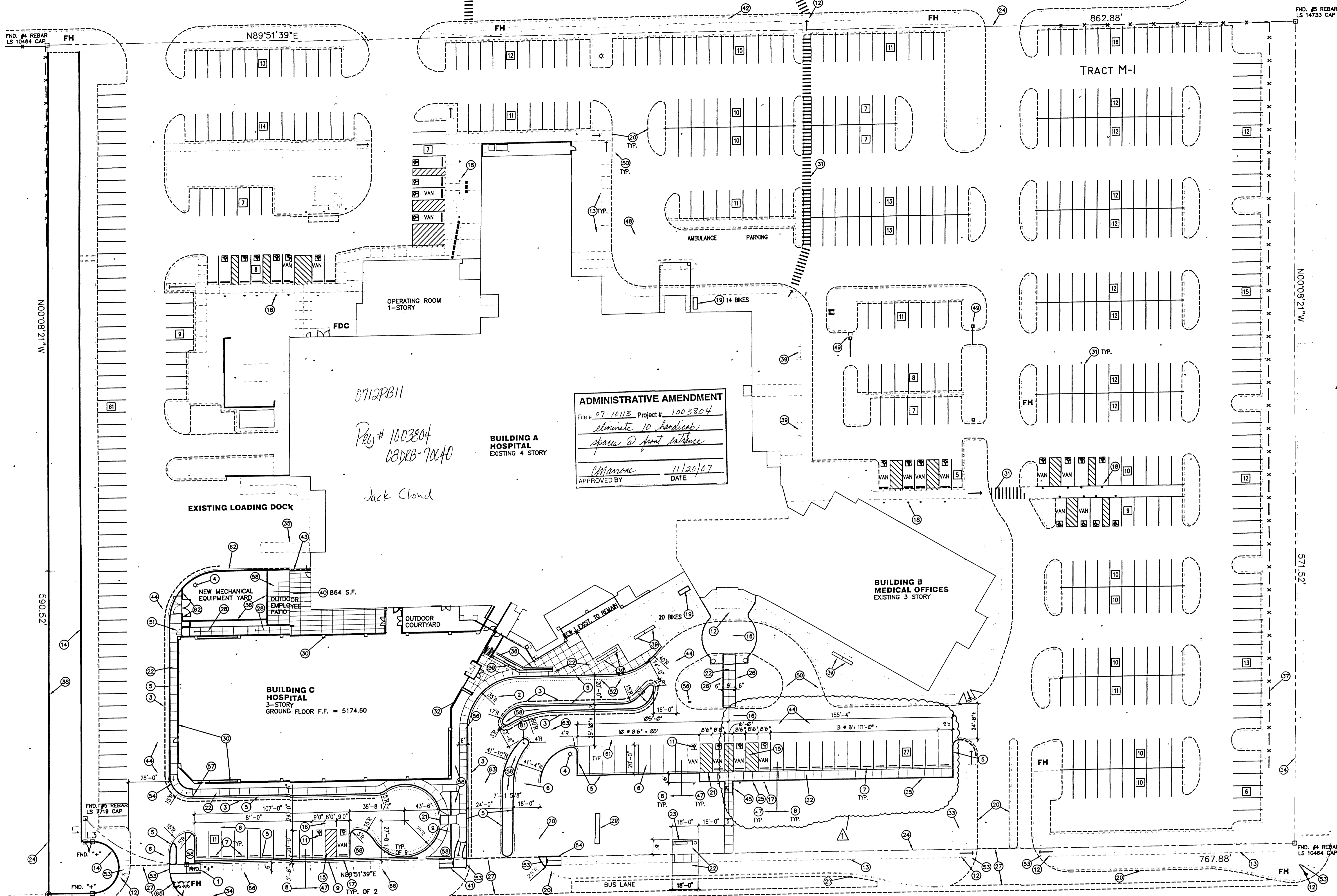


Hospital Loop (Private R.O.W.)



**ADMINISTRATIVE AMENDMENT**  
 File # 07-10113 Project # 1003804  
 eliminate 10 handicap spaces @ front entrance  
 Approved by [Signature] DATE 11/20/07

0712PB11  
 Proj # 1003804  
 08/08/07-70040  
 Jack Cloud

**REAR YARD:** AS DETERMINED BY EPC  
**SIDE YARDS:** AS DETERMINED BY EPC  
**REAR YARD:** AS DETERMINED BY EPC

**CODE USED:** CONSTRUCTION OF A NEW 3-STORY HOSP. ADDITION  
**SUMMARY OF WORK:** AA-96-185, DRB-96-20, V-96-7, Z-81-53  
**PRIOR CASE NUMBERS:** Z-78-137, Z-77-109, ZA-76-216

**BUILDING A (EXISTING):**  
 GROUP 1-2 HOSPITAL / CONSTRUCTION TYPE I-A SPRINKLED  
 4TH FLOOR = 16,936 G.S.F.  
 3RD FLOOR = 18,036 G.S.F.  
 2ND FLOOR = 17,760 G.S.F.  
 1ST FLOOR = 71,461 G.S.F.  
 TOTAL = 124,193 G.S.F.

**BUILDING B (EXISTING):**  
 GROUP B BUSINESS / CONSTRUCTION TYPE V 1-HR SPRINKLED  
 3RD FLOOR = 15,334 G.S.F.  
 2ND FLOOR = 15,331 G.S.F.  
 1ST FLOOR = 15,608 G.S.F.  
 TOTAL = 46,273 G.S.F.

**BUILDING C (NEW):**  
 GROUP 1-2 HOSPITAL / CONSTRUCTION TYPE I-A SPRINKLED  
 3RD FLOOR = 20,800 G.S.F. (FUTURE PHASE)  
 2ND FLOOR = 20,800 G.S.F. HOSP. - NEONATAL INTENSIVE CARE UNIT  
 1ST FLOOR = 21,700 G.S.F. HOSP. - SHELL  
 TOTAL = 63,300 G.S.F.

**PARKING REQUIREMENTS** N.L.A. = NET LEASABLE AREA

**EXISTING HOSPITAL OCCUPANCY:**  
 (PREVIOUSLY APPROVED EPC/DRB DECISIONS)  
 PROVIDE 1 SPACE/2 PATIENT BEDS = 65 SPACES  
 130 LICENSED BEDS/2

**EXISTING MEDICAL OFFICES (BUSINESS OCCUPANCY):**  
 (PREVIOUSLY APPROVED EPC/DRB DECISIONS)  
 PROVIDE 1 SPACE/200 SF OF N.L.A. ON 1ST FLOOR = 80 SPACES  
 12,000 SF N.L.A./200  
 PROVIDE 1 SPACE/300 SF OF N.L.A. ON 2ND & 3RD FLOORS = 80 SPACES  
 24,000 SF N.L.A./300

**NEW 3-STORY HOSPITAL ADDITION (HOSPITAL OCCUPANCY):**  
 PROVIDE 1 SPACE/2 PATIENT BEDS  
 3RD FLOOR - 20,800 SF + 300 SF/SPACE = 70 SPACES  
 2ND FLOOR - 24 LICENSED BEDS/2 = 12 SPACES  
 1ST FLOOR - 20,800 SF + 200 SF/SPACE = 391 SPACES

**SUB-TOTAL SPACES REQUIRED:**  
 10% ALLOWABLE REDUCTION FOR ADJACENCY TO TRANSIT ROUTE = 39 SPACES  
 10% OF 391 SPACES = 39 SPACES

**TOTAL SPACES REQUIRED:**  
 391 - 39 = 352 SPACES = 352 SPACES

**TOTAL SPACES PROVIDED:**  
 352 SPACES = 558 SPACES

**ACCESSIBLE PARKING REQUIRED BY CITY OF ALBUQUERQUE:**  
 REQUIRED: FOR 501 TO 800 SPACES = 16  
 PROVIDED: 11 STANDARD + 17 VAN = 28

**BICYCLE PARKING:**  
 PROVIDE 1 BICYCLE SPACE PER 20 PARKING SPACES:  
 REQUIRED: 549 / 20 = 28 SPACES PROVIDED: 34 SPACES

**OUTDOOR PUBLIC SPACE CALCULATIONS**

**OUTDOOR SEATING REQ'S FOR MAJOR FACADES GREATER THAN 100 FEET:**  
 REQUIRED: SOUTH FACADE = 600 FT / 25 = 24 SEATS  
 PROVIDED: TEN 8' LONG BENCHES @ 3 SEATS/BENCH = 30 SEATS

**PEDESTRIAN OPEN SPACE REQUIREMENTS:**  
 REQUIRED: 233,198 G.S.F. / 30,000 = 8 X 400 S.F. = 3,200 S.F.  
 PROVIDED: 1 PARK + 1 LARGE PLAZA = APPROX. 13,500 S.F.

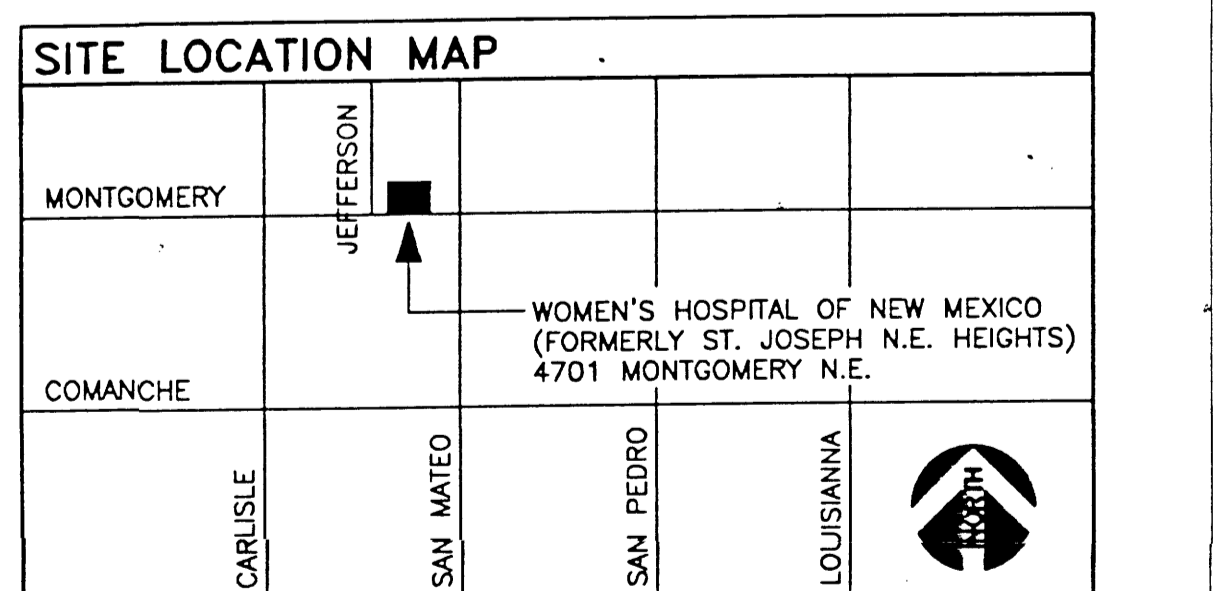
**PROVISIONS FOR EMPLOYEES:**  
 REQUIRED: ONE OUTDOOR GATHERING SPACE 300 S.F. MIN.  
 PROVIDED: ONE OUTDOOR GATHERING SPACE APPROX. 864 S.F. (OUTDOOR EMPLOYEE PATIO)

**SYMBOLS LEGEND**

☒ = TRAFFIC SIGNAL BOX	■ = TELEPHONE RISER
○ = TRAFFIC SIGNAL	□ = TELEPHONE SERVICE BOX
● = LIGHT POLE	▣ = FIBER OPTIC BOX
⊙ = HIGH VOLTAGE PP	⊞ = ELECTRIC BOX
○ = POWER POLE	⊚ = ELECTRIC SERVICE BOX
—OU— = OVERHEAD UTILITY LINE	⊞ = UTILITY METER
—GAS— = UNDERGROUND GAS LINE	⊞ = CABLE TV RISER
—SEWER— = UNDERGROUND SEWER LINE	⊞ = PAY PHONE
—WATER— = UNDERGROUND WATER LINE	⊞ = FIRE HYDRANT
—ANCHOR— = ANCHOR	⊞ = MONITOR WELL
⊞ = SEWER MANHOLE	⊞ = GAS VALVE
⊞ = TELEPHONE MANHOLE	⊞ = GAS METER
⊞ = ELECTRIC MANHOLE	⊞ = DROP INLET
⊞ = DRAINAGE MANHOLE	⊞ = BLOCK WALL
⊞ = WATER MANHOLE	⊞ = FENCE
⊞ = MANHOLE (TYPE UNKNOWN)	⊞ = TRAFFIC FLOW
⊞ = WATER METER	⊞ = CENTERLINE
⊞ = WATER VALVE	⊞ = PROPERTY LINE

**MONUMENT LEGEND**

⊞ = FOUND CONTROL STATION AS NOTED
⊞ = TEMPORARY BENCH MARK
⊞ = FOUND MONUMENT AS NOTED
⊞ = COMPUTED CORNER (NOT SET)
⊞ = SET 1/2" REBAR W/YELLOW PLASTIC CAP STAMPED "GRISKO LS8686" UNLESS OTHERWISE NOTED



**AREA LIGHTING REGULATIONS**

THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ANY OTHER RESIDENTIAL PREMISES. IT SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 1,000 FOOTLAMBERTS. IT SHALL NOT HAVE ANY OFF-SITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE. WHERE ON-SITE LIGHTING IS PROVIDED, THE LOCATION OF ALL LIGHT POLES SHALL BE INDICATED ON THE SITE. FOR SITES FIVE OR MORE ACRES, THE MAXIMUM HEIGHT OF A LIGHT POLE, MEASURED FROM THE FINISHED GRADE TO THE TOP OF THE POLE, SHALL BE 30 FEET. (14-16-3-9)

**GENERAL NOTES.**

A. ALL WORK IN PUBLIC RIGHT OF WALL SHALL COMPLY WITH CITY OF ALBUQUERQUE STANDARDS  
 B. ALL DIMENSIONS ON THIS SITE PLAN ARE TO FACE OF CURB UNO.

- KEYED NOTES**
- NEW RAMP SEE 6/C1.4
  - EXISTING MANHOLE OR ACCESS COVER TO BE LOWERED/RAISED FLUSH WITH NEW GRADES. TYPICAL ALL UTILITIES.
  - THIS DASHED LINE SIGNIFIES NEW FIRE LANE. PAINT FACE/TOP OF CURB RED. PAINT 4" HIGH STENCILED WHITE LETTERS "FIRE LANE" AND "NO PARKING" ALTERNATING AT 10' O.C. MAX. COMPLY WITH SITE LIGHTING REGULATIONS ON THIS SHEET.
  - NEW CONCRETE CURB AND GUTTER. SEE 11/C1.3
  - SHADED AREA INDICATES NEW 3" ASPHALT PAVING OVER 4" BASE COURSE.
  - NEW CONCRETE WHEEL STOP. CENTER 24" AWAY FROM CURB/SIDEWALK. TYPICAL.
  - NEW 4" WHITE PAINTED PAVEMENT MARKINGS. TYP. AT NON-H.C.
  - NEW 3"-0" HIGH CMU SITE WALL WITH MASONRY VENER.
  - NEW FIRE HYDRANT. PER C.O.A. WORK ORDER.
  - NEW BLUE PAINTED WHEELCHAIR SYMBOL. TYPICAL. SEE SITE DETAILS.
  - EXISTING CURB RAMP TO REMAIN.
  - EXISTING CONCRETE SIDEWALK TO REMAIN.
  - EXISTING ATTENTION POND WALL OF RAILROAD TIES TO REMAIN.
  - NEW 4" BLUE PAINTED PAV. MARKINGS AT 30' O.C. TYP. AT H.C. AISLES.
  - NEW 12" WIDE WHITE PAINTED PAVEMENT MARKINGS AT 30' O.C.
  - NEW HANDICAP PARKING SIGN. SEE 6,7,23/C1.3.

- KEYED NOTES (CONT.)**
- EXISTING HANDICAP PARKING SIGN TO REMAIN.
  - 1 OF 2 EXISTING BICYCLE RACKS TO REMAIN. 34 TOTAL SPACES.
  - EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
  - TOP OF ASPHALT PAVING TO BE FLUSH WITH TOP OF CURB/SIDEWALK FOR HANDICAP ACCESSIBILITY.
  - NEW 4" THICK FIBER REINFORCED PORTLAND CEMENT CONCRETE PAVING. USE C.O.A. MIX WHERE OCCURS IN R.O.W.
  - NEW BUS SHELTER. SEE 17, 18, 19, 22/C1.3 PER C.O.A. WORK ORDER.
  - PROPERTY LINE. TYPICAL.
  - NEW CONCRETE STAND UP CURB. SEE 21/C1.3.
  - NEW CONCRETE STAND-UP CURB. SIMILAR TO 21/C1.3.
  - EXISTING CONCRETE APRON TO REMAIN.
  - NEW 1:12 CONCRETE RAMP.
  - EXISTING MONUMENT SIGN TO REMAIN.
  - FOOTPRINT OF NEW BUILDING.
  - EXISTING PAVEMENT MARKINGS TO REMAIN.
  - LINE OF BUILDING OVERHANG.
  - NOT USED.
  - NOT USED.
  - EXISTING REFUSE COMPACTOR TO REMAIN. OWNER SHALL INCREASE NUMBER OF PICK-UPS AS REQUIRED TO ACCOMMODATE NEW ADDITION.

- KEYED NOTES (CONT.)**
- NEW MASONRY SITE WALL. EXTEND 42" MIN. ABOVE HIGHEST ADJACENT GRADE.
  - EXISTING CHAIN LINK FENCE TO REMAIN. (NEAR EAST PROPERTY LINE.)
  - EXISTING CONCRETE DETENTION POND WALL WITH 4" HIGH STEEL PIPE HANDRAIL ON TOP. TO REMAIN. (NEAR WEST PROPERTY LINE.)
  - NEW 8' LONG SITTING BENCHES(S). 10 TOTAL SEE PUBLIC SPACE CALCS.
  - NEW OUTDOOR EMPLOYEE PATIO WITH TABLE AND CHAIRS.
  - NEW RAMP. SEE 2/C1.4.
  - RECENTLY REFINISHED PEDESTRIAN PATH TO REMAIN.
  - RAISE TOP OF EXISTING CONCRETE SITE WALL APPROXIMATELY 12".
  - LINE OF TRANSITION BETWEEN EXISTING AND NEW PAVING. COORDINATE WITH CIVIL.
  - NEW RAMP SEE 4/C1.4.
  - NEW RAMP WITH FLARED SIDES. SEE SITE DETAILS.
  - 4" BLUE PAINTED PAVEMENT MARKINGS. TYP. AT H.C. SPACES.
  - EXISTING UNDERGROUND PIPE SLEEVE FOR FUTURE INSTALLATION OF POWER FROM BUILDING TO MOBILE C.T. UNIT. TO REMAIN.
  - EXISTING UNDERGROUND TRAFFIC BARRIER TO REMAIN.
  - EXISTING ELECTRIC POWERED TRAFFIC BARRIER TO REMAIN.
  - THIS DASHED LINE INDICATES EXIST. FIRE LANE (RED CURB) TO REMAIN.
  - GATE. PAINTED HM DOOR PANEL WITH VIEW PANEL. PROVIDE PANIC HARDWARE ON PUSH SIDE. LATCH WITH H/C LEVER ON PULL SIDE.
  - DOTTED LINE INDICATES LOADING ZONE AREA. PAINT FACE AND TOP OF CURB GREEN. PAINT 4" STENCILED WHITE LETTERS TO READ "LOADING ZONE ONLY" AT 10'-0" O.C. MAX.

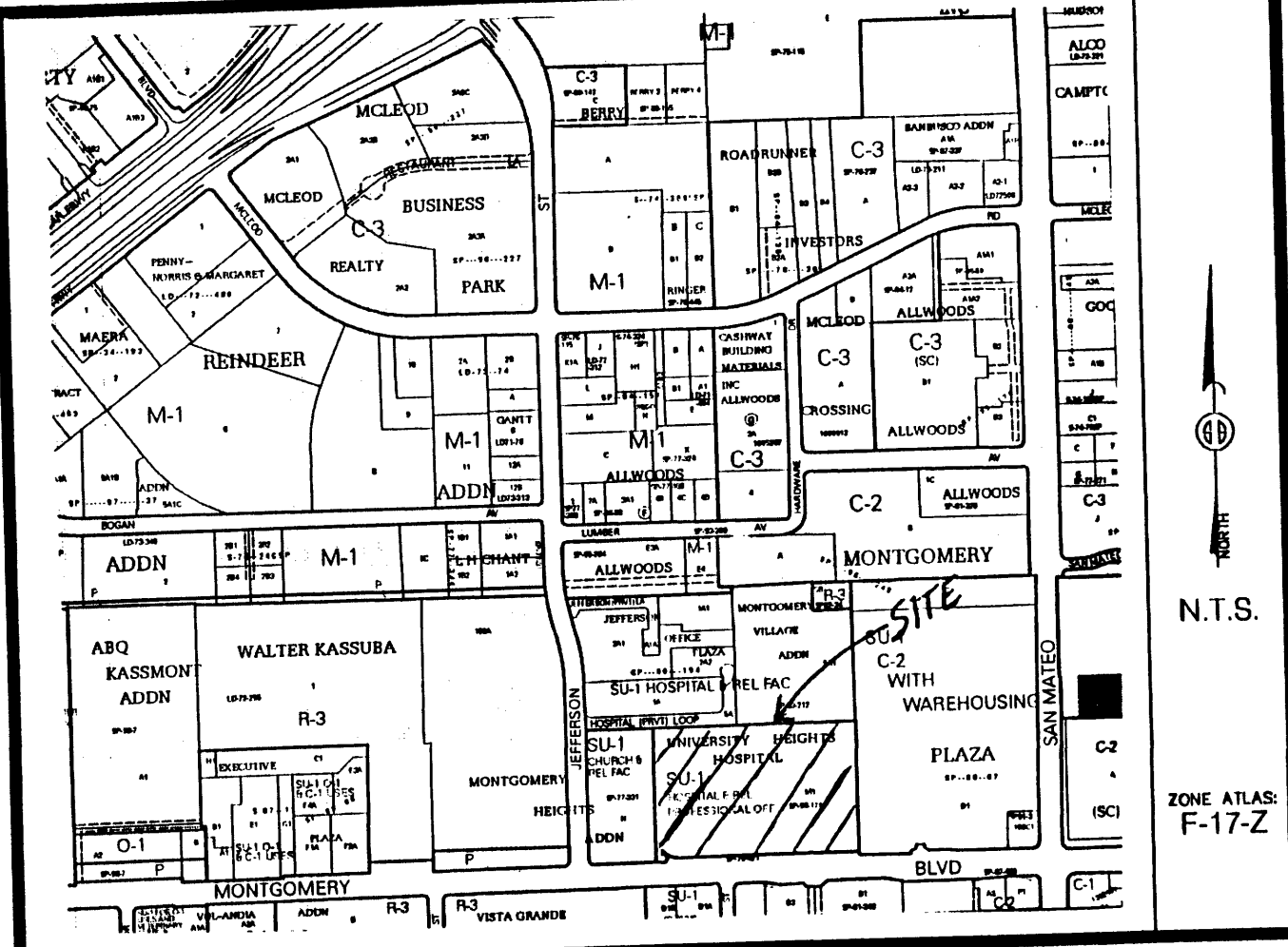
- KEYED NOTES (CONT.)**
- NEW 2' X WIDTH OF SIDEWALK DETECTABLE WARNING MAT COMPRISED OF 1/4" HIGH TRUNCATED DOMES. TYP. IN C.O.A. R.O.W.
  - NEW RAMP. SEE 3/C1.4.
  - NEW TRAFFIC SIGN: "KEEP RIGHT". SEE 24/C1.3.
  - NEW TRAFFIC SIGN - 2 SIDES: "STOP" AND "DO NOT ENTER". SEE 24/C1.3.
  - NEW TRAFFIC SIGN: "STOP". SEE 24/C1.3.
  - LANDSCAPE AREA.
  - 42" HIGH X 8" RAD. LIGHTED TRAFFIC BOLLARD.
  - 6' W X LENGTH SHOWN "DROP-OFF" ZONE. CONCRETE TO BE FLUSH WITH ASPHALT ROADWAY. SLOPE AT 1:12 MAX.
  - WHITE PAINTED TRAFFIC MARKINGS. TYP. SEE SITE DETAILS.
  - NEW 8" HIGH CMU MECHANICAL ENCLOSURE WALL.
  - 4" SOLID WHITE STRIPES.
  - NEW RAMP. SEE 1/C1.4.
  - NEW CONC. CURB AND GUTTER PER C.O.A. STANDARD DRAWING 2415A.
  - NEW PORTLAND CEMENT PAVING PER C.O.A. STANDARD DETAIL.
  - EXISTING WATER METER AND BOX TO REMAIN.
  - BEGINNING COORDINATES FOR NEW CURB RADIUS TO BE PROVIDED IN DRC SUBMITTAL.

**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates

128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph. 505-268-8828 Fax. 505-268-2632

Date: 10/16/06  
 Checked By: [Signature]  
 Job Number: 06001.00  
 Drawn By: [Signature]  
 Revisions: [Table]  
 REVISIONS: 10-29-07  
 NEW MEXICO  
 ALBUQUERQUE  
 Lovelace Women's Hospital  
 N.I.C.U. Addition.  
 SCOTT M. MCGEE  
 NEW MEXICO  
 10519  
 PROFESSIONAL SEAL  
 10/16/07  
 ADMINISTRATIVE AMENDMENT  
 SITE PLAN  
 Sheet Number: C1.0

Talos Log # 2007-5121-32



Vicinity Map

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA AND ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 83, AND ARE BASED ON ACS CONTROL MONUMENTS M\_5A AND 9\_F18, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. BEARINGS AND DISTANCES IN PARENTHESES ( ) ARE PER THE PLAT OF UNIVERSITY HEIGHTS HOSPITAL, FILED IN BERNALILLO COUNTY, NEW MEXICO ON JULY 18, 1996 IN VOLUME 96C, FOLIO 319.
6. GROSS AREA: 11.3317 ACRES
7. NUMBER OF EXISTING TRACTS: 1
8. NUMBER OF TRACTS CREATED: 2
9. PROPERTY IS ZONED SU-1.
10. NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.
11. TRACTS M-1-A AND M-1-B ARE SUBJECT TO PRIVATE CROSS-LOT ACCESS, PARKING AND DRAINAGE EASEMENTS AND IS TO BE MAINTAINED BY SAID TRACT OWNERS.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON  
 UPC#: \_\_\_\_\_  
 PROPERTY OWNER OF RECORD: \_\_\_\_\_  
 BERNALILLO COUNTY TREASURERS OFFICE: \_\_\_\_\_

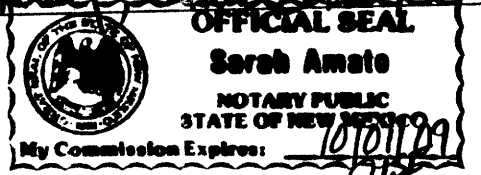
LEGAL DESCRIPTION

Tract lettered M-1 plat of UNIVERSITY HEIGHTS HOSPITAL, Albuquerque, Bernalillo County, New Mexico as the same is shown and designated on said plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on July 18, 1996 in Volume 96C folio 319.

FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

OWNER(S) SIGNATURE: Sheri Milone DATE: 1/21/08  
 OWNER(S) PRINT NAME: SHERI MILONE, CEO  
 ADDRESS: 4301 Montgomery Ave, ABQ 87109 TRACT: \_\_\_\_\_  
 ACKNOWLEDGMENT  
 STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO )  
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 21 DAY OF JANUARY, 2008.  
 BY: SHERI MILONE, CEO  
 MY COMMISSION EXPIRES: 10/01/09  
Sarah Amato  
 NOTARY PUBLIC



PLAT OF  
 TRACTS M-1-A & M-1-B  
 UNIVERSITY HEIGHTS HOSPITAL  
 SECTION 35, T. 10 N., R. 3 E., N.M.P.M.  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 JANUARY 2008  
 SHEET 1 OF 2

DISCLOSURE STATEMENT

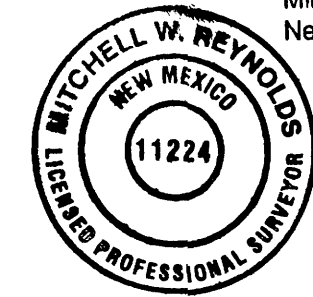
THE PURPOSE OF THIS PLAT IS TO DIVIDE ONE (1) EXISTING TRACT INTO TWO (2) NEW TRACTS.

