

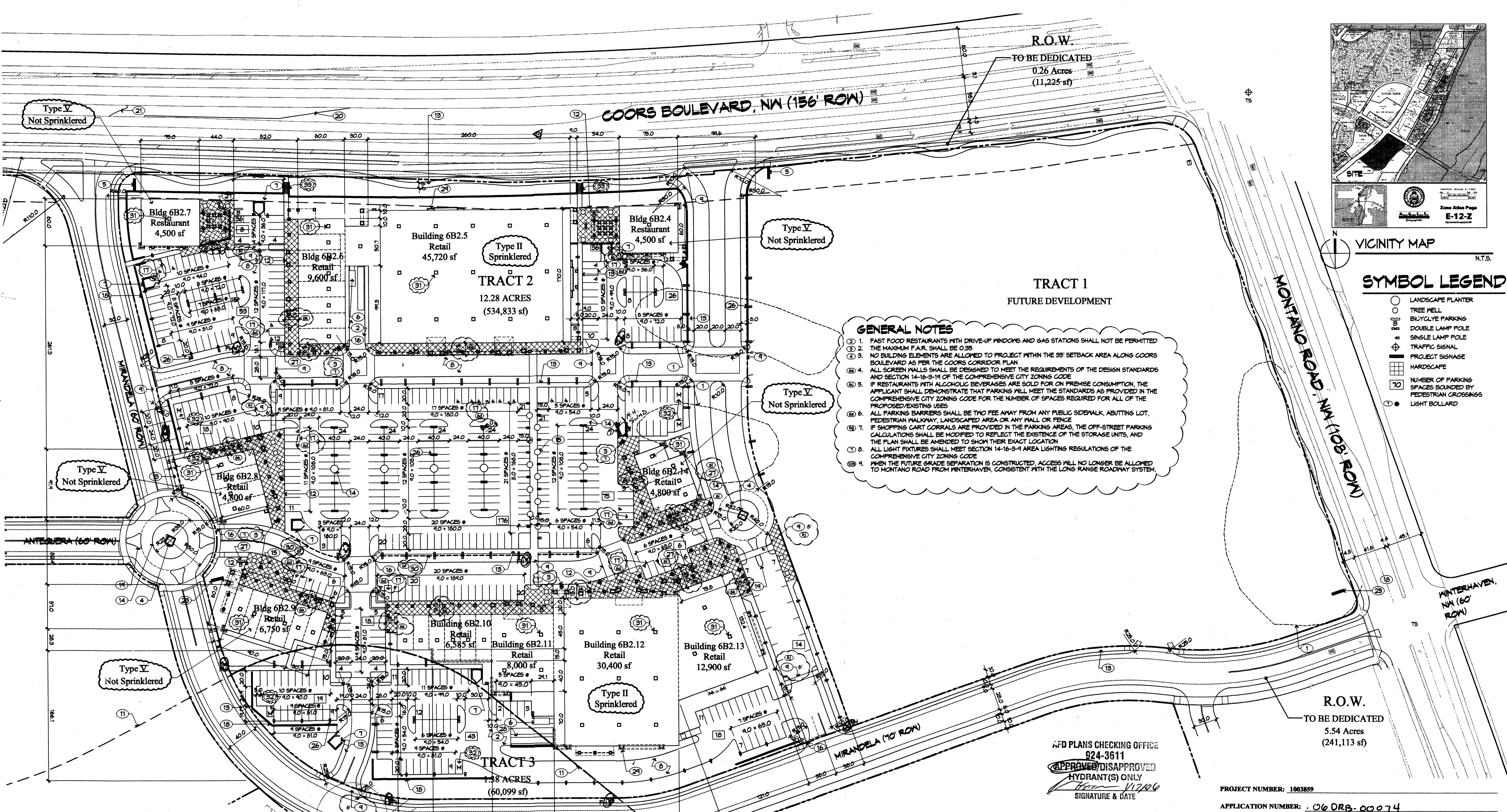
VICINITY MAP
N.T.S.

SYMBOL LEGEND

- LANDSCAPE PLANTER
- TREE WELL
- BICYCLE PARKING
- DOUBLE LAMP POLE
- SINGLE LAMP POLE
- TRAFFIC SIGNAL
- PROJECT SIGNAGE
- HARDSCAPE
- NUMBER OF PARKING SPACES BOUNDED BY PEDESTRIAN CROSSINGS
- LIGHT BOLLARD

ENGINEER

PROJECT



GENERAL NOTES

1. FAST FOOD RESTAURANTS WITH DRIVE-UP WINDOWS AND GAS STATIONS SHALL NOT BE PERMITTED.
2. THE MAXIMUM F.A.R. SHALL BE 0.25.
3. NO BUILDING ELEMENTS ARE ALLOWED TO PROJECT WITHIN THE 35' SETBACK AREA ALONG COORS BOULEVARD AS PER THE COORS CORRIDOR PLAN.
4. ALL SCREEN WALLS SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE DESIGN STANDARDS AND SECTION 14-16-3-14 OF THE COMPREHENSIVE CITY ZONING CODE.
5. IF RESTAURANTS WITH ALCOHOLIC BEVERAGES ARE SOLD FOR ON PREMISE CONSUMPTION, THE APPLICANT SHALL DEMONSTRATE THAT PARKING WILL MEET THE STANDARDS AS PROVIDED IN THE COMPREHENSIVE CITY ZONING CODE FOR THE NUMBER OF SPACES REQUIRED FOR ALL OF THE PROPOSED/EXISTING USES.
6. ALL PARKING BARRIERS SHALL BE TWO FEET AWAY FROM ANY PUBLIC SIDEWALK, ADJUTING LOT, PEDESTRIAN WALKWAY, LANDSCAPED AREA OR ANY WALL OR FENCE.
7. IF SHOPPING CART CORRALS ARE PROVIDED IN THE PARKING AREAS, THE OFF-STREET PARKING CALCULATIONS SHALL BE MODIFIED TO REFLECT THE EXISTENCE OF THE STORAGE UNITS, AND THE PLAN SHALL BE AMENDED TO SHOW THEIR EXACT LOCATION.
8. ALL LIGHT FIXTURES SHALL MEET SECTION 14-16-3-4 AREA LIGHTING REGULATIONS OF THE COMPREHENSIVE CITY ZONING CODE.
9. WHEN THE FUTURE GRADE SEPARATION IS CONSTRUCTED, ACCESS WILL NO LONGER BE ALLOWED TO MONTANO ROAD FROM WINTERHAVEN, CONSISTENT WITH THE LONG RANGE ROADWAY SYSTEM.

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
[Signature] 1/25/06
SIGNATURE & DATE

PROJECT NUMBER: 1003859

APPLICATION NUMBER: 06 DRB-00074

PARKING DATA BY TRACT AND USE (BASED ON SHARED PARKING AGREEMENT)

TRACT	TRACT AREA	FAR	USE	BUILDING NUMBER	BUILDING AREA	BREAKDOWN PER ZONE CODE	PARKING RATIO	PARKING REQUIRED	10% TRANSIT REDUCTION	PARKING PROVIDED			
2			RETAIL	6B2.5	45,720								
				6B2.6	9,600								
				6B2.8	4,800								
				6B2.9	6,750								
				6B2.10	6,585								
				6B2.11	8,000								
				6B2.12	30,400								
				6B2.13	12,900								
				6B2.14	4,800								
				SUBTOTAL			RESTAURANT	6B2.4	4,500	156 SEATS	1/4 SEATS	34	
							RESTAURANT	6B2.1	4,500	156 SEATS	1/4 SEATS	34	
							OFFICE		0		1/300	0	
							TOTAL	60,099	0.0			0	
							TOTAL	594,883	0.26			555	500
			TOTAL	60,099	0.0			0		67			
			TOTAL	594,882	0.26			555	500	500			

NOTE: 12 HC SPACES REQUIRED; 22 PROVIDED (ALL VAN ACCESSIBLE)
NOTE: 25 BICYCLE PARKING SPACES REQUIRED; 30 PROVIDED

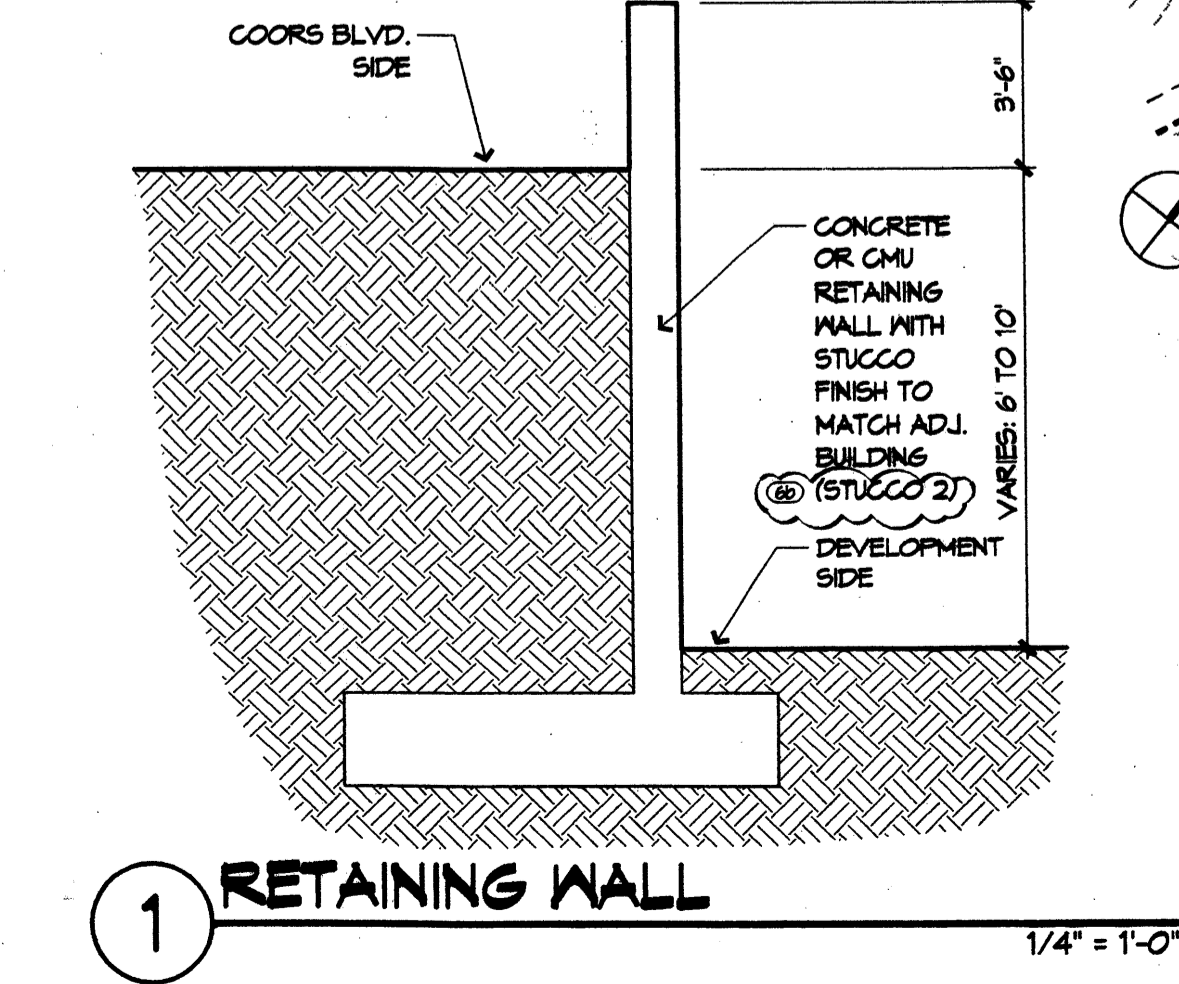
Is an Infrastructure List Required? (x) Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Raequel M. Wind 3/30/15
TRAFFIC ENGINEER, TRANSPORTATION DIVISION
William J. Parks 1/25/06
UTILITIES DIVISION
Christine Sandomal 1/25/06
PARKS AND RECREATION DEPARTMENT
Bradley S. Brigham 1/25/06
CITY ENGINEER
Michael Holton (adjutant) 1/17/06
SOLID WASTE MANAGEMENT
Cal Cho 6-17-15
DRB CHAIRPERSON, PLANNING DEPARTMENT

REVISIONS
1/17/2005 EPC Conditions Incorporated
Condition # Show This Rev

DRAWN BY: CRG
REVIEWED BY:
DATE: 6/14/05
PROJECT NO: 04046
DRAWING NAME: SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
SHEET NO: A001 OF 10

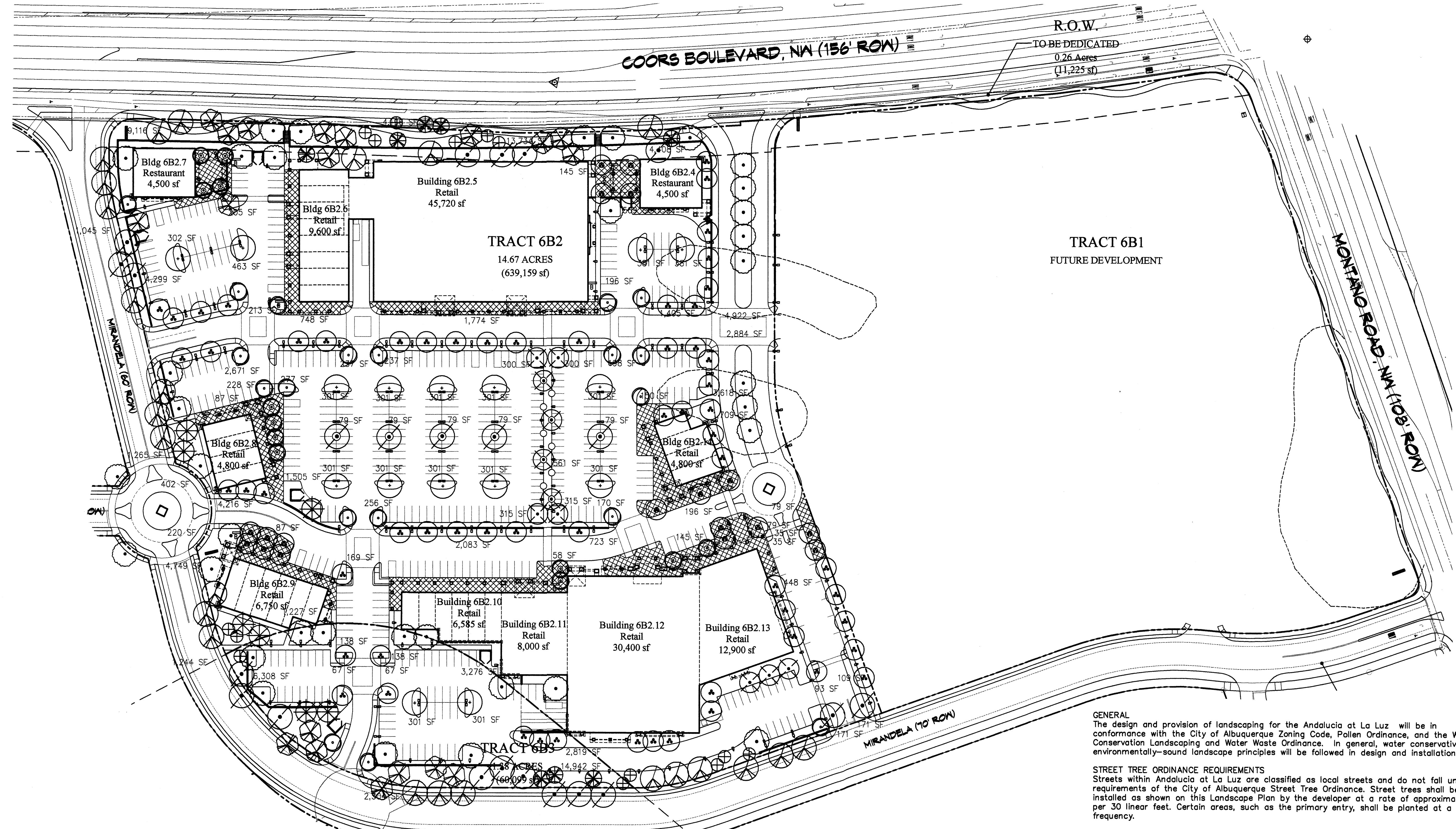


SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
1" = 60'

KEYED NOTES

1. APPROXIMATE BOUNDS OF ARCHEOLOGICAL AREA
2. LOADING AREA
3. LIGHT BOLLARDS, RE DETAIL 9/A006, ALSO SEE GENERAL NOTE 8
4. DEVELOPMENT IDENTITY TOWER, RE DETAIL 6/A003
5. DEVELOPMENT SIGN, RE DETAIL 1/A005
6. TRASH COMPACTOR
7. REFUSE ENCLOSURE, RE DETAIL 5/A006
8. ASPHALT PAVING, TYPICAL UNLESS NOTED OTHERWISE
9. PEDESTRIAN CROSSINGS OF SPECIAL PAVING, 10' WIDE TYPICAL U.N.C. (6' MIN.)
10. LOT LINE TO BE REMOVED
11. 300' O-1/4" RADIUS BUFFER PER SITE DEVELOPMENT PLAN FOR SUB-DIVISION
12. PLAZA AREA / BUILDING ENTRY AREA WITH SPECIAL PAVING
13. CONCRETE SIDEWALK, 6'-0" WIDE U.N.C.
14. LANDSCAPE PLANTER WITH STANDING CURB AT PERIMETER, TYPICAL
15. 6'-0" DIA. TREE WELL WITH CAST IRON GRATE, TYPICAL
16. HANDICAP RAMP AT ALL SIDEWALK AND VEHICULAR INTERSECTIONS, TYPICAL
17. 9' X 20' HANDICAP PARKING SPACE AND 9' X 20' ACCESS ISLE WITH RAMP UP TO SIDEWALK, TYPICAL U.N.C. (REFER DETAIL 9/A003)
18. CMU PARKING AREA SCREEN WALL 3'-0" TALL, FINER TO MATCH ADJACENT BUILDING
19. TRAFFIC ISLAND WITH ROLLED CURB, TYPICAL
20. NEW LEFT TURN LANE 8'4" CITY WIDE ORDER
21. RECONFIGURE CENTER MEDIAN FOR LEFT IN ONLY MOVEMENT 8'4" CITY WIDE ORDER
22. RETAINING WALL, RE DETAIL 1/A001
23. DEVELOPMENT SIGN, RE DETAIL 5/A005
24. 6' BIKE LANE CONNECTING TO LEARNING ROAD
25. 10' TRAIL CONNECTING TO LEARNING ROAD
26. PARKING LOT AREA LIGHT, TYPICAL, RE DETAIL 6/A003
27. BICYCLE PARKING FOR 5, (REFER DETAIL 11/A003)
28. COVERED LOADING AREA
29. ARCHITECTURAL FEATURES TO ENHANCE REAR FACADES OF BUILDINGS
30. 3' HIGH WALL OR DENSE LANDSCAPE SCREEN
31. ROOF TOP MECHANICAL UNIT WITH SCREEN WALL, RE DETAIL 10/A005
32. MOTORCYCLE PARKING (6 TOTAL)
33. CONCRETE STAIR, RE 9/A005

**Andalucia Tract 6B
Site Development Plan
Coors and Montano, SEC
Albuquerque, New Mexico**



NOTE:
Due to the scale of the drawing, shrubs have not been shown.
See Enlarged Plans on sheet L-02 for typical landscape treatment.

