

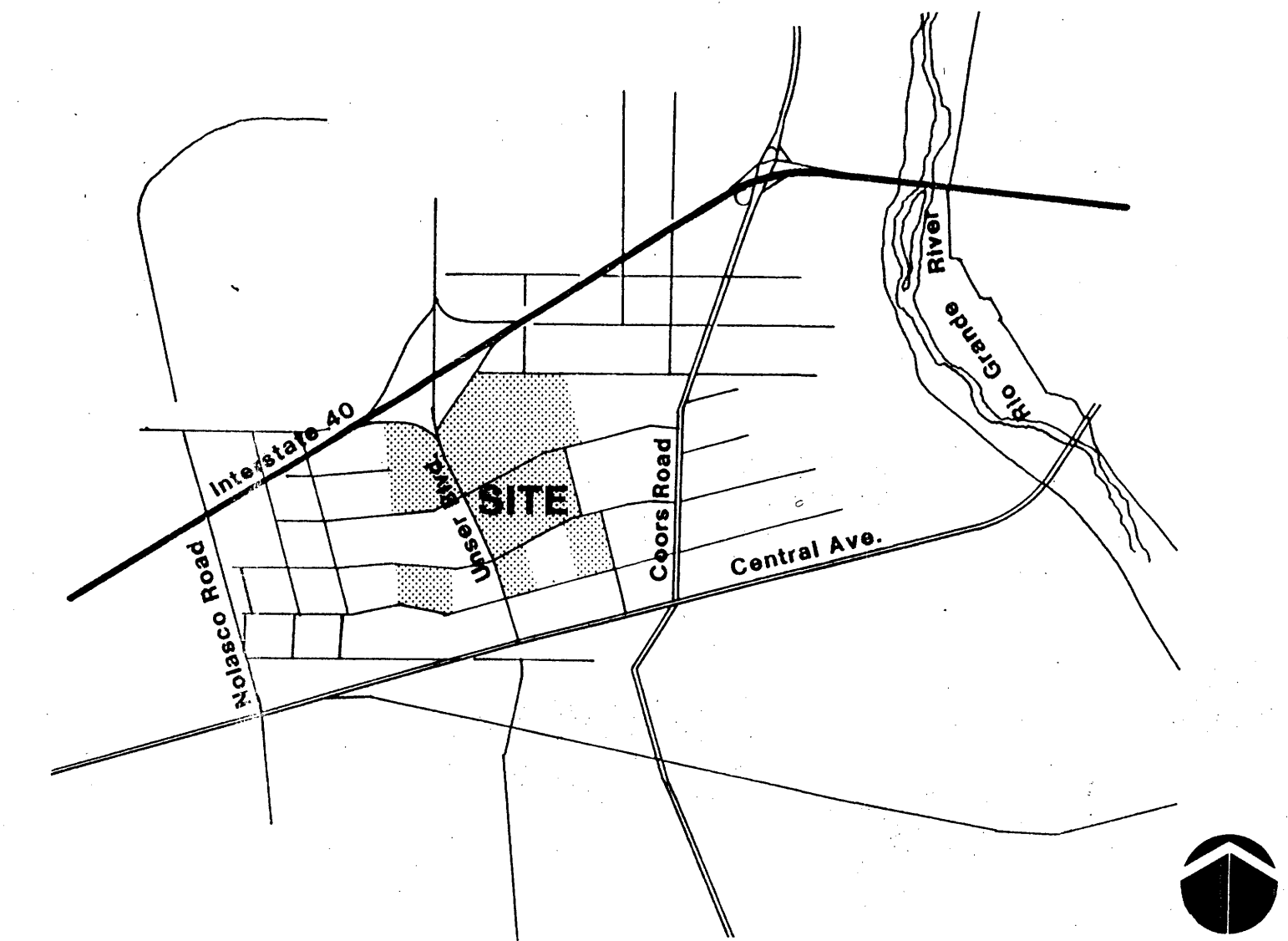
ATRISCO BUSINESS PARK

MASTER DEVELOPMENT PLAN FOR IP USES

EPC Case No. Z-92-57

Approved by the City of Albuquerque Environmental Planning Commission on October 15, 1992 subject to the following conditions:

1. All revised documents shall include all of the area in the boundaries of the Atrisco Business Park Master Plan.
2. It shall be clearly stated that all future development in the plan boundaries shall comply with the revised standards.
3. A minimum 20 foot landscaped buffer shall be provided between all property zoned for industrial use and residential zoning to create a reasonable visual separation. No exterior loading, service, trash or storage areas may be located adjacent to the residential zoning. Employee parking or building surfaces are the only appropriate uses adjacent to residential development and zoning.



Vicinity Map

Sheet Index

- 1 Illustrative Site Plan
- 2 Landscape Development Plan
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- 6 Conceptual Overall Drainage Plan (fully developed)
- 7 Conceptual Overall Drainage Plan (partially developed)
- 8 Conceptual Grading & Drainage Plan (2.5 & 10 acre sites)
- 9 Conceptual Grading & Drainage Plan (20 acre site)
- 10 Conceptual Grading & Drainage Plan (interim condition)

Project Team Directory

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Prepared By:

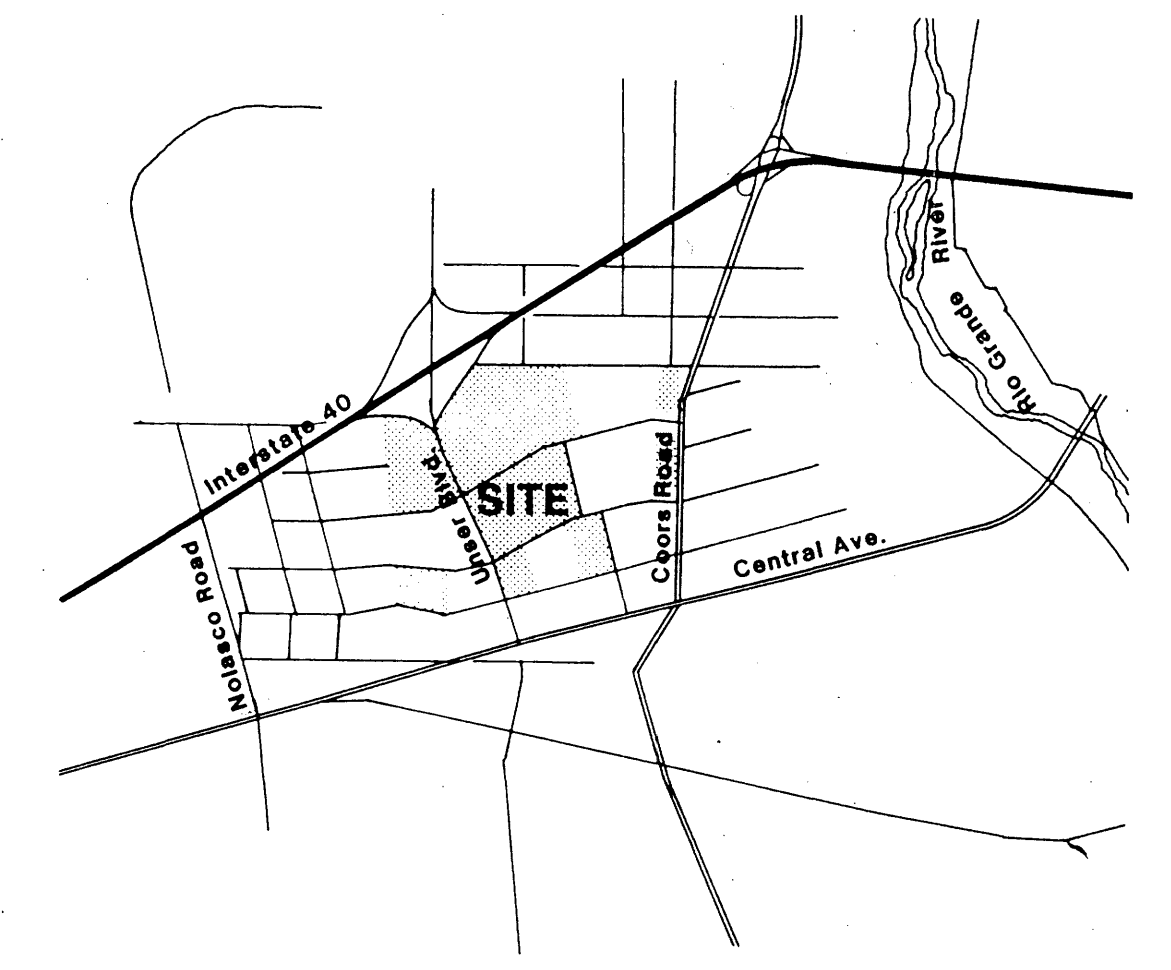
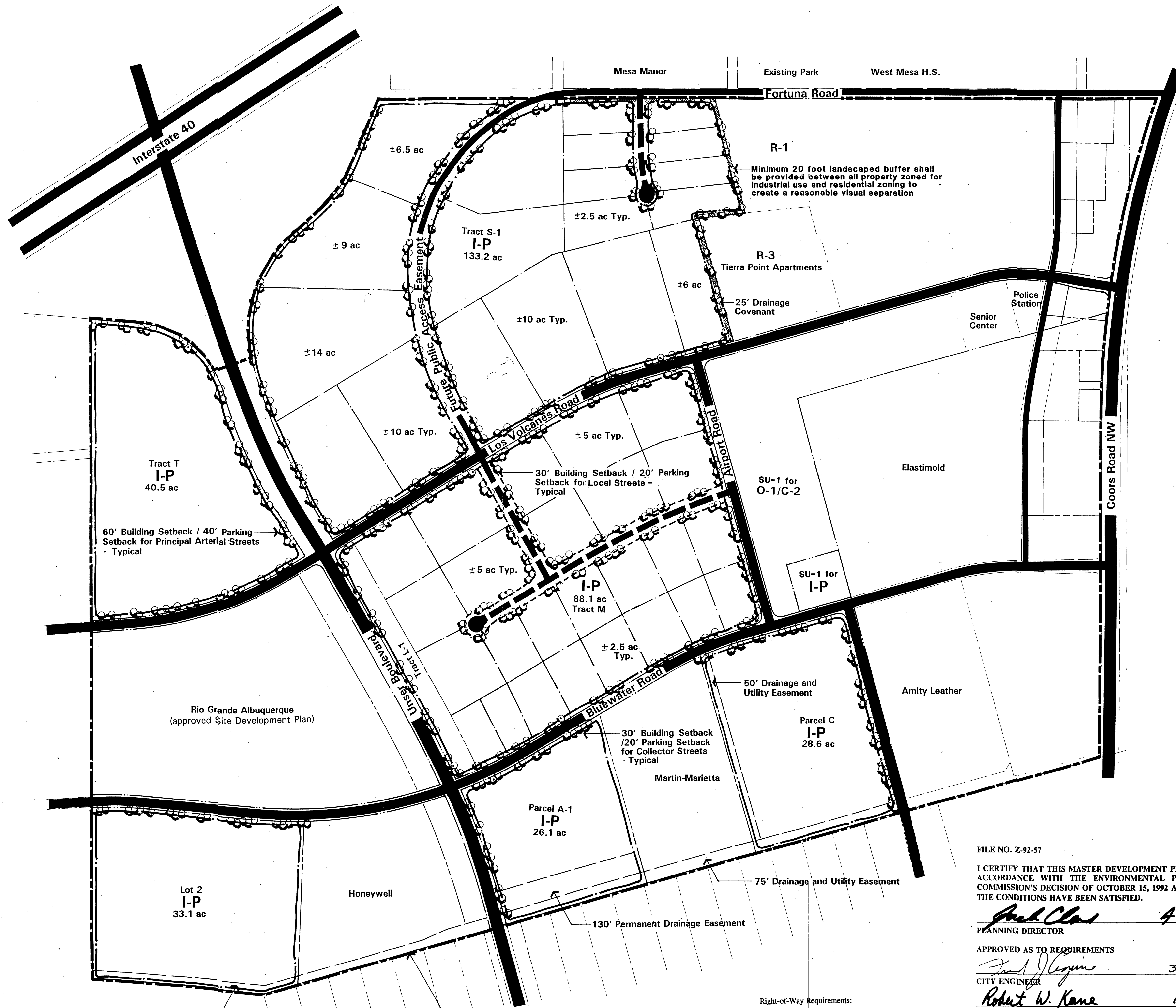
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October 28, 1992

200406



SITE VICINITY

LAND USE	NET ACRES
I-P	349.6

Note: Traffic and air quality analyses (August 1992) are approved subject to the following requirements:

- Reanalysis of TIS and air quality impacts after five years
- Evaluation of individual projects that exceed the maximum FAR of .3, or if the lot size and/or land use are significantly different than that analyzed.

Review of the Master Development Plan may be required in conjunction with the re-analysis. Additional conditions or infrastructure requirements may be a result of this analysis.

Note: Lot lines and interior roadways are for illustrative purposes only. Parcel boundaries and interior roadway alignments will be established in conjunction with future platting actions.

Note: All parcels and tracts indicated on this plan are within Unit 2 of the Atrisco Business Park Subdivision.

ILLUSTRATIVE MASTER DEVELOPMENT PLAN ATRISCO BUSINESS PARK

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FILE NO. Z-92-57

I CERTIFY THAT THIS MASTER DEVELOPMENT PLAN IS IN ACCORDANCE WITH THE ENVIRONMENTAL PLANNING COMMISSION'S DECISION OF OCTOBER 15, 1992 AND THAT THE CONDITIONS HAVE BEEN SATISFIED.

Frank Claus 4-16-93
PLANNING DIRECTOR DATE

Frank J. Legum 3-8-93
APPROVED AS TO REQUIREMENTS CITY ENGINEER DATE

Robert W. Kane 11-10-92
WATER RESOURCES DATE

James M. Stone 11/10/92
PARKS & RECREATION DATE

Michael H. DeWitt 11-23-92
TRAFFIC DATE

Right-of-Way Requirements:

Classification	Width
Collector	68 feet
Local	60 feet
Local/Cul-de-Sac	55 foot radius

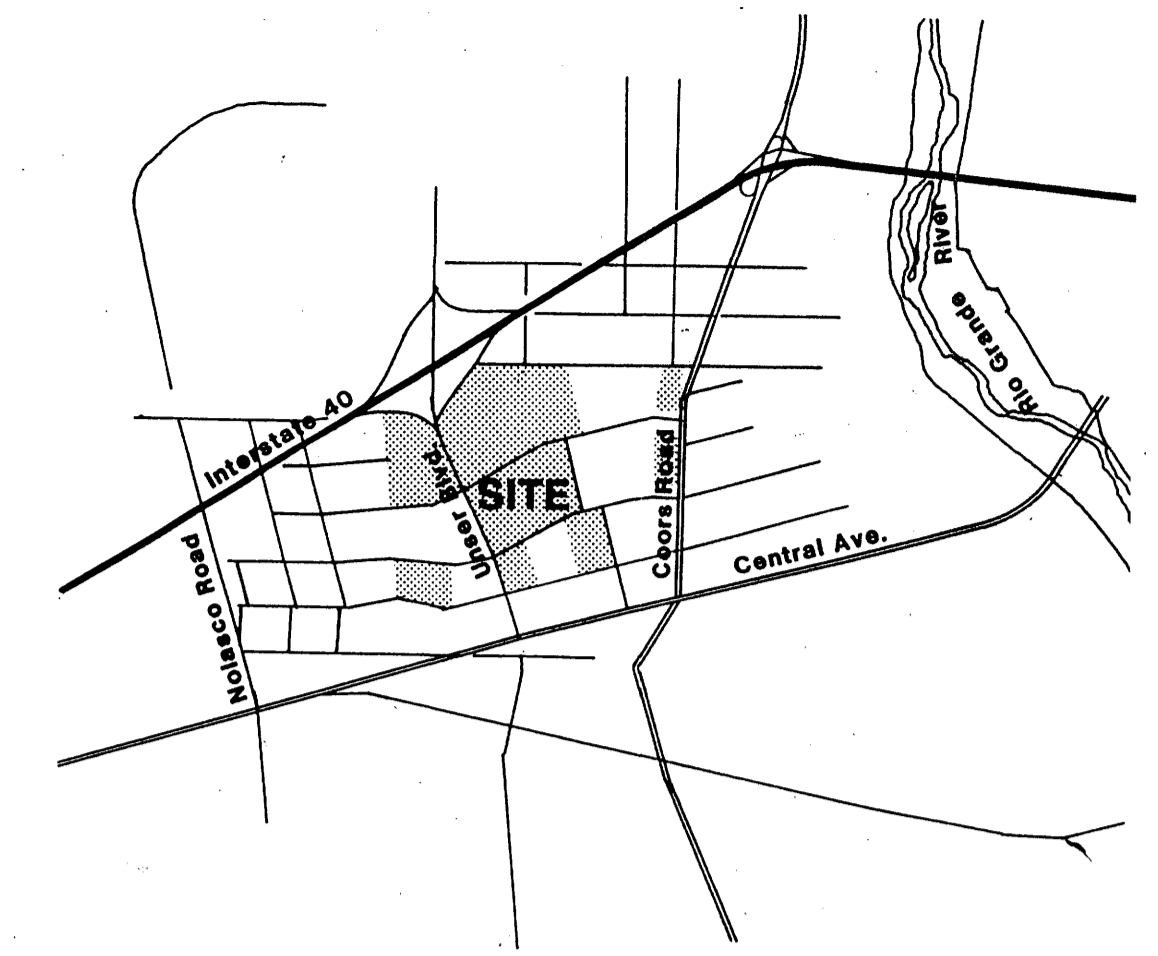
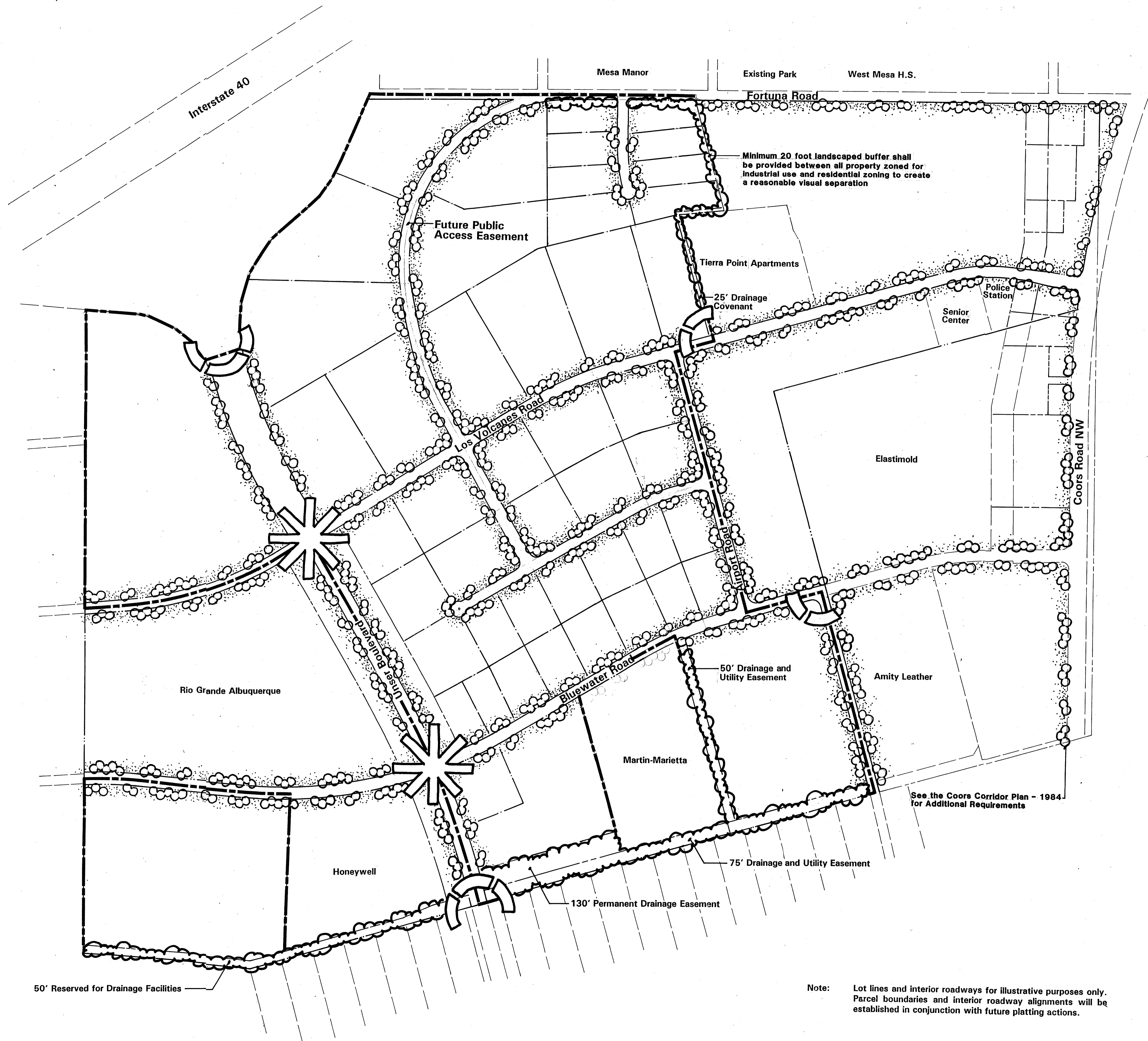
Atrisco Business Park Boundary Design standards (Sheets 3-5) shall apply to all properties within Atrisco Business Park.

50' Reserved for Drainage Facilities

Consensus Planning, Inc.
October 28, 1992


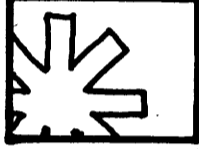
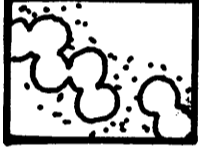
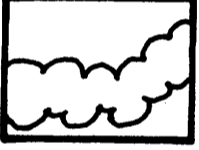
SCALE: 0 100 300 600 NORTH

Sheet 1 of 10 200406



SITE VICINITY

LEGEND

-  PROJECT ENTRY
-  MAJOR INTERSECTION
-  STREETSCAPE
-  OPEN SPACE

LANDSCAPE DEVELOPMENT PLAN

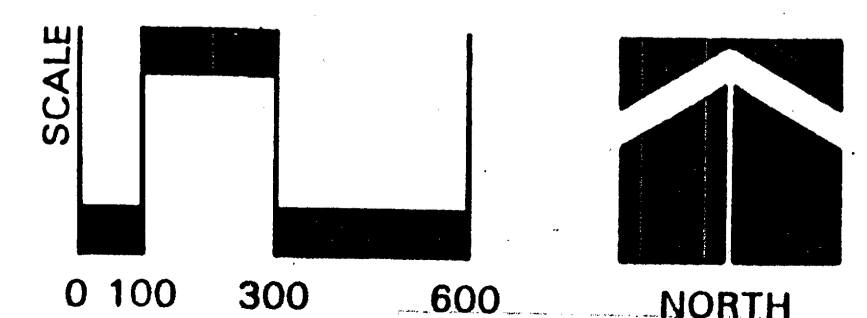
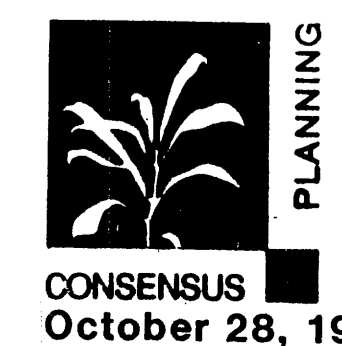
ATRISCO BUSINESS PARK

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DEVELOPMENT STANDARDS

The purpose of these Development Standards is to provide a framework to ensure a high quality character and visual appearance. These standards address the issues of landscape, setbacks, screening, lighting, signage, and drainage that will create the visual image for Atrisco Business Park. These standards are to be used as a supplement to the City of Albuquerque Comprehensive City Zoning Code and other pertinent City ordinances. These standards apply to all properties within the Atrisco Business Park.

