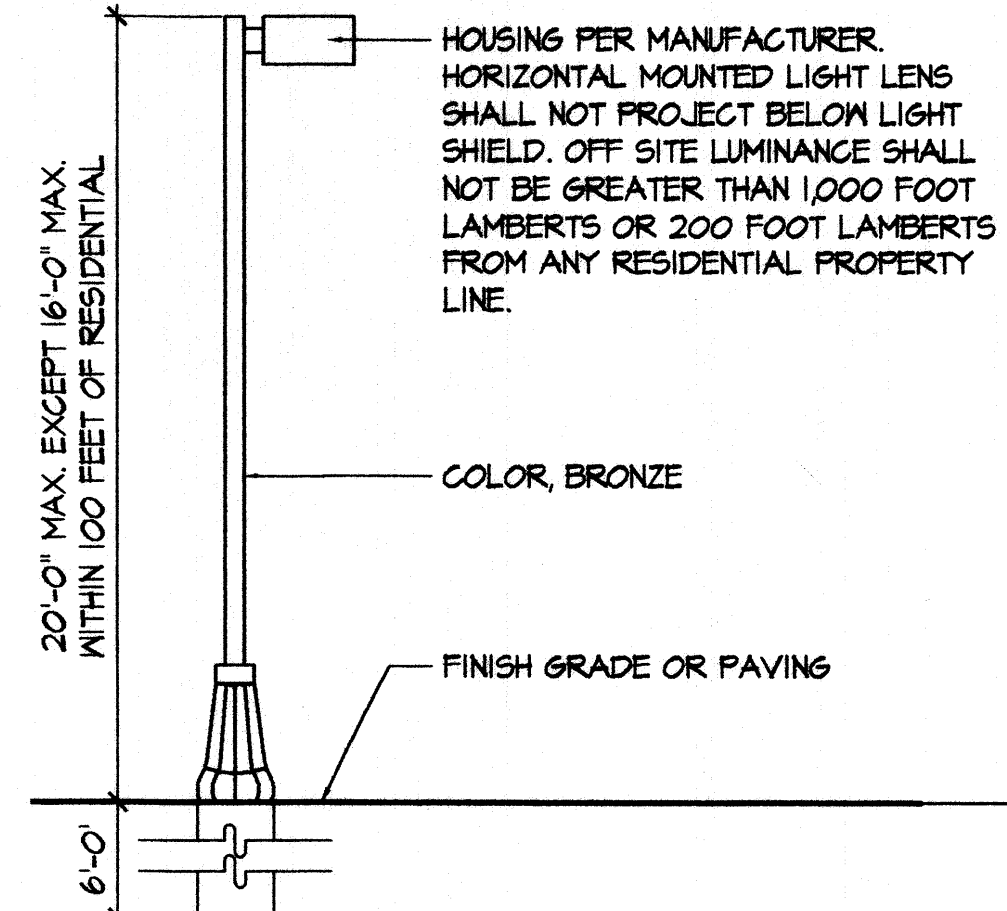
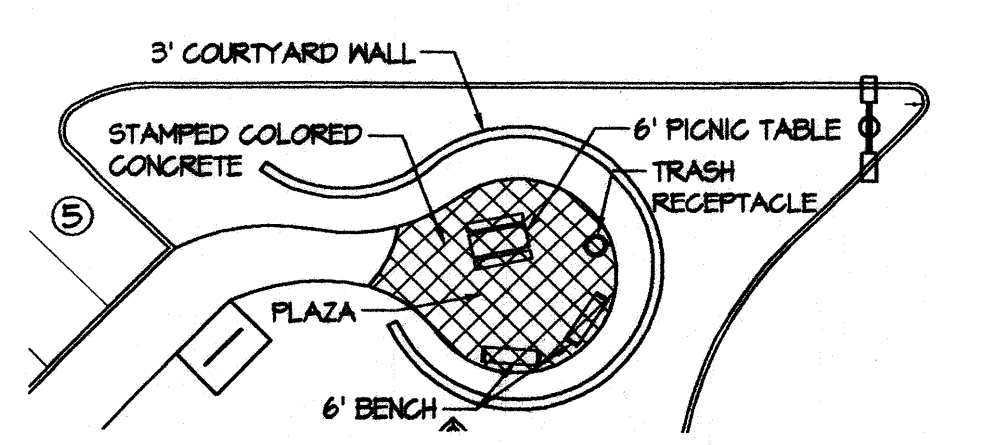


- GENERAL NOTES:**
- SIGNAGE SHALL COMPLY WITH THE APPROVED SITE PLAN FOR SUBDIVISION DESIGN STANDARDS FOR NORTH ANDALUCIA. ONE MONUMENT SIGN IS PROPOSED AT THE CORNER OF THE PROPERTY THAT IS LIMITED TO 30 S.F. SIGN AREA AND A MAXIMUM HEIGHT OF 9 FEET.
 - WALL SIGNS SHALL NOT EXCEED 6% OF FACADE AREA AND THE LETTERING SHALL NOT EXCEED 2 FEET IN HEIGHT.
 - ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF §14-16-9-9, AREA REGULATIONS OF THE CITY COMPREHENSIVE ZONING CODE, THE COORS CORRIDOR PLAN LIGHTING REGULATIONS, AND THE NORTH ANDALUCIA SITE PLAN FOR SUBDIVISION DESIGN STANDARDS.
 - ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
 - THE MECHANICAL SYSTEMS (HEATING AND COOLING) AND BUILDING ENVELOPE (WALLS, ROOF, AND WINDOWS) SHALL BE DESIGNED AND MAINTAINED TO PROMOTE THE EFFICIENT USE OF ENERGY.
 - RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED.
 - ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
 - RECYCLING CARTS SHALL BE PROVIDED IN THE BUILDING AND PICKED UP THROUGH A PRIVATE CONTRACTOR.
 - PNM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT, CONTACT SHALL BE MADE TO PNM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRIC SERVICE CONNECTION.
 - PLACEMENT OF A TYPE C BUS SHELTER PER CITY OF ALBUQUERQUE DESIGN STANDARD #2355 WITHIN A 5' X 20' EASEMENT SHALL BE REQUIRED.

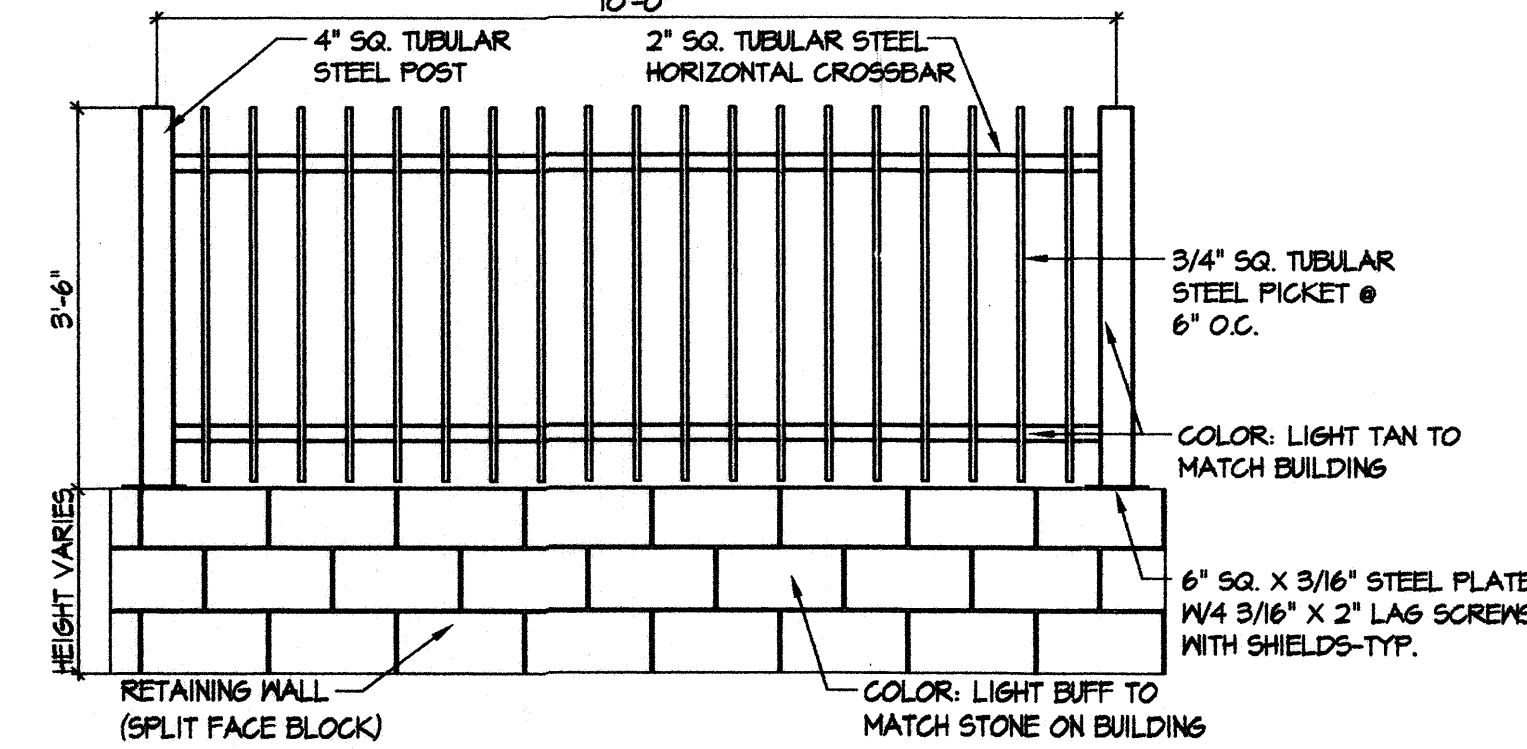
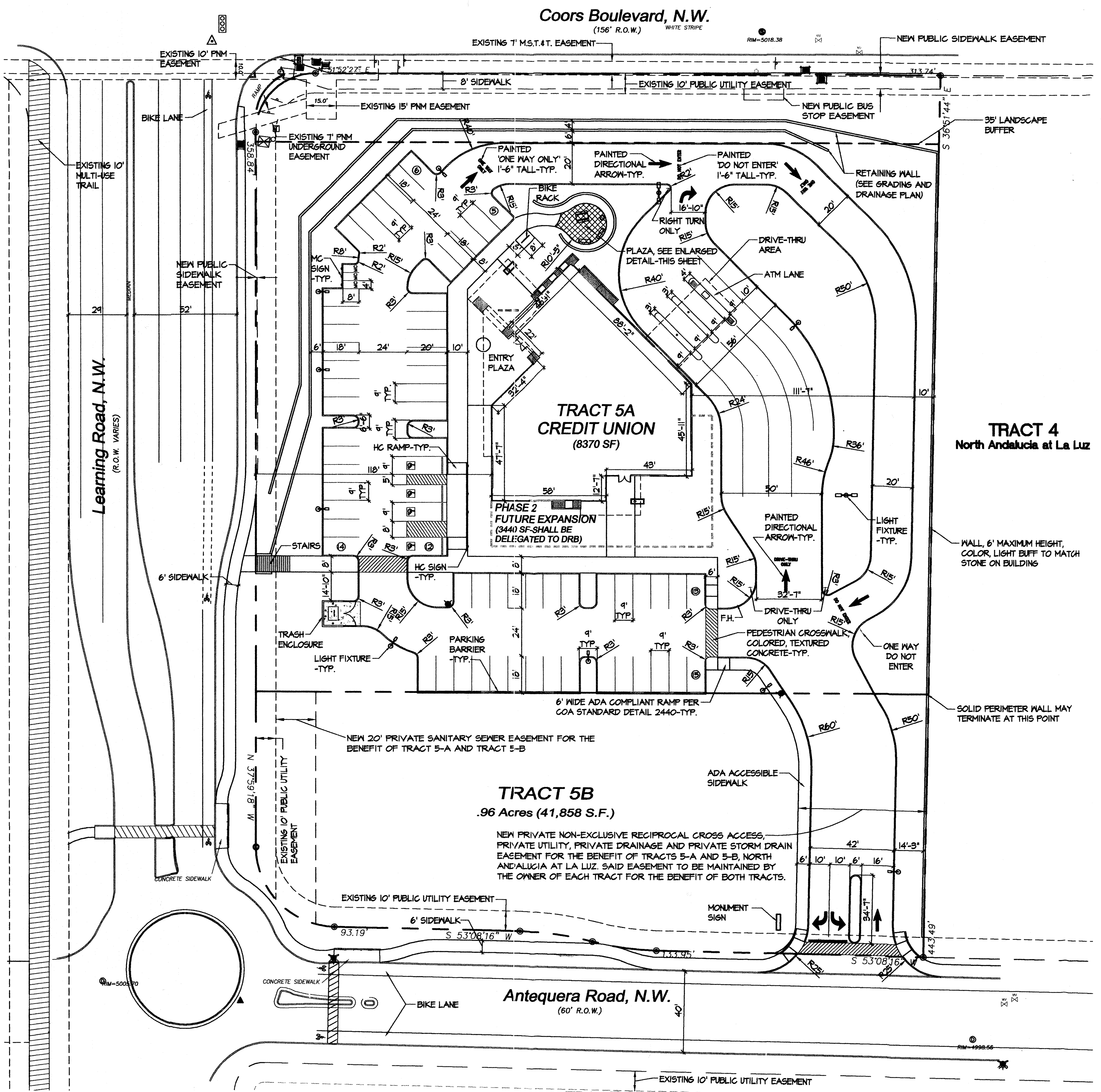


LIGHTING NOTE: NEON LIGHTS ARE PROHIBITED WITHIN 300 FEET OF LEARNING ROAD.

PARKING LOT LIGHT FIXTURE DETAIL
NOT TO SCALE



ENLARGED PLAZA DETAIL (373 SF)
SCALE: 1" = 20'



SAFETY FENCE ON TOP OF RETAINING WALL
SCALE: 1/2" = 1'-0"

C.O.A. BUILD NOTES:
ALL SIDEWALKS, RAMPS (INCLUDING TRUNCATED DOMES), CURB CUTS, AND BUS SHELTER WITHIN CITY RIGHT OF WAY WILL BE BUILT PER C.O.A. STANDARD DRAWINGS. SIDEWALKS (2430), RAMPS (2440), CURB CUTS (2426), BUS SHELTER (2535.02). ALL RAMPS LOCATED WITHIN CITY R.O.W SHALL INCLUDE TRUNCATED DOMES.

