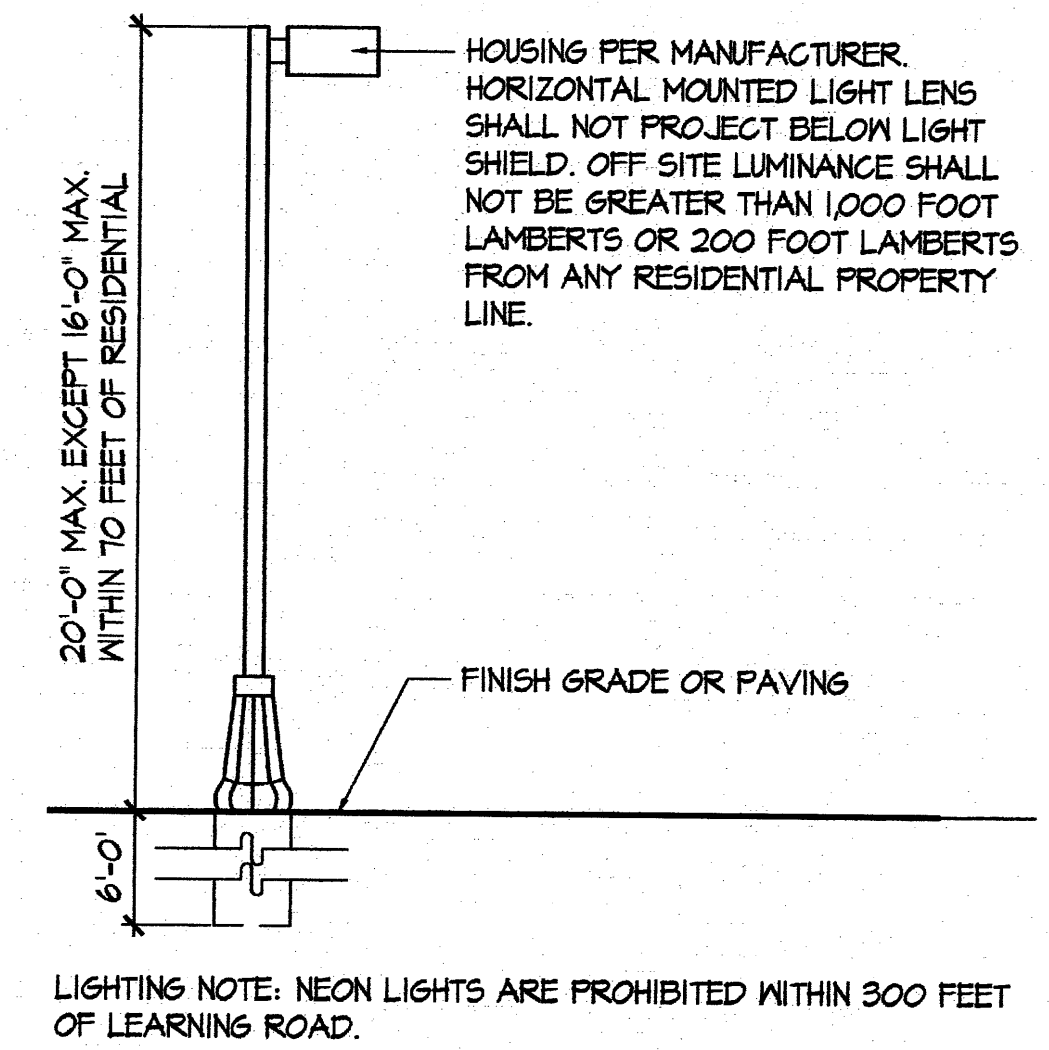
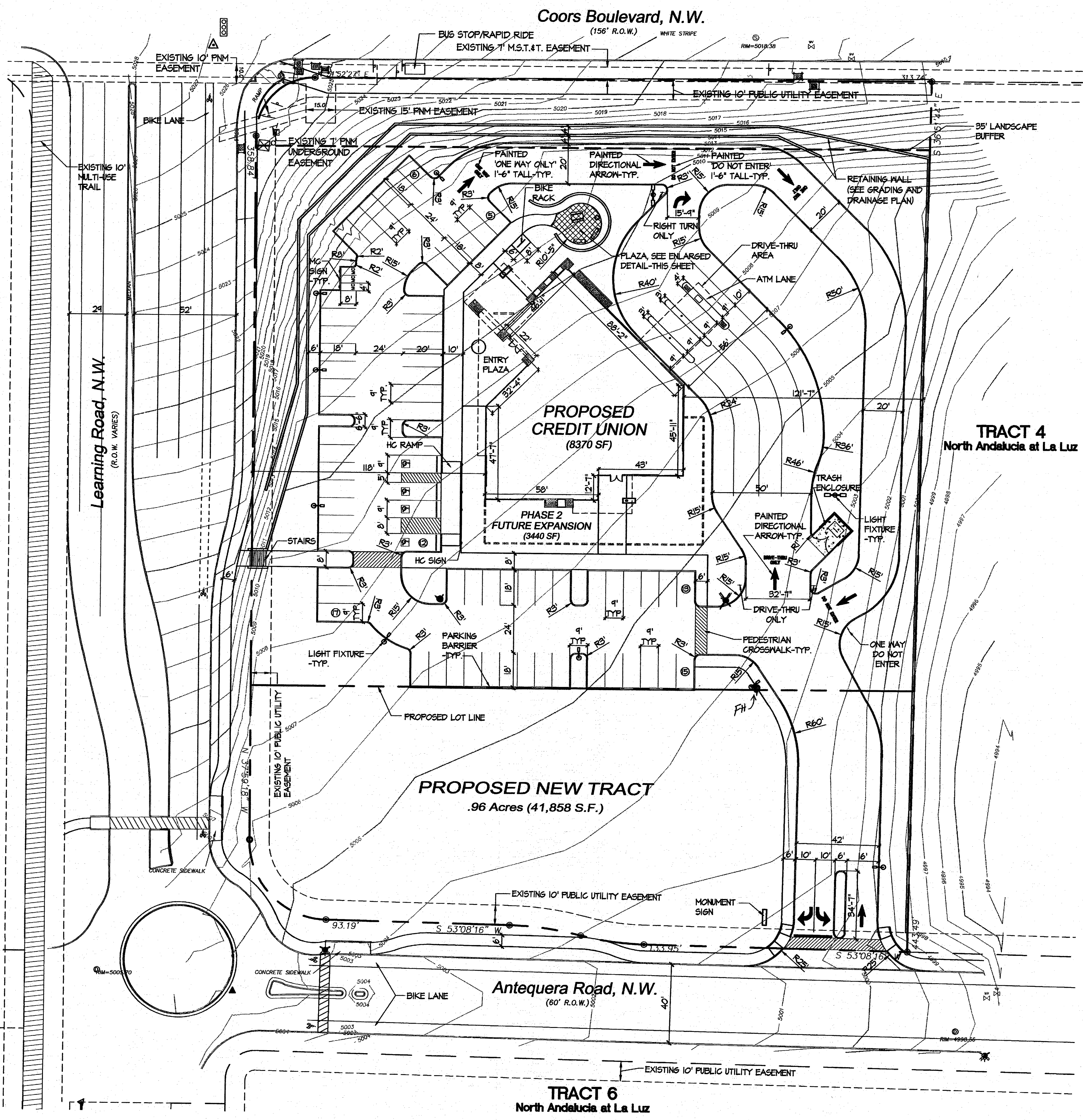
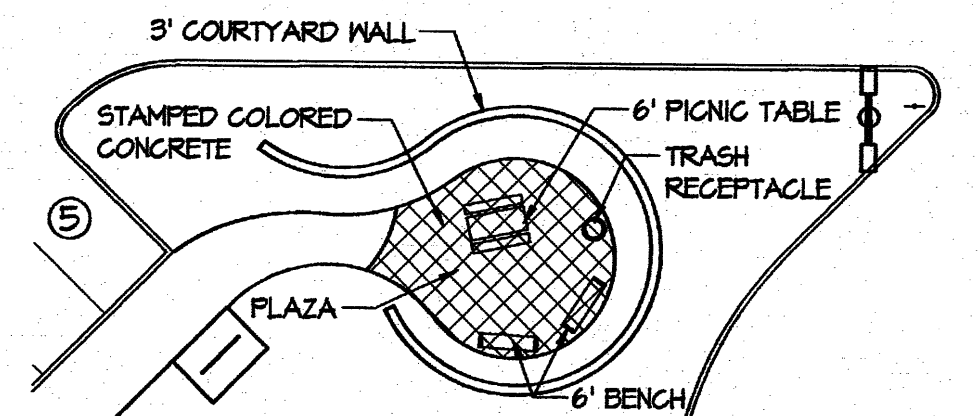
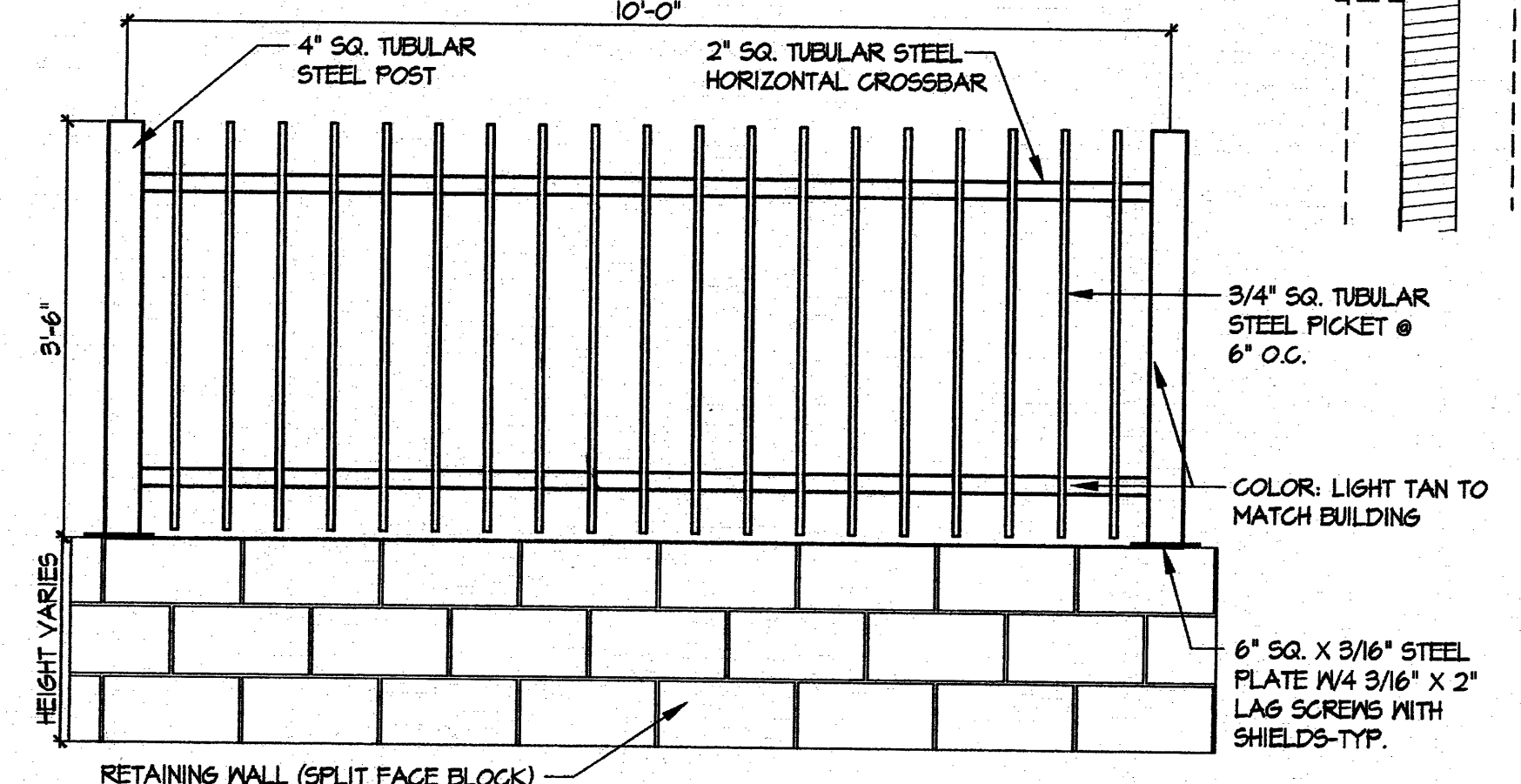