CITY APPROVALS:	PROJECT NO.:	APPLICATION NO.:
<u>R. Cliff Walker</u>		<u>January 22, 2008</u>
CITY SURVEYOR		DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION		DATE
PARKS & RECREATION DEPARTMENT		DATE
A.B.C.W.U.A.		DATE
A.M.A.F.C.A.		DATE
CITY ENGINEER		DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT		DATE

SURVEYOR'S CERTIFICATION

I, Mitchell W. Reynolds, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

Mitchell W. Reynolds 01-21-08 Date  
 Mitchell W. Reynolds  
 New Mexico Professional Surveyor, 11224



**SURVEYS SOUTHWEST LTD.**  
 333 LOMAS BLVD., N.E.  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE: (505) 998-0303  
 FAX: (505) 998-0306  
 0712PB11  
**T10N R3E SEC. 35**

**PLAT OF  
TRACTS M-1-A & M-1-B  
UNIVERSITY HEIGHTS HOSPITAL  
SECTION 35, T. 10 N., R. 3 E., N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JANUARY 2008  
SHEET 2 OF 2**

STATION 9\_F18  
X = 1,539,870.687  
Y = 1,504,358.281  
GROUND TO GRID = 0.999666141  
MAPPING ANGLE = -00°11'36.74"  
NEW MEXICO STATE PLANE  
COORDINATE SYSTEM  
CENTRAL ZONE  
NAD 83

STATION M\_5A  
X = 1,537,111.784  
Y = 1,503,127.574  
GROUND TO GRID = 0.999669420  
MAPPING ANGLE = -00°11'55.76"  
NEW MEXICO STATE PLANE  
COORDINATE SYSTEM  
CENTRAL ZONE  
NAD 83

**TRACT M-I-A**  
10.0190 ACRES  
(436,426.52 sq. ft.)

**TRACT M-I-B**  
1.3127 ACRES  
(57,179.48 sq. ft.)

LINE	BEARING	LENGTH
L1	S00°08'51"E	16.43'
	(S00°08'21"E)	
L2	S89°51'09"W	30.00'
	(S89°51'39"W)	
L3	N89°51'09"E	5.00'
	(N89°51'39"E)	
L4	N34°35'12"W	2.89'
L5	N89°51'22"E	16.00'
L6	N00°08'38"W	20.00'
L7	N89°51'22"E	20.00'
L8	S00°08'38"E	20.00'
L9	S00°08'38"E	25.28'
L10	S00°04'12"E	27.24'
L11	N89°51'22"E	24.00'
L12	S00°08'38"E	20.00'
L13	S89°51'22"W	24.00'
L14	S00°14'57"E	28.42'
L15	S00°08'30"E	9.53'
L16	S60°48'45"E	17.02'
L17	S30°20'52"W	27.75'

CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	90.00'	80.20'	51°03'27"	N64°37'08"W	77.57'
				(N64°36'38"W)	
C2	18.00'	56.55'	180°00'00"	S00°08'51"E	36.00'
				(S00°08'21"E)	

40 25 10 0 15 30 45 60  
SCALE: 1" = 60'  
PROJECT NO. D712PB11  
DRAWN BY PGB  
ZONE ATLAS: F-17-Z  
4701MONT.CRS



**MONUMENT LEGEND**

- ⊕ - FOUND CONTROL STATION AS NOTED
- ⊠ - FOUND MONUMENT AS NOTED
- ⊙ - SET 1/2" REBAR W/RED PLASTIC CAP STAMPED "MWR 11224" UNLESS OTHERWISE NOTED

**SURVEYS SOUTHWEST LTD.**

333 LOMAS BLVD., N.E.  
ALBUQUERQUE, NEW MEXICO  
87102

PHONE: (505) 998-0303  
FAX: (505) 998-0306

**T10N R3E SEC. 35**

D712PB11

# Lovelace Sandia Health System WOMEN'S HOSPITAL of NEW MEXICO MEDICAL OFFICE BUILDING / NEONATAL INTENSIVE CARE UNIT

4701 Montgomery Boulevard NE  
Albuquerque, New Mexico 87109

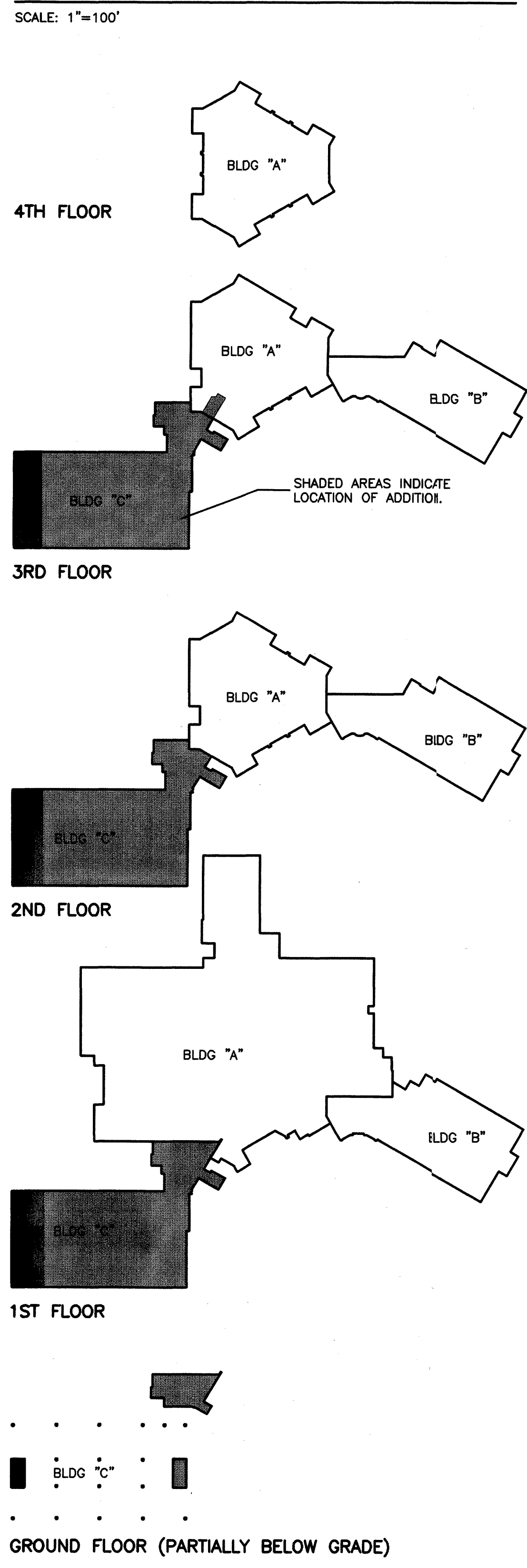
gth Project No. 0409.01

STATE OF NEW MEXICO  
REGISTERED ARCHITECT  
GREGORY T. HICKS  
ARCHITECTS & ASSOC., P.C.  
ARCHITECTS • PLANNERS  
110 Second St. S.W. Suite 204  
Albuquerque, New Mexico 87102  
(505) 243-7492 Fax (505) 243-1106  
designing today designing tomorrow  
e-mail: gthicks@gthicks.com

## ARCHITECTURAL SYMBOLS & ABBREVIATIONS

	Drawing No. Sheet No.	WALL OR BUILDING SECTION CUT MARK	H.M.G., HMG H.M.I., HMI HORIZ. HPDL HR. I.D., ID IN., "	HOLLOW METAL GALVANIZED HOLLOW METAL INSULATED HORIZONTAL HIGH PRESSURE DECORATIVE LAMINATE HOUR INSIDE DIAMETER INCH, INCHES INFORMATION	
	Drawing No. Sheet No.	ENLARGED PLAN OR DETAIL REFERENCE MARK	INSUL. I.B.C., IBC J.T., JNT. JST. JST. BRG., J.B.	INSULATION INTERNATIONAL BUILDING CODE JOINT JOIST JOIST BEARING	
	Drawing No. Sheet No.	ELEVATION REFERENCE MARK	L LPDL MANUF., MFR. MAT'L. MAX. MECH. M.H., MH MIN. MISC. W.O.	LONG, LENGTH LOW PRESSURE DECORATIVE LAMINATE MANUFACTURER MATERIAL MAXIMUM MECHANICAL MANHOLE MINIMUM MISCELLANEOUS MASONRY OPENING	
	123	DOOR MARK	MTL N.I.C. NO., # N.T.S., NTS O.A.E. O.C. OCC. O.D., OD ORD O.F.E. O.F.C.J. O.F.O.I. O.F.V.I. O.H., OH OPG., OPN'G. OPF. O.S.B., OSB P.C.C. PED. PERIM. PL, E PLAM. PLYWD. P.P., PP PR. P.S.I., PSI Q.T., QT R RCP R.D., RD REF. REQ'D. REV. RM. R.O. R.O.W. S.C.G., SCG SCWD S.E.C., SEC SHT. SIM. S.F., SQ. FT., SF SMACNA	KEYED NOTE ACCESSORIES MARK WINDOW MARK REVISION MARK EQUIPMENT MARK CASEWORK/INTERIOR ELEV. VIEW REFERENCE MARK CASEWORK ELEVATION REFERENCE NUMBER ELEVATION MARK - NEW ELEVATION MARK - EXISTING DIRECTION OF SLOPE	HOLLOW METAL GALVANIZED HOLLOW METAL INSULATED HORIZONTAL HIGH PRESSURE DECORATIVE LAMINATE HOUR INSIDE DIAMETER INCH, INCHES INFORMATION INSULATION INTERNATIONAL BUILDING CODE JOINT JOIST JOIST BEARING LONG, LENGTH LOW PRESSURE DECORATIVE LAMINATE MANUFACTURER MATERIAL MAXIMUM MECHANICAL MANHOLE MINIMUM MISCELLANEOUS MASONRY OPENING METAL NOT IN CONTRACT NUMBER, POUND NOT TO SCALE OR APPROVED EQUAL ON CENTER OCCUPANCY, OCCUPANT(S) OUTSIDE DIAMETER, OVERFLOW DRAIN OVERFLOW ROOF DRAIN OWNER FURNISHED EQUIPMENT OWNER FURNISHED, CONTRACTOR INSTALLED OWNER FURNISHED, OWNER INSTALLED OWNER FURNISHED, VENDOR INSTALLED OVERHEAD OPENING OPPOSITE ORIENTED STRAND BOARD PORTLAND CEMENT CONCRETE PEDESTAL PERIMETER PROPERTY LINE PLASTIC LAMINATE PLYWOOD POWER POLE PAIR POUNDS PER SQUARE INCH QUARRY TILE RADIUS, RISERS REFLECTED CEILING PLAN ROOF DRAIN REFERENCE REQUIRED REVISION, REVISED ROOM ROUGH OPENING RIGHT-OF-WAY ROUGH OPENING RIGHT-OF-WAY STAINLESS STEEL CORNER GUARD SOLID CORE WOOD STAINLESS STEEL END CAP SHEET SIMILAR SQUARE FEET SHEET METAL & A/C CONTRACTORS NATIONAL ASSOCIATION, INC. SQUARE STAINLESS STEEL STEEL SUSPENDED, SUSPENSION SHEET VINYL TREADS TONGUE & GROOVE TOP OF FINISH TOP OF GRADE TOP OF GRADE TOP OF CURB TOP OF TOP OF CONCRETE TOP OF PARAPET TOP OF WALL TOP OF PAVEMENT TOP OF SLAB TYPICAL UNIFORM BUILDING CODE UNDER COUNTER UNLESS NOTED OR INDICATED OTHERWISE VINYL COMPOSITION TILE VERTICAL VERIFY IN FIELD WIDE, WIDTH WITH, WITHOUT WOOD WATER METER WELDED WIRE FABRIC BY YARD
	123	DOOR MARK	AT ADA A.F.F., AFF ALT. ALUM. ANSI BD. BLDG., BLDGS. BM. B.O. BRG. BTM., BOT. B.U.R., BUR C.G., CG C.J., CJ C CLG. CLR. CMU C.O., CO COL. CONC. CONT. CPT C.F.C.I. C.S. C.T., CT CU. D DEMO. DF DIA., # DN DR. EA. E.C., EC E.I.F.S. E.J., E.J. EXP. JT. ELEC. ELEV. EQ. E.W.C., EWC EXIST., EX. F.D., FD F.E.C., FEC F.F., FN. FLR., FF F.G., FG F.H. F.L., FL FLR. F.O. F.O.F. F.O.M. F.O.S. FRTW F.S., FS FT., ' GA. GALV. G.B., GYP. BD. G.C., GC H. HGT., HT. H/C, H.C.P., H.C. HCWD HDWD. H.M., HM	CASEWORK ELEVATION REFERENCE NUMBER ELEVATION MARK - NEW ELEVATION MARK - EXISTING DIRECTION OF SLOPE AT AMERICANS WITH DISABILITIES ACT ABOVE FINISHED FLOOR ALTERNATE ALUMINUM AMERICAN NATIONAL STANDARDS INSTITUTE BOARD BUILDING, BUILDINGS BEAM BOTTOM OF BEARING BOTTOM BUILT-UP ROOF (ROOFING) CORNER GUARD CONTROL JOINT CENTER LINE CEILING CLEAR, CLEARANCE CONCRETE MASONRY UNIT CLEAN OUT COLUMN CONCRETE CONTINUOUS CARPET CONTRACTOR FURNISHED, CONTRACTOR INSTALLED COUNTER SINK CERAMIC TILE CUBIC DEEP DEMOLITION, DEMOLISH DRINKING FOUNTAIN DIAMETER DOWN DOOR EACH END CAP EXTERIOR INSULATION & FINISH SYSTEM EXPANSION JOINT ELECTRIC ELEVATION EQUAL ELECTRIC WATER COOLER EXISTING FLOOR DRAIN FIRE EXTINGUISHER & CABINET FINISH FLOOR FINISH GRADE FLAT HEAD FLOW LINE FLOOR FACE OF FACE OF FINISH FACE OF MASONRY FACE OF STUD FIRE RETARDANT TREATED WOOD FLOOR SINK FOOT, FEET GAGE, GAUGE GALVANIZED GYPSUM BOARD GENERAL CONTRACTOR HIGH, HEIGHT HANDICAP HOLLOW CORE WOOD HARDWOOD HOLLOW METAL	

## BUILDING DIAGRAM



## CODE DATA

CODE DATA

ADDRESS: 4701 MONTGOMERY BLVD. NE  
ALBUQUERQUE, NEW MEXICO 87109

ZONING: SU-1, HOSPITAL and Professional Office  
ZONE ATLAS MAP: F-17-2  
LEGAL DESCRIPTION: UNIVERSITY HEIGHTS HOSPITAL, LOT M-1  
EXISTING HOSPITAL - 4 STORIES  
ADDITION - 4 STORIES

HEIGHT: FRONT YARD: AS DETERMINED BY EPC  
SIDE YARDS: AS DETERMINED BY EPC  
REAR YARD: AS DETERMINED BY EPC  
2003 IBC  
CONSTRUCTION OF A NEW MEDICAL OFFICE AND  
NEONATAL INTENSIVE CARE UNIT ADDITION.  
AA-96-185, DRB-96-20, V-96-7, Z-81-53  
Z-78-137, Z-77-109, ZA-76-216

CODE USED: 2003 IBC  
SUMMARY OF WORK: CONSTRUCTION OF A NEW MEDICAL OFFICE AND  
NEONATAL INTENSIVE CARE UNIT ADDITION.  
PRIOR CASE NUMBERS: AA-96-185, DRB-96-20, V-96-7, Z-81-53  
Z-78-137, Z-77-109, ZA-76-216

BUILDING A (EXISTING):  
GROUP 1-2 HOSPITAL / CONSTRUCTION TYPE I-A SPRINKLED  
4TH FLOOR = 16,936 G.S.F.  
3RD FLOOR = 18,036 G.S.F.  
2ND FLOOR = 17,760 G.S.F.  
1ST FLOOR = 71,461 G.S.F.  
TOTAL = 124,193 G.S.F.

BUILDING B (EXISTING):  
GROUP B BUSINESS / CONSTRUCTION TYPE V 1-HR SPRINKLED  
3RD FLOOR = 15,334 G.S.F.  
2ND FLOOR = 15,331 G.S.F.  
1ST FLOOR = 15,608 G.S.F.  
TOTAL = 46,273 G.S.F.

BUILDING C (NEW):  
GROUP 1-2 HOSPITAL, GROUP B BUSINESS  
CONSTRUCTION TYPE 1-A SPRINKLED  
3RD FLOOR = 21,675 G.S.F. NEONATAL INTENSIVE CARE UNIT  
2ND FLOOR = 21,357 G.S.F. MEDICAL OFFICES  
1ST FLOOR = 21,357 G.S.F. MEDICAL OFFICES  
BELOW GRADE = 2,353 G.S.F. PARKING  
TOTAL = 66,742 G.S.F.

## INDEX TO DRAWINGS

DRAWING INDEX:

CS	COVER SHEET, CODE INFORMATION, SYMBOLS LEGEND
C3.1	ARCHITECTURAL SITE PLAN
C4.1	SITE DETAILS
L1.1	LANDSCAPE PLAN
C1.1	OVERALL GRADING AND DRAINAGE PLAN
C1.2	ENLARGED GRADING AND DRAINAGE PLAN
C1.3	OVERALL UTILITY PLAN
C1.4	ENLARGED UTILITY PLAN
A4.1	BUILDING ELEVATIONS
A4.2	BUILDING ELEVATIONS

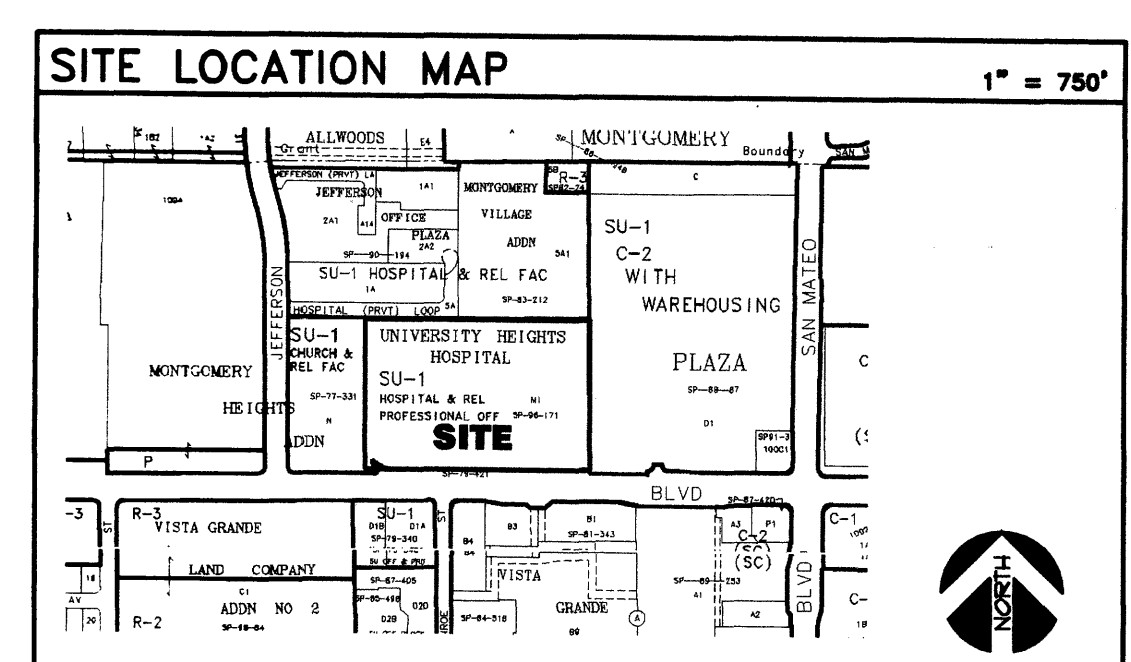
58BP  
UTILITY PLAN  
REVIEWED BY DRB

## PROJECT TEAM

ARCHITECT: GREGORY T. HICKS AND ASSOCIATES ARCHITECTS  
110 SECOND ST. SW - SUITE 204  
ALBUQUERQUE, NEW MEXICO 87102  
(505) 243-7492 FAX: (505) 243-1106  
CONTACT: DAVID KINES, PROJECT ARCHITECT

CIVIL: ISAACSON & ARBMAN, P.A.  
128 MONROE ST. NE  
ALBUQUERQUE, NEW MEXICO 87108  
(505) 268-8828 FAX: (505) 268-2632  
CONTACT: BYRAN BOBRICK

OWNER: LOVELACE SANDIA HEALTH SYSTEM  
ALBUQUERQUE REGIONAL MEDICAL CENTER  
601 DR. MARTIN LUTHER KING, JR. AVE. NE  
ALBUQUERQUE, NEW MEXICO 87102  
(505) 727-7806 FAX: (505) 727-9267  
CONTACT: TROY CLARK

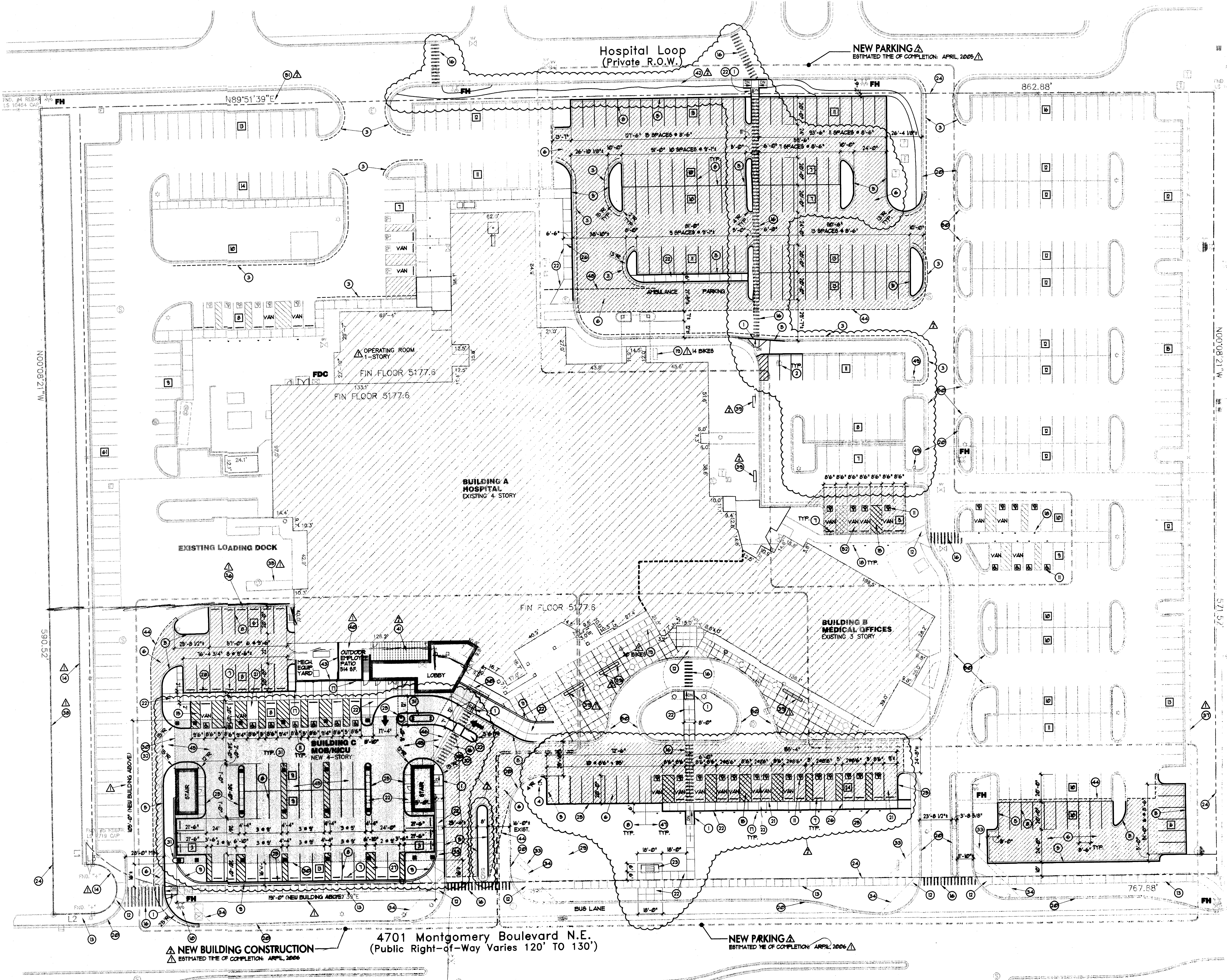


Set No. \_\_\_\_\_

WOMEN'S HOSPITAL OF NEW MEXICO  
Medical Office Bldg./Neonatal Intensive Care Unit  
Lovelace Sandia Health System  
4701 Montgomery Blvd. N.E. Albuquerque, New Mexico 87109

sheet title:  
COVER SHEET  
CODE INFORMATION  
SYMBOLS LEGEND

CS  
(EPC/DRB)



**CODE DATA**

ADDRESS: 4701 MONTGOMERY BLVD. NE ALBUQUERQUE, NEW MEXICO 87106

ZONING: F-11-2

LEGAL DESCRIPTION: UNIVERSITY HEIGHTS HOSPITAL, LOT M-1

HEIGHT: 4 STORIES

SETBACKS: FRONT YARD: AS DETERMINED BY EPC  
SIDE YARD: AS DETERMINED BY EPC  
REAR YARD: AS DETERMINED BY EPC

ADDITION - 4 STORIES

CODE USED: 2023 IBC

SUMMARY OF WORK: CONSTRUCTION OF A NEW MEDICAL OFFICE AND NEONATAL INTENSIVE CARE UNIT ADDITION

PRIOR CASE NUMBERS: AA-96-165, DRB-96-20, V-96-1, Z-81-53, Z-18-191, Z-11-109, ZA-16-216

**BUILDING A (EXISTING):**  
GROUP 1-2 HOSPITAL / CONSTRUCTION TYPE I-A SPRINKLED  
4TH FLOOR: 16,936 G.S.F.  
3RD FLOOR: 18,258 G.S.F.  
2ND FLOOR: 17,162 G.S.F.  
1ST FLOOR: 17,461 G.S.F.  
TOTAL: 69,817 G.S.F.

**BUILDING B (EXISTING):**  
GROUP B BUSINESS / CONSTRUCTION TYPE V I-HR SPRINKLED  
3RD FLOOR: 15,354 G.S.F.  
2ND FLOOR: 15,351 G.S.F.  
1ST FLOOR: 15,628 G.S.F.  
TOTAL: 46,333 G.S.F.

**BUILDING C (NEW):**  
GROUP 1-2 HOSPITAL, GROUP B BUSINESS  
CONSTRUCTION TYPE I-A SPRINKLED  
3RD FLOOR: 21,678 G.S.F. NEONATAL INTENSIVE CARE UNIT  
2ND FLOOR: 21,951 G.S.F. MEDICAL OFFICES  
1ST FLOOR: 21,951 G.S.F. MEDICAL OFFICES  
GROUND FLOOR: 21,951 G.S.F. PARKING  
TOTAL: 87,531 G.S.F.