SITE DATA:
LEGAL DESCRIPTION: TRACTS 5A AND 5B, PLAT OF NORTH ANDALUCIA AT LA LUZ.
EXISTING ZONING: SU-1 FOR O-1 USES INCLUDING BANK WITH DRIVE-UP SERVICE.
LAND USE: 1-STORY CREDIT UNION WITH DRIVE-IN FACILITIES. PROPOSED TRACT SHALL BE O-1 USES.
BUILDING AREA: 8,370 S.F. (PHASE 1) 3,440 S.F. (FUTURE PHASE 2)
MAXIMUM TOTAL BUILDING HEIGHT: 26 FEET.
SITE AREA: 3.98 ACRES TRACT 5A: 2.42 ACRES. TRACT 5B: 0.96 ACRES.
PARKING: REQUIRED MINIMUM PARKING: 1 PER 200 S.F. = 60. PER SITE PLAN FOR SUBDIVISION: MAXIMUM PARKING IS MINIMUM, PLUS 10% = 66.
TOTAL PROVIDED PARKING: 65
HANDICAPPED REQUIRED: 4
HANDICAPPED PROVIDED: 4
MOTORCYCLE REQUIRED: 3
MOTORCYCLE PROVIDED: 3
BICYCLE REQUIRED: 3
BICYCLE PROVIDED: 3
MINIMUM SETBACKS: PER THE O-1 ZONE.
VEHICULAR ACCESS: VEHICULAR ACCESS TO THIS SITE IS PROVIDED FROM ANTEQUERA ROAD. LEARNING ROAD IS A SIGNALIZED INTERSECTION.
BICYCLE ACCESS: ANDALUCIA HAS A SYSTEM OF BICYCLE LANES AND MULTI-USE TRAILS. BICYCLE LANES ARE IN LEARNING ROAD AND ANTEQUERA ROAD AND MULTI-USE TRAILS ARE ALONG LEARNING ROAD, MONTANO ROAD, AND SOUTH TOWARDS THE SAN ANTONIO ARROYO. A CITY TRAIL HEAD IS LOCATED WITHIN ANDALUCIA AT MONTANO ROAD.
TRANSIT ACCESS: THERE ARE THREE BUS ROUTES ALONG COORS BOULEVARD-ABQ ROUTES 790, 96, AND 155. A RAPID RIDE STOP AND BUS STOP ARE LOCATED ADJACENT TO THIS SITE ALONG COORS BOULEVARD.
INTERNAL CIRCULATION: INTERNAL CIRCULATION AROUND THE PROPOSED BUILDING WILL BE DIRECTED BY TRAFFIC SIGNAGE. PEDESTRIAN CONNECTIONS TO THIS SITE WILL BE PROVIDED FROM LEARNING ROAD AND ANTEQUERA ROAD.
CROSS ACCESS EASEMENT: SHALL BE REQUIRED AT TIME OF PLATTING AT DRB.

PROJECT NUMBER: 1003859
Application Number: 11EPC-40074; 12DRB-70027

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated December 8, 2011 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No. If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>Allen Korta</i>	04-04-12
Traffic Engineering, Transportation Division	Date
<i>Carl S. Dumont</i>	04/04/12
Parks and Recreation Department	Date
<i>[Signature]</i>	4-4-12
City Engineer	Date
<i>[Signature]</i> 681-2766	2-14-12
Solid Waste Management	Date
<i>[Signature]</i>	4-6-12
DRB Chairperson, Planning Department	Date

U.S. NEW MEXICO FEDERAL CREDIT UNION

SITE PLAN FOR BUILDING PERMIT

Prepared for: **U.S. New Mexico FEDERAL CREDIT UNION**

Prepared by: Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

PO Box 129
Albuquerque, NM 87103

NewGround
15450 South Outer Forty Drive
Suite 300
Chesterfield, MO 63017

Bohannon Huston, Inc.
Courtyard 1, 7500 Jefferson NE
Albuquerque, NM 87109-4335

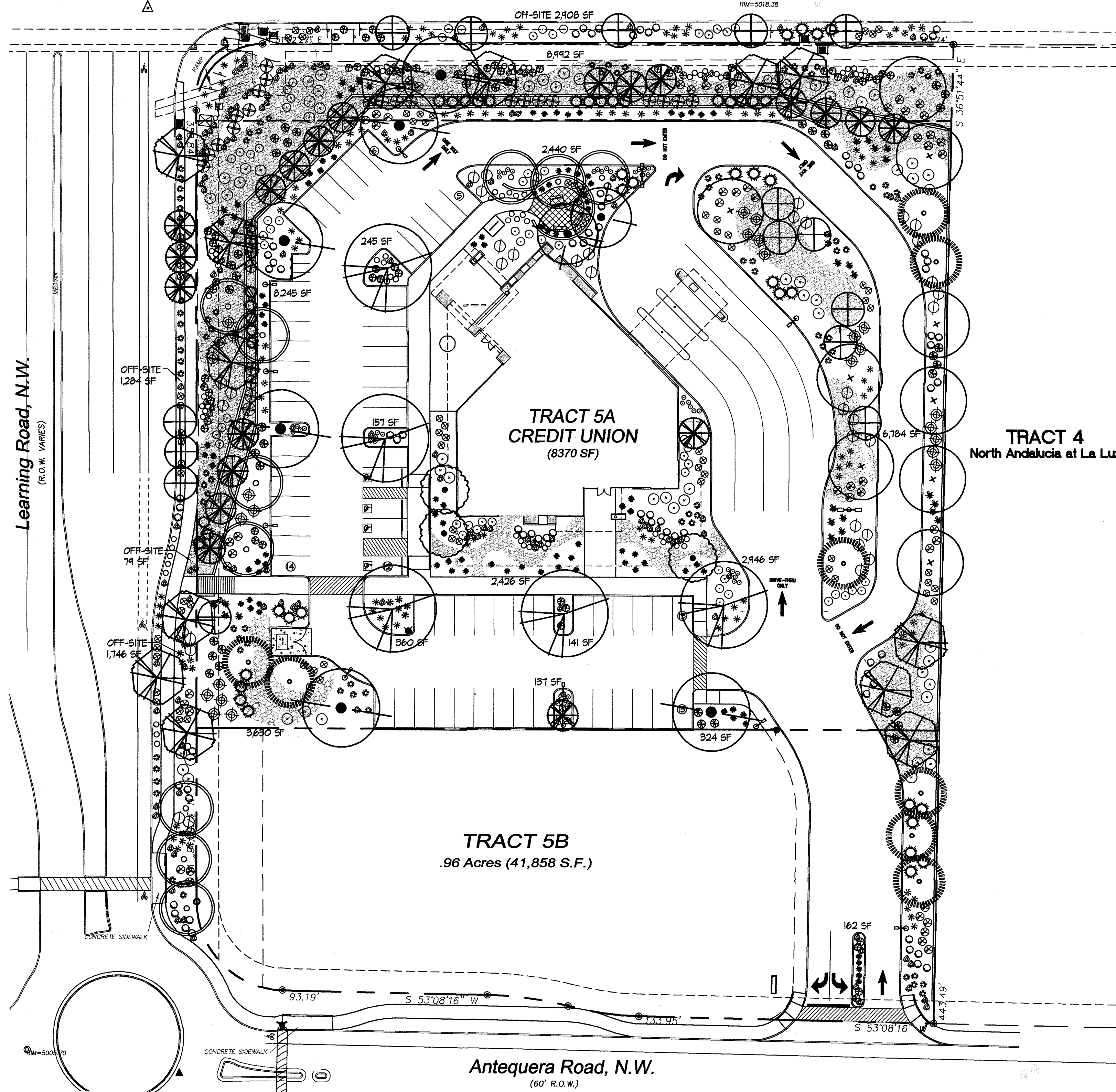
Scale: 1" = 30'

January 25, 2012

Sheet 1 of 7

1003859

Coors Boulevard, N.W.
(156' R.O.W.)



Antequera Road, N.W.
(60' R.O.W.)

GENERAL LANDSCAPE NOTES

LANDSCAPE DESIGN

ALL PLANTING AREAS SHALL BE TOP DRESSED WITH 7/8" SANTA FE BROWN GRAVEL MULCH. BUILDING BROWN 2-4" COBBLE WILL BE USED AS ACCENT MULCH IN LANDSCAPE BEDS.

IRRIGATION SYSTEM

IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB, AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM WILL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE IRRIGATION WILL BE DESIGNED TO CONNECT TO THE EXISTING SYSTEM. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

MAINTENANCE RESPONSIBILITY

MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM, INCLUDING THOSE AREAS WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE OWNER.

WATER CONSERVATION ORDINANCE COMPLIANCE

THE LANDSCAPE PLAN FOR THIS SITE EXCLUDES HIGH WATER USE TURF. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PNM COORDINATION

COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

COORS BOULEVARD STREET TREES

THE LANDSCAPE PLAN MEETS THE COORS CORRIDOR PLAN POLICY AND DESIGN REGULATIONS FOR VIEW PRESERVATION. THE HEIGHT OF LANDSCAPING NEAR THE EAST EDGE OF COORS BOULEVARD HAS BEEN SELECTED SO THAT SHRUBS AT MATURITY ARE BELOW THE VIEW PLANE AND TREES SUCH THAT THEIR LOWER BRANCHES AT THE TIME OF PLANTING ARE A MINIMUM OF 4 FEET ABOVE THE VIEW PLANE. TREES HAVE BEEN PLACED SINGULARLY OR IN SMALL GROUPINGS WITH ATTENTION PAID TO ENHANCING VIEWS TO THE SANDIAS AND THE BOSQUE. STREET TREES ARE WITHIN 20' OF THE COORS RIGHT-OF-WAY IN ORDER TO MINIMIZE CONFLICTS WITH PNM EASEMENTS AND INCREASE PUBLIC SAFETY. STREET TREES ARE PLACED WITHIN 20' OF THE COORS RIGHT-OF-WAY IN ORDER TO MINIMIZE CONFLICTS WITH PNM EASEMENTS AND TO INCREASE PUBLIC SAFETY.

LANDSCAPE COVERAGE

PLANTING BEDS SHALL HAVE 75% LIVING GROUND COVER AT FULL MATURITY.

LANDSCAPE CALCULATIONS

SITE AREA (2.4 AC) 104,544 SF
BUILDING FOOTPRINT: - 8,270 SF
NET LOT AREA: 96,174 SF

IMPERVIOUS AREA: 51,105 SF
REQUIRED LANDSCAPE (15%): 14,426 SF

PROVIDED LANDSCAPE OFF-SITE/ROW: 6,017 SF
ON SITE: + 36,184 SF
TOTAL PROVIDED: 42,201 SF

PROVIDED ON-SITE LANDSCAPE: 36,184 SF
LESS USEABLE UNPLANTED COBBLE AREAS: - 7,131 SF
TOTAL PROVIDED LANDSCAPE BEDS: 29,053 SF

REQUIRED LIVE VEGETATIVE COVER (15%): 21,218 SF
PROVIDED LIVE VEGETATIVE COVER: 24,830 SF

PARKING LOT TREES

CREDIT UNION IS PROVIDING 65 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

PARKING LOT TREES REQUIRED: 7
PARKING LOT TREES PROVIDED: 15

STREET TREES

COORS BOULEVARD FRONTAGE IS 930'. STREET TREE REQUIREMENTS ARE BASED ON A RATE OF ONE TREE PER 25 LINEAR FEET, PER THE SITE PLAN FOR SUBDIVISION.

STREET TREES REQUIRED: 14
STREET TREES PROVIDED: 14

PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	INSTALLED SIZE	MATURE SIZE	WATER USE
13	⊗	CHILOPSIS LINEARIS 'BUBBA'	DESERT WILLOW	24" BOX	8' HT. X 6' SPR.	20' HT. X 25' SPR.	LOW +
15	⊕	FORESTIERA NEOMEXICANA	NEW MEXICO OLIVE	15 GAL.	8' HT. X 5' SPR.	15' HT. X 15' SPR.	LOW +
4	⊙	FRAXINUS AMER. 'AUTUMN PURPLE'	AUTUMN PURPLE	25" B4B	14' HT. X 6' SPR.	35' HT. X 30' SPR.	MEDIUM +
6	⊙	FRAXINUS VELUTINA 'MODESTO'	MODESTO ASH	25" B4B	14' HT. X 6' SPR.	40' HT. X 35' SPR.	MEDIUM +
10	⊙	KOELREUTERIA PANICULATA	GOLDEN RAIN TREE	25" B4B	12' HT. X 5' SPR.	35' HT. X 25' SPR.	MEDIUM
8	⊙	PINUS NIGRA	AFGHAN PINE	B4B	8' MIN HT.	20' HT. X 30' SPR.	MEDIUM
5	⊙	PISTACHIA CHINENSIS	CHINESE PISTACHE	3" B4B	14' HT. X 6' SPR.	40' HT. X 40' SPR.	MEDIUM
3	⊙	PYRUS CALLERYANA 'CLEVELAND'	FLOWERING PEAR	2" B4B	14' HT. X 5' SPR.	25' HT. X 20' SPR.	MEDIUM +
3	⊙	ROBINIA AMBIGUA 'PURPLE ROBE'	PURPLE ROBE LOCUST	2" B4B	16' HT. X 6' SPR.	30' HT. X 30' SPR.	MEDIUM
20	⊙	VITEX AGNUS-CASTUS	CHASTE TREE	15 GAL.	8' HT. X 5' SPR.	15' HT. X 15' SPR.	MEDIUM

SHRUBS/GROUNDCOVERS

50	⊙	CARYOPTERIS CLANDONENSIS	BLUE MIST	5-GAL.	3' O.C.	3' HT. X 3' SPR.	MEDIUM
56	⊙	BUDDLEIA DAVIDII 'MANHOENIGS'	DIARF BUTTERFLY BUSH	5-GAL.	5' O.C.	5' HT. X 5' SPR.	MEDIUM
41	⊙	CYTISUS SCOP. 'LENA'S BROOM'	LENA'S BROOM	1-GAL.	4' O.C.	4' HT. X 4' SPR.	LOW
42	⊙	ERICAMERIA LARICIFOLIA 'AGUIRRE'	TURPENTINE BUSH	1-GAL.	2' O.C.	3' HT. X 3' SPR.	LOW
51	⊙	FALLUGIA PARADOXA	APACHE PLUME	1-GAL.	4' O.C.	4' HT. X 4' SPR.	LOW
34	⊙	HESPERALOE PARVIFLORA	RED YUCCA	1-GAL.	3' O.C.	3' HT. X 3' SPR.	MEDIUM
31	⊙	COWANIA CLANDONENSIS	CLIFF ROSE	5-GAL.	4' O.C.	6' HT. X 4' SPR.	LOW
75	⊙	LAVENDULA ANGSTIFOLIA	ENGLISH LAVENDER	1-GAL.	3' O.C.	3' HT. X 3' SPR.	MEDIUM
37	⊙	PRUNUS BESSYI	WESTERN SAND CHERRY	5-GAL.	5' O.C.	5' HT. X 5' SPR.	MEDIUM
26	⊙	PSORTHAMNUS SCOPARIUS	BROOM DALEA	5-GAL.	5' O.C.	5' HT. X 5' SPR.	LOW
70	⊙	POTENTILLA FRUTICOSA	SHRUBBY GINGUEFOIL	1-GAL.	3' O.C.	3' HT. X 3' SPR.	LOW +
65	⊙	RHUS TRILOBATA	THREE-LEAF SUMAC	5-GAL.	4' O.C.	4' HT. X 4' SPR.	LOW +
44	⊙	ROSMARINUS OFFICINALIS	CREeping ROSEMARY	5-GAL.	5' O.C.	3' HT. X 5' SPR.	MEDIUM
74	⊙	SALVIA GREGGII	CHERRY SAGE	1-GAL.	3' O.C.	3' HT. X 3' SPR.	MEDIUM

