

Location Map
Zone Atlas Map No. L-14-Z

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 1.0618 ACRES±
 ZONE ATLAS INDEX NO. L-14-Z
 NO. OF TRACTS CREATED: 1
 NO. OF LOTS CREATED: 12
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: MARCH 22, 2006, FIELD VERIFIED FEBRUARY 2008

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING ONE TRACT INTO TWELVE (12) NEW LOTS AND ONE (1) NEW TRACT, AND TO GRANT EASEMENTS.

Notes:

- MISC. DATA: ZONING SU-2 AND SU-2 RT
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANS CENTRAL ZONE - NAD 1983).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 29, TOWNSHIP 10 NORTH, RANGE 3 EAST, TOWN OF ALBUQUERQUE GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2007050637.
- THE PROPERTY ON THIS PLAT IS SUBJECT TO A PRE-DEVELOPMENT FACILITIES FEE AGREEMENT WITH THE ALBUQUERQUE PUBLIC SCHOOLS RECORDED AT / /2002.

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM (ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM (GAS) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM (ELECTRIC) AND (GAS) (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

RECORDING STAMP
 DOCH 2008040926
 04/10/2008 03:09 PM Page: 1 of 2
 PLAT R-312 00 S: 2008 P: 0057 T: Toulouse, Bernalillo County

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE TOWN OF ALBUQUERQUE GRANT, PROJECTED SECTION 29, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACT LETTERED "B" BARELAS COFFEE HOUSE, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 07, 2007, IN BOOK 2007C, PAGE 112 CONTAINING 1.0618 ACRES, MORE OR LESS, NOW COMPRISING OF LOTS 1 THROUGH 12 AND TRACT A, BARELAS TOWN HOMES.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

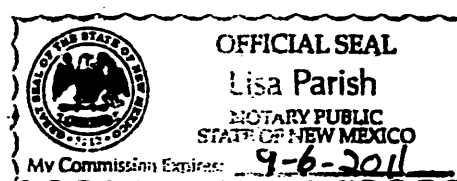
Michael A. Gonzales 2/27/08
 MICHAEL A. GONZALES OWNER DATE

Acknowledgment

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 27th DAY OF Feb. 2008 BY MICHAEL A. GONZALES, OWNER

BY *Lisa Parish* MY COMMISSION EXPIRES: 9-6-2011
 NOTARY PUBLIC



Plat of
 Lots 1 through 12 and Tract A
Barelas Town Homes

Albuquerque, Bernalillo County, New Mexico
 February 2008

Project No. 1003857

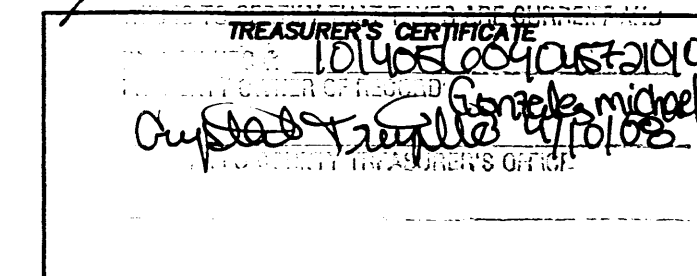
Application No. 08DRB-70141

Utility Approvals

<i>Fernando Vigil</i> PNM (ELECTRIC)	3-24-2008 DATE
<i>Fernando Vigil</i> PNM (GAS)	3-24-2008 DATE
<i>David R. Roll</i> QWEST TELECOMMUNICATIONS	3/21/08 DATE
<i>Konnie Huber</i> COMCAST	3-21-08 DATE

City Approvals

<i>[Signature]</i> CITY SURVEYOR	3-5-08 DATE
<i>[Signature]</i> TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	3/26/08 DATE
<i>Roger Green</i> ABCWUA	3-26-08 DATE
<i>Christina Sandoval</i> PARKS AND RECREATION DEPARTMENT	3/26/08 DATE
<i>Bradley A. Bingham</i> AMAFCA	3/26/08 DATE
<i>Bradley A. Bingham</i> CITY ENGINEER	3/26/08 DATE
<i>[Signature]</i> DRB CHAIRPERSON, PLANNING DEPARTMENT	3/26/08 DATE



Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature] 2/27/08
 LARRY W. MEDRANO
 N.M.P.S. No. 11993
 DATE



PRECISION SURVEYS, INC.

8500-A Jefferson Street, NE
 Albuquerque, NM 87113

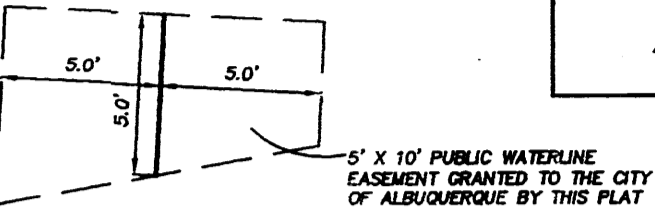
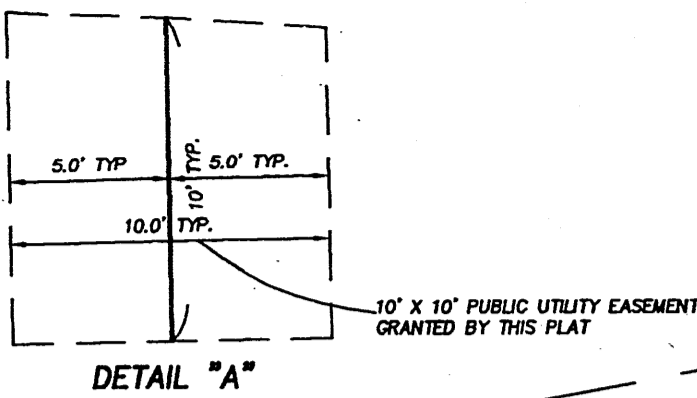
866.422.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

Line Table

LINE	BEARING	DISTANCE
L1	N 00°14'09" E	25.27'
L2	N 83°39'42" W	11.82'
L3	S 83°39'42" E	22.04'
L4	S 79°45'26" W	6.85'
L5	N 87°11'09" E	1.90'
L6	S 00°56'42" E	14.87'

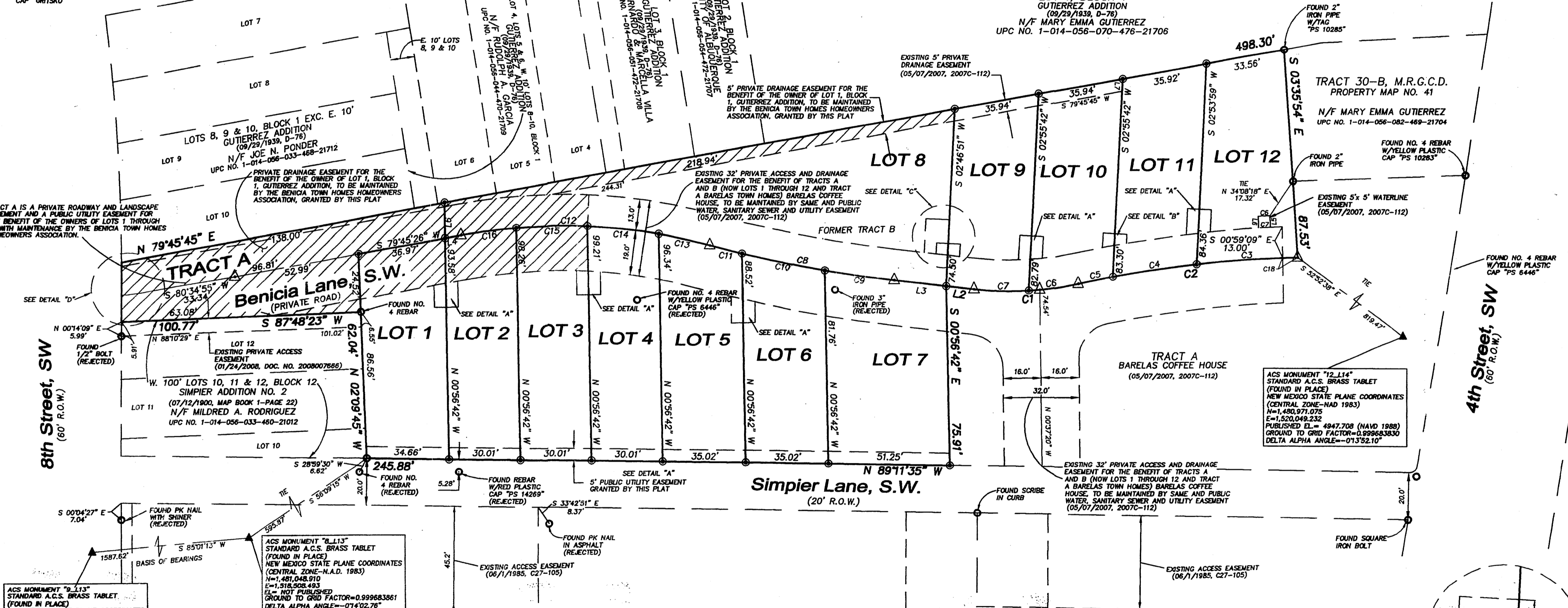
Legend

- N 90°00'00" E MEASURED BEARING AND DISTANCES MATCH RECORD BEARING AND DISTANCES
- DENOTES FOUND AND USED NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" UNLESS OTHERWISE DESIGNATED
- DENOTES NO. 4 REBAR W/YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
- △ 4" DIAMETER ALUMINUM CENTERLINE MONUMENT STAMPED "PS 11993" SET THIS SURVEY



DETAIL "B"

FOUND NO. 4 REBAR W/YELLOW PLASTIC CAP "GRITSKO"