- GENERAL NOTES:**
- SIGNAGE SHALL COMPLY WITH THE APPROVED SITE PLAN FOR SUBDIVISION DESIGN STANDARDS FOR NORTH ANDALUCIA. ONE MONUMENT SIGN IS PROPOSED AT THE CORNER OF THE PROPERTY THAT IS LIMITED TO 30 S.F. SIGN AREA AND A MAXIMUM HEIGHT OF 9 FEET.
  - WALL SIGNS SHALL NOT EXCEED 6% OF FACADE AREA AND THE LETTERING SHALL NOT EXCEED 2 FEET IN HEIGHT.
  - LIGHTING SHALL BE IN COMPLIANCE WITH THE APPROVED NORTH ANDALUCIA SITE PLAN FOR SUBDIVISION DESIGN STANDARDS.
  - ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
  - THE MECHANICAL SYSTEMS (HEATING AND COOLING) AND BUILDING ENVELOPE (WALLS, ROOF, AND WINDOWS) SHALL BE DESIGNED AND MAINTAINED TO PROMOTE THE EFFICIENT USE OF ENERGY.
  - RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED.
  - ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
  - RECYCLING CARTS SHALL BE PROVIDED IN THE BUILDING AND PICKED UP THROUGH A PRIVATE CONTRACTOR.



**PARKING LOT LIGHT FIXTURE DETAIL**  
NOT TO SCALE



**SITE DATA:**  
**LEGAL DESCRIPTION:** TRACT 5 PLAT OF NORTH ANDALUCIA AT LA LUZ.  
**EXISTING ZONING:** SU-1 FOR C-2, O-1 USES & PRD (20 DU/A).  
**PROPOSED ZONING:** SU-1 FOR O-1 USES INCLUDING BANK WITH DRIVE-IN FACILITIES.  
**LAND USE:** PROPOSED 1-STORY CREDIT UNION WITH DRIVE-IN FACILITIES. PROPOSED TRACT SHALL BE O-1 USES.  
**BUILDING AREA:** 8,370 S.F. (PHASE 1) 3,440 S.F. (FUTURE PHASE 2)  
**MAXIMUM TOTAL BUILDING HEIGHT:** 26 FEET.  
**SITE AREA:** 3.38 ACRES CREDIT UNION TRACT: 2.42 ACRES FUTURE TRACT: 0.96 ACRES  
**PARKING:** REQUIRED PARKING: 1 PER 200 S.F. = 60  
 TOTAL PROVIDED PARKING: 68  
 HANDICAPPED REQUIRED: 4  
 HANDICAPPED PROVIDED: 4  
 MOTORCYCLE REQUIRED: 3  
 MOTORCYCLE PROVIDED: 3  
 BICYCLE REQUIRED: 3  
 BICYCLE PROVIDED: 3

**VEHICULAR ACCESS:** VEHICULAR ACCESS TO THIS SITE IS PROVIDED FROM ANTEQUERA ROAD. LEARNING ROAD IS A SIGNALIZED INTERSECTION.  
**BICYCLE ACCESS:** ANDALUCIA HAS A SYSTEM OF BICYCLE LANES AND MULTI-USE TRAILS. BICYCLE LANES ARE IN LEARNING ROAD AND ANTEQUERA ROAD AND MULTI-USE TRAILS ARE ALONG LEARNING ROAD, MONTANO ROAD, AND SOUTH TOWARDS THE SAN ANTONIO ARROYO. A CITY TRAIL HEAD IS LOCATED WITHIN ANDALUCIA AT MONTANO ROAD.  
**TRANSIT ACCESS:** THERE ARE THREE BUS ROUTES ALONG COORS BOULEVARD-ABQ ROUTES 190, 96, AND 155. A RAPID RIDE STOP AND BUS STOP ARE LOCATED ADJACENT TO THIS SITE ALONG COORS BOULEVARD.  
**INTERNAL CIRCULATION:** INTERNAL CIRCULATION AROUND THE PROPOSED BUILDING WILL BE DIRECTED BY TRAFFIC SIGNAGE. PEDESTRIAN CONNECTIONS TO THIS SITE WILL BE PROVIDED FROM LEARNING ROAD AND ANTEQUERA ROAD.

PROJECT NUMBER: 1003859  
 Application Number:  
 This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

|  |      |
|--|------|
| Traffic Engineering, Transportation Division | Date |
| ABCWUA                                       | Date |
| Parks and Recreation Department              | Date |
| City Engineer                                | Date |
| Solid Waste Management                       | Date |
| DRB Chairperson, Planning Department         | Date |

