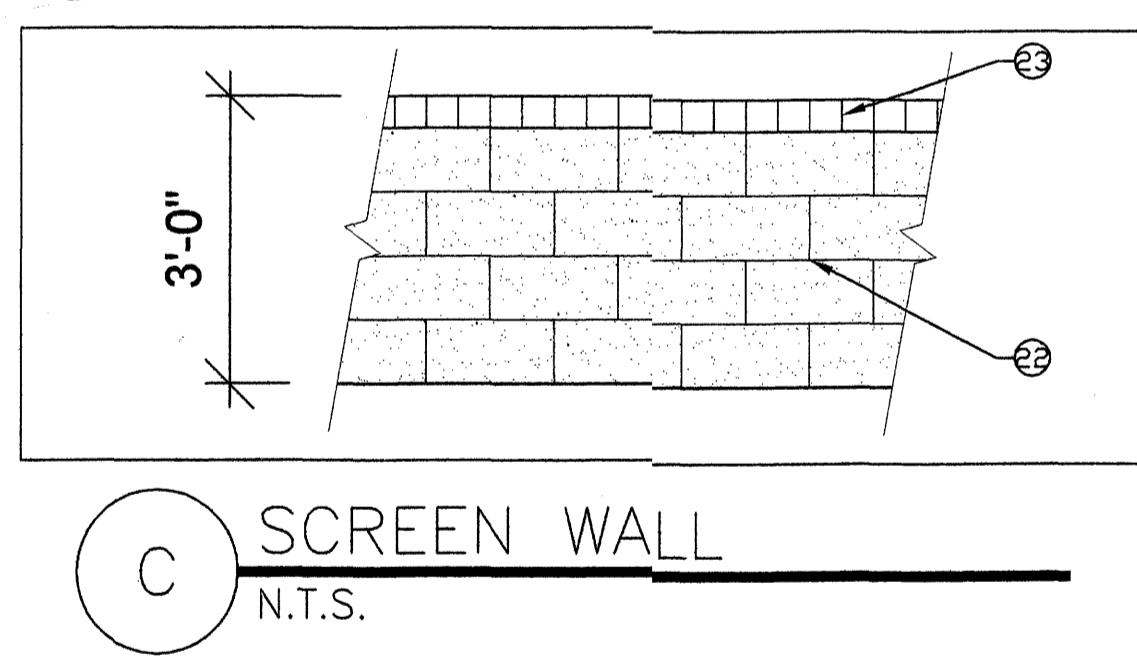
- KEYED NOTES**
- EXISTING CONCRETE WALL
 - MONUMENT SIGN WITH PLANTER BASE
 - 3'-0" HIGH SPLIT FACE CMU SCREEN WALL
 - BICYCLE RACKS
 - DUMPSTER ENCLOSURE
 - CROSSWALK, COLORED AND TEXTURED CONCRETE
 - 8'-0" x 1'-6" BENCH
 - PROPOSED FIRE HYDRANT
 - EXISTING TRAFFIC SIGNAL
 - EXISTING CMU WALL. ADD CMU AS NEEDED TO MAKE 6'-0"
 - EXISTING 6" WATER LINE
 - EXISTING 8" SANITARY SEWER
 - PROPOSED WATER LINE
 - PROPOSED SANITARY SEWER
 - PROPOSED FUTURE R.O.W. DEDICATION
 - CENTERLINE OF CARLISLE R.O.W.
 - 6'-0" TALL WROUGHT IRON SECURITY FENCE WITH GATE
 - NOT USED
 - EXISTING CURB AND GUTTER TO BE REMOVED
 - NEW CURB AND GUTTER
 - SITE LIGHTING
 - 8" SPLIT FACE CMU
 - 4" SMOOTH FACE CMU CAP BLOCK
 - 5'-0" CONCRETE PEDESTRIAN PATHWAY
 - CMU RETAINING WALL

LEGAL DESCRIPTION
 LOTS 28 THROUGH 31, BLOCK A, ALTURA ADDITION.

SITE DATA
 PROPOSED USAGE: SU-1 FOR C-1
 LOT AREA: 27,933 SF (6412 ACRES)
 LANDSCAPE REQUIRED: 3,112 SF
 LANDSCAPE PROVIDED: 4,920 SF
 BUILDING AREA/PARKING:
 BUILDING: 7,184 SF
 7,184 SF/220 = 32 - 10% (TRANSIT ROUTE DEDUCTION) = 32
 SPACES REQUIRED 32 SPACES
 SPACES PROVIDED 27 SPACES
 2 HC SPACES PROVIDED
 BIKE SPACES REQUIRED 11/20; 2 SPACES
 BIKE SPACES PROVIDED 2 SPACES

RADIUS:

① RADIUS = 2'-6"	⑥ RADIUS = 20'-0"
② RADIUS = 3'-0"	⑦ RADIUS = 25'-0"
③ RADIUS = 5'-0"	⑧ RADIUS = 30'-0"
④ RADIUS = 10'-0"	⑨ RADIUS = 50'-0"
⑤ RADIUS = 15'-0"	⑩ RADIUS = 65'-0"
	⑪ RADIUS = 100'-0"



NOTE: BOTH CARLISLE BLVD AND INDIAN SCHOOL RD HAVE EXISTING BUS ROUTES. THERE IS AN EXISTING BIKE LANE ON CARLISLE BLVD.

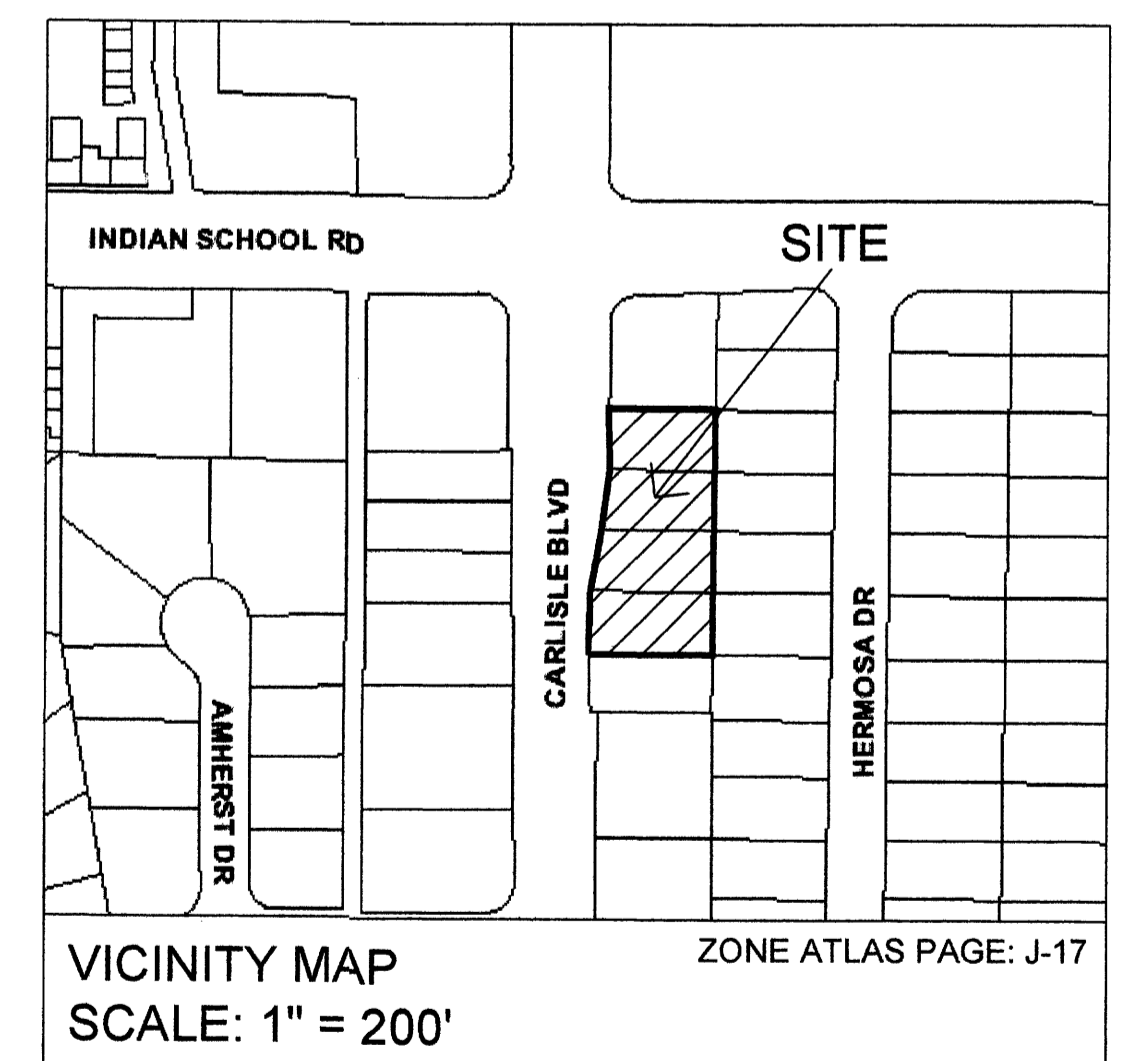
ZONING:
 SU-1 FOR C-1 WITH THE FOLLOWING EXCLUSIONS AND MODIFICATIONS

EXCLUSIONS:

- OUTDOOR RESTAURANT SEATING
- LIQUOR SALES IN CONJUNCTION WITH A RESTAURANT
- GASOLINE SERVICE STATION
- OUTSIDE SALES OF GAS, OIL, OR LIQUEFIED PETROLEUM
- ON PREMISE AUTOMOBILE AND MOTORIZED BICYCLE (MOPED) REPAIR AND BODY WORK
- PAWN SHOPS
- CAR WASH
- LAUNDROMATS
- OFF-PREMISE SIGNAGE
- FREE-STANDING WIRELESS TELECOMMUNICATIONS FACILITIES UP TO 65 FEET IN HEIGHT
- COLLOCATED FREE-STANDING WIRELESS TELECOMMUNICATIONS FACILITIES UP TO 75 FEET IN HEIGHT
- ANTENNAE EXCEEDING 65 FEET IN HEIGHT
- COMMUNITY RESIDENTIAL PROGRAM IN ACCORDANCE WITH SECTION 14.16.2.16.B.2 OF THE ZONING CODE
- AUTO, TRAILER AND TRUCK RENTAL, SERVICE AND STORAGE
- DRIVE-UP SERVICE WINDOWS AND DRIVE THRU FACILITIES INCLUDING BANKING FACILITIES
- FIREWORKS SALES
- GAMES WITHIN A COMPLETELY ENCLOSED BUILDING, OPERATED FOR PROFIT AND NOT A PERMISSIVE C-1 USE
- KENNEL
- MORTUARY
- MOBILE HOME AS CARETAKER QUARTERS
- RECYCLING BIN AS AN ACCESSORY USE
- USES OR ACTIVITIES IN A TENT
- ROOF-MOUNTED WIRELESS TELECOMMUNICATIONS FACILITIES

MODIFICATIONS:

- BICYCLE REPAIR, PROVIDED IT IS DONE WITHIN A COMPLETELY ENCLOSED BUILDING
- DRY CLEANING, WITH NO ON-PREMISE DRY-CLEANING OR LAUNDERING (DROP-OFF ONLY)
- ELECTRONIC AND PINBALL GAME ROOMS WITHIN A COMPLETELY ENCLOSED BUILDING AND WITH NO MORE THAN FOUR GAME MACHINES PER BUSINESS



AFD PLANS CHECKING OFFICE
 924-3611
APPROVED/DISAPPROVED
 HYDRANT(S) ONLY
 Signature: Michael Holton
 7/18/05
 SIGNATURE & DATE

PRELIMINARY PLAT
APPROVED BY DRB
 7/13/05

PROJECT NUMBER: 1003801
 APPLICATION NUMBER: 05-0180

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated June 17, 2005 and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department *(conditional)	Date
Michael Holton Solid Waste Management	7/18/05 Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

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GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 864-9110 FAX (505) 837-9877

