

# Lovelace Sandia Health System WOMEN'S HOSPITAL of NEW MEXICO MEDICAL OFFICE BUILDING / NEONATAL INTENSIVE CARE UNIT

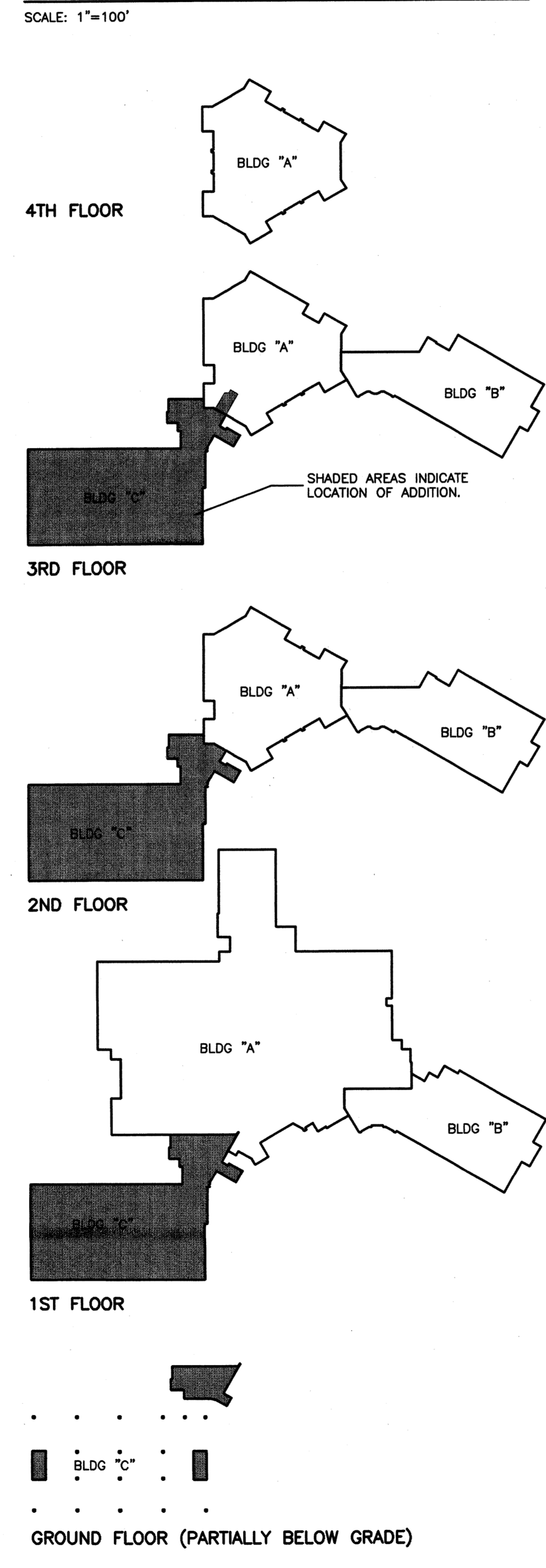
4701 Montgomery Boulevard NE  
Albuquerque, New Mexico 87109

GH Project No. 0409.01

## ARCHITECTURAL SYMBOLS & ABBREVIATIONS

	Drawing No. / Sheet No.	WALL OR BUILDING SECTION CUT MARK	H.M.G., HWG	HOLLOW METAL GALVANIZED
	Drawing No. / Sheet No.	ENLARGED PLAN OR DETAIL REFERENCE MARK	H.M.L., HMI	HOLLOW METAL INSULATED
	Drawing No. / Sheet No.	ELEVATION REFERENCE MARK	HORIZ.	HORIZONTAL
	Drawing No. / Sheet No.	DOOR MARK	HPDL	HIGH PRESSURE DECORATIVE LAMINATE
	Drawing No. / Sheet No.	KEYED NOTE	HR.	HOOR
	Drawing No. / Sheet No.	ACCESSORIES MARK	I.D., ID	INSIDE DIAMETER
	Drawing No. / Sheet No.	WINDOW MARK	IN.	INCH, INCHES
	Drawing No. / Sheet No.	REVISION MARK	INFO.	INFORMATION
	Drawing No. / Sheet No.	EQUIPMENT MARK	INSUL.	INSULATION
	Drawing No. / Sheet No.	CASEWORK/INTERIOR ELEV. VIEW REFERENCE MARK	I.B.C., IBC	INTERNATIONAL BUILDING CODE
	Drawing No. / Sheet No.	CASEWORK ELEVATION REFERENCE NUMBER	JT., JNT.	JOINT
	Drawing No. / Sheet No.	ELEVATION MARK - NEW	JST.	JOIST BEARING
	Drawing No. / Sheet No.	ELEVATION MARK - EXISTING	JST. BRG., J.B.	JOIST
	Drawing No. / Sheet No.	DIRECTION OF SLOPE	L	LONG, LENGTH
	Drawing No. / Sheet No.	AT	LPDL	LOW PRESSURE DECORATIVE LAMINATE
	Drawing No. / Sheet No.	AMERICANS WITH DISABILITIES ACT	MANUF., MFR.	MANUFACTURER
	Drawing No. / Sheet No.	ABOVE FINISHED FLOOR	MATL.	MATERIAL
	Drawing No. / Sheet No.	ALTERNATE	MAX.	MAXIMUM
	Drawing No. / Sheet No.	ALUMINUM	MECH.	MECHANICAL
	Drawing No. / Sheet No.	AMERICAN NATIONAL STANDARDS INSTITUTE	M.H., MH	MANHOLE
	Drawing No. / Sheet No.	BOARD	MIN.	MINIMUM
	Drawing No. / Sheet No.	BUILDING, BUILDINGS	MISC.	MISCELLANEOUS
	Drawing No. / Sheet No.	BEAM	M.O.	MASONRY OPENING
	Drawing No. / Sheet No.	BOTTOM OF	MTL.	METAL
	Drawing No. / Sheet No.	BEARING	N.I.C.	NOT IN CONTRACT
	Drawing No. / Sheet No.	BOTTOM	NO., #	NUMBER, POUND
	Drawing No. / Sheet No.	BUILT-UP ROOF (ROOFING)	N.T.S., NTS	NOT TO SCALE
	Drawing No. / Sheet No.	CORNER GUARD	O.A.E.	OR APPROVED EQUAL
	Drawing No. / Sheet No.	CONTROL JOINT	O.C.	ON CENTER
	Drawing No. / Sheet No.	CENTER LINE	O.C.C.	OCCUPANCY, OCCUPANT(S)
	Drawing No. / Sheet No.	CEILING	O.D., OD	OUTSIDE DIAMETER, OVERFLOW DRAIN
	Drawing No. / Sheet No.	CLEAR, CLEARANCE	ORD	OVERFLOW ROOF DRAIN
	Drawing No. / Sheet No.	CONCRETE MASONRY UNIT	O.F.E.	OWNER FURNISHED EQUIPMENT
	Drawing No. / Sheet No.	CLEAN OUT	O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED
	Drawing No. / Sheet No.	COLUMN	O.F.O.I.	OWNER FURNISHED, OWNER INSTALLED
	Drawing No. / Sheet No.	CONCRETE	O.F.V.I.	OWNER FURNISHED, VENDOR INSTALLED
	Drawing No. / Sheet No.	CONTINUOUS	O.H., OH	OVERHEAD
	Drawing No. / Sheet No.	CARPET	OP., OPN'G.	OPENING
	Drawing No. / Sheet No.	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED	OPP.	OPPOSITE
	Drawing No. / Sheet No.	COUNTER SINK	O.S.B., OSB	ORIENTED STRAND BOARD
	Drawing No. / Sheet No.	CERAMIC TILE	P.C.C.	PORTLAND CEMENT CONCRETE
	Drawing No. / Sheet No.	CUBIC	PED.	PEDESTAL
	Drawing No. / Sheet No.	DEMO, DEMOLITION, DEMOLISH	PERIM.	PERIMETER
	Drawing No. / Sheet No.	DRINKING FOUNTAIN	PL, P	PROPERTY LINE
	Drawing No. / Sheet No.	DIAMETER	PLAM.	PLASTIC LAMINATE
	Drawing No. / Sheet No.	DOWN	PLYWD.	PLYWOOD
	Drawing No. / Sheet No.	DOOR	P.P., PP	POWER POLE
	Drawing No. / Sheet No.	EACH	PR.	PAIR
	Drawing No. / Sheet No.	END CAP	P.S.I., PSI	POUNDS PER SQUARE INCH
	Drawing No. / Sheet No.	EXTERIOR INSULATION & FINISH SYSTEM	Q.T., QT	QUARRY TILE
	Drawing No. / Sheet No.	EXPANSION JOINT	R	RADIUS, RISERS
	Drawing No. / Sheet No.	ELECTRIC	RCP	REFLECTED CEILING PLAN
	Drawing No. / Sheet No.	ELEVATION	R.D., RD	ROOF DRAIN
	Drawing No. / Sheet No.	EQUAL	REF.	REFERENCE
	Drawing No. / Sheet No.	ELECTRIC WATER COOLER	REQ'D.	REQUIRED
	Drawing No. / Sheet No.	EXISTING	REV.	REVISION, REVISED
	Drawing No. / Sheet No.	FLOOR DRAIN	RM.	ROOM
	Drawing No. / Sheet No.	FIRE EXTINGUISHER & CABINET	R.O.	ROUGH OPENING
	Drawing No. / Sheet No.	FINISH FLOOR	R.O.W.	RIGHT-OF-WAY
	Drawing No. / Sheet No.	FINISH GRADE	S.C.G., SCG	STAINLESS STEEL CORNER GUARD
	Drawing No. / Sheet No.	FLAT HEAD	SCWD	SOLID CORE WOOD
	Drawing No. / Sheet No.	FLOW LINE	S.E.C., SEC	STAINLESS STEEL END CAP
	Drawing No. / Sheet No.	FLOOR	SHT.	SHEET
	Drawing No. / Sheet No.	FACE OF	SIM.	SIMILAR
	Drawing No. / Sheet No.	FACE OF FINISH	S.F., SQ. FT., SF	SQUARE FEET
	Drawing No. / Sheet No.	FACE OF MASONRY	SMACNA	SHEET METAL & A/C CONTRACTORS NATIONAL ASSOCIATION, INC.
	Drawing No. / Sheet No.	FACE OF STUD	SQ.	SQUARE
	Drawing No. / Sheet No.	FIRE RETARDANT TREATED WOOD	S.S., S/S	STAINLESS STEEL
	Drawing No. / Sheet No.	FLOOR SINK	STL.	STEEL
	Drawing No. / Sheet No.	FOOT, FEET	SUSP.	SUSPENDED, SUSPENSION
	Drawing No. / Sheet No.	GAGE, GAUGE	S.V., SV	SHEET VINYL
	Drawing No. / Sheet No.	GALVANIZED	T, TR.	TREADS
	Drawing No. / Sheet No.	GYP-SUM BOARD	T&G	TONGUE & GROOVE
	Drawing No. / Sheet No.	GENERAL CONTRACTOR	T.O.F., TF	TOP OF FINISH
	Drawing No. / Sheet No.	HIGH, HEIGHT	TG	TOP OF GRADE
	Drawing No. / Sheet No.	HANDICAP	TK., THK.	THICK
	Drawing No. / Sheet No.	HOLLOW CORE WOOD	TC	TOP OF CURB
	Drawing No. / Sheet No.	HARDWOOD	T.O.	TOP OF
	Drawing No. / Sheet No.	HOLLOW METAL	T.O.C.	TOP OF CONCRETE
			T.O.P.	TOP OF PARAPET
			T.O.W.	TOP OF WALL
			TP	TOP OF PAVEMENT
			TS	TOP OF SLAB
			TYP.	TYPICAL
			U.B.C., UBC	UNIFORM BUILDING CODE
			U/C	UNDER COUNTER
			U.N.O.	UNLESS NOTED OR INDICATED OTHERWISE
			VCT	VINYL COMPOSITION TILE
			VERT.	VERTICAL
			V.I.F.	VERIFY IN FIELD
			W	WIDE, WIDTH
			W/, W/O	WITH, WITHOUT
			WD.	WOOD
			WM	WATER METER
			W.W.F., WWF	WELDED WIRE FABRIC
			X	BY
			YD.	YARD

## BUILDING DIAGRAM



## CODE DATA

**CODE DATA**

ADDRESS: 4701 MONTGOMERY BLVD. NE  
ALBUQUERQUE, NEW MEXICO 87109

ZONING: SU-1 - HOSPITAL & RELATED PROFESSIONAL OFFICES

LEGAL DESCRIPTION: F-17-Z UNIVERSITY HEIGHTS HOSPITAL, LOT M-1  
EXISTING HOSPITAL - 4 STORIES  
ADDITION - 4 STORIES

FRONT YARD: AS DETERMINED BY EPC  
SIDE YARDS: AS DETERMINED BY EPC  
REAR YARD: AS DETERMINED BY EPC

2003 IBC  
CONSTRUCTION OF A NEW MEDICAL OFFICE AND  
NEONATAL INTENSIVE CARE UNIT ADDITION.  
AA-96-165, DRB-96-20, V-96-7, Z-81-53  
Z-78-137, Z-77-109, ZA-76-218

**BUILDING A (EXISTING):**  
GROUP I-2 HOSPITAL / CONSTRUCTION TYPE I-A SPRINKLED  
4TH FLOOR = 16,836 G.S.F.  
3RD FLOOR = 18,036 G.S.F.  
2ND FLOOR = 17,760 G.S.F.  
1ST FLOOR = 71,461 G.S.F.  
TOTAL = 124,193 G.S.F.

**BUILDING B (EXISTING):**  
GROUP B BUSINESS / CONSTRUCTION TYPE V 1-HR SPRINKLED  
3RD FLOOR = 15,334 G.S.F.  
2ND FLOOR = 15,331 G.S.F.  
1ST FLOOR = 15,808 G.S.F.  
TOTAL = 46,273 G.S.F.

**BUILDING C (NEW):**  
GROUP I-2 HOSPITAL, GROUP B BUSINESS  
CONSTRUCTION TYPE I-A SPRINKLED  
3RD FLOOR = 21,675 G.S.F. NEONATAL INTENSIVE CARE UNIT  
2ND FLOOR = 21,357 G.S.F. MEDICAL OFFICES  
1ST FLOOR = 21,357 G.S.F. MEDICAL OFFICES  
BELOW GRADE = 2,353 G.S.F. PARKING  
TOTAL = 66,742 G.S.F.

## INDEX TO DRAWINGS

**DRAWING INDEX:**

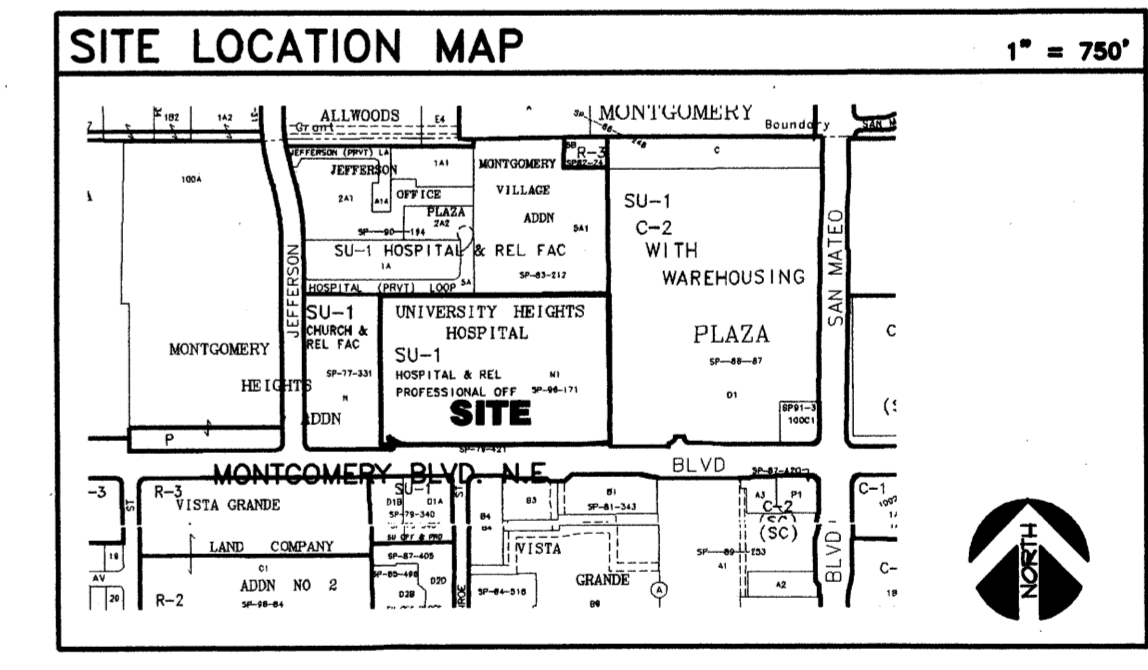
CS	COVER SHEET, CODE INFORMATION, SYMBOLS LEGEND
C3.1	ARCHITECTURAL SITE PLAN
C4.1	SITE DETAILS
L1.1	LANDSCAPE PLAN
C1.1	OVERALL GRADING AND DRAINAGE PLAN
C1.2	ENLARGED GRADING AND DRAINAGE PLAN
C1.3	OVERALL UTILITY PLAN
C1.4	ENLARGED UTILITY PLAN
A4.1	BUILDING ELEVATIONS
A4.2	BUILDING ELEVATIONS

## PROJECT TEAM

**ARCHITECT:** GREGORY T. HICKS AND ASSOCIATES ARCHITECTS  
110 SECOND ST. SW - SUITE 204  
ALBUQUERQUE, NEW MEXICO 87102  
(505) 243-7492 FAX: (505) 243-1106  
CONTACT: DAVID KINES, PROJECT ARCHITECT

**CIVIL:** ISAACSON & ARFMAN, P.A.  
128 MONROE ST. NE  
ALBUQUERQUE, NEW MEXICO 87108  
(505) 248-8828 FAX: (505) 248-2632  
CONTACT: SCOTT MCGEE P.E.

**OWNER:** LOVELACE SANDIA HEALTH SYSTEM  
ALBUQUERQUE REGIONAL MEDICAL CENTER  
601 DR. MARTIN LUTHER KING, JR. AVE. NE  
ALBUQUERQUE, NEW MEXICO 87102  
(505) 727-7806 FAX: (505) 727-9267  
CONTACT: TROY CLARK



Set No.:

STATE OF NEW MEXICO  
GREGORY T. HICKS ARCHITECTS  
DESIGNER ARCHITECTS  
110 Second St. SW, Suite 204  
Albuquerque, New Mexico 87102  
(505) 243-7492 Fax: (505) 243-1106  
e-mail: ghicks@ghicks.com

GREGORY T. HICKS & ASSOC., P.C.  
ARCHITECTS • PLANNERS  
The Sunshine Building  
110 Second St. SW, Suite 204  
Albuquerque, New Mexico 87102  
(505) 243-7492 Fax: (505) 243-1106  
e-mail: ghicks@ghicks.com

designing today  
DESIGNING TOMORROW.

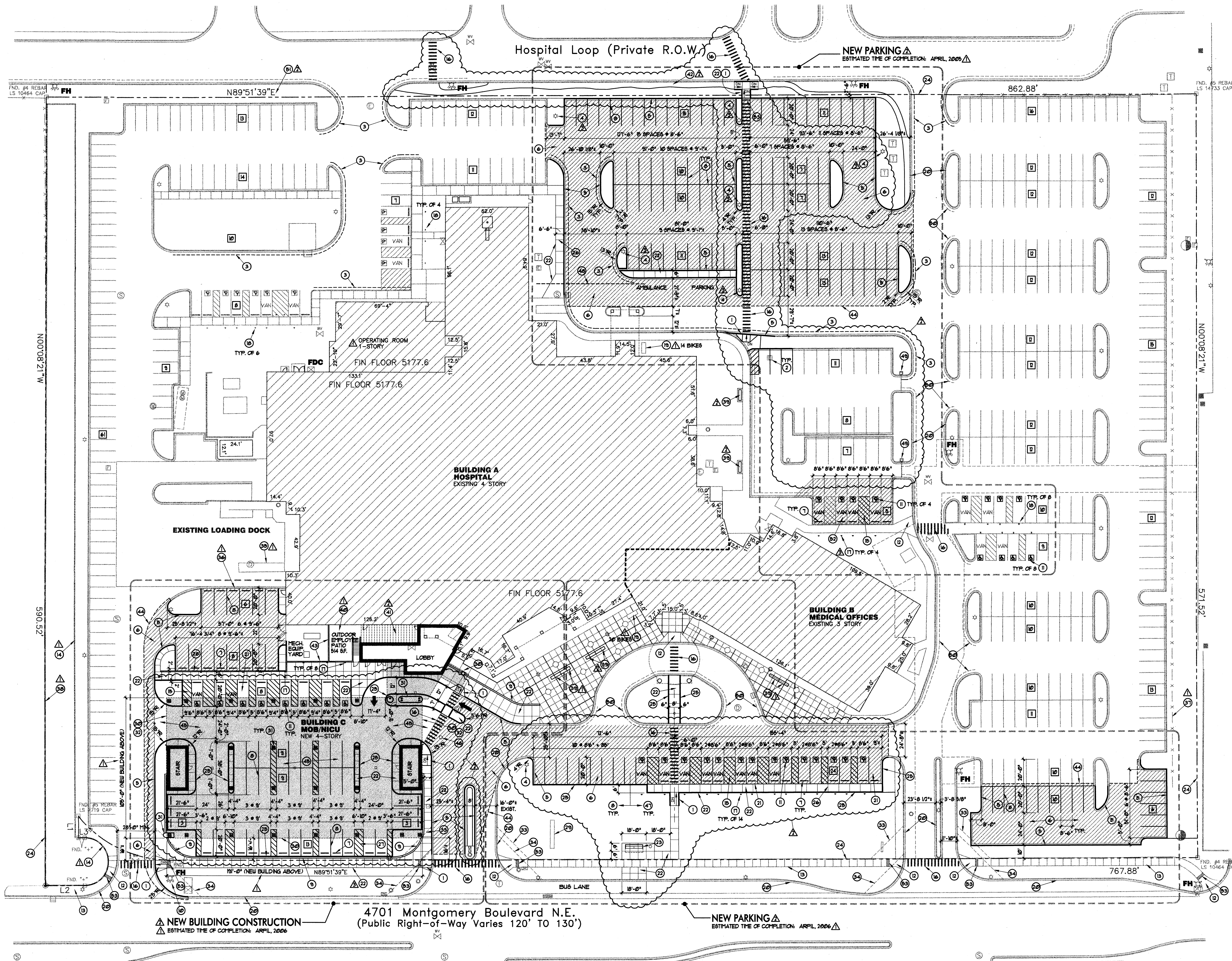
revisions:  
12-7-4  
2-22-5  
2-28-5

proj. no.: 0409.01  
acad file: 040901CS  
date: 2-22-5

**WOMEN'S HOSPITAL OF NEW MEXICO**  
Medical Office Bldg./Neonatal Intensive Care Unit  
Lovelace Sandia Health System  
4701 Montgomery Blvd. N.E. Albuquerque, New Mexico 87109

sheet title:  
COVER SHEET  
CODE INFORMATION  
SYMBOLS LEGEND

CS  
(EPC/DRB)



**CODE DATA**  
 ADDRESS: 4701 MONTGOMERY BLVD. NE ALBUQUERQUE, NEW MEXICO 87109  
 ZONING: BU-1 FOR HOSPITAL AND RELATED PROFESSIONAL OFFICES  
 ZONE ATLAS MAP: UNIVERSITY HEIGHTS HOSPITAL, LOT M-1  
 LEGAL DESCRIPTION: EXISTING HOSPITAL - 4 STORIES  
 HEIGHT: 1-4 STORIES  
 SETBACKS: FRONT YARD: AS DETERMINED BY EPC  
 SIDE YARD: AS DETERMINED BY EPC  
 REAR YARD: AS DETERMINED BY EPC  
 CODE USED: 2003 IBC  
 SUMMARY OF WORK: CONSTRUCTION OF A NEW MEDICAL OFFICE AND NEONATAL INTENSIVE CARE UNIT ADDITION.  
 PRIOR CASE NUMBERS: AA-96-165, DRB-96-20, V-96-1, 2-91-53, 2-18-13, 2-11-109, 2A-16-216

**BUILDING A (EXISTING)**  
 GROUP 1-2 HOSPITAL / CONSTRUCTION TYPE I-A SPRINKLED  
 4TH FLOOR: 16,536 G.S.F.  
 3RD FLOOR: 18,256 G.S.F.  
 2ND FLOOR: 17,160 G.S.F.  
 1ST FLOOR: 7,146 G.S.F.  
 TOTAL: 59,108 G.S.F.

**BUILDING B (EXISTING)**  
 GROUP B BUSINESS / CONSTRUCTION TYPE V I-HR SPRINKLED  
 3RD FLOOR: 15,334 G.S.F.  
 2ND FLOOR: 15,334 G.S.F.  
 1ST FLOOR: 15,628 G.S.F.  
 TOTAL: 46,296 G.S.F.

**BUILDING C (NEW)**  
 GROUP 1-2 HOSPITAL, GROUP B BUSINESS  
 CONSTRUCTION TYPE I-A SPRINKLED  
 3RD FLOOR: 21,675 G.S.F. NEONATAL INTENSIVE CARE UNIT  
 2ND FLOOR: 21,381 G.S.F. MEDICAL OFFICES  
 1ST FLOOR: 21,381 G.S.F. MEDICAL OFFICES  
 GROUND FLOOR: 2,353 G.S.F. PARKING  
 TOTAL: 66,742 G.S.F.