PLANT LEGEND

Symbol	Scientific Name	Common Name	Size	Installed Size	Mature Size	Water Use
⊗	Chilopsis linearis 'Luc. Ham.'	Desert Willow	15-Gal.	8' ht. x 6' spr.	20' ht. x 25' spr.	Low +
⊕	Forestiera neomexicana	New Mexico Olive	15-Gal.	8' ht. x 4' spr.	15' ht. x 15' spr.	Medium
⊙	Fraxinus oxycarpa 'Raywood'	Raywood Ash	2" B&B	14' ht. x 6' spr.	35' ht. x 30' spr.	Medium+
⊙	Pistachia chinensis	Chinese Pistache	2 1/2" B&B	14' ht. x 6' spr.	40' ht. x 35' spr.	Medium
⊙	Platanus wrightii	Arizona Sycamore	2 1/2" B&B	16' ht. x 6' spr.	70' ht. x 60' spr.	Medium
⊙	Prunus cerasifera	Purple Leaf Plum	2" B&B	14' ht. x 6' spr.	20' ht. x 20' spr.	Medium

Symbol	Scientific Name	Common Name	Size	Installed Size	Mature Size	Water Use
⊗	Pinus nigra	Austrian Pine	B&B	8' min. ht.	40' ht. x 25' spr.	Medium +
⊕	Pyrus calleryana 'Cleveland'	Ornamental Pear	2" B&B	14' ht. x 5' spr.	45' ht. x 30' spr.	Medium +
⊕	Robinia ambigua 'Purple Robe'	Purple Robe Locust	2" B&B	16' ht. x 6' spr.	30' ht. x 30' spr.	Medium
⊗	Tilia cordata	Little-leaf Linden	2" B&B	14' ht. x 5' spr.	35' ht. x 25' spr.	Low
⊗	Vitex agnus-castus	Chaste Tree	1-1/2" B&B	10' ht. x 6' spr.	20' ht. x 20' spr.	Medium
⊙	Koeleruteria paniculata	Goldenrain Tree	2" B&B	12' ht. x 6' spr.	20' ht. x 20' spr.	Medium

LANDSCAPE REQUIREMENTS

Site Area:	16.05 acres	699,256 SF
Building Footprint:		138,555 SF
Total Area:		560,703 SF
Required Landscape %:		.15
Landscape area Required:		84,106 SF
Landscape Area Provided:	(26%)	114,763 SF

GENERAL
The design and provision of landscaping for the Andalucia at La Luz will be in conformance with the City of Albuquerque Zoning Code, Pollen Ordinance, and the Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally-sound landscape principles will be followed in design and installation.

STREET TREE ORDINANCE REQUIREMENTS
Streets within Andalucia at La Luz are classified as local streets and do not fall under the requirements of the City of Albuquerque Street Tree Ordinance. Street trees shall be installed as shown on this Landscape Plan by the developer at a rate of approximately one per 30 linear feet. Certain areas, such as the primary entry, shall be planted at a higher frequency.

STREET TREE AND PEDESTRIAN FACILITY PALETTE CONCEPT
The concept for Street Trees at Andalucia at La Luz is to create an urban streetscape with different plant palettes for each roadway and pedestrian facility.

MULCHES
All shrub planting areas shall be top dressed with crusher fines, 3/4" Santa Fe Brown Rock Mulch, 2" - 4" Santa Ana Tan Cobble

IRRIGATION SYSTEM
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate tree, shrub and groundcover planting areas.

MAINTENANCE RESPONSIBILITY
Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the Owner.

STATEMENT OF WATER WASTE
The Landscape Plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the provided landscape area.

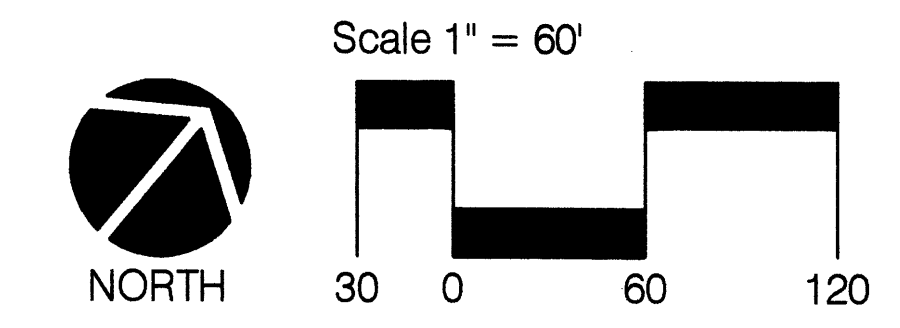
REVISIONS

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△	
△	
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DRAWN BY CRG
REVIEWED BY JF
DATE 1/11/06
PROJECT NO. 04046
DRAWING NAME

LANDSCAPE PLAN

CONSENSUS PLANNING, INC.
Planning / Landscape Architecture
924 Park Avenue SW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com



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The concept for Street Trees at Andalucia at La Luz is to create a urban streetscape with different plant palettes for each roadway and pedestrian facility.

PLANT LEGEND

Symbol	Scientific Name Common Name	Size	Installed Size Mature Size	Water Use
Trees				
⊗	<i>Chilopsis linearis</i> 'Luc. Ham.' Desert Willow	15-Gal.	8' ht. x 6' spr. 20' ht. x 25' spr.	Low +
⊕	<i>Forestiera neomexicana</i> New Mexico Olive	15-Gal.	8' ht. x 4' spr. 15' ht. x 15' spr.	Medium
⊙	<i>Fraxinus oxycarpa</i> 'Raywood' Raywood Ash	2" B&B	14' ht. x 6' spr. 35' ht. x 30' spr.	Medium+
⊗	<i>Pistachia chinensis</i> Chinese Pistache	2" B&B	14' ht. x 6' spr. 40' ht. x 35' spr.	Medium +
⊙	<i>Platanus wrightii</i> Arizona Sycamore	2½" B&B	16' ht. x 6' spr. 70' ht. x 60' spr.	Medium
⊙	<i>Prunus cerastifera</i> Purple Leaf Plum	2" B&B	14' ht. x 6' spr. 20' ht. x 20' spr.	Medium
⊗	<i>Pinus nigra</i> Austrian Pine	B&B	8' min. ht. 40' ht. x 25' spr.	Medium +
⊕	<i>Pyrus calleryana</i> 'Cleveland' Ornamental Pear	2" B&B	14' ht. x 5' spr. 45' ht. x 30' spr.	Medium +
⊗	<i>Robinia ambigua</i> 'Purple Robe' Purple Robe Locust	2" B&B	16' ht. x 6' spr. 30' ht. x 30' spr.	Medium
⊗	<i>Tilia cordata</i> Little-leaf Linden	2" B&B	14' ht. x 5' spr. 35' ht. x 25' spr.	Low
⊗	<i>Vitex agnus-castus</i> Chaste Tree	1-1/2" B&B	10' ht. x 6' spr. 20' ht. x 20' spr.	Medium
Shrubs/Groundcovers				
⊕	<i>Chrysothamnus nauseosus</i> Chamisa	1-Gal.	5' o.c. 4' ht. x 4' spr.	Low
⊗	<i>Cytisus scoparius</i> Scotch Broom	1-Gal.	4' o.c. 4' ht. x 4' spr.	Low +
⊙	<i>Ericameria laricifolia</i> 'Aguirre' Turpentine Bush	1-Gal.	2' o.c. 2' ht. x 2' spr.	Low
⊗	<i>Fallugia paradoxa</i> Apache Plume	1-Gal.	5' o.c. 4' ht. x 4' spr.	Low
*	<i>Hesperaloe parviflora</i> Red Yucca	1-Gal.	3' o.c. 3' ht. x 3' spr.	Medium
⊗	<i>Perovskia atriplicifolia</i> Russian Sage	1-Gal.	5' o.c. 4' ht. x 5' spr.	Medium
⊕	<i>Rosmarinus officinalis</i> Rosemary	1-Gal.	3' o.c. 3' ht. x 3' spr.	Low +
⊕	<i>Salvia greggii</i> Cherry Sage	1-Gal.	3' o.c. 3' ht. x 3' spr.	Medium
Ornamental Grasses				
⊙	<i>Mulhenbergia cap.</i> 'Regal Mist' Muhly Grass	5-Gal.	3' o.c. 3' ht. x 3' spr.	Medium
*	<i>Nassella tenuissima</i> Threadgrass	1-Gal.	3' o.c. 3' ht. x 3' spr.	Low +
⊙	<i>Nolina microcarpa</i> Beargrass	5-Gal.	5' o.c. 4' ht. x 5' spr.	Low
⊙	<i>Nolina texana</i> Beargrass	1-Gal.	4' o.c. 4' ht. x 4' spr.	Low
⬠	Landscape Boulders - 3' Typical Diameter			
⬠	2" - 4" Santa Ana Tan Cobble			

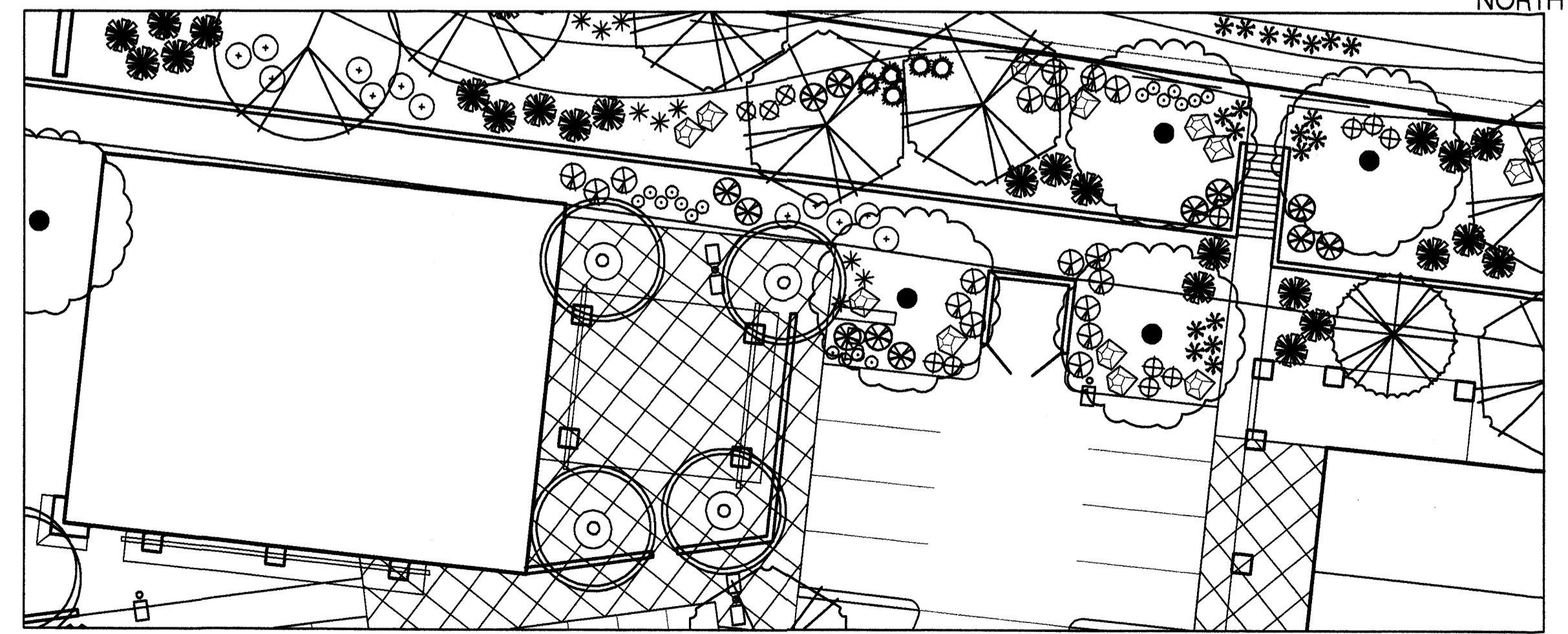
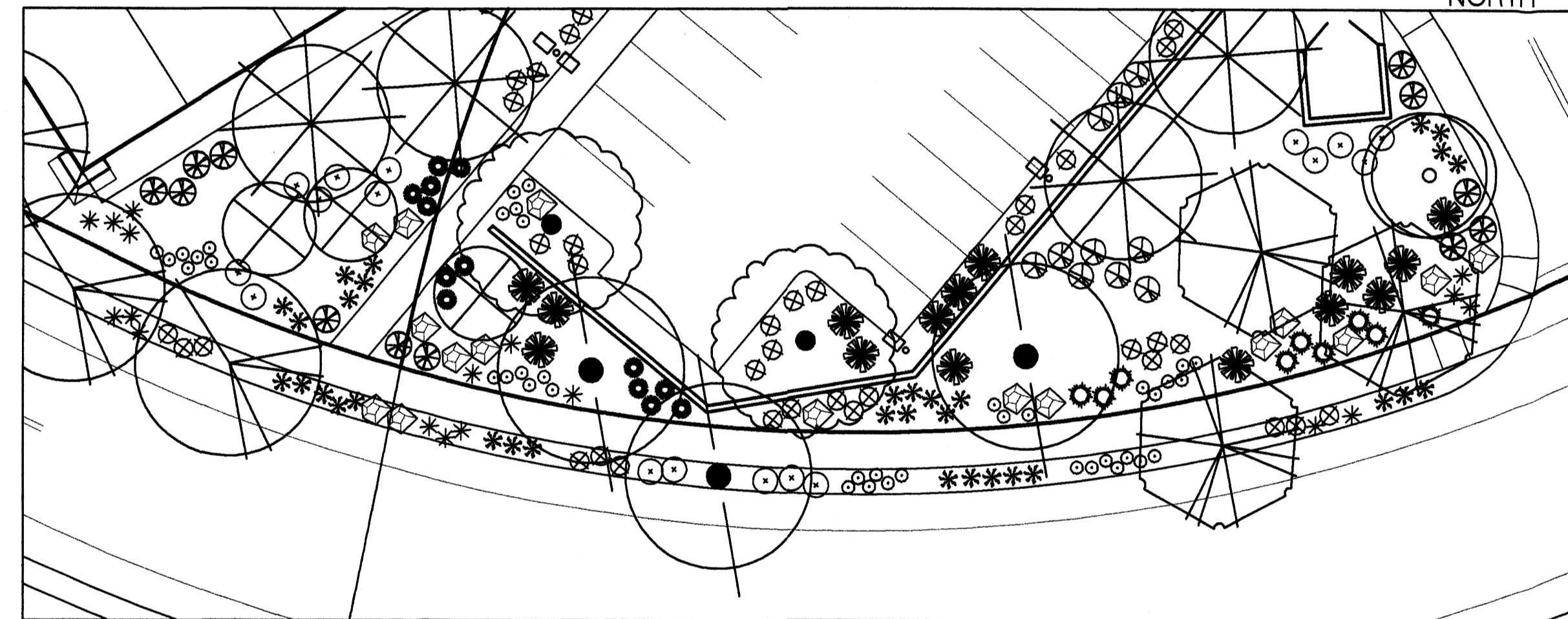
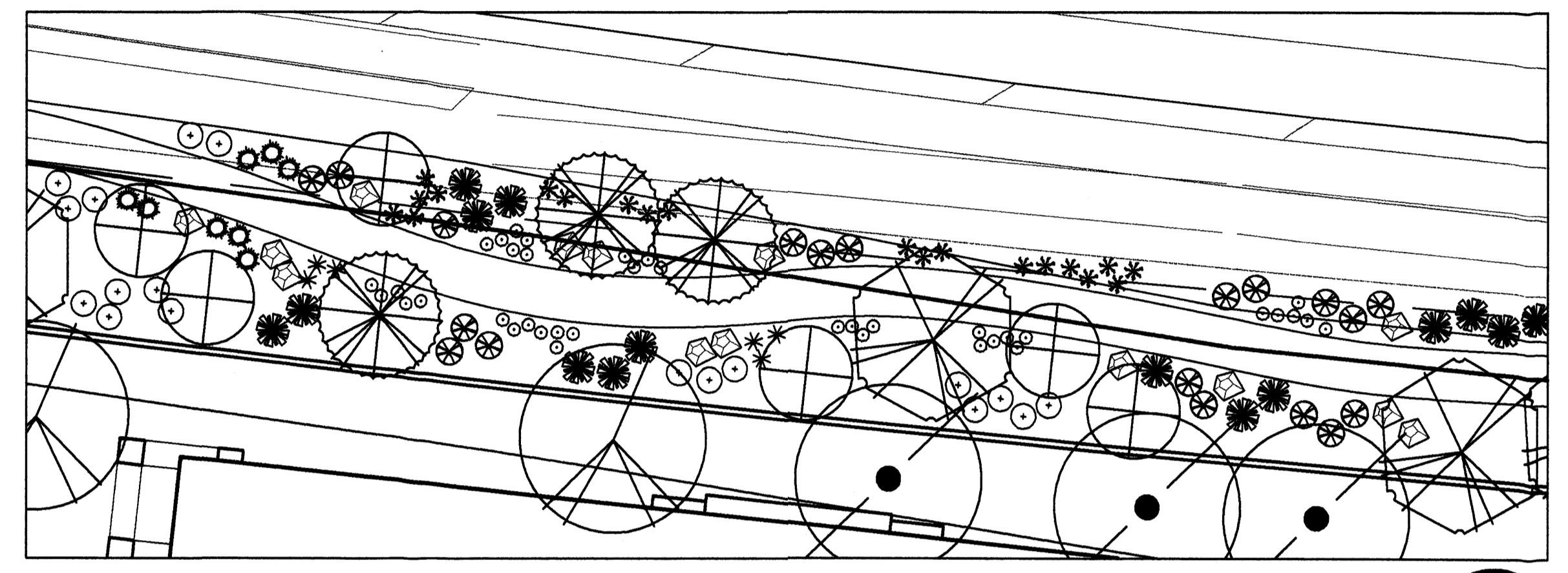
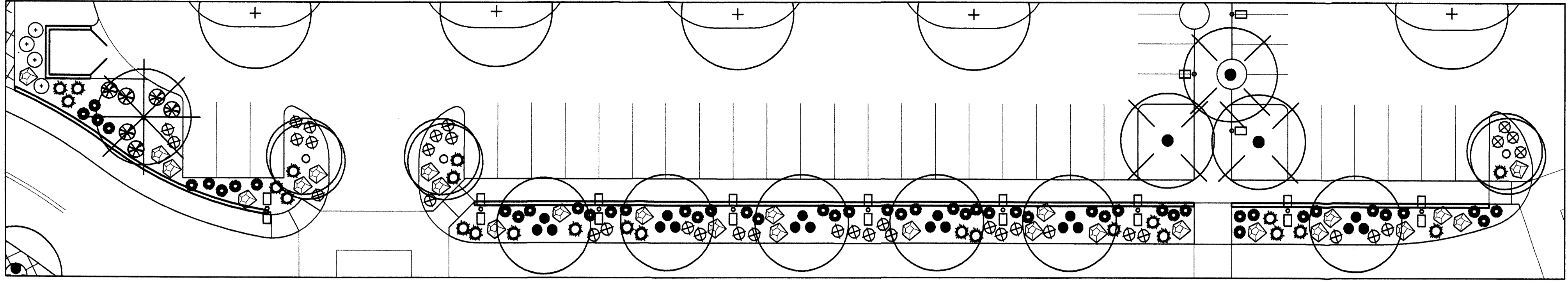
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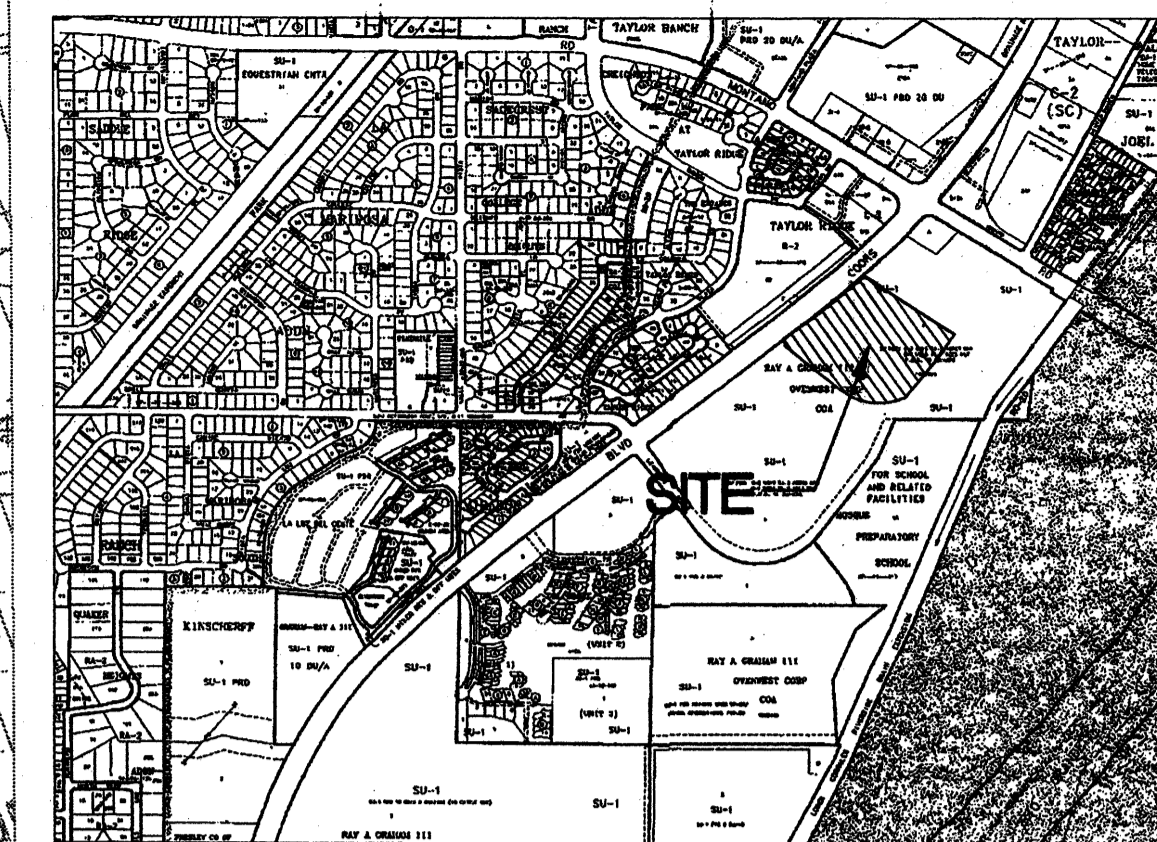
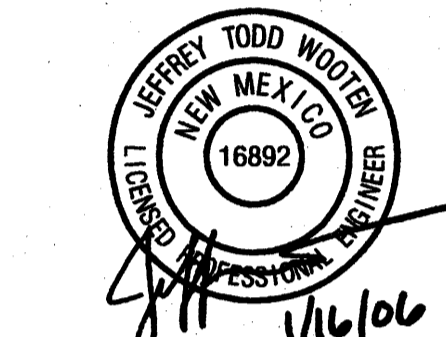
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Planning / Landscape Architecture
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Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com