PROJECT TITLE: **CARLISLE SHOPS**
 CARLISLE AND INDIAN SCHOOL
 ALBUQUERQUE, NM

PROJECT MANAGER: **George Rainhart, AIA**

JOB NO.: **JCS**

SHEET TITLE: **SITE PLAN FOR BLD. PERMIT**

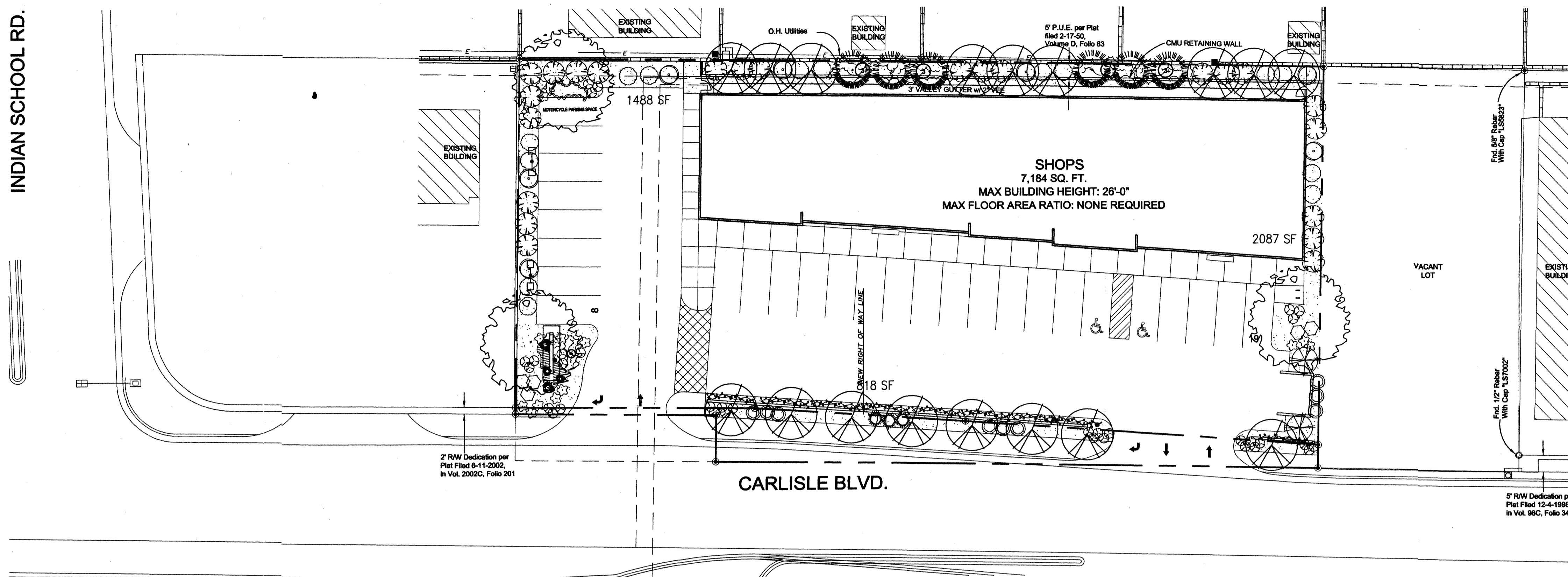
DATE: 02/03/05

SCALE: AS NOTED

SHEET: **AS1**

OF: 6

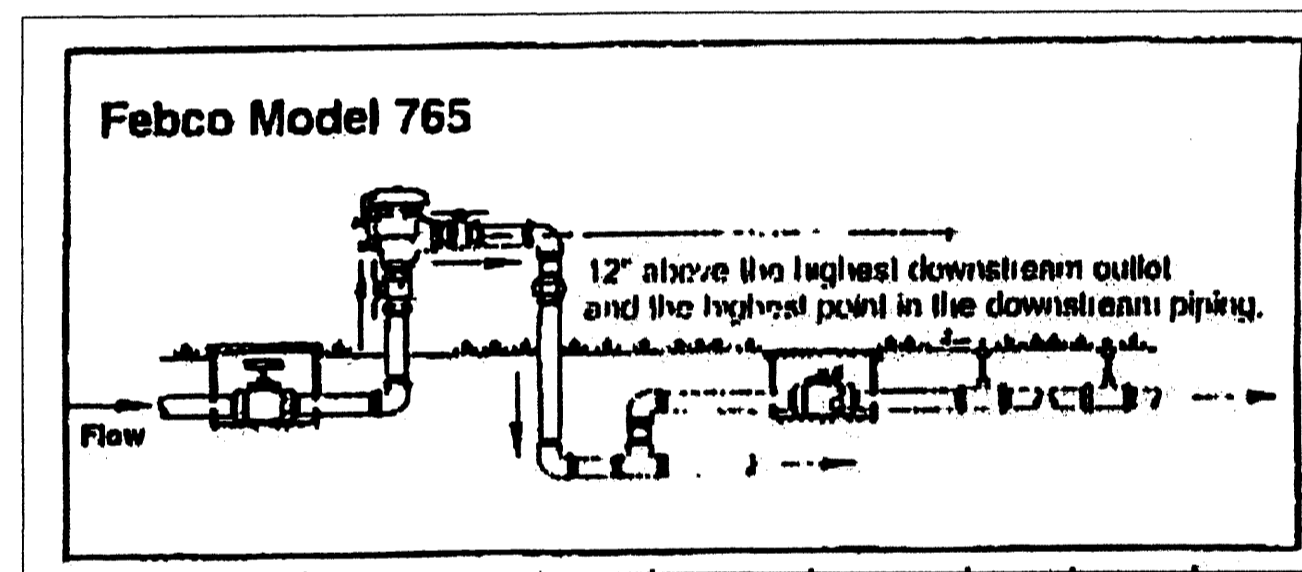
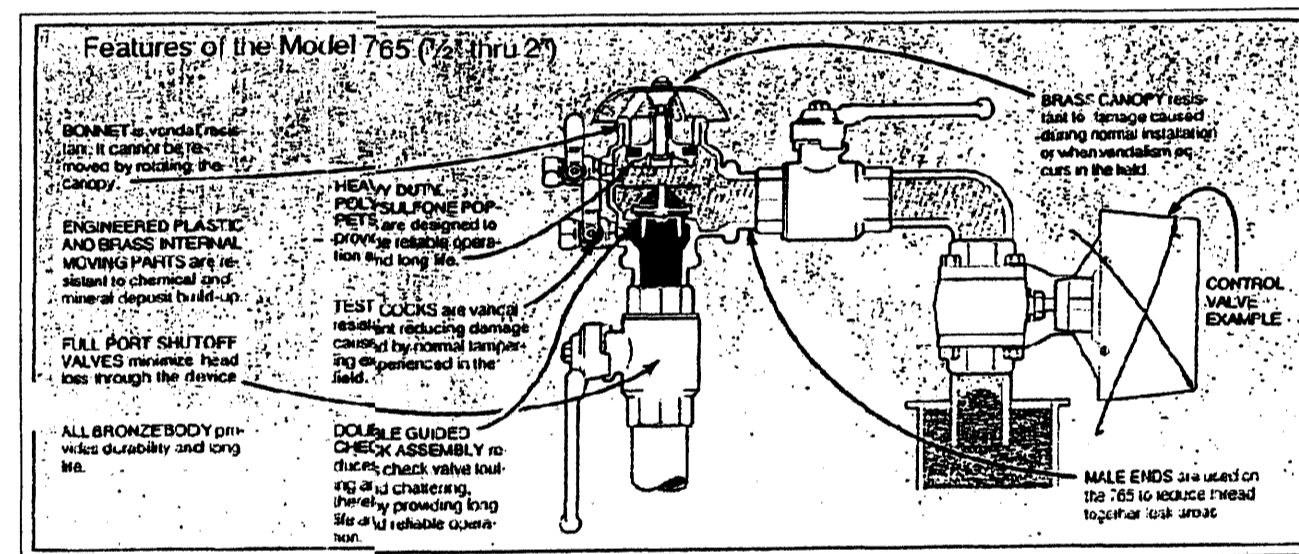
INDIAN SCHOOL RD.



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- | | | MATURE HT. |
|--|---|------------|
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| | SANTA FE BROWN GRAVEL
WITH FILTER FABRIC | |

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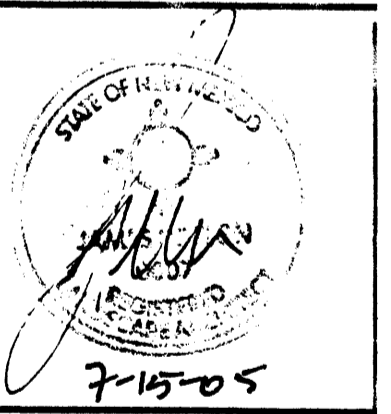
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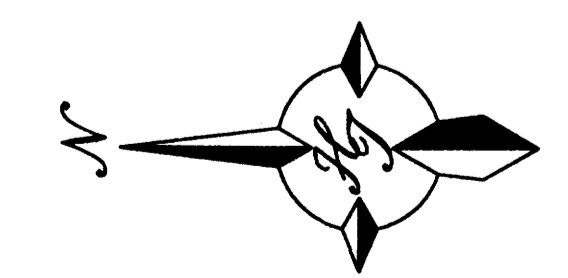
REV	DATE	BY	REVISION
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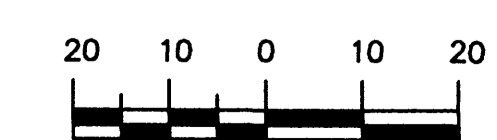
PROJECT TITLE	CARLISLE SHOPS
PROJECT MANAGER	CARLISLE AND INDIAN SCHOOL
JOB NO.	
DRAWN BY:	JCS
PROJECT MANAGER	George Rainhart, AIA
SHEET TITLE	LANDSCAPE PLAN

DATE:	4/29/05	sheet:	1
SCALE:	1"=20'	of:	1



The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cjohnson@hilltoplandscaping.com

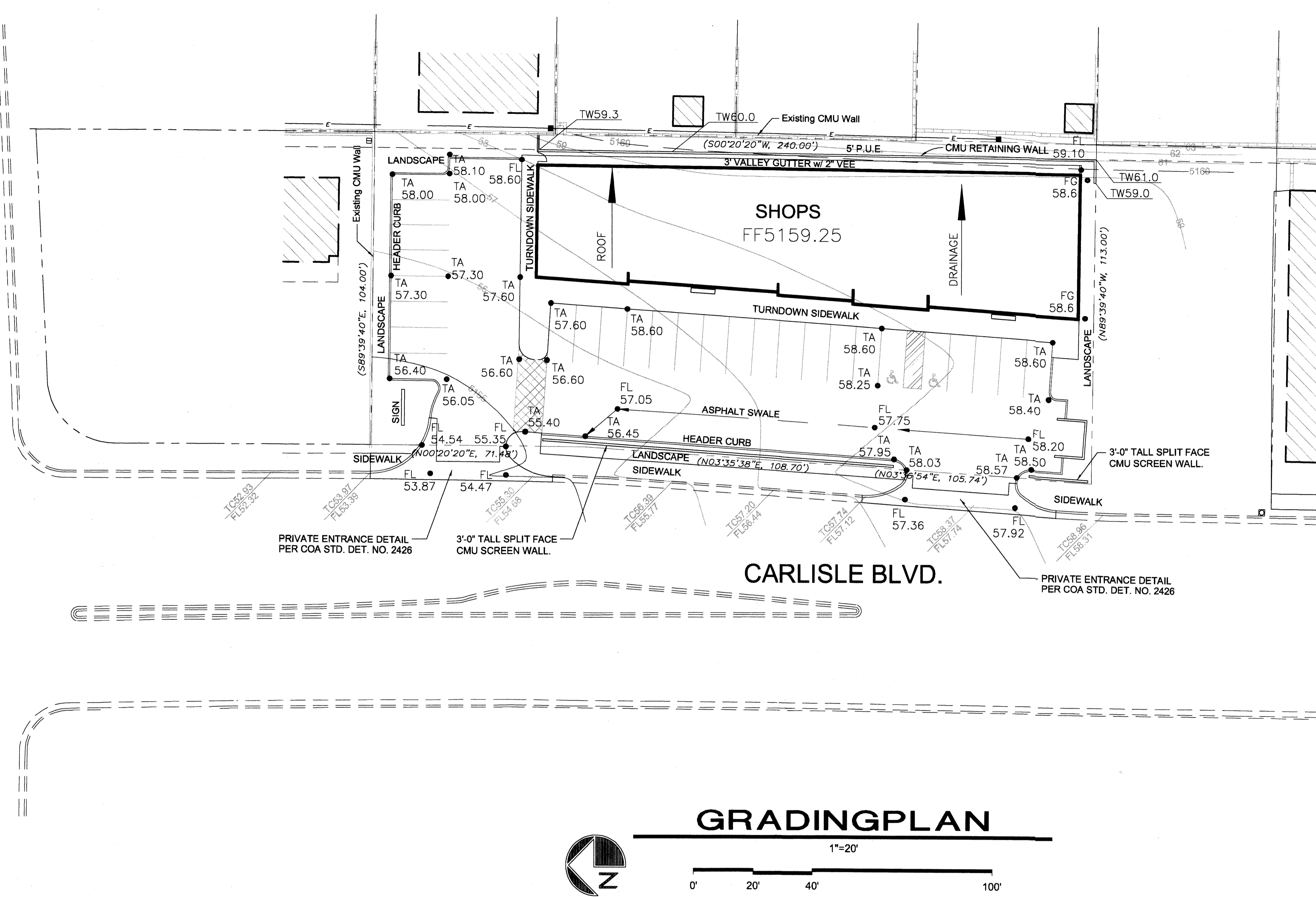
GRAPHIC SCALE



SCALE: 1"=20'-0"

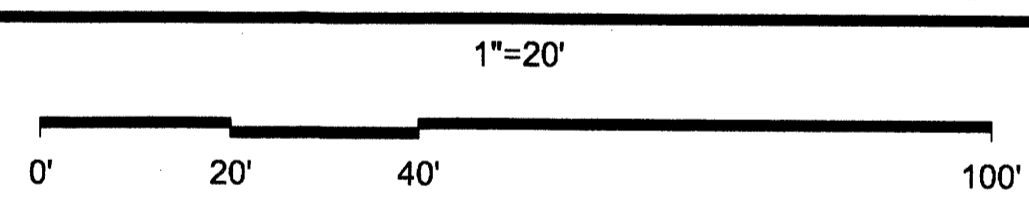
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.

INDIAN SCHOOL RD.