**PARKING REQUIREMENTS** NLA = NET LEASABLE AREA  
 EXISTING HOSPITAL OCCUPANCY: (PREVIOUSLY APPROVED EPC/DRB DECISIONS)  
 PROVIDE 1 SPACE/2 PATIENT BEDS = 65 SPACES  
 150 LICENSED BEDS/2

EXISTING MEDICAL OFFICES (BUSINESS OCCUPANCY)  
 (PREVIOUSLY APPROVED EPC/DRB DECISIONS)  
 PROVIDE 1 SPACE/100 SF OF NLA ON 1ST FLOOR = 60 SPACES  
 12,000 SF NLA/200  
 PROVIDE 1 SPACE/200 SF OF NLA ON 2ND & 3RD FLOORS = 14,400 SF NLA/200 = 72 SPACES

NEW NEONATAL INTENSIVE CARE UNIT (HOSPITAL OCCUPANCY)  
 PROVIDE 1 SPACE/2 PATIENT BEDS = 15 SPACES  
 30 LICENSED BEDS/2

NEW MEDICAL OFFICES (BUSINESS OCCUPANCY)  
 PROVIDE 5 SPACES FOR EACH DOCTOR:  
 RENTABLE AREA - FIRST FLOOR: 16,512 SF  
 RENTABLE AREA - SECOND FLOOR: 16,416 SF  
 RENTABLE AREA - THIRD FLOOR: 2,482 SF  
 TOTAL RENTABLE AREA: 35,410 SF

35,400 SF. RENTABLE SPACE / 15000 SF. PER DOCTOR = 24 DOCTORS  
 24 DOCTORS X 5 = 120 SPACES

SUB-TOTAL SPACES REQUIRED: 340 SPACES  
 10% ALLOWABLE REDUCTION FOR ADJACENCY TO TRANSIT ROUTE: 34 SPACES

TOTAL SPACES REQUIRED: 340 - 34 = 306 SPACES  
 TOTAL SPACES PROVIDED: 591 SPACES

ACCESSIBLE PARKING REQUIRED BY CITY OF ALBUQUERQUE:  
 REQUIRED: FOR 501 TO 800 SPACES = 16  
 PROVIDED: 22 STANDARD + 18 VAN = 40

BICYCLE PARKING:  
 PROVIDE 1 BICYCLE SPACE PER 20 PARKING SPACES.  
 REQUIRED: 591 / 20 = 30 SPACES PROVIDED: 34 SPACES

**OUTDOOR PUBLIC SPACE CALCULATIONS**  
 REQUIREMENTS FOR MAJOR FACADES GREATER THAN 100 FEET:  
 REQUIRED: SOUTH FACADE = 600 FT. / 25 = 24 SEATS  
 PROVIDED: EIGHT (8) LONG BENCHES \* 3 SEATS/BENCH = 24 SEATS  
 PEDESTRIAN OPEN SPACE REQUIREMENTS:  
 REQUIRED: 231,200 G.S.F. / 30,000 = 8 X 400 SF. = 3,200 SF.  
 PROVIDED: 1 PARK + 1 LARGE PLAZA = APPROX. 25,000 SF.  
 PROVISIONS FOR SEATING:  
 REQUIRED: ONE OUTDOOR GATHERING SPACE 300 SF. MIN.  
 PROVIDED: ONE OUTDOOR GATHERING SPACE APPROX. 514 SF.

**SYMBOLS LEGEND**

⊠ = TRAFFIC SIGNAL BOX	⊠ = TELEPHONE RISER
⊠ = TRAFFIC SIGNAL	⊠ = TELEPHONE SERVICE BOX
⊠ = LIGHT POLE	⊠ = FIBER OPTIC BOX
⊠ = HIGH VOLTAGE PP	⊠ = ELECTRIC BOX
⊠ = POWER POLE	⊠ = ELECTRIC SERVICE BOX
⊠ = OVERHEAD UTILITY LINE	⊠ = UTILITY METER
⊠ = UNDERGROUND GAS LINE	⊠ = CABLE TV RISER
⊠ = UNDERGROUND SEWER LINE	⊠ = PAY PHONE
⊠ = UNDERGROUND WATER LINE	⊠ = FIRE HYDRANT
⊠ = ANCHOR	⊠ = MONITOR WELL
⊠ = SEWER MANHOLE	⊠ = GAS VALVE
⊠ = TELEPHONE MANHOLE	⊠ = GAS METER
⊠ = ELECTRIC MANHOLE	⊠ = DROP INLET
⊠ = DRAINAGE MANHOLE	⊠ = BLOCK WALL
⊠ = WATER MANHOLE	⊠ = FENCE
⊠ = MANHOLE (TYPE UNKNOWN)	⊠ = FLOW
⊠ = WATER METER	⊠ = CENTERLINE
⊠ = WATER VALVE	⊠ = PROPERTY LINE
⊠ = SEWER SERVICE	
⊠ = SEWER CLEANOUT	
⊠ = WATER SERVICE	
⊠ = TRANSFORMER	

**MONUMENT LEGEND**

⊠ = FOUND CONTROL STATION AS NOTED
⊠ = TEMPORARY BENCH MARK
⊠ = FOUND MONUMENT AS NOTED
⊠ = COMPUTED CORNER (NOT SET)
⊠ = SET 1/2" REBAR #10/YELLOW PLASTIC CAP STAMPED "GRITSO L58688" UNLESS OTHERWISE NOTED

**REVISIONS:**  
 1-1-4  
 2-22-5  
 2-28-5

proj. no.: 0409.01  
 acad file: 0409C31  
 date: 2-22-5

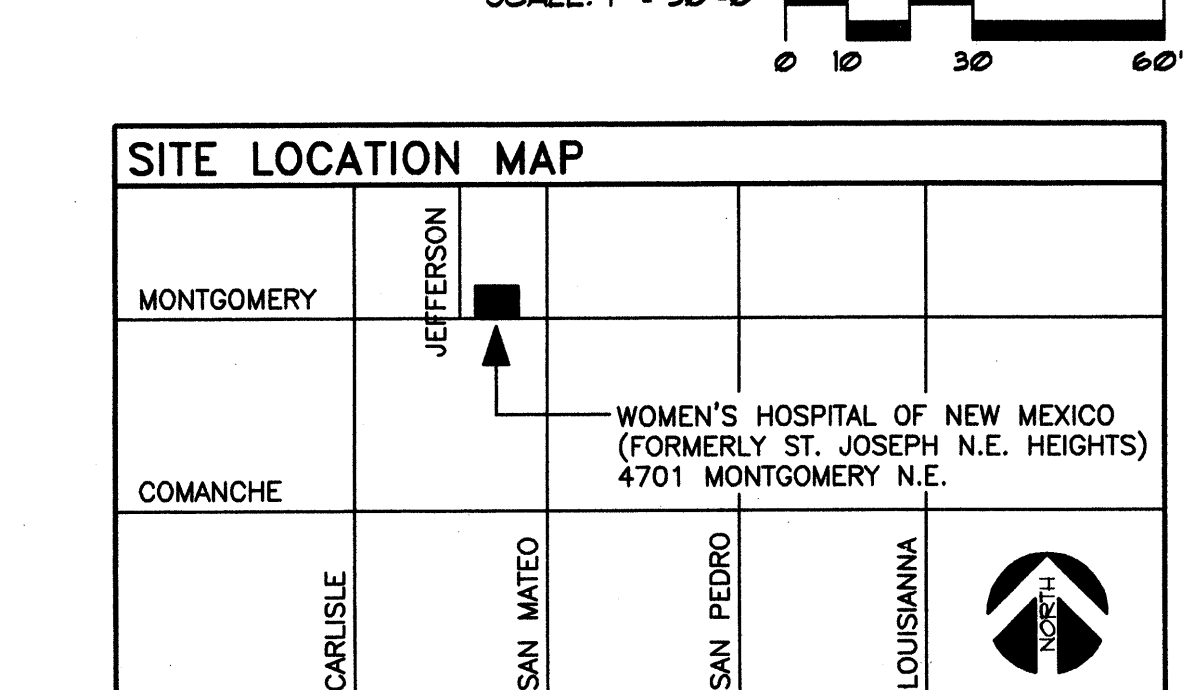
**PROJECT NUMBER: 1003804**  
**APPLICATION NUMBER: 05-00815**

Is an Infrastructure List required? ( ) Yes (X) No. If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

<i>[Signature]</i> Traffic Engineering, Transportation Division	3-2-05 Date
<i>[Signature]</i> Utilities Department	3-2-05 Date
<i>[Signature]</i> Parks and Recreation Department	3/2/05 Date
<i>[Signature]</i> City Engineer	3/2/05 Date
<i>[Signature]</i> Environmental Health Department (conditional)	3/2/05 Date
<i>[Signature]</i> Solid Waste Department	3/2-05 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	3/2/05 Date
<i>[Signature]</i> Transit Department	Date

**ARCHITECTURAL SITE PLAN**  
 SCALE: 1" = 30'-0"



**AREA LIGHTING REGULATIONS**

1. THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ANY OTHER RESIDENTIAL PREMISES. IT SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 1000 FOOT-LAMBERTS. IT SHALL NOT HAVE ANY OFF-SITE LUMINANCE GREATER THAN 2000 FOOT-LAMBERTS RECALCULATED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE, WHERE ON-SITE LIGHTING IS PROVIDED. THE LOCATION OF ALL LIGHT POLES SHALL BE INDICATED ON THE SITE. FOR SITES FIVE OR MORE ACRES, THE MAXIMUM HEIGHT OF A LIGHT POLE, MEASURED FROM THE FINISHED GRADE TO THE TOP OF THE POLE, SHALL BE 30 FEET. (14-16-3-5)

**GENERAL NOTES.**

A. ALL WORK IN PUBLIC RIGHT OF WALL SHALL COMPLY WITH CITY OF ALBUQUERQUE STANDARDS.  
 B. ALL DIMENSIONS ON THIS SITE PLAN ARE TO FACE OF CURB UNO.

**KEYED NOTES**

- NEW RAMP SLOPING 1:12 MAX. 1:48 MAX. CROSS SLOPE.
- EXISTING MANHOLE OR ACCESS COVER TO BE LOWERED/RAISED FLUSH WITH NEW GRADES. TYPICAL ALL UTILITIES.
- THIS DASHED LINE SIGNIFIES NEW FIRE LANE. PAINT FACE/TOP OF CURB RED. PAINT 4" HIGH STENCILLED WHITE LETTERS "FIRE LANE" AND NO PARKING ALTERNATING AT 12' O.C.
- RELOCATED 2" H. POLE LIGHT W/ CUT-OFF FIXTURE. (NOTE: IF IN THE COURSE OF THE PROJECT IT BECOMES NECESSARY TO REPLACE OLD LIGHT POLES OR ADD NEW ONES, SUCH POLES SHALL COMPLY WITH SITE LIGHTING REGULATIONS ON THIS SHEET.)
- NEW CONCRETE CURB AND GUTTER.
- SHADED AREA INDICATES NEW ASPHALT PAVING.
- NEW CONCRETE WHEEL STOP. CENTER 24" AWAY FROM CURB/SIDEWALK TYPICAL.
- 4" WHITE PAINTED PAVEMENT MARKINGS. TYP. AT NON-H.C.
- NEW 3"-Ø HIGH CHU SITE WALL WITH MASONRY VENEER.
- NEW FIRE HYDRANT.
- EXISTING CURBS RAMP TO REMAIN.
- NEW BLUE PAINTED WHEEL-CHAIR SYMBOL. TYPICAL.
- EXISTING CURBS RAMP TO REMAIN.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- EXIST. DETENTION POND WALL OF RAILROAD TIES TO REMAIN.
- 4" BLUE PAINTED PAV. MARKINGS AT 30' O.C. TYP. AT H.C. AISLES.
- 12" WIDE WHITE PAINTED PAVEMENT MARKINGS AT 30' O.C.
- NEW HANDICAP PARKING SIGN. TYPICAL.

**KEYED NOTES**

- EXISTING HANDICAP PARKING SIGN TO REMAIN.
- TOP 2 EXISTING BICYCLE RACKS TO REMAIN. 34 TOTAL SPACES.
- EXISTING CONCRETE CURBS AND GUTTERS TO REMAIN.
- TOP OF ASPHALT PAVING TO BE FLUSH WITH TOP OF CURB/SIDEWALK FOR HANDICAP ACCESSIBILITY.
- NEW 4" THICK CONCRETE PAVING.
- NEW BUS SHELTER, LACOR STREETSCAPE, MODEL: OASB1. SEE A42
- PROPERTY LINE. TYPICAL.
- NEW CONCRETE STAND UP CURB.
- PROVIDE CONTROL JOINTS AND EXPANSION JOINTS PER TYPICAL SITE DETAILS. TYPICAL.
- WHITE PAINTED PAVEMENT MARKINGS 30' O.C. TYP. NON-H.C. AISLES.
- NEW CONCRETE CURB.
- EXISTING MONUMENT SIGN TO REMAIN.
- LINE OF NEW BUILDING ABOVE.
- LOCATION OF BUILDING COLUMN WHERE IT HITS THE GROUND.
- SIGN "LOW CLEARANCE" 1"-Ø CLEAR MAXIMUM. 8" HIGH LETTERS ON CONTRASTING BACKGROUND.
- 29' X 29' CLEAR SITE TRIANGLE.
- 35' X 35' CLEAR SITE TRIANGLE.
- EXISTING REFUSE COMPACTOR TO REMAIN. (NOTE: THIS IS THE ONLY REFUSE DISPOSAL LOCATION ON THE SITE. IT IS SCREENED FROM VIEW TO MONTGOMERY BY AN EXIST. SITE WALL. NO NEW REFUSE CONTAINERS ARE PROPOSED.)

**KEYED NOTES**

- EXISTING 6" HIGH STUCCOED CMU SCREEN WALL (SOUTH OF DUMPSTER)
- EXISTING CHAIN LINK FENCE TO REMAIN (NEAR EAST PROPERTY LINE)
- EXISTING CONCRETE DETENTION POND WALL WITH 4" HIGH STEEL FIVE HANDRAIL ON TOP TO REMAIN. (NEAR WEST PROPERTY LINE)
- 8" LONG SITTING BENCHES 8' TOTAL SEE PUBLIC SPACE CALCS.
- NEW 600 SF OUTDOOR EMPLOYEE PATIO WITH TABLE AND CHAIRS.
- PERGOLA
- REFRESH EXISTING PEDESTRIAN PATH. SEE LANDSCAPE PLAN.
- CMU RETAINING WALL. MIN. HT. 42" ABOVE HIGHEST ADJACENT GRADE.
- LINE OF TRANSITION BETWEEN EXISTING AND NEW PAVING. COORDINATE WITH CIVIL.
- NEW REINFORCED CONCRETE PAVING. (BENEATH BUILDING "C")
- APPROXIMATE LOCATION OF NEW DRAIN. SEE CIVIL.
- 4" BLUE PAINTED PAVEMENT MARKINGS. TYP. AT H.C. SPACES.
- UNDERGROUND PIPE SLEEVE FOR FUTURE INSTALLATION OF POWER FROM BUILDING TO MOBILE CT. UNIT.
- EXISTING ELECTRIC POWERED TRAFFIC BARRIER TO REMAIN. INSTALL NEW ASP.
- THIS DASHED LINE INDICATES EXIST. FIRE LANE (RED CURB) TO REMAIN.
- REFRESHING OF PEDESTRIAN PATH AT THIS LOCATION TO BE DEFERRED UNTIL FUTURE ALTERATION OF THIS PARKING AREA.
- NEW ASPHALT OVERLAY SLOPING 1:48 MAX. TO TOP OF CURB.
- NEW 2" X WIDTH OF SIDEWALK DETECTABLE WARNING MAT COMPRISED OF 1/4" HIGH TRUNCATED DOME.

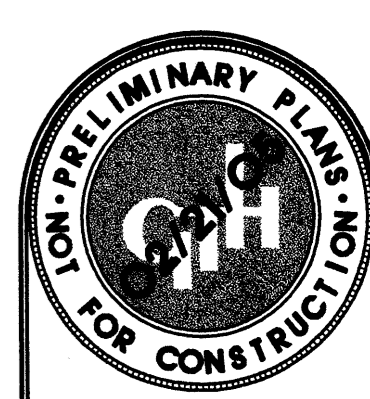
**GREGORY T. HICKS & ASSOC., P.C.**  
 ARCHITECTS - PLANNERS  
 1000 S.W. 5th Ave., Suite 204  
 Albuquerque, New Mexico 87102  
 (505) 243-7892 fax: (505) 243-1106  
 e-mail: gthicks@gthicks.com

**WOMEN'S HOSPITAL OF NEW MEXICO**  
 Medical Office Bldg./Neonatal Intensive Care Unit  
 Lovelace Sandia Health System  
 4701 Montgomery Blvd. N.E. Albuquerque, New Mexico 87109

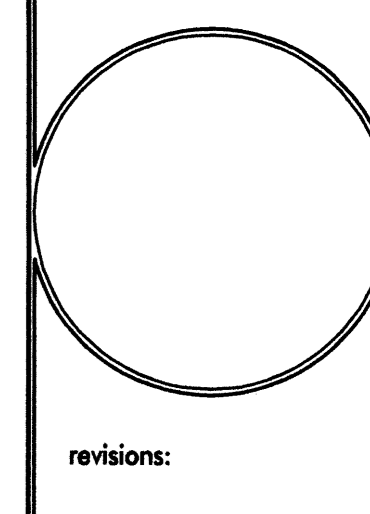
ARCHITECTURAL SITE PLAN  
 sheet title:  
 C3.1 (EPC/DRB)

1003804 #502D

ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES. DIMENSIONS IN PARENTHESES ARE FOR REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND STRUCTURES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND STRUCTURES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.



**GREGORY T. Hicks & Assoc., P.C.**  
 ARCHITECTS • PLANNERS  
 The Sunshine Building  
 Albuquerque, New Mexico 87102  
 (505) 243-7492 fax (505) 243-1106  
 e-mail: gthicks@gtahicks.com



revisions:  
 proj. no.: 0409  
 coord file: 0409C1  
 date:

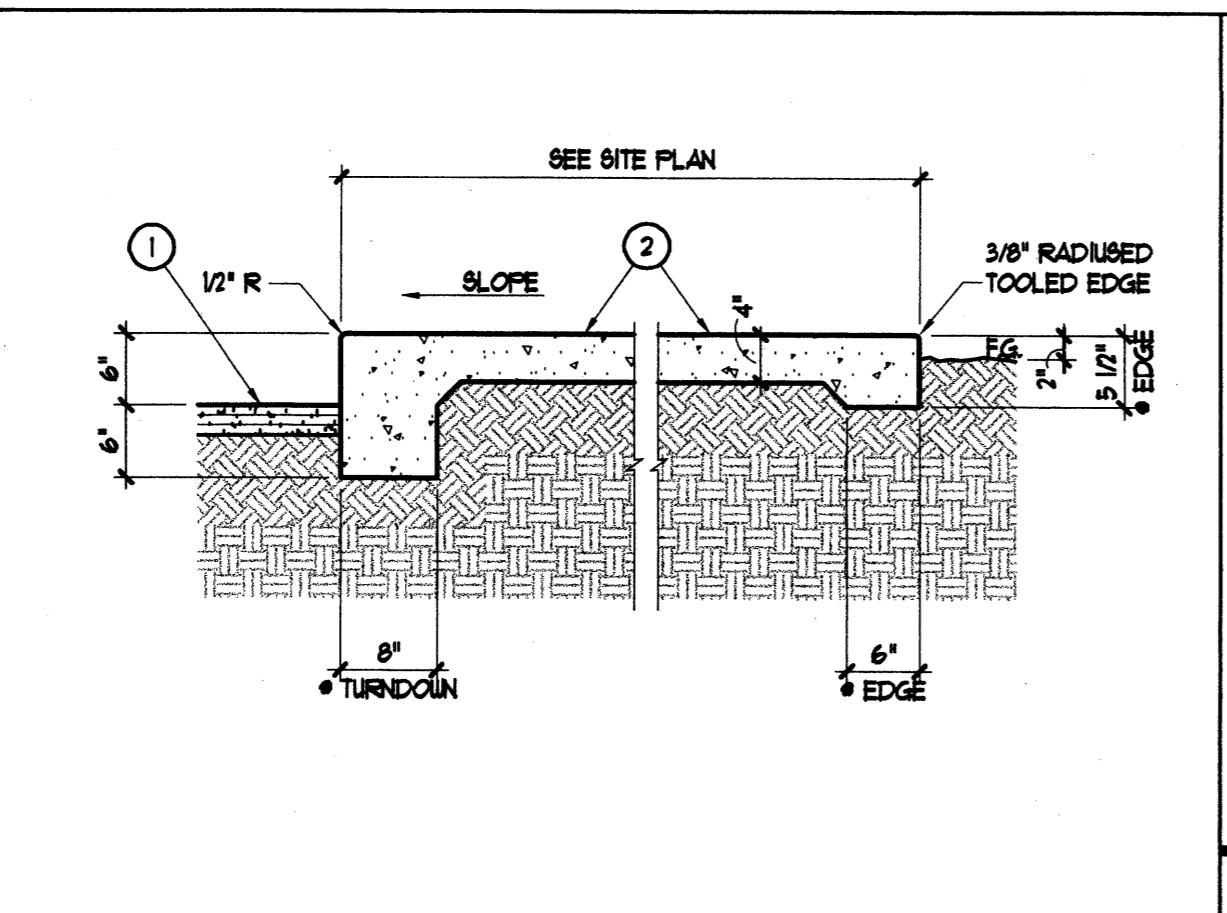
**WOMEN'S HOSPITAL OF NEW MEXICO**  
 Medical Office Bldg./Neonatal Intensive Care Unit  
 Lovelace Sandia Health System  
 4701 Montgomery Blvd. N.E. Albuquerque, New Mexico 87109