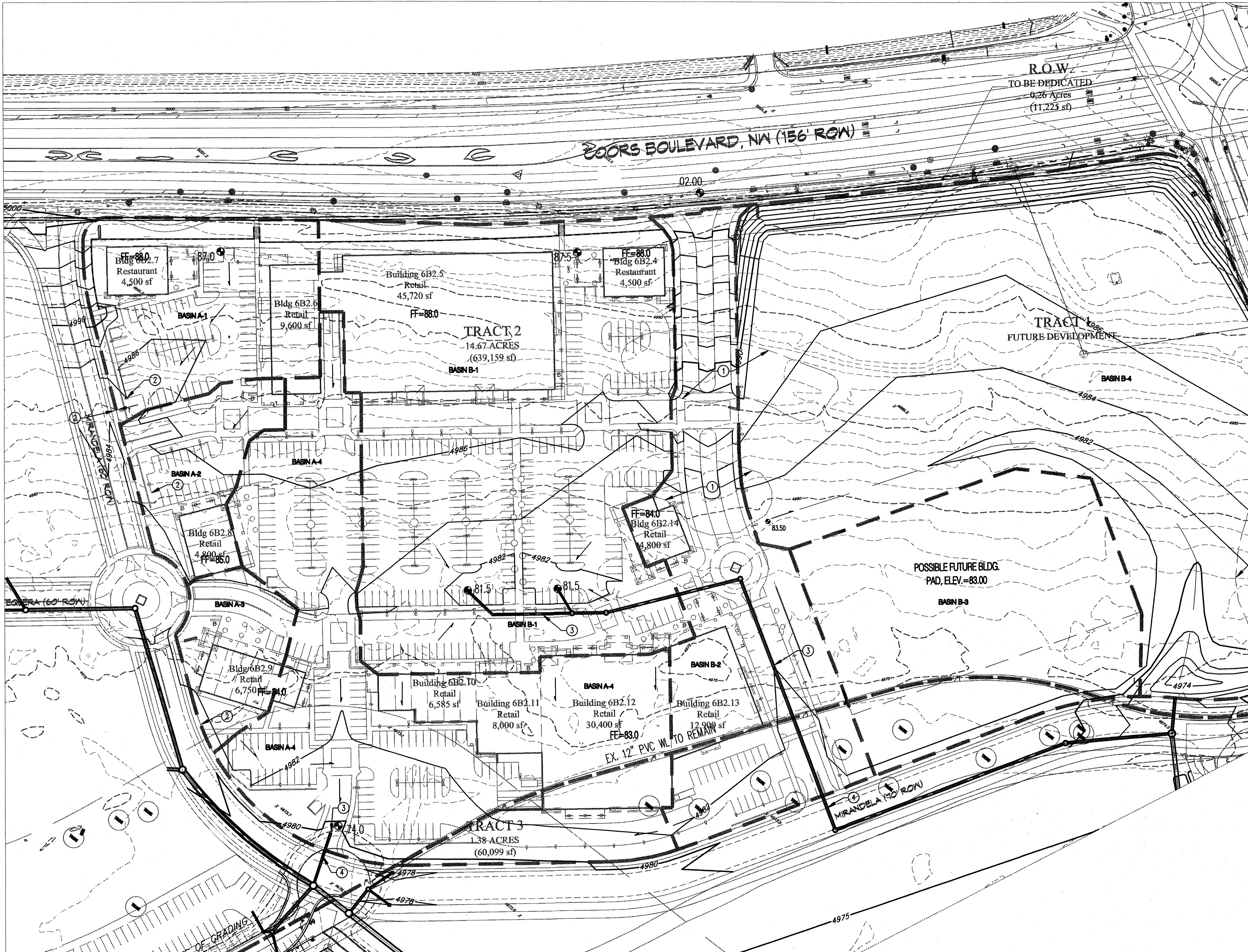
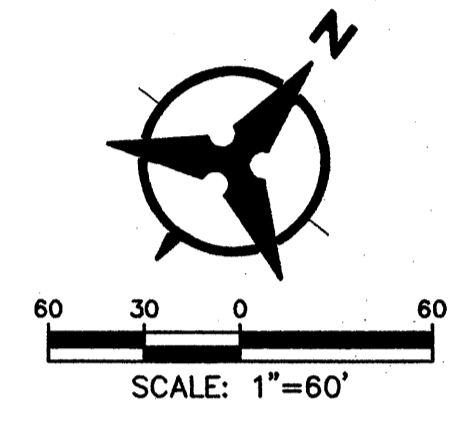


Scale 1" = 20'





ZONE ATLAS F-11, F-12
LEGAL DESCRIPTION
TRACTS 2 & 3 OF NORTH ANDALUCIA AT LA LUZ
ALBUQUERQUE, NM, OCTOBER, 2005



DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION
The purpose of this submittal is to provide a conceptual Drainage Management Plan for the proposed commercial development at North Andalusia at La Luz, Tracts 1, 2, and 3, located at the SE Corner of Montano Road and Coors Boulevard.

II. SITE LOCATION
The site is currently legally described as North Andalusia at La Luz, Tracts 1, 2, and 3 (+/- 24 ac.). The site is bounded by Coors Boulevard to the west, Mirandela Road to the South, Montano to the North, and Mirandela Road to the east. The site is located within zone atlas maps NE-12 and WF-12, and hydrologic zone 1.

III. EXISTING HYDROLOGIC CONDITIONS
The site is currently undeveloped. Existing flows are conveyed by surface drainage to the low lying areas at the Lower Corrales Riverside Drain. The land is low enough that the drainage does not overtop the Lower Corrales Riverside Drain and ponds on North Andalusia at La Luz, Tract 9. Conveyance currently occurs via. Evapotranspiration and infiltration.

IV. PROPOSED HYDROLOGIC CONDITIONS
The proposed conditions for North Andalusia Tracts 1, 2, and 3 have been shown on the basin map/conceptual grading and drainage plan that was previously approved on March 14, 2005 for the overall North Andalusia site. The hydrology analysis for this area is based on drainage requirements for the 100-yr, 6-hr storm event.
The +/-24 acre commercial site will generate 98 cfs under newly developed conditions and consists of approximately 85% D and treatment. Although Tract 1 is still shown as undeveloped, the proposed conditions have been taken into account in order to show the future flows that will be conveyed off the site. This flow will drain to the east via. surface flow and underground storm drainage to a new retention pond located on Tract 9. The required volume for the retention pond has been calculated as 9.9 acre feet. In the event the 100 year storm is exceeded, a weir structure is currently under design to allow the overflow to spill over the bank of the Lower Corrales Riverside Drain and the excess flow can be conveyed downstream.

V. CONCLUSION
The drainage management plan previously submitted and approved on March 14, 2005 for the Site Plan for Subdivision provides for grading and drainage elements which are capable of safely passing and retaining the 100 year storm and which meet city requirements. With this submittal, we are requesting conceptual grading and drainage plan (Site Development Plan for Building Permit) approval.

NORTH ANDALUCIA SITE BASIN CALCULATIONS

BASIN ID	Area (SQ. FT)	Area (AC.)	This table is based on the DPM Section 22.2, Zone 1				Q(100) (cfs/ac.)	Q(100) (cfs)	WT E (Inches)	V(100) (CF)	V(100) (ACRE-FT)
			A	B	C	D					
A-1	60208	1.38	0.0%	5.0%	10.0%	85.0%	4.10	5.67	1.81	9066	11028
A-2	30227	0.69	0.0%	5.0%	10.0%	85.0%	4.10	2.85	1.81	4582	9476
A-3	22556	0.52	0.0%	5.0%	10.0%	85.0%	4.10	2.12	1.81	3397	7071
A-4	188963	3.88	0.0%	5.0%	10.0%	85.0%	4.10	15.81	1.81	25443	52970
B-1	216584	4.97	0.0%	5.0%	10.0%	85.0%	4.10	20.40	1.81	32611	67983
B-2	108591	2.44	0.0%	5.0%	10.0%	85.0%	4.10	10.03	1.81	16037	33388
B-3	111386	2.56	0.0%	5.0%	10.0%	85.0%	4.10	10.49	1.81	16768	34910
B-4	324426	7.46	0.0%	5.0%	10.0%	85.0%	4.10	30.56	1.81	48853	101708
TOTAL	1040801	23.89						98.04		156727.28	318444.00
										3.60	ACRE-FT

KEYED NOTES

- EXISTING ARCHAEOLOGICAL AREA. THIS AREA SHALL NOT BE CUT OTHER THAN FOR CLEARING AND GRUBBING.
- SIDEWALK CULVERT PER COA STD. DWG. 2236. FINAL LOCATIONS TO BE DETERMINED WITH BUILDING PERMIT SUBMITTAL AND TO BE PLACED PER THE CITY CRITERIA.
- PRIVATE DRAINAGE SYSTEM TO CONNECT TO STUB-OUTS PROVIDED AS PART OF THE PUBLIC INFRASTRUCTURE (BY OTHERS). FINAL DESIGN OF PRIVATE DRAINAGE SYSTEM TO BE DETERMINED WITH BUILDING PERMIT SUBMITTAL.
- NEW PUBLIC DRAINAGE SYSTEM (BY OTHERS).

**Andalusia Tract 6B
Site Development Plan
Coors and Montano, SEC
Albuquerque, New Mexico**

**Andalucia Tract 6B
Site Development Plan
Coors and Montano, SEC
Albuquerque, New Mexico**

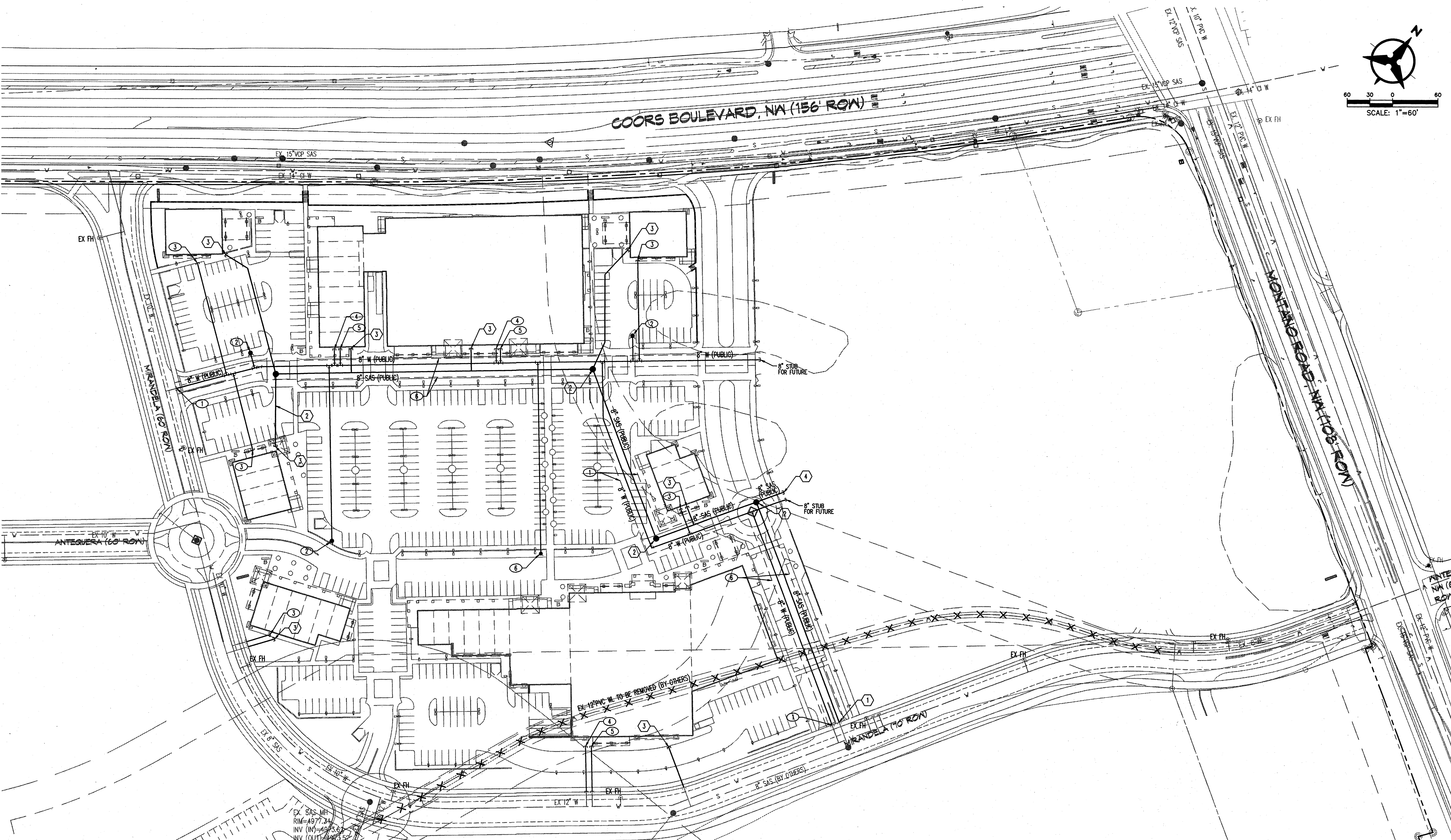
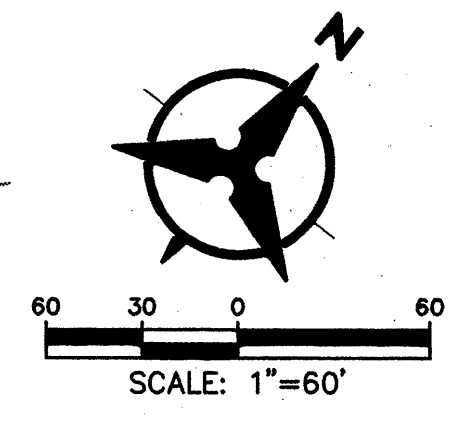
REVISIONS

- △
- △
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DRAWN BY	JTM
REVIEWED BY	JTM
DATE	1/11/06
PROJECT NO.	0500B2
DRAWING NAME	

**CONCEPTUAL
UTILITY PLAN**

SHEET NO.