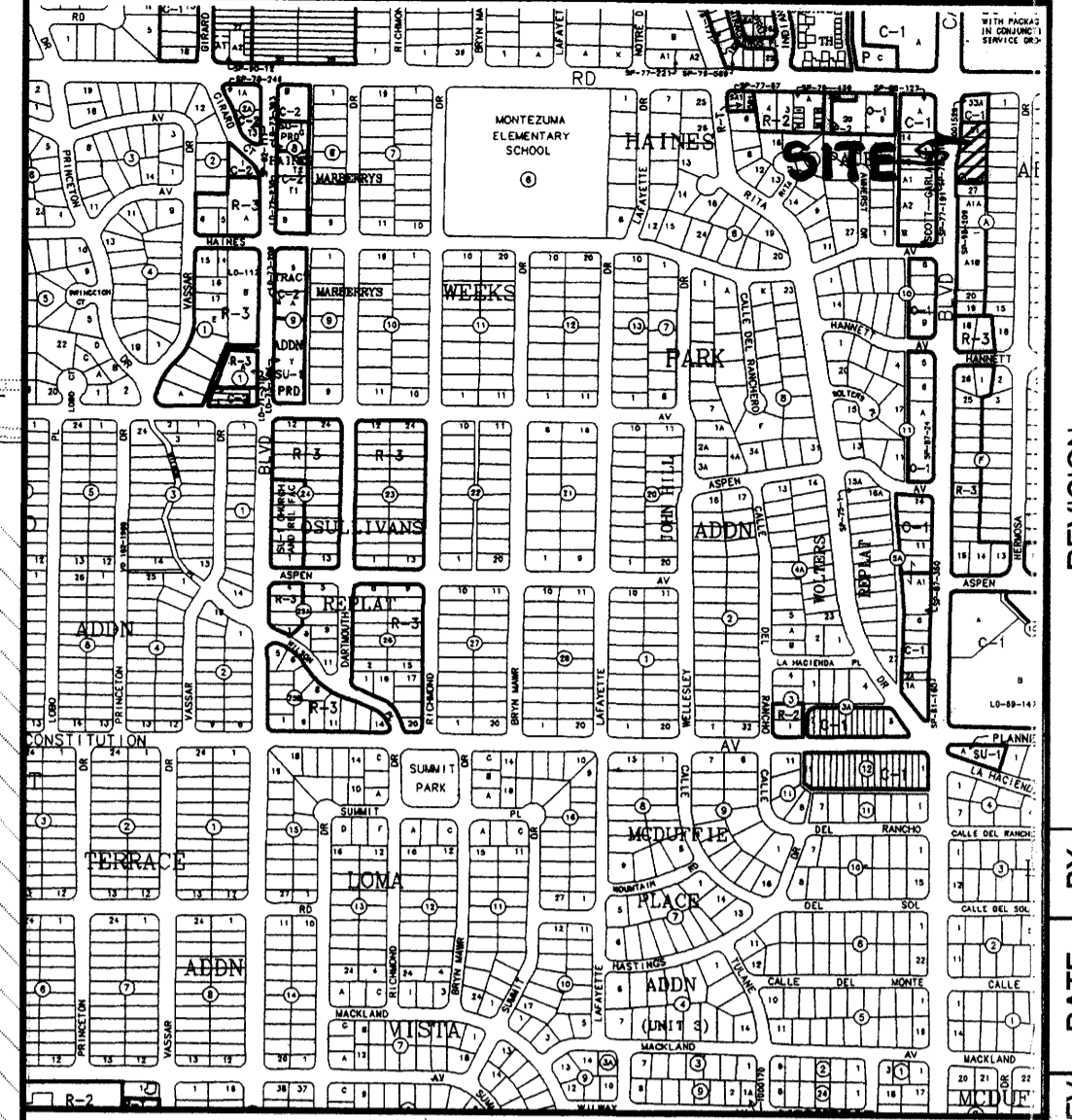


CARLISLE BLVD.

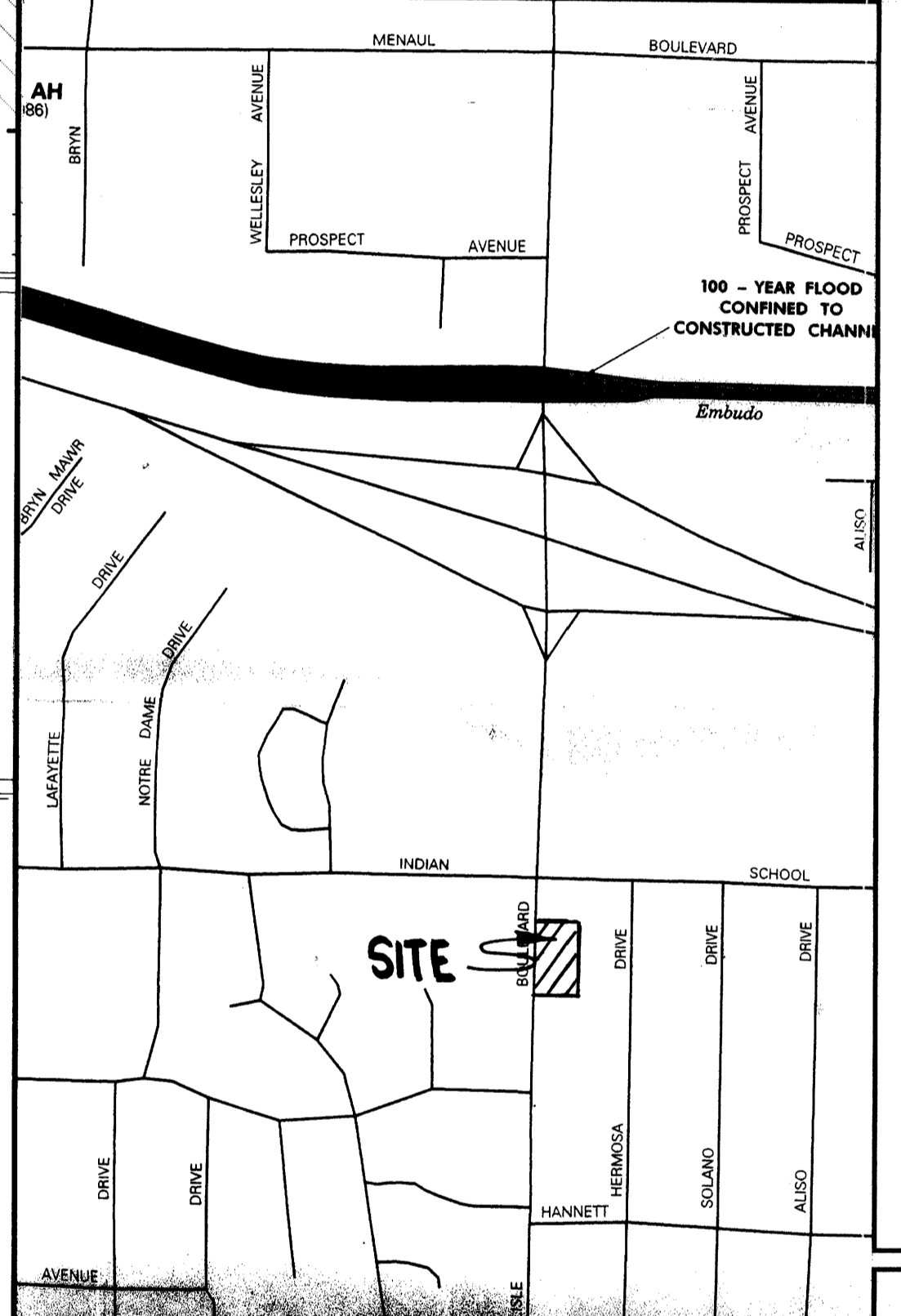
GRADING PLAN



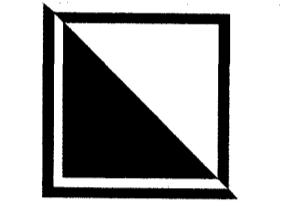
VICINITY MAP NO. J-16



FEMA FIRM PANEL NO. 351



REV	DATE	BY	REVISION
1			
2			
3			
4			



GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

DRAINAGE DATA							
CONDITION	STORM RETURN PERIOD	TREATMENT TYPE	TREATMENT AREA	EXCESS PRECIPITATION	PEAK RUNOFF	RUNOFF VOLUME	RUNOFF RATE
	year	(table 4)	sq. ft.	(table 8)	(table 9)	cu. ft.	cfs
EXISTING	10	A	0	0.13	0.38	0	0.00
		B	24008	0.28	0.95	560	0.52
		C	1687	0.52	1.71	73	0.07
		D	0	1.34	3.14	0	0.00
		TOTAL	25695			633	0.59
		100	A	0	0.53	1.56	0
B	24008	0.78	2.28	1561	1.26		
C	1687	1.13	3.14	159	0.12		
D	0	2.12	4.7	0	0.00		
TOTAL	25695			1719	1.38		
DEVELOPED	10	A	0	0.13	0.38	0	0.00
		B	3756	0.28	0.95	88	0.08
		C	300	0.52	1.71	13	0.01
		D	21639	1.34	3.14	2416	1.56
		TOTAL	25695			2517	1.65
		100	A	0	0.53	1.56	0
B	3756	0.78	2.28	244	0.20		
C	300	1.13	3.14	28	0.02		
D	21639	2.12	4.7	3823	2.33		
TOTAL	25695			4095	2.55		

LEGAL DESCRIPTION

LOT 28A, BLOCK A, ALTURA ADDITION

PERMANENT BENCHMARK

ACS '2-H16' ELEVATION 5147.44 (NGVD 1929)

ENGINEER'S CERTIFICATION

I, Jean J. Bordenave, New Mexico Professional Engineer and Land Surveyor No. 5110, hereby certify that I have personally inspected the property shown hereon and that it appears that no grading, filling or excavation has occurred thereon since the contour map shown hereon was prepared.

Jean J. Bordenave, NM PE & PS No. 5110

SITE CONDITIONS

EXISTING

1. THE EXISTING SITE IS BOUNDED ON THE EAST AND NORTH BY EXISTING CMU WALLS.

THE SITE SLOPES GENTLY DOWNWARD FROM SOUTHEAST TO NORTHWEST WITH A STEEPLY GRADED PORTION IMMEDIATELY WEST OF THE EASTERLY PROPERTY LINE. PROPERTIES EAST AND NORTH OF THE SITE ARE PRESENTLY DEVELOPED AND DRAINAGE IS DIRECTED AWAY FROM THE PROPOSED SITE. THERE IS A SMALL PARCEL TO THE SOUTH THAT IS UNDEVELOPED. THIS PARCEL PRESENTLY DRAINS FROM SOUTHEAST TO NORTHWEST AND A PORTION OF THIS FLOW ENTERS THE PROPOSED SITE.

PROPOSED

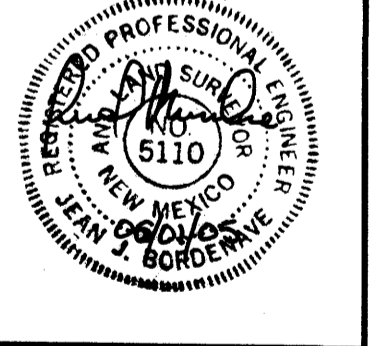
THE SITE GRADING WILL BE DEVELOPED TO DIRECT ALL INTERNALLY GENERATED FLOWS TO CARLISLE BLVD. VIA THE NORTHERLY DRIVEWAY.

ALL FLOWS GENERATED ONSITE BY IMPERVIOUS SURFACES ARE ROUTED TO REMAIN ON IMPERVIOUS SURFACES TO THE POINT OF DISCHARGE.

THE OFFSITE FLOWS FROM THE PARCEL TO THE SOUTH OF THE PROPOSED DEVELOPMENT WILL BE ACCEPTED BY THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT THE PARCEL IS DEVELOPED.

LEGEND

- TBM TEMPORARY BENCHMARK
- FF FINISH FLOOR
- FG FINISH GRADE
- FL FLOWLINE
- TA TOP OF ASPHALT
- TCP TOP OF CONCRETE
- TC TOP OF CURB
- TP TOP OF EARTH PAD
- TS TOP OF SIDEWALK
- TW TOP OF WALL
- FH FIRE HYDRANT
- WM WATER METER
- WV WATER VALVE
- LP LIGHT POLE
- PP POWER POLE
- GW GUY WIRE
- PED ELEC. OR TEL. PEDESTAL
- RD ROOF DRAINAGE POINT
- EXISTING CONTOUR
- PROPOSED CONTOUR
- XX.XX EXISTING SPOT ELEVATION
- XX.XX PROPOSED SPOT ELEVATION
- XX.XX- RECORD SPOT ELEVATION