AFD PLANS CHECKING OFFICE  
 924-3511  
 APPROVED/DISAPPROVED  
 1/26/2012  
 SIGNATURE & DATE

# U.S. NEW MEXICO FEDERAL CREDIT UNION

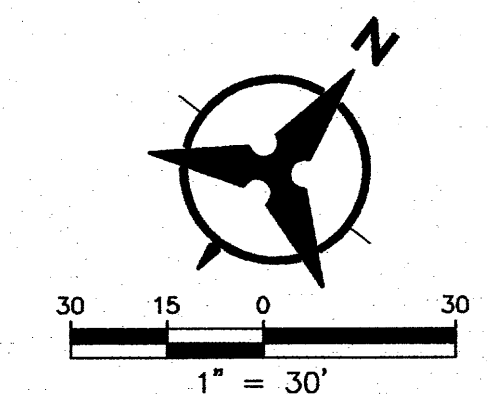
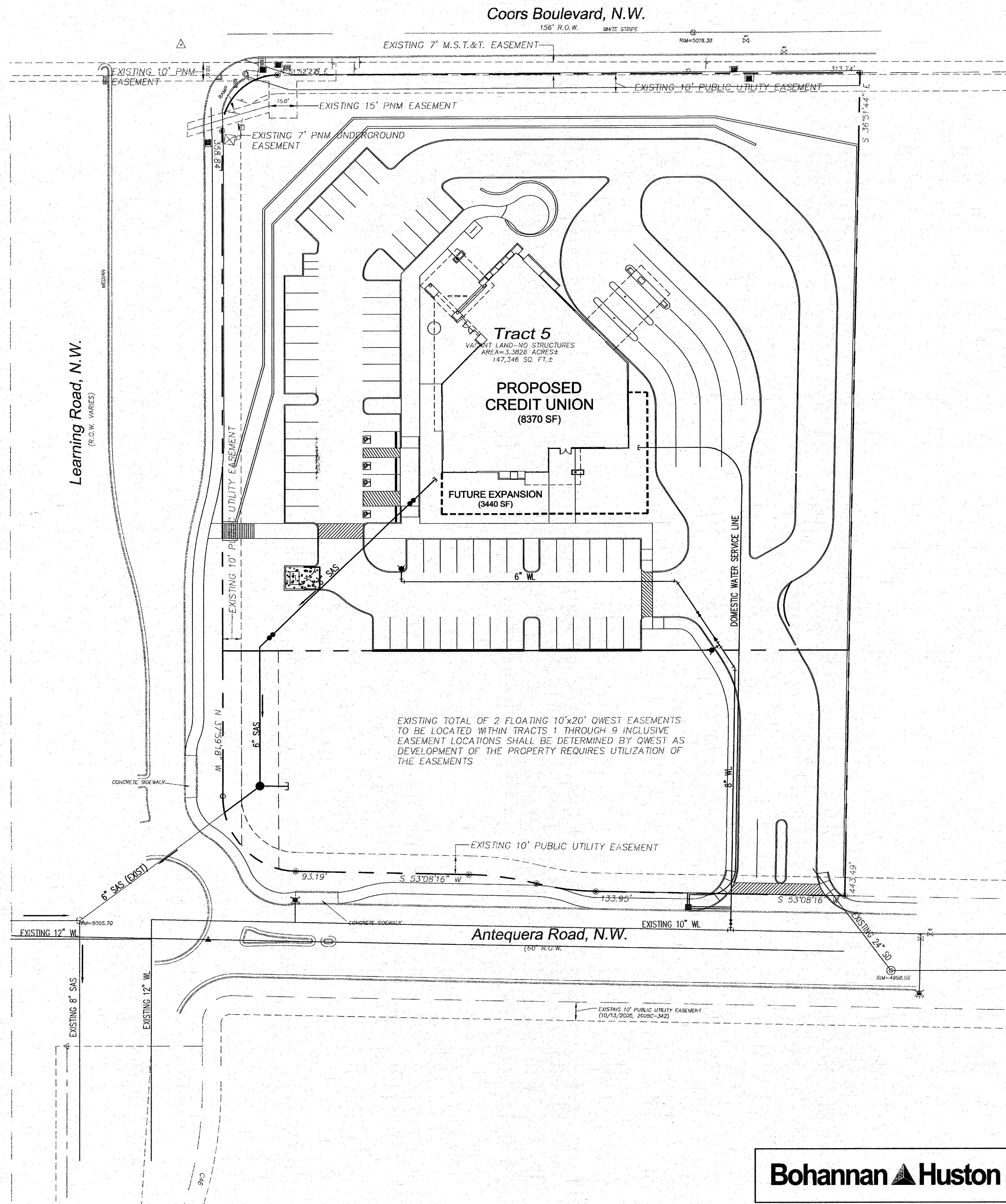
SITE PLAN FOR BUILDING PERMIT

Prepared for: **U.S. New Mexico FEDERAL CREDIT UNION**  
 Prepared by: Consensus Planning, Inc.  
 302 Eighth Street NW  
 Albuquerque, NM 87102

PO Box 129  
 Albuquerque, NM 87103  
 NewGround  
 15450 South Outer Forty Drive  
 Suite 300  
 Chesterfield, MO 63017

Scale: 1" = 30'  
 Bohannon Huston, Inc.  
 Courtyard 1, 7500 Jefferson NE





**LEGEND**

|     |                                 |
|-----|---------------------------------|
| --- | PROPERTY LINE                   |
| --- | NEW EASEMENT                    |
| --- | EXISTING SANITARY SEWER         |
| --- | EXISTING WATER LINE             |
| --- | EXISTING STORM DRAIN            |
| ⊠   | EXISTING WATER METER            |
| ⌈ ⌋ | EXISTING CAP                    |
| ⊗   | EXISTING VALVE                  |
| ⊙   | EXISTING FIRE HYDRANT           |
| ⊙   | EXISTING SANITARY SEWER MANHOLE |
| ⊙   | EXISTING STORM DRAIN            |
| --- | PROPOSED SANITARY SEWER         |
| --- | PROPOSED WATER LINE             |
| --- | PROPOSED VALVE                  |
| ⊙   | PROPOSED HYDRANT                |
| ⌈ ⌋ | PROPOSED CAP                    |
| ⊠   | PROPOSED WATER METER            |
| ⊙   | PROPOSED SANITARY SEWER MANHOLE |
| ⊙   | PROPOSED STORM DRAIN            |

APD PLANS CHECKING OFFICE  
924-3611  
**APPROVED/DISAPPROVED**  
HYDRANT(S) ONLY  
R.C. Jan 1-26-2012  
SCALE & DATE

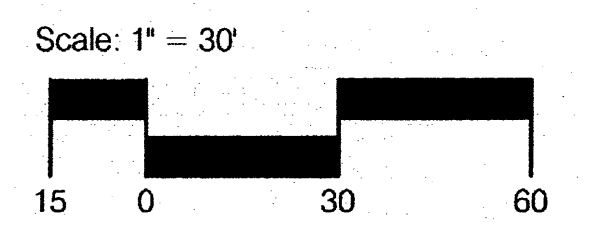
# U.S. NEW MEXICO FEDERAL CREDIT UNION

## CONCEPTUAL UTILITY PLAN

Prepared for:  
  
PO Box 129  
Albuquerque, NM 87103

Prepared by:  
Consensus Planning, Inc.  
302 Eighth Street NW  
Albuquerque, NM 87102  
  
NewGround  
15450 South Outer Forty Drive  
Suite 300  
Chesterfield, MO 63017

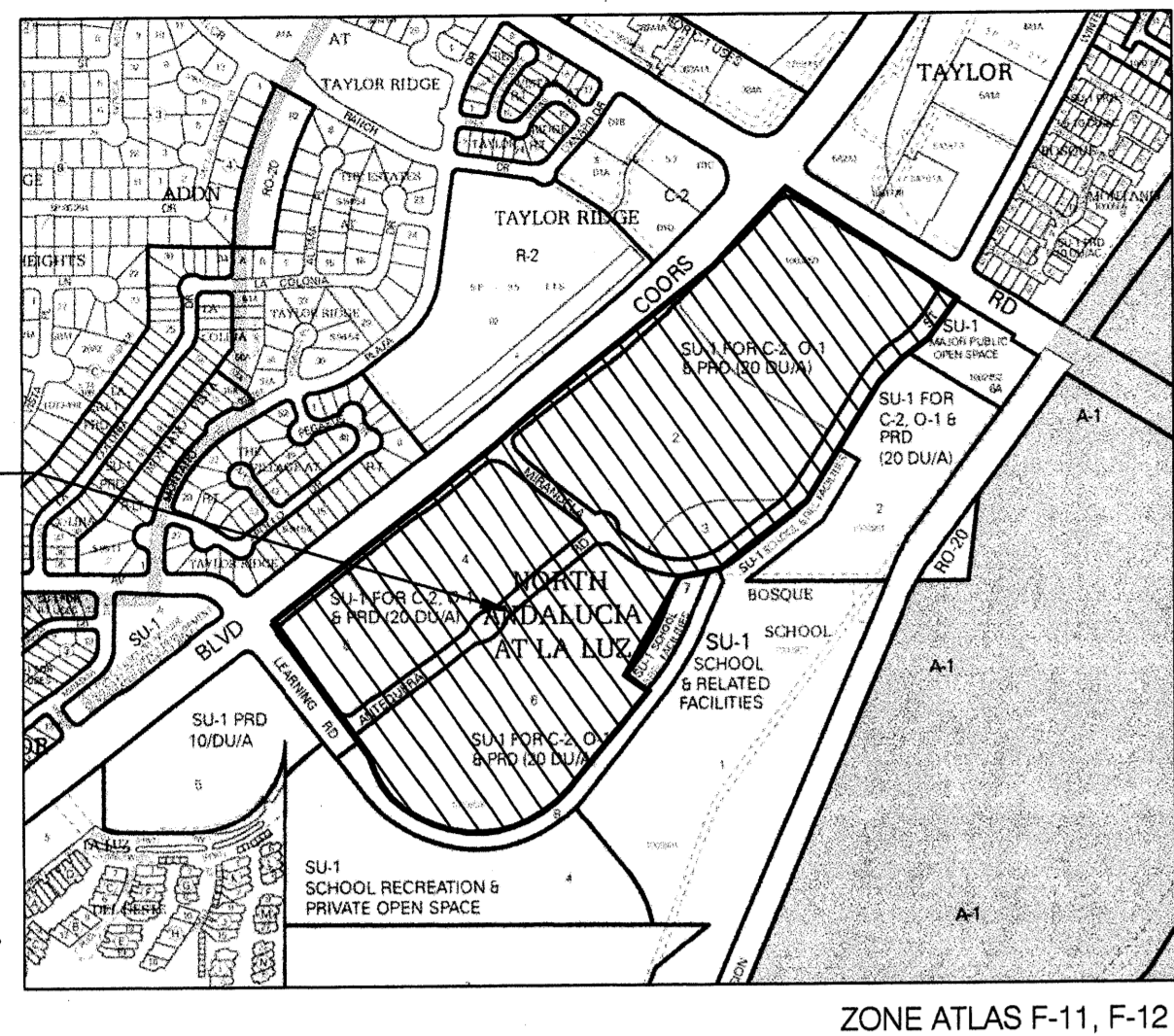
**Bohannon & Huston**



Bohannon Huston, Inc  
Courtyard 1, 7500 Jefferson NE  
Albuquerque, NM 87109-4335



**SITE VICINITY**



PROJECT NUMBER: 1003859

Application Number: 08EPC-40065

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

*[Signatures and dates for various departments: Traffic Engineering, ABCWUA, Parks and Recreation, City Engineer, Environmental Health, Solid Waste Management, DRB Chairperson]*

PROJECT NUMBER: 1003859  
Application Number: 11EPC-40074; 12DRB-

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 12.6.2011 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

*[Signatures and dates for various departments: Traffic Engineering, ABCWUA, Parks and Recreation, City Engineer, Solid Waste Management, DRB Chairperson]*