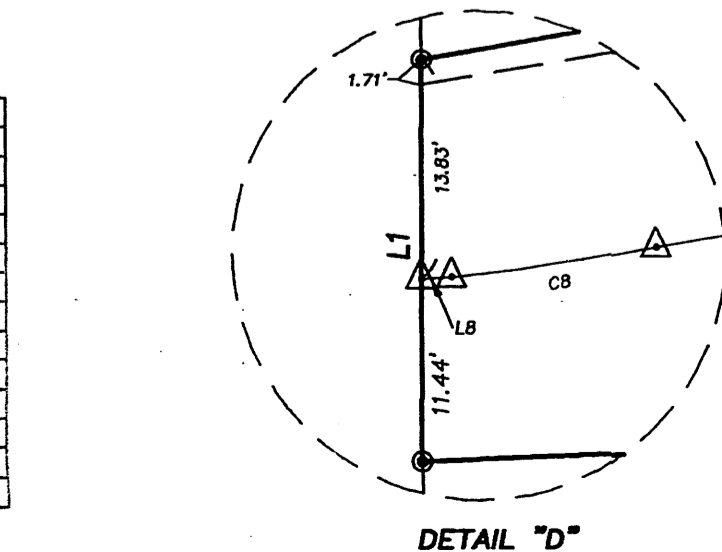


Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	134.69'	44.11'	18°45'45"	22.25'	43.91'	S 86°57'26" W
C2	487.38'	93.45'	10°59'10"	46.87'	93.31'	S 83°04'08" W
C3	487.37'	42.90'	05°02'34"	21.46'	42.88'	N 86°02'26" E
C4	487.37'	35.74'	04°12'08"	17.88'	35.74'	N 81°25'05" E
C5	487.38'	14.81'	01°44'28"	7.41'	14.81'	N 78°26'47" E
C6	134.69'	21.06'	08°57'30"	10.55'	21.04'	S 82°03'18" W
C7	134.69'	23.05'	09°48'15"	11.55'	23.02'	N 88°33'49" W
C8	512.62'	79.57'	08°53'38"	39.87'	79.49'	N 79°12'53" W
C9	512.62'	29.73'	03°19'21"	14.87'	29.72'	N 82°00'02" W
C10	512.62'	35.87'	04°00'34"	17.94'	35.87'	N 78°20'04" W
C11	512.62'	13.98'	01°33'44"	6.99'	13.98'	N 75°32'56" W
C12	237.52'	105.83'	25°31'45"	53.81'	104.96'	S 87°31'07" E
C13	237.52'	22.15'	05°20'32"	11.08'	22.14'	S 77°25'31" E
C14	237.52'	30.26'	07°17'57"	15.15'	30.24'	S 83°44'46" E
C15	237.52'	30.02'	07°14'30"	15.03'	30.00'	N 88°59'01" E
C16	237.52'	23.40'	05°38'45"	11.71'	23.40'	N 82°32'24" E
C17	113.25'	12.94'	06°32'53"	6.48'	12.93'	S 81°20'59" W
C18	487.38'	6.36'	00°44'52"	3.18'	6.36'	N 88°11'17" E

Area Table

LOT	GROSS AREA	NET AREA
LOT 1	0.0736 ACRES± 3,206 SQ. FT.±	0.0576 ACRES± 2,507 SQ. FT.±
LOT 2	0.0663 ACRES± 2,886 SQ. FT.±	0.0531 ACRES± 2,311 SQ. FT.±
LOT 3	0.0682 ACRES± 2,971 SQ. FT.±	0.0551 ACRES± 2,401 SQ. FT.±
LOT 4	0.0676 ACRES± 2,943 SQ. FT.±	0.0544 ACRES± 2,368 SQ. FT.±
LOT 5	0.0745 ACRES± 3,244 SQ. FT.±	0.0587 ACRES± 2,557 SQ. FT.±
LOT 6	0.0682 ACRES± 2,973 SQ. FT.±	0.0526 ACRES± 2,292 SQ. FT.±
LOT 7	0.0924 ACRES± 4,024 SQ. FT.±	0.0698 ACRES± 3,041 SQ. FT.±
LOT 8	0.1921 ACRES± 8,368 SQ. FT.±	0.1282 ACRES± 5,584 SQ. FT.±
LOT 9	0.0636 ACRES± 2,772 SQ. FT.±	0.0531 ACRES± 2,311 SQ. FT.±
LOT 10	0.0671 ACRES± 2,922 SQ. FT.±	0.0564 ACRES± 2,455 SQ. FT.±
LOT 11	0.0672 ACRES± 2,926 SQ. FT.±	0.0565 ACRES± 2,462 SQ. FT.±
LOT 12	0.0744 ACRES± 3,239 SQ. FT.±	0.0618 ACRES± 2,691 SQ. FT.±
TRACT A	0.0869 ACRES± 3,778 SQ. FT.±	N/A



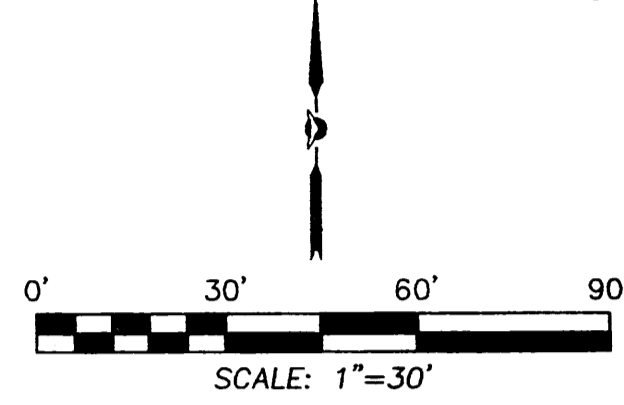
DETAIL "D"

PRECISION SURVEYS, INC.

8500-A Jefferson Street, NE
Albuquerque, NM 87113

866.422.8011 TOLL FREE
505.856.5700 PHONE
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Plat of
Lots 1 through 12 and Tract A
Barelas Town Homes
Albuquerque, Bernalillo County, New Mexico
February 2008



DOCH 2008040926
04/10/2008 09:09 PM Page: 2 of 2
PLAT R:\$12.00 B: 2808C P: 0067 H: Toulouse, Bernalillo County

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Location Map
Zone Atlas Map No. L-14-Z

Subdivision Data:

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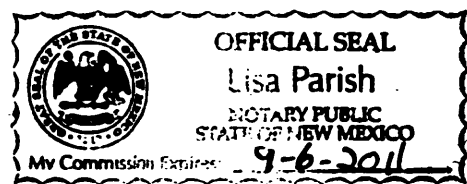
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Michael A. Gonzales 2/27/08
 MICHAEL A. GONZALES OWNER DATE

Acknowledgment

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 COUNTY OF BERNALILLO)
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 BY *Lisa Parish* MY COMMISSION EXPIRES: 9-6-2011
 NOTARY PUBLIC



Plat of
 Lots 1 through 12 and Tract A
Barelas Town Homes
 Albuquerque, Bernalillo County, New Mexico
 February 2008

Project No. 1003857
 Application No. 08DRB-
Utility Approvals

PNM (ELECTRIC)	DATE
PNM (GAS)	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST	DATE
City Approvals <i>[Signature]</i>	3-5-08
CITY SURVEYOR	DATE

TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT

TREASURER'S CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

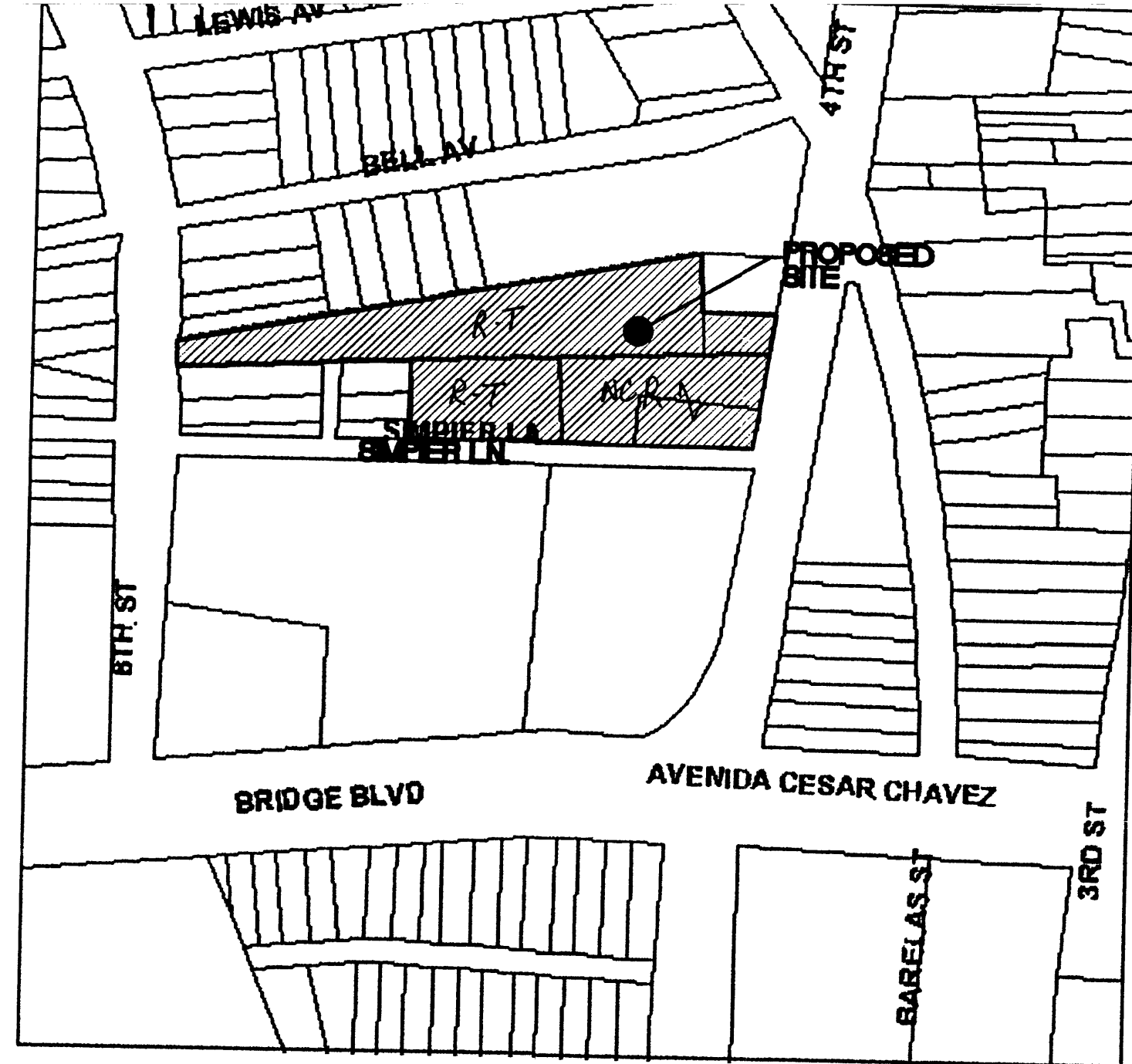
[Signature] 2/27/08
 LARRY W. MEDRANO
 N.M.P.S. No. 11993 DATE