PROJECT TITLE
CARLISLE SHOPS
 CARLISLE AND INDIAN SCHOOL
 ALBUQUERQUE, NM

PROJECT MANAGER
 George Rainhart, AIA

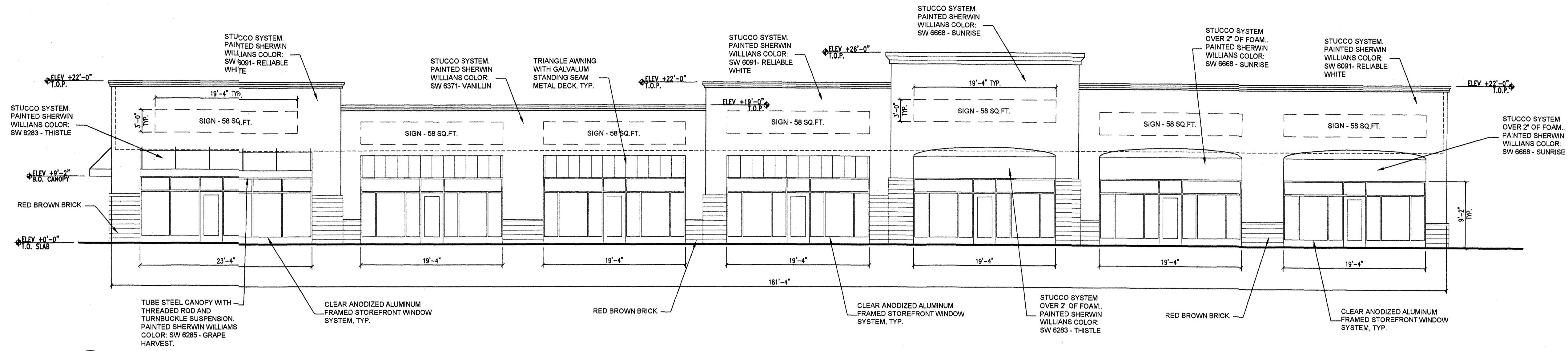
JOB NO. 0515

DRAWN BY: JUB

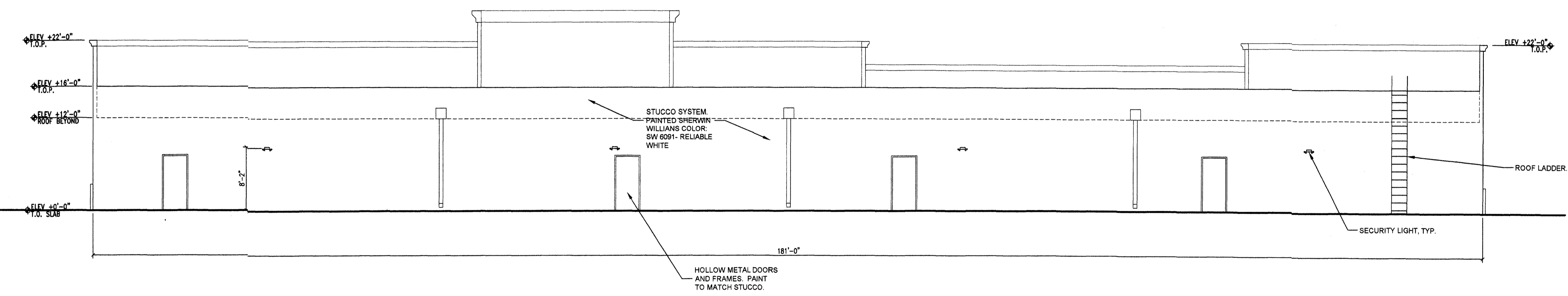
SHEET TITLE
CONCEPTUAL GRADING PLAN

DATE: 04/26/05 sheet: C1

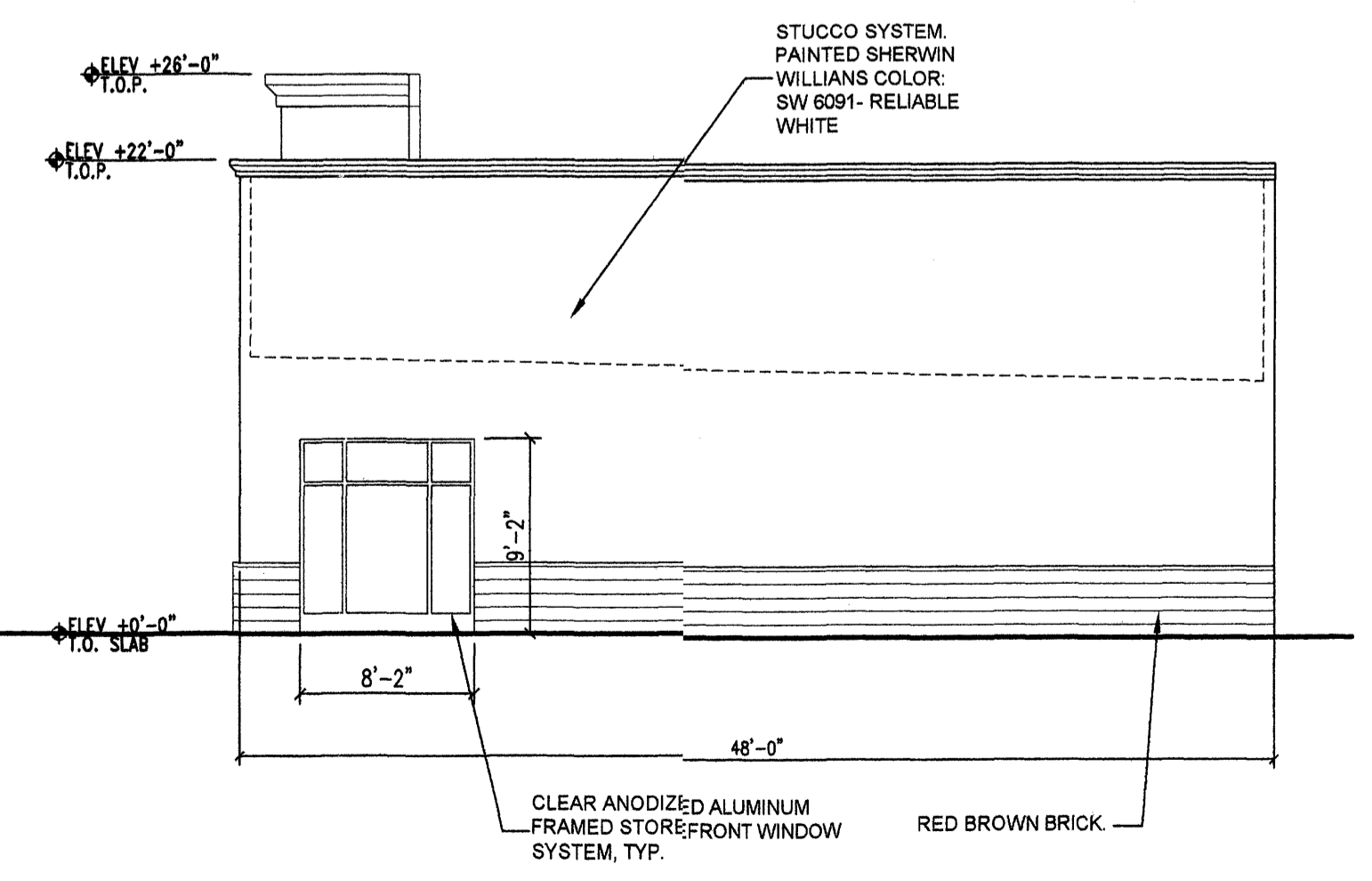
SCALE: AS NOTED of:



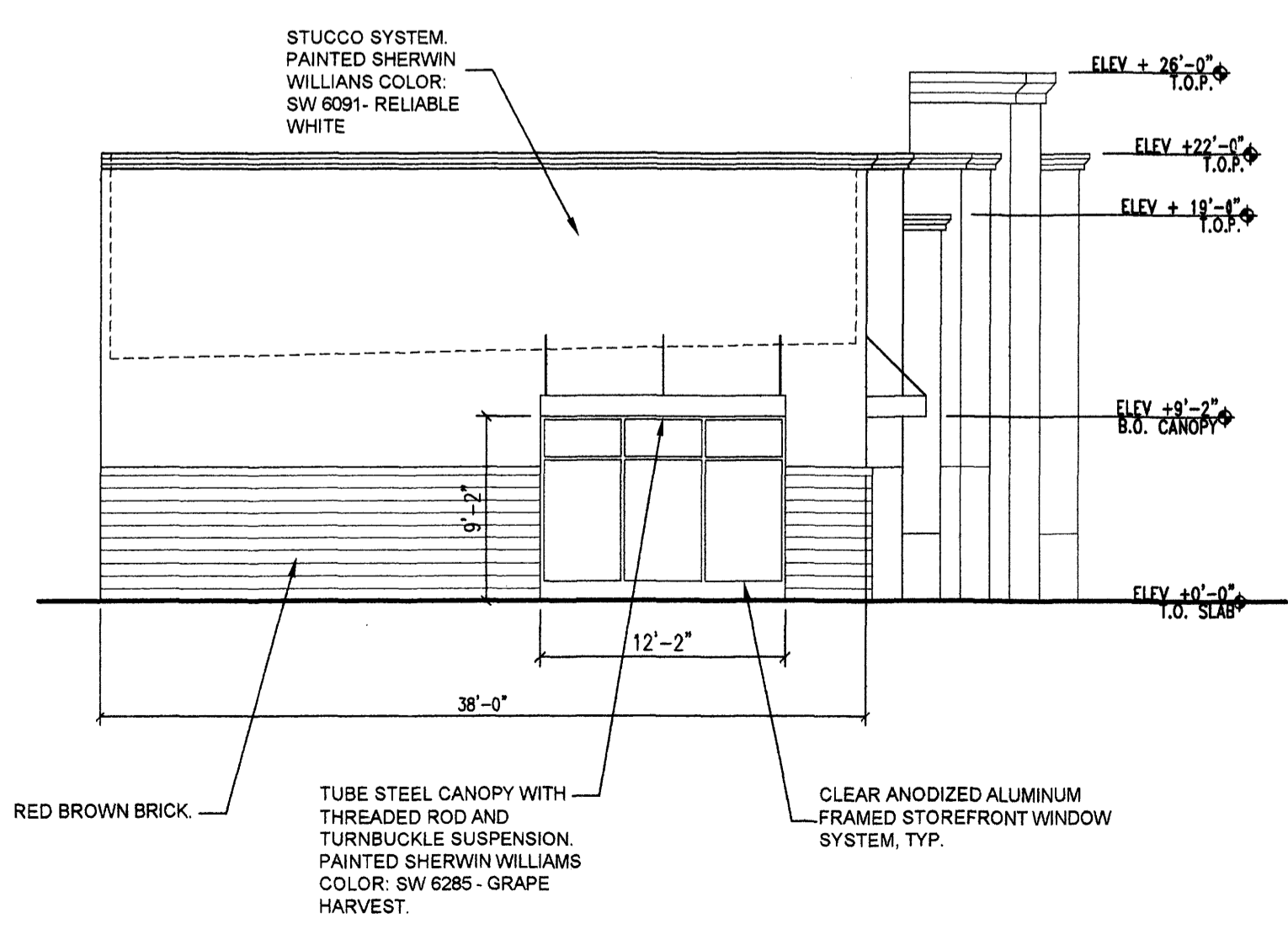
A WEST ELEVATION
1/8" = 1'-0"



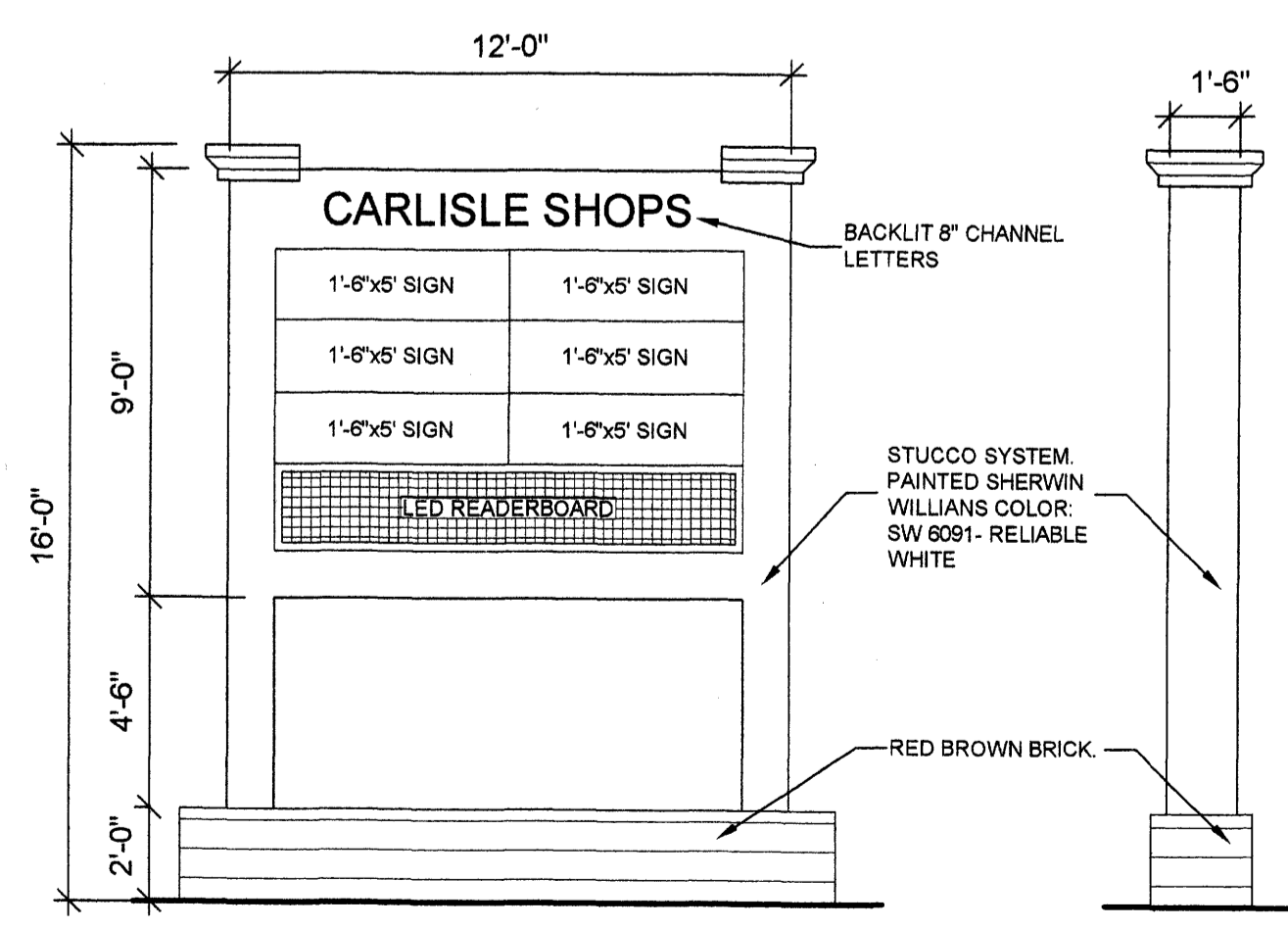
B EAST ELEVATION
1/8" = 1'-0"



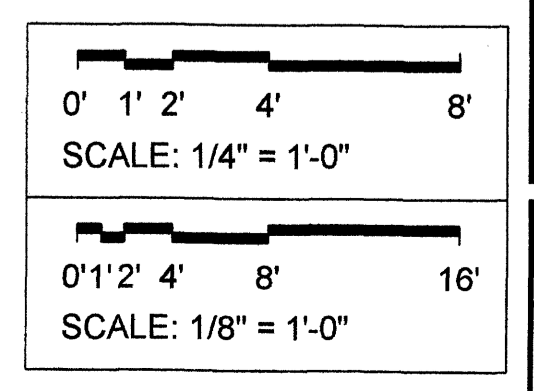
C SOUTH ELEVATION
1/8" = 1'-0"



D NORTH ELEVATION
1/8" = 1'-0"

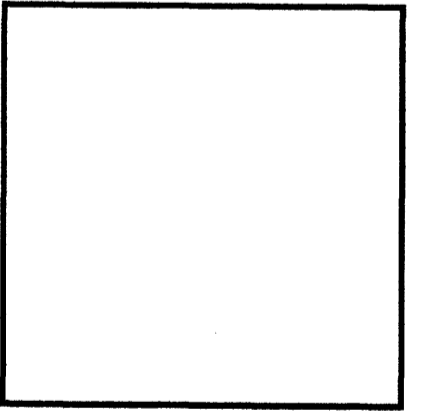


E MONUMENT SIGN
1/4" = 1'-0"



REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			

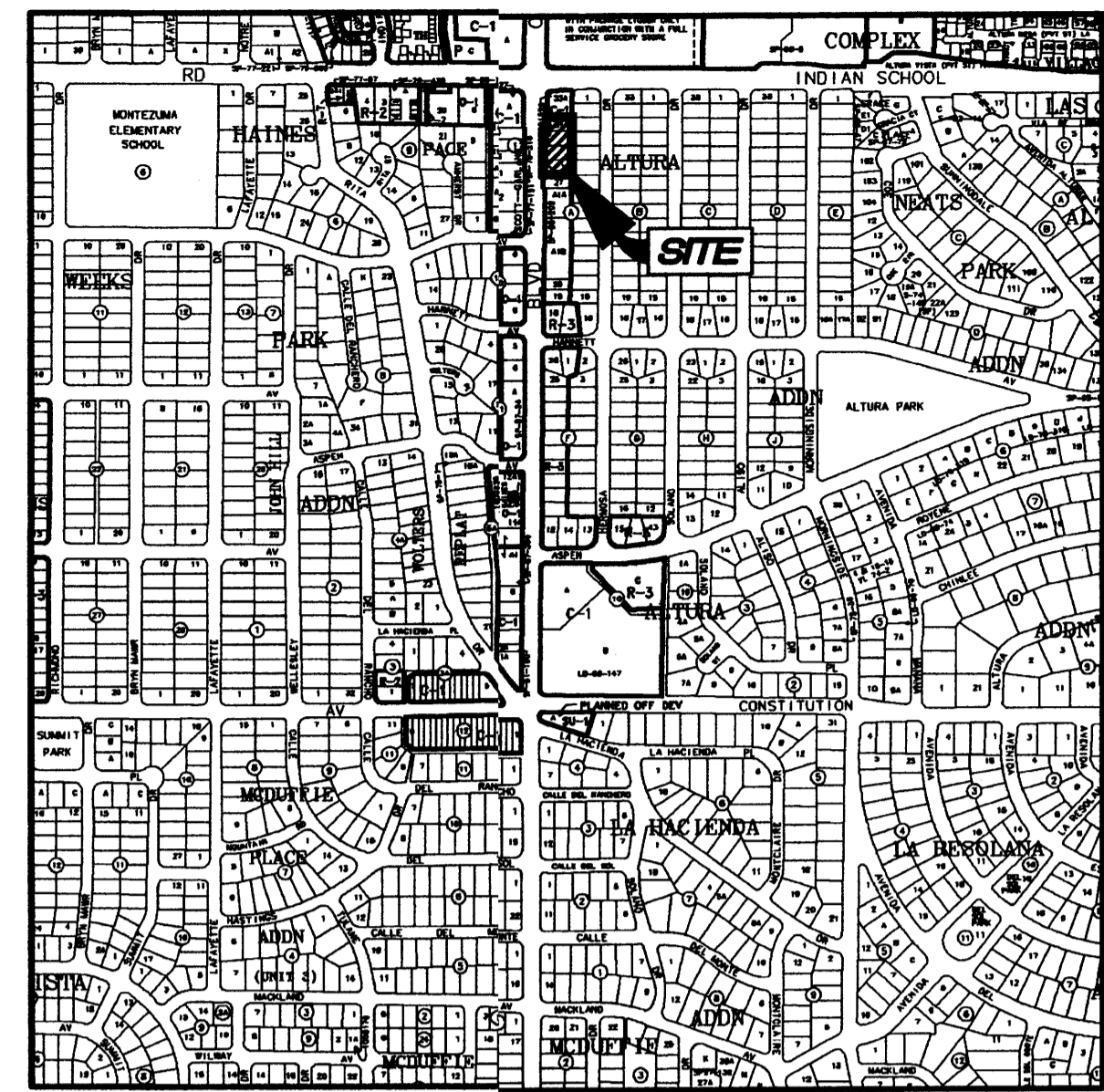
GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE CARLISLE SHOPS CARLISLE AND INDIAN SCHOOL Albuquerque, NM	JOB NO.	DRAWN BY: JCS
PROJECT MANAGER George Rainhart, AIA	SHEET TITLE BUILDING ELEVATIONS	

DATE 02/03/05	Sheet A1
SCALE AS NOTED	of

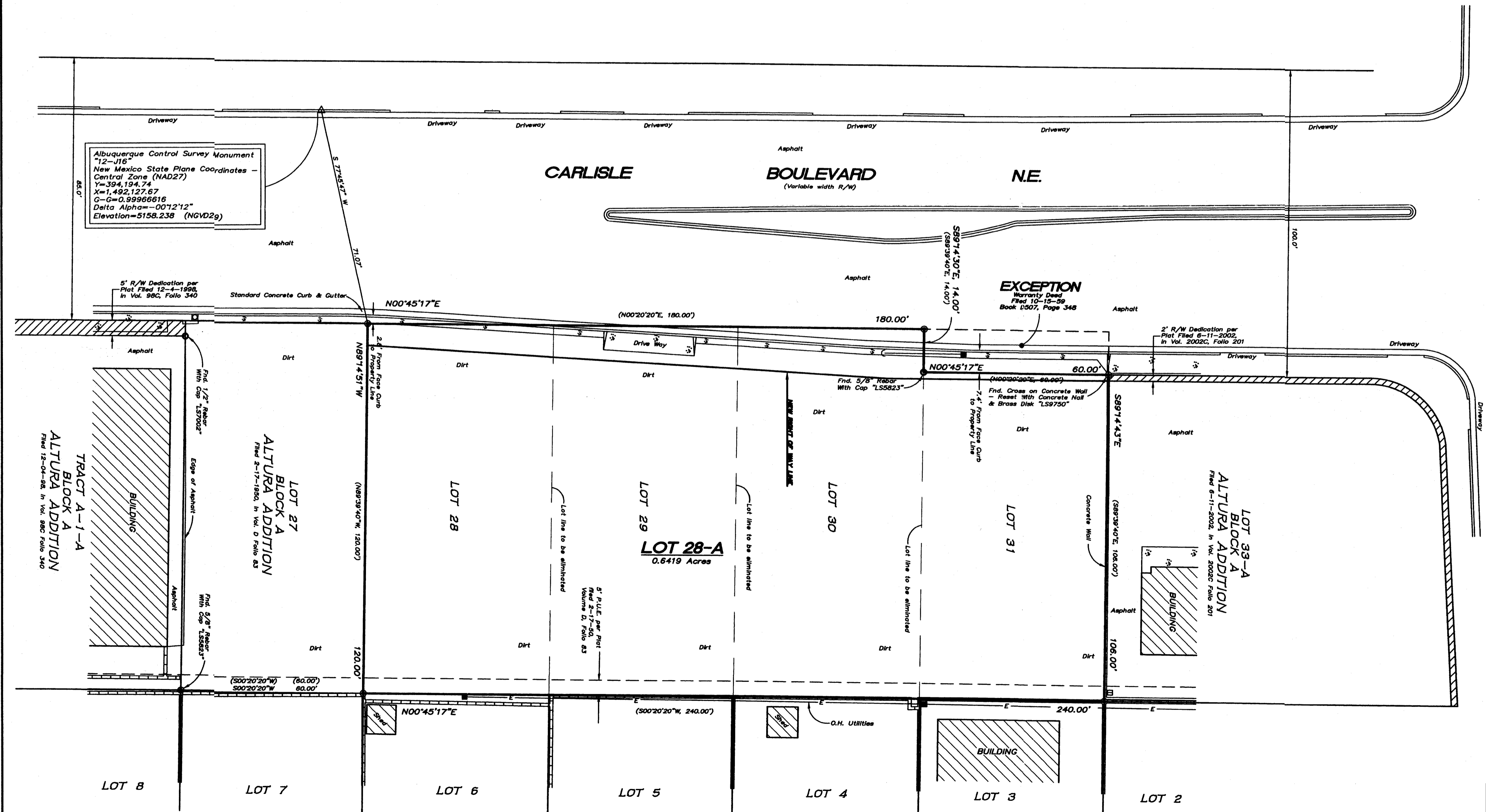
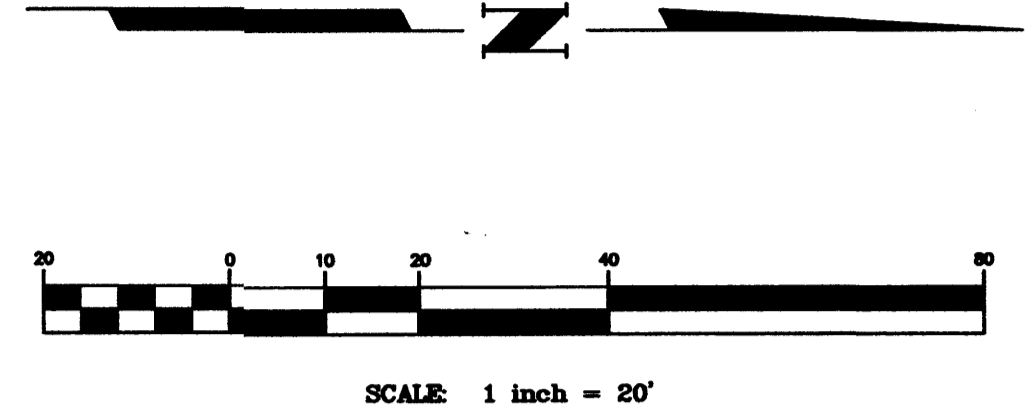
SKETCH PLAT
 LOTS 28, 29, 30 AND 31
 BLOCK A
 ALTURA ADDITION
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2005



VICINITY MAP
 NOT TO SCALE

LEGEND

- > = Guy Wire
- = Power Pole
- = Light Pole
- ▬ = Block Wall
- ⊠ = Water Meter
- ⊘ = Concrete Area



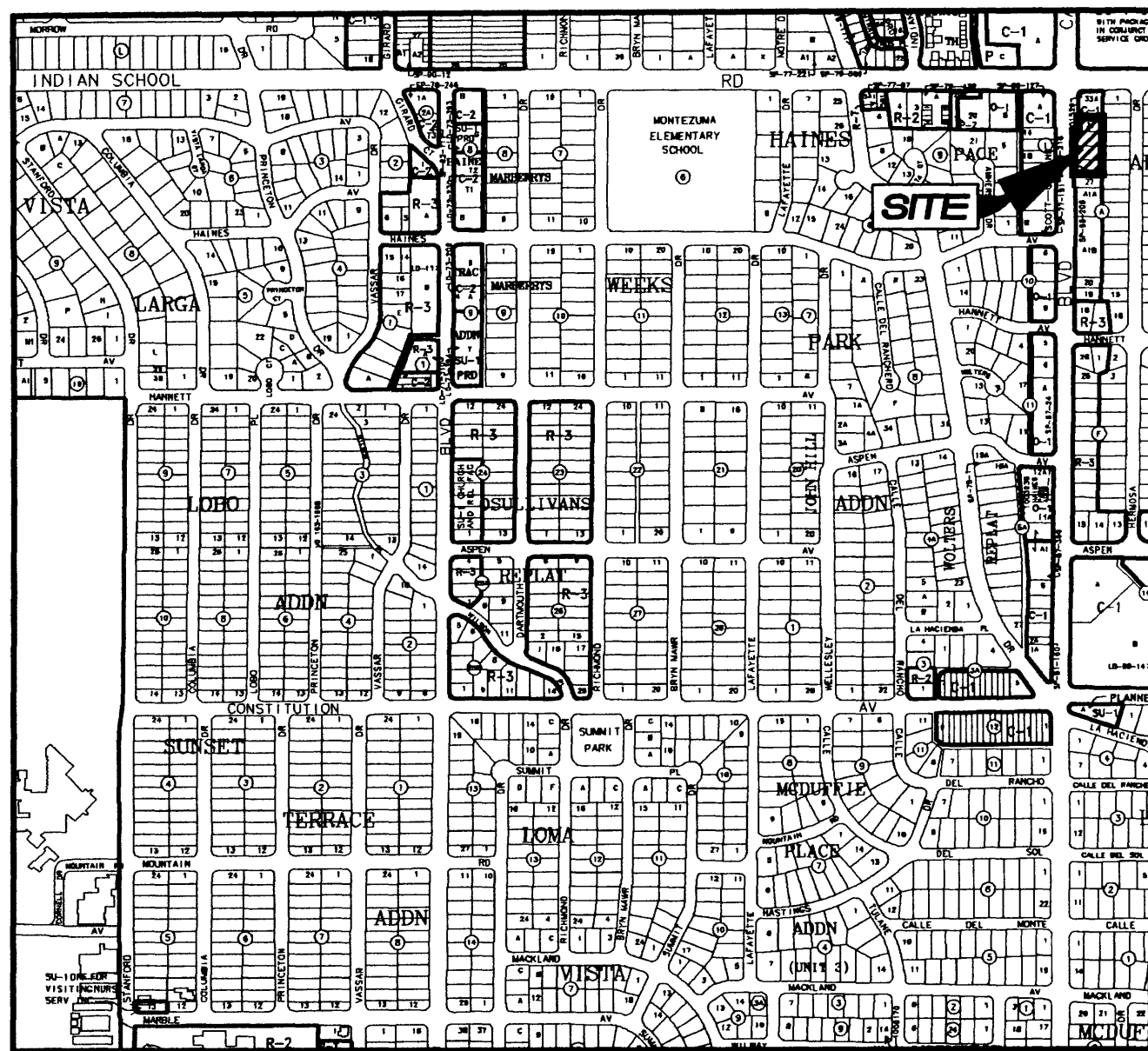
INDIAN SCHOOL ROAD NE

LEGAL DESCRIPTION

Lots numbered Twenty-eight (28), Twenty-nine (29), Thirty (30) and Thirty-one (31) in Block Lettered "A", of the ALTURA ADDITION, an addition to the City of Albuquerque, New Mexico, as the same are shown and designated on the map of said addition, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on February 17, 1950, EXCEPTING THEREFROM the Westerly Fourteen (14) feet of Lot numbered Thirty-one (31) conveyed to the City of Albuquerque by Warranty Deed filed October 15, 1959, recorded in Book D507, page 348.