**GENERAL NOTES**

- Tracts 6B and A (referred to on this Site Plan as Tracts 1-9), are part of a Site Plan for Subdivision approved by the Environmental Planning Commission on November 18, 2004 (Project 1000965; 04EPC-00855). This Site Plan replaces the previous Site Plan for Subdivision as it relates to Tracts 6B and A.
- A portion of Learning Road at Coors Boulevard is public right-of-way. An additional portion of Learning Road within Tract 8 will be granted to the City of Albuquerque as a private access easement in order to provide access to the City's Lift Station #24, Tract B, via a 24 foot limited access road within a 60 foot easement. The final portion of Learning Road will become part of Bosque School, Tract 4A.
- The area adjacent to Learning Road and the northern boundary of Bosque School, Lot 4A (a minimum of 300 feet) is restricted to PRD and O-1 Uses for Tracts 3 and 6 and O-1 Uses including Bank with Drive-Up Service for Tracts 5A and 5B.
- Due to the existing Montano Public Archaeological Site and the two smaller sites, future approvals for Site Development Plans for Building Permit on Tracts 6B and A shall require clearance and guidance from the State Historic Preservation Office.
- A cross access easement will be provided across Tracts 1, 2, and 3.
- No fast food restaurants with drive through windows or gas stations are allowed at North Andalucia.
- When the future grade separation is constructed, access will no longer be allowed to Montano Road from Winterhaven, consistent with the Long Range Roadway System.
- The design for the sign and gate at Tract 7 and Miranda Road shall be submitted with a Site Plan for Building Permit for development of Tract 7.

**SITE PLAN FOR SUBDIVISION - REQUIRED INFORMATION**

**THE SITE:**  
The site consists of approximately 69.6 acres. Tracts 6B and A will be replatted into 9 Tracts through the Development Review Board as shown on this Site Plan.

**PROPOSED USE:**  
The site is zoned SU-1 for C-2 (23.3 ac), O-1 (11.7 ac), and PRD (20 du/ac). The individual parcels are designated according to land use.

**PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:**  
**VEHICULAR ACCESS:** Learning Road provides the major signalized access into Andalucia at La Luz. Interior roads (at varying widths) are proposed to serve the project and provide vehicular ingress and egress to these parcels, to increase safety to existing development, and to be consistent with City policies contained in the Coors Corridor Plan (see Street Sections, on sheet 3). Two right-in/right-out access points onto Coors Boulevard are between Learning Road and Montano Road.

**BICYCLE AND TRAIL ACCESS:** Bicycle access is provided by 6 foot on-street bike lanes in Learning Road connecting to on-street bike lanes with Streets A and B providing a connection to Montano Road. Learning Road trail (a 10 foot trail within a 20 foot landscape easement), and a 10 foot trail within a 60 foot easement. Sidewalks will provide pedestrian connectivity throughout Andalucia.

**TRANSIT ACCESS:** Coordination with the City Transit Department shall be initiated at the Site Plan for Building Permit to provide access and service to this property. Coors Boulevard is an Enhanced Transit Corridor on the West Side.

**INTERNAL CIRCULATION REQUIREMENTS:**  
Conceptual access points (at varying widths) have been identified on this Site Plan for each of the parcels final locations, width, and configuration shall be determined with future Site Plans for Building Permit with approval by the City Engineer. Internal sidewalks and/or trails shall be provided within each parcel with future Site Plans for Building Permit.

**BUILDING HEIGHTS AND SETBACKS:**  
See Sheet 2 of 3, Design Standards. Building height shall be consistent with the Coors Corridor Plan (see Sheet 2).

**MAXIMUM FAR:**  
A maximum floor area ratio (FAR) shall be .35 for the SU-1 for C-2 and SU-1 for O-1 portions of Tract 6B and Tract A.

**LANDSCAPE PLAN:**  
The Design Standards (see Sheet 2 of 3) provide for preservation of significant cottonwoods, an emphasis on native and naturalized plant species, landscape criteria, and landscape buffers. Subsequent landscape plans shall be consistent with City standards and policies regarding water conservation and pollen.

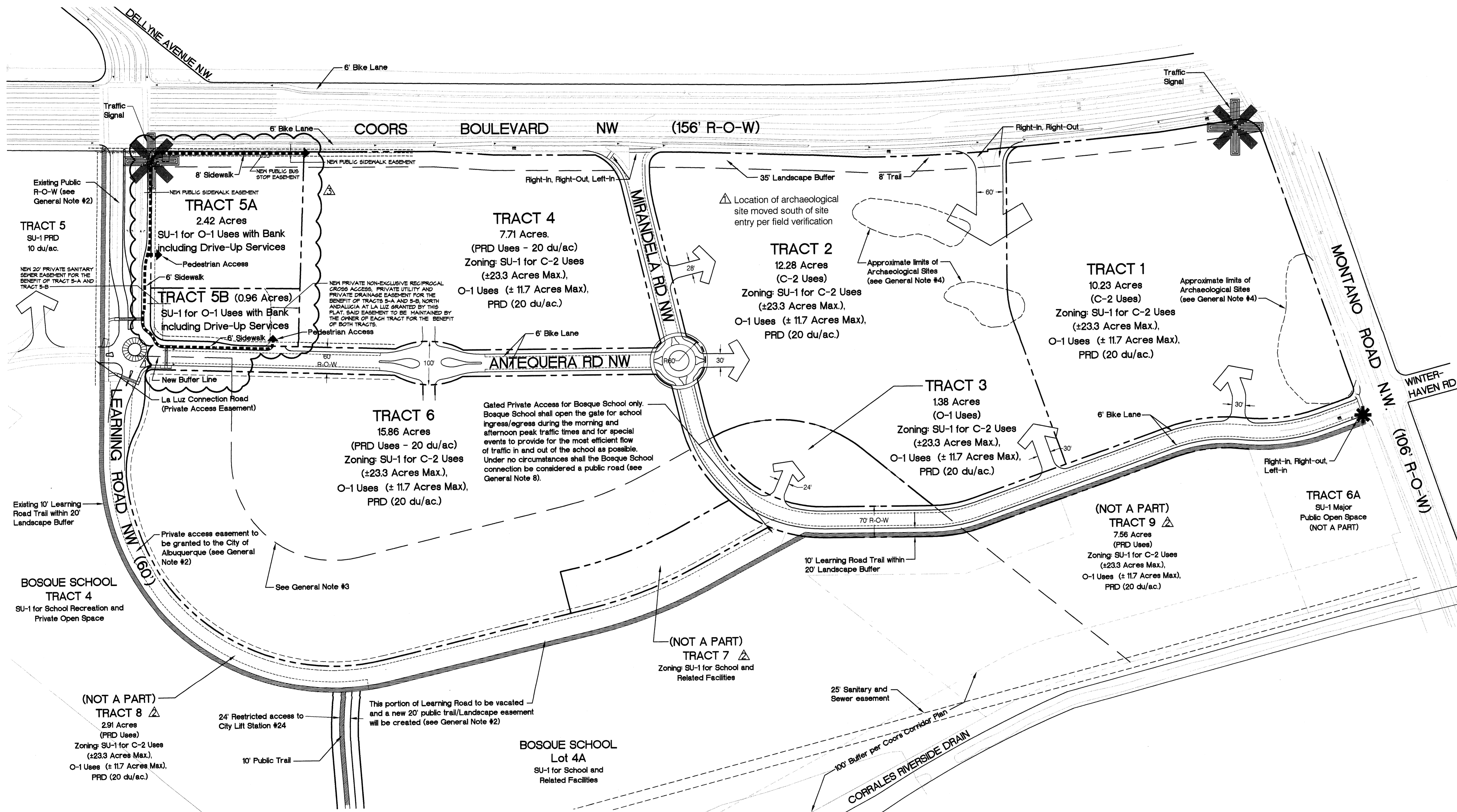
PROJECT NUMBER: 1003859  
Application Number: 04EPC 01845

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated May 19, 2005 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

*[Signatures and dates for various departments: Traffic Engineering, Water Utility, Parks and Recreation, City Engineer, DRB Chairperson]*



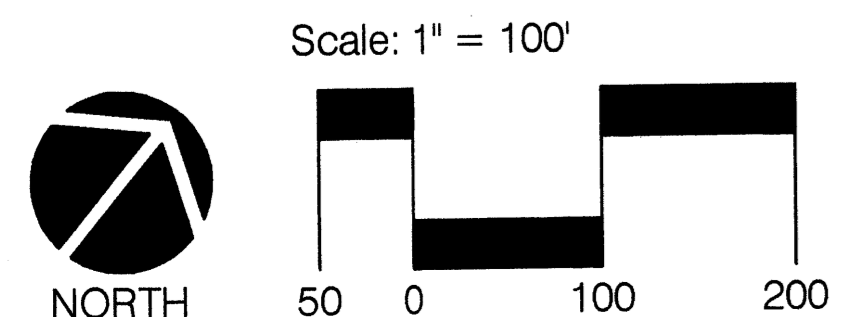
**North Andalucia at Ca Cuz**  
Site Plan for Subdivision  
Tract 6B and A  
Prepared for: Silver Leaf Ventures, LLC.

- September 19, 2007. Amendment is to revise intersection of Learning Road and Antequera Road into a round-a-bout and to accurately reflect the location of the archaeological site per field verification. (Administrative Amendment Approved 10/15/07 by Carmen Marrone)
- June 23, 2008. Amendment is to remove Tracts 7, 8, & 9 from this Site Plan for Subdivision and consolidate those three Tracts into the Bosque School Site Development Plan for Subdivision, Project 1000901;08EPC-40051.
- January 25, 2012. Subdivide Tract 5 into two tracts. Zone Map Amendment for Tract 5 from SU-1 for C-2 Uses, O-1 Uses, and PRD (20 du/ac) to SU-1 for O-1 Uses including Bank with Drive-Up Service.

