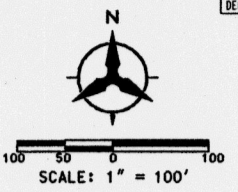


# VACATION EXHIBIT

ALTA/ACSM LAND TITLE SURVEY  
TRACT A, LANDS OF OWENWEST CORP.  
AND TRACTS 1,2,4,5, & A PORTION OF TRACT 6  
LANDS OF RAY GRAHAM III

| LEGEND                                |     |  |
|---------------------------------------|-----|--|
| TRACT BOUNDARY LINE                   | □   | HANDICAPPED PARKING SPACE                    |
| ADJOINING PROPERTY LINE               | --- | SPEED BUMP                                   |
| EXISTING EASEMENT LINE                | --- | DOUBLE STRIPE                                |
| ACS SURVEY MONUMENT                   | △   | SOLID STRIPE                                 |
| FOUND REBAR AS NOTED                  | ○   | DASHED STRIPE-LARGE                          |
| FOUND MONUMENT SURVEY WASHES AS NOTED | ●   | DASHED STRIPE-SMALL                          |
| FOUND CHISELED MARK                   | ⊗   | RIGHT TURN ARROW                             |
| BUILDING                              | ▭   | LEFT TURN ARROW                              |
| PORCH/DECK                            | ▭   | STRAIGHT AHEAD ARROW                         |
| FOUNDATION                            | ▭   | BICYCLE LANE                                 |
| OBSCURE AREA                          | ▭   | SINGLE POST, DOUBLE POSTS, & IRREGULAR STOPS |
| CONCRETE PAD                          | ▭   | PERENNIAL DRAINAGE                           |
| TANK/SILO                             | ○   | INTERMITTENT DRAINAGE                        |
| CURB                                  | --- | INTERMITTENT POND                            |
| GUTTER                                | --- | WETLAND AREA                                 |
| PAVED ROAD                            | --- | LINED CHANNEL                                |
| PAVED SHOULDER                        | --- | LINED DITCH                                  |
| GRADED ROAD                           | --- | CHURCH CONCRETE DRAINAGE STRUCTURE           |
| UNGRADED ROAD                         | --- | SWAMP SHEET                                  |
| GUARDRAIL                             | --- | RIP-RAP                                      |
| SIDEWALK                              | --- | BERM/DIKE                                    |
| TRAIL                                 | --- | DIRT   |
| PAVED DRIVEWAY                        | --- | UNIDENTIFIED MARK                            |
| UNPAVED DRIVEWAY                      | --- | UNIDENTIFIED VALVE                           |
| PAVED PARKING                         | --- | UNIDENTIFIED UTILITY                         |
| UNPAVED PARKING                       | --- | UNIDENTIFIED POLE                            |
| PARKING BUMPER                        | --- | UNIDENTIFIED FEATURE                         |
|                                       |     | STREET LIGHT                                 |
|                                       |     | POST LIGHT                                   |
|                                       |     | TRAFFIC CONTROL BOX                          |
|                                       |     | TRAFFIC SIGNAL                               |
|                                       |     | DISTRIBUTION LINE & POLE                     |
|                                       |     | TRANSFORMER                                  |
|                                       |     | DOWN OUT WIRE & ANCHOR                       |
|                                       |     | PULLBOX                                      |
|                                       |     | FIRE HYDRANT                                 |
|                                       |     | IRRIGATION BOX                               |
|                                       |     | SANITARY SEWER MANHOLE                       |
|                                       |     | PERENNIAL DRAINAGE                           |
|                                       |     | INTERMITTENT DRAINAGE                        |
|                                       |     | INTERMITTENT POND                            |
|                                       |     | WETLAND AREA                                 |
|                                       |     | LINED CHANNEL                                |
|                                       |     | LINED DITCH                                  |
|                                       |     | CHURCH CONCRETE DRAINAGE STRUCTURE           |
|                                       |     | SWAMP SHEET                                  |
|                                       |     | RIP-RAP                                      |
|                                       |     | BERM/DIKE                                    |
|                                       |     | DIRT   |
|                                       |     | UNIDENTIFIED MARK                            |
|                                       |     | UNIDENTIFIED VALVE                           |
|                                       |     | UNIDENTIFIED UTILITY                         |
|                                       |     | UNIDENTIFIED POLE                            |
|                                       |     | UNIDENTIFIED FEATURE                         |



**TRACT A DESCRIPTION**

A certain tract of land situated within Section 36, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, said tract being Tract A of the same is shown and designated on the Plat of Tracts 1, 2, 4, 5, & 6 of Land of Ray A. Graham, Owenwest Corp. and City of Albuquerque, recorded in the office of the County Clerk of Bernalillo County, New Mexico on April 1, 2002 in Book 20002, folio 98, and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone, NAD 83) and grid distances as follows:

BEGINNING at a 5/8" rebar with a survey cap stamped "LS 5110" at the southeast corner of said Tract A, a point on a curve on the southerly right-of-way line of Coors Boulevard NW, whose The City of Albuquerque survey monument "MAG-48-4" having New Mexico State Plane Grid coordinates for the Central Zone: 3466,640.721 N, 4507,306.30 E, bears S51°08'11" W a distance of 385.47 feet thence along the northerly boundary line of said Tract A and also along said right-of-way line;

151.54 feet along the arc of a curve to the left having a radius of 5807.58 feet and a chord which bears N42°45'21" E, a distance of 157.60 feet to a 5/8" rebar with a survey cap stamped "LS 5110" thence;

37.34 feet along the arc of a curve to the right having a radius of 10.00 feet and a chord which bears N81°50'06" E, a distance of 35.48 feet to a point of tangency on the southerly right-of-way line of Montana Road NW, being a 5/8" rebar with a survey cap stamped "LS 5110" thence running along the northerly boundary line of said Tract A and also along said right-of-way line;

S89°14'47" E a distance of 185.31 feet to the northeast corner of said Tract A thence leaving said right-of-way line and running along the southerly boundary line of said Tract A;

S42°35'15" E a distance of 215.95 feet to a 5/8" rebar with a survey cap stamped "LS 5110" at the southeast corner of said Tract A thence along the southerly boundary line of said Tract A;

N04°13'33" E a distance of 247.97 feet to the point and place of beginning.

Tract A contains 1.1886 acres, more or less.

**DELLYNE AVENUE NW (RAW VARIES)**

**TOTAL AREA 87.9799 Acres**

**TRACT 6 68.4046 Acres**  
SEE NOTES 41, 44, & 45, SHEET 1

**TO BE VACATED**  
TEMPORARY EASEMENT NO. 2 (NORTH)  
FILED: MARCH 14, 2000 (BK. A3, PG. 4783)  
SEE NOTE 33, SHEET 1

**TO BE VACATED**  
20' SLOPE & CONSTRUCTION MAINTENANCE EASEMENT  
FILED: DECEMBER 28, 2000 (MISC. BK. A13, PG. 7287) AND FILED: JANUARY 11, 2001 (MISC. BK. A14, PG. 2337)  
SEE NOTE 26, SHEET 1

**TO BE VACATED**  
ACCESS EASEMENT  
FILED: JULY 31, 2002 (BK. A39, PG. 6191) AND RE-RECORDED AUGUST 7, 2002 (BK. A39, PG. 9238)  
SEE NOTE 36, SHEET 1

**TO BE VACATED**  
10' PNM AND MST&T EASEMENT  
FILED: MAY 18, 1983, (MISC. BK. 15A, PG. 848)  
SEE NOTE 46, SHEET 1

**TANGENT DATA**

| ID  | DELTA      | TANGENT | ARC      | RADIUS   | CHORD    | CHORD BRG     |
|-----|------------|---------|----------|----------|----------|---------------|
| C1  | 89°52'54"  | 30.00'  | 47.12'   | 30.00'   | 42.47'   | S83°00'36" E  |
| C2  | 89°20'40"  | 29.66'  | 46.79'   | 30.00'   | 42.18'   | N07°15'17" E  |
| C3  | 107°15'23" | 146.77' | 130.00'  | 145.43'  | 118.00'  | S45°01'54" E  |
| C4  | 108°22'29" | 425.19' | 448.87'  | 5407.58' | 448.12'  | N47°47'14" E  |
| C5  | 23°57'12"  | 91.22'  | 179.77'  | 450.00'  | 178.46'  | S43°42'48" E  |
| C6  | 13°33'28"  | 65.17'  | 129.72'  | 248.22'  | 129.42'  | S29°33'14" E  |
| C7  | 19°00'00"  | 136.33' | 272.29'  | 194.00'  | 271.81'  | S30°16'32" E  |
| C8  | 10°15'13"  | 24.22'  | 48.40'   | 330.00'  | 48.38'   | S40°23'22" E  |
| C9  | 81°54'02"  | 21.49'  | 39.74'   | 25.00'   | 32.71'   | S00°03'00" E  |
| C10 | 28°52'46"  | 111.33' | 219.21'  | 440.00'  | 216.95'  | S28°57'11" E  |
| C11 | 80°58'00"  | 344.60' | 541.02'  | 345.00'  | 541.00'  | N01°12'28" E  |
| C12 | 55°25'21"  | 38.58'  | 1041.66' | 1340.00' | 1142.72' | S15°01'11" E  |
| C13 | 25°30'30"  | 138.48' | 176.48'  | 110.00'  | 176.00'  | N107°00'56" E |
| C14 | 17°09'59"  | 58.21'  | 116.42'  | 67.00'   | 75.25'   | N05°29'00" E  |
| C15 | 18°58'20"  | 600.31' | 1116.05' | 1670.00' | 1115.31' | N104°01'31" E |
| C16 | 104°15'21" | 600.31' | 1116.05' | 1670.00' | 1115.31' | N104°01'31" E |
| C17 | 110°11'11" | 78.81'  | 157.60'  | 1530.00' | 1530.00' | N153°01'02" E |
| C18 | 119°41'41" | 58.40'  | 117.37'  | 170.00'  | 169.71'  | N101°54'28" E |

TABLES ARE FOR THIS SHEET ONLY

**DESCRIPTION**

A certain tract of land situated within Sections 25, 35 and 36, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, said tract being Tracts 1, 2, 4, 5, & 6 of Land of Ray A. Graham, Owenwest Corp. and City of Albuquerque, recorded in the office of the County Clerk of Bernalillo County, New Mexico on April 1, 2002 in Book 20002, folio 98, and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone, NAD 83) and grid distances as follows:

BEGINNING at a 5/8" rebar with a survey cap stamped "LS 5110" at a point on the southerly right-of-way line of Coors Boulevard and the northerly corner of said Tract 5, whose The City of Albuquerque survey monument "MAG-48-4" having New Mexico State Plane Grid coordinates for the Central Zone: 3466,640.721 N, 4507,306.30 E, bears S52°19'01" W a distance of 783.07 feet thence along said right-of-way line;

S51°59'37" E a distance of 680.10 feet to a 5/8" rebar with a survey cap stamped "LS 5110" at a point of curvature thence along a transition curve;

47.12 feet along the arc of a curve to the right having a radius of 30.00 feet and a chord bearing S83°00'36" E a distance of 42.42 feet to a point of tangency on the southerly right-of-way line of Learning Road, thence along said right-of-way line;

S89°47'5" E a distance of 49.35 feet to a 5/8" rebar with a survey cap stamped "LS 5110" thence;

N51°59'19" E a distance of 75.39 feet to a 5/8" rebar with a survey cap stamped "LS 5110" thence along the northerly right-of-way line of said Learning Road;

N29°39'02" W a distance of 34.47 feet to a 5/8" rebar with a survey cap stamped "LS 5110" thence;

N09°09'46" E a distance of 241.00 feet to a 5/8" rebar with a survey cap stamped "LS 5110" thence;

N31°13'37" E a distance of 112.79 feet to a 5/8" rebar with a survey cap stamped "LS 5110" thence;

N37°21'07" E a distance of 104.26 feet to a 5/8" rebar with a survey cap stamped "LS 5110" at a point of curvature thence along a transition curve;

48.78 feet along the arc of a curve to the right having a radius of 30.00 feet and a chord bearing N07°15'17" E a distance of 42.18 feet to a 5/8" rebar with a survey cap stamped "LS 5110" at a point of tangency thence along the southerly right-of-way line of Montana Road;

N42°35'15" E a distance of 215.95 feet to a 5/8" rebar with a survey cap stamped "LS 5110" thence;

S58°14'47" E a distance of 506.80 feet to a 5/8" rebar with a survey cap stamped "LS 5110" thence leaving said right-of-way line;

S37°45'16" E a distance of 53.79 feet to a point of curvature on the westerly boundary line of the said exception within Tract 6 thence;

175.77 feet along the arc of a curve to the right having a radius of 430.00 feet and a chord bearing S43°42'48" E a distance of 178.46 feet thence;

S58°14'47" E a distance of 395.20 feet thence leaving said exception along the easterly boundary line of said Tract 6;

S38°18'09" E a distance of 58.00 feet to a 5/8" rebar with a survey cap stamped "LS 5110" thence;

125.72 feet along the arc of a curve to the left having a radius of 545.00 feet and a chord bearing S29°33'14" E a distance of 125.42 feet to a 5/8" rebar with a survey cap stamped "LS 5110" thence;

S26°14'47" E a distance of 75.39 feet to a 5/8" rebar with a survey cap stamped "LS 5110" thence;

N09°41'31" E a distance of 600.01 feet to a 5/8" rebar with a survey cap stamped "LS 5110" thence;

S22°40'07" E a distance of 183.00 feet thence;

272.29 feet along the arc of a curve to the right having a radius of 1040.00 feet and a chord bearing S30°16'32" E a distance of 271.81 feet to a 5/8" rebar with a survey cap stamped "LS 5110" thence;

S37°46'34" E a distance of 481.13 feet to a 5/8" rebar with a survey cap stamped "LS 5110" thence;

68.40 feet along the arc of a curve to the right having a radius of 530.00 feet and a chord bearing S47°23'37" E a distance of 68.36 feet to a chiseled mark in concrete at a point of reverse curvature and the northeast corner of said Tract 4, thence along the southerly boundary line of said Tract 4;

35.14 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord bearing S02°03'00" E a distance of 32.71 feet to a 5/8" rebar with a survey cap stamped "LS 5110" at a point of tangency thence;

S28°52'46" E a distance of 287.04 feet to a 5/8" rebar with a survey cap stamped "LS 5110" at a point of curvature thence;

219.21 feet along the arc of a curve to the right having a radius of 440.00 feet and a chord bearing S28°57'11" E a distance of 216.95 feet to a 5/8" rebar with a survey cap stamped "LS 5110" at the southeast corner of said Tract 4 thence;

N04°13'33" E a distance of 247.97 feet to a 5/8" rebar with a survey cap stamped "LS 5110" at the southwest corner of said Tract 4 thence;

N07°15'17" E a distance of 688.19 feet to a 5/8" rebar with a survey cap stamped "2455" on the southerly boundary line of said Tract 4 thence;

S41.52 feet along the arc of a curve to the right having a radius of 345.00 feet and a chord bearing S45°11'25" W a distance of 48.42 feet to a 5/8" rebar with a survey cap stamped "2455" at a point of tangency thence;

N09°39'12" E a distance of 256.19 feet to a 5/8" rebar with a survey cap stamped "2455" thence;

75.39 feet along the arc of a curve to the right having a radius of 1150.00 feet and a chord bearing N77°19'41" W a distance of 75.25 feet to a 5/8" rebar with a survey cap stamped "2455" of the southeast corner of said Tract 4 thence;

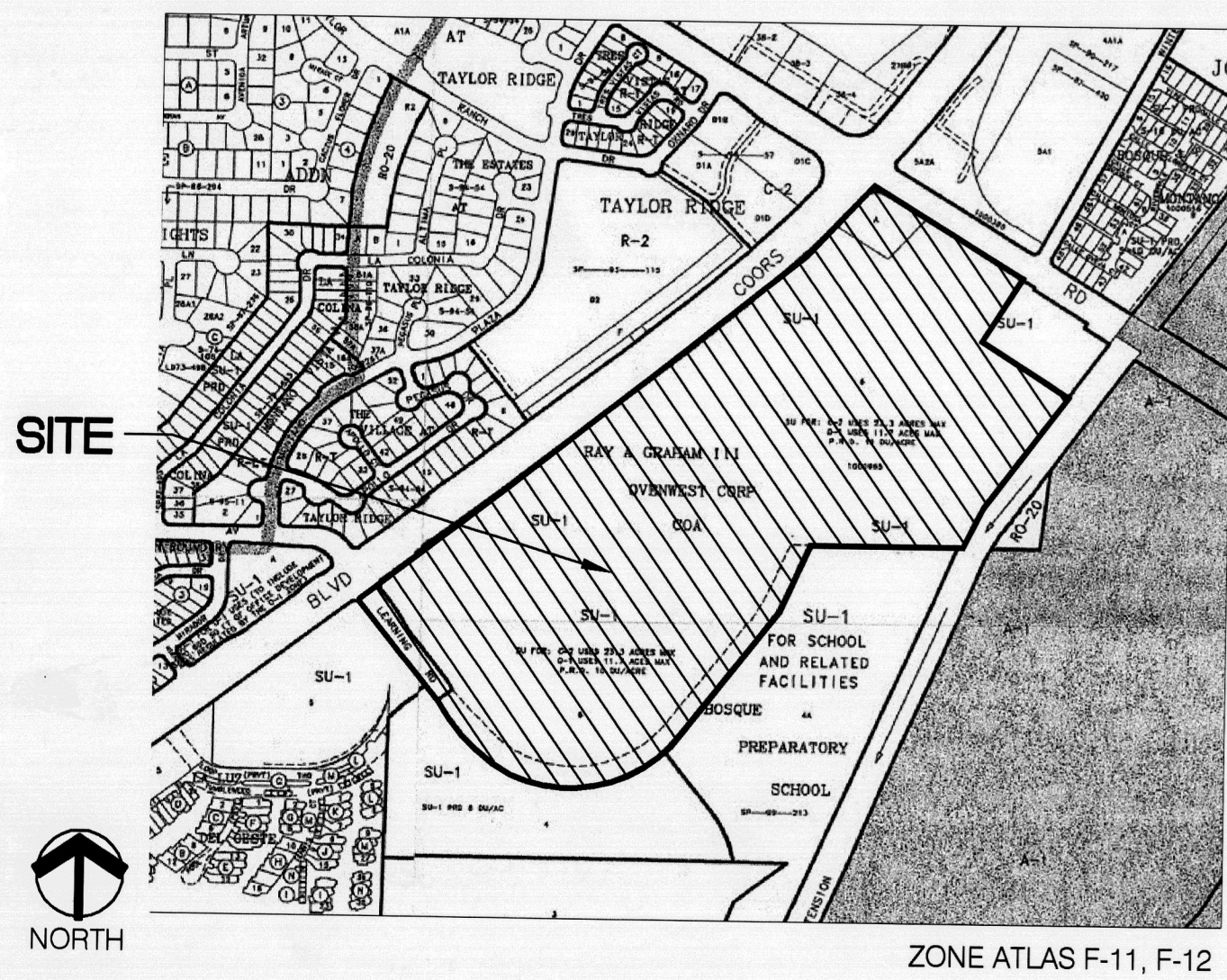
N07°15'17" E a distance of 245.30 feet to the point and place of beginning.

This tract contains 87.9799 acres, more or less.

EXHIBIT B  
Date 6/18/05  
15

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**SITE VICINITY**



ZONE ATLAS F-11, F-12

**GENERAL NOTES**

- Tracts 6B and A (referred to on this Site Plan as Tracts 1-9), are part of a Site Plan for Subdivision approved by the Environmental Planning Commission on November 18, 2004 (Project 1000965: 04EPC-00855). This Site Plan replaces the previous Site Plan for Subdivision as it relates to Tracts 6B and A.
- A portion of Learning Road at Coors Boulevard is public right-of-way. An additional portion of Learning Road within Tract 8 will be granted to the City of Albuquerque as a private access easement in order to provide access to the City's Lift Station #24, Tract B, via a 24 foot limited access road within a 60 foot easement. The final portion of Learning Road will become part of Bosque School, Tract 4A.
- The area adjacent to Learning Road and the northern boundary of Bosque School, Lot 4A (a minimum of 300 feet) is restricted to PRD and O-1 Uses.
- Due to the existing Montano Pueblo Archaeological Site and the two smaller sites, future approvals for Site Development Plans for Building Permit on Tracts 6B and A shall require clearance and guidance from the State Historic Preservation Office.
- A cross access easement will be provided across Tracts 1, 2, and 3.
- No fast food restaurants with drive through windows or gas stations are allowed at North Andalucia.
- When the future grade separation is constructed, access will no longer be allowed to Montano Road from Winterhaven, consistent with the Long Range Roadway System.
- The design for the sign and gate at Tract 7 and Mirandela Road shall be submitted with a Site Plan for Building Permit for development of Tract 7.

**SITE PLAN FOR SUBDIVISION - REQUIRED INFORMATION**

**THE SITE:**  
The site consists of approximately 69.6 acres. Tracts 6B and A will be replatted into 9 Tracts through the Development Review Board as shown on this Site Plan.

**PROPOSED USE:**  
The site is zoned SU-1 for C-2 (23.3 ac), O-1 (11.7 ac), and PRD (20 du/ac). The individual parcels are designated according to land use.

**PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:**  
**VEHICULAR ACCESS:** Learning Road provides the major signalized access into Andalucia at La Luz. Interior roads (at varying widths) are proposed to serve the project and provide vehicular ingress and egress to these parcels, to increase safety to existing development, and to be consistent with City policies contained in the Coors Corridor Plan (see Street Sections, on sheet 3). Two right-in/right-out access points onto Coors Boulevard are between Learning Road and Montano Road.

**BICYCLE and TRAIL ACCESS:** Bicycle access is provided by 6 foot on-street bike lanes in Learning Road connecting to on-street bike lanes within Streets A and B providing a connection to Montano Road. Learning Road trail (a 10 foot trail within a 20 foot landscape easement), and a 10 foot trail within a 60 foot easement. Sidewalks will provide pedestrian connectivity throughout Andalucia.

**TRANSIT ACCESS:** Coordination with the City Transit Department shall be initiated at the Site Plan for Building Permit to provide access and service to this property. Coors Boulevard is an Enhanced Transit Corridor on the West Side.

**INTERNAL CIRCULATION REQUIREMENTS:**  
Conceptual access points (at varying widths) have been identified on this Site Plan for each of the parcels: final locations, width, and configuration shall be determined with future Site Plans for Building Permit with approval by the City Engineer. Internal sidewalks and/or trails shall be provided within each parcel with future Site Plans for Building Permit.

**BUILDING HEIGHTS and SETBACKS:**  
See Sheet 2 of 3, Design Standards. Building height shall be consistent with the Coors Corridor Plan (see Sheet 2).

**MAXIMUM FAR:**  
A maximum floor area ratio (FAR) shall be .35 for the SU-1 for C-2 and SU-1 for O-1 portions of Tract 6B and Tract A.

**LANDSCAPE PLAN:**  
The Design Standards (see Sheet 2 of 3) provide for preservation of significant cottonwoods, an emphasis on native and naturalized plant species, landscape criteria, and landscape buffers. Subsequent landscape plans shall be consistent with City standards and policies regarding water conservation and pollen.

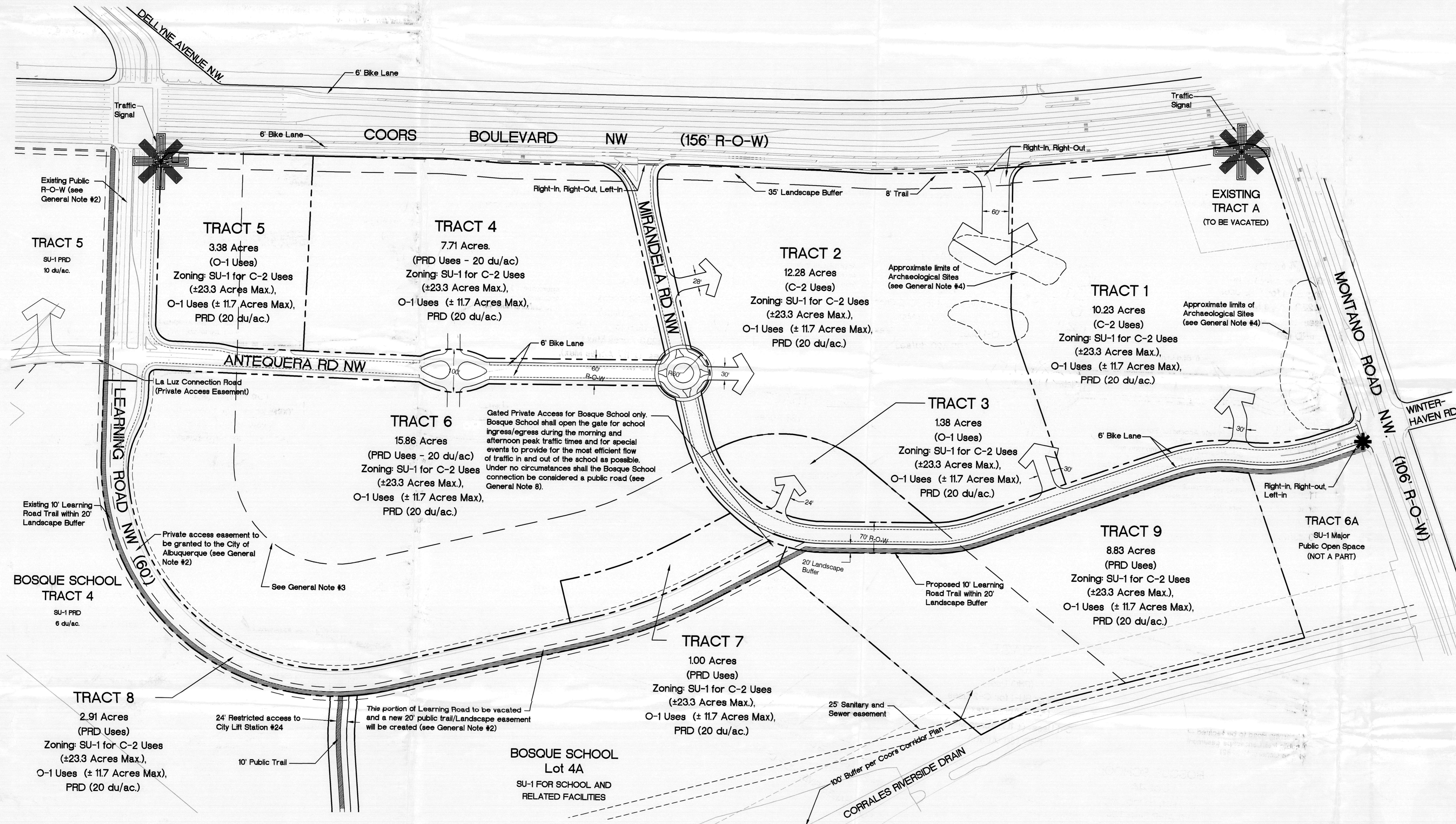
PROJECT NUMBER: 1003859  
Application Number: 04EPC 01845

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated May 19, 2005 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) Yes ( ) No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

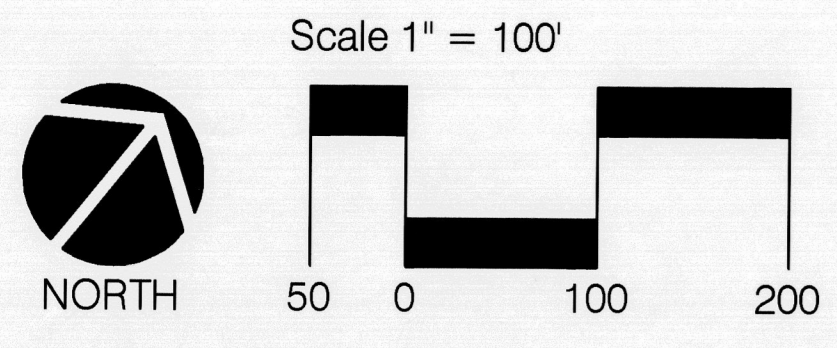
**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

|  |      |
|--|------|
| Traffic Engineering, Transportation Division | Date |
| Water Utility Department                     | Date |
| Parks and Recreation Department              | Date |
| City Engineer                                | Date |
| DRB Chairperson, Planning Department         | Date |



*North Andalucia at La Luz*  
**Site Plan for Subdivision Tract 6B and A**

Prepared for: Silver Leaf Ventures, LLC.



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## Design Standards

The purpose of these Design Standards is to provide a framework to assist the architects, landscape architects, and designers in understanding the vision and development goals for the property. The primary goal for this property is to achieve a vibrant, mixed-use community that fosters pedestrian accessibility and maintains a village-type character.

The Design Standards should be used to facilitate the design of buildings which respect the natural conditions of the site, maintain and highlight the spectacular views of the Sandia and Manzano Mountains and to leave significant areas dedicated to open space. Innovative techniques such as cluster housing, water harvesting, and use of "green" building materials are strongly encouraged.

These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for Andaluca at La Luz. They are intended to be complementary to La Luz, Albuquerque's first cluster housing project, and the Bosque School. These standards primarily address commercial, office, and multi-family projects. Where specifically applicable to single-family development, the standards are called out as such.

Subsequent Site Plans for Building Permits shall be consistent with the design standards established by this Site Plan for Subdivision and shall be approved by the Environmental Planning Commission. Minor amendments to this Site Plan for Subdivision shall be approved administratively by the Planning Director in accordance with the Comprehensive City Zoning Code, Section 14-16-2-22 (A)(6) Special Use Zone, and major amendments shall be approved by the Environmental Planning Commission.

### COORS CORRIDOR PLAN - VIEW and HEIGHT RESTRICTIONS

A primary design requirement of the Coors Corridor Plan is view preservation. Andaluca at La Luz addresses the Coors Corridor Plan as follows:

- Coors Corridor Viewshed rules come into effect when a northbound vehicle passes Namaste Road.
- Measurement of building heights shall be consistent with the Coors Corridor Plan.
- A combination of walls and berms shall be built along Coors Boulevard. The high point of the wall or berm will occur within the first 60 feet of the property, but not closer than 20 feet from the right-of-way. From any point along the east edge of Coors, the high point of the wall or berm will obscure no more than 50% of the height of Sandia Crest, measured directly below Sandia Crest.
- All multi-story structures shall be built with the finish floor elevation at least 10 feet below the roadway, measured along a 45-degree angle from the northbound direction of travel along Coors.
- In no event will the building height be permitted to penetrate above the view of the ridge line of the Sandia Mountains as seen from four feet above the east edge of Coors Boulevard. In no event will more than 1/3 of the total building height outside of the setback area for multi-story buildings be permitted to penetrate through the view plane.
- As viewed from Coors Boulevard, no structure shall obscure more than 50 percent of the height of Sandia Crest, measured directly below Sandia Crest.

### PEDESTRIAN and SITE AMENITIES

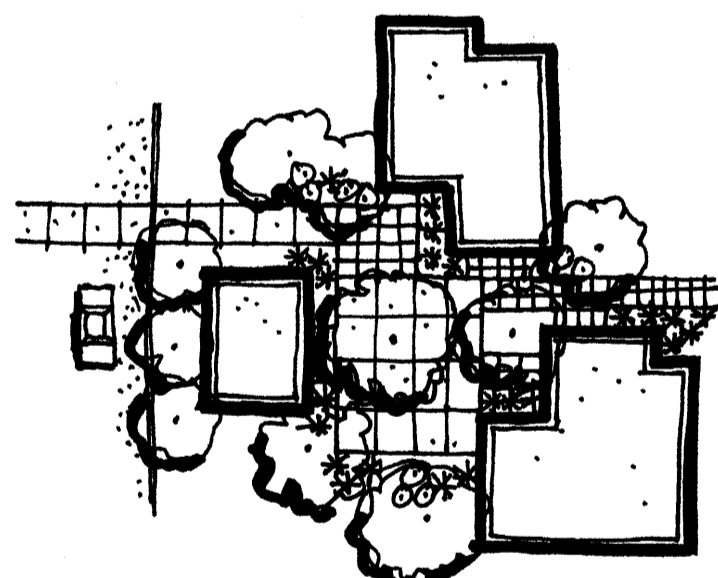
The creation of a pedestrian-friendly environment will depend on creative site design and will be a primary design objective for Andaluca at La Luz. Objectives to achieve this goal include maintaining a high quality and consistency in style for site amenities including benches, plazas, walkways, lighting, etc.; providing shaded walkways; and creating separate vehicular and pedestrian circulation systems in order to support the creation of a village-type character.

The use of alternative paving materials (brick, colored concrete, decomposed granite, etc.) for pedestrian pathways are encouraged. Public art is another site amenity that is strongly encouraged, and if proposed, should be part of the subsequent building plans.

### TRAILS and SIDEWALKS

Public and private trails and sidewalk systems are a defining element to Andaluca at La Luz. Private trails for use by residents are designed to lessen the need for vehicular use and will provide pedestrian connectivity throughout the project (see Landscape Section for more detail on trail landscaping).

- City Trails - All public multi-use trails through Andaluca at La Luz shall be built to City standards, per the City's Trails and Bikeways Facility Plan.
- All private trails and paths shall be soft surface, with a minimum width of 6 feet.
- All pedestrian paths shall be designed to be handicapped accessible (see Americans with Disabilities Act Criteria for Barrier-Free Design, except where topography makes this unfeasible (several streets require grades over 6%).
- The use of asphalt paving for pedestrian trails is discouraged. Concrete or compacted decomposed granite with stabilizer are acceptable materials.
- Pedestrian connections to buildings should be provided in parking lots with greater than 50 spaces and should connect to adjacent roadways, sidewalks, and pathways.
- Pedestrian crossings shall be clearly demarcated with special paving treatment where they cross vehicular entrances and drive aisles and where City trails cross streets.
- Freestanding restaurants, if proposed by subsequent Site Plans for Building Permits, shall provide outdoor patios and shall be shaded by trees and/or a shade structure that is architecturally integrated with building architecture.
- Non-residential and multi-family development shall provide secure bicycle storage racks that are conveniently located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided, consistent with the City Zoning Code.

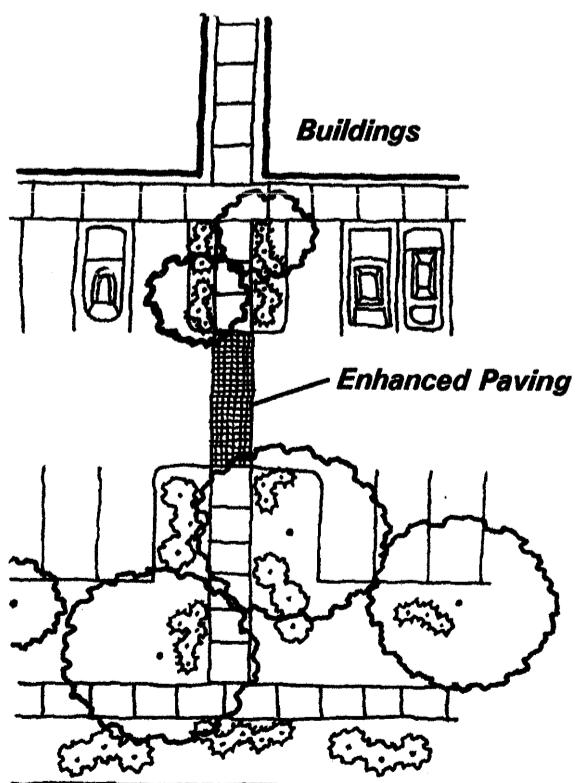


OUTDOOR AREAS - defined by building edges, differentiation of paving, variety of scales of landscaping

### PARKING

In order to support the goals for the property regarding pedestrian accessibility, careful attention should be paid to the parking design. An effort should be made by site designers to lessen the impact of parking facilities on the land and to preserve views to the Bosque and the Sandia and Manzano Mountains. In order to lessen the visual impact of parking areas, parking facilities should be broken up into a series of smaller areas.

- Handicapped parking spaces shall be provided adjacent to building entries.
- The total maximum amount of parking provided shall meet parking requirements in the City Zoning Code, plus 10 percent.
- Structures and on-site circulation systems should be located to minimize pedestrian/vehicle conflicts. Pedestrian access shall be provided to link structures to the public sidewalk.
- Parking areas shall be designed to include a pedestrian link to buildings.
- In cases where parking is adjacent to roadways, landscaping for screening purposes shall be required. The wall shall be architecturally compatible with the surrounding buildings.



PARKING - pedestrian links should be provided between parking areas and buildings

### SINGLE-FAMILY PARKING STANDARDS

The following parking standards are provided for single-family residential development. They have been developed in conjunction with the Unique Street Standards (see Sheet 3 of 3)

- Off Street Parking shall be provided at the following rate:
  - 3 spaces per 2 bedroom dwelling unit
  - 4 spaces per 3-4 bedroom dwelling unit
  - 5 parking spaces per 5 bedrooms or greater dwelling unit

### MULTI-FAMILY PARKING STANDARDS

The following parking standards are provided for multi-family residential development.

- Off Street Parking shall be provided at the following rate:
  - 1 space per bath, but not less than two spaces
  - 1 space per bath for dwellings with less than 1,000 square feet of net leasable area, but not less than 1.5 spaces

### SETBACKS

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways and screening materials, including landscaping, earthen berms, and walls. Parking areas are discouraged from being adjacent to roadways. Front yard setbacks for single family residential developed have been reduced from the City's standard in order to provide as intimate a streetscape experience as possible.

- All development at Andaluca shall comply with the setback requirements of the Coors Corridor Plan.
- Commercial and office development shall comply with the building setback requirements of the O-1 Zone in the Comprehensive City Zoning Code and the Coors Corridor Plan.
- Accessory structures shall comply with Section 14-16-3-3 of the Comprehensive City Zoning Code.

### SINGLE FAMILY LOTS

- Front Yard Setbacks**  
Dwelling Unit - 8 feet  
Garages - 8 feet, except 20 feet for garages facing street
- Rear Yard Setbacks**  
Dwelling Unit - 15 feet  
Garages (attached and detached) - 0 feet
- Side Yard Setbacks**  
Dwelling Unit - 3 feet, except 8 feet for lots adjacent to roadway. Zero lot line is permitted provided 10 feet of separation between dwelling units is maintained.  
Garages (attached and detached) - 0 feet
- Garage Setbacks**
  - Where garages face the street, the garage shall have a minimum setback of 20 feet from the property line.
  - No more than 3 houses in a row with garages facing the street can have a 20 foot setback. Minimum offset for adjacent houses is 3 feet.
  - Garages provided on alleys shall have a minimum rear yard set back of 3 feet to allow for proper turning clearances.

### TOWNHOUSE LOTS

- Front Yard Setbacks**  
Dwelling Unit - 8 feet  
Garages - 8 feet, except 20 feet for garages facing street
- Rear Yard Setbacks**  
Dwelling Unit - 15 feet, or for dwellings with offset rear lot lines, not less than 5 feet provided the average rear yard setback is not less than 15 feet  
Garages (attached and detached) - 0 feet
- Side Yard Setbacks**  
No required side yard setback, except there shall be 8 feet on the street side of corner lots and 3 feet from a side lot line that separates townhouse zone from another zone

### MULTI-FAMILY APARTMENT DEVELOPMENT

- Front Yard Setbacks**  
Dwelling Unit - 15 feet; driveways not less than 20 feet
- Rear Yard Setbacks**  
Dwelling Unit - 15 feet
- Side Yard Setbacks**  
5 feet, except there shall be 10 feet on the street side of corner lots
- Separation**  
Not less than 10 feet between apartment buildings and off-street parking and vehicular circulation areas

### PARKING AREA SETBACKS

- To allow for an appropriately sized landscape buffer adjacent to roadways, parking areas shall be setback as follows:
  - 15 feet, except along Coors Boulevard where the setback shall be 35 feet.

### LANDSCAPE

The development of an overall landscape concept will establish a framework that unifies the property and is complementary to the Rio Grande Bosque. The landscape design should emphasize native and naturalized plant species. All landscaped areas need to be coordinated and responsive to existing environmental conditions and local building policies. These standards are to be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Street Tree Ordinance, and landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

The following are minimum standards for the development of specific landscape plans:

- Significant cottonwoods specimens shall be identified and preserved, where feasible.
- For single family residential projects, street trees shall be provided along roadways at a rate of one tree per 40 linear feet. For multi-family and non-residential projects, they shall be provided along roadways at a rate of one tree per 25 linear feet. They may be randomly or regularly placed.
- Individual lot owners will be responsible for the installation and maintenance of the landscape on their property. All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the lot owner in a living, attractive condition.
- All Private Commons Areas and parkway areas between curb and sidewalk shall be maintained by the developer/owner.



PEDESTRIAN AREAS - should include shade trees

### NON-RESIDENTIAL AND MULTIFAMILY RESIDENTIAL

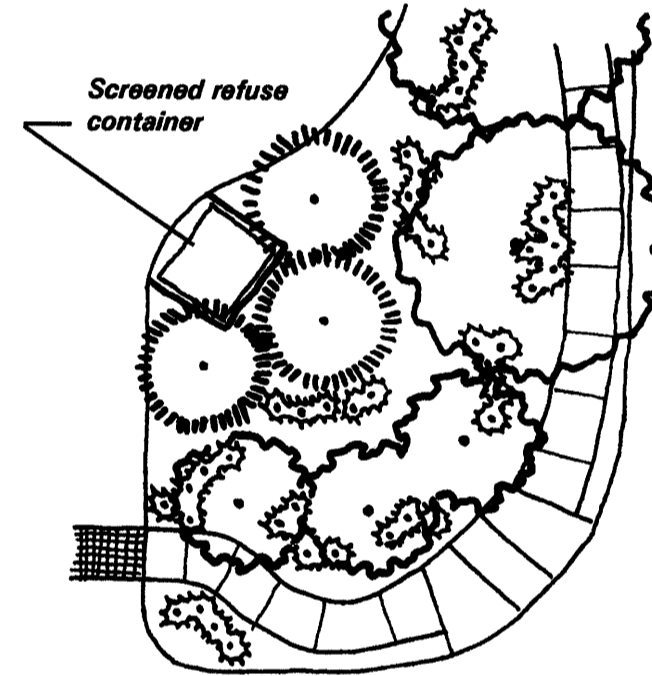
- A minimum of 15 percent of the site area for commercial, office, and multi-family projects (minus the building square footage) shall be devoted to landscape materials.
- Landscaped areas shall be a minimum of 36 square feet and a minimum width of 6 feet. Living, vegetative materials shall cover a minimum of 75 percent of the landscaped areas. The area and percentage is calculated based on the mature canopy size of all plant materials.
- All planting areas not covered with turf shall have a ground topping of river rock, shredded bark, gravel mulch, or similar material which extends completely under the plant material.
- Appropriate landscape headers shall be used to separate any turf and groundcover areas.
- To shade and mitigate the negative visual impact of large expanses of pavement, interior parking areas shall have one tree for each 10 parking spaces with no space being more than 100 feet from a tree.
- 75 percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least 25 feet.
- An automatic underground irrigation system shall be provided to support all required landscaping. Irrigation components should be checked periodically to ensure maximum efficiency.
- All plant materials shall be chosen from the City of Albuquerque's Water Conservation Ordinance Plant List.
- Minimum plant sizes at time of installation shall be as follows:
  - Trees: 1 1/2 inch caliper, or 10 to 12 feet in height
  - Shrubs & Groundcovers: 1 gallon
  - Turf grasses shall provide complete ground coverage within 1 growing season after installation.

### SCREENING / WALLS and FENCES

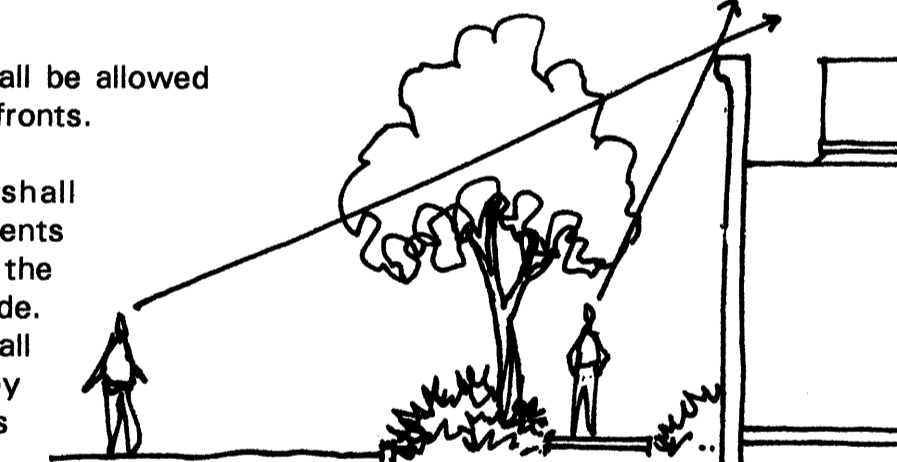
The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on the property. The site orientation of these elements shall be away from any street or pedestrian area. The standards established in the landscape and setback sections will provide the main objectives to screening unattractive elements and activities.

### SCREENING

- Parking areas shall be located away from adjacent streets and properties and shall be screened with plant materials, walls, or earthen berms. Such screening shall have a minimum height of 3 feet. Since the viewing public is from above site topographically, the focus of the screening materials should be on trees.
- All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure which is large enough to contain all trash generated between collections. Trash enclosures shall be screened with plant materials.
- The design and materials for refuse collection enclosures shall be compatible with the architectural theme and materials of the site and adjacent buildings.
- No refuse collection areas shall be allowed between streets and building fronts.
- All mechanical equipment shall meet the screening requirements of Section 14-16-3-1(E)(4) of the Comprehensive City Zoning Code. All mechanical equipment shall be screened from public view by materials of the same nature as the basic materials of the building.