**PARKING REQUIREMENTS** N.L.A. = NET LEASABLE AREA

**EXISTING HOSPITAL OCCUPANCY:**  
(PREVIOUSLY APPROVED EPC/DRB DECISIONS)  
PROVIDE 1 SPACE/2 PATIENT BEDS  
130 LICENSED BEDS/2 = 65 SPACES

**EXISTING MEDICAL OFFICES (BUSINESS OCCUPANCY):**  
(PREVIOUSLY APPROVED EPC/DRB DECISIONS)  
PROVIDE 1 SPACE/200 SF OF N.L.A. ON 1ST FLOOR:  
12,000 SF N.L.A./200 = 60 SPACES  
PROVIDE 1 SPACE/200 SF OF N.L.A. ON 2ND & 3RD FLOORS:  
24,000 SF N.L.A./200 = 120 SPACES

**NEW NEONATAL INTENSIVE CARE UNIT (HOSPITAL OCCUPANCY):**  
PROVIDE 1 SPACE/2 PATIENT BEDS  
30 LICENSED BEDS/2 = 15 SPACES

**NEW MEDICAL OFFICES (BUSINESS OCCUPANCY):**  
PROVIDE 1 SPACE FOR EACH DOCTOR:  
RENTABLE AREA - FIRST FLOOR: 16,512 SF  
RENTABLE AREA - SECOND FLOOR: 16,416 SF  
RENTABLE AREA - THIRD FLOOR: 2,482 SF  
TOTAL RENTABLE AREA: 35,410 SF

35,410 SF RENTABLE SPACE / 1500 SF PER DOCTOR = 24 DOCTORS  
24 DOCTORS X 3 = 72 SPACES

**SUB-TOTAL SPACES REQUIRED:** 340 SPACES  
10% ALLOWABLE REDUCTION FOR ADJACENCY TO TRANSIT ROUTE:  
10% OF 340 SPACES = 34 SPACES

**TOTAL SPACES REQUIRED:** 340 - 34 = 306 SPACES

**TOTAL SPACES PROVIDED:** 551 SPACES

**ACCESSIBLE PARKING REQUIRED BY CITY OF ALBUQUERQUE:**  
REQUIRED: FOR 501 TO 800 SPACES = 16  
PROVIDED: 22 STANDARD + 19 VAN + 42

**BICYCLE PARKING:**  
PROVIDE 1 BICYCLE SPACE PER 20 PARKING SPACES.  
REQUIRED: 591 / 20 = 30 SPACES PROVIDED: 34 SPACES

**SYMBOLS LEGEND**

⊠	= TRAFFIC SIGNAL BOX	⊠	= TELEPHONE RISER
○	= TRAFFIC SIGNAL	⊠	= TELEPHONE SERVICE BOX
●	= LIGHT POLE	⊠	= FIBER OPTIC BOX
⊙	= HIGH VOLTAGE PP	⊠	= ELECTRIC BOX
⊙	= POWER POLE	⊠	= ELECTRIC SERVICE BOX
—	= OVERHEAD UTILITY LINE	⊠	= UTILITY METER
—	= UNDERGROUND GAS LINE	⊠	= CABLE TV RISER
—	= UNDERGROUND SEWER LINE	⊠	= PAY PHONE
—	= UNDERGROUND WATER LINE	⊠	= FIRE HYDRANT
⊠	= ANCHOR	⊠	= MONITOR WELL
⊠	= SEWER MANHOLE	⊠	= GAS VALVE
⊠	= TELEPHONE MANHOLE	⊠	= GAS METER
⊠	= ELECTRIC MANHOLE	⊠	= DROP INLET
⊠	= DRAINAGE MANHOLE	⊠	= BLOCK WALL
⊠	= WATER MANHOLE	⊠	= FENCE
⊠	= MANHOLE (TYPE UNKNOWN)	⊠	= TRAFFIC FLOW
⊠	= WATER METER	⊠	= CENTERLINE
⊠	= WATER VALVE	⊠	= PROPERTY LINE

**MONUMENT LEGEND**

⊠ = FOUND CONTROL STATION AS NOTED  
⊠ = TEMPORARY BENCH MARK  
⊠ = FOUND MONUMENT AS NOTED  
⊠ = CORNER (NOT SET)  
⊠ = SET 1/2" REBAR W/ YELLOW PLASTIC CAP STAMPED "GRITSKO 158686" UNLESS OTHERWISE NOTED

**OUTDOOR PUBLIC SPACE CALCULATIONS**

REQUIREMENTS FOR MAJOR FACADES GREATER THAN 100 FEET:  
REQUIRED: SOUTH FACADE 30' WIDE SEATING  
PROVIDED: EIGHT 8' LONG BENCHES + 3 SEATS/BENCH = 24 SEATS

PEDESTRIAN OPEN SPACE REQUIREMENTS:  
REQUIRED: 23,208 G.S.F. / 30,000 SF X 400 SF = 310 SPACES  
PROVIDED: 1 PARKING LARGE PLAZA + APPROX. 25,000 SF

PROVISIONS FOR EMPLOYEES:  
REQUIRED: ONE OUTDOOR GATHERING SPACE 300 SF MIN.  
PROVIDED: ONE OUTDOOR GATHERING SPACE APPROX. 514 SF

**REVISIONS:**

12-1-4  
2-22-5

proj. no.: 0409.01  
ocad file: 0409.C31  
date: 2-22-5

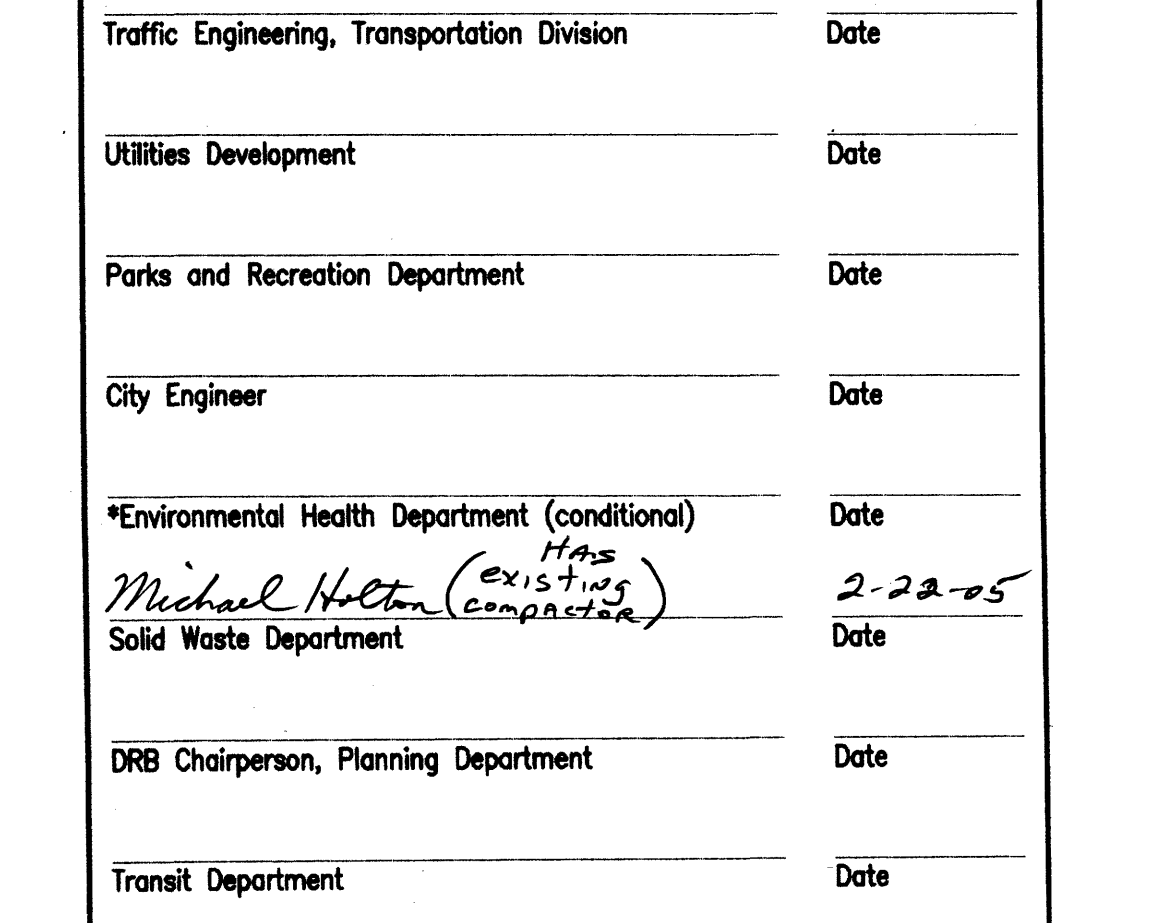
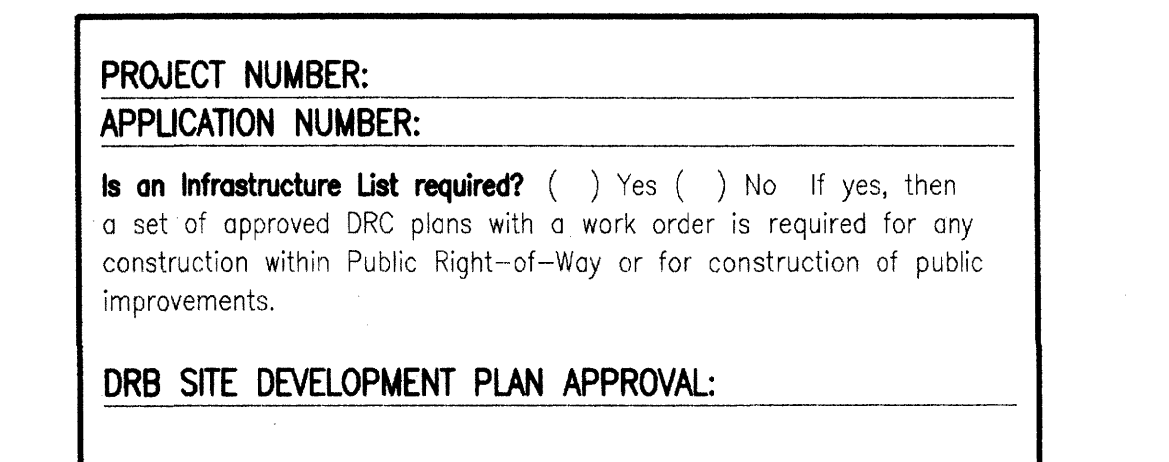
**PROJECT NUMBER:**

**APPLICATION NUMBER:**

Is an Infrastructure List required? ( ) Yes ( ) No. If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Department	Date
DRB Chairperson, Planning Department	Date
Transit Department	Date



- AREA LIGHTING REGULATIONS**
- THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ANY OTHER RESIDENTIAL PREMISES. IT SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 1000 FOOT-CANDLES. IT SHALL NOT HAVE ANY OFF-SITE LUMINANCE GREATER THAN 2000 FOOT-CANDLES MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE. WHERE ON-SITE LIGHTING IS PROVIDED, THE LOCATION OF ALL LIGHT POLES SHALL BE INDICATED ON THE SITE (FOR SITES SMALLER THAN FIVE ACRES, THE MAXIMUM HEIGHT OF A LIGHT POLE, MEASURED FROM THE FINISHED GRADE TO THE TOP OF THE POLE, SHALL BE 20 FEET) (14-16-3-3)
- GENERAL NOTES:**
- A. ALL WORK IN PUBLIC RIGHT OF WALL SHALL COMPLY WITH CITY OF ALBUQUERQUE STANDARDS.
- B. ALL DIMENSIONS ON THIS SITE PLAN ARE TO FACE OF CURB UNO.

- KEYED NOTES**
- NEW RAMP SLOPING 1:12 MAX. 148 MAX. CROSS SLOPE.
  - EXISTING MANHOLE OR ACCESS COVER TO BE LOWERED/RAISED FLUSH WITH NEW GRADES. TYPICAL ALL UTILITIES.
  - THIS DASHED LINE SHOWS NEW FIRE LANE. PAINT FACE/TOP OF CURBS RED. PAINT AT HIGH STENCILLED WHITE LETTERS "FIRE LANE" AND "FIRE LANE" ALTERNATING AT 10' O.C.
  - RELOCATED 25' H. POLE LIGHT W/ CUT-OFF FIXTURE. (NOTE: IF IN THE COURSE OF THE PROJECT IT BECOMES NECESSARY TO REPLACE OLD LIGHT POLES, OR ADD NEW ONES, SUCH POLES SHALL COMPLY WITH SITE LIGHTING REGULATIONS ON THIS SHEET)
  - NEW CONCRETE CURBS AND GUTTER
  - SHADED AREA INDICATES NEW ASPHALT PAVING.
  - NEW CONCRETE UNBEL STOP CENTER 24" AWAY FROM CURBS/SIDEWALK TYPICAL
  - WHITE PAINTED PAVEMENT MARKINGS. TYP. AT NON-H.C.
  - NEW 3'-0" HIGH CHU SITE WALL WITH MASONRY VENEER
  - NEW FIRE HYDRANT
  - EXISTING DETENTION POND WALL OF RAILROAD TIES TO REMAIN.
  - EXISTING CURBS TRAFFIC TO REMAIN.
  - EXISTING CONCRETE SIDEWALK TO REMAIN.
  - EXIST. DETENTION POND WALL OF RAILROAD TIES TO REMAIN.
  - 4" BLUE PAINTED PAV. MARKINGS AT 30' O.C. TYP. AT H.C. AISLES.
  - 12" WIDE WHITE PAINTED PAVEMENT MARKINGS AT 30' O.C.
  - HANDICAP PARKING SIGN. TYPICAL.

- KEYED NOTES**
- EXISTING HANDICAP PARKING SIGN TO REMAIN.
  - EXISTING CHAIN LINK FENCE TO REMAIN. (NEAR EAST PROPERTY LINE)
  - EXISTING CONCRETE DETENTION POND WALL WITH 4" HIGH STEEL PIPE HANDRAIL ON TOP TO REMAIN. (NEAR WEST PROPERTY LINE)
  - 8' LONG SITTING BENCHES. 8 TOTAL. SEE PUBLIC SPACE CALCS.
  - NEW 800 SF. OUTDOOR EMPLOYEE RATIO WITH TABLE AND CHAIRS.
  - PERCOLA
  - REFRESHING EXISTING PEDESTRIAN PATH. SEE LANDSCAPE PLAN.
  - CHU RETAINING WALL. MIN. HT. 4' ABOVE HIGHEST ADJACENT GRADE.
  - LINE OF TRANSITION BETWEEN EXISTING AND NEW PAVING. COORDINATE WITH CIVIL.
  - NEW REINFORCED CONCRETE PAVING. (BENEATH BUILDING "C")
  - APPROXIMATE LOCATION OF NEW TRENCH DRAIN. SEE CIVIL.
  - 4" BLUE PAINTED PAVEMENT MARKINGS. TYP. AT H.C. SPACES.
  - UNDERGROUND PIPE SLEEVE FOR FUTURE INSTALLATION OF POWER FROM BUILDING TO MOBILE CT. UNIT.
  - EXISTING ELECTRIC POWERED TRAFFIC BARRIER TO REMAIN. INSTALL NEW ARI.
  - THIS DASHED LINE INDICATES EXIST. FIRE LANE (RED CURB) TO REMAIN. REPAIRING OF PEDESTRIAN PATH AT THIS LOCATION TO BE DEFERRED UNTIL FUTURE ALTERATION OF THIS PARKING AREA.
  - NEW ASPHALT OVERLAY SLOPING 1:40 MAX. TO TOP OF CURB.

- EYED NOTES**
- EXISTING 6" HIGH STUCCOED CHU SCREEN WALL. (SOUTH OF DUMPSTER)
  - EXISTING CHAIN LINK FENCE TO REMAIN. (NEAR EAST PROPERTY LINE)
  - EXISTING CONCRETE DETENTION POND WALL WITH 4" HIGH STEEL PIPE HANDRAIL ON TOP TO REMAIN. (NEAR WEST PROPERTY LINE)
  - 8' LONG SITTING BENCHES. 8 TOTAL. SEE PUBLIC SPACE CALCS.
  - NEW 800 SF. OUTDOOR EMPLOYEE RATIO WITH TABLE AND CHAIRS.
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  - NEW ASPHALT OVERLAY SLOPING 1:40 MAX. TO TOP OF CURB.

**GREGORY T. HICKS & ASSOC., P.C.**  
ARCHITECTS • PLANNERS

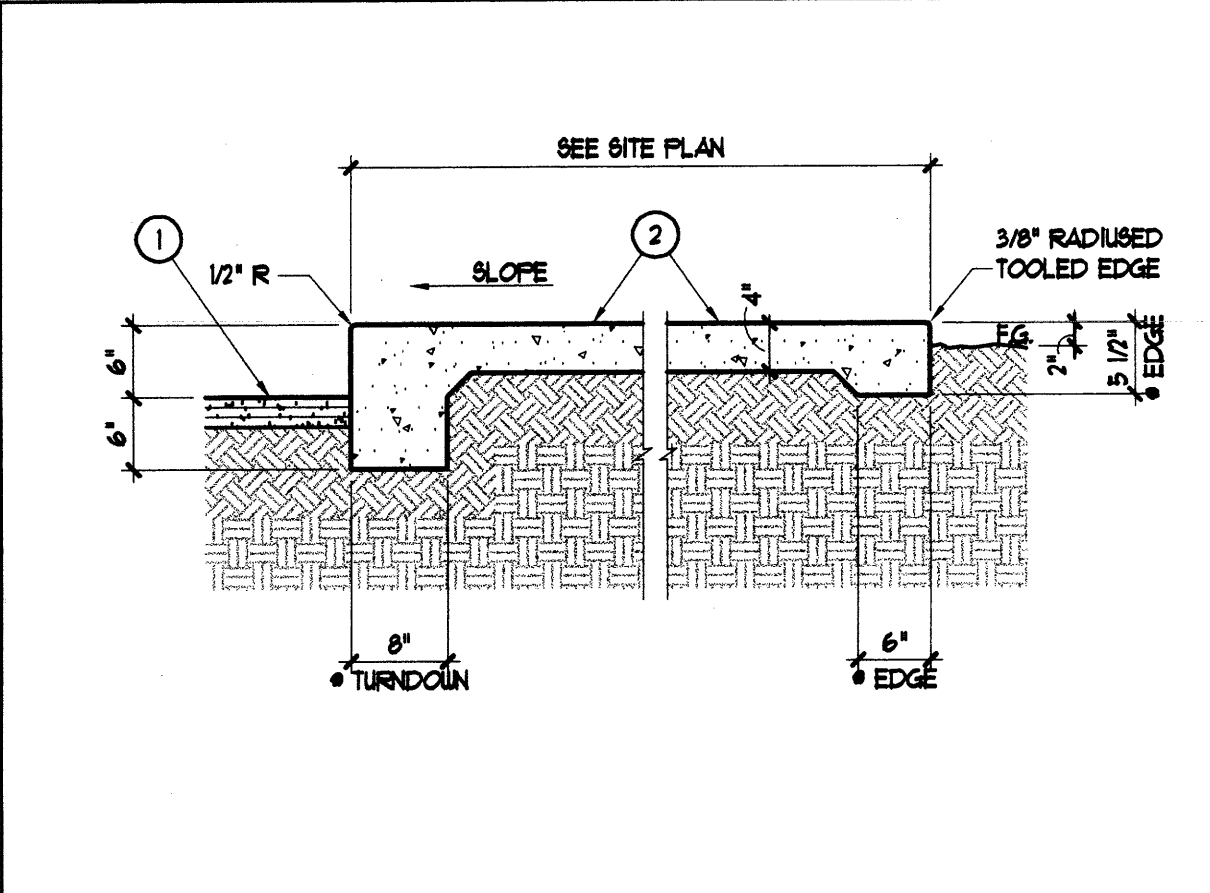
110 Second St. S.W. Suite 204  
Albuquerque, New Mexico 87102  
(505) 243-7492 Fax (505) 243-1106  
e-mail: gthicks@gtahicks.com

**WOMEN'S HOSPITAL OF NEW MEXICO**  
Medical Office Bldg./Neonatal Intensive Care Unit  
Lovelace Sandia Health System  
4701 Montgomery Blvd. N.E. Albuquerque, New Mexico 87109

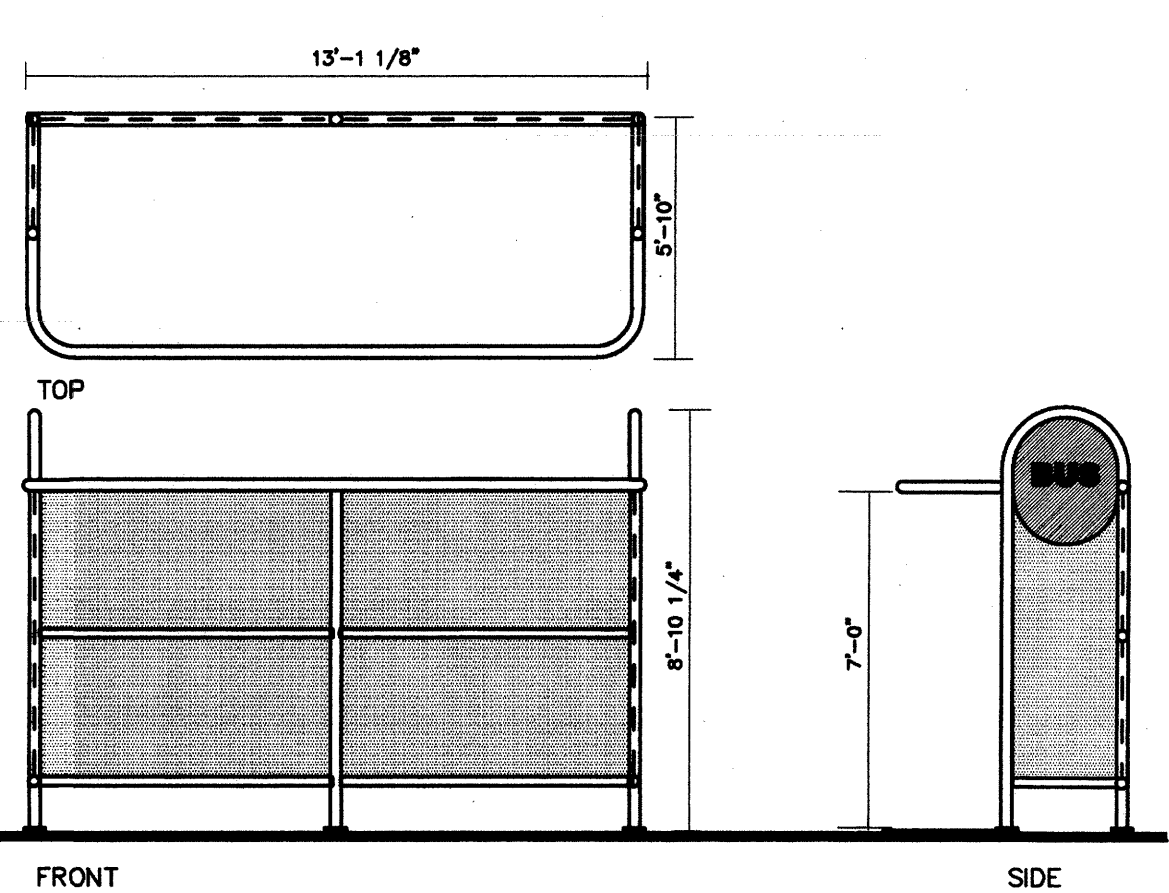
**C3.1**  
(EPC/DRB)

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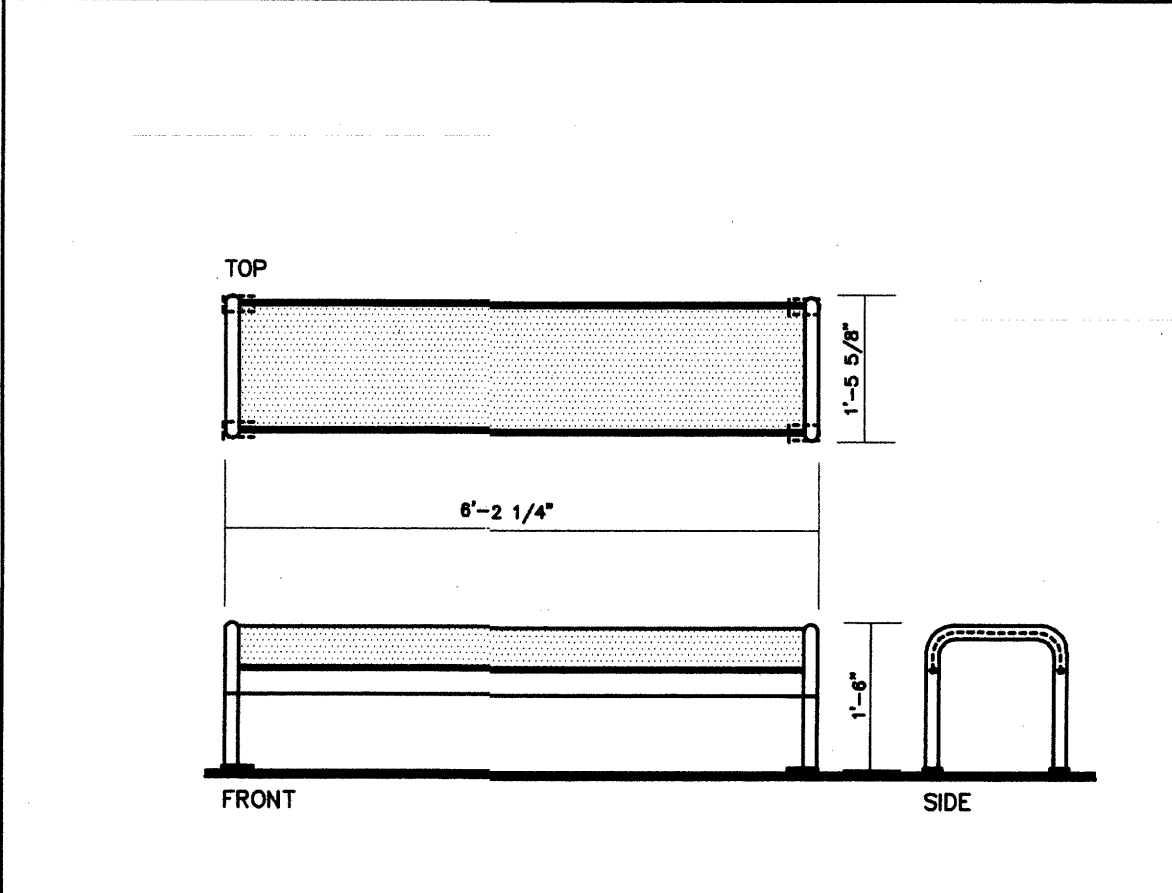
- ### KEYED NOTES
- TYPICAL ASPHALT PAVING SECTION SEE SITE PLAN FOR THICKNESS AND EXTENT.
  - PORTLAND CEMENT CONCRETE PAVING WITH CONTROL AND EXPANSION JOINTS PER SITE PLANS AND SITE DETAILS.
  - SIGN BOLTED TO POST WITH TAMPER-RESISTANT FASTENERS.
  - 1/2" EXPANSION JOINT MATERIAL FULL DEPTH OF CONCRETE. PROVIDE SEALANT: "SIKAFLEX - 2C N6" BY SIKKA CORP. OR EQUAL AT JOINT TO DEPTH AS RECOMMENDED BY SEALANT MANUFACTURER.
  - PROVIDE TOOLED JOINTS 4" O.C. AT RAMP.
  - BROOM FINISH AT SPLAYED PORTION OF RAMP.
  - ENCASE POST IN CONCRETE ALL AROUND.
  - 12 GA. X 18" L. OUTER SLEEVE BOLTED TO 2" SQ. X 12 GA. GALV. ANCHOR BASE.
  - CORNER BOLT.
  - 6" DIA. STEEL PIPE WITH STEEL TOP CAP. FILL WITH CONCRETE BEFORE PLACEMENT. PAINT.
  - 2" SQ. X 12 GA. GALV. STEEL SIGN POST SET 8" INTO SLEEVE. UNISTRUT "TELESPAR" SYSTEM OR APPROVED EQUAL.
  - "ACCESSIBLE PARKING ONLY" AND "VAN ACCESSIBLE" SIGNS ON NEW POST WITH TAMPER-RESISTANT BOLTS.
  - EXISTING PRECAST CONCRETE PARKING BUMPER.
  - 4" X 24" LONG REBAR STAKES.
  - COMPACTED SUBGRADE.
  - PORTLAND CEMENT CONCRETE CURB AND GUTTER. SEE DETAIL.
  - 1" STUCCO SYSTEM ON METAL LATH ON 5/8" BUILDING PAPER ON CMU.
  - 8" X 8" X 16" SMOOTH FACE CMU RUNNING BOND.
  - SLOPE STUCCO AT TOP OF WALL.
  - GROUT ALL CELLS SOLID BELOW FINISHED GRADE.
  - STEEL SLEEVE SET IN CONCRETE FOUNDATION.
  - 2-3/8" O.D. SCHEDULE 40 STEEL PIPE BENT AS SHOWN AND SET INTO SLEEVES WITH EPOXY GROUT. DESIGN PER 5-LOOP, 1 CAPACITY, IN-GROUND MOUNT MODEL NO.H36-1-IG-P (SILVER GREY COLOR) BY MADRAX, INC. (800-448-7831).
  - PIPE ESCUTCHEON PAINT.
  - PAINT CHU THIS FACE.
  - 6" TK PORTLAND CEMENT CONC. SLAB W/ 3 REBAR AT 12" O.C. EA. WAY.
  - RAISED CONCRETE CURBS PER SITE DETAILS.