○ WATERLINE KEYED NOTES

1. CONNECT TO 8" WATER STUB.
2. PROPOSED 6" VALVE AND FIRE HYDRANT.
3. PROPOSED DOMESTIC WATER SERVICE FOR NON SPRINKLERED BUILDING.
4. PROPOSED FIRE LINE TO SERVE SPRINKLERED BUILDING.
5. PROPOSED DOMESTIC WATER SERVICE FOR SPRINKLERED BUILDING.
6. JOINT WATERLINE AND SANITARY SEWER EASEMENT WILL BE PROVIDED ON-SITE FOR ALL PUBLIC WATER AND SANITARY SEWER LINES. PROPOSED EASEMENTS WILL BE DEDICATED BY PAPER DOCUMENT.

NOTE: LOCATIONS OF WATER METERS HAVE NOT BEEN SHOWN AS THE SERVICES MAY CHANGE ONCE DETAILED BUILDING PLANS ARE PREPARED. METERS WILL BE SHOWN ON PLANS ONCE FINAL LOCATIONS ARE KNOWN.

○ SANITARY SEWER KEYED NOTES

1. CONNECT TO 8" SAS STUB.
2. PROPOSED 4" DIAMETER MANHOLE.
3. PROPOSED PRIVATE SANITARY SEWER SERVICE.
4. 8" SAS PLUG.

NOTE: SANITARY SEWER SERVICES MAY NEED TO BE MOVED AS DETAILED BUILDING PLANS ARE PREPARED. ADDITIONAL SERVICES MAY BE REQUIRED FOR MULTI-TENANT SPACES, LOCATIONS TO BE DETERMINED.

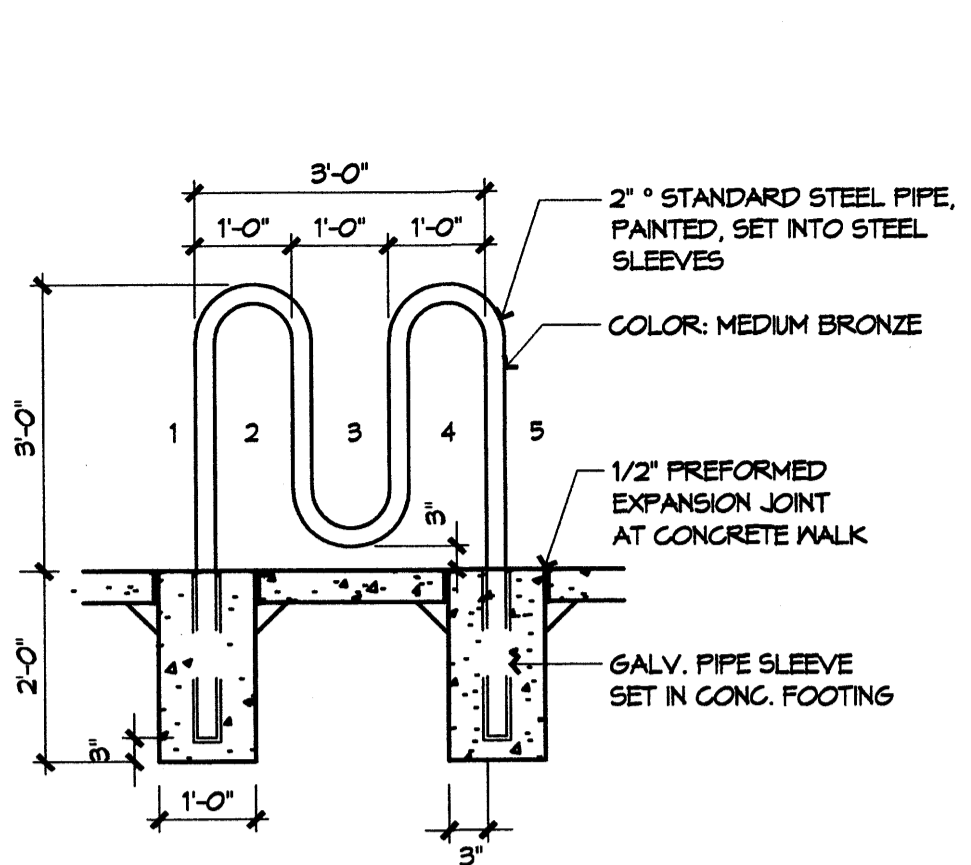
NOTE: UTILITY AND/OR SANITARY SEWER LINE EASEMENTS WILL BE PROVIDED ON-SITE FOR ALL PUBLIC SANITARY SEWER LINES. PROPOSED EASEMENTS WILL BE DEDICATED ON THE PLAT ASSOCIATED WITH THE DEVELOPMENT OR BY SEPARATE INSTRUMENT.

KEY NOTES
NOT ALL NOTES APPEAR ON ALL SHEETS

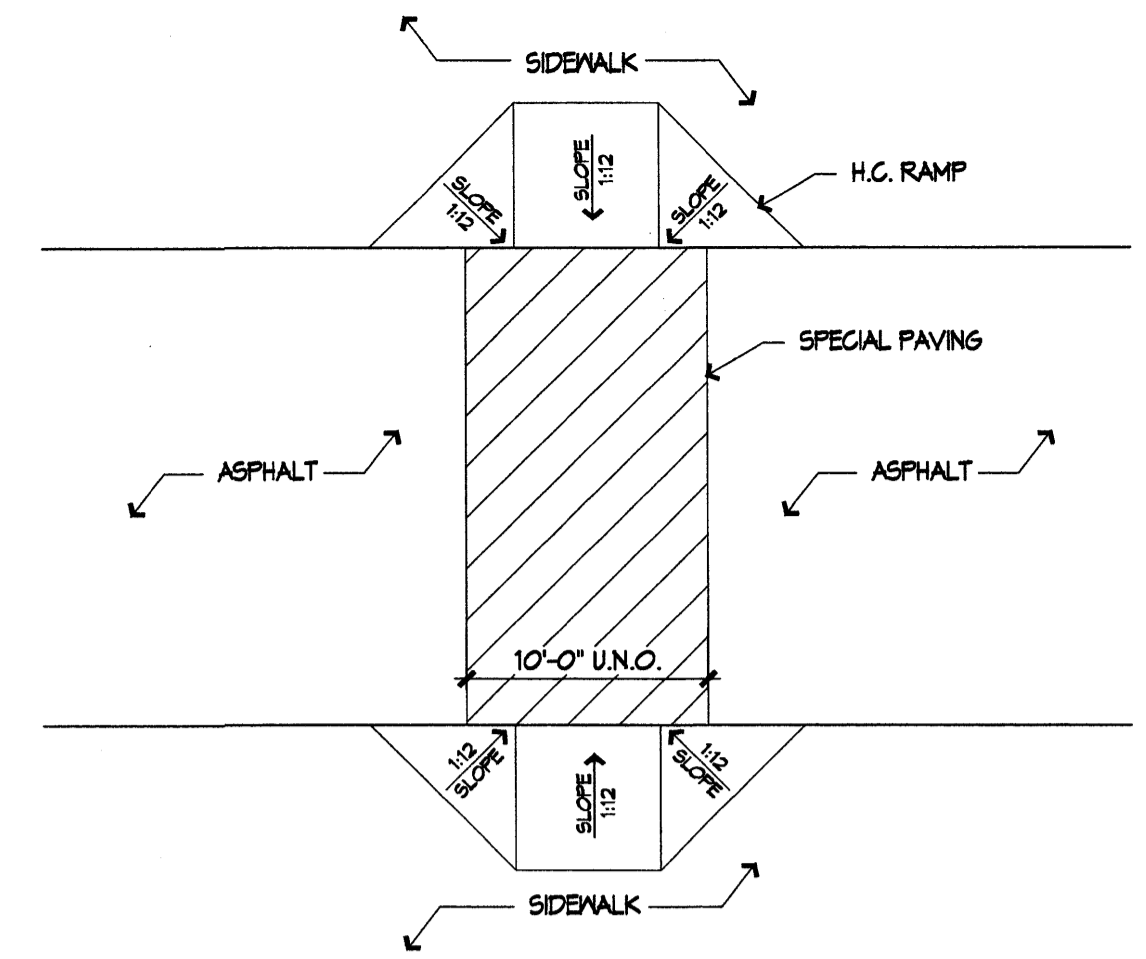
1. STUCCO 1
2. STUCCO 2
3. TENANT SIGNAGE (AREA AS INDICATED)
4. PRECAST COLUMN (PRECAST 1)
5. PRECAST BEAM & TRELIS (PRECAST 2)
6. NICHE WITH IRON GRILLE
7. PRECAST HEADER BEAM (PRECAST 2)
8. ALUMINUM STOREFRONT (NOT USED)
9. CLAY TILE ROOF
10. PRECAST COPING (PRECAST 1)
11. PRECAST WINDOW SILL (PRECAST 1)
12. STUCCO COVERED CMU SCREEN WALL, STUCCO 1
13. PAINTED METAL OVERHEAD DOOR, PAINTED TO MATCH ADJACENT WALL SURFACE
14. PRECAST 2 VENEER
15. BUILDING MOUNTED WALL FIXTURE, RE 8A/A003

COLOR and MATERIAL SCHEDULE

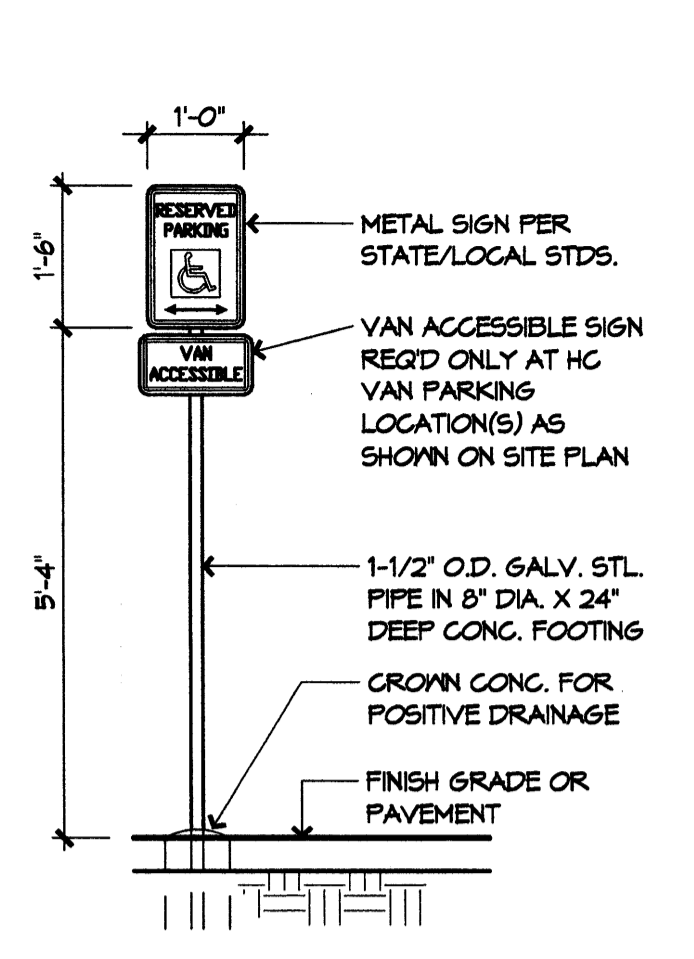
- STUCCO 1: LIGHT TAN
- STUCCO 2: MEDIUM TAN
- STONE VENEER: LIGHT TAN TO BROWN BLEND
- CLAY TILE ROOF: TERRA COTTA BLEND
- PRECAST 1: WARM GREY
- PRECAST 2: BROWN
- N/A ALUMINUM STOREFRONT: MEDIUM BRONZE ANOD.
- N/A IRON GRILLES: BLACK



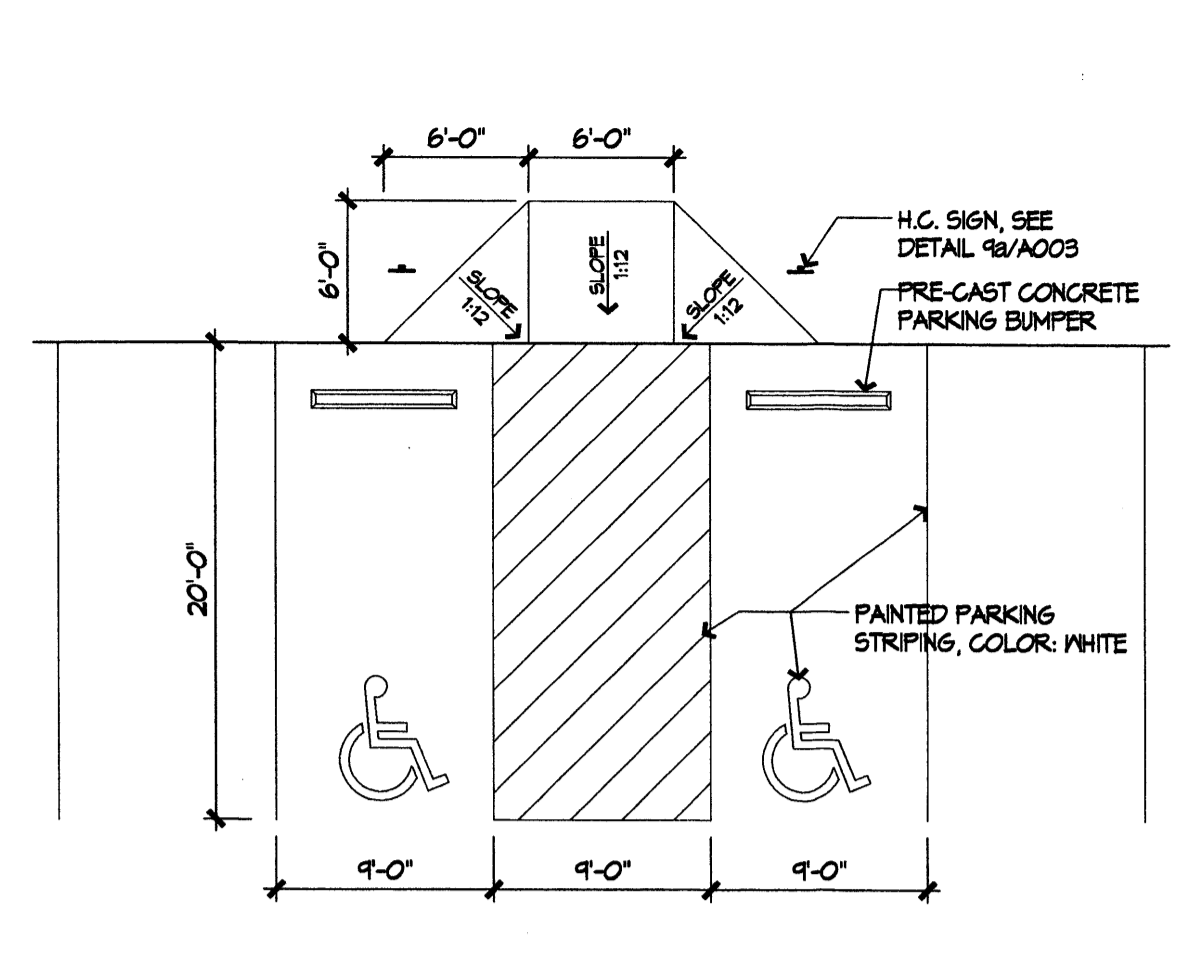
11 BIKE RACK
1/2" = 1'-0"



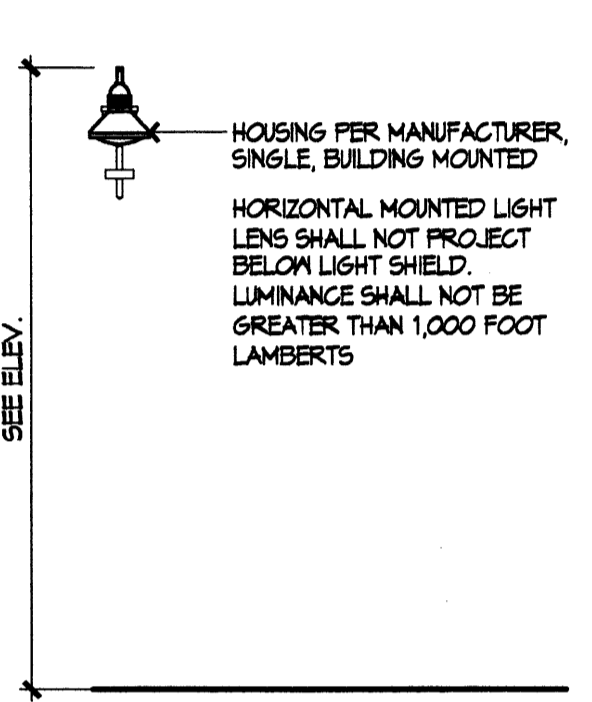
10 TYPICAL CROSSWALK
1/8" = 1'-0"



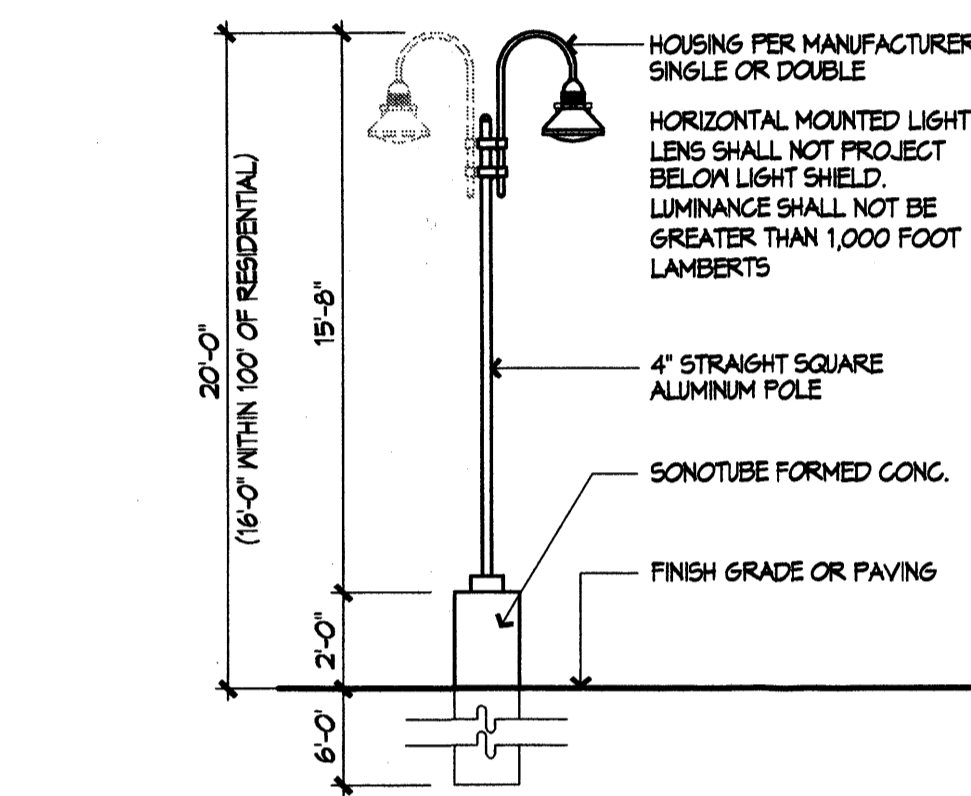
9a H.C. SIGN
1/2" = 1'-0"