sheet title:  
 ARCHITECTURAL  
 SITE DETAILS

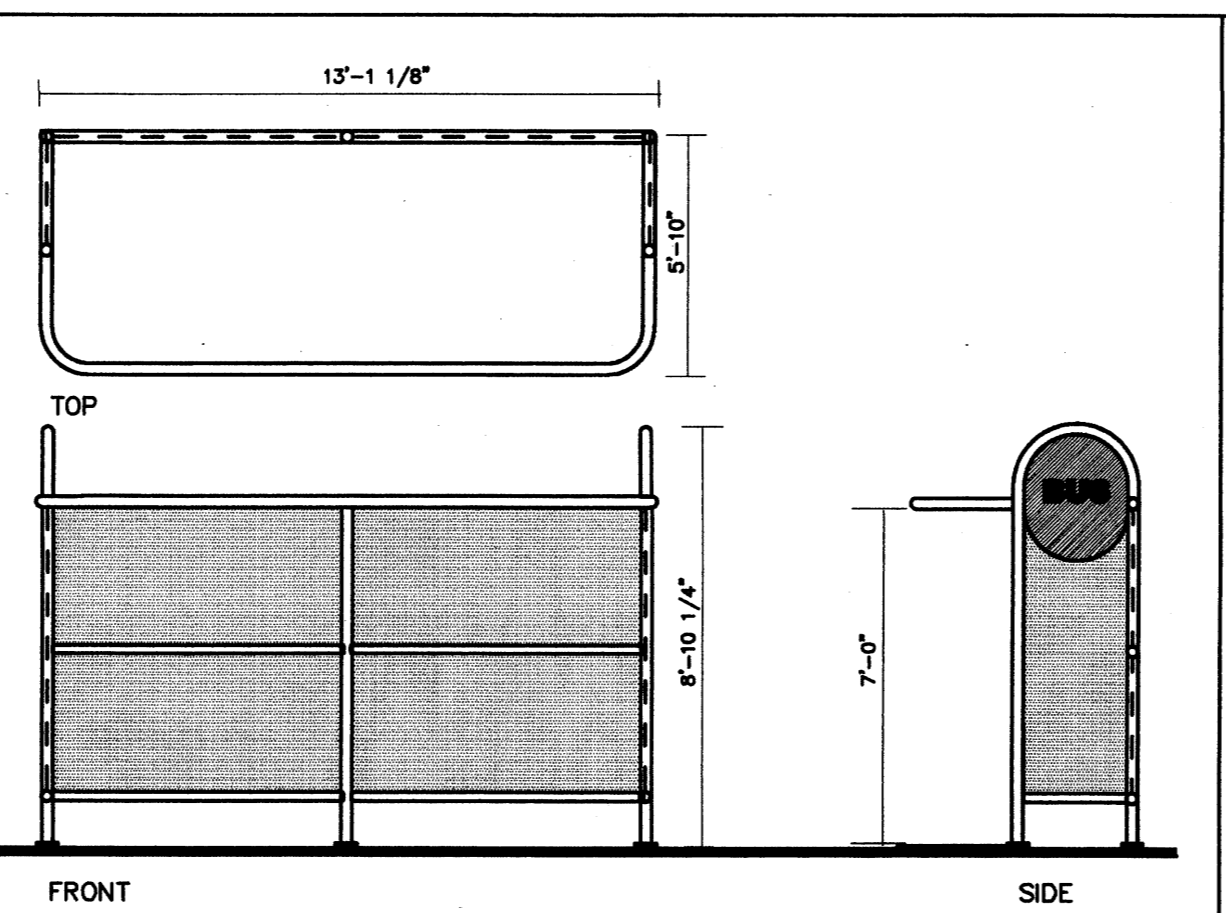
C4.1

**KEYED NOTES**

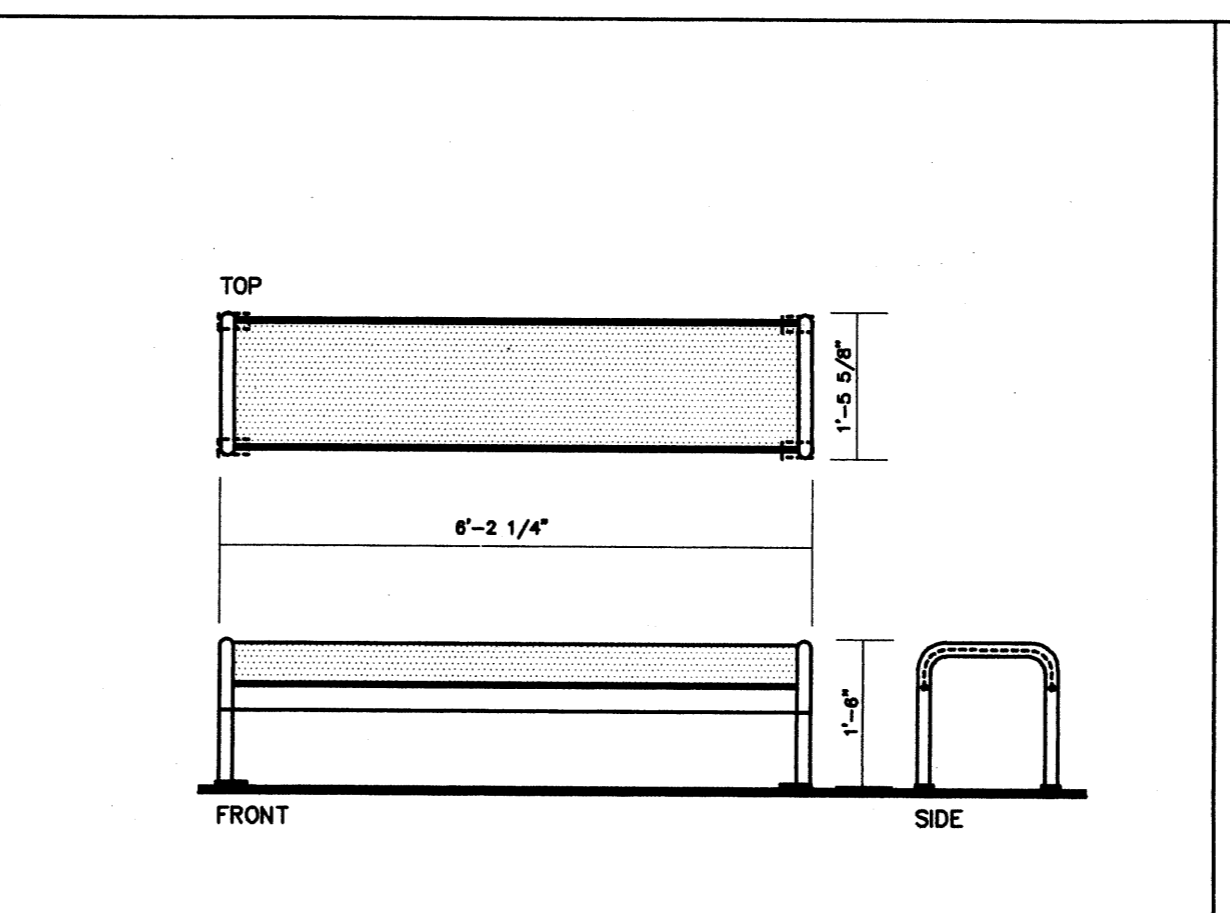
1. TYPICAL ASPHALT PAVING SECTION SEE SITE PLAN FOR THICKNESS AND EXTENT.
2. PORTLAND CEMENT CONCRETE PAVING WITH CONTROL AND EXPANSION JOINTS PER SITE PLANS AND SITE DETAILS.
3. SIGN BOLTED TO POST WITH TAMPER-RESISTANT FASTENERS.
4. 1/2" EXPANSION JOINT MATERIAL FULL DEPTH OF CONCRETE. PROVIDE SEALANT: "SIKAFLEX - 2C N8" BY SIKACORP. OR EQUAL AT JOINT TO DEPTH AS RECOMMENDED BY SEALANT MANUFACTURER.
5. PROVIDE TOOLED JOINTS 4" O.C. AT RAMP.
6. BROOM FINISH AT 8" PLAYED PORTION OF RAMP.
7. ENCASE POST IN CONCRETE ALL AROUND.
8. 1/2 GA. X 18" L OUTER SLEEVE BOLTED TO 2" 602 X 12 GA. GALV. ANCHOR BOLT.
9. CORNER BOLT.
10. 6" DIA. STEEL PIPE WITH STEEL TOP CAP. FILL WITH CONCRETE BEFORE PLACEMENT. PAINT.
11. 2" 602 X 12 GA. GALV. STEEL SIGN POST SET 8" INTO SLEEVE; UNISTRUT "TELESPAR" SYSTEM OR APPROVED EQUAL.
12. "ACCESSIBLE PARKING ONLY" AND "VAN ACCESSIBLE" SIGNS ON NEW POST WITH TAMPER-RESISTANT BOLTS.
13. EXISTING PRECAST CONCRETE PARKING BUMPER.
14. 4" X 24" LONG REBAR STAKES.
15. COMPACTED SUBGRADE.
16. PORTLAND CEMENT CONCRETE CURB AND GUTTER SEE DETAIL.
17. 1" STUCCO SYSTEM ON METAL LATH ON #5 BUILDING PAPER ON CHL.
18. 8" X 8" X 16" SMOOTH FACE CHU, RUNNING BOND.
19. SLOPE STUCCO AT TOP OF WALL.
20. GROUT ALL CELLS SOLID BELOW FINISHED GRADE.
21. STEEL SLEEVE SET IN CONCRETE FOUNDATION.
22. 2-3/8" O.D. SCHEDULE 40 STEEL PIPE BENT AS SHOWN AND SET INTO SLEEVES WITH EPOXY GROUT. DESIGN PER 9-LOOP, 1 CAPACITY, IN-GROUND MOUNT MODEL N0436-1-IG-P (SILVER GREY COLOR) BY MADCRAX, INC. (800-448-7331).
23. PIPE ESCUTCHEON, PAINT.
24. PAINT CHU THIS FACE.
25. 6" TK PORTLAND CEMENT CONC. SLAB W/ #3 REBAR AT 12" O.C. EA. WAY.
26. RAISED CONCRETE CURBS PER SITE DETAILS.



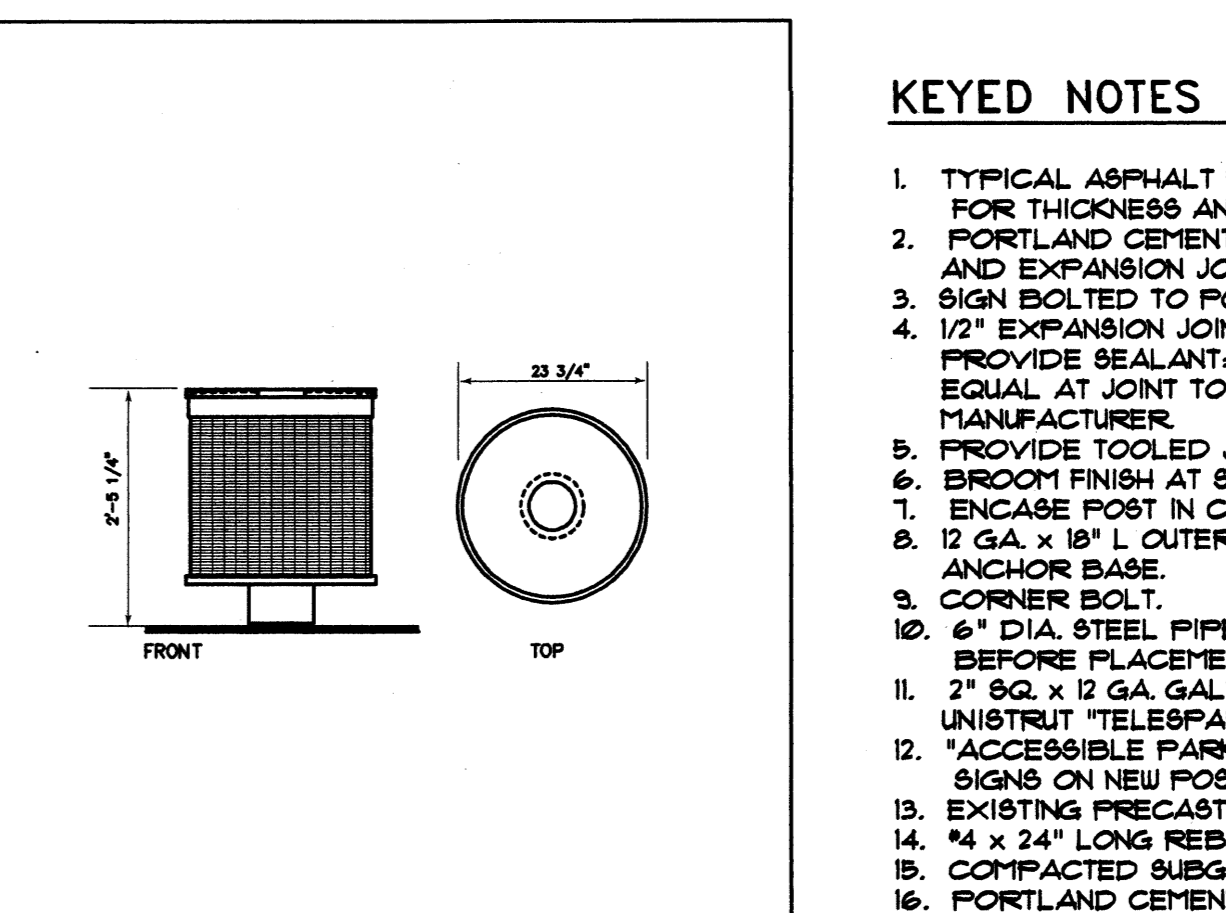
27 TYPICAL SECTION CONCRETE PAVING W/ TURNDOWN EDGE  
SCALE: 3/4" = 1'-0"



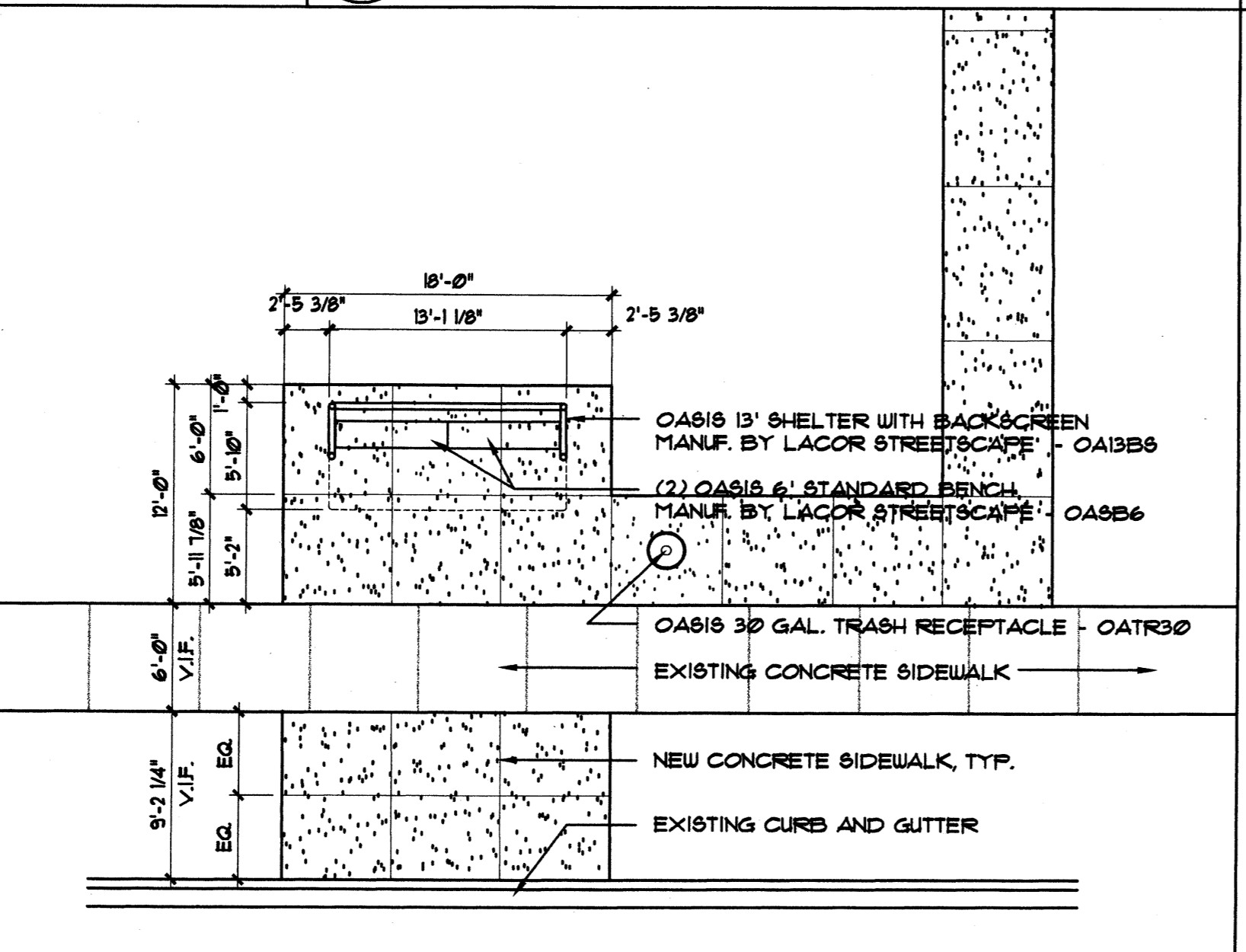
26 DETAIL BUS SHELTER  
SCALE: 1/4" = 1'-0"



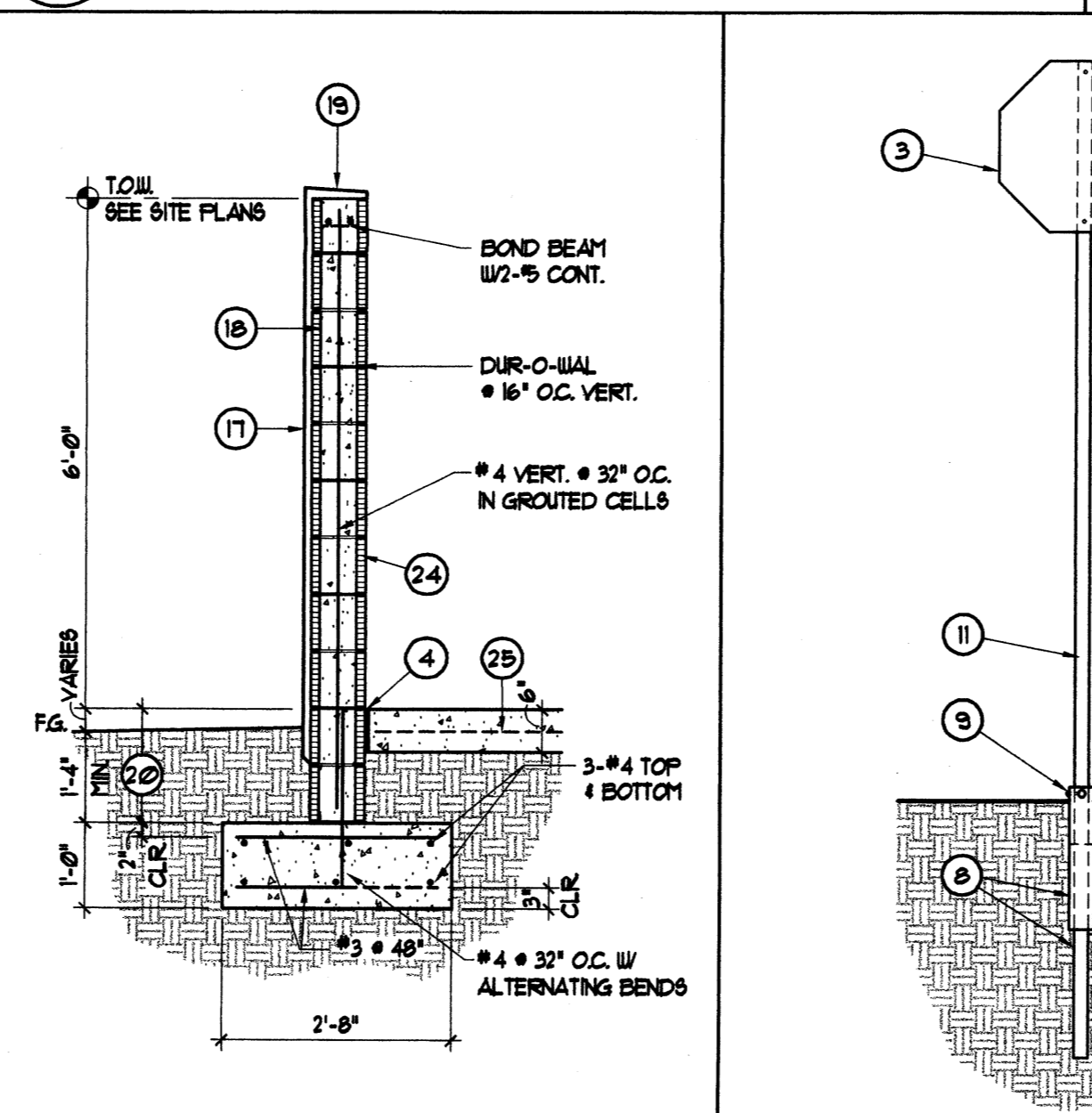
25 DETAIL STANDARD BENCH  
SCALE: 1/2" = 1'-0"



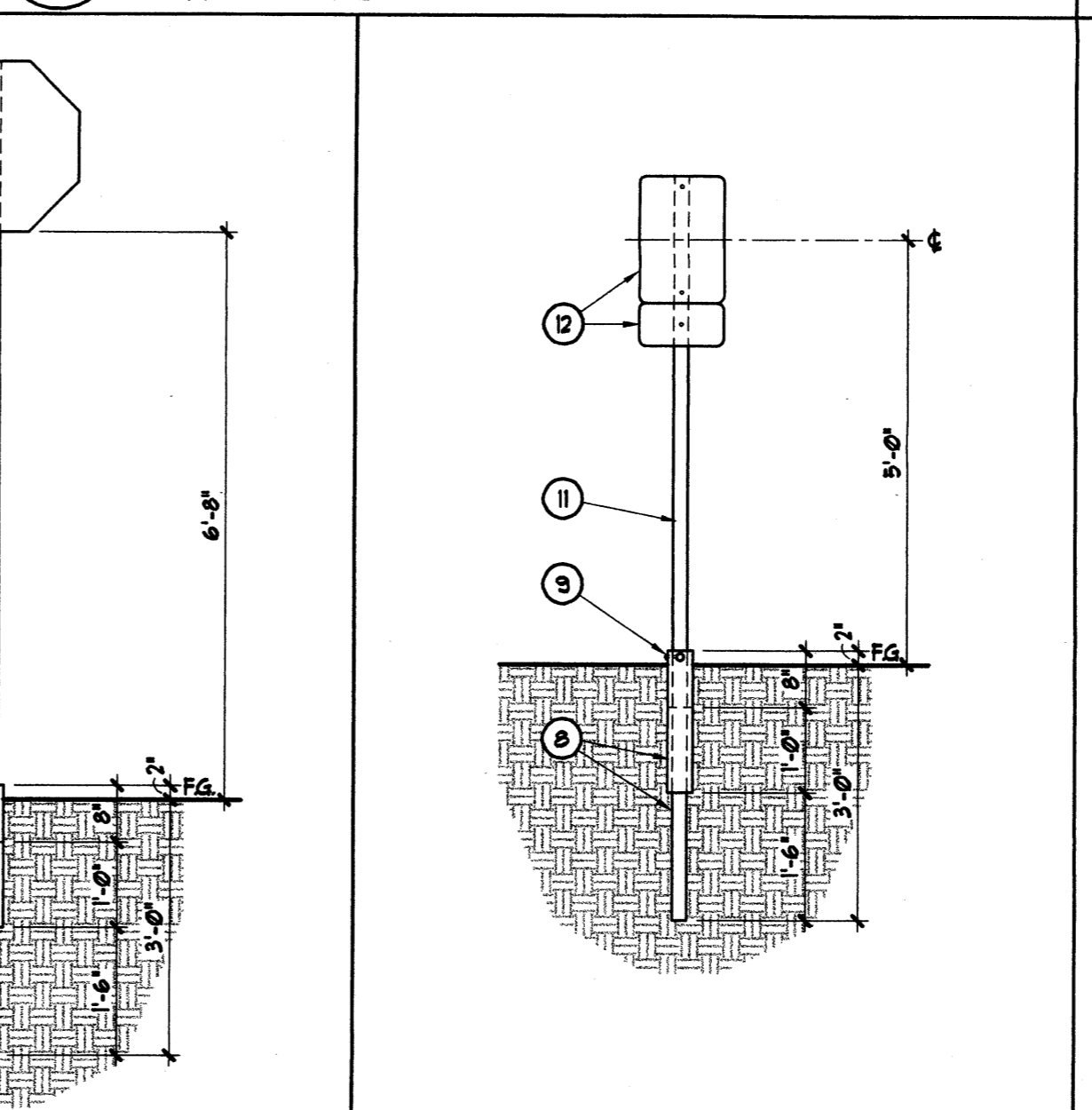
24 DETAIL TRASH RECEPTACLE  
SCALE: 1/2" = 1'-0"



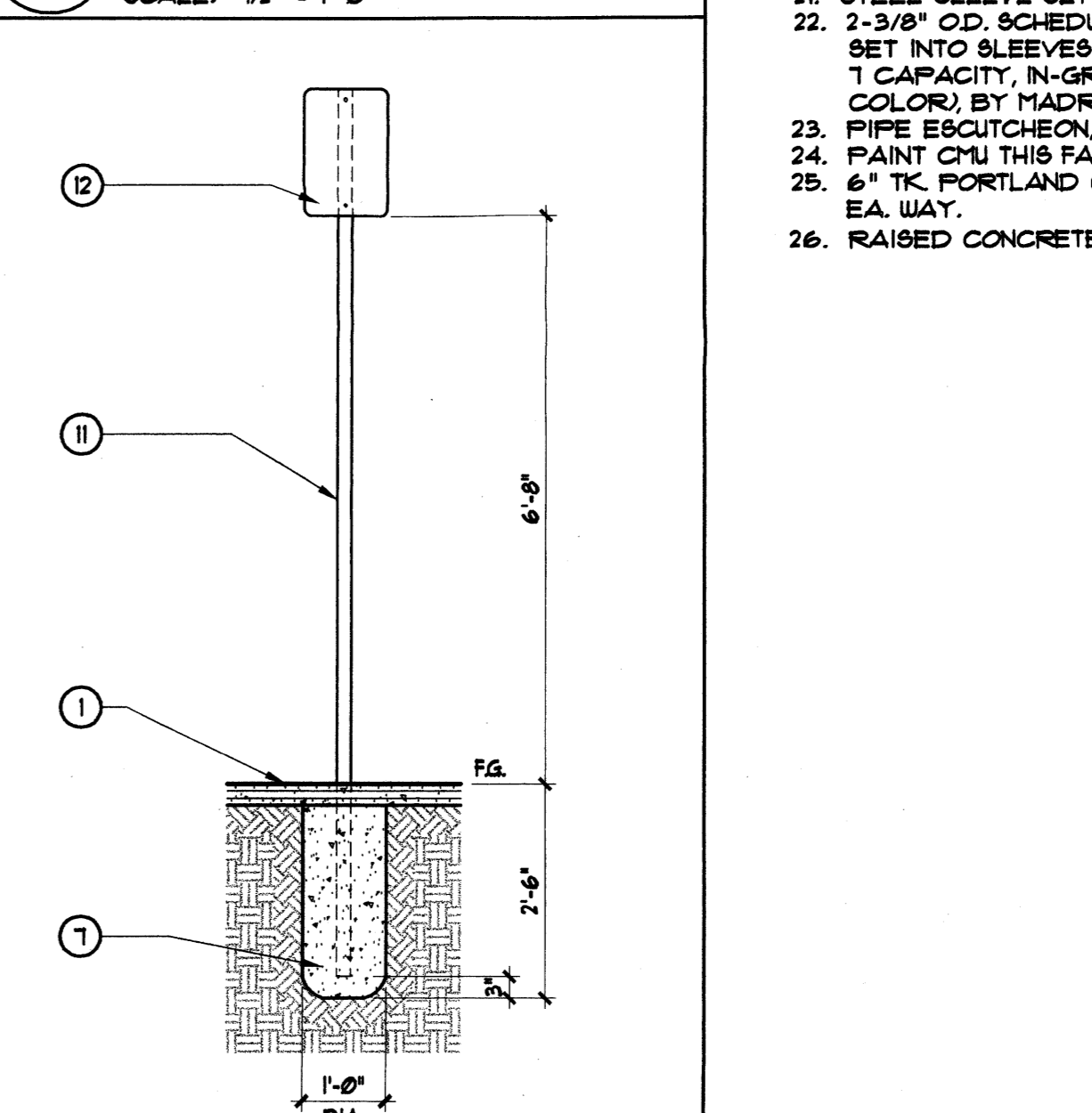
22 ENLARGED SITE PLAN 4" BUS SHELTER  
SCALE: 1/8" = 1'-0"