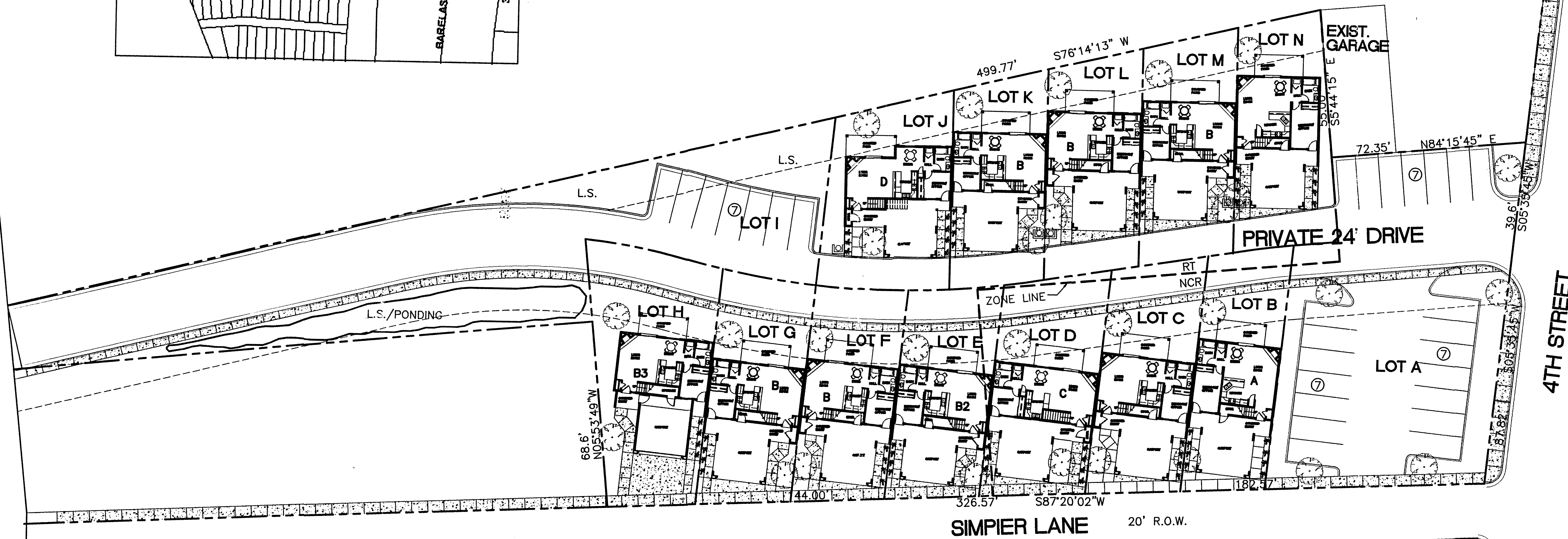
PRECISION SURVEYS, INC.

8500-A Jefferson Street, NE
 Albuquerque, NM 87113

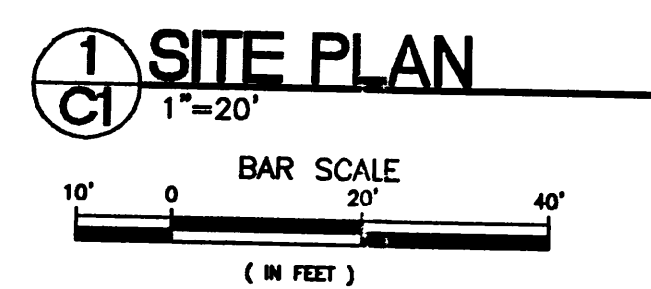
866.422.8011 TOLL FREE
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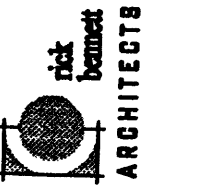
8TH STREET

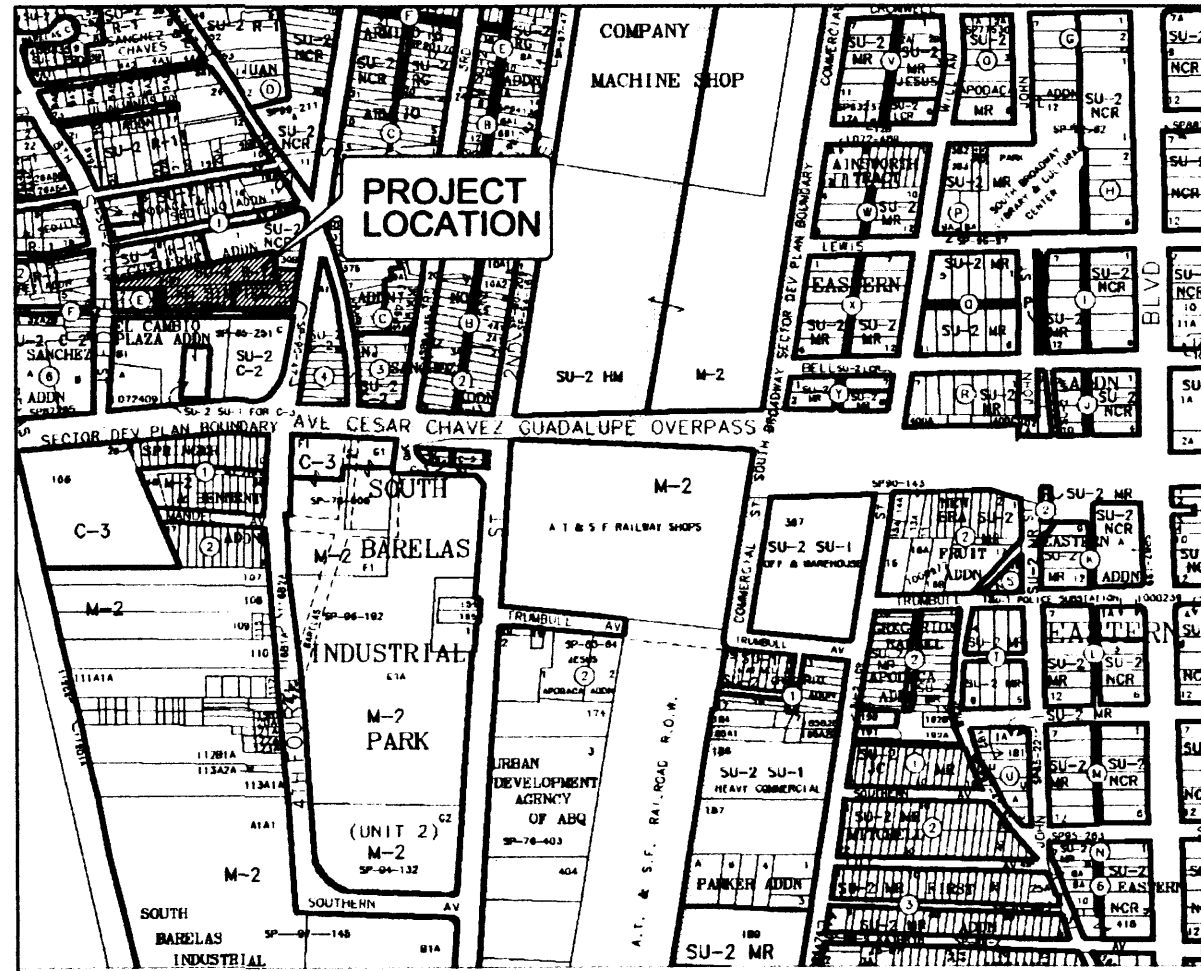


4TH STREET



BARELAS TOWN HOMES
ALBUQUERQUE, NEW MEXICO
PROJECT #0467

REVISION DATE
 <small>100 Park Avenue SW - Albuquerque, New Mexico (505) 243-1139 - Fax (505) 243-6808</small>
DATE
12-16-04
SHEET NUMBER
C-1