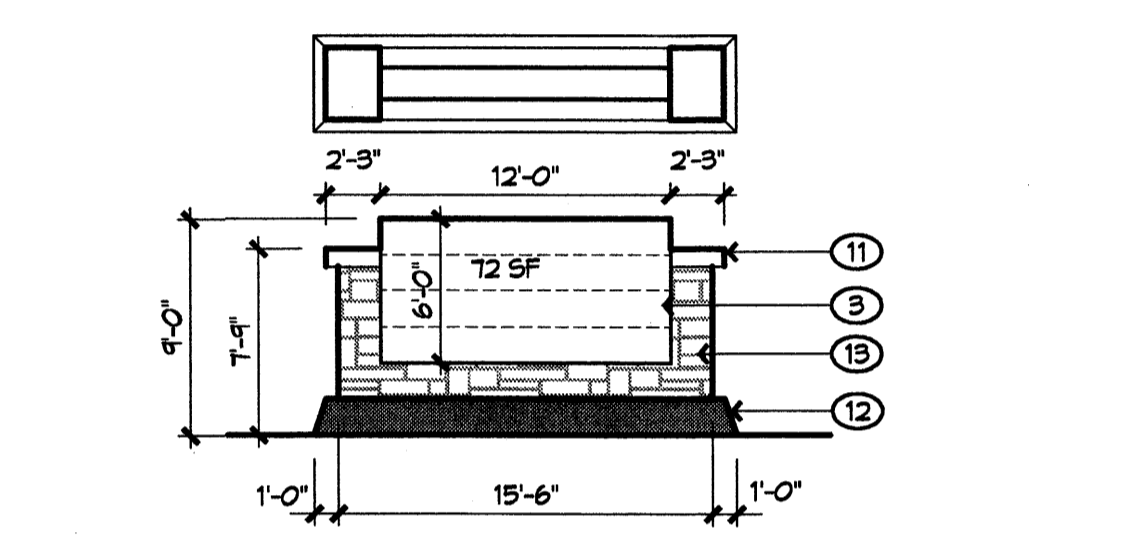
9 H.C. PARKING SPACE
1/8" = 1'-0"



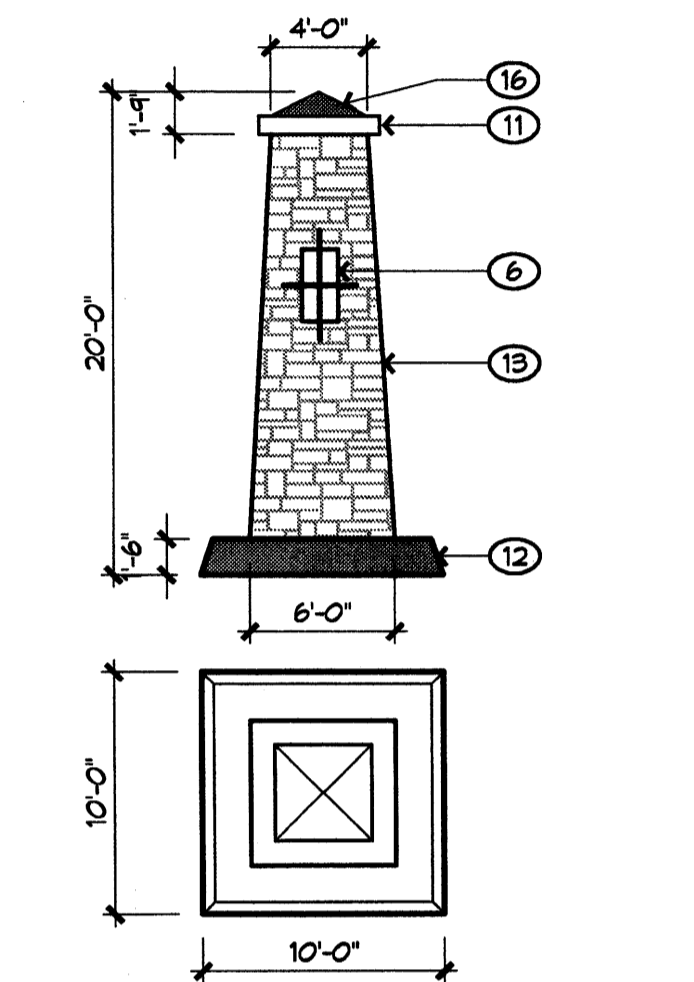
8a BLDG. MNTD. LIGHT
1" = 1'-0"



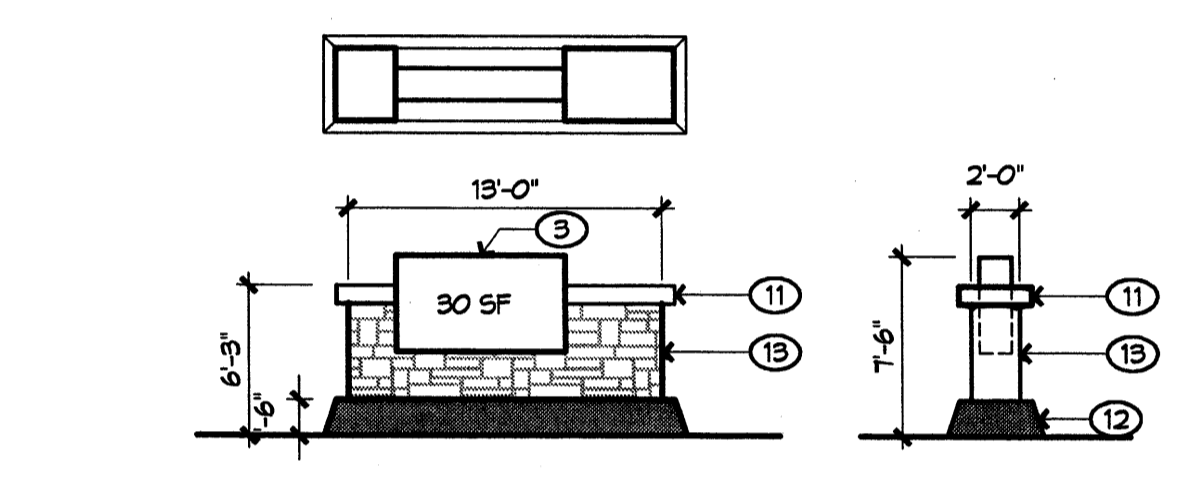
8 PARKING LOT LITE POLE DETAIL
1/4" = 1'-0"



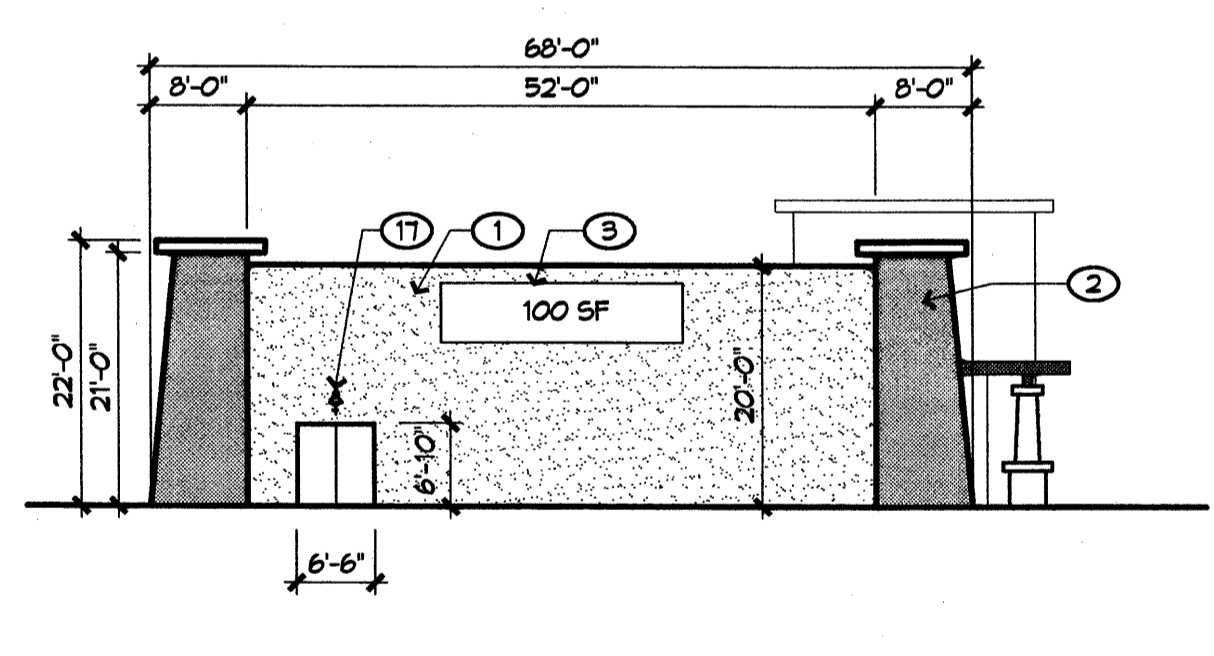
7 JOINT-TENANT SIGN
1/8" = 1'-0"



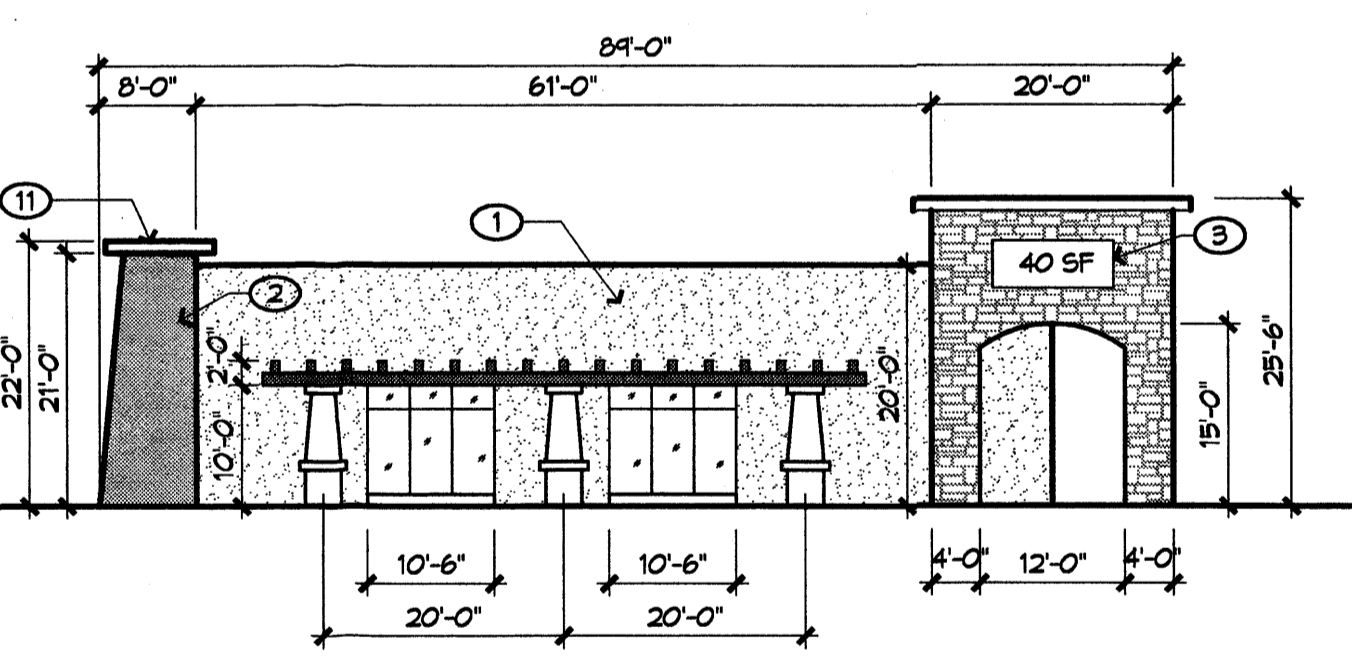
6 TRAFFIC CIRCLE FEATURE
1/8" = 1'-0"



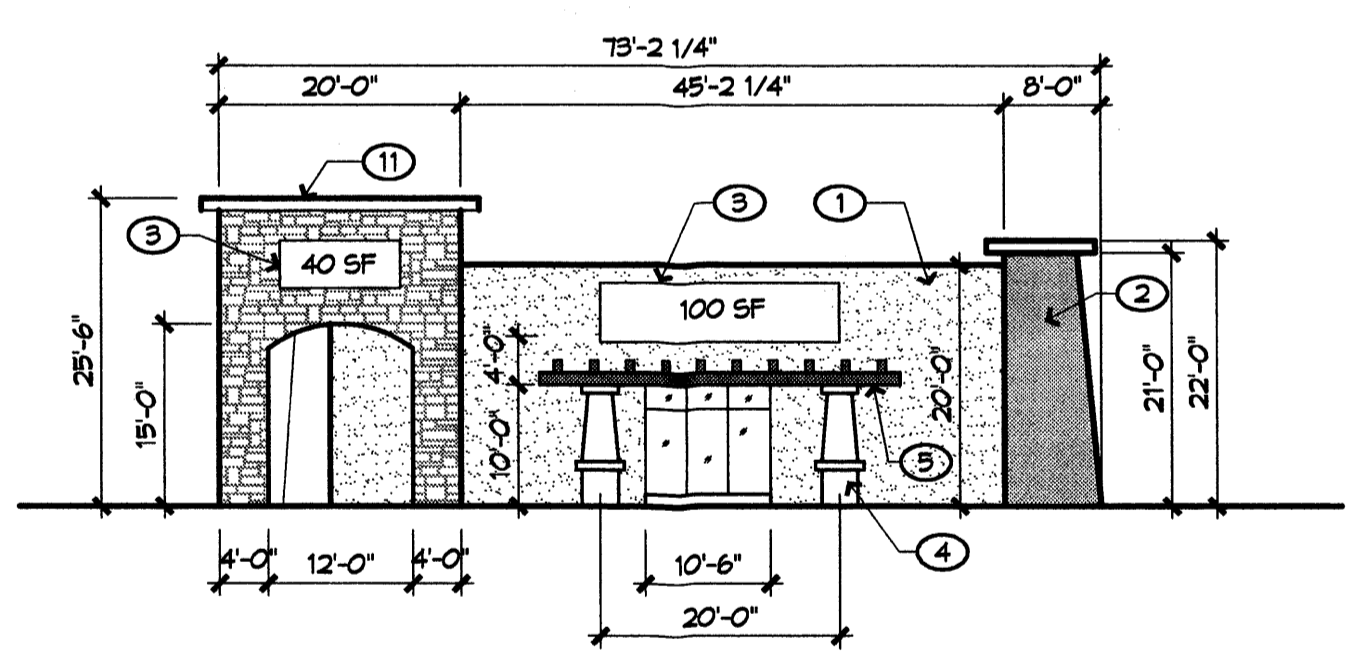
5 MONUMENT SIGN
1/8" = 1'-0"



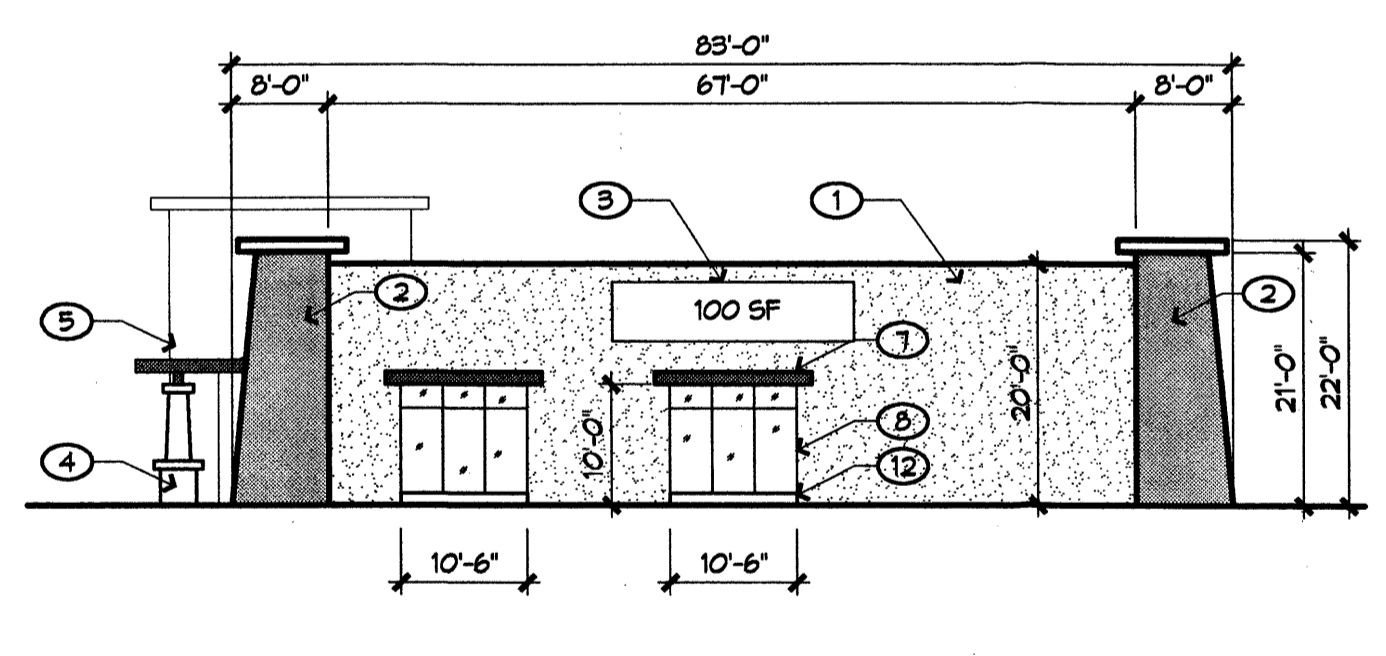
4 SOUTH ELEVATION
1/16" = 1'-0"