ORNAMENTAL GRASSES

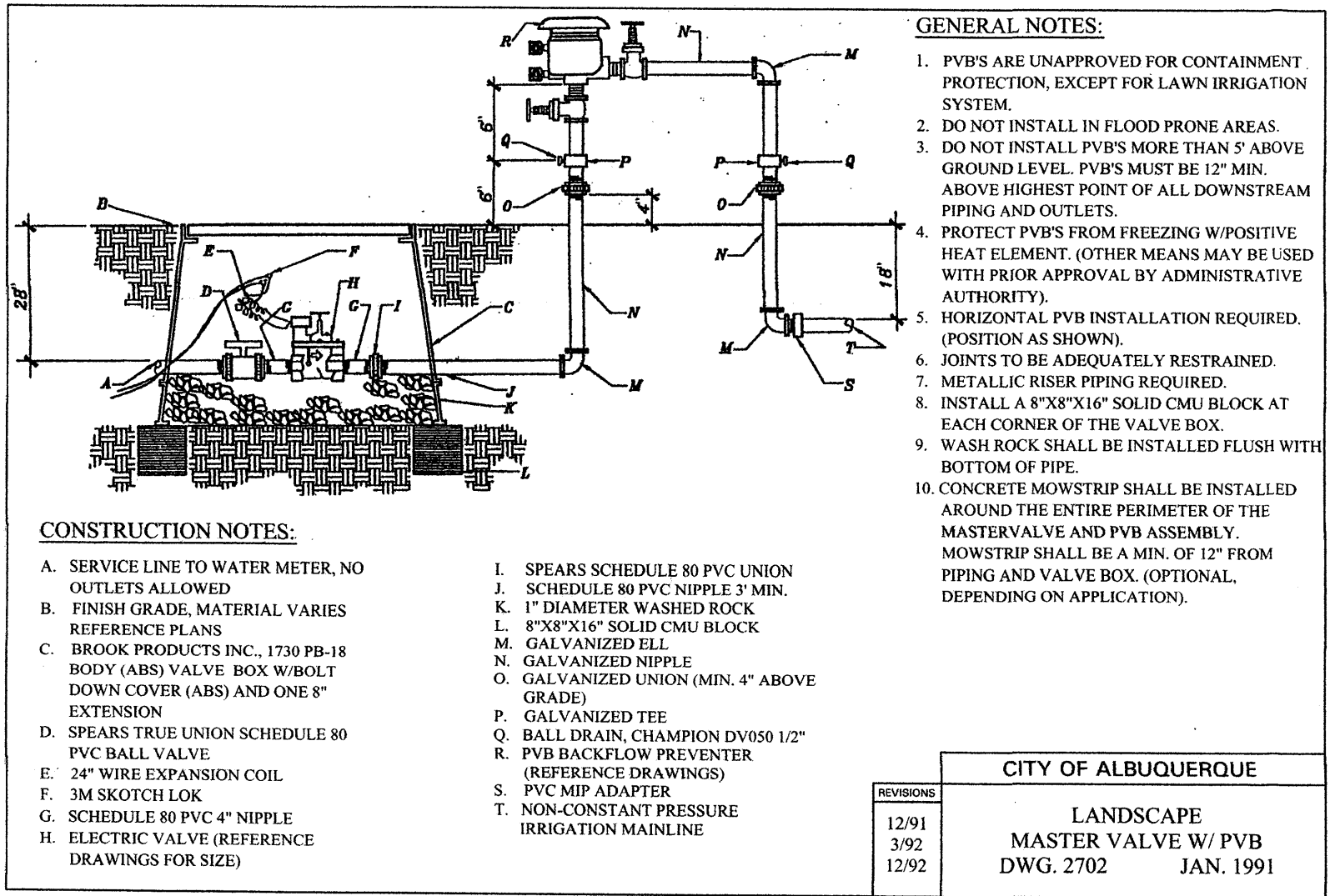
84	⊙	CALAMAGROSTIS 'KARL FOERSTER'	FEATHER REED GRASS	5-GAL.	3' O.C.	3' HT. X 3' SPR.	LOW +
88	⊙	ARISTIDA LONGISETA	PURPLE THREEAWN	5-GAL.	3' O.C.	3' HT. X 3' SPR.	MEDIUM
74	⊙	NASSELLA TENUISSIMA	THREADGRASS	1-GAL.	3' O.C.	3' HT. X 3' SPR.	LOW +

VINES

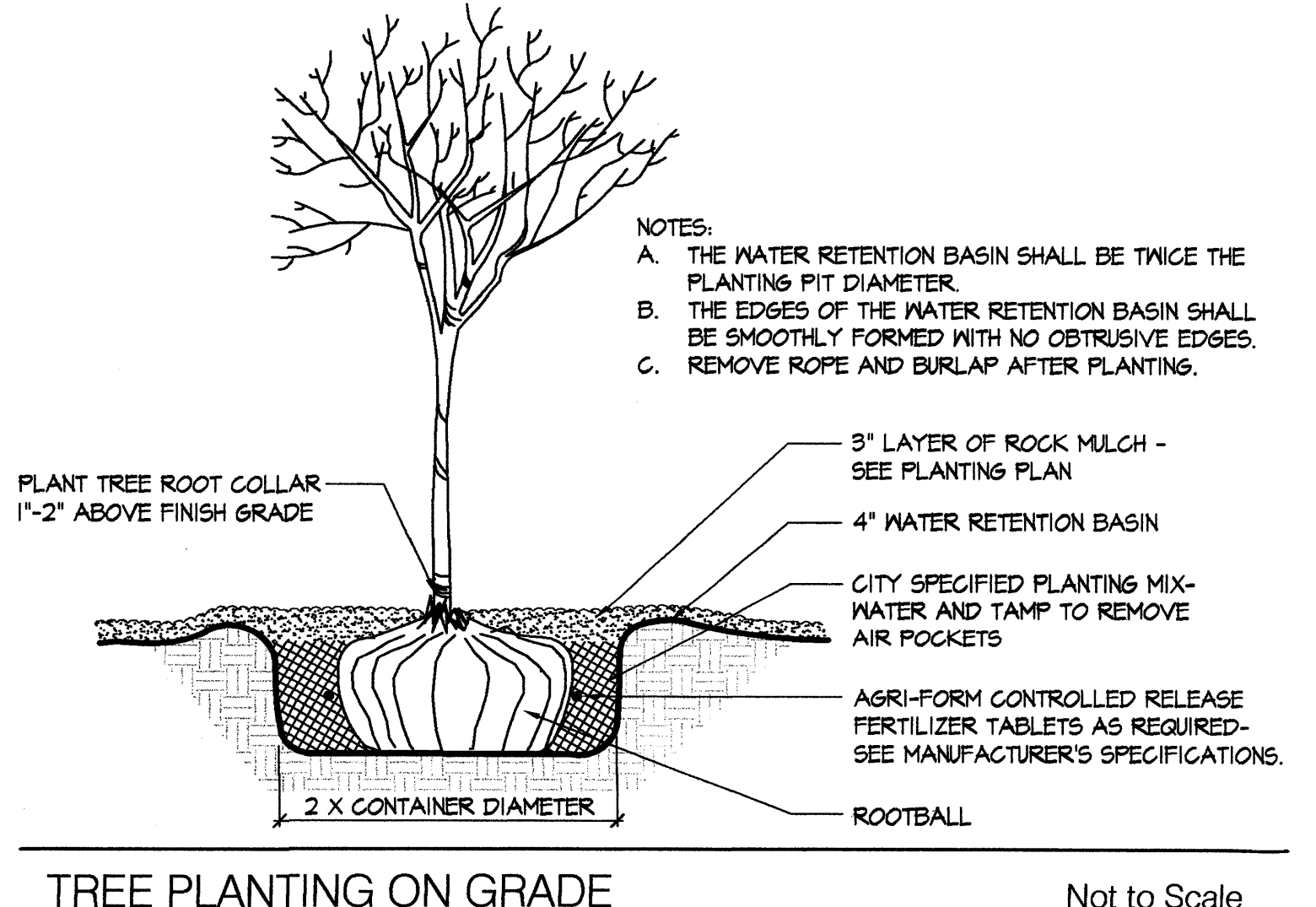
21	⊕	LONICERA JAPONICA	HALL'S HONEYSUCKLE	5-GAL.	CLIMBING	12' SPR.	MEDIUM
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GRAVEL MULCHES/ACCENT BOULDERS

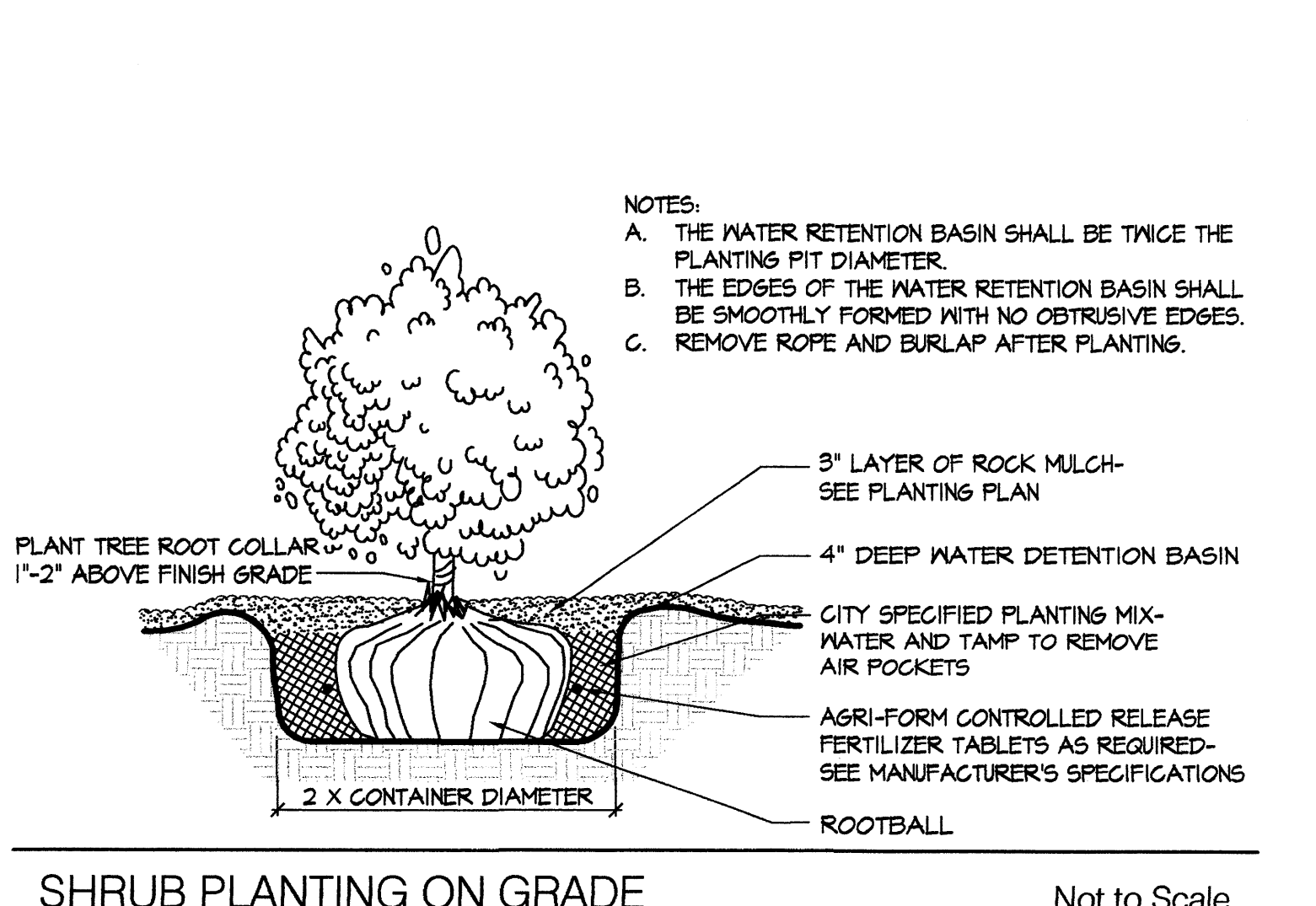
- 16,842 SF: 2"-4" BUILDING BROWN COBBLE MULCH (6" DEPTH OVER DENITT PRO-5 WEED CONTROL FABRIC)
- 26,164 SF: 3" SANTA FE BROWN GRAVEL MULCH (3" DEPTH OVER DENITT PRO-5 WEED CONTROL FABRIC)
- 135: MOSS ROCK BOULDERS (3'X3' MINIMUM)



- GENERAL NOTES:**
- PVB'S ARE UNAPPROVED FOR CONTAINMENT PROTECTION, EXCEPT FOR LAWN IRRIGATION SYSTEM.
 - DO NOT INSTALL IN FLOOD PRONE AREAS.
 - DO NOT INSTALL PVB'S MORE THAN 3' ABOVE GROUND LEVEL. PVB'S MUST BE 12" MIN. ABOVE HIGHEST POINT OF ALL DOWNSTREAM PIPING AND OUTLETS.
 - PROTECT PVB'S FROM FREEZING W/ POSITIVE HEAT ELEMENT. (OTHER MEANS MAY BE USED WITH PRIOR APPROVAL BY ADMINISTRATIVE AUTHORITY).
 - HORIZONTAL PVB INSTALLATION REQUIRED. (POSITION AS SHOWN).
 - JOINTS TO BE ADEQUATELY RESTRAINED.
 - METALLIC RISER PIPING REQUIRED.
 - INSTALL A 6"X8"X16" SOLID CMU BLOCK AT EACH CORNER OF THE VALVE BOX.
 - WASH ROCK SHALL BE INSTALLED FLUSH WITH BOTTOM OF PIPE.
 - CONCRETE MOWSTRIP SHALL BE INSTALLED AROUND THE ENTIRE PERIMETER OF THE MASTERVAlVE AND PVB ASSEMBLY. MOWSTRIP SHALL BE A MIN. OF 12" FROM PIPING AND VALVE BOX. (OPTIONAL, DEPENDING ON APPLICATION).
- CONSTRUCTION NOTES:**
- SERVICE LINE TO WATER METER, NO OUTLETS ALLOWED
 - FINISH GRADE, MATERIAL VARIES
 - BROOK PRODUCTS INC., 1730 FB-18 BODY (ABS) VALVE BOX W/BOLT DOWN COVER (ABS) AND ONE 8" EXTENSION
 - SPEARS TRUE UNION SCHEDULE 80 PVC BALL VALVE
 - 24" WIRE EXPANSION COIL
 - 3M SKOTCH LOK
 - SCHEDULE 80 PVC 4" NIPPLE
 - ELECTRIC VALVE (REFERENCE DRAWINGS FOR SIZE)
 - SPEARS SCHEDULE 80 PVC UNION
 - SCHEDULE 80 PVC NIPPLE 3' MIN.
 - 1" DIAMETER WASHED ROCK
 - 6"X6" SOLID CMU BLOCK
 - GALVANIZED ELL
 - GALVANIZED NIPPLE
 - GALVANIZED UNION (MIN. 4" ABOVE GRADE)
 - GALVANIZED TEE
 - BALL DRAIN, CHAMPION DV50 1/2"
 - PVB BACKFLOW PREVENTER (REFERENCE DRAWINGS)
 - PVC MIP ADAPTER
 - NON-CONSTANT PRESSURE IRRIGATION MAINLINE
- CITY OF ALBUQUERQUE**
LANDSCAPE MASTER VALVE W/ PVB DWG. 2702 JAN. 1991



TREE PLANTING ON GRADE Not to Scale



SHRUB PLANTING ON GRADE Not to Scale

U.S. NEW MEXICO FEDERAL CREDIT UNION
LANDSCAPE PLAN

Prepared for: **U.S. New Mexico FEDERAL CREDIT UNION**
PO Box 129
Albuquerque, NM 87103