REFUSE CONTAINERS - shall be screened by a 6 foot tall enclosure and plant materials



MECHANICAL SCREENING - should be screened from public view

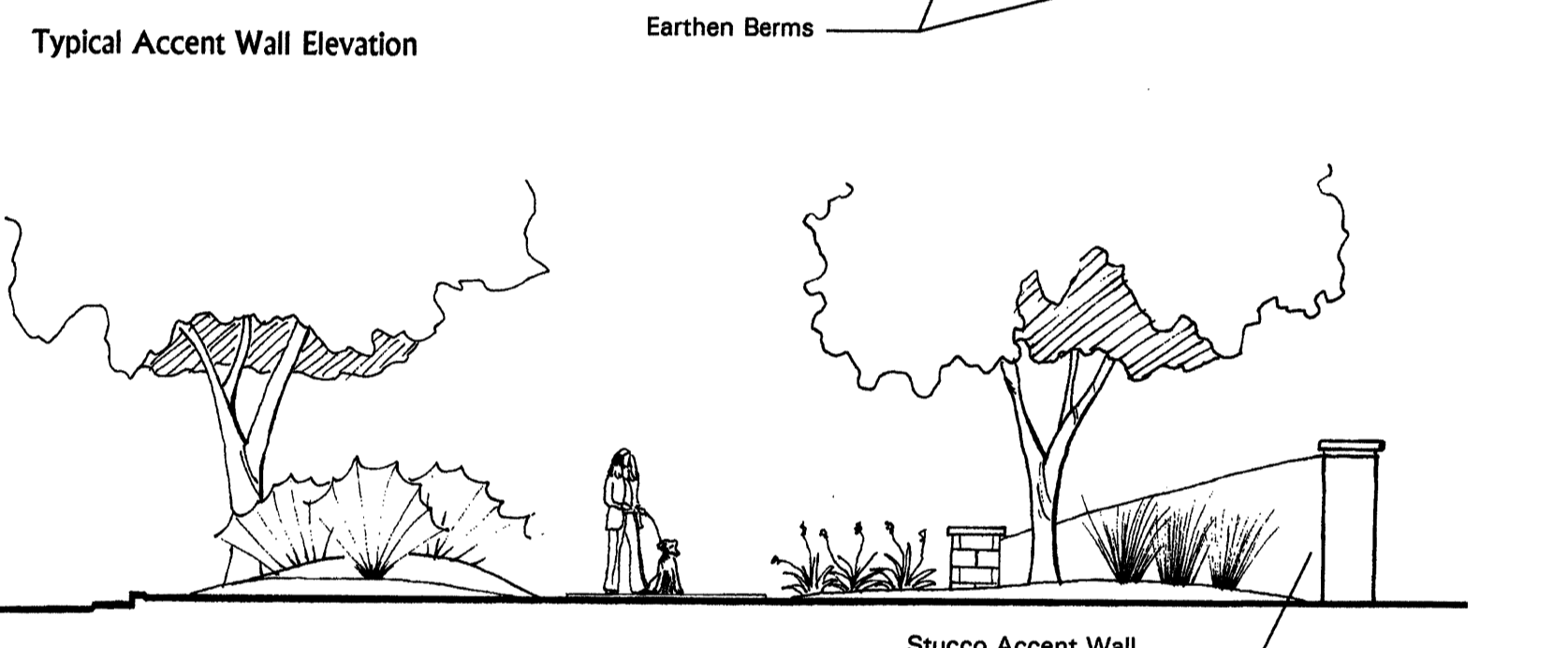
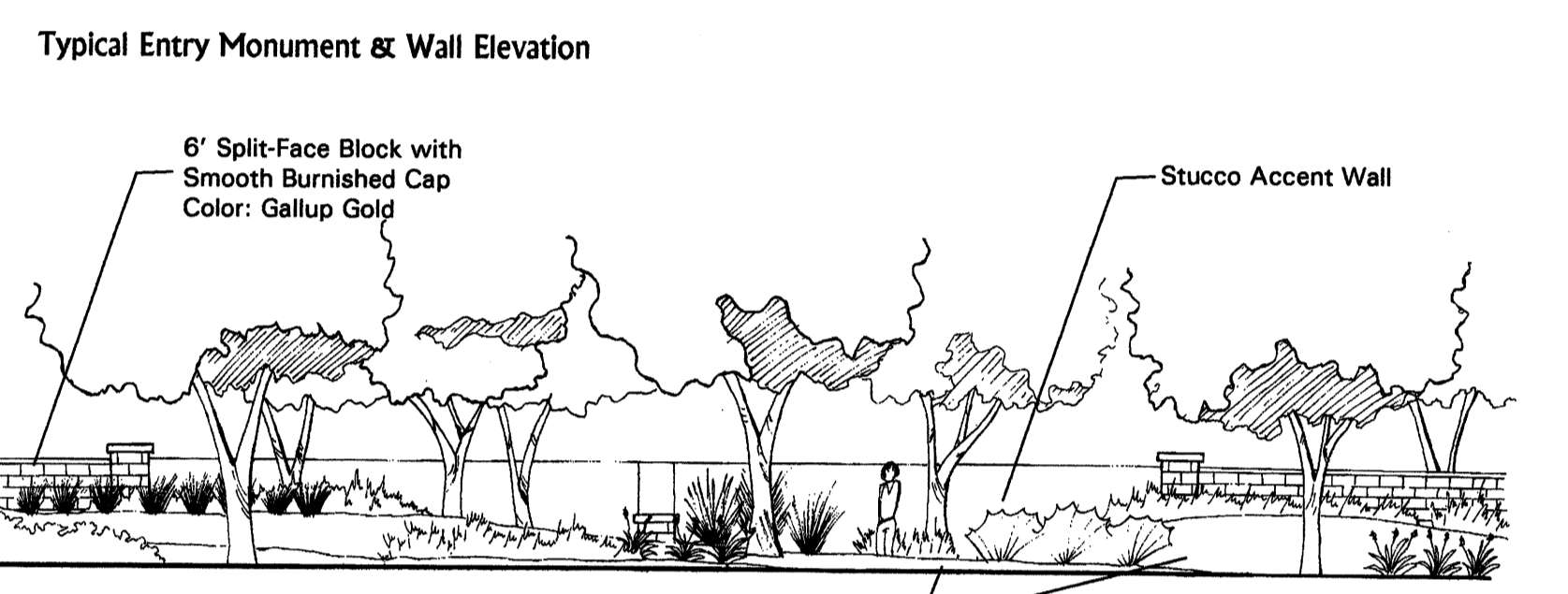
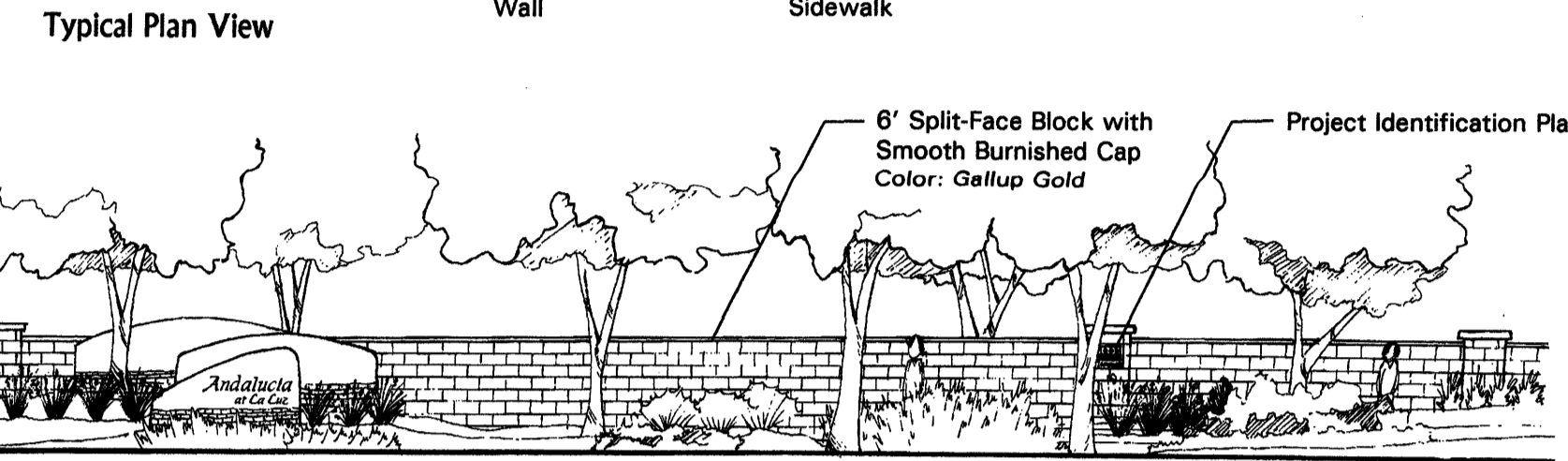
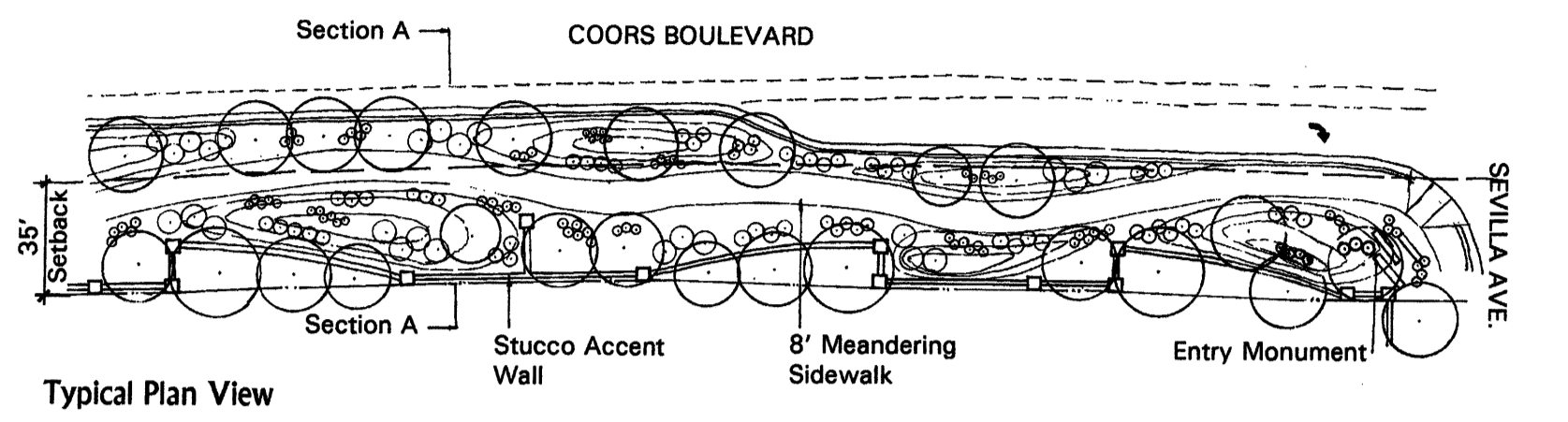
### WALLS/FENCES

Perimeter fencing is allowed on the property; however, an effort should be made by the site designer to lessen its visual impact through landscaping, meandering within a landscape area, and providing openings. Walls and fences shall comply with Section 14-16-3-19, General Height and Design Regulations for Walls, Fences, and Retaining Walls or these Design Standards as specified below. Tensile wire fencing is encouraged for development adjacent to the Bosque to ensure visual access.

- Unfinished block walls and barbed wire, chain link, concertina wire, and plastic/vinyl fencing are prohibited.
- Perimeter walls, if used, shall include pedestrian openings at key locations within the development to ensure convenient access to other areas within the property.
- Clear site distances will be maintained at all driveway locations.
- The maximum height of retaining walls is 8 feet. Areas requiring greater retainage are required to be terraced.
- Materials acceptable for retaining walls are masonry block (no unfinished), split face block, and stone.
- Yard walls shall be constructed of adobe, cast pumice, rammed earth, concrete masonry, rastra or stuccoed masonry block and shall be finished to match adjoining exterior structure walls. Walls shall not exceed 6 feet in height except at the gate opening unless approved by the Architectural Control Committee and the City of Albuquerque.
- The maximum height of the wall adjoining Tract 6A is 6 feet, or a visual opening may be provided in the wall as an alternative.

### COORS BOULEVARD WALL

- The perimeter wall along Coors Boulevard at residential Tract 6B-4 shall be as shown below. Landscape provided shall meet the standards in the City's Street Tree Ordinance.
- The elevation at the top of the wall (including decorative features) along Coors Boulevard shall not exceed 8 feet above the existing elevation of Coors Boulevard in order to allow the wall to undulate in conjunction with the berm.
- With the exception of 3 foot parking lot screen walls, it is not anticipated that there will be a perimeter wall along Coors Boulevard or Montano Road adjacent to the non-residential Tracts 6B-1, 6B-2, and 6B-5.



North  
Andaluca  
at La Luz

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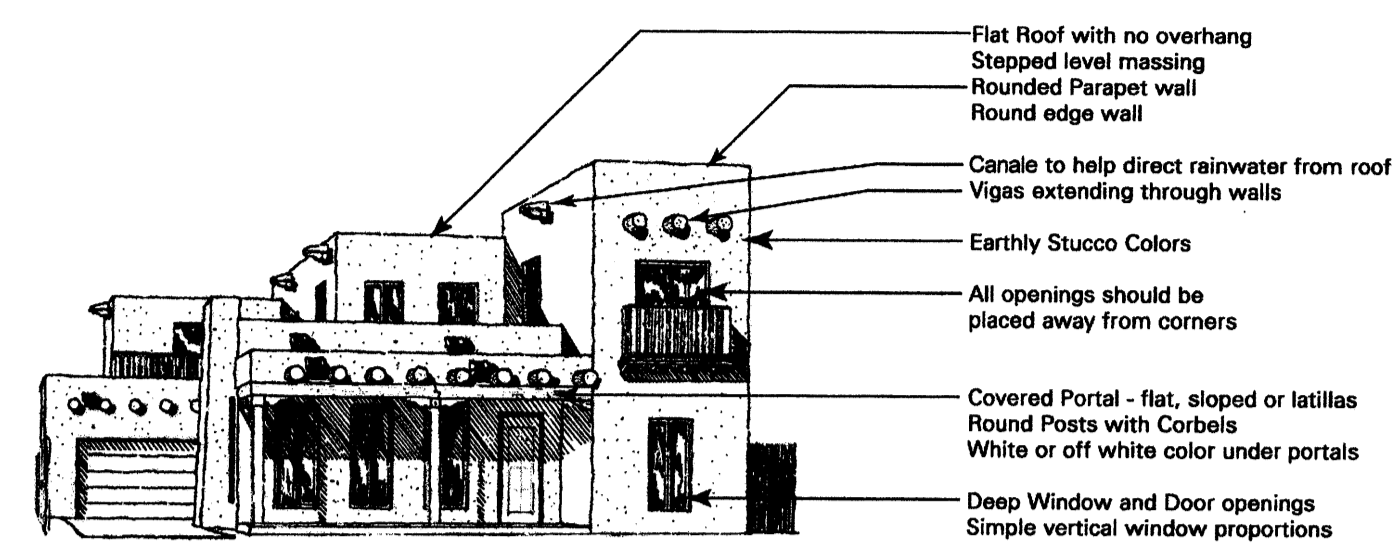
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## ARCHITECTURE

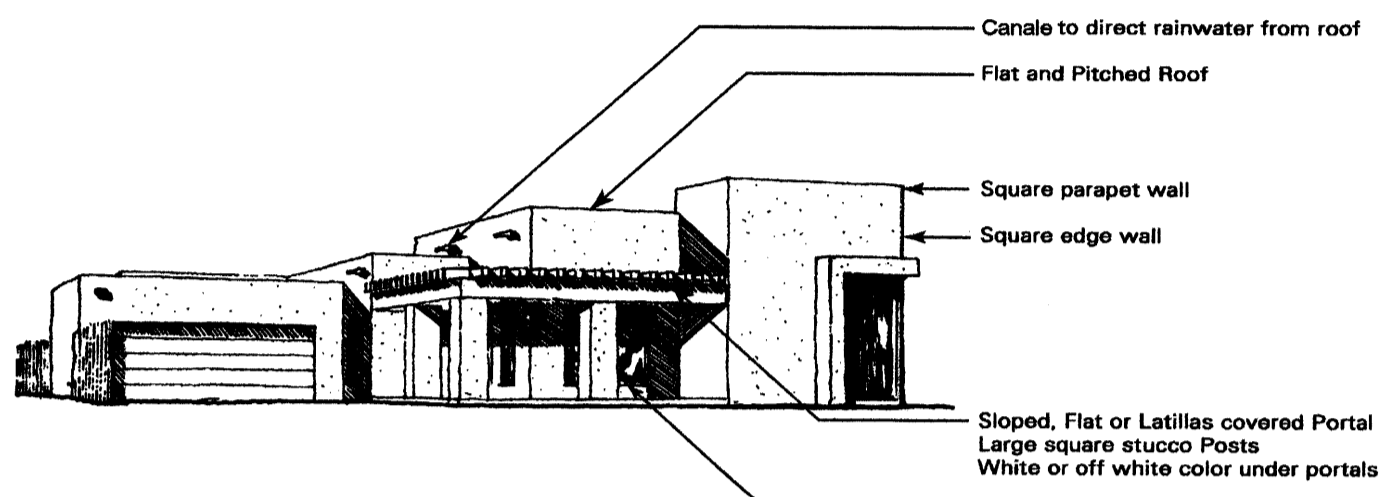
The architectural design should demonstrate a high quality aesthetic character throughout the property and should respond to climate, views, solar access, and aesthetic considerations.

### ARCHITECTURAL STYLES



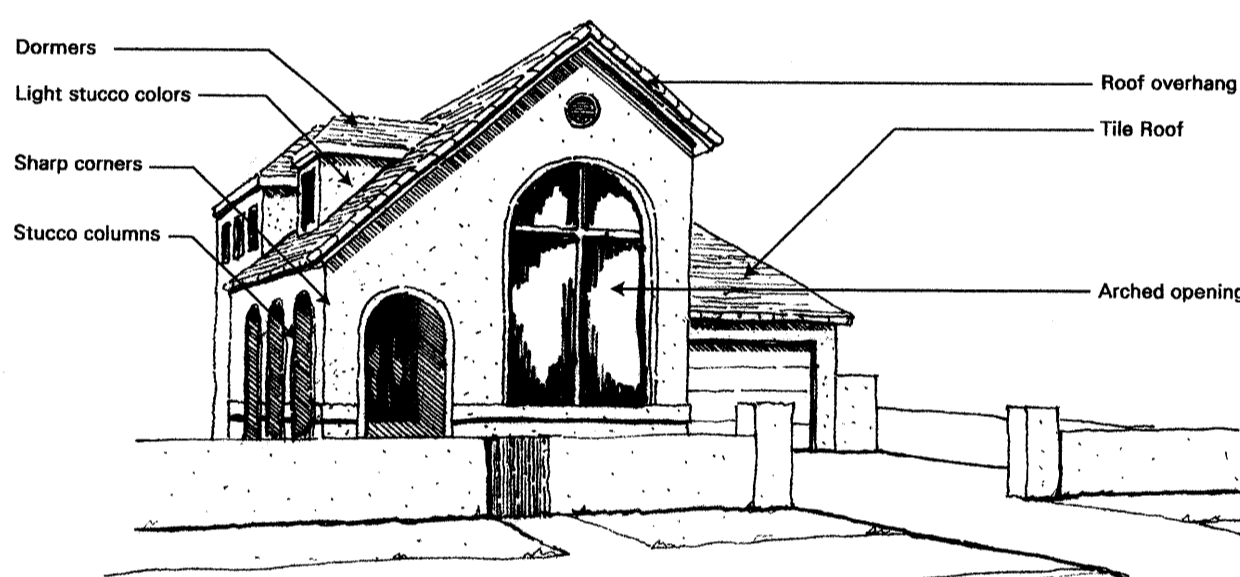
Pueblo Revival

**Pueblo Revival Style** is characterized by either massive adobe brick walls, or wood framing with stucco to give the effect of adobe, projecting vigas, rounded parapets, interspersed with canales, and rounded wood columns with corbels. The flat roof and exterior mud/stucco colors of earth tones are also strong features of this style.



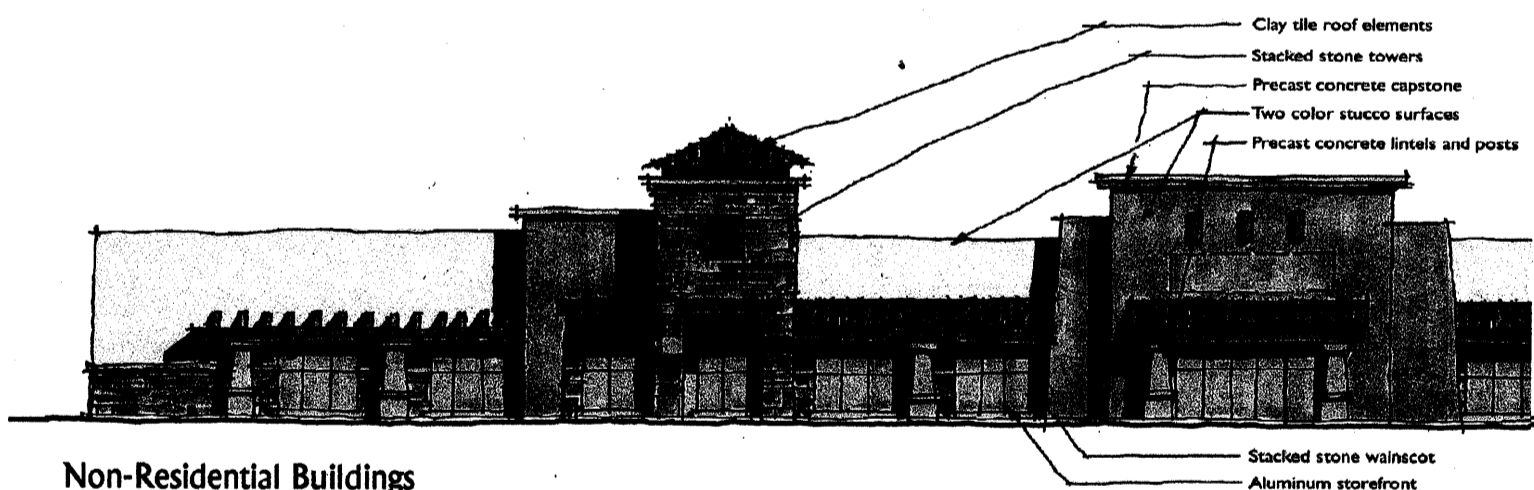
Contemporary Pueblo

**Contemporary Pueblo Style** is a more modern design which reflects much of the traditional Pueblo style architecture, combined with elements of modern architecture. The severe exterior walls are broken by large window openings that extend from floor to ceiling. Square large stucco columns replace the round columns of the Pueblo designs. Exterior colors range from earth tones to much lighter colors.



Spanish Colonial

**Spanish Colonial Style** exhibits authentic Colonial architectural elements brought from Spain and features a central courtyard or walled patio. The severe exterior masonry walls are broken only by an ornamental stone entrance. Most rooms open to a columned galeria which extends the entire length of the enclosed garden patio. The flat roof with red tile roof accents over the galeria and wall copings are common features of this design. Exterior colors range from earth tones to much lighter colors.



Non-Residential Buildings

**Commercial building style** will be a hybrid of New Mexico architectural styles, incorporating stucco surfaces, stacked stone wainscot and tower elements, precast concrete posts, lintels, cap stones, and ramadas, and clay tile roof elements. Materials will be natural rather than synthetic, in warm colors ranging from light to dark tans, terracotta red to deep browns. Roof mounted mechanical equipment will be screened from view by parapets or mechanical screens. Ground-mounted equipment will be screened by building elements or landscaping. All sides of all buildings will be architecturally articulated with the elements described and illustrated above.

### NON-RESIDENTIAL and MULTI-FAMILY RESIDENTIAL STANDARDS

- All non-residential buildings shall comply with Section 14-16-3-18, General Building and Site Design Regulations for Non-Residential Uses of the Comprehensive City Zoning Code, as well as other local building and fire codes.
- Finished building materials shall be applied to all exterior sides of buildings and structures and shall be consistent on all sides. Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of similar conceptual design and materials.
- Generic franchise building elevations or canopies are prohibited.
- No plastic or vinyl building panels, awnings, or canopies are allowed. Awnings and canopies, if used, shall be integrated with building architecture.
- Building heights should be kept to a minimum. Maximum height shall be limited to 45 feet for the ridge of the building to correspond with the Coors Corridor Plan.
- Entry ways to non-residential and multi-family buildings shall be clearly defined.
- No freestanding cell towers or antennas are allowed; rather antenna shall be integrated with the building architecture.

### SINGLE-FAMILY RESIDENTIAL STANDARDS

- Lot Size**
  - Minimum residential lot size shall be 3,500 s.f.
- Front Porches**
  - Front porches are required for each dwelling unit.
  - Front porches and/or portals shall have a minimum 6 foot depth.
- Building Colors and Materials**
  - Highly reflective surfaces shall be screened from public view.
  - Stucco shall be the primary building material. Stucco colors shall be limited to shades of brown, tan, sage green, and sand.
  - Accent colors in entry portals, front door, window frames and trim, and other incidental elements shall be shades of white, blue, brown, and green.
  - Windows may be wood, metal or solid vinyl. All windows visible from nearby street and path shall be glazed with clear, non reflective glass. Reflective film is prohibited.
  - Exterior doors, including garage doors, shall be stained or painted wood, or painted metal.
- Roof Colors and Materials**
  - Roofs may be flat, pitched (tile), or combination of both and shall be made of non-reflective materials. Roof tile color shall be Terracotta Blend.
- Accessory Buildings and Remodels**
  - All accessory buildings and/or building remodeling under 200 square feet are permitted without special approval from the City. Projects that are larger than 200 square feet are required to apply for administrative approval from the City Planning Director.

### LIGHTING

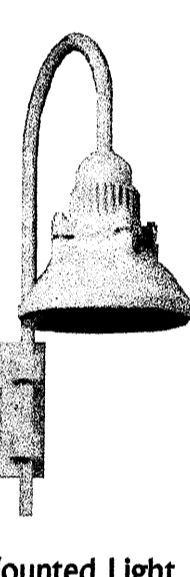
In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and night-time appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.

In order to accomplish the lighting goals, the following guidelines shall be required for the design of the lighting system:

- All lighting shall comply with Section 14-16-3-9, Area Lighting Regulations of the Comprehensive City Zoning Code. Placement of fixtures and standards shall conform to state and local safety and illumination standards.
- All lights shall be shielded source with glare cut off angles of a maximum of 75 degrees to prevent spillage onto adjoining properties or light pollution of the existing "dark sky". Cobra and sodium lights are prohibited.
- The height of street lights and parking area lights shall be kept to a minimum necessary to meet safety requirements.
- Individual site lighting standards shall blend with the architectural character of the buildings and other site fixtures.
- The location of light fixtures shall be identified on subsequent Site Plans for Building Permits. The maximum mounting height of luminaires for pedestrian scale lights shall be 16 feet in height. Consistent with the Coors Corridor Plan, the maximum mounting height of luminaires for parking lot lights shall be a maximum of 20 feet in height, except where they are within 70 feet of residential, they shall be 16 feet in height.
- Neon lights are prohibited in the area of Tract 6B, 300 feet north of Learning Road (see Sheet 1 for location).
- Site lighting shall be restricted to a maximum off-site luminance of 1,000 lamberts from any point and 200 foot lamberts from any residential property line.
- Accent lighting is permitted, however, surface lighting is limited to an average of 2 footcandles measured 4 feet from the surface level of any point on the building surface being lighted.
- Average light levels shall be limited to 2 footcandles with maximum levels limited to 16 footcandles as measured from 4 feet above the surface level of any point on the site.



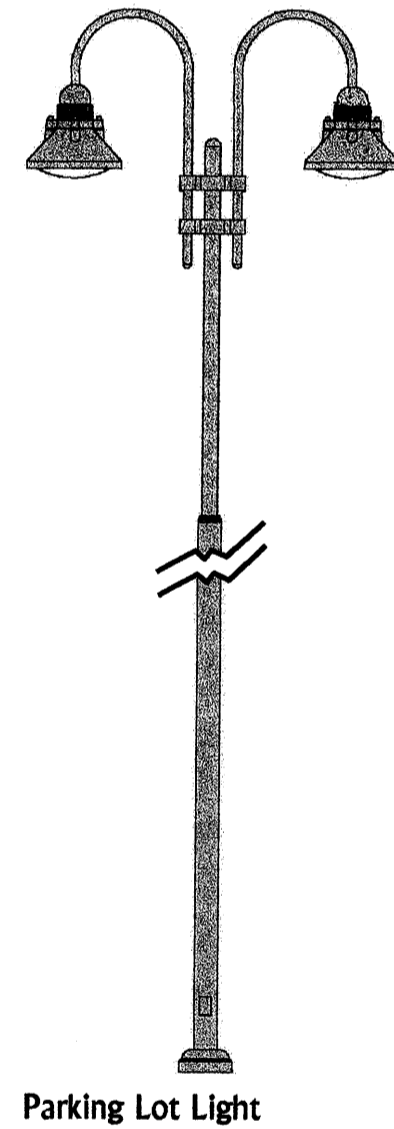
LIGHTING - should be shielded source, with the height kept to a minimum necessary to meet safety standards



Wall Mounted Light



Bollard Light

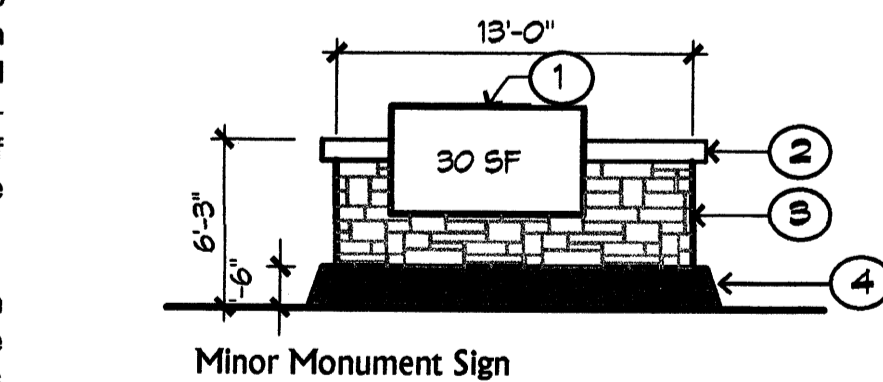


Parking Lot Light

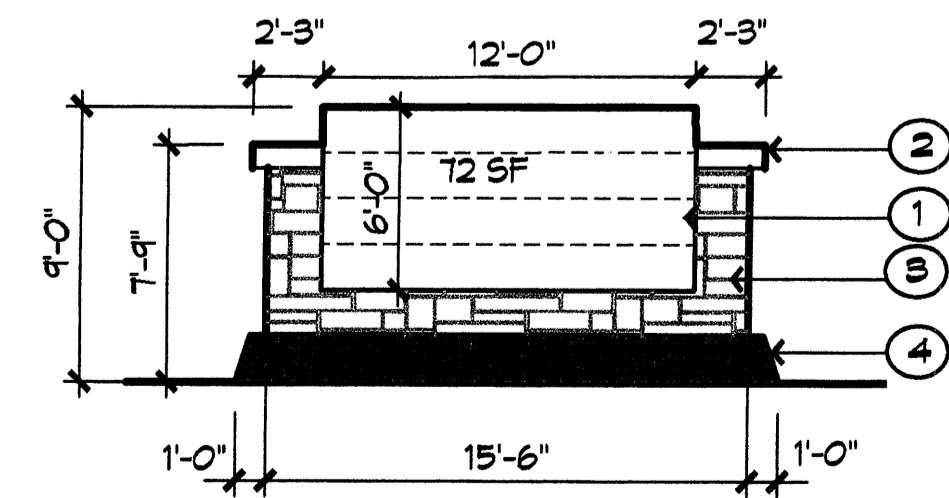
### SIGNAGE

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within North Andalusia at La Luz. The goal is to provide a signage program that is of high quality, maintains a consistent style, creates a sense of arrival, and complements the visual character of the property.

- All signs shall be in compliance with Section 14-16-3-5 General Sign Regulations of the Comprehensive City Zoning Code and the Coors Corridor Plan.
- Entry signs shall be monument type and shall complement the materials, color, and architectural character of the buildings.
- Three project monument signs are allowed at the entries along Coors Boulevard and one minor entry monument sign is allowed on Montano Road as landmarks identifying the project. These project monument signs shall be of similar design and materials as the buildings.
- Project monument signs shall have an overall maximum height of 9 feet and shall identify the tenants in a signage area not to exceed 75 square feet with a total of 10 items of information. Maximum height for individual monument signs shall not exceed 9 feet and shall have a maximum signage area not to exceed 30 square feet.



Minor Monument Sign



Project Monument Sign

- Keyed Notes
- Tenant signage area
  - Precast coping
  - Stone veneer/wainscot with precast cap
  - Precast window sill

- Free-standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.
- No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- Signs shall not overhang into the public right-of-way or extend above the building roof line.
- Off-premise signs and portable signs are prohibited.
- Building-mounted signs shall not exceed 6 percent of the facade area and the lettering shall not exceed 2 feet in height.
- Building-mounted signs shall:
  - Identify the name and business of the occupant or of those offering the premises for sale or lease;
  - Not have too many different colors;
  - Have a significant contrast between the background and the text in order to ensure readability; and
  - Not intrude upon any architectural features, including windows, columns, moldings, or other decorative features.
- No illuminated plastic panel signs are allowed except business logos within the non-residential areas of the property.
- Signs on buildings immediately west of Winterhaven (labeled New Local Street) shall not be lighted.

### UTILITIES

To ensure the overall aesthetic quality of the property and the natural environment, the visual impact of utilities and equipment should be minimized by the following:

- All new electric distribution lines shall be placed underground.
- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.
- Alleys may be used for dry utilities and sewer, wherever possible.
- Utility easements shall be a minimum of 7.5 feet in width and may be spot easements instead of continuous easements for above-ground structures.

### PRIVATE COMMONS AREAS

A defining feature of Andalusia at La Luz is the private commons areas that are spread throughout the community. The City's on-site useable open space requirements are met through a combination of the private commons areas and on-site useable open space.

- Minimum on-lot useable open space shall be as required in the SU-1 Zone: 250 square feet per two bedrooms and 300 square feet for three or more bedrooms.
- Covered outdoor space and balconies shall be considered on-lot useable open space.
- Private commons areas shall be considered as part of meeting the SU-1 useable open space requirements of 2,400 square feet provided the minimum on-lot requirements (as stated above) are met. The private commons areas shall be utilized to meet any deficiency in the 2,400 square foot requirement.

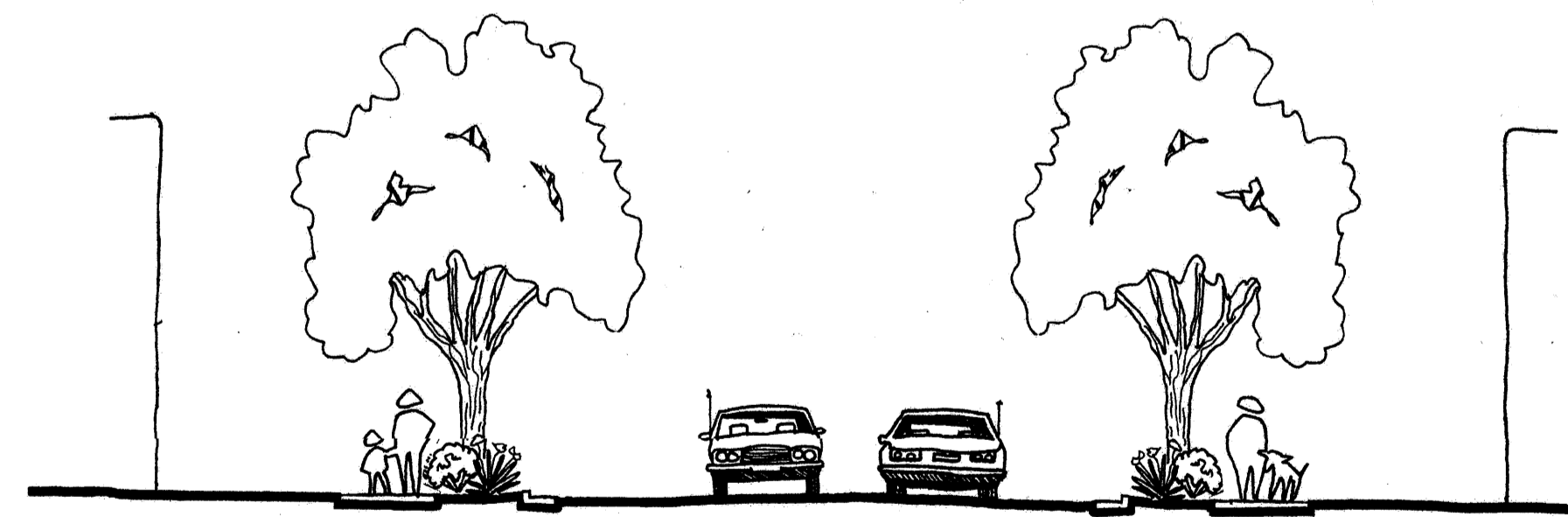
### UNIQUE STREET AND TRAFFIC CALMING STANDARDS

Much attention has been given to the design of the streetscapes at Andalusia at La Luz. These unique standards, along with the treatment given to garages and front yard setbacks, are critical to the success of creating an active, pedestrian-oriented urban community. The intent is to provide relatively short street blocks with a smaller number of lots in order to make the streets as intimate as possible and still meet the City's DPM Standards.

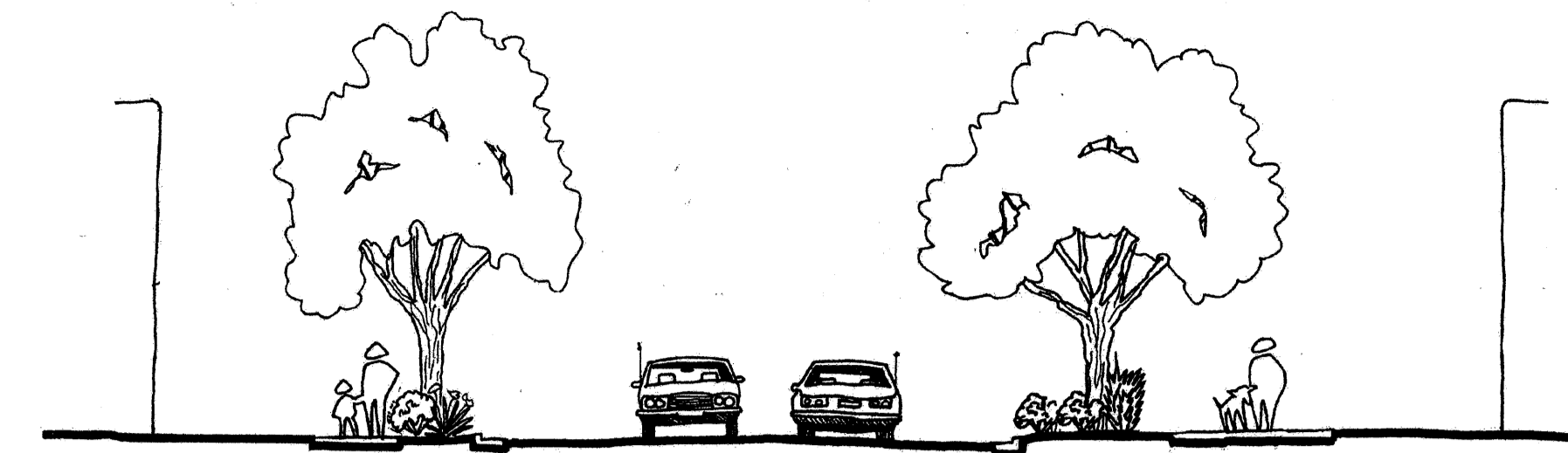
- All street types shall include a 5-6 foot landscaped parkway (actual width depending on street section) and 4 foot sidewalks on both sides of the street.
- Handicapped ramps shall be provided at each intersection, and shall be designed to direct the wheelchair user to the other side of the roadway.
- Bump-outs are allowed in order to slow traffic and to discourage parking close to certain intersections. Where provided, bump-outs shall protrude 4 feet maximum into the right-of-way.
- Curbs shall have a minimum curve radii of 10 feet in order to shorten the distance at pedestrian crossings and provide great pedestrian safety.

### Street Character

The following 60 foot street section will be constructed within Tracts 6B and A. It has been designed in conjunction with the parking standards (see Sheet 2 of 3), and is intended to reduce traffic speeds. The 70 foot section occurs north of the Learning Road/Street B intersection, and includes the 20 foot Learning Road landscape/trail.

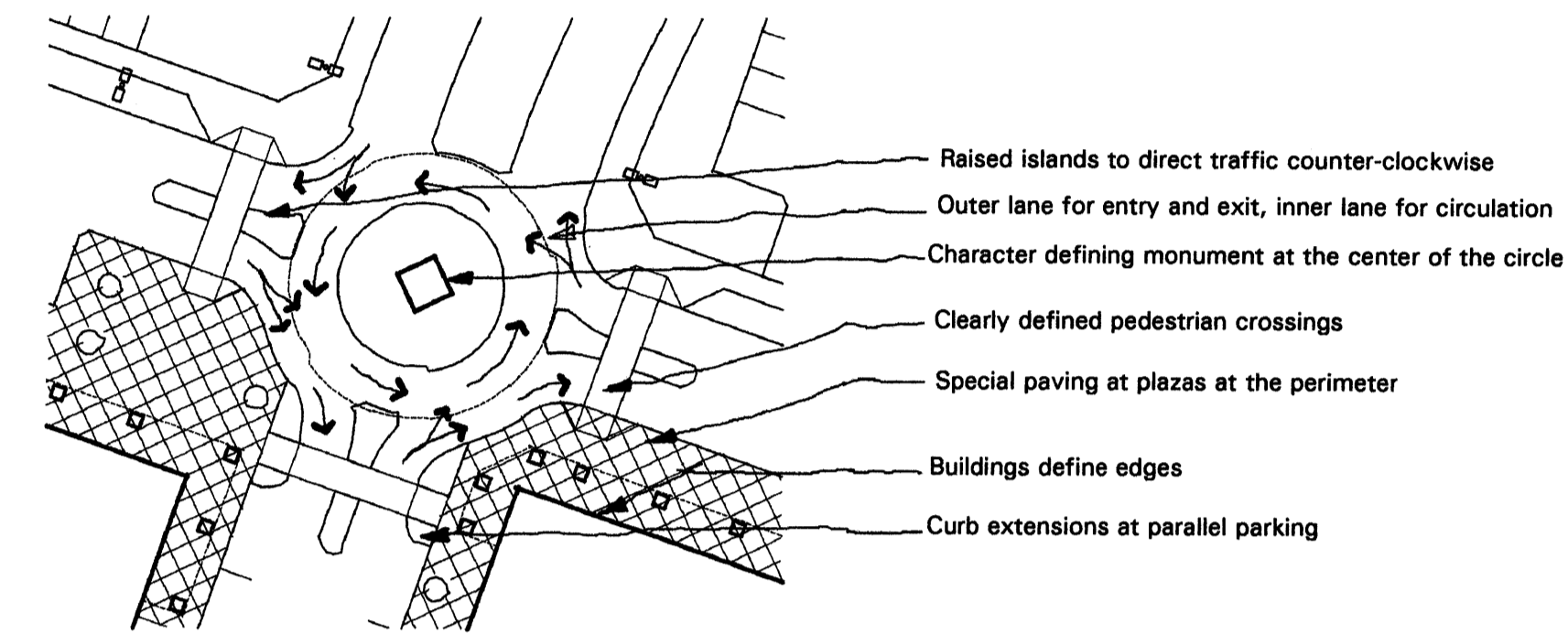


60' Street Section



70' Street Section

**Roundabouts**  
Roundabouts will be utilized as a traffic calming device at major public and private vehicular intersections. Because these locations will be focal points, a character defining monument element will be located at the center of the traffic circle.



Roundabouts

- Roundabouts will meet design requirements of Publications FHWA-RD-00-067 and AASHTO.
- Raised islands with rolled curbs will be used to direct traffic counter-clockwise, and prevent left turn movements. Special paving will be utilized on adjacent pedestrian plaza areas, and crosswalks will provide clear separation between vehicular and pedestrian movements. Traffic will enter and exit on the outer lane, and circulate around the circle on the inner lane.

### TRANSPORTATION DEMAND MANAGEMENT

Pursuant to the Comprehensive Plan policies related to Community Activity Centers, Transportation Demand Management (TDM) is one of the recommendations specific to the implementation of these centers in place of auto based improvements in order to mitigate traffic impacts of a development.

- Future employers that locate within the Andalusia Community Activity Center will be part of the TDM effort designed to help mitigate traffic impacts:
  - Businesses with more than 50 employees shall provide designated carpool parking spaces to encourage carpooling by employees.
  - Businesses should work with employees to encourage carpooling, bus ridership, and alternative modes of transportation.
  - Businesses should post the City trail map and bus route information in employee break rooms or other locations easily accessible to employees.
  - Businesses shall provide conveniently located bicycle racks and facilities to encourage bicycle commuting.
  - The Owner/Developer will also be the contact person with City Transit and Environmental Health Departments for updates, technical assistance, etc.
- As a part of the TDM Program, City Transit should:
  - Work with the residential and non-residential projects to provide efficient routes and schedules to the Andalusia Community Activity Center that address their specific needs; and
  - Work with the Owner/Developer to provide bus routes off of Coors Boulevard and Montano Road and into the interior of the project when feasible.

# North Andalusia at La Luz

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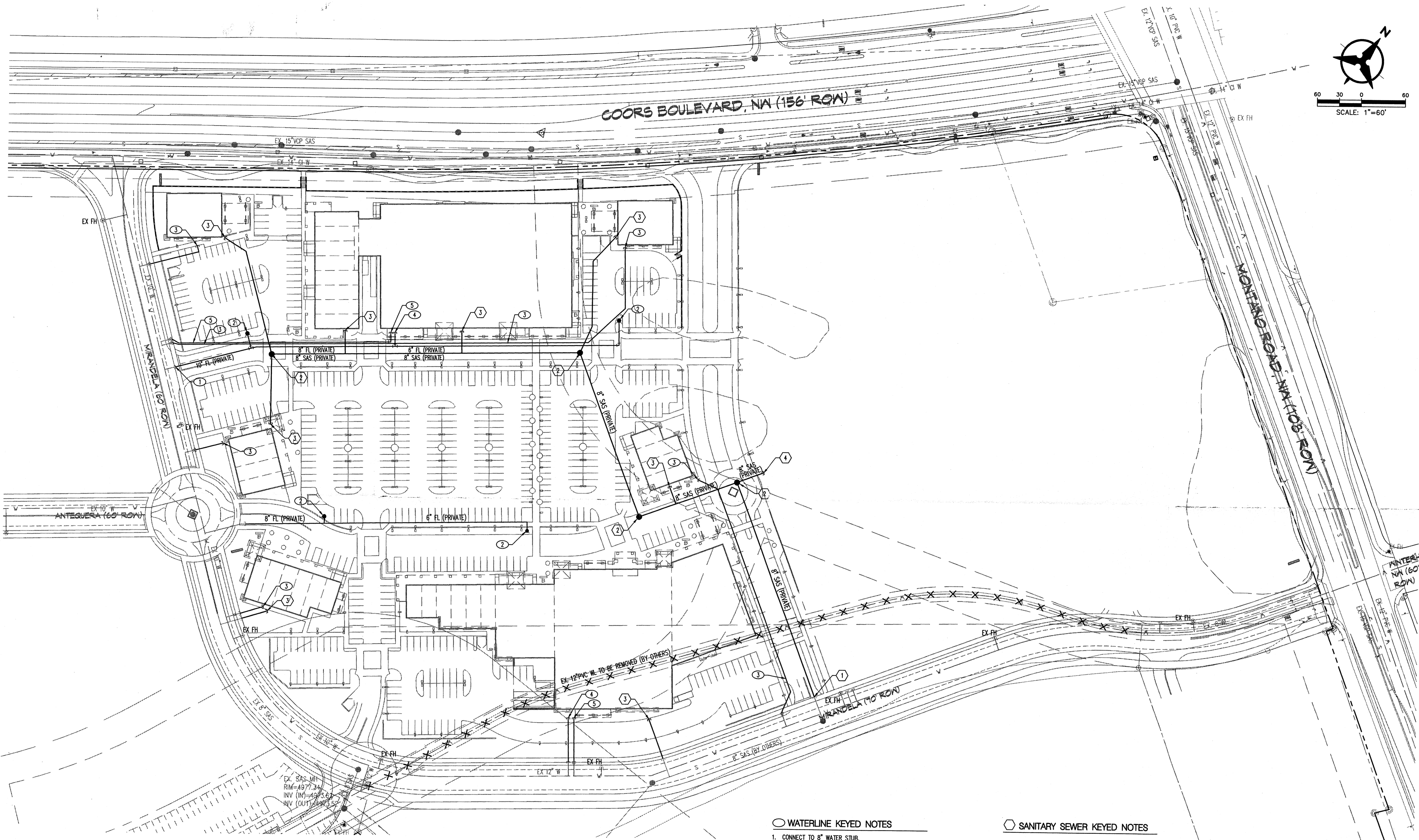
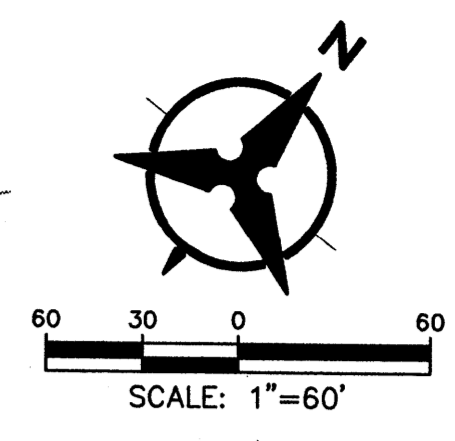
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planning  
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505 761-3900  
Fax 505 761-3900  
dps@psac.com

**Bohannon Huston**  
Courtney | 7500 Jefferson St. NE Albuquerque, NM 87109  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**Andalucia Tract 6B  
Site Development Plan  
Coors and Montano, SEC  
Albuquerque, New Mexico**



**○ WATERLINE KEYED NOTES**

1. CONNECT TO 8" WATER STUB.
2. PROPOSED 6" VALVE AND FIRE HYDRANT (PRIVATE).
3. PROPOSED DOMESTIC WATER SERVICE FOR NON SPRINKLERED BUILDING.
4. PROPOSED FIRE LINE TO SERVE SPRINKLERED BUILDING.
5. PROPOSED DOMESTIC WATER SERVICE FOR SPRINKLERED BUILDING.

NOTE: LOCATIONS OF WATER METERS HAVE NOT BEEN SHOWN AS THE SERVICES MAY CHANGE ONCE DETAILED BUILDING PLANS ARE PREPARED. METERS WILL BE SHOWN ON PLANS ONCE FINAL LOCATIONS ARE KNOWN.

**⬡ SANITARY SEWER KEYED NOTES**

1. CONNECT TO 8" SAS STUB.
2. PROPOSED 4' DIAMETER MANHOLE (PRIVATE).
3. PROPOSED PRIVATE SANITARY SEWER SERVICE.
4. 8" SAS PLUG.

NOTE: SANITARY SEWER SERVICES MAY NEED TO BE MOVED AS DETAILED BUILDING PLANS ARE PREPARED. ADDITIONAL SERVICES MAY BE REQUIRED FOR MULTI-TENANT SPACES, LOCATIONS TO BE DETERMINED.

NOTE: UTILITY AND/OR SANITARY SEWER LINE EASEMENTS WILL BE PROVIDED ON-SITE FOR ALL PUBLIC SANITARY SEWER LINES. PROPOSED EASEMENTS WILL BE DEDICATED ON THE PLAT ASSOCIATED WITH THE DEVELOPMENT OR BY SEPARATE INSTRUMENT.

**REVISIONS**

- ▲
- ▲
- ▲
- ▲

|              |         |
|--------------|---------|
| DRAWN BY     | JTW     |
| REVIEWED BY  | JTW     |
| DATE         | 1/11/06 |
| PROJECT NO.  | 050052  |
| DRAWING NAME |         |

**CONCEPTUAL  
UTILITY PLAN**

SHEET NO.



COORS BOULEVARD NW (156' R.O.W.)

ANTEQUERA RD NW (60' R/W)

MIRANDELA RD NW

LEANING ROAD NW

LEANING ROAD NW

LEANING ROAD NW

LEANING ROAD NW

LEANING ROAD NW

CORRALES RIVERSIDE DRAIN

26' Landscape Buffer

Bldg 6B2.7  
Restaurant  
4,500 sf

Bldg 6B2.8  
Retail  
4,800 sf

Bldg 6B2.9  
Retail  
6,780 sf

Building 6B2.10  
Retail  
6,585 sf

Building 6B2.11  
Retail  
8,000 sf

Machine

(558.00')

(N 51°59'23" E)

(418.55')

(418.55')

70' R.O.W.