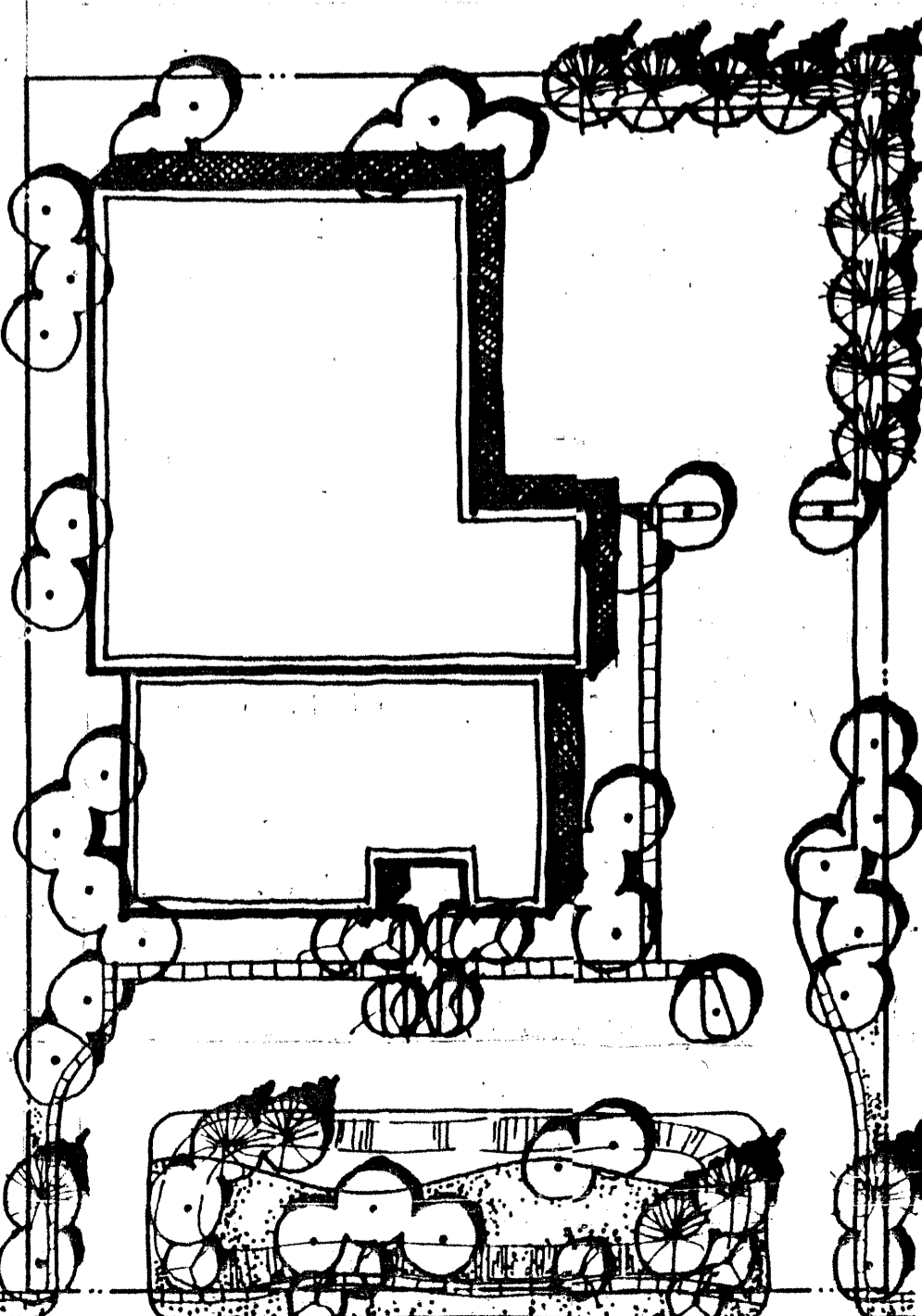
LANDSCAPE CONCEPT

The development of an overall landscape concept will establish a framework that unifies the individual sites within the Atrisco Business Park. To achieve a totally unified development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies. The landscape concept and the selection of the proper plant materials is extremely important as the landscape elements are the strongest unifying element for a project of this size.

LANDSCAPE STANDARDS

The following are minimum standards for the development of specific site landscape plans:

- A minimum of 20 percent of the net site area shall be devoted to landscape materials with an emphasis placed on areas with streetside exposure.
- Seventy-five percent of the required landscape area shall be covered with living vegetative materials. The area and percentage is calculated based on the mature canopy size of all plant materials.
- A minimum of 30 percent of the provided landscape area shall be covered with turf grasses. Areas of turf shall be located at the most prominent visual points, such as, vehicular and pedestrian entries to the site and buildings. Turf areas of turf shall be used to create visual corridors into specific sites.
- All landscape areas not covered with turf shall have a ground topping of crushed rock, river rock or similar material which extends completely under the plant material. Colors allowed shall be of the earth tone ranges, including pale shades of red.
- Headers shall be used to separate the turf and groundcover zones. Headers shall be either 6" x 6" concrete or 1/8" x 4" steel construction.
- The landscape treatment at prominent entries and intersections should change in terms of intensity, pattern, texture, scale or form to highlight these areas.
- One tree is required for each twenty-five linear feet of roadway. The required trees should be informally clustered with no more than a fifty foot gap between groupings and shall have a 60/40 mix of deciduous to evergreen trees.
- In addition to the street trees, one tree for every forty linear feet of the remaining site perimeter is required. Included in this area are the rear and side yard setbacks.
- To shade and mitigate the negative visual impact of large expanses of pavement, off-street parking areas shall have one tree for each ten parking stalls with no stall being more than 100 feet from a tree.
- Seventy-five percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least twenty-five feet.



A landscape strip of no less than 10 feet shall be maintained between a parking area and the street right-of-way.

As a minimum, a 20 foot landscaped buffer is required between industrial and residential uses. The buffer shall consist primarily of evergreen trees which must be at least 10 feet tall when planted and be capable of reaching a mature height of twenty-five feet. The trees shall be spaced at a maximum of thirty feet on center.

Minimum plant sizes at time of installation shall be as follows: Trees shall have a 2" caliper, or be 10 to 12 feet in height; shrubs and groundcovers shall be a one gallon container; and, turf grasses shall be capable of providing complete ground coverage within one growing season after installation.

All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of chemical spray or pervious filter material.

PLANT PALETTE

The plant materials for this project were selected based on qualities such as, cold hardiness, fast growth rate, minimal maintenance requirements, water conservation, aesthetic appeal, etc.

Street Trees

Fraxinus velutina	Velvet Ash
Fraxinus velutina 'Modesto'	Modesto Ash
Gleditsia triacanthos inermis	Honeylocust
Pinus flexilis	Limber Pine
Platanus wrightii	Arizona Sycamore
Prunus spp.	Flowering Plum varieties

Parking Area Trees, Shrubs & Groundcovers

Fraxinus velutina	Velvet Ash
Fraxinus velutina 'Modesto'	Modesto Ash
Gleditsia triacanthos inermis	Honeylocust
Pinus flexilis	Limber Pine
Zelkova serrata	Japanese Zelkova
Atriplex canescens	Four-wing Salt Bush
Chrysothamnus nauseosus	Chamisa
Fallugia paradoxa	Apache Plume
Potentilla fruticosa	Shrubby Cinquefoil
Rhus microphylla	Littleleaf Sumac
Ribes aureum	Golden Currant

General Use Trees, Shrubs & Groundcovers

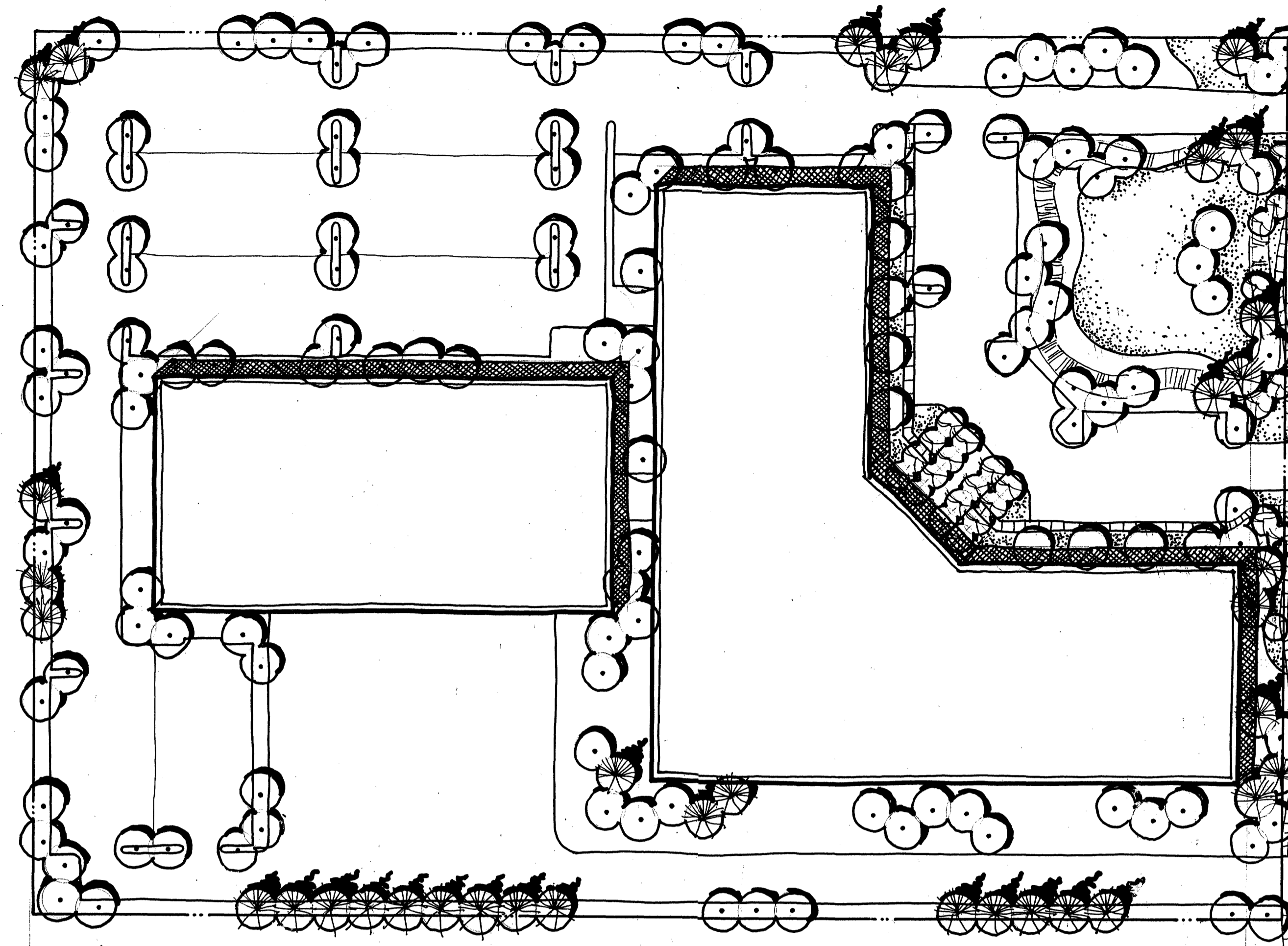
Acer grandidentatum	Big Tooth Maple
Acer saccharinum	Silver Maple
Cercis occidentalis	Western Redbud
Chilopsis linearis	Desert Willow
Crataegus phaenopyrum	Washington Hawthorn
Eleagnus angustifolia	Russian Olive
Forsythia neomexicana	New Mexico Olive
Fraxinus pennsylvanica lanceolata	Green Ash
Fraxinus velutina	Velvet Ash
Fraxinus velutina 'Modesto'	Modesto Ash
Gleditsia triacanthos inermis	Honeylocust
Pinus flexilis	Limber Pine
Pistache chinensis	Chinese Pistache
Platanus acerfolia	London Planetree
Platanus wrightii	Arizona Sycamore
Populus alba	White Poplar
Populus fremontii	Fremont Cottonwood
Prunus spp.	Flowering Plum varieties
Zelkova serrata	Japanese Zelkova

Artemisia tridentata	Big Leaf Sage
Atriplex canescens	Four-wing Saltbush
Baccharis pilularis	Dwarf Coyotebush
Berberis thunbergii	Japanese Barberry
Caesalpinia gilliesii	Bird of Paradise
Chrysothamnus nauseosus	Chamisa
Clematis ligusticifolia	Western Virginbower
Cotoneaster spp.	Cotoneaster
Fallugia paradoxa	Apache Plume
Forsythia intermedia	Forsythia
Genista hispanica	Spanish Broom
Juniperus horizontalis var.	Creeping Juniper varieties
Juniperus chinensis var.	Chinese Juniper varieties
Ligustrum japonica	Wax-leaf Privet
Lonicera japonica halliana	Hall's Honeysuckle
Mahonia aquifolium	Oregon Grape
Mahonia repens	Creeping Mahonia
Mirabilis multiflora	Giant Four O'clock
Oenothera caespitosa	White Evening Primrose
Parthenocissus inserta	Woodbine
Photinia fraseri	Photinia
Photinia glabra	Japanese Photinia

TYPICAL 2.5 ACRE SITE

SITE DATA

Net Site Area:	112,000 s.f. (2.5 ac)
Building Area:	33,600 s.f. (.3 FAR)
Parking Spaces Required:	33 (2 hdcp)
Parking Spaces Provided:	42 (2 hdcp)
Landscape Area Required:	22,400 s.f.
Landscape Area Provided:	34,780 s.f.



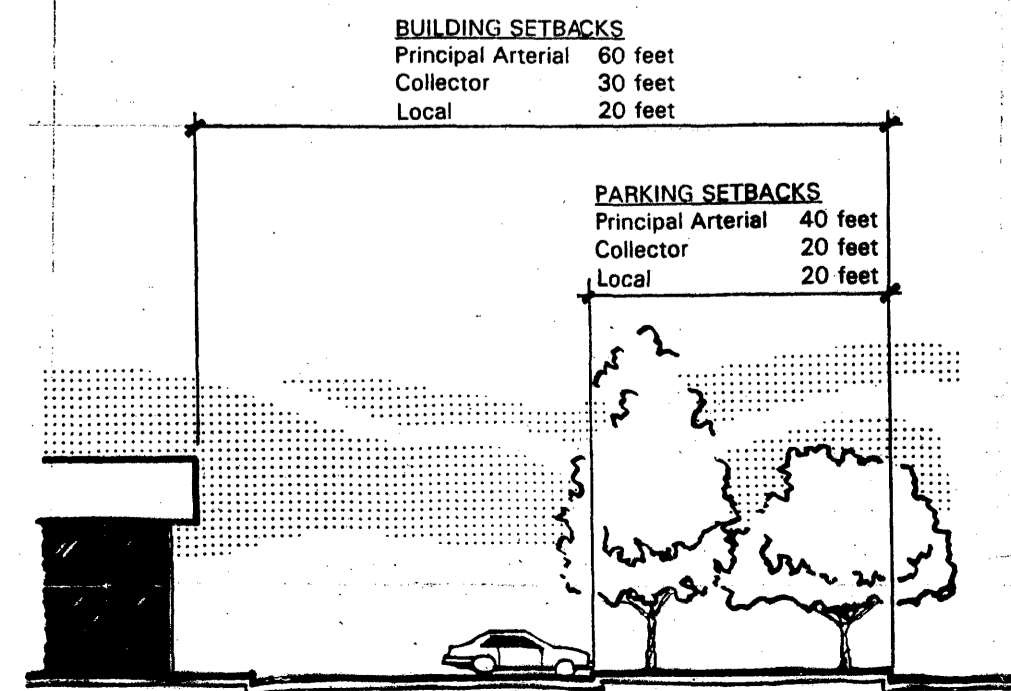
Raphiolepis indica	India Hawthorn
Rhus microphylla	Littleleaf Sumac
Rhus trilobata	Threeleaf Sumac
Ribes aureum	Golden Currant
Ribes cereum	Wax Currant
Salvia dorrii	Desert Sage
Salvia greggii	Cherry Sage
Verbena bipinnatifida	Fern Verbena
Verbena rigida	Verbena

Festuca rubra varieties	Creeping Red Fescue
Poa pratensis varieties	Kentucky Bluegrass Varieties

Aster bigelovii	Purple Aster
Baileya multiradiata	Desert Marigold
Coreopsis tinctoria	Plains Coreopsis
Eschscholzia californica	California Poppy
Gaillardia aristata	Blanket Flower
Gaillardia pulchella	Firewheel
Liatris punctata	Gayfeather
Linum lewisii	Blue Flax
Melanopodium leucanthum	Blackfoot Daisy
Oryzopsis hymenoides	Indian Ricegrass
Penstemon spp.	Wild Snapdragon
Psilostrophe tagentina	Paperflower
Ratibida columnaris	Cone Flower
Zinnia spp.	Zinnia

SETBACKS

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways, screening devices and landscape improvements (refer to Landscape Standards). These measures are taken to ensure the aesthetic appeal of Atrisco Business Park.



TYPICAL 10 ACRE SITE

SITE DATA

Net Site Area:	448,000 s.f. (10.3 ac)
Building Area:	134,400 s.f. (.3 FAR)
Parking Spaces Required:	371 (12 hdcp)
Parking Spaces Provided:	376 (12 hdcp)
Landscape Area Required:	89,600 s.f.
Landscape Area Provided:	112,325 s.f.

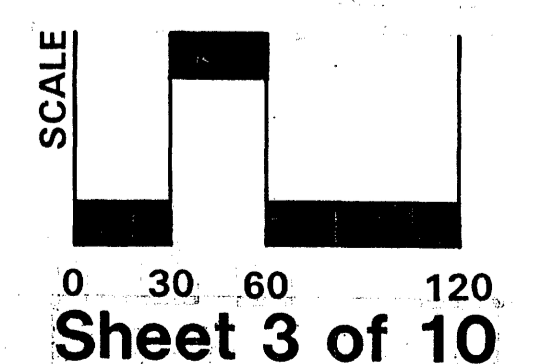
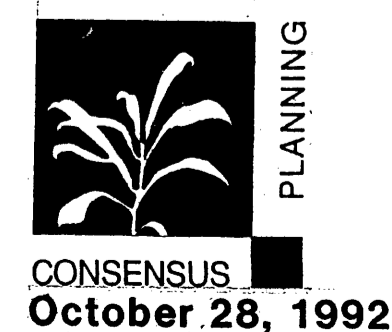
DEVELOPMENT SKETCHES ATRISCO BUSINESS PARK

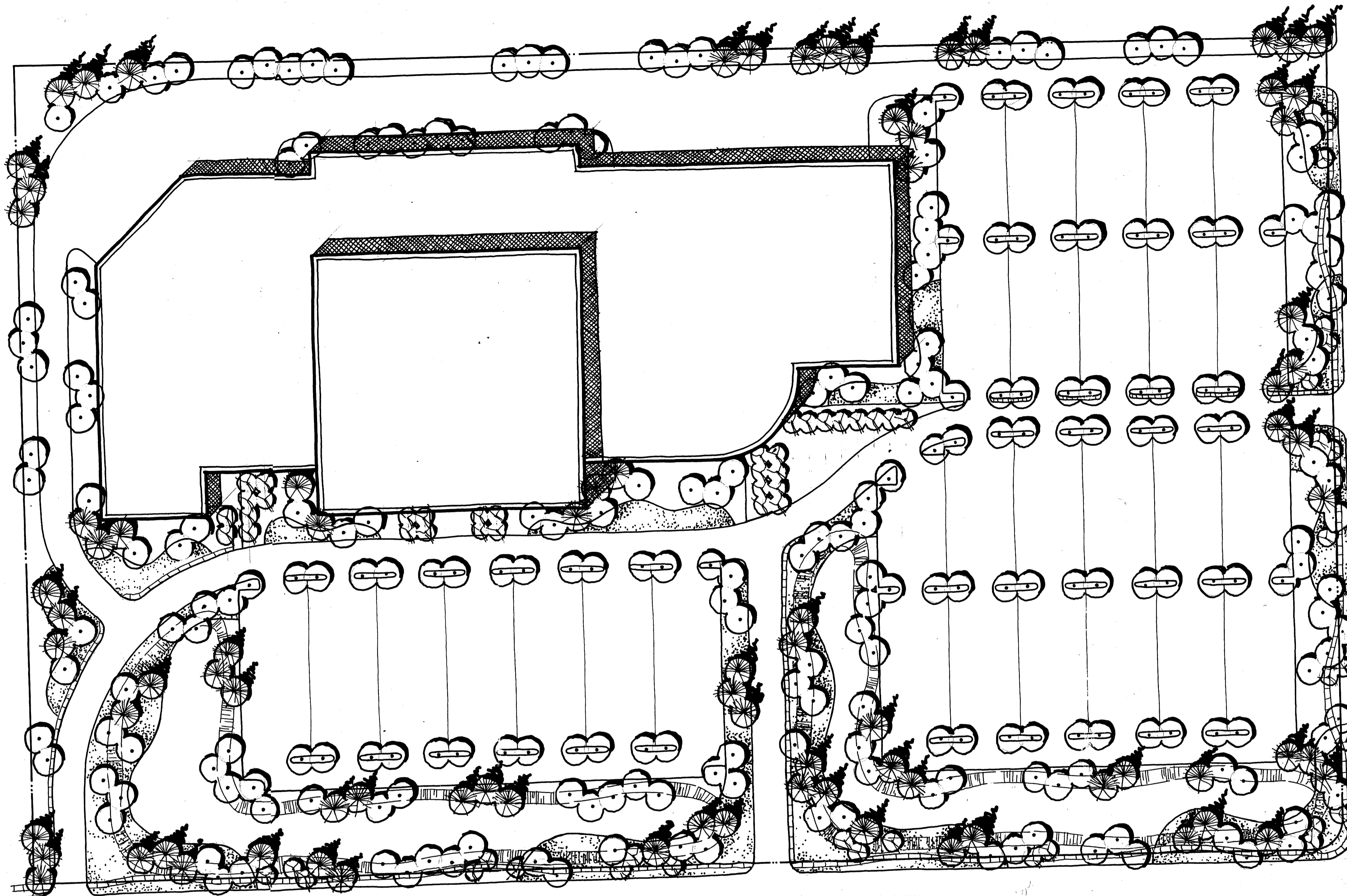
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TYPICAL 20 ACRE SITE

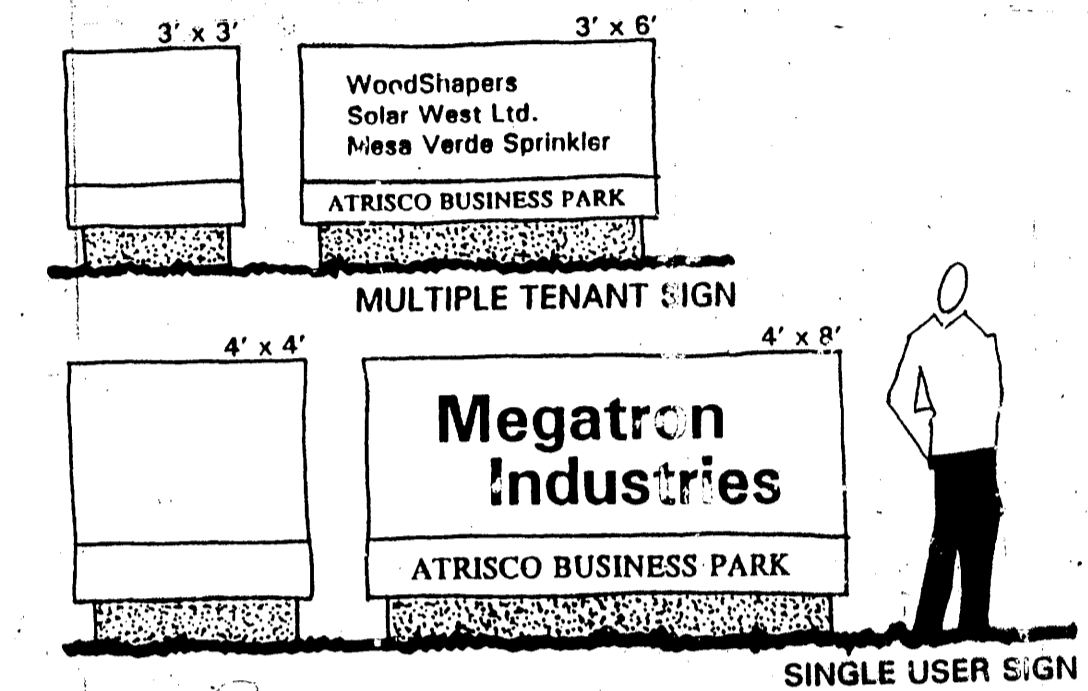
SITE DATA

Net Site Area:	911,250 s.f. (20.9 ac)
Building Area:	273,375 s.f. (.3 FAR)
Parking Spaces Required:	840 (20 hdep)
Parking Spaces Provided:	903 (20 hdep)
Landscape Area Required:	182,250 s.f.
Landscape Area Provided:	255,570 s.f.

The following are general guidelines for signage design and placement:

- All elements of a sign shall be maintained in a visually appealing manner.
- Free-standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.
- No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- All signage shall be designed to be consistent with and complement the materials, color, and architectural style of the building or site location.
- Signage may be illuminated by concealed light sources located flush with grade or with back lit channel letters.
- No sign shall overhang into the public right-of-way or extend above the building roof line.
- One free-standing sign is allowed for each street frontage of each premises which has at least 200 linear feet of street frontage.

Building identification signs, tenant signs, and directional signs make up the total signage package.



Building Identification Signs

These signs identify the complex name of multi-tenant buildings or the company name of single-user buildings. Generally, these will be free-standing signs that shall not exceed 32 square feet in total area and shall be limited to the dimensions indicated below. Free-standing signs shall be placed at the back of the public right-of-way line but outside of the safety vision triangle at entries and intersections.