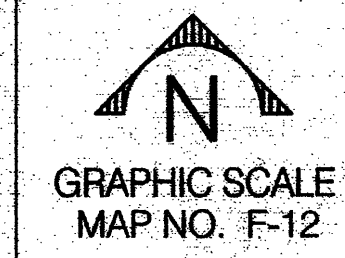
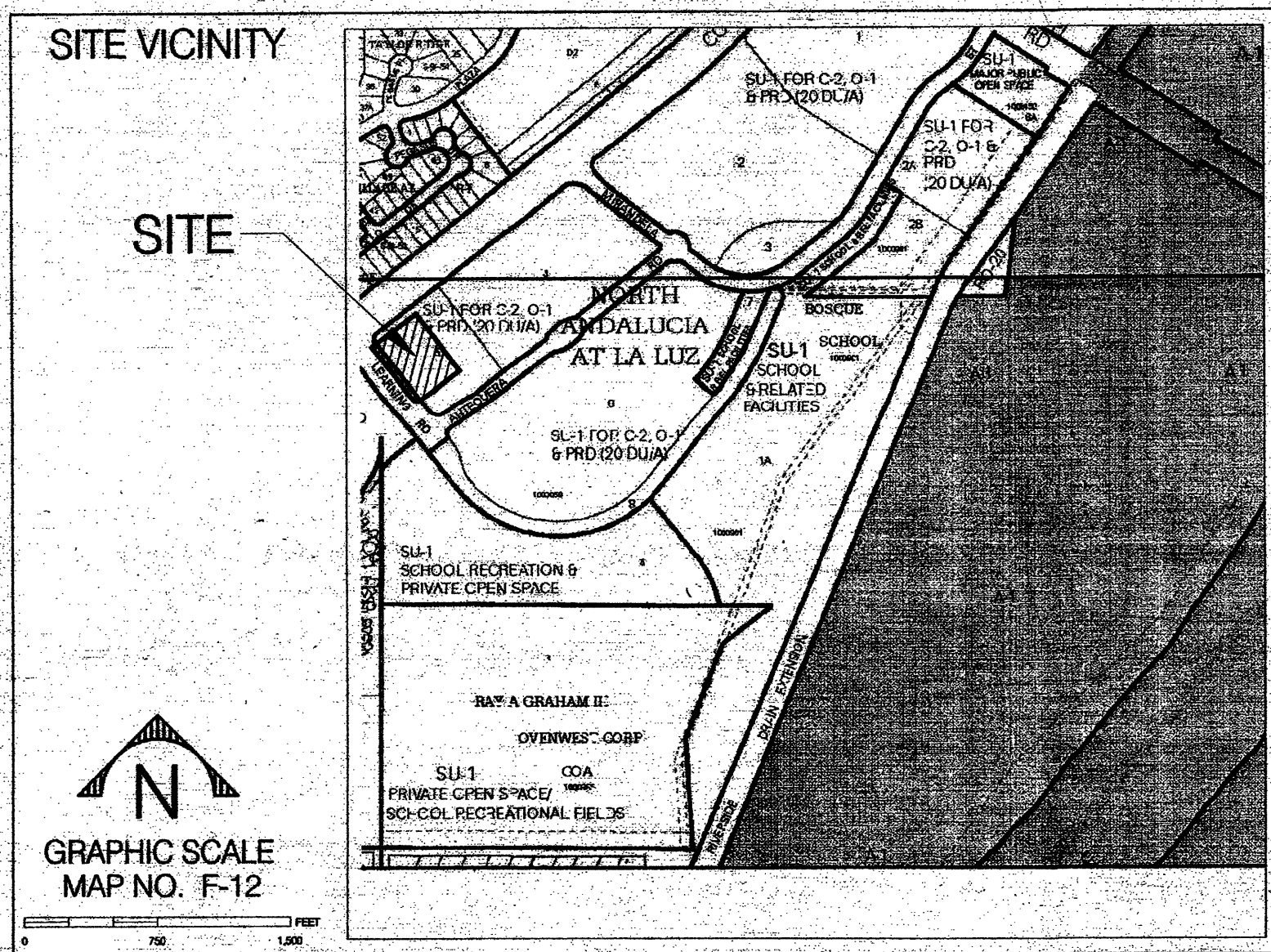
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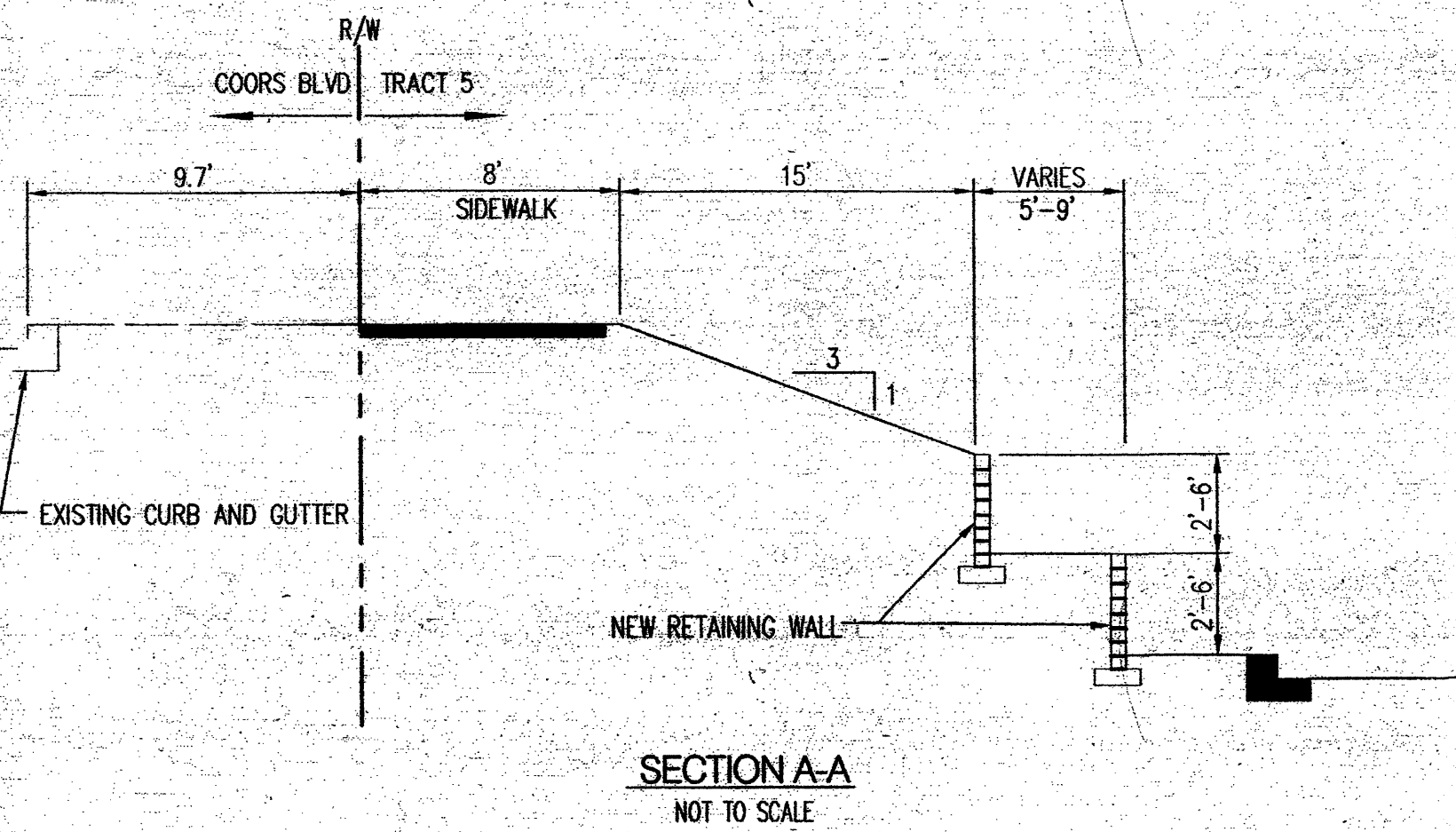
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15 0 30 60 NORTH

January 25, 2012
Sheet 2 of 7

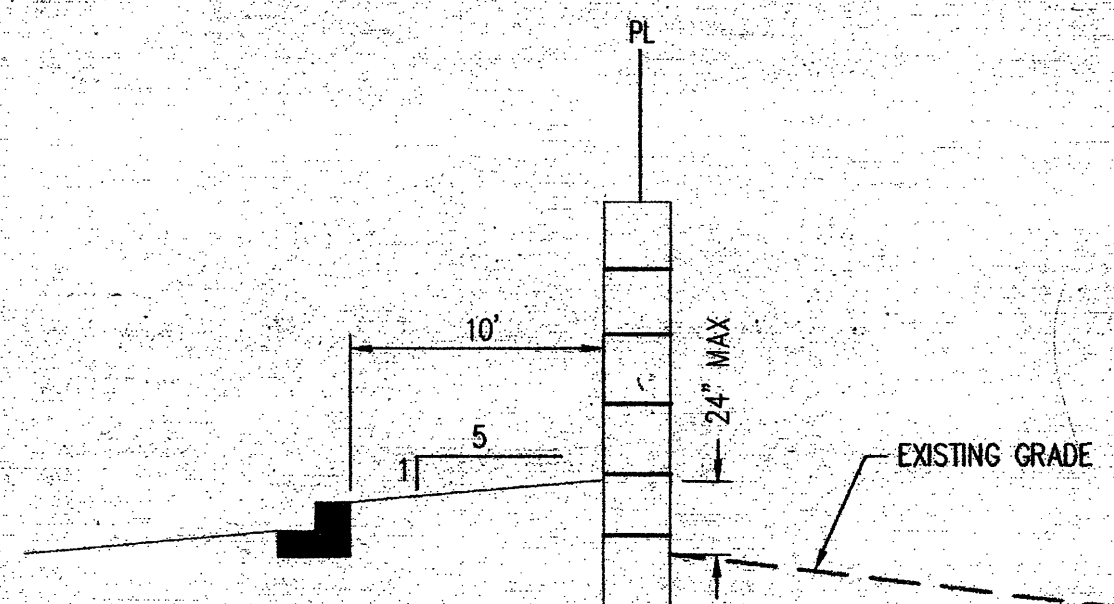


LEGEND

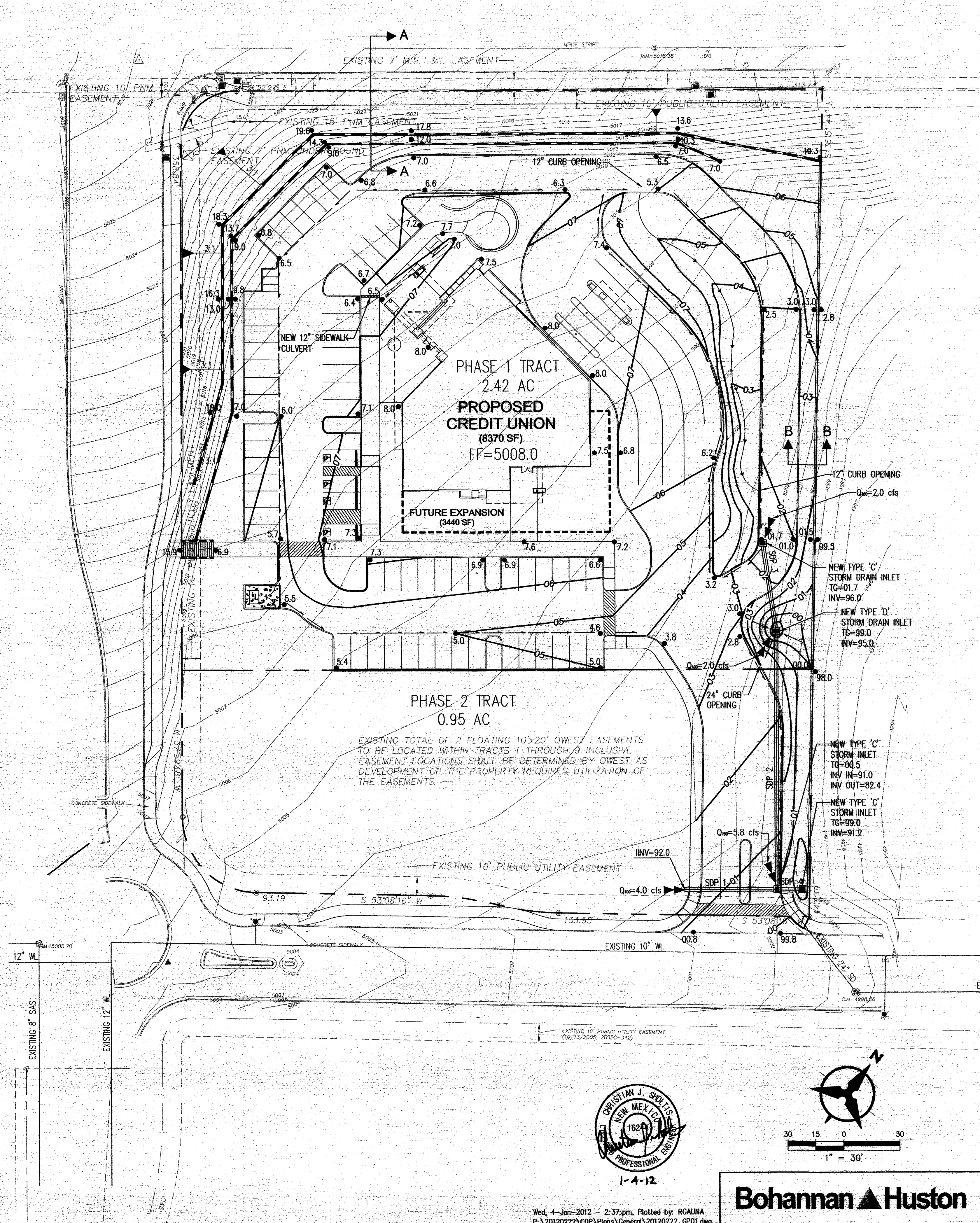
- (91.62) FUTURE SPOT ELEVATION
- 91.62 PROPOSED SPOT ELEVATION
- × 92.46 EXISTING SPOT ELEVATION (GRID & TC)
- EXISTING CURB & GUTTER
- PROPOSED MOUNTABLE CURB & GUTTER
- PROPOSED STANDARD CURB & GUTTER
- 54.70 EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- PROPOSED RETAINING WALL
- PROPOSED SLOPE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- ← WALL DRAIN PER DETAIL SHEET 2
- ~ HIGH POINT



SECTION A-A
NOT TO SCALE



SECTION B-B
NOT TO SCALE



CONCEPTUAL DRAINAGE MANAGEMENT PLAN AND SUMMARY CALCULATIONS

I. INTRODUCTION
The purpose of this submittal is to provide a conceptual Drainage Management Plan for the development of Tract 5, North Andaluca at La Luz. This plan is submitted in support of a site plan for building permit and site plan for subdivision approvals.

II. SITE LOCATION
The site is located at the corner of Coors Blvd. and Learning Road in NW Albuquerque and is bounded by Coors Blvd. on the west, Learning Road on the south, and Antequera Road on the east. The site is located within Hydrologic Zone 1 and is shown on Zone Map F-12.

III. EXISTING HYDROLOGIC CONDITIONS
The site is currently undeveloped, but has been mass graded as a relatively flat pad site. The adjoining Coors Blvd., Learning Road, and Antequera Road are fully constructed streets. In the existing condition, the site sheet flows toward the east and flows are accepted and conveyed by Antequera Road as surface flows to a storm drain system which outfalls to an existing retention pond located just west of the Lower Corrales Riverside Drain.