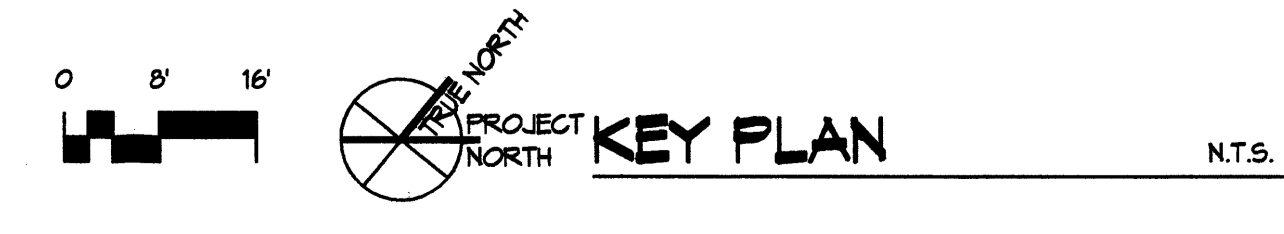
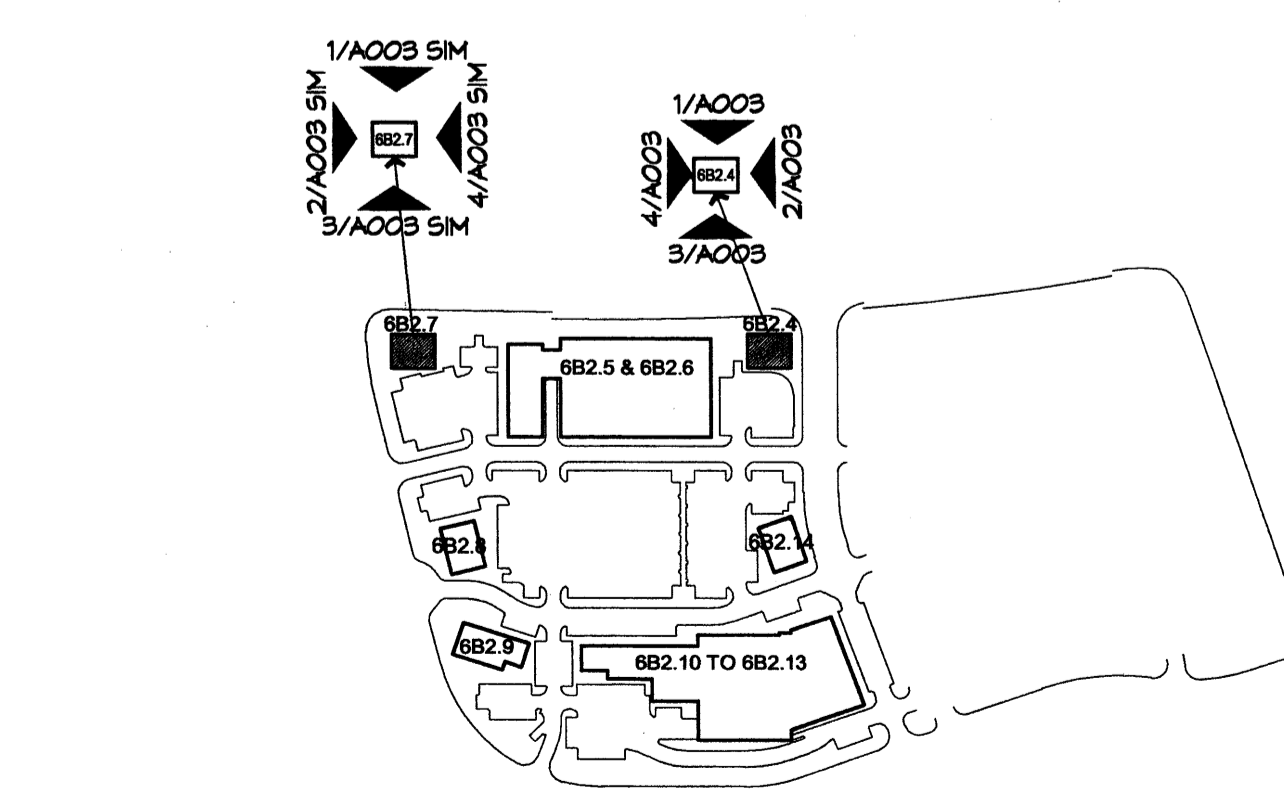
3 EAST ELEVATION
1/16" = 1'-0"



2 NORTH ELEVATION
1/16" = 1'-0"



1 WEST ELEVATION
1/16" = 1'-0"



1 1/11/2005

REVISIONS

- 1/11/2005
-
-
-

DRAWN BY

REVIEWED BY

DATE 9/20/05

PROJECT NO. 04046

DRAWING NAME

**BUILDINGS
6B2.4 & 6B2.7
ELEVATIONS**

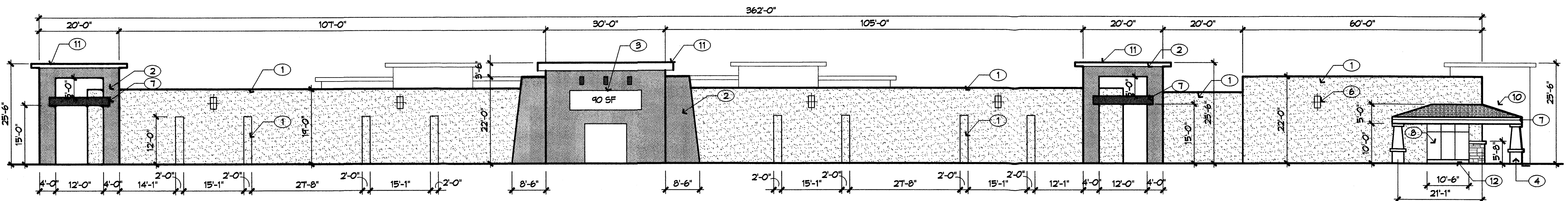
SHEET NO. **A003**
6 OF 10

KEY NOTES

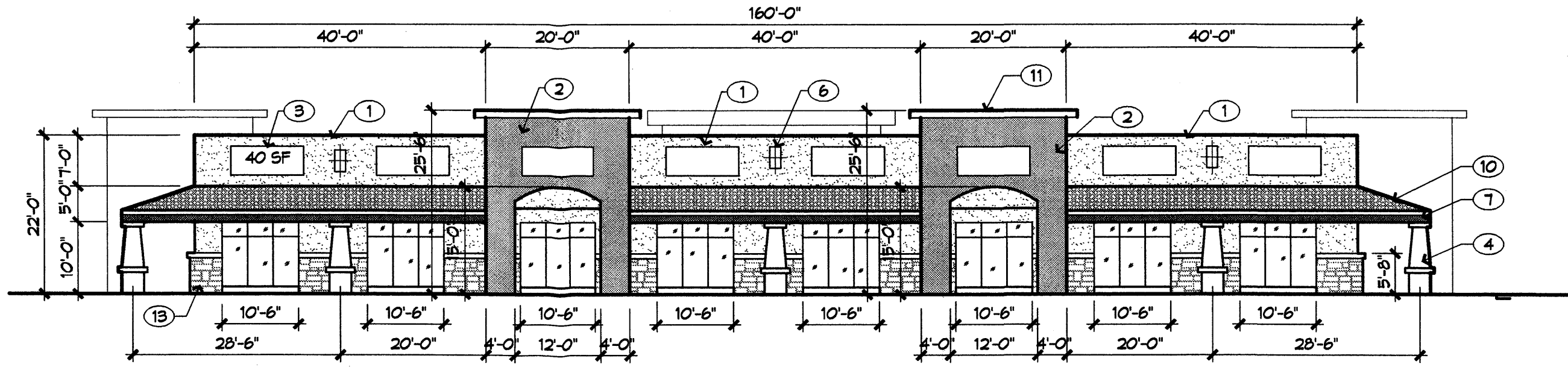
- NOT ALL NOTES APPEAR ON ALL SHEETS
1. STUCCO 1
 2. STUCCO 2
 3. TENANT SIGNAGE (AREA AS INDICATED)
 4. PRECAST COLUMN (PRECAST 1)
 5. PRECAST BEAM & TRELLIS (PRECAST 2)
 6. NICHE WITH IRON GRILLE
 7. PRECAST HEADER BEAM (PRECAST 2)
 8. ALUMINUM STOREFRONT (NOT USED)
 9. CLAY TILE ROOF
 10. PRECAST COPING (PRECAST 1)
 11. PRECAST WINDOW SILL (PRECAST 1)
 12. STONE VENEER WITH PRECAST 1 CAP
 13. STUCCO COVERED CMU SCREEN MALL, STUCCO 1
 14. PAINTED METAL OVERHEAD DOOR, PAINTED TO MATCH ADJACENT WALL SURFACE
 15. PRECAST 2 VENEER
 16. BUILDING MOUNTED WALL FIXTURE, RE 8AVA003

COLOR and MATERIAL SCHEDULE

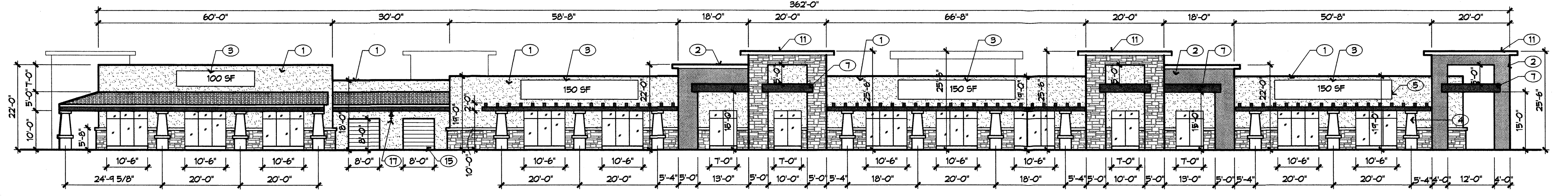
- STUCCO 1: LIGHT TAN
- STUCCO 2: MEDIUM TAN
- STONE VENEER: LIGHT TAN TO BROWN BLEND
- CLAY TILE ROOF: TERRA COTTA BLEND
- PRECAST 1: WARM GREY
- PRECAST 2: BROWN
- N/A ALUMINUM STOREFRONT: MEDIUM BRONZE ANOD.
- N/A IRON GRILLES: BLACK



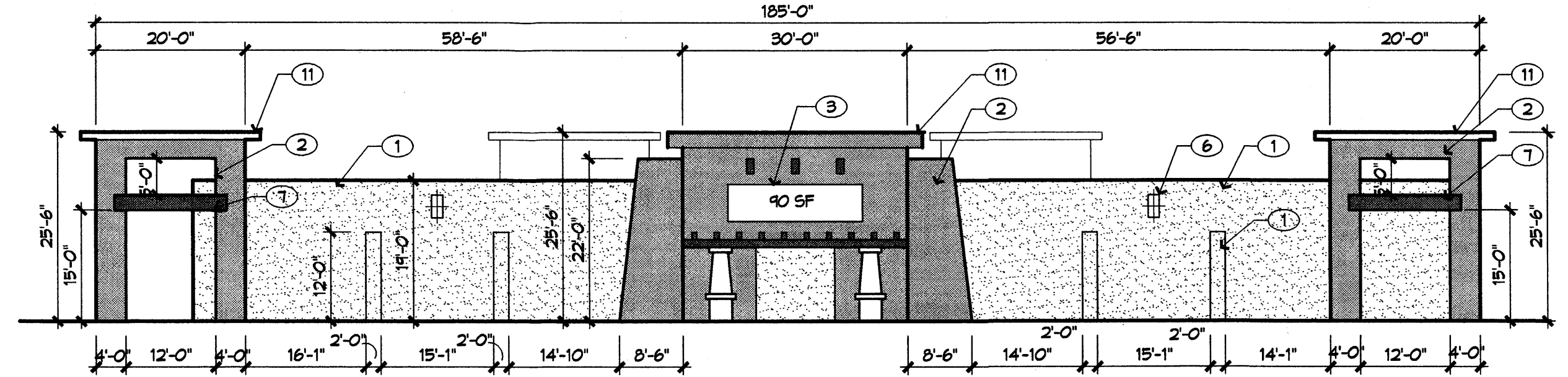
4 WEST ELEVATION
1/16" = 1'-0"



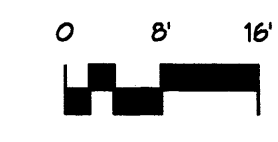
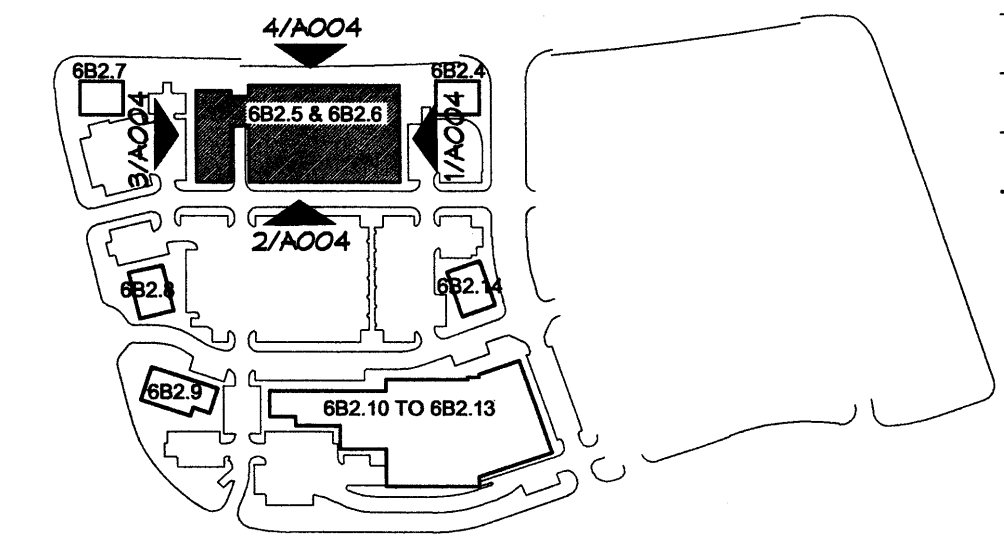
3 SOUTH ELEVATION
1/16" = 1'-0"