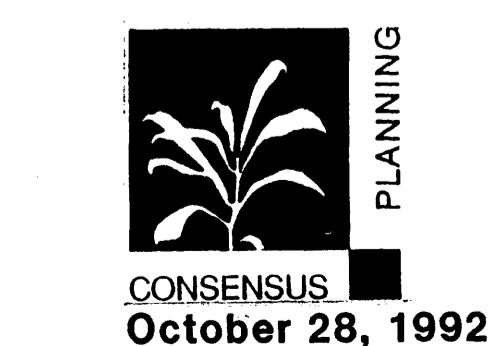
DEVELOPMENT SKETCHES ATRISCO BUSINESS PARK

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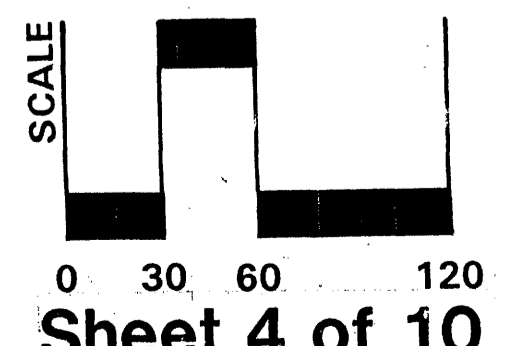
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October 28, 1992

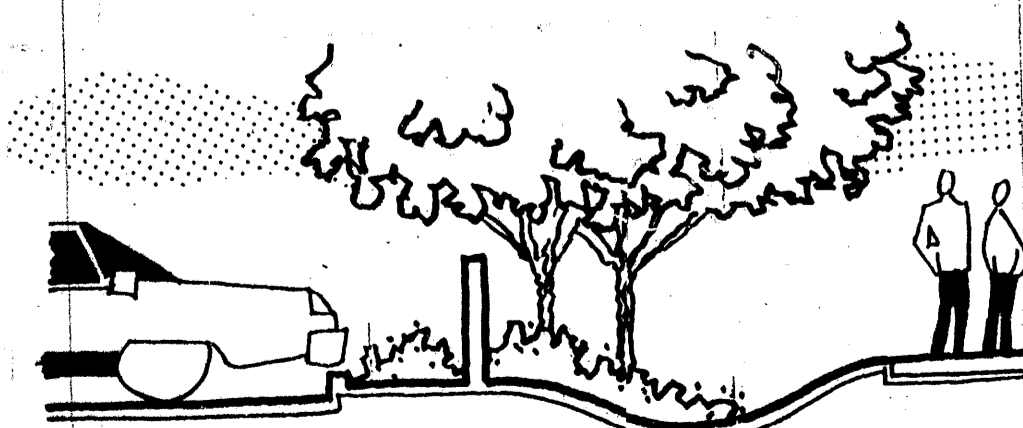


SCREENING / WALLS AND FENCES

The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on surrounding developments. The site orientation of the above service functions will be away from any street or pedestrian area. The guidelines established in the landscape and setback sections will provide the main element to screening objectionable views and activities. Walls and fences will also serve a major screening function within the Atrisco Business Park landscape. However, if walls are not required for a specific screening or security purpose, they should not be utilized. The intent is to keep walls and fences as low as possible while performing their screening and security functions.

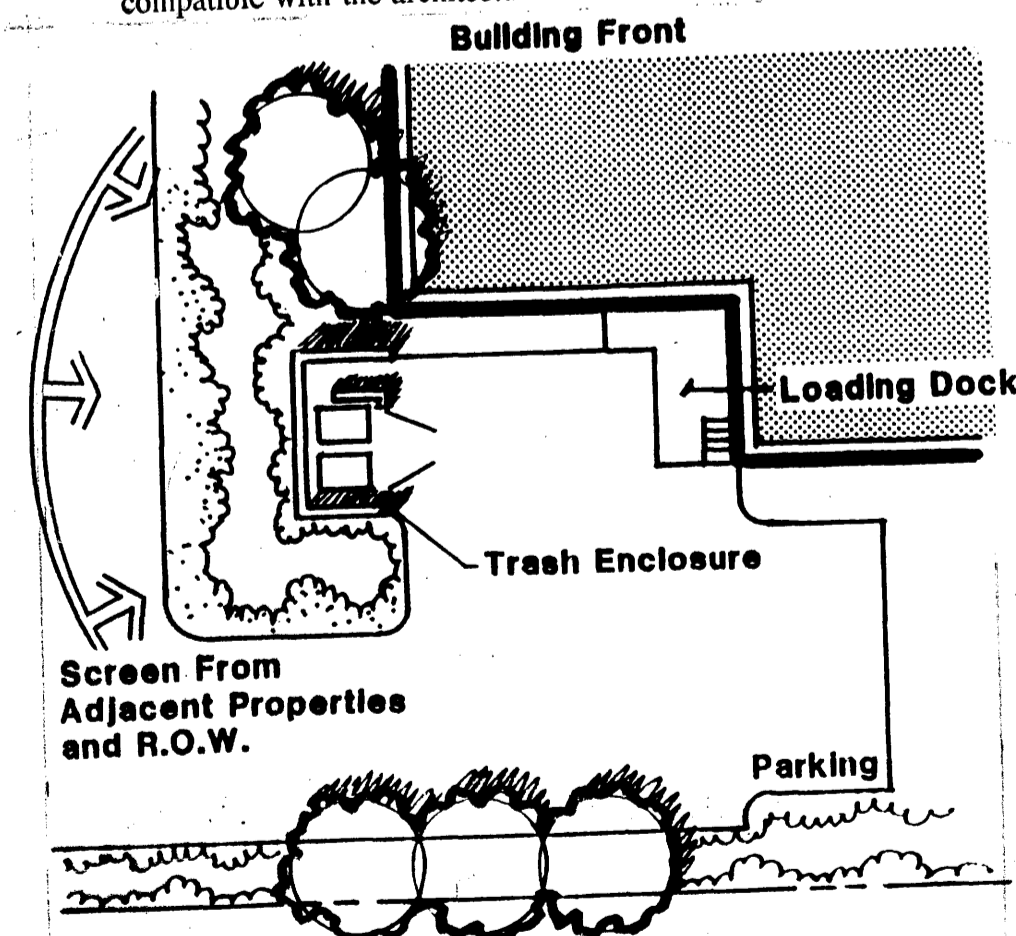
The following are standards to ensure effective screening of negative elements:

- Parking areas shall be screened from adjacent streets and properties with a combination of plant materials, walls, and earthen berms. Such screening shall have a minimum height of 4 feet. Visitor parking should not be completely screened from adjacent streets. Appropriate signage and/or highlighted landscaping should be used to direct visitors.



All outdoor refuse containers shall be screened within a minimum 6 foot tall masonry enclosure which is large enough to contain all refuse generated between collections.

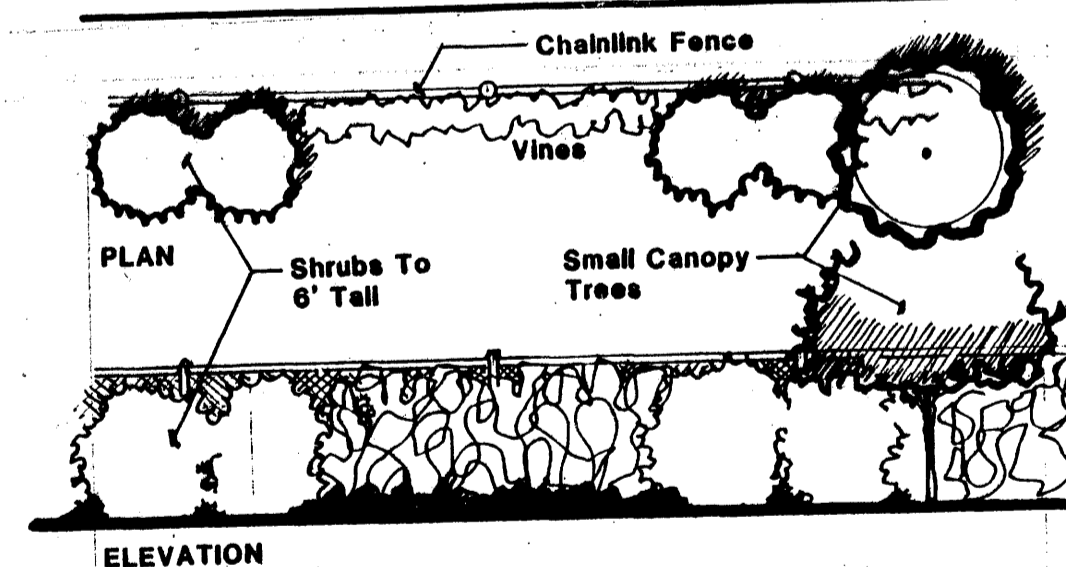
The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the site.



No refuse collection areas shall be allowed between any street and building front.

When security fencing is required, it should be a combination of masonry pillars or short solid wall segments combined with decorative wrought iron or similar decorative fencing. (The use of chain link fencing is not acceptable in front of the building setback line and shall be visually screened from adjacent public rights-of-way in the built out condition of the park.)

The use of barbed or concertina wire is not permitted on the top of fences or walls.



LIGHTING STANDARDS

In order to enhance the safety, security and visual aesthetics of the Atrisco Business Park, careful consideration must be given to lighting design and features. To ensure a quality development, it is important to consider the daytime appearance of lighting fixtures. The lighting element is another site feature which contributes to the overall character of the development.

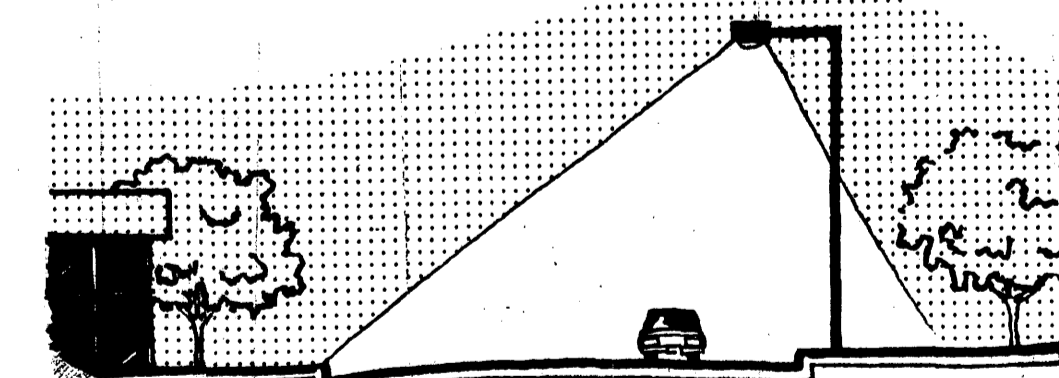
The following are a few general guidelines to consider for the design of the lighting system:

- Placement of fixtures and standards shall conform to state and local safety and illumination requirements.
- Individual site lighting standards should blend with the architectural character of the building and other site fixtures.
- A design objective of the site lighting system must be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.
- Street lighting should be designed to enhance the safety of vehicular and pedestrian traffic at key points along the roadway.

Street light standards may range from 30 to 40 feet above the roadway.

The height of parking area lights may range from 20 to 30 feet.

Area lighting should be used to highlight public spaces and walkways. Area lighting standards may range from 10 to 15 feet in height. The use of walkway level lighting, such as lollipop lights or wall pocket lights, is encouraged to accent pedestrian zones.



Additional landscape lighting is encouraged to enhance certain landscape features. Such lighting should be either concealed at grade or be mounted in trees to "moonlight" areas.

SIGNAGE STANDARDS

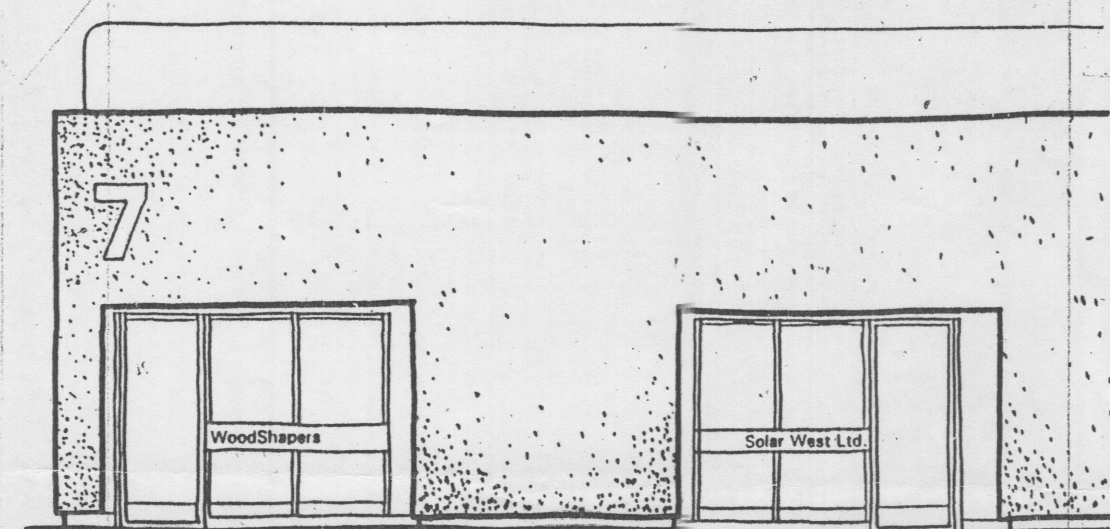
These signage standards were developed as reasonable criteria to regulate the size, location, type, and quality of sign elements within Atrisco Business Park. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety; and, to complement the visual character of the development.

SIGNAGE (cont.)

Signage for multi-tenant buildings shall identify the building number, complex name and/or address. The individual businesses will be identified at the tenant's store front and at a centrally located directory sign. For a single-user building, the sign shall identify the user and/or address. The user may also have a wall-mounted sign on the building.

Tenant Signs

Within multi-tenant buildings or complexes, the individual tenant signs shall consist of wall-mounted signs which are uniform in terms of color, shape, and dimensions to all such signs within the complex. Wall-mounted signage shall be made of panels. No signage may be printed directly on the wall surface and no individual letters may be attached to the building.



MULTIPLE USER TENANT SIGN

Directional Signs

Directional signs are used to direct visitors to individual businesses located within the complex or buildings. These signs may be either free-standing or wall-mounted but shall be compatible with the design, size, and materials of other signs within the complex.

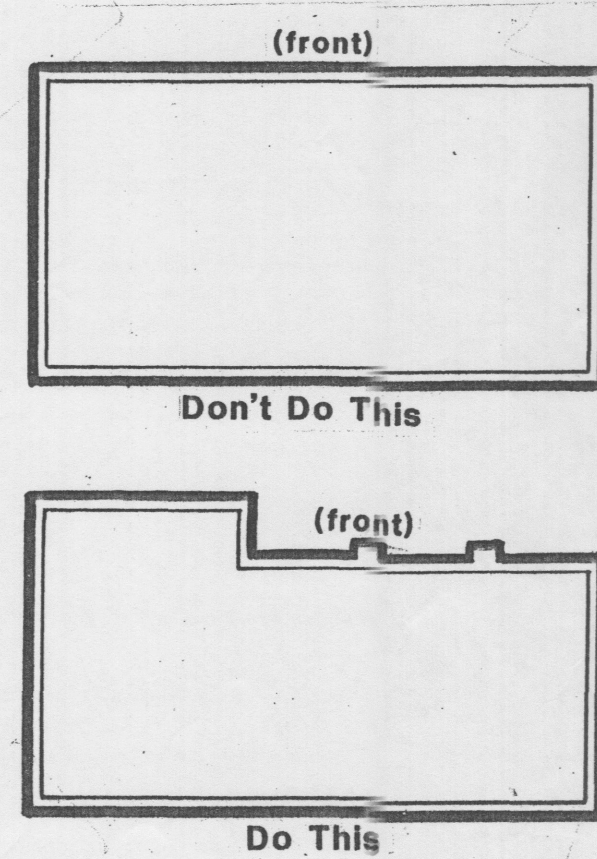
ARCHITECTURAL OBJECTIVES

Specific architectural style shall not be dictated. The design shall, however, demonstrate a high degree of quality ensuring pleasing aesthetics throughout the project.

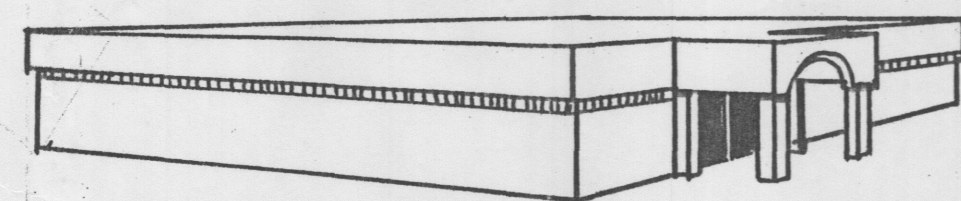
Architectural design should respond to climate, views, solar access, and aesthetic considerations, with development design being in harmony with adjoining projects.

All buildings shall conform to the following requirements:

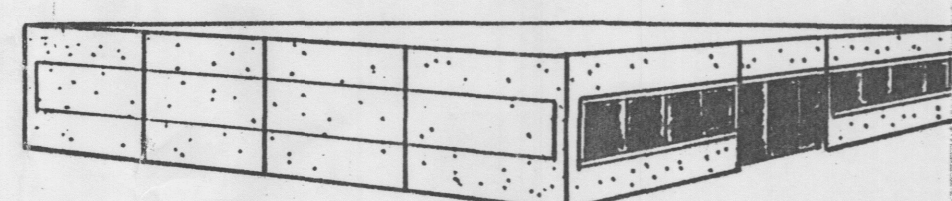
- A. All buildings and structures erected within the site shall comply with all applicable City of Albuquerque zoning and building code requirements as well as other local applicable codes.
- B. Building design and construction shall be used to create a structure with attractive sides of high quality, rather than placing all emphasis on the front elevation of the structure and neglecting or downgrading the aesthetic appeal of the side and rear elevations. Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of similar compatible design and materials.
- C. Finished building materials must be applied to all exterior sides of buildings and structures. Each material must be compatible with the natural surroundings and other buildings and structures in the general vicinity. Pre-engineered metal buildings with masonry or equivalent skin applied to all facades are allowed. Metal skin is not considered a finished building material.
- D. Design techniques which can be utilized to help overcome typical unattractive and monotonous facades generally associated with industrial structures are as follows:
 - 1) Employ variety in structural forms that create visual character and interest.
 - 2) Avoid long, unarticulated facades. Facades should have varied front setbacks with wall planes not running in one continuous direction for more than 50 feet without a change in architectural treatment (i.e. 3' minimum offset, fenestration, material change, etc.).



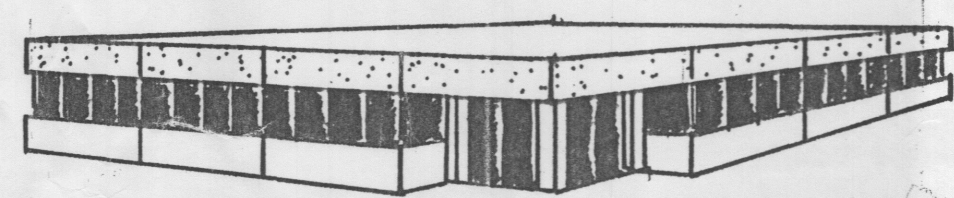
- 3) Entries to industrial structures should portray a quality office appearance while being architecturally tied into the overall mass and building composition.
- 4) Windows and doors are key elements of any structure's form and should relate to the scale of the elevation on which they appear. The use of recessed openings help to provide depth and contrast on elevation planes.
- 5) Sensitive alteration of colors and materials can produce diversity and enhance architectural forms.
- 6) The staggering of planes along an exterior wall elevation creates pockets of light and shadow, providing relief from



Indented or colored banding and entry projection

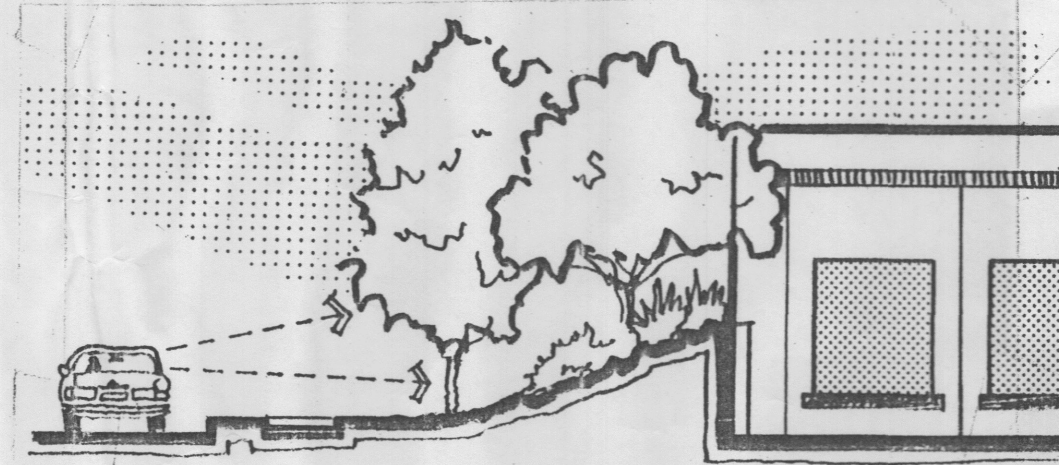


Textured walls, window glazing, and vertical/horizontal seams

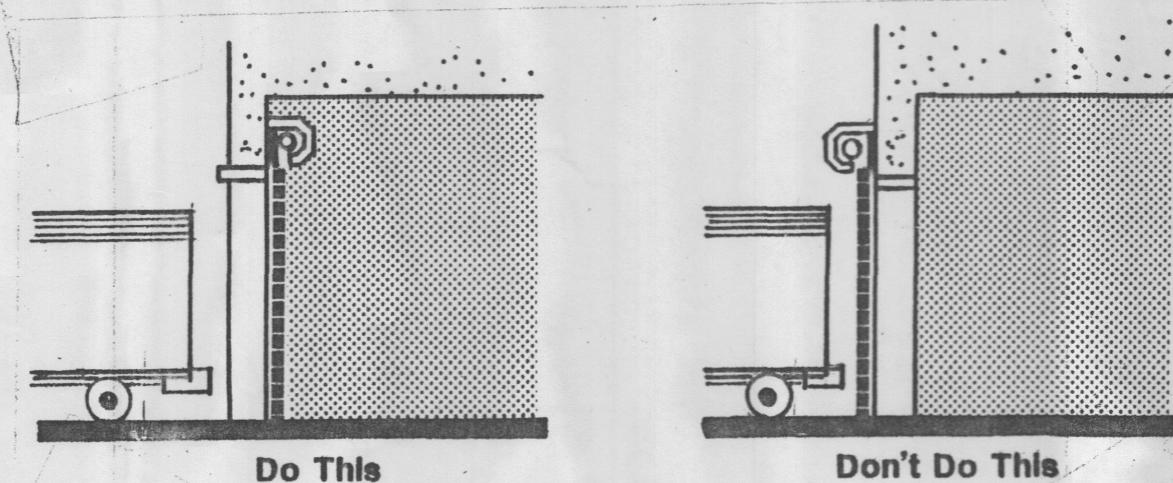


Indented entry, colored banding, and window glazing

- 7) monotonous expanses of facade.
 - 7) Corner lots are defined to have fronts on both streets they abut. All provisions relating to the front facade shall apply to both street faces of a corner lot.
- E. Design elements which are undesirable and should be avoided include:
 - 1) Highly reflective surfaces at the ground story.
 - 2) Exposed, untreated precision block walls.
 - 3) Chain link fence or barbed wire.
 - 4) Metal used as the main architectural feature.
 - 5) Attached mansard roofs on small portions of the roofline.
 - 6) Materials with high maintenance requirements. Wood facings are expressly prohibited.
- F. Wall materials should be chosen that will withstand abuse by vandals, easily repaired, or accidental damage by machinery.
- G. Berming in conjunction with landscaping can be used at the building edge to reduce structure mass and height along facades.

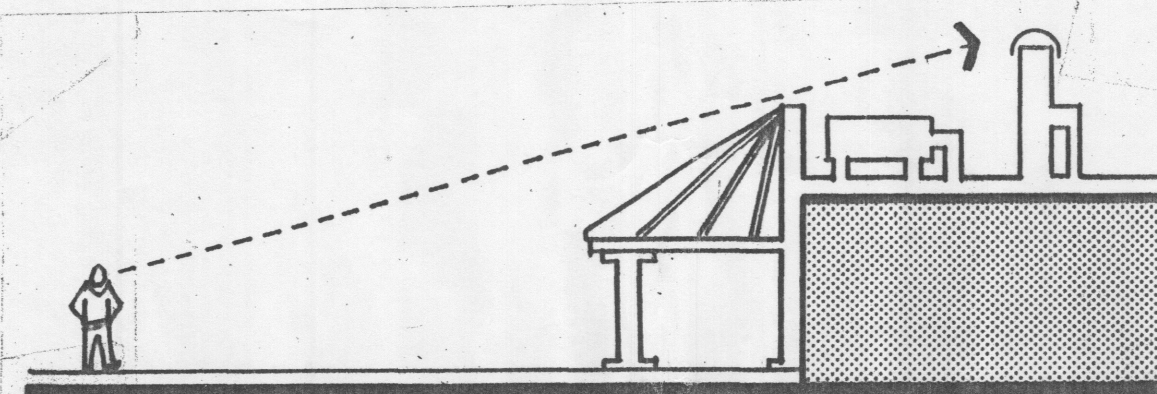


- H. Dock doors for loading docks shall be located on the inside of buildings to keep a clean, uncluttered appearance from the exterior.



- J. Design elements for roofs shall be as follows:
 - 1) If mansard roofs are to be used, they shall wrap around the entire perimeter of the structure.
 - 2) The roofline at the top of the structure shall incorporate offsets to prevent a continuous plane from occurring.