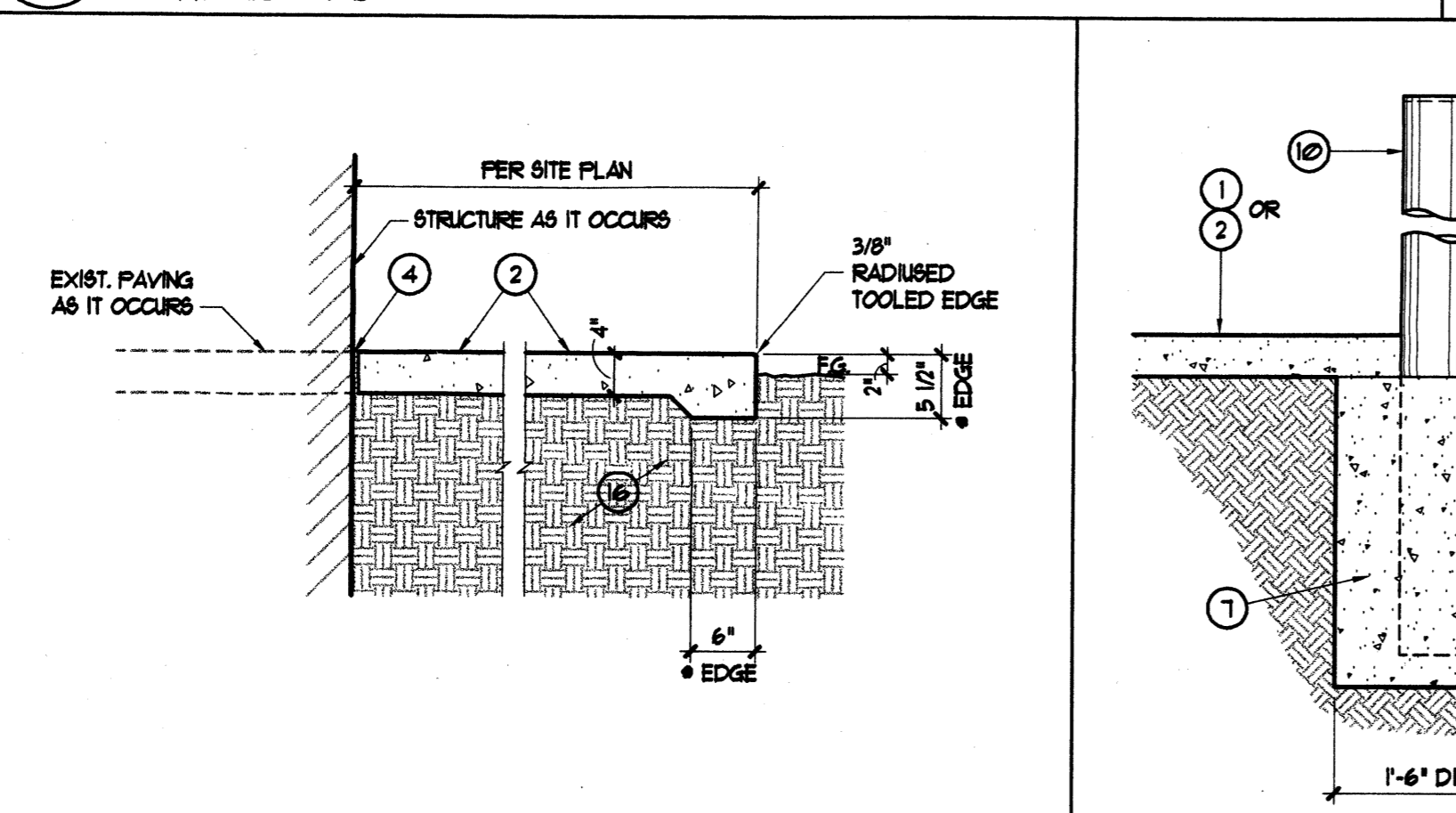
21 SECTION SITE WALL  
SCALE: 1/2" = 1'-0"



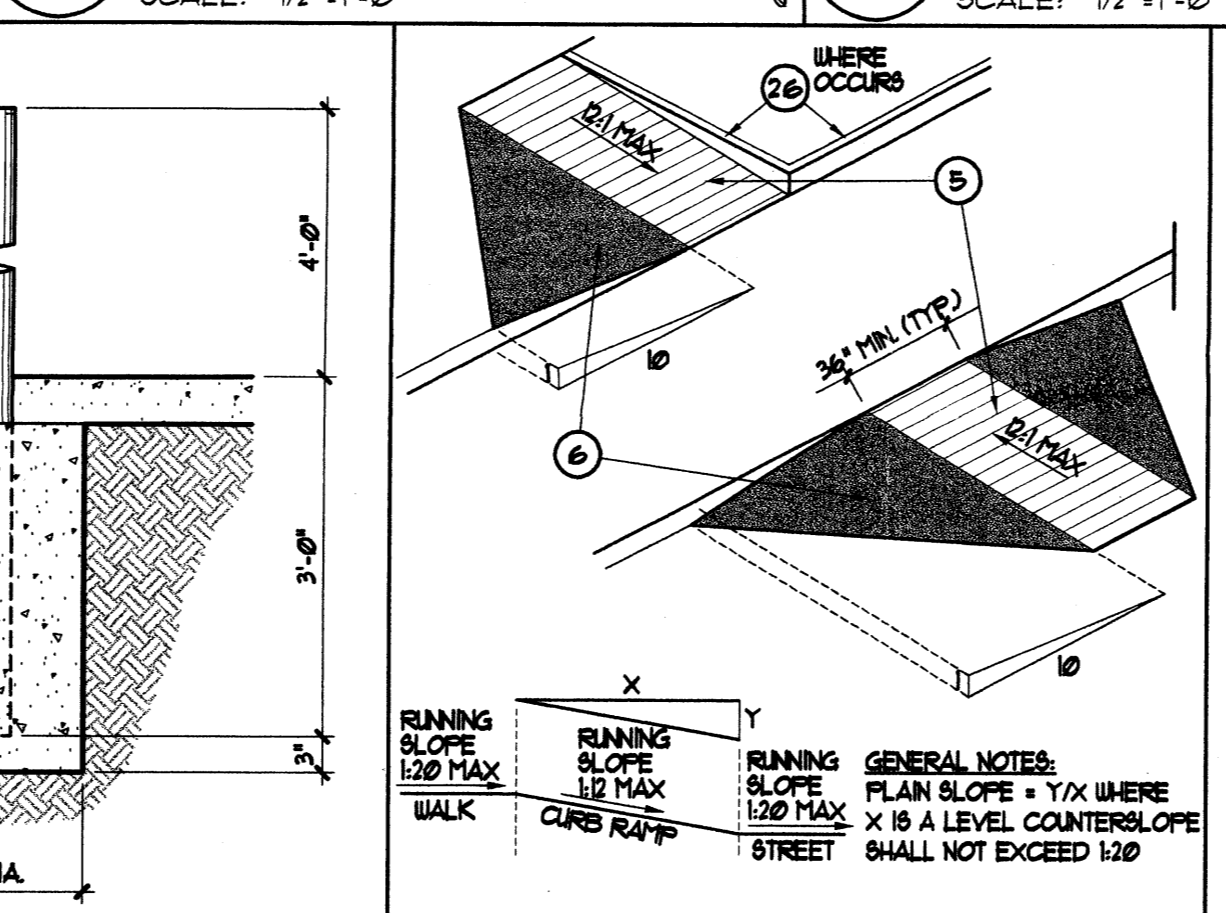
20 DETAIL TYP. POST-MOUNTED SIGN  
SCALE: 1/2" = 1'-0"



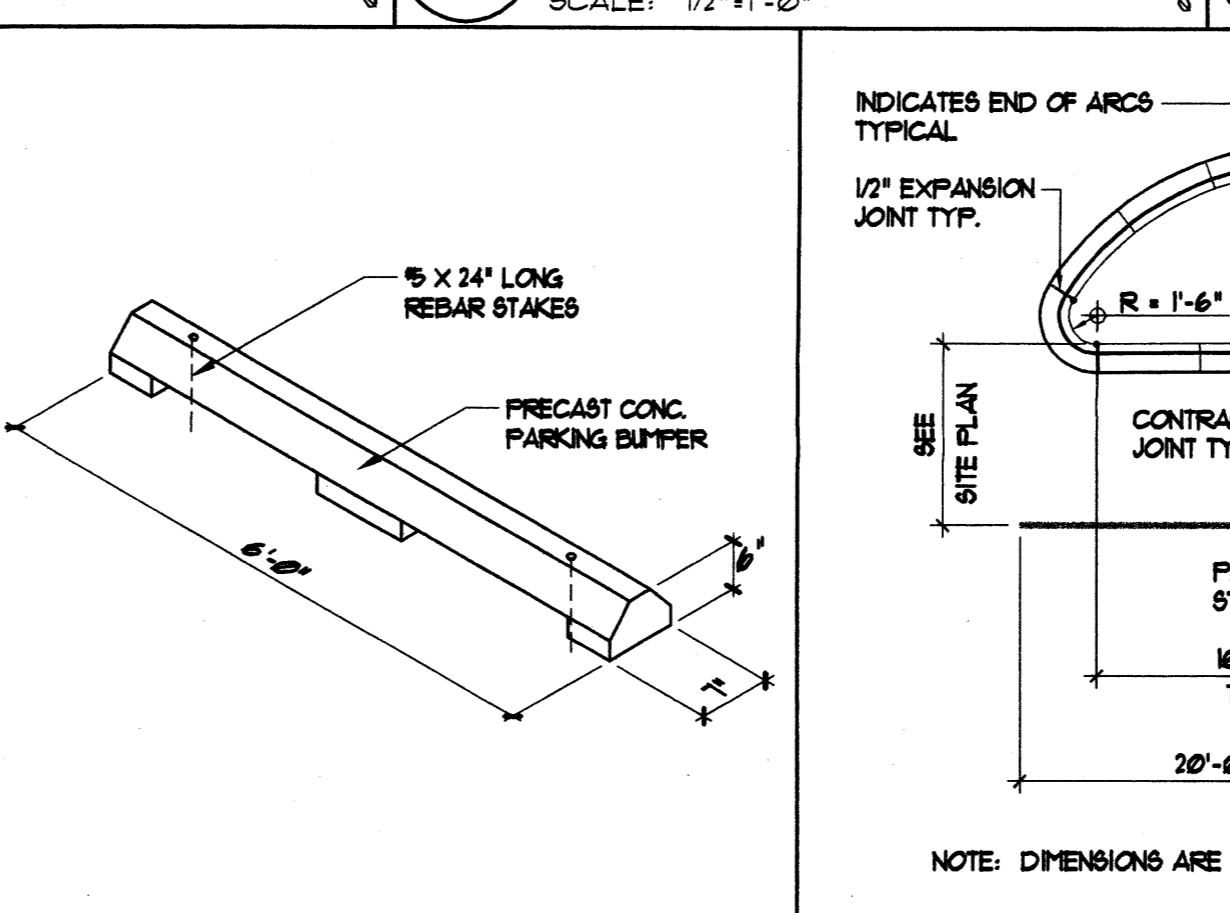
19 DETAIL TYP. VAN ACCESSIBLE H/C SIGN  
SCALE: 1/2" = 1'-0"



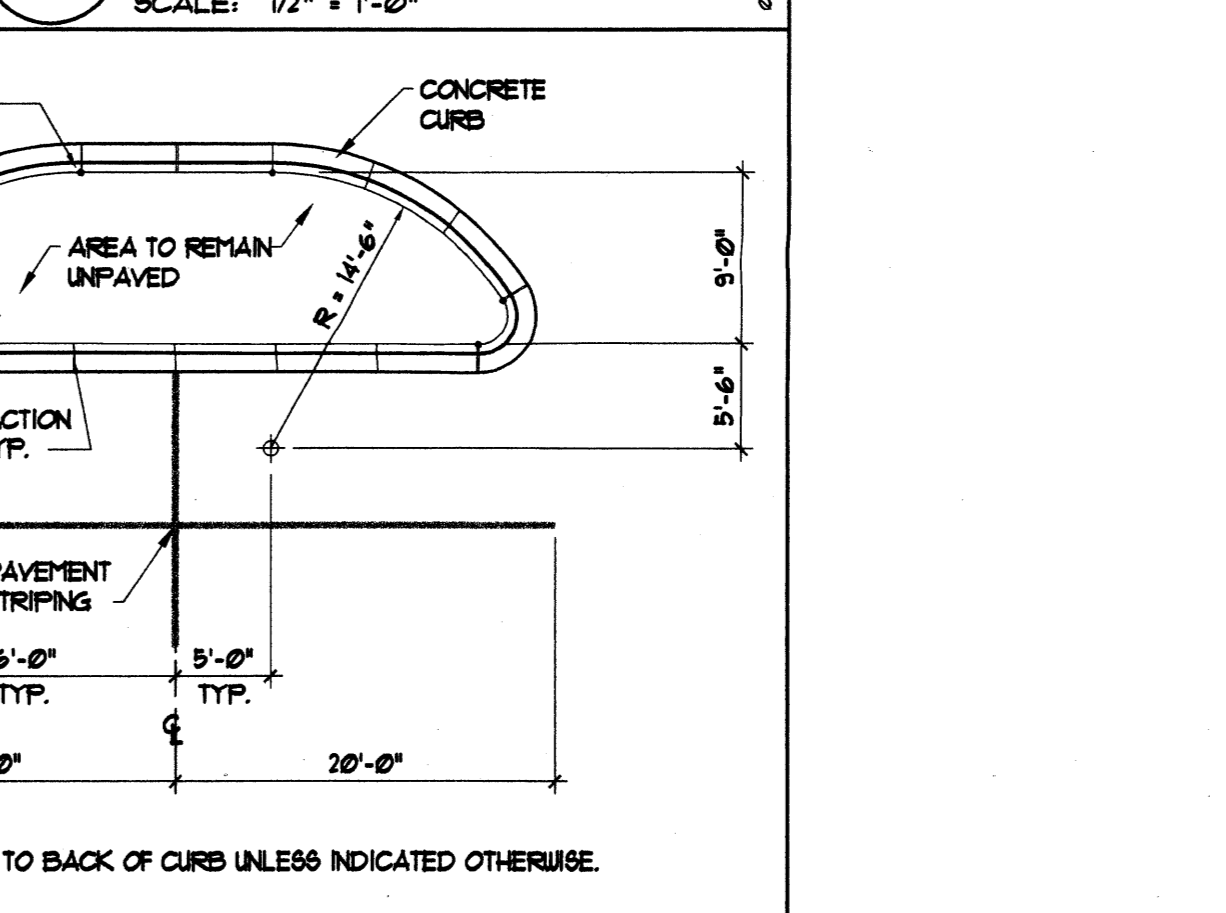
16 TYPICAL SECTION 4" THICK PORTLAND CEMENT CONCRETE PAVING  
SCALE: 3/4" = 1'-0"



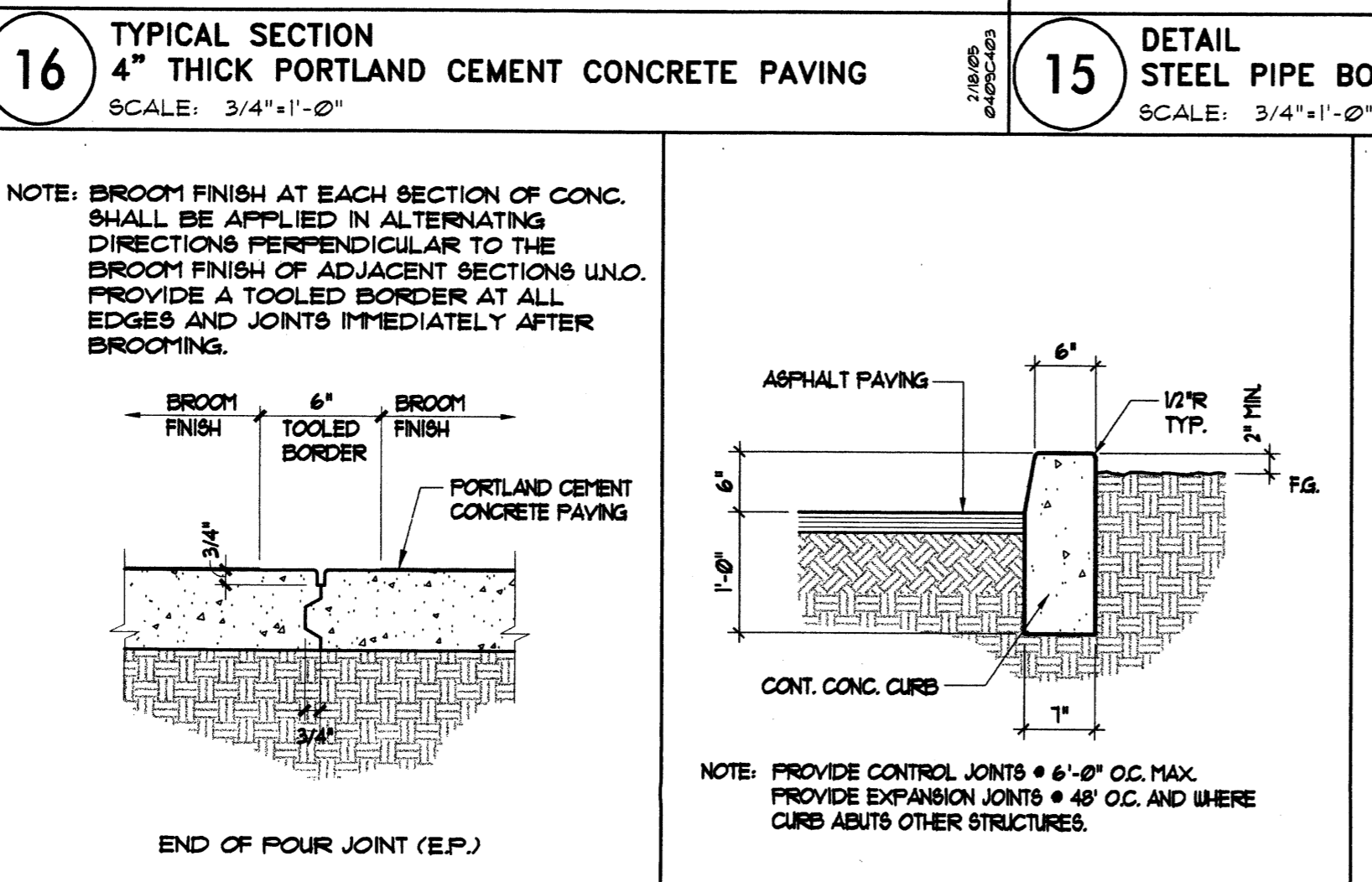
15 DETAIL STEEL PIPE BOLLARD  
SCALE: 3/4" = 1'-0"



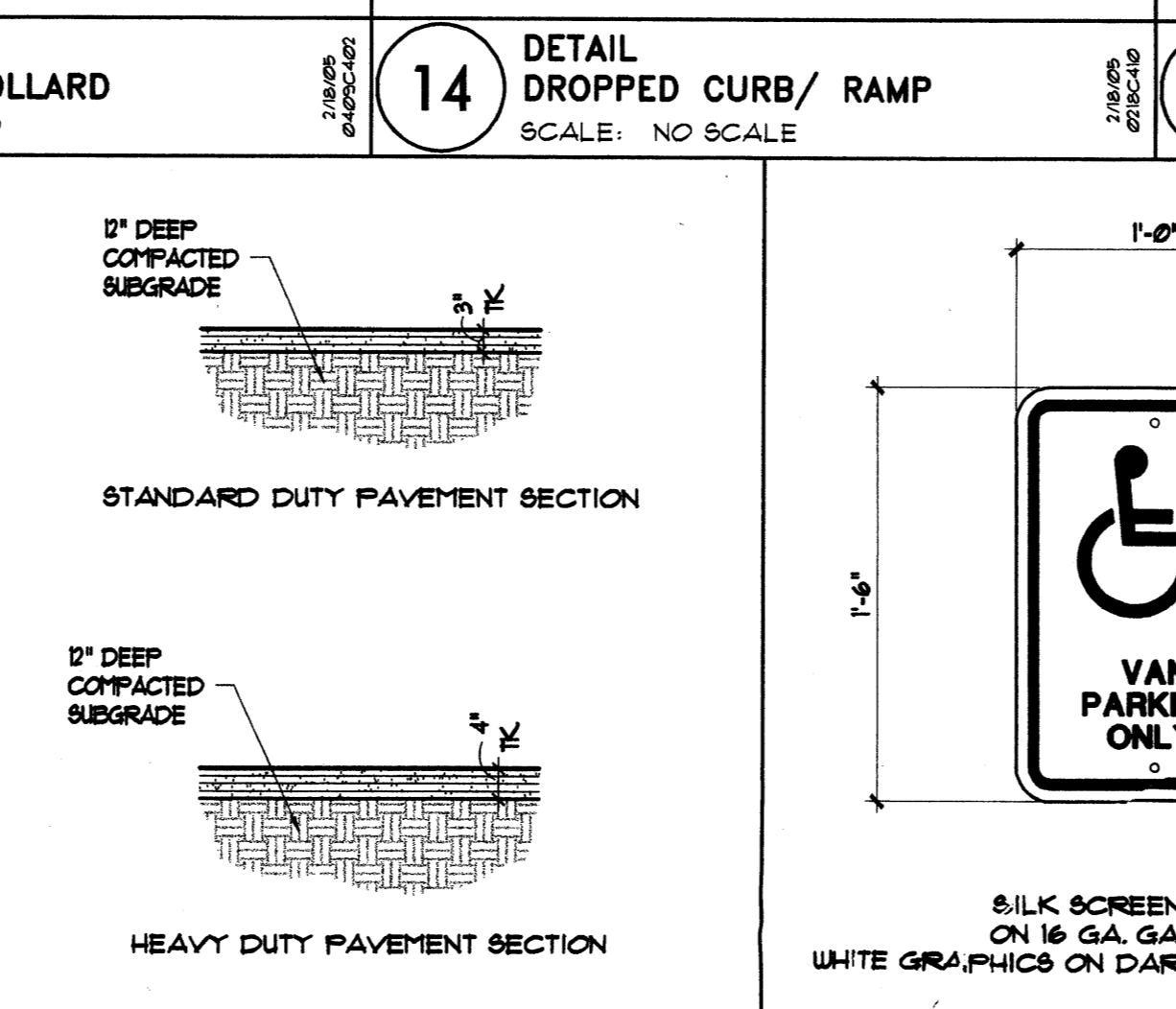
14 DETAIL DROPPED CURB/ RAMP  
SCALE: NO SCALE



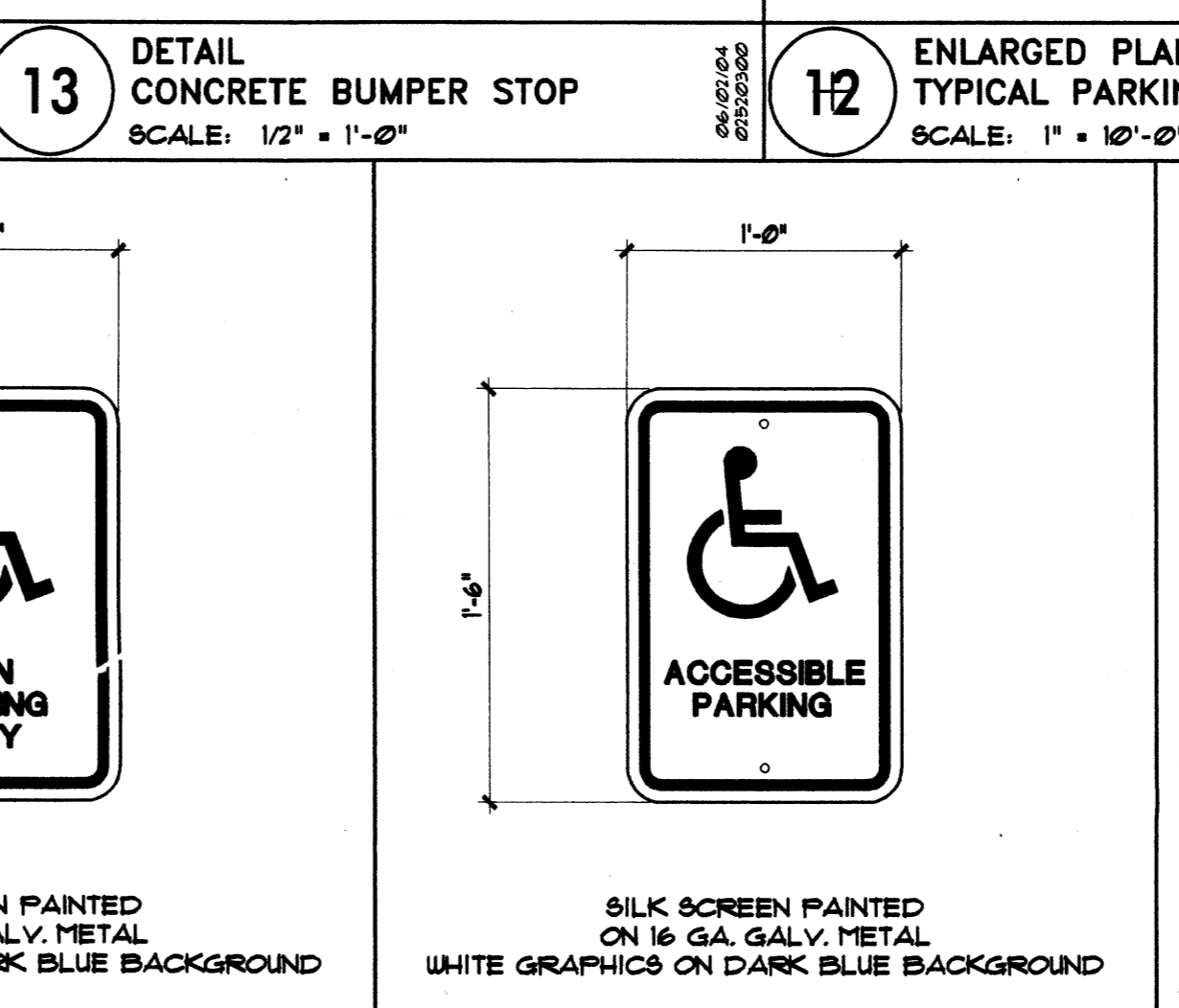
13 DETAIL CONCRETE BUMPER STOP  
SCALE: 1/2" = 1'-0"