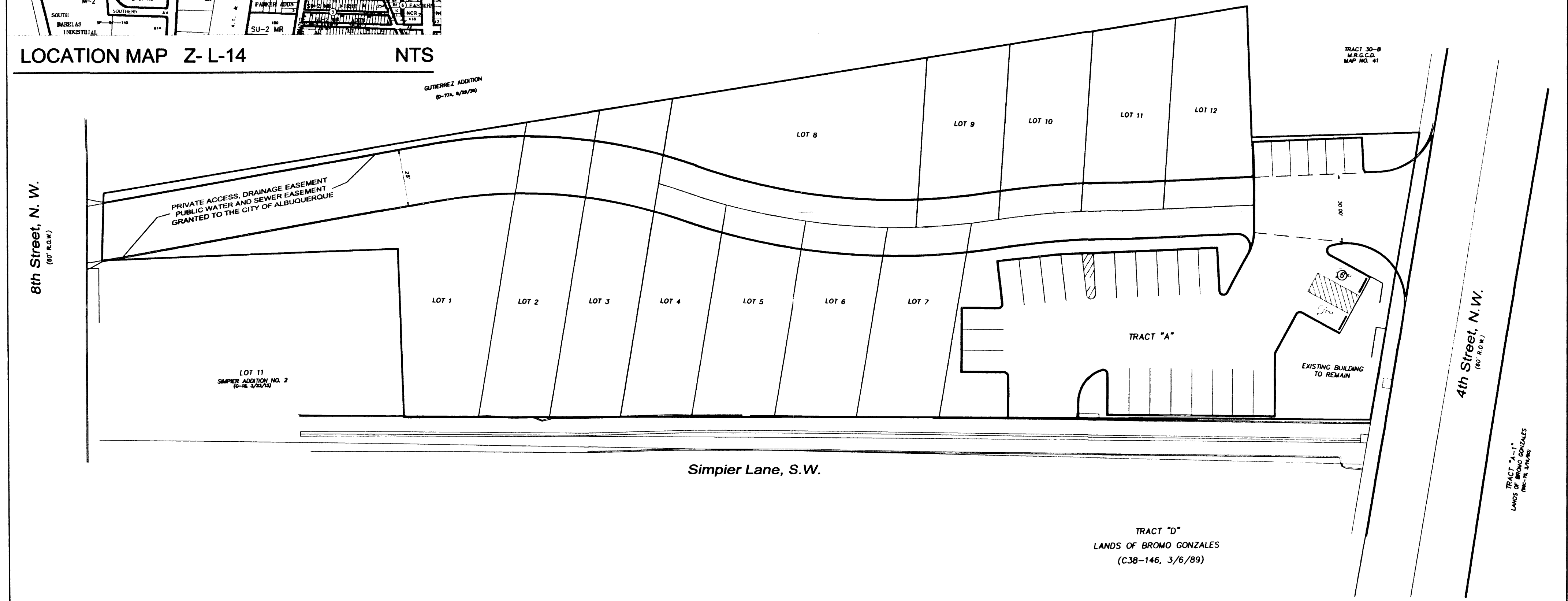


LOCATION MAP Z-L-14

NTS

SKETCH PLAT FOR BARELAS TOWNHOMES

SEPTEMBER, 2006



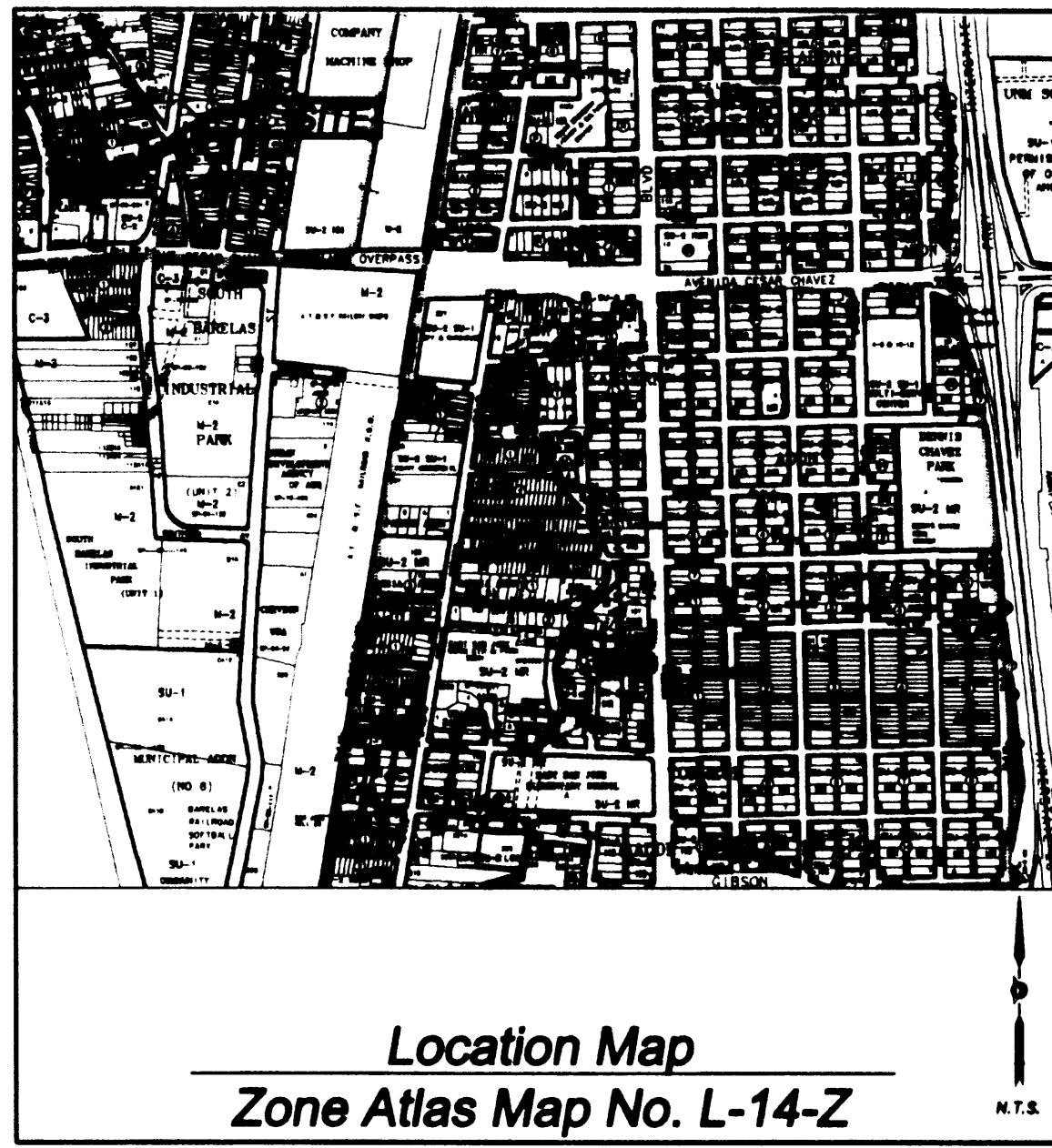
	BRASHER & LORENZ CONSULTING ENGINEERS 2201 San Pedro NE, Building 1, Suite 1300 Albuquerque, New Mexico 87110 Ph: 505-888-6088 Fax: 505-888-6188			
	BARELAS TOWNHOMES			
DESIGN DAL SCALE 1"=10'	DRAWN KRH BU JOB 06503	CHECKED DAL DATE 08/28/06	SHEET C2	

Preliminary Plat of
 Lots 1 through 12 and Tract A
Barelas Town Homes
 Albuquerque, Bernalillo County, New Mexico
 May 2007

Legal Description

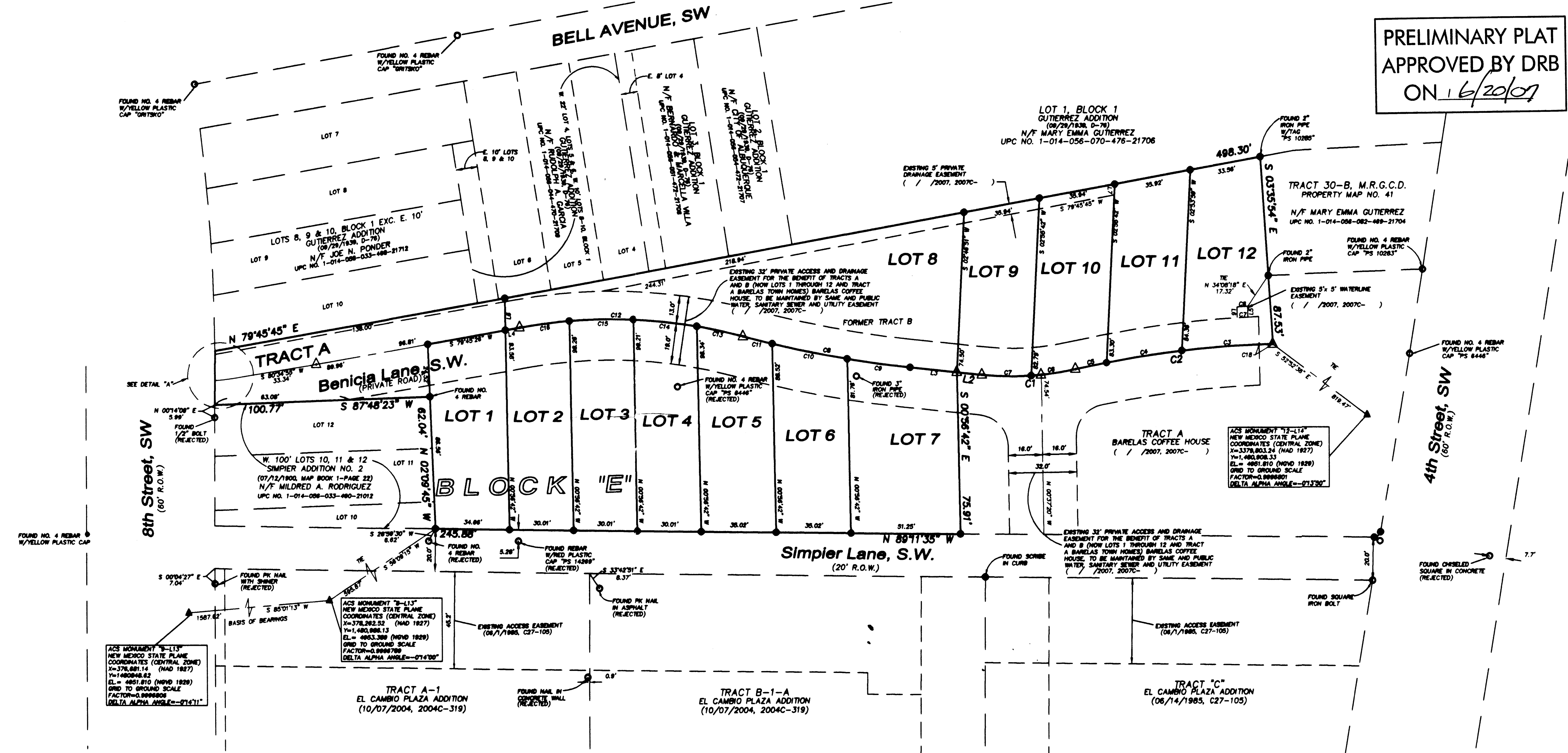
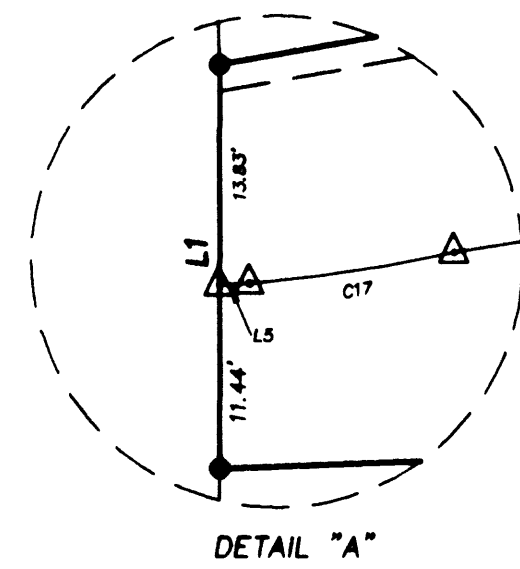
A TRACT OF LAND LYING AND SITUATE WITHIN THE TOWN OF ALBUQUERQUE GRANT, PROJECTED SECTION 29, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACT LETTERED "B" BARELAS COFFEE HOUSE, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON 2007, IN BOOK 2007C, PAGE CONTAINING 1.0818 ACRES, MORE OR LESS, NOW COMPRISING OF LOTS 1 THROUGH 12 AND TRACT A, BARELAS TOWN HOMES.

PRELIMINARY PLAT
 APPROVED BY DRB
 ON 6/20/07



Legend

- N 80°00'00" E MEASURED BEARING AND DISTANCES MATCH RECORD BEARINGS AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES REBAR W/CAP "PS 11983" TO BE SET UNLESS OTHERWISE NOTED

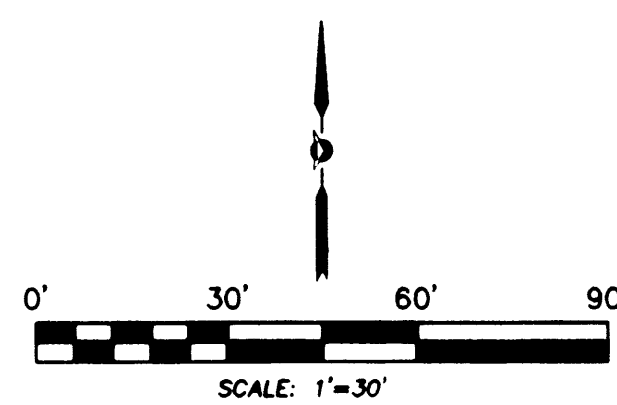


Notes:

1. UNLESS OTHERWISE NOTED ALL BOUNDARY CORNERS SHOWN THUS ● SHALL BE MARKED BY A #4 REBAR W/YELLOW PLASTIC CAP STAMPED "PS 11993".
2. BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
3. BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS. (CENTRAL ZONE, NAD 1927)
4. ALL DISTANCES SHALL BE GROUND DISTANCES.
5. MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

APPROVED: *[Signature]* 5-1-07
 CITY SURVEYOR DATE

Owner's Signature: *[Signature]*
 MICHAEL A. GONZALES
 OWNER



Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	134.69	44.11	18°45'45"	22.25	43.91	S 86°57'26" W
C2	487.37	93.45	10°59'10"	46.87	93.31	N 83°04'08" E
C3	487.37	42.90	05°02'34"	21.46	42.88	N 86°02'28" E
C4	487.37	35.74	04°12'08"	17.86	35.74	N 81°25'05" E
C5	487.37	14.81	01°44'28"	7.41	14.81	N 78°26'47" E
C6	134.69	23.06	08°57'30"	10.55	21.04	S 82°03'18" W
C7	134.69	23.05	09°48'15"	11.55	23.02	N 88°33'49" W
C8	512.62	79.57	08°33'36"	39.87	79.49	N 78°12'53" W
C9	512.62	29.73	03°19'21"	14.87	29.72	N 82°00'02" W
C10	512.62	35.87	04°00'34"	17.94	35.87	N 78°20'04" W
C11	512.62	13.90	01°33'44"	6.98	13.89	N 75°32'56" W
C12	237.52	105.83	25°31'45"	53.81	104.96	S 87°31'07" E
C13	237.52	22.15	05°20'32"	11.08	22.14	S 77°25'31" E
C14	237.52	30.26	07°17'57"	15.15	30.24	S 83°44'48" E
C15	237.52	30.02	07°14'30"	15.03	30.00	N 88°59'01" E
C16	237.52	23.40	05°36'45"	11.71	23.40	N 82°32'24" E
C17	113.23	12.94	08°32'53"	6.48	12.93	S 81°20'59" W
C18	487.37	6.36	00°44'52"	3.18	6.36	N 88°11'17" E