GENERAL NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) originated at the Albuquerque Control Survey Monument "12-116" (NAD27).
2. Bearings and distances shown in parenthesis are record.
3. All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
4. All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
5. City of Albuquerque Zone Atlas Page J-17.
6. Said property is subject to all of the exceptions listed under Schedule B - Part II (Exceptions) of First American Title Insurance Company's Commitment for Title Insurance Number 01984330, dated October 26, 1998.
7. Documents used in the preparation of this survey are as follows:
 - A. Plat entitled "ALTURA ADDITION, TO THE CITY OF ALBUQUERQUE, NEW MEXICO", as filed in the Office of the County Clerk of Bernalillo County, New Mexico on February 17, 1950, in Volume D, Folio B3.
 - B. Unfiled survey entitled "BOUNDARY AND TOPOGRAPHIC SURVEY, LOTS 27 THRU 31, BLOCK A, ALTURA ADDITION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", prepared by Hugg Surveying, Inc., Albuquerque, New Mexico, dated December 26, 1986.
 - C. Unfiled survey entitled "A.L.T.A./A.C.S.M. LAND TITLE SURVEY LOTS 28, 29, 30 AND 31, BLOCK A, ALTURA ADDITION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", prepared by Russ P. Hugg, NMS No. 9750 for SURV-TEK, INC., Albuquerque, New Mexico, dated March 9, 1999.
8. Total Plat acreage: 0.6419 Acres, more or less.
9. This property is currently zoned "O-1, Office & Institutional" per the City of Albuquerque Zone Atlas, dated July 06, 2004.



VICINITY MAP
Not to Scale

GENERAL NOTES

- Bearings are based on the plat entitled "ALTURA ADDITION, TO THE CITY OF ALBUQUERQUE, NEW MEXICO", as filed in the Office of the County Clerk of Bernalillo County, New Mexico on February 17, 1950, in Volume D, Folio 83.
- Bearings and distances shown in parenthesis are record.
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 - Unfiled survey entitled "BOUNDARY AND TOPOGRAPHIC SURVEY, LOTS 27 THRU 31, BLOCK 4, ALTURA ADDITION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", prepared by Hugg Surveying, Inc., Albuquerque, New Mexico, dated December 26, 1986.
 - Unfiled survey entitled "A.L.T.A./A.C.S.M. LAND TITLE SURVEY LOTS 28, 29, 30 AND 31, BLOCK A, ALTURA ADDITION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", prepared by Russ P. Hugg, NMPS No. 9750 for SURV-TEK, INC., Albuquerque, New Mexico, dated March 9, 1999.
- U.C.L.S. Log Number: _____
- Total Plat acreage: 0.6419 Acres, more or less.
- This property is currently zoned "O-1, Office & Institutional" per the City of Albuquerque Zone Atlas, dated July 06, 2004.

DECLARATION

The purpose of this plat is to:

- Eliminate the lot lines between Lots 28 thru 31.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer _____ Date _____

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising, "LOT 28-A, BLOCK A, ALTURA ADDITION (BEING A REPLAT OF LOTS 28 THRU 31, BLOCK A, ALTURA ADDITION) WITHIN SECTION 14, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER

Peterson Properties

By _____

ACKNOWLEDGEMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this _____ day of _____, 2005, by _____

_____ My commission expires _____

Notary Public

**LOT 28-A
BLOCK A
ALTURA ADDITION**

(BEING A REPLAT OF LOTS 28 THRU 31, BLOCK A, ALTURA ADDITION)

**WITHIN
SECTION 14, TOWNSHIP 10 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO**

JANUARY, 2005

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL PRELIMINARY DRAWING
Utility Approvals:

PNM Electric Services _____ Date _____

PNM Gas Services _____ Date _____

QWest Corporation _____ Date _____

Comcast _____ Date _____

City Approvals:

City Surveyor _____ Date _____

Real Property Division _____ Date _____

Environmental Health Department _____ Date _____

Traffic Engineering, Transportation Division _____ Date _____

Utilities Development _____ Date _____

Parks and Recreation Department _____ Date _____

AMAFCA _____ Date _____

City Engineer _____ Date _____

DRB Chairperson, Planning Department _____ Date _____

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

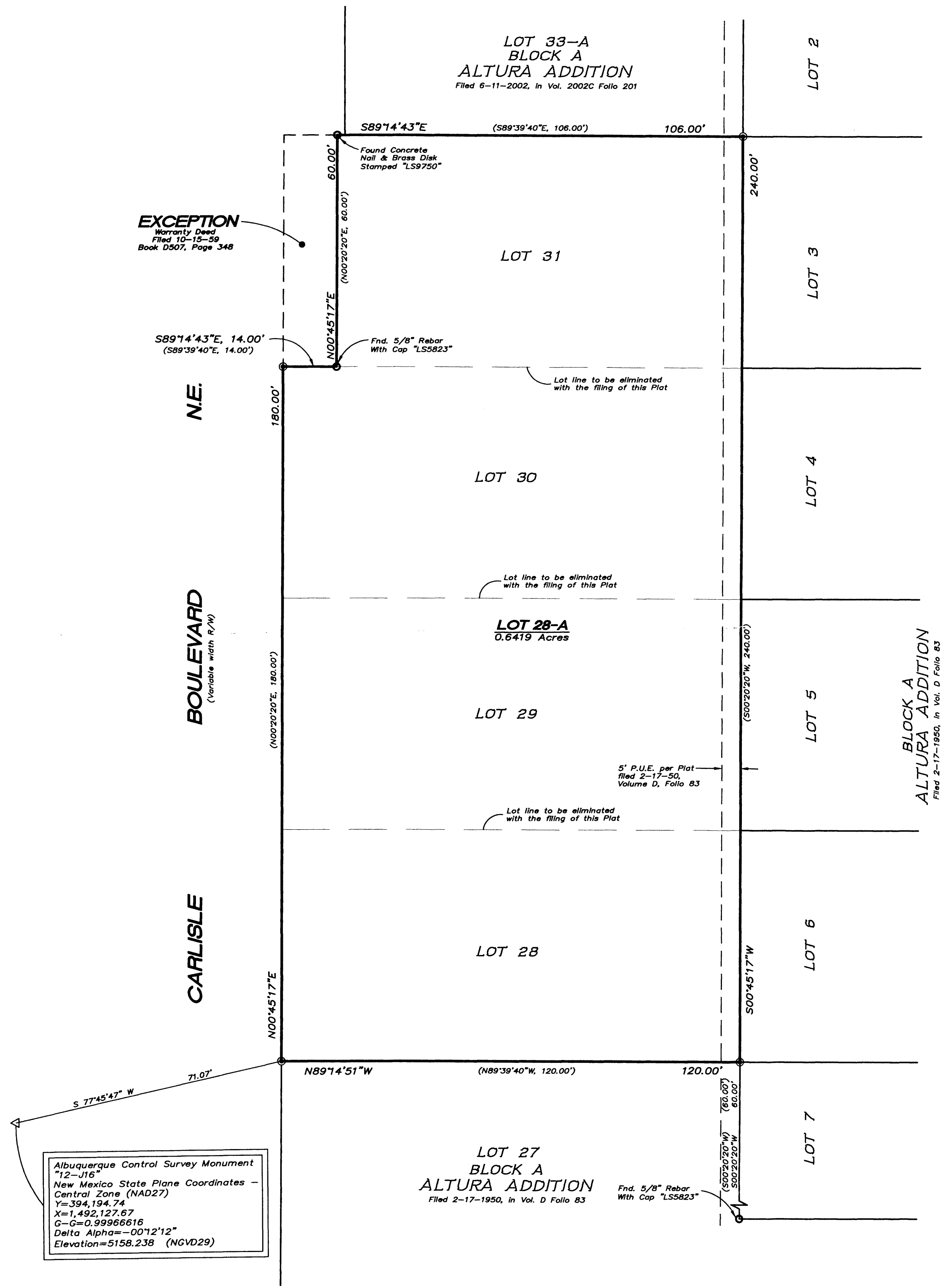
Russ P. Hugg
NMPS No. 9750
January 12, 2005

**LOT 28-A
BLOCK A
ALTURA ADDITION**
(BEING A REPLAT OF LOTS 28 THRU 31, BLOCK A, ALTURA ADDITION)
WITHIN
**SECTION 14, TOWNSHIP 10 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO**
JANUARY, 2005

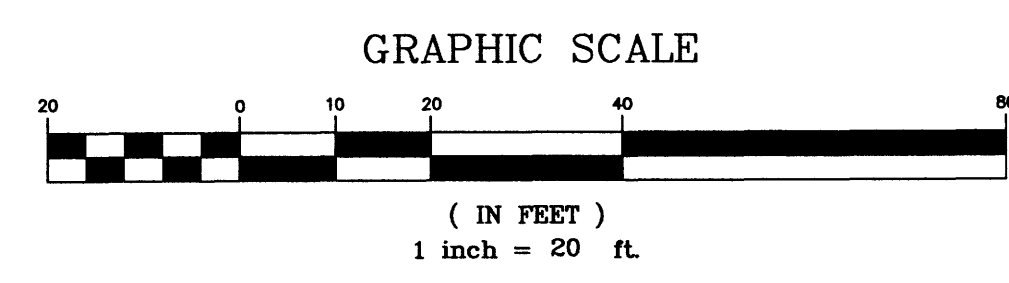
PRELIMINARY DRAWING

LEGAL DESCRIPTION

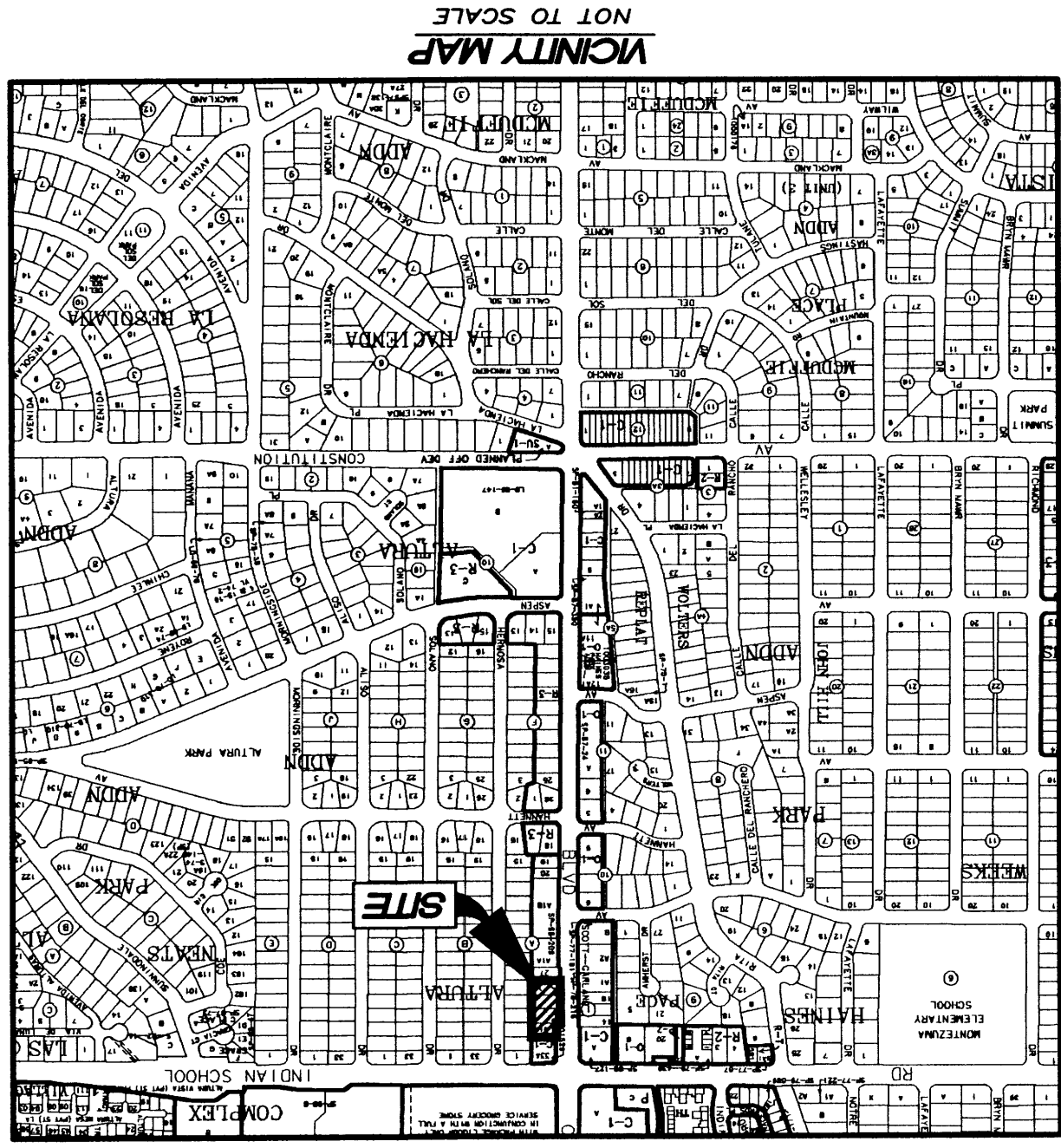
Lots numbered Twenty-eight (28), Twenty-nine (29), Thirty (30) and Thirty-one (31) in Block Lettered "A", of the ALTURA ADDITION, an addition to the City of Albuquerque, New Mexico, as the same are shown and designated on the map of said addition, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on February 17, 1950, EXCEPTING THEREFROM the Westerly Fourteen (14) feet of Lot numbered Thirty-one (31) conveyed to the City of Albuquerque by Warranty Deed filed October 15, 1959, recorded in Book D507, page 348.