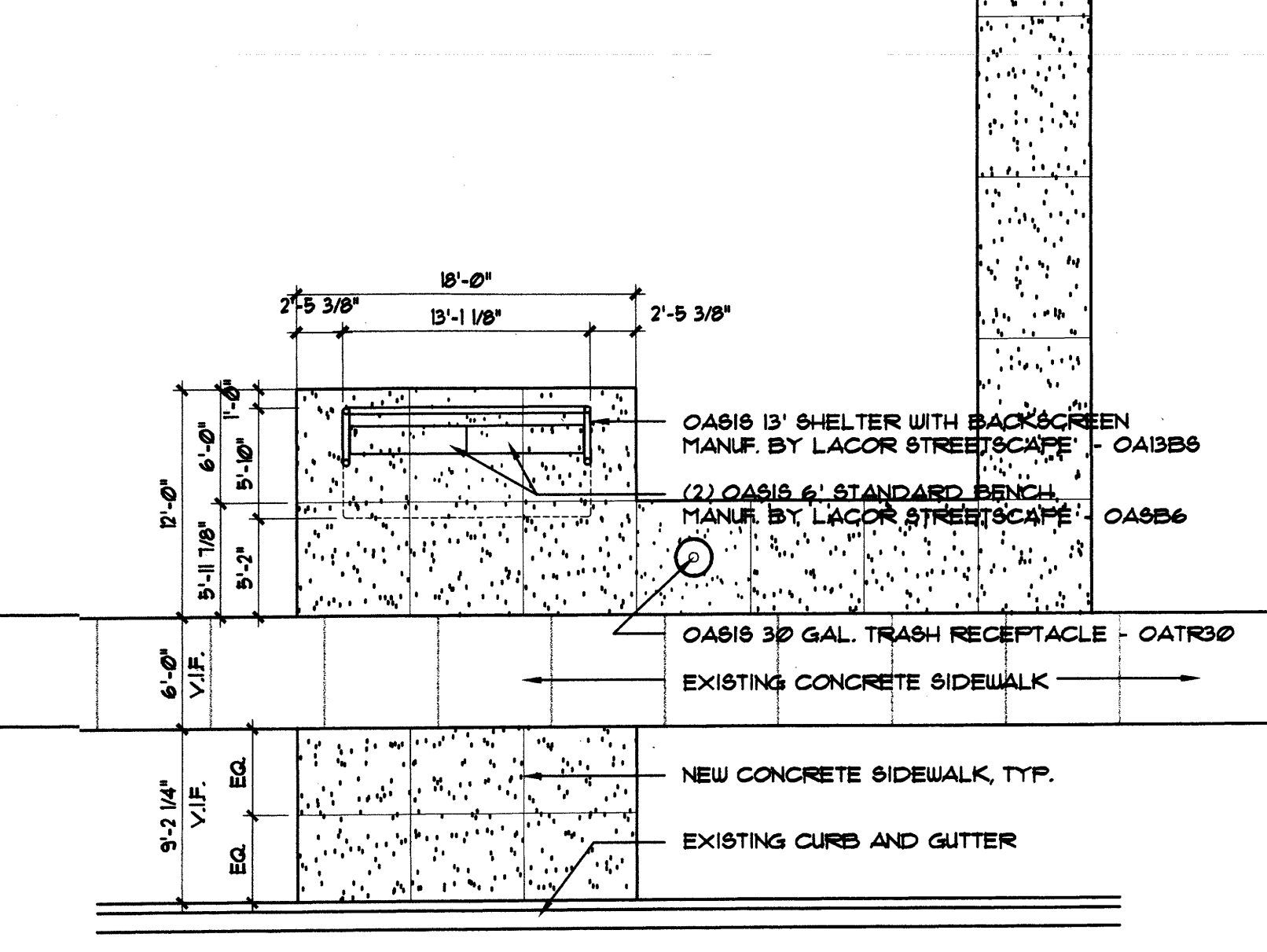
**27** TYPICAL SECTION CONCRETE PAVING W/ TURNDOWN EDGE  
SCALE: 3/4" = 1'-0"



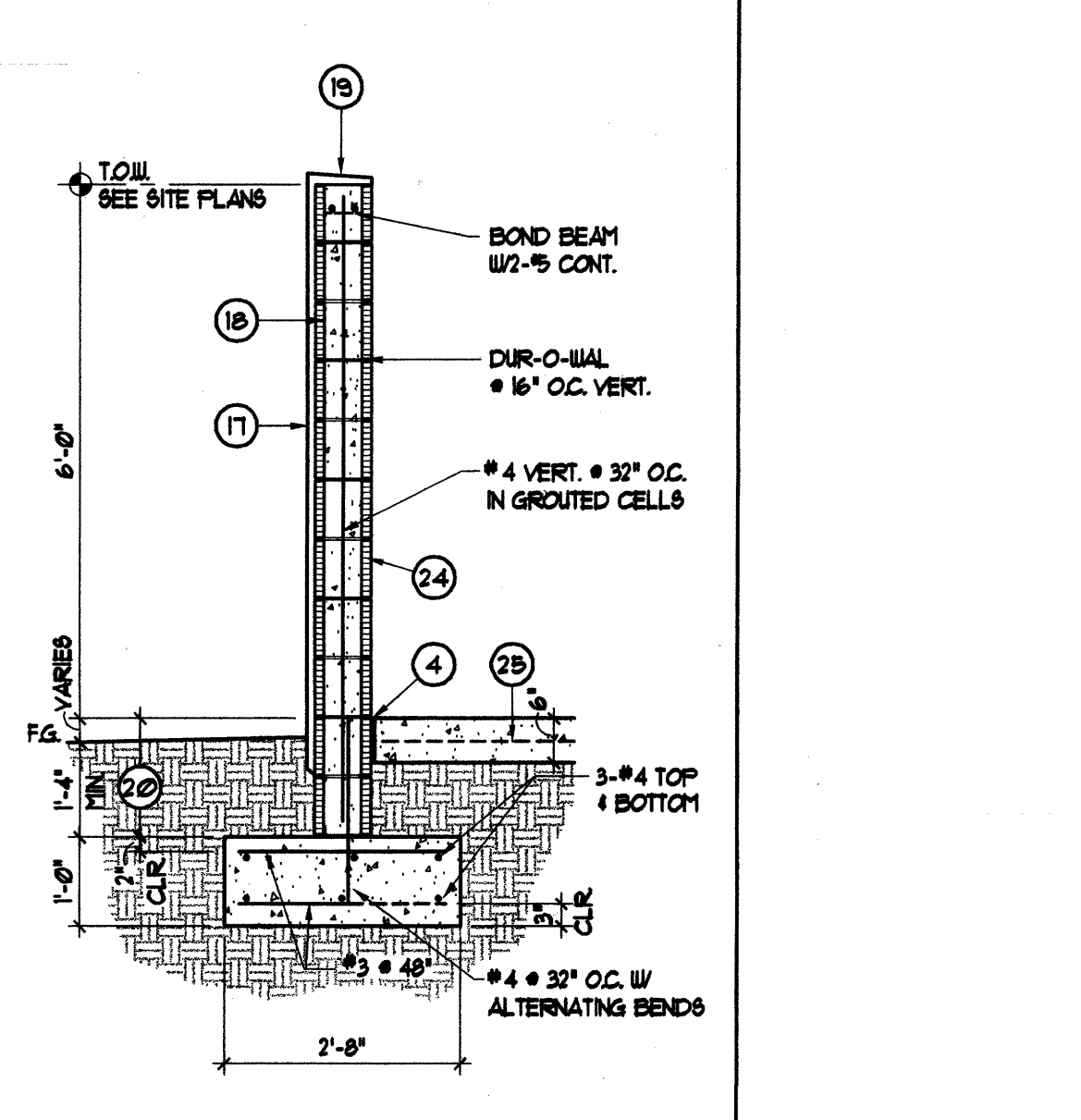
**26** DETAIL BUS SHELTER  
SCALE: 1/4" = 1'-0"



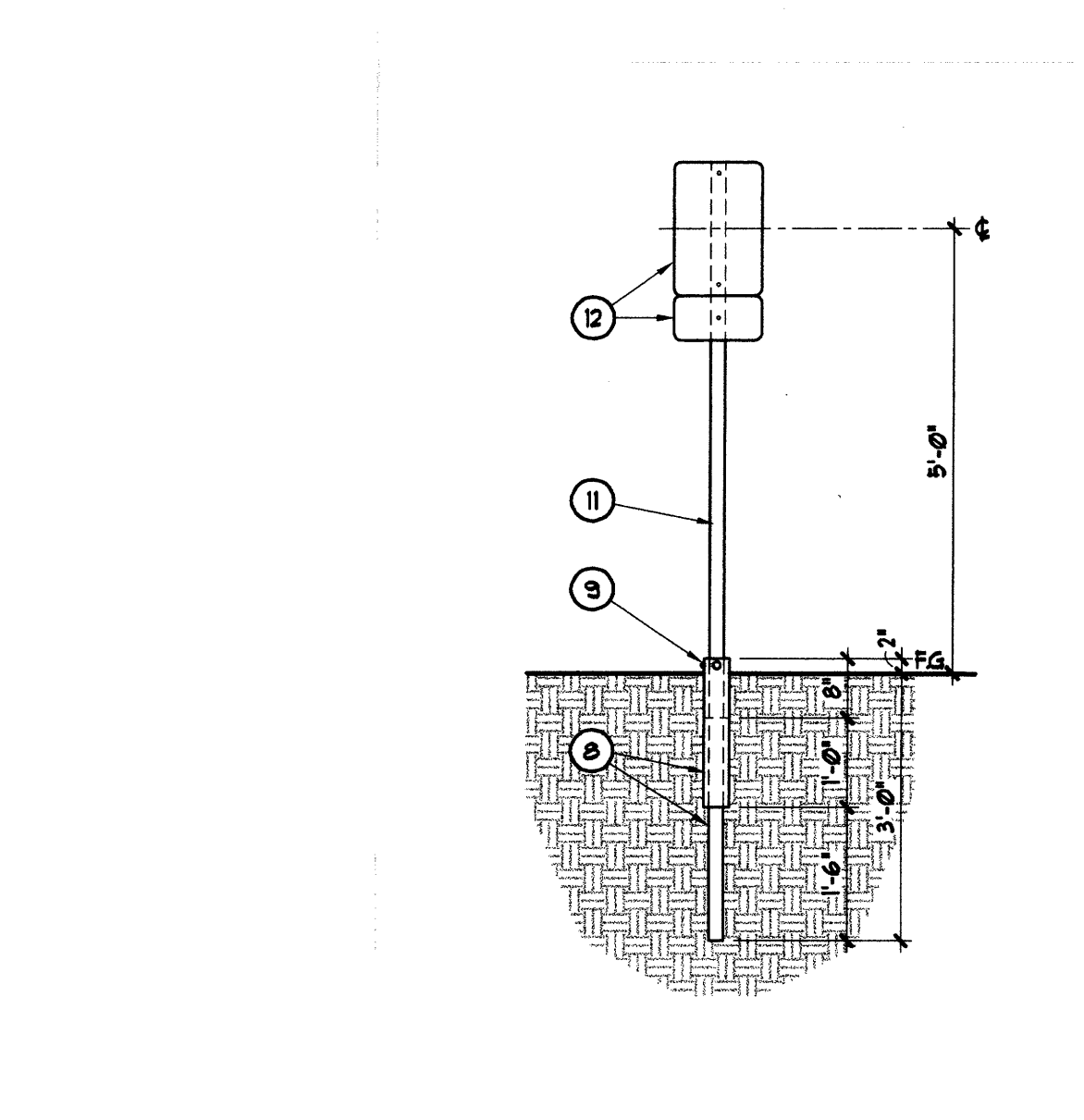
**24** DETAIL TRASH RECEPTACLE  
SCALE: 1/2" = 1'-0"



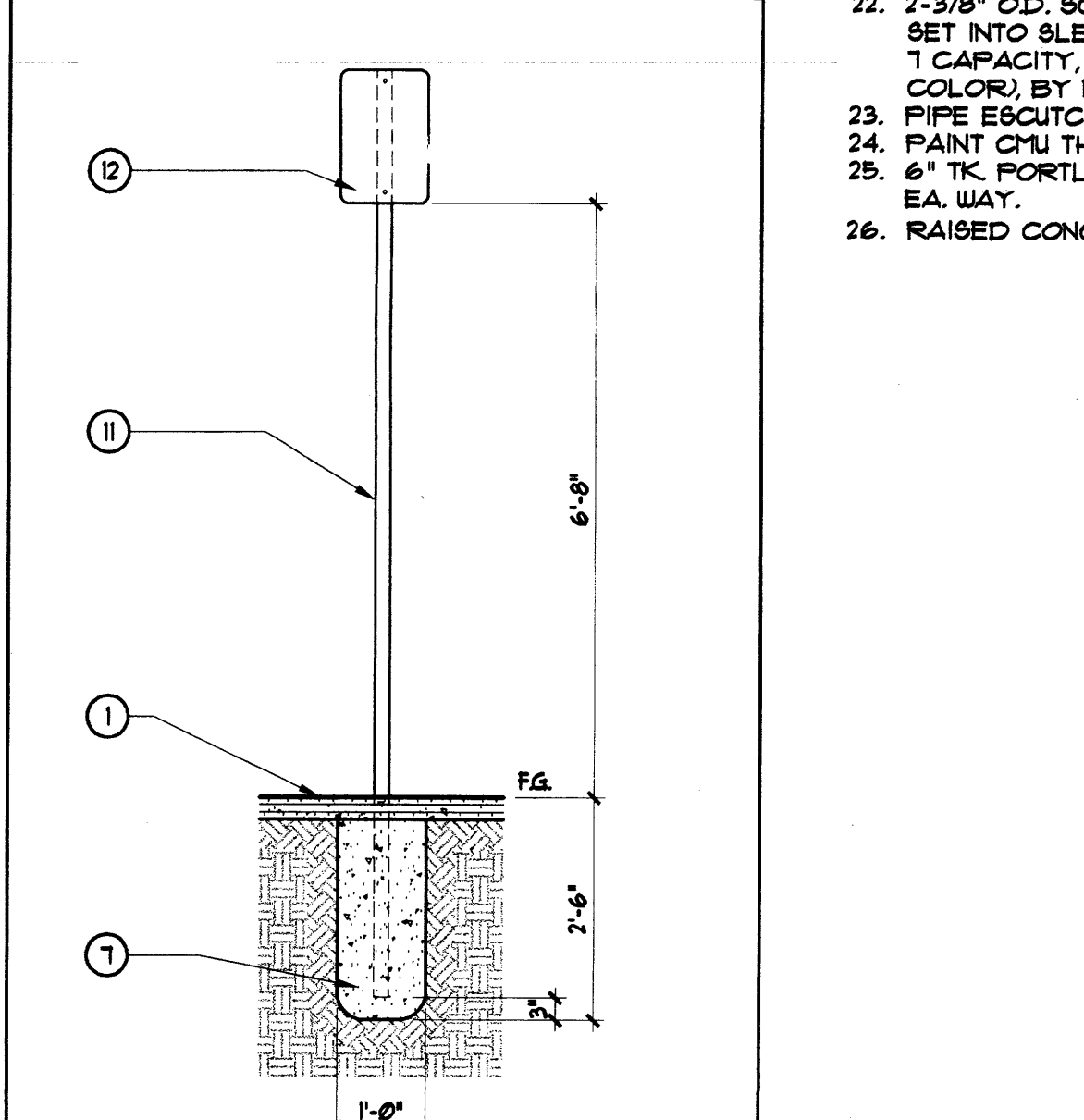
**22** ENLARGED SITE PLAN BUS SHELTER  
SCALE: 1/8" = 1'-0"



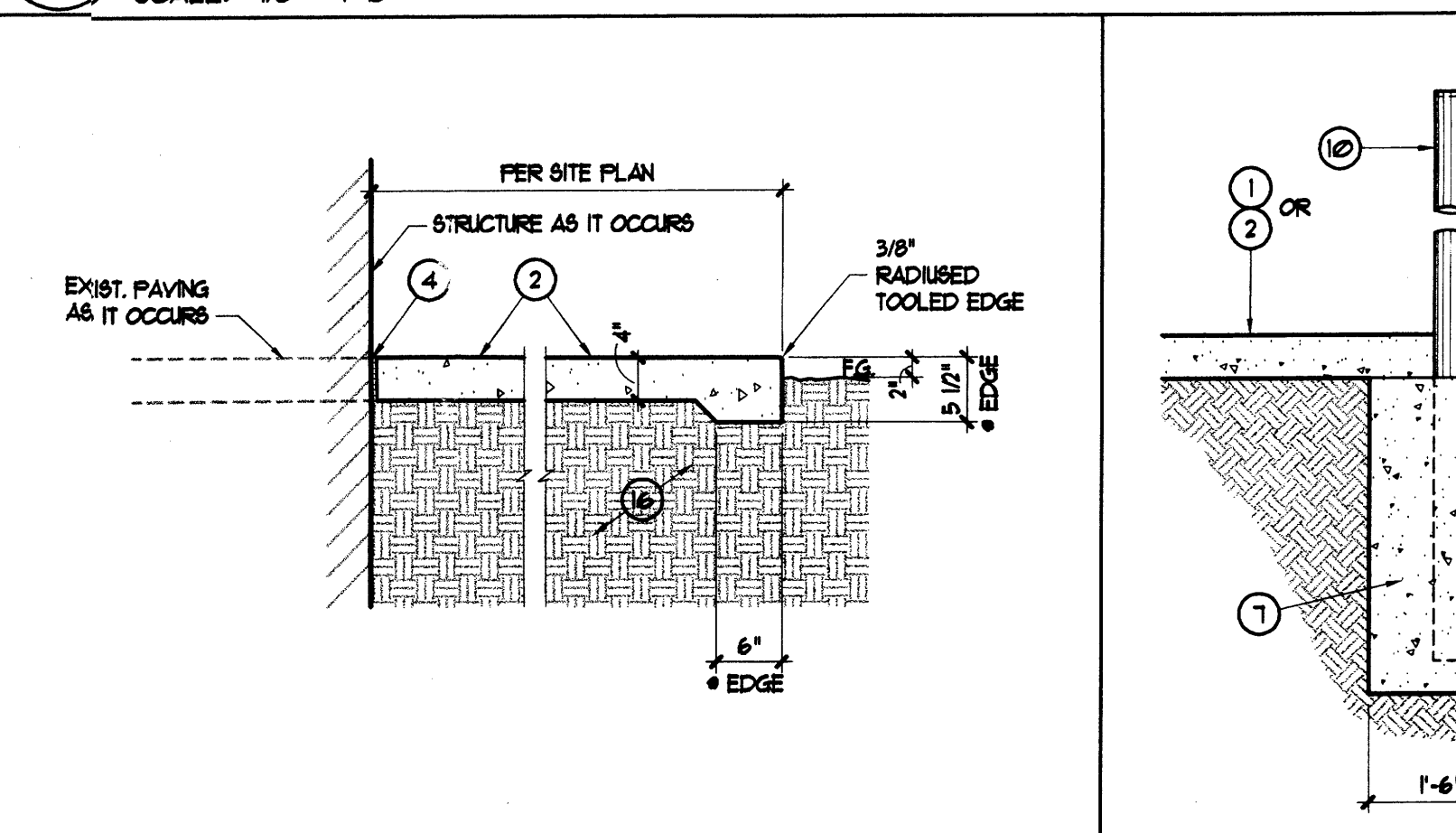
**21** SECTION SITE WALL  
SCALE: 1/2" = 1'-0"



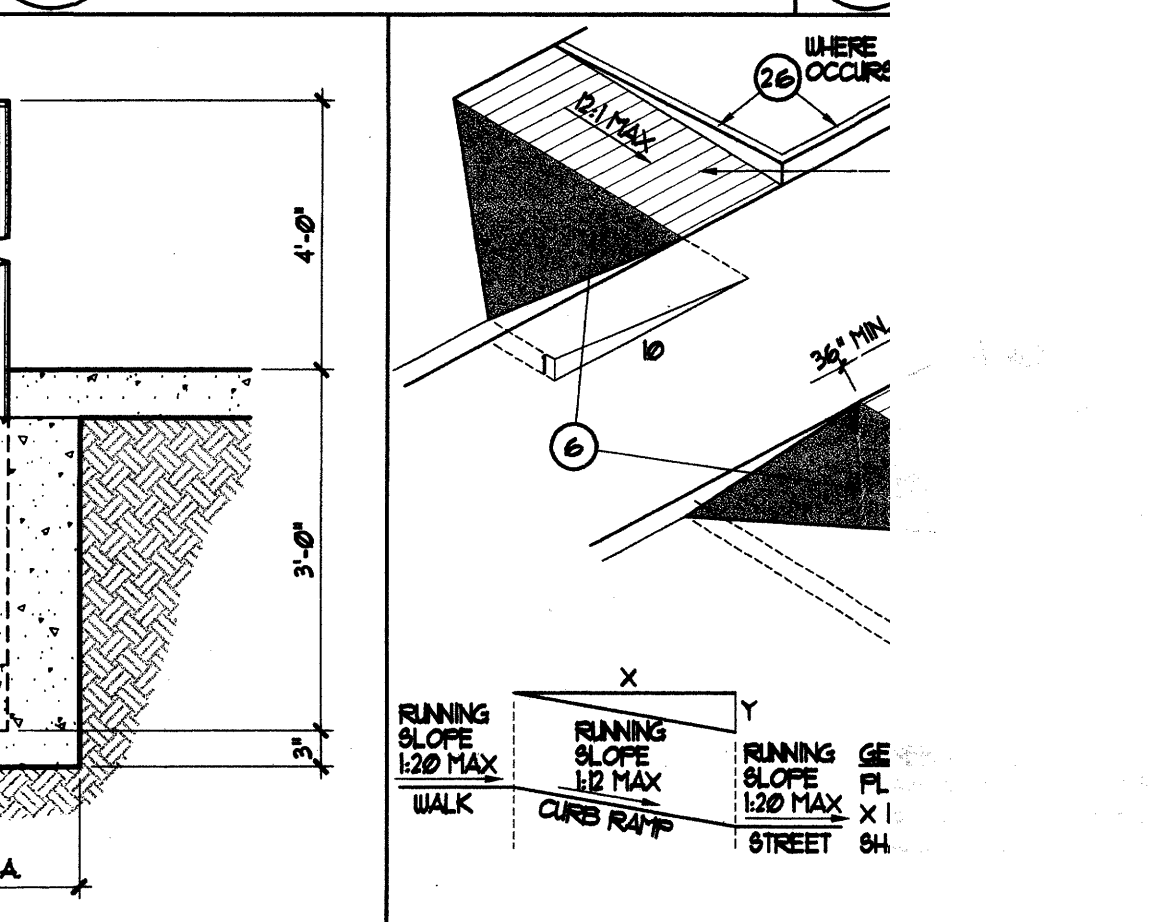
**18** DETAIL H/C SIGN MOUNTING  
SCALE: 1/2" = 1'-0"



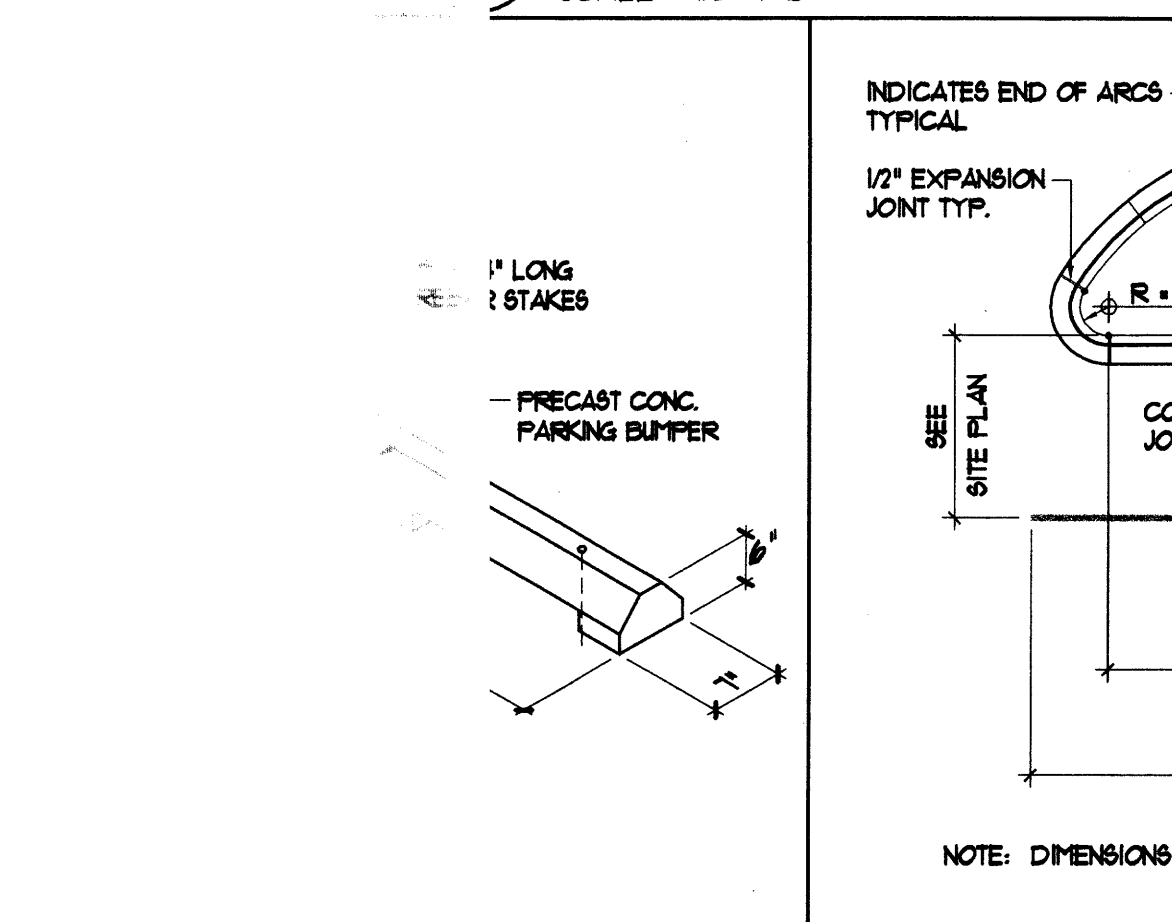
**12** ENLARGED PLAN TYPICAL PARKING ISLAND  
SCALE: 1" = 10'-0"



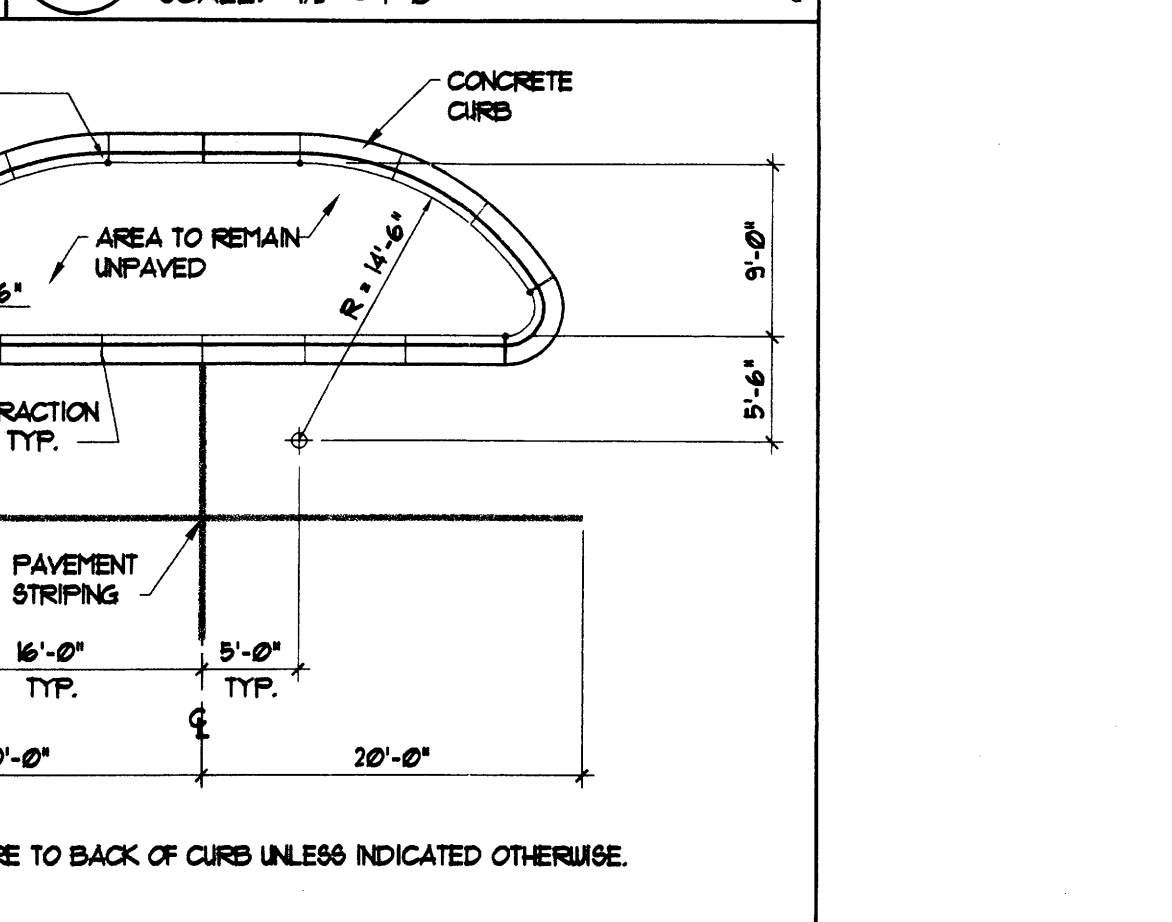
**16** TYPICAL SECTION 4" THICK PORTLAND CEMENT CONCRETE PAVING  
SCALE: 3/4" = 1'-0"



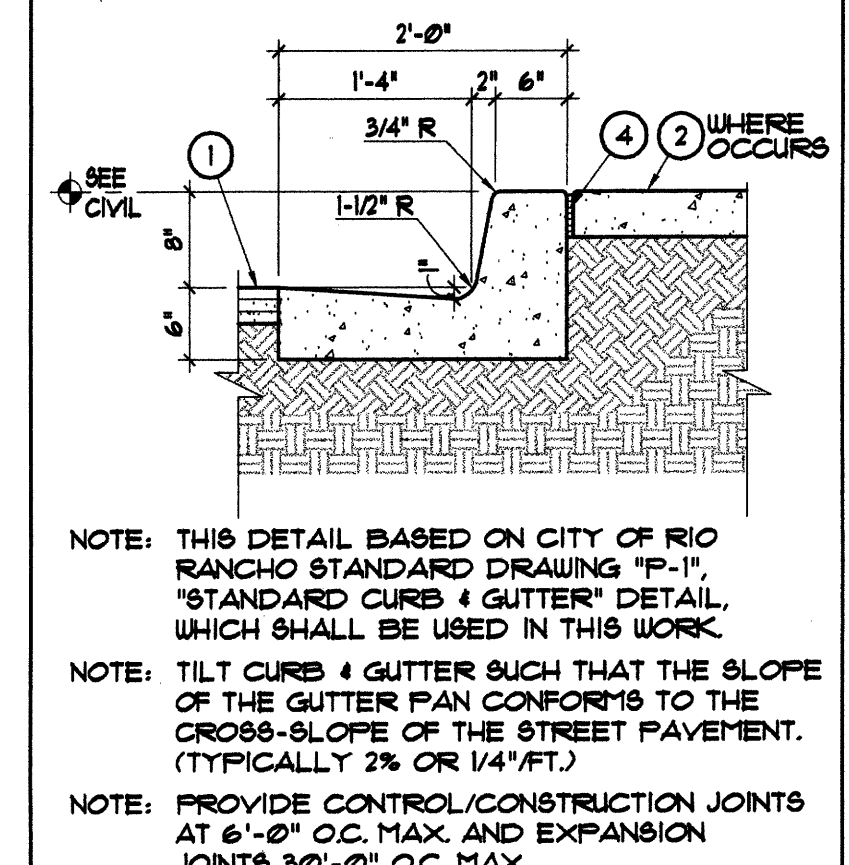
**15** DETAIL STEEL PIPE BOLLARD  
SCALE: 3/4" = 1'-0"