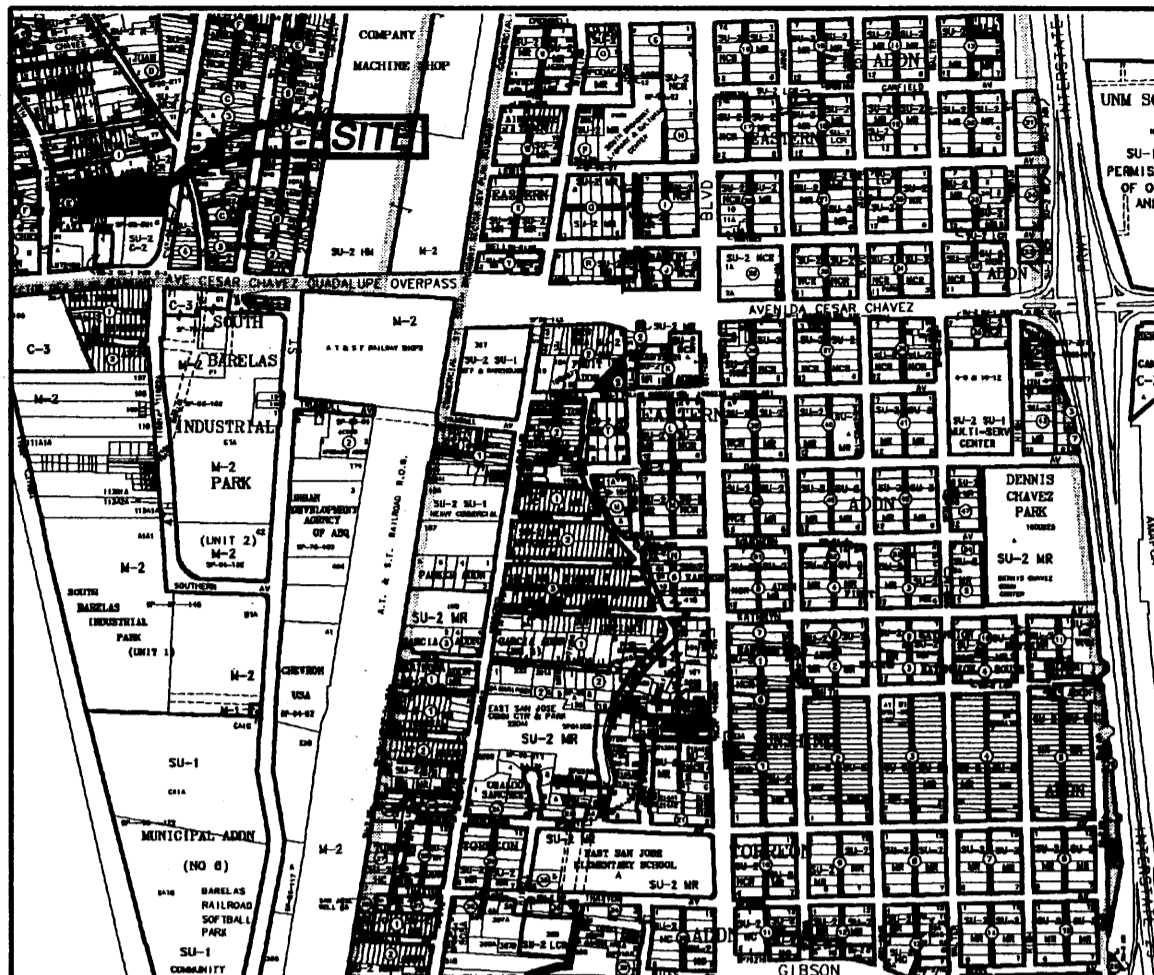
Area Table

LOT	GROSS AREA	NET AREA
LOT 1	0.0736 ACRES± 3,208 SQ. FT.±	0.0578 ACRES± 2,507 SQ. FT.±
LOT 2	0.0663 ACRES± 2,886 SQ. FT.±	0.0531 ACRES± 2,311 SQ. FT.±
LOT 3	0.0682 ACRES± 2,971 SQ. FT.±	0.0551 ACRES± 2,401 SQ. FT.±
LOT 4	0.0878 ACRES± 3,843 SQ. FT.±	0.0544 ACRES± 2,368 SQ. FT.±
LOT 5	0.0745 ACRES± 3,244 SQ. FT.±	0.0587 ACRES± 2,557 SQ. FT.±
LOT 6	0.0682 ACRES± 2,973 SQ. FT.±	0.0528 ACRES± 2,292 SQ. FT.±
LOT 7	0.0924 ACRES± 4,024 SQ. FT.±	0.0808 ACRES± 3,041 SQ. FT.±
LOT 8	0.1921 ACRES± 8,368 SQ. FT.±	0.1262 ACRES± 5,544 SQ. FT.±
LOT 9	0.0636 ACRES± 2,772 SQ. FT.±	0.0531 ACRES± 2,311 SQ. FT.±
LOT 10	0.0671 ACRES± 2,922 SQ. FT.±	0.0564 ACRES± 2,455 SQ. FT.±
LOT 11	0.0672 ACRES± 2,926 SQ. FT.±	0.0565 ACRES± 2,462 SQ. FT.±
LOT 12	0.0744 ACRES± 3,239 SQ. FT.±	0.0618 ACRES± 2,691 SQ. FT.±
TRACT A	0.0869 ACRES± 3,778 SQ. FT.±	N/A



8500-A Jefferson Street, NE
 Albuquerque, NM 87113

866.442.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX



Location Map
Zone Atlas Map No. L-14-Z

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 1.5098 ACRES±
 ZONE ATLAS INDEX NO: L-14-Z
 NO. OF TRACTS CREATED: 2
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: MARCH 22, 2006

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING FOUR TRACTS AND REMAINING PORTIONS OF SIX LOTS AND VACATED ALLEY INTO TWO NEW TRACTS, AND TO VACATE THE EXISTING 16' WIDE ALLEY (06DRB-00442 VACATION OF PUBLIC RIGHT OF WAY)

Notes:

- MISC. DATA: ZONING SU-2 AND SU-2 RT
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 29, TOWNSHIP 10 NORTH, RANGE 3 EAST, TOWN OF ALBUQUERQUE GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2007050637.

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

RECORDING STAMP

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE TOWN OF ALBUQUERQUE GRANT, PROJECTED SECTION 29, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACTS "C-1" AND "C-2" LANDS OF BROMO GONZALES, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 16, 1990, IN VOLUME 90C, FOLIO 75, TOGETHER WITH TRACT "D" LANDS OF BROMO GONZALES, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 06, 1989, IN VOLUME C38, FOLIO 146, TOGETHER WITH TRACT 31-B-1 AS THE SAME IS SHOWN AND DESIGNATED ON MIDDLE RIO GRANDE CONSERVANCY DISTRICT PROPERTY MAP NUMBER 41, TOGETHER WITH THE REMAINING WEST FIFTY-EIGHT FEET (58') OF LOTS NUMBERED FOUR (4), FIVE (5), AND SIX (6), AND THE REMAINING EAST FORTY-TWO FEET (42') OF LOTS NUMBERED TEN (10), ELEVEN (11) AND TWELVE (12), AND THE VACATED ALLEY LYING BETWEEN SAID LOTS IN BLOCK LETTERED "E" OF THE SIMPIER ADDITION NUMBER 2, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 12, 1900, IN MAP BOOK 1, PAGE 22, SAID REMAINING PORTIONS AS DESCRIBED IN DEED, RECORDED ON NOVEMBER 27, 1967, IN BOOK D836, PAGE 769, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1927) AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE NORTHEASE CORNER OF DESCRIBED LYING ON WEST RIGHT OF WAY LINE OF 4TH STREET MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 10283" FROM WHENCE A TIE TO ALBUQUERQUE CONTROL SURVEY MONUMENT "ACS 15-L14" BEARS S 62°37'08" E, A DISTANCE OF 2,923.28 FEET;

THENCE FROM SAID POINT OF BEGINNING, ALONG SAID WEST RIGHT OF WAY LINE FOURTH STREET, SW S 10°29'22" W, A DISTANCE OF 84.81 FEET TO A POINT OF CURVATURE MARKED BY A SET NO. 4 REBAR WITH WILL PLASTIC CAP "PS 11993";

THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 3.00 FEET AN ARC LENGTH OF 4.26 FEET, A DELTA ANGLE OF 81°23'37", A CHORD BEARING OF S 51°11'10" W, DISTANCE OF 3.91 FEET TO A POINT OF TANGENCY LYING OF THE NORTH RIGHT OF WAY LINE OF SIMPIER LANE, SW, MARKED BY SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 88°07'01" W, ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 440.25 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 01°05'11" W, A DISTANCE OF 62.04 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 4 REBAR;

THENCE S 88°52'57" W, A DISTANCE OF 100.77 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT LYING ON THE EAST RIGHT OF WAY LINE OF 8TH STREET, N.W., MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 01°18'43" E, ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 25.27 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE LEAVING SAID EAST RIGHT OF WAY LINE, N 80°50'19" E, A DISTANCE OF 498.30 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A FOUND 2" IRON PIPE WITH TAG "PS 10285";

THENCE S 02°31'19" E, A DISTANCE OF 55.49 FEET TO AN ANGLE POINT MARKED BY A FOUND 2" IRON PIPE;

THENCE N 89°04'24" E, A DISTANCE OF 72.41 FEET TO THE POINT OF BEGINNING CONTAINING 1.5098 ACRES (65,770 SQ. FT.) NOW COMPRISING TRACTS A AND B BARELAS COFFEE HOUSE.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED.