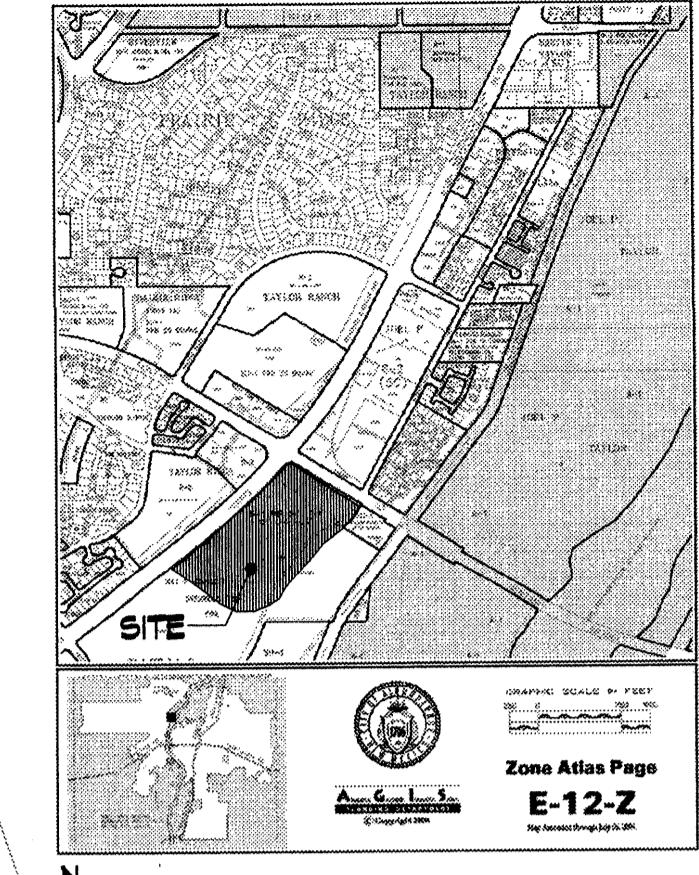
(600.03')

(5 89' 10" E)

ARCHITECT

ENGINEER

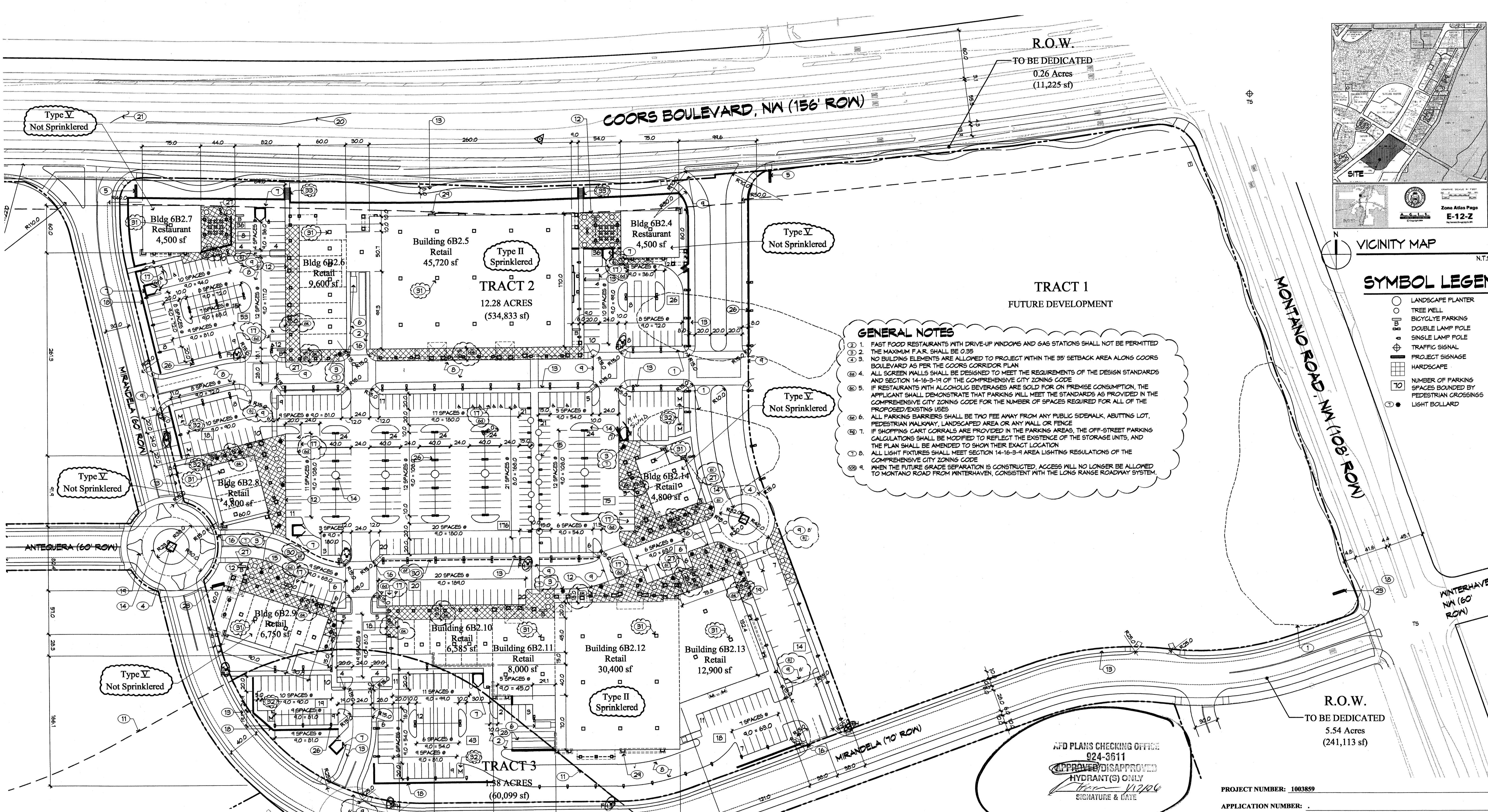
PROJECT



VICINITY MAP  
N.T.S.

**SYMBOL LEGEND**

- LANDSCAPE PLANTER
- TREE WELL
- BICYCLE PARKING
- DOUBLE LAMP POLE
- SINGLE LAMP POLE
- TRAFFIC SIGNAL
- PROJECT SIGNAGE
- HARDSCAPE
- NUMBER OF PARKING SPACES BOUNDED BY PEDESTRIAN CROSSINGS
- LIGHT BOLLARD



**GENERAL NOTES**

1. FAST FOOD RESTAURANTS WITH DRIVE-UP WINDOWS AND GAS STATIONS SHALL NOT BE PERMITTED
2. THE MAXIMUM F.A.R. SHALL BE 0.35
3. NO BUILDING ELEMENTS ARE ALLOWED TO PROJECT WITHIN THE 35' SETBACK AREA ALONG COORS BOULEVARD AS PER THE COORS CORRIDOR PLAN
4. ALL SCREEN WALLS SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE DESIGN STANDARDS AND SECTION 14-16-3-19 OF THE COMPREHENSIVE CITY ZONING CODE
5. IF RESTAURANTS WITH ALCOHOLIC BEVERAGES ARE SOLD FOR ON PREMISE CONSUMPTION, THE APPLICANT SHALL DEMONSTRATE THAT PARKING WILL MEET THE STANDARDS AS PROVIDED IN THE COMPREHENSIVE CITY ZONING CODE FOR THE NUMBER OF SPACES REQUIRED FOR ALL OF THE PROPOSED/EXISTING USES
6. ALL PARKING BARRIERS SHALL BE TWO FEET AWAY FROM ANY PUBLIC SIDEWALK, ABUTTING LOT, PEDESTRIAN WALKWAY, LANDSCAPED AREA OR ANY WALL OR FENCE
7. IF SHOPPING CART CORRALS ARE PROVIDED IN THE PARKING AREAS, THE OFF-STREET PARKING CALCULATIONS SHALL BE MODIFIED TO REFLECT THE EXISTENCE OF THE STORAGE UNITS, AND THE PLAN SHALL BE AMENDED TO SHOW THEIR EXACT LOCATION
8. ALL LIGHT FIXTURES SHALL MEET SECTION 14-16-3-9 AREA LIGHTING REGULATIONS OF THE COMPREHENSIVE CITY ZONING CODE
9. WHEN THE FUTURE GRADE SEPARATION IS CONSTRUCTED, ACCESS WILL NO LONGER BE ALLOWED TO MONTANO ROAD FROM WINTERHAVEN, CONSISTENT WITH THE LONG RANGE ROADWAY SYSTEM.

AFD PLANS CHECKING OFFICE  
924-3511  
APPROVED/DISAPPROVED  
HYDRANT(S) ONLY  
11/17/06  
SIGNATURE & DATE

PROJECT NUMBER: 1003859  
APPLICATION NUMBER: .

**Andalucia Tract 6B  
Site Development Plan  
Coors and Montano, SEC  
Albuquerque, New Mexico**

1-25-2006

REVISIONS  
△ 1/17/2005 EPC Conditions Incorporated Condition # Shown Thus (2)

DRAWN BY: CRG

REVIEWED BY: DATE 6/14/05

PROJECT NO. 04046

DRAWING NAME

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

PARKS AND RECREATION DEPARTMENT DATE

CITY ENGINEER DATE 11/7/06

SOLID WASTE MANAGEMENT DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

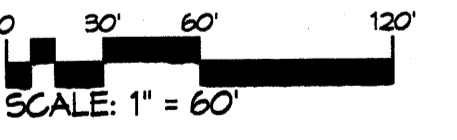
SHEET NO. **A001**  
1 OF 10

**PARKING DATA BY TRACT AND USE (BASED ON SHARED PARKING AGREEMENT)**

| TRACT      | TRACT AREA | FAR  | USE        | BUILDING NUMBER | BUILDING AREA | BREAKDOWN PER ZONE CODE | PARKING RATIO | PARKING REQUIRED | 10% TRANSIT REDUCTION | PARKING PROVIDED |
|------------|------------|------|------------|-----------------|---------------|-------------------------|---------------|------------------|-----------------------|------------------|
| 2          |            | 0.26 | RESTAURANT | 6B2.5           | 45,720        |                         |               |                  |                       |                  |
|            |            |      |            | 6B2.6           | 9,600         |                         |               |                  |                       |                  |
|            |            |      |            | 6B2.7           | 4,500         |                         |               |                  |                       |                  |
|            |            |      |            | 6B2.8           | 4,800         |                         |               |                  |                       |                  |
|            |            |      |            | 6B2.10          | 6,750         |                         |               |                  |                       |                  |
|            |            |      |            | 6B2.11          | 6,585         |                         |               |                  |                       |                  |
|            |            |      |            | 6B2.12          | 8,000         |                         |               |                  |                       |                  |
|            |            |      |            | 6B2.13          | 30,400        |                         |               |                  |                       |                  |
|            |            |      |            | 6B2.14          | 12,900        |                         |               |                  |                       |                  |
|            |            |      |            | 6B2.14          | 4,800         |                         |               |                  |                       |                  |
| SUBTOTAL   |            |      | RESTAURANT | 6B2.4           | 124,555       | FIRST 15,000            | 1/200         | 75               |                       |                  |
|            |            |      | RESTAURANT | 6B2.1           | 4,500         | NEXT 45,000             | 1/250         | 180              |                       |                  |
|            |            |      |            |                 |               | > 60,000                | 1/300         | 232              |                       |                  |
| SUBTOTAL   |            |      |            |                 |               |                         |               | 487              |                       |                  |
| SUBTOTAL   |            |      |            |                 |               |                         |               | 34               |                       |                  |
| SUBTOTAL   |            |      |            |                 |               |                         |               | 34               |                       |                  |
| SUBTOTAL   |            |      |            |                 |               |                         |               | 68               |                       |                  |
| TOTAL      | 594,833    | 0.26 |            |                 | 138,555       |                         |               | 555              | 500                   | 433              |
| 3          |            |      | OFFICE     |                 |               |                         | 1/200         | 0                |                       |                  |
| TOTAL      | 60,099     | 0.0  |            |                 |               |                         |               | 0                |                       | 67               |
| TOTAL      |            |      |            |                 |               |                         |               | 555              | 500                   | 500              |
| ALL TRACTS | 594,832    | 0.23 |            |                 | 138,555       |                         |               | 555              | 500                   | 500              |

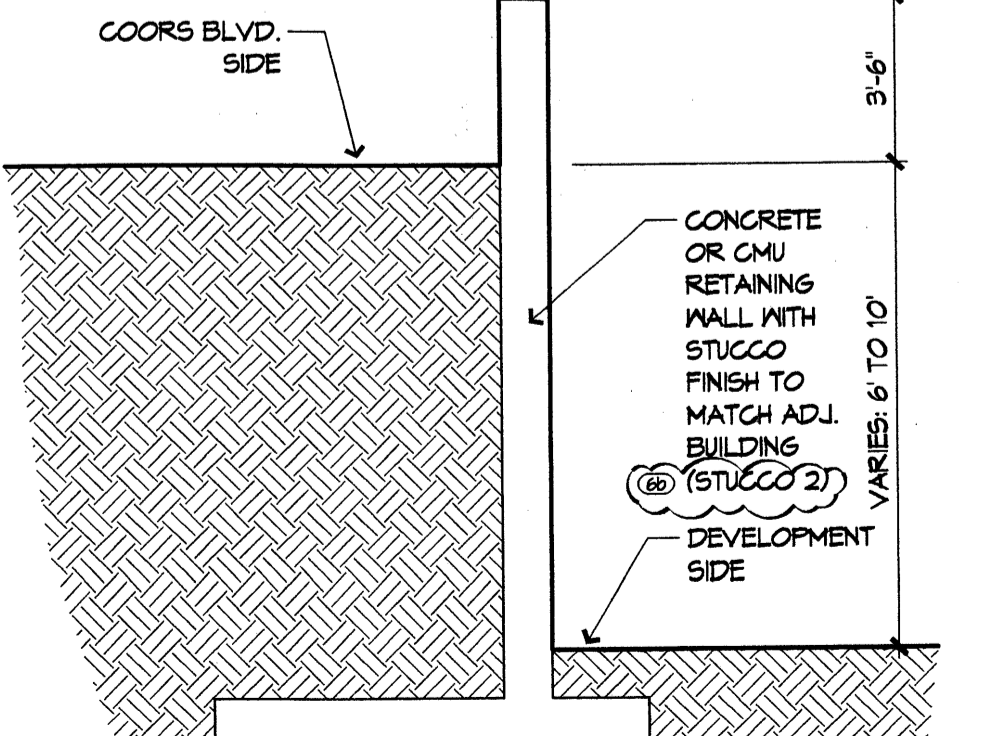
NOTE: 12 HC SPACES REQUIRED: 22 PROVIDED (ALL VAN ACCESSIBLE)  
NOTE: 25 BICYCLE PARKING SPACES REQUIRED: 30 PROVIDED

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**  
1" = 60'



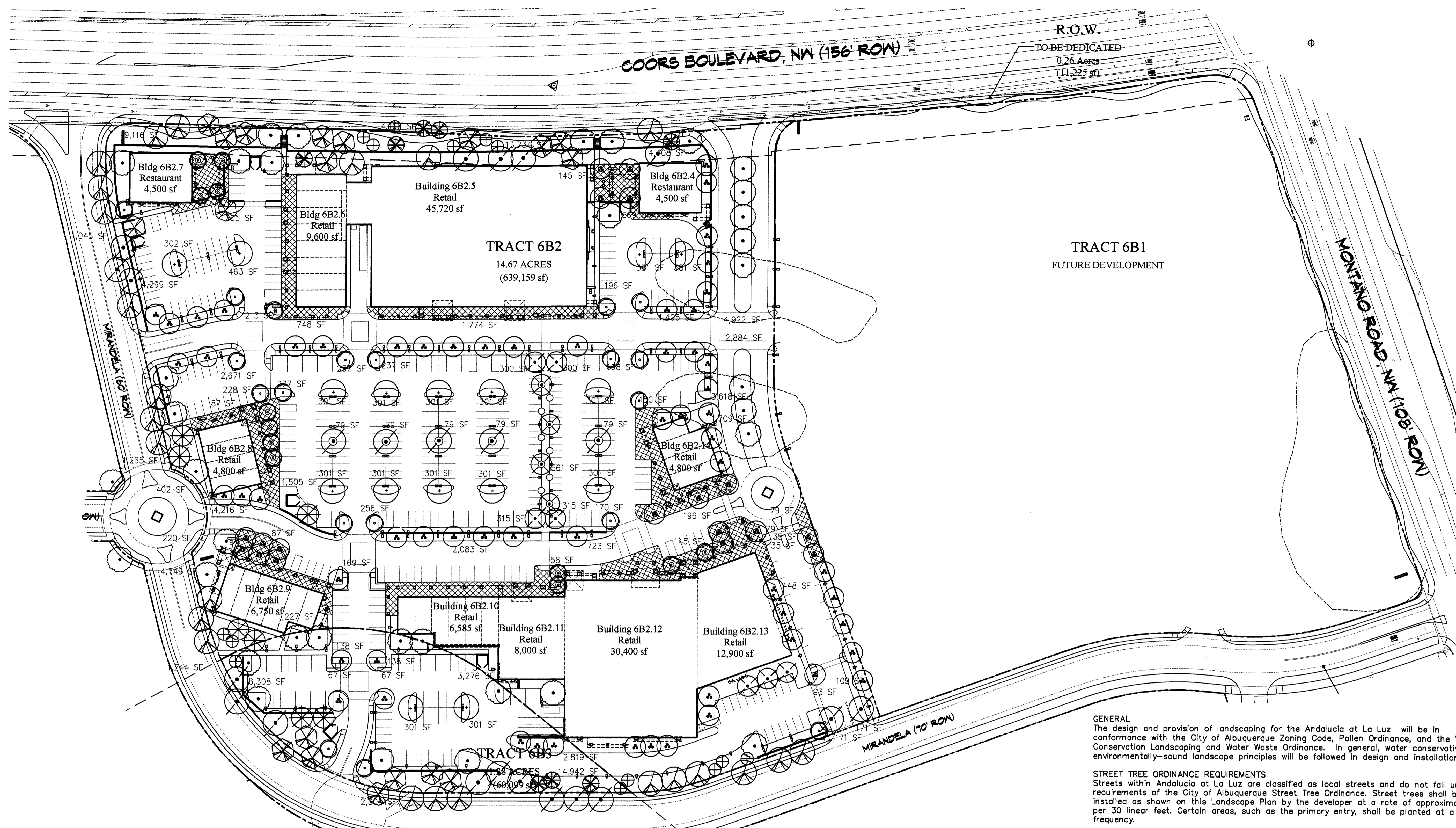
**KEYED NOTES**

1. APPROXIMATE BOUNDS OF ARCHEOLOGICAL AREA
2. LOADING AREA
3. LIGHT BOLLARDS, RE DETAIL 4/A006, ALSO SEE GENERAL NOTE 8
4. DEVELOPMENT IDENTITY TOWER, RE DETAIL 6/A003
5. DEVELOPMENT SIGN, RE DETAIL 1/A003
6. TRASH COMPACTOR
7. REFUSE ENCLOSURE, RE DETAIL 5/A006
8. ASPHALT PAVING, TYPICAL UNLESS NOTED OTHERWISE
9. PEDESTRIAN CROSSING OF SPECIAL PAVING, 10' WIDE TYPICAL U.N.C. (6" MIN.)
10. LOT LINE TO BE REMOVED
11. 300' 0" 1/4" P.D. BUFFER PER SITE DEVELOPMENT PLAN FOR SUB-DIVISION
12. PLAZA AREA / BUILDING ENTRY AREA WITH SPECIAL PAVING
13. CONCRETE SIDEWALK, 6'-0" WIDE U.N.C.
14. LANDSCAPE PLANTER WITH STANDING CURB AT PERIMETER, TYPICAL
15. 6'-0" DIA. TREE WELL WITH CAST IRON GRATE, TYPICAL
16. HANDICAP RAMP AT ALL SIDEWALK AND VEHICULAR INTERSECTIONS, TYPICAL
17. 9' X 20' HANDICAP PARKING SPACE AND 3' X 20' ACCESSIBLE WITH RAMP UP TO SIDEWALK, TYPICAL U.N.C. (REFER DETAIL 3/A003)
18. CMU PARKING AREA SCREEN WALL 3'-0" TALL, FINISH TO MATCH ADJACENT BUILDING
19. TRAFFIC ISLAND WITH ROLLED CURB, TYPICAL
20. NEW LEFT TURN LANE
21. RECONFIGURE CENTER MEDIAN FOR LEFT IN ONLY MOVEMENT
22. RETAINING WALL, RE DETAIL 1/A001
23. DEVELOPMENT SIGN, RE DETAIL 5/A003
24. BIKE LANE CONNECTING TO LEARNING ROAD
25. TRAIL CONNECTING TO LEARNING ROAD
26. PARKING LOT AREA LIGHT, TYPICAL, RE DETAIL 8/A003
27. BICYCLE PARKING FOR 5, (REFER DETAIL 11/A003)
28. COVERED LOADING AREA
29. ARCHITECTURAL FEATURES TO ENHANCE REAR FACADES OF BUILDINGS
30. 3' HIGH WALL OR DENSE LANDSCAPE SCREEN
31. ROOF TOP MECHANICAL UNIT WITH SCREEN WALL, RE DETAIL 10/A003
32. MOTORCYCLE PARKING (6 TOTAL)
33. CONCRETE STAIR, RE 4/A005



**RETAINING WALL**  
1/4" = 1'-0"

**Andalucia Tract 6B  
Site Development Plan  
Coors and Montano, SEC  
Albuquerque, New Mexico**



NOTE:  
Due to the scale of the drawing, shrubs have not been shown.  
See Enlarged Plans on sheet L-02 for typical landscape treatment.

**PLANT LEGEND**

| Symbol | Scientific Name<br>Common Name                  | Size       | Installed Size<br>Mature Size               | Water Use |
|--------|---|------------|---|-----------|
|        | Chilopsis linearis 'Luc. Ham.'<br>Desert Willow | 15-Gal.    | 8' ht. x 6' spr.<br>20' ht. x 25' spr.      | Low +     |
|        | Forestiera neomexicana<br>New Mexico Olive      | 15-Gal.    | 8' ht. x 4' spr.<br>15' ht. x 15' spr.      | Medium    |
|        | Fraxinus oxycarpa 'Raywood'<br>Raywood Ash      | 2" B&B     | 14' ht. x 6' spr.<br>35' ht. x 30' spr.     | Medium+   |
|        | Pistachia chinensis<br>Chinese Pistache         | 2 1/2"     | 14' ht. x 6' spr.<br>B&B 40' ht. x 35' spr. | Medium    |
|        | Platanus wrightii<br>Arizona Sycamore           | 2 1/2" B&B | 16' ht. x 6' spr.<br>70' ht. x 60' spr.     | Medium    |
|        | Prunus cerasifera<br>Purple Leaf Plum           | 2" B&B     | 14' ht. x 6' spr.<br>20' ht. x 20' spr.     | Medium    |

| Symbol | Scientific Name<br>Common Name                      | Size   | Installed Size<br>Mature Size               | Water Use |
|--------|---|--------|---|-----------|
|        | Pinus nigra<br>Austrian Pine                        | B&B    | 8' min. ht.<br>40' ht. x 25' spr.           | Medium +  |
|        | Pyrus calleryana 'Cleveland'<br>Ornamental Pear     | 2" B&B | 14' ht. x 5' spr.<br>45' ht. x 30' spr.     | Medium +  |
|        | Robinia ambigua 'Purple Robe'<br>Purple Robe Locust | 2" B&B | 16' ht. x 6' spr.<br>30' ht. x 30' spr.     | Medium    |
|        | Tilia cordata<br>Little-leaf Linden                 | 2" B&B | 14' ht. x 5' spr.<br>35' ht. x 25' spr.     | Low       |
|        | Vitex agnus-castus<br>Chaste Tree                   | 1-1/2" | 10' ht. x 6' spr.<br>B&B 20' ht. x 20' spr. | Medium    |
|        | Koeleruteria paniculata<br>Goldenrain Tree          | 2" B&B | 12' ht. x 6' spr.<br>20' ht. x 20' spr.     | Medium    |

**LANDSCAPE REQUIREMENTS**

|                          |                  |
|--------------------------|------------------|
| Site Area: 16.05 acres   | 699,256 SF       |
| Building Footprint       | 138,555 SF       |
| Total Area:              | 560,703 SF       |
| Required Landscape %:    | .15              |
| Landscape area Required: | 84,106 SF        |
| Landscape Area Provided: | (26%) 114,763 SF |

**GENERAL**  
The design and provision of landscaping for the Andalucia at La Luz will be in conformance with the City of Albuquerque Zoning Code, Pollen Ordinance, and the Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally-sound landscape principles will be followed in design and installation.

**STREET TREE ORDINANCE REQUIREMENTS**  
Streets within Andalucia at La Luz are classified as local streets and do not fall under the requirements of the City of Albuquerque Street Tree Ordinance. Street trees shall be installed as shown on this Landscape Plan by the developer at a rate of approximately one per 30 linear feet. Certain areas, such as the primary entry, shall be planted at a higher frequency.

**STREET TREE AND PEDESTRIAN FACILITY PALETTE CONCEPT**  
The concept for Street Trees at Andalucia at La Luz is to create a urban streetscape with different plant palettes for each roadway and pedestrian facility.

**MULCHES**  
All shrub planting areas shall be top dressed with crusher fines, 3/4" Santa Fe Brown Rock Mulch, 2" - 4" Santa Ana Tan Cobble

**IRRIGATION SYSTEM**  
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate tree, shrub and groundcover planting areas.

**MAINTENANCE RESPONSIBILITY**  
Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the Owner.

**STATEMENT OF WATER WASTE**  
The Landscape Plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the provided landscape area.

**REVISIONS**

|   |  |
|---|--|
| △ |  |
| △ |  |
| △ |  |
| △ |  |

|               |         |
|---------------|---------|
| DRAWN BY:     | CRG     |
| REVIEWED BY:  | JF      |
| DATE:         | 1/11/06 |
| PROJECT NO.:  | 04046   |
| DRAWING NAME: |         |

**LANDSCAPE PLAN**



**GENERAL**

The design and provision of landscaping for the Andalucia at La Luz will be in conformance with the City of Albuquerque Zoning Code, Pollen Ordinance, and the Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally-sound landscape principles will be followed in design and installation.

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**STREET TREE AND PEDESTRIAN FACILITY PALETTE CONCEPT**

The concept for Street Trees at Andalucia at La Luz is to create an urban streetscape with different plant palettes for each roadway and pedestrian facility.

**PLANT LEGEND**

| Symbol                     | Scientific Name<br>Common Name                             | Size       | Installed Size<br>Mature Size           | Water Use |
|----------------------------|--|------------|---|-----------|
| <b>Trees</b>               |  |            |   |           |
| ⊗                          | <i>Chilopsis linearis</i> 'Luc. Ham.'<br>Desert Willow     | 15-Gal.    | 8' ht. x 6' spr.<br>20' ht. x 25' spr.  | Low +     |
| ⊕                          | <i>Forestiera neomexicana</i><br>New Mexico Olive          | 15-Gal.    | 8' ht. x 4' spr.<br>15' ht. x 15' spr.  | Medium    |
| ⊙                          | <i>Fraxinus oxycarpa</i> 'Raywood'<br>Raywood Ash          | 2" B&B     | 14' ht. x 6' spr.<br>35' ht. x 30' spr. | Medium+   |
| ⊗                          | <i>Pistachia chinensis</i><br>Chinese Pistache             | 2" B&B     | 14' ht. x 6' spr.<br>40' ht. x 35' spr. | Medium +  |
| ⊙                          | <i>Platanus wrightii</i><br>Arizona Sycamore               | 2½" B&B    | 16' ht. x 6' spr.<br>70' ht. x 60' spr. | Medium    |
| ⊙                          | <i>Prunus cerastifera</i><br>Purple Leaf Plum              | 2" B&B     | 14' ht. x 6' spr.<br>20' ht. x 20' spr. | Medium    |
| ⊗                          | <i>Pinus nigra</i><br>Austrian Pine                        | B&B        | 8' min. ht.<br>40' ht. x 25' spr.       | Medium +  |
| ⊙                          | <i>Pyrus calleryana</i> 'Cleveland'<br>Ornamental Pear     | 2" B&B     | 14' ht. x 5' spr.<br>45' ht. x 30' spr. | Medium +  |
| ⊗                          | <i>Robinia ambigua</i> 'Purple Robe'<br>Purple Robe Locust | 2" B&B     | 16' ht. x 6' spr.<br>30' ht. x 30' spr. | Medium    |
| ⊗                          | <i>Tilia cordata</i><br>Little-leaf Linden                 | 2" B&B     | 14' ht. x 5' spr.<br>35' ht. x 25' spr. | Low       |
| ⊗                          | <i>Vitex agnus-castus</i><br>Chaste Tree                   | 1-1/2" B&B | 10' ht. x 6' spr.<br>20' ht. x 20' spr. | Medium    |
| <b>Shrubs/Groundcovers</b> |  |            |   |           |
| ⊕                          | <i>Chrysothamnus nauseosus</i><br>Chamisa                  | 1-Gal.     | 5' o.c.<br>4' ht. x 4' spr.             | Low       |
| ⊗                          | <i>Cytisus scoparius</i><br>Scotch Broom                   | 1-Gal.     | 4' o.c.<br>4' ht. x 4' spr.             | Low +     |
| ⊙                          | <i>Ericameria laricifolia</i> 'Aguirre'<br>Turpentine Bush | 1-Gal.     | 2' o.c.<br>2' ht. x 2' spr.             | Low       |
| ⊗                          | <i>Fallugia paradoxa</i><br>Apache Plume                   | 1-Gal.     | 5' o.c.<br>4' ht. x 4' spr.             | Low       |
| *                          | <i>Hesperaloe parviflora</i><br>Red Yucca                  | 1-Gal.     | 3' o.c.<br>3' ht. x 3' spr.             | Medium    |
| ⊗                          | <i>Perovskia atriplicifolia</i><br>Russian Sage            | 1-Gal.     | 5' o.c.<br>4' ht. x 5' spr.             | Medium    |
| ⊙                          | <i>Rosmarinus officinalis</i><br>Rosemary                  | 1-Gal.     | 3' o.c.<br>3' ht. x 3' spr.             | Low +     |
| ⊕                          | <i>Salvia greggii</i><br>Cherry Sage                       | 1-Gal.     | 3' o.c.<br>3' ht. x 3' spr.             | Medium    |
| <b>Ornamental Grasses</b>  |  |            |   |           |
| ●                          | <i>Mulhenbergia cap.</i> 'Regal Mist'<br>Muhly Grass       | 5-Gal.     | 3' o.c.<br>3' ht. x 3' spr.             | Medium    |
| *                          | <i>Nassella tenuissima</i><br>Threadgrass                  | 1-Gal.     | 3' o.c.<br>3' ht. x 3' spr.             | Low +     |
| ⊗                          | <i>Nolina microcarpa</i><br>Beargrass                      | 5-Gal.     | 5' o.c.<br>4' ht. x 5' spr.             | Low       |
| ⊗                          | <i>Nolina texana</i><br>Beargrass                          | 1-Gal.     | 4' o.c.<br>4' ht. x 4' spr.             | Low       |

⬠ Landscape Boulders - 3' Typical Diameter

⬠ 2" - 4" Santa Ana Tan Cobble

**MULCHES**

All shrub planting areas shall be top dressed with crusher fines and/or 3/4" Santa Fe Brown Rock Mulch

**IRRIGATION SYSTEM**

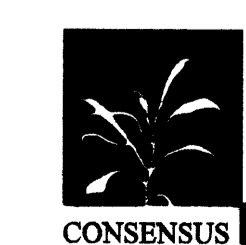
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate tree, shrub and groundcover planting areas.

**MAINTENANCE RESPONSIBILITY**

Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the Owner.

**STATEMENT OF WATER WASTE**

The Landscape Plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the provided landscape area.



**CONSENSUS PLANNING, INC.**  
Planning / Landscape Architecture  
924 Park Avenue SW  
Albuquerque, NM 87102  
(505) 764-9801 Fax 842-5495  
e-mail: cp@consensusplanning.com

Scale 1" = 20'



NORTH



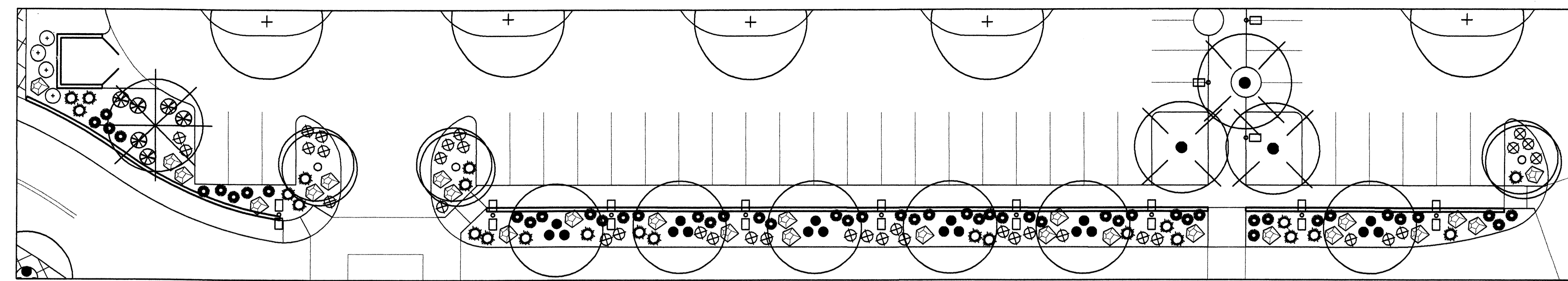
NORTH



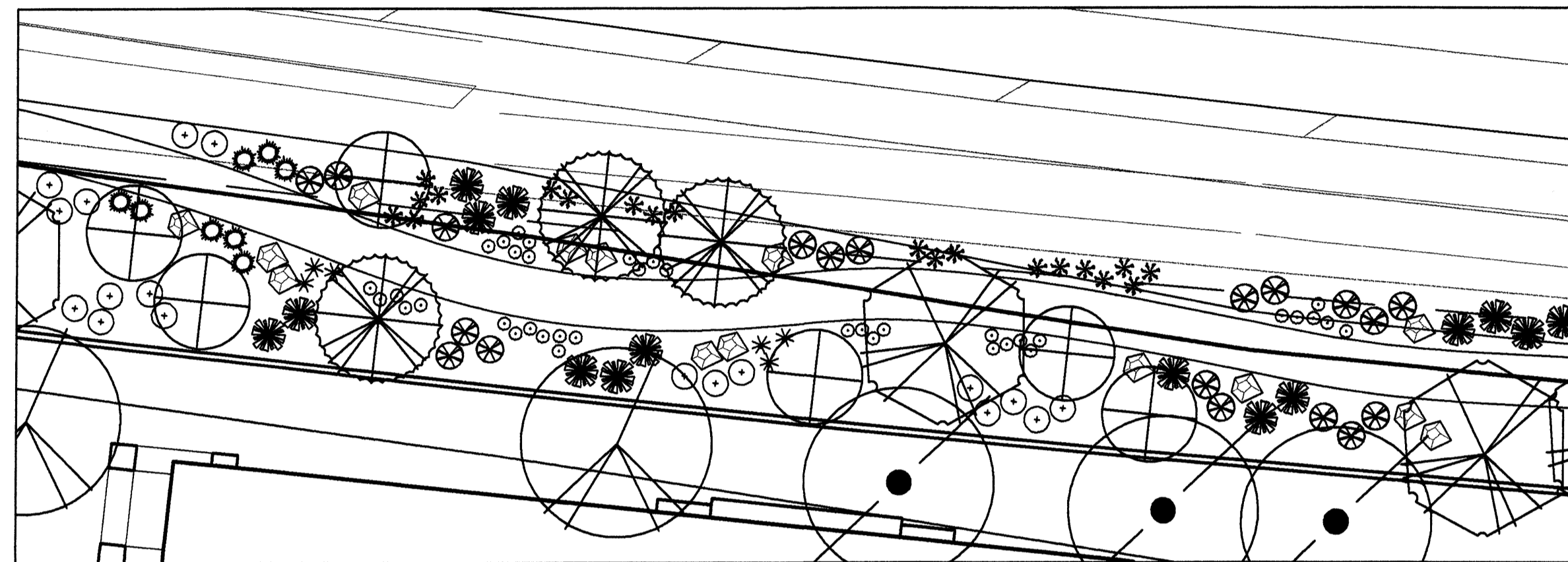
NORTH



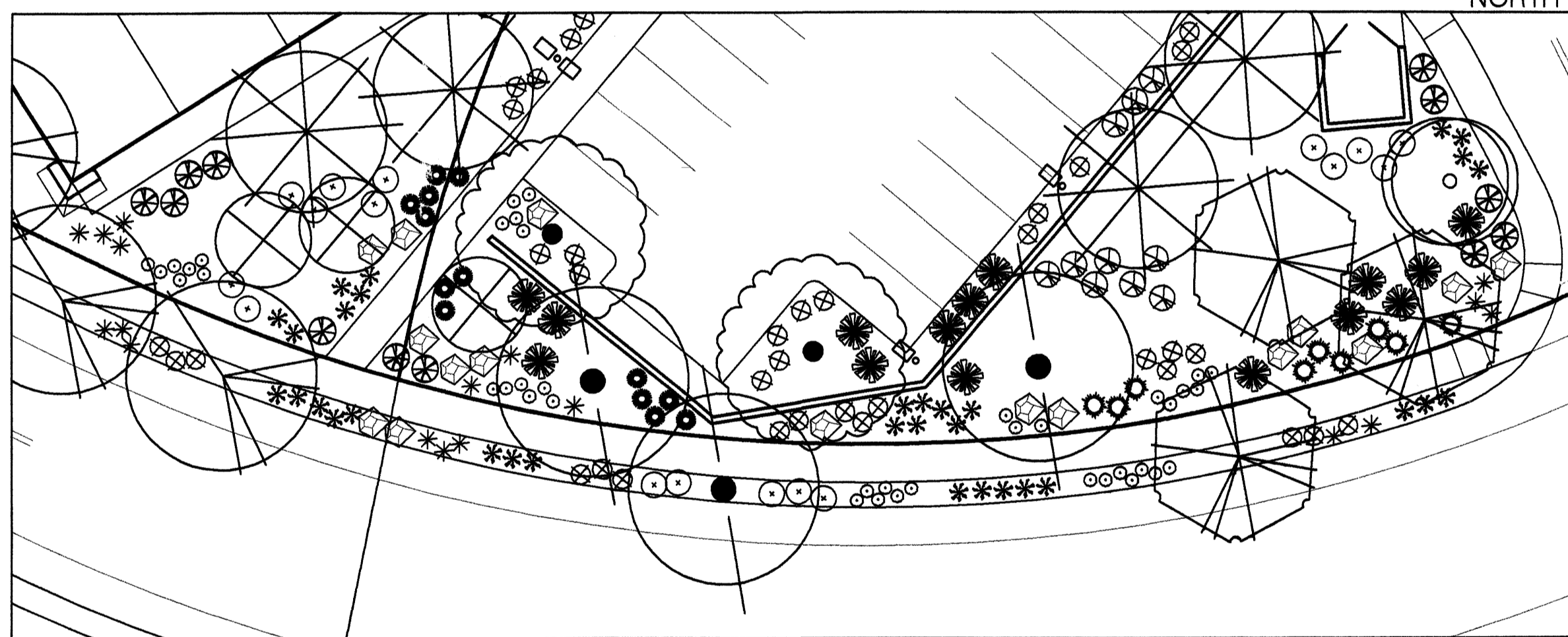
NORTH



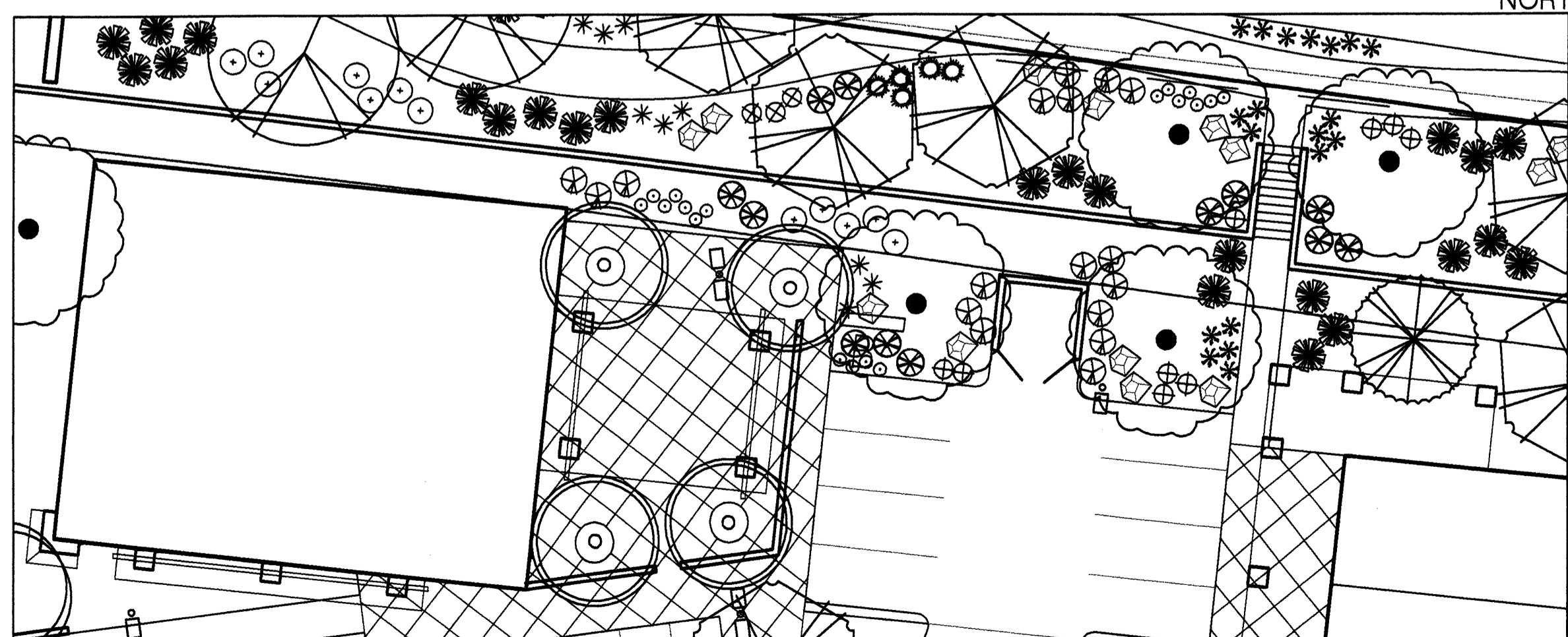
ENLARGED PARKING SCREEN WEST OF BUILDINGS 6B2.9-6B2.12



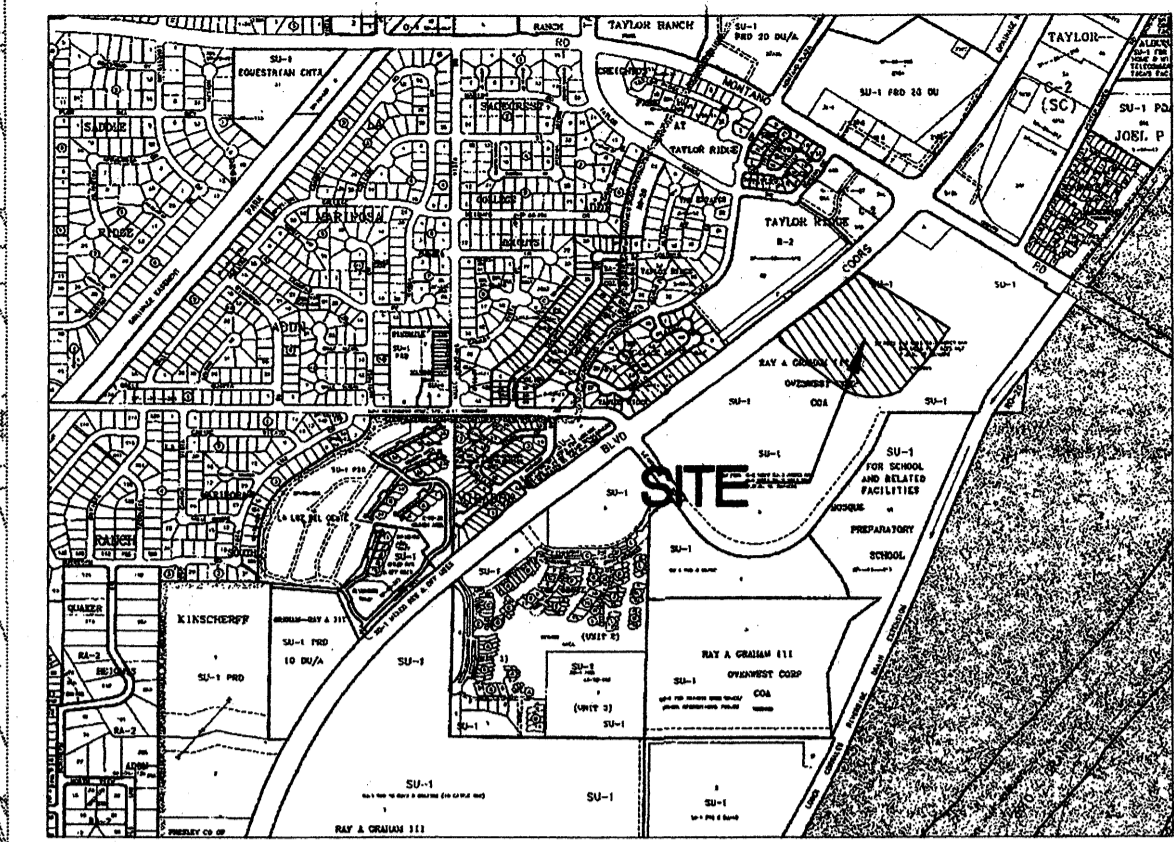
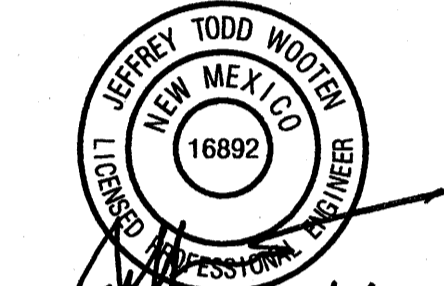
ENLARGED PLANTING PLAN - TYPICAL @ COORS BLVD.



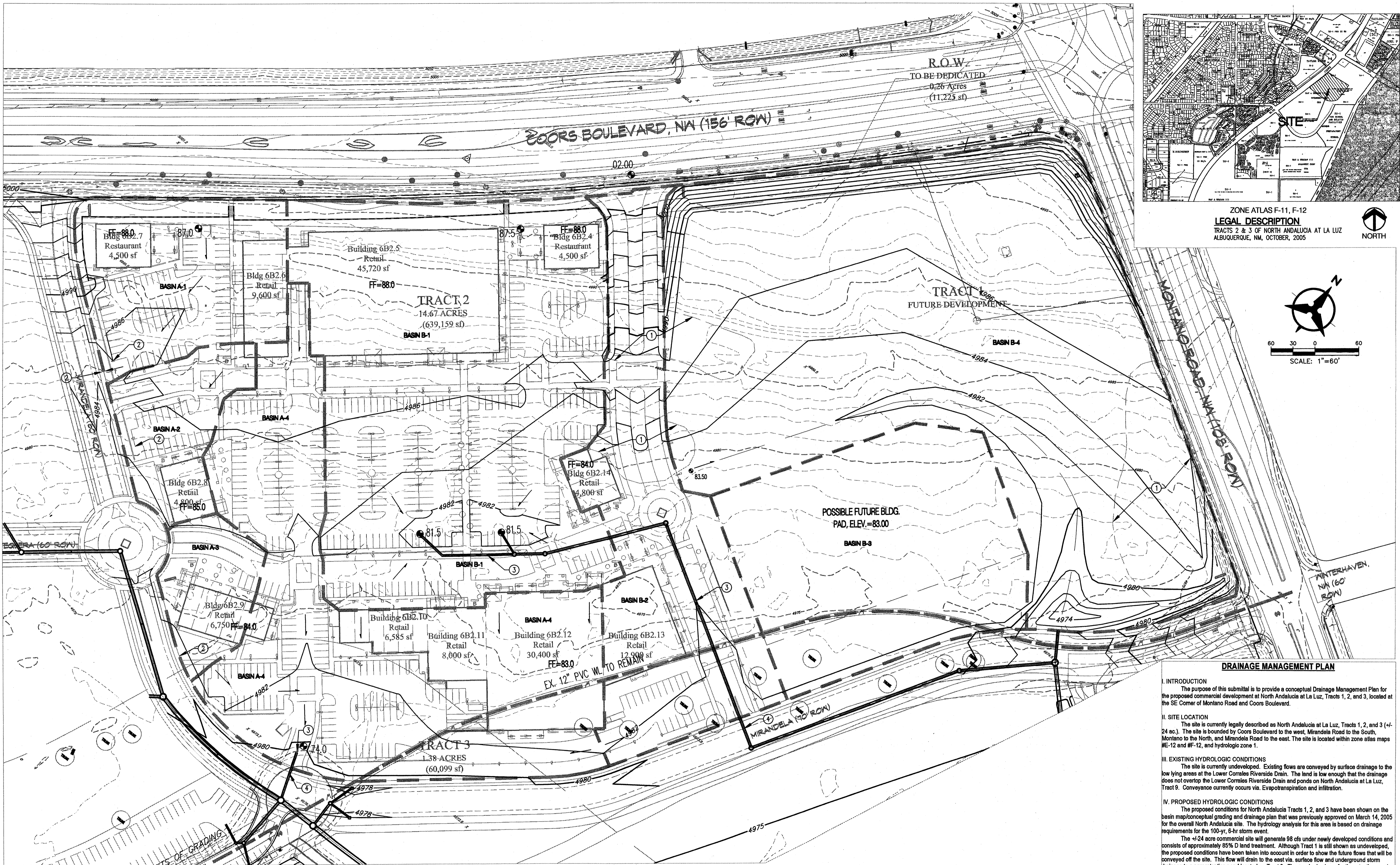
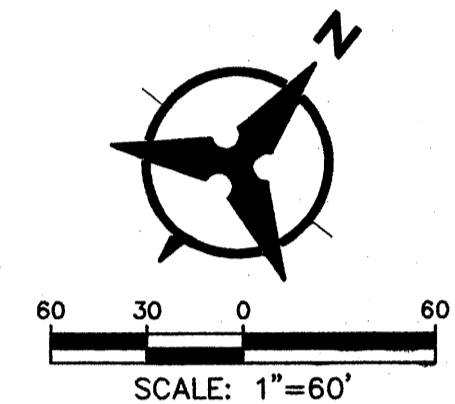
ENLARGED PLANTING PLAN - TYPICAL @ LOCAL STREET



ENLARGED PLANTING PLAN - TYPICAL PLAZA



ZONE ATLAS F-11, F-12  
**LEGAL DESCRIPTION**  
TRACTS 2 & 3 OF NORTH ANDALUCIA AT LA LUZ  
ALBUQUERQUE, NM, OCTOBER, 2005



**DRAINAGE MANAGEMENT PLAN**

**I. INTRODUCTION**  
The purpose of this submittal is to provide a conceptual Drainage Management Plan for the proposed commercial development at North Andalusia at La Luz, Tracts 1, 2, and 3, located at the SE Corner of Montano Road and Coors Boulevard.