Albuquerque Control Survey Monument
"12-J16"
New Mexico State Plane Coordinates -
Central Zone (NAD27)
Y=394,194.74
X=1,492,127.67
G-G=0.99966616
Delta Alpha=-00'12"12"
Elevation=5158.238 (NGVD29)

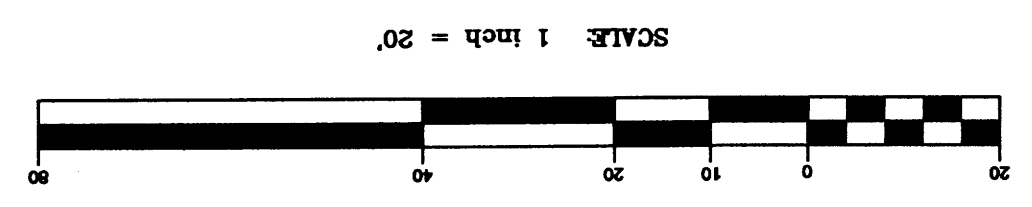


SURVOTEK, INC.

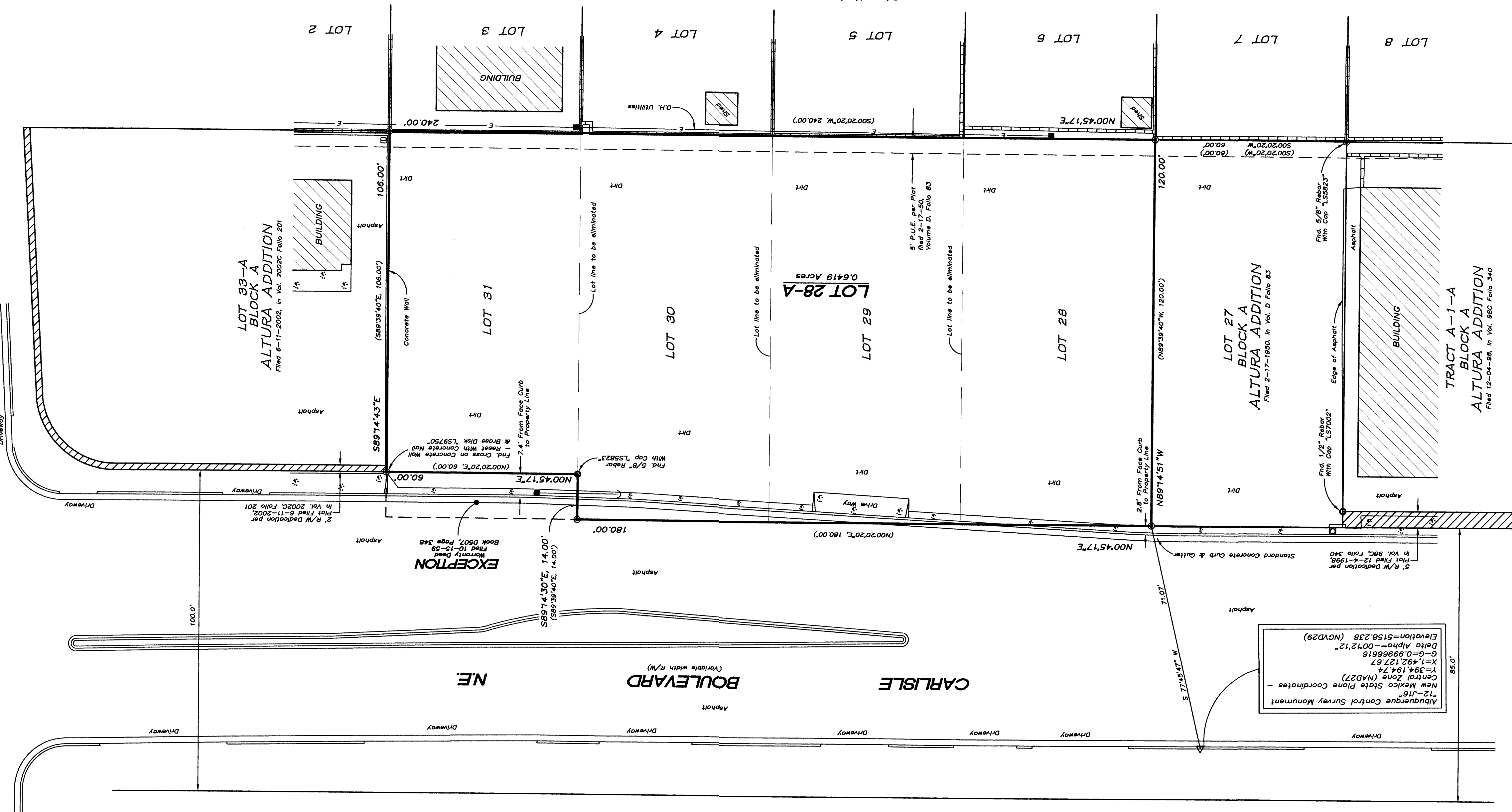


LOCALITY MAP
NOT TO SCALE

LEGEND	
—	City Wall
—	Power Pole
—	Light Pole
—	Block Wall
—	Water Meter
—	Concrete Area



SKETCH PLAT
LOTS 28, 29, 30 AND 31
BLOCK A
ALTURA ADDITION
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2005



LEGAL DESCRIPTION

Lots numbered twenty-eight (28), twenty-nine (29), thirty (30) and thirty-one (31) in Block Lettered "A", of the ALTURA ADDITION, on addition to the City of Albuquerque, New Mexico, as the same are designated on the map of said addition, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on February 17, 1950, EXCEPTING THEREFROM the Westerly Fourteen (14) feet of Lot numbered Thirty-one (31) conveyed to the City of Albuquerque by Warranty Deed Third October 15, 1959, recorded in Book D507, page 348.

GENERAL NOTES

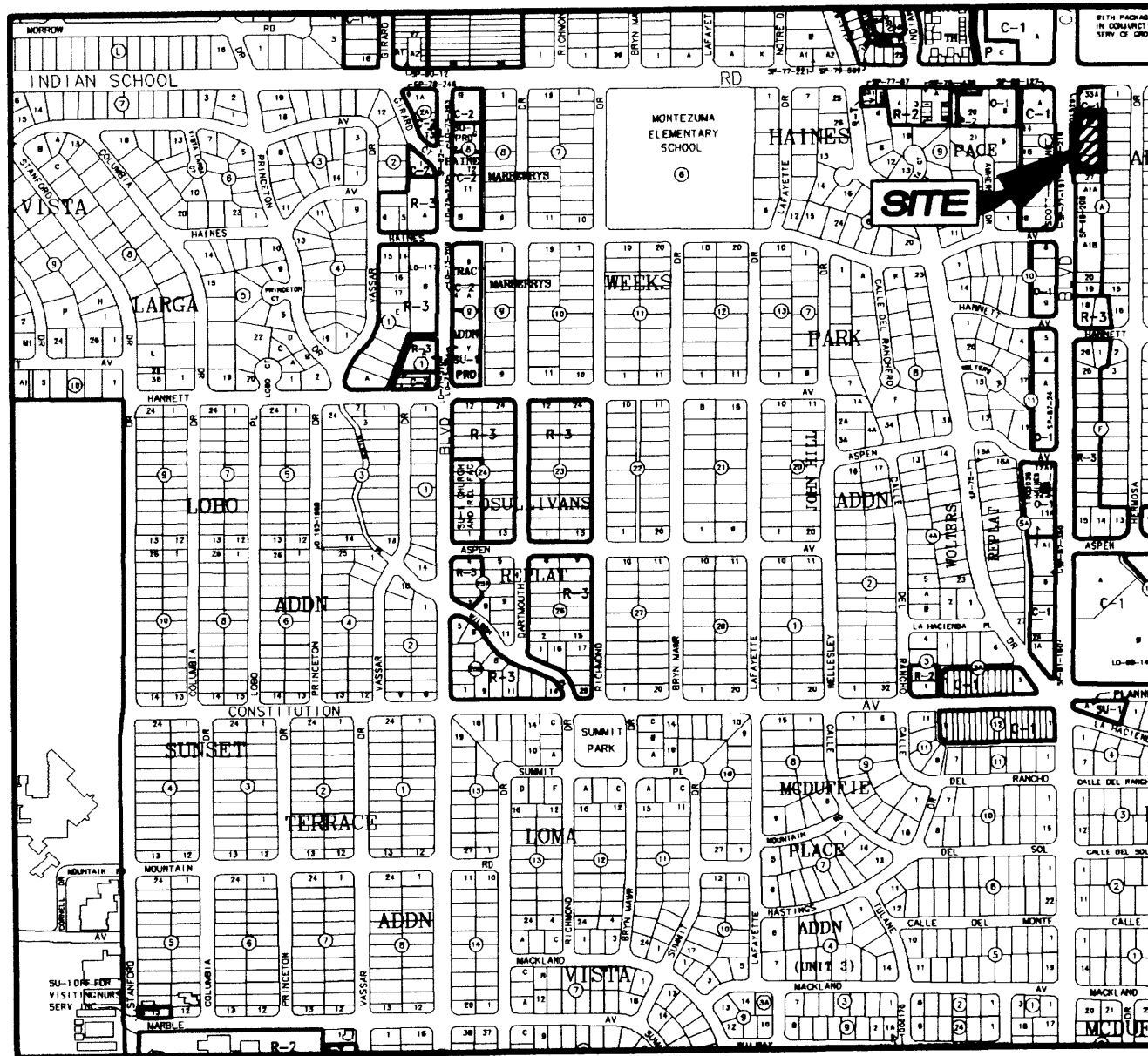
1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) obtained at the Albuquerque Central Survey Monument "12-116 (NA427)".
2. Bearings and distances shown in parentheses are recorded.
3. All corners found in place and held were tagged with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
4. All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
5. City of Albuquerque Zone Atlas Page J-17.
6. City of Albuquerque Zone Atlas, dated October 28, 1998. The Insurance Company's Commitment for Title Insurance Number 01984330, dated October 28, 1998.
7. Said property is subject to all of the exceptions listed under Schedule B - Part II (Exceptions) of First American Title Insurance Company's Commitment for Title Insurance Number 01984330, dated October 28, 1998.
8. Documents used in the preparation of this survey are as follows:

9. Total Plat acreage: 0.6419 Acres, more or less.
10. This property is currently zoned "O-1, Office & Institutional" for the City of Albuquerque Zone Atlas, dated July 06, 2004.

C. United survey entitled "A.L.T.A./A.C.S.M. LAND TITLE SURVEY LOTS 28, 29, 30 AND 31, BLOCK A, ALTURA ADDITION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", SURVEY, LOTS 27 THRU 31, BLOCK 4, ALTURA ADDITION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", prepared by Hugg Surveying, Inc., Albuquerque, New Mexico, dated December 26, 1986.

B. United survey entitled "BOUNDARY AND TOPOGRAPHIC SURVEY, LOTS 27 THRU 31, BLOCK 4, ALTURA ADDITION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", prepared by Hugg Surveying, Inc., Albuquerque, New Mexico, dated December 26, 1986.

A. Plat entitled "ALTURA ADDITION, TO THE CITY OF ALBUQUERQUE, NEW MEXICO", as filed in the Office of the County Clerk of Bernalillo County, New Mexico on February 17, 1950, in Volume D, Folio 83.



VICINITY MAP
Not to Scale

GENERAL NOTES

- Bearings are grid based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 27), and rotated to grid at the New Mexico State Highway Commission/Albuquerque Control Survey Monument "12-J16".
- Bearings and distances shown in parenthesis are record.
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
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 - Plat entitled "ALTURA ADDITION, TO THE CITY OF ALBUQUERQUE, NEW MEXICO", as filed in the Office of the County Clerk of Bernalillo County, New Mexico on February 17, 1950, in Volume D, Folio 83.
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 - Unfiled survey entitled "A.L.T.A./A.C.S.M. LAND TITLE SURVEY LOTS 28, 29, 30 AND 31, BLOCK A, ALTURA ADDITION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", prepared by Russ P. Hugg, NMPS No. 9750 for SURV-TEK, INC., Albuquerque, New Mexico, dated March 9, 1999.
- U.C.L.S. Log Number: 2005294875.
- Total Plat acreage: 0.6419 Acres, more or less.
- This property is currently zoned "O-1, Office & Institutional" per the City of Albuquerque Zone Atlas, dated July 06, 2004.

PURPOSE OF PLAT

The purpose of this plat is to:

- Eliminate the lot lines between Lots 28 thru 31.
- Dedicate the additional street right of way for Carlisle Boulevard to the City of Albuquerque in fee simple with warranty covenants.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer _____ Date _____

LEGAL DESCRIPTION

Lots numbered Twenty-eight (28), Twenty-nine (29), Thirty (30) and Thirty-one (31) in Block Lettered "A", of the ALTURA ADDITION, an addition to the City of Albuquerque, New Mexico, as the same are shown and designated on the map of said addition, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on February 17, 1950, EXCEPTING THEREFROM the Westerly Fourteen (14) feet of Lot numbered Thirty-one (31) conveyed to the City of Albuquerque by Warranty Deed filed October 15, 1959, recorded in Book D507, page 348.

Said parcel contains 0.6419 Acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising "LOT 28-A, BLOCK A, ALTURA ADDITION (BEING A REPLAT OF LOTS 28 THRU 31, BLOCK A, ALTURA ADDITION) WITHIN SECTION 14, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) do hereby dedicate the additional street right of way for Carlisle Boulevard as shown hereon to the City of Albuquerque in fee simple with warranty covenants by this plat. Said owner(s) and proprietors do hereby grant the public utility easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER
James A. Peterson and Mary B. Peterson Revocable Trust

James A. Peterson
By: James A. Peterson, Trustee

ACKNOWLEDGEMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 18th day of July, 2005, by, James A. Peterson.