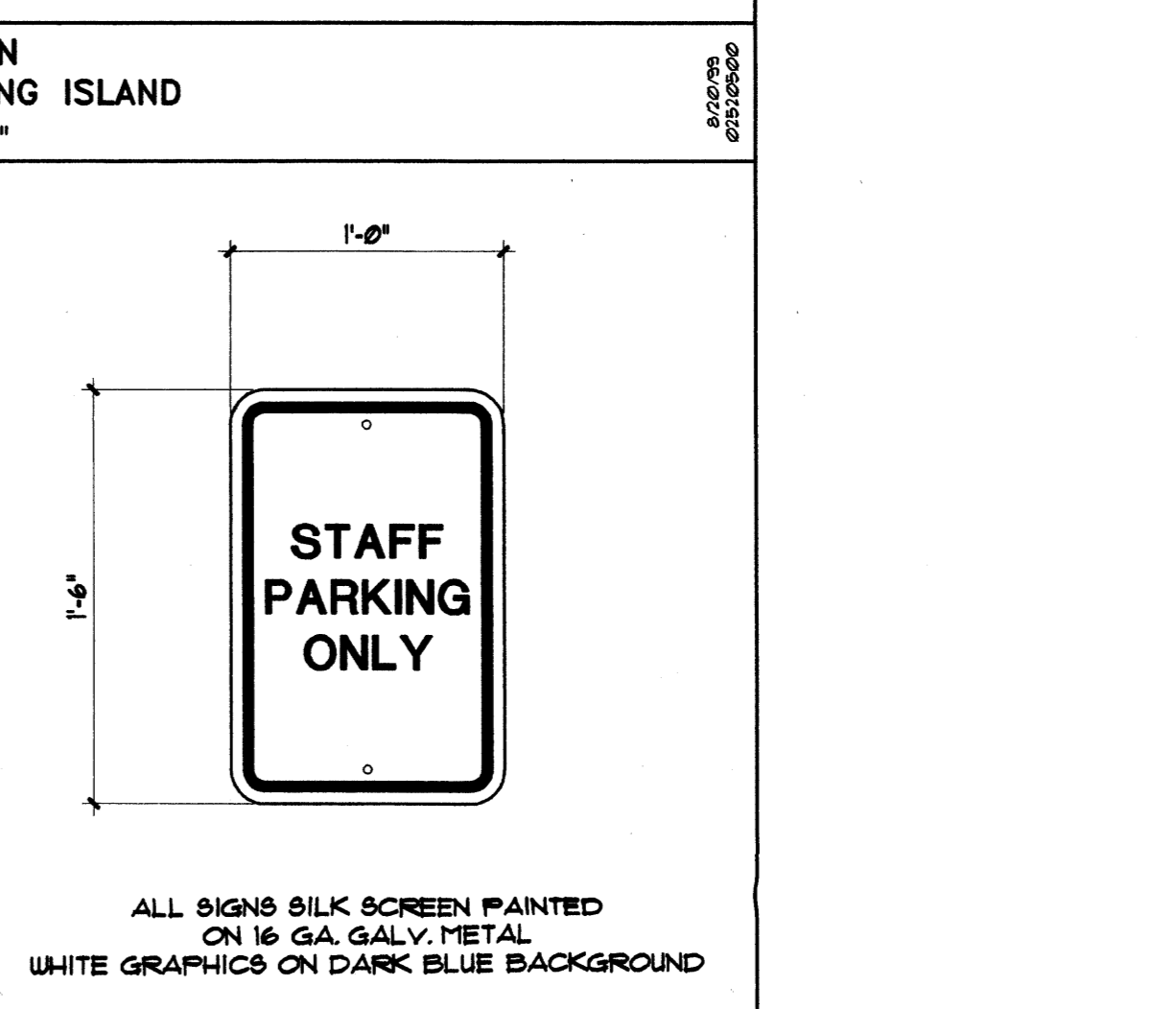
11 DETAIL TYPICAL CURB & GUTTER  
SCALE: 3/4" = 1'-0"



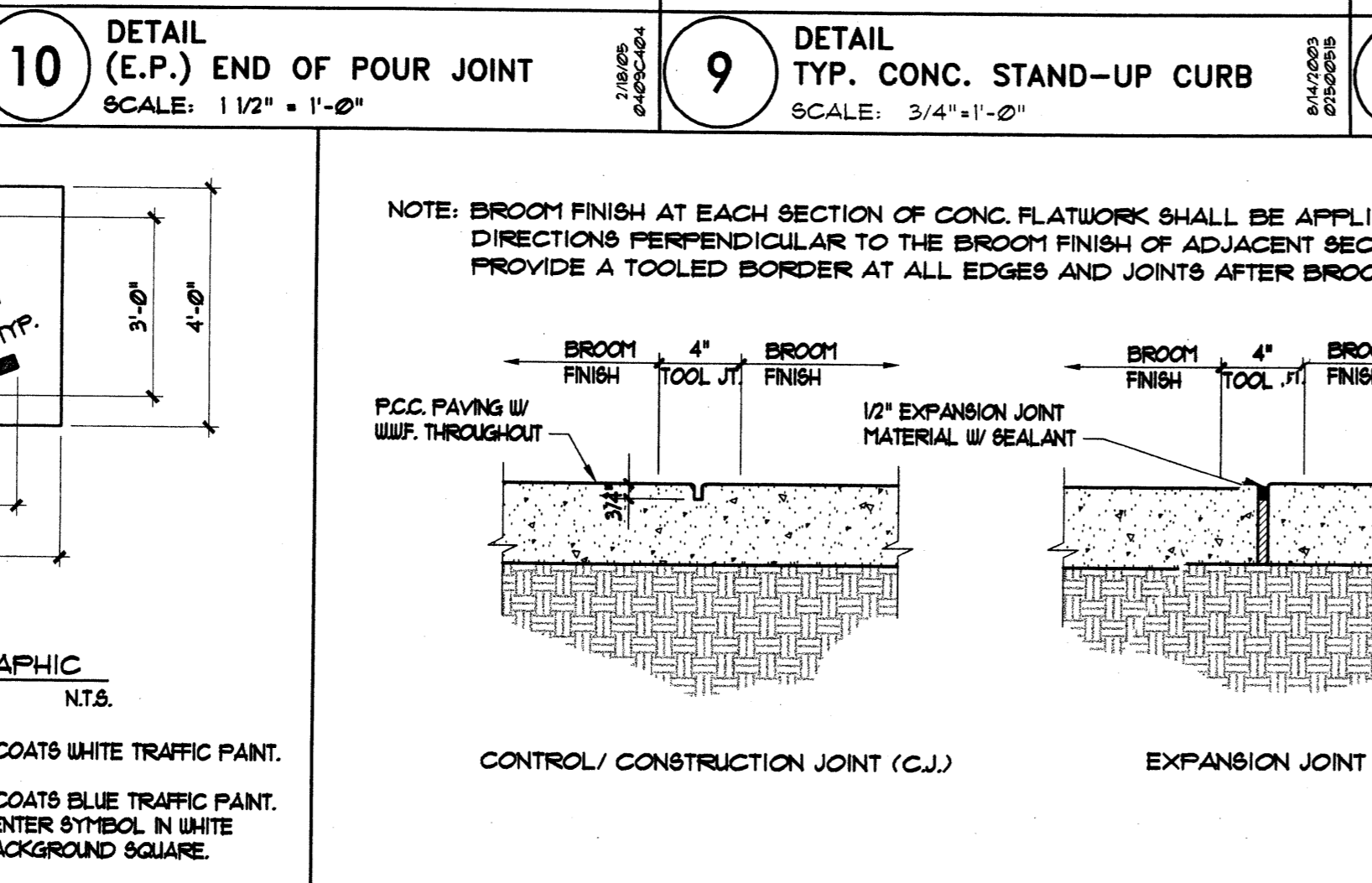
10 DETAIL (E.P.) END OF POUR JOINT  
SCALE: 1 1/2" = 1'-0"



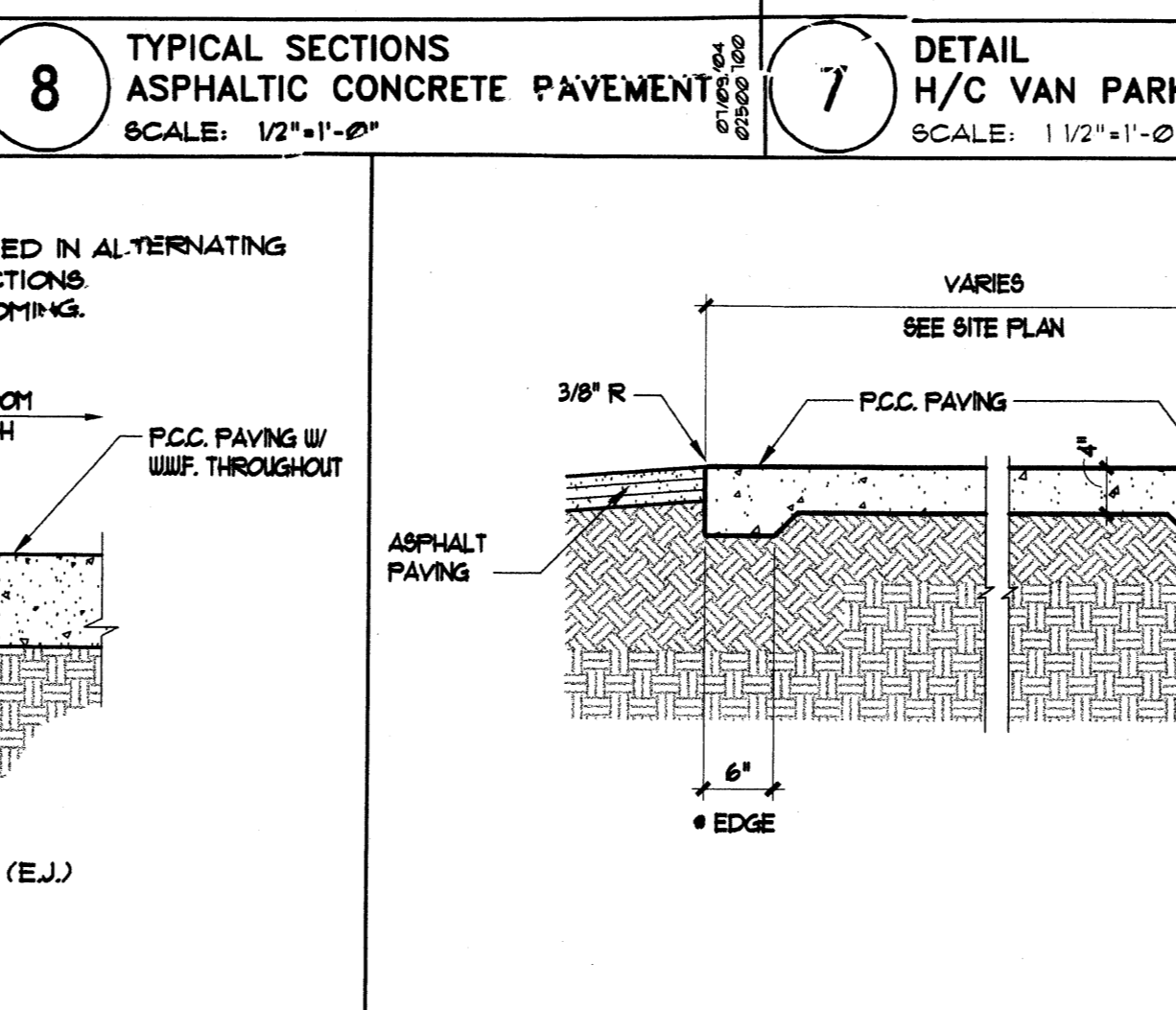
9 DETAIL TYP. CONC. STAND-UP CURB  
SCALE: 3/4" = 1'-0"



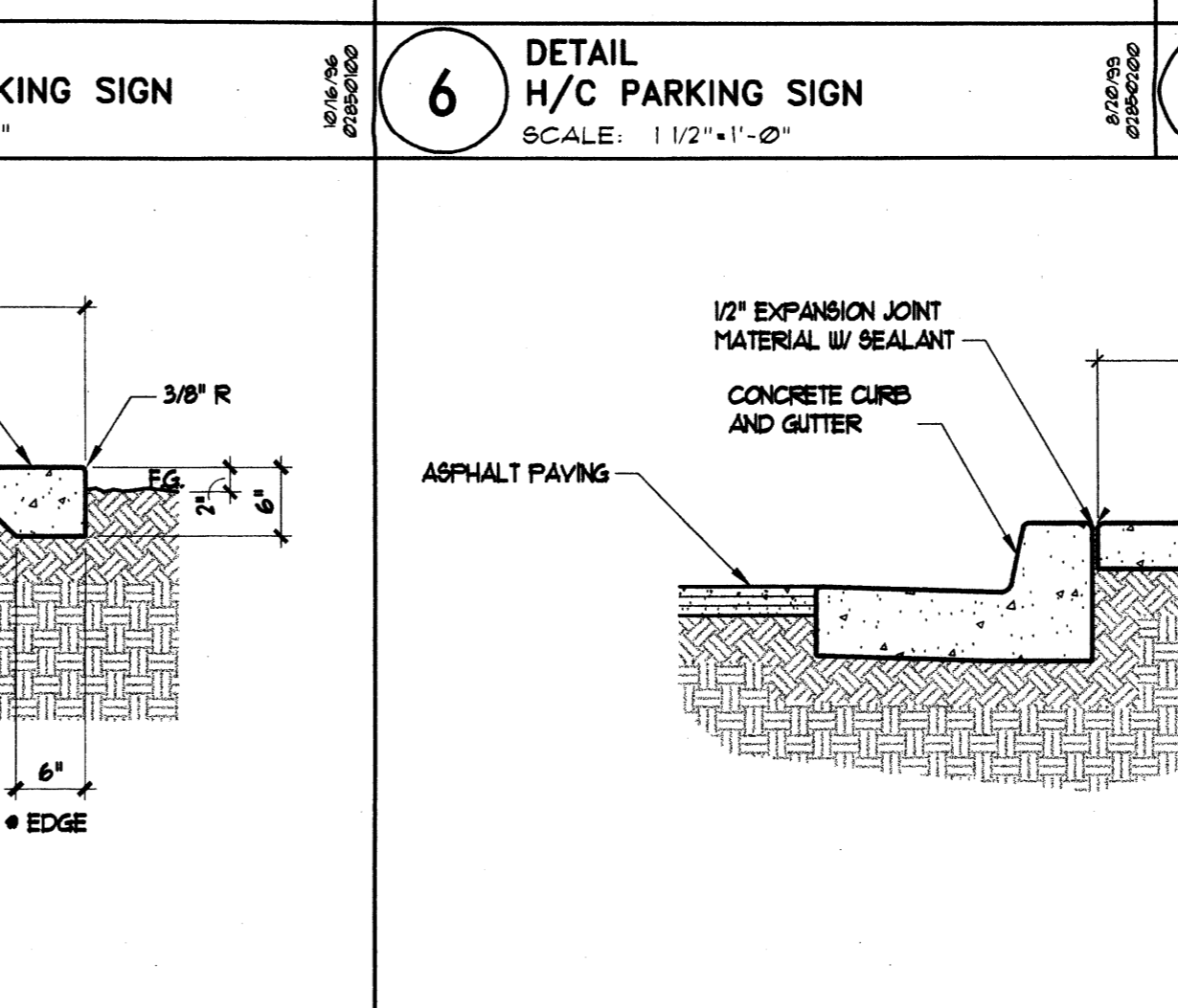
8 TYPICAL SECTIONS ASPHALTIC CONCRETE PAVEMENT  
SCALE: 1/2" = 1'-0"



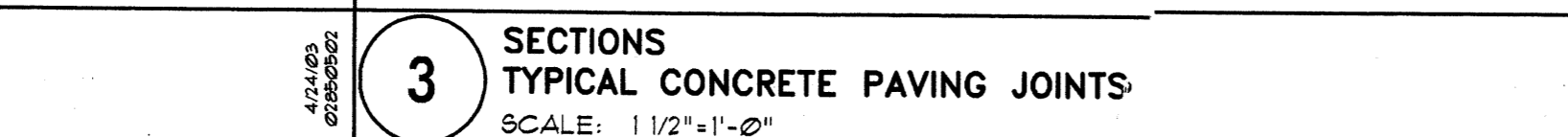
7 DETAIL H/C VAN PARKING SIGN  
SCALE: 1 1/2" = 1'-0"



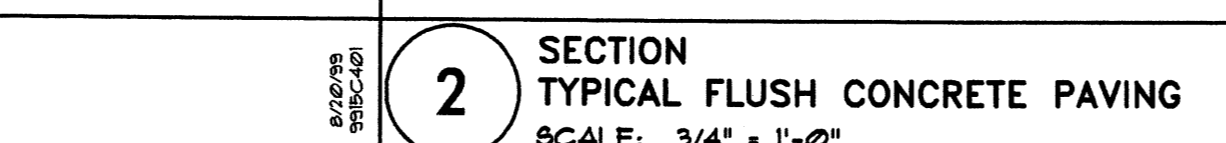
6 DETAIL H/C PARKING SIGN  
SCALE: 1 1/2" = 1'-0"



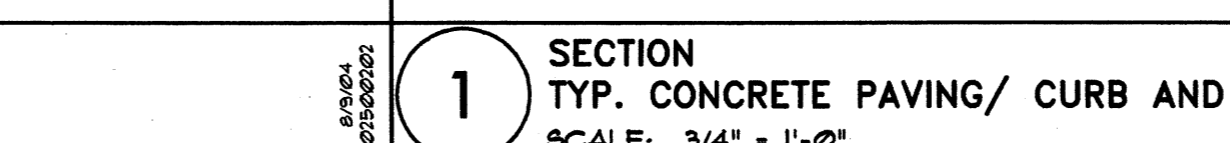
5 DETAIL STAFF PARKING SIGN  
SCALE: 1 1/2" = 1'-0"



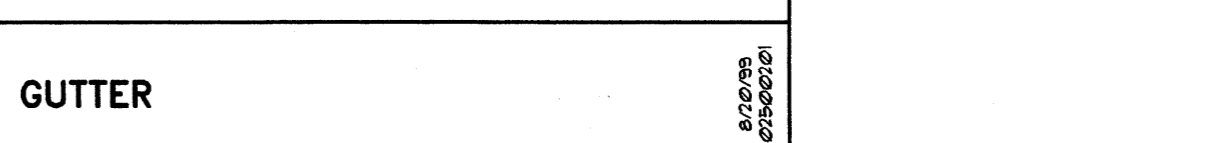
4 TYPICAL DETAIL HANDICAP PARKING GRAPHIC  
SCALE: N.T.S.



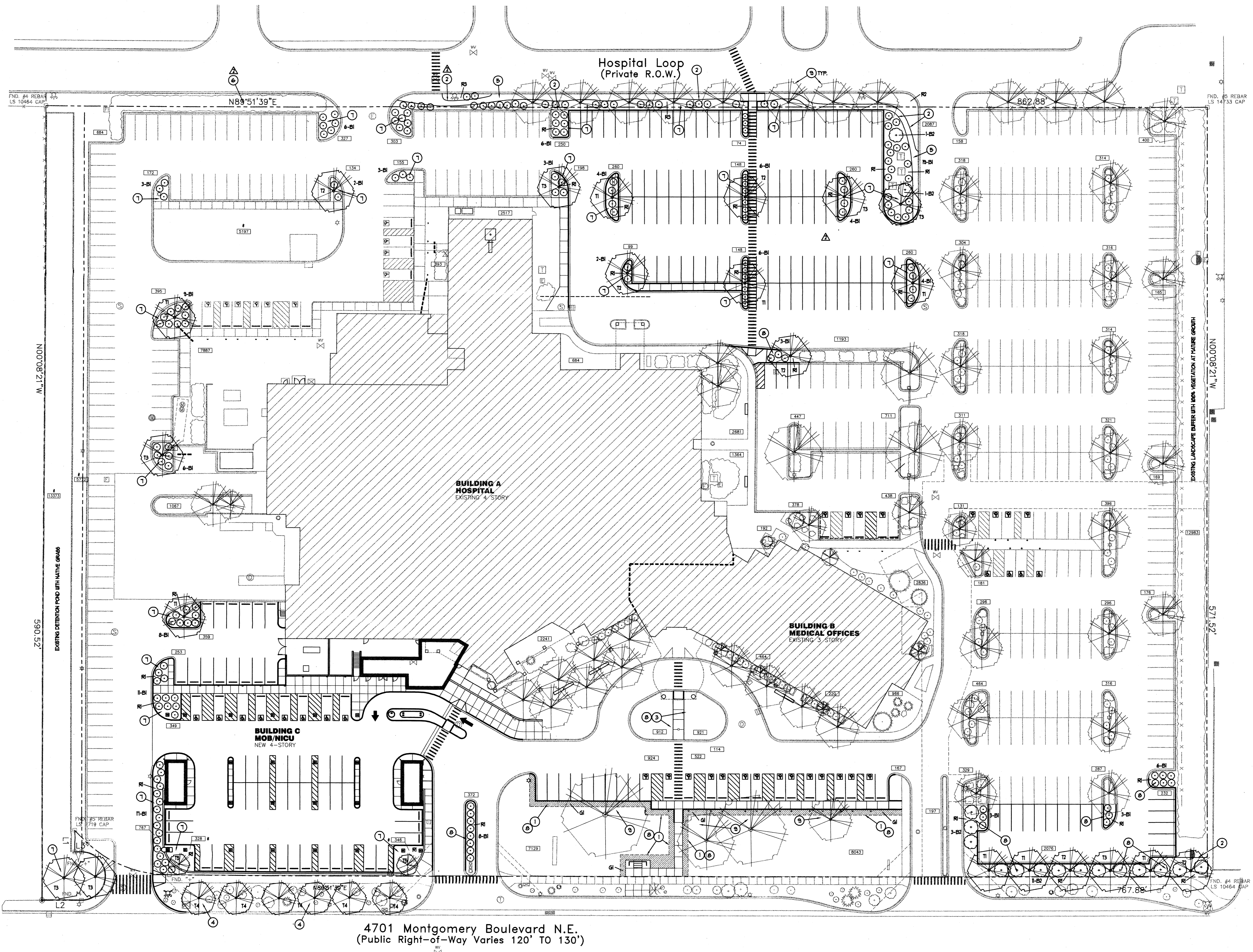
3 SECTIONS TYPICAL CONCRETE PAVING JOINTS  
SCALE: 1 1/2" = 1'-0"



2 SECTION TYPICAL FLUSH CONCRETE PAVING  
SCALE: 3/4" = 1'-0"



1 SECTION TYP. CONCRETE PAVING/ CURB AND GUTTER  
SCALE: 3/4" = 1'-0"



**C.O.A. LANDSCAPING REQUIREMENTS**

**LANDSCAPING AREA REQUIREMENTS:**  
 PROPERTY = 493,626 SF.  
 BUILDING FOOTPRINT = 109,345 SF.  
 NET LOT AREA (NLA) = 493,626 - 109,345 = 384,281 SF.  
 LANDSCAPE AREA REQ. = 15% OF 384,281 SF. = 57,642 SF.

GRASS LAWN: 15,174 SF.  
 GRAVEL WITH 15% VEGETATION: 55,471 SF.  
 TOTAL W/ 15% VEGETATION: 70,645 SF. (18.2% OF NLA)

GRAVEL ONLY (NO VEGETATION): 11,645 SF.  
 DETENTION: 13,313 SF.

**OFF-STREET PARKING AREA LANDSCAPING:**  
 PROVIDE 1 TREE FOR EACH 10 PARKING SPACES  
 REQUIRED = 951/10 = 95 TREES  
 PROVIDED = APPROXIMATELY 85 TREES  
 EACH PARKING SPACE SHALL BE WITHIN 100 FEET OF A TREE

**STREET TREES:**  
 PROVIDE STREET TREES SPACED APPROX. 30 FEET APART

**RESPONSIBILITY FOR MAINTENANCE:**  
 OWNER'S EXISTING LANDSCAPE MAINTENANCE CONTRACT TO BE CONTINUED.

**WATER CONSERVATION COMPLIANCE:**  
 ALL LANDSCAPING SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION ORDINANCE, SECTION 6-1-1-1.

**GENERAL NOTES**

- PROVIDE 4" PVC PIPE SLEEVES WHERE NEW IRRIGATION LINES PASS BENEATH PAVING.
- TOP OF GRAVEL, CRUSHER FINES, AND 80D MATERIALS SHALL BE 1" BELOW TOP OF ADJACENT CURBS, WALKS, ETC. THE FINISHED ELEVATION OF THE CRUSHER FINES SHALL MATCH THE ELEVATIONS INDICATED ON THE GRADING PLAN. EXCAVATE EXISTING SOIL WHERE REQUIRED.
- ALL ROCK, GRAVEL, CRUSHER FINES, ETC. ARE TO BE INSTALLED OVER HEAVY DUTY COMMERCIAL GRADE WEED CONTROL FABRIC.
- LANDSCAPE PLAN IS DESIGNED TO COMPLY WITH CITY OF ALBUQUERQUE LANDSCAPING REQUIREMENTS. DO NOT REMOVE EXISTING PLANTS THAT ARE NOT DESIGNATED TO BE REMOVED, WITHOUT WRITTEN CONSENT OF THE ARCHITECT. DO NOT CUT TREE ROOTS LARGER THAN 1" DIAMETER WITHOUT WRITTEN CONSENT OF THE ARCHITECT.

**IRRIGATION SYSTEM NOTES**

- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO CONSTRUCT A COMPLETE IRRIGATION SYSTEM IN ACCORDANCE WITH THE SPECIFICATIONS.
- THE CONTRACTOR SHALL DESIGN THE LANDSCAPE IRRIGATION SYSTEM AND SUBMIT SHOP DRAWINGS OF THE PROPOSED SYSTEM FOR APPROVAL BY THE ARCHITECT.
- THE SYSTEM SHALL BE DESIGNED FOR A MINIMUM STATIC PRESSURE OF 60 PSI AT THE POINT OF CONNECTION. THE CONTRACTOR SHALL VERIFY THE ACTUAL PSI AND SHALL INCLUDE THE RESULTS WITH THE IRRIGATION SYSTEM DESIGN SUBMITTAL.
- DRIP EMITTERS SHALL BE RAINFORD "KERI-BUG" SERIES SINGLE OUTLET EMITTERS OR APPROVED EQUAL. PROVIDE EMITTERS AT ALL PLANT LOCATIONS AS FOLLOWS:  
 AT ALL TREES 3 PER TREE X8-20 (2 GPH)  
 AT ALL SHRUBS 1 PER PLANT X8-10 (1 GPH)
- IRRIGATION SYSTEM CONTROLLER SHALL BE RAINFORD MODEL ESP-16MC (16-STATION STEEL CABINET) OR APPROVED EQUAL.
- NO SPAGHETTI TUBING SHALL BE USED ON THIS PROJECT. FLUSH PLUGS SHALL BE INSTALLED AT THE ENDS OF ALL SUB-LATERALS.
- FIELD VERIFY EXISTING IRRIGATION SYSTEM COMPONENTS. COORDINATE IRRIGATIONS DESIGN WITH OWNER'S FACILITY MANAGER.