Michael A. Gonzales 2/27/07
 MICHAEL A. GONZALES
 OWNER

Benita J. Villanueva 2/27/07
 BENITA J. VILLANUEVA
 OWNER

Acknowledgment

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) SS
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 27th DAY OF February 2007 BY MICHAEL A. GONZALES

BY *Lisa Parish* MY COMMISSION EXPIRES: Aug. 22, 2007
 NOTARY PUBLIC

Acknowledgment

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) SS
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 27th DAY OF February 2007 BY BENITA J. VILLANUEVA

BY *Lisa Parish* MY COMMISSION EXPIRES: Aug. 22, 2007
 NOTARY PUBLIC

Plat of
 Tracts A and B
Barelas Coffee House
 Albuquerque, Bernalillo County, New Mexico
 February 2007

Project No. _____

Application No. _____

Utility Approvals *J. Fine*

PNM ELECTRIC SERVICES	PRELIMINARY PLAT	DATE
PNM GAS SERVICES	APPROVED BY DRB	DATE
QWEST TELECOMMUNICATIONS	ON _____	DATE

COMCAST _____ DATE _____

City Approvals

Lisa Parish 2-27-07
 CITY SURVEYOR _____ DATE _____

REAL PROPERTY DIVISION _____ DATE _____

ENVIRONMENTAL HEALTH DEPARTMENT _____ DATE _____

TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT _____ DATE _____

WATER UTILITY DEPARTMENT _____ DATE _____

PARKS AND RECREATION DEPARTMENT _____ DATE _____

AMAFCFA _____ DATE _____

CITY ENGINEER _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT

TREASURER'S CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 2/26/07
 LARRY W. MEDRANO
 N.M.P.S. No. 11993
 DATE



8500-A Jefferson Street, NE
 Albuquerque, NM 87113

866.422.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

Line Table

LINE	BEARING	DISTANCE
L1	N 01°18'43" E	25.27'
L2	N 02°31'19" W	32.03'
L3	N 82°35'08" W	11.82'

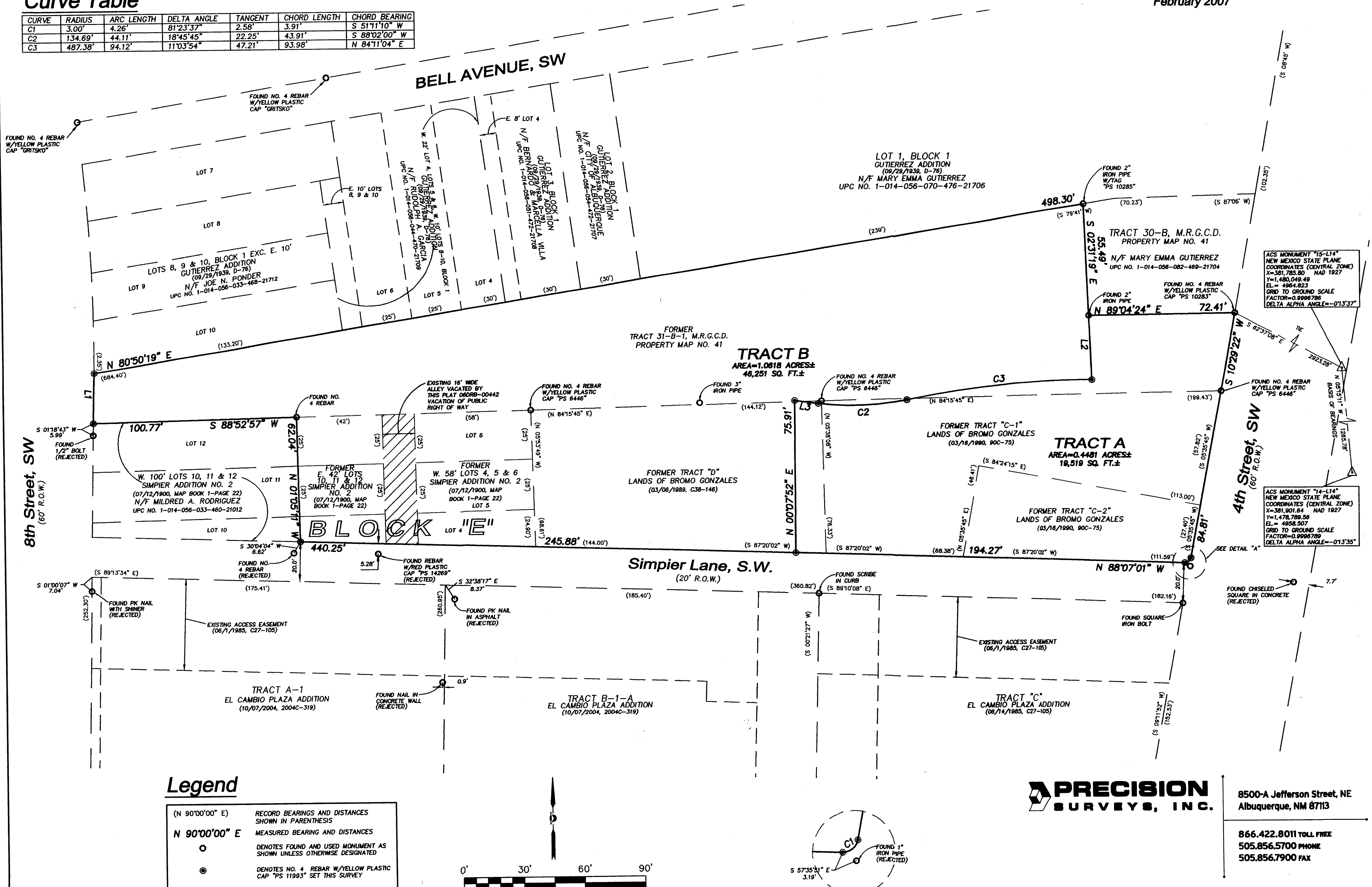
Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	3.00'	4.26'	81°23'37"	2.58'	3.91'	S 51°11'10" W
C2	134.69'	44.11'	18°45'45"	22.25'	43.91'	S 88°02'00" W
C3	487.38'	94.12'	11°03'54"	47.21'	93.98'	N 84°11'04" E

RECORDING STAMP

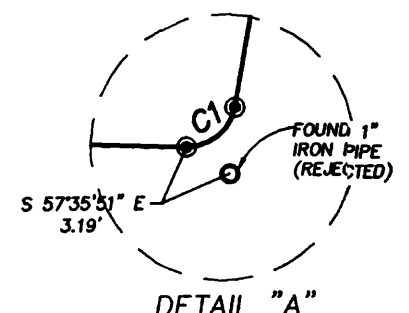
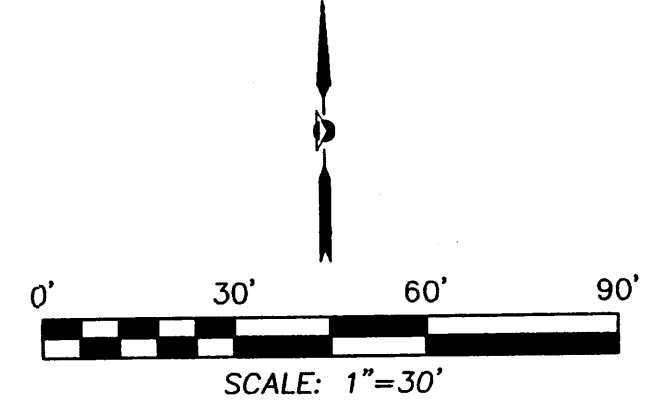
Plat of
Tracts A and B
Barelas Coffee House

Albuquerque, Bernalillo County, New Mexico
February 2007



Legend

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- DENOTES FOUND AND USED MONUMENT AS SHOWN UNLESS OTHERWISE DESIGNATED
- DENOTES NO. 4 REBAR W/YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY



PRECISION SURVEYS, INC.

8500-A Jefferson Street, NE
Albuquerque, NM 87113

866.422.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX

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Location Map
Zone Atlas Map No. L-14-Z

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 1.5099 ACRES±
 ZONE ATLAS INDEX NO: L-14-Z
 NO. OF TRACTS CREATED: 2
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: MARCH 22, 2006

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING FOUR TRACTS AND REMAINING PORTIONS OF SIX LOTS AND VACATED ALLEY INTO TWO NEW TRACTS, TO VACATE THE EXISTING 16' WIDE ALLEY (06DRB-00442 VACATION OF PUBLIC RIGHT OF WAY), AND TO GRANT EASEMENTS

Notes:

- MISC. DATA: ZONING SU-2 AND SU-2 RT
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 29, TOWNSHIP 10 NORTH, RANGE 3 EAST, TOWN OF ALBUQUERQUE GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2007050637

Easements

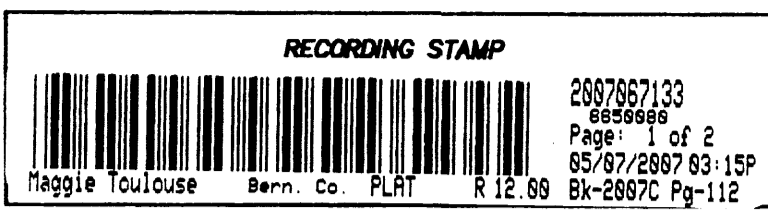
THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 - PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 - QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 - COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN, NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.



Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE TOWN OF ALBUQUERQUE GRANT, PROJECTED SECTION 29, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACTS "C-1" AND "C-2" LANDS OF BROMO GONZALES, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 16, 1990, IN VOLUME 90C, FOLIO 75, TOGETHER WITH TRACT "D" LANDS OF BROMO GONZALES, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 06, 1989, IN VOLUME C38, FOLIO 146, TOGETHER WITH TRACT 31-B-1 AS THE SAME IS SHOWN AND DESIGNATED ON MIDDLE RIO GRANDE CONSERVANCY DISTRICT PROPERTY MAP NUMBER 41, TOGETHER WITH THE REMAINING WEST FIFTY-EIGHT FEET (58') OF LOTS NUMBERED FOUR (4), FIVE (5), AND SIX (6), AND THE REMAINING EAST FORTY-TWO FEET (42') OF LOTS NUMBERED TEN (10), ELEVEN (11) AND TWELVE (12), AND THE VACATED ALLEY LYING BETWEEN SAID LOTS IN BLOCK LETTERED "E" OF THE SIMPIER ADDITION NUMBER 2, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 12, 1900, IN MAP BOOK 1, PAGE 22, SAID REMAINING PORTIONS AS DESCRIBED IN DEED, RECORDED ON NOVEMBER 27, 1967, IN BOOK D836, PAGE 769, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1927) AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT AN ANGLE POINT ON DESCRIBED TRACT LYING ON THE NORTH RIGHT OF WAY LINE OF SIMPIER LANE, S.W. MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" FROM WHENCE A TIE TO ALBUQUERQUE CONTROL SURVEY MONUMENT "ACS 8-113" BEARS S 56°07'15" W, A DISTANCE OF 595.87 FEET;

THENCE FROM SAID BEGINNING POINT, LEAVING SAID NORTH RIGHT OF WAY LINE, N 02°09'45" W, A DISTANCE OF 62.04 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 4 REBAR;

THENCE S 87°48'23" W, A DISTANCE OF 100.77 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT LYING ON THE EAST RIGHT OF WAY LINE OF 8TH STREET, S.W. MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 00°14'09" E, ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 25.27 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT MARKED BY SET NO.4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE LEAVING SAID EAST RIGHT OF WAY LINE, N 79°45'45" E, A DISTANCE OF 498.30 FEET TO AN ANGLE POINT MARKED BY A FOUND 1" IRON PIPE WITH TAG "PS 10285";

THENCE S 03°35'54" E, A DISTANCE OF 55.49 FEET TO AN ANGLE POINT MARKED BY A FOUND 2" IRON PIPE;

THENCE N 87°59'50" E, A DISTANCE OF 72.41 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT LYING ON THE WEST RIGHT OF WAY LINE OF 4TH STREET S.W. MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 10283";

THENCE S 09°00'52" W, ALONG SAID WEST RIGHT OF WAY OF LINE OF 4TH STREET S.W., A DISTANCE OF 39.63 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 6446";

THENCE S 69°24'48" W, A DISTANCE OF 84.81 FEET TO POINT OF CURVATURE BEING THE SOUTHEAST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE LEAVING SAID WEST RIGHT OF WAY LINE, ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 3.00 FEET, AN ARC LENGTH OF 4.26 FEET, A DELTA ANGLE OF 81°23'37", HAVING A CHORD BEARING OF S 50°06'36" W, AND A CHORD LENGTH OF 3.91 FEET TO A POINT LYING ON SAID NORTH RIGHT OF WAY LINE OF SIMPIER LANE, S.W., MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 89°11'35" W, A DISTANCE OF 440.25 FEET TO THE POINT OF BEGINNING, HAVING AN AREA OF 1.5099 ACRES (65,770 SQUARE FEET), MORE OR LESS, NOW COMPRISING TRACTS A AND B, BARELAS COFFEE HOUSE.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR, EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND stipulations.