Russ P. Hugg
My commission expires April 10, 2006

Notary Public OFFICIAL SEAL
KYLE P. CONNALLY
NOTARY PUBLIC-STATE OF NEW MEXICO
My commission expires: 4-10-2006

**LOT 28-A
BLOCK A
ALTURA ADDITION**

(BEING A REPLAT OF LOTS 28 THRU 31, BLOCK A, ALTURA ADDITION)

WITHIN
SECTION 14, TOWNSHIP 10 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

JULY, 2005

**PRELIMINARY PLAT
APPROVED BY DRB**

ON 7/27/05

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

Utility Approvals

PNM Electric Services _____ Date _____

PNM Gas Services _____ Date _____

QWest Corporation _____ Date _____

Comcast _____ Date _____

City Approvals: *Russ P. Hugg* _____ Date 7-18-05
City Surveyor

Real Property Division _____ Date _____

Environmental Health Department _____ Date _____

Traffic Engineering, Transportation Division _____ Date _____

Utilities Development _____ Date _____

Parks and Recreation Department _____ Date _____

AMAFCA _____ Date _____

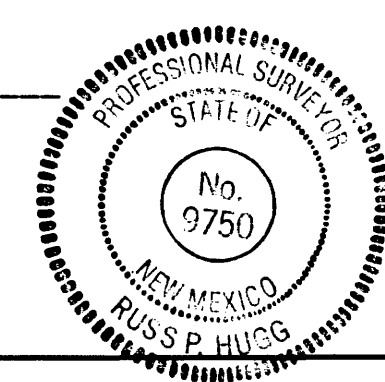
City Engineer _____ Date _____

DRB Chairperson, Planning Department _____ Date _____

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
Russ P. Hugg
NMPS No. 9750
July 9, 2005



SURV TEK, INC.
Consulting Surveyors
9384 Valley View Drive N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3366
Fax: 505-897-3377

**LOT 28-A
BLOCK A
ALTURA ADDITION**

(BEING A REPLAT OF LOTS 28 THRU 31, BLOCK A, ALTURA ADDITION)

**WITHIN
SECTION 14, TOWNSHIP 10 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO**

JULY, 2005

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

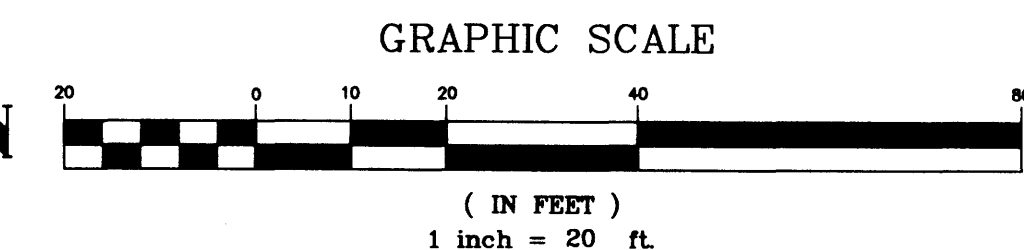
- A. PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- B. PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.



SURVOTEK, INC.

Consulting Surveyors Phone: 505-897-3366
9304 Valley View Drive N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

LOT 33-A
BLOCK A
ALTURA ADDITION
Filed 6-11-2002, in Vol. 2002C Folio 201

LOT 2

EXCEPTION
Warranty Deed
Filed 10-15-58
Book D507, Page 348

S89°14'43"E, 14.00'
(S89°39'40"E, 14.00')

N.E.

Additional Street right of way dedicated to the City of Albuquerque in fee simple with warranty covenants by this plat, 0.0472 acre- Cross hatched area)

BOULEVARD
(Variable width R/W)

CARLISLE

LOT 31

LOT 30

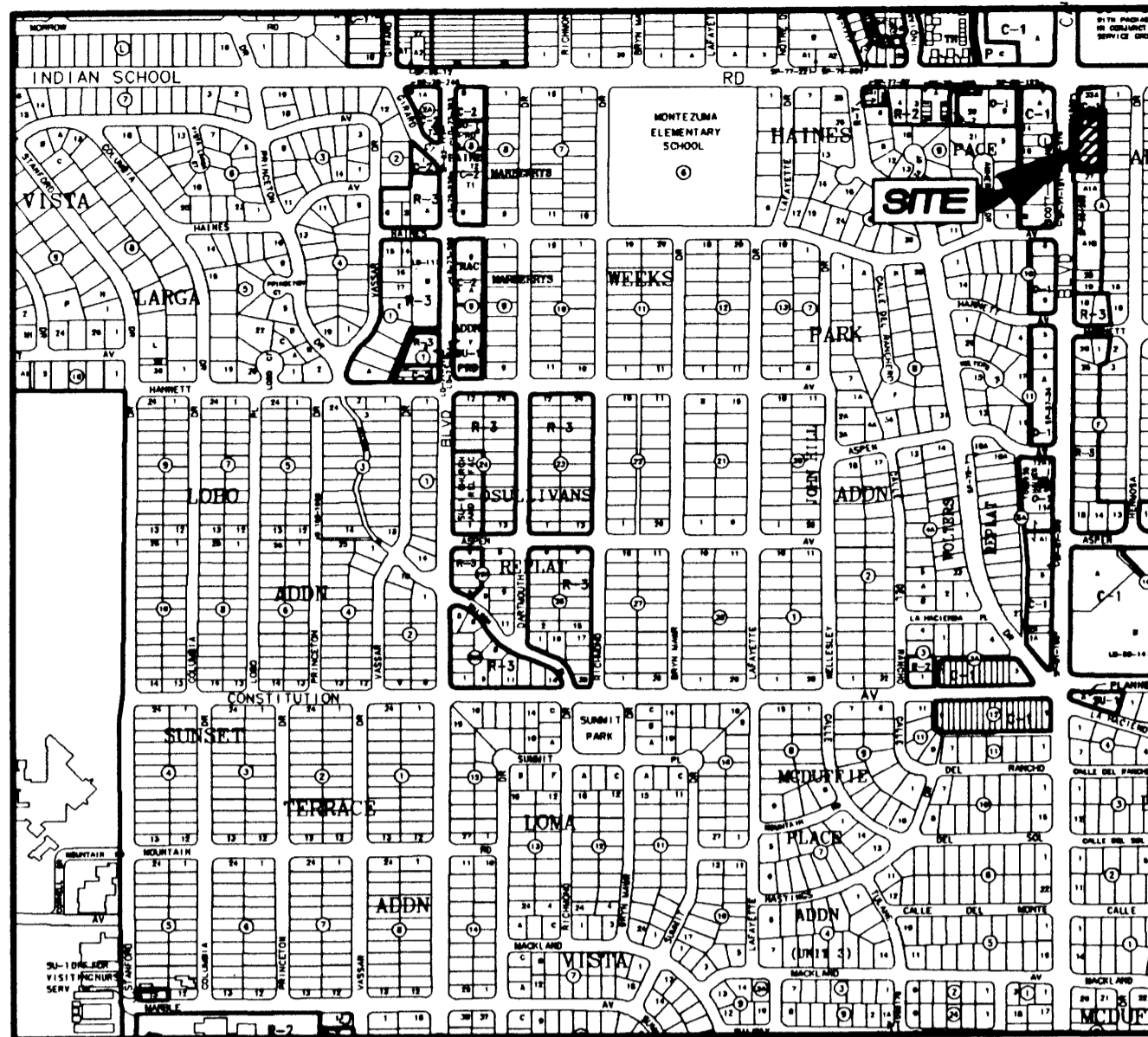
LOT 28-A
0.5946 Acres

LOT 29

LOT 28

LOT 27
BLOCK A
ALTURA ADDITION
Filed 2-17-1950, in Vol. D Folio 83

Albuquerque Control Survey Monument
"12-U16"
New Mexico State Plane Coordinates -
Central Zone (NAD27)
Y=394,194.74
X=1,492,127.67
G-G=0.99966616
Delta Alpha=-00°12'12"
Elevation=5158.238 (NGVD29)



VICINITY MAP
Not to Scale

GENERAL NOTES

- Bearings are grid based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 27), and rotated to grid at the New Mexico State Highway Commission/Albuquerque Control Survey Monument "12-J16".
- Bearings and distances shown in parenthesis are record.
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- City of Albuquerque Zone Atlas Page J-17.
- Said property is subject to all of the exceptions listed under Schedule B- Part II (Exceptions) of First American Title Insurance Company's Commitment for Title Insurance Number 01984330, dated October 26, 1998.
- Documents used in the preparation of this survey are as follows:
 - Plat entitled "ALTURA ADDITION, TO THE CITY OF ALBUQUERQUE, NEW MEXICO", as filed in the Office of the County Clerk of Bernalillo County, New Mexico on February 17, 1950, in Volume D, Folio 83.
 - Unfiled survey entitled "BOUNDARY AND TOPOGRAPHIC SURVEY, LOTS 27 THRU 31, BLOCK 4, ALTURA ADDITION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", prepared by Hugg Surveying, Inc., Albuquerque, New Mexico, dated December 26, 1986.
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- U.C.L.S. Log Number: 2005294875.
- Total Plat acreage: 0.6419 Acres, more or less.
- This property is currently zoned SU-1 for C-1 uses with exclusions.

PURPOSE OF PLAT

The purpose of this plat is to:

- Eliminate the lot lines between Lots 28 thru 31.
- Dedicate the additional street right of way for Carlise Boulevard to the City of Albuquerque in fee simple with warranty covenants.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

101705801049721423 101706801050321422 101705801050921421 101705801057721420
Steve Arpa 10/11/05 James Andrusca
 Bernalillo County Treasurer Date

LEGAL DESCRIPTION

Lots numbered Twenty-eight (28), Twenty-nine (29), Thirty (30) and Thirty-one (31) in Block Lettered "A", of the ALTURA ADDITION, an addition to the City of Albuquerque, New Mexico, as the same are shown and designated on the map of said addition, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on February 17, 1950, EXCEPTING THEREFROM the Westerly Fourteen (14) feet of Lot numbered Thirty-one (31) conveyed to the City of Albuquerque by Warranty Deed filed October 15, 1959, recorded in Book D507, page 348.

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SURVEYED and REPLATTED and now comprising, "LOT 28-A, BLOCK A, ALTURA ADDITION (BEING A REPLAT OF LOTS 28 THRU 31, BLOCK A, ALTURA ADDITION) WITHIN SECTION 14, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) do hereby dedicate the additional street right of way for Carlise Boulevard as shown hereon to the City of Albuquerque in fee simple with warranty covenants by this plat. Said owner(s) and proprietors do hereby warrant do that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER

James A. Peterson and Mary B. Peterson Revocable Trust

By *James A. Peterson* AS
 James A. Peterson, Trustee

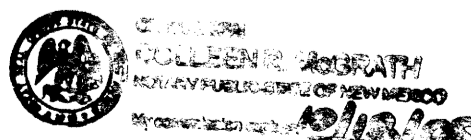


ACKNOWLEDGEMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 10th day of AUGUST, 2005, by, James A. Peterson.

Conrad M. ... My commission expires 10/10/05
 Notary Public



**LOT 28-A
 BLOCK A
 ALTURA ADDITION**
 (BEING A REPLAT OF LOTS 28 THRU 31, BLOCK A, ALTURA ADDITION)
 WITHIN
**SECTION 14, TOWNSHIP 10 NORTH, RANGE 3 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO**
 JULY, 2005

PROJECT NUMBER: 1003801

Application Number: 05DRB-01179

PLAT APPROVAL

Utility Approvals
 PNM Electric Services *[Signature]* 8-3-05
 Date
 PNM Gas Services *[Signature]* 8-3-05
 Date
 QWest Corporation *[Signature]* 08-12-05
 Date
 Comcast *[Signature]* 8-3-05
 Date

City Approvals
 City Surveyor *[Signature]* 7-18-05
 Date
 Real Property Division *[Signature]* 10/11/05
 Date
 Environmental Health Department *[Signature]* 10/11/05
 Date
 Traffic Engineering, Transportation Division *[Signature]* 10-7-05
 Date
 Utilities Development *[Signature]* 10/5/05
 Date
 Parks and Recreation Department *[Signature]* 10/5/05
 Date
 AMAFCA *[Signature]* 10/5/05
 Date
 City Engineer *[Signature]* 10/5/05
 Date
 DRB Chairperson, Planning Department *[Signature]* 10/11/05
 Date

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

[Signature]
 Russ P. Hugg
 NMPS No. 9750
 July 9, 2005



SURVOTEK, INC.

**LOT 28-A
BLOCK A
ALTURA ADDITION**
(BEING A REPLAT OF LOTS 28 THRU 31, BLOCK A, ALTURA ADDITION)
WITHIN
**SECTION 14, TOWNSHIP 10 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO**
JULY, 2005

PUBLIC UTILITY EASEMENTS

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- D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

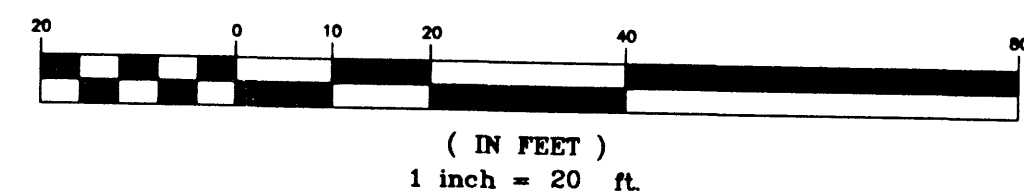
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DISCLAIMER

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GRAPHIC SCALE



SURVOTEK, INC.

Consulting Engineers
2800 Montgomery Avenue, Albuquerque, New Mexico 87114 Phone: 505-897-3366
Fax: 505-897-3377

**LOT 27
BLOCK A
ALTURA ADDITION**
Filed 2-17-1950, in Vol. D Folio 83

**LOT 33-A
BLOCK A
ALTURA ADDITION**
Filed 8-11-2002, in Vol. 2002C Folio 201

Albuquerque Control Survey Monument
"12-J16"
New Mexico State Plane Coordinates -
Central Zone (NAD27)
Y=394,194.74
X=1,492,127.67
G-G=0.99966616
Delta Alpha=-00'12"12"
Elevation=5158.238 (NGVD29)

Additional Street right of way dedicated to the City of Albuquerque in fee simple with warranty covenants by this plat. 0.0472 acre - Cross hatched area

EXCEPTION
Warranty Deed
Filed 10-15-59
Book D507, Page 348