IV. PROPOSED HYDROLOGIC CONDITIONS
The project site will be developed in two phases: the current proposed phase, and a future development phase which will take place on the remaining southern tract adjacent to Antequera Road. The hydrologic calculations presented herein account for the proposed first phase development and also assume a 90% impervious area for the remaining future tract. As per the Conceptual Grading and Drainage Plan for Andaluca Tract 6B, prepared by Bohannon Huston, Inc., dated 1-11-05, an allowable discharge of 4.18 cfs/acre is permitted from commercial tracts, and this previously prepared plan demonstrates downstream hydraulic capacity. Flows from this project are designed to be accepted by an existing 24" public storm drain and stub to the property located Antequera Drive at the eastern corner of the site which is sized to accept 14.4 cfs from the project site. As demonstrated by the calculations shown herein, the site will generate 13.9 cfs (4.10 cfs/acre) in the ultimate build-out condition. Flows generated by the site will be directed toward the east as surface flows and captured by storm inlets and an underground storm drain system near the paved access into the site which will discharge into the existing Antequera storm drain system and then eventually outfall into the existing retention pond located west of the Lower Corrales Riverside Drain. In the proposed condition, water harvesting within the project site will occur within several of the landscaped areas as feasible.

V. CONCLUSION
This Conceptual Drainage Management Plan provides for grading and drainage elements which are capable of conveying the 100-year storm which meet the City's requirements. Additionally, the project conforms to the previously prepared Drainage Management Plan for the site with storm water peak discharges at or below what was allowed by that plan.

VI. SITE BASIN SUMMARY CALCULATIONS
Site Data
Hydrologic Zone 1
AT= 3.37 ac

Existing Condition
%C = 100%
V100 = 0.2789 ac-ft
Q100 = 9.7 cfs (2.87 cfs/acre)

DEVELOPED SITE BASIN SUMMARY CALCULATIONS						
AREA (ac)	LAND TREATMENTS		cfs/acre	Q ₁₀₀ (cfs)	V ₁₀₀ (ac-ft)	
	%C	%D				
PHASE 1 TRACT	2.42	21%	79%	4.06	9.8	0.3558
PHASE 2 TRACT	0.95	10%	90%	4.22	4.0	0.1482
TOTAL	3.37			4.10	13.8	0.5040

STORM DRAIN PIPE CAPACITY SUMMARY USING MANNING'S EQN						
PIPE	SIZE	SLOPE	Manning		V (fps)	Depth (ft)
			n'	Q ₁₀₀ (cfs)		
SDP1	12	2%	0.012	4.0	7.6	0.63
SDP2	12	3%	0.012	4.0	8.9	0.56
SDP3	12	2%	0.012	2.0	6.4	0.42
SDP4	12	2%	0.012	0.1	2.7	0.10

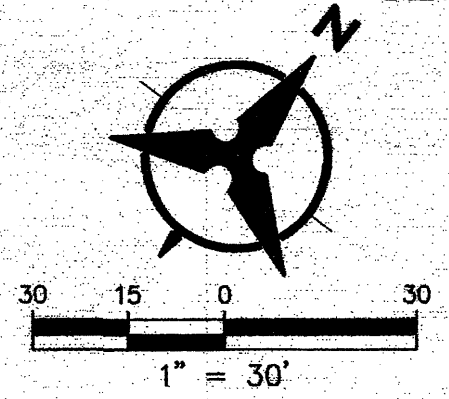
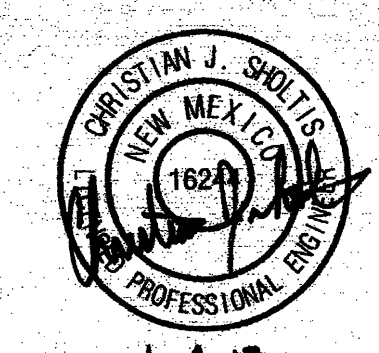
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CONCEPTUAL GRADING AND DRAINAGE PLAN

Prepared for:

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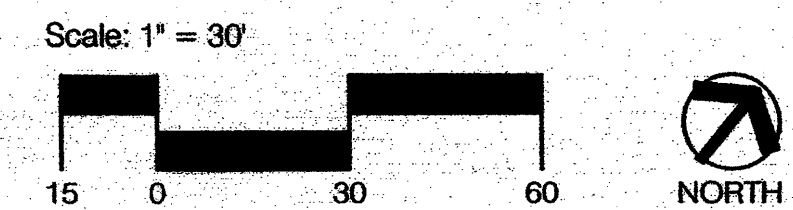
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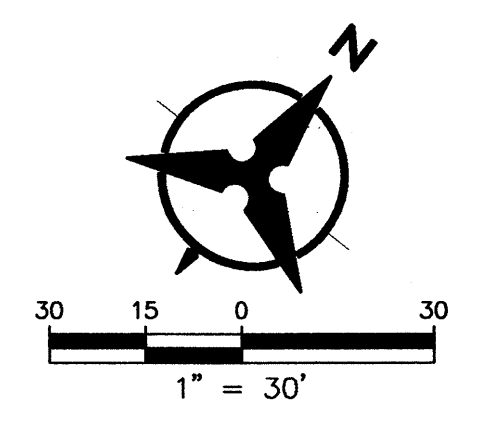
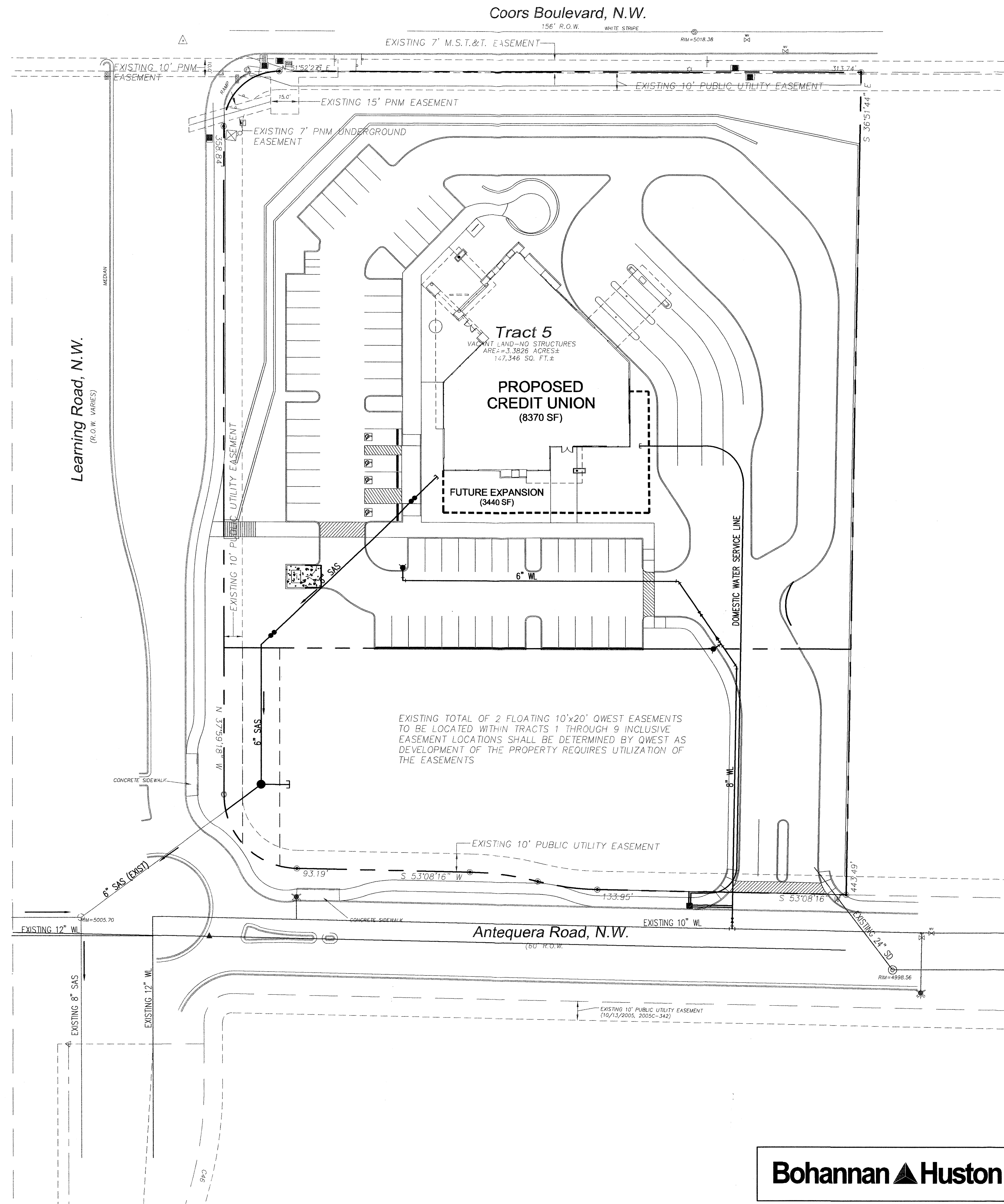


Bohannon & Huston

Wed, 4-Jan-2012 - 2:37:pm, Plotted by: RGAUNA
P:\20120222\CDP\Plans\General\20120222_CDF01.dwg



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LEGEND

---	PROPERTY LINE
- - -	NEW EASEMENT
SAS	EXISTING SANITARY SEWER
W	EXISTING WATER LINE
- - -	EXISTING STORM DRAIN
■	EXISTING WATER METER
□	EXISTING CAP
⊗	EXISTING VALVE
⊙	EXISTING FIRE HYDRANT
⊙	EXISTING SANITARY SEWER MANHOLE
⊙	EXISTING STORM DRAIN
SAS	PROPOSED SANITARY SEWER
W	PROPOSED WATER LINE
⊗	PROPOSED VALVE
●	PROPOSED HYDRANT
□	PROPOSED CAP
■	PROPOSED WATER METER
●	PROPOSED SANITARY SEWER MANHOLE
⊙	PROPOSED STORM DRAIN

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CONCEPTUAL UTILITY PLAN

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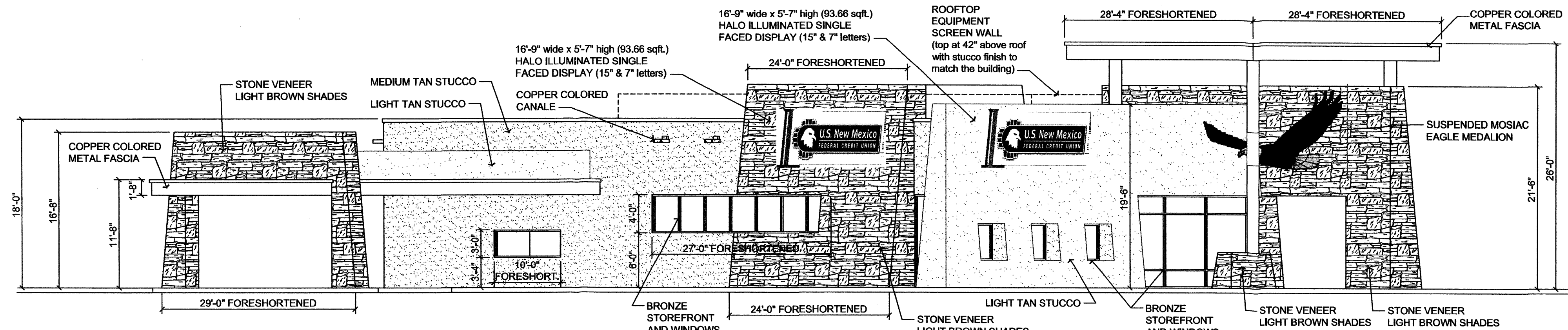
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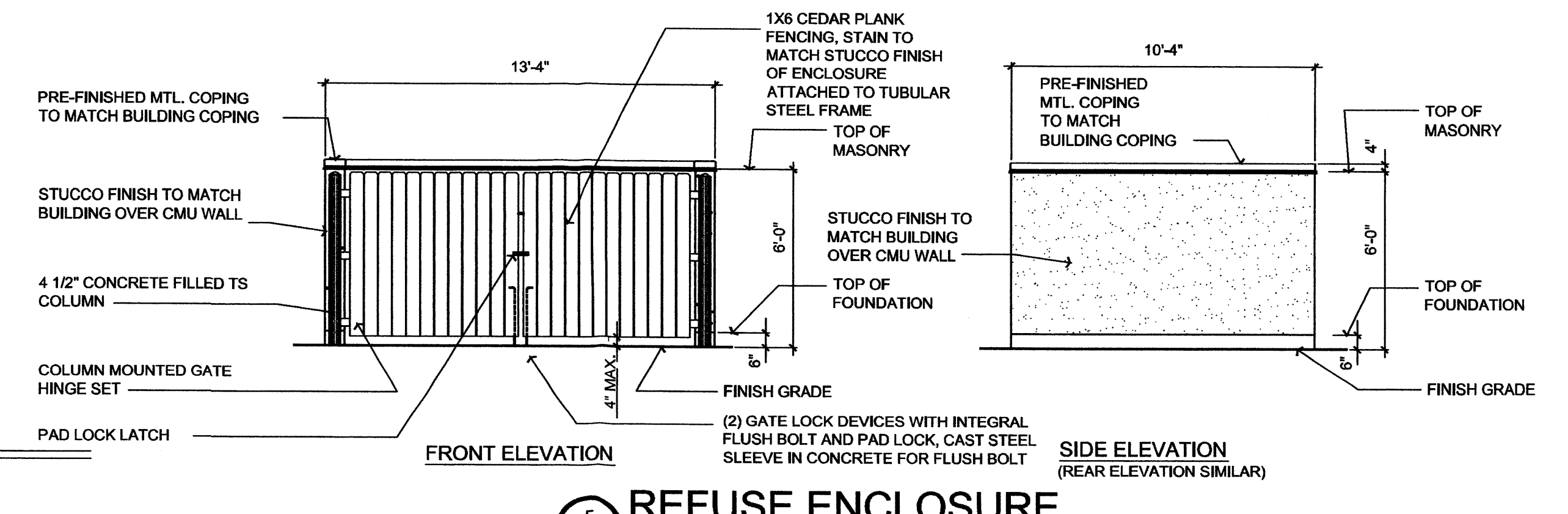
Scale: 1" = 30'