Michael A. Gonzales 2/27/07
 MICHAEL A. GONZALES OWNER DATE

Benita J. Villanueva 2/27/07
 BENITA J. VILLANUEVA OWNER

Acknowledgment

STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 27th DAY OF Feb., 2007 BY MICHAEL A. GONZALES

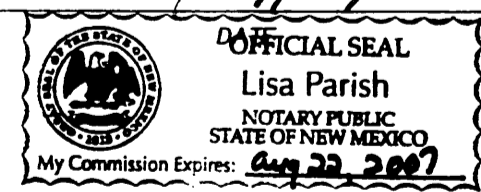
BY *Lisa Parish* MY COMMISSION EXPIRES: Aug 22, 2007
 NOTARY PUBLIC

Acknowledgment

STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 27th DAY OF Feb., 2007 BY BENITA J. VILLANUEVA

BY *Lisa Parish* MY COMMISSION EXPIRES: Aug 22, 2007
 NOTARY PUBLIC



Plat of
 Tracts A and B
Barelas Coffee House

Albuquerque, Bernalillo County, New Mexico
 March 2007

Project No. 1003857

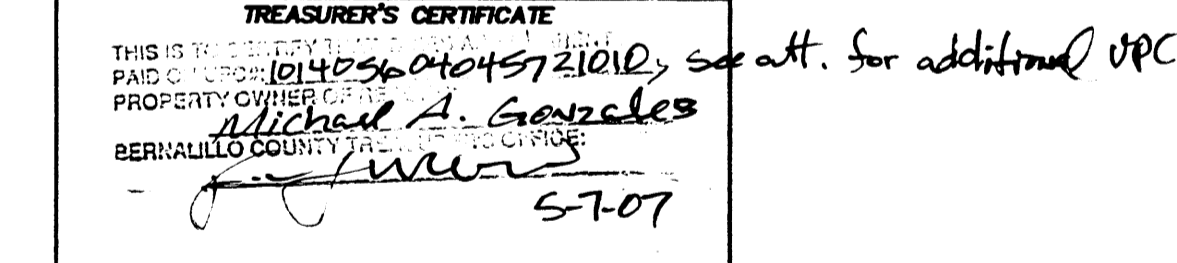
Application No. 07 DRB-00230

Utility Approvals

<i>Luis M. M...</i>	3-30-07
PNM ELECTRIC SERVICES	DATE
<i>Luis M. M...</i>	3-30-07
PNM GAS SERVICES	DATE
<i>Daniel P. P...</i>	3/6/07
QWEST TELECOMMUNICATIONS	DATE
<i>Sonia S...</i>	3-7-07
COMCAST	DATE

City Approvals

<i>[Signature]</i>	4-2-07
CITY SURVEYOR	DATE
<i>[Signature]</i>	08/03/07
REAL PROPERTY DIVISION	DATE
N/A	
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
<i>[Signature]</i>	3-7-07
TRAFFIC ENGINEERING TRANSPORTATION DEPARTMENT	DATE
<i>Logan A. Green</i>	3-07-07
WATER UTILITY DEPARTMENT	DATE
<i>Christina Sandoval</i>	3/7/07
PARKS AND RECREATION DEPARTMENT	DATE
<i>Bradley J. Bigham</i>	3/7/07
AMAFCA	DATE
<i>Bradley J. Bigh</i>	3/7/07
CITY ENGINEER	DATE
<i>Andrew J...</i>	5/3/07
DRB CHAIRPERSON, PLANNING DEPARTMENT	



Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 03/29/2007
 LARRY W. MEDRANO DATE
 N.M.P.S. No. 11993



8500-A Jefferson Street, NE
 Albuquerque, NM 87113

866.422.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

Line Table

LINE	BEARING	DISTANCE
L1	S 00°14'09" W	25.27'
L2	S 03°35'54" E	32.03'
L3	N 83°39'42" W	11.82'
L4	S 83°39'42" E	22.04'
L5	S 00°59'09" E	4.95'
L6	S 00°59'09" E	5.00'
L7	S 02°55'42" W	5.13'
L8	N 87°11'09" E	1.90'
L9	S 00°59'09" E	13.00'
L10	S 00°59'09" E	19.00'

Curve Table

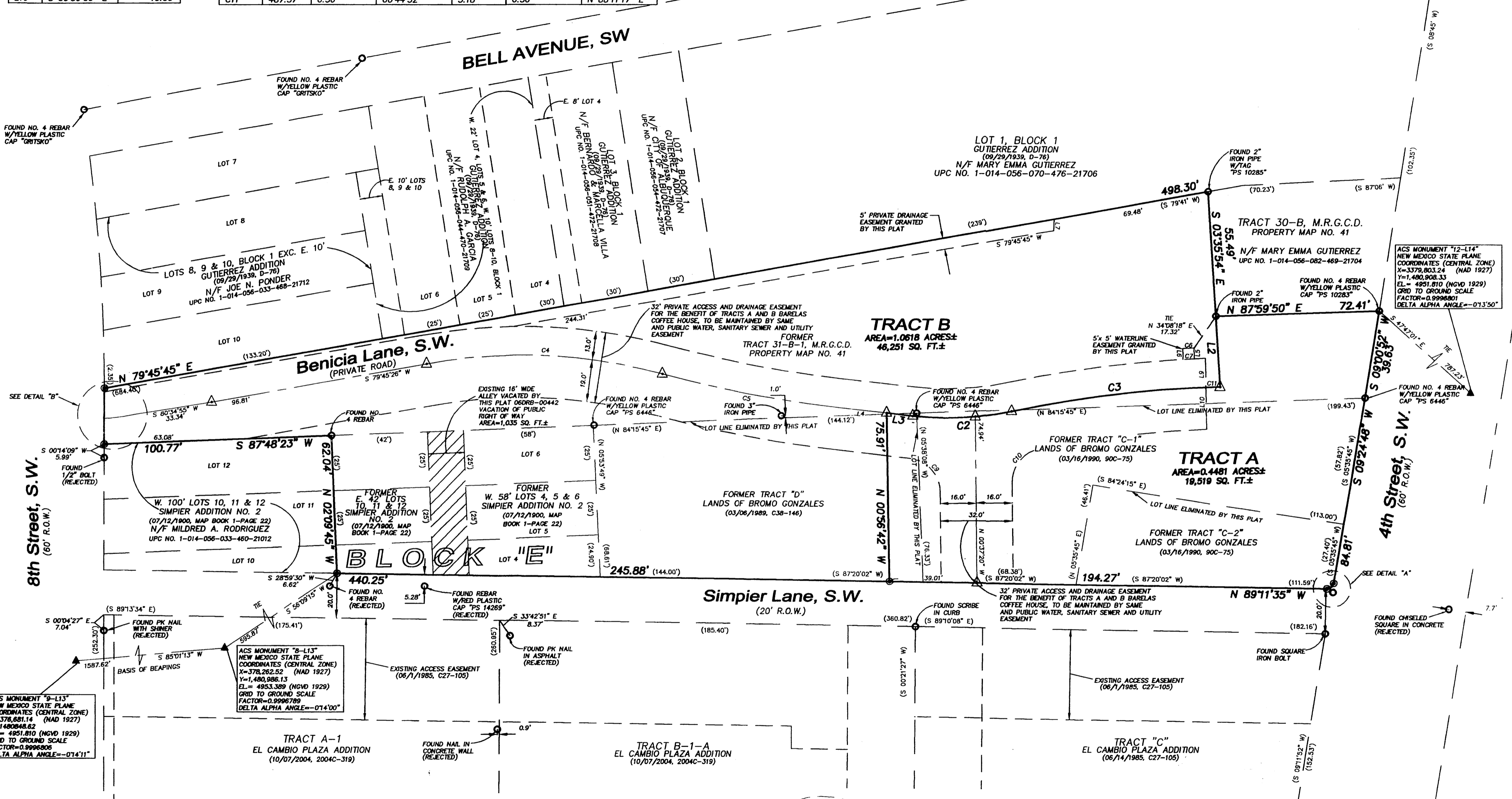
CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	3.00'	4.26'	81°23'37"	2.58'	3.91'	S 50°06'36" W
C2	134.69'	44.11'	18°45'45"	22.25'	43.91'	S 86°57'26" W
C3	487.38'	93.45'	10°59'10"	46.87'	93.31'	N 83°04'08" E
C4	237.52'	105.83'	25°31'45"	53.81'	104.96'	S 87°31'07" E
C5	512.62'	79.57'	08°53'38"	39.87'	79.49'	N 79°12'53" W
C6	505.38'	5.00'	00°34'01"	2.50'	5.00'	N 87°34'24" E
C7	500.38'	5.00'	00°34'22"	2.50'	5.00'	N 86°58'45" E
C8	113.23'	12.94'	06°32'53"	6.48'	12.93'	S 81°20'59" W
C9	15.00'	21.81'	83°19'09"	13.35'	19.94'	S 42°16'54" E
C10	15.00'	20.74'	79°12'46"	12.41'	19.13'	N 38°59'03" E
C11	487.37'	6.36'	00°44'52"	3.18'	6.36'	N 88°11'17" E

RECORDING STAMP

2897667133
655998
Page: 2 of 2
65/87/2897 83:15P
Bk-2897C Pg-112

Maggie Toulouse Bern. Co. PLRT R 12.89

Plat of
Tracts A and B
Barelas Coffee House
Albuquerque, Bernalillo County, New Mexico
March 2007