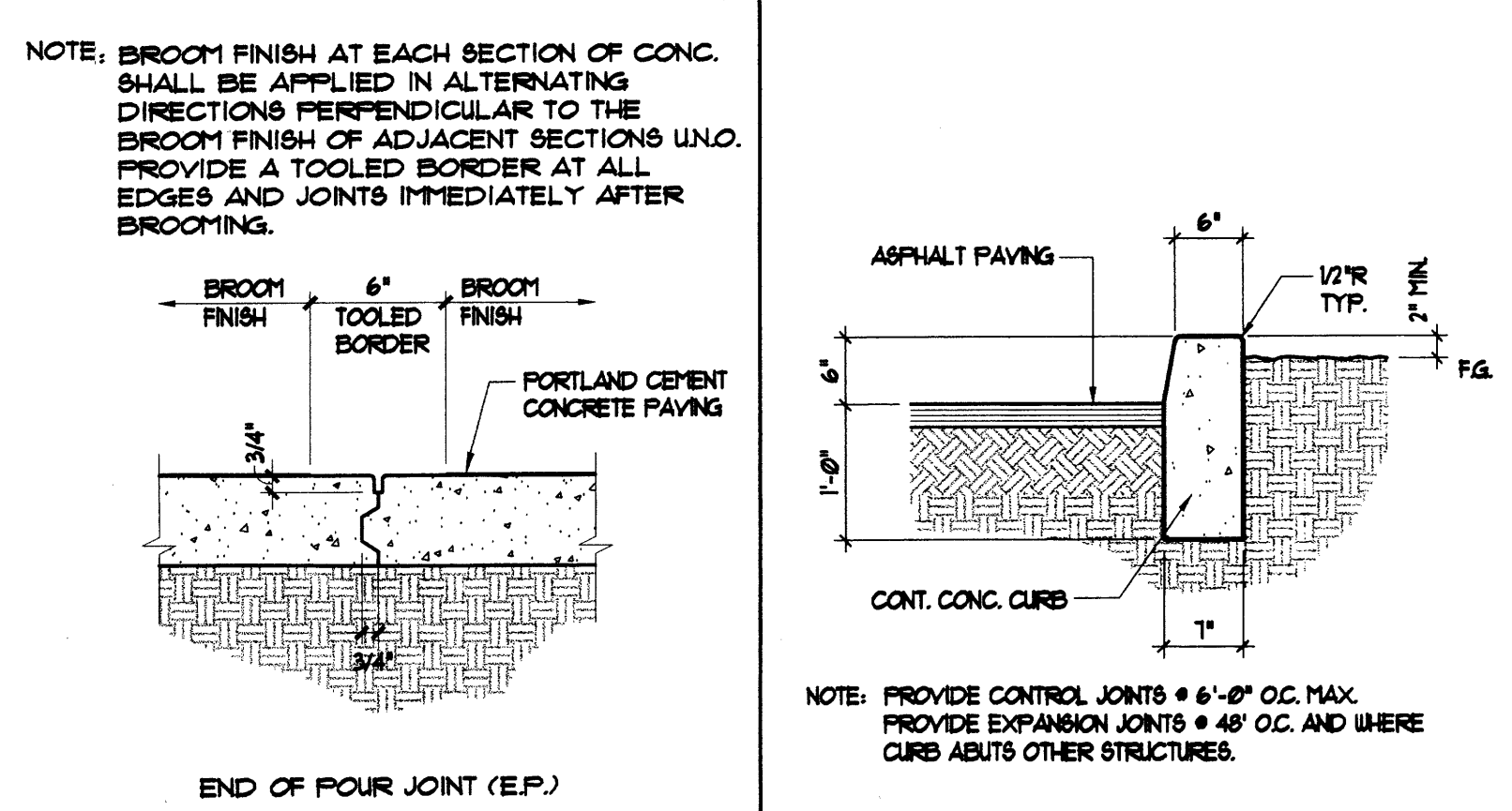
**14** DETAIL DROPPED CURB / R  
SCALE: NO SCALE



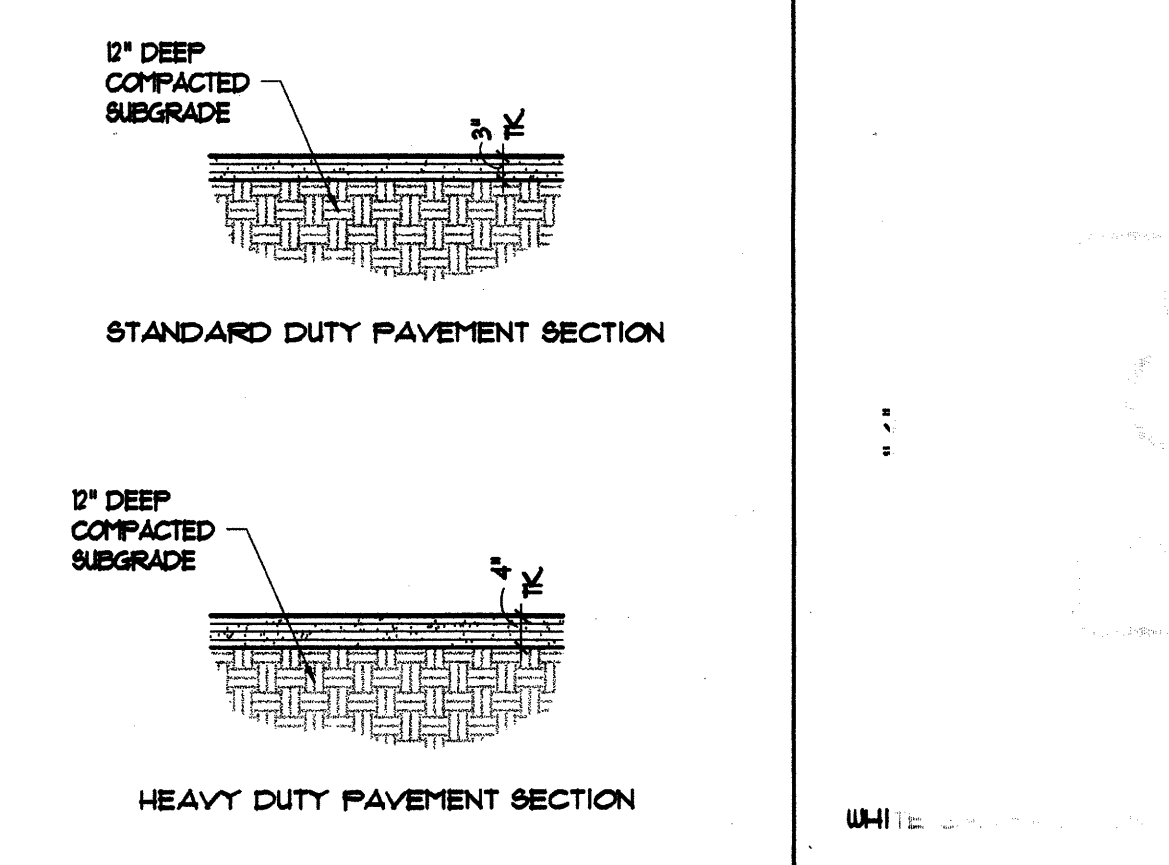
**5** DETAIL STAFF PARKING SIGN  
SCALE: 1 1/2" = 1'-0"



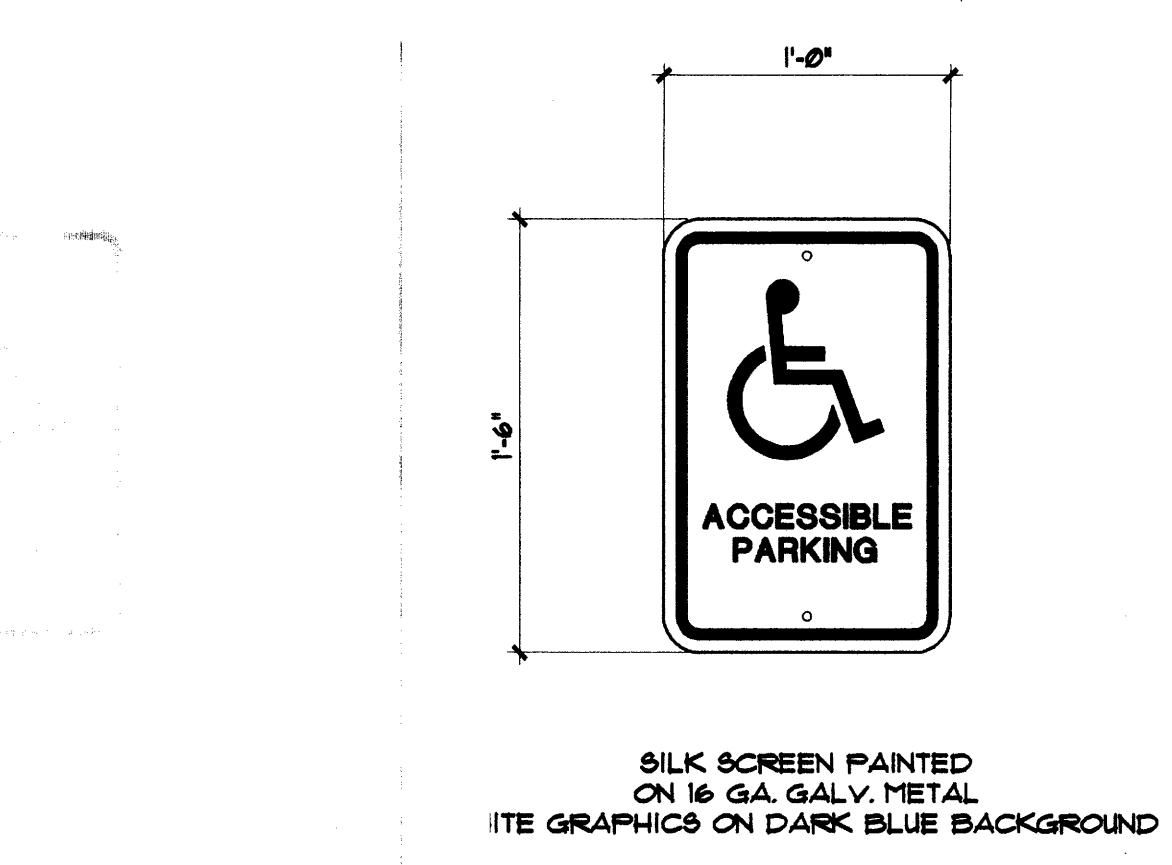
**11** DETAIL TYPICAL CURB & GUTTER  
SCALE: 3/4" = 1'-0"



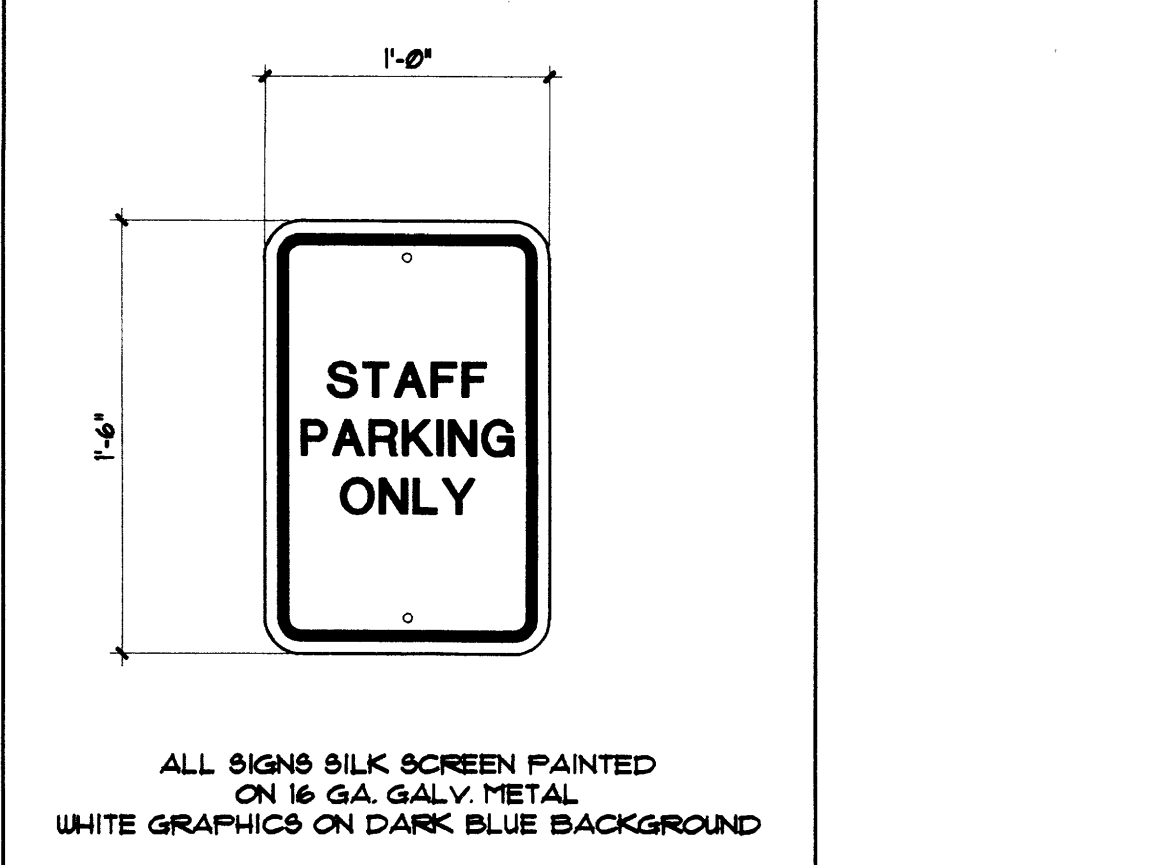
**10** DETAIL (E.P.) END OF POUR JOINT  
SCALE: 1 1/2" = 1'-0"



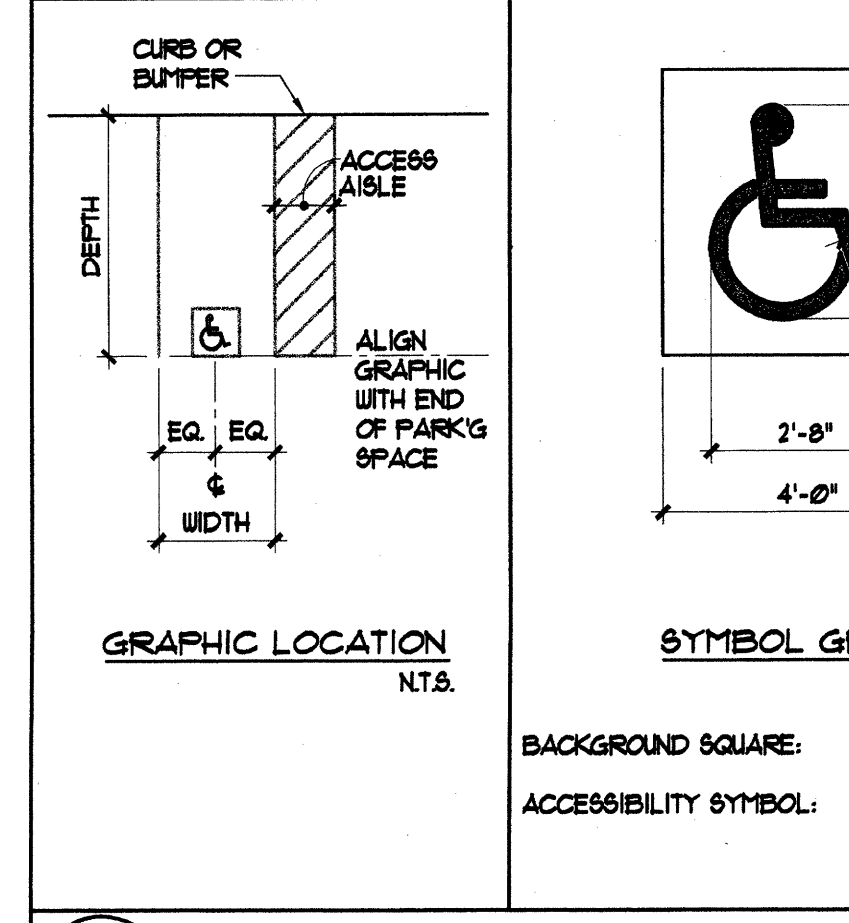
**9** DETAIL TYP. CONC. STAND-UP CURB  
SCALE: 3/4" = 1'-0"



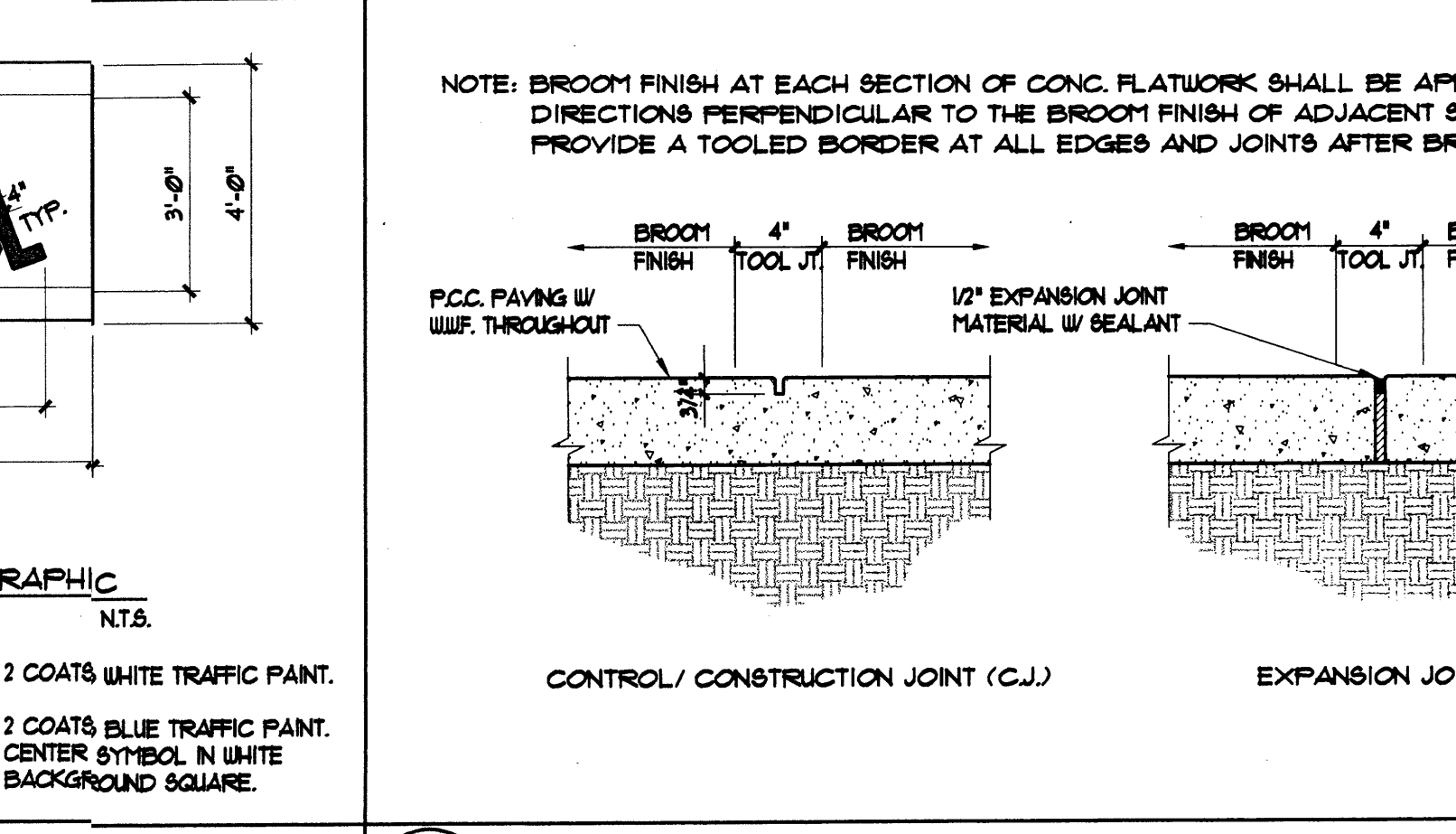
**8** TYPICAL SECTIONS ASPHALTIC CONCRETE PAVEMENT  
SCALE: 1/2" = 1'-0"



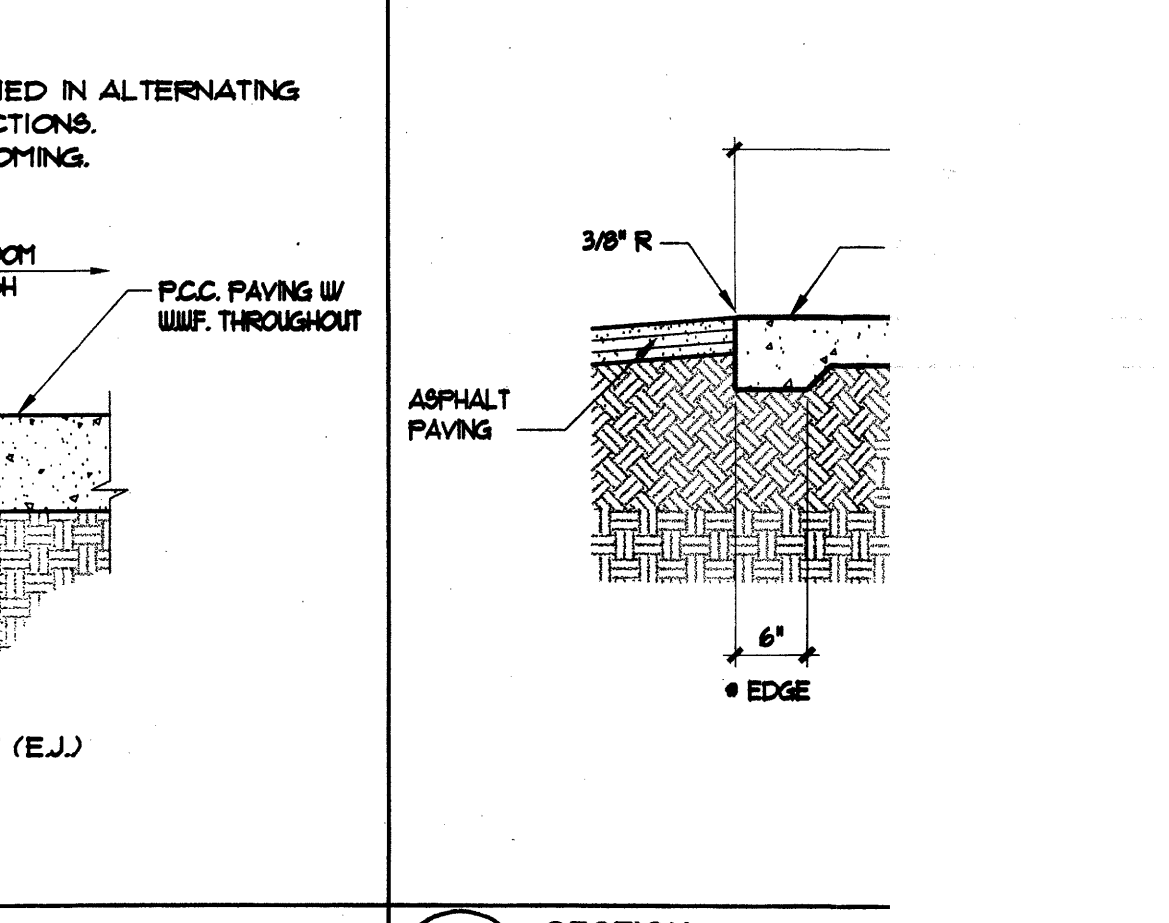
**7** TYPICAL FLUSH CO.  
SCALE: 3/4" = 1'-0"



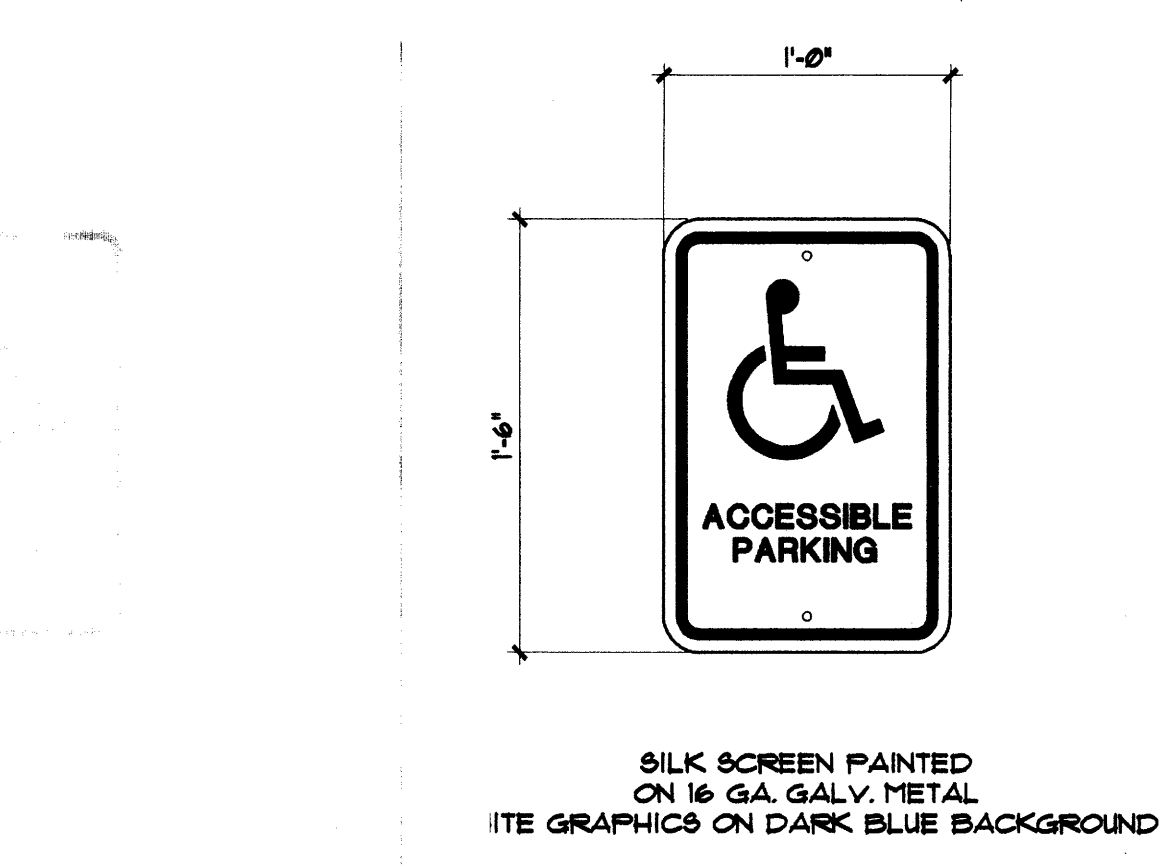
**4** TYPICAL DETAIL HANDICAP PARKING GRAPHIC  
SCALE: N.T.S.