**KEYED NOTES**

- INSTALL NEW 80D IN HATCHED AREA. TIE INTO EXISTING LAWN AND ADJACENT CONCRETE PAVING/CURBS FLUSH.
- 4" X 1/8" COMMERCIAL GRADE METAL LANDSCAPE BORDER.
- PATCH EXISTING 80D FLUSH TO SURROUNDING PAVING.
- ADD LANDSCAPE IRRIGATION SYSTEM FOR NEW TREES.
- PEDESTRIAN PATH OF 3" DEEP CRUSHER FINES.
- LANDSCAPE WORK IN THIS AREA TO BE DEFERRED UNTIL FUTURE PARKING ALTERATIONS ARE MADE AND SLOPE OF TERRAIN IS REDUCED.
- NEW LANDSCAPING IRRIGATION SYSTEM.
- MODIFY EXISTING LANDSCAPING IRRIGATION SYSTEM.
- PROTECT TREE ROOTS. DO NOT CUT ROOTS LARGER THAN 1" IN DIA. WITHOUT WRITTEN CONSENT OF DESIGN ARCHITECT.

**LEGEND**

- |          |     |  |
|----------|-----|--|
| EXISTING | NEW |  |
|          |     | DECIDUOUS TREE   |
|          |     | PINE TREE  |
|          |     | YUCCA  |
|          |     | SHRUB  |
|          |     | JUNIPER, SAGE OR OTHER   |
|          |     | * 3/4" APPROXIMATE LANDSCAPED AREA IN SF.                              |
|          |     | * INDICATES AREA "NOT" CONTRIBUTING TOWARD 15% LANDSCAPE COVERAGE REQ. |

COMMON / BOTANICAL NAME	SIZE
T1 MODESTO ASH <i>Fraxinus velutina 'Modesto'</i>	2-1/2" CAL.
T2 WHITE ASH <i>Fraxinus americana 'Autumn Purple'</i>	2-1/2" CAL.
T3 RAYWOOD ASH <i>Fraxinus ornus 'Raywood'</i>	2-1/2" CAL.
T4 PURPLELEAF PLUM <i>Prunus cerasifera 'Atropurpurea'</i>	1-1/2" CAL.
T5 ASPEN <i>Populus tremuloides</i>	1-1/2" CAL.
B1 FAIRNEY COTONEASTER <i>Cotoneaster lacteus</i>	1 GAL.
B2 PHOTINIA <i>Photinia fraseri</i>	1 GAL.
G1 GRASS 80D Match existing species.	
R1 3/4" ROUND ROCK, GREY	3" DEEP
R2 6" BOULDERS, SANTA FE BROWN	12" DEEP
R3 CRUSHER FINES, SANTA FE BROWN	3" DEEP

**GREGORY T. HICKS & ASSOC., P.C.**  
 ARCHITECTS • PLANNERS  
 110 Summit St., S.W. Suite 204  
 Albuquerque, New Mexico 87102  
 (505) 243-4972 fax (505) 243-1106  
 e-mail gthicks@ghicks.com

DESIGNING TODAY'S TOMORROW

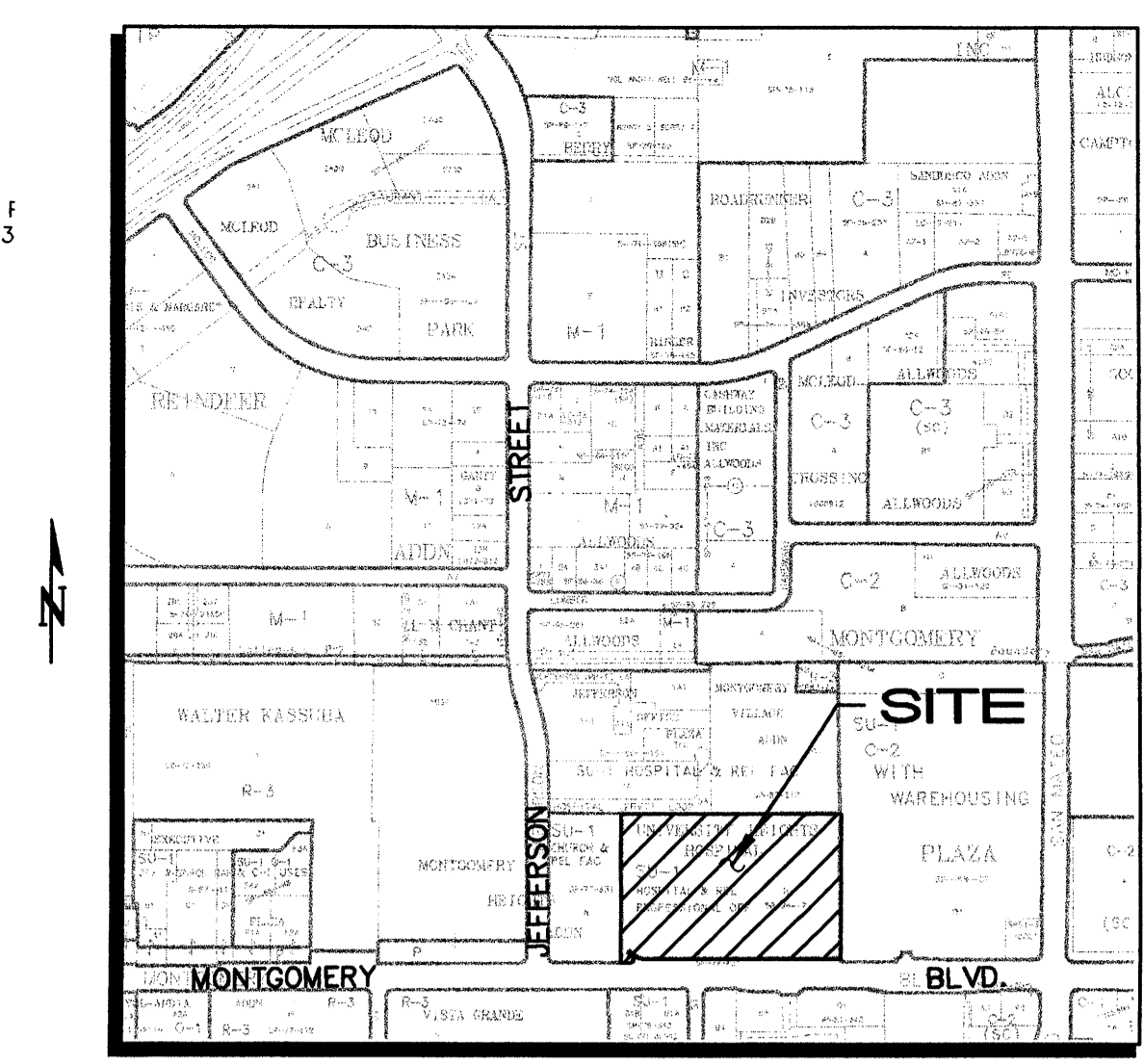
revisions:  
 1 12-1-4  
 2 2-22-5

proj. no.: 0409.01  
 acad file: 040901.L1  
 date: 2-22-5

**WOMEN'S HOSPITAL OF NEW MEXICO**  
 Medical Office Bldg./Neonatal Intensive Care Unit  
 Lovelace Sandia Health System  
 4701 Montgomery Blvd. N.E. Albuquerque, New Mexico 87109

sheet title:  
 LANDSCAPE PLAN

**L1.1**  
 (EPC/DRB)

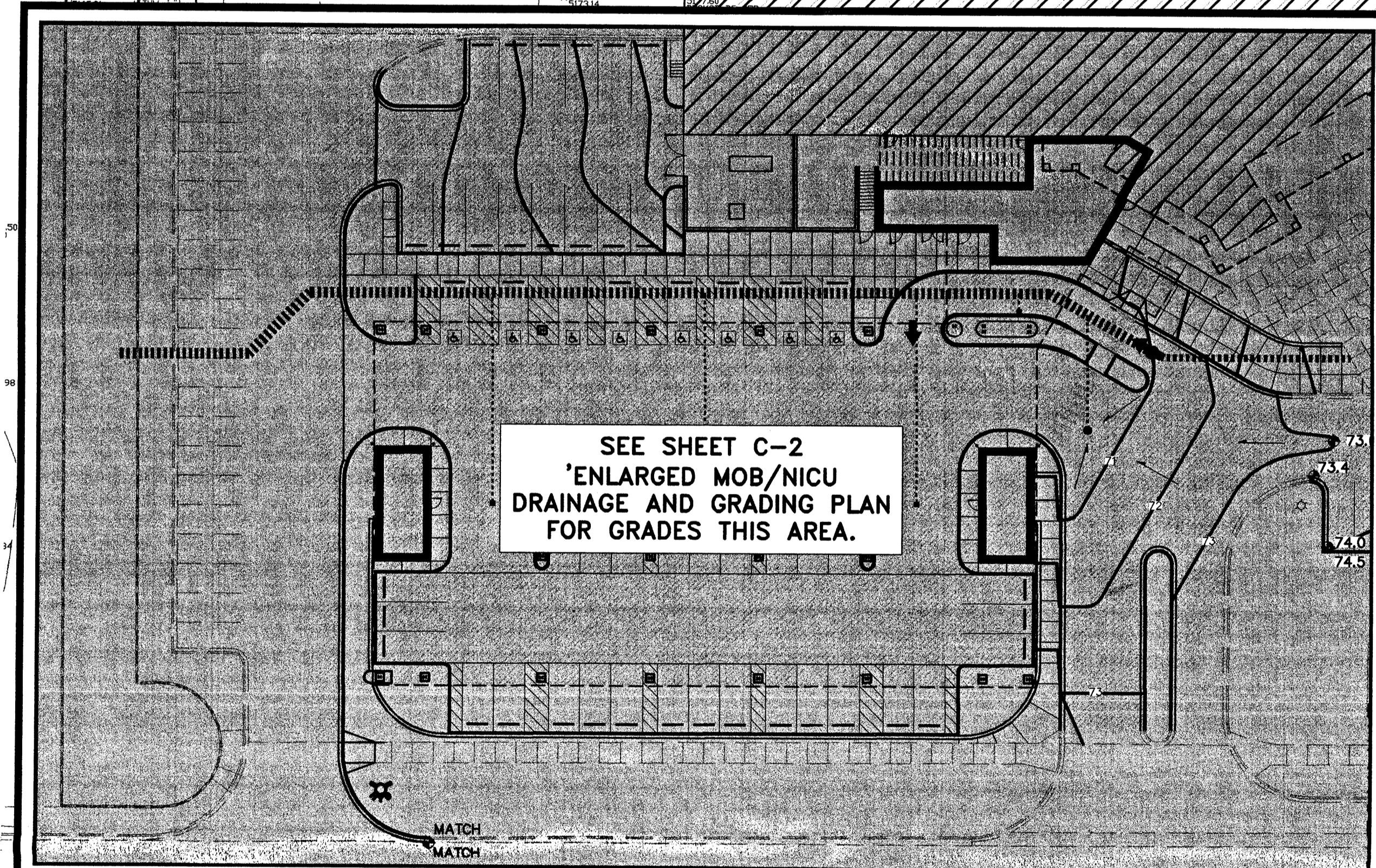
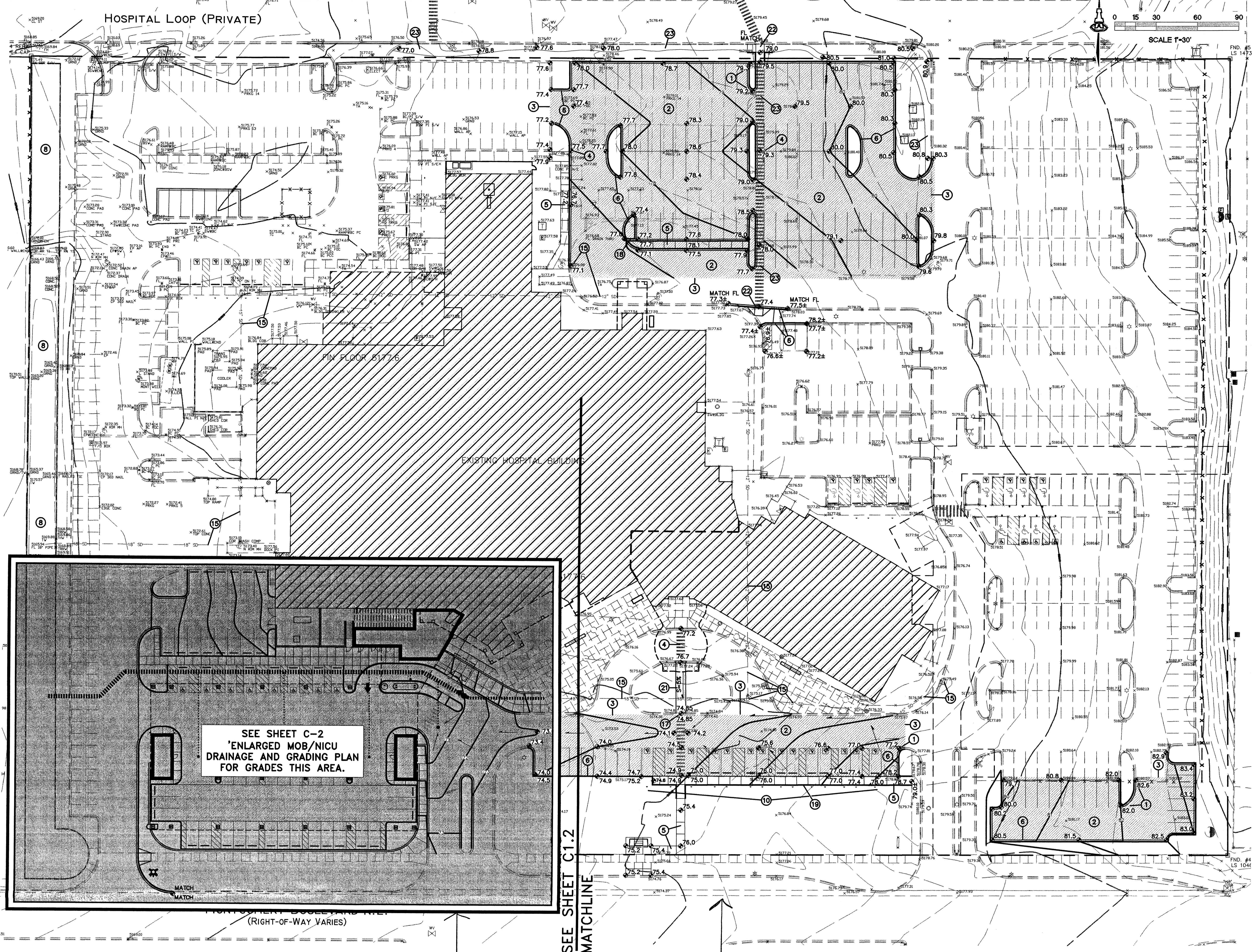


**KEYED NOTES** FOR USE WITH SHEETS C1.1, C1.2 AND C1.3

- 1 ALL ON-SITE SPOT ELEVATIONS WITHIN PAVEMENT AREAS REPRESENT TOP OF PAVING UNLESS NOTED. ADD 8" TYPICAL FOR TOP OF CURB / TOP OF WALK ELEVATIONS UNLESS NOTED.
- 2 SEE ARCHITECTURAL FOR EXTENTS OF NEW HEAVY DUTY / STANDARD DUTY PAVEMENT, PARKING LAYOUT, DIMENSIONS, AND STRIPING. CONSTRUCT TO ELEVATIONS SHOWN.
- 3 SAWCUT EXISTING ASPHALT PAVING (1" MIN) TO PROVIDE SMOOTH BONDING EDGE AND SMOOTH TRANSITION TO NEW ASPHALT - TYP.
- 4 HIGH POINT THIS AREA.
- 5 CONSTRUCT SITE WALK THIS AREA AT ELEVATIONS SHOWN. PROVIDE SMOOTH TRANSITIONS TO EXISTING AS NECESSARY.
- 6 CONSTRUCT 6" HIGH MEDIAN CURB AND GUTTER AT ELEVATIONS SHOWN FOR ALL NEW ON-SITE CURB LOCATIONS.
- 7 CONSTRUCT SITE ENTRANCE PER C.O.A. STD. DWG. 2426. SEE ARCHITECTURAL FOR ADD'L INFO. PROVIDE SMOOTH TRANSITION FROM 6" STANDARD CURB AND GUTTER AT STREET TO 6" MEDIAN CURB AND GUTTER ON-SITE.
- 8 EXISTING POND IMPROVED / ENLARGED TO ACCEPT INCREASED FLOW AS PART OF COA HYDROLOGY PROJECT #F-17/D10.
- 9 NOT USED
- 10 HANDICAP PARKING SPACES TO BE CONSTRUCTED WITH 2% MAX. SLOPE. ASPHALT PAVING TO BE FLUSH WITH TOP OF WALK.
- 11 APPROX. 350 LF EXISTING STORM DRAIN TO BE REMOVED FROM NEW CONNECTION POINT TO POND.
- 12 PROPOSED STORM DRAIN INLET. SEE DETAIL THIS SHEET FOR ADDITIONAL INFORMATION.
- 13 PROPOSED 30" PRIVATE STORM DRAIN MAINLINE TO EXISTING POND.
- 14 ROOF FLOWS FROM THE PROPOSED BUILDING TO BE COLLECTED WITH AN INTERNAL DRAIN SYSTEM AND RELEASED DIRECTLY INTO THE PROPOSED STORM DRAIN MAINLINE. SEE MECHANICAL FOR ROOF DRAIN DESIGN AND CONNECTION LOCATION.
- 15 EXISTING STORM DRAIN INLET / MAIN.
- 16 REMOVE EXISTING STORM DRAIN OUTLET. ENLARGE AS REQUIRED AND EXTEND PROPOSED 30" STORM DRAIN OUTLET 1' WEST OF POND WALL @ INVERT = 65.5.
- 17 NEW ASPHALT PAVING TO BE FLUSH WITH TOP OF EXISTING CONCRETE CURB. SLOPE DOWN AT 6% MAX. EACH SIDE TO EXISTING CURB FLOWLINE.
- 18 CONSTRUCT 1' WIDE (BOTTOM WIDTH) X 6" HIGH CONCRETE 'U' SHAPED CHANNEL TO PASS FLOW THROUGH ISLAND AT LOW POINT.
- 19 ON-SITE RETAINING WALL TO BE CONSTRUCTED THIS AREA TO ACHIEVE GRADE DIFFERENCES. SEE ARCHITECTURAL DESIGN BY OTHERS.
- 20 INSTALL TWO 6" DIA. PVC PIPES THROUGH WALL AT INVERT ELEVATIONS SHOWN TO PASS FLOW.
- 21 CONSTRUCT 5% ACCESSIBLE WALK WITHIN ISLAND AT ELEVATIONS SHOWN. SOUTH SIDE: TOP OF WALK = TOP OF EXISTING CURB. SEE KEYED NOTE 17 FOR STREET PAVEMENT TRANSITION. NORTH SIDE: TOP OF WALK TO MATCH NORTH CURB FLOWLINE. SEE DEMOLITION PLAN FOR NORTH SIDE CURB REMOVAL.
- 22 CONSTRUCT HANDICAP ACCESS RAMP - SEE ARCHITECTURAL.
- 23 CONSTRUCT PEDESTRIAN PATH AT 5% MAX. SLOPE. SEE ARCHITECTURAL FOR MATERIAL, DIMENSIONS, ETC.

**GENERAL NOTES**

- A. COORDINATE WORK WITH SITE DEVELOPMENT PLANS, DEMOLITION PLANS, UTILITIES DRAWINGS AND DETAILS.
- B. DO NOT SCALE THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS AND THE LOCATIONS OF ALL ITEMS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- C. MAINTAIN ALL UTILITY SERVICES TO THE OWNER'S OPERATIONAL AREAS WHILE PERFORMING WORK. PROVIDE ALL BYPASSES, CROSS-CONNECTS, AND/OR TEMPORARY ROUTINGS AND CONNECTIONS AS REQUIRED TO INSURE FULL OPERATION OF ALL SERVICES TO ALL AREAS NOT UNDER CONSTRUCTION -- AT NO ADDITIONAL COST.
- D. SEE SITE PLAN FOR CONTRACTOR STAGING AREA.
- E. FINISH GRADING AND PAVEMENT SURFACES SHALL MAINTAIN POSITIVE SLOPE AWAY FROM ALL BUILDINGS AND POSITIVE SLOPE TOWARD EXIST. LINES OF DRAINAGE, SWALES, INLETS, ETC. WATER SHALL NOT POND ON PAVED AREAS. WHERE NEW/EXIST. GRADES ARE SHOWN AS 'MATCH', TRANSITION SHALL BE SMOOTH AND LEVEL. WHERE EXISTING ASPHALT IS TO BE OVERLAID, GRIND EXISTING ALONG PERIMETER AS REQUIRED TO PREVENT BLOCKING FLOW.
- F. GRADES SHOWN WITHIN LANDSCAPED AREAS INDICATE TOP OF LANDSCAPE MATERIAL. SUBGRADE TO BE GRADED TO ELEVATION SHOWN MINUS LANDSCAPE MATERIAL THICKNESS.
- G. SEE ARCHITECTURAL FOR SITE DETAILS.
- H. SEE ARCHITECTURAL FOR EXTENTS OF EACH CONSTRUCTION PHASE. PROVIDE SMOOTH TRANSITIONS BETWEEN CONSTRUCTION PHASES TO MAINTAIN CIRCULATION.
- I. ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. TYPICAL. CONTRACTOR TO FIELD VERIFY AND PROTECT ALL EXISTING UTILITIES WITHIN AREA TO BE IMPROVED.



SEE SHEET C-2  
'ENLARGED MOB/NICU  
DRAINAGE AND GRADING PLAN  
FOR GRADES THIS AREA.