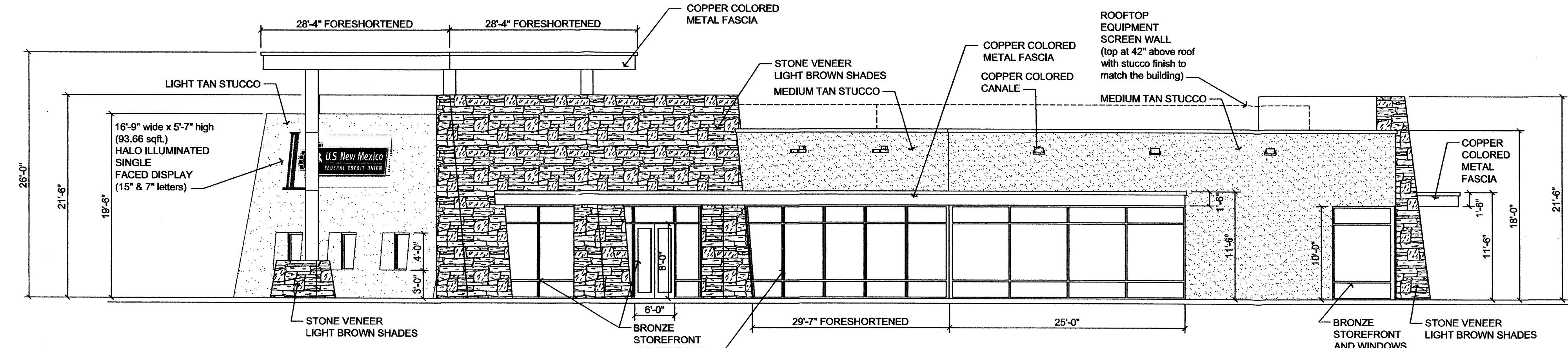
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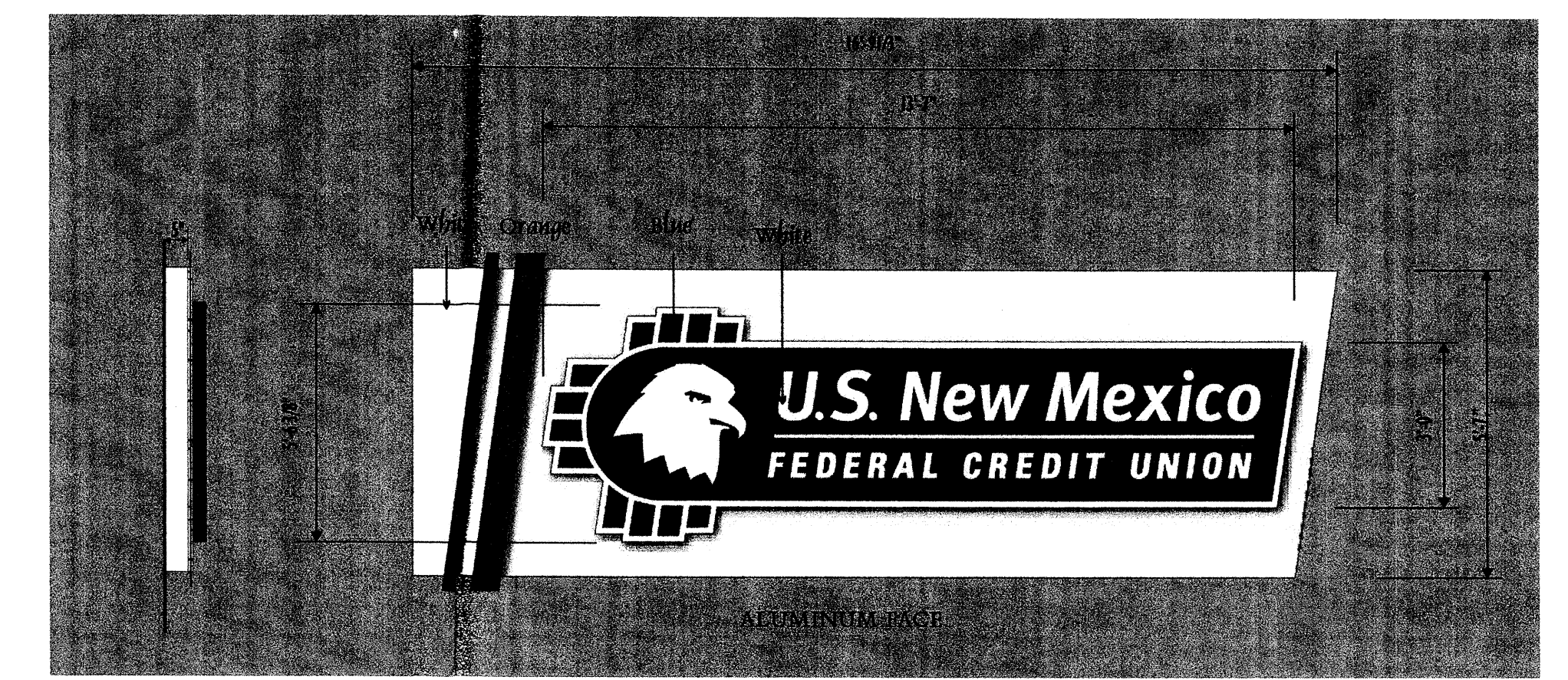
1 WEST ELEVATION - COORS BOULEVARD N.W.
 1/8" = 1'-0"



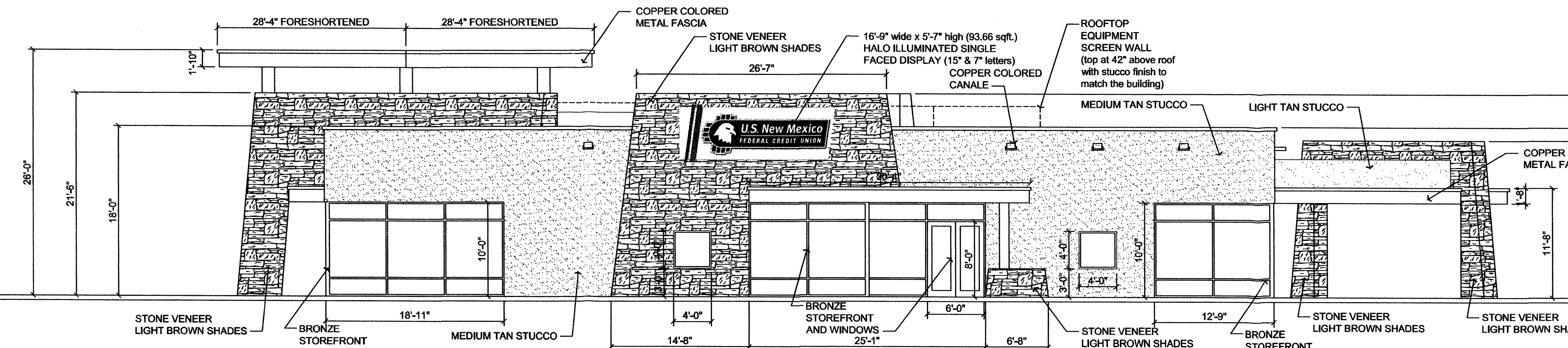
5 REFUSE ENCLOSURE
 1/4" = 1'-0"



2 SOUTH ELEVATION - LEARNING ROAD N.W.
 1/8" = 1'-0"

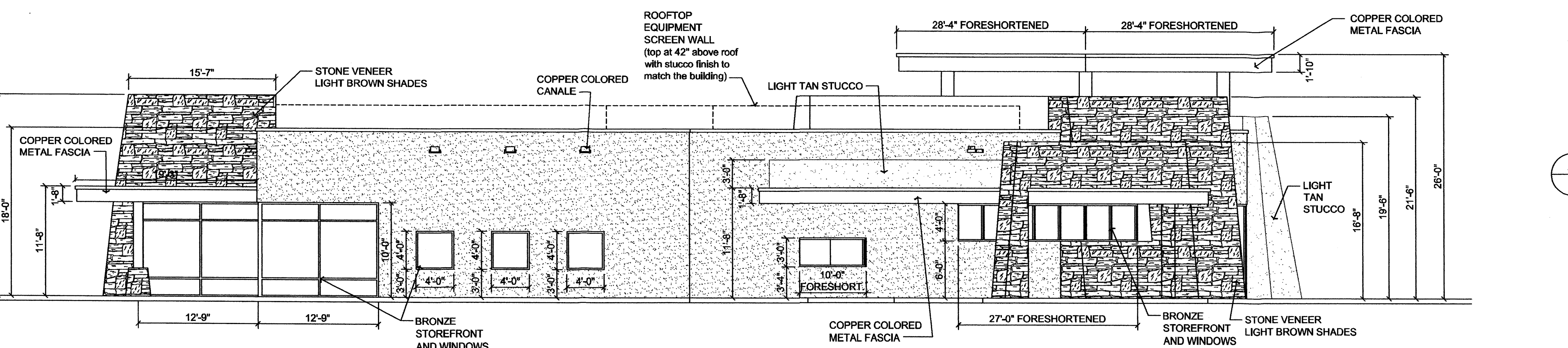


6 FACE / HALO-ILLUMINATED SINGLE FACED DISPLAY
 SCALE: 3/8" = 1'-0"

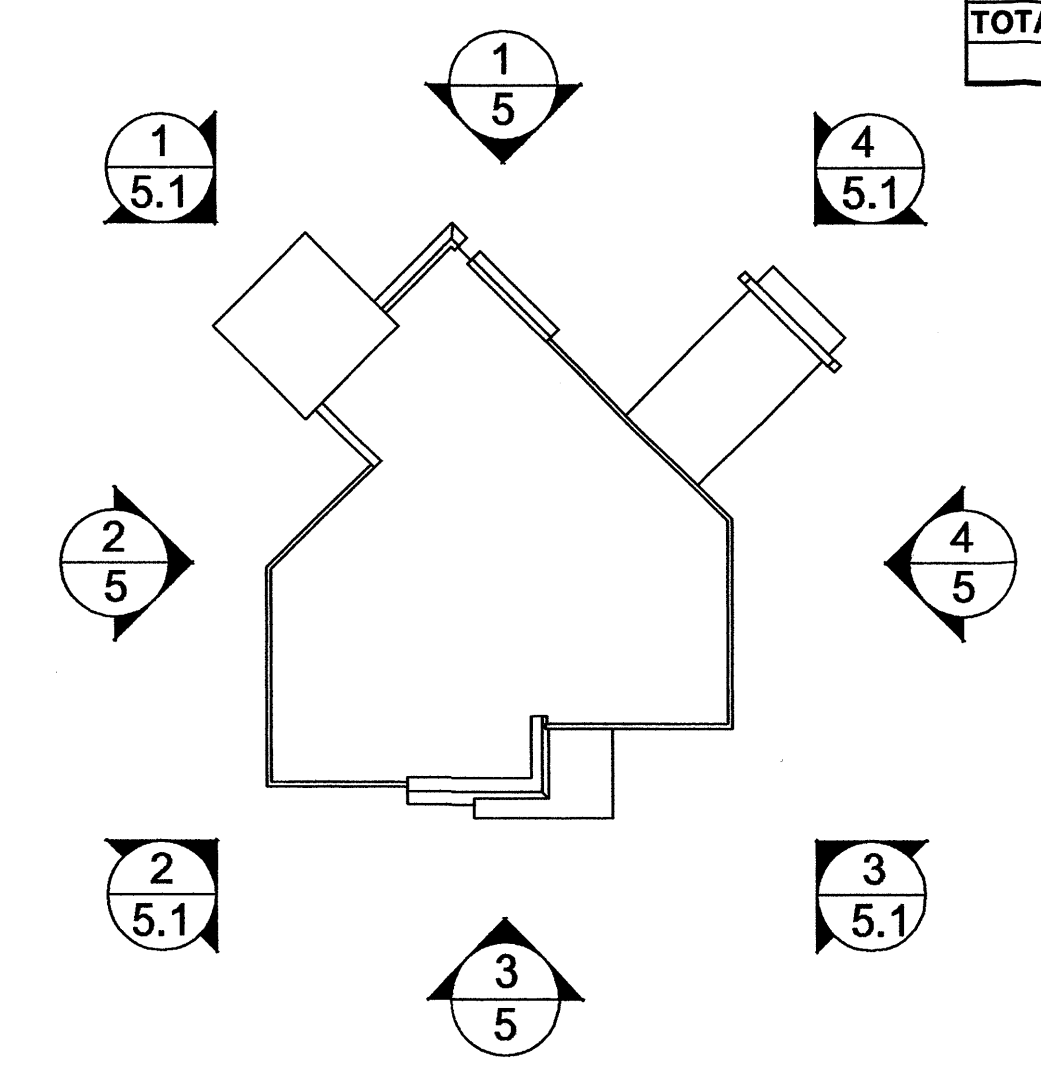


3 EAST ELEVATION - ANTEQUERA ROAD N.W.
 1/8" = 1'-0"

BUILDING SIGN AREA SUMMARY	
SOUTH ELEVATION	
16'-9 1/3" LONG U.S. NEW MEXICO FEDERAL CREDIT UNION SIGN	93.66 SF
SOUTH FAÇADE ALLOWABLE = 127.69 SF	
6% OF FAÇADE AREA (2128.15 SF) = 127.69 SF	
NORTH ELEVATION (FACING PERPENDICULAR TO DRIVE-UP)	
16'-9 1/3" LONG U.S. NEW MEXICO FEDERAL CREDIT UNION SIGN	93.66 SF
NORTH FAÇADE ALLOWABLE = 147.66 SF	
6% OF FAÇADE AREA (2461.07 SF) = 147.66 SF	
WEST ELEVATION (FACING PERPENDICULAR FROM STREET CORNER TO BUILDING)	
16'-9 1/3" LONG U.S. NEW MEXICO FEDERAL CREDIT UNION SIGN	93.66 SF
WEST FAÇADE ALLOWABLE = 143.72 SF	
6% OF FAÇADE AREA (2395.35 SF) = 143.72 SF	
TOTAL BUILDING SIGNAGE	280.98 SF