- 3) All rooftop equipment shall be screened from the public view by materials of the same nature as the building's basic materials.

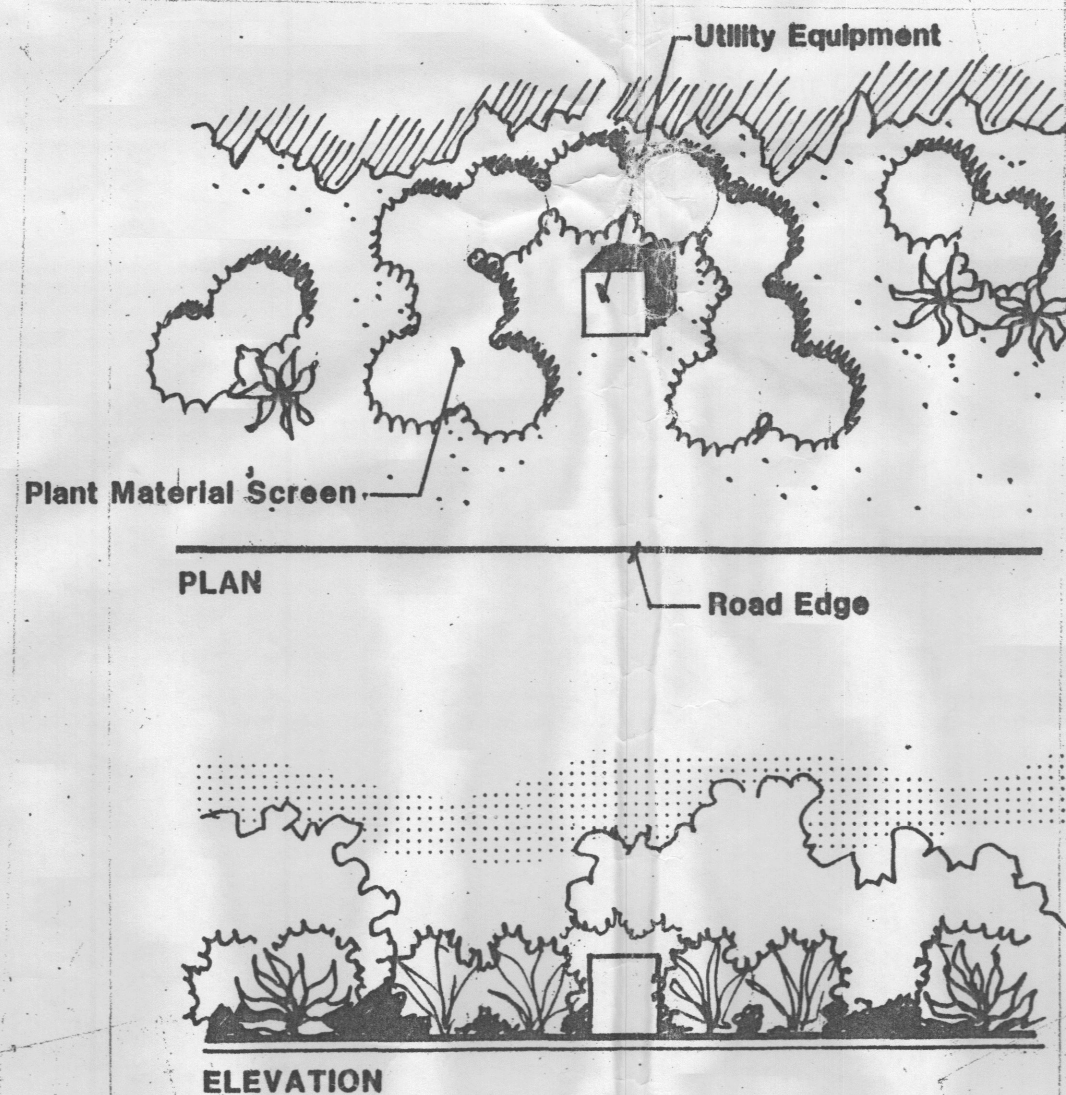


- 4) Corrugated metal, highly reflective surfaces, and illuminated roofing are not permitted.
- 5) The roof design should be considered an integral part of the overall architectural design theme.
- 6) Concertina and/or barbed wire are not permitted on the roof.

UTILITIES

To ensure the overall aesthetic quality of the Atrisco Business Park:

- A. All electric distribution lines within the Park shall be placed underground.
- B. When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. The use of pre-fabricated fiberglass enclosures is prohibited.
- C. Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.



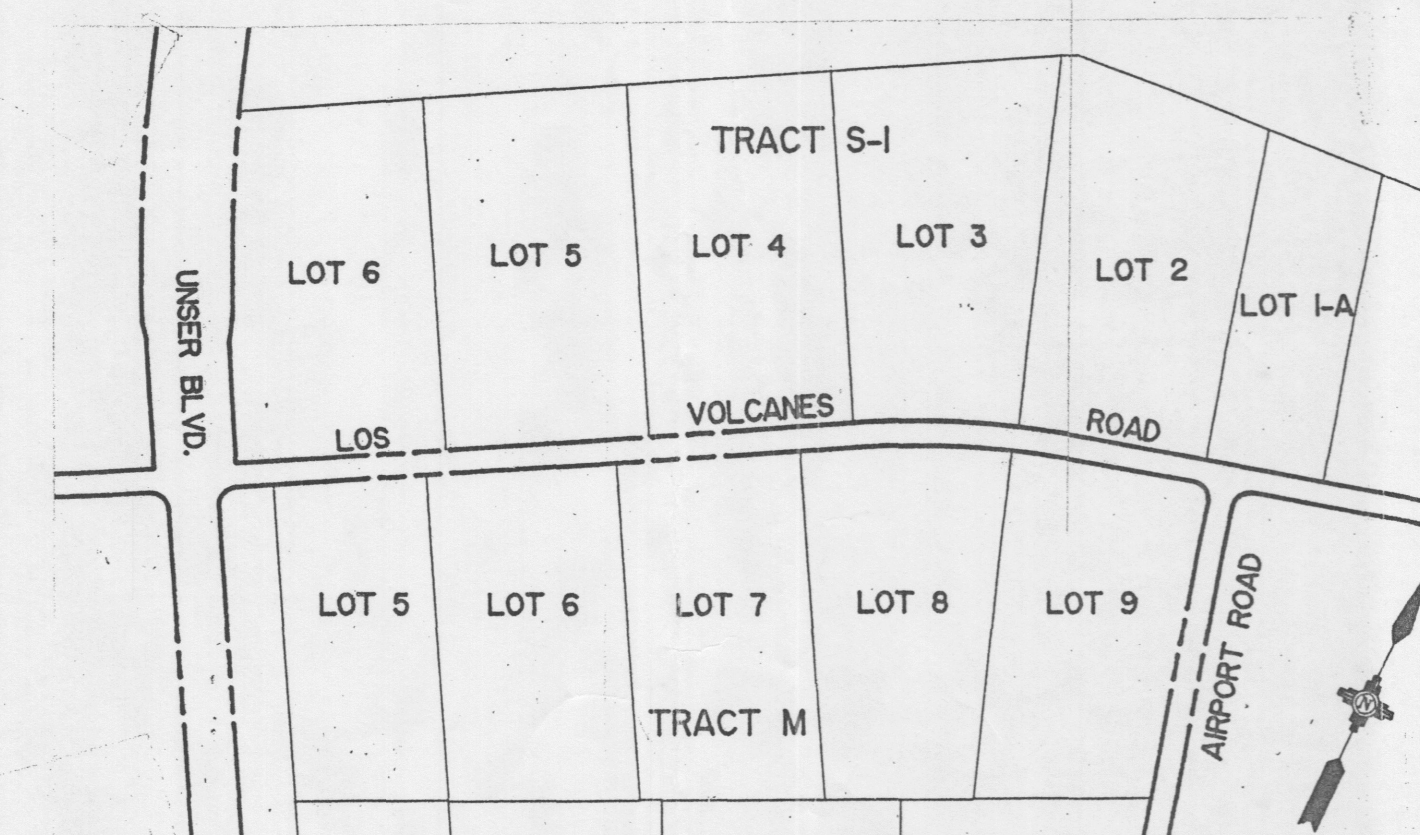
MASTER DEVELOPMENT PLAN CHECKLIST

The City of Albuquerque Environmental Planning Commission shall delegate individual site plan and development review to the Development Review Board (DRB) based upon this checklist. The following conditions must be complied with prior to site plan approval by DRB:

A.	Compliance with the Master Development Plan	Reference Sheet No.
1)	Intensity/Floor Area Ratio Maximum: Average .3	3, 4 of 10
2)	Setbacks	3 of 10
3)	Architecture	5 of 10
4)	Landscaping	3 of 10
5)	Parking	3, 4 of 10
6)	Lighting	4 of 10
7)	Signage	4, 5 of 10
8)	Screening/Refuse/Storage	4 of 10
9)	Grading and Drainage	6, 8, 9 of 10

If site plan proposals are not in substantial compliance with the Master Development Plan (i.e. FAR/intensity, Land Use Mix, and Design Criteria), amendment of the Master Development Plan by the Environmental Planning Commission may be required.

- B. Public Infrastructure
 - 1) The DRB shall review and approve an infrastructure list as outlined in the Master Development Plan (sheet 5 of 10).



Existing Lots Adjacent to Los Volcanes Road

C. Traffic and Air Quality Analyses

- 1) Conformance with Master Development Plan and Traffic/Air Quality Analysis (dated August 1992 - JHK & Associates, notes on sheet 1 of 10, and subsequent traffic/air quality analysis revisions).

Note: The following assumptions were used in preparation of the above traffic and air quality analyses:

- 1) The timing for development was assumed to be:

Year	Floor Area Ratio
2000	.1
2010	.2
Buildout	.3

- 2) The Traffic Study assumed the Long Range Major Street Plan network for the year 2000 and 2010.

INFRASTRUCTURE REQUIREMENTS

In order to obtain site plan approval within the 1992 Atrisco Business Park Development Master Plan Area, applicants must meet with the Development Review Board (DRB) to develop an Infrastructure List which identifies the type, extent, and standards for construction of improvements. The Chairman of the DRB shall produce the Infrastructure List or a letter stating that no infrastructure is required. Approved financial guarantees for required infrastructure shall be provided to the City of Albuquerque before issuance of a building permit. The work order process will provide for inspection and acceptance of the infrastructure by the City of Albuquerque.

The Infrastructure List will be developed in accordance with the following:

Water and Sanitary Sewer: Water and sanitary sewer facilities required for the proposed development of a lot shall conform to the City of Albuquerque Water and Sewer Extension Policy in effect at the time of development.

Streets: Where the lot is adjacent to platted streets which have not been constructed at the time the lot is to develop, one-half (1/2) or a maximum of 24' width of the permanent street section including curb, gutter and sidewalk along the full frontage of the lot and one-half (1/2) or a maximum of 24' width of the permanent street section including curb and gutter extending to the nearest paved street (except in the case of Lots 1-A and 2 through 6 of Tract S-1 and Lots 5 through 9 of Tract M, of Unit 2, Atrisco Business Park).

In the case of Lots 1-A and 2 through 6 of Tract S-1 and Lots 5 through 9 of Tract M, of Unit 2, Atrisco Business Park adjacent to Los Volcanes Road (see map above), the first lot to develop shall require construction of one-half (1/2) or a maximum of 24' width of the permanent street section including curb and gutter from Unser Boulevard east to Airport Road. At such time that fifty-percent (50%) of these lots are developed, construction of the full permanent street section including curb and gutter from Unser east to Airport Road shall be required with the subsequent development.

Where the lot may include or is adjacent to future streets proposed in the current "Long Range Major Street Plan for the Albuquerque Urban Area", Dedication of the right-of-way for the planned street and one-half (1/2) or a maximum of 24' width of the street section including curb, gutter and sidewalk along the full frontage of the lot. If the street passes through a lot, then construction of both sides of the street to a maximum of 48' wide is required.

Drainage: Completion of that portion of the downstream public storm drain system defined in the 1992 Master Drainage Plan for the Atrisco Business Park and any subsequent amendments which is required to convey developed drainage from the developing lot. Where the planned storm drain system is intended to serve property upstream of the developing lot, the storm drain shall be extended to the furthest upstream boundary of the developing lot.

In cases where the developing lot receives off-site flows, off-site improvements (as illustrated in the Master Drainage Plan or approved alternate) shall be constructed to protect the developing lot.

LAND USE MIX

The following land use mix will control development within the Atrisco Business Park:

	%	Acres
Light Industrial	35.0	123
Distribution Warehouse	20.0	70
Office/Admin.	22.5	78
Office/Warehouse	12.5	44
R & D/Pilot Mfg.	5.0	17
Other (Commercial)	5.0	17
	100.0%	349

Note: Variation from the above mix (greater than 15% of the acreage per land use) may require a re-assessment of the traffic and air quality analyses and possible re-analysis.

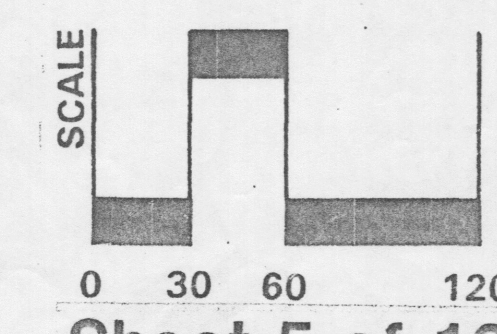
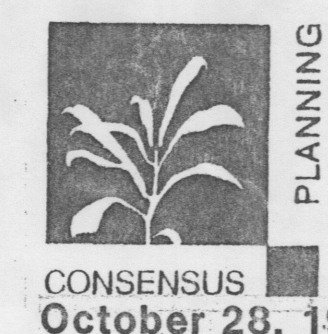
DEVELOPMENT SKETCHES ATRISCO BUSINESS PARK

Prepared For: Sunwest Bank
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Prepared By: Garrett Group, Inc.
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ATRISCO BUSINESS PARK

MASTER DEVELOPMENT PLAN FOR IP USES

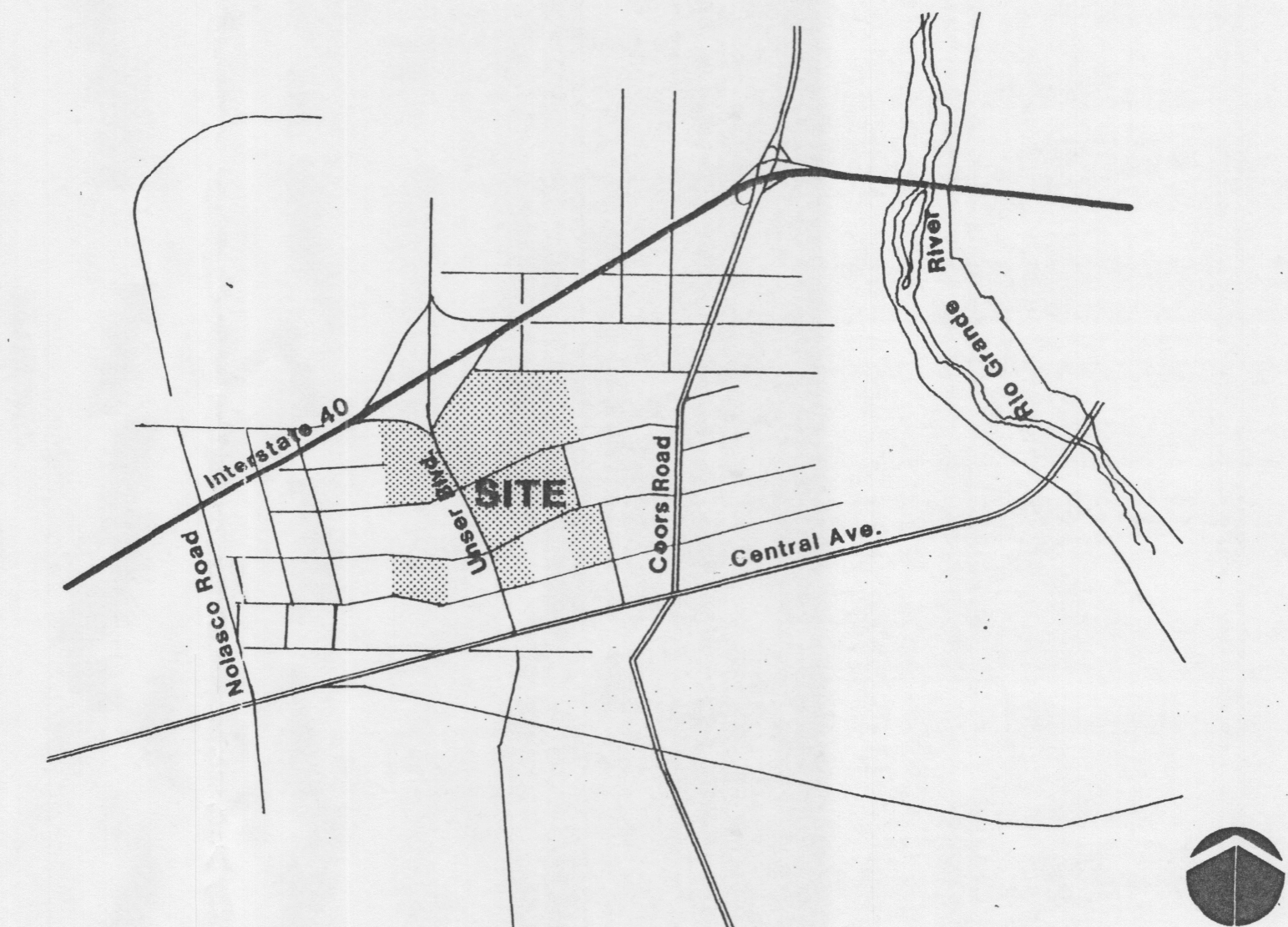
EPC Case No. Z-92-57

Approved by the City of Albuquerque Environmental Planning Commission on October 15, 1992 subject to the following conditions:

1. All revised documents shall include all of the area in the boundaries of the Atrisco Business Park Master Plan.
2. It shall be clearly stated that all future development in the plan boundaries shall comply with the revised standards.
3. A minimum 20 foot landscaped buffer shall be provided between all property zoned for industrial use and residential zoning to create a reasonable visual separation. No exterior loading, service, trash or storage areas may be located adjacent to the residential zoning. Employee parking or building surfaces are the only appropriate uses adjacent to residential development and zoning.

1 Amendment to the landscape portion of the development standards (sheet 3), approved May 22, 1997.

2 Amendment to allow Coors Corridor Plan exceptions for setbacks and signage along Coors Boulevard (Sheet 3).



Vicinity Map

Sheet Index

- 1 Illustrative Site Plan
- 2 Landscape Development Plan
- 3 Development Sketches
- 4 Development Sketches
- 5 Development Sketches
- 6 Conceptual Overall Drainage Plan (fully developed)
- 7 Conceptual Overall Drainage Plan (partially developed)
- 8 Conceptual Grading & Drainage Plan (2.5 & 10 acre sites)
- 9 Conceptual Grading & Drainage Plan (20 acre site)
- 10 Conceptual Grading & Drainage Plan (interim condition)

Project Team Directory

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(505) 765-2036

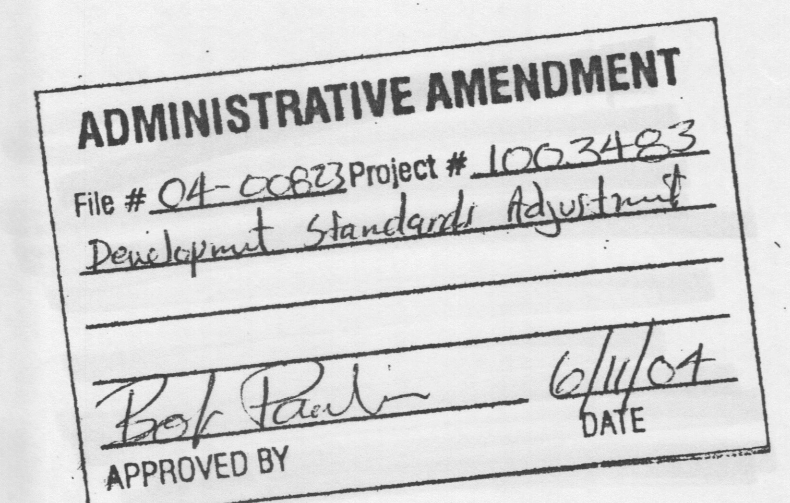
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October 28, 1992
200400

DEVELOPMENT STANDARDS

The purpose of these Development Standards is to provide a framework to ensure a high quality character and visual appearance. These standards address the issues of landscape, setbacks, screening, lighting, signage, and drainage that will create the visual image for Atrisco Business Park. These standards are to be used as a supplement to the City of Albuquerque Comprehensive City Zoning Code, and other pertinent City ordinances, including but not limited to, the Water Conservation Landscaping and Water Waste Ordinance, and Street Tree Ordinance. These standards apply to all properties within the Atrisco Business Park.

LANDSCAPE CONCEPT

The development of an overall landscape concept will establish a framework that unifies the individual sites within the Atrisco Business Park. To achieve a totally unified development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies. The landscape concept and the selection of the proper plant materials is extremely important as landscape elements are a strong unifying element for a project of this size. Site landscape concepts should be sensitive to water use, and create landscapes which meet environmental, aesthetic, and maintenance concerns.

LANDSCAPE STANDARDS

The following are minimum standards for the development of specific site landscape plans:

A minimum of twenty percent (20%) of the net site area shall be devoted to landscape materials with an emphasis placed on areas with streetside exposure.

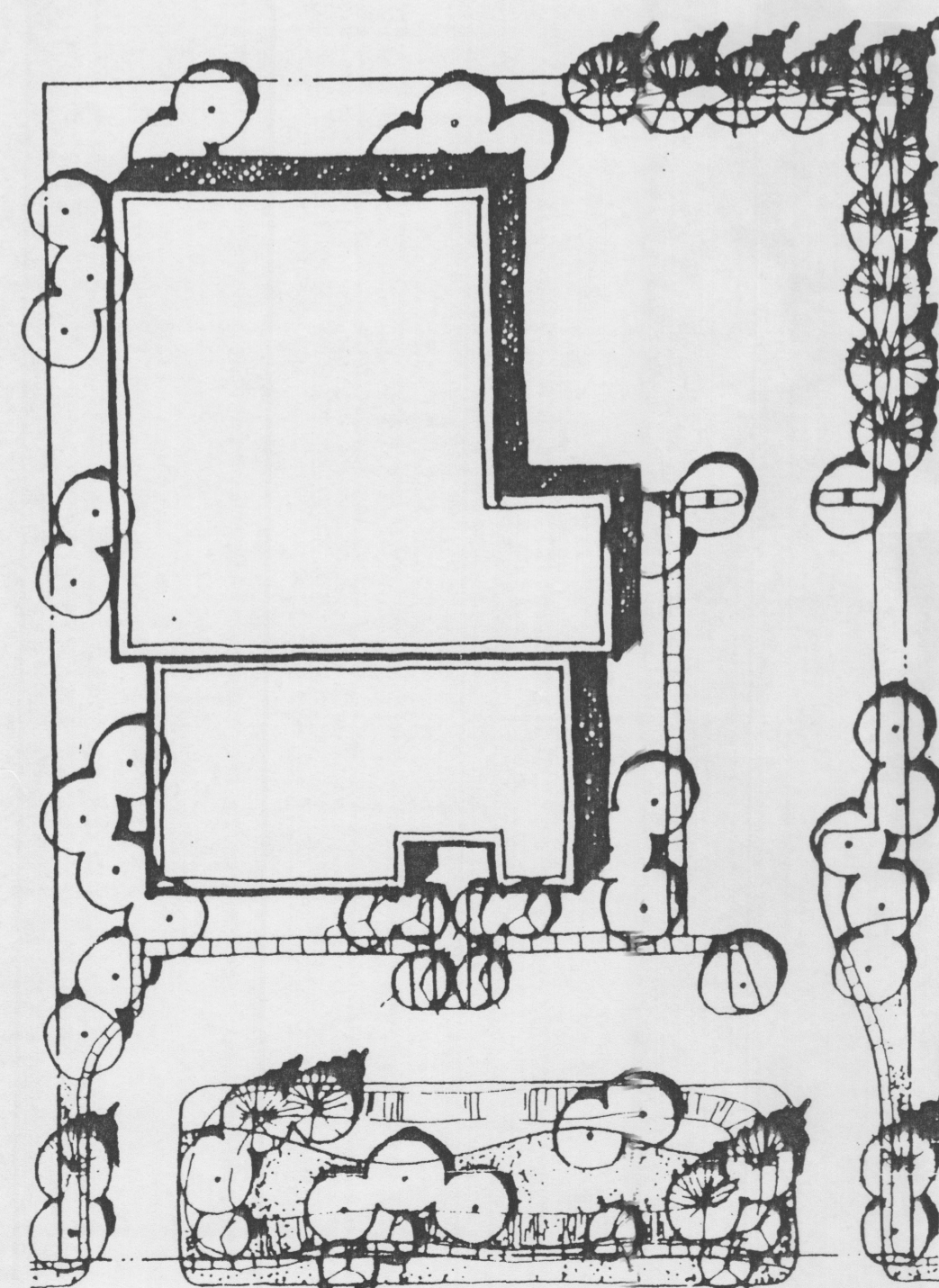
Seventy-five percent (75%) of the required landscape area shall be covered with living vegetative materials. The area and percentage is calculated based on the mature canopy size of all plant materials.