2 EAST ELEVATION
1/16" = 1'-0"



1 NORTH ELEVATION
1/16" = 1'-0"



KEY PLAN

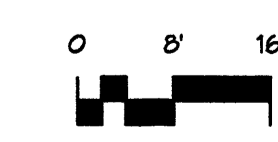
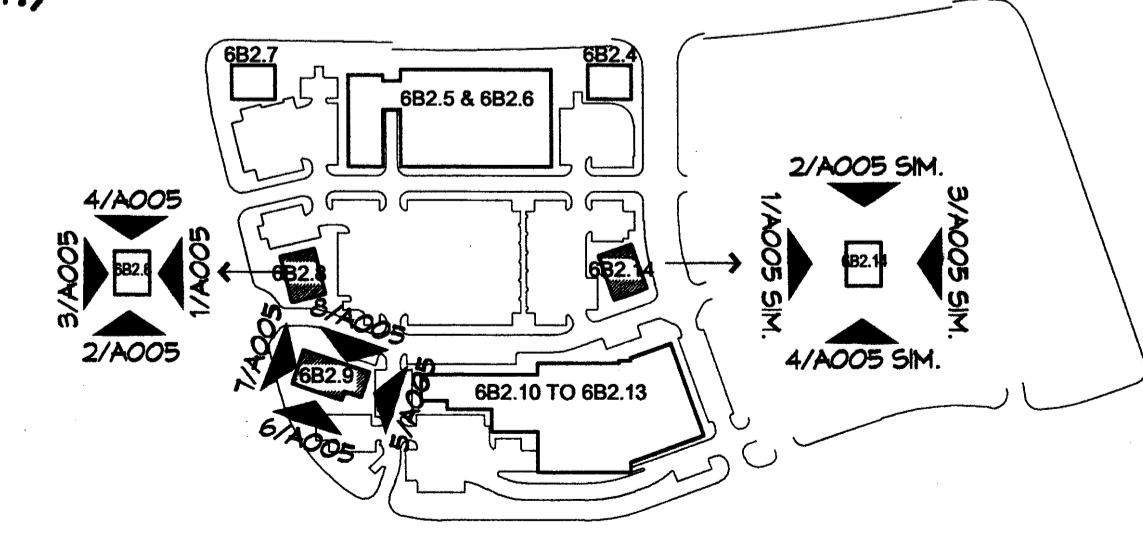
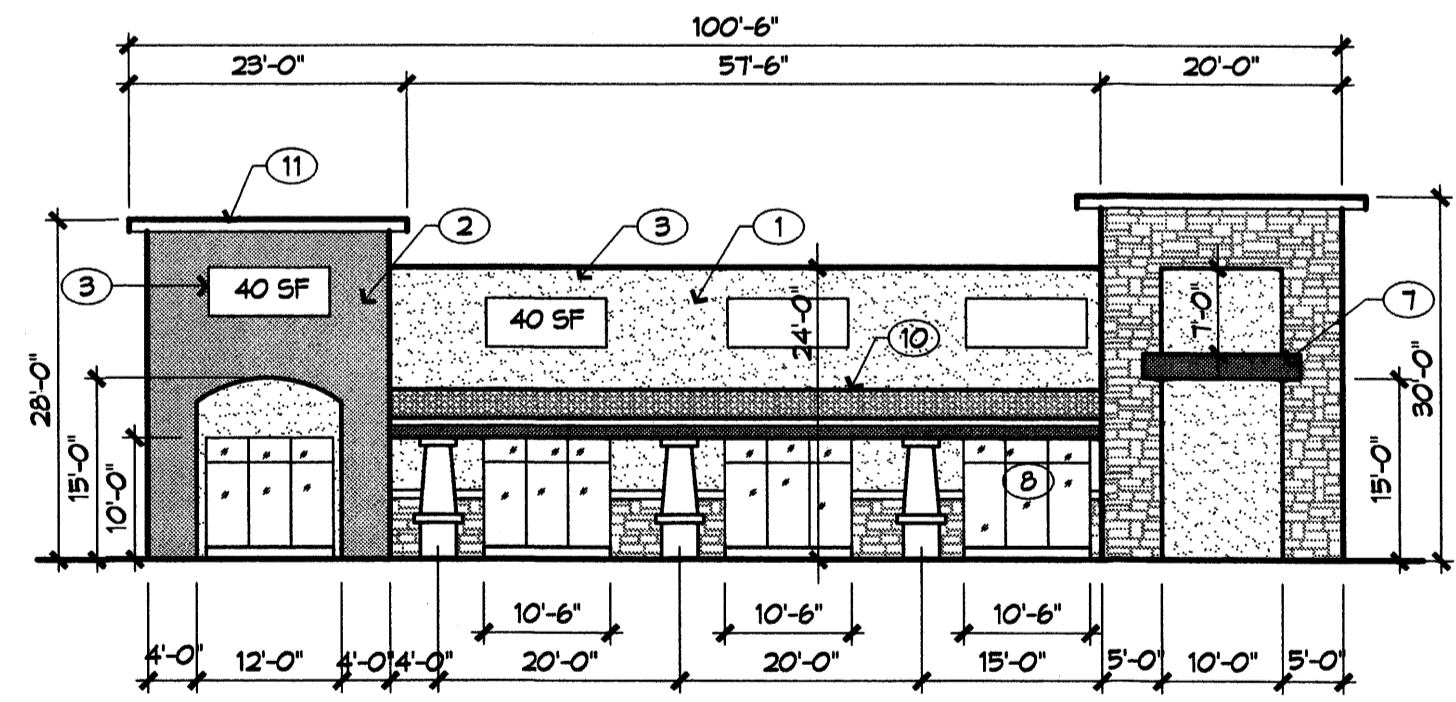
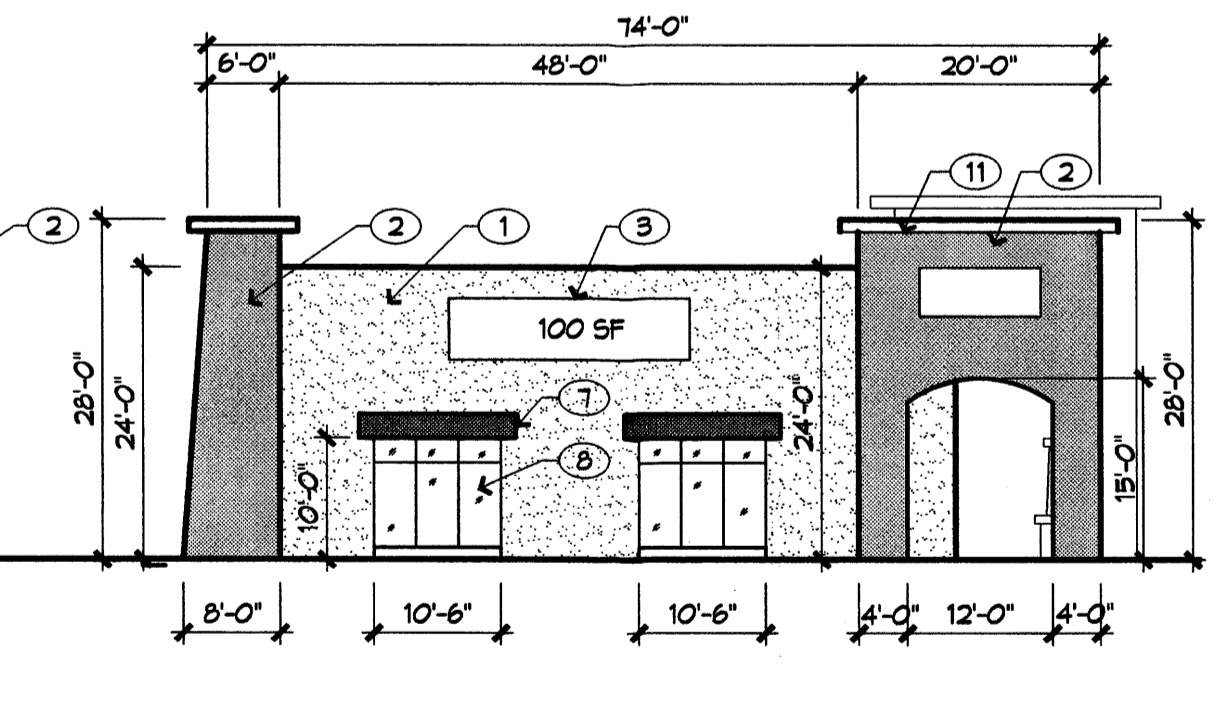
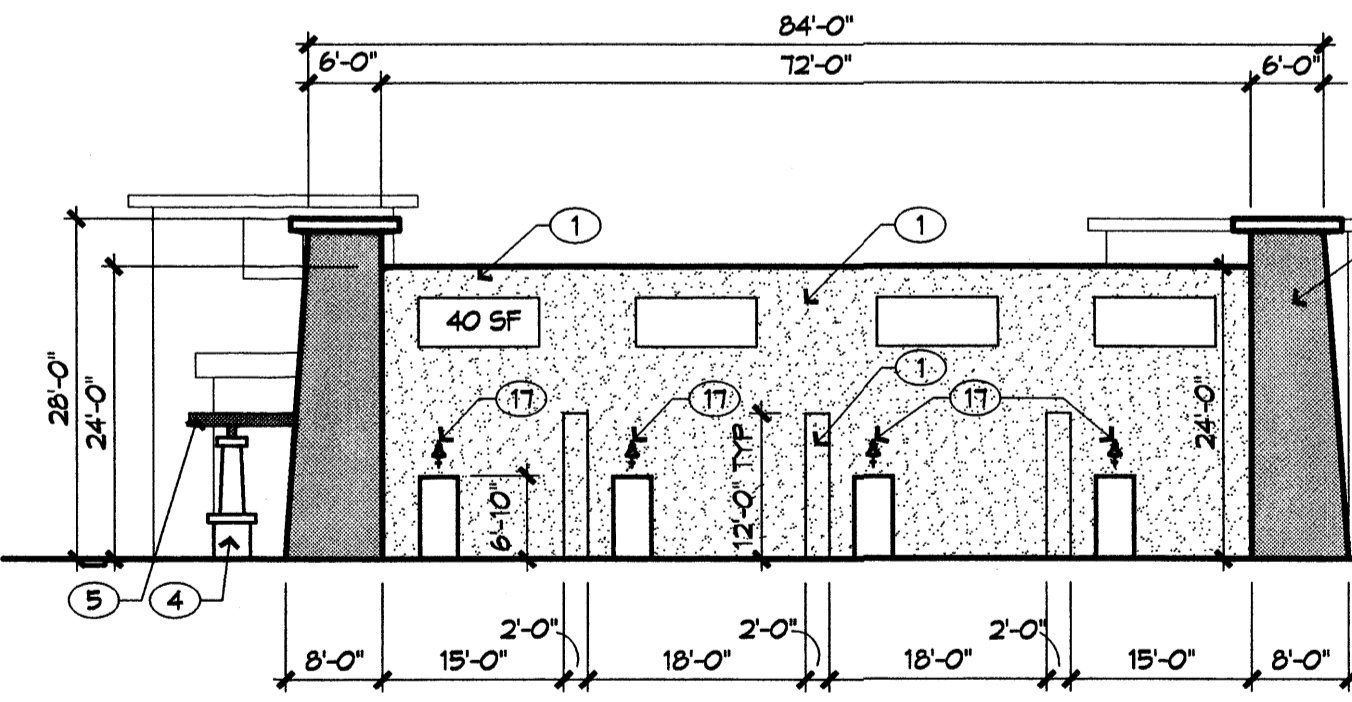
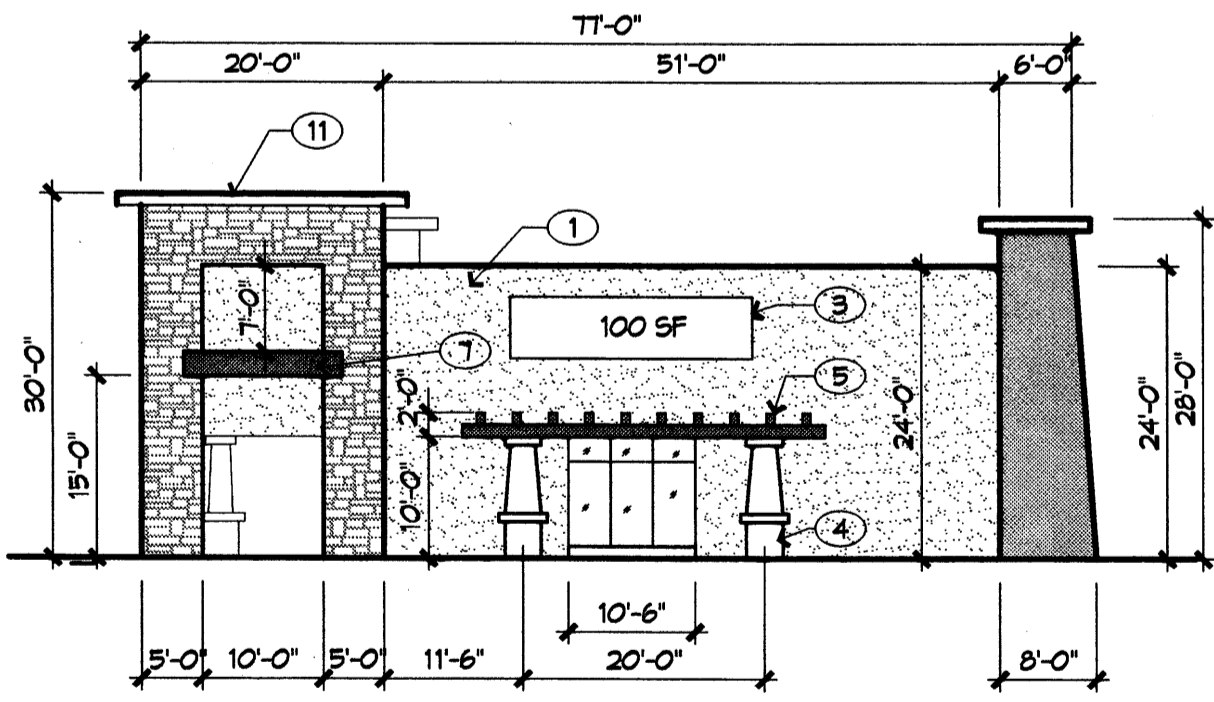
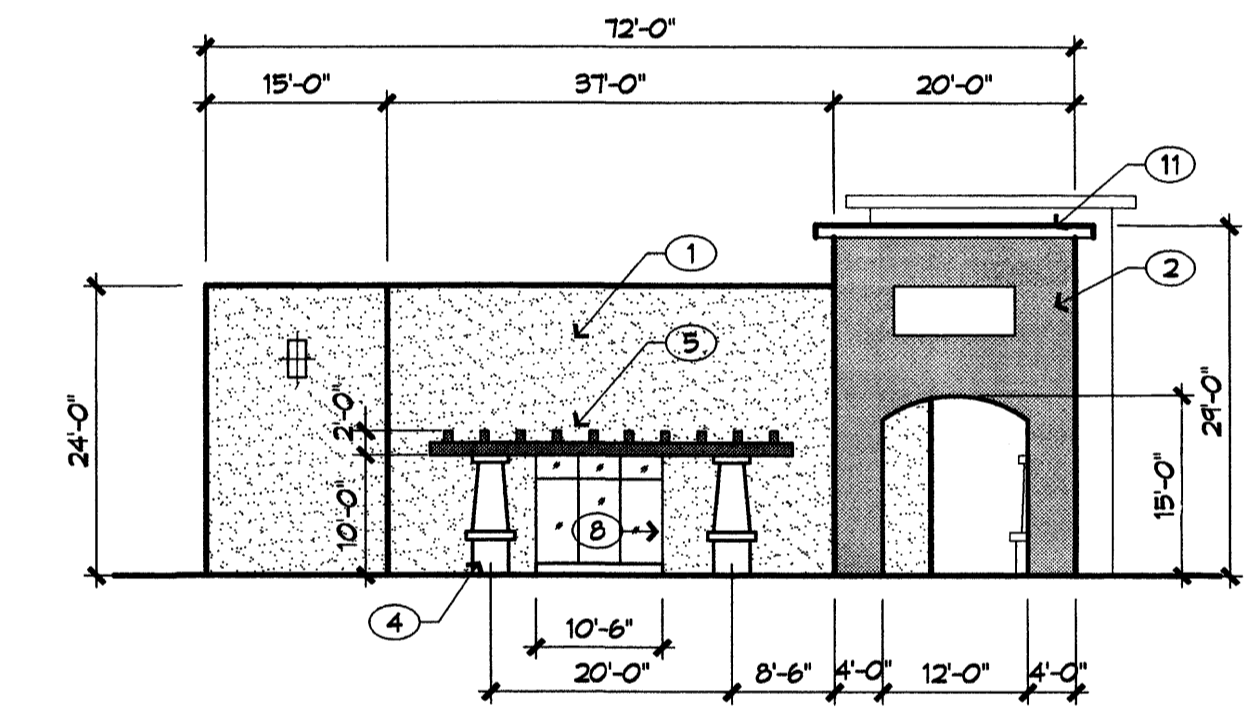
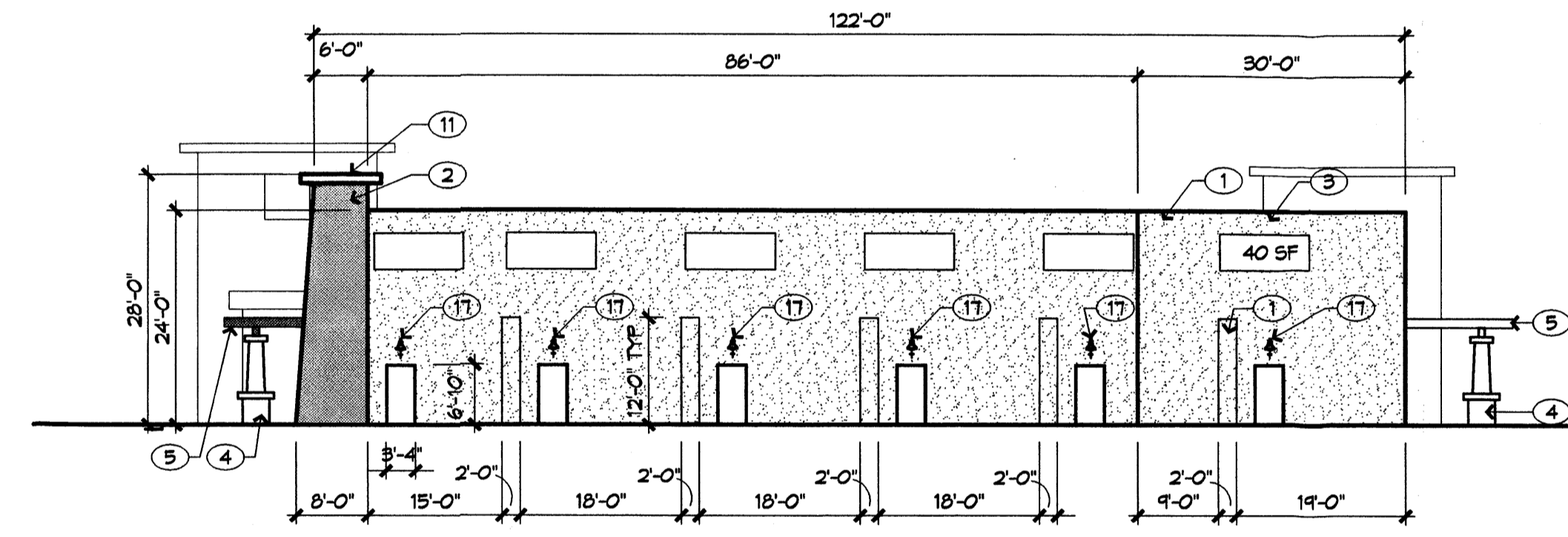
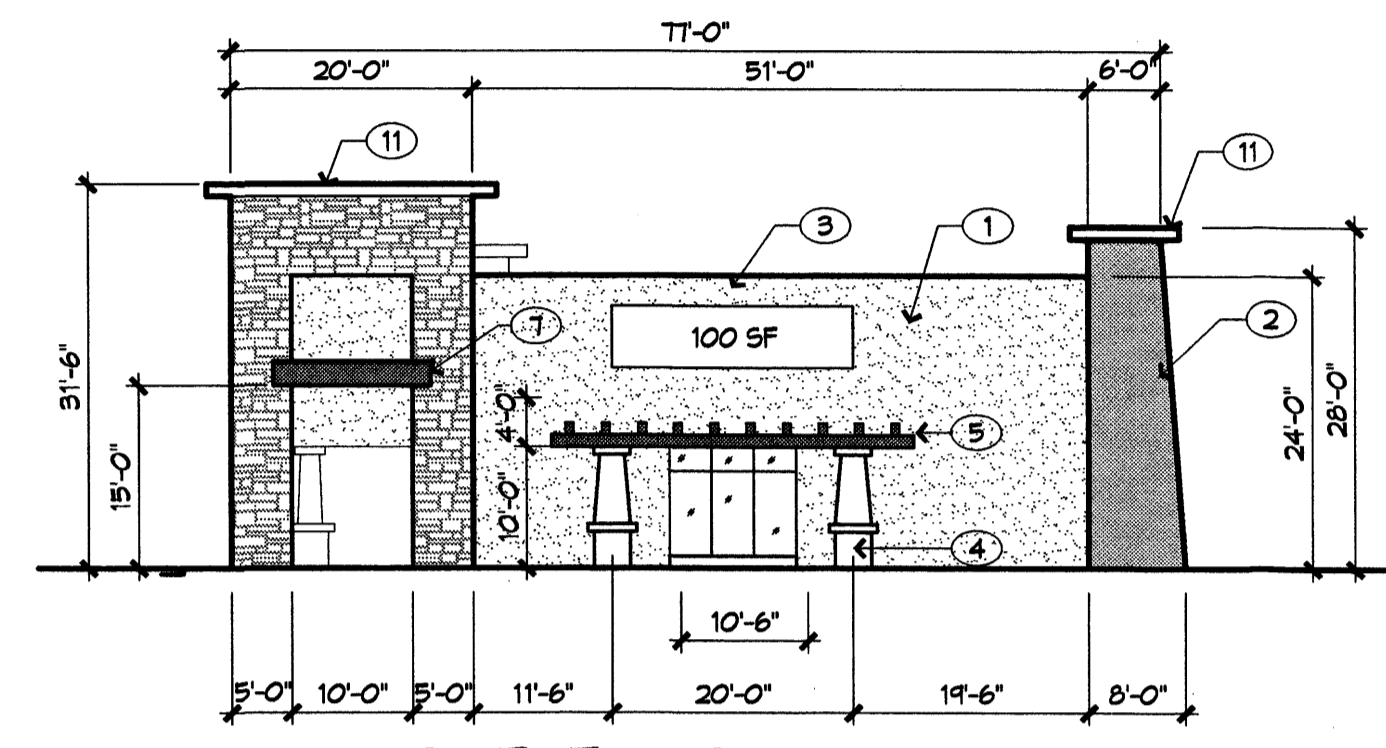
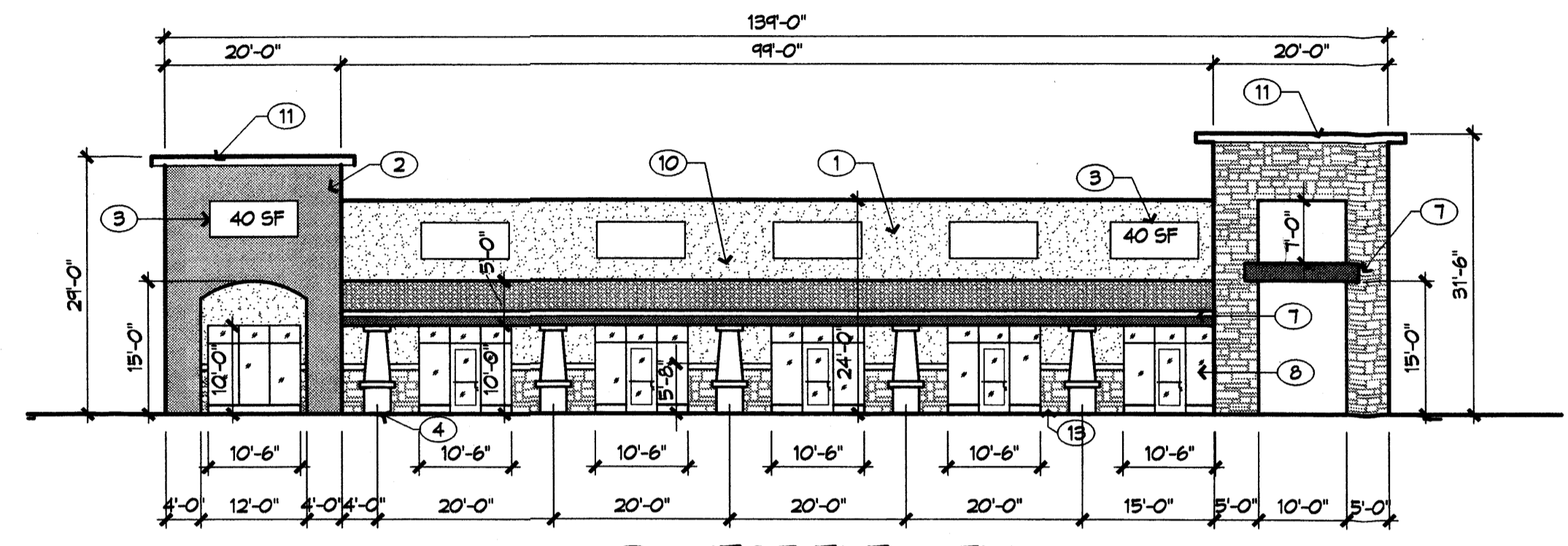
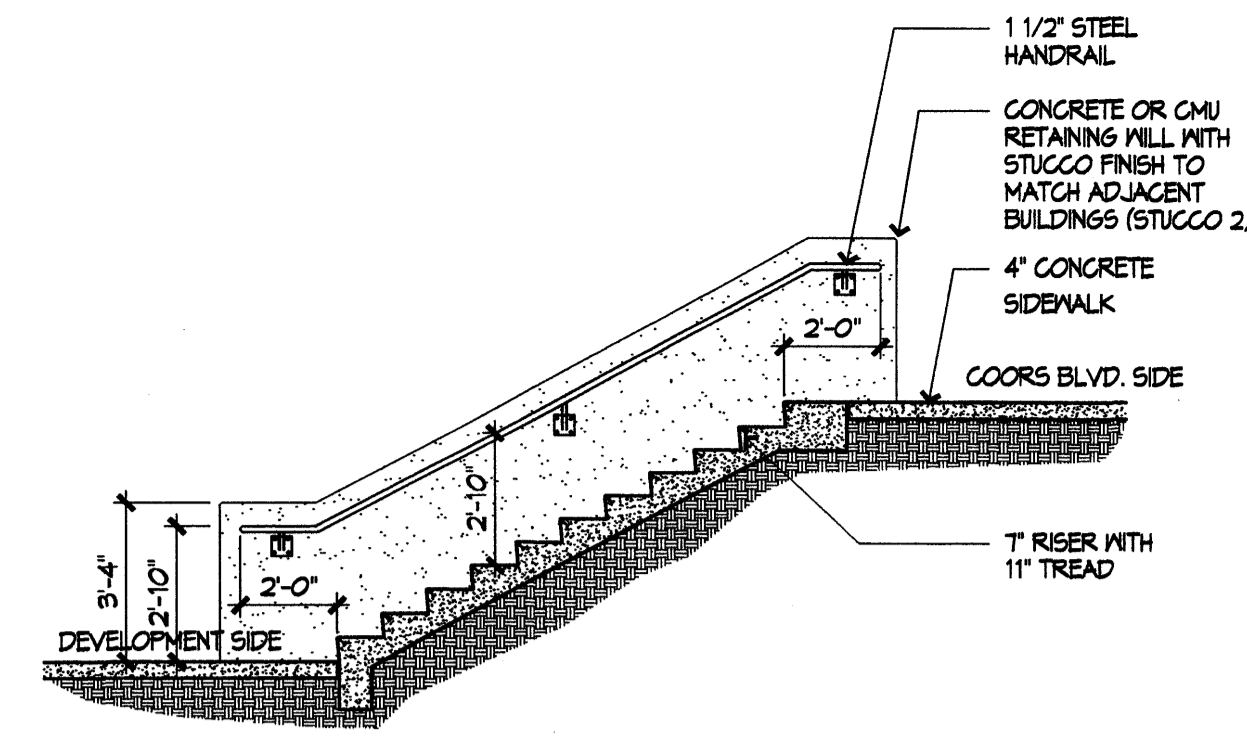
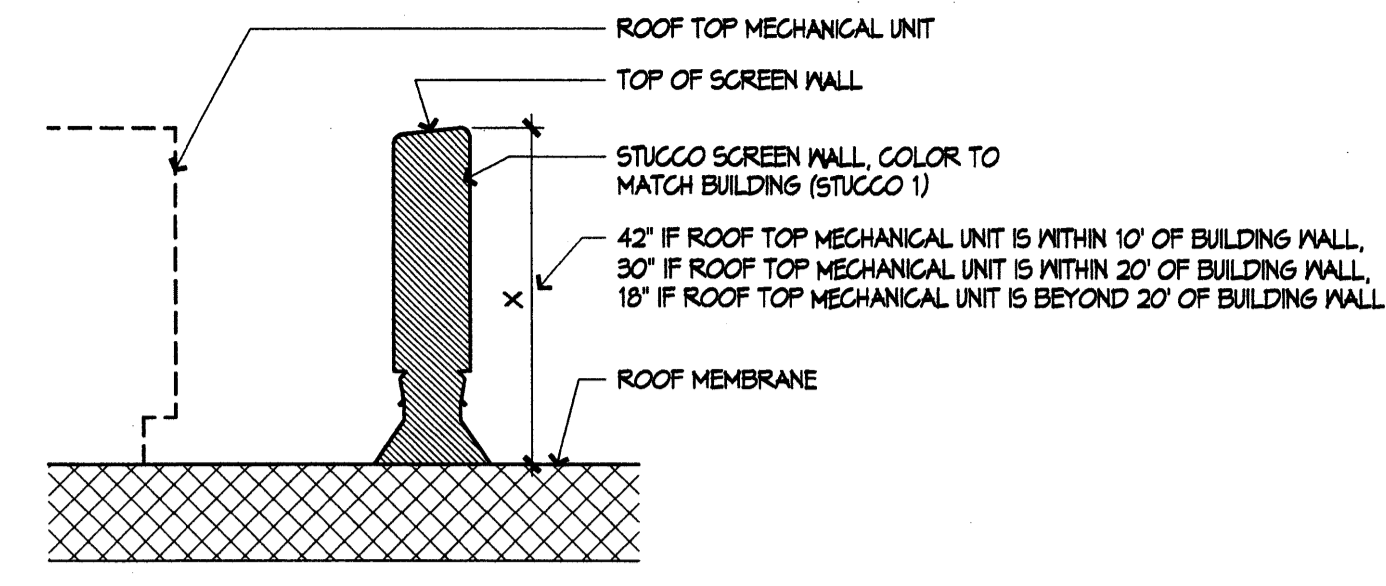
- REVISIONS
- 1/17/2005