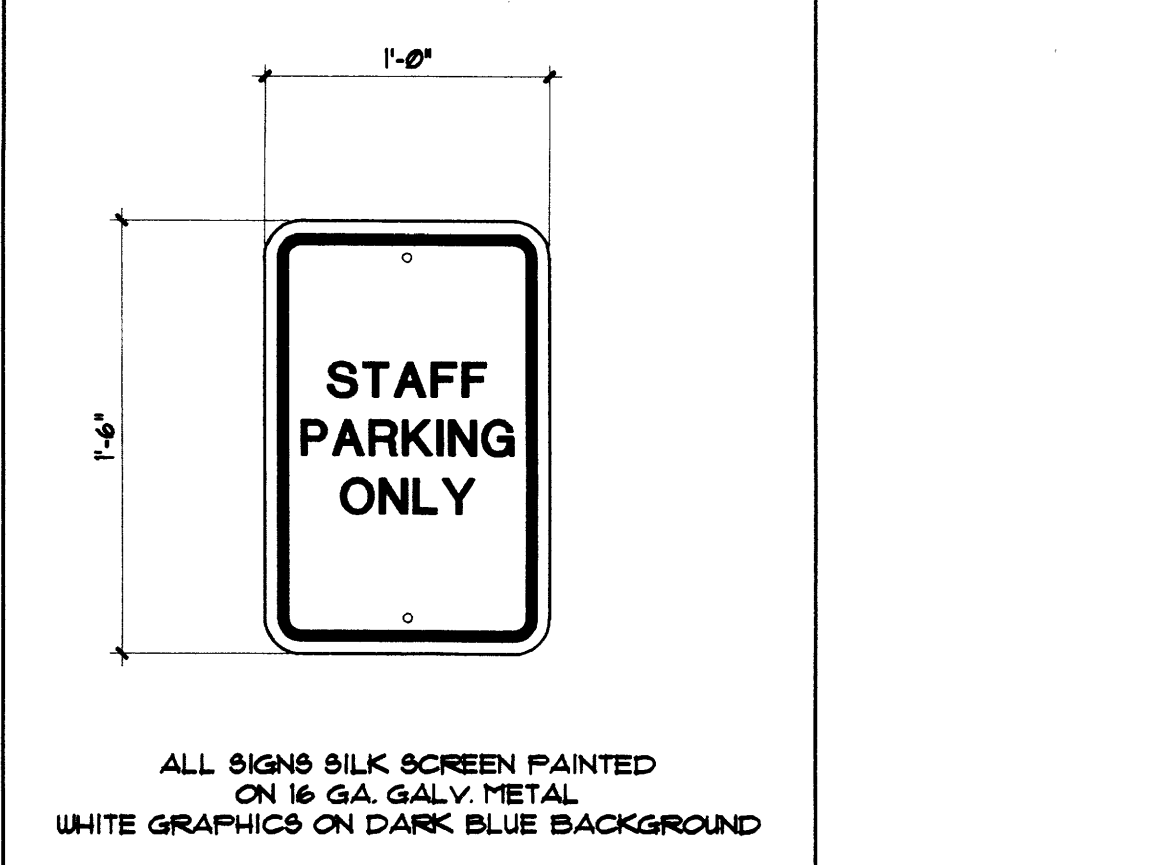
**3** SECTIONS TYPICAL CONCRETE PAVING JOINTS  
SCALE: 1 1/2" = 1'-0"



**2** SECTION TYPICAL FLUSH CO.  
SCALE: 3/4" = 1'-0"



**1** DETAIL H/C PARKING SIGN  
SCALE: 1 1/2" = 1'-0"



**1** DETAIL H/C PARKING SIGN  
SCALE: 1 1/2" = 1'-0"

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designing today designing tomorrow.

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revisions:

proj. no.: 0409  
acad file: 0409C41  
date:

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**WOMEN'S HOSPITAL OF NEW MEXICO**  
Medical Office Bldg./Neonatal Intensive Care Unit  
Lovelace Sandia Health System  
4701 Montgomery Blvd. N.E. Albuquerque, New Mexico 87109

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sheet title:  
ARCHITECTURAL  
SITE DETAILS

C4.1

**C.O.A. LANDSCAPING REQUIREMENTS**

**LANDSCAPING AREA REQUIREMENTS:**  
 PROPERTY • 493,626 SF.  
 BUILDING FOOTPRINT • 129,345 SF.  
 NET LOT AREA (N.L.A.) • 493,626 • 129,345 = 364,281 SF.  
 LANDSCAPE AREA REQ. • 15% OF 364,281 SF. = 5,464 SF.

GRASS LAWN: 15,174 SF.  
 GRAVEL WITH 75% VEGETATION: 58,411 SF. = 182% OF N.L.A.  
 TOTAL W/ 75% VEGETATION: 73,585 SF.  
 GRAVEL ONLY (NO VEGETATION): 16,445 SF.  
 DETENTION POND: 19,379 SF.

**OFF-STREET PARKING AREA LANDSCAPING:**  
 PROVIDE 1 TREE FOR EACH 10 PARKING SPACES  
 REQUIRED • APPROXIMATELY 85 TREES  
 PROVIDED • APPROXIMATELY 85 TREES  
 EACH PARKING SPACE SHALL BE WITHIN 100 FEET OF A TREE

**STREET TREES:**  
 PROVIDE STREET TREES SPACED APPROX. 30 FEET APART

**RESPONSIBILITY FOR MAINTENANCE:**  
 OWNER'S EXISTING LANDSCAPE MAINTENANCE CONTRACT TO BE CONTINUED.

**WATER CONSERVATION COMPLIANCE:**  
 ALL LANDSCAPING SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION ORDINANCE, SECTION 6-1-1-1.

**GENERAL NOTES**

- PROVIDE 4" PVC PIPE SLEEVES WHERE NEW IRRIGATION LINES PASS BENEATH PAVING.
- TOP OF GRAVEL, CRUSHER FINES, AND SOD MATERIALS SHALL BE 1" BELOW TOP OF ADJACENT CURBS, WALKS, ETC. THE FINISHED ELEVATION OF THE CRUSHER FINES SHALL MATCH THE ELEVATIONS INDICATED ON THE GRADING PLAN. EXCAVATE EXISTING SOIL WHERE REQUIRED.
- ALL ROCK, GRAVEL, CRUSHER FINES, ETC. ARE TO BE INSTALLED OVER HEAVY DUTY COMMERCIAL GRADE WEED CONTROL FABRIC.
- LANDSCAPE PLAN IS DESIGNED TO COMPLY WITH CITY OF ALBUQUERQUE LANDSCAPING REQUIREMENTS. DO NOT REMOVE EXISTING PLANTS THAT ARE NOT DESIGNATED TO BE REMOVED, WITHOUT WRITTEN CONSENT OF THE ARCHITECT. DO NOT CUT TREE ROOTS LARGER THAN 1" DIAMETER WITHOUT WRITTEN CONSENT OF THE ARCHITECT.

**IRRIGATION SYSTEM NOTES**

- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO CONSTRUCT A COMPLETE IRRIGATION SYSTEM IN ACCORDANCE WITH THE SPECIFICATIONS.
- THE CONTRACTOR SHALL DESIGN THE LANDSCAPE IRRIGATION SYSTEM AND SUBMIT SHOP DRAWINGS OF THE PROPOSED SYSTEM FOR APPROVAL BY THE ARCHITECT.
- THE SYSTEM SHALL BE DESIGNED FOR A MINIMUM STATIC PRESSURE OF 60 PSI AT THE POINT OF CONNECTION. THE CONTRACTOR SHALL VERIFY THE ACTUAL PSI AND SHALL INCLUDE THE RESULTS WITH THE IRRIGATION SYSTEM DESIGN SUBMITTAL.
- DRIP EMITTERS SHALL BE RAINBIRD 'XERI-BUG' SERIES SINGLE OUTLET EMITTERS OR APPROVED EQUAL. PROVIDE EMITTERS AT ALL PLANT LOCATIONS AS FOLLOWS:  
 AT ALL TREES 3 PER TREE XB-20 (2 GPM)  
 AT ALL SHRUBS 1 PER PLANT XB-10 (1 GPM)
- IRRIGATION SYSTEM CONTROLLER SHALL BE RAINBIRD MODEL ESP-16MC (16-STATION, STEEL CABINET) OR APPROVED EQUAL.
- NO BRAGHETTI TUBING SHALL BE USED ON THIS PROJECT. FLUSH PLUGS SHALL BE INSTALLED AT THE ENDS OF ALL SUB-LATERALS.
- FIELD VERIFY EXISTING IRRIGATION SYSTEM COMPONENTS. COORDINATE IRRIGATION DESIGN WITH OWNER'S FACILITY MANAGER.

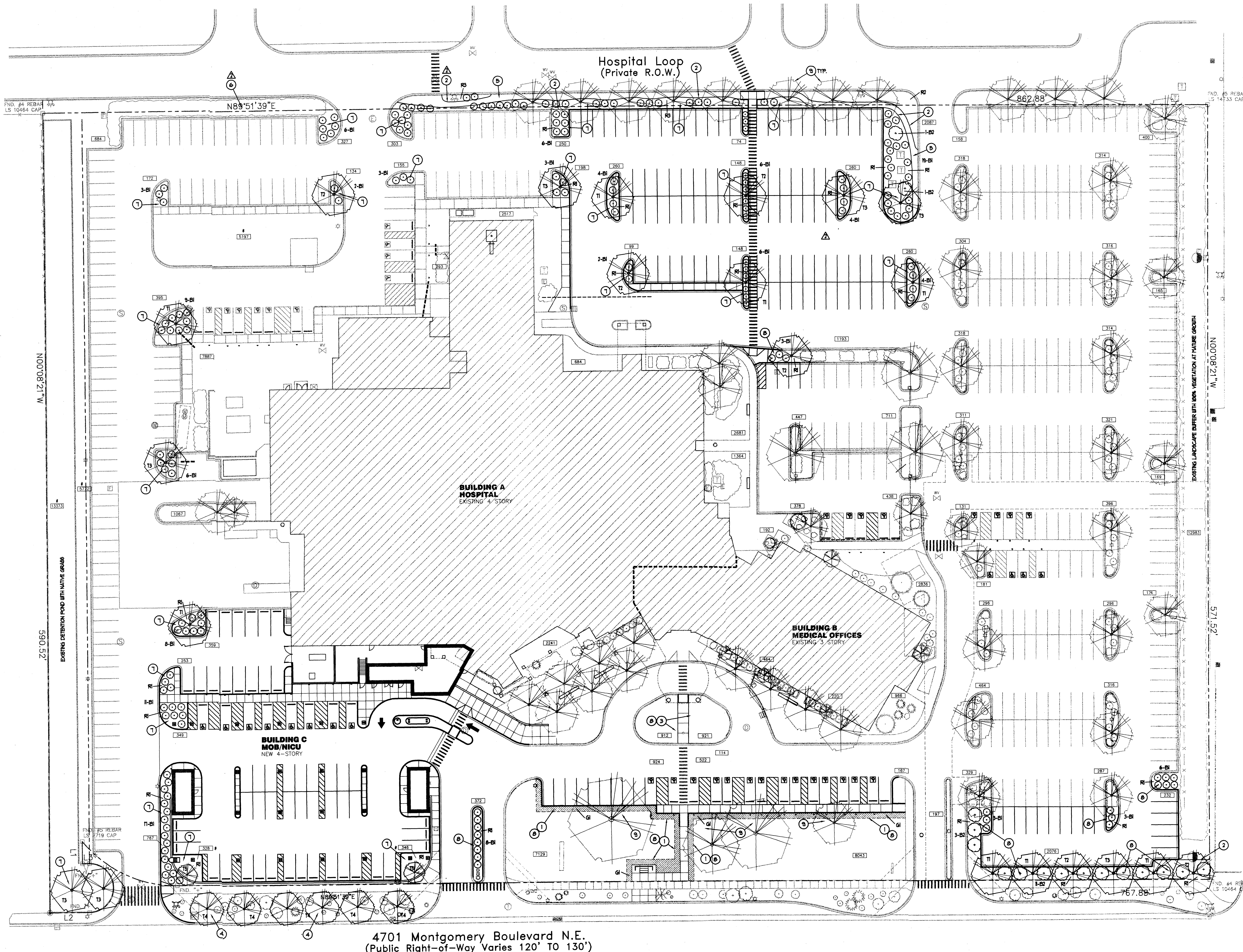
**KEYED NOTES**

- INSTALL NEW SOD IN HATCHED AREA. TIE INTO EXISTING LAWN AND ADJACENT CONCRETE PAVING/CURBS FLUSH.
- 4" X 1/8" COMMERCIAL GRADE METAL LANDSCAPE BORDER.
- PATCH EXISTING SOD FLUSH TO SURROUNDING PAVING.
- ADD LANDSCAPE IRRIGATION SYSTEM FOR NEW TREES.
- PEDESTRIAN PATH OF 3" DEEP CRUSHER FINES.
- LANDSCAPE WORK IN THIS AREA IS TO BE DEFERRED UNTIL FUTURE PARKING ALTERATIONS ARE MADE AND SLOPE OF TERRAIN IS REDUCED.
- NEW LANDSCAPING IRRIGATION SYSTEM.
- MODIFY EXISTING LANDSCAPING IRRIGATION SYSTEM. PROTECT TREE ROOTS. DO NOT CUT ROOTS LARGER THAN 1" IN DIA. WITHOUT WRITTEN CONSENT OF DESIGN ARCHITECT.

**LEGEND**

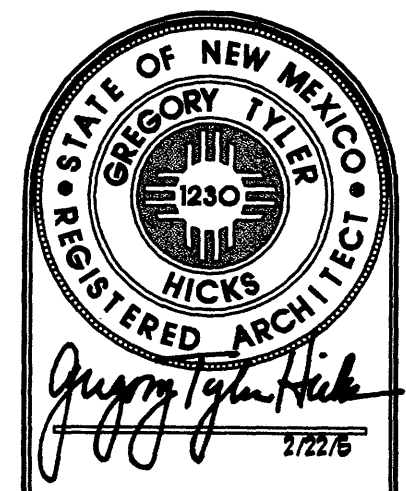
- |          |     |  |
|----------|-----|--|
| EXISTING | NEW |  |
|          |     | DECIDUOUS TREE   |
|          |     | PINE TREE  |
|          |     | YUCCA  |
|          |     | SHRUB  |
|          |     | JUNIPER, SAGE, OR OTHER  |
|          |     | APPROXIMATE LANDSCAPED AREA IN 9F.                                   |
|          |     | INDICATES AREA "NOT" CONTRIBUTING TOWARD 15% LANDSCAPE COVERAGE REQ. |

COMMON / BOTANICAL NAME	SIZE
T1 MODESTO ASH <i>Fraxinus velutina</i> 'Modesto'	2-1/2" CAL.
T2 WHITE ASH <i>Fraxinus americana</i> 'Autumn Purple'	2-1/2" CAL.
T3 RAYWOOD ASH <i>Fraxinus ornus</i> 'Raywood'	2-1/2" CAL.
T4 PURPLELEAF PLUM <i>Prunus cerasifera</i> 'Atropurpurea'	1-1/2" CAL.
T5 ASPEN <i>Populus tremuloides</i>	1-1/2" CAL.
B1 FARNEY COTONEASTER <i>Cotoneaster lacteus</i>	1 GAL.
B2 PHOTNIA <i>Photinia fraseri</i>	1 GAL.
G1 GRASS SOD Match existing species.	
R1 3/4" ROUND ROCK, GREY	3" DEEP
R2 6" BOLDERS, SANTA FE BROWN	12" DEEP
R3 CRUSHER FINES, SANTA FE BROWN	3" DEEP

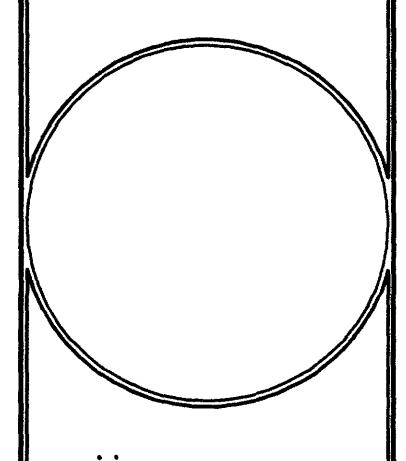


**LANDSCAPE PLAN**

SCALE: 1" = 30'-0"



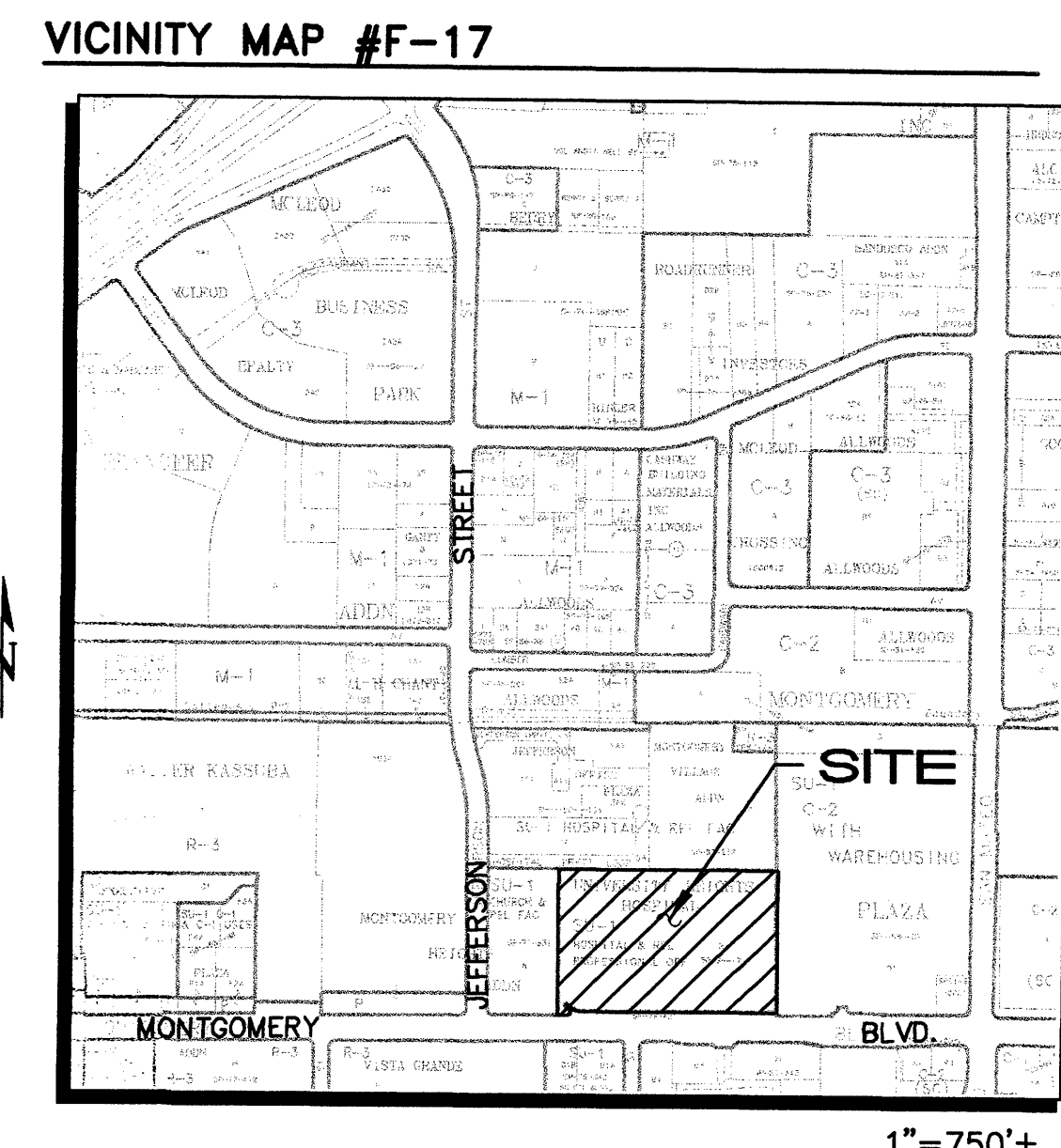
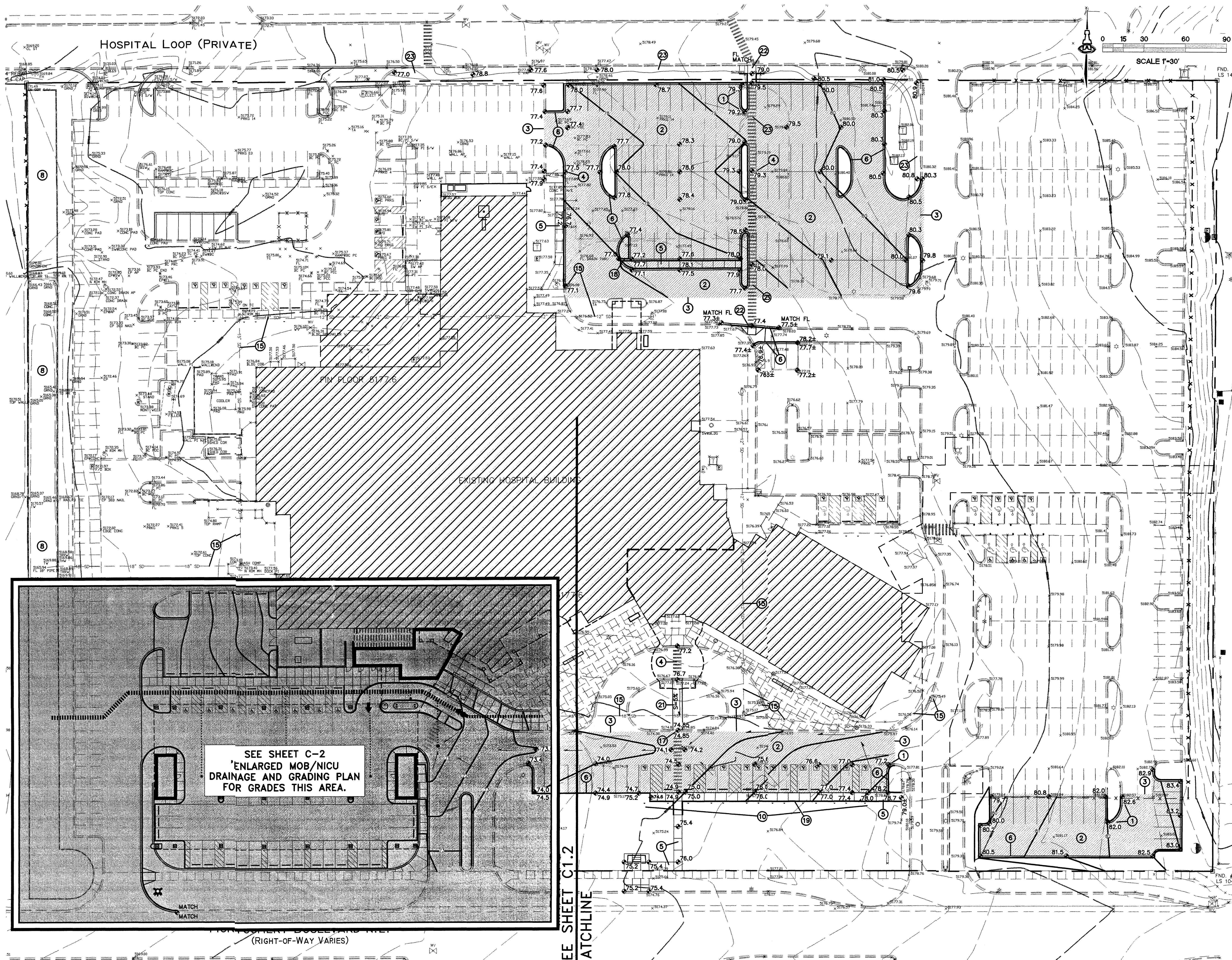
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sheet title:  
 LANDSCAPE PLAN

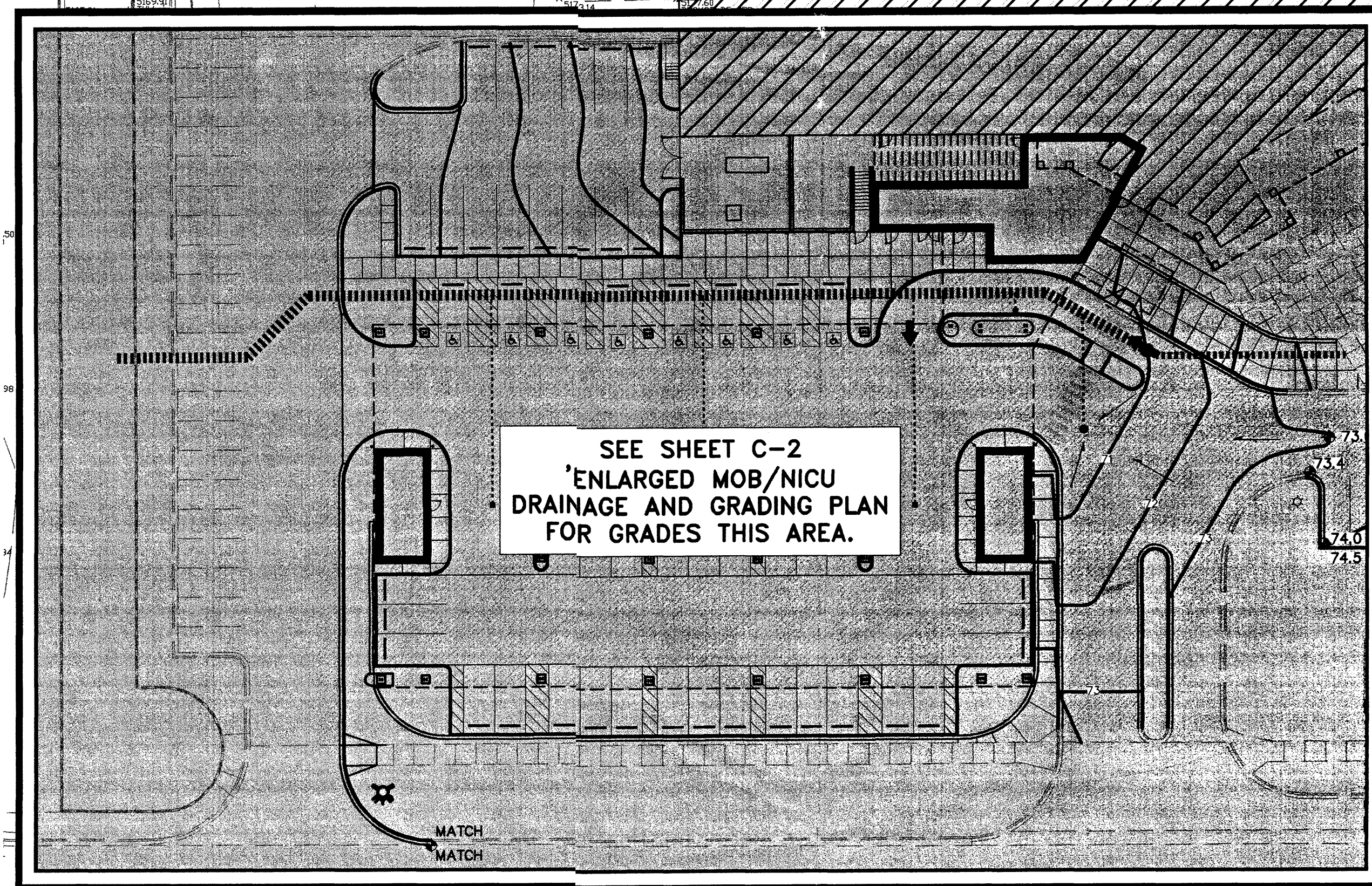


**KEYED NOTES** FOR USE WITH SHEETS C1.1, C1.2 AND C1.3

- 1 ALL ON-SITE SPOT ELEVATIONS WITHIN PAVEMENT AREAS REPRESENT TOP OF PAVING UNLESS NOTED. ADD 6" TYPICAL FOR TOP OF CURB / TOP OF WALK ELEVATIONS UNLESS NOTED.
- 2 SEE ARCHITECTURAL FOR EXTENTS OF NEW HEAVY DUTY / STANDARD DUTY PAVEMENT, PARKING LAYOUT, DIMENSIONS, AND STRIPING. CONSTRUCT TO ELEVATIONS SHOWN.
- 3 SAWCUT EXISTING ASPHALT PAVING (1" MIN.) TO PROVIDE SMOOTH BONDING EDGE AND SMOOTH TRANSITION TO NEW ASPHALT - TYP.
- 4 HIGH POINT THIS AREA.
- 5 CONSTRUCT SITE WALK THIS AREA AT ELEVATIONS SHOWN. PROVIDE SMOOTH TRANSITIONS TO EXISTING AS NECESSARY.
- 6 CONSTRUCT 6" HIGH MEDIAN CURB AND GUTTER AT ELEVATIONS SHOWN FOR ALL NEW ON-SITE CURB LOCATIONS.
- 7 CONSTRUCT SITE ENTRANCE PER C.O.A. STD. DWG. 2426. SEE ARCHITECTURAL FOR ADD'L INFO. PROVIDE SMOOTH TRANSITION FROM 8" STANDARD CURB AND GUTTER AT STREET TO 6" MEDIAN CURB AND GUTTER ON-SITE.
- 8 EXISTING POND IMPROVED / ENLARGED TO ACCEPT INCREASED FLOW AS PART OF COA HYDROLOGY PROJECT #F-17/D10.
- 9 NOT USED
- 10 HANDICAP PARKING SPACES TO BE CONSTRUCTED WITH 2% MAX. SLOPE. ASPHALT PAVING TO BE FLUSH WITH TOP OF WALK.
- 11 APPROX. 350 LF EXISTING STORM DRAIN TO BE REMOVED FROM NEW CONNECTION POINT TO POND.
- 12 PROPOSED STORM DRAIN INLET. SEE DETAIL THIS SHEET FOR ADDITIONAL INFORMATION.
- 13 PROPOSED 30" PRIVATE STORM DRAIN MAINLINE TO EXISTING POND.
- 14 ROOF FLOWS FROM THE PROPOSED BUILDING TO BE COLLECTED WITHIN AN INTERNAL DRAIN SYSTEM AND RELEASED DIRECTLY INTO THE PROPOSED STORM DRAIN MAINLINE. SEE MECHANICAL FOR ROOF DRAIN DESIGN AND CONNECTION LOCATION.
- 15 EXISTING STORM DRAIN INLET / MAIN.
- 16 REMOVE EXISTING STORM DRAIN OUTLET. ENLARGE AS REQUIRED AND EXTEND PROPOSED 30" STORM DRAIN OUTLET 1' WEST OF POND WALL & INVERT = 65.5.
- 17 NEW ASPHALT PAVING TO BE FLUSH WITH TOP OF EXISTING CONCRETE CURB. SLOPE DOWN AT 8% MAX. EACH SIDE TO EXISTING CURB FLOWLINE.
- 18 CONSTRUCT 1' WIDE (BOTTOM WIDTH) X 6" HIGH CONCRETE 'U' SHAPED CHANNEL TO PASS FLOW THROUGH ISLAND AT LOW POINT.
- 19 ON-SITE RETAINING WALL TO BE CONSTRUCTED THIS AREA TO ACHIEVE GRADE DIFFERENCES. SEE ARCHITECTURAL DESIGN BY OTHERS.
- 20 INSTALL TWO 6" DIA. PVC PIPES THROUGH WALL AT INVERT ELEVATIONS SHOWN TO PASS FLOW.
- 21 CONSTRUCT 5% ACCESSIBLE WALK WITHIN ISLAND AT ELEVATIONS SHOWN. SOUTH SIDE: TOP OF WALK = TOP OF EXISTING CURB. SEE KEYED NOTE 17 FOR STREET PAVEMENT TRANSITION. NORTH SIDE: TOP OF WALK TO MATCH NORTH CURB FLOWLINE. SEE DEMOLITION PLAN FOR NORTH SIDE CURB REMOVAL.
- 22 CONSTRUCT HANDICAP ACCESS RAMP - SEE ARCHITECTURAL.
- 23 CONSTRUCT PEDESTRIAN PATH AT 5% MAX. SLOPE. SEE ARCHITECTURAL FOR MATERIAL, DIMENSIONS, ETC.