**II. SITE LOCATION**  
The site is currently legally described as North Andalusia at La Luz, Tracts 1, 2, and 3 (±24 ac.). The site is bounded by Coors Boulevard to the west, Mirandela Road to the South, Montano to the North, and Mirandela Road to the east. The site is located within zone atlas maps #E-12 and #F-12, and hydrologic zone 1.

**III. EXISTING HYDROLOGIC CONDITIONS**  
The site is currently undeveloped. Existing flows are conveyed by surface drainage to the low lying areas at the Lower Corrales Riverside Drain. The land is low enough that the drainage does not overlap the Lower Corrales Riverside Drain and ponds on North Andalusia at La Luz, Tract 9. Conveyance currently occurs via Evapotranspiration and infiltration.

**IV. PROPOSED HYDROLOGIC CONDITIONS**  
The proposed conditions for North Andalusia Tracts 1, 2, and 3 have been shown on the basin map/conceptual grading and drainage plan that was previously approved on March 14, 2005 for the overall North Andalusia site. The hydrology analysis for this area is based on drainage requirements for the 100-yr, 6-hr storm event.  
The ±24 acre commercial site will generate 98 cfs under newly developed conditions and consists of approximately 85% D land treatment. Although Tract 1 is still shown as undeveloped, the proposed conditions have been taken into account in order to show the future flows that will be conveyed off the site. This flow will drain to the east via surface flow and underground storm drainage to a new retention pond located on Tract 9. The required volume for the retention pond has been calculated as 9.9 acre feet. In the event the 100 year storm is exceeded, a weir structure is currently under design to allow the overflow to spill over the bank of the Lower Corrales Riverside Drain and the excess flow can be conveyed downstream.

**V. CONCLUSION**  
The drainage management plan previously submitted and approved on March 14, 2005 for the Site Plan for Subdivision provides for grading and drainage elements which are capable of safely passing and retaining the 100 year storm and which meet city requirements. With this submittal, we are requesting conceptual grading and drainage plan (Site Development Plan for Building Permit) approval.

**Andalusia Tract 6B  
Site Development Plan  
Coors and Montano, SEC  
Albuquerque, New Mexico**

**REVISIONS**

|   |           |   |
|---|-----------|---|
| △ | 12/1/2005 | EPC Conditions Incorporated Condition # Show This |
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| △ |           |   |

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|--------------|----------|
| DRAWN BY     | EO       |
| REVIEWED BY  | JTN      |
| DATE         | 01/17/06 |
| PROJECT NO.  | 050052   |
| DRAWING NAME |          |

**CONCEPTUAL  
GRADING PLAN**

**NORTH ANDALUCIA SITE BASIN CALCULATIONS**

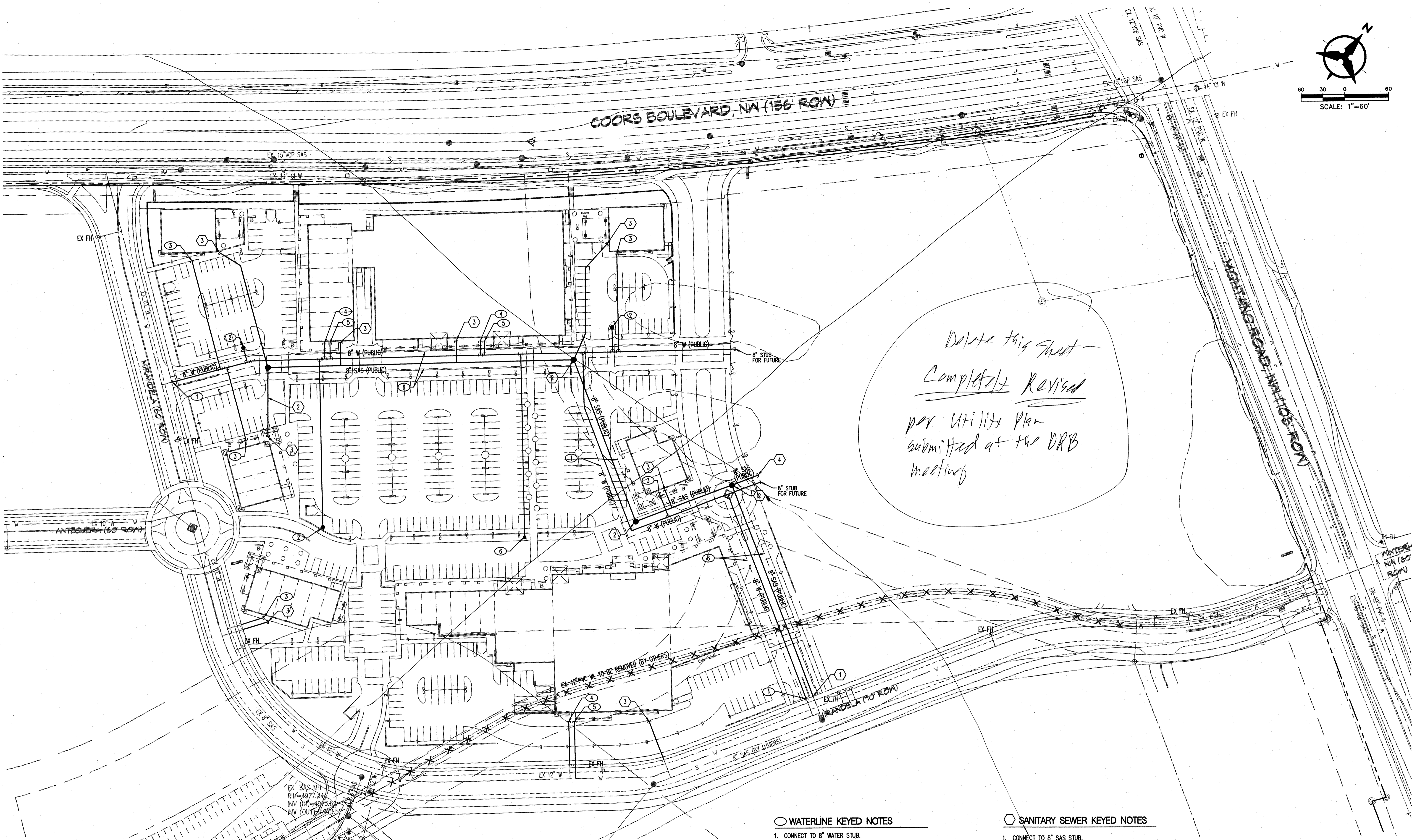
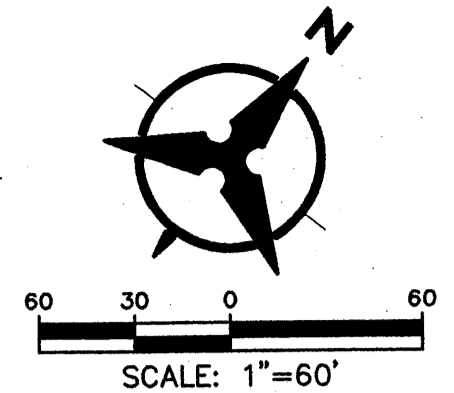
This table is based on the DPM Section 22.2, Zone 1

| BASIN ID     | Area (SQ. FT)  | Area (AC.)   | Land Treatment Percentages |      |       |       | Q(100) (cfs/ac) | Q(100) (cfs) | WT E (Inches) | V(100) <sub>360</sub> (CF) | V(100) <sub>10days</sub> (CF) |
|--------------|----------------|--------------|----------------------------|------|-------|-------|-----------------|--------------|---------------|----------------------------|-------------------------------|
|              |                |              | A                          | B    | C     | D     |                 |              |               |                            |                               |
| A-1          | 60208          | 1.38         | 0.0%                       | 5.0% | 10.0% | 85.0% | 4.10            | 5.67         | 1.81          | 9066                       | 11028                         |
| A-2          | 30227          | 0.69         | 0.0%                       | 5.0% | 10.0% | 85.0% | 4.10            | 2.85         | 1.81          | 4552                       | 9476                          |
| A-3          | 22556          | 0.52         | 0.0%                       | 5.0% | 10.0% | 85.0% | 4.10            | 2.12         | 1.81          | 3397                       | 7071                          |
| A-4          | 168963         | 3.88         | 0.0%                       | 5.0% | 10.0% | 85.0% | 4.10            | 16.91        | 1.81          | 25443                      | 52970                         |
| B-1          | 216564         | 4.97         | 0.0%                       | 5.0% | 10.0% | 85.0% | 4.10            | 20.40        | 1.81          | 32611                      | 67893                         |
| B-2          | 106501         | 2.44         | 0.0%                       | 5.0% | 10.0% | 85.0% | 4.10            | 10.03        | 1.81          | 16037                      | 33388                         |
| B-3          | 111356         | 2.56         | 0.0%                       | 5.0% | 10.0% | 85.0% | 4.10            | 10.49        | 1.81          | 16788                      | 34910                         |
| B-4          | 324426         | 7.45         | 0.0%                       | 5.0% | 10.0% | 85.0% | 4.10            | 30.56        | 1.81          | 48853                      | 101708                        |
| <b>TOTAL</b> | <b>1040801</b> | <b>23.89</b> |                            |      |       |       |                 | <b>98.04</b> |               | <b>156727.28</b>           | <b>318444.00</b>              |
|              |                |              |                            |      |       |       |                 |              |               | <b>3.60</b>                | <b>ACRE-FT</b>                |

**KEYED NOTES**

- EXISTING ARCHAEOLOGICAL AREA. THIS AREA SHALL NOT BE CUT OTHER THAN FOR CLEARING AND GRUBBING.
- SIDEWALK CULVERT PER COA STD. DWG. 2236. FINAL LOCATIONS TO BE DETERMINED WITH BUILDING PERMIT SUBMITTAL AND TO BE PLACED PER THE CITY CRITERIA.
- PRIVATE DRAINAGE SYSTEM TO CONNECT TO STUB-OUTS PROVIDED AS PART OF THE PUBLIC INFRASTRUCTURE (BY OTHERS). FINAL DESIGN OF PRIVATE DRAINAGE SYSTEM TO BE DETERMINED WITH BUILDING PERMIT SUBMITTAL.
- NEW PUBLIC DRAINAGE SYSTEM (BY OTHERS).

**Andalucia Tract 6B  
Site Development Plan  
Coors and Montano, SEC  
Albuquerque, New Mexico**



**○ WATERLINE KEYED NOTES**

1. CONNECT TO 8" WATER STUB.
2. PROPOSED 6" VALVE AND FIRE HYDRANT.
3. PROPOSED DOMESTIC WATER SERVICE FOR NON SPRINKLERED BUILDING.
4. PROPOSED FIRE LINE TO SERVE SPRINKLERED BUILDING.
5. PROPOSED DOMESTIC WATER SERVICE FOR SPRINKLERED BUILDING.
6. JOINT WATERLINE AND SANITARY SEWER EASEMENT WILL BE PROVIDED ON-SITE FOR ALL PUBLIC WATER AND SANITARY SEWER LINES. PROPOSED EASEMENTS WILL BE DEDICATED BY PAPER DOCUMENT.

NOTE: LOCATIONS OF WATER METERS HAVE NOT BEEN SHOWN AS THE SERVICES MAY CHANGE ONCE DETAILED BUILDING PLANS ARE PREPARED. METERS WILL BE SHOWN ON PLANS ONCE FINAL LOCATIONS ARE KNOWN.

**⬡ SANITARY SEWER KEYED NOTES**

1. CONNECT TO 8" SAS STUB.
2. PROPOSED 4' DIAMETER MANHOLE.
3. PROPOSED PRIVATE SANITARY SEWER SERVICE.
4. 8" SAS PLUG.

NOTE: SANITARY SEWER SERVICES MAY NEED TO BE MOVED AS DETAILED BUILDING PLANS ARE PREPARED. ADDITIONAL SERVICES MAY BE REQUIRED FOR MULTI-TENANT SPACES, LOCATIONS TO BE DETERMINED.

NOTE: UTILITY AND/OR SANITARY SEWER LINE EASEMENTS WILL BE PROVIDED ON-SITE FOR ALL PUBLIC SANITARY SEWER LINES. PROPOSED EASEMENTS WILL BE DEDICATED ON THE PLAT ASSOCIATED WITH THE DEVELOPMENT OR BY SEPARATE INSTRUMENT.

**REVISIONS**

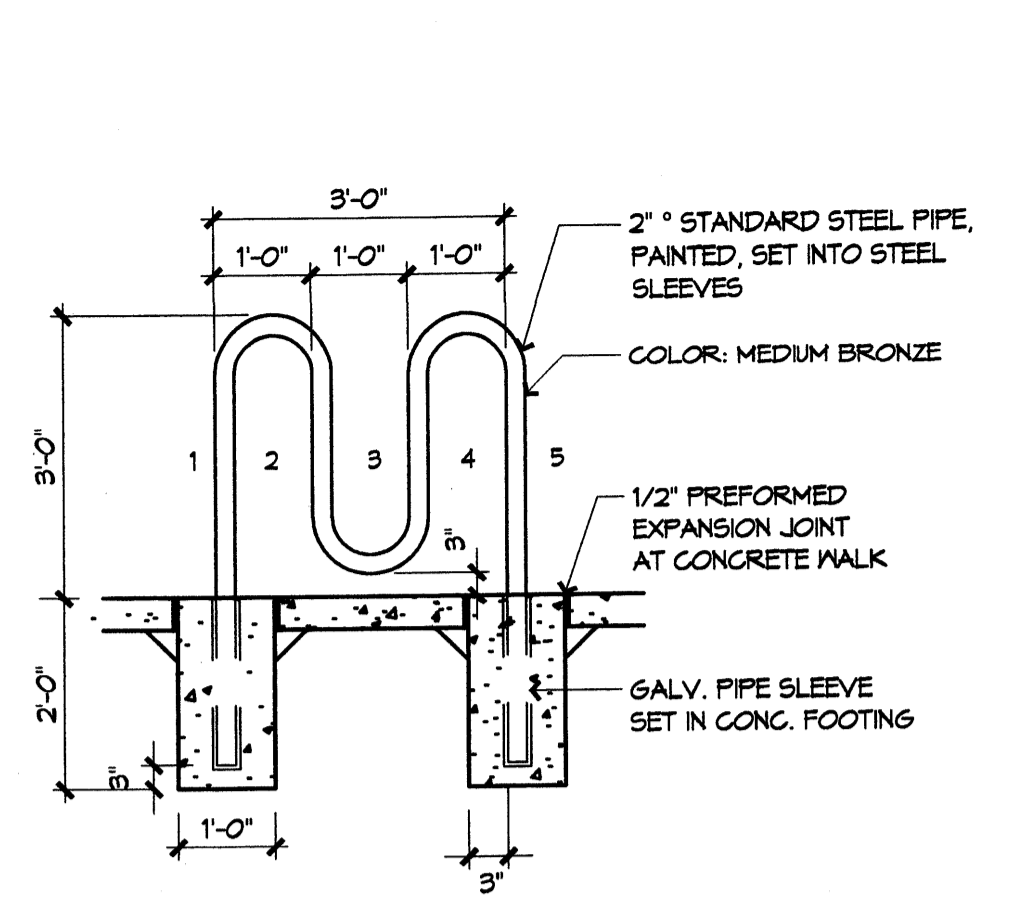
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|--------------|---------|
| DRAWN BY     | JTM     |
| REVIEWED BY  | JTM     |
| DATE         | 1/17/06 |
| PROJECT NO.  | 050052  |
| DRAWING NAME |         |

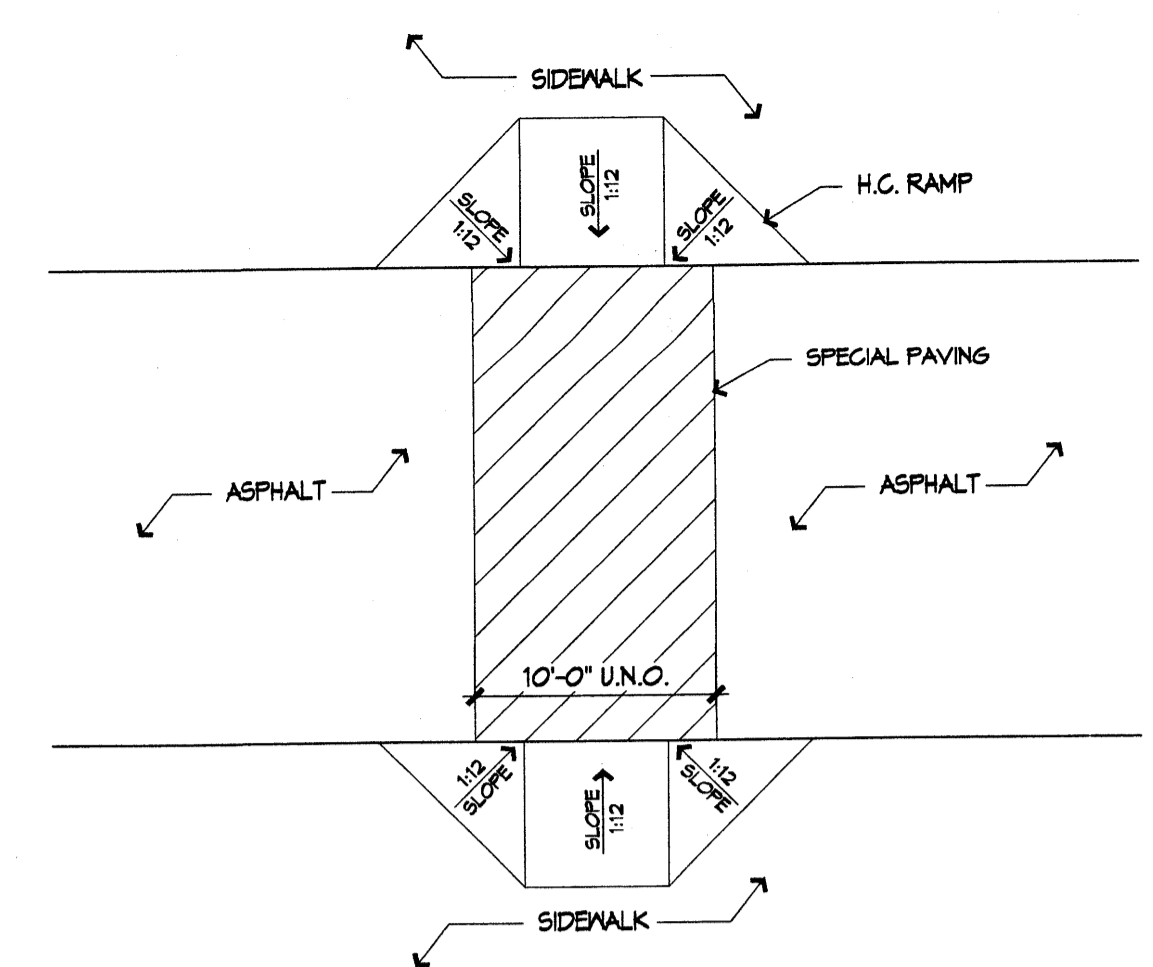
**CONCEPTUAL  
UTILITY PLAN**

SHEET NO.

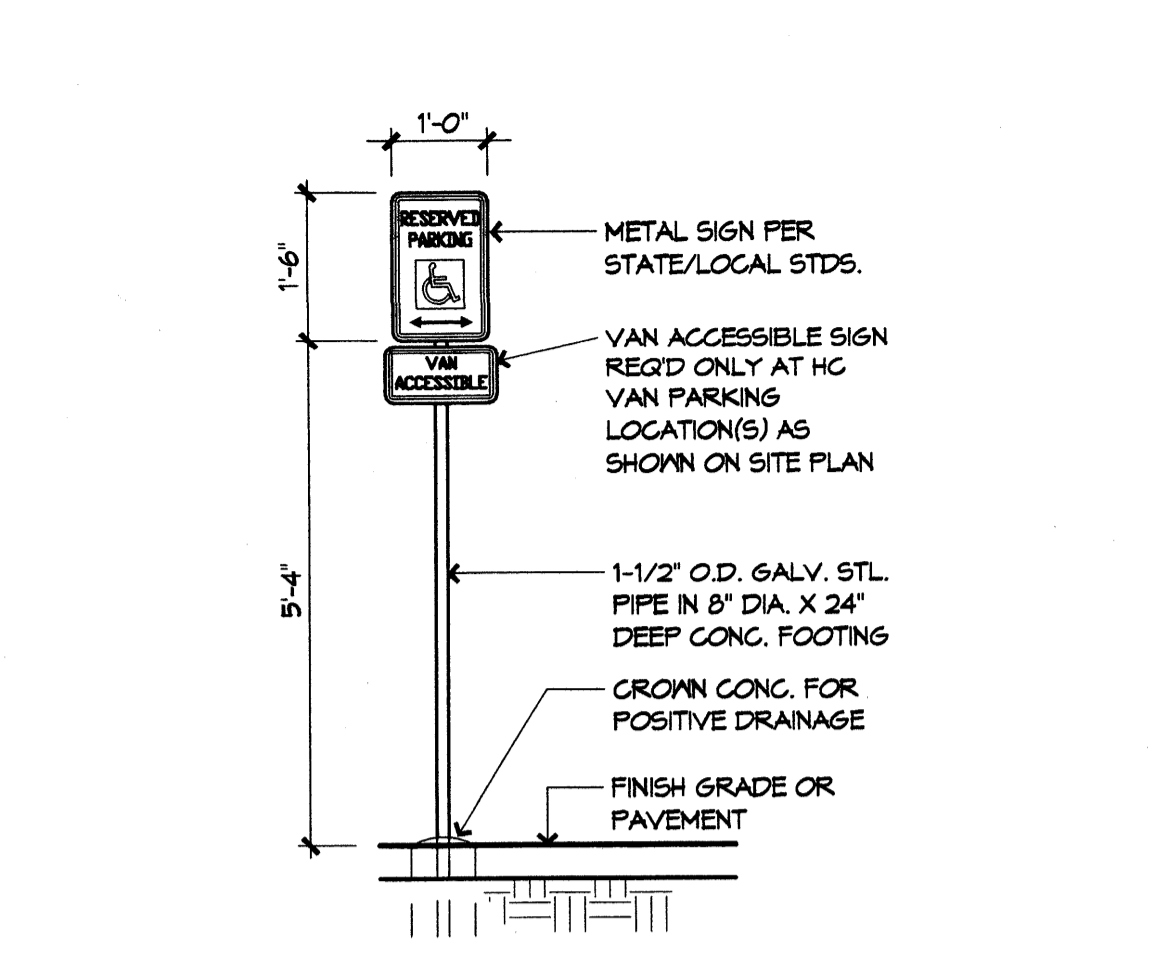
- KEY NOTES**  
NOT ALL NOTES APPEAR ON ALL SHEETS
- STUCCO 1
  - STUCCO 2
  - TENANT SIGNAGE (AREA AS INDICATED)
  - PRECAST COLUMN (PRECAST 1)
  - PRECAST BEAM & TRELLIS (PRECAST 2)
  - NICHE WITH IRON GRILLE
  - PRECAST HEADER BEAM (PRECAST 2)
  - ALUMINUM STOREFRONT (NOT USED)
  - CLAY TILE ROOF
  - PRECAST COPING (PRECAST 1)
  - PRECAST WINDOW SILL (PRECAST 1)
  - STONE VENEER WITH PRECAST 1 CAP
  - STUCCO COVERED CMU SCREEN WALL, STUCCO 1
  - PAINTED METAL OVERHEAD DOOR, PAINTED TO MATCH ADJACENT WALL SURFACE
  - PRECAST 2 VENEER
  - BUILDING MOUNTED WALL FIXTURE, RE 8A/A003
- COLOR and MATERIAL SCHEDULE**
- STUCCO 1: LIGHT TAN
  - STUCCO 2: MEDIUM TAN
  - STONE VENEER: LIGHT TAN TO BROWN BLEND
  - CLAY TILE ROOF: TERRA COTTA BLEND
  - PRECAST 1: WARM GREY
  - PRECAST 2: BROWN
  - N/A ALUMINUM STOREFRONT: MEDIUM BRONZE ANOD.
  - N/A IRON GRILLES: BLACK



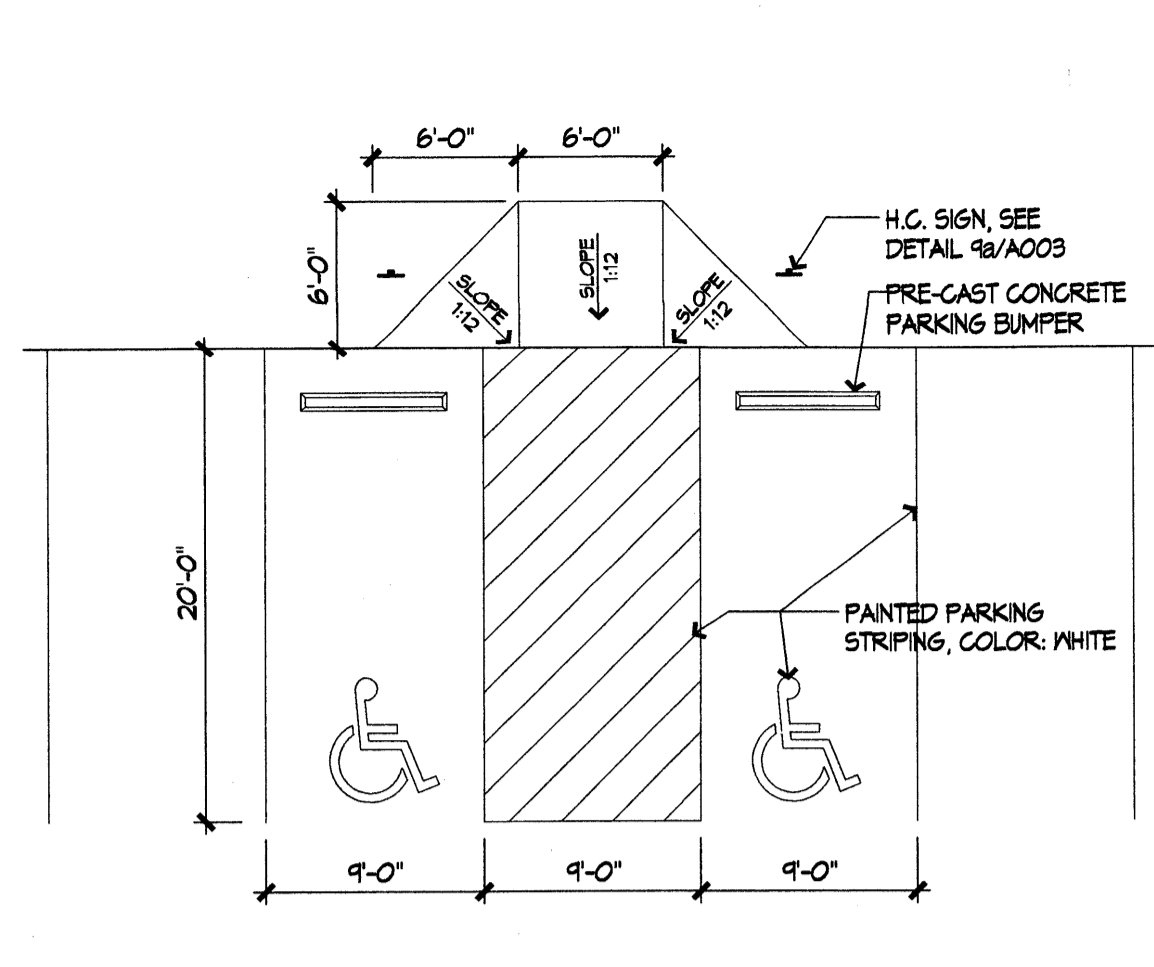
**11 BIKE RACK** 1/2" = 1'-0"



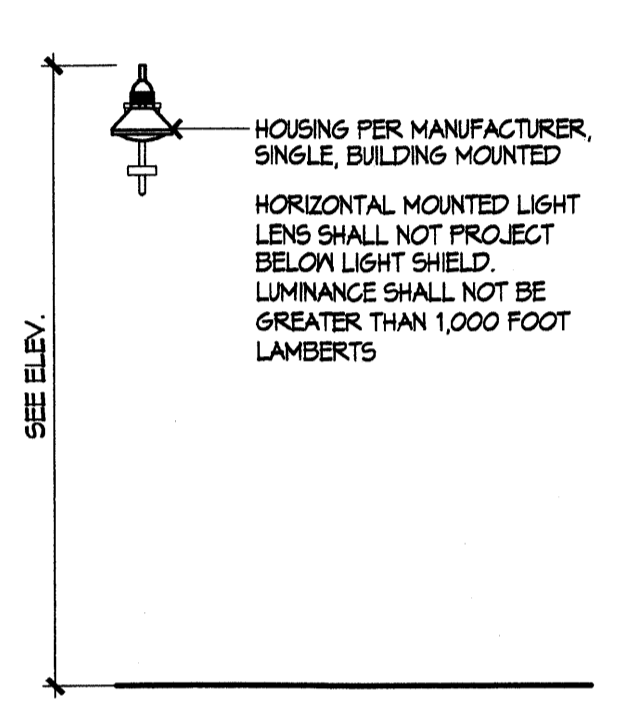
**10 TYPICAL CROSSWALK** 1/8" = 1'-0"



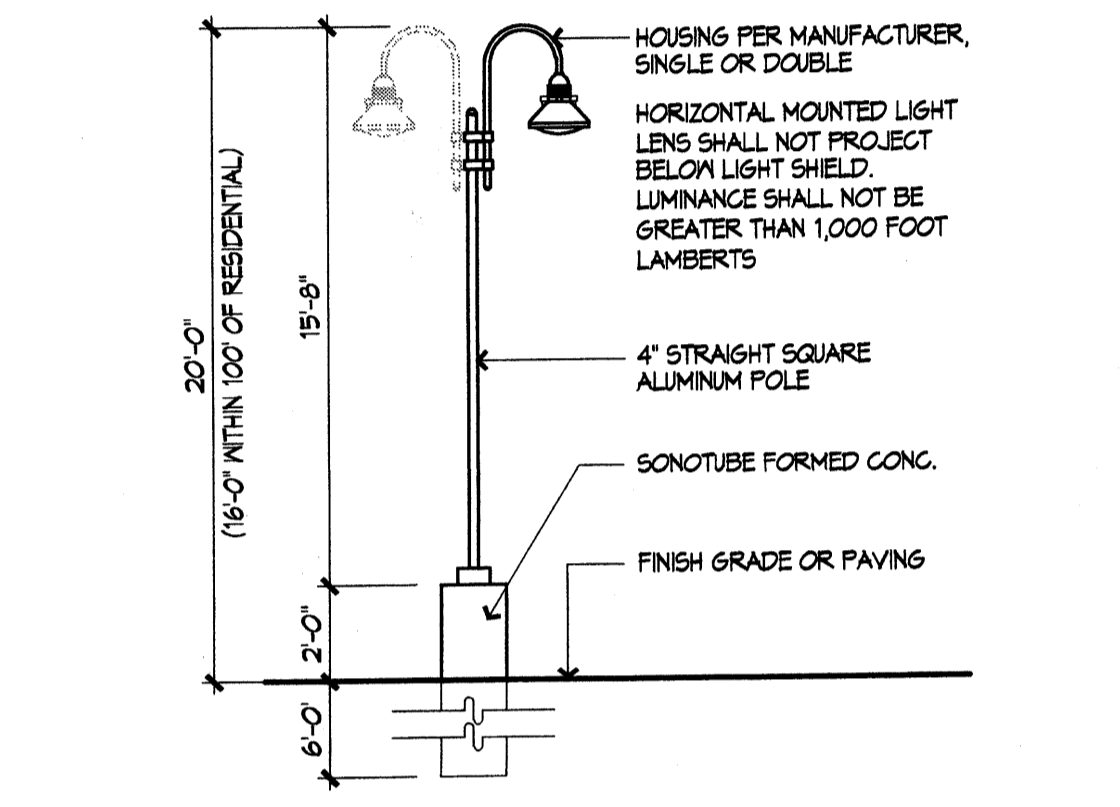
**9a H.C. SIGN** 1/2" = 1'-0"



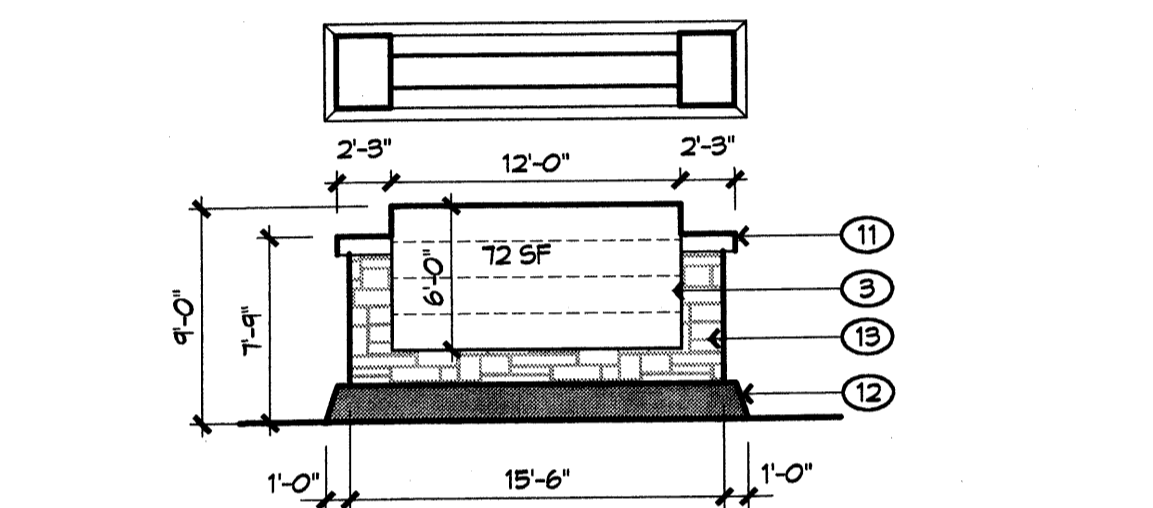
**9 H.C. PARKING SPACE** 1/8" = 1'-0"



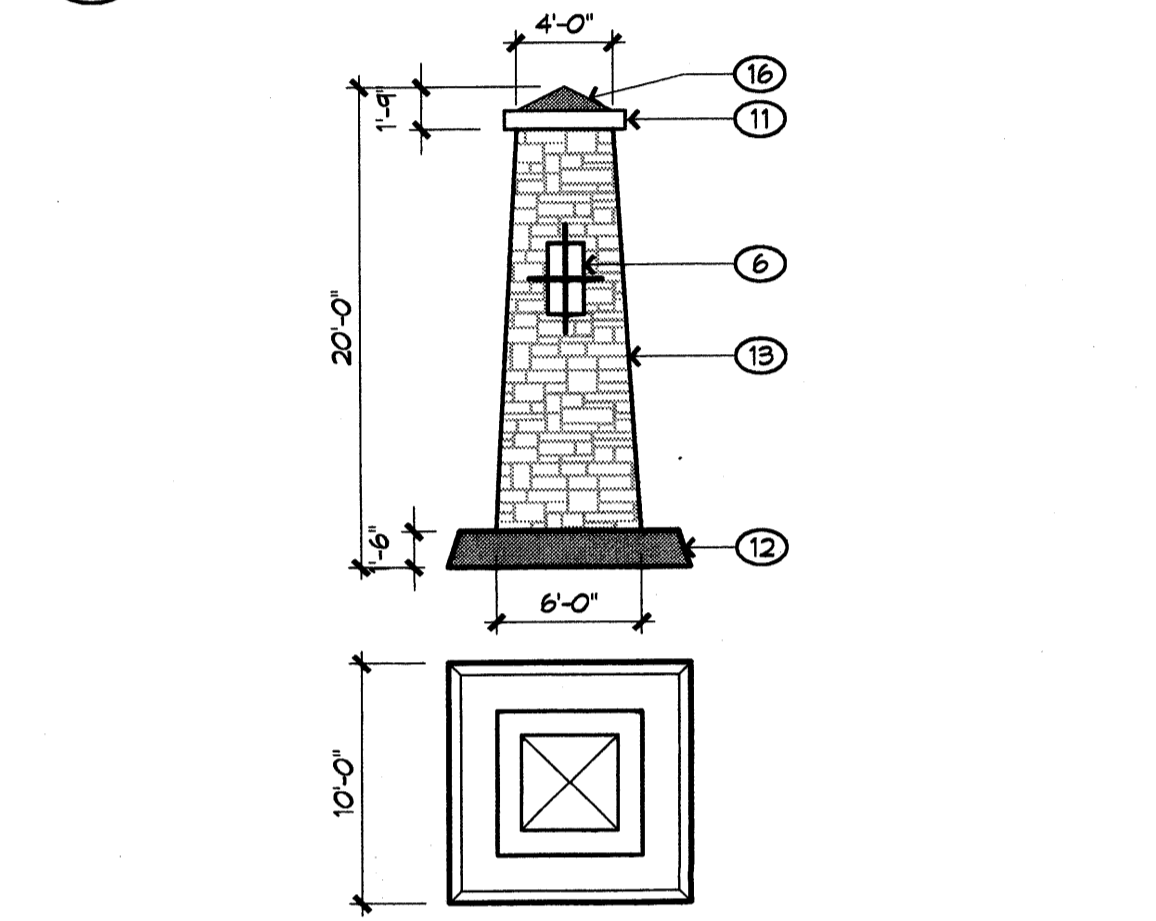
**8a BLDG. MNTD. LIGHT** 1" = 1'-0"



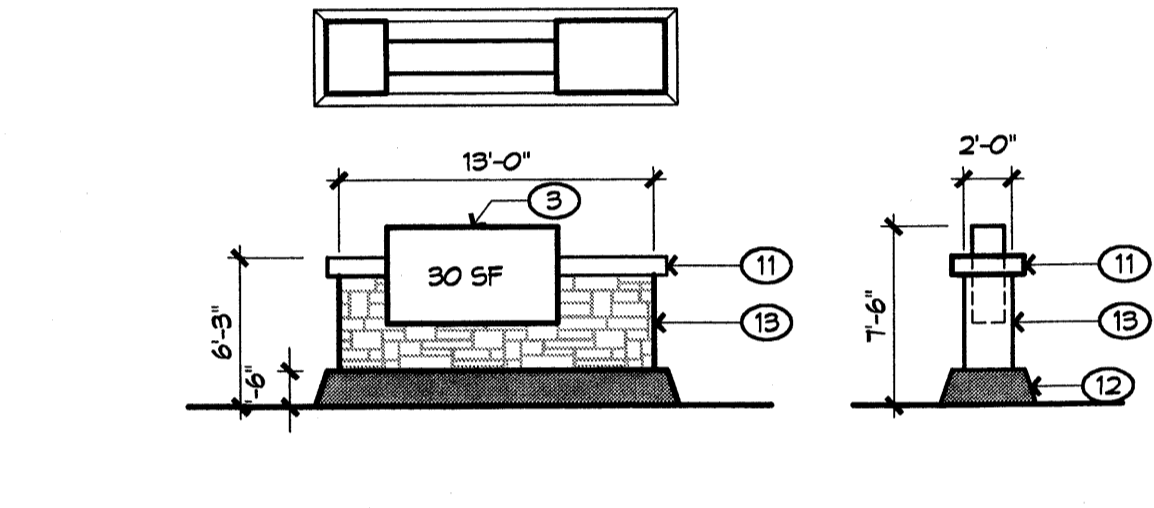
**8 PARKING LOT LITE POLE DETAIL** 1/4" = 1'-0"



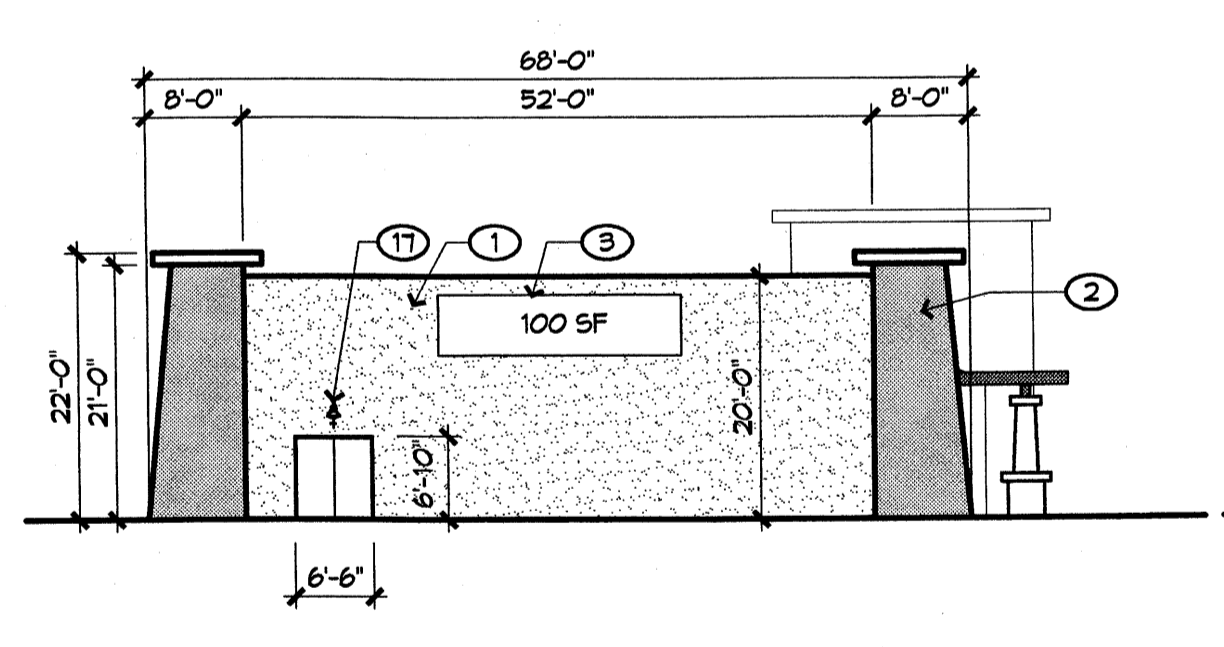
**7 JOINT-TENANT SIGN** 1/8" = 1'-0"



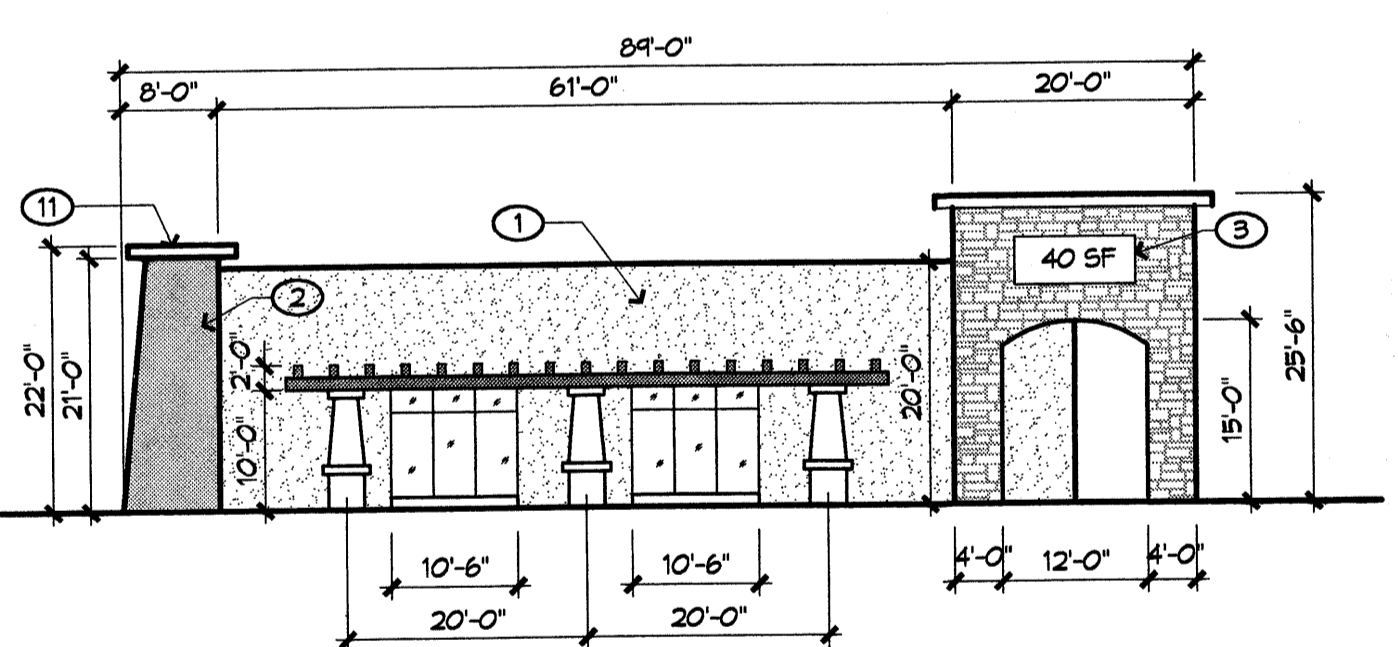
**6 TRAFFIC CIRCLE FEATURE** 1/8" = 1'-0"



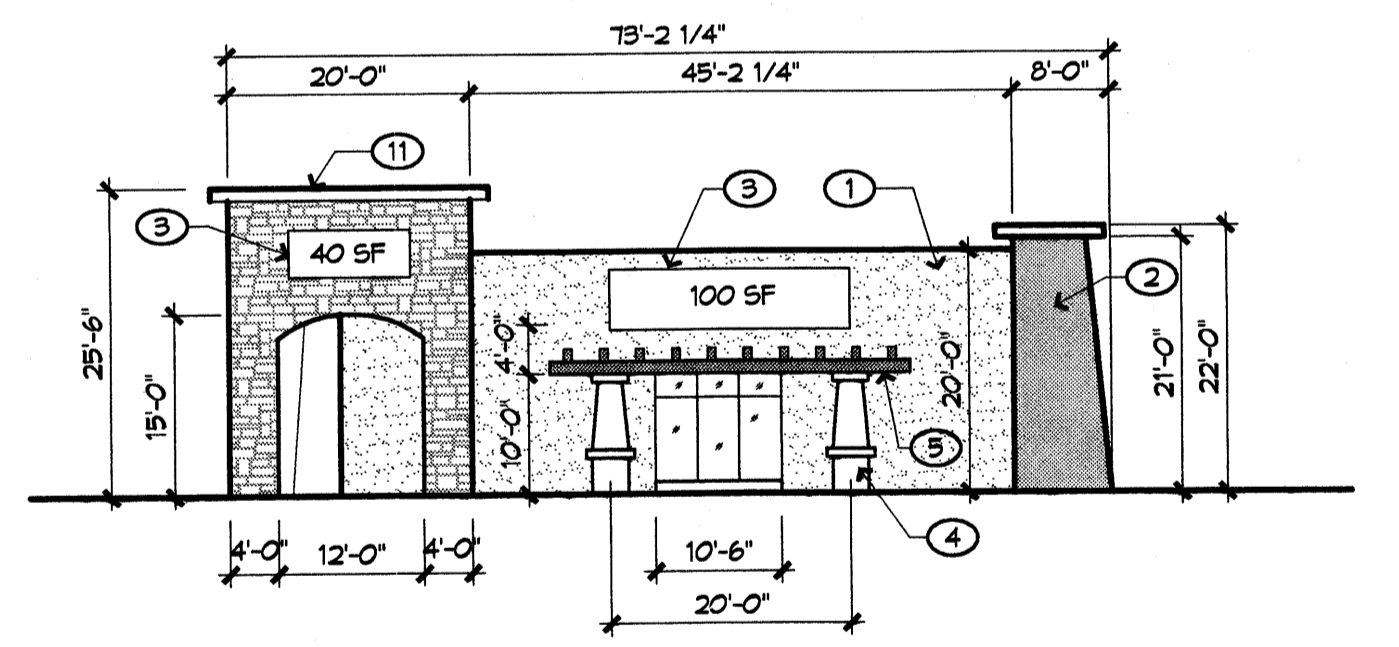
**5 MONUMENT SIGN** 1/8" = 1'-0"



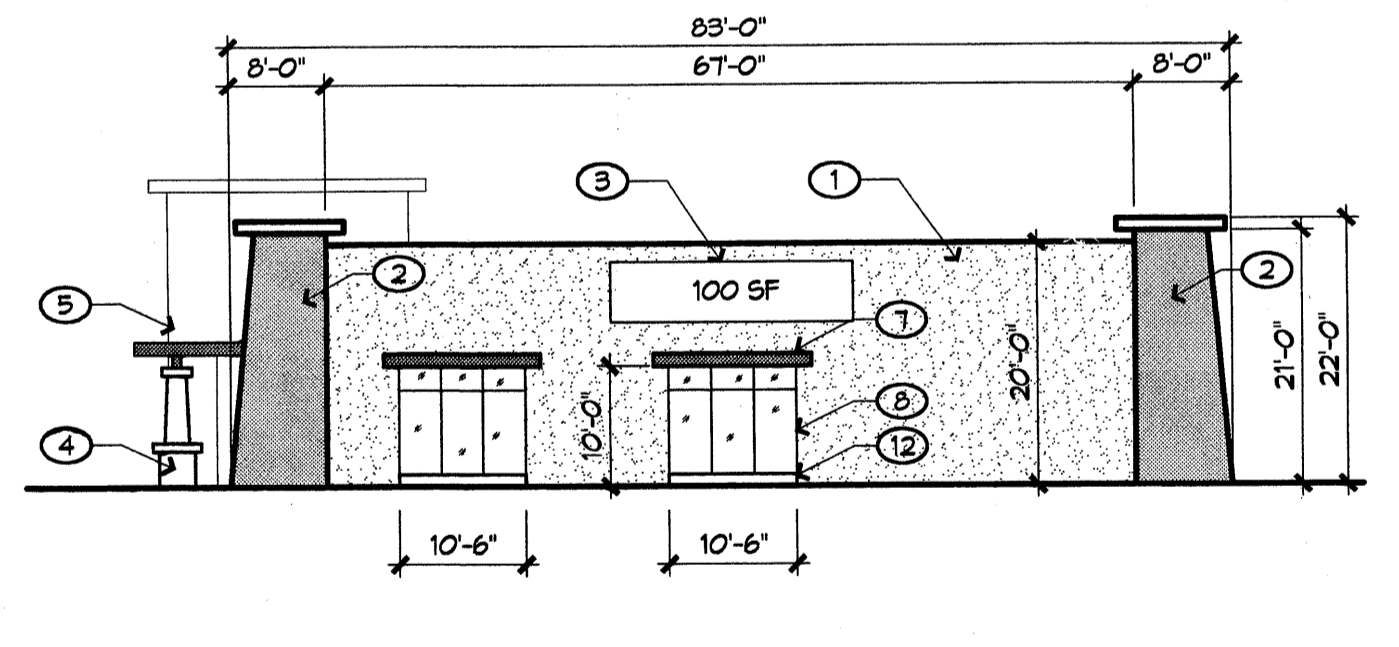
**4 SOUTH ELEVATION** 1/16" = 1'-0"



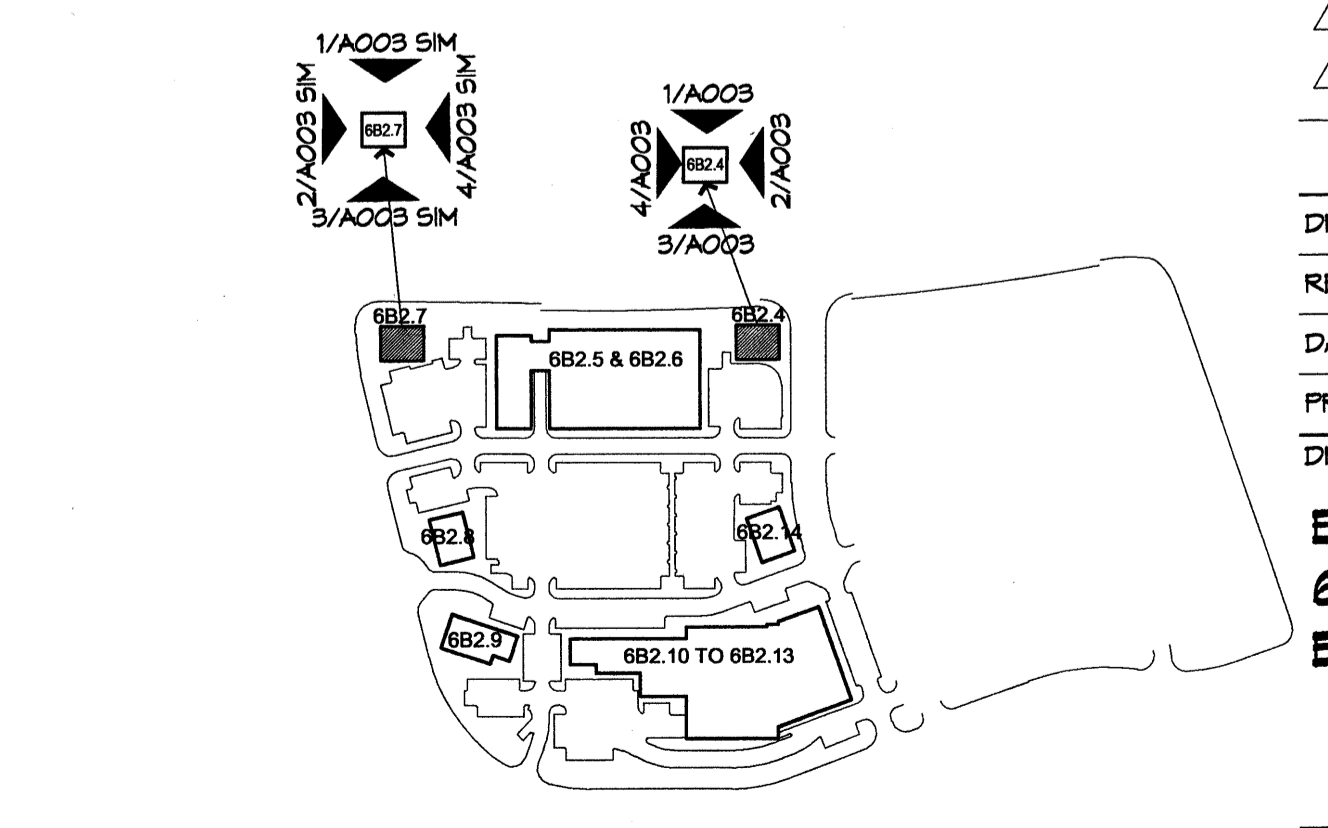
**3 EAST ELEVATION** 1/16" = 1'-0"



**2 NORTH ELEVATION** 1/16" = 1'-0"



**1 WEST ELEVATION** 1/16" = 1'-0"



**Andalucia Tract 6B**  
Coors Blvd. and Montano Rd., SEC  
Albuquerque, New Mexico

REVISIONS

- ▲ 1/11/2005
- ▲
- ▲
- ▲

DRAWN BY \_\_\_\_\_  
REVIEWED BY \_\_\_\_\_  
DATE 9/20/05  
PROJECT NO. 04046  
DRAWING NAME

**BUILDINGS  
6B2.5 & 6B2.6  
ELEVATIONS**

SHEET NO.