High water use turf is limited to a maximum of twenty percent (20%) of the landscape area. However, low water use turf grasses such as Buffalo grass and Blue Grama, are encouraged. Turf areas should be located at the most prominent visual points, such as vehicular and pedestrian entries to the site and buildings.

All landscape areas not covered with turf shall have a top dressing of crushed rock, river rock, bark mulch, or similar material which extends completely under the plant material. Colors allowed shall be of the earth tone ranges, including pale shades of red. The use of red or black lava rock is not permitted. Areas seeded with native shrubs, grasses and or wildflowers shall be top dressed with straw, and crimped.

Appropriate headers shall be used to separate any provided turf areas from shrub or groundcover planting areas. Headers may be 6" x 6" concrete, brick, or 1/8" x 4" steel.

The landscape treatment at prominent entries and intersections should change in terms of intensity, pattern, texture, scale or form to highlight these areas.



Street trees shall be provided as follows: One (1) tree is required for each twenty five linear feet (25 L.F.) of street frontage, including any driveways. A street tree is defined as being located within twenty feet (20') of the back of curb of the adjacent street. The required street trees should be informally clustered with no more than a fifty foot gap between groupings, and shall have a 70/30 mix of deciduous to evergreen trees.

In addition to the street trees, one (1) tree is required for every forty linear feet (40 L.F.) of the remaining site perimeter. Included in this area are the rear and side yard setbacks.

To shade and mitigate the negative visual impact of large expanses of pavement, off street parking areas shall have one (1) tree for each ten (10) parking stalls with no stall being more than one hundred feet (100') from the trunk of a tree. A parking lot tree is defined as being within the interior of, or within ten feet (10') of the outside curb or perimeter of the parking lot. Parking lot trees are to be separately calculated from the required street or perimeter trees.

Seventy five percent (75%) of the required parking area trees shall be deciduous and have a mature height and canopy of at least twenty five feet (25').

A landscape strip of no less than ten feet (10') shall be maintained between a parking area and the street right of way.

As a minimum, a twenty foot (20') landscaped buffer is required between industrial and residential uses. The buffer shall consist primarily of evergreen trees which must be at least ten feet (10') tall when planted and be capable of reaching a mature height of twenty five feet (25'). The trees shall be spaced at a maximum of thirty feet (30') on center.

Minimum plant sizes at time of installation shall be as follows: Large canopy shade trees shall have a 2" caliper, or be 10 to 12 feet in height; accent trees shall have a 1 1/2" caliper, or be 8 to 10 feet in height; shrubs and groundcovers shall be a one gallon container and, turf grasses shall be capable of providing complete ground coverage within one growing season after installation.

All plant material, including trees, shrubs, groundcovers, and wildflowers, etc. shall be maintained by the owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of chemical spray or previous filler material.

An underground irrigation system shall be provided which is controlled by an automatic controller having multiple programming capabilities. Temporary irrigation systems shall be allowed for establishment of erosion control and revegetation plants. Temporary systems shall be removed at time of vegetation establishment.

1 PLANT PALETTE

Street Trees

Fraxinus spp.
Gleditsia triacanthos spp.
Platanus acerifolia
Pinus nigra
Pyrus spp.

Ash varieties
Honeylocust varieties
London Plane Tree
Austrian Pine
Flowering Pear varieties

General Use Trees, Shrubs & Groundcovers

Refer to the Albuquerque Plant List provided as a supplement to the Albuquerque Water Conservation Landscaping and Water Waste Ordinance. Locally acquired or low pollen producing plants are required per City Ordinance.

TYPICAL 2.5 ACRE SITE

SITE DATA

Net Site Area	112,000 s.f. (2.5 ac.)
Building Area	33,600 s.f. (.3 FAR)
Parking Spaces Required	33 (2 hdcp)
Parking Spaces Provided	42 (2 hdcp)
Landscape Area Required	22,400 s.f.
Landscape Area Provided	34,780 s.f.

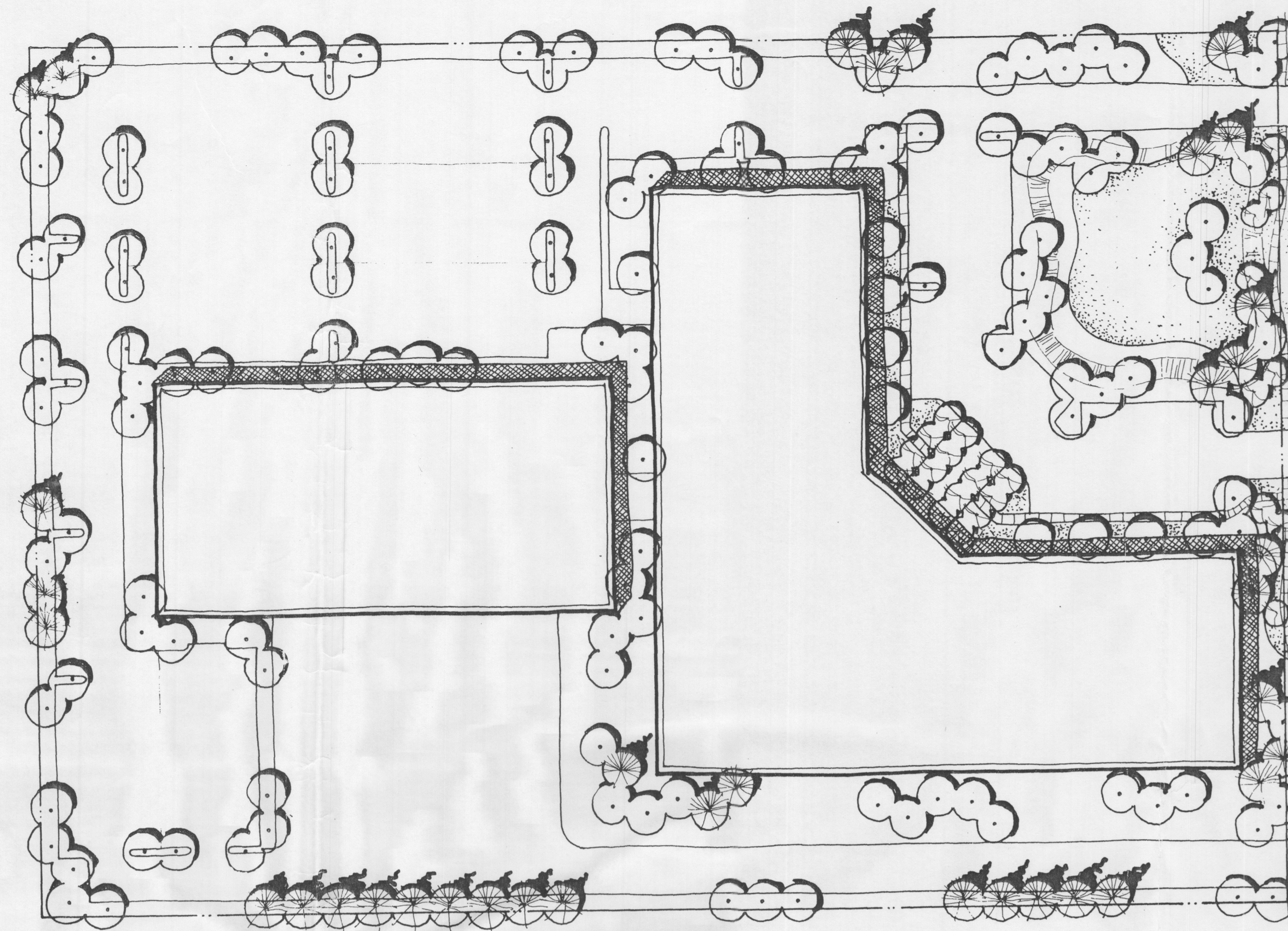
2 COORS CORRIDOR PLAN EXCEPTIONS

Setbacks

Setbacks along Coors Boulevard shall be in conformance with the Coors Corridor Plan.

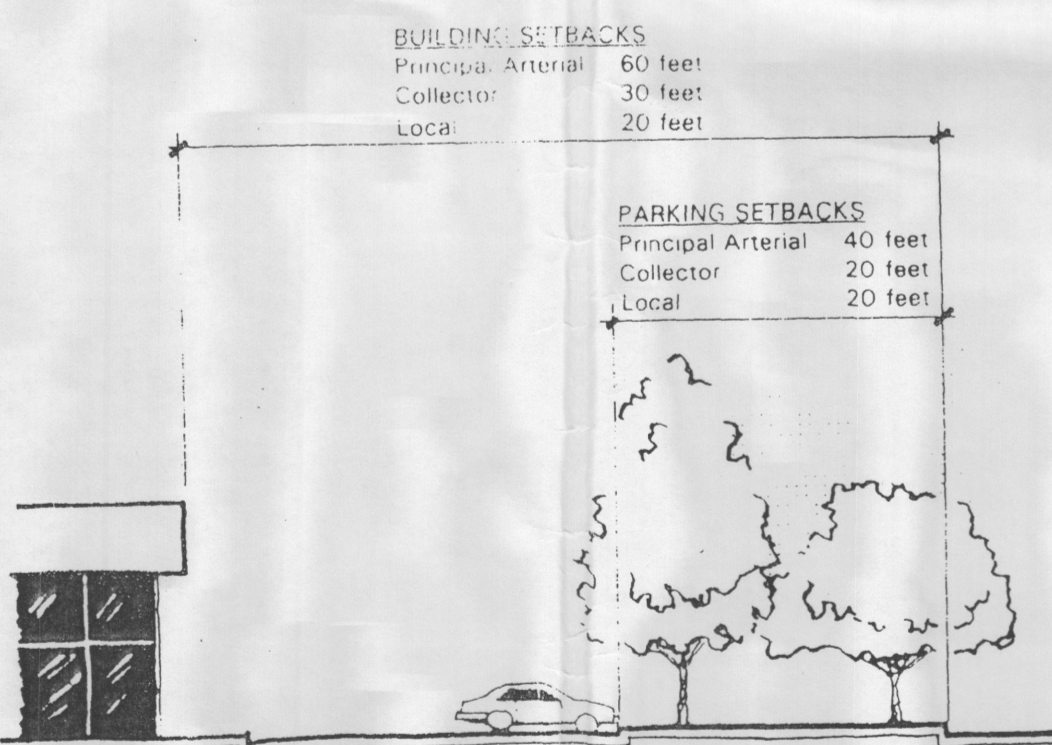
Signage

Freestanding signage along Coors Boulevard shall be in conformance with the Coors Corridor Plan with pole mounted signs prohibited.



SETBACKS

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways, screening devices and landscape improvements (refer to Landscape Standards). These measures are taken to ensure the aesthetic appeal of Atrisco Business Park.



Building Setbacks

Based on the defined street classifications, the minimum building setback lines, as measured from the back of the curb, shall be as follows:

Principal Arterial	60 feet
Collector	30 feet
Local	20 feet

To act as a buffer between uses, buildings shall be set back a minimum of ten feet at both the side and rear yard locations. These setback areas shall be landscaped according to the Landscape Standards.

Parking Area Setbacks

Based on the defined street classifications, the minimum parking area setback lines, as measured from the back of the curb, shall be as follows:

Principal Arterial	40 feet
Collector	20 feet
Local	20 feet

SIDEWALKS / BIKEWAYS

To encourage and enhance the pedestrian nature of the Atrisco Business Park, sidewalks and/or bikeways are required in certain areas as an integral element of the streetscape. In accordance with the City of Albuquerque's Sidewalk Ordinance, all streets within the site are required to have sidewalks on both sides of the street.

Properties adjacent to Unser Boulevard shall have a 6 foot wide sidewalk with a minimum landscaped area of 12 feet between the back of curb and the sidewalk. All other collector and major local streets within the site shall have 4 foot wide sidewalks. It is recommended that the sidewalk meander in a fluid rhythm. A Sidewalk Variance is required to meander the sidewalk and the layout of the sidewalk should be coordinated with the location of other site functions such as retention basins, street lighting, fire hydrants, etc. If the sidewalk meanders outside of the right-of-way, additional right-of-way or a public sidewalk easement would be required.

In addition to the required sidewalks, the City of Albuquerque has established a bikeway network which identifies several routes through the site (Albuquerque Metropolitan Bicycle Map, April 1992). Along Unser Boulevard, from I-40 to Bluewater Road, a paved bicycle trail is required per City standards. The City is also in the planning stage for developing a recreational trail along I-40. The final alignment of this trail shall be either within the existing easement along the I-40 right-of-way or through the Business Park connecting north to Fortuna Road. Bike routes are planned for Unser Boulevard from Bluewater Road continuing south to Central, along Bluewater from Unser to Coors Road, and along Airport Road from Bluewater south to Central Avenue. Bike routes provide for the shared use of the street by automobiles and bicyclists. Generally, the routes will be marked with identifying signage.

TYPICAL 10 ACRE SITE

SITE DATA

Net Site Area:	448,000 s.f. (10.3 ac)
Building Area:	134,400 s.f. (.3 FAR)
Parking Spaces Required:	371 (12 hdcp)
Parking Spaces Provided:	376 (12 hdcp)
Landscape Area Required:	89,600 s.f.
Landscape Area Provided:	112,325 s.f.

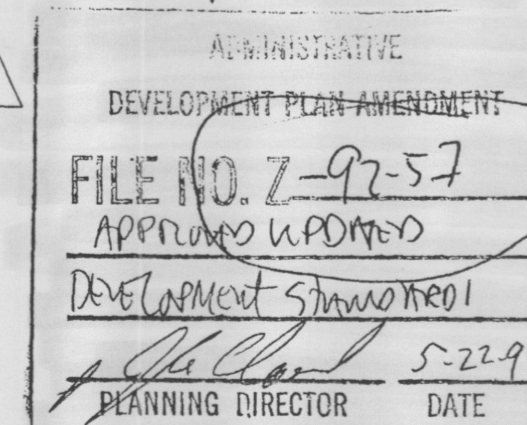
DEVELOPMENT SKETCHES ATRISCO BUSINESS PARK

Prepared For:

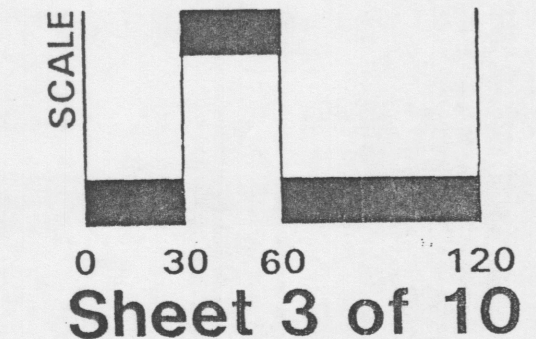
Sunwest Bank
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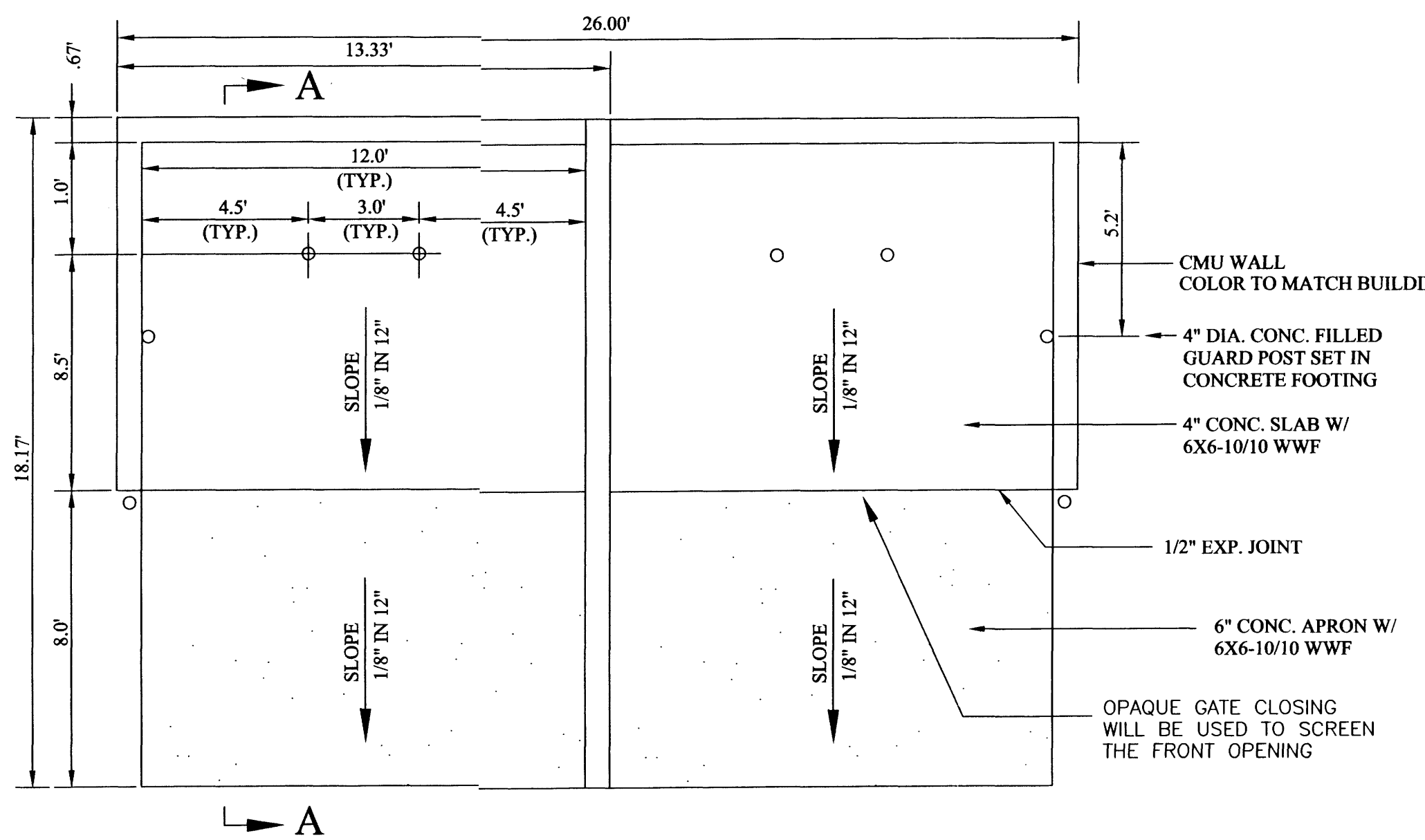


CONSENSUS
October 28, 1992
Revised April 28, 1997
Revised May 19, 1997



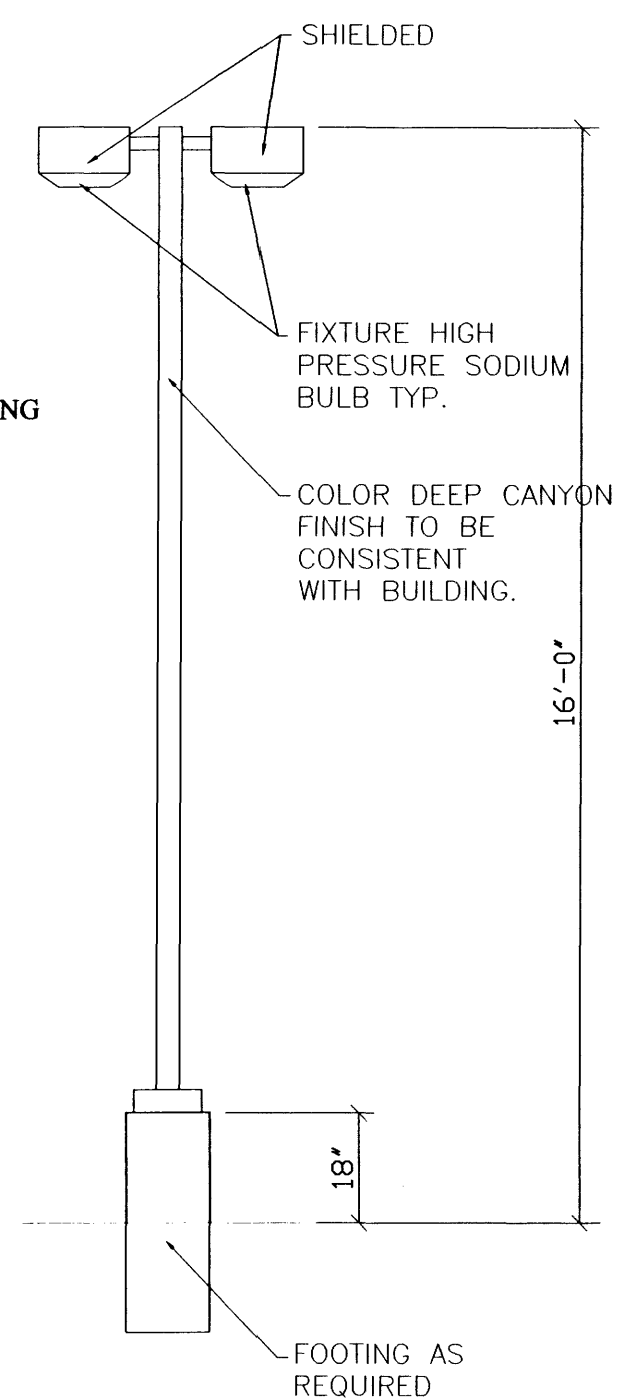
Sheet 3 of 10

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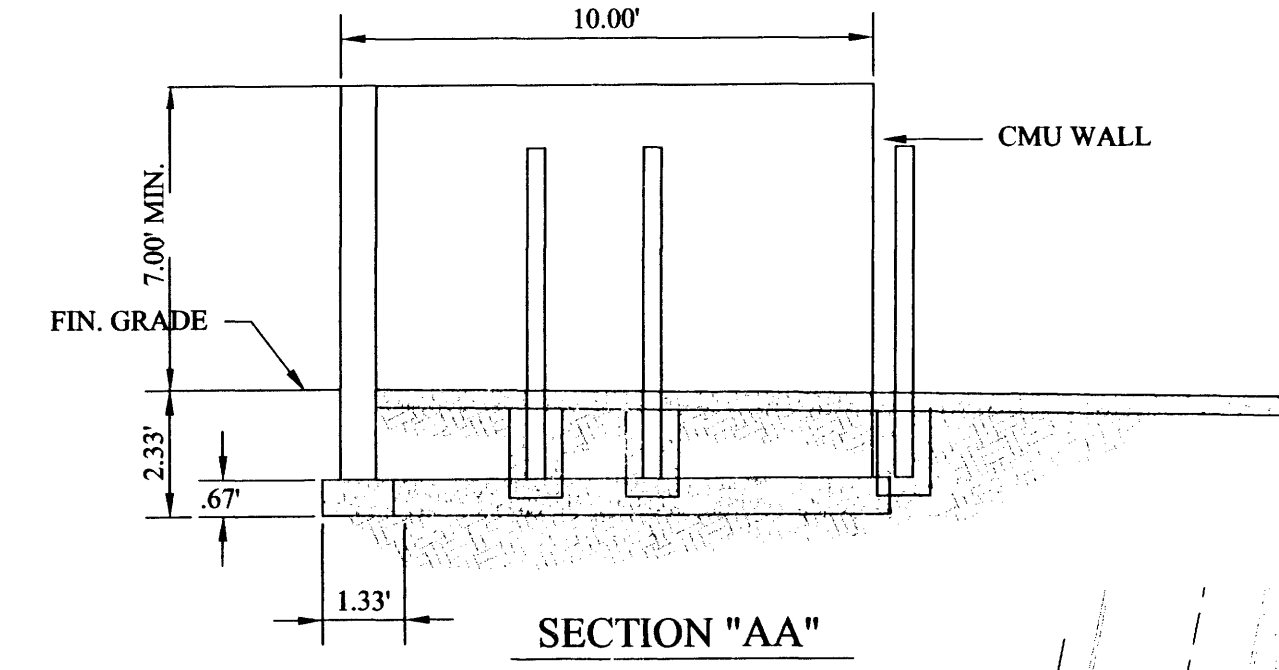
DOUBLE DUMPSTER ENCLOSURE DETAIL

NTS

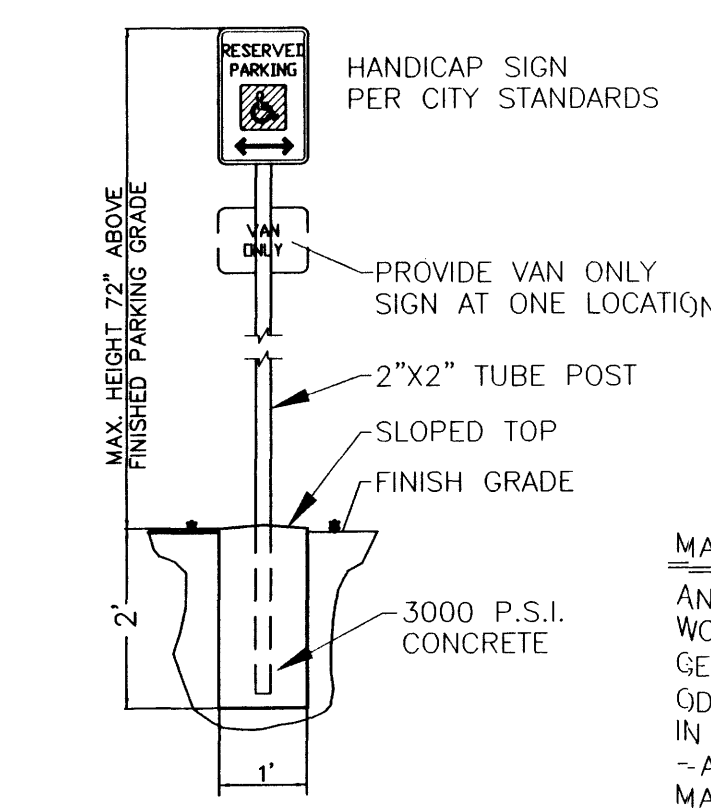


POLE LIGHT DETAIL-TYP.