ACS MONUMENT "8-113"
NEW MEXICO STATE PLANE
COORDINATES (CENTRAL ZONE)
X=378,681.14 (NAD 1927)
Y=1480,948.82
EL= 4951.810 (NGVD 1929)
GRID TO GROUND SCALE
FACTOR=0.9996906
DELTA ALPHA ANGLE=-0°14'00"

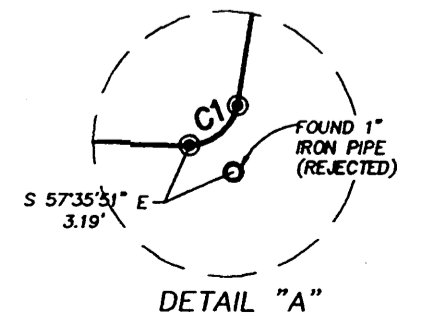
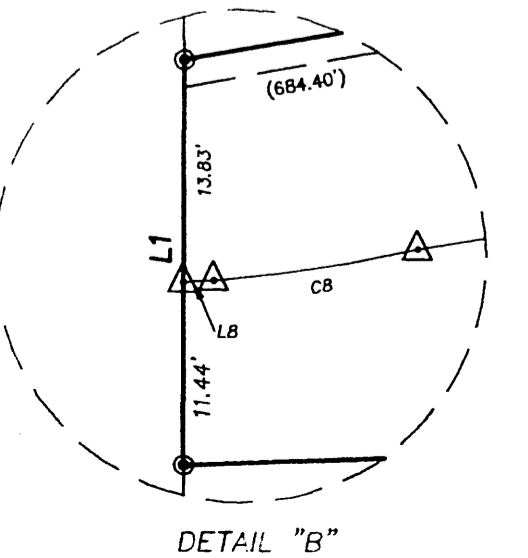
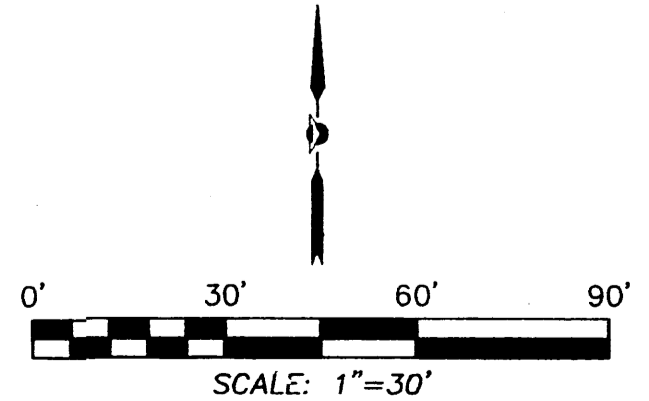
TRACT A-1
EL CAMBIO PLAZA ADDITION
(10/07/2004, 2004C-319)

TRACT B-1-A
EL CAMBIO PLAZA ADDITION
(10/07/2004, 2004C-319)

TRACT "C"
EL CAMBIO PLAZA ADDITION
(06/14/1985, C27-105)

Legend

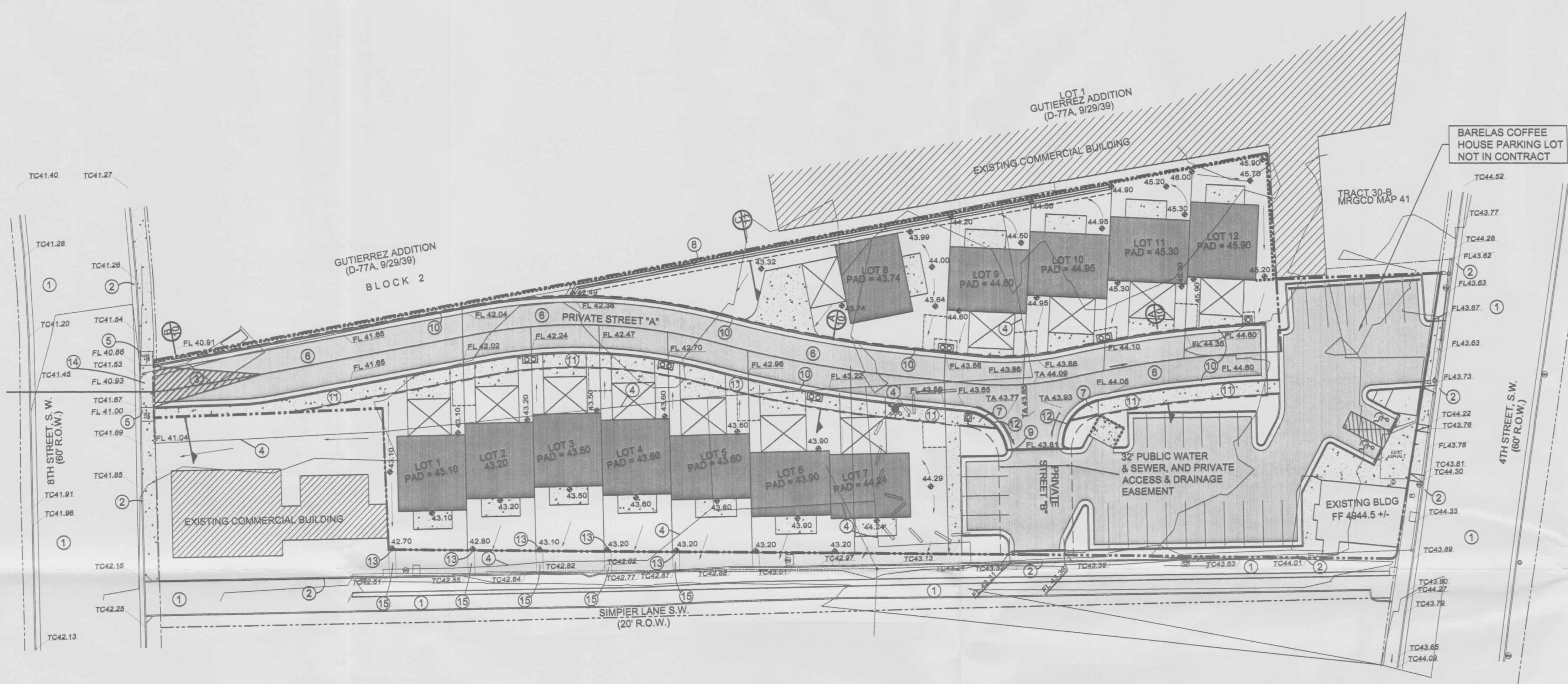
- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- DENOTES FOUND AND USED MONUMENT AS SHOWN UNLESS OTHERWISE DESIGNATED
- ◎ DENOTES NO. 4 REBAR W/YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
- △ 4" DIAMETER ALUMINUM CENTERLINE MONUMENT STAMPED "PS 11993" SET THIS SURVEY



PRECISION SURVEYS, INC.

8500-A Jefferson Street, NE
Albuquerque, NM 87113

866.422.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX



DRAINAGE PLAN NOTES

1. BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
2. This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
3. Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
4. This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
5. Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
6. BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
7. The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
8. All spot elevations are top of pavement unless noted otherwise.

ALL ACCESSIBLE IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT. FAILURE TO DO SO MAY RESULT IN REJECTION OF CERTIFICATE OF OCCUPANCY.

KEYED NOTES

1. EXISTING ASPHALT PAVING TO REMAIN.
2. EXISTING CONCRETE CURB AND GUTTER.
3. NEW PAVEMENT CROWN TRANSITION PER COA STD DWG 2401.
4. EXISTING CHAIN LINK FENCE TO BE REMOVED AND SALVAGED.
5. CONSTRUCT NEW HANDICAP RAMP. SEE DETAIL E/10
6. CONSTRUCT NEW ASPHALT PAVEMENT.
7. NEW HANDICAP RAMP PER DETAIL C/10
8. CONSTRUCT NEW VALLEY GUTTER PER DETAIL C/11
9. EXISTING TEMP 6" AC CURB.
10. CONSTRUCT NEW MOUNTABLE ROLL TYPE CURB AND GUTTER. PER COA STD DWG 2415A.
11. CONSTRUCT 6" SIDEWALK.
12. CURB TRANSITION FROM 4" TO 6".
13. ROTATE CMU BLOCK 90 DEGREES TO ALLOW DRAINAGE THROUGH WALL.
14. CONSTRUCT DRIVEPAD PER DETAIL E/10
15. CONSTRUCT CONCRETE CHANNEL PER DETAIL D/11

PROJECT DATA

PROPERTY ADDRESS
1423 FOURTH STREET SW

MAPPING
ALL PROJECT SURVEYING BY PRECISION SURVEYS, INC. JUNE 2006

LEGAL DESCRIPTION
TRACT C-1 AND C-2 LANDS OF BROMO GONZALES 90C-75, FILED 03-16-1990. PORTION OF TRACT 30-B-1 MRGCD MAP 41

PROJECT BENCHMARK
ACS MONUMENT "15-L-14" ELEVATION 4964.823 FEET

LEGEND

ITEM	EXISTING	PROPOSED
CURB AND GUTTER	---	---
HEADER CURB	---	---
OVERHEAD ELEC WITH POWER POLE	—OHE	—OHE
UNDERGROUND ELEC, GAS, TEL, TV	—UGT	—UGT
CURB ELEVATIONS	x 16.7	± 16.7
SPOT ELEV.		
RIGHT OF WAY	---	---
EASEMENT	---	---
POWER POLE (GUYED)	●—PP	●—PP
CENTERLINE	---	---
TOP OF ASPHALT ELEV.	TA	TA 16.21
TOP OF CURB ELEV.	TC	TC 16.21
TOP OF CURB ELEV.	FL	FL 16.21
CONTOUR W/ ELEVATION	4992	92
BLOCK WALL	---	---
ASPHALT PAVING	□	□
CHAIN LINK FENCE	---	---
DRAINAGE SWALE	---	---
CROWN TRANSITION	---	---
CURB TRANSITION FROM 4" TO 6"	---	---

BENCHMARKS

ACS MONUMENT "14-L-14" EL. = 4958.507
ACS MONUMENT "15-L-14" EL. = 4964.823

SURVEY INFORMATION

FIELD NOTES

NO.	DATE	BY

DATUM NGVD 1929

1 inch = 30 ft

ENGINEER'S SEAL

CEMIL A. LORENZ
REGISTERED PROFESSIONAL ENGINEER
NEW MEXICO

BRASHER & LORENZ CONSULTING ENGINEERS

2201 San Pedro Blvd. NE, Bldg. 1, Suite 1200
Albuquerque, New Mexico 87110
Phone: (505) 888-6088 Fax: (505) 888-6188

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP

BARELAS TOWNHOMES GRADING & DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.	Zone Map No.	Sheet of
0000000	L-14	3 11

AS-BUILT INFORMATION

CONTRACTOR	DATE

MICRO-FILM INFORMATION

WORK BY	DATE

REVISIONS

NO.	DATE	BY	REMARKS

DESIGNED BY: D.A.L. DATE: 08-2006
DRAWN BY: KRH DATE: 08-2006
CHECKED BY: D.A.L. DATE: 08-2006