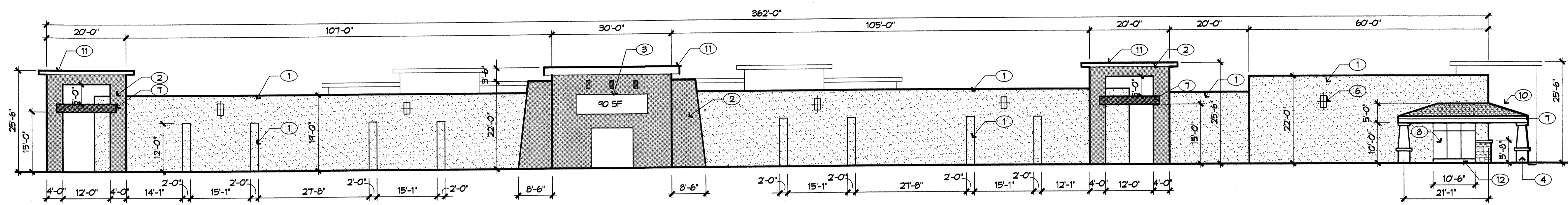
**A004**  
7 OF 10

**KEY NOTES**

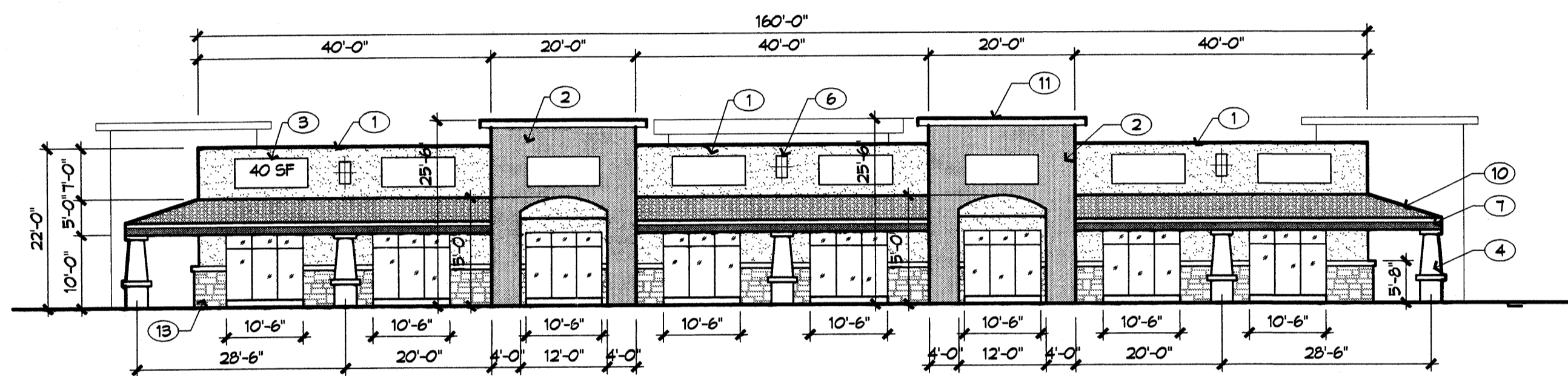
- NOT ALL NOTES APPEAR ON ALL SHEETS
1. STUCCO 1
  2. STUCCO 2
  3. TENANT SIGNAGE (AREA AS INDICATED)
  4. PRECAST COLUMN (PRECAST 1)
  5. PRECAST BEAM & TRELIS (PRECAST 2)
  6. NICHE WITH IRON GRILLE
  7. PRECAST HEADER BEAM (PRECAST 2)
  8. ALUMINUM STOREFRONT
  9. (NOT USED)
  10. CLAY TILE ROOF
  11. PRECAST COPING (PRECAST 1)
  12. PRECAST WINDOW SILL (PRECAST 1)
  13. STUCCO COVERED CMU SCREEN MALL, STUCCO 1
  14. PAINTED METAL OVERHEAD DOOR, PAINTED TO MATCH ADJACENT WALL SURFACE
  15. PRECAST 2 VENEER
  16. BUILDING MOUNTED WALL FIXTURE, RE 8VA003

**COLOR and  
MATERIAL SCHEDULE**

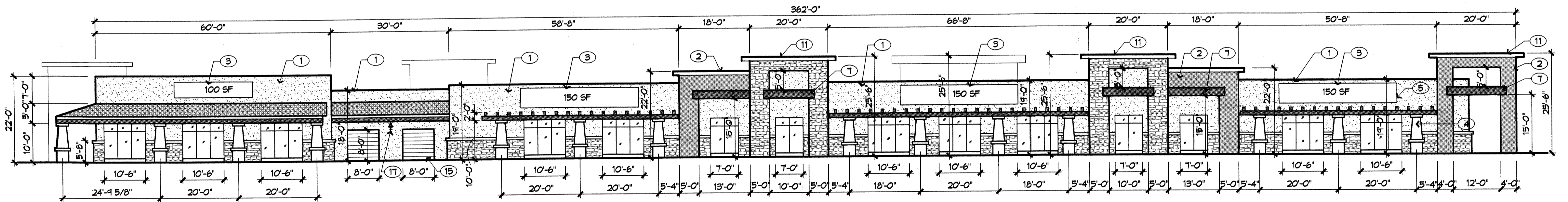
- STUCCO 1: LIGHT TAN
- STUCCO 2: MEDIUM TAN
- STONE VENEER: LIGHT TAN TO BROWN BLEND
- CLAY TILE ROOF: TERRA COTTA BLEND
- PRECAST 1: WARM GREY
- PRECAST 2: BROWN
- N/A ALUMINUM STOREFRONT: MEDIUM BRONZE ANOD.
- N/A IRON GRILLES: BLACK



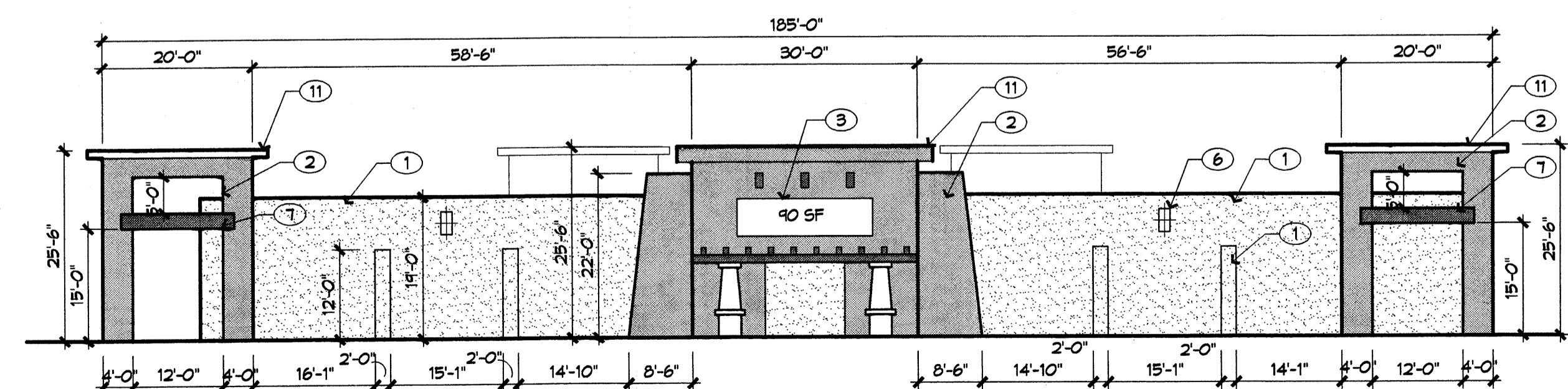
**4 WEST ELEVATION**  
1/16" = 1'-0"



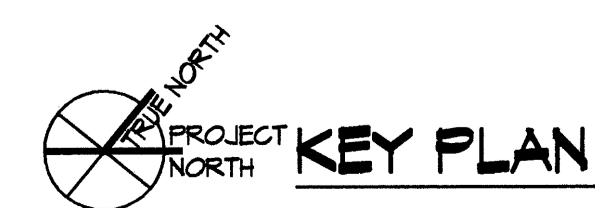
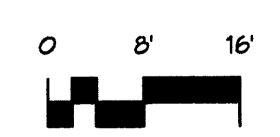
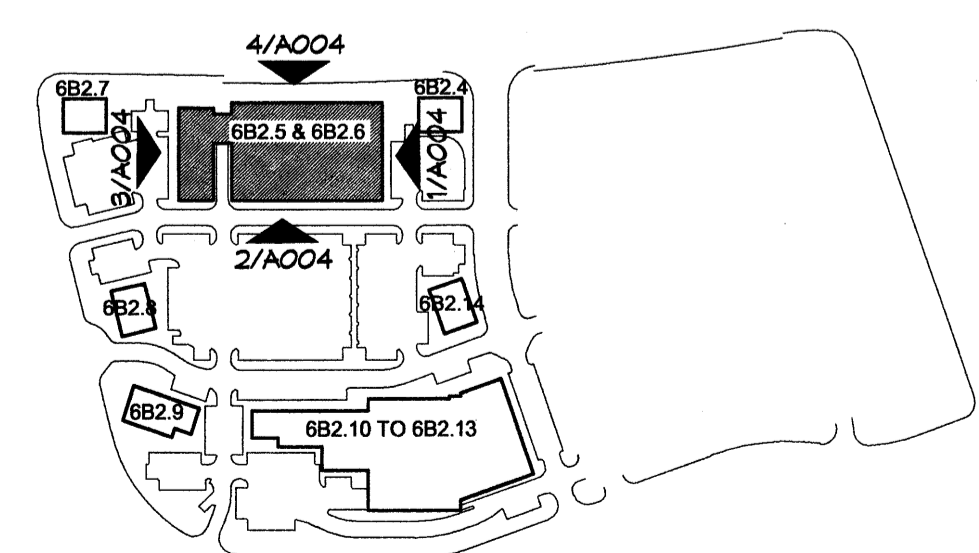
**3 SOUTH ELEVATION**  
1/16" = 1'-0"



**2 EAST ELEVATION**  
1/16" = 1'-0"

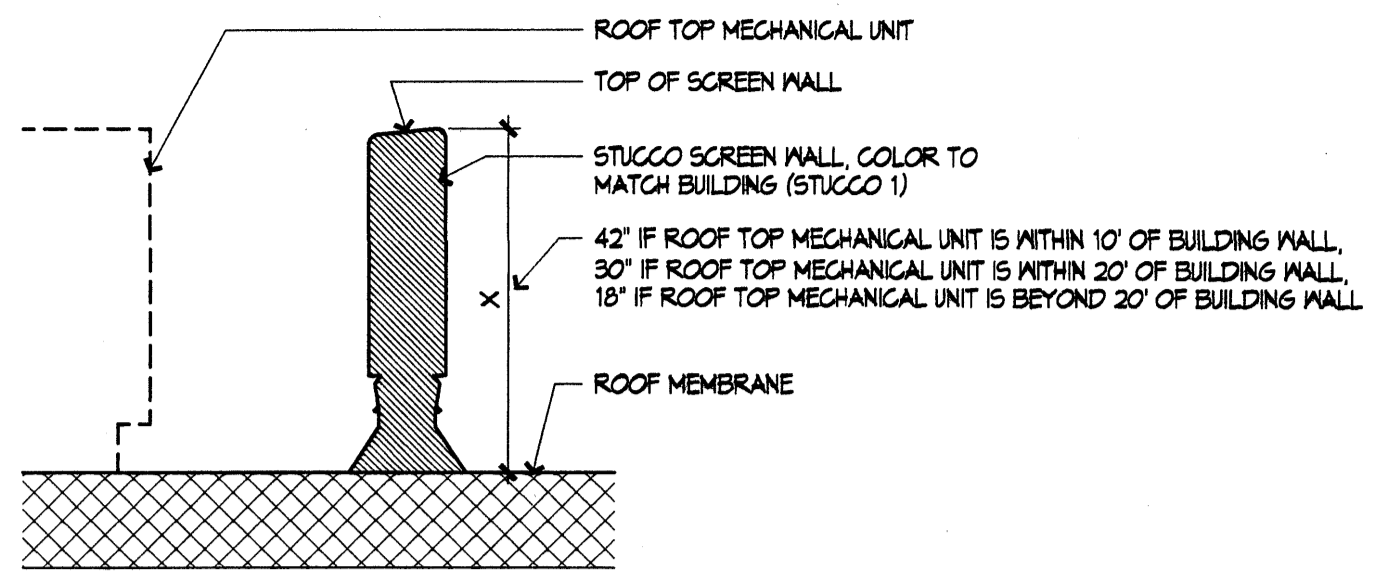


**1 NORTH ELEVATION**  
1/16" = 1'-0"

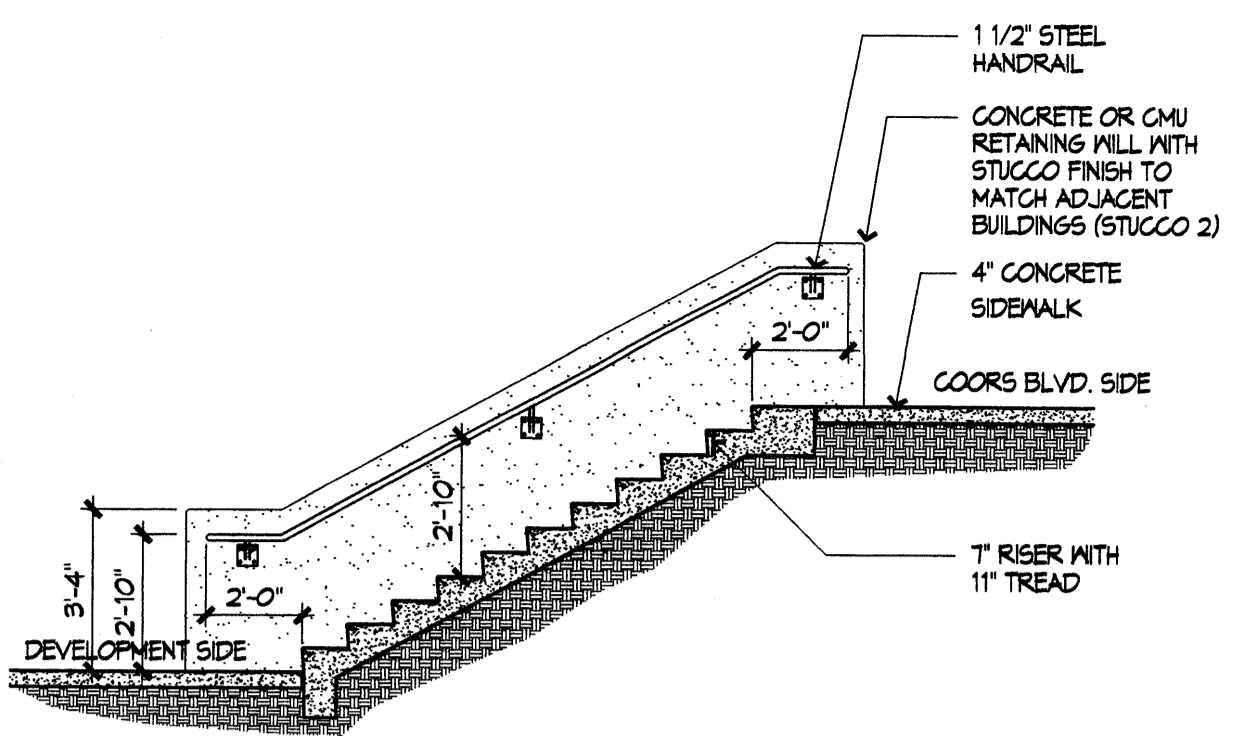


KEY PLAN

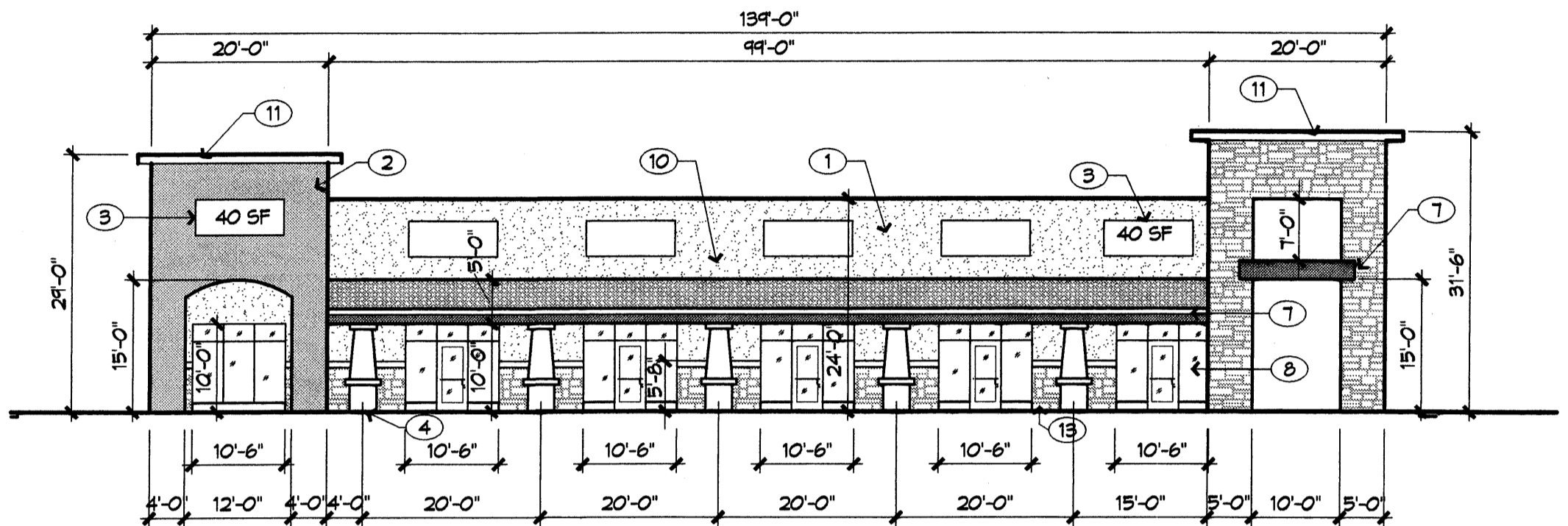
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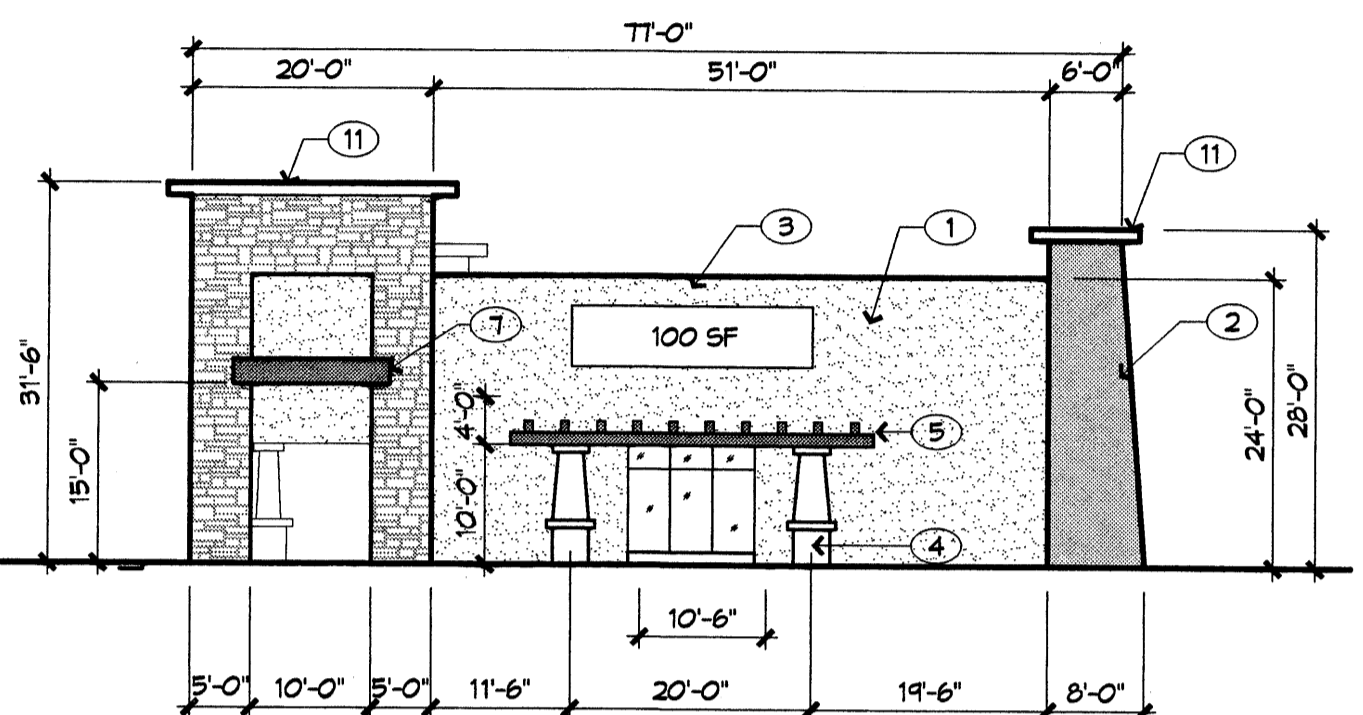
**10 ROOF TOP MECH. UNIT SCREEN**  
1/2" = 1'-0"



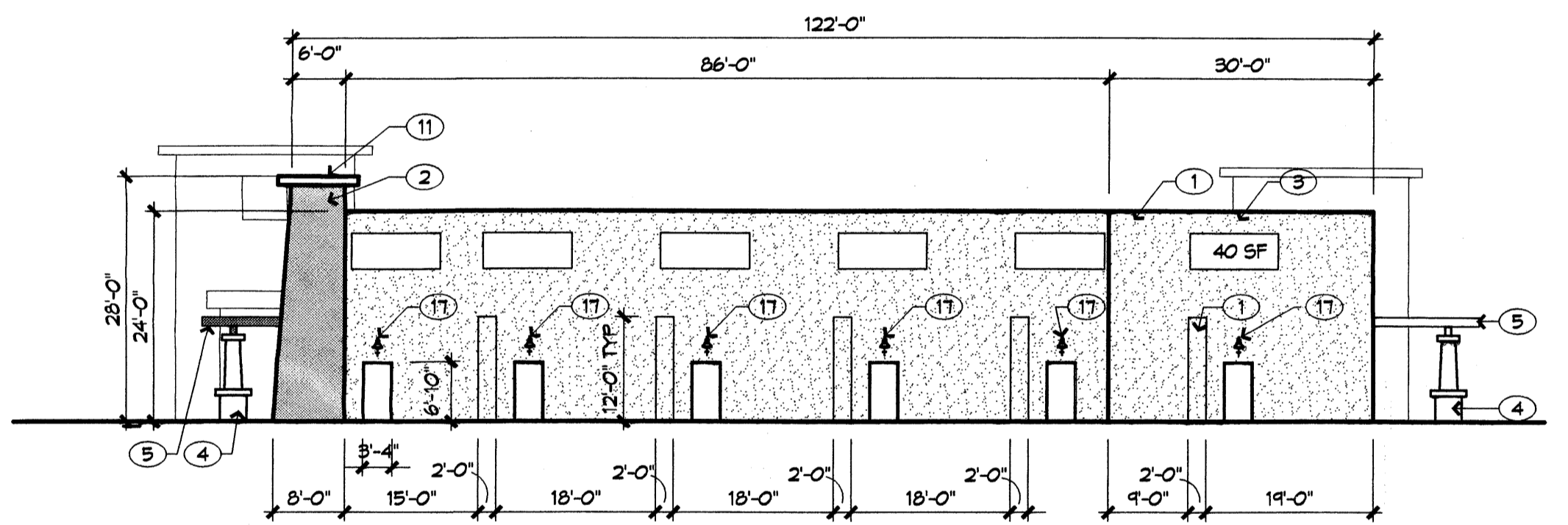
**9 STAIR DETAIL**  
1/4" = 1'-0"



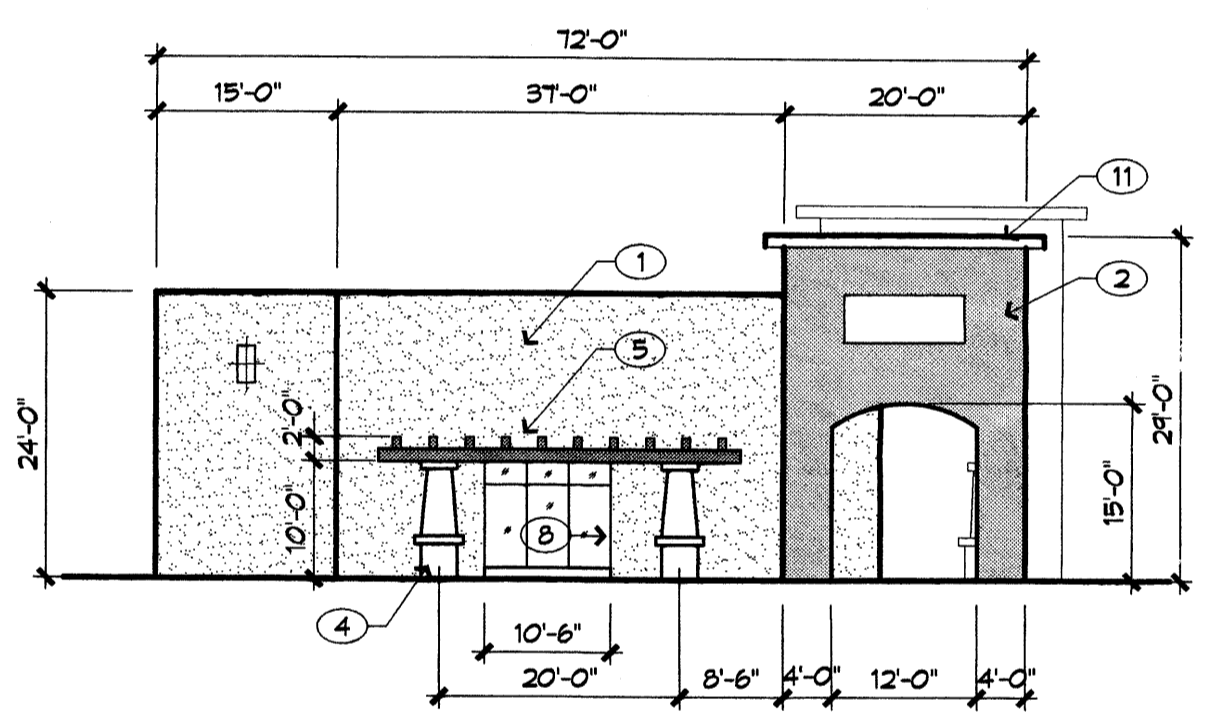
**8 WEST ELEVATION**  
6B2.9  
1/16" = 1'-0"



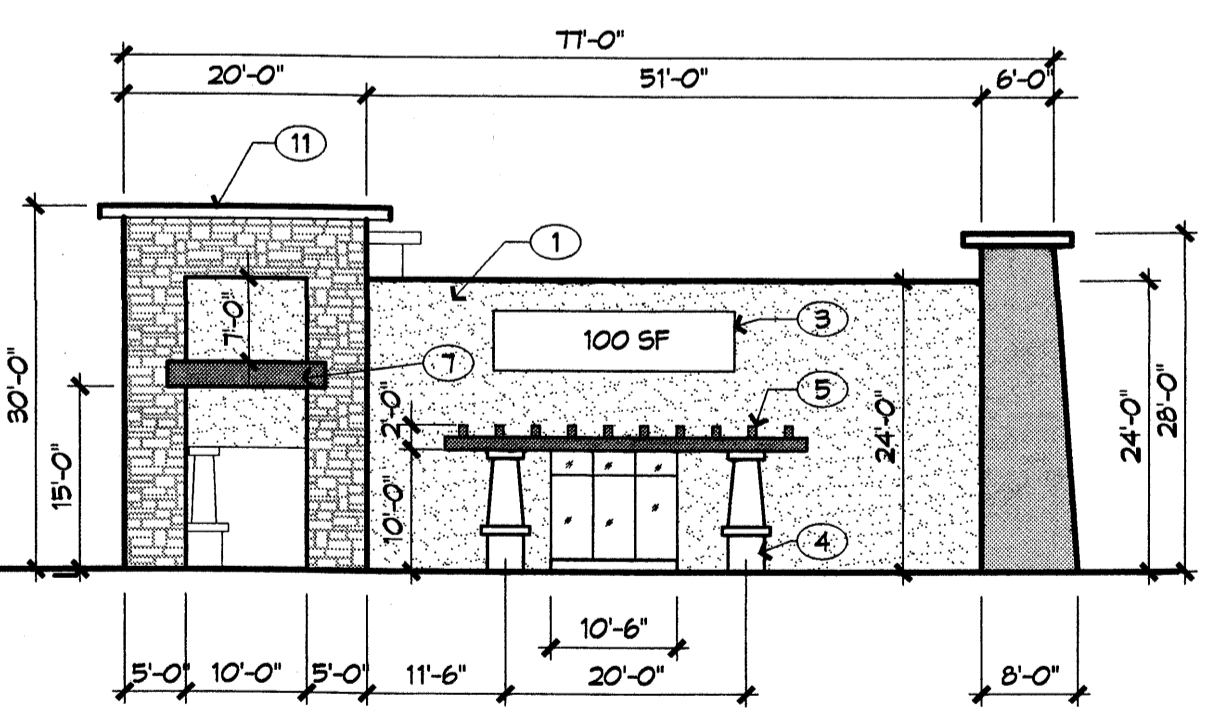
**7 SOUTH ELEVATION**  
6B2.9  
1/16" = 1'-0"



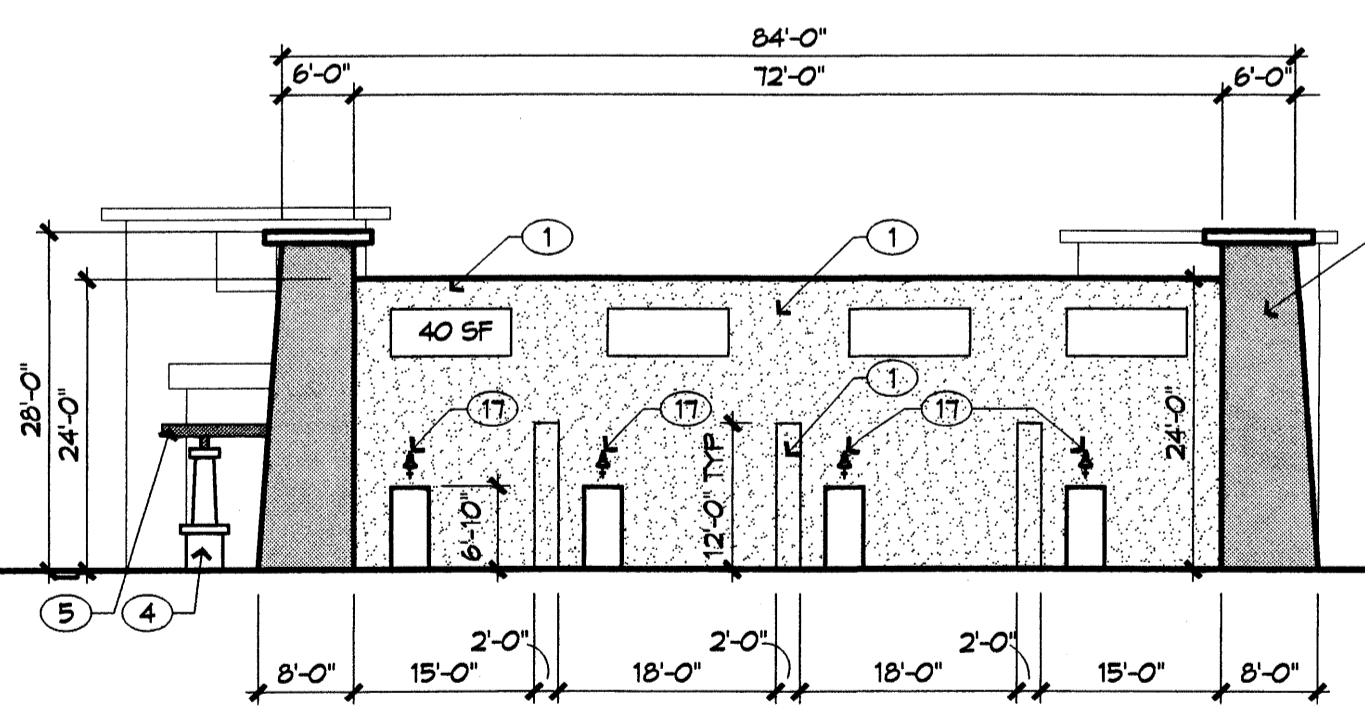
**6 EAST ELEVATION**  
6B2.9  
1/16" = 1'-0"



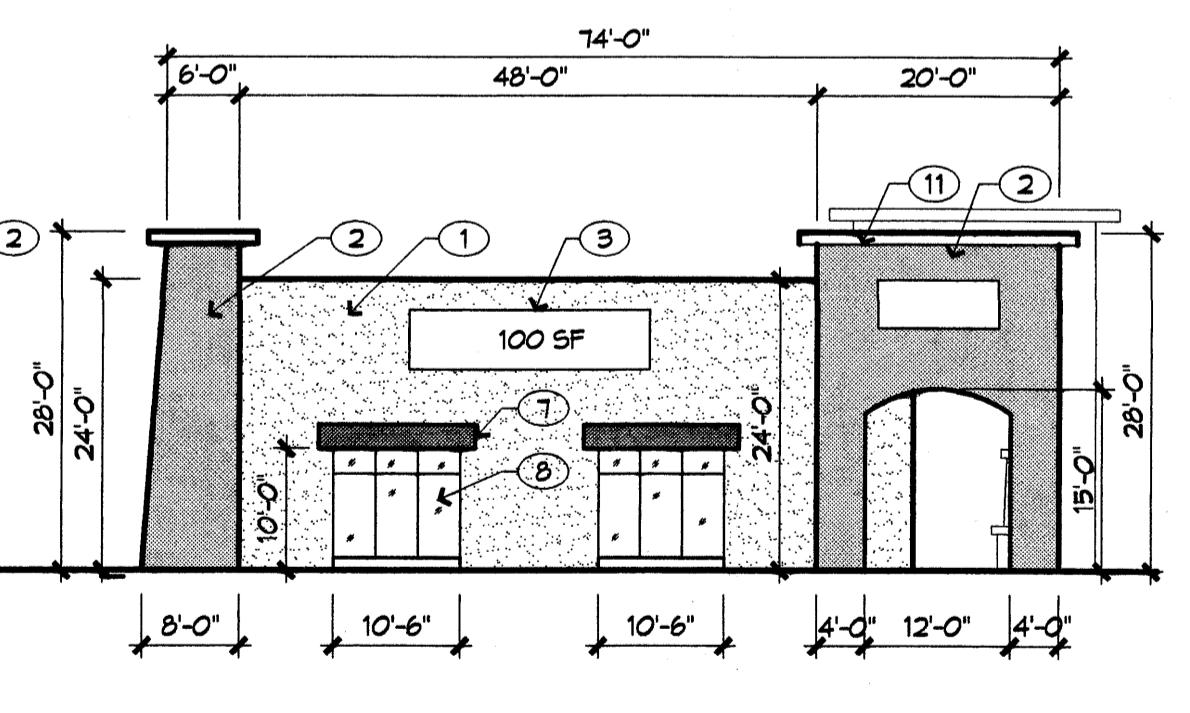
**5 NORTH ELEVATION**  
6B2.9  
1/16" = 1'-0"



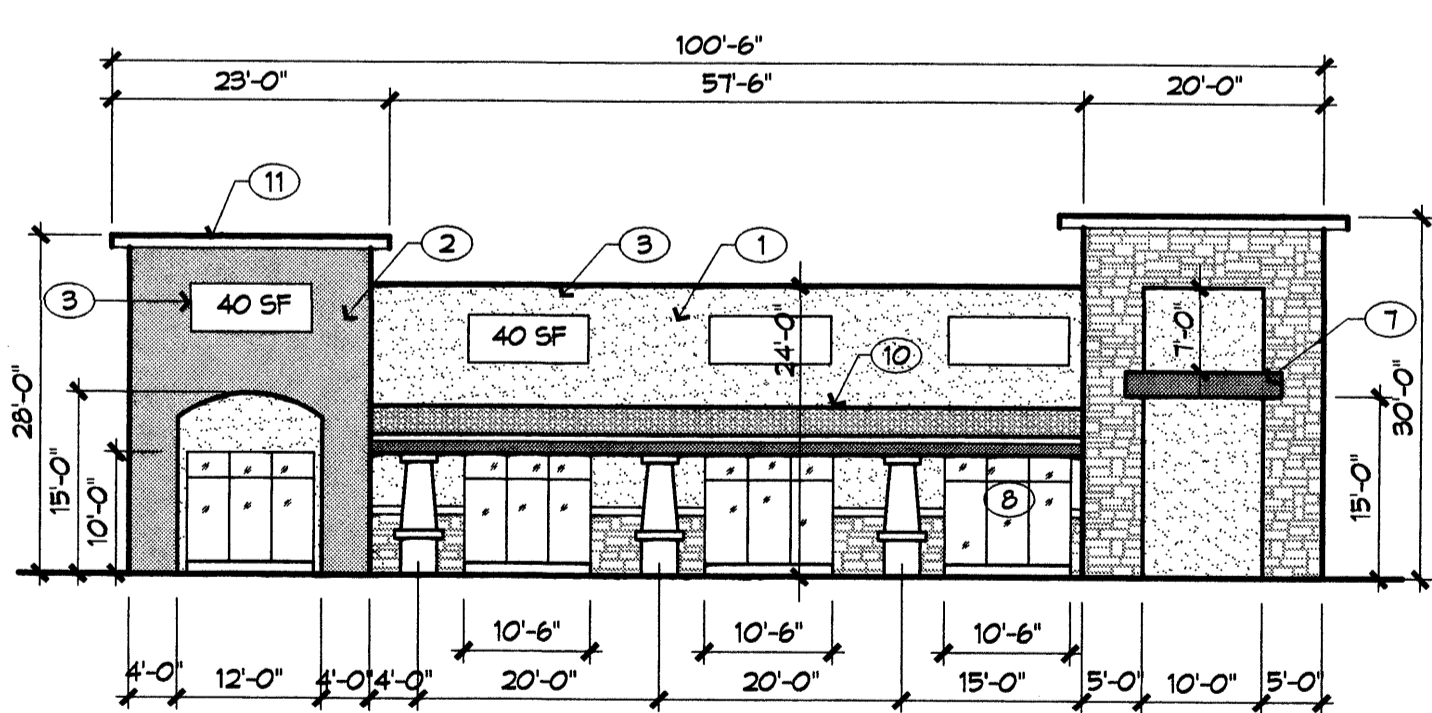
**4 WEST ELEVATION (EAST AT SIM.)**  
6B2.8, 6B2.14  
1/16" = 1'-0"



**3 SOUTH ELEVATION (NORTH AT SIM.)**  
6B2.8, 6B2.14  
1/16" = 1'-0"



**2 EAST ELEVATION (WEST AT SIM.)**  
6B2.8, 6B2.14  
1/16" = 1'-0"



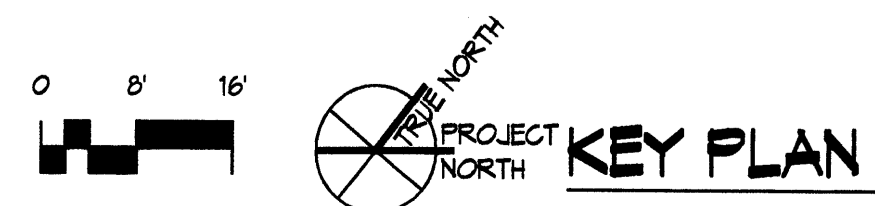
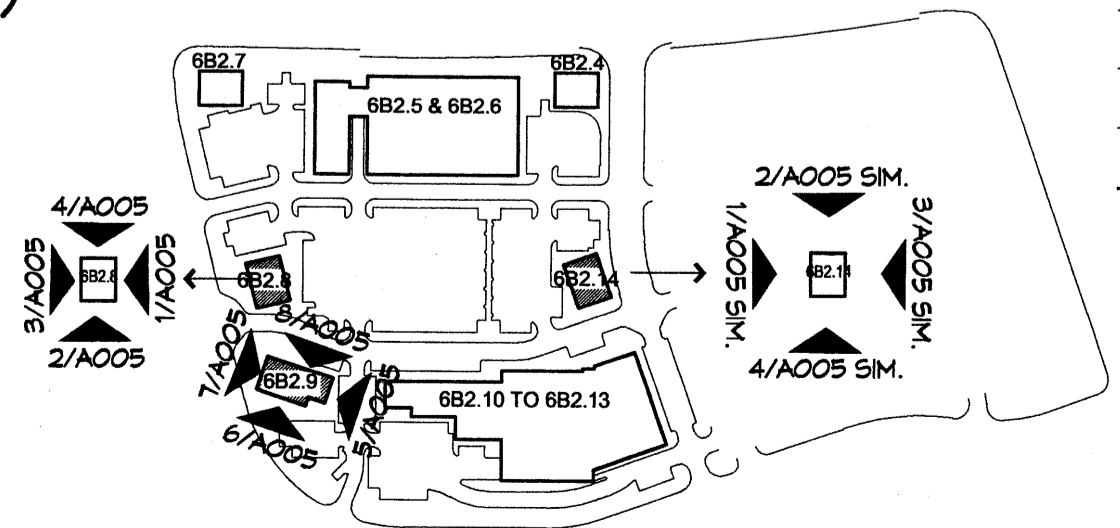
**1 NORTH ELEVATION (SOUTH AT SIM.)**  
6B2.8, 6B2.14  
1/16" = 1'-0"

**KEY NOTES**

- NOT ALL NOTES APPEAR ON ALL SHEETS
1. STUCCO 1
  2. STUCCO 2
  3. TENANT SIGNAGE (AREA AS INDICATED)
  4. PRECAST COLUMN (PRECAST 1)
  5. PRECAST BEAM & TRELIS (PRECAST 2)
  6. NICHE WITH IRON GRILLE
  7. PRECAST HEADER BEAM (PRECAST 2)
  8. ALUMINUM STOREFRONT
  9. (NOT USED)
  10. CLAY TILE ROOF
  11. PRECAST COPING (PRECAST 1)
  12. PRECAST WINDOW SILL (PRECAST 1)
  13. STONE VENEER WITH PRECAST 1 CAP
  14. STUCCO COVERED CMU SCREEN WALL, PAINTED TO MATCH ADJACENT WALL SURFACE
  15. PAINTED METAL OVERHEAD DOOR, PAINTED TO MATCH ADJACENT WALL SURFACE
  16. PRECAST 2 VENEER
  17. BUILDING MOUNTED WALL FIXTURE, RE 8A/A005

**COLOR and MATERIAL SCHEDULE**

- STUCCO 1: LIGHT TAN
- STUCCO 2: MEDIUM TAN
- STONE VENEER: LIGHT TAN TO BROWN BLEND
- CLAY TILE ROOF: TERRA COTTA BLEND
- PRECAST 1: WARM GREY
- PRECAST 2: BROWN
- N/A ALUMINUM STOREFRONT: MEDIUM BRONZE ANOD.
- N/A IRON GRILLES: BLACK