**GENERAL NOTES**

- A. COORDINATE WORK WITH SITE DEVELOPMENT PLANS, DEMOLITION PLANS, UTILITIES DRAWINGS AND DETAILS.
- B. DO NOT SCALE THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS AND THE LOCATIONS OF ALL ITEMS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- C. MAINTAIN ALL UTILITY SERVICES TO THE OWNER'S OPERATIONAL AREAS WHILE PERFORMING WORK. PROVIDE ALL BY-PASSES, CROSS-CONNECTS, AND/OR TEMPORARY ROUTINGS AND CONNECTIONS AS REQUIRED TO INSURE FULL OPERATION OF ALL SERVICES TO ALL AREAS NOT UNDER CONSTRUCTION - AT NO ADDITIONAL COST.
- D. SEE SITE PLAN FOR CONTRACTOR STAGING AREA.
- E. FINISH GRADING AND PAVEMENT SURFACES SHALL MAINTAIN POSITIVE SLOPE AWAY FROM ALL BUILDINGS AND POSITIVE SLOPE TOWARD EXIST. LINES OF DRAINAGE, SWALES, INLETS, ETC. WATER SHALL NOT POND ON PAVED AREAS. WHERE NEW/EXIST. GRADES ARE SHOWN AS 'MATCH', TRANSITION SHALL BE SMOOTH AND LEVEL. WHERE EXISTING ASPHALT IS TO BE OVERLAID, GRIND EXISTING ALONG PERIMETER AS REQUIRED TO PREVENT BLOCKING FLOW.
- F. GRADES SHOWN WITHIN LANDSCAPED AREAS INDICATE TOP OF LANDSCAPE MATERIAL. SUBGRADE TO BE GRADED TO ELEVATION SHOWN MINUS LANDSCAPE MATERIAL THICKNESS.
- G. SEE ARCHITECTURAL FOR SITE DETAILS.
- H. SEE ARCHITECTURAL FOR EXTENTS OF EACH CONSTRUCTION PHASE. PROVIDE SMOOTH TRANSITIONS BETWEEN CONSTRUCTION PHASES TO MAINTAIN CIRCULATION.
- I. ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. TYPICAL CONTRACTOR TO FIELD VERIFY AND PROTECT ALL EXISTING UTILITIES WITHIN AREA TO BE IMPROVED.



SEE SHEET C1.2 MATCHLINE

**LEGEND**

× 69.54	EXISTING SPOT ELEVATION
- - - 70	EXISTING CONTOUR
◊ 72.5	PROPOSED SPOT ELEVATION
- - - 70	PROPOSED CONTOUR
→	SURFACE FLOW DIRECTION (EXISTING, PROPOSED, roof)
TC	TOP OF GROUND
TW	TOP OF RETAINING WALL
TA	TOP OF ASPHALT
TC	TOP OF CURB
FL	FLOW LINE
TSW	TOP OF SIDEWALK

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 1410GRD.B1B 02.21.05

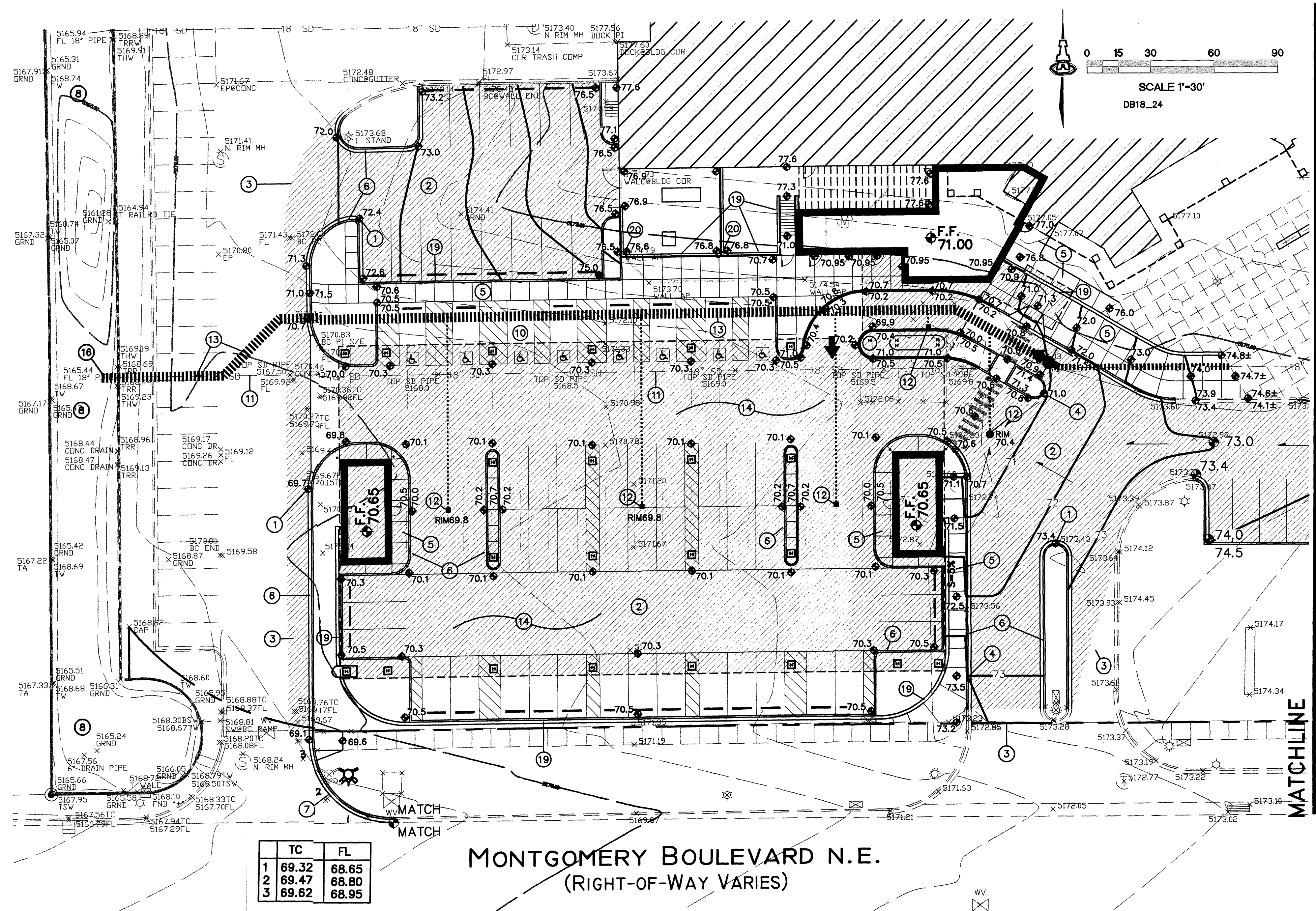
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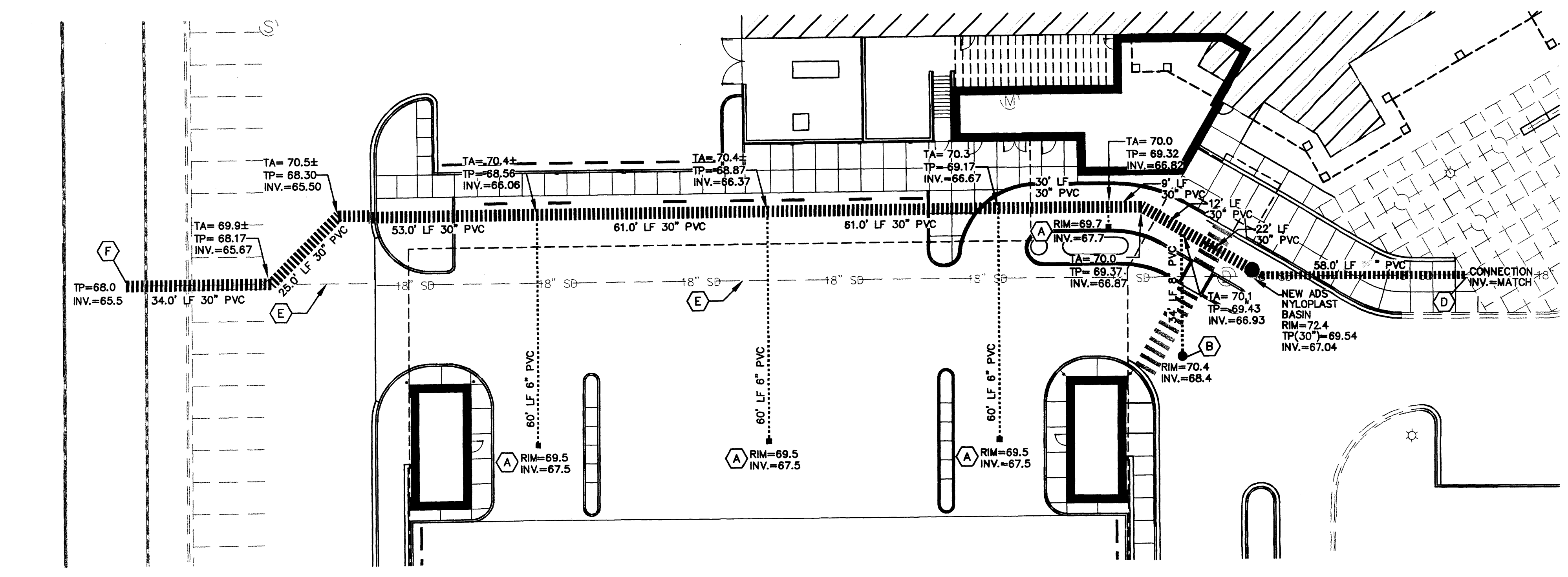
sheet title:  
 OVERALL DRAINAGE AND GRADING PLAN

**C1.1**  
 (ETC/D&E)





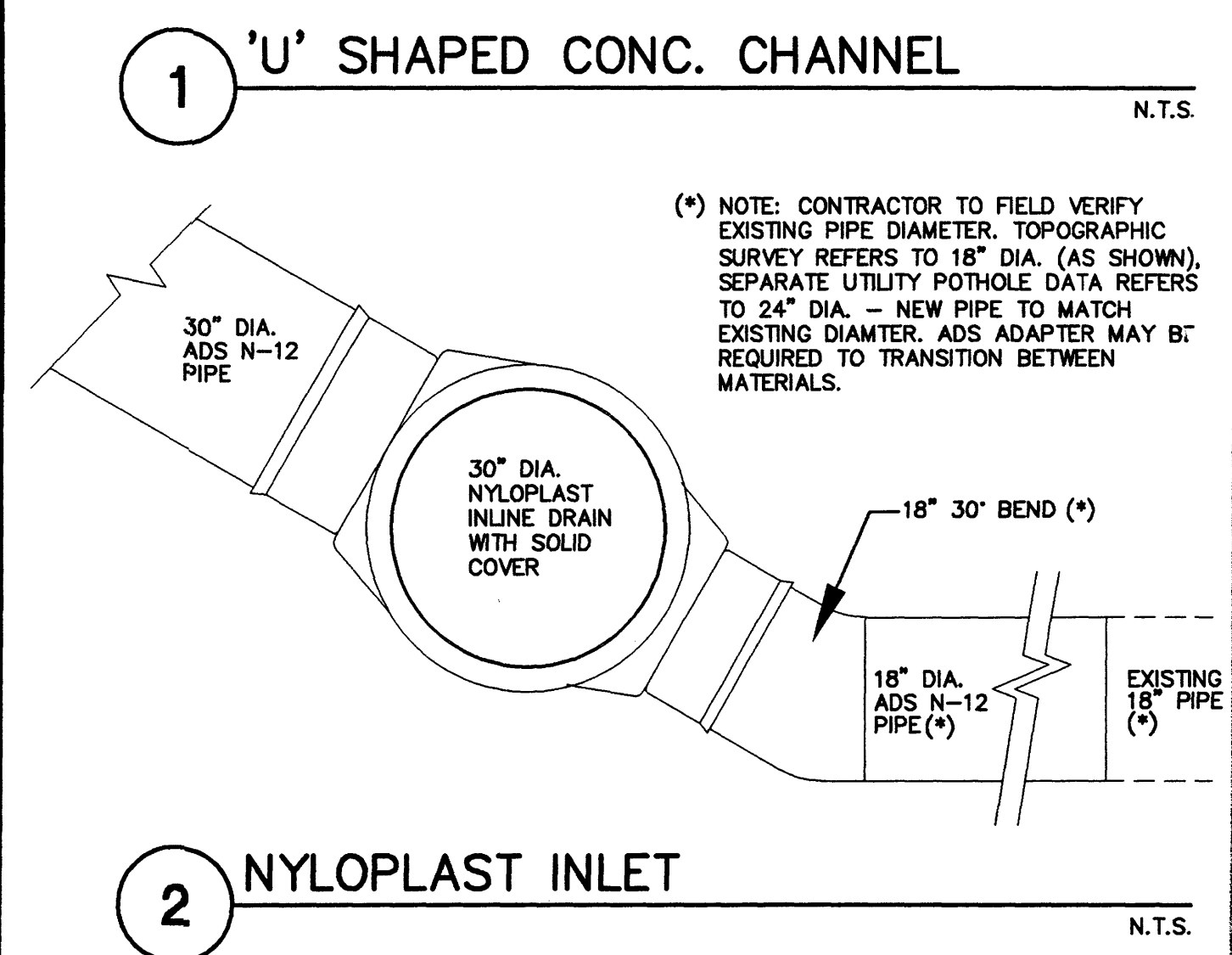
ENLARGED MOB / N.I.C.U. DRAINAGE AND GRADING PLAN  
1" = 20'



- KEYED NOTES**
- (A) ADS 18" DIA. INLINE DRAIN WITH 18" PEDESTRIAN (H-10) RATED GRATE AND 6" DIA. OUTLET PIPE.
  - (B) ADS 24" DIA. INLINE DRAIN WITH 24" STANDARD (H-20) RATED GRATE AND 12" DIA. OUTLET PIPE.
  - (C) ADS 30" DIA. NYLOPLAST MANHOLE WITH 30" SOLID GRATE. SEE DETAIL THIS SHEET.
  - (D) MAKE CONNECTION TO EXISTING 18" DIA. STORM DRAIN AT EXISTING INVERT. REROUTE TO PROPOSED ADS MANHOLE.
  - (E) REMOVE EXISTING 18" DIA. STORM DRAIN WEST OF NEW MANHOLE. EXTEND ALL EXISTING UNDERGROUND ROOF DRAINS TO NEW STORM DRAIN.
  - (F) EXTEND NEW 30" DIA. STORM DRAIN THROUGH EXISTING POND WALL (AT LOCATION OF REMOVED 18" OUTLET) TO 1' BEYOND POND WALL. RECONSTRUCT / GROUT POND WALL AT OUTLET.

- LEGEND**
- × 69.54 EXISTING SPOT ELEVATION
  - - - 70 EXISTING CONTOUR
  - ◊ 72.5 PROPOSED SPOT ELEVATION
  - - - 70 PROPOSED CONTOUR
  - SURFACE FLOW DIRECTION

PROPOSED STORM DRAIN SYSTEM  
1" = 20'



MATCHLINE SEE SHEET C1.1

- KEYED NOTES** FOR USE WITH SHEETS C1.1, C1.2 AND C1.3
- ALL ON-SITE SPOT ELEVATIONS WITHIN PAVEMENT AREAS REPRESENT TOP OF PAVING UNLESS NOTED. ADD 6" TYPICAL FOR TOP OF CURB / TOP OF WALK ELEVATIONS UNLESS NOTED.
  - SEE ARCHITECTURAL FOR EXTENTS OF NEW HEAVY DUTY / STANDARD DUTY PAVEMENT, PARKING LAYOUT, DIMENSIONS, AND STRIPING. CONSTRUCT TO ELEVATIONS SHOWN.
  - SANUCUT EXISTING ASPHALT PAVING (1" MIN.) TO PROVIDE SMOOTH BONDING EDGE AND SMOOTH TRANSITION TO NEW ASPHALT - TYP.
  - HIGH POINT THIS AREA.
  - CONSTRUCT SITE WALK THIS AREA AT ELEVATIONS SHOWN. PROVIDE SMOOTH TRANSITIONS TO EXISTING AS NECESSARY.
  - CONSTRUCT 6" HIGH MEDIAN CURB AND GUTTER AT ELEVATIONS SHOWN FOR ALL NEW ON-SITE CURB LOCATIONS.
  - CONSTRUCT SITE ENTRANCE PER C.O.A. STD. DWG. 2426. SEE ARCHITECTURAL FOR ADD'L INFO. PROVIDE SMOOTH TRANSITION FROM 8" STANDARD CURB AND GUTTER AT STREET TO 6" MEDIAN CURB AND GUTTER ON-SITE.
  - EXISTING POND IMPROVED / ENLARGED TO ACCEPT INCREASED FLOW AS PART OF COA HYDROLOGY PROJECT #F-17/010.
  - NOT USED
  - HANDICAP PARKING SPACES TO BE CONSTRUCTED WITH 2% MAX. SLOPE. ASPHALT PAVING TO BE FLUSH WITH TOP OF WALK.
  - APPROX. 350 LF EXISTING STORM DRAIN TO BE REMOVED FROM NEW CONNECTION POINT TO POND.
  - PROPOSED STORM DRAIN INLET. SEE DETAIL THIS SHEET FOR ADDITIONAL INFORMATION.
  - PROPOSED 30" PRIVATE STORM DRAIN MAINLINE TO EXISTING POND.
  - ROOF FLOWS FROM THE PROPOSED BUILDING TO BE COLLECTED WITHIN AN INTERNAL DRAIN SYSTEM AND RELEASED DIRECTLY INTO THE PROPOSED STORM DRAIN MAINLINE. SEE MECHANICAL FOR ROOF DRAIN DESIGN AND CONNECTION LOCATION.
  - EXISTING STORM DRAIN INLET / MAIN.
  - REMOVE EXISTING STORM DRAIN OUTLET. ENLARGE AS REQUIRED AND EXTEND PROPOSED 30" STORM DRAIN OUTLET 1' WEST OF POND WALL @ INVERT = 68.5.
  - NEW ASPHALT PAVING TO BE FLUSH WITH TOP OF EXISTING CONCRETE CURB. SLOPE DOWN AT 8% MAX. EACH SIDE TO EXISTING CURB FLOWLINE.
  - CONSTRUCT 1' WIDE (BOTTOM WIDTH) X 6" HIGH CONCRETE 'U' SHAPED CHANNEL TO PASS FLOW THROUGH ISLAND AT LOW POINT.
  - ON-SITE RETAINING WALL TO BE CONSTRUCTED THIS AREA TO ACHIEVE GRADE DIFFERENCES. SEE ARCHITECTURAL DESIGN BY OTHERS.
  - INSTALL TWO 6" DIA. PVC PIPES THROUGH WALL AT INVERT ELEVATIONS SHOWN TO PASS FLOW.
  - CONSTRUCT 5% ACCESSIBLE WALK WITHIN ISLAND AT ELEVATIONS SHOWN. SOUTH SIDE: TOP OF WALK = TOP OF EXISTING CURB. SEE KEYED NOTE 17 FOR STREET PAVEMENT TRANSITION. NORTH SIDE: TOP OF WALK TO MATCH NORTH CURB FLOWLINE. SEE DEMOLITION PLAN FOR NORTH SIDE CURB REMOVAL.
  - CONSTRUCT HANDICAP ACCESS RAMP - SEE ARCHITECTURAL.
  - CONSTRUCT PEDESTRIAN PATH AT 5% MAX. SLOPE. SEE ARCHITECTURAL FOR MATERIAL, DIMENSIONS, ETC.

- PROJECT DATA**
- PROJECT SCOPE:**
- THE PROPOSED IMPROVEMENTS INCLUDE A MEDICAL OFFICE BUILDING / NEONATAL I.C.U. EXPANSION TO THE EXISTING WOMEN'S HOSPITAL WITH ASSOCIATED PARKING LOT EXPANSION AND SITE IMPROVEMENTS. ADDITIONAL SITE PARKING LOT EXPANSION WITH ASSOCIATED LANDSCAPING IS ALSO INCLUDED.
- THE SITE IS LOCATED ON THE NORTH SIDE OF MONTGOMERY BLVD. WEST OF SAN MATEO BLVD. THE SURROUNDING AREA IS FULLY DEVELOPED.
- THE PRESENT SITE IS A DEVELOPED COMMERCIAL PROPERTY. THE AREA TO BE DEVELOPED IS PARTIALLY ASPHALT PAVED AND PARTIALLY LANDSCAPED. THE SITE SLOPES TO THE WEST TO AN EXISTING ON-SITE DETENTION POND.
- THE INTENT OF THIS PLAN IS TO SHOW:
- GRADING RELATIONSHIPS BETWEEN THE EXISTING GROUND ELEVATIONS AND PROPOSED FINISHED ELEVATIONS IN ORDER TO FACILITATE POSITIVE DRAINAGE TO DESIGNATED DISCHARGE POINTS.
  - THE EXTENT OF PROPOSED SITE IMPROVEMENTS, INCLUDING BUILDINGS, WALKS AND PAVEMENT.
  - THE FLOW RATE/VOLUME OF RAINFALL RUNOFF ACROSS OR AROUND THESE IMPROVEMENTS AND METHODS OF HANDLING THESE FLOWS TO MEET CITY OF ALBUQUERQUE REQUIREMENTS FOR DRAINAGE MANAGEMENT.
  - THE RELATIONSHIP OF ON-SITE IMPROVEMENTS WITH EXISTING NEIGHBORING PROPERTY TO INSURE AN ORDERLY TRANSITION BETWEEN PROPOSED AND SURROUNDING GRADES.
- DRAINAGE PLAN CONCEPT:** THIS SITE IS IN AN AREA THAT IS FULLY DEVELOPED. CALCULATIONS FOR THE 100-YEAR, 6-HOUR STORM EVENT FOR THE AREA TO BE IMPROVED SHOW AN INCREASE IN FLOWRATE AND VOLUME DUE TO DEVELOPMENT. THE INCREASED FLOW WILL CONTINUE TO DRAIN TO THE EXISTING PONDING AREA AND BE DISCHARGED TO THE EXISTING MONTGOMERY BLVD. STORM DRAIN SYSTEM. THE EXISTING POND IS CURRENTLY BEING ENLARGED AND REESTABLISHED TO A DEPTH PER THE ORIGINAL DESIGN (DATED NOVEMBER 1981). THE POND VOLUME INCREASE WILL ACCOMMODATE THE INCREASE IN VOLUME DUE TO THIS PROPOSED PHASE OF DEVELOPMENT AS WELL AS FUTURE PHASES OF DEVELOPMENT.
- LEGAL:** A PORTION OF TRACT M-1 UNIVERSITY HEIGHTS HOSPITAL SECTION 35 - T. 11 N., R. 3 E., N.M.P.M. CITY OF ALBUQUERQUE
- FLOODZONE:** PER FIRM MAP #139, THE SITE IS NOT LOCATED WITHIN A FLOODZONE. A FLOODZONE (ZONE AO - DEPTH 1) WITH ASSOCIATED STORM DRAIN SYSTEM IS LOCATED WITHIN MONTGOMERY BLVD., SOUTH OF THE SITE.
- EROSION CONTROL:** THE CONTRACTOR IS RESPONSIBLE FOR RETAINING ON-SITE ALL SEDIMENT GENERATED DURING CONSTRUCTION BY MEANS OF TEMPORARY EARTH BERMS OR SILT FENCES AT THE LOW POINTS ON THE WEST PROPERTY LINE.

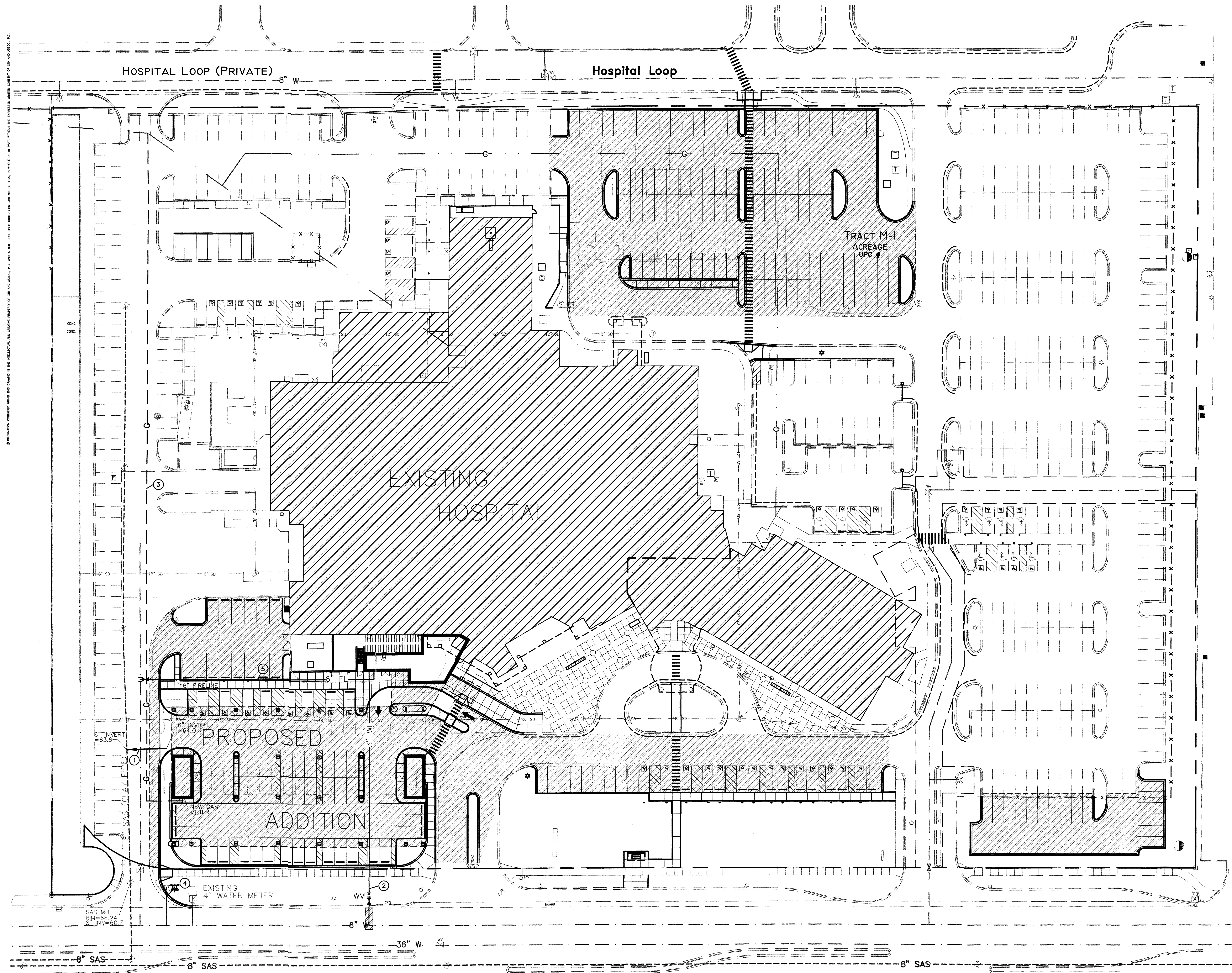
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ENLARGED N.I.C.U. DRAINAGE AND GRADING PLAN  
**C1.2**  
(ERC/DRE)

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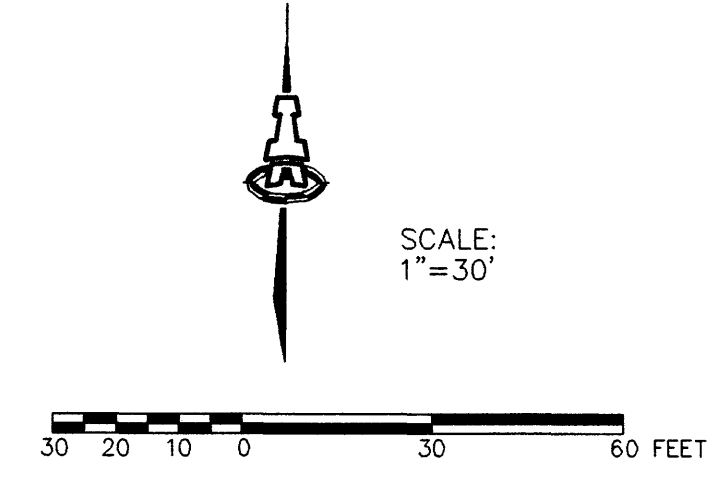


**KEYED NOTES**

1. INSTALL NEW 6" SANITARY SEWER SERVICE FROM BUILDING TO PRIVATE ONSITE SEWER LINE. SEE PLUMBING PLAN FOR CONTINUATION.
2. INSTALL 3" WATER SERVICE TO BUILDING, WITH 3" WATER METER IN VAULT PER COA STD DWG #2370. REMOVE AND REPLACE 12 SY ARTERIAL ASPHALT PAVING PER COA STD DWG #2465.
3. EXTEND GAS SERVICE TO BUILDING (SIZE PER MECHANICAL PLAN). CONTRACTOR SHALL COORDINATE SERVICE EXTENSION WITH PNM GAS SERVICES.
4. RELOCATE EXISTING PUBLIC FIRE HYDRANT WITH 6" 45° BEND & 10 LF 6" WATER LINE.
5. INSTALL 185 LF 6" PRIVATE FIRELINE WITH 6" GATE VALVE & VALVE BOX.