SEE SHEET C1.2  
MATCHLINE

THIS WORK      FUTURE

**LEGEND**

- × 69.54      EXISTING SPOT ELEVATION
- - - 70      EXISTING CONTOUR
- ◆ 72.5      PROPOSED SPOT ELEVATION
- - - 70      PROPOSED CONTOUR
- - -      SURFACE FLOW DIRECTION (EXISTING, PROPOSED, roof)
- TG      TOP OF GROUND
- TW      TOP OF RETAINING WALL
- TA      TOP OF ASPHALT
- TC      TOP OF CURB
- FL      FLOW LINE
- TSW      TOP OF SIDEWALK

**GREGORY T. Hicks & Assoc., P.C.**  
ARCHITECTS PLANNERS  
The Sunshine Building  
110 Second St., S.W. Suite 204  
Albuquerque, New Mexico 87102 (505) 243-7492 fax (505) 243-1106  
designing today designing tomorrow  
e-mail: gthicks@gtahicks.com

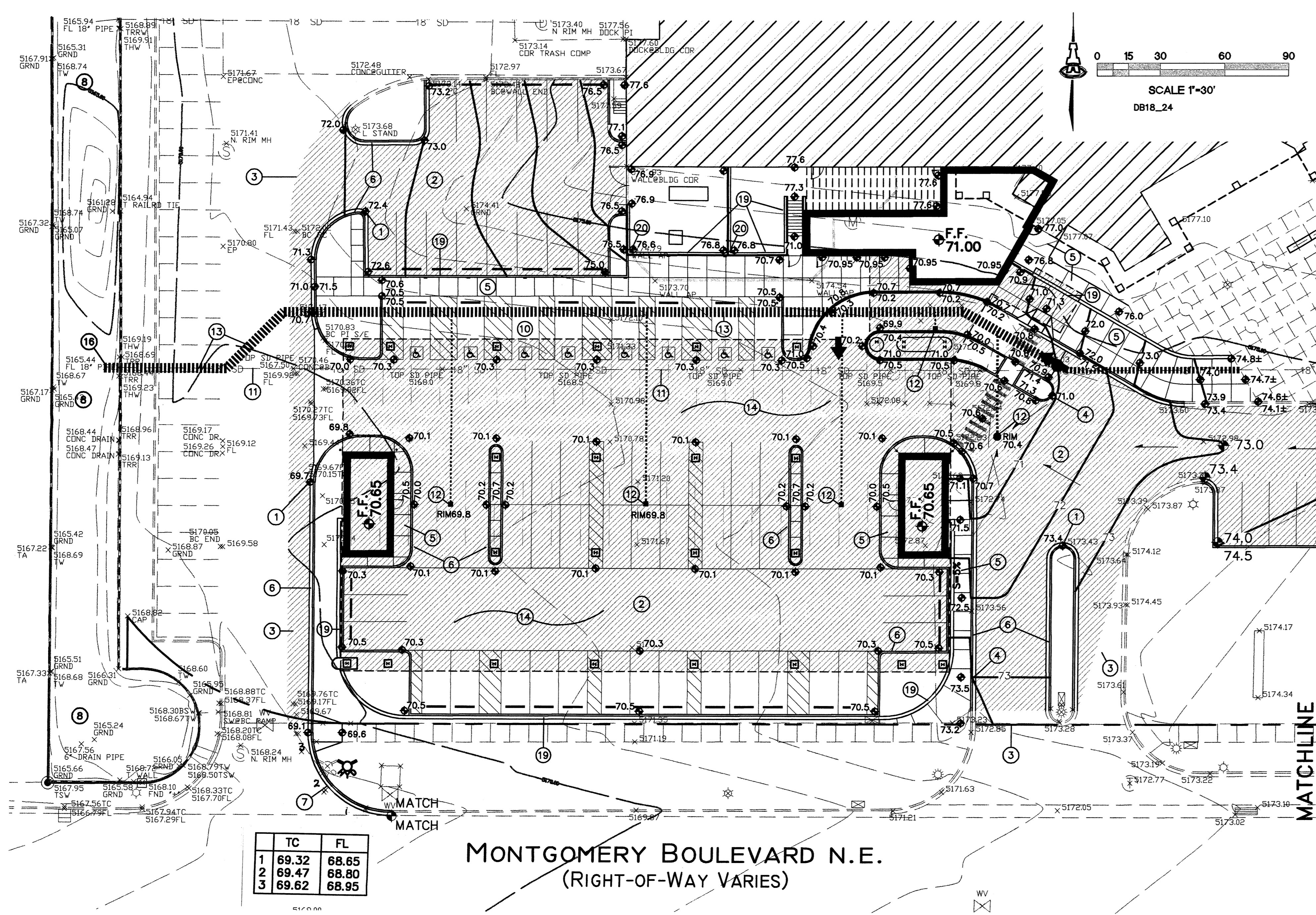


revisions: \_\_\_\_\_  
proj. no.: \_\_\_\_\_  
acad file: \_\_\_\_\_  
date: \_\_\_\_\_

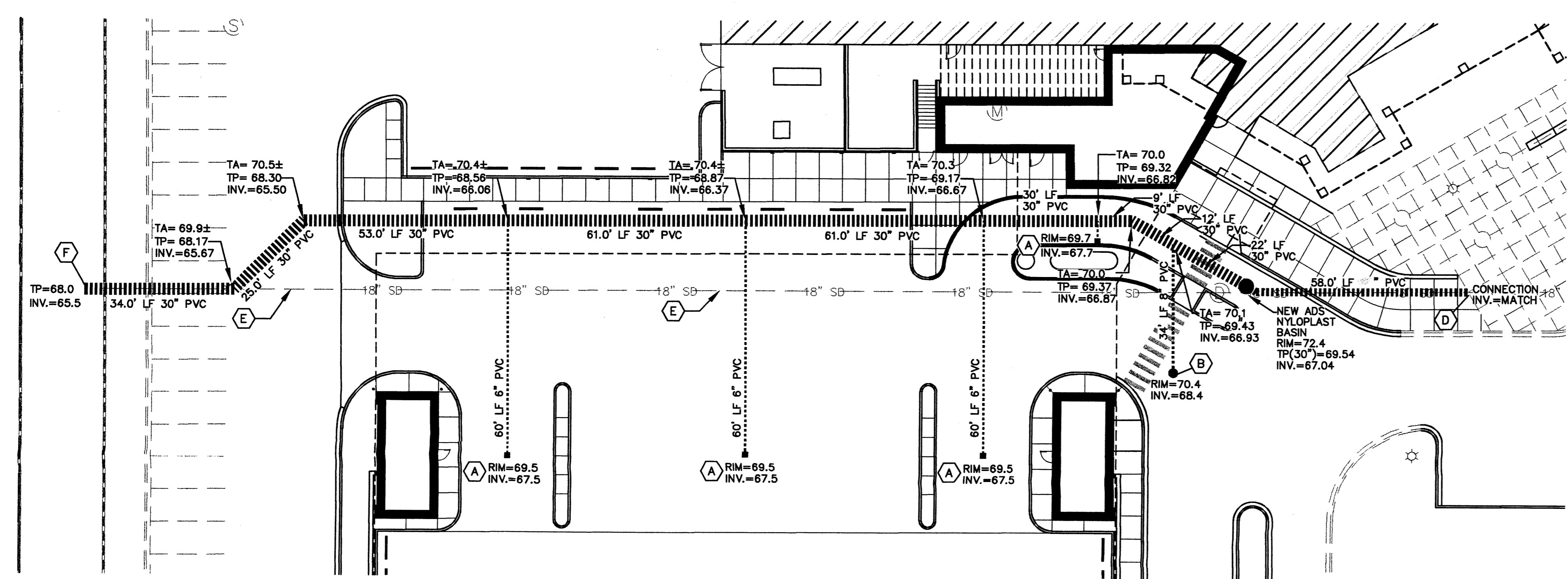
**WOMEN'S HOSPITAL OF NEW MEXICO**  
Medical Office Bldg./Neonatal Intensive Care Unit  
LoveLace Sandia Health System  
4701 Montgomery Blvd. N.E. Albuquerque, New Mexico 87109

sheet title: \_\_\_\_\_  
OVERALL DRAINAGE AND GRADING PLAN  
**C1.1**  
(ERC/DRB)

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 Fax. 505-268-2632  
1410GRD.BJB 02.21.05



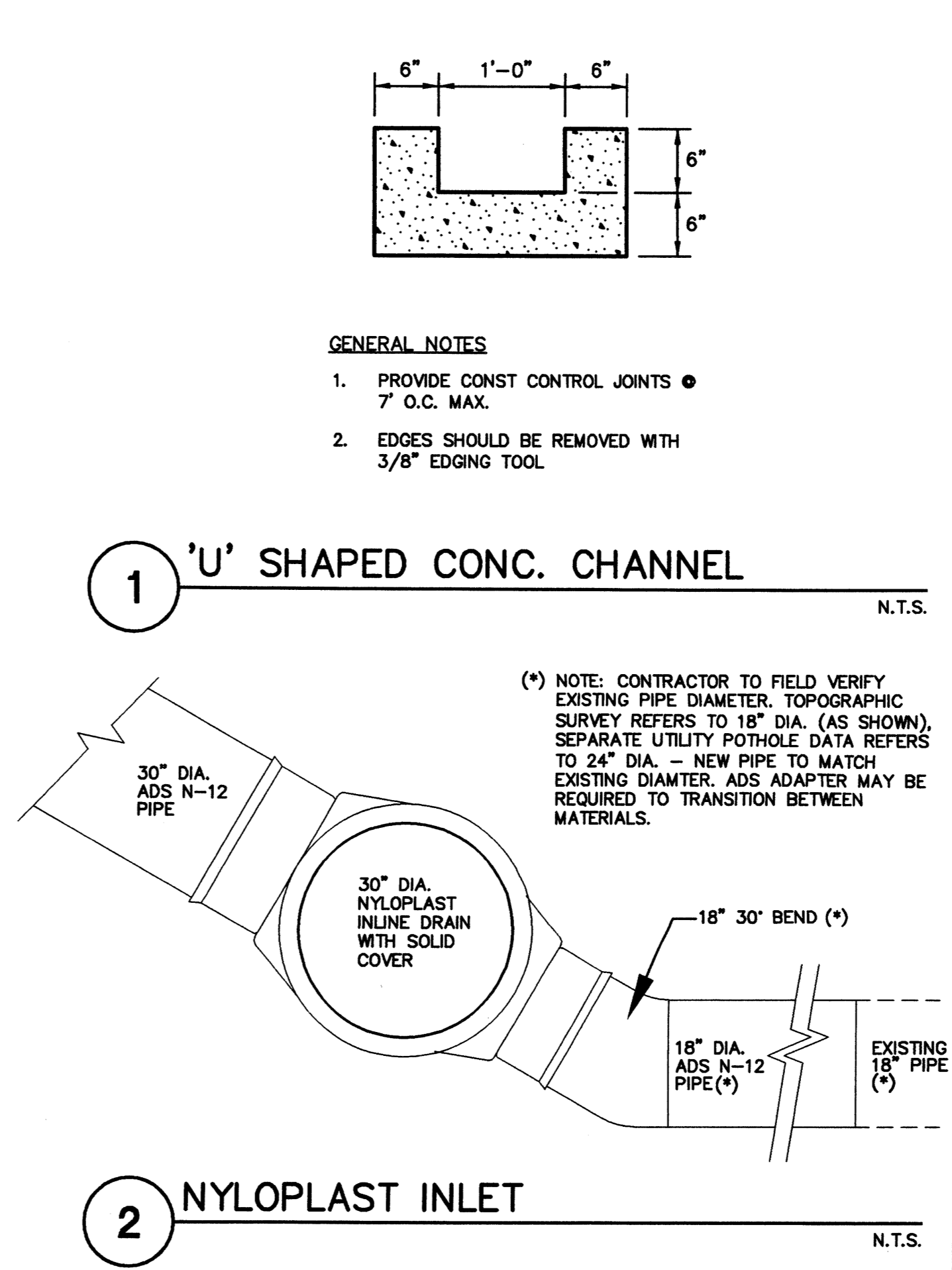
ENLARGED MOB / N.I.C.U. DRAINAGE AND GRADING PLAN  
1" = 20'



PROPOSED STORM DRAIN SYSTEM  
1" = 20'

- KEYED NOTES**
- (A) ADS 18" DIA. INLINE DRAIN WITH 18" PEDESTRIAN (H-10) RATED GRATE AND 6" DIA. OUTLET PIPE.
  - (B) ADS 24" DIA. INLINE DRAIN WITH 24" STANDARD (H-20) RATED GRATE AND 12" DIA. OUTLET PIPE.
  - (C) ADS 30" DIA. NYLOPLAST MANHOLE WITH 30" SOLID GRATE. SEE DETAIL THIS SHEET.
  - (D) MAKE CONNECTION TO EXISTING 18" DIA. STORM DRAIN AT EXISTING INVERT. REROUTE TO PROPOSED ADS MANHOLE.
  - (E) REMOVE EXISTING 18" DIA. STORM DRAIN WEST OF NEW MANHOLE. EXTEND ALL EXISTING UNDERGROUND ROOF DRAINS TO NEW STORM DRAIN.
  - (F) EXTEND NEW 30" DIA. STORM DRAIN THROUGH EXISTING POND WALL (AT LOCATION OF REMOVED 18" OUTLET) TO 1' BEYOND POND WALL. RECONSTRUCT / GROUT POND WALL AT OUTLET.

- LEGEND**
- × 69.54 EXISTING SPOT ELEVATION
  - - - 70 EXISTING CONTOUR
  - ⊕ 72.5 PROPOSED SPOT ELEVATION
  - - - 70 PROPOSED CONTOUR
  - SURFACE FLOW DIRECTION



- PROJECT DATA**
- PROJECT SCOPE:**
- THE PROPOSED IMPROVEMENTS INCLUDE A MEDICAL OFFICE BUILDING / NEONATAL I.C.U. EXPANSION TO THE EXISTING WOMEN'S HOSPITAL WITH ASSOCIATED PARKING LOT EXPANSION AND SITE IMPROVEMENTS. ADDITIONAL SITE PARKING LOT EXPANSION WITH ASSOCIATED LANDSCAPING IS ALSO INCLUDED.
- THE SITE IS LOCATED ON THE NORTH SIDE OF MONTGOMERY BLVD. WEST OF SAN MATEO BLVD. THE SURROUNDING AREA IS FULLY DEVELOPED.
- THE PRESENT SITE IS A DEVELOPED COMMERCIAL PROPERTY. THE AREA TO BE DEVELOPED IS PARTIALLY ASPHALT PAVED AND PARTIALLY LANDSCAPED. THE SITE SLOPES TO THE WEST TO AN EXISTING ON-SITE DETENTION POND.
- THE INTENT OF THIS PLAN IS TO SHOW:
- GRADING RELATIONSHIPS BETWEEN THE EXISTING GROUND ELEVATIONS AND PROPOSED FINISHED ELEVATIONS IN ORDER TO FACILITATE POSITIVE DRAINAGE TO DESIGNATED DISCHARGE POINTS.
  - THE EXTENT OF PROPOSED SITE IMPROVEMENTS, INCLUDING BUILDINGS, WALKS AND PAVEMENT.
  - THE FLOW RATE/VOLUME OF RAINFALL RUNOFF ACROSS OR AROUND THESE IMPROVEMENTS AND METHODS OF HANDLING THESE FLOWS TO MEET CITY OF ALBUQUERQUE REQUIREMENTS FOR DRAINAGE MANAGEMENT.
  - THE RELATIONSHIP OF ON-SITE IMPROVEMENTS WITH EXISTING NEIGHBORING PROPERTY TO INSURE AN ORDERLY TRANSITION BETWEEN PROPOSED AND SURROUNDING GRADES.
- DRAINAGE PLAN CONCEPT:** THIS SITE IS IN AN AREA THAT IS FULLY DEVELOPED. CALCULATIONS FOR THE 100-YEAR, 6-HOUR STORM EVENT FOR THE AREA TO BE IMPROVED SHOW AN INCREASE IN FLOWRATE AND VOLUME DUE TO DEVELOPMENT. THE INCREASED FLOW WILL CONTINUE TO DRAIN TO THE EXISTING PONDING AREA AND BE DISCHARGED TO THE EXISTING MONTGOMERY BLVD. STORM DRAIN SYSTEM. THE EXISTING POND IS CURRENTLY BEING ENLARGED AND REESTABLISHED TO A DEPTH PER THE ORIGINAL DESIGN (DATED NOVEMBER 1981). THE POND VOLUME INCREASE WILL ACCOMMODATE THE INCREASE IN VOLUME DUE TO THIS PROPOSED PHASE OF DEVELOPMENT AS WELL AS FUTURE PHASES OF DEVELOPMENT.
- LLEGAL:** A PORTION OF TRACT M-1 UNIVERSITY HEIGHTS HOSPITAL SECTION 35, T. 11 N., R. 3 E., N.M.P.M. CITY OF ALBUQUERQUE
- FLOODZONE:** PER FIRM MAP #139, THE SITE IS NOT LOCATED WITHIN A FLOODZONE. A FLOODZONE (ZONE AO - DEPTH: 1) WITH ASSOCIATED STORM DRAIN SYSTEM IS LOCATED WITHIN MONTGOMERY BLVD. SOUTH OF THE SITE.
- EROSION CONTROL:** THE CONTRACTOR IS RESPONSIBLE FOR RETAINING ON-SITE ALL SEDIMENT GENERATED DURING CONSTRUCTION BY MEANS OF TEMPORARY EARTH BERMS OR SILT FENCES AT THE LOW POINTS ON THE WEST PROPERTY LINE.

**PROJECT DATA**

proj. no.:  
acc'd file:  
date:

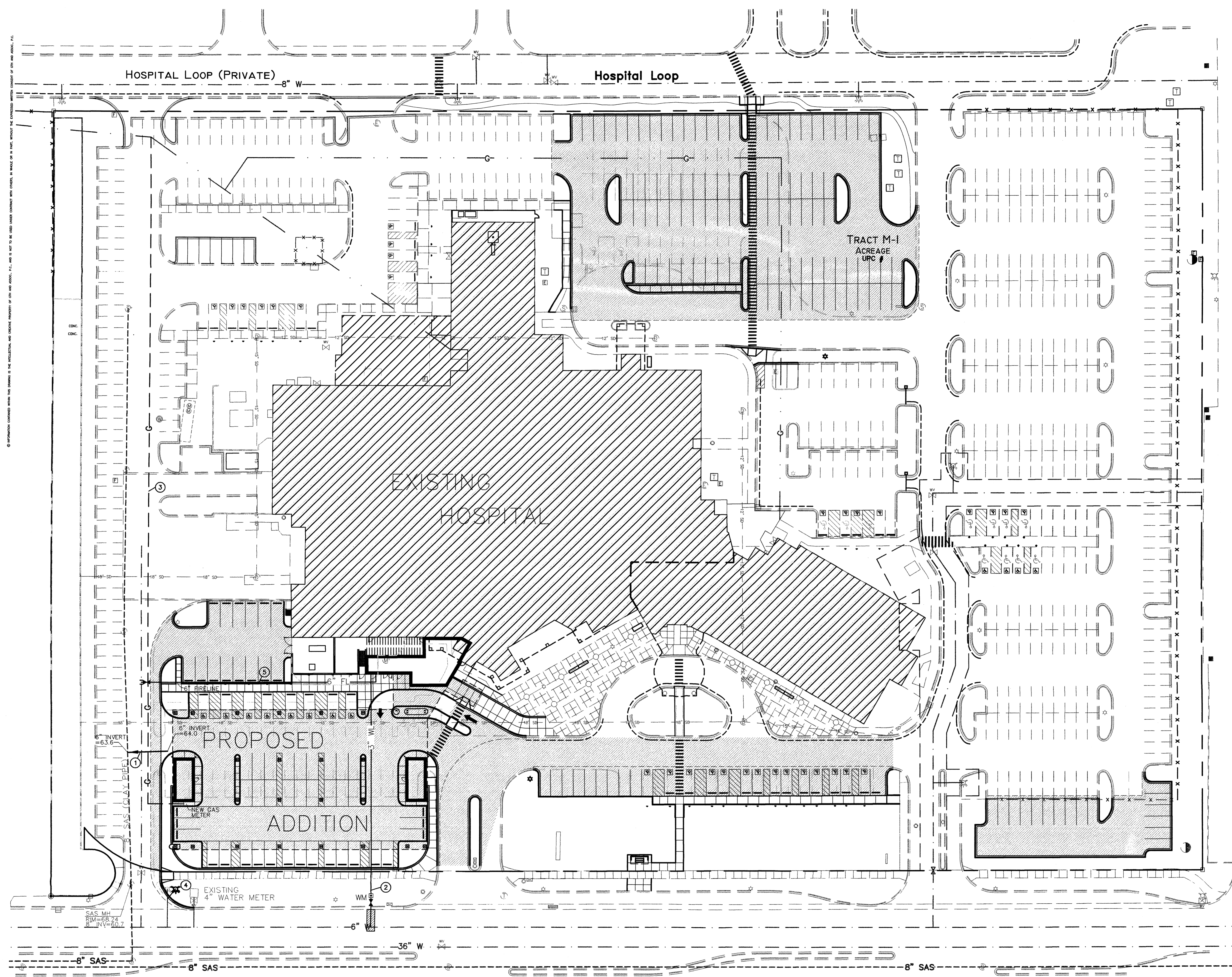
**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 Fax. 505-268-2632  
1410GRD.818 02.21.05

**GREGORY T. HICKS & ASSOC., P.C.**  
Architects PLANNERS  
110 Second St. S.W. Suite 204  
Albuquerque, New Mexico 87102 (505) 243-7492 fax (505) 243-1106  
e-mail: gthicks@gthicks.com

**WOMEN'S HOSPITAL OF NEW MEXICO**  
Medical Office Bldg./Neonatal Intensive Care Unit  
Lovelace Sandia Health System  
4701 Montgomery Blvd. N.E. Albuquerque, New Mexico 87109

ENLARGED N.I.C.U. DRAINAGE AND GRADING PLAN

sheet title:  
**C1.2**  
(ERC/DKB)

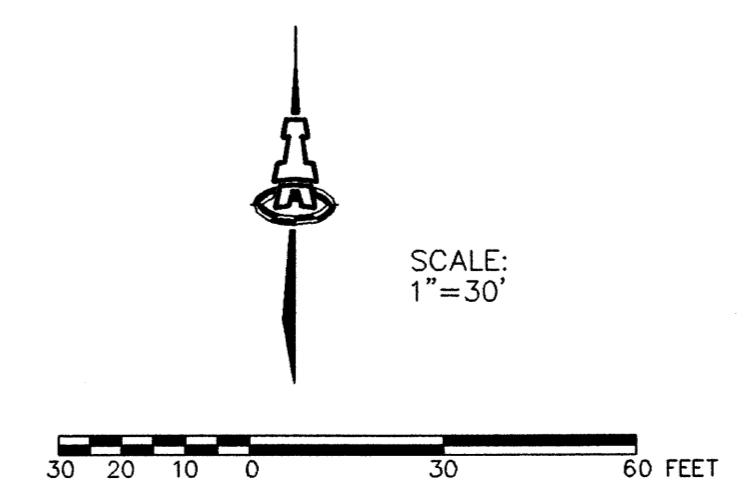


**KEYED NOTES**

1. INSTALL NEW 6" SANITARY SEWER SERVICE FROM BUILDING TO PRIVATE ONSITE SEWER LINE. SEE PLUMBING PLAN FOR CONTINUATION.
2. INSTALL 3" WATER SERVICE TO BUILDING, WITH 3" WATER METER IN VAULT PER COA STD DWG #2370. REMOVE AND REPLACE 12 SY ARTERIAL ASPHALT PAVING PER COA STD DWG #2465.
3. EXTEND GAS SERVICE TO BUILDING (SIZE PER MECHANICAL PLAN). CONTRACTOR SHALL COORDINATE SERVICE EXTENSION WITH PNM GAS SERVICES.
4. RELOCATE EXISTING PUBLIC FIRE HYDRANT WITH 6" 45° BEND & 10 LF 6" WATER LINE.
5. INSTALL 185 LF 6" PRIVATE FIRELINE WITH 6" GATE VALVE & VALVE BOX.

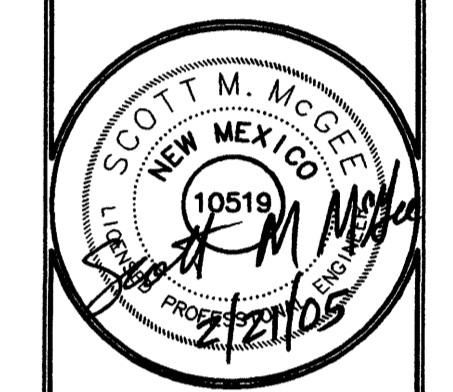
**LEGEND**

	EXISTING WATERLINE
	EXISTING SANITARY SEWER
	EXISTING GAS LINE
	PROPOSED WATERLINE W/ FITTING
	PROPOSED WATER METER
	PROPOSED SANITARY SEWER
	PROPOSED GAS LINE



**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph. 505-268-8828 Fax 505-268-2632  
 1410UMSTR.DWG 11.29.04

**GREGORY T. HICKS & ASSOC., P.C.**  
 ARCHITECTS PLANNERS  
 The Sunshine Building  
 Albuquerque, New Mexico 87102 (505) 243-7492 Fax (505) 243-1106  
 e-mail gthicks@gtahicks.com  
*designing today*



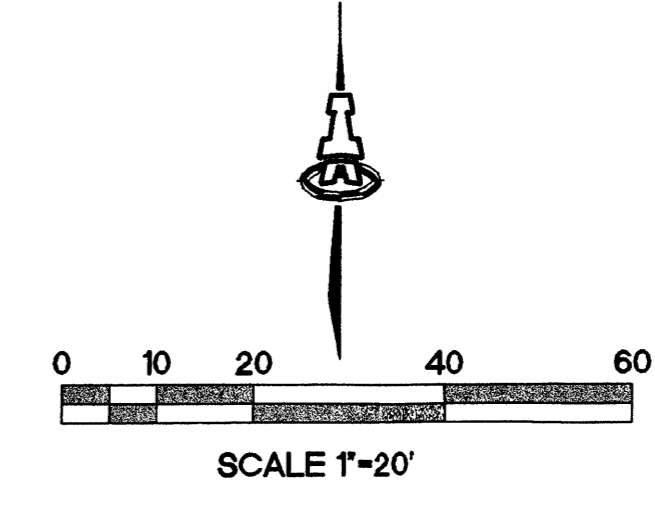
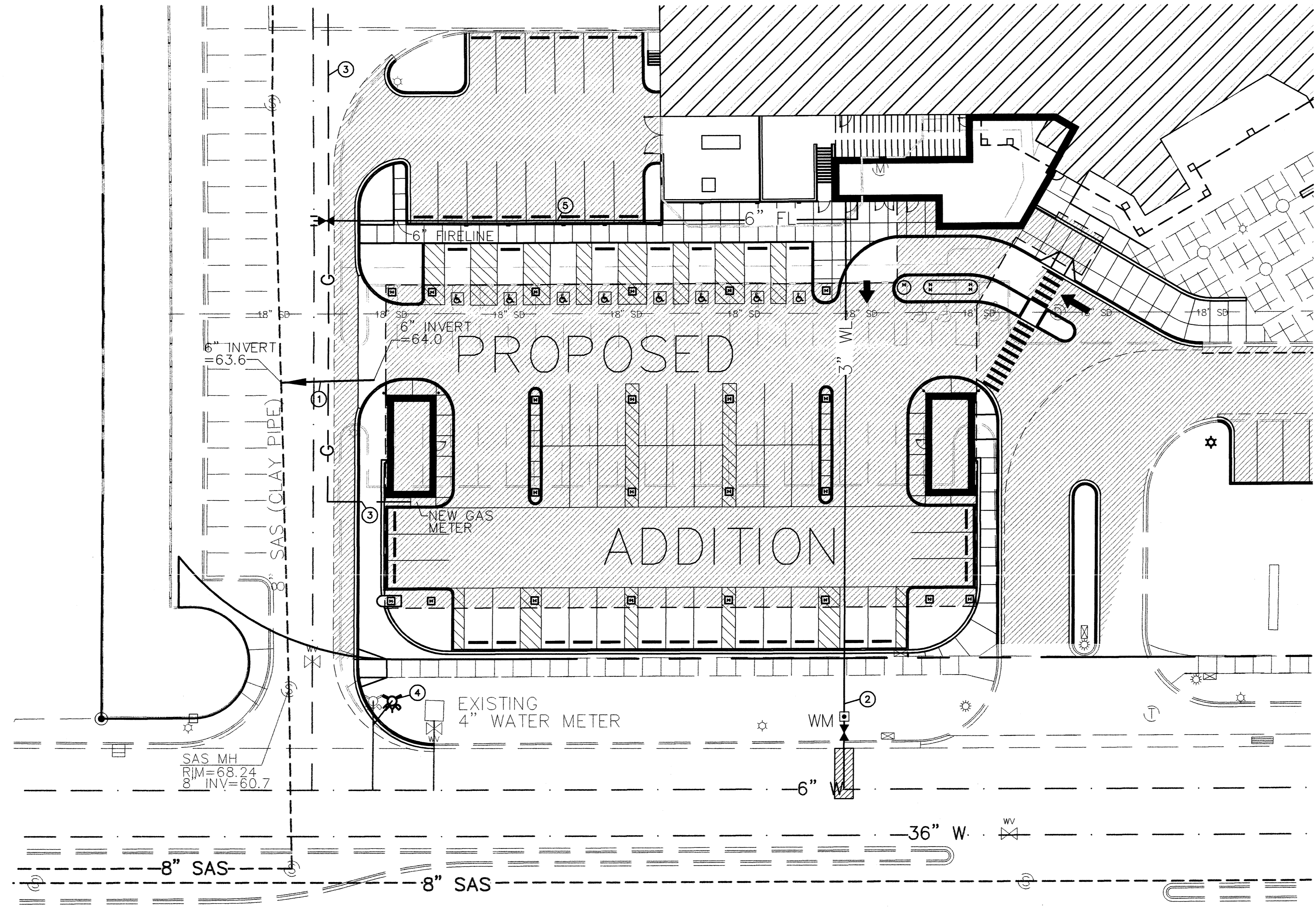
revisions:  
 \_\_\_\_\_  
 proj. no.:  
 \_\_\_\_\_  
 acad. file:  
 \_\_\_\_\_  
 date:  
 \_\_\_\_\_

**WOMEN'S HOSPITAL OF NEW MEXICO**  
 Medical Office Bldg./Neonatal Intensive Care Unit  
 Lovelace Sandia Health System  
 4701 Montgomery Blvd. N.E. Albuquerque, New Mexico 87109

sheet title:  
 OVERALL  
 UTILITY  
 PLAN

**C1.3**  
 (EPC/DRB)

© INFORMATION CONTAINED HEREIN IS THE PROPERTY OF ISAACSON & ARFMAN, P.A. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE EXPRESS WRITTEN CONSENT OF ISAACSON & ARFMAN, P.A.