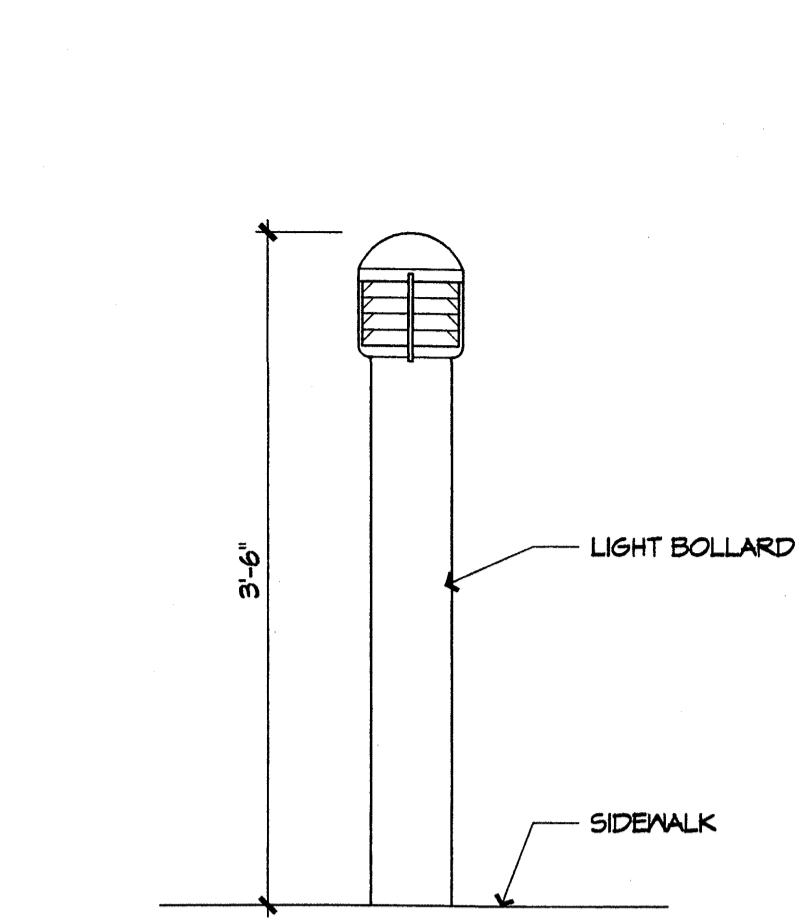


**KEY NOTES**

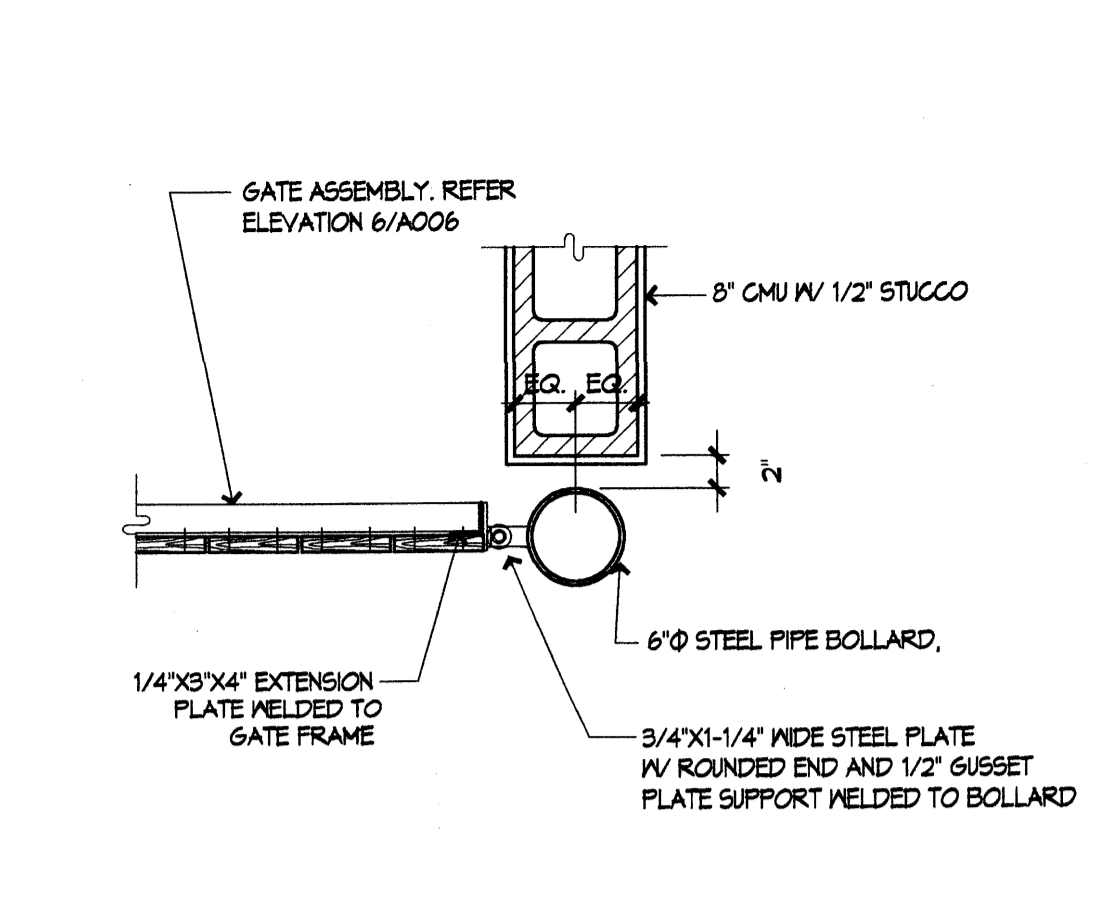
- NOT ALL NOTES APPEAR ON ALL SHEETS
1. STUCCO 1
  2. STUCCO 2
  3. TENANT SIGNAGE (AREA AS INDICATED)
  4. PRECAST COLUMN (PRECAST 1)
  5. PRECAST BEAM & TRELIS (PRECAST 2)
  6. NICHE WITH IRON GRILLE
  7. PRECAST HEADER BEAM (PRECAST 2)
  8. ALUMINUM STOREFRONT (NOT USED)
  9. CLAY TILE ROOF
  10. PRECAST COPING (PRECAST 1)
  11. PRECAST WINDOW SILL (PRECAST 1)
  12. STONE VENEER WITH PRECAST 1 CAP
  13. STUCCO COVERED CMU SCREEN WALL, STUCCO 1
  14. PAINTED METAL OVERHEAD DOOR, PAINTED TO MATCH ADJACENT WALL SURFACE
  15. PRECAST 2 VENEER
  16. BUILDING MOUNTED WALL FIXTURE, RE 6A/A006

**COLOR and MATERIAL SCHEDULE**

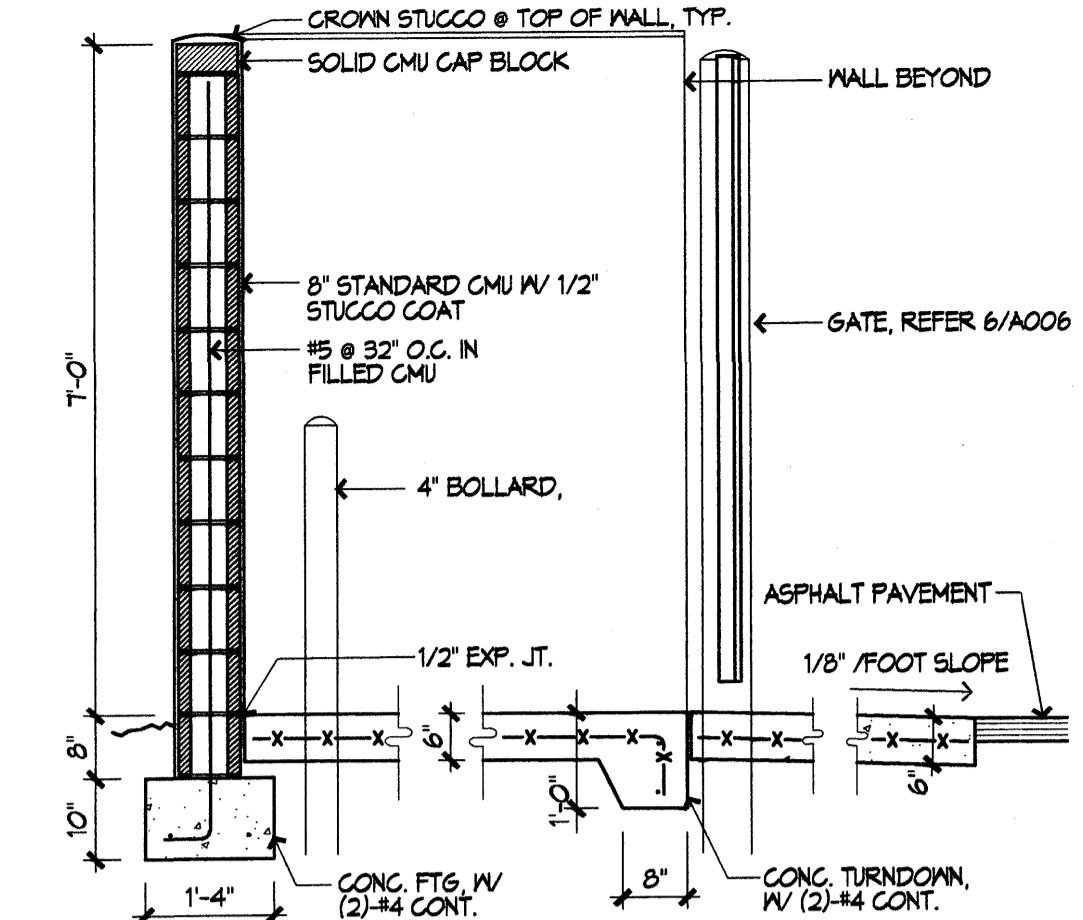
- STUCCO 1: LIGHT TAN
- STUCCO 2: MEDIUM TAN
- STONE VENEER: LIGHT TAN TO BROWN BLEND
- CLAY TILE ROOF: TERRA COTTA BLEND
- PRECAST 1: WARM GREY
- PRECAST 2: BROWN
- N/A ALUMINUM STOREFRONT: MEDIUM BRONZE ANOD.
- N/A IRON GRILLES: BLACK



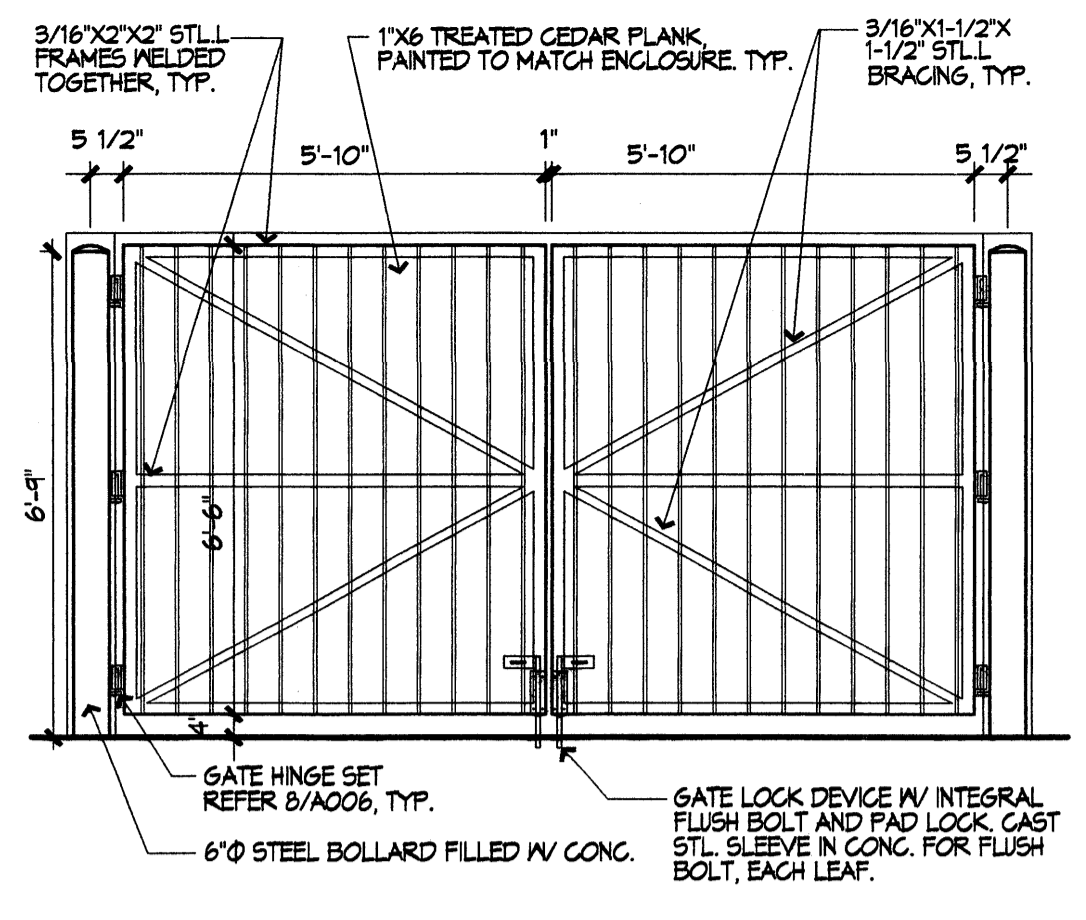
**9 LIGHT BOLLARD**  
1" = 1'-0"



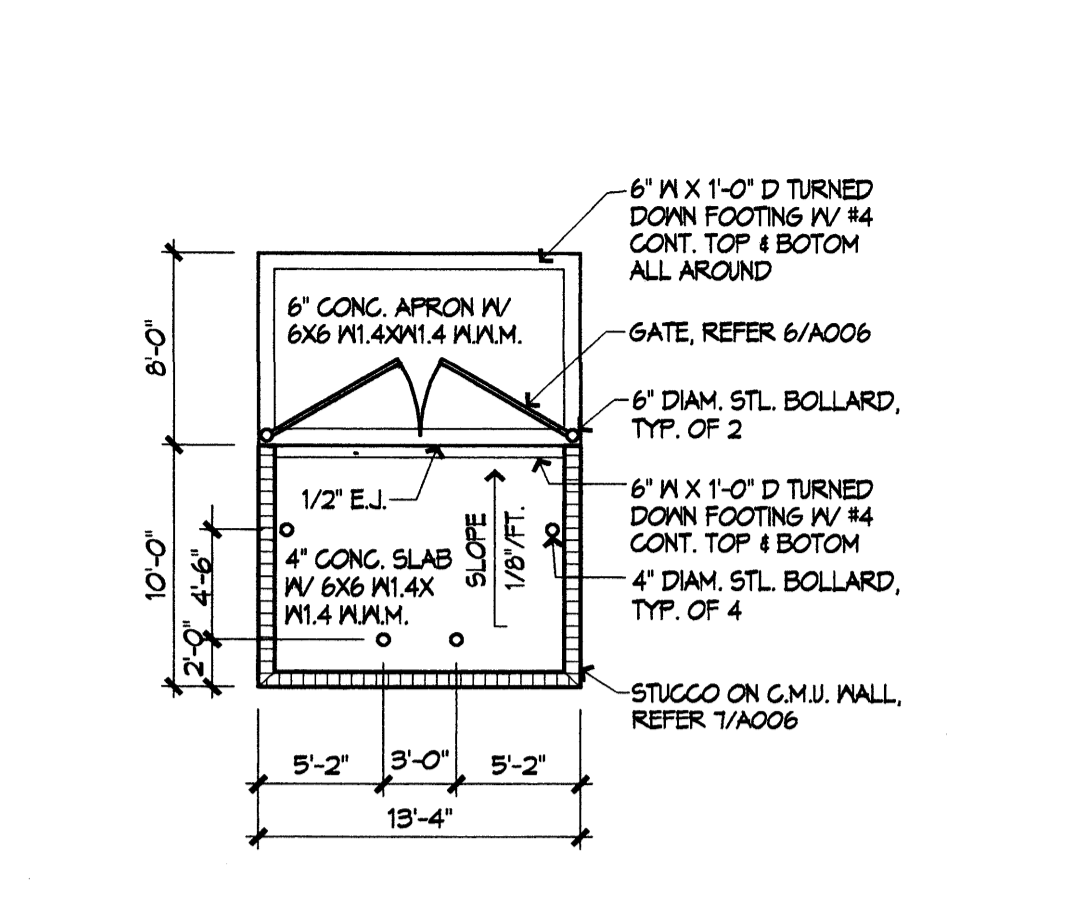
**8 GATE HINGE DETAIL**  
1" = 1'-0"



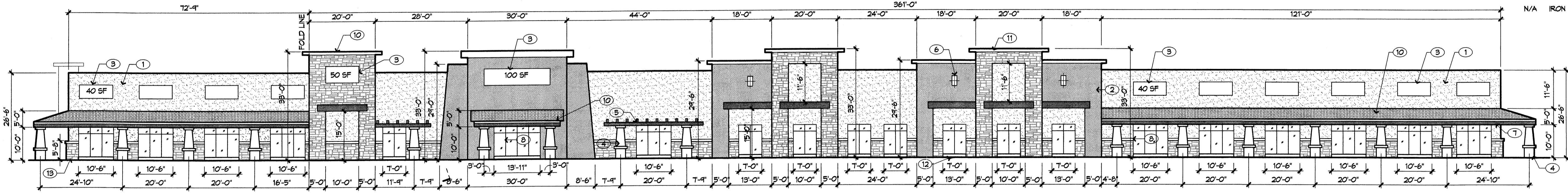
**7 ENCLOSURE SECTION**  
1/2" = 1'-0"



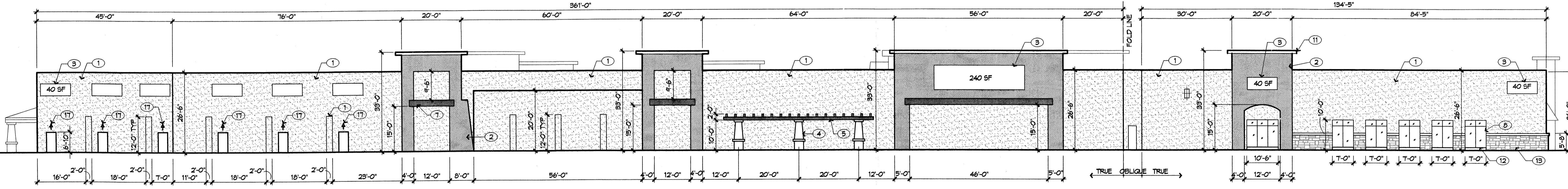
**6 GATE ELEVATION**  
3/8" = 1'-0"



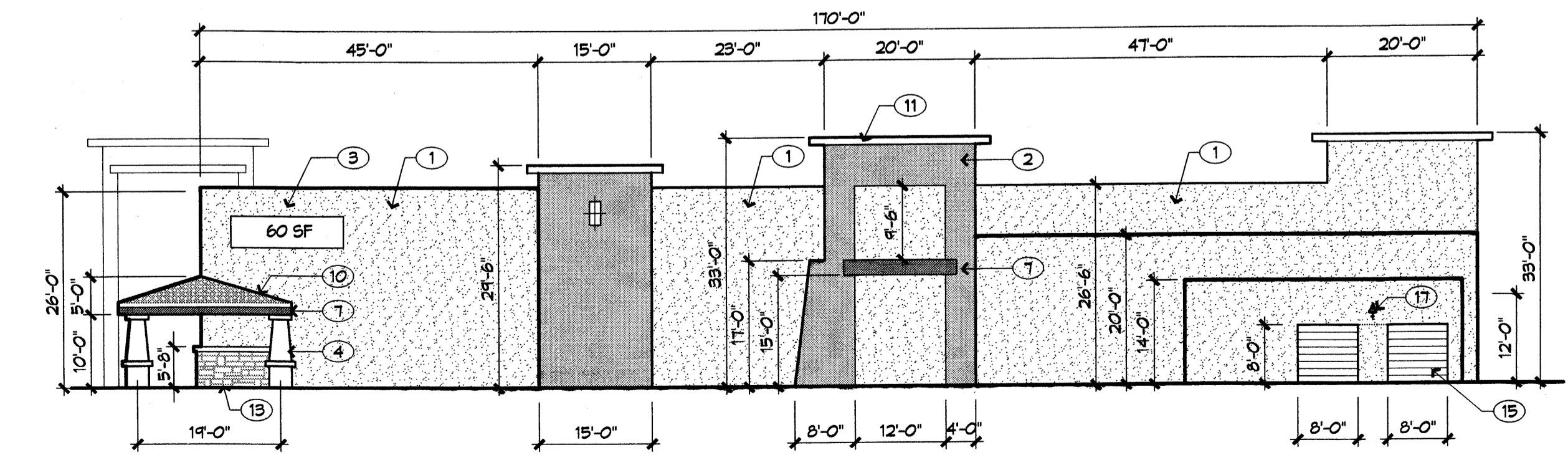
**5 SINGLE REFUSE ENCLOSURE**  
1/8" = 1'-0"



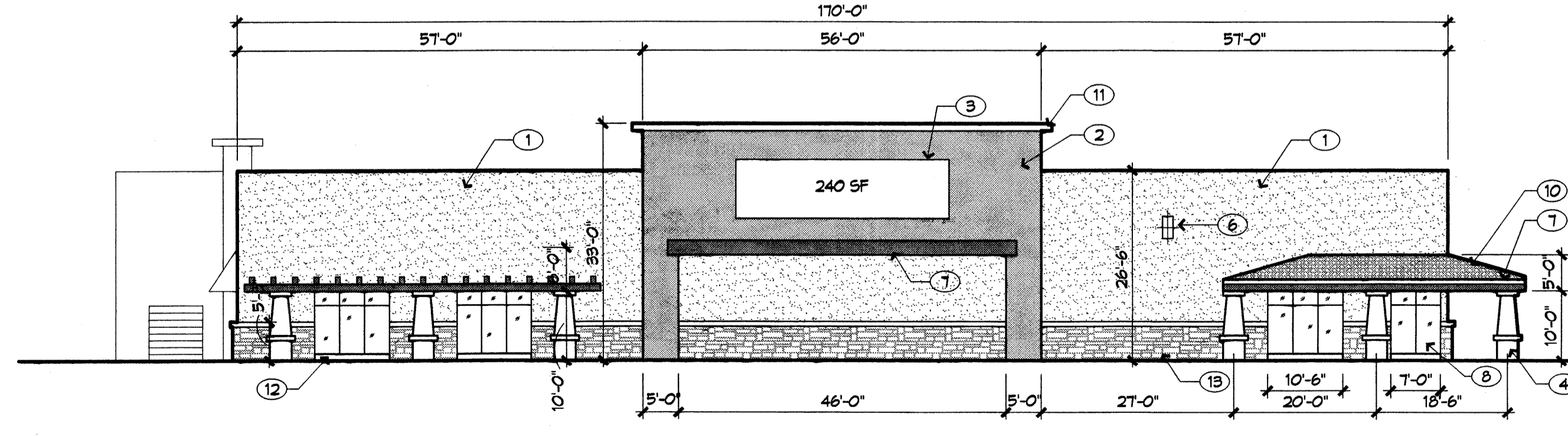
**4 WEST ELEVATION**  
1/16" = 1'-0"



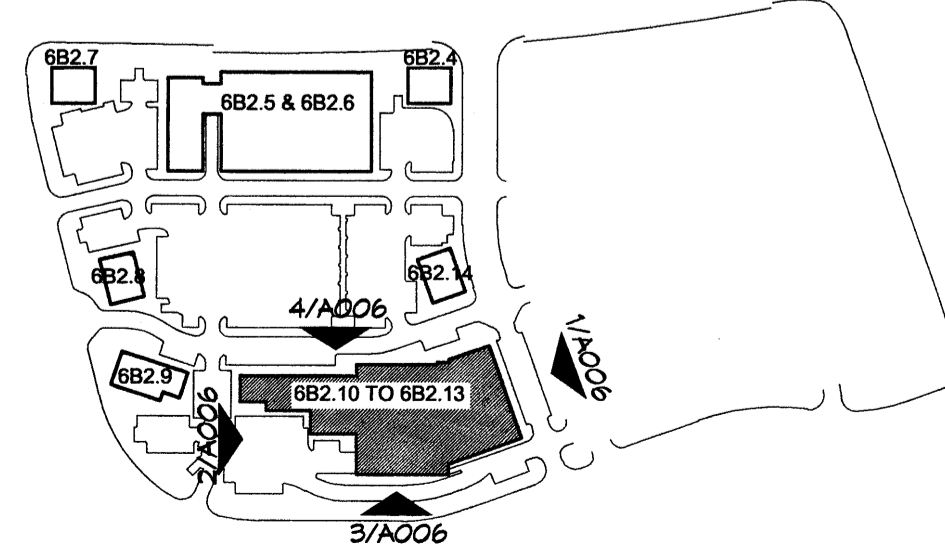
**3 EAST ELEVATION**  
1/16" = 1'-0"



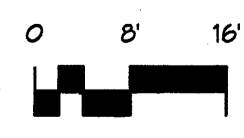
**2 SOUTH ELEVATION**  
1/16" = 1'-0"



**1 NORTH ELEVATION**  
1/16" = 1'-0"



**KEY PLAN**



**Andalucia Tract 6A  
Site Development Plan  
Coors and Montano, SEC  
Albuquerque, New Mexico**

REVISIONS

- ▲ 1/1/2005
- ▲
- ▲
- ▲

DRAWN BY DLS

REVIEWED BY CRG

DATE 06/08/05

PROJECT NO. 04046

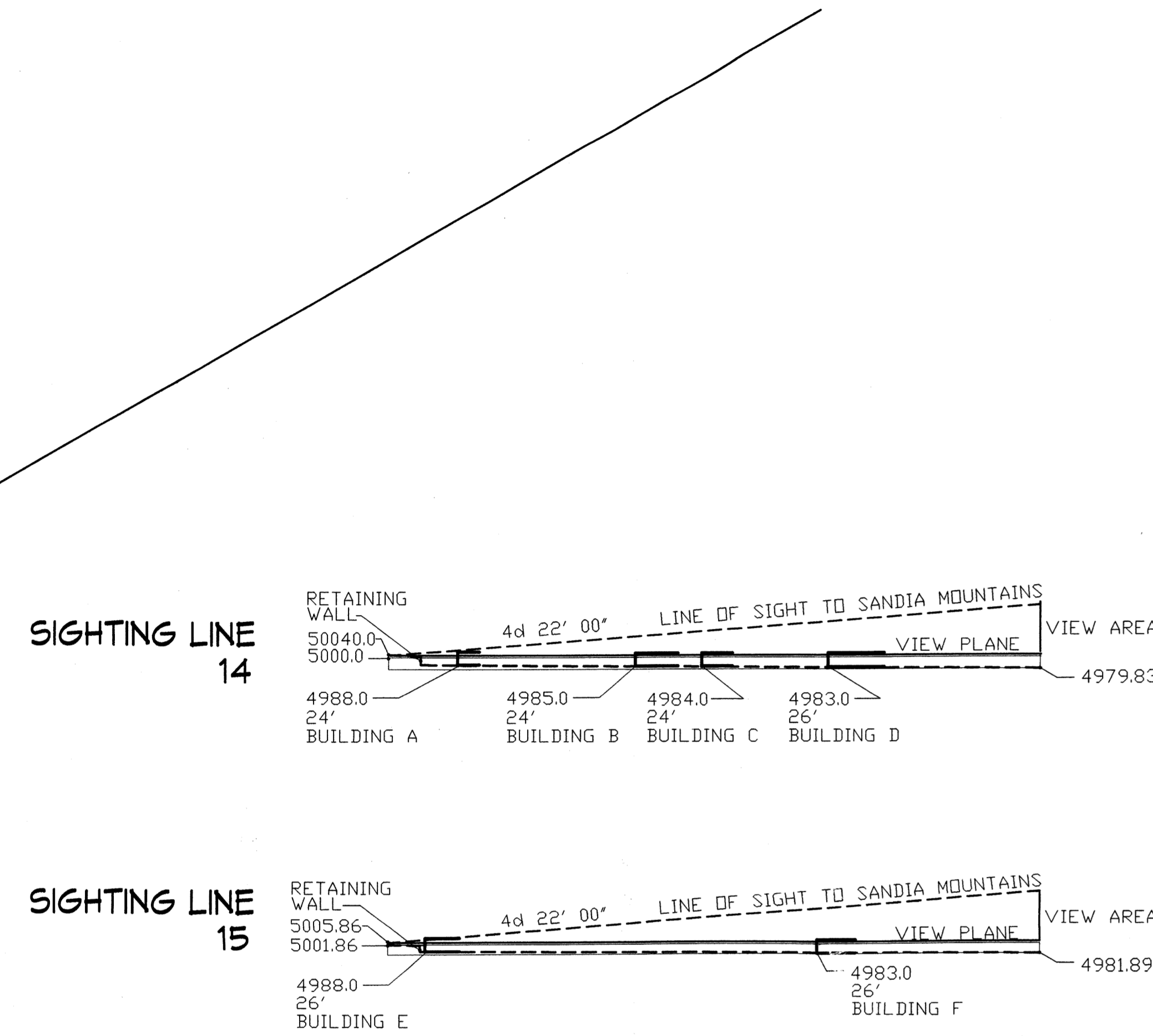
DRAWING NAME

VIEW CORRIDOR  
COMPLIANCE PLAN

SHEET NO.

**VC-001**

10 OF 10

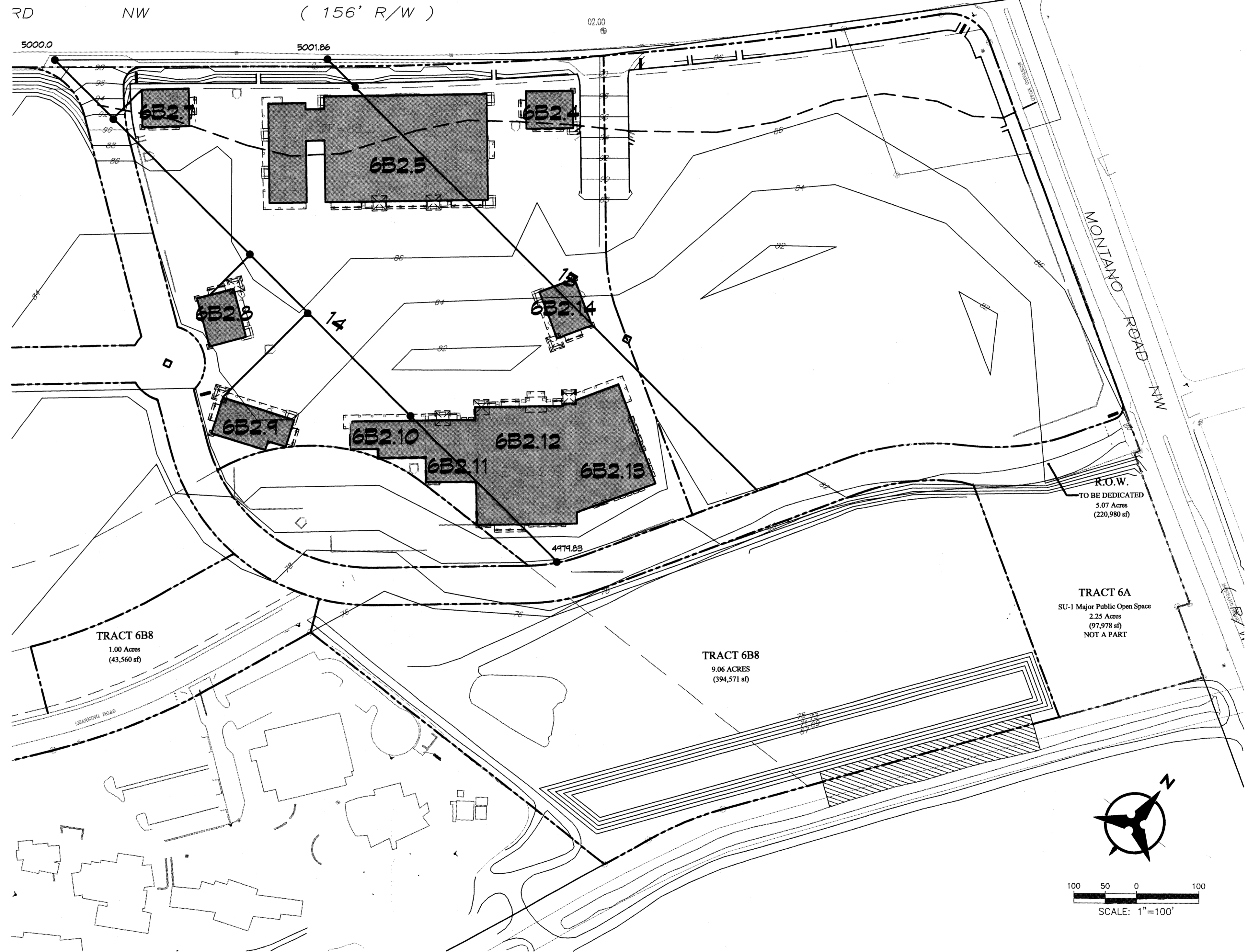


**VIEW CORRIDOR SIGHT LINE SECTIONS**

1" = 200'-0"

| Building Number | Finish Floor | Coors Grade | View Plane | 2/3 below view plane | 1/3 above view plane | Building Height Limit |
|-----------------|--------------|-------------|------------|----------------------|----------------------|-----------------------|
| 6B2.4           | 4988         | 5001        | 5005       | 17                   | 8.5                  | 25.5                  |
| 6B2.5           | 4988         | 5001        | 5005       | 17                   | 8.5                  | 25.5                  |
| 6B2.6           | 4988         | 5001        | 5005       | 17                   | 8.5                  | 25.5                  |
| 6B2.7           | 4988         | 5001        | 5005       | 17                   | 8.5                  | 25.5                  |
| 6B2.8           | 4985         | 5001        | 5005       | 20                   | 10                   | 30                    |
| 6B2.9           | 4984         | 5001        | 5005       | 21                   | 10.5                 | 31.5                  |
| 6B2.14          | 4984         | 5001        | 5005       | 21                   | 10.5                 | 31.5                  |
| 6B2.10          | 4983         | 5001        | 5005       | 22                   | 11                   | 33                    |
| 6B2.11          | 4983         | 5001        | 5005       | 22                   | 11                   | 33                    |
| 6B2.12          | 4983         | 5001        | 5005       | 22                   | 11                   | 33                    |
| 6B2.13          | 4983         | 5001        | 5005       | 22                   | 11                   | 33                    |

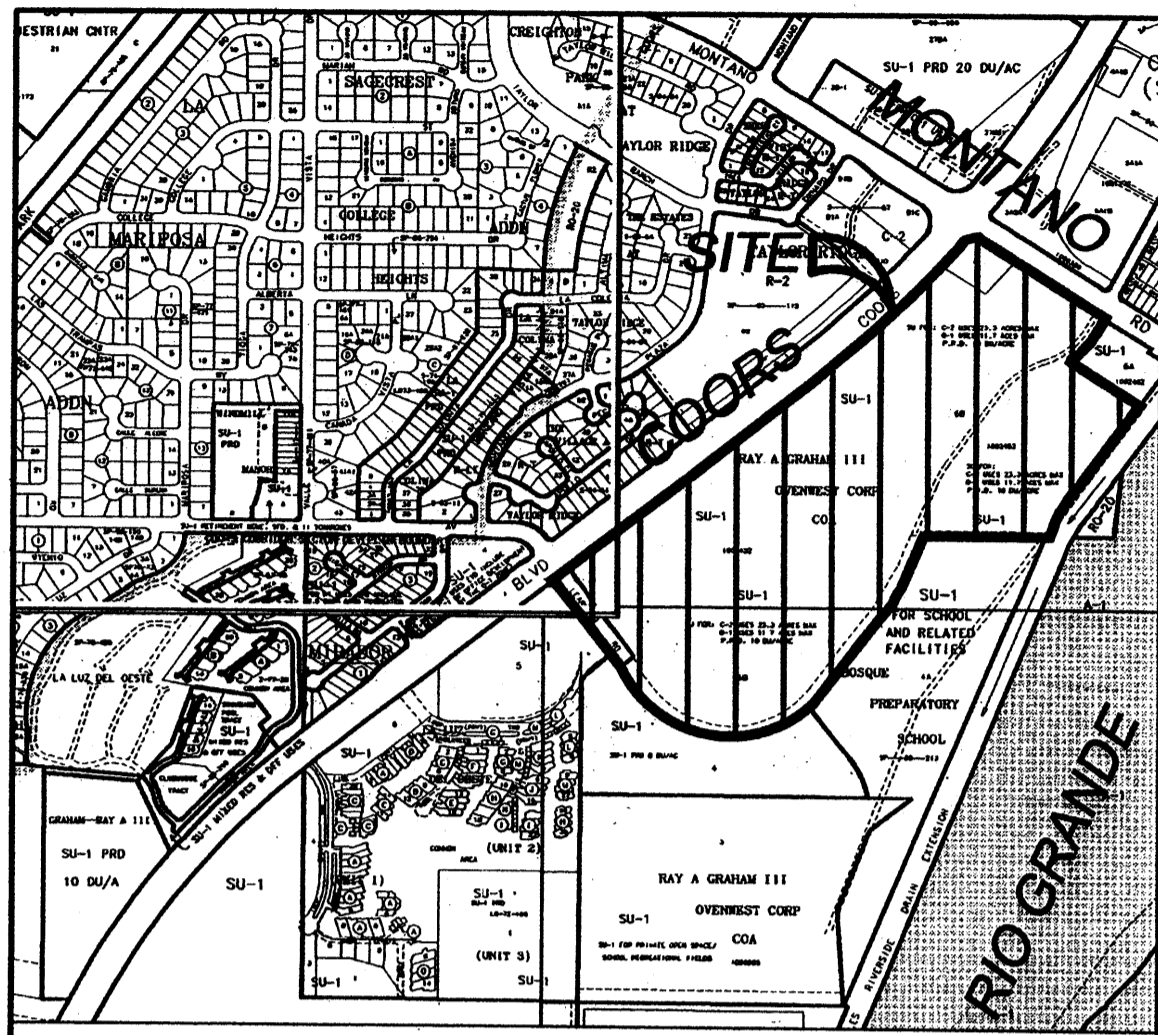
Andalucia North City PN 1000965 04EPC 01844  
Building Height Limits based on Coors Corridor Plan, Section C, Design Regulation B.1 (page 109) 8/16/2005  
(Finish Floor, Coors Grade, and View Plane are in feet above sea level, heights are in feet above finish floor)



**VIEW CORRIDOR COMPLIANCE SITE PLAN**

1" = 100'-0"





Location Map

Zone Atlas Map No. E-11, E-12, F-11 & F-12

**Subdivision Data:**

GROSS SUBDIVISION ACREAGE: 63.5775 ACRES±  
 ZONE ATLAS INDEX NO: E-11, E-12, F-11 AND F-12  
 NO. OF TRACTS CREATED: 9  
 NO. OF LOTS CREATED: 0  
 MILES OF FULL-WIDTH STREETS CREATED: 1.05 MILES  
 DATE OF SURVEY: JUNE 2005

NOTE: A TOTAL OF 2' FLOATING 10'x20' QWEST EASEMENTS TO BE LOCATED WITHIN TRACTS 1 THRU 9 INCLUSIVE ARE GRANTED WITH THE RECORDING OF THIS PLAT. EASEMENT LOCATIONS SHALL BE DETERMINED BY QWEST AS DEVELOPMENT OF THE PROPERTY REQUIRES UTILIZATION OF THE EASEMENTS.

**Disclosure Statement:**

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO TRACTS INTO NINE NEW TRACTS, TO DEDICATE NEW RIGHT OF WAY, TO DEDICATE ADDITIONAL RIGHT OF WAY FOR COORS BOULEVARD, N.W. AND LEARNING ROAD, N.W. TO GRANT EASEMENTS AND TO VACATE EXISTING EASEMENTS.

**Notes:**

- MISC. DATA: ZONING SU-1 FOR C-2, O-1 AND PRD (20 DU/AC).
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN SECTIONS 25, 35 AND 36, TOWNSHIP 11 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2005240482.

**Easements**

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

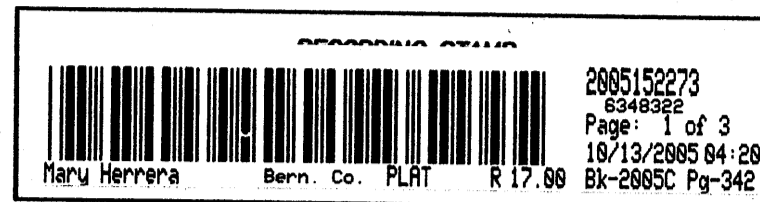
PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.



Plat of  
**North Andalusia  
 at La Luz**

Albuquerque, Bernalillo County, New Mexico  
 June 2005

Project No. 100 3854

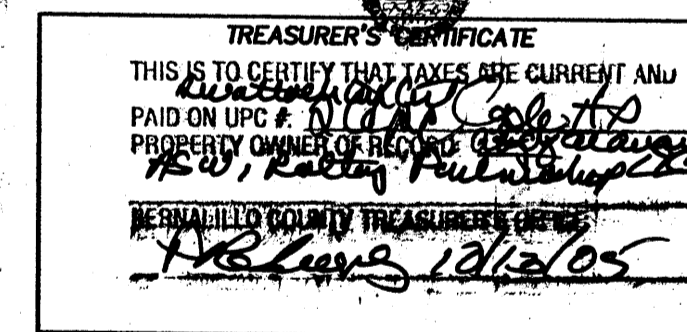
Application No. 05 ORB- 01010

**Utility Approvals**

|                          |          |
|--------------------------|----------|
| <i>Lead J. Mads</i>      | 9-6-05   |
| PNM ELECTRIC SERVICES    | DATE     |
| <i>Lead J. Mads</i>      | 9-6-05   |
| PNM GAS SERVICES         | DATE     |
| <i>Greg Aumont</i>       | 10-13-05 |
| QWEST TELECOMMUNICATIONS | DATE     |
| <i>Donke Dalton</i>      | 7-26-05  |
| COMCAST                  | DATE     |

**City Approvals**

|   |          |
|---|----------|
| <i>M. B. Ford</i>                           | 6-14-05  |
| CITY SURVEYOR                               | DATE     |
| <i>John A. Luna</i>                         | 10-13-05 |
| TRAFFIC ENGINEERING TRANSPORTATION DIVISION | DATE     |
| <i>Christine Sandoval</i>                   | 10/12/05 |
| PARKS AND RECREATION DEPARTMENT             | DATE     |
| <i>Bradley L. Bingham</i>                   | 10/12/05 |
| AMAFCA                                      | DATE     |
| <i>Bradley L. Bingham</i>                   | 10/12/05 |
| CITY ENGINEER                               | DATE     |
| <i>Donke Dalton</i>                         | 10/13/05 |
| DRB CHAIRPERSON, PLANNING DEPARTMENT        | DATE     |



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 1003854

**Free Consent and Dedication**

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS

SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ADDITIONAL ROADWAY RIGHT OF WAY FOR COORS BOULEVARD, N.W. AND LEARNING ROAD, N.W. IN FEE SIMPLE WITH WARRANTY COVENANTS.

*Peggy Daskalos*  
 PEGGY DASKALOS  
 MANAGING PARTNER  
 SILVERLEAF VENTURES, LLC.

6/14/05  
 DATE



**Acknowledgment**

STATE OF NEW MEXICO ) SS  
 COUNTY OF BERNALILLO )

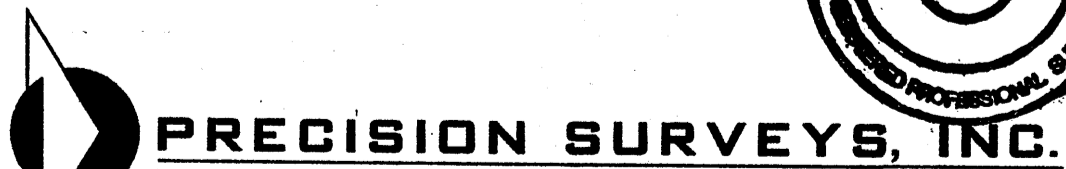
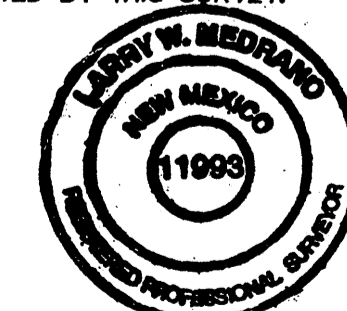
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 14<sup>th</sup> DAY OF June, 2005 BY PEGGY DASKALOS, MANAGING PARTNER, SILVERLEAF VENTURES, LLC.