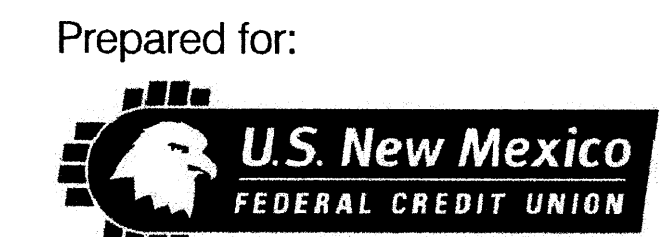


4 NORTH ELEVATION
 1/8" = 1'-0"



ELEVATION KEY PLAN

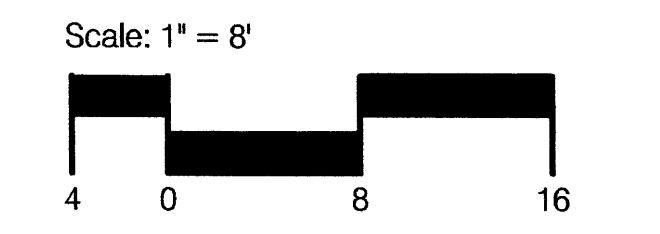
U.S. NEW MEXICO FEDERAL CREDIT UNION ELEVATIONS



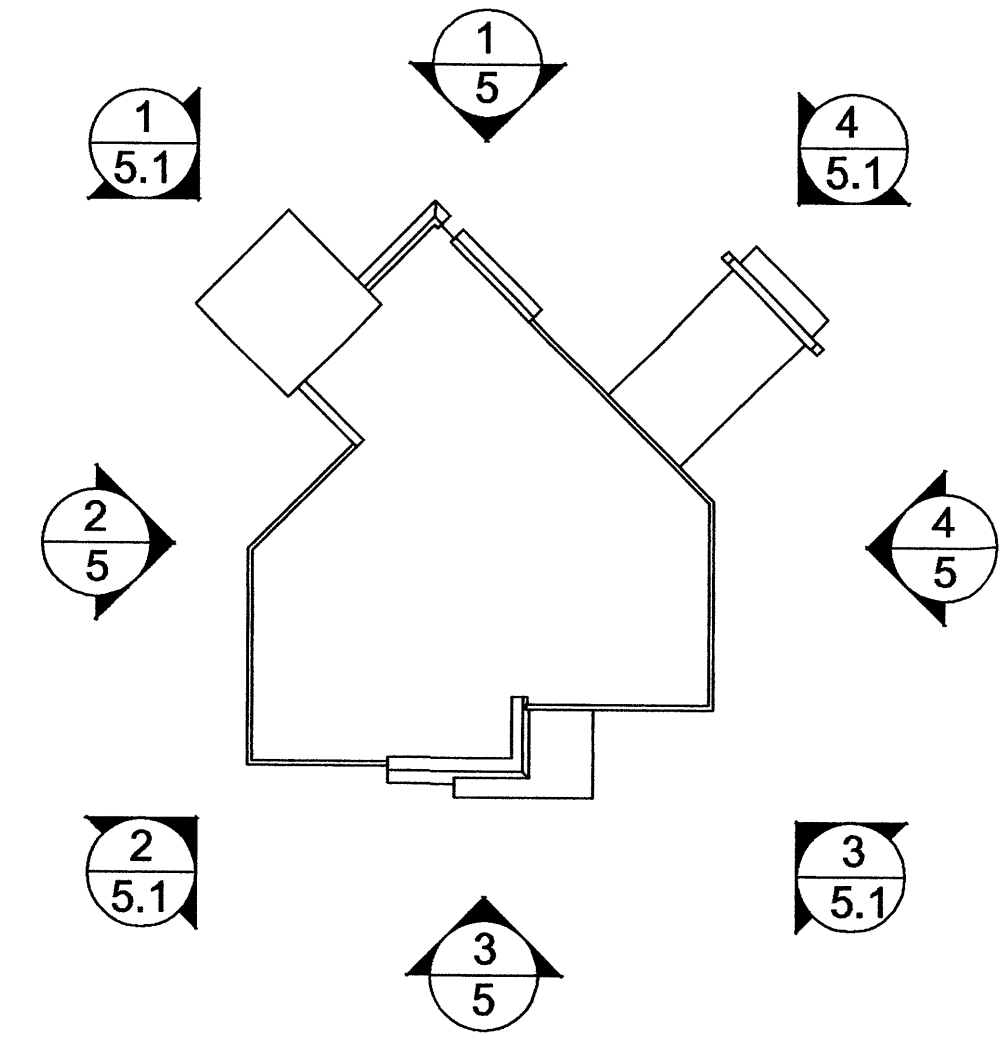
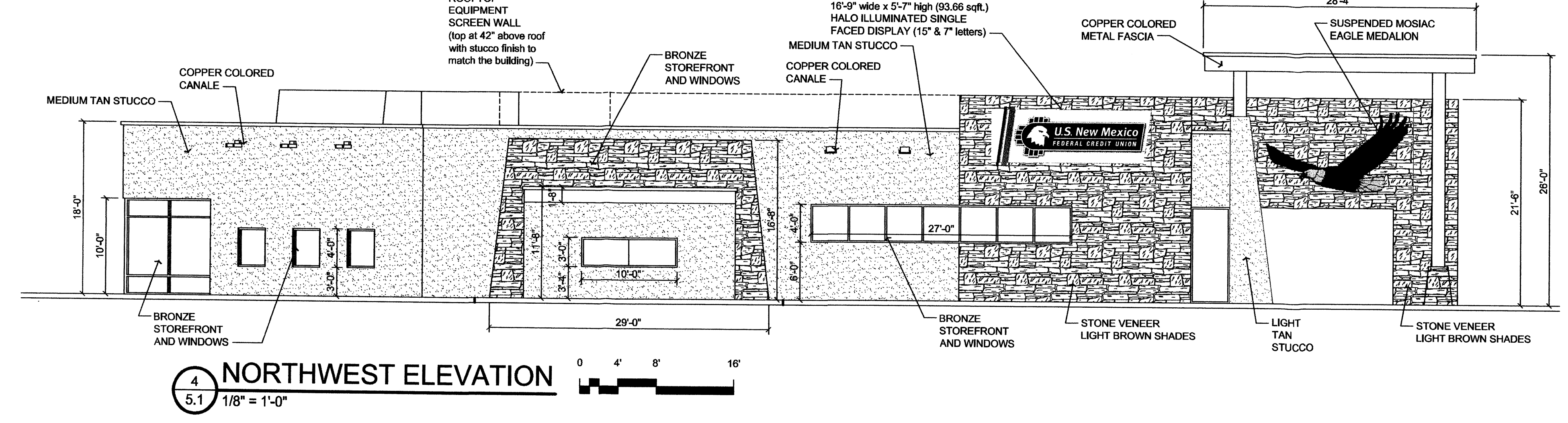
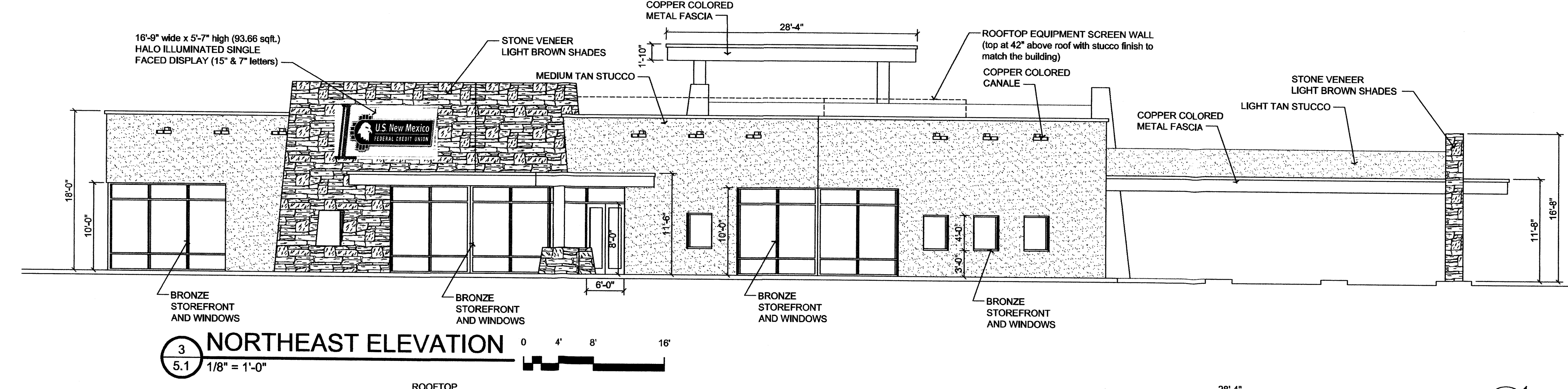
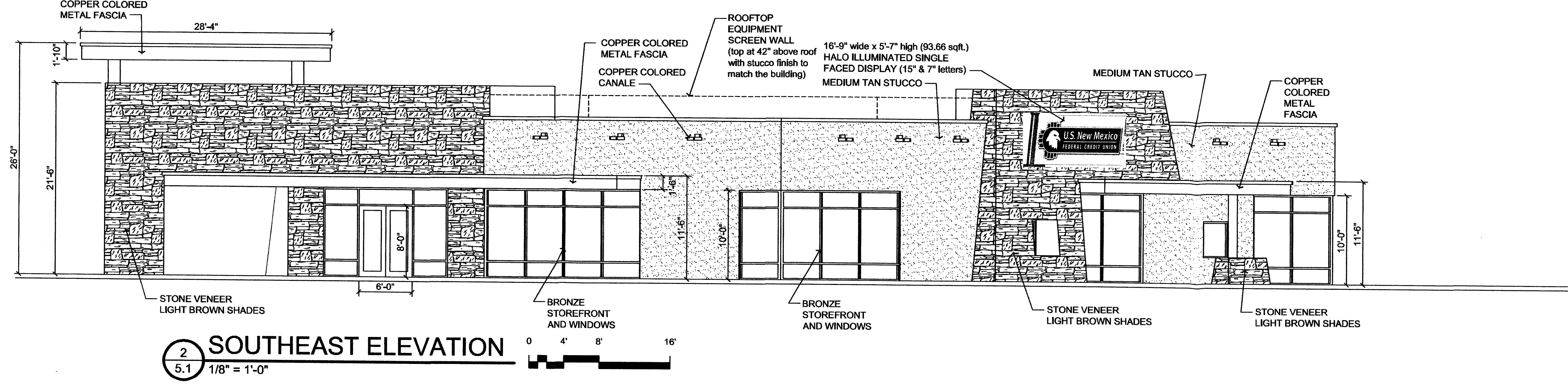
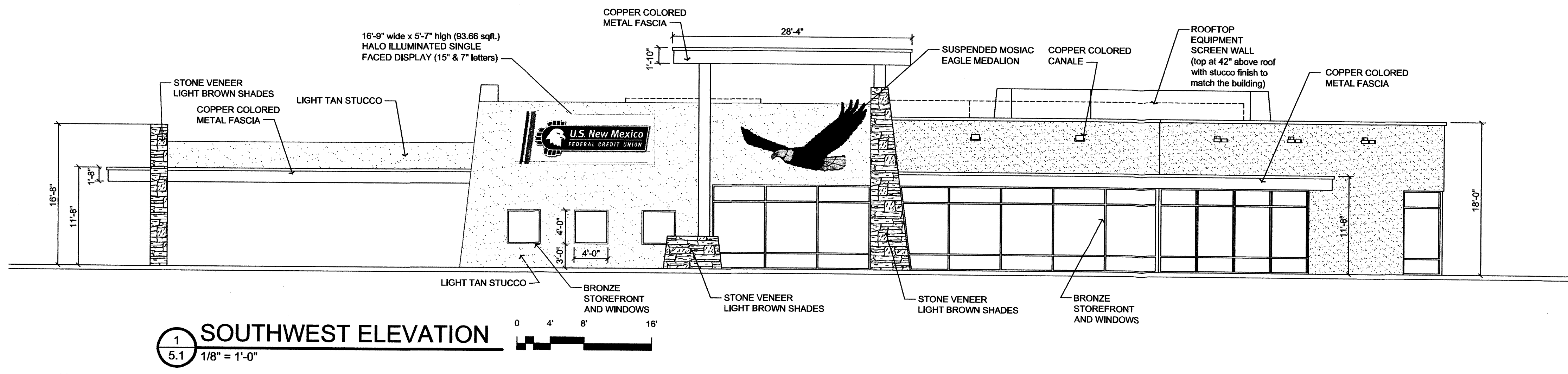
Prepared for:
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Prepared by:
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 Sheet 5 of 7



ELEVATION KEY PLAN

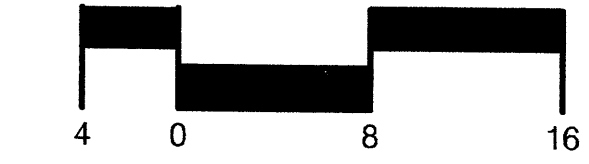
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ELEVATIONS

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Scale: 1" = 8'



January 4, 2012

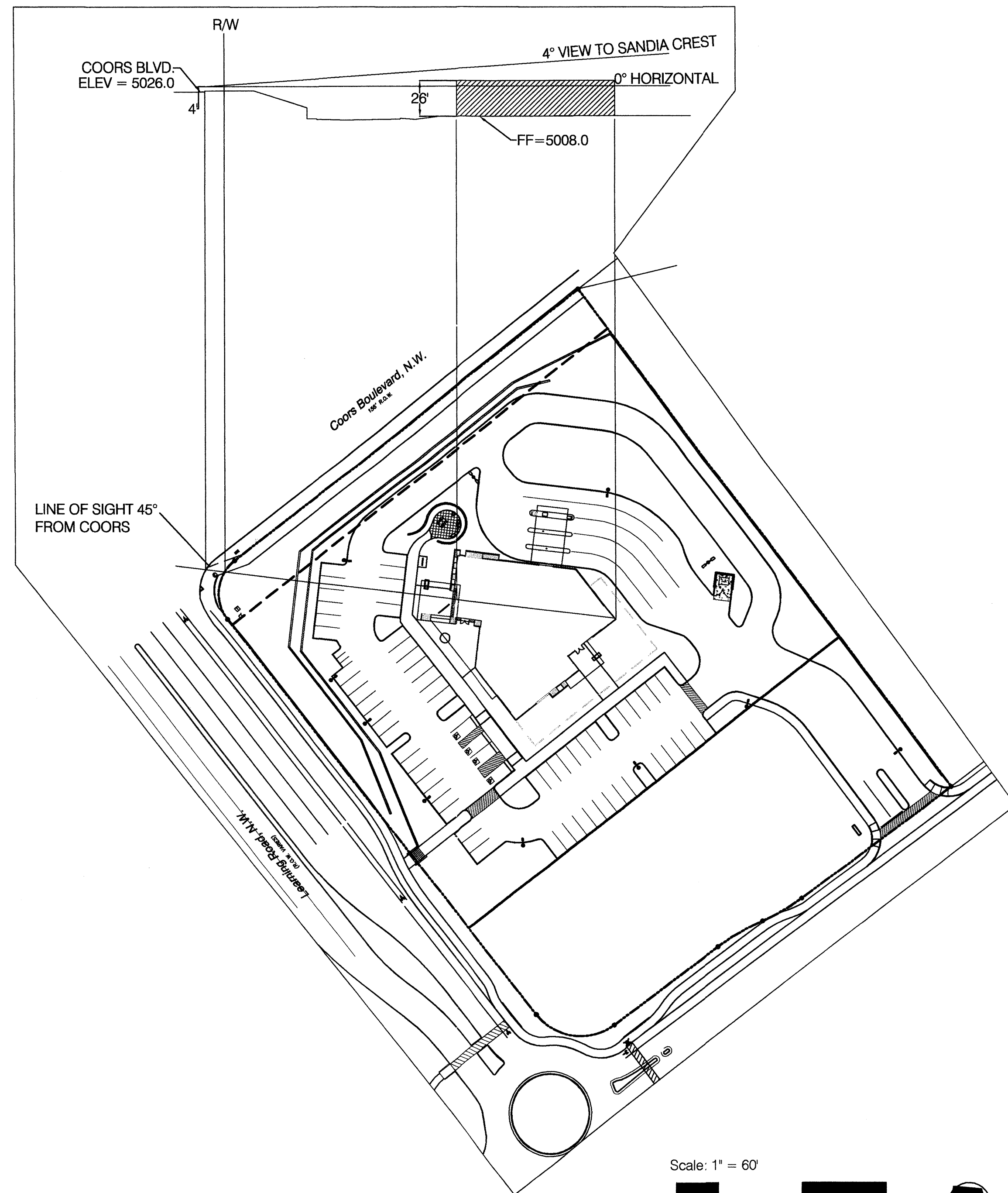
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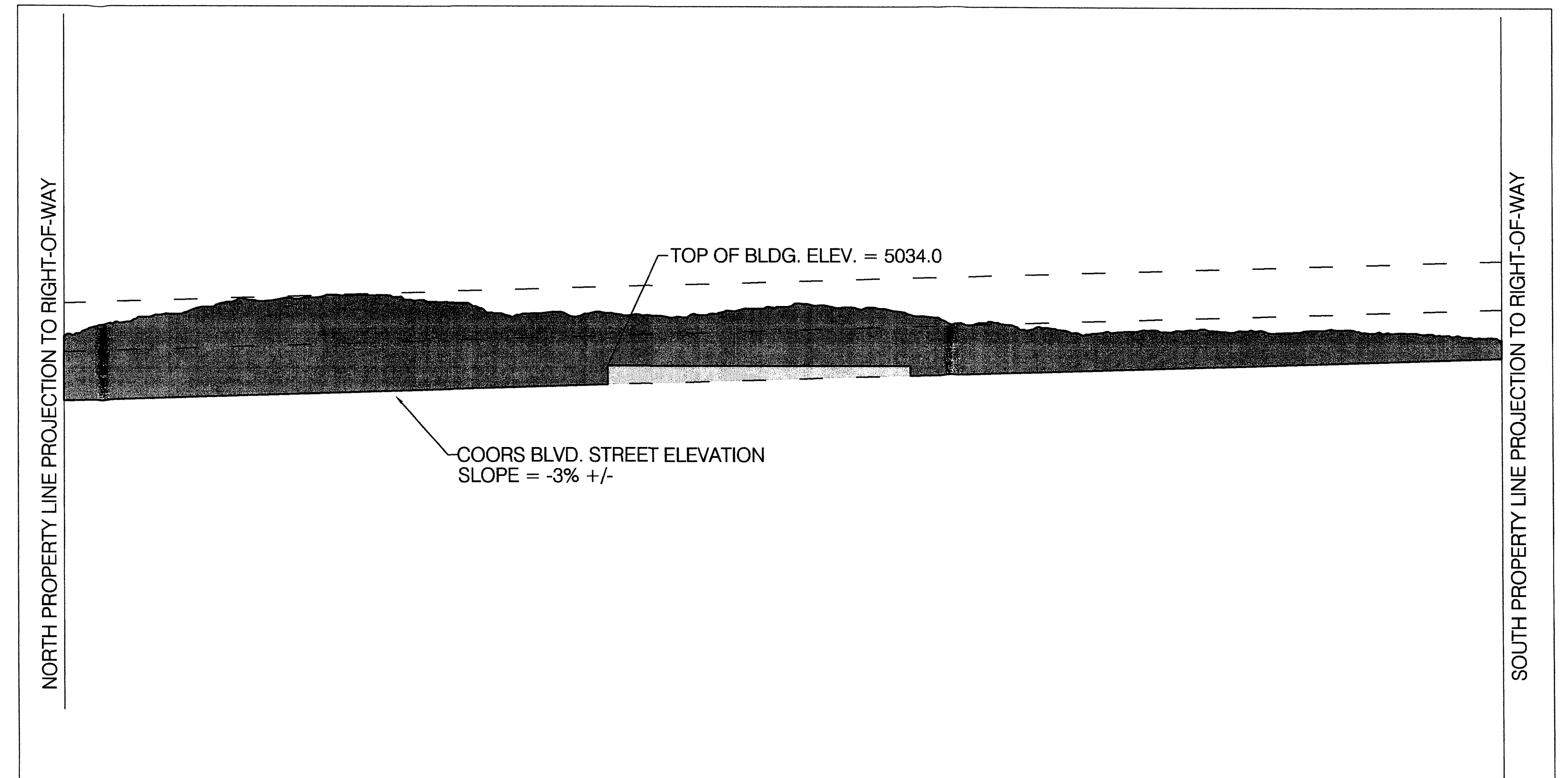
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Albuquerque, NM 87109-4335