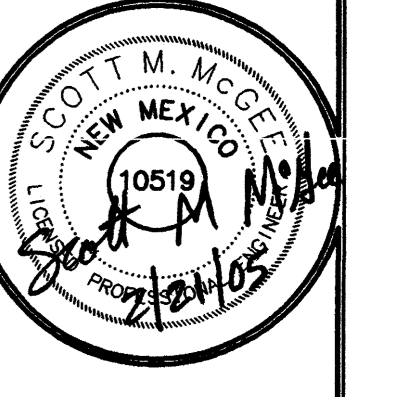
**KEYED NOTES**

- ① INSTALL NEW 6" SANITARY SEWER SERVICE FROM BUILDING TO PRIVATE ONSITE SEWER LINE. SEE PLUMBING PLAN FOR CONTINUATION.
- ② INSTALL 3" WATER SERVICE TO BUILDING, WITH 3" WATER METER IN VAULT PER COA STD DWG #2370. REMOVE AND REPLACE 12 SY ARTERIAL ASPHALT PAVING PER COA STD DWG #2465.
- ③ EXTEND GAS SERVICE TO BUILDING (SIZE PER MECHANICAL PLAN). CONTRACTOR SHALL COORDINATE SERVICE EXTENSION WITH PNM GAS SERVICES.
- ④ RELOCATE EXISTING PUBLIC FIRE HYDRANT WITH 6" 45° BEND & 10 LF 6" WATER LINE.
- ⑤ INSTALL 185 LF 6" PRIVATE FIRELINE WITH 6" GATE VALVE & VALVE BOX.

**LEGEND**

— 6" W —	EXISTING WATERLINE
- - - 8" SAS - - -	EXISTING SANITARY SEWER
- - - G - - -	EXISTING GAS LINE
— 3" W —	PROPOSED WATERLINE W/ FITTING
□	PROPOSED WATER METER
— 6" —	PROPOSED SANITARY SEWER
- - - - -	PROPOSED GAS LINE

**GREGORY T. HICKS & ASSOC., P.C.**  
 ARCHITECTS PLANNERS  
 The Sunshine Building  
 Albuquerque, New Mexico 87102 (505) 243-7492 fax (505) 243-1106  
 e-mail: gthicks@gthicks.com  
 designing today



revisions:  
 proj. no.:  
 eod file:  
 date:

**WOMEN'S HOSPITAL OF NEW MEXICO**  
 Medical Office Bldg./Neonatal Intensive Care Unit  
 Lovelace Sandia Health System  
 4701 Montgomery Blvd. N.E. Albuquerque, New Mexico 87109

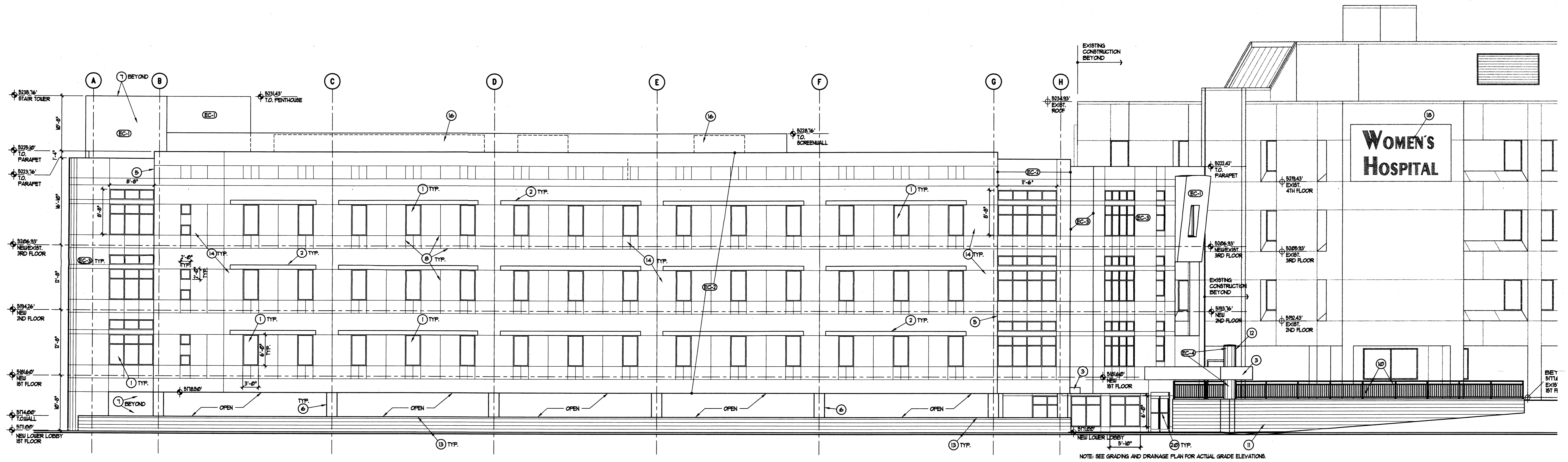
sheet title:  
 ENLARGED  
 UTILITY  
 PLAN

**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph. 505-268-8828 Fax. 505-268-2632  
 1410UT1.DWGthor 02.21.05

**C1.4**  
 (EPC/DRB)

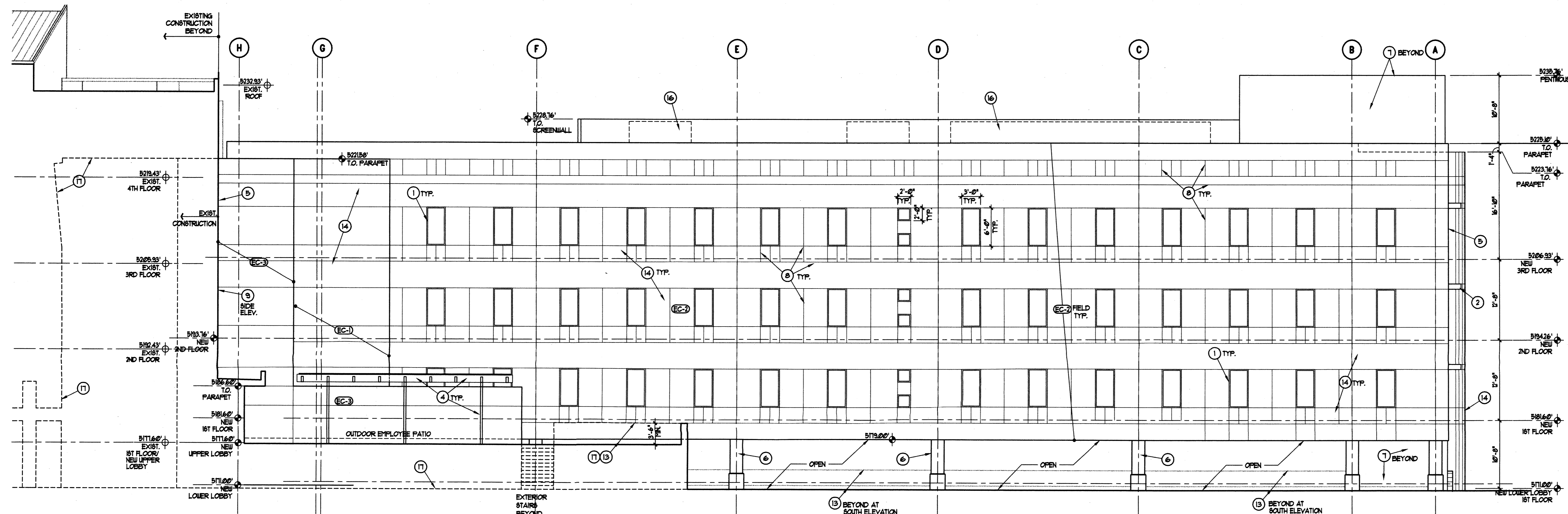


© 2010 GREGORY T. HICKS & ASSOCIATES, P.C. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF GREGORY T. HICKS & ASSOCIATES, P.C.



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

**FINISH NOTES**

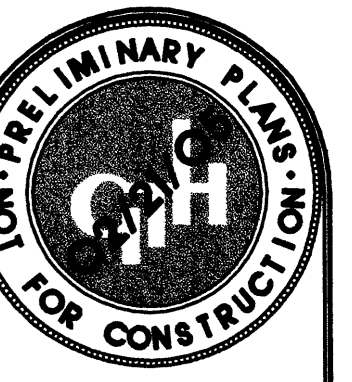
NOTE: UNLESS NOTED OTHERWISE (UNCO.), BUILDING MATERIAL FINISH IS EXTERIOR INSULATION AND FINISH SYSTEM (EIFS). MATCH EXISTING HOSPITAL SAND FINISH TEXTURE.

EIFS COLORS ARE CALLED OUT AS FOLLOWS:

- EC-1 = MATCH EXISTING HOSPITAL FIELD COLOR (LIGHT TAN)
- EC-2 = NEW FIELD COLOR--LIGHT TO MEDIUM TAN
- EC-3 = NEW ACCENT COLOR--LIGHT 'SALMON' PINK/TAN
- EC-4 = MATCH EXISTING HOSPITAL 'DESERT ROSE' (MAUVE/PINK)
- CSJ = MODULAR SIZE, RUNNING BOND. COLOR: TAN OR BROWN.

**KEYED NOTES**

1. 1" LOW-E INSULATED GLAZING IN CLEAR ANODIZED FINISH ALUMINUM 6063-T5 EXTERIOR SYSTEM FRAMING.
2. EYEBROW PAINTED STEEL FRAMING. COLOR: WHITE OR CREAM
3. CANOPY EIFS SYSTEM ON METAL STUD FRAMING.
4. PERGOLA: PAINTED TUBE STEEL FRAMING. COLOR: REDDISH BROWN/RUST
5. LINE OF WALL OR PLANE CHANGE.
6. COLUMN: RUBBED CONCRETE BASE. COLOR: PAINT LIGHT TAN. EIFS ABOVE 3'-0" ABOVE FINISH GRADE.
7. STAIR TOWER & PENTHOUSE: EIFS SYSTEM ON METAL STUD FRAMING.
8. V-GROOVE CONTROL JOINT. IN PATTERN SHOWN.
9. CONTINUOUS THRU-WALL BUILDING EXPANSION JOINT.
10. PAINTED STEEL GUARD(RAIL) MEMBERS AT 4' O.C. SUPPORTS AT 8'-0" O.C. SUPPORT ON TOP OF RETAINING WALL. TOP FIN. 42" AFF. GRADE ON HIGH SIDE. COLOR: REDDISH BROWN/RUST.
11. REINFORCED CMU RETAINING WALL. HEIGHT VARIES AS SHOWN.
12. CANOPY COLUMN: EIFS-CLAD/METAL STUD FRAMED COLUMN COVER.
13. CMU SILE OR WAINCOTT WALL. WITH 4" H SOLID CMU CAP BLOCK.
14. TYP. FINISH: EIFS SYSTEM ON METAL STUD FRAMING.
15. NEW BACKLIT SIGNAGE TO MATCH EXISTING. 11'-0" W X 1'-0" H OVERALL. 28" H AND 18" W LETTERING. BLUE LETTERS TO MATCH EXIST. TOTAL SIGNAGE AREA = 11.0 SQ. FT.
16. ROOF-TOP MECHANICAL UNIT. PRE-FINISHED METAL PANEL SCREEN WALL WITH STEEL ANGLE FRAMING. COLOR: TAN
17. DASHED LINE INDICATES LINE OF CONSTRUCTION IN BEYOND OR IN FOREGROUND - OMITTED FOR CLARITY.
18. EXIST. BACKLIT SIGNAGE. 18'-0" W X 11'-0" H OVERALL. 42" H AND 30" W LETTERING. BLUE LETTERS TO MATCH EXIST. TOTAL SIGNAGE AREA = 209 SQ. FT.
19. STEEL EYEBROW 'LOW CLEARANCE' SIGN. TEXT AS SHOWN. 10" H LETTERS.
20. ALUMINUM FRAME/ INSULATED GLAZING AUTOMATIC DOOR.
21. 3'-0" HIGH, 8" DIA. STEEL BOLLARD. PAINT TRAFFIC YELLOW.
22. CMU RETAINING WALL/GUARD(RAIL)/PLASTER SHOWN DASHED FOR CLARITY. SEE SITE PLAN.



**GREGORY T. HICKS & ASSOC., P.C.**  
 ARCHITECTS • PLANNERS  
 The Sunshine Building  
 Albuquerque, New Mexico 87102  
 (505) 243-7497 fax (505) 243-1106  
 e-mail: gthicks@gtidas.com

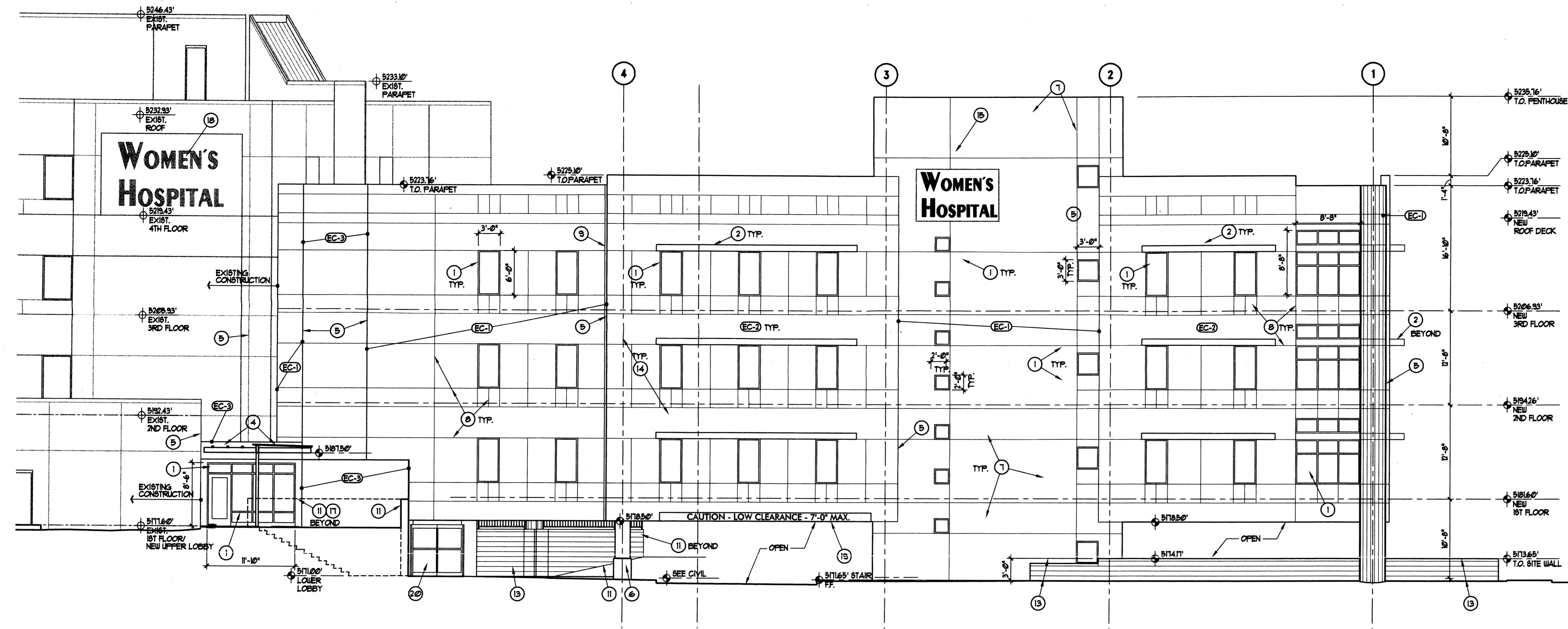
revisions:  
 proj. no.: 0409  
 acad file: 0409A1  
 date:

**WOMEN'S HOSPITAL OF NEW MEXICO**  
 Medical Office Bldg./Neonatal Intensive Care Unit  
 Lovelace Sandia Health System  
 4701 Montgomery Blvd. N.E. Albuquerque, New Mexico 87109

sheet title:  
 ELEVATIONS

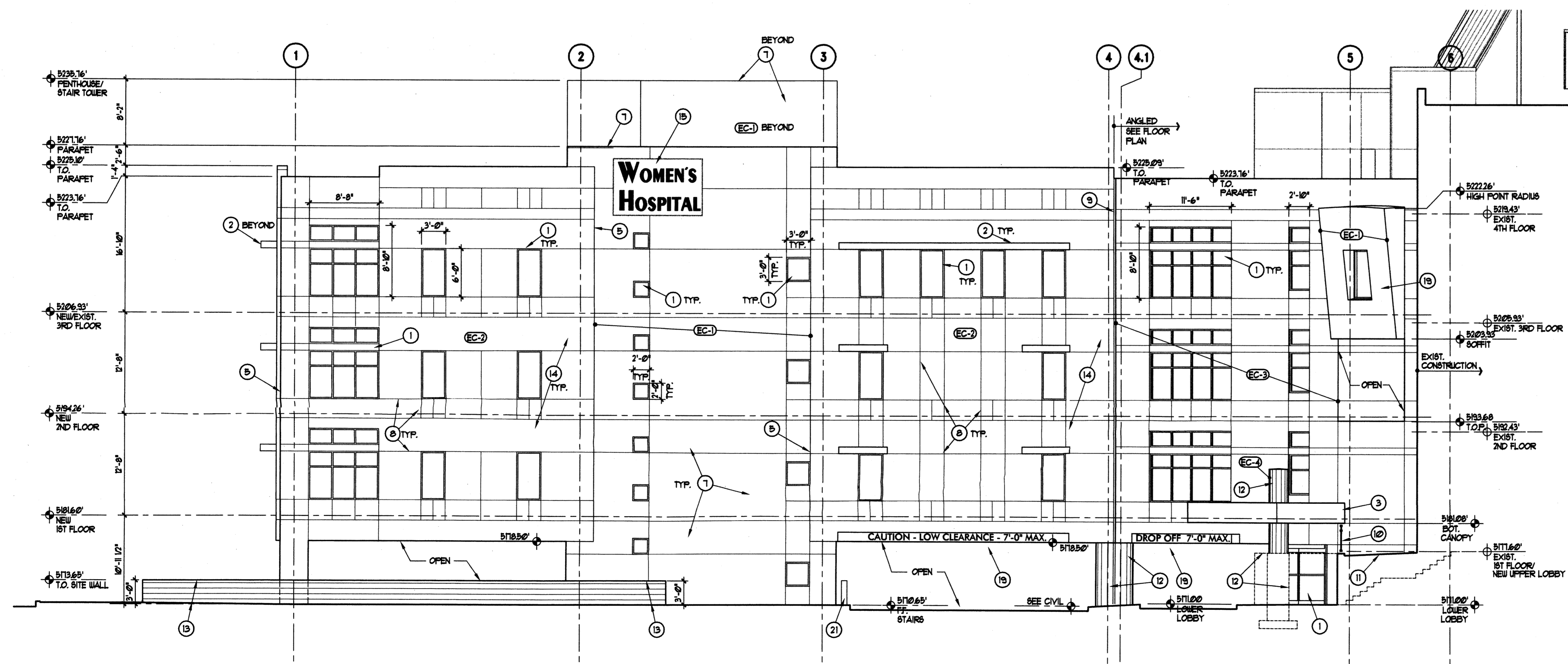
**A4.1**  
 (EPC/DRB)

© INFORMATION CONTAINED HEREIN IS THE PROPERTY OF GREGORY T. HICKS & ASSOCIATES, P.C. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF GREGORY T. HICKS & ASSOCIATES, P.C.



WEST ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"

**FINISH NOTES**

NOTE: UNLESS NOTED OTHERWISE (UNO.), BUILDING MATERIAL FINISH IS EXTERIOR INSULATION AND FINISH SYSTEM (EIFS.) MATCH EXISTING HOSPITAL SAND FINISH TEXTURE.

EIFS COLORS ARE CALLED OUT AS FOLLOWS:

- EC-1 • MATCH EXISTING HOSPITAL FIELD COLOR (LIGHT TAN)
- EC-2 • NEW FIELD COLOR--LIGHT TO MEDIUM TAN
- EC-3 • NEW ACCENT COLOR--LIGHT 'SALMON' PINK/TAN
- EC-4 • MATCH EXISTING HOSPITAL 'DESERT ROSE' (MAUVE/PINK)
- CMU • MODULAR SIZE, RUNNING BOND. COLOR: TAN OR BROWN.

**KEYED NOTES**

1. 1" LOW-E INSULATED GLAZING IN CLEAR ANODIZED FINISH ALUMINUM STOREFRONT SYSTEM FRAMING.
2. EYEBROW PAINTED STEEL FRAMING. COLOR: WHITE OR CREAM
3. CANOPY: EIFS SYSTEM ON METAL STUD FRAMING.
4. PERGOLA: PAINTED TUBE STEEL FRAMING. COLOR: REDDISH BROWN RUST.
5. LINE OF WALL OR PLANE CHANGE.
6. COLUMN: RUBBED CONCRETE BASE. COLOR: PAINT LIGHT TAN. EIFS ABOVE 3'-0" ABOVE FINISH GRADE.
7. STAIR TOWER: EIFS SYSTEM ON METAL STUD FRAMING.
8. V-GROOVE CONTROL JOINT. IN PATTERN SHOWN.
9. CONTINUOUS THRU-WALL BUILDING EXPANSION JOINT.
10. PAINTED STEEL GUARDRAIL. MEMBERS AT 4' O.C. SUPPORTS AT 8'-0" O.C. SUPPORT ON TOP OF RETAINING WALL. TOP MIN. 42" AFF. GRADE ON HIGH SIDE. COLOR: REDDISH BROWN RUST.
11. REINFORCED CMU RETAINING WALL. HEIGHT VARIES AS SHOWN.
12. CANOPY COLUMN EIFS-CLAD/METAL STUD FRAMED COLUMN COVER.
13. CMU SILE OR WANSBROT WALL. WITH 4" H SOLID CMU CAP BLOCK.
14. TYP. FINISH: EIFS SYSTEM ON METAL STUD FRAMING.
15. NEW BACKLIT SIGNAGE TO MATCH EXISTING. 11'-0" W X 1'-0" H OVERALL. 70" H AND 10" H LETTERING. BLUE LETTERS TO MATCH EXIST. TOTAL SIGNAGE AREA = 112 SQ. FT.
16. ROOF-TOP MECHANICAL UNIT. PRE-FINISHED METAL PANEL SCREEN WALL WITH STEEL ANGLE FRAMING. COLOR: TAN.
17. DASHED LINE INDICATES LINE OF CONSTRUCTION IN BEYOND OR IN FOREGROUND - OMITTED FOR CLARITY.
18. EXIST. BACKLIT SIGNAGE. 19'-0" W X 11'-0" H OVERALL. 42" H AND 30" H LETTERING. BLUE LETTERS TO MATCH EXIST. TOTAL SIGNAGE AREA = 209 SQ. FT.
19. STEEL EYEBROW 'LOW CLEARANCE' SIGN. TEXT AS SHOWN. 10" H LETTERS.
20. ALUMINUM FRAME/INSULATED GLAZING AUTOMATIC DOOR.
21. 3'-0" HIGH, 8" DIA STEEL BOLLARD. PAINT TRAFFIC YELLOW.
22. CMU RETAINING WALL/GUARDRAIL/PLASTER SHOWN DASHED FOR CLARITY. SEE SITE PLAN.

**GREGORY T. HICKS & ASSOC., P.C.**  
 ARCHITECTS • PLANNERS  
 The Sunshine Building  
 Albuquerque, New Mexico 87102  
 (505) 743-7492 fax (505) 243-1108  
 e-mail: gthicks@gthicks.com  
**SINCE 1988**  
**DESIGNING TODAY DESIGNING TOMORROW.**

revisions: \_\_\_\_\_

proj. no.: 0409

acad file: 0409A4

date: \_\_\_\_\_

**WOMEN'S HOSPITAL OF NEW MEXICO**  
 Medical Office Bldg./Neonatal Intensive Care Unit  
 Lovelace Sandia Health System  
 4701 Montgomery Blvd. N.E. Albuquerque, New Mexico 87109

sheet title:  
ELEVATIONS