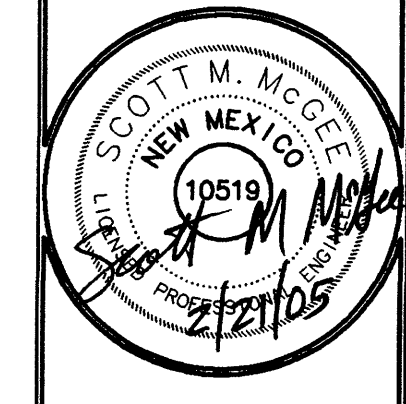
**LEGEND**

	EXISTING WATERLINE
	EXISTING SANITARY SEWER
	EXISTING GAS LINE
	PROPOSED WATERLINE W/ FITTING
	PROPOSED WATER METER
	PROPOSED SANITARY SEWER
	PROPOSED GAS LINE



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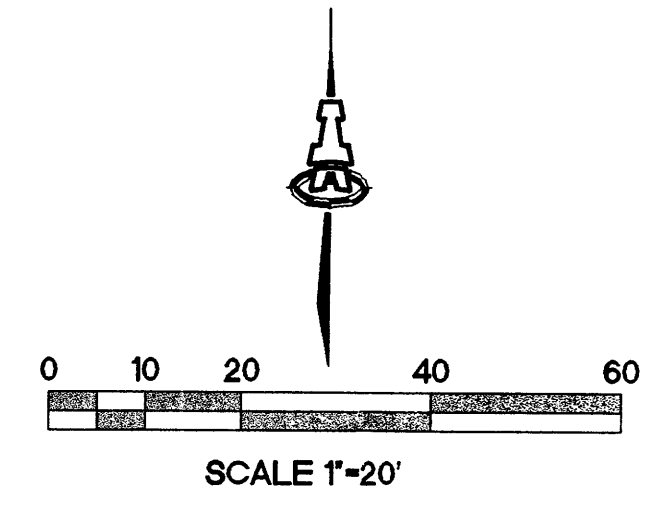
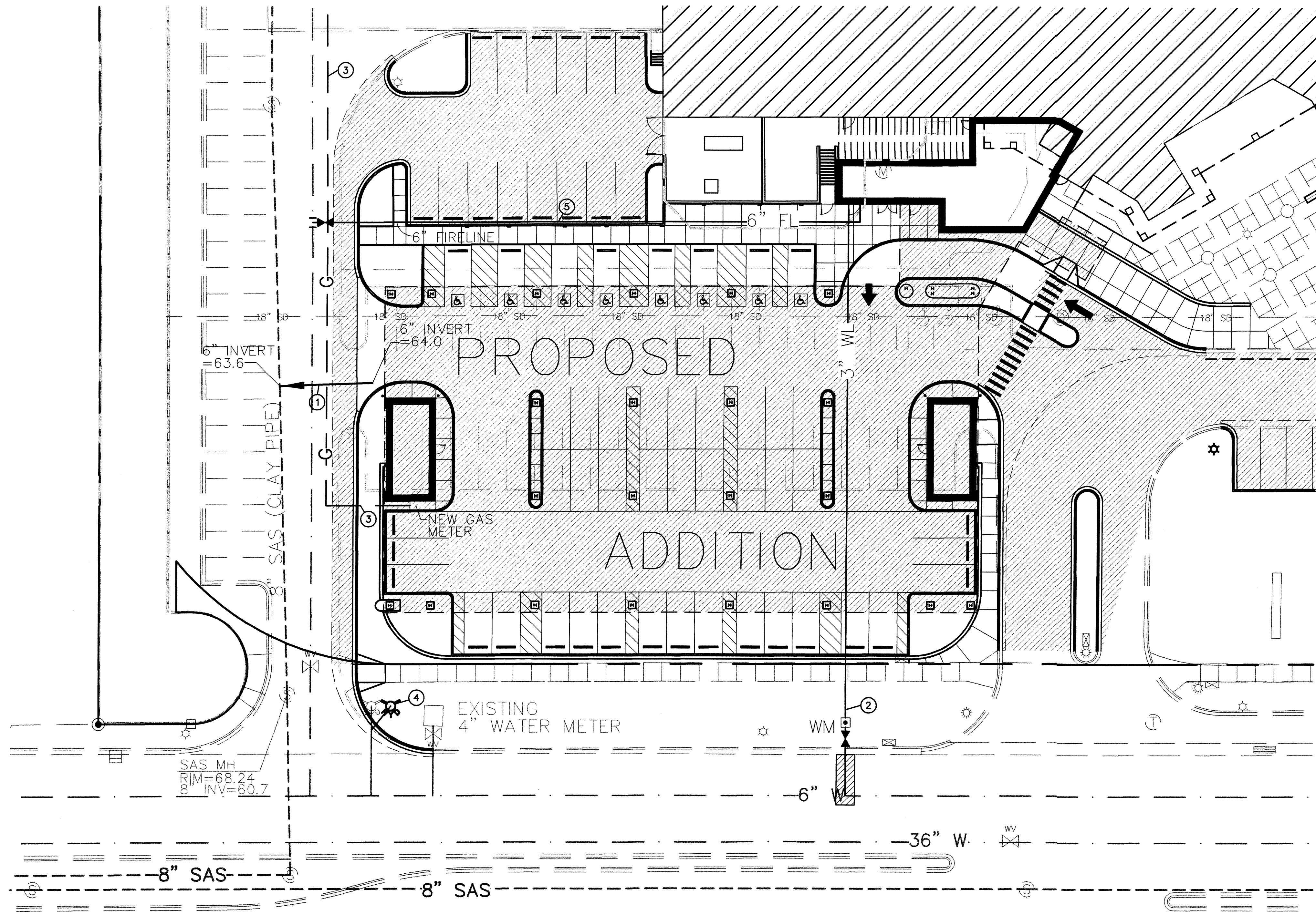
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 Medical Office Bldg./Neonatal Intensive Care Unit  
 Lovelace Sandia Health System  
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sheet title:  
**OVERALL UTILITY PLAN**

**C1.3**  
 (EPC/DRB)

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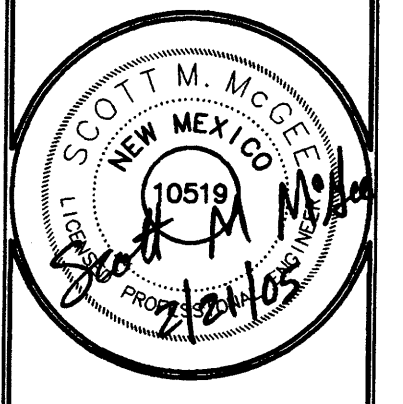
**KEYED NOTES**

- ① INSTALL NEW 6" SANITARY SEWER SERVICE FROM BUILDING TO PRIVATE ONSITE SEWER LINE. SEE PLUMBING PLAN FOR CONTINUATION.
- ② INSTALL 3" WATER SERVICE TO BUILDING, WITH 3" WATER METER IN VAULT PER COA STD DWG #2370. REMOVE AND REPLACE 12 SY ARTERIAL ASPHALT PAVING PER COA STD DWG #2465.
- ③ EXTEND GAS SERVICE TO BUILDING (SIZE PER MECHANICAL PLAN). CONTRACTOR SHALL COORDIANTE SERVICE EXTENSION WITH PNM GAS SERVICES.
- ④ RELOCATE EXISTING PUBLIC FIRE HYDRANT WITH 6" 45° BEND & 10 LF 6" WATER LINE.
- ⑤ INSTALL 185 LF 6" PRIVATE FIRELINE WITH 6" GATE VALVE & VALVE BOX.

**LEGEND**

- |                    |                               |
|--------------------|-------------------------------|
| — 6" W —           | EXISTING WATERLINE            |
| - - - 8" SAS - - - | EXISTING SANITARY SEWER       |
| - C -              | EXISTING GAS LINE             |
| — W —              | PROPOSED WATERLINE W/ FITTING |
| — W —              | PROPOSED WATER METER          |
| — S —              | PROPOSED SANITARY SEWER       |
| — G —              | PROPOSED GAS LINE             |

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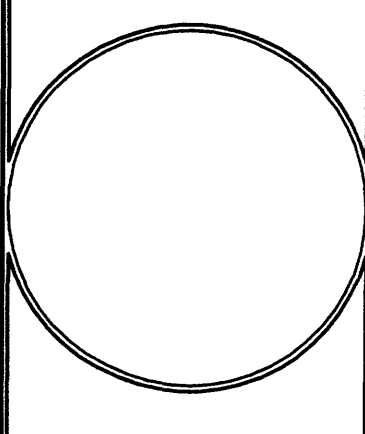
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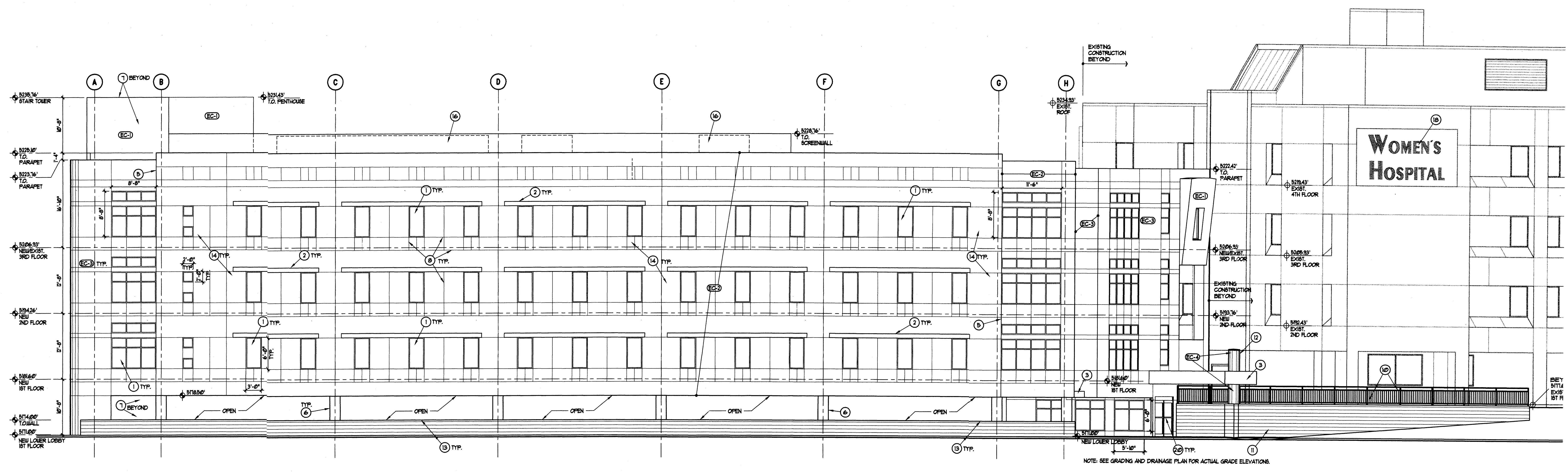
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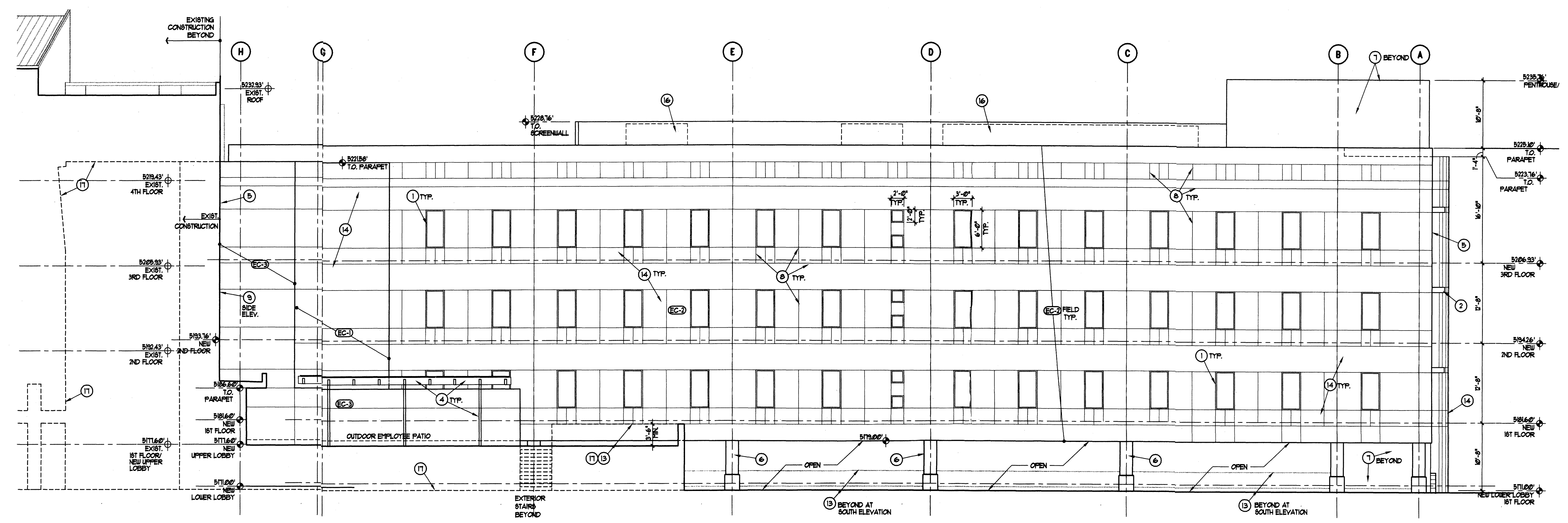
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sheet title:  
 ELEVATIONS



**SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"

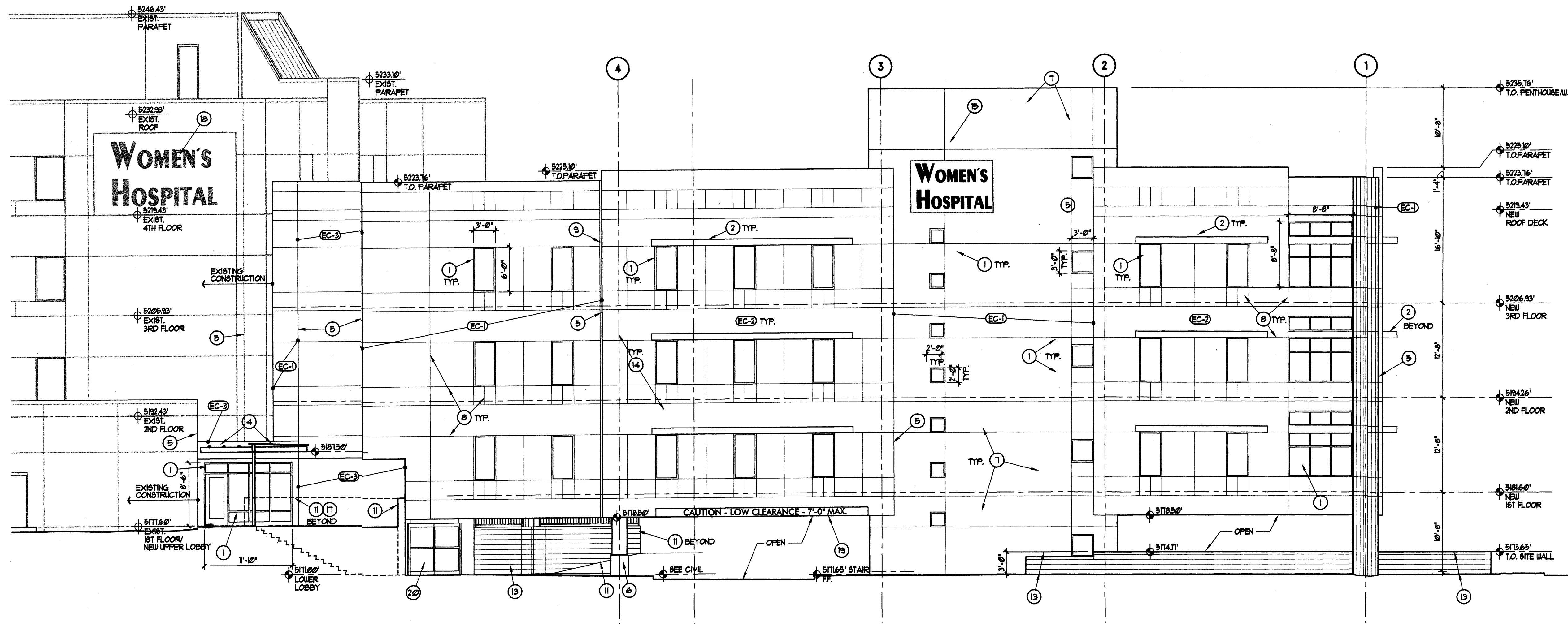


**NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"

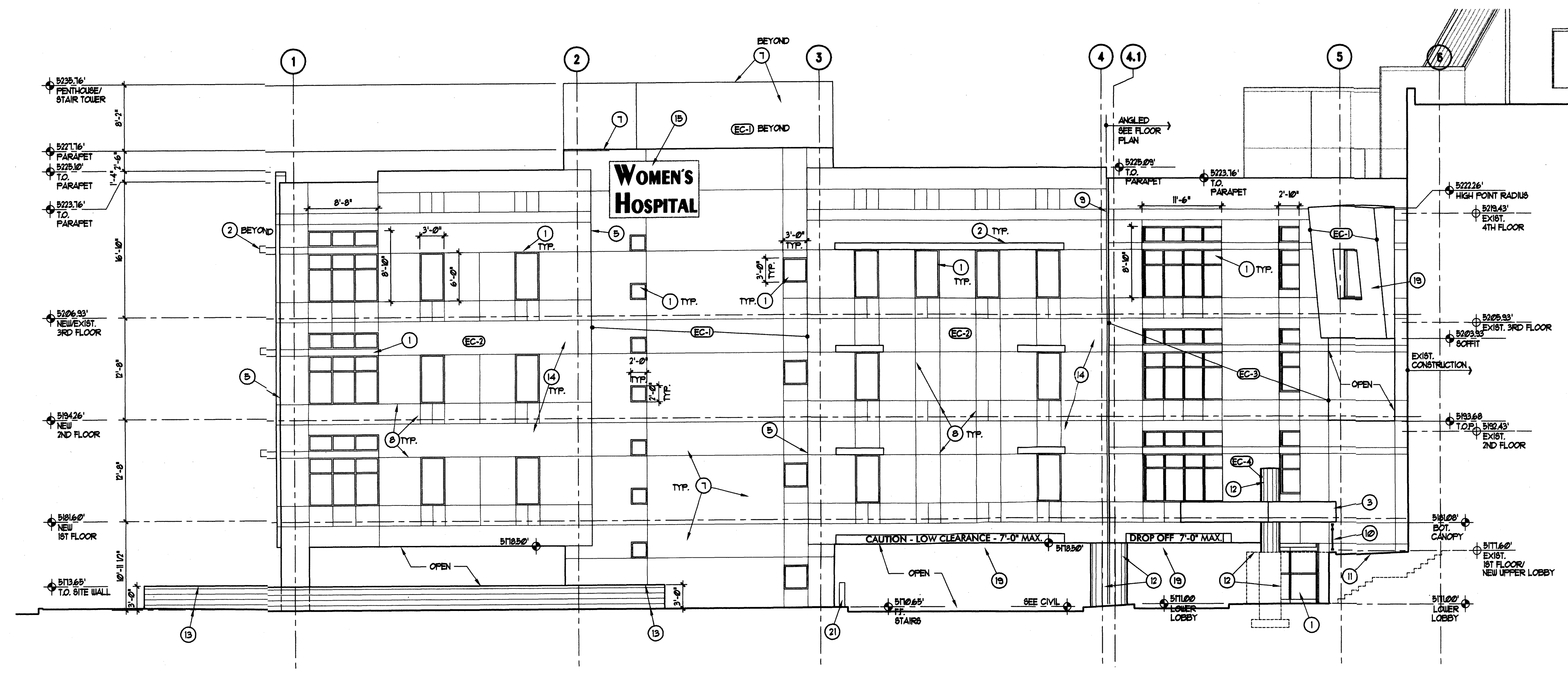
- FINISH NOTES**
- NOTE: UNLESS NOTED OTHERWISE (U.N.C.), BUILDING MATERIAL FINISH IS EXTERIOR INSULATION AND FINISH SYSTEM (E.I.F.S.) MATCH EXISTING HOSPITAL SAND FINISH TEXTURE.
- E.I.F.S. COLORS ARE CALLED OUT AS FOLLOWS:
- EC-1 = MATCH EXISTING HOSPITAL FIELD COLOR (LIGHT TAN)
  - EC-2 = NEW FIELD COLOR--LIGHT TO MEDIUM TAN
  - EC-3 = NEW ACCENT COLOR--LIGHT 'SALMON' PINK/TAN
  - EC-4 = MATCH EXISTING HOSPITAL 'DESERT ROSE' (MAUVE/PINK)
  - Q21 = MODULAR SIZE, RUNNING BOND. COLOR: TAN OR BROWN.

- KEYED NOTES**
1. 1" LOW-E INSULATED GLAZING IN CLEAR ANODIZED FINISH ALUMINUM STOREFRONT SYSTEM FRAMING.
  2. EYEBROW: PAINTED STEEL FRAMING. COLOR: WHITE OR CREAM
  3. CANOPY: E.I.F.S. SYSTEM ON METAL STUD FRAMING.
  4. PERGOLA: PAINTED TUBE STEEL FRAMING. COLOR: REDDISH BROWN/ RUST.
  5. LINE OF WALL OR PLANE CHANGE.
  6. COLUMN, RUBBED CONCRETE BASE. COLOR: PAINT LIGHT TAN. E.I.F.S. ABOVE 3'-0" ABOVE FINISH GRADE.
  7. STAIR TOWER & PENTHOUSE: E.I.F.S. SYSTEM ON METAL STUD FRAMING.
  8. V-GROOVE CONTROL JOINT. IN PATTERN SHAUN.
  9. CONTINUOUS THRU-WALL BUILDING EXPANSION JOINT.
  10. PAINTED STEEL GUARD/RAIL MEMBERS AT 4" O.C. SUPPORTS AT 8'-0" O.C. SUPPORT ON TOP OF RETAINING WALL. TOP FIN. 42" AFF. GRADE ON HIGH SIDE. COLOR: REDDISH BROWN/RUST.
  11. REINFORCED CMU RETAINING WALL. HEIGHT VARIES AS SHOWN.
  12. CANOPY COLUMN: E.I.F.S.-GLAD/METAL STUD FRAMED COLUMN COVER.
  13. CMU SITE OR WAINSCOT WALL. WITH 4" H SOLID CMU CAP BLOCK.
  14. TYP. FINISH: E.I.F.S. SYSTEM ON METAL STUD FRAMING.
  15. NEW BACKLIT SIGNAGE TO MATCH EXISTING, 11'-0" W X 1'-0" H OVERALL. 20" H AND 10" H LETTERING. BLUE LETTERS TO MATCH EXIST. TOTAL SIGNAGE AREA = 110 SQ. FT.
  16. ROOF-TOP MECHANICAL UNIT. PRE-FINISHED METAL PANEL SCREEN WALL WITH STEEL ANGLE FRAMING. COLOR: TAN
  17. DASHED LINE INDICATES LINE OF CONSTRUCTION IN BEYOND OR IN FOREGROUND - OMITTED FOR CLARITY.
  18. EXIST. BACKLIT SIGNAGE, 10'-0" W X 11'-0" H OVERALL. 42" H AND 30" H LETTERING. BLUE LETTERS TO MATCH EXIST. TOTAL SIGNAGE AREA = 209 SQ. FT.
  19. STEEL EYEBROW/ LOW CLEARANCE SIGN. TEXT AS SHOWN. 10" H LETTERS.
  20. ALUMINUM FRAME/ INSULATED GLAZING AUTOMATIC DOOR.
  21. 3'-0" HIGH 8" DIA. STEEL BALLARD. PAINT TRAFFIC YELLOW.
  22. CMU RETAINING WALL/GUARDRAIL/PLASTER SHOWN DASHED FOR CLARITY. SEE SITE PLAN.

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WEST ELEVATION  
SCALE: 1/8" = 1'-0"



EAST ELEVATION  
SCALE: 1/8" = 1'-0"

**FINISH NOTES**

NOTE: UNLESS NOTED OTHERWISE (UNO.), BUILDING MATERIAL FINISH IS EXTERIOR INSULATION AND FINISH SYSTEM (EIFS.) MATCH EXISTING HOSPITAL SAND FINISH TEXTURE.

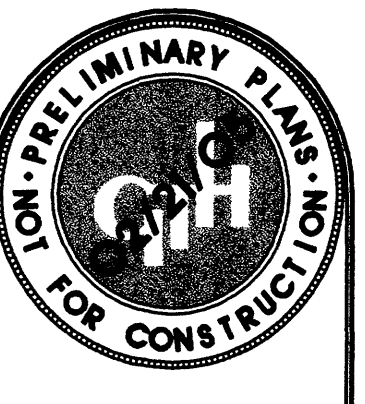
EIFS COLORS ARE CALLED OUT AS FOLLOWS:

- EC-1 • MATCH EXISTING HOSPITAL FIELD COLOR (LIGHT TAN)
- EC-2 • NEW FIELD COLOR--LIGHT TO MEDIUM TAN.
- EC-3 • NEW ACCENT COLOR--LIGHT 'SALMON' PINK/TAN
- EC-4 • MATCH EXISTING HOSPITAL 'DESERT ROSE' (MAUVE/PINK)

CMU • MODULAR SIZE, RUNNING BOND. COLOR: TAN OR BROWN.

**KEYED NOTES**

1. 1" LOW-E INSULATED GLAZING IN CLEAR ANODIZED FINISH ALUMINUM STOREFRONT SYSTEM FRAMING.
2. EYEBROW: PAINTED STEEL FRAMING. COLOR: WHITE OR CREAM
3. CANOPY: EIFS SYSTEM ON METAL STUD FRAMING.
4. PERGOLA: PAINTED TUBE STEEL FRAMING. COLOR: REDDISH BROWN/RUST.
5. LINE OF WALL OR PLANE CHANGE.
6. COLUMN: RUBBED CONCRETE BASE. COLOR: PAINT LIGHT TAN. EIFS ABOVE 3'-0" ABOVE FINISH GRADE.
7. STAIR TOWER: EIFS SYSTEM ON METAL STUD FRAMING.
8. V-GROOVE CONTROL JOINT. IN PATTERN SHOWN.
9. CONTINUOUS THRU-WALL BUILDING EXPANSION JOINT.
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13. CMU SITE OR WAINSCOT WALL, WITH 4" H SOLID CMU CAP BLOCK.
14. TYP. FINISH: EIFS SYSTEM ON METAL STUD FRAMING.
15. NEW BACKLIT SIGNAGE TO MATCH EXISTING. 11'-0" W X 11'-0" H OVERALL. 28" H AND 18" H LETTERING. BLUE LETTERS TO MATCH EXIST. TOTAL SIGNAGE AREA = 1112 SQ. FT.
16. ROOF-TOP MECHANICAL UNIT. PRE-FINISHED METAL PANEL SCREEN WALL WITH STEEL ANGLE FRAMING. COLOR: TAN. DASHED LINE INDICATES LINE OF CONSTRUCTION IN BEYOND OR IN FOREGROUND - OMITTED FOR CLARITY.
17. EXIST. BACKLIT SIGNAGE. 19'-0" W X 11'-0" H OVERALL. 42" H AND 30" H LETTERING. BLUE LETTERS TO MATCH EXIST. TOTAL SIGNAGE AREA = 209 SQ. FT.
18. EXIST. STEEL EYEBROW/ 'LOW CLEARANCE' SIGN. TEXT AS SHOWN. 10" H LETTERS.
19. ALUMINUM FRAME/ INSULATED GLAZING AUTOMATIC DOOR.
20. 3'-0" HIGH, 8" DIA. STEEL BOLLARD. PAINT TRAFFIC YELLOW.
21. CMU RETAINING WALL/GUARDRAIL/PLASTER SHOWN DASHED FOR CLARITY. SEE SITE PLAN.



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sheet title:  
 ELEVATIONS

**A4.2**  
 (EPC/DRB)