NTS

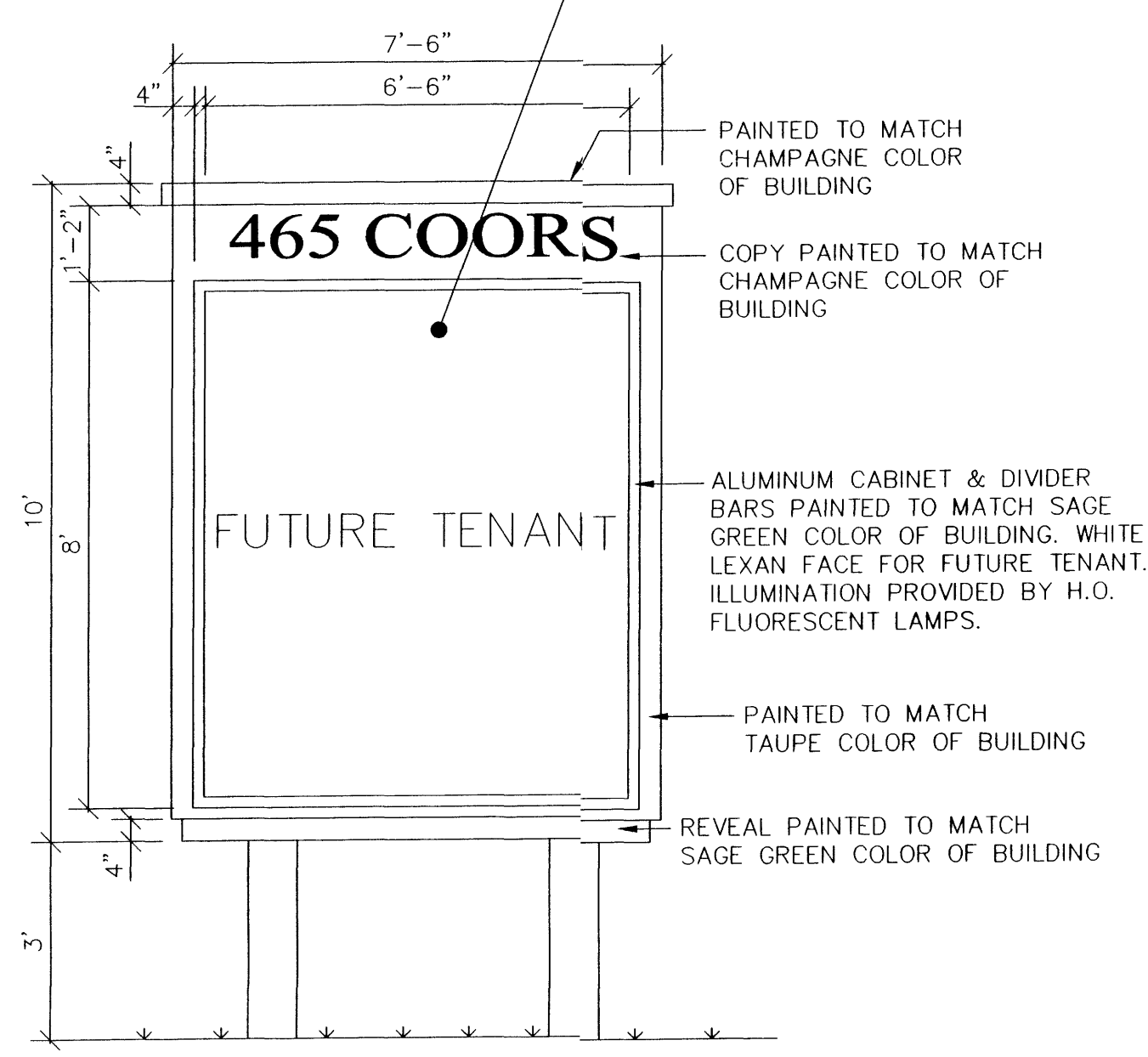


SECTION "AA"



HANDICAP SIGN DETAIL

NTS



MONUMENT SIGN DETAIL

(ALL COORS CORRIDOR PLAN SIGNAGE REQUIREMENTS MUST TO BE FOLLOWED)

LEGEND

- BOUNDARY LINE
- - - EASEMENT
- ▤ PROPOSED SIDEWALK
- ▥ EXISTING SIDEWALK
- ▧ BUILDING
- ▨ PROPOSED MOUNTABLE CURB
- ▩ PROPOSED TURNDOWN SIDEWALK
- EXISTING CURB & GUTTER
- ⊙ EXISTING STREET LIGHT
- ⊕ EXISTING POWER POLE
- ⊖ PROPOSED BIKE RACK
- ⊗ PROPOSED MONUMENT SIGN
- ⊘ EXISTING SINGLE SERVICE METER
- ⊙ EXISTING SAS MANHOLE
- ⊚ CLEAN OUT
- ⊛ NEW SAS SERVICE
- ⊜ EXISTING FIRE HYDRANT
- ⊝ LIGHT

NOTES:

1. EXISTING CURB AND GUTTER.
2. NEW UNIDIRECTIONAL WHEELCHAIR RAMP PER COA STD. DWG. #2426.
3. NEW ENTRANCE PER COA STANDARD DRAWING #2426.
4. NEW ASPHALT PAVING AREA.
5. NEW TURNDOWN SIDEWALK.
6. NEW MOUNTABLE CURB PER COA STANDARD DRAWING 2415.
7. NEW SIDEWALKS PER COA STANDARD DRAWING #2430.
8. INSTALL HANDICAP SIGN, SEE DETAIL THIS SHEET.
9. EXISTING SIDEWALK.
10. INSTALL DOUBLE TRASH ENCLOSURE.
11. 30" HIGH LANDSCAPING BERM, SEE LANDSCAPING PLAN FOR DETAIL.
12. MONUMENT SIGN, SEE DETAIL THIS SHEET.
13. EXISTING WATER LINE SERVICE.
14. INSTALL 6" SAS SERVICE.
15. EXISTING FIRE HYDRANT.
16. NEW 400W METAL HALIDE SITE LIGHTING, SEE DETAIL THIS SHEET.

SITE DATA

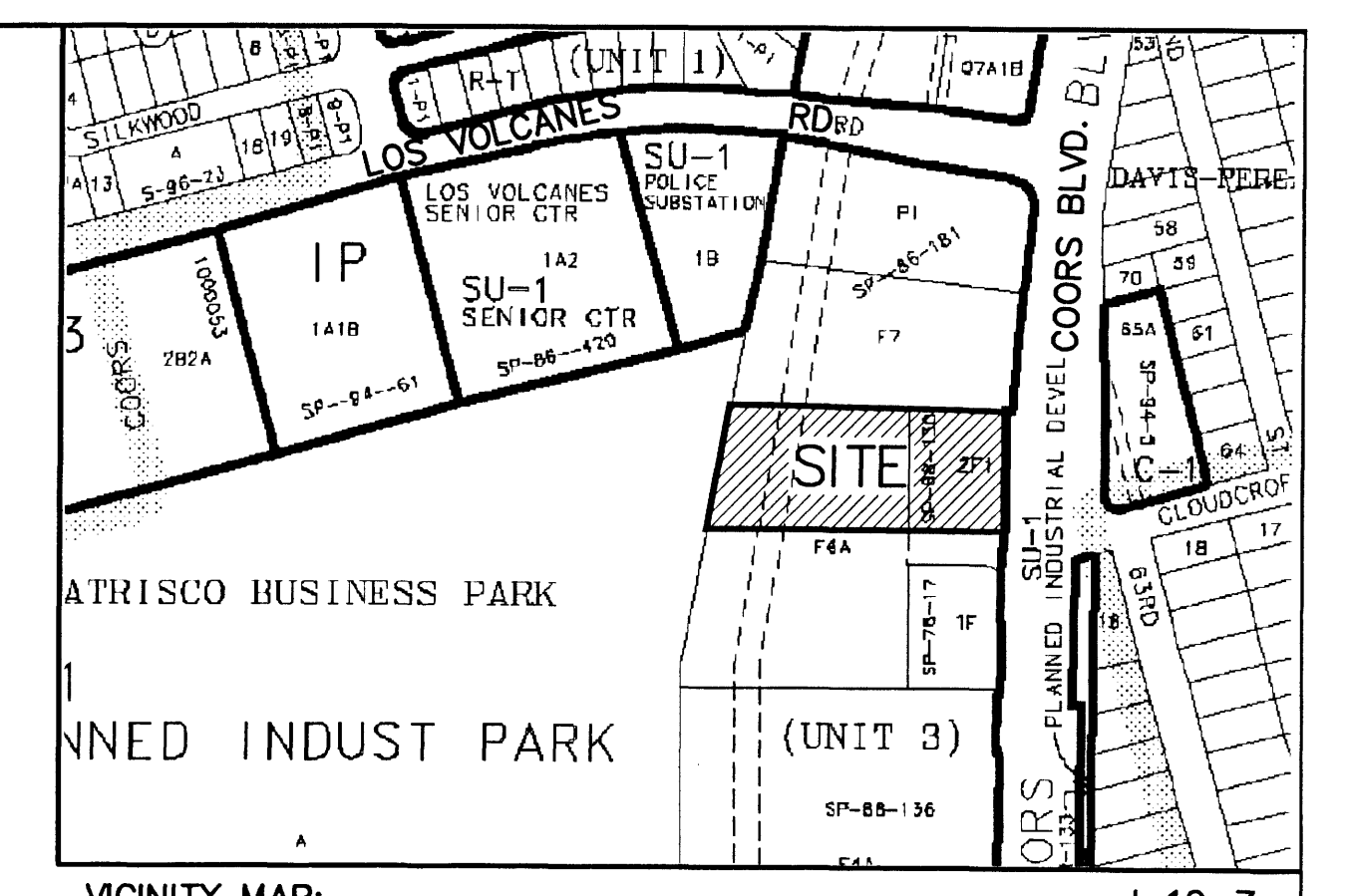
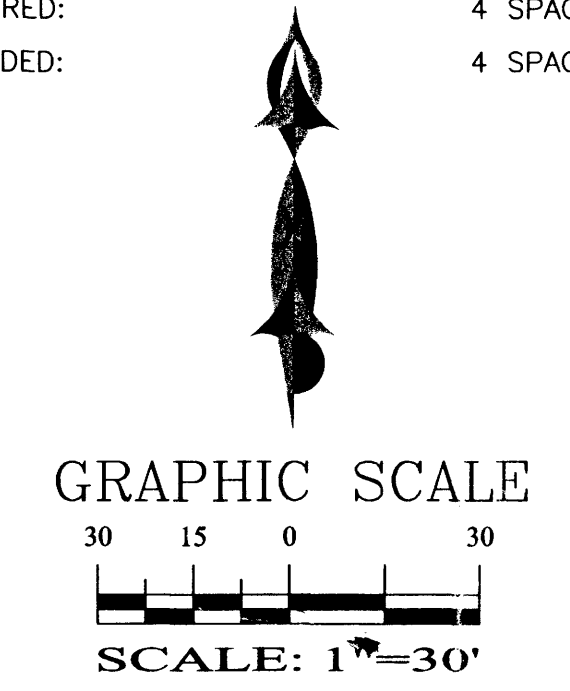
PROPOSED USAGE: RETAIL
 EXISTING LOT AREA: 104,889.18 SQ. FT. (2.4079 AC.)
 GROSS BUILDING AREA: 30,000 SQ. FT.
 ZONING: SU-1 FOR PLANNED INDUSTRIAL PARK FOR O-1 AND C-2 USES
 CONSTRUCTION TYPE: II N, SPRINKLED

LANDSCAPE CALCULATIONS:
 NET LOT AREA 74,889.13 SQ. FT. ±
 LANDSCAPING REQUIRED: 20% OF 74,889.00 SQ. FT. 14,978.00 SQ. FT. ±
 LANDSCAPE PROVIDED 19,466.00 SQ. FT. ±

PARKING CALCULATIONS:
 PARKING REQUIRED:
 WAREHOUSE AREA: 8,106 GSF / 2000 GSF 4 SPACES
 RETAIL AREA: 21,894 GSF / 200 GSF 110 SPACES
 TOTAL PARKING: 114 SPACES

PARKING CREDIT:
 10% WITHIN 300' OF TRANSIT SYSTEM 12 SPACES
 TOTAL PARKING REQUIRED: 104 SPACES
 TOTAL PARKING PROVIDED: 122 SPACES

HC PARKING REQUIRED: 8 SPACES
 HC PARKING PROVIDED: 8 SPACES
 BICYCLE SPACES REQUIRED: 4 SPACES
 BICYCLE SPACES PROVIDED: 4 SPACES



VICINITY MAP: J-10-Z

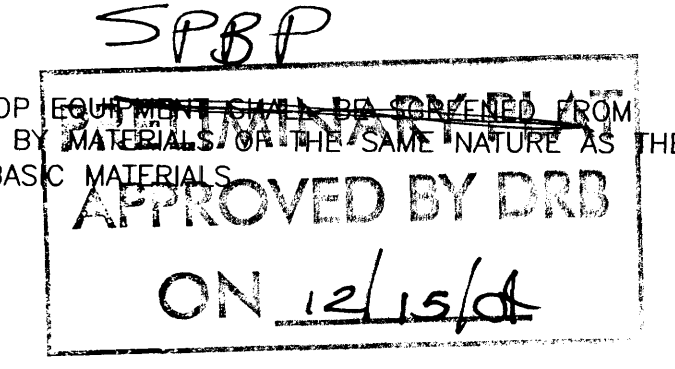
LEGAL DESCRIPTION:
 TRACT F-6-A-1, ATRISCO BUSINESS PARK, UNIT 3 CONTAINING 2.4079 ACRE (104,889.18 SQUARE FEET) MORE OR LESS.

SHEET INDEX

1. SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
2. LANDSCAPING PLAN
3. GRADING AND DRAINAGE PLAN
4. ELEVATION PLAN

NOTE:

ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW BY MATERIALS OF THE SAME NATURE AS THE BUILDING'S BASIC MATERIALS.

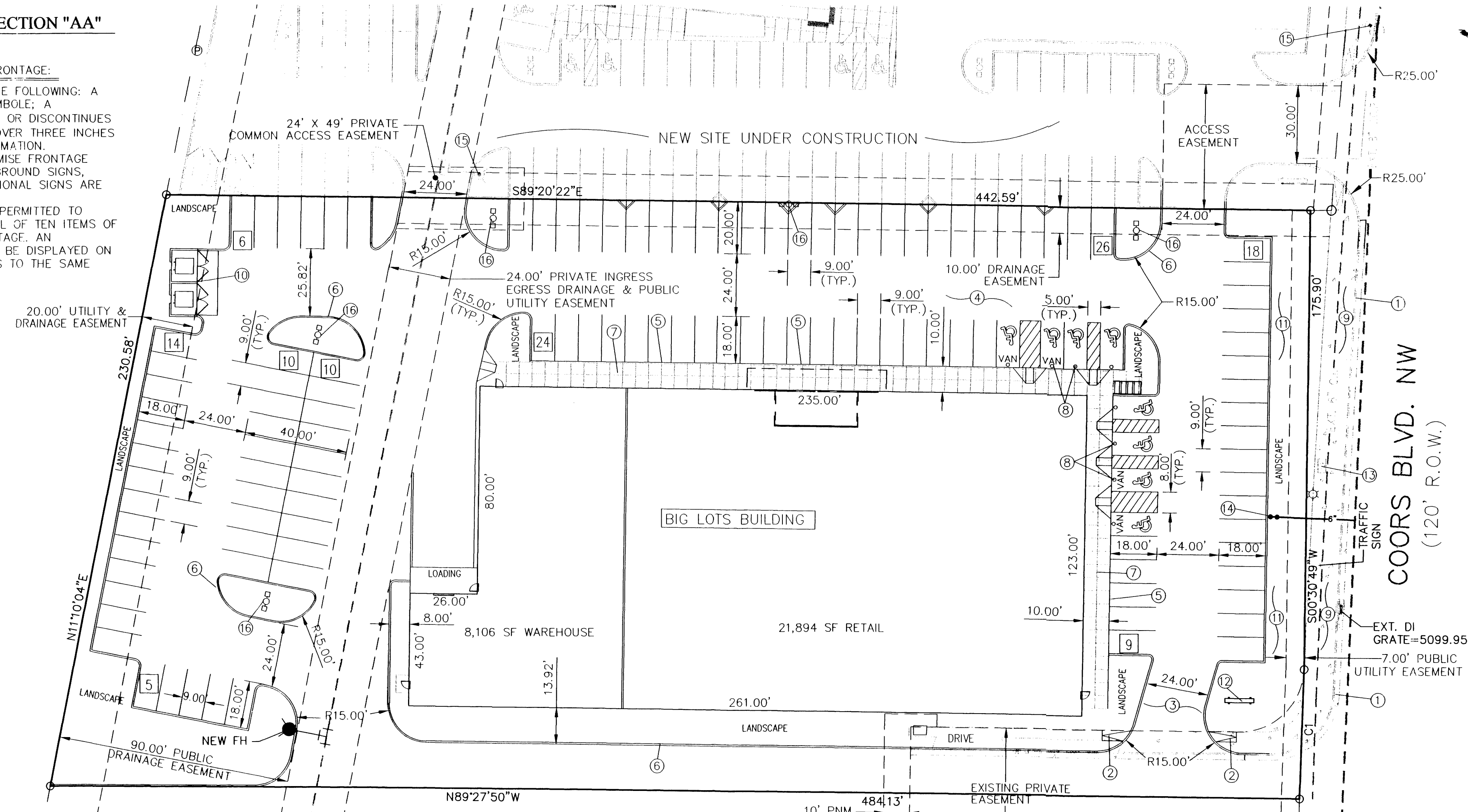


PROJECT NUMBER: 1003816
 APPLICATION NUMBER: 04-01879

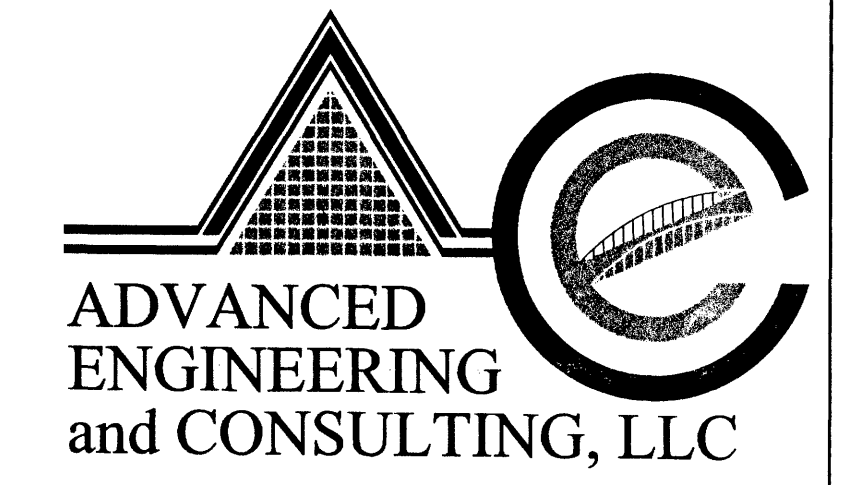
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED 12/13/04, AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED. IS AN INFRASTRUCTURE LIST REQUIRED? () YES (X) NO IF YES, THEM A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
<i>Michael H. Cotton</i>	12-13-04
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD DIRECTION	DELTA
C1	49.77	5789.58	24.89	49.77	S01°45'25"W	00°29'33"

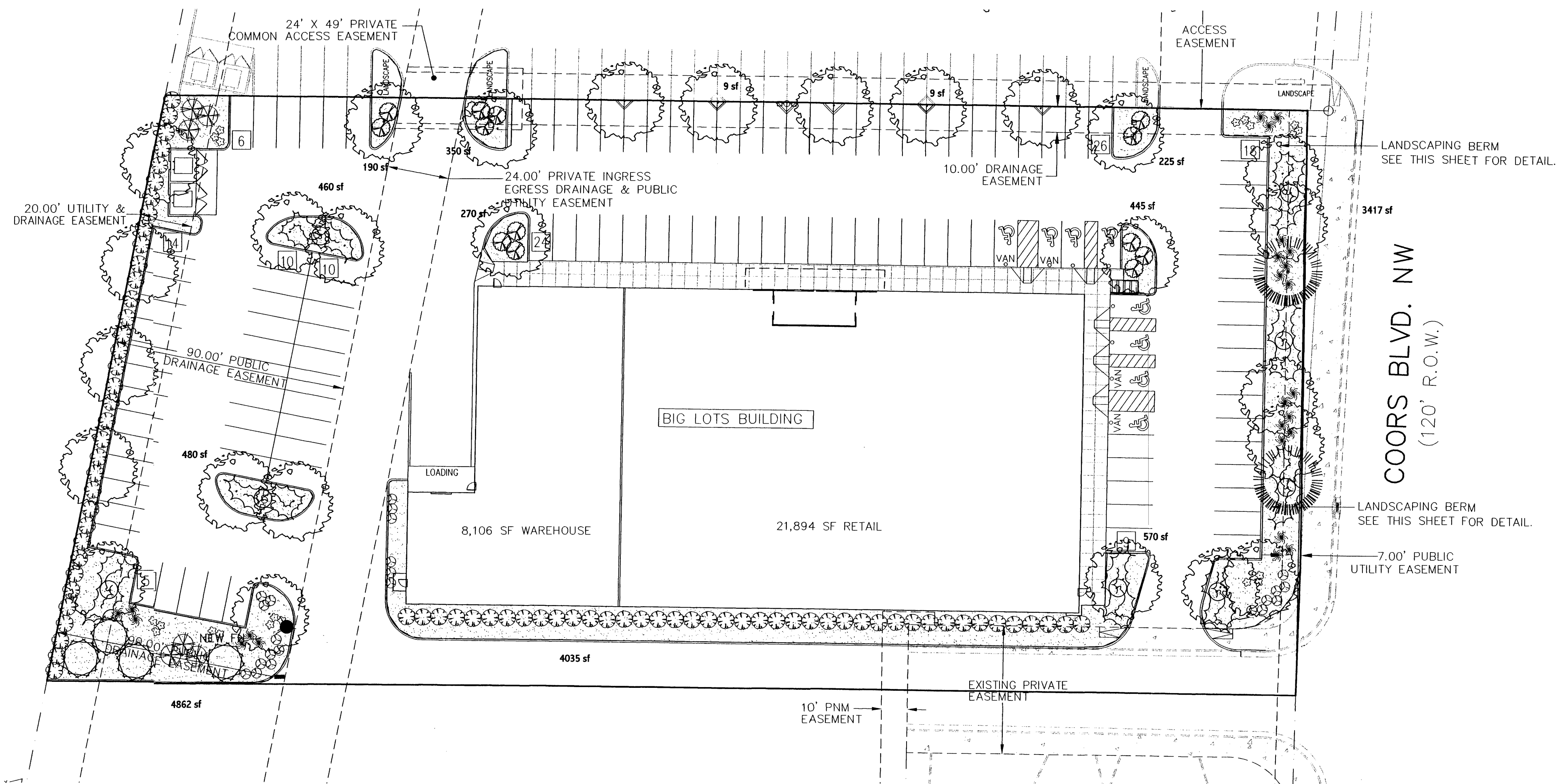


SHAHAB BIAZAR
 P.E. #13479

4416 ANAHEIM AVE., NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)899-5570

TRACT F-6-A-1, ATRISCO BUSINESS PARK
 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

DRAWING: 200450-ST.DWG	DRAWN BY: SHH	DATE: 12-01-2004	SHEET # 1 OF 4
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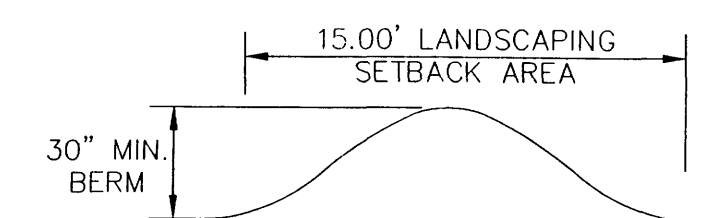
LANDSCAPE CALCULATIONS

TOTAL LOT AREA	104,889	square feet
TOTAL BUILDINGS AREA	30,000	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	74,889	square feet
LANDSCAPE REQUIREMENT	20%	
TOTAL LANDSCAPE REQUIREMENT	14,978	square feet
TOTAL BED PROVIDED	15,322	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	11,492	square feet
TOTAL GROUND COVER PROVIDED	12,125	square feet
TOTAL NON-PUBLIC SIDEWALK	3546	square feet
TOTAL NON-PUBLIC SIDEWALK, TO COUNT AS LANDSCAPING (max. 33% of landscape required)	3,546	square feet
TOTAL SOD AREA	0	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	19,466	square feet

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

COORS BLVD.
Required 7 Provided 7



LANDSCAPING BERM SECTION

NTS

LANDSCAPING BERM
SEE THIS SHEET FOR DETAIL.