BY *Chas* MY COMMISSION EXPIRES: 9-19-2006  
 NOTARY PUBLIC

**Surveyor's Certificate**

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

*Larry W. Medrano* 6/13/05  
 LARRY W. MEDRANO  
 N.M.P.S. No. 11993  
 DATE



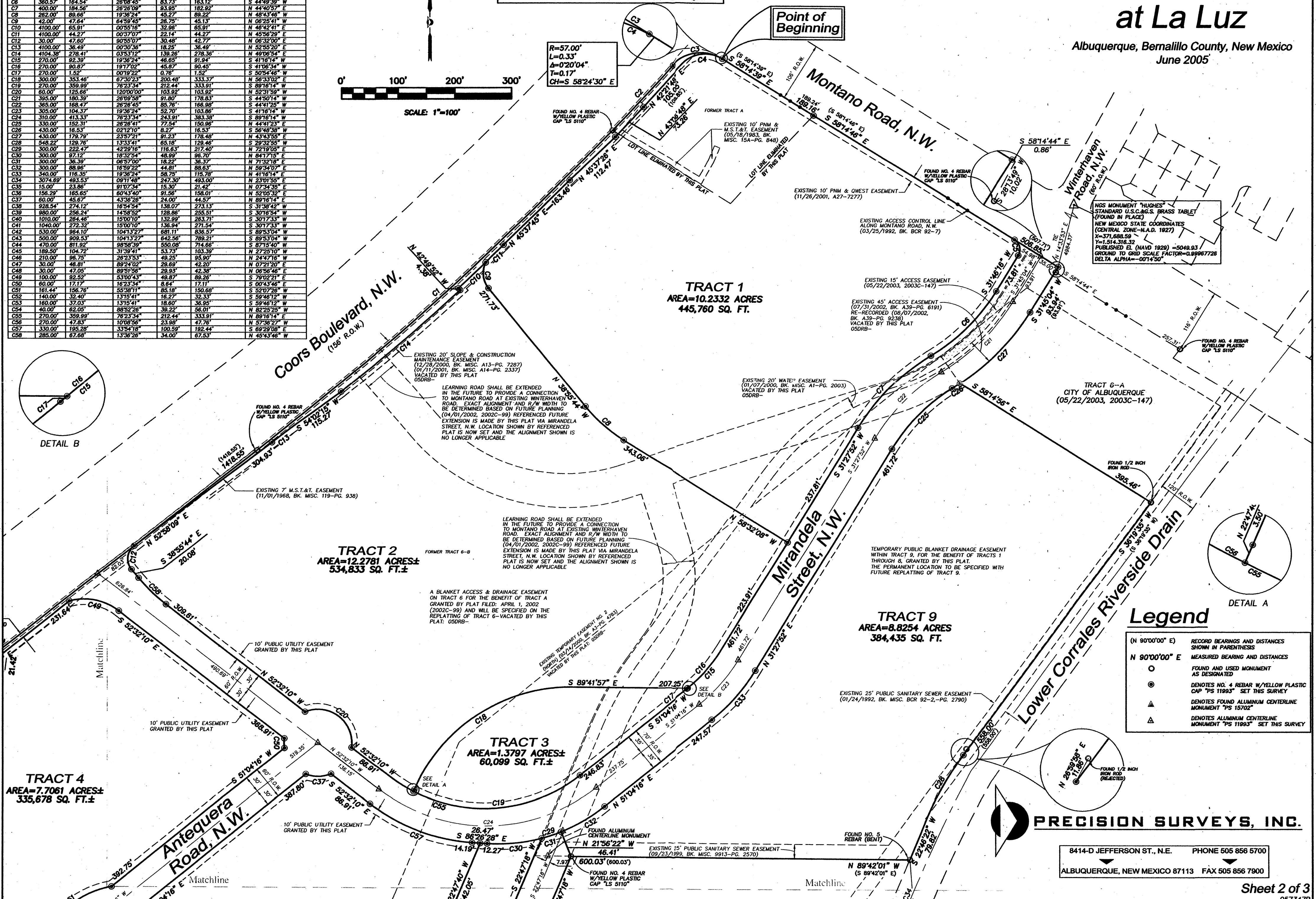
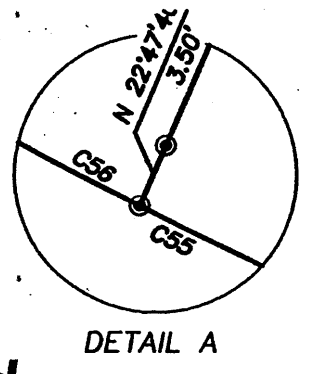
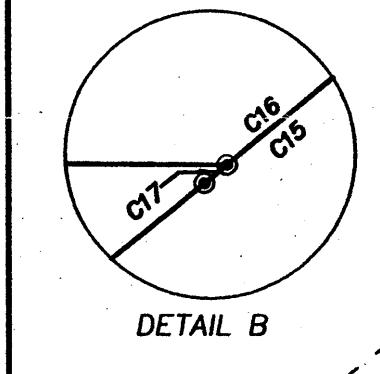
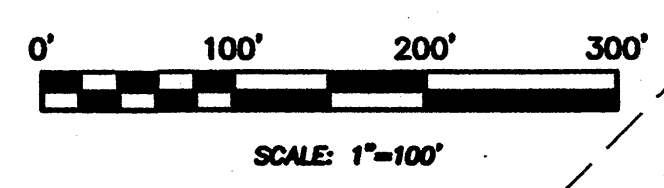
8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

**Curve Table**

| CURVE | RADIUS  | ARC LENGTH | DELTA ANGLE | TANGENT | CHORD LENGTH | CHORD BEARING |
|-------|---------|------------|-------------|---------|--------------|---------------|
| C1    | 5807.58 | 848.89     | 08°22'30"   | 425.20  | 848.14       | N 47°49'18" E |
| C2    | 5807.58 | 157.60     | 01°33'17"   | 78.80   | 157.59       | N 42°29'50" E |
| C3    | 70.00   | 97.37      | 79°41'45"   | 58.42   | 88.71        | N 81°54'39" E |
| C4    | 56.00   | 77.60      | 79°23'33"   | 46.49   | 71.54        | N 82°03'45" E |
| C5    | 20.00   | 31.42      | 90°00'02"   | 20.00   | 28.28        | S 131°44'5" E |
| C6    | 360.57  | 164.54     | 26°08'45"   | 83.73   | 163.12       | S 44°49'39" W |
| C7    | 403.00  | 194.58     | 26°26'09"   | 93.98   | 182.92       | N 44°05'57" E |
| C8    | 282.00  | 88.68      | 19°36'24"   | 45.27   | 88.22        | N 48°43'46" W |
| C9    | 42.00   | 47.64      | 84°59'45"   | 28.75   | 45.13        | N 06°25'41" W |
| C10   | 4100.00 | 65.91      | 00°55'16"   | 32.98   | 65.91        | N 48°42'41" E |
| C11   | 4100.00 | 44.27      | 00°37'07"   | 22.14   | 44.27        | N 45°56'29" E |
| C12   | 30.00   | 47.60      | 90°55'07"   | 30.48   | 42.77        | N 08°32'00" E |
| C13   | 4100.00 | 36.49      | 00°30'36"   | 18.25   | 36.49        | N 52°55'20" E |
| C14   | 4104.38 | 278.41     | 03°53'12"   | 139.26  | 278.38       | N 49°06'54" E |
| C15   | 270.00  | 92.39      | 19°36'24"   | 46.65   | 91.94        | S 41°16'14" W |
| C16   | 270.00  | 90.87      | 19°17'02"   | 45.87   | 90.45        | S 41°06'34" W |
| C17   | 270.00  | 1.52       | 00°19'22"   | 0.78    | 1.52         | S 50°54'46" W |
| C18   | 300.00  | 353.46     | 67°30'23"   | 200.48  | 333.37       | N 59°35'04" W |
| C19   | 270.00  | 359.99     | 76°23'34"   | 212.44  | 333.91       | S 89°16'14" W |
| C20   | 60.00   | 125.66     | 120°00'00"  | 103.92  | 103.92       | N 52°31'59" W |
| C21   | 385.00  | 180.39     | 26°09'58"   | 91.80   | 178.83       | S 44°50'14" W |
| C22   | 385.00  | 168.47     | 26°28'43"   | 85.78   | 166.98       | S 44°41'23" W |
| C23   | 305.00  | 104.37     | 19°36'24"   | 52.70   | 103.86       | S 41°16'14" W |
| C24   | 310.00  | 413.33     | 76°23'34"   | 243.91  | 383.38       | S 89°16'14" W |
| C25   | 330.00  | 152.31     | 26°26'41"   | 77.54   | 150.98       | N 44°41'23" E |
| C26   | 430.00  | 16.33      | 02°12'10"   | 8.27    | 16.33        | S 58°48'38" W |
| C27   | 430.00  | 178.79     | 23°57'21"   | 91.23   | 178.48       | N 43°34'58" E |
| C28   | 548.22  | 129.78     | 13°33'41"   | 65.18   | 128.48       | S 29°32'58" W |
| C29   | 300.00  | 222.47     | 42°29'16"   | 116.83  | 217.40       | N 72°19'05" E |
| C30   | 300.00  | 97.12      | 18°32'54"   | 48.99   | 96.70        | N 84°17'15" E |
| C31   | 300.00  | 36.39      | 06°57'00"   | 18.22   | 36.37        | N 71°32'18" E |
| C32   | 300.00  | 88.95      | 16°59'22"   | 44.81   | 88.83        | S 69°16'14" E |
| C33   | 340.00  | 116.35     | 19°36'24"   | 58.75   | 115.78       | N 41°16'14" E |
| C34   | 3074.89 | 493.53     | 09°11'48"   | 247.30  | 493.00       | N 23°01'55" E |
| C35   | 15.00   | 23.86      | 91°07'34"   | 15.30   | 21.42        | N 07°34'35" E |
| C36   | 156.29  | 165.65     | 60°43'40"   | 91.58   | 158.01       | N 52°05'32" E |
| C37   | 60.00   | 45.67      | 43°36'28"   | 24.00   | 44.57        | S 89°16'14" E |
| C38   | 928.54  | 274.12     | 16°54'54"   | 138.07  | 273.13       | S 31°38'42" W |
| C39   | 980.00  | 256.24     | 14°58'52"   | 128.86  | 255.51       | S 30°16'54" W |
| C40   | 1010.00 | 284.48     | 15°00'10"   | 132.99  | 283.71       | S 30°17'33" W |
| C41   | 1040.00 | 272.32     | 15°00'10"   | 136.94  | 271.54       | S 30°17'33" W |
| C42   | 530.00  | 964.10     | 104°13'22"  | 681.11  | 936.57       | S 69°35'04" W |
| C43   | 500.00  | 909.53     | 104°13'22"  | 642.56  | 789.21       | S 89°53'04" W |
| C44   | 470.00  | 811.92     | 98°58'39"   | 550.08  | 714.68       | S 87°15'40" W |
| C45   | 189.50  | 104.72     | 31°39'41"   | 53.73   | 103.39       | N 27°25'10" W |
| C46   | 210.00  | 96.79      | 28°23'53"   | 48.25   | 95.90        | N 24°47'18" W |
| C47   | 30.00   | 46.81      | 89°24'02"   | 28.69   | 42.20        | N 07°21'20" E |
| C48   | 30.00   | 47.05      | 89°51'56"   | 28.93   | 42.38        | N 06°56'48" E |
| C49   | 100.00  | 92.52      | 53°00'43"   | 48.87   | 89.26        | S 78°02'21" E |
| C50   | 60.00   | 17.17      | 16°23'34"   | 8.64    | 17.11        | S 00°43'46" E |
| C51   | 161.44  | 156.76     | 55°38'11"   | 85.18   | 150.68       | S 52°07'28" W |
| C52   | 140.00  | 32.40      | 13°15'41"   | 15.54   | 32.33        | S 58°48'38" W |
| C53   | 160.00  | 37.03      | 13°15'41"   | 16.00   | 32.33        | S 59°46'12" W |
| C54   | 40.00   | 62.05      | 86°52'26"   | 38.22   | 56.01        | N 82°25'25" W |
| C55   | 270.00  | 359.99     | 76°23'34"   | 212.44  | 333.91       | N 89°16'14" E |
| C56   | 270.00  | 47.83      | 10°08'56"   | 23.98   | 47.76        | N 57°36'27" W |
| C57   | 330.00  | 195.28     | 33°54'18"   | 100.59  | 192.44       | S 69°29'08" E |
| C58   | 285.00  | 87.68      | 13°36'28"   | 34.00   | 87.63        | N 45°43'46" W |

DEMANDING STAMPS  
2065152273  
6348322  
Page: 2 of 3  
18/13/2005 04:28P  
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Mary Herrera Bern. Co. PLAT R 17.08

Plat of  
**North Andalusia  
at La Luz**  
Albuquerque, Bernalillo County, New Mexico  
June 2005



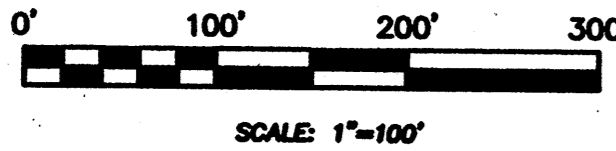
- Legend**
- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES
  - N 90°00'00" E MEASURED BEARING AND DISTANCES AS DESIGNATED
  - FOUND AND USED MONUMENT AS DESIGNATED
  - DENOTES NO. 4 REBAR W/YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
  - ▲ DENOTES FOUND ALUMINUM CENTERLINE MONUMENT "PS 15702"
  - △ DENOTES ALUMINUM CENTERLINE MONUMENT "PS 11993" SET THIS SURVEY

**PRECISION SURVEYS, INC.**

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

**Legend**

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- ⊙ DENOTES NO. 4 REBAR W/YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
- △ DENOTES FOUND ALUMINUM CENTERLINE MONUMENT "PS 15702"
- ▲ DENOTES ALUMINUM CENTERLINE MONUMENT "PS 11993" SET THIS SURVEY



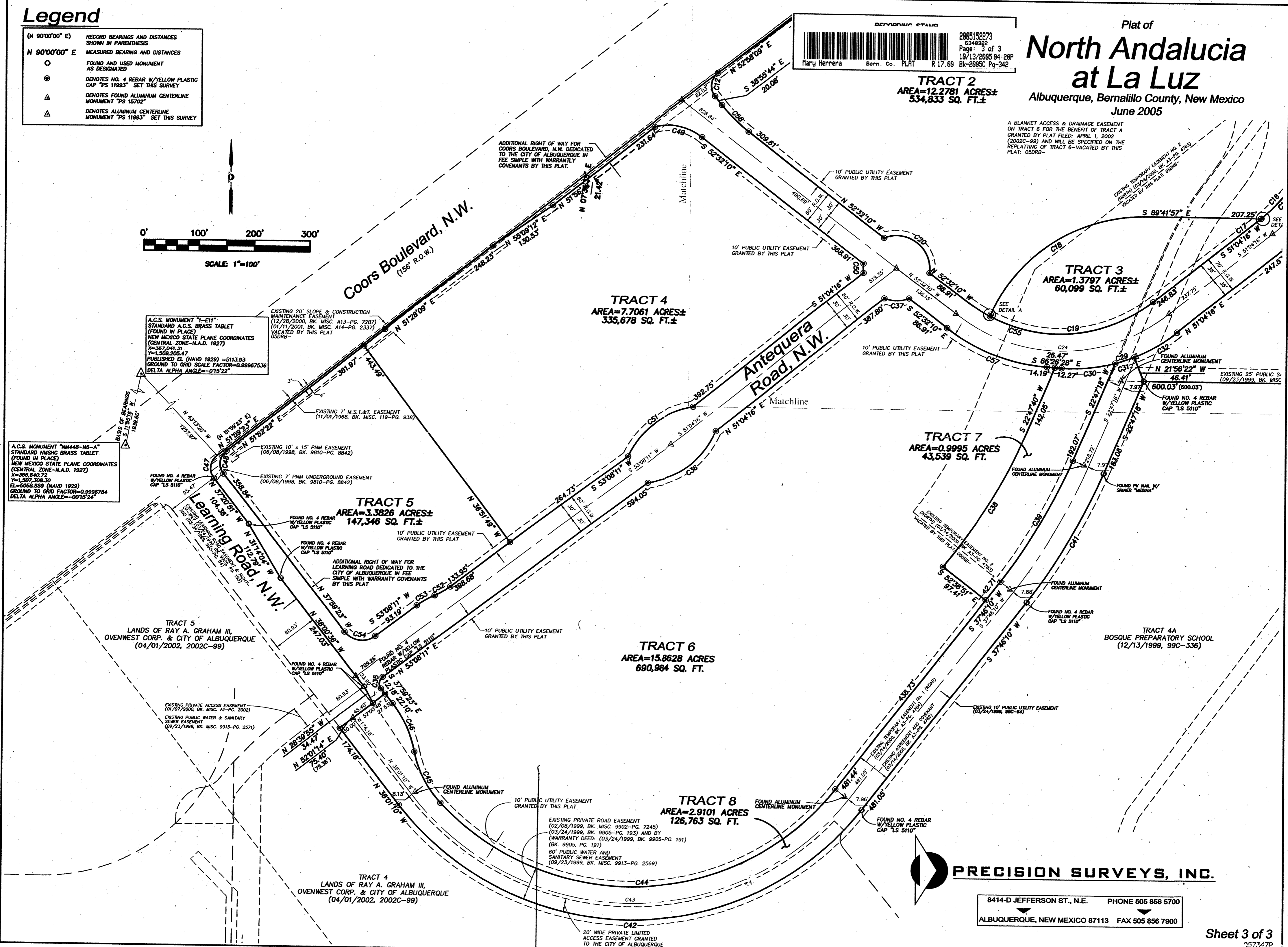
DEFENDING CLAIM

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Mary Herrera Bern. Co. PLRT R 17.89

Plat of  
**North Andaluca  
at La Luz**  
Albuquerque, Bernalillo County, New Mexico  
June 2005

A BLANKET ACCESS & DRAINAGE EASEMENT ON TRACT 6 FOR THE BENEFIT OF TRACT A GRANTED BY PLAT FILED: APRIL 1, 2002 (2002C-99) AND WILL BE SPECIFIED ON THE REPLATTING OF TRACT 6-VACATED BY THIS PLAT: 050R8-



A.C.S. MONUMENT "1-E11" STANDARD A.C.S. BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1927) X=367,041.31 Y=1,505,205.47 PUBLISHED EL (NAVD 1929) =5113.93 GROUND TO GRID SCALE FACTOR=0.99967536 DELTA ALPHA ANGLE=-0°15'22"

A.C.S. MONUMENT "1M448-16-A" STANDARD MMSHC BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1927) X=366,640.72 Y=1,507,308.30 EL=5056.889 (NAVD 1929) GROUND TO GRID FACTOR=0.9996784 DELTA ALPHA ANGLE=-0°15'24"

TRACT 5 LANDS OF RAY A. GRAHAM III, OVENWEST CORP. & CITY OF ALBUQUERQUE (04/01/2002, 2002C-99)

EXISTING PRIVATE ACCESS EASEMENT (01/07/2000, BK. MISC. 41-PG. 2002)  
EXISTING PUBLIC WATER & SANITARY SEWER EASEMENT (09/23/1999, BK. MISC. 9913-PG. 2571)

TRACT 4 LANDS OF RAY A. GRAHAM III, OVENWEST CORP. & CITY OF ALBUQUERQUE (04/01/2002, 2002C-99)

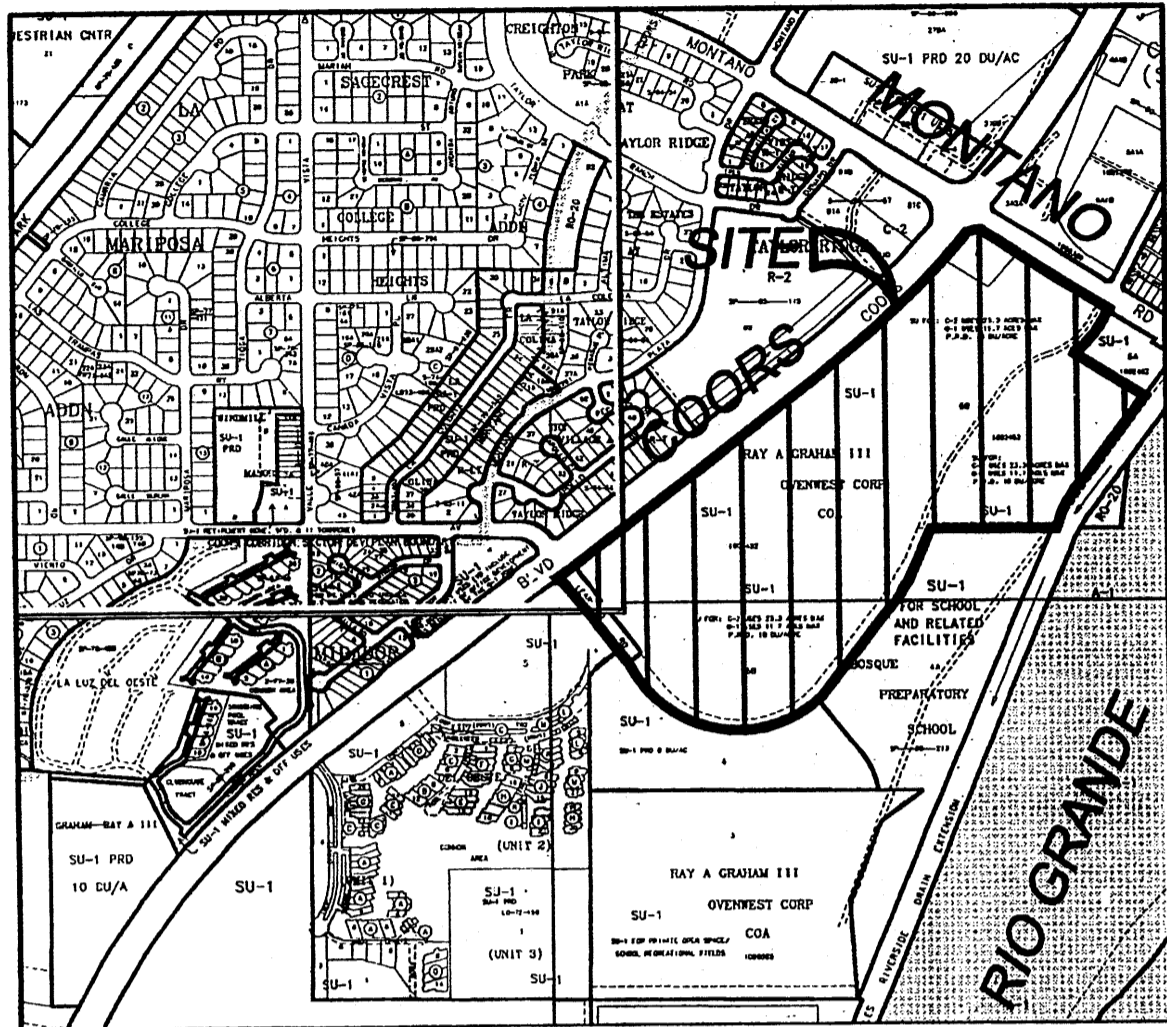
EXISTING PRIVATE ROAD EASEMENT (02/08/1999, BK. MISC. 9902-PG. 7245) (03/24/1999, BK. 9905-PG. 193) AND BY (WARRANTY DEED: (03/24/1999, BK. 9905-PG. 191) (BK. 9905, PG. 191) 60' PUBLIC WATER AND SANITARY SEWER EASEMENT (09/23/1999, BK. MISC. 9913-PG. 2569)

20' WIDE PRIVATE LIMITED ACCESS EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE



**PRECISION SURVEYS, INC.**

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900



Location Map

Zone Atlas Map No. E-11, E-12, F-11 & F-12

**Subdivision Data:**

GROSS SUBDIVISION ACREAGE: 63.5775 ACRES±  
 ZONE ATLAS INDEX NO: E-11, E-12, F-11 AND F-12  
 NO. OF TRACTS CREATED: 9  
 NO. OF LOTS CREATED: 0  
 MILES OF FULL-WIDTH STREETS CREATED: 1.05 MILES  
 DATE OF SURVEY: JUNE 2005

NOTE: A TOTAL OF 2 FLOATING 10'x20' QWEST EASEMENTS TO BE LOCATED WITHIN TRACTS 1 THRU 9 INCLUSIVE ARE GRANTED WITH THE RECORDING OF THIS PLAT. EASEMENT LOCATIONS SHALL BE DETERMINED BY QWEST AS DEVELOPMENT OF THE PROPERTY REQUIRES UTILIZATION OF THE EASEMENTS.

**Disclosure Statement:**

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO TRACTS INTO NINE NEW TRACTS, TO DEDICATE NEW RIGHT OF WAY, TO DEDICATE ADDITIONAL RIGHT OF WAY FOR COORS BOULEVARD, N.W. AND LEARNING ROAD, N.W. TO GRANT EASEMENTS AND TO VACATE EXISTING EASEMENTS.

**Notes:**

- MISC. DATA: ZONING SU-1 FOR C-2, O-1 AND PRD (20 DU/AC)
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN SECTIONS 25, 35 AND 36, TOWNSHIP 11 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2005240482.

**Easements**

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

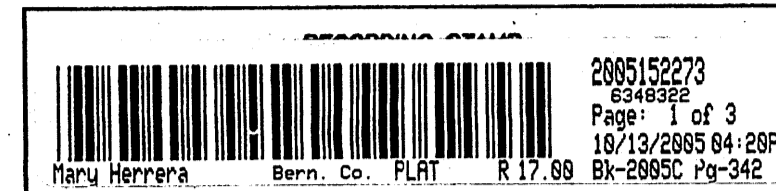
PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.



Plat of  
**North Andalusia  
 at La Luz**

Albuquerque, Bernalillo County, New Mexico  
 June 2005

Project No. 100 3859

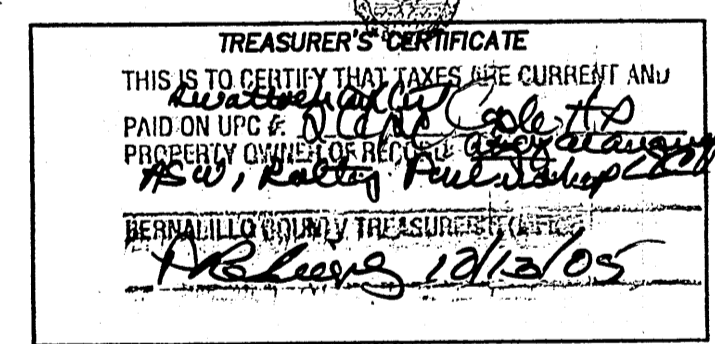
Application No. 05ORB-01010

**Utility Approvals**

|                          |          |
|--------------------------|----------|
| <i>Paul D. Mads</i>      | 9-6-05   |
| PNM ELECTRIC SERVICES    | DATE     |
| <i>Paul D. Mads</i>      | 9-6-05   |
| PNM GAS SERVICES         | DATE     |
| <i>Greg A. Smith</i>     | 10-13-05 |
| QWEST TELECOMMUNICATIONS | DATE     |
| <i>Donie Dabson</i>      | 7-26-05  |
| COMCAST                  | DATE     |

**City Approvals**

|   |          |
|---|----------|
| <i>M. B. Hart</i>                           | 6-14-05  |
| CITY SURVEYOR                               | DATE     |
| <i>John D. ...</i>                          | 10-12-05 |
| TRAFFIC ENGINEERING TRANSPORTATION DIVISION | DATE     |
| <i>Roger A. ...</i>                         | 10-19-05 |
| UTILITY DEVELOPMENT                         | DATE     |
| <i>Christina ...</i>                        | 10/12/05 |
| PARKS AND RECREATION DEPARTMENT             | DATE     |
| <i>Bradley L. Bingham</i>                   | 10/12/05 |
| AMAFCA                                      | DATE     |
| <i>Bradley L. Bingham</i>                   | 10/12/05 |
| CITY ENGINEER                               | DATE     |
| <i>Donie Dabson</i>                         | 10/13/05 |
| DRB CHAIRPERSON, PLANNING DEPARTMENT        | DATE     |



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # ...

**Free Consent and Dedication**

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

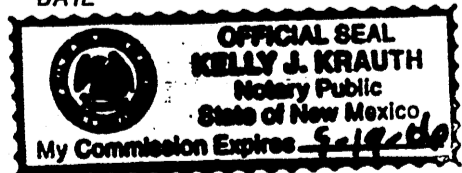
SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS

SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ADDITIONAL ROADWAY RIGHT OF WAY FOR COORS BOULEVARD, N.W. AND LEARNING ROAD, N.W. IN FEE SIMPLE WITH WARRANTY COVENANTS.

*Peggy Daskalos*  
 PEGGY DASKALOS  
 MANAGING PARTNER  
 SILVERLEAF VENTURES, LLC.

6/14/05  
 DATE



**Acknowledgment**

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 14<sup>th</sup> DAY OF June 2005 BY PEGGY DASKALOS, MANAGING PARTNER, SILVERLEAF VENTURES, LLC.

BY *[Signature]* MY COMMISSION EXPIRES: 9-19-2006  
 NOTARY PUBLIC

**Surveyor's Certificate**

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

*Larry W. Medrano* 6/13/05  
 LARRY W. MEDRANO  
 N.M.P.S. No. 11993



**PRECISION SURVEYS, INC.**

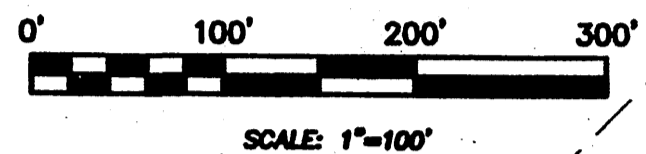
8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

**Curve Table**

| CURVE | RADIUS  | ARC LENGTH | DELTA ANGLE | TANGENT | CHORD LENGTH | CHORD BEARING |
|-------|---------|------------|-------------|---------|--------------|---------------|
| C1    | 5807.58 | 848.89     | 08°22'30"   | 425.20  | 848.14       | N 47°48'16" E |
| C2    | 5807.58 | 157.60     | 01°33'17"   | 78.80   | 157.59       | N 42°50'25" E |
| C3    | 70.00   | 97.37      | 79°47'45"   | 58.42   | 89.71        | N 81°54'39" E |
| C4    | 56.00   | 77.60      | 79°23'33"   | 46.49   | 71.54        | N 82°03'45" E |
| C5    | 20.00   | 31.42      | 90°00'00"   | 20.00   | 28.28        | S 15°14'45" W |
| C6    | 360.57  | 184.54     | 26°08'45"   | 83.73   | 163.12       | S 44°49'39" W |
| C7    | 400.00  | 184.56     | 26°28'09"   | 93.95   | 182.92       | N 44°40'57" E |
| C8    | 262.00  | 89.66      | 19°36'24"   | 45.27   | 89.22        | N 48°43'46" W |
| C9    | 42.00   | 47.64      | 64°59'45"   | 26.75   | 45.13        | N 06°25'41" W |
| C10   | 4100.00 | 65.91      | 00°55'16"   | 32.96   | 65.91        | N 46°42'41" E |
| C11   | 4100.00 | 44.27      | 00°33'07"   | 22.14   | 44.27        | N 45°56'29" E |
| C12   | 30.00   | 47.60      | 90°55'07"   | 30.48   | 42.77        | N 06°32'00" E |
| C13   | 4100.00 | 36.49      | 00°30'36"   | 18.25   | 36.49        | N 52°55'20" E |
| C14   | 4104.38 | 278.41     | 03°53'12"   | 139.26  | 278.36       | N 49°06'54" E |
| C15   | 270.00  | 92.39      | 19°36'24"   | 46.85   | 91.94        | S 41°16'14" W |
| C16   | 270.00  | 92.39      | 19°17'02"   | 45.87   | 90.45        | S 41°06'34" W |
| C17   | 270.00  | 1.52       | 00°19'22"   | 0.76    | 1.52         | S 50°54'46" W |
| C18   | 300.00  | 353.46     | 67°30'23"   | 200.48  | 333.37       | N 56°33'02" E |
| C19   | 270.00  | 359.99     | 76°23'34"   | 212.44  | 333.91       | S 89°16'14" W |
| C20   | 60.00   | 125.66     | 120°00'00"  | 103.92  | 103.92       | N 52°31'59" W |
| C21   | 395.00  | 180.39     | 28°09'58"   | 91.80   | 178.83       | S 44°50'14" W |
| C22   | 365.00  | 168.47     | 25°28'45"   | 86.76   | 168.98       | S 44°41'25" W |
| C23   | 305.00  | 104.37     | 19°36'24"   | 52.70   | 103.66       | S 41°16'14" W |
| C24   | 310.00  | 413.33     | 76°23'34"   | 243.91  | 383.39       | S 89°16'14" W |
| C25   | 330.00  | 152.31     | 26°28'45"   | 77.54   | 150.96       | N 44°41'23" E |
| C26   | 300.00  | 36.39      | 06°57'00"   | 18.22   | 36.37        | N 89°16'14" E |
| C27   | 430.00  | 179.79     | 23°57'21"   | 91.23   | 178.48       | N 89°16'14" E |
| C28   | 548.22  | 129.76     | 13°33'41"   | 65.88   | 129.46       | S 29°32'55" W |
| C29   | 300.00  | 222.47     | 42°29'16"   | 116.63  | 217.40       | N 72°19'05" E |
| C30   | 300.00  | 97.12      | 18°32'54"   | 48.89   | 96.70        | N 84°17'15" E |
| C31   | 300.00  | 16.53      | 02°12'10"   | 8.27    | 16.53        | N 71°32'18" E |
| C32   | 300.00  | 88.96      | 16°59'22"   | 44.61   | 88.63        | N 89°16'14" E |
| C33   | 340.00  | 116.35     | 19°36'24"   | 58.75   | 115.78       | N 41°16'14" E |
| C34   | 3074.69 | 493.53     | 09°11'48"   | 247.30  | 493.00       | N 23°01'55" E |
| C35   | 15.00   | 23.86      | 91°07'34"   | 15.30   | 21.42        | N 07°34'35" E |
| C36   | 158.29  | 163.65     | 80°43'40"   | 91.56   | 158.01       | N 52°05'32" E |
| C37   | 60.00   | 45.67      | 43°36'26"   | 24.00   | 44.57        | N 89°16'14" E |
| C38   | 928.54  | 274.12     | 16°54'54"   | 138.07  | 273.13       | S 31°38'42" W |
| C39   | 980.00  | 256.24     | 14°58'52"   | 128.86  | 255.51       | S 30°16'54" W |
| C40   | 1010.00 | 264.46     | 15°00'10"   | 132.99  | 263.71       | S 30°17'33" W |
| C41   | 1040.00 | 272.32     | 15°00'10"   | 136.94  | 271.54       | S 30°17'33" W |
| C42   | 530.00  | 964.10     | 104°13'22"  | 681.11  | 836.57       | S 89°53'04" W |
| C43   | 500.00  | 909.53     | 104°13'22"  | 642.56  | 789.21       | S 89°54'07" W |
| C44   | 470.00  | 811.92     | 88°58'39"   | 550.08  | 714.66       | S 87°15'40" W |
| C45   | 189.50  | 104.72     | 31°39'41"   | 53.73   | 103.39       | N 27°25'10" W |
| C46   | 210.00  | 96.75      | 26°23'53"   | 49.25   | 95.90        | N 24°47'16" W |
| C47   | 30.00   | 46.81      | 89°24'02"   | 28.69   | 42.20        | N 07°21'20" E |
| C48   | 30.00   | 47.05      | 89°51'56"   | 28.93   | 42.38        | N 08°56'46" E |
| C49   | 100.00  | 92.52      | 53°00'43"   | 49.67   | 89.26        | S 78°02'21" E |
| C50   | 60.00   | 17.17      | 16°23'34"   | 8.64    | 17.11        | S 00°43'46" E |
| C51   | 161.44  | 156.76     | 55°38'11"   | 85.18   | 150.68       | S 52°07'26" W |
| C52   | 140.00  | 32.40      | 13°15'41"   | 16.22   | 32.33        | S 59°46'12" W |
| C53   | 160.00  | 37.03      | 13°15'41"   | 16.60   | 36.95        | S 59°46'12" W |
| C54   | 40.00   | 62.05      | 88°52'28"   | 38.92   | 56.01        | N 82°25'25" W |
| C55   | 270.00  | 359.99     | 76°23'34"   | 212.44  | 333.91       | N 89°16'14" E |
| C56   | 270.00  | 47.83      | 10°08'56"   | 23.88   | 47.76        | N 57°36'27" W |
| C57   | 330.00  | 193.28     | 33°54'16"   | 100.59  | 192.44       | S 69°29'08" E |
| C58   | 285.00  | 87.69      | 13°36'26"   | 34.00   | 87.53        | N 45°43'46" W |

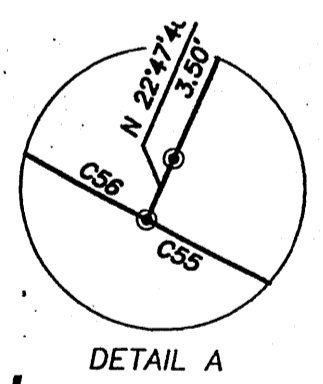
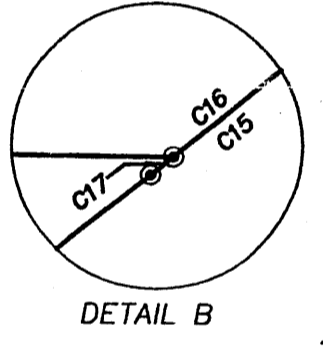
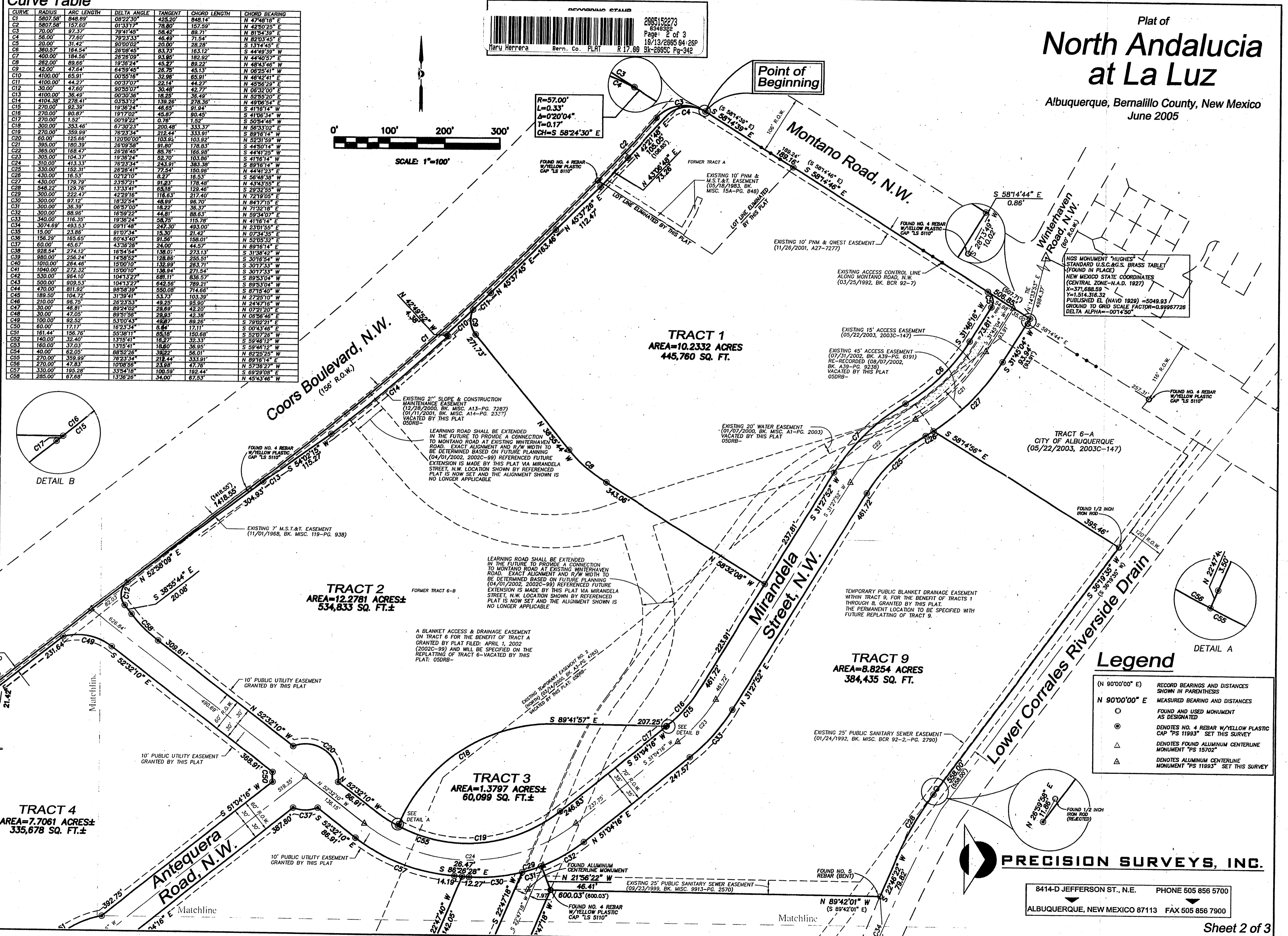
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 BK-2805C Pg-342  
 Barry Herrera Bern. Co. PLRT R.17.89

Plat of  
**North Andaluca**  
 at La Luz  
 Albuquerque, Bernalillo County, New Mexico  
 June 2005



R=57.00'  
 L=0.33'  
 Δ=0°20'04"  
 T=0.17'  
 CH=S 58°24'30" E

Point of Beginning



**Legend**

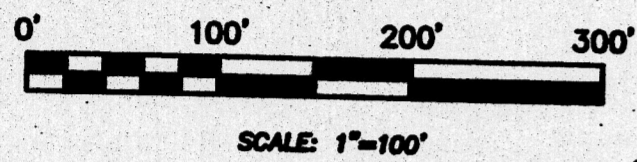
|                 |   |
|-----------------|---|
| (N 90°00'00" E) | RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES                  |
| N 90°00'00" E   | MEASURED BEARING AND DISTANCES                                      |
| ○               | FOUND AND USED MONUMENT AS DESIGNATED                               |
| ⊙               | DENOTES NO. 4 REBAR W/YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY |
| △               | DENOTES FOUND ALUMINUM CENTERLINE MONUMENT "PS 15702"               |
| ▲               | DENOTES ALUMINUM CENTERLINE MONUMENT "PS 11993" SET THIS SURVEY     |

**PRECISION SURVEYS, INC.**

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

# Legend

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES.
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- ⊙ DENOTES NO. 4 REBAR W/YELLOW PLASTIC CAP "PS 11983" SET THIS SURVEY
- △ DENOTES FOUND ALUMINUM CENTERLINE MONUMENT "PS 15702"
- △ DENOTES ALUMINUM CENTERLINE MONUMENT "PS 11983" SET THIS SURVEY



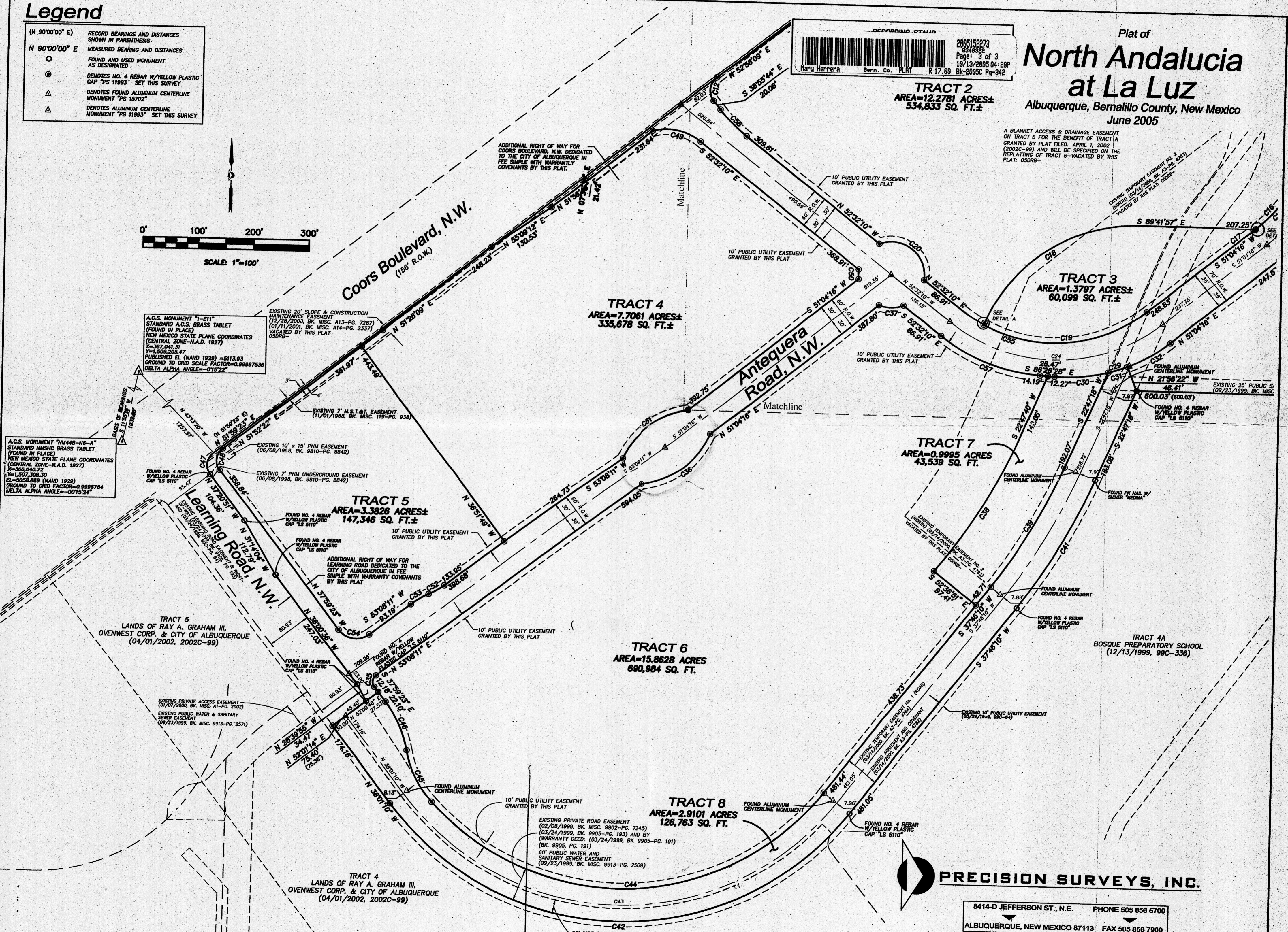
Plat of  
**North Andaluca  
 at La Luz**  
 Albuquerque, Bernalillo County, New Mexico  
 June 2005

RECORDING STAMP

2005152273  
 6348322  
 Page: 3 of 3  
 16/13/2005 04:28P  
 Bk-2885C Pg-342

Haru Herrera Bern. Co. PLRT R 17.89 Bk-2885C Pg-342

A BLANKET ACCESS & DRAINAGE EASEMENT ON TRACT 6 FOR THE BENEFIT OF TRACT 1A GRANTED BY PLAT FILED: APRIL 1, 2002 (2002C-99) AND WILL BE SPECIFIED ON THE REPLATING OF TRACT 6-VACATED BY THIS PLAT: 0508B-



A.C.S. MONUMENT "1-E11" STANDARD A.C.S. BRASS TABLE (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1927) X=387,941.31 Y=1,509,205.47 PUBLISHED EL (NAVD 1929) =5113.93 GROUND TO GRID SCALE FACTOR=0.99967538 DELTA ALPHA ANGLE=-0°15'22"

A.C.S. MONUMENT "NM448-N6-A" STANDARD MNSHC BRASS TABLE (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1927) X=365,940.72 Y=1,507,308.30 EL=5058.889 (NAVD 1929) GROUND TO GRID FACTOR=0.9996784 DELTA ALPHA ANGLE=-0°15'24"

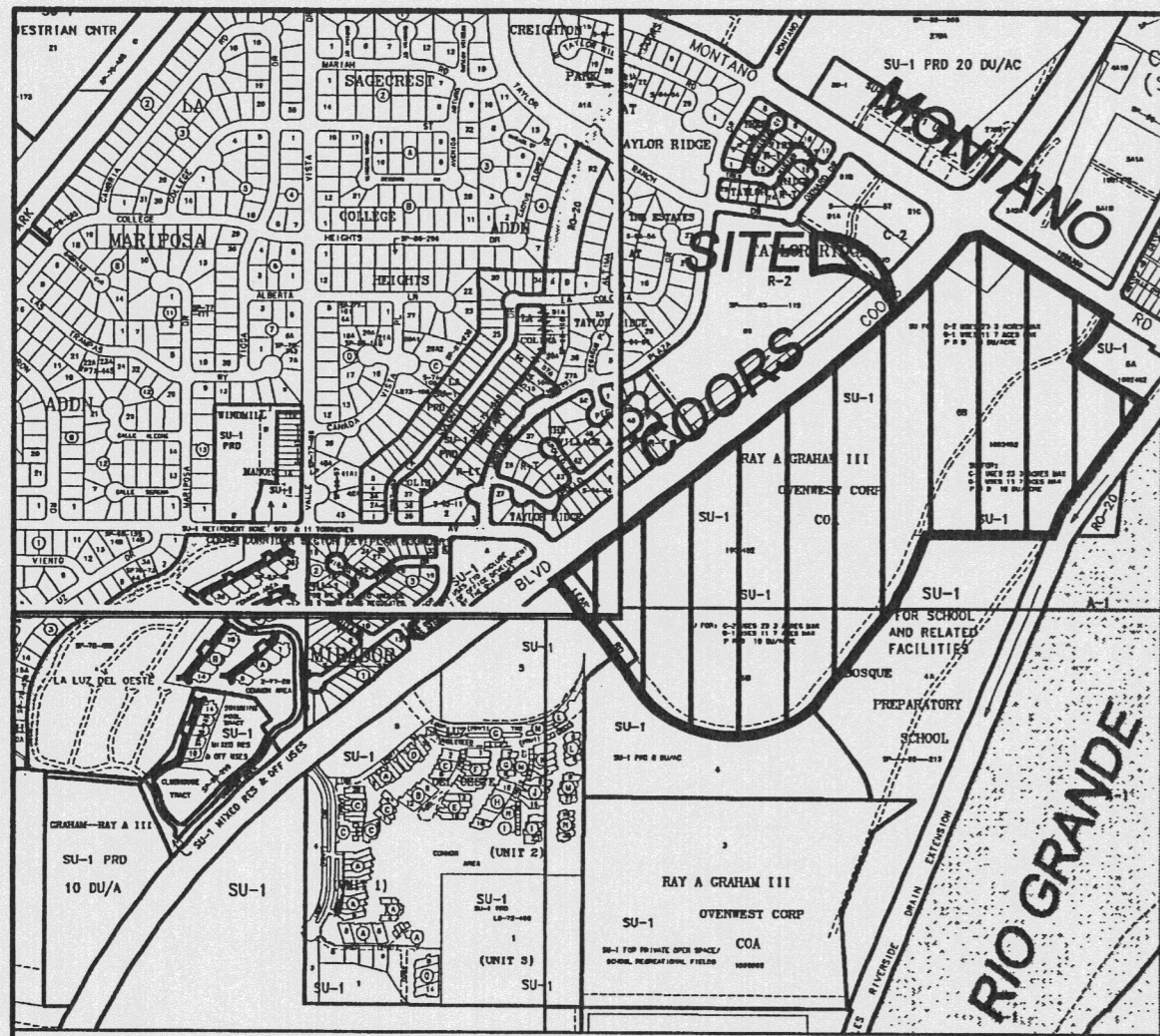
TRACT 5 LANDS OF RAY A. GRAHAM III, OVENWEST CORP. & CITY OF ALBUQUERQUE (04/01/2002, 2002C-99)

EXISTING PRIVATE ROAD EASEMENT (02/08/1999, BK. MISC. 9902-PG. 7245) (03/24/1999, BK. MISC. 9905-PG. 193) AND BY (WARRANTY DEED: (03/24/1999, BK. 9905-PG. 191) (BK. 9905, PG. 191) 60' PUBLIC WATER AND SANITARY SEWER EASEMENT (09/23/1999, BK. MISC. 9913-PG. 2569)

TRACT 4 LANDS OF RAY A. GRAHAM III, OVENWEST CORP. & CITY OF ALBUQUERQUE (04/01/2002, 2002C-99)

**PRECISION SURVEYS, INC.**

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900



**Location Map**

Zone Atlas Map No. E-11, E-12, F-11 & F-12

**Subdivision Data:**

GROSS SUBDIVISION ACREAGE: 63.5775 ACRES±  
 ZONE ATLAS INDEX NO.: E-11, E-12, F-11 AND F-12  
 NO. OF TRACTS CREATED: 9  
 NO. OF LOTS CREATED: 0  
 MILES OF FULL-WIDTH STREETS CREATED: 1.05 MILES  
 DATE OF SURVEY: JUNE 2005

**Disclosure Statement:**

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO TRACTS INTO NINE NEW TRACTS, TO DEDICATE NEW RIGHT OF WAY, TO DEDICATE ADDITIONAL RIGHT OF WAY FOR COORS BOULEVARD, N.W. AND LEARNING ROAD, N.W. TO GRANT EASEMENTS AND TO VACATE EXISTING EASEMENTS.

**Notes:**

- MISC. DATA: ZONING SU-1 FOR C-2, O-1 AND PRD (20 DU/AC).
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN SECTIONS 25, 35 AND 36, TOWNSHIP 11 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2005240482

**Easements**

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

RECORDING STAMP

Plat of  
**North Andalusia  
 at La Luz**

Albuquerque, Bernalillo County, New Mexico  
 June 2005

PRELIMINARY PLAT  
 APPROVED BY DRB  
 ON 6/22/05

Project No. \_\_\_\_\_

Application No. \_\_\_\_\_

**Utility Approvals**

|   |         |
|---|---------|
| PNM ELECTRIC SERVICES                       | DATE    |
| PNM GAS SERVICES                            | DATE    |
| QWEST TELECOMMUNICATIONS                    | DATE    |
| COMCAST                                     | DATE    |
| <b>City Approvals</b>                       |         |
| CITY SURVEYOR                               | 6/14/05 |
| TRAFFIC ENGINEERING TRANSPORTATION DIVISION | DATE    |
| UTILITY DEVELOPMENT                         | DATE    |
| PARKS AND RECREATION DEPARTMENT             | DATE    |
| AMAFCA                                      | DATE    |
| CITY ENGINEER                               | DATE    |
| DRB CHAIRPERSON, PLANNING DEPARTMENT        | DATE    |

TREASURER'S CERTIFICATE

**Surveyor's Certificate**

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

LARRY W. MEDRANO 6/13/05  
 LARRY W. MEDRANO  
 N.M.P.S. No. 11993



**PRECISION SURVEYS, INC.**  
 8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

**Legal Description**

COMPRISING OF TRACT "A" OF THE PLAT ENTITLED "PLAT OF TRACTS A, B, 1, 2, 3, 4, 5, & 6 OF LANDS OF RAY A. GRAHAM III, OVENWEST CORP. & CITY OF ALBUQUERQUE" FILED APRIL 1, 2002 IN BOOK 2002C, PAGE 99, TOGETHER WITH TRACT "6B" OF THE BULK LAND PLAT ENTITLED, "TRACT 6-A CITY OF ALBUQUERQUE AND TRACT 6-B LANDS OF RAY A. GRAHAM III", FILED MAY 22, 2003 IN BOOK 2003C, PAGE 147, A TRACT OF LAND SITUATE LYING AND SITUATE WITHIN SECTIONS 25, 35 AND 36, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO CONTAINING 63.5775 ACRES MORE OR LESS, NOW COMPRISING OF TRACTS "1", "2", "3", "4", "5", "6", "7", "8" AND "9" NORTH ANDALUCIA AT LA LUZ SUBDIVISION.