**CONSENSUS PLANNING, INC.**  
Planning / Landscape Architecture  
924 Park Avenue SW  
Albuquerque, NM 87102  
(505) 764-9801 Fax 842-5495  
e-mail: cp@consensusplanning.com

**Bohannon & Huston**  
Courtney 17000 Jefferson St. NE Albuquerque, NM 87109  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**Dekker Perich Sabatini**  
1001 Jefferson St. NE Albuquerque, NM 87109  
ARCHITECTURE • INTERIORS • LANDSCAPE ARCHITECTURE  
Sheet 1 of 3  
June 22, 2005





## Design Standards

The purpose of these Design Standards is to provide a framework to assist the architects, landscape architects, and designers in understanding the vision and development goals for the property. The primary goal for this property is to achieve a vibrant, mixed-use community that fosters pedestrian accessibility and maintains a village-type character.

The Design Standards should be used to facilitate the design of buildings which respect the natural conditions of the site, maintain and highlight the spectacular views of the Sandia and Manzano Mountains and to leave significant areas dedicated to open space. Innovative techniques such as cluster housing, water harvesting, and use of "green" building materials are strongly encouraged.

These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for Andalusia at La Luz. They are intended to be complementary to La Luz, Albuquerque's first cluster housing project, and the Bosque School. These standards primarily address commercial, office, and multi-family projects. Where specifically applicable to single-family development, the standards are called out as such.

Subsequent Site Plans for Building Permits shall be consistent with the design standards established by this Site Plan for Subdivision and shall be approved by the Environmental Planning Commission. Minor amendments to this Site Plan for Subdivision shall be approved administratively by the Planning Director in accordance with the Comprehensive City Zoning Code, Section 14-16-2-22 (A)(6) Special Use Zone, and major amendments shall be approved by the Environmental Planning Commission.

### COORS CORRIDOR PLAN - VIEW and HEIGHT RESTRICTIONS

A primary design requirement of the Coors Corridor Plan is view preservation. Andalusia at La Luz adheres to the Coors Corridor Plan as follows:

- Coors Corridor Viewshed rules come into effect when a northbound vehicle passes Namaste Road.
- Measurement of building heights shall be consistent with the Coors Corridor Plan.
- A combination of walls and berms shall be built along Coors Boulevard. The high point of the wall or berm will occur within the first 60 feet of the property, but not closer than 20 feet from the right-of-way. From any point along the east edge of Coors, the high point of the wall or berm will obscure no more than 50 percent of the height of Sandia Crest, measured directly below Sandia Crest.
- All multi-story structures shall be built with the finish floor elevation at least 10 feet below the roadway, measured along a 45-degree angle from the northbound direction of travel along Coors.
- In no event will the building height be permitted to penetrate above the view of the ridge line of the Sandia Mountains as seen from four feet above the east edge of Coors Boulevard. In no event will more than 1/3 of the total building height outside of the setback area for multi-story buildings be permitted to penetrate through the view plane.
- As viewed from Coors Boulevard, no structure shall obscure more than 50 percent of the height of Sandia Crest, measured directly below Sandia Crest.

### PEDESTRIAN and SITE AMENITIES

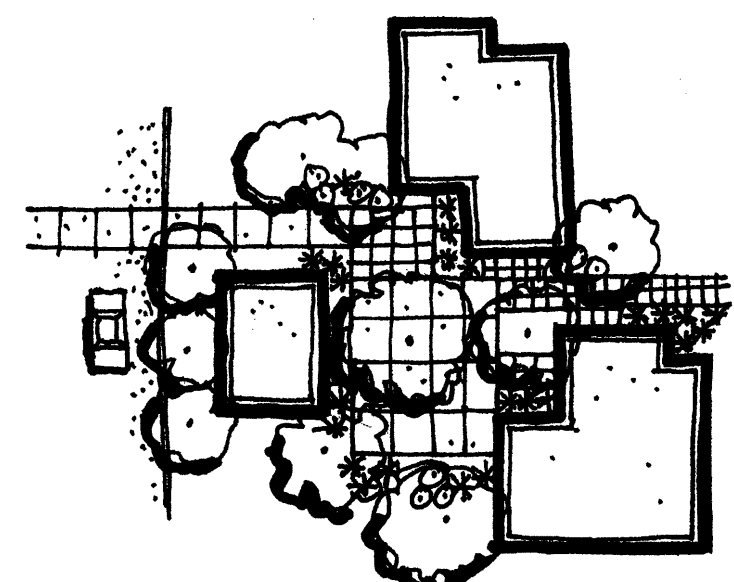
The creation of a pedestrian-friendly environment will depend on creative site design and will be a primary design objective for Andalusia at La Luz. Objectives to achieve this goal include maintaining a high quality and consistency in style for site amenities including benches, plazas, walkways, lighting, etc.; providing shaded walkways; and creating separate vehicular and pedestrian circulation systems in order to support the creation of a village-type character.

The use of alternative paving materials (brick, colored concrete, decomposed granite, etc.) for pedestrian pathways are encouraged. Public art is another site amenity that is strongly encouraged, and if proposed, should be part of the subsequent building plans.

### TRAILS and SIDEWALKS

Public and private trails and sidewalk systems are a defining element to Andalusia at La Luz. Private trails for use by residents are designed to lessen the need for vehicular use and will provide pedestrian connectivity throughout the project (see Landscape Section for more detail on trail landscaping).

- City Trails - All public multi-use trails through Andalusia at La Luz shall be built to City standards, per the City's Trails and Bikeways Facility Plan.
- All private trails and paths shall be soft surface, with a minimum width of 6 feet.
- All pedestrian paths shall be designed to be handicapped accessible (see Americans with Disabilities Act Criteria for Barrier-Free Design, except where topography makes this unfeasible (several streets require grades over 6%).
- The use of asphalt paving for pedestrian trails is discouraged. Concrete or compacted decomposed granite with stabilizer are acceptable materials.
- Pedestrian connections to buildings should be provided in parking lots with greater than 50 spaces and should connect to adjacent roadways, sidewalks, and pathways.
- Pedestrian crossings shall be clearly demarcated with special paving treatment where they cross vehicular entrances and drive aisles and where City trails cross streets.
- Freestanding restaurants, if proposed by subsequent Site Plans for Building Permits, shall provide outdoor patios and shall be shaded by trees and/or a shade structure that is architecturally integrated with building architecture.
- Non-residential and multi-family development shall provide secure bicycle storage racks that are conveniently located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided, consistent with the City Zoning Code.

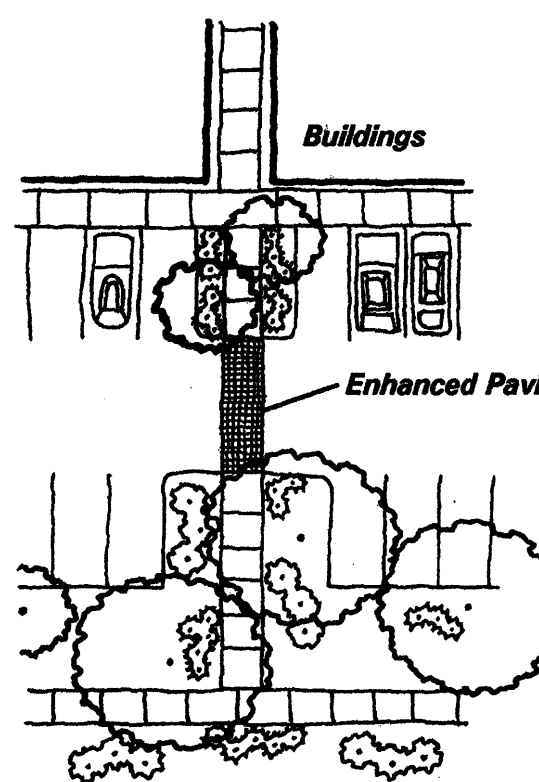


OUTDOOR AREAS - defined by building edges, differentiation of paving, variety of scales of landscaping

### PARKING

In order to support the goals for the property regarding pedestrian accessibility, careful attention should be paid to the parking design. An effort should be made by site designers to lessen the impact of parking facilities on the land and to preserve views to the Bosque and the Sandia and Manzano Mountains. In order to lessen the visual impact of parking areas, parking facilities should be broken up into a series of smaller areas.

- Handicapped parking spaces shall be provided adjacent to building entries.
- The total maximum amount of parking provided shall meet parking requirements in the City Zoning Code, plus 10 percent.
- Structures and on-site circulation systems should be located to minimize pedestrian/vehicle conflicts. Pedestrian access shall be provided to link structures to the public sidewalk.
- Parking areas shall be designed to include a pedestrian link to buildings.
- In cases where parking is adjacent to roadways, landscaping for screening purposes shall be required. The wall shall be architecturally compatible with the surrounding buildings.



PARKING - pedestrian links should be provided between parking areas and buildings

### SINGLE-FAMILY PARKING STANDARDS

The following parking standards are provided for single-family residential development. They have been developed in conjunction with the Unique Street Standards (see Sheet 3 of 3)

- Off Street Parking shall be provided at the following rate:
  - 3 spaces per 2 bedroom dwelling unit
  - 4 spaces per 3-4 bedroom dwelling unit
  - 5 parking spaces per 5 bedrooms or greater dwelling unit

### MULTI-FAMILY PARKING STANDARDS

The following parking standards are provided for multi-family residential development.

- Off Street Parking shall be provided at the following rate:
  - 1 space per bath, but not less than two spaces
  - 1 space per bath for dwellings with less than 1,000 square feet of net leasable area, but not less than 1.5 spaces

### SETBACKS

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways and screening materials, including landscaping, earthen berms, and walls. Parking areas are discouraged from being adjacent to roadways. Front yard setbacks for single family residential developed have been reduced from the City's standard in order to provide as intimate a streetscape experience as possible.

- All development at Andalusia shall comply with the setback requirements of the Coors Corridor Plan.
- Commercial and office development shall comply with the building setback requirements of the O-1 Zone in the Comprehensive City Zoning Code and the Coors Corridor Plan.
- Accessory structures shall comply with Section 14-16-3-3 of the Comprehensive City Zoning Code.

### SINGLE FAMILY LOTS

- Front Yard Setbacks**  
Dwelling Unit - 8 feet  
Garages - 8 feet, except 20 feet for garages facing street
- Rear Yard Setbacks**  
Dwelling Unit - 15 feet  
Garages (attached and detached) - 0 feet
- Side Yard Setbacks**  
Dwelling Unit - 3 feet, except 8 feet for lots adjacent to roadway. Zero lot line is permitted provided 10 feet of separation between dwelling units is maintained.  
Garages (attached and detached) - 0 feet
- Garage Setbacks**
  - Where garages face the street, the garage shall have a minimum setback of 20 feet from the property line.
  - No more than 3 houses in a row with garages facing the street can have a 20 foot setback. Minimum offset for adjacent houses is 3 feet.
  - Garages provided on alleys shall have a minimum rear yard set back of 3 feet to allow for proper turning clearances.

### TOWNHOUSE LOTS

- Front Yard Setbacks**  
Dwelling Unit - 8 feet  
Garages - 8 feet, except 20 feet for garages facing street
- Rear Yard Setbacks**  
Dwelling Unit - 15 feet, or for dwellings with offset rear lot lines, not less than 5 feet provided the average rear yard setback is not less than 15 feet  
Garages (attached and detached) - 0 feet
- Side Yard Setbacks**  
No required side yard setback, except there shall be 8 feet on the street side of corner lots and 3 feet from a side lot line that separates townhouse zone from another zone

### MULTI-FAMILY APARTMENT DEVELOPMENT

- Front Yard Setbacks**  
Dwelling Unit - 15 feet; driveways not less than 20 feet
- Rear Yard Setbacks**  
Dwelling Unit - 15 feet
- Side Yard Setbacks**  
5 feet, except there shall be 10 feet on the street side of corner lots
- Separation**  
Not less than 10 feet between apartment buildings and off-street parking and vehicular circulation areas

### PARKING AREA SETBACKS

To allow for an appropriately sized landscape buffer adjacent to roadways, parking areas shall be setback as follows:

- 15 feet, except along Coors Boulevard where the setback shall be 35 feet.

### LANDSCAPE

The development of an overall landscape concept will establish a framework that unifies the property and is complementary to the Rio Grande Bosque. The landscape design should emphasize native and naturalized plant species. All landscaped areas need to be coordinated and responsive to existing environmental conditions and local building policies. These standards are to be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Street Tree Ordinance, and landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

The following are minimum standards for the development of specific landscape plans:

- Significant cottonwoods specimens shall be identified and preserved, where feasible.
- For single family residential projects, street trees shall be provided along roadways at a rate of one tree per 40 linear feet. For multi-family and non-residential projects, they shall be provided along roadways at a rate of one tree per 25 linear feet. They may be randomly or regularly placed.
- Individual lot owners will be responsible for the installation and maintenance of the landscape on their property. All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the lot owner in a living, attractive condition.
- All Private Commons Areas and parkway areas between curb and sidewalk shall be maintained by the developer/owner.



PEDESTRIAN AREAS - should include shade trees

### NON-RESIDENTIAL AND MULTIFAMILY RESIDENTIAL

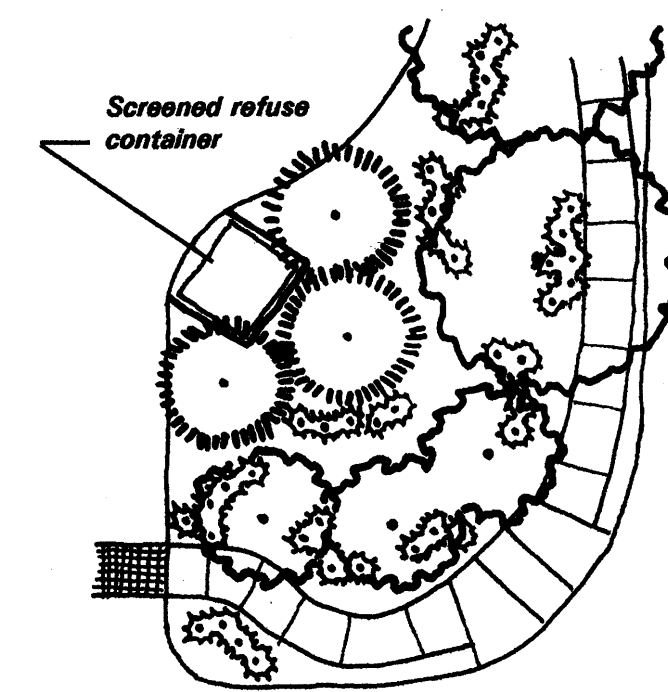
- A minimum of 15 percent of the site area for commercial, office, and multi-family projects (minus the building square footage) shall be devoted to landscape materials.
- Landscaped areas shall be a minimum of 36 square feet and a minimum width of 6 feet. Living, vegetative materials shall cover a minimum of 75 percent of the landscaped areas. The area and percentage is calculated based on the mature canopy size of all plant materials.
- All planting areas not covered with turf shall have a ground topping of river rock, shredded bark, gravel mulch, or similar material which extends completely under the plant material.
- Appropriate landscape headers shall be used to separate any turf and groundcover areas.
- To shade and mitigate the negative visual impact of large expanses of pavement, interior parking areas shall have one tree for each 10 parking spaces with no space being more than 100 feet from a tree.
- 75 percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least 25 feet.
- An automatic underground irrigation system shall be provided to support all required landscaping. Irrigation components should be checked periodically to ensure maximum efficiency.
- All plant materials shall be chosen from the City of Albuquerque's Water Conservation Ordinance Plant List.
- Minimum plant sizes at time of installation shall be as follows:
  - Trees 1 1/2 inch caliper, or 10 to 12 feet in height
  - Shrubs & Groundcovers 1 gallon
  - Turf grasses shall provide complete ground coverage within 1 growing season after installation.

### SCREENING / WALLS and FENCES

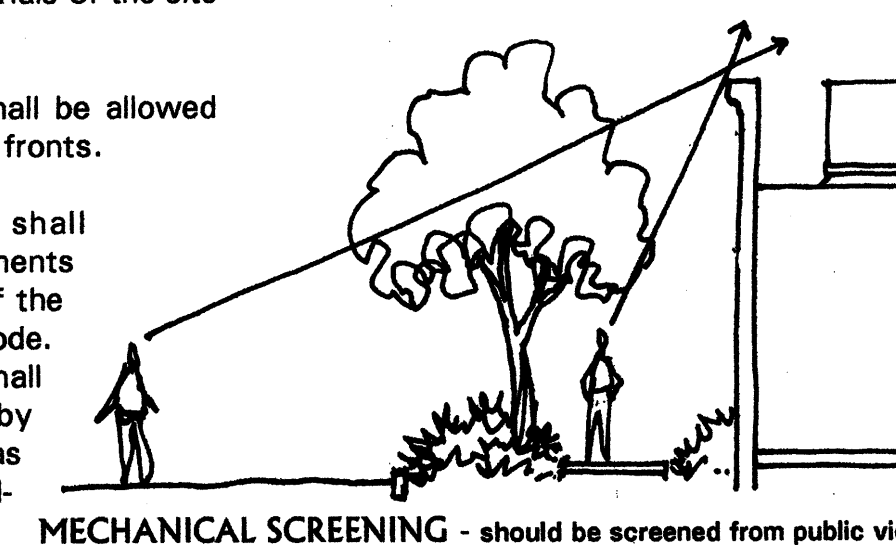
The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on the property. The site orientation of these elements shall be away from any street or pedestrian area. The standards established in the landscape and setback sections will provide the main objectives to screening unattractive elements and activities.

### SCREENING

- Parking areas shall be located away from adjacent streets and properties and shall be screened with plant materials, walls, or earthen berms. Such screening shall have a minimum height of 3 feet. Since the viewing public is from above site topographically, the focus of the screening materials should be on trees.
- All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure which is large enough to contain all trash generated between collections. Trash enclosures shall be screened with plant materials.
- The design and materials for refuse collection enclosures shall be compatible with the architectural theme and materials of the site and adjacent buildings.
- No refuse collection areas shall be allowed between streets and building fronts.
- All mechanical equipment shall meet the screening requirements of Section 14-16-3-1(E)(4) of the Comprehensive City Zoning Code. All mechanical equipment shall be screened from public view by materials of the same nature as the basic materials of the building.



REFUSE CONTAINERS - shall be screened by a 6 foot tall enclosure and plant materials



MECHANICAL SCREENING - should be screened from public view

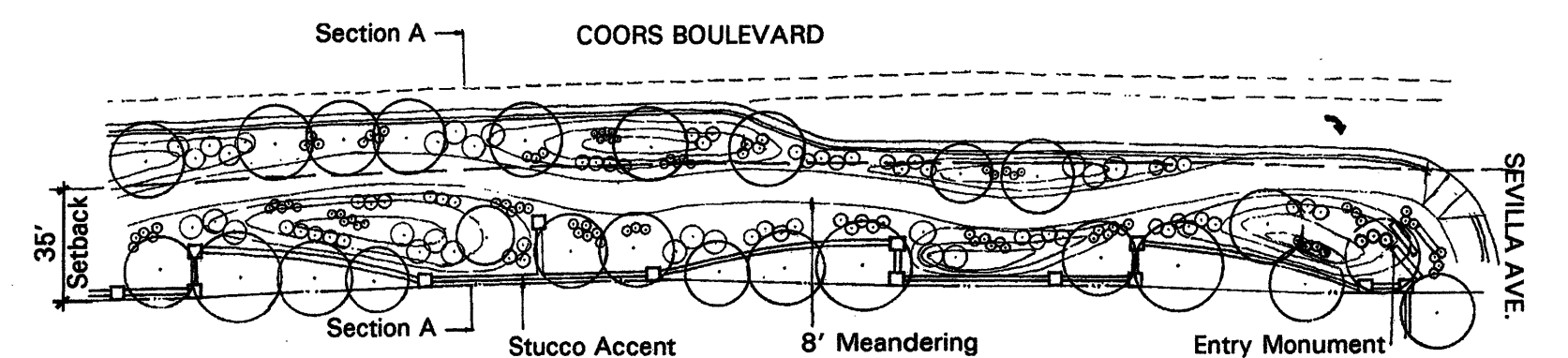
### WALLS/FENCES

Perimeter fencing is allowed on the property; however, an effort should be made by the site designer to lessen its visual impact through landscaping, meandering within a landscape area, and providing openings. Walls and fences shall comply with Section 14-16-3-19, General Height and Design Regulations for Fences, Fences, and Retaining Walls or these Design Standards as specified below. Tensile wire fencing is encouraged for development adjacent to the Bosque to ensure visual access.

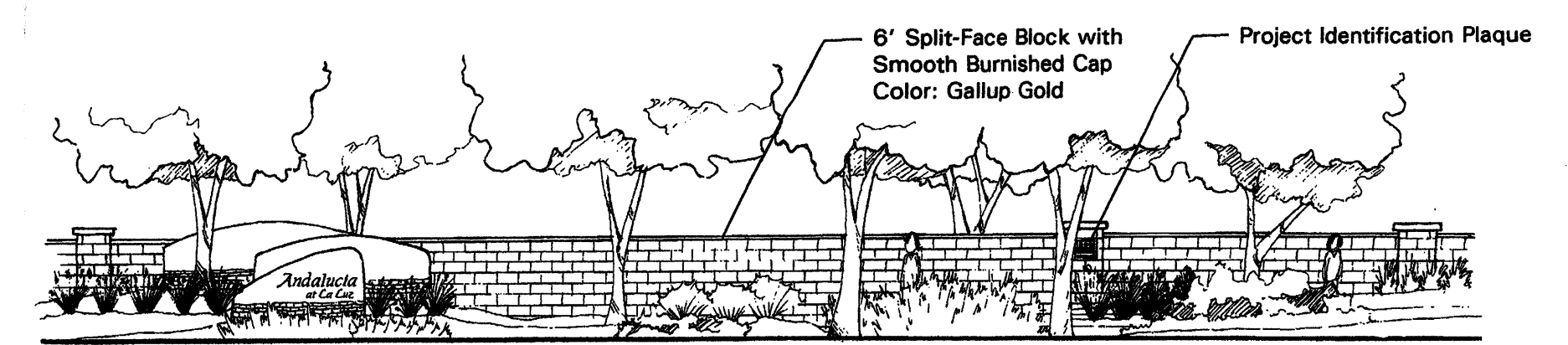
- Unfinished block walls and barbed wire, chain link, concertina wire, and plastic/vinyl fencing are prohibited.
- Perimeter walls, if used, shall include pedestrian openings at key locations within the development to ensure convenient access to other areas within the property.
- Clear site distances will be maintained at all driveway locations.
- The maximum height of retaining walls is 8 feet. Areas requiring greater retainage are required to be terraced.
- Materials acceptable for retaining walls are masonry block (no unfinished), split face block, and stone.
- Yard walls shall be constructed of adobe, cast pumice, rammed earth, concrete masonry, rastra or stuccoed masonry block and shall be finished to match adjoining exterior structure walls. Walls shall not exceed 6 feet in height except at the gate opening unless approved by the Architectural Control Committee and the City of Albuquerque.
- The maximum height of the wall adjoining Tract 6A is 6 feet, or a visual opening may be provided in the wall as an alternative.

### COORS BOULEVARD WALL

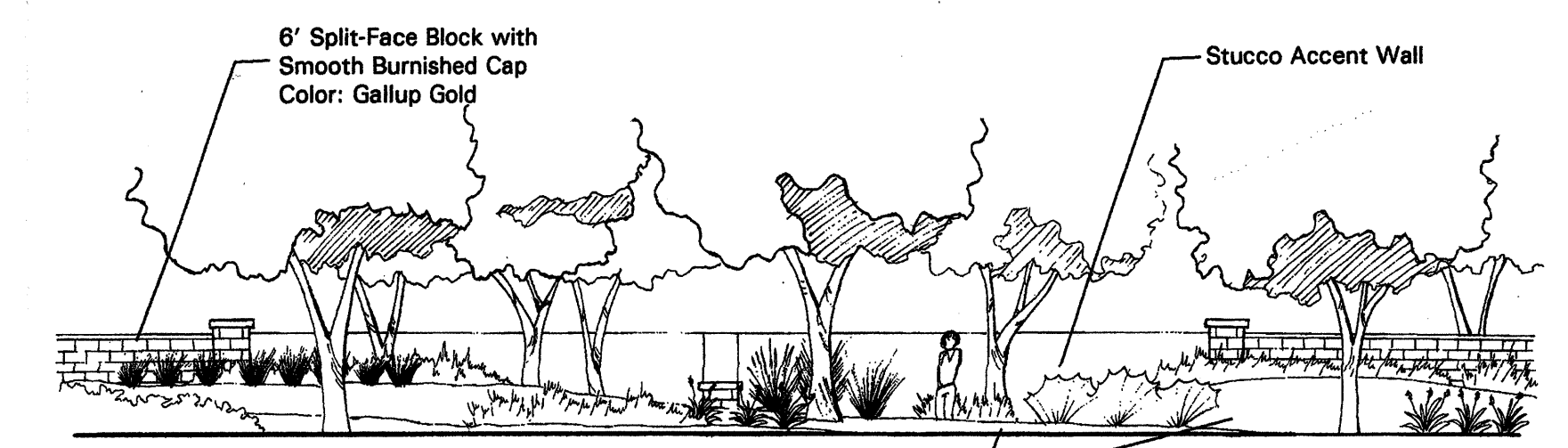
- The perimeter wall along Coors Boulevard at residential Tract 6B-4 shall be as shown below. Landscape provided shall meet the standards in the City's Street Tree Ordinance.
- The elevation at the top of the wall (including decorative features) along Coors Boulevard shall not exceed 8 feet above the existing elevation of Coors Boulevard in order to allow the wall to undulate in conjunction with the berm.
- With the exception of 3 foot parking lot screen walls, it is not anticipated that there will be a perimeter wall along Coors Boulevard or Montano Road adjacent to the non-residential Tracts 6B-1, 6B-2, and 6B-5.



Typical Plan View



Typical Entry Monument & Wall Elevation



Typical Accent Wall Elevation



Typical Accent Wall Section A-A

North  
Andalusia  
at Ca Cuz

Prepared for: Silver Leaf Ventures, LLC.

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Dekker  
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Sabatini  
8811 Jefferson NE  
Suite 100  
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505 761-4221  
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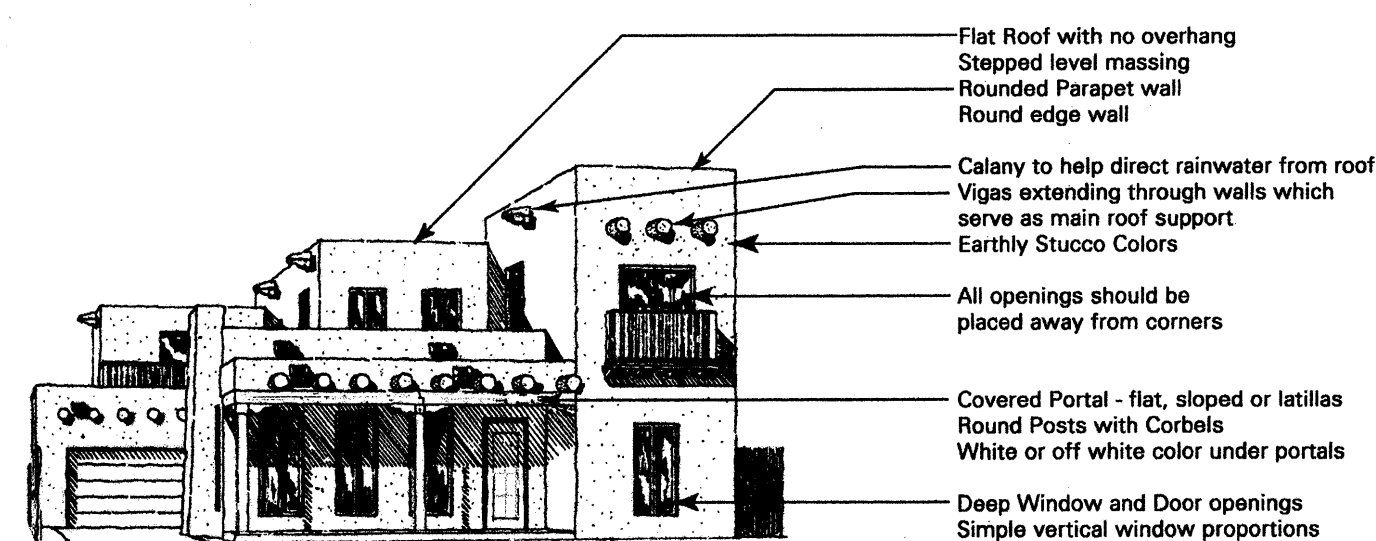
Bohannon & Huston  
Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES



**ARCHITECTURE**

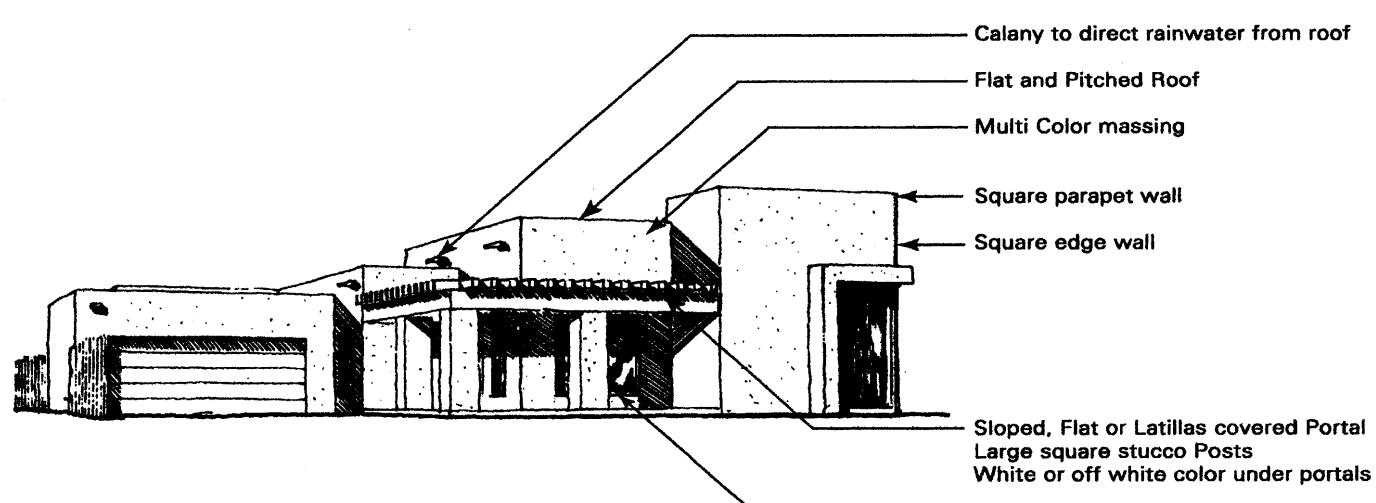
The architectural design should demonstrate a high quality aesthetic character throughout the property and should respond to climate, views, solar access, and aesthetic considerations.

**ARCHITECTURAL STYLES**



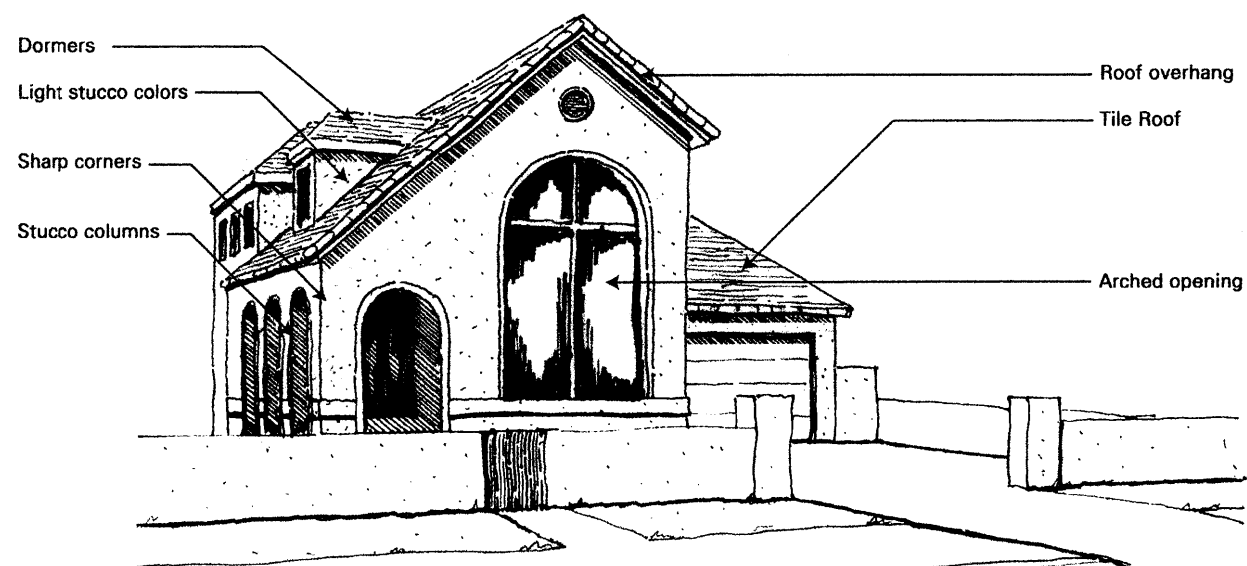
Pueblo Revival

**Pueblo Revival Style** is characterized by either massive adobe brick walls, or wood framing with stucco to give the effect of adobe, projecting vigas, rounded parapets, interspersed with canales, and rounded wood columns with corbels. The flat roof and exterior mud/stucco colors of earth tones are also strong features of this style.



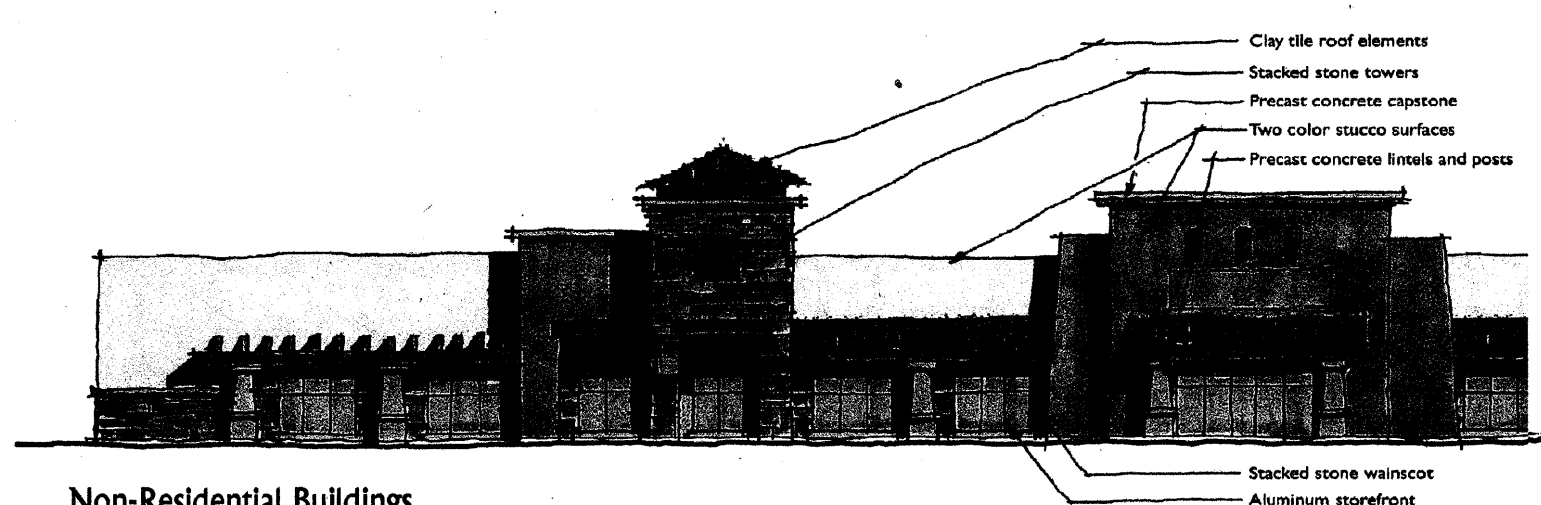
Contemporary Pueblo

**Contemporary Pueblo Style** is a more modern design which reflects much of the traditional Pueblo style architecture, combined with elements of modern architecture. The severe exterior walls are broken by large window openings that extend from floor to ceiling. Square large stuccoed columns replace the round columns of the Pueblo designs. Exterior colors range from earth tones to much lighter colors.



Spanish Colonial

**Spanish Colonial Style** exhibits authentic Colonial architectural elements brought from Spain and features a central courtyard or walled patio. The severe exterior masonry walls are broken only by an ornamental stone entrance. Most rooms open to a columned galeria which extends the entire length of the enclosed garden patio. The flat roof with red tile roof accents over the galeria and wall copings are common features of this design. Exterior colors range from earth tones to much lighter colors.



Non-Residential Buildings

**Commercial building style** will be a hybrid of New Mexico architectural styles, incorporating stucco surfaces, stacked stone vainscot and tower elements, precast concrete posts, lintels, cap stones, and ramadas, and clay tile roof elements. Materials will be natural rather than synthetic, in warm colors ranging from light to dark tans, terracotta red to deep browns. Roof mounted mechanical equipment will be screened from view by parapets or mechanical screens. Ground-mounted equipment will be screened by building elements or landscaping. All sides of all buildings will be architecturally articulated with the elements described and illustrated above.

**NON-RESIDENTIAL and MULTI-FAMILY RESIDENTIAL STANDARDS**

- All non-residential buildings shall comply with Section 14-16-3-18, General Building and Site Design Regulations for Non-Residential Uses of the Comprehensive City Zoning Code, as well as other local building and fire codes.
- Finished building materials shall be applied to all exterior sides of buildings and structures and shall be consistent on all sides. Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of similar compatible design and materials.
- Generic franchise building elevations or canopies are prohibited.
- No plastic or vinyl building