LANDSCAPING BERM
SEE THIS SHEET FOR DETAIL.

PLANT LEGEND

	CHINESE PISTACHE OR LOCUST 27 Pistachia chinensis Robinia 2" Gal.		CREeping ROSEMARY 21 Rosmarinus officinalis 2 Gal. 9sf
	DESERT WILLOW (L) 4 Chilopsis linearis 15 Gal.		HONEYBUCKLE (M) 13 Lonicera sempervirens 1 Gal. 120sf Unstaked-groundcover
	SILVERBERRY (M) 6 Elaeagnus pungens 5 Gal. 100sf		CHAMISA (L) 76 Chrysothamnus nauseosus 1 Gal. 25sf
	MAIDENGRASS (M) 24 Miscanthus sinensis 5 Gal. 16sf		WILDFLOWER 17 1 Gal. 4sf
	3/4\"/>		GRAYLEAF COTONASTER 24 Cotoneaster buxifolius 5 Gal. 81sf Symbol indicates 3 plants
	AUSTRIAN PINE (H) 2 Pinus nigra 6'-8'		

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

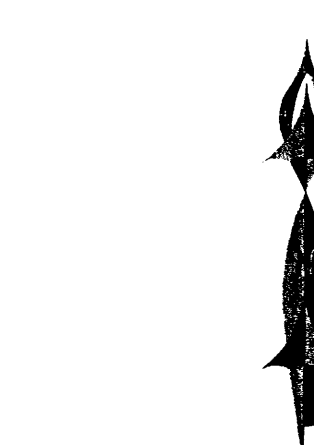
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

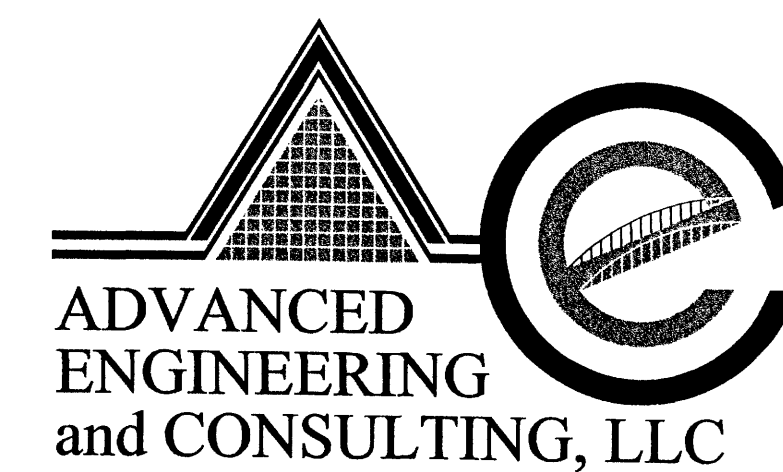
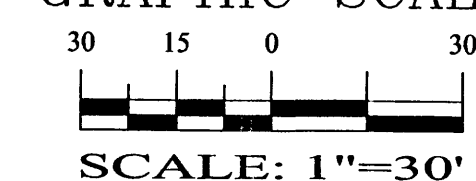
Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.



GRAPHIC SCALE



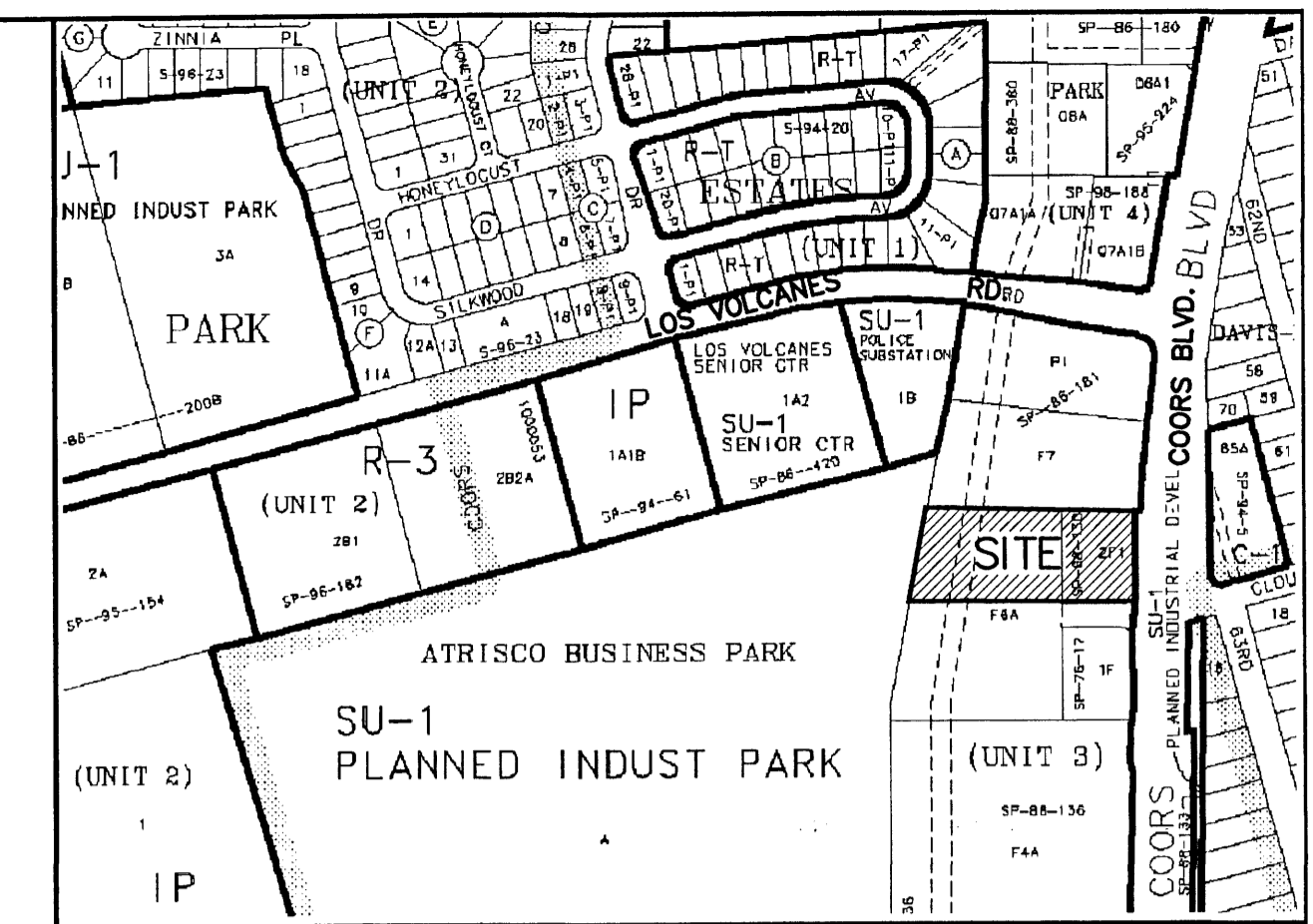
**ADVANCED
ENGINEERING
and CONSULTING, LLC**

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

TRACT F-6-A-1, ATRISCO BUSINESS PARK LANDSCAPING PLAN

DRAWING: 200450-LS.DWG	DRAWN BY: SHH	DATE: 12-01-2004	SHEET # 2 OF 4
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LAST REVISION: 12-13-04



VICINITY MAP:

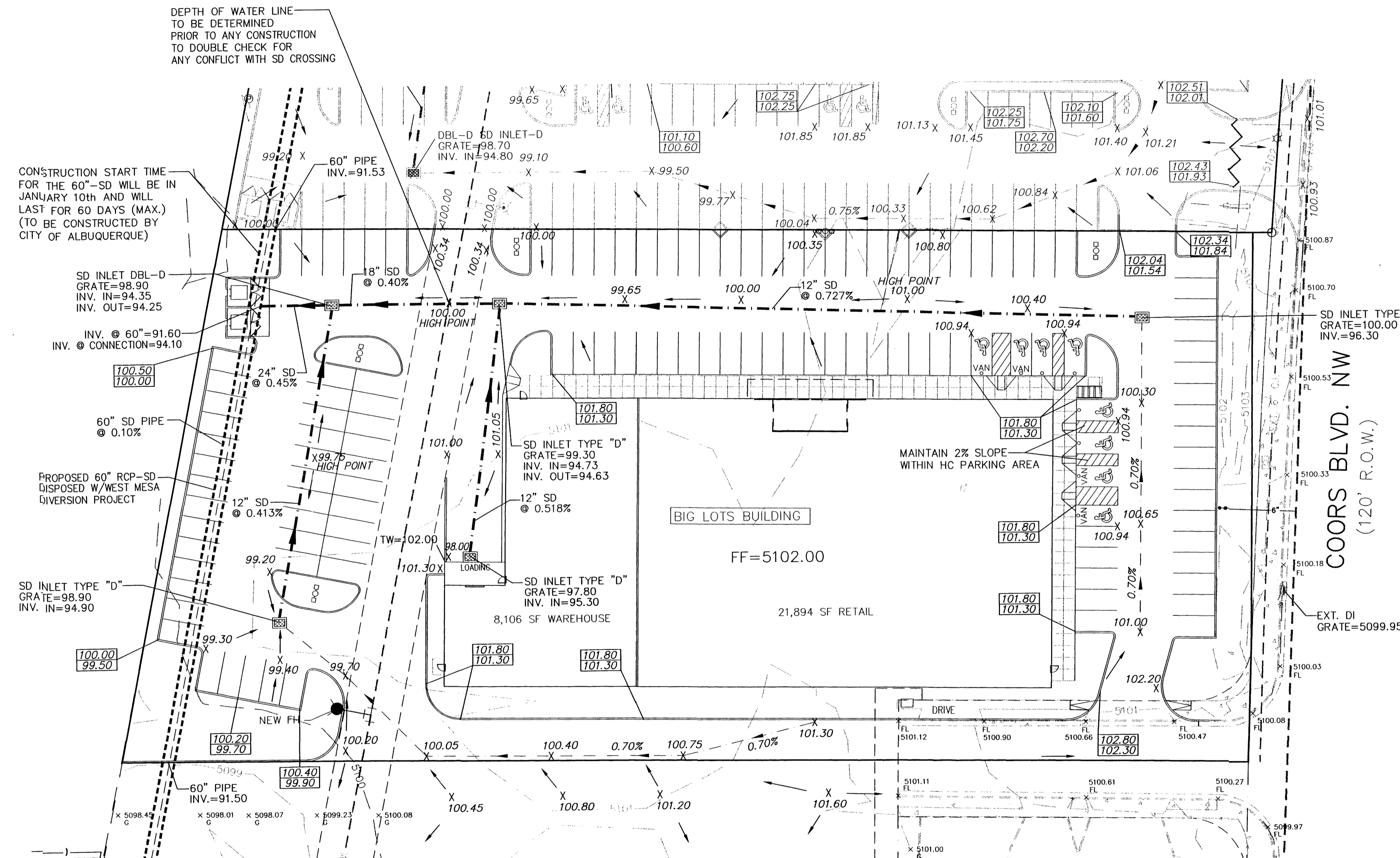
J-10-Z

LEGAL DESCRIPTION:

TRACT F-6-A-1, ATRISCO BUSINESS PARK, UNIT 3
CONTAINING 2.4079 ACRE (104,889.18 SQUARE FEET)
MORE OR LESS.

LEGEND

- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING AIR RELEASE VALVE
- EXISTING REDUCER
- EX- 8" SAS
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- 5100-
- 5102-
- BOUNDARY LINE
- LIMITS OF TOP OF EXISTING SLOPE
- TC → 70.90
FL → 70.40
- X 70.28
- EXISTING POWER LINES
- EXISTING FENCE
- EXISTING GARDEN WALL
- PROPOSED RETAINING WALL
- PROPOSED EXTENDED STEM WALL
- X 5265.16
- FLOW PATH
- EXISTING DROP INLET
- EXISTING STREET LIGHT
- EXISTING ANCHOR
- EXISTING POWER POLE
- SINGLE "A" INLET
- DOUBLE "A" INLET



GENERAL NOTES:

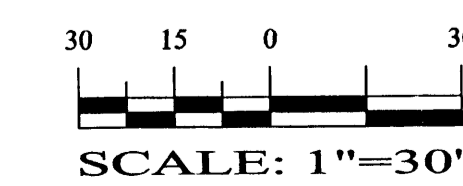
- 1: ADD 5000 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
- 2: CONTOUR INTERVAL IS ONE (1) FOOT.
- 3: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION MON-7-J10 HAVING AN ELEVATION OF 5103.225 FEET ABOVE SEA LEVEL.
- 4: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- 5: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
- 6: SLOPES ARE AT 3:1 MAXIMUM.

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.



GRAPHIC SCALE



ROUGH GRADING APPROVAL _____ DATE _____

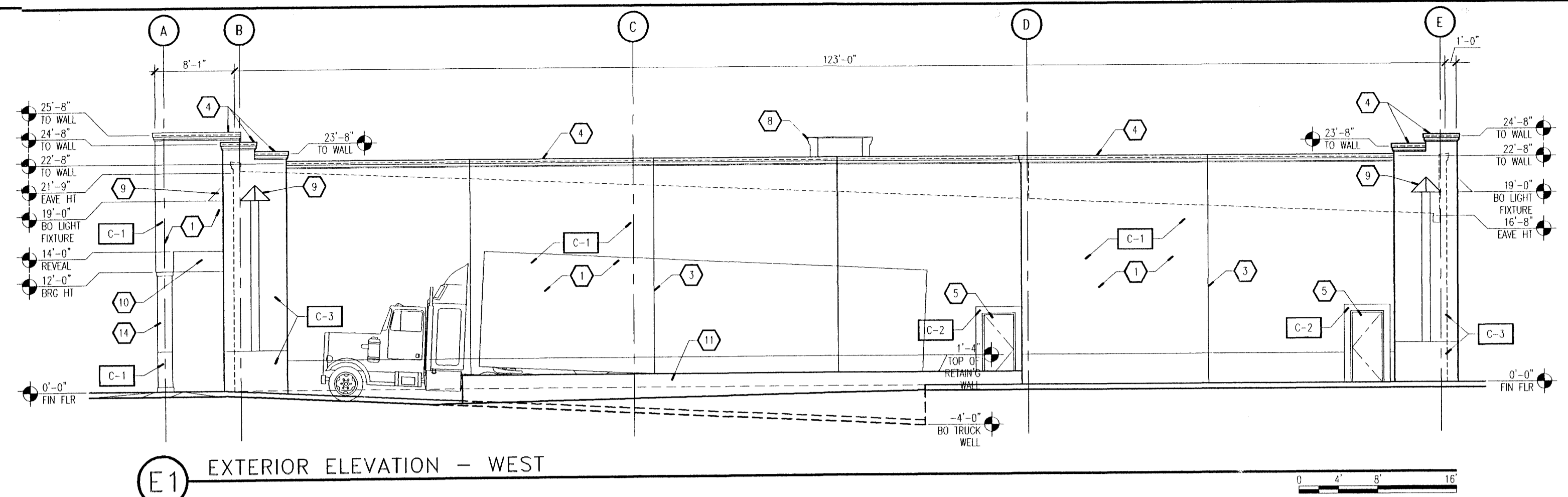
SHAHAB BIAZAR
P.E. #13479

**ADVANCED
ENGINEERING
and CONSULTING, LLC**

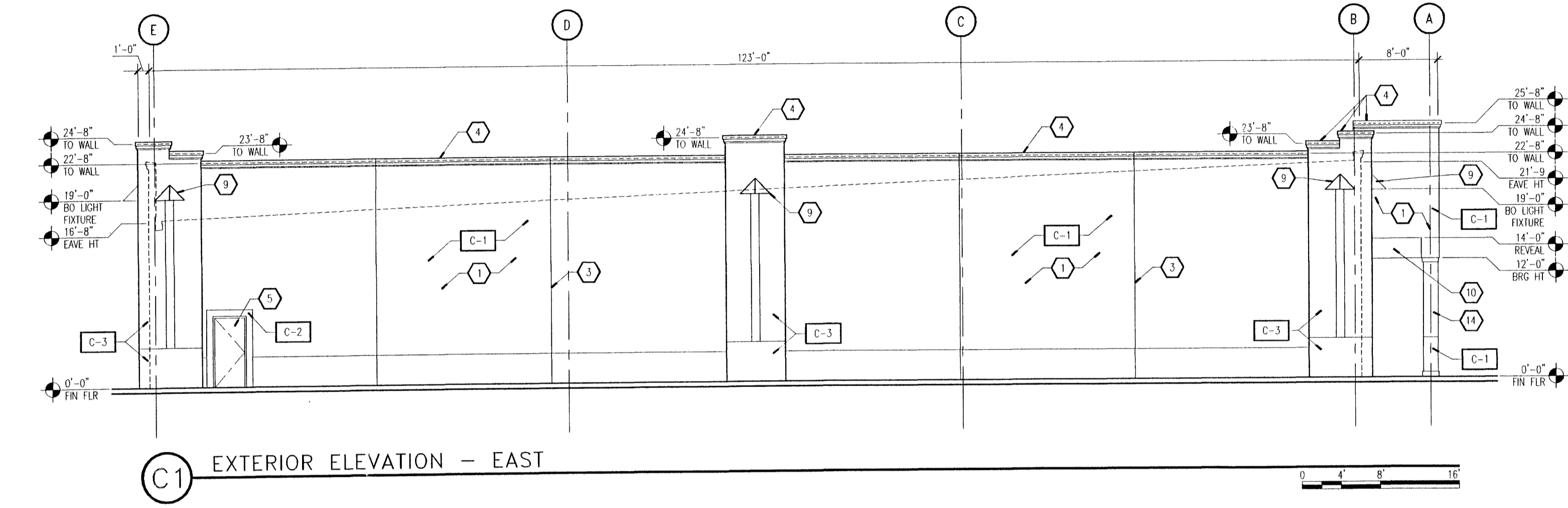
4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

**TRACT F-6-A-1, ATRISCO BUSINESS PARK
GRADING AND DRAINAGE PLAN**

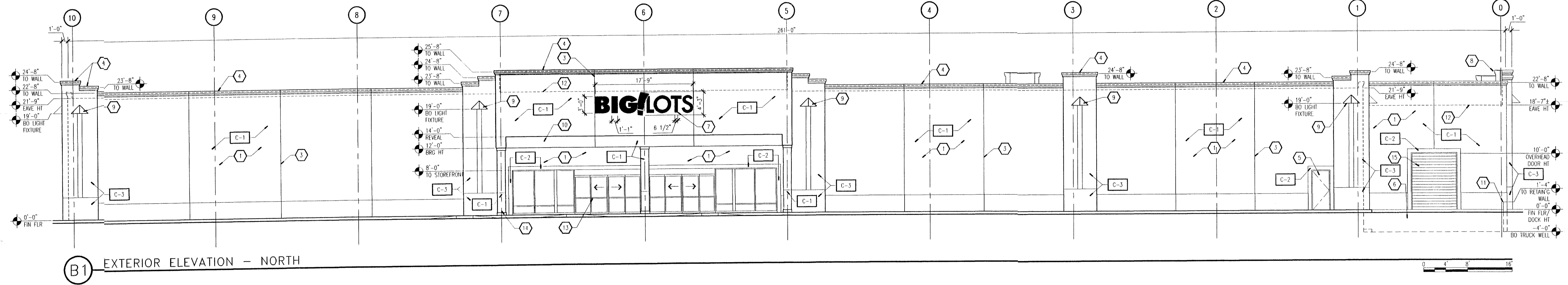
DRAWING: 200450-GR.DWG	DRAWN BY: SIH	DATE: 11-30-2004	SHEET # 3 OF 4
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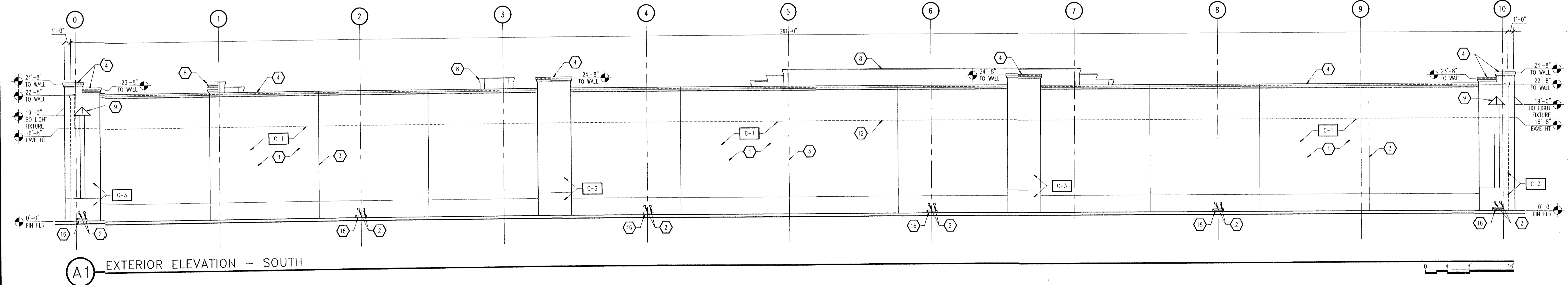
E1 EXTERIOR ELEVATION - WEST



C1 EXTERIOR ELEVATION - EAST



B1 EXTERIOR ELEVATION - NORTH



A1 EXTERIOR ELEVATION - SOUTH

FINISH LEGEND

- C-1 STUCCO FIELD COLOR - CHAMPAGNE
- C-2 STUCCO COLOR AT DOOR AND STOREFRONT TRIM - SAGE GREEN
- C-3 STUCCO TRIM AT BUILD-OUTS - DEEP CANYON (BROWN)

GENERAL NOTES

- A. COORDINATE WORK ON THIS SHEET WITH CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING.
- B. DIMENSIONS SHOWN ON THIS PLAN ARE TO FACE OF STUD, EDGE OF SLAB (REFER TO STRUCTURAL) OR FACE OF MASONRY (SIZE OF MASONRY IS NOMINAL, REFER TO STRUCTURAL), UNLESS NOTED OTHERWISE.
- C. FOR DOOR SCHEDULE INFORMATION REFER TO SHEET A-601.
- D. FOR BUILDING FINISH SCHEDULE INFORMATION REFER TO SHEET A-601.

SHEET KEYNOTES

1. STUCCO EXTERIOR FINISH
2. ROOF DRAIN DOWNSPOUT NOZZLE - "COW TONGUE"
3. CONTROL JOINT, TYP.
4. STUCCO CAP - CONTINUOUS, TOP OF ALL WALLS
5. HOLLOW METAL DOOR - SEE DOOR SCHEDULE
6. LOADING DOCK
7. BUSINESS SIGNAGE BY TENANT. SEE SIGN SPECIFICATIONS BELOW.
8. BEYOND
9. WATERPROOF EXTERIOR LIGHT FIXTURE
10. 1" STUCCO REVEAL IN WALL
11. LOADING DOCK/TRUCK WELL RETAINING WALL. SEE CIVIL.
12. LINE OF ROOF EAVE
13. 1" INSULATED GLASS IN ALUMINUM STOREFRONT ENTRY SYSTEM - SEE DOOR SCHEDULE
14. ENTRY COLUMNS - SEE DETAIL
15. OVERHEAD COILING DOOR - SEE DOOR SCHEDULE
16. CONCRETE SPLASH BLOCK

SIGN SPECIFICATIONS

INDIVIDUAL NEON ILLUMINATED CHANNELLED LETTERS STANDARD SIZES AND SPECIFICATIONS

SIGN SPECIFICATIONS: BIG LOTS
 CUSTOM FABRICATED 9" ALUMINUM CHANNELLED LETTERS FINISHED BLACK
 FACES, 150° ACRYLSTEEL #2119 ORANGE WITH 2" ORANGE TRIM CAP RETAINERS
 INTERNALLY ILLUMINATED WITH 15MM CLEAR RED NEON TUBING POWERED BY SOMA SELF-CONTAINED TRANSFORMERS

SIGN SPECIFICATIONS: EXCLAMATION
 CUSTOM FABRICATED 9" ALUMINUM CHANNELLED LETTERS FINISHED BLACK
 FACES, 150° ACRYLSTEEL #2119 ORANGE WITH OPAQUE WHITE VINYL OUTLINE AND WHITE TRIM CAP RETAINER
 INTERNALLY ILLUMINATED WITH 15MM CLEAR RED NEON TUBING POWERED BY SOMA SELF-CONTAINED TRANSFORMERS

NOTE: FABRICATION AND INSTALLATION PER UL SPECIFICATIONS. INSTALL IN ACCORDANCE WITH THE N.E.C. ALL SIGNAGE EQUIPPED WITH DISCONNECT SWITCHES.