**Free Consent and Dedication**

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

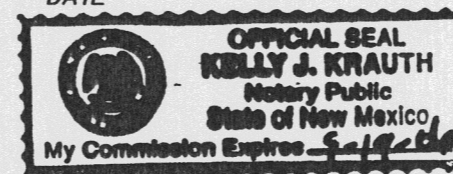
SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS

SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ADDITIONAL ROADWAY RIGHT OF WAY FOR COORS BOULEVARD, N.W. AND LEARNING ROAD, N.W. IN FEE SIMPLE WITH WARRANTY COVENANTS.

Peggy Daskalos  
 PEGGY DASKALOS  
 MANAGING PARTNER  
 SILVERLEAF VENTURES, LLC.

6/14/05  
 DATE



**Acknowledgment**

STATE OF NEW MEXICO ) SS  
 COUNTY OF BERNALILLO)

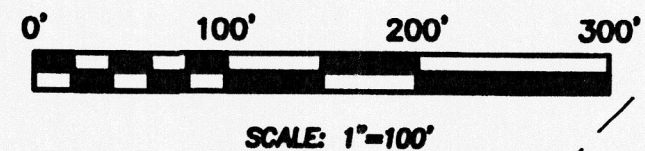
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 14<sup>th</sup> DAY OF June, 2005 BY PEGGY DASKALOS, MANAGING PARTNER, SILVERLEAF VENTURES, LLC.

BY [Signature] MY COMMISSION EXPIRES: 9-19-2006  
 NOTARY PUBLIC

**Curve Table**

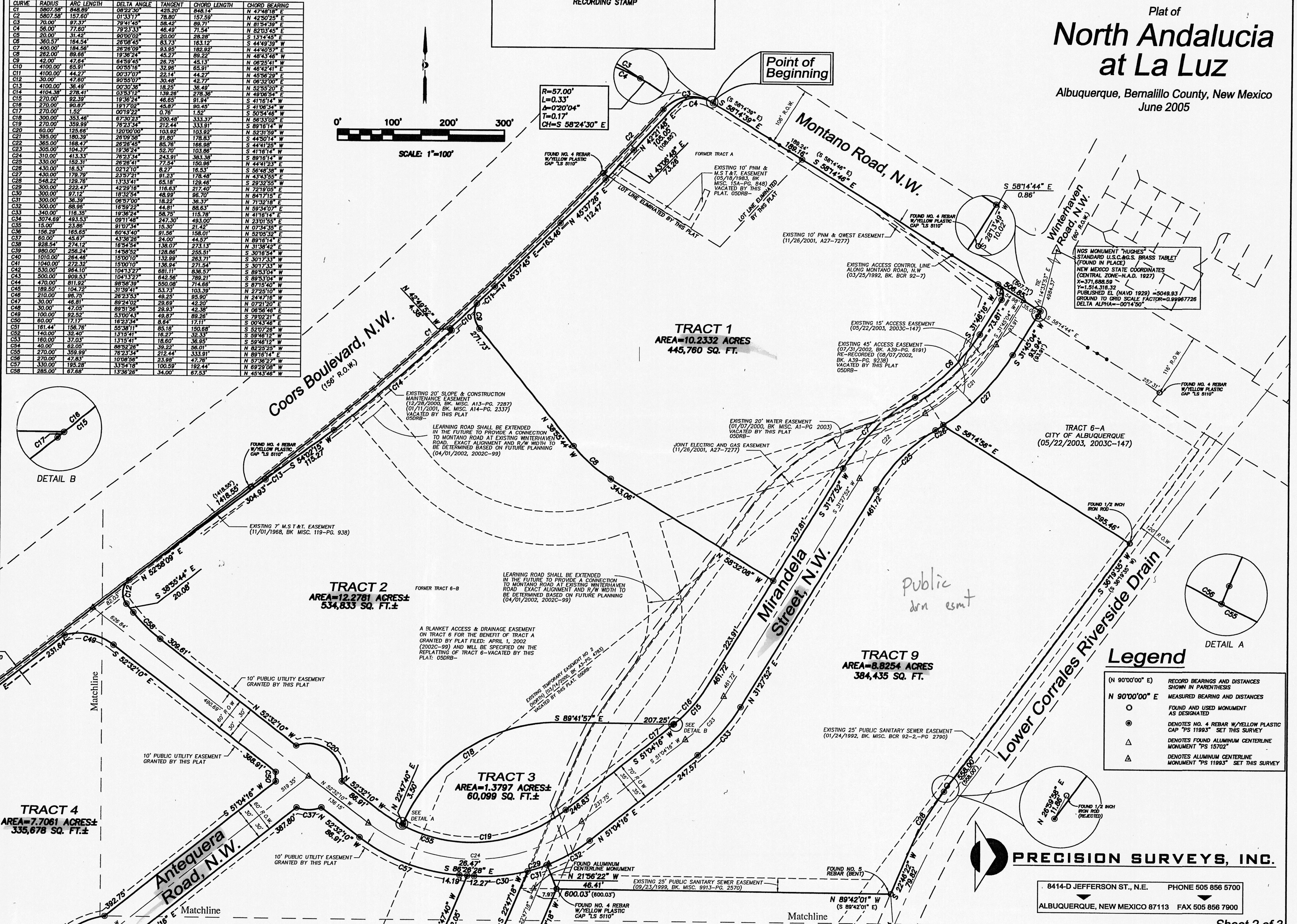
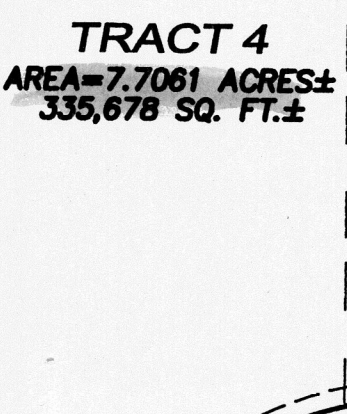
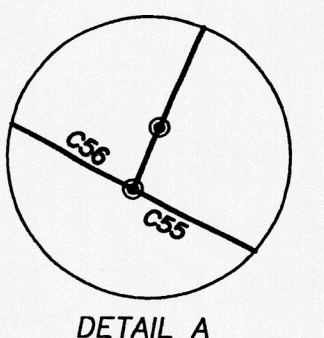
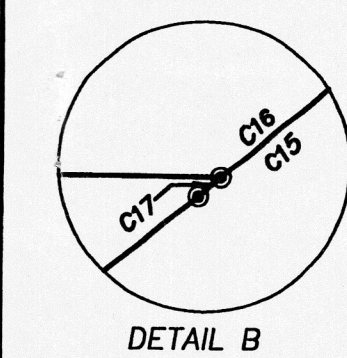
| CURVE | RADIUS   | ARC LENGTH | DELTA ANGLE | TANGENT | CHORD LENGTH | CHORD BEARING  |
|-------|----------|------------|-------------|---------|--------------|----------------|
| C1    | 5807.58' | 848.89'    | 08°22'30"   | 425.20' | 848.14'      | N 47°48'18" E  |
| C2    | 5807.58' | 157.60'    | 01°33'17"   | 78.80'  | 157.59'      | N 42°50'25" E  |
| C3    | 70.00'   | 97.37'     | 79°41'45"   | 58.42'  | 89.71'       | N 81°54'39" E  |
| C4    | 56.00'   | 77.80'     | 79°23'33"   | 46.49'  | 71.54'       | N 82°03'45" E  |
| C5    | 20.00'   | 31.42'     | 90°00'02"   | 20.00'  | 28.28'       | S 137°44'58" W |
| C6    | 360.57'  | 164.54'    | 26°08'45"   | 83.73'  | 163.12'      | S 44°49'39" W  |
| C7    | 400.00'  | 184.56'    | 26°26'09"   | 93.95'  | 182.92'      | N 44°40'57" E  |
| C8    | 262.00'  | 89.66'     | 19°36'24"   | 45.27'  | 89.22'       | N 48°43'46" W  |
| C9    | 42.00'   | 47.24'     | 64°59'45"   | 26.75'  | 45.13'       | N 06°25'41" W  |
| C10   | 4100.00' | 65.91'     | 00°33'07"   | 22.14'  | 44.27'       | N 48°42'41" E  |
| C11   | 4100.00' | 44.27'     | 00°33'07"   | 22.14'  | 44.27'       | N 48°42'41" E  |
| C12   | 30.00'   | 47.80'     | 90°55'07"   | 30.48'  | 42.77'       | N 06°32'00" E  |
| C13   | 4100.00' | 36.49'     | 00°30'36"   | 18.25'  | 36.49'       | N 52°55'20" E  |
| C14   | 4104.38' | 278.41'    | 03°53'12"   | 139.26' | 278.36'      | N 49°06'54" E  |
| C15   | 270.00'  | 82.39'     | 19°36'24"   | 46.65'  | 91.94'       | S 41°16'14" W  |
| C16   | 270.00'  | 82.39'     | 19°36'24"   | 46.65'  | 91.94'       | S 41°16'14" W  |
| C17   | 270.00'  | 1.52'      | 00°19'22"   | 0.76'   | 1.52'        | S 41°16'14" W  |
| C18   | 300.00'  | 393.46'    | 67°30'23"   | 200.48' | 333.37'      | N 56°33'02" E  |
| C19   | 270.00'  | 359.99'    | 76°23'34"   | 212.44' | 333.91'      | S 89°16'14" W  |
| C20   | 60.00'   | 125.66'    | 120°00'00"  | 103.92' | 103.92'      | N 52°31'59" W  |
| C21   | 395.00'  | 180.39'    | 28°09'59"   | 91.80'  | 178.83'      | S 44°50'14" W  |
| C22   | 365.00'  | 168.47'    | 28°26'45"   | 83.78'  | 166.98'      | S 44°41'25" W  |
| C23   | 305.00'  | 104.37'    | 19°36'24"   | 52.70'  | 103.86'      | S 41°16'14" W  |
| C24   | 310.00'  | 413.33'    | 76°23'34"   | 243.91' | 383.39'      | S 89°16'14" W  |
| C25   | 330.00'  | 182.31'    | 26°26'41"   | 77.54'  | 180.96'      | N 44°41'23" E  |
| C26   | 430.00'  | 16.53'     | 02°12'10"   | 8.27'   | 16.53'       | S 56°48'38" W  |
| C27   | 430.00'  | 16.53'     | 02°12'10"   | 8.27'   | 16.53'       | S 56°48'38" W  |
| C28   | 548.22'  | 128.78'    | 13°33'41"   | 68.63'  | 128.48'      | N 43°43'55" E  |
| C29   | 300.00'  | 222.47'    | 42°29'16"   | 116.63' | 217.40'      | N 72°19'05" E  |
| C30   | 300.00'  | 97.12'     | 18°32'54"   | 48.99'  | 96.70'       | N 84°17'15" E  |
| C31   | 300.00'  | 36.39'     | 06°57'00"   | 18.22'  | 36.37'       | N 71°32'18" E  |
| C32   | 300.00'  | 88.59'     | 16°59'22"   | 44.81'  | 88.63'       | N 59°34'07" E  |
| C33   | 340.00'  | 116.35'    | 19°36'24"   | 58.73'  | 115.78'      | N 41°16'14" E  |
| C34   | 3074.69' | 493.53'    | 08°11'48"   | 247.30' | 493.00'      | N 23°01'55" E  |
| C35   | 15.00'   | 23.86'     | 91°07'34"   | 15.30'  | 21.42'       | N 07°34'35" E  |
| C36   | 156.29'  | 165.65'    | 60°43'40"   | 91.56'  | 158.01'      | N 52°05'32" E  |
| C37   | 60.00'   | 45.67'     | 43°36'26"   | 24.00'  | 44.57'       | N 89°16'14" E  |
| C38   | 628.54'  | 274.12'    | 18°54'54"   | 138.07' | 273.13'      | N 31°38'42" E  |
| C39   | 880.00'  | 256.24'    | 14°55'52"   | 128.66' | 255.91'      | S 30°16'54" W  |
| C40   | 1010.00' | 264.46'    | 15°00'10"   | 132.99' | 263.71'      | S 30°17'33" W  |
| C41   | 1040.00' | 272.32'    | 15°00'10"   | 136.94' | 271.54'      | S 30°17'33" W  |
| C42   | 530.00'  | 964.10'    | 104°13'27"  | 681.11' | 836.57'      | S 89°53'04" W  |
| C43   | 500.00'  | 909.53'    | 104°13'27"  | 642.56' | 789.21'      | S 89°53'04" W  |
| C44   | 470.00'  | 811.52'    | 99°58'39"   | 550.08' | 714.66'      | S 87°19'40" W  |
| C45   | 189.50'  | 116.35'    | 31°59'41"   | 63.73'  | 103.39'      | N 24°47'16" E  |
| C46   | 210.00'  | 96.75'     | 26°23'53"   | 49.25'  | 85.90'       | N 24°47'16" E  |
| C47   | 30.00'   | 46.81'     | 89°24'02"   | 28.69'  | 42.20'       | N 07°21'20" E  |
| C48   | 30.00'   | 47.05'     | 89°21'56"   | 28.93'  | 42.38'       | N 06°58'48" E  |
| C49   | 100.00'  | 92.52'     | 53°00'43"   | 49.87'  | 89.26'       | S 79°02'21" E  |
| C50   | 60.00'   | 121.77'    | 16°23'54"   | 61.84'  | 117.11'      | S 00°43'46" E  |
| C51   | 161.44'  | 156.76'    | 55°38'11"   | 85.16'  | 150.68'      | S 52°07'28" W  |
| C52   | 140.00'  | 32.40'     | 13°15'41"   | 16.22'  | 32.33'       | S 59°46'12" W  |
| C53   | 160.00'  | 37.03'     | 13°15'41"   | 16.60'  | 36.95'       | S 59°46'12" W  |
| C54   | 40.00'   | 62.05'     | 88°52'26"   | 39.22'  | 56.01'       | N 82°25'25" W  |
| C55   | 270.00'  | 359.99'    | 76°23'34"   | 212.44' | 333.91'      | N 89°16'14" E  |
| C56   | 270.00'  | 47.83'     | 10°09'58"   | 23.99'  | 47.78'       | N 57°36'27" E  |
| C57   | 330.00'  | 185.28'    | 33°54'18"   | 100.59' | 182.44'      | N 69°29'08" W  |
| C58   | 285.00'  | 67.68'     | 13°36'26"   | 34.00'  | 67.53'       | N 45°34'46" W  |

Plat of  
**North Andalusia  
 at La Luz**  
 Albuquerque, Bernalillo County, New Mexico  
 June 2005



RECORDING STAMP

Point of Beginning



**Legend**

|                 |   |
|-----------------|---|
| (N 90°00'00" E) | RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES                  |
| N 90°00'00" E   | MEASURED BEARING AND DISTANCES                                      |
| ○               | FOUND AND USED MONUMENT AS DESIGNATED                               |
| ⊙               | DENOTES NO. 4 REBAR W/YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY |
| △               | DENOTES FOUND ALUMINUM CENTERLINE MONUMENT "PS 15702"               |
| ▲               | DENOTES ALUMINUM CENTERLINE MONUMENT "PS 11993" SET THIS SURVEY     |

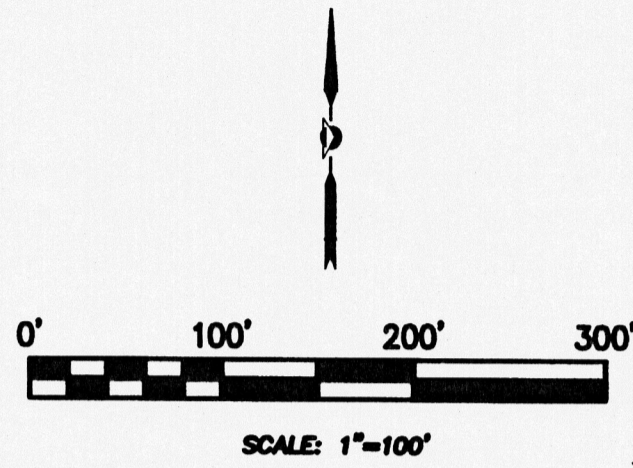
**PRECISION SURVEYS, INC.**

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900



# Legend

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- ⊙ DENOTES NO. 4 REBAR W/YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
- △ DENOTES FOUND ALUMINUM CENTERLINE MONUMENT "PS 15702"
- ▲ DENOTES ALUMINUM CENTERLINE MONUMENT "PS 11993" SET THIS SURVEY



# Plat of North Andalusia at La Luz

Albuquerque, Bernalillo County, New Mexico  
June 2005

RECORDING STAMP

**TRACT 2**  
AREA=12.2781 ACRES±  
534,633 SQ. FT.±

A BLANKET ACCESS & DRAINAGE EASEMENT ON TRACT 6 FOR THE BENEFIT OF TRACT A GRANTED BY PLAT FILED: APRIL 1, 2002 (2002C-99) AND WILL BE SPECIFIED ON THE REPLATING OF TRACT 6-VACATED BY THIS PLAT: 0508B-

**TRACT 3**  
AREA=1,3797 ACRES±  
60,099 SQ. FT.±

**TRACT 4**  
AREA=7.7061 ACRES±  
335,678 SQ. FT.±

**TRACT 7**  
AREA=0.9995 ACRES  
43,539 SQ. FT.

**TRACT 5**  
AREA=3.3826 ACRES±  
147,346 SQ. FT.±

**TRACT 6**  
AREA=15.8628 ACRES  
690,984 SQ. FT.

**TRACT 8**  
AREA=2.9101 ACRES  
126,763 SQ. FT.

**TRACT 4A**  
BOSQUE PREPARATORY SCHOOL  
(12/13/1999, 99C-336)

A.C.S. MONUMENT "M448-N6-A" STANDARD NMISC BRASS TABLE (FOUND IN PLACE)  
NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE--N.A.D. 1927)  
X=366,640.72  
Y=1,507,308.30  
EL=5053.899 (NAVD 1929)  
GROUND TO GRID FACTOR=0.9996784  
DELTA ALPHA ANGLE=-00'19"24"

A.C.S. MONUMENT "1-E11" STANDARD A.C.S. BRASS TABLE (FOUND IN PLACE)  
NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE--N.A.D. 1927)  
X=367,941.31  
Y=1,508,205.47  
PUBLISHED EL (NAVD 1929) =5113.93  
GROUND TO GRID SCALE FACTOR=0.99967536  
DELTA ALPHA ANGLE=-0'15"22"

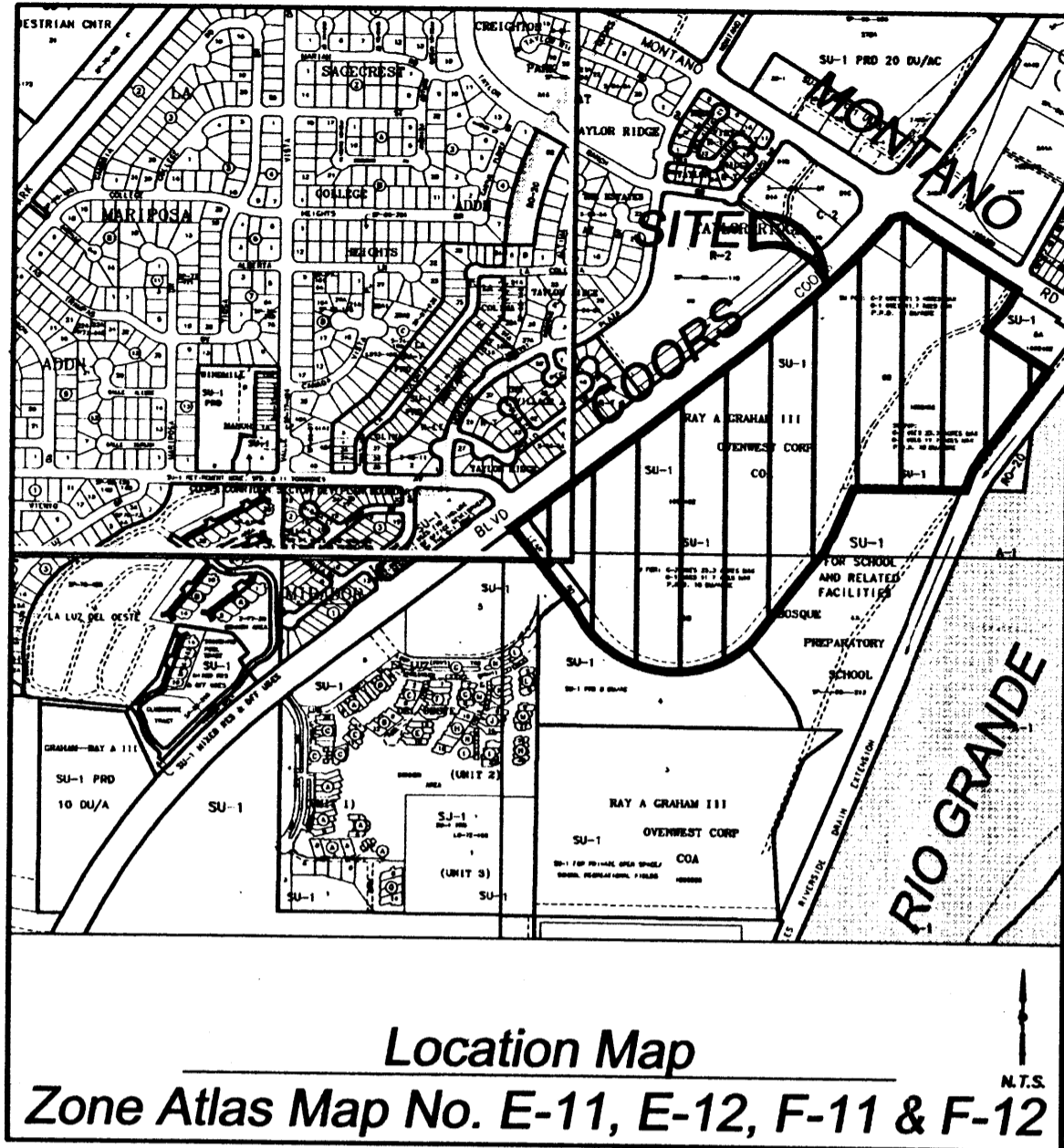
EXISTING PRIVATE ACCESS EASEMENT (01/07/2000, BK. MISC. A1-PG. 2002)  
EXISTING PUBLIC WATER & SANITARY SEWER EASEMENT (09/23/1999, BK. MISC. 9913-PG. 2571)

TRACT 4  
LANDS OF RAY A. GRAHAM III, OVENWEST CORP. & CITY OF ALBUQUERQUE (04/01/2002, 2002C-99)

EXISTING PRIVATE ROAD EASEMENT (02/08/1999, BK. MISC. 9902-PG. 7245) (03/24/1999, BK. 9905-PG. 193) AND BY (WARRANTY DEED: (03/24/1999, BK. 9905-PG. 191) (BK. 9905, PG. 191)  
60' PUBLIC WATER AND SANITARY SEWER EASEMENT (09/23/1999, BK. MISC. 9913-PG. 2569)

**PRECISION SURVEYS, INC.**

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900



Location Map

Zone Atlas Map No. E-11, E-12, F-11 & F-12

**Subdivision Data:**

GROSS SUBDIVISION ACREAGE: 63.5775 ACRES±  
 ZONE ATLAS INDEX NO.: E-11, E-12, F-11 AND F-12  
 NO. OF TRACTS CREATED: 9  
 NO. OF LOTS CREATED: 0  
 MILES OF FULL-WIDTH STREETS CREATED: 1.05 MILES  
 DATE OF SURVEY: JUNE 2005

NOTE: A TOTAL OF 2 FLOATING 10'x20' QWEST EASEMENTS TO BE LOCATED WITHIN TRACTS 1 THRU 9 INCLUSIVE ARE GRANTED WITH THE RECORDING OF THIS PLAT. EASEMENT LOCATIONS SHALL BE DETERMINED BY QWEST AS DEVELOPMENT OF THE PROPERTY REQUIRES UTILIZATION OF THE EASEMENTS.

**Disclosure Statement:**

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO TRACTS INTO NINE NEW TRACTS, TO DEDICATE NEW RIGHT OF WAY, TO DEDICATE ADDITIONAL RIGHT OF WAY FOR COORS BOULEVARD, N.W. AND LEARNING ROAD, N.W. TO GRANT EASEMENTS AND TO VACATE EXISTING EASEMENTS.

**Notes:**

- MISC. DATA: ZONING SU-1 FOR C-2, O-1 AND PRD (20 DU/AC).
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN SECTIONS 25, 35 AND 36, TOWNSHIP 11 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2005240482.

**Easements**

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

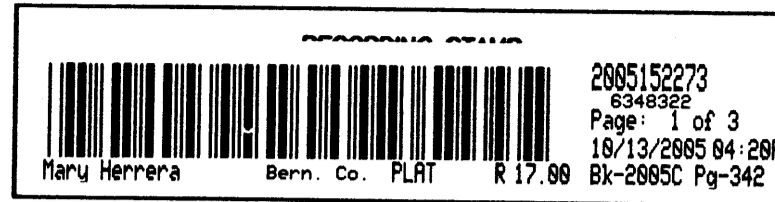
PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.



Plat of  
**North Andalusia  
 at La Luz**

Albuquerque, Bernalillo County, New Mexico  
 June 2005

Project No. 100 3859

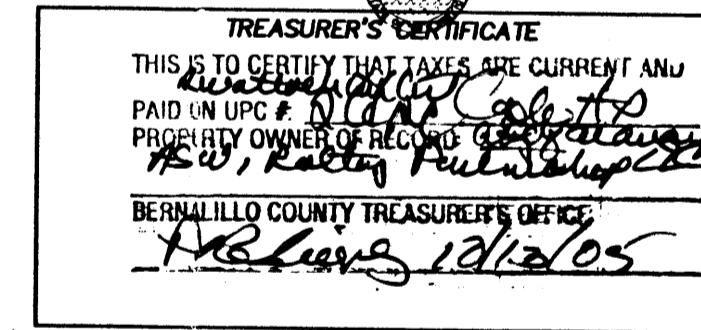
Application No. 050RB-01010

**Utility Approvals**

|                          |          |
|--------------------------|----------|
| <i>Paul D. Mads</i>      | 9-6-05   |
| PNM ELECTRIC SERVICES    | DATE     |
| <i>Paul D. Mads</i>      | 9-6-05   |
| PNM GAS SERVICES         | DATE     |
| <i>Gregg Summit</i>      | 10-13-05 |
| QWEST TELECOMMUNICATIONS | DATE     |
| <i>Donie Dalton</i>      | 7-26-05  |
| COMCAST                  | DATE     |

**City Approvals**

|   |          |
|---|----------|
| <i>John B. Hall</i>                         | 6-14-05  |
| CITY SURVEYOR                               | DATE     |
| <i>John B. Hall</i>                         | 10-12-05 |
| TRAFFIC ENGINEERING TRANSPORTATION DIVISION | DATE     |
| <i>Kevin A. Green</i>                       | 10-13-05 |
| UTILITY DEVELOPMENT                         | DATE     |
| <i>Christina Sandoval</i>                   | 10/12/05 |
| PARKS AND RECREATION DEPARTMENT             | DATE     |
| <i>Bradley L. Bingham</i>                   | 10/12/05 |
| AMAFCA                                      | DATE     |
| <i>Bradley L. Bingham</i>                   | 10/12/05 |
| CITY ENGINEER                               | DATE     |
| <i>Donie Dalton</i>                         | 10/13/05 |
| DRB CHAIRPERSON, PLANNING DEPARTMENT        | DATE     |



**Surveyor's Certificate**

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

*Larry W. Medrano* 6/13/05  
 LARRY W. MEDRANO  
 N.M.P.S. No. 11993  
 DATE



8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

**Legal Description**

COMPRISING OF TRACT "A" OF THE PLAT ENTITLED "PLAT OF TRACTS A, B, 1, 2, 3, 4, 5, & 6 OF LANDS OF RAY A. GRAHAM III, OVENWEST CORP. & CITY OF ALBUQUERQUE" FILED APRIL 1, 2002 IN BOOK 2002C, PAGE 99, TOGETHER WITH TRACT "6B" OF THE BULK LAND PLAT ENTITLED, "TRACT 6-A CITY OF ALBUQUERQUE AND TRACT 6-B LANDS OF RAY A. GRAHAM III", FILED MAY 22, 2003 IN BOOK 2003C, PAGE 147, A TRACT OF LAND SITUATE LYING AND SITUATE WITHIN SECTIONS 25, 35 AND 36, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO CONTAINING 63.5775 ACRES MORE OR LESS, NOW COMPRISING OF TRACTS "1", "2", "3", "4", "5", "6", "7", "8" AND "9" NORTH ANDALUCIA AT LA LUZ SUBDIVISION.

**Free Consent and Dedication**

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS

SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ADDITIONAL ROADWAY RIGHT OF WAY FOR COORS BOULEVARD, N.W. AND LEARNING ROAD, N.W. IN FEE SIMPLE WITH WARRANTY COVENANTS.

*Peggy Daskalos*  
 PEGGY DASKALOS  
 MANAGING PARTNER  
 SILVERLEAF VENTURES, LLC.

6/14/05  
 DATE



**Acknowledgment**

STATE OF NEW MEXICO ) SS  
 COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 14<sup>th</sup> DAY OF JUNE, 2005 BY PEGGY DASKALOS, MANAGING PARTNER, SILVERLEAF VENTURES, LLC.

BY *[Signature]* MY COMMISSION EXPIRES: 9-19-2006  
 NOTARY PUBLIC

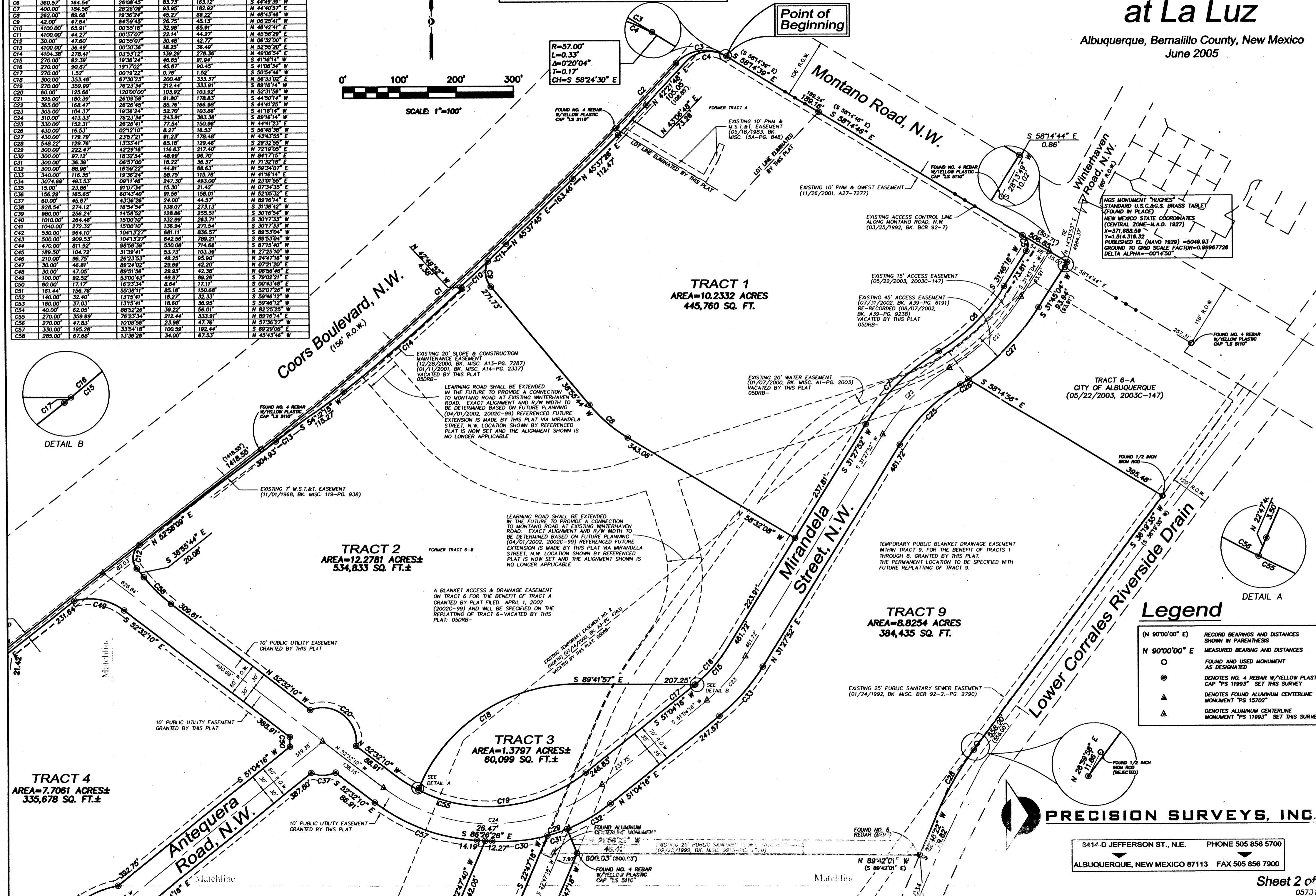
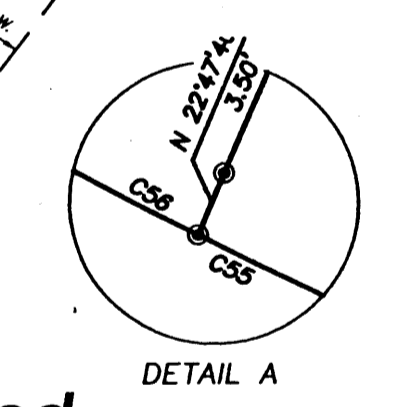
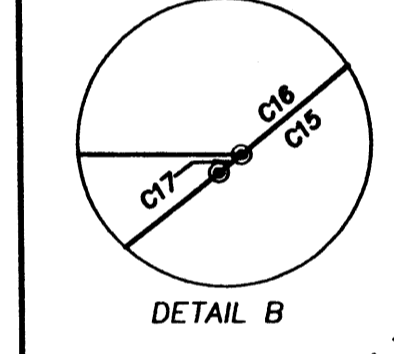
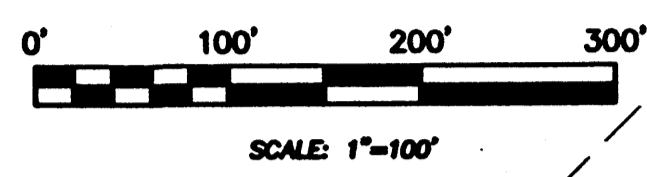
**Curve Table**

| CURVE | RADIUS   | ARC LENGTH | DELTA ANGLE | TANGENT | CHORD LENGTH | CHORD BEARING |
|-------|----------|------------|-------------|---------|--------------|---------------|
| C1    | 5807.58' | 848.89'    | 06°22'30"   | 425.20' | 848.14'      | N 47°48'18" E |
| C2    | 5807.58' | 157.60'    | 01°33'17"   | 78.80'  | 157.59'      | N 42°50'25" E |
| C3    | 70.00'   | 97.37'     | 79°41'45"   | 58.42'  | 89.71'       | N 81°54'39" E |
| C4    | 58.00'   | 77.80'     | 79°23'33"   | 46.49'  | 71.54'       | N 82°03'43" E |
| C5    | 20.00'   | 31.42'     | 90°00'00"   | 20.00'  | 28.28'       | S 13°14'45" E |
| C6    | 380.57'  | 184.54'    | 26°08'45"   | 83.73'  | 163.12'      | S 44°49'39" W |
| C7    | 400.00'  | 184.56'    | 26°26'08"   | 93.95'  | 182.92'      | N 44°40'57" E |
| C8    | 282.00'  | 89.66'     | 19°36'24"   | 45.27'  | 88.22'       | N 48°43'46" W |
| C9    | 42.00'   | 47.64'     | 84°59'45"   | 26.75'  | 45.13'       | N 06°25'41" W |
| C10   | 4100.00' | 65.91'     | 00°55'18"   | 32.96'  | 65.91'       | N 46°42'41" E |
| C11   | 4100.00' | 44.27'     | 00°57'07"   | 22.14'  | 44.27'       | N 45°56'29" E |
| C12   | 30.00'   | 47.60'     | 90°55'07"   | 30.48'  | 42.77'       | N 06°32'00" E |
| C13   | 4100.00' | 36.49'     | 00°30'58"   | 18.25'  | 36.49'       | N 52°55'20" E |
| C14   | 4104.38' | 278.41'    | 03°53'12"   | 139.26' | 278.36'      | N 49°08'54" E |
| C15   | 270.00'  | 92.39'     | 19°36'24"   | 46.65'  | 91.94'       | S 41°16'14" W |
| C16   | 270.00'  | 90.87'     | 19°17'02"   | 45.87'  | 90.45'       | S 41°06'34" W |
| C17   | 270.00'  | 1.52'      | 00°19'22"   | 0.76'   | 1.52'        | S 50°54'48" W |
| C18   | 300.00'  | 353.46'    | 87°30'23"   | 205.46' | 333.37'      | N 56°33'02" E |
| C19   | 270.00'  | 359.89'    | 76°23'34"   | 212.44' | 333.91'      | S 89°16'14" W |
| C20   | 60.00'   | 125.68'    | 120°00'00"  | 103.92' | 103.92'      | N 52°31'59" W |
| C21   | 395.00'  | 180.39'    | 26°09'58"   | 91.80'  | 178.83'      | S 44°50'14" W |
| C22   | 365.00'  | 168.47'    | 26°26'45"   | 85.76'  | 166.98'      | S 44°41'29" W |
| C23   | 305.00'  | 104.37'    | 19°36'24"   | 52.70'  | 103.99'      | S 41°16'14" W |
| C24   | 310.00'  | 413.33'    | 87°30'23"   | 243.91' | 383.38'      | S 89°16'14" W |
| C25   | 330.00'  | 152.31'    | 76°23'34"   | 77.54'  | 150.98'      | N 44°41'23" E |
| C26   | 430.00'  | 16.53'     | 02°12'10"   | 8.27'   | 16.53'       | S 56°48'38" W |
| C27   | 430.00'  | 178.79'    | 23°57'21"   | 91.23'  | 178.48'      | N 43°43'55" E |
| C28   | 548.22'  | 129.78'    | 13°33'41"   | 65.18'  | 129.46'      | S 29°32'59" W |
| C29   | 300.00'  | 222.47'    | 42°29'18"   | 116.83' | 217.40'      | N 72°19'05" E |
| C30   | 300.00'  | 97.12'     | 18°32'54"   | 48.99'  | 96.70'       | N 84°17'15" E |
| C31   | 300.00'  | 36.39'     | 06°57'00"   | 18.22'  | 36.37'       | N 71°32'16" E |
| C32   | 300.00'  | 88.96'     | 16°59'22"   | 44.81'  | 88.63'       | N 59°34'07" E |
| C33   | 340.00'  | 116.35'    | 19°36'24"   | 58.75'  | 115.78'      | N 41°16'14" E |
| C34   | 3074.89' | 493.53'    | 09°11'48"   | 247.30' | 493.00'      | N 23°01'55" E |
| C35   | 15.00'   | 23.86'     | 91°07'34"   | 15.30'  | 21.42'       | N 07°54'35" E |
| C36   | 158.79'  | 165.63'    | 60°43'43"   | 91.56'  | 158.01'      | N 52°03'32" E |
| C37   | 60.00'   | 45.67'     | 43°38'28"   | 24.00'  | 44.57'       | N 89°16'14" E |
| C38   | 928.54'  | 274.12'    | 16°54'54"   | 138.07' | 273.13'      | S 31°38'42" W |
| C39   | 980.00'  | 256.24'    | 14°58'52"   | 128.86' | 255.51'      | S 30°18'54" W |
| C40   | 1010.00' | 264.46'    | 15°00'10"   | 132.99' | 263.71'      | S 30°17'33" W |
| C41   | 1040.00' | 272.32'    | 15°00'10"   | 136.94' | 271.54'      | S 30°17'33" W |
| C42   | 530.00'  | 964.10'    | 104°13'27"  | 691.11' | 836.57'      | S 89°33'04" W |
| C43   | 500.00'  | 909.53'    | 104°13'27"  | 642.58' | 789.21'      | S 89°33'04" W |
| C44   | 470.00'  | 811.92'    | 98°58'39"   | 550.08' | 714.66'      | S 87°15'40" W |
| C45   | 189.50'  | 104.72'    | 31°38'41"   | 53.73'  | 103.39'      | N 27°25'10" W |
| C46   | 210.00'  | 96.75'     | 26°23'53"   | 49.25'  | 95.90'       | N 24°47'16" W |
| C47   | 30.00'   | 46.81'     | 89°24'02"   | 29.69'  | 42.20'       | N 07°21'20" E |
| C48   | 30.00'   | 47.05'     | 89°51'56"   | 29.93'  | 42.38'       | N 06°56'48" E |
| C49   | 100.00'  | 92.52'     | 53°10'43"   | 49.87'  | 89.28'       | S 70°02'21" E |
| C50   | 80.00'   | 17.17'     | 16°23'34"   | 8.64'   | 17.11'       | S 00°43'46" E |
| C51   | 161.44'  | 156.76'    | 55°38'11"   | 85.18'  | 150.68'      | S 52°07'26" W |
| C52   | 140.00'  | 32.40'     | 13°15'41"   | 16.27'  | 32.33'       | S 59°46'12" W |
| C53   | 160.00'  | 37.03'     | 13°15'41"   | 18.60'  | 36.95'       | S 59°46'12" W |
| C54   | 40.00'   | 62.05'     | 88°52'28"   | 39.22'  | 56.01'       | N 82°25'25" W |
| C55   | 270.00'  | 359.89'    | 76°23'34"   | 212.44' | 333.91'      | N 89°16'14" E |
| C56   | 270.00'  | 47.63'     | 10°09'56"   | 23.98'  | 47.78'       | N 57°36'27" W |
| C57   | 330.00'  | 195.28'    | 33°54'18"   | 100.59' | 192.44'      | S 69°29'08" E |
| C58   | 285.00'  | 67.68'     | 13°36'28"   | 34.00'  | 67.53'       | N 45°43'46" W |

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 8348322  
 Page: 2 of 3  
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 Bk-2885C Pg-342

Mary Herrera Bern. Co. PLRT R 17.88

Plat of  
**North Andalusia at La Luz**  
 Albuquerque, Bernalillo County, New Mexico  
 June 2005



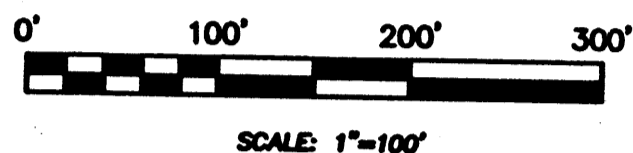
**Legend**

|                 |   |
|-----------------|---|
| (N 90°00'00" E) | RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES                  |
| N 90°00'00" E   | MEASURED BEARING AND DISTANCES AS DESIGNATED                        |
| ○               | FOUND AND USED MONUMENT AS DESIGNATED                               |
| ⊙               | DENOTES NO. 4 REBAR W/YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY |
| ▲               | DENOTES FOUND ALUMINUM CENTERLINE MONUMENT "PS 15702"               |
| △               | DENOTES ALUMINUM CENTERLINE MONUMENT "PS 11993" SET THIS SURVEY     |

**PRECISION SURVEYS, INC.**  
 8414 D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

# Legend

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 4 REBAR W/YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
- ▲ DENOTES FOUND ALUMINUM CENTERLINE MONUMENT "PS 15702"
- ▲ DENOTES ALUMINUM CENTERLINE MONUMENT "PS 11993" SET THIS SURVEY



A.C.S. MONUMENT "1-E11"  
STANDARD A.C.S. BRASS TABLE  
(FOUND IN PLACE)  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1927)  
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GROUND TO GRID SCALE FACTOR=0.99967536  
DELTA ALPHA ANGLE=-0°15'22"

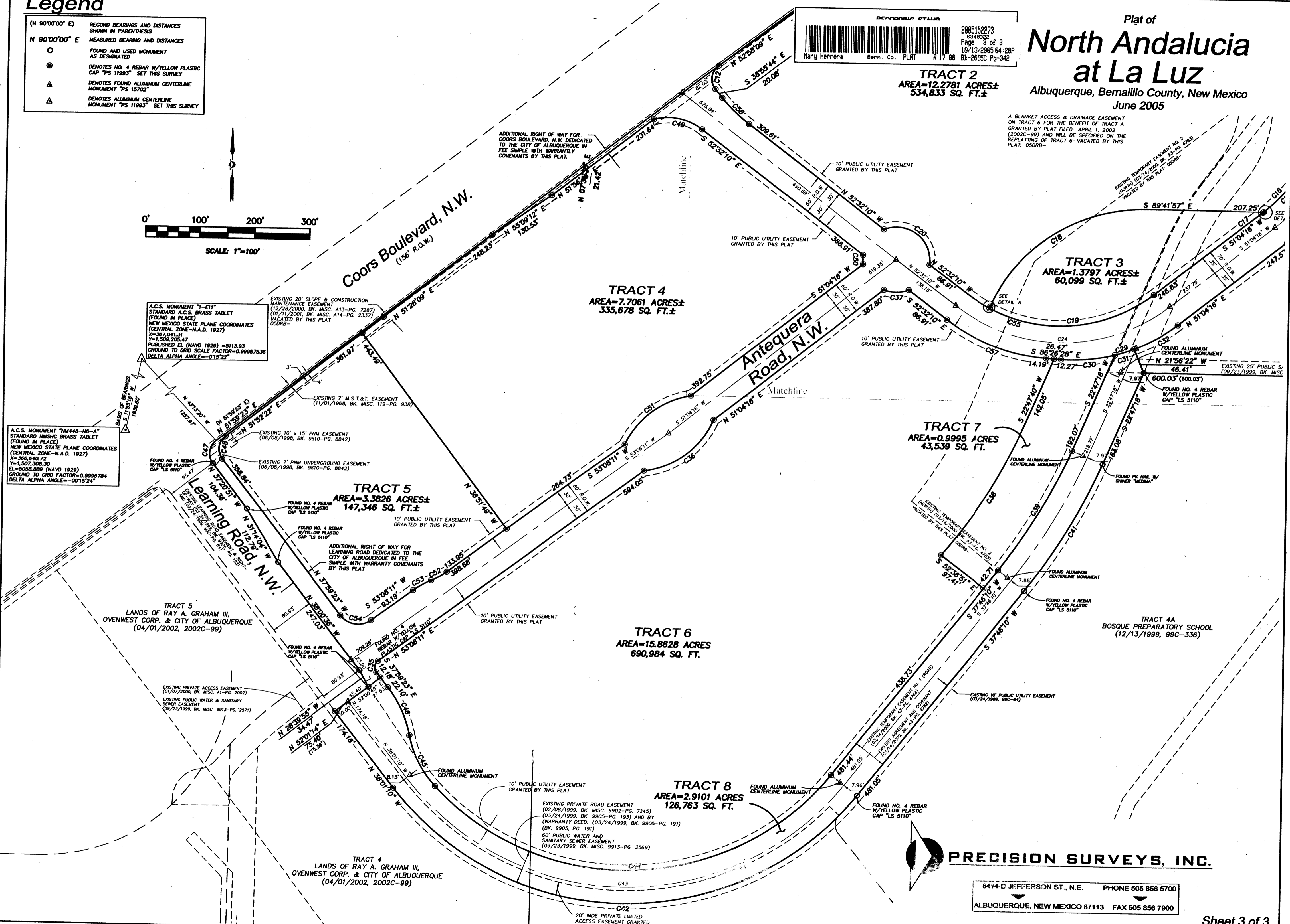
A.C.S. MONUMENT "M448-N6-A"  
STANDARD NM5HC BRASS TABLE  
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Y=1,507,308.30  
EL=5058.889 (NAVD 1929)  
GROUND TO GRID FACTOR=0.9996784  
DELTA ALPHA ANGLE=-0°15'24"

RECORDING STAMP  

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 6348362  
 Page 3 of 3  
 19/13/2005 04:28P  
 BK-2685C Pg-342  
 Mary Herrera Bern. Co. PLRT R 17.00

Plat of  
**North Andaluca**  
**at La Luz**  
 Albuquerque, Bernalillo County, New Mexico  
 June 2005

A BLANKET ACCESS & DRAINAGE EASEMENT ON TRACT 6 FOR THE BENEFIT OF TRACT A GRANTED BY PLAT FILED: APRIL 1, 2002 (2002C-99) AND WILL BE SPECIFIED ON THE REPLATTING OF TRACT 6-VACATED BY THIS PLAT: 0509B-



**TRACT 2**  
 AREA=12.2781 ACRES±  
 534,833 SQ. FT.±

**TRACT 4**  
 AREA=7.7061 ACRES±  
 335,678 SQ. FT.±

**TRACT 5**  
 AREA=3.3826 ACRES±  
 147,346 SQ. FT.±

**TRACT 6**  
 AREA=15.8628 ACRES  
 690,984 SQ. FT.

**TRACT 7**  
 AREA=0.9995 ACRES  
 43,539 SQ. FT.

**TRACT 8**  
 AREA=2.9101 ACRES  
 126,763 SQ. FT.

**TRACT 3**  
 AREA=1.3797 ACRES±  
 60,099 SQ. FT.±

**TRACT 4A**  
 BOSQUE PREPARATORY SCHOOL  
 (12/13/1999, 99C-336)

**PRECISION SURVEYS, INC.**

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