DRAWN BY
REVIEWED BY
DATE 9/20/05
PROJECT NO. C4046
DRAWING NAME

BUILDINGS
6B2.5 & 6B2.6
ELEVATIONS

SHEET NO.

A004
1 of 10



KEY PLAN

N.T.S.

KEY NOTES

- 1. NOT ALL NOTES APPEAR ON ALL SHEETS
- 2. STUCCO 1
- 3. STUCCO 2
- 4. TENANT SIGNAGE (AREA AS INDICATED)
- 5. PRECAST COLUMN (PRECAST 1)
- 6. PRECAST BEAM & TRELIS (PRECAST 2)
- 7. NICHE WITH IRON GRILLE
- 8. PRECAST HEADER BEAM (PRECAST 2)
- 9. ALUMINUM STOREFRONT
- 10. (NOT USED)
- 11. CLAY TILE ROOF
- 12. PRECAST COPING (PRECAST 1)
- 13. PRECAST WINDOW SILL (PRECAST 1)
- 14. STUCCO COVERED CMU SCREEN WALL, STUCCO 1
- 15. PAINTED METAL OVERHEAD DOOR, PAINTED TO MATCH ADJACENT WALL SURFACE
- 16. PRECAST 2 VENEER
- 17. BUILDING MOUNTED WALL FIXTURE, RE BA/A005

COLOR and MATERIAL SCHEDULE

- STUCCO 1: LIGHT TAN
- STUCCO 2: MEDIUM TAN
- STONE VENEER: LIGHT TAN TO BROWN BLEND
- CLAY TILE ROOF: TERRA COTTA BLEND
- PRECAST 1: WARM GREY
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- N/A ALUMINUM STOREFRONT: MEDIUM BRONZE ANOD.
- N/A IRON GRILLES: BLACK

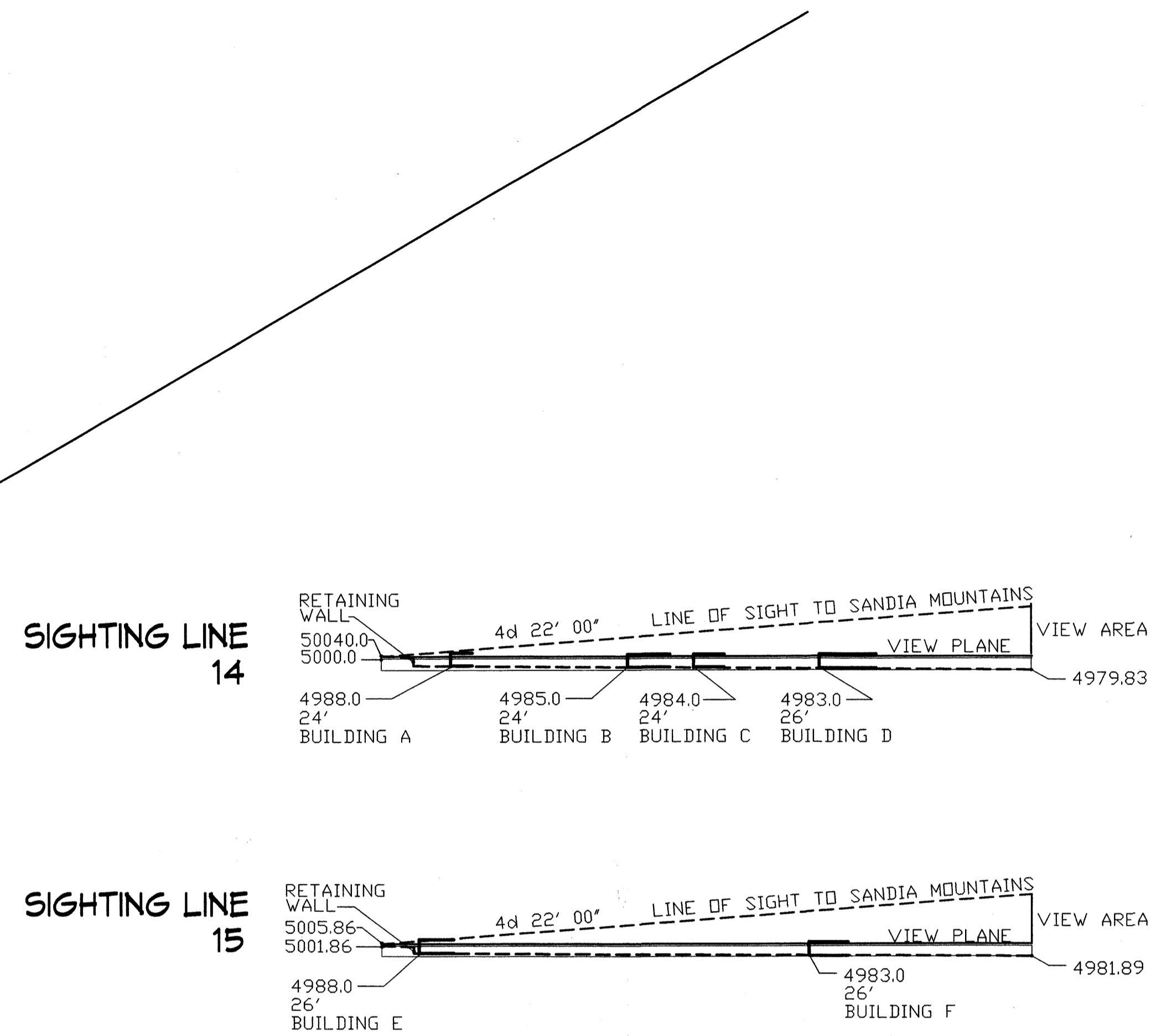
**Andalucia Tract 6A
Site Development Plan
Coors and Montano, SEC
Albuquerque, New Mexico**

REVISIONS

- ▲ 1/17/2005
- ▲
- ▲
- ▲

DRAWN BY **DLS**
REVIEWED BY **CRG**
DATE **06/08/05**
PROJECT NO. **04046**
DRAWING NAME

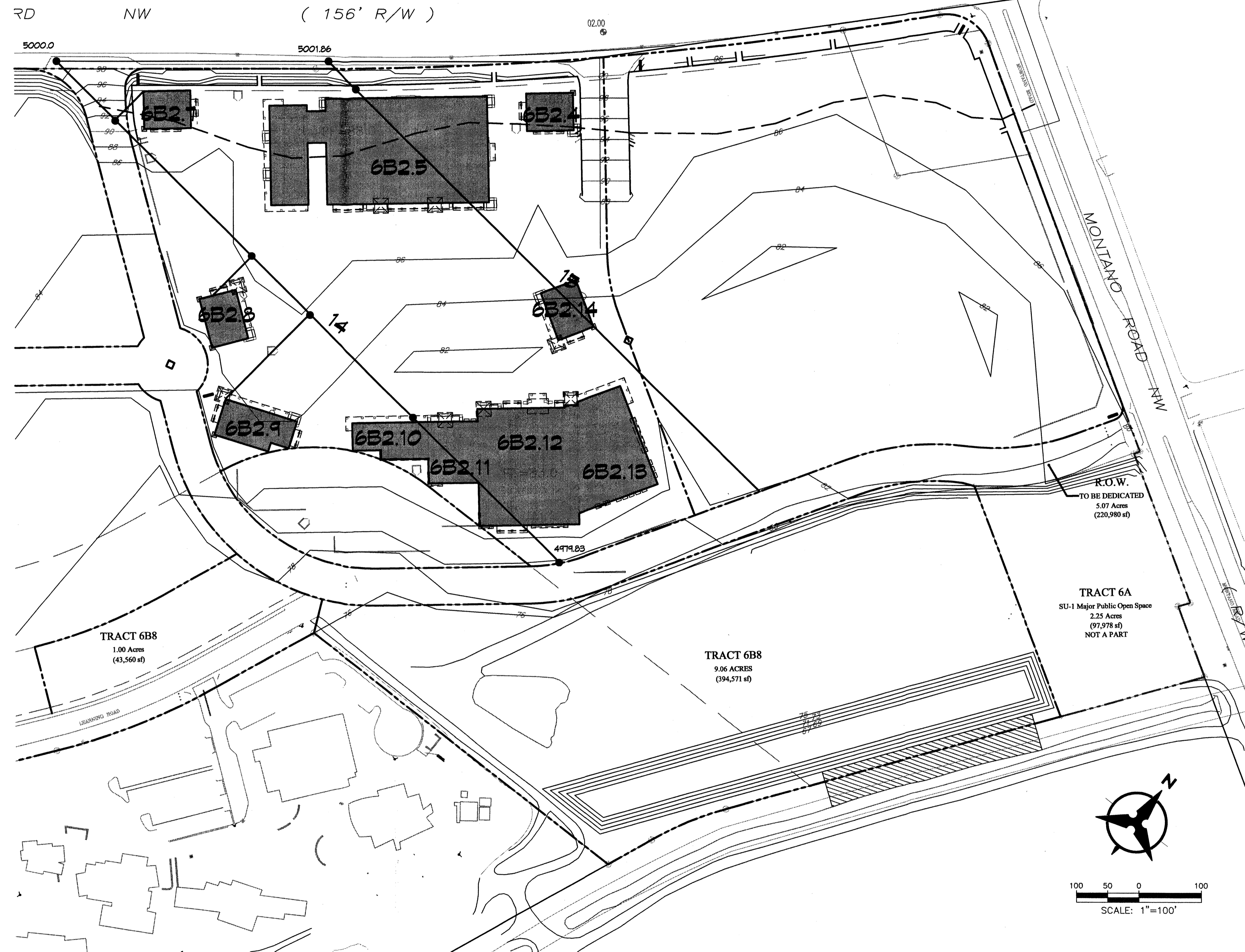
**VIEW CORRIDOR
COMPLIANCE PLAN**



VIEW CORRIDOR SIGHT LINE SECTIONS

1" = 200'-0"

Building Number	Finish Floor	Coors Grade	View Plane	2/3 below view plane	1/3 above view plane	Building Height Limit
6B2.4	4988	5001	5005	17	8.5	25.5
6B2.5	4988	5001	5005	17	8.5	25.5
6B2.6	4988	5001	5005	17	8.5	25.5
6B2.7	4988	5001	5005	17	8.5	25.5
6B2.8	4985	5001	5005	20	10	30
6B2.9	4984	5001	5005	21	10.5	31.5
6B2.14	4984	5001	5005	21	10.5	31.5
6B2.10	4983	5001	5005	22	11	33
6B2.11	4983	5001	5005	22	11	33
6B2.12	4983	5001	5005	22	11	33
6B2.13	4983	5001	5005	22	11	33



VIEW CORRIDOR COMPLIANCE SITE PLAN

1" = 100'-0"