NOTES:

1. The site layout is in compliance with the approved Site Plan for Subdivision, Design Standards, Sheet 2, Coors Corridor Plan View Preservation section.
2. The Coors Corridor Plan requires buildings that meet the multi-story setback (10' below Coors Boulevard grade) may penetrate no more than 1/3 of its height through the view plane.
3. Buildings shall not penetrate above Sandia Crest as seen from 4 feet above Coors grade.



VIEW DIAGRAM



VIEW WINDOW

NOTES:

1. Sandia Crest based upon digital photography taken from Coors Boulevard.
2. View shown is at a 45 degree angle from Coors Boulevard, as required by the Coors Corridor Plan.
3. Coors Corridor Plan requires that no greater than 50% of the View Area shall be obscured by structures.
4. 3% of the View Area is obscured by structures in compliance with these regulations.

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COORS VIEW ANALYSIS

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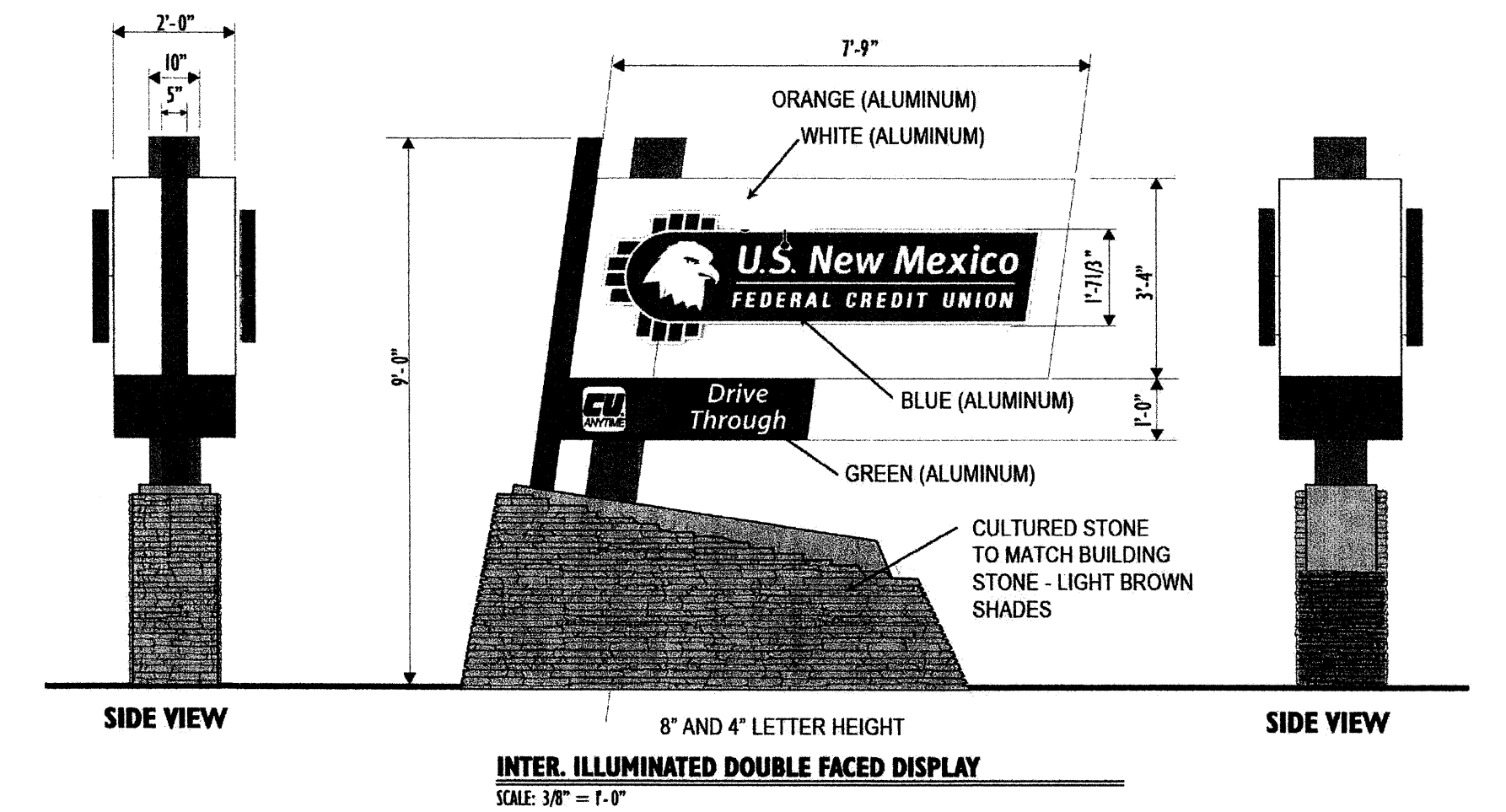
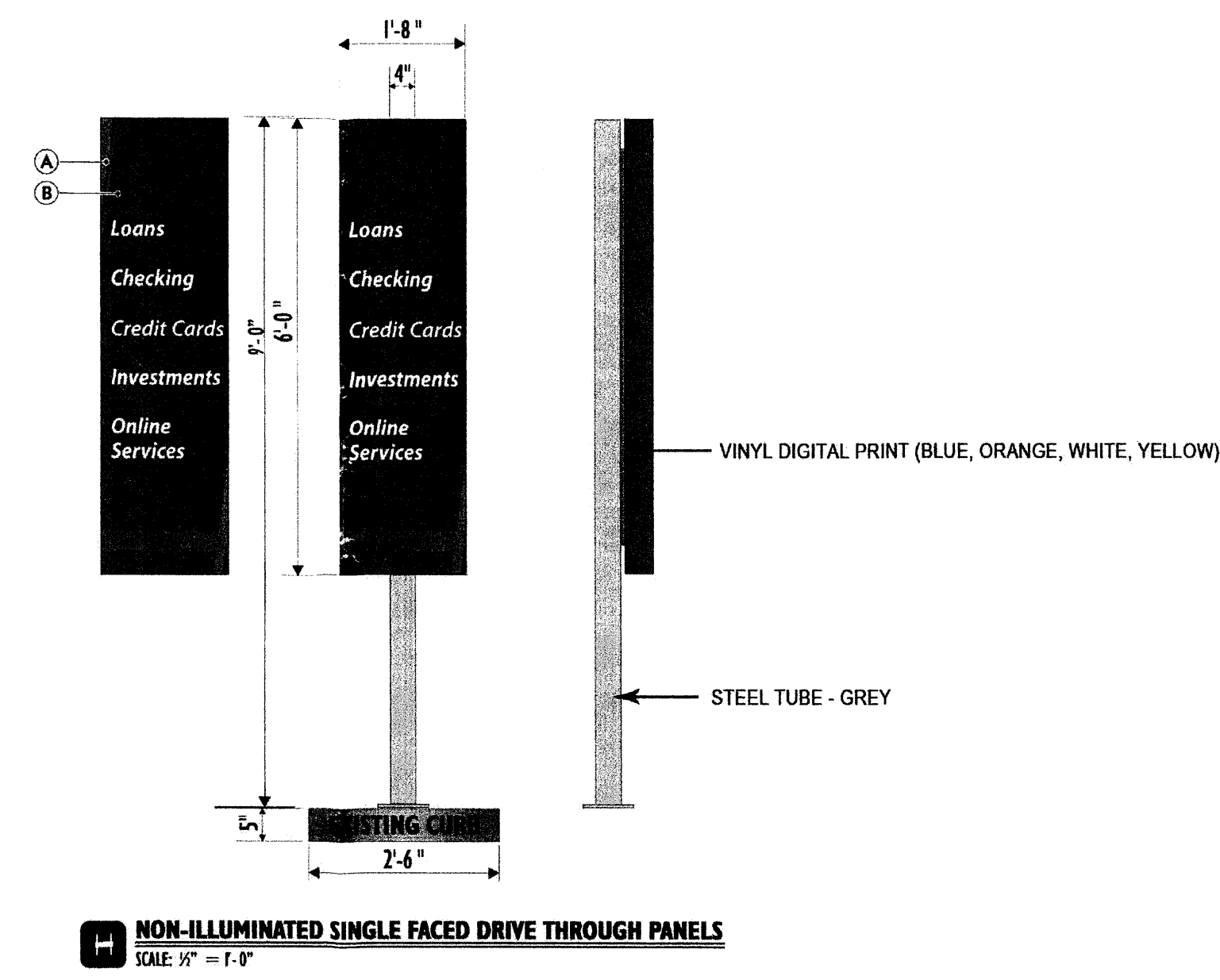
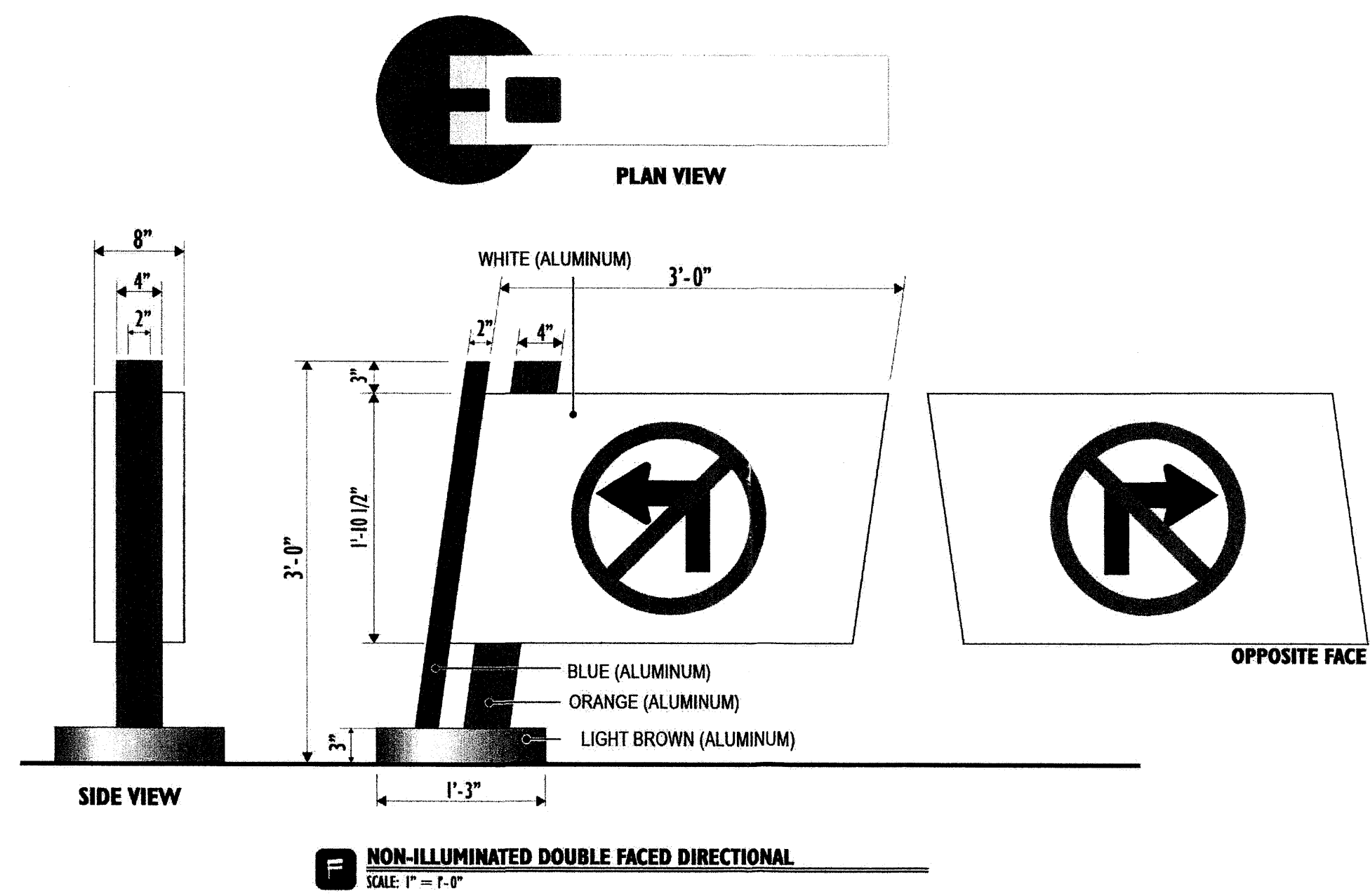


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MONUMENT SIGN SUMMARY	
ONE MONUMENT SIGN PROPOSED (TWO-SIDED)	
NORTH ELEVATION	29.69 SF
SOUTH ELEVATION	29.69 SF
MONUMENT SIGN AREA ALLOWABLE = 30 SF (PER SIDE)	

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SIGNAGE

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