DCSW
 ARCHITECTS

DESIGN COLLABORATIVE SOUTHWEST, INC.
 320 Central Ave., SW, Albuquerque, NM 87102
 505.843.9639 Fax: 505.843.9683
 Web Site: www.dcswwarchitects.com
 E-Mail: dcsww@dcswarchitects.com

CONSULTANTS

Architect Engineer

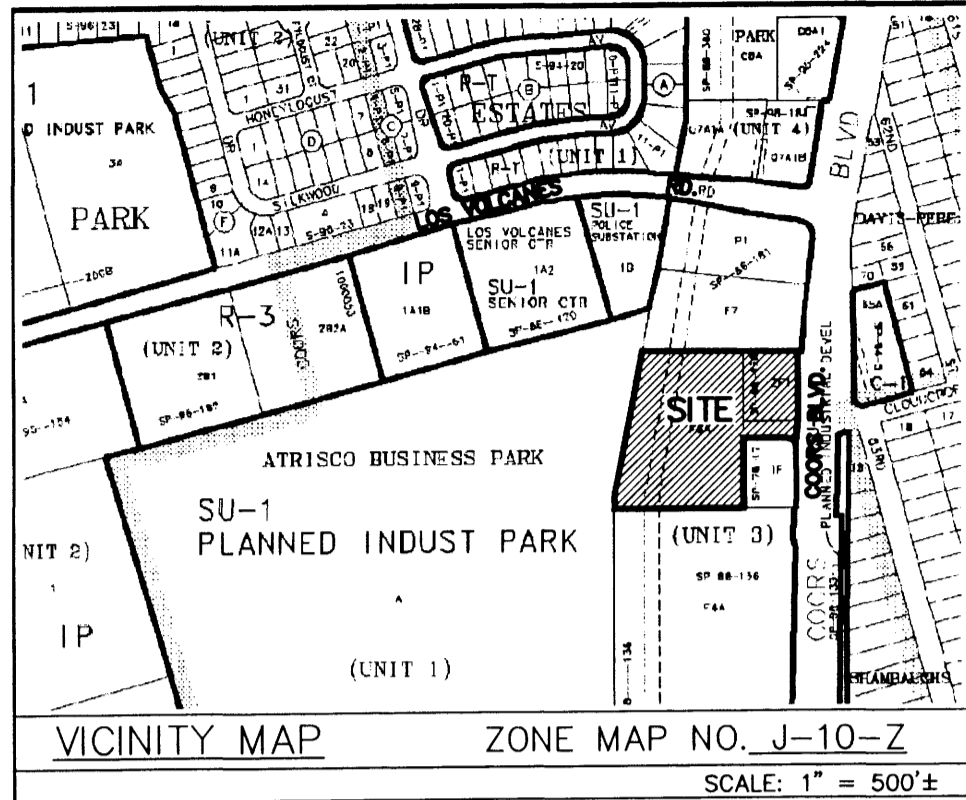
BIG LOTS! STORE
AT ATRISCO
BUSINESS PARK
 COORS BOULEVARD, NW
 ALBUQUERQUE, NM 87121

JEFFERSON ONE, LLC
 8915 ADAMS STREET NE
 ALBUQUERQUE, NM 87113



MARK	DATE	DESCRIPTION
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0412.1
CAD DWG FILE:		0412.14.A.DWG
DRAWN BY:		LLM
CHECKED BY:		JDD
DATE:		12/06/04

SHEET TITLE
 EXTERIOR ELEVATIONS



CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD DIRECTION	DELTA
C1	39.59	25.00	25.32	35.58	N44°08'21"W	90°43'36"
C2	49.77	5789.58	24.89	49.77	S01°15'52"W	00°29'33"
C3	49.77	5789.58	24.89	49.77	S01°45'25"W	00°29'33"
C4	99.55	5789.58	49.78	99.55	S01°30'39"W	00°59'07"

ACS MONUMENT "7-J10"
NM STATE PLANE COORDINATES
CENTRAL ZONE
X = 362,370.40
Y = 1,488,758.43-NAD 1927
EL. = 5103.225-NGVD 1929
G-G = 0.99967767
DELTA ALPHA = -0°15'52"

PLAT OF
TRACTS F-6-A-1 AND F-6-A-2
ATRISCO BUSINESS PARK, UNIT 3
WITHIN SECTION 15, T. 10 N., R. 2 E., N.M.P.M.,
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2004

PROJECT NO. _____ + Fire Hydrant
APPLICATION NO. _____ Easement

UTILITY APPROVALS:
PNM ELECTRIC SERVICES PRELIMINARY DATE _____
PNM GAS SERVICES ON 12/15/04 DATE _____
QWEST TELECOMMUNICATIONS _____ DATE _____
COMCAST _____ DATE _____

APPROVALS:
CITY SURVEYOR JLB 12-6-04 DATE _____
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____
UTILITIES DEVELOPMENT _____ DATE _____
PARKS AND RECREATION DEPARTMENT _____ DATE _____
ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY _____ DATE _____
CITY ENGINEER _____ DATE _____
DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

DISCLOSURE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO REPLAT EXISTING TWO TRACTS INTO TWO NEW TRACTS AND GRANT ANY EASEMENTS AS SHOWN.

LEGAL DESCRIPTION:

A CERTAIN TRACT OF LAND LOCATED WITHIN THE CORPORATE LIMITS OF THE CITY OF ALBUQUERQUE, NEW MEXICO COMPRISING OF THE FOLLOWING:

LOT 2-F-1, ATRISCO BUSINESS PARK, UNIT ONE, ALBUQUERQUE, NEW MEXICO, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY NEW MEXICO, ON APRIL 22, 1988, VOL.C36, FOL.90;

TOGETHER WITH TRACT F-6-A, ATRISCO BUSINESS PARK, UNIT THREE, ALBUQUERQUE, NEW MEXICO, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY NEW MEXICO, ON APRIL 29, 1988, VOL.C36, FOL.97;

SAID TRACT CONTAINING 4.3135 ACRE (187,896.97 SQUARE FEET), MORE OR LESS.

GENERAL NOTES:

- UNLESS NOTED, NO.4 REBAR WITH CAP STAMPED P.S. #9801 WERE SET AT ALL PROPERTY CORNERS.
- THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- TOTAL AREA OF PROPERTY: 4.3135 ACRES.
- TALOS LOG NO. 2004500646
- BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD,1927.
- BEARINGS ARE GRID, DISTANCES ARE GROUND.
- RECORD BEARINGS AND DISTANCES ARE SHOWN IN PARENTHESIS.

LINE	LENGTH	BEARING
L1	44.23 (44.61)	S00°39'38"W (S00°39'38"W)

FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED. SAID OWNER(S) / PROPRIETOR(S) DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT.

OWNER(S) SIGNATURE: Mayme Brunacini DATE: 12-06-2004
OWNER(S) PRINT NAME: Mayme Brunacini

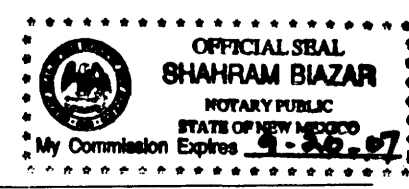
ACKNOWLEDGMENT

STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 6th DAY OF December, 2004, BY Mayme Brunacini, an unmarried woman

Shahram Biazar
NOTARY

MY COMMISSION EXPIRES: _____



OWNER(S) SIGNATURE: Frank Barela DATE: 12-06-2004
OWNER(S) PRINT NAME: Frank Barela, Married Man

OWNER(S) SIGNATURE: Evelyn Barela DATE: 12-06-2004
OWNER(S) PRINT NAME: Evelyn Barela, Married Woman

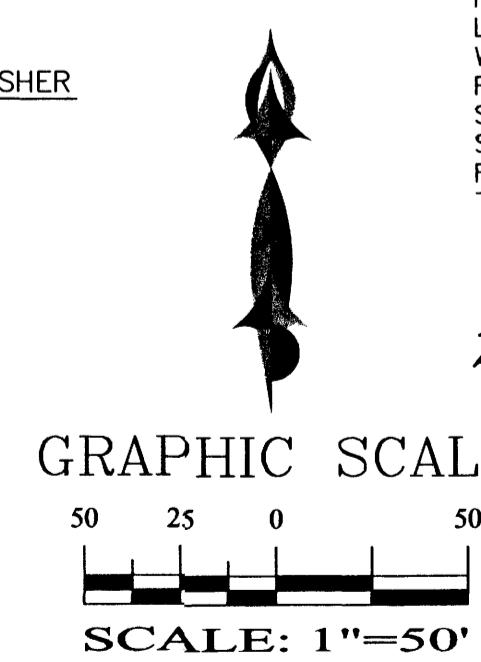
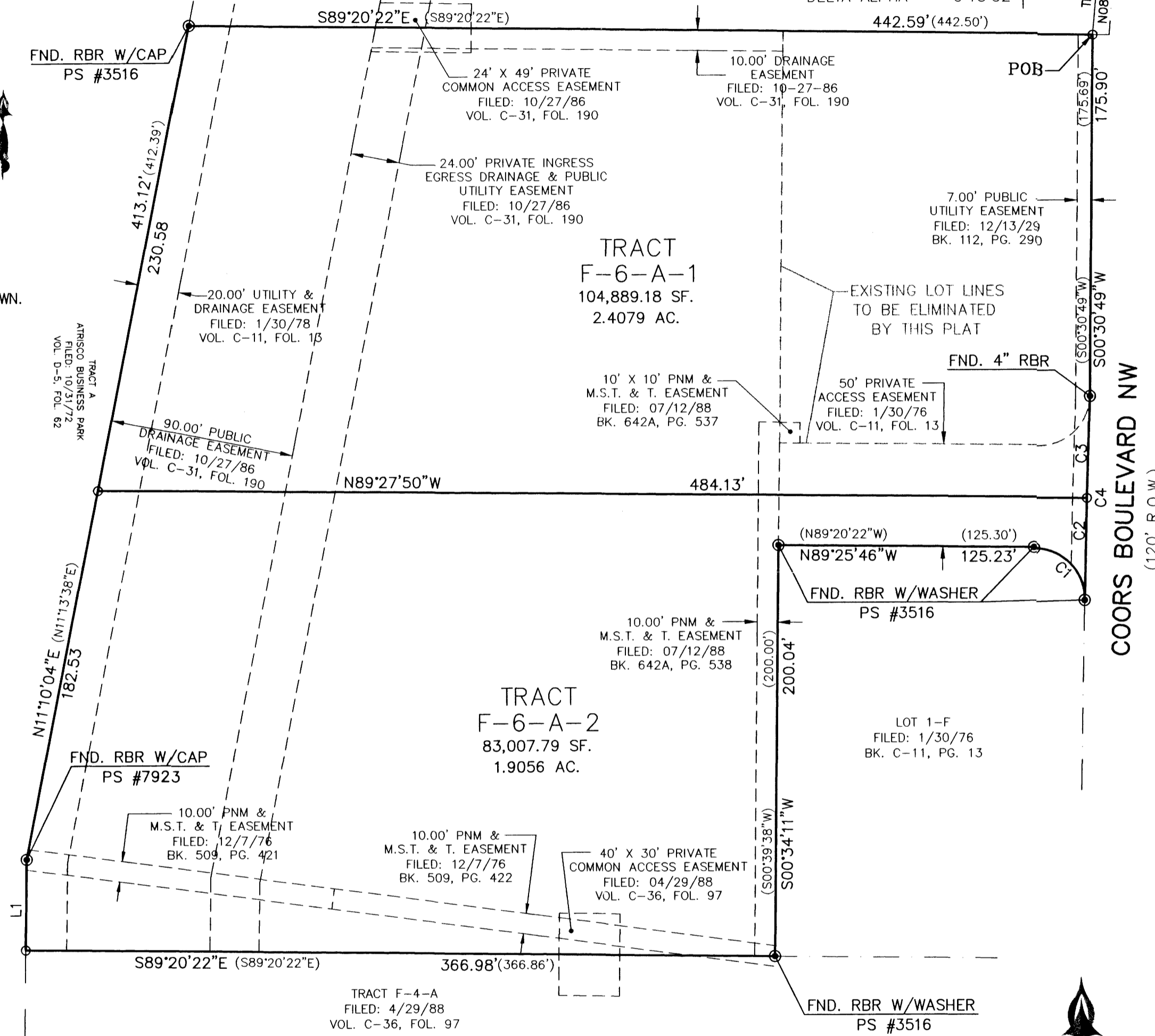
ACKNOWLEDGMENT

STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 6th DAY OF December, 2004, BY Frank and Evelyn Barela, Husband and Wife (Owners)

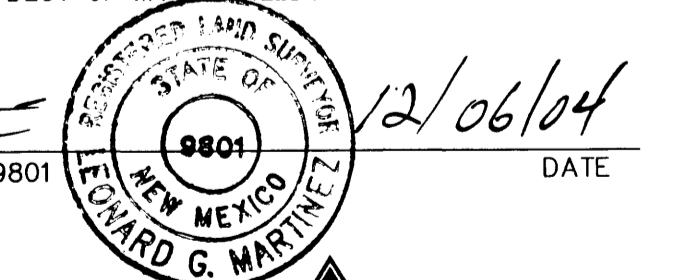
Shahram Biazar
NOTARY

MY COMMISSION EXPIRES: _____

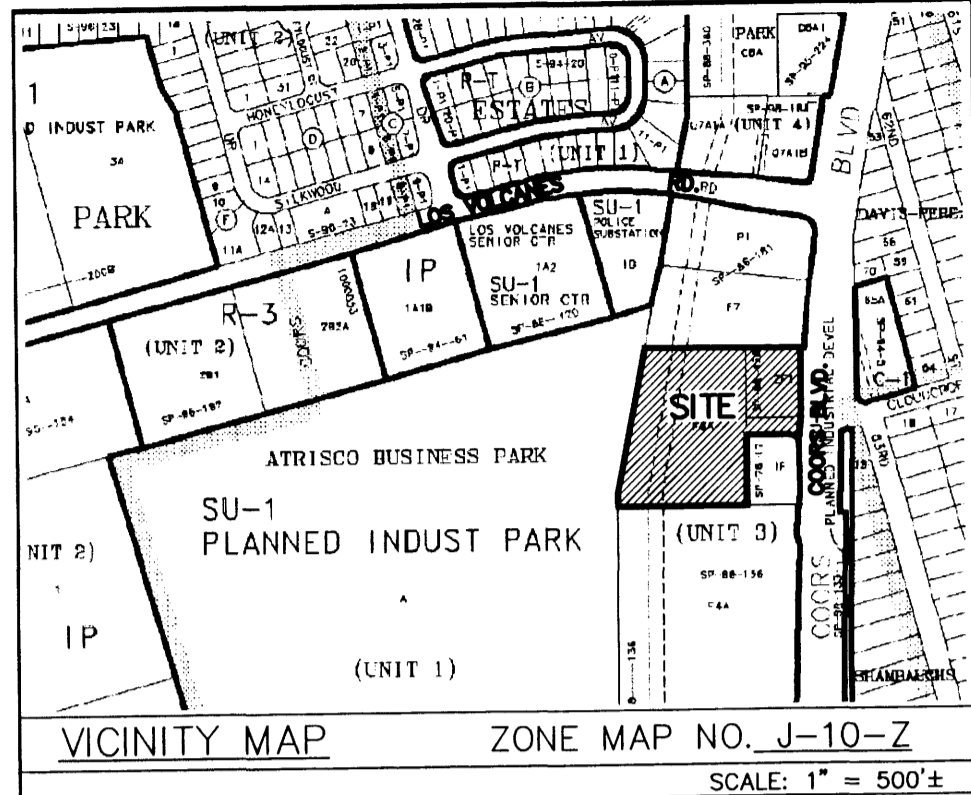


THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC # _____
PROPERTY OWNER OF RECORD: _____
BERNALILLO CO. TREASURER'S OFFICE: _____

LEONARD MARTINEZ P.S. # 9801
DATE: 12/06/04

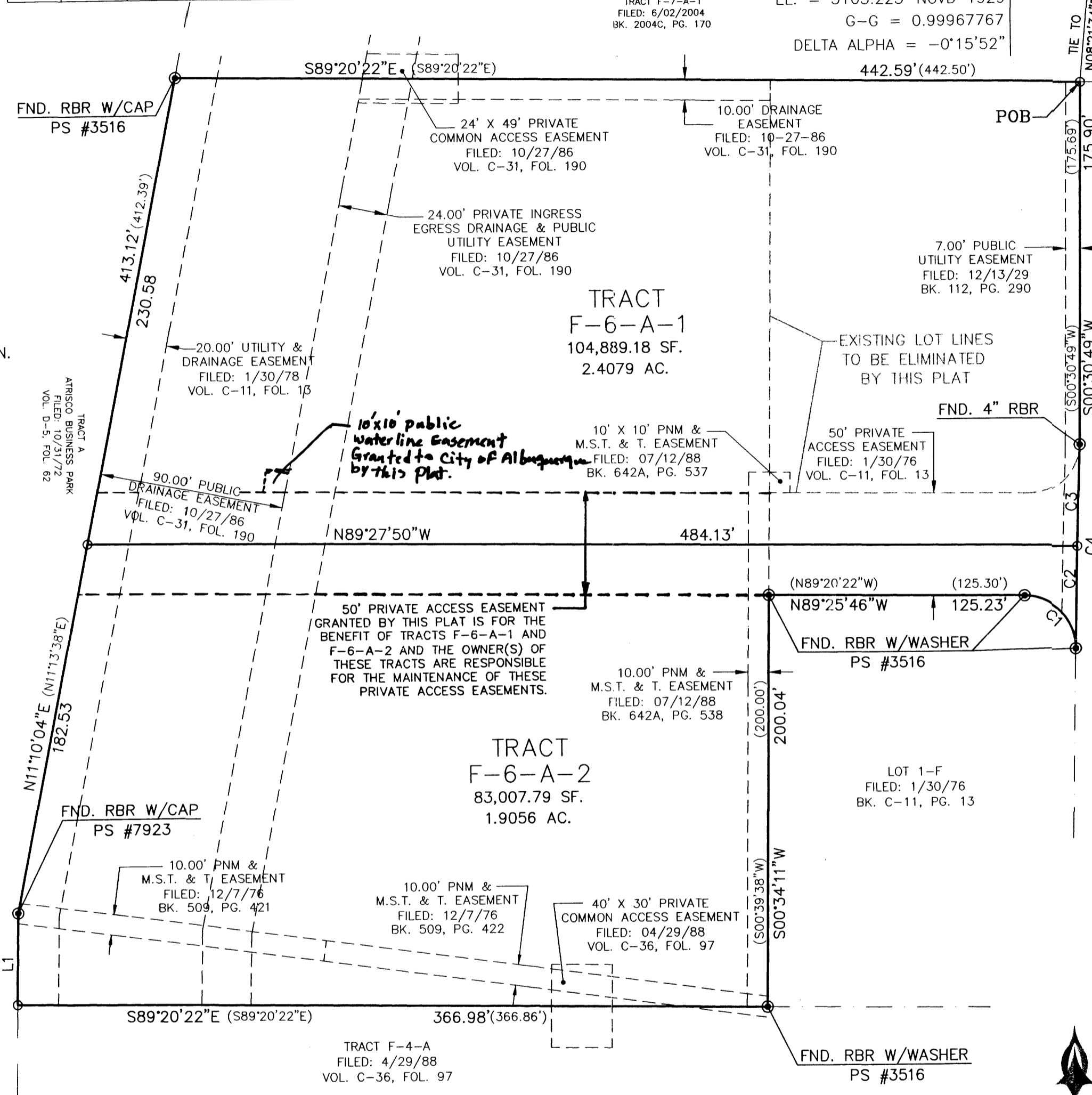


ADVANCED ENGINEERING and CONSULTING, LLC
4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570



CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD DIRECTION	DELTA
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C3	49.77	5789.58	24.89	49.77	S01°45'25"W	00°29'33"
C4	99.55	5789.58	49.78	99.55	S01°30'39"W	00°59'07"

ACS MONUMENT "7-J10"
 NM STATE PLANE COORDINATES
 CENTRAL ZONE
 X = 362,370.40
 Y = 1,488,758.43-NGVD 1927
 EL. = 5103.225-NGVD 1929
 G-G = 0.99967767
 DELTA ALPHA = -0°15'52"



PLAT OF
TRACTS F-6-A-1 AND F-6-A-2
ATRISCO BUSINESS PARK, UNIT 3
 WITHIN SECTION 15, T. 10 N., R. 2 E., N.M.P.M.,
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 DECEMBER, 2004

PROJECT NO. 1003816
 APPLICATION NO. 04-01878

- UTILITY APPROVALS:
- [Signature] PNM ELECTRIC SERVICES 12-15-04 DATE
 - [Signature] PNM GAS SERVICES 12-15-04 DATE
 - [Signature] QWEST TELECOMMUNICATIONS 12-14-04 DATE
 - [Signature] COMCAST 12-14-04 DATE

- APPROVALS:
- [Signature] CITY SURVEYOR 12-6-04 DATE
 - [Signature] TRAFFIC ENGINEERING, TRANSPORTATION DIVISION 12-15-04 DATE
 - [Signature] UTILITIES DEVELOPMENT 12-15-04 DATE
 - [Signature] PARKS AND RECREATION DEPARTMENT 12/15/04 DATE
 - [Signature] ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY 12/15/04 DATE
 - [Signature] CITY ENGINEER 12/15/04 DATE
 - [Signature] DRB CHAIRPERSON, PLANNING DEPARTMENT 12/15/04 DATE

SURVEYORS CERTIFICATE:
 I, LEONARD MARTINEZ, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND ALSO MEETS THE MINIMUM STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

[Signature] LEONARD MARTINEZ P.S. # 9801 12/06/04 DATE

GRAPHIC SCALE
 50 25 0 50
 SCALE: 1"=50'

ADVANCED ENGINEERING and CONSULTING, LLC
 4416 ANAHEIM AVE., NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)899-5570

DISCLOSURE STATEMENT:
 THE PURPOSE OF THIS PLAT IS TO REPLAT EXISTING TWO TRACTS INTO TWO NEW TRACTS AND GRANT ANY EASEMENTS AS SHOWN.

LEGAL DESCRIPTION:
 A CERTAIN TRACT OF LAND LOCATED WITHIN THE CORPORATE LIMITS OF THE CITY OF ALBUQUERQUE, NEW MEXICO COMPRISING OF THE FOLLOWING:

LOT 2-F-1, ATRISCO BUSINESS PARK, UNIT ONE, ALBUQUERQUE, NEW MEXICO, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY NEW MEXICO, ON APRIL 22, 1988, VOL.C36, FOL.90;
 TOGETHER WITH TRACT F-6-A, ATRISCO BUSINESS PARK, UNIT THREE, ALBUQUERQUE, NEW MEXICO, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY NEW MEXICO, ON APRIL 23, 1988, VOL.C36, FOL.97;
 SAID TRACT CONTAINING 4.3135 ACRE (187,896.97 SQUARE FEET), MORE OR LESS.

- GENERAL NOTES:
- UNLESS NOTED, NO.4 REBAR WITH CAP STAMPED P.S. #9801 WERE SET AT ALL PROPERTY CORNERS.
 - THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
 - TOTAL AREA OF PROPERTY: 4.3135 ACRES.
 - TALOS LOG NO. 2004500646
 - BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD,1927.
 - BEARINGS ARE GRID, DISTANCES ARE GROUND.
 - RECORD BEARINGS AND DISTANCES ARE SHOWN IN PARENTHESIS.
 - ZONING IS SU-1 FOR PLANNED INDUSTRIAL PARK FOR O-1 AND C-2 USES.

LINE	LENGTH	BEARING
L1	44.23 (44.61)	S00°39'38"W (S00°39'38"W)

FREE CONSENT
 THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED. SAID OWNER(S) / PROPRIETOR(S) DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT.

OWNER(S) SIGNATURE: [Signature] DATE: 12-06-2004
 OWNER(S) PRINT NAME: Mayme Brunacini

ACKNOWLEDGMENT
 STATE OF NEW MEXICO) S.S.
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 6th DAY OF December, 2004, BY Mayme Brunacini, an unmarried woman

[Signature]
 NOTARY

OFFICIAL SEAL
 SHAHRAM BIAZAR
 NOTARY PUBLIC
 STATE OF NEW MEXICO
 My Commission Expires 5-18-07
 MY COMMISSION EXPIRES:

OWNER(S) SIGNATURE: [Signature] DATE: 12-06-2004
 OWNER(S) PRINT NAME: Frank Barela, Married Man
 OWNER(S) SIGNATURE: [Signature] DATE: 12-06-2004
 OWNER(S) PRINT NAME: Evelyn Barela, Married Woman

ACKNOWLEDGMENT
 STATE OF NEW MEXICO) S.S.
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 6th DAY OF December, 2004, BY Frank and Evelyn Barela, Husband and Wife (Owners)

[Signature]
 NOTARY

2004175697
 6189189
 Page: 1 of 1
 12/15/2004 02:26P
 Bk-2004C Pg-368
 MARY HERRERA
 Bern. Co. PLRT R 7.00
 OFFICIAL SEAL
 SHAHRAM BIAZAR
 NOTARY PUBLIC
 STATE OF NEW MEXICO
 My Commission Expires 5-18-07
 MY COMMISSION EXPIRES:

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
 UPC # 101005848808440613 & 101005847007240606
 PROPERTY OWNER OF RECORD: Brunacini, Mayme, Barela Group LLC
 BERNALILLO CO. TREASURER'S OFFICE: [Signature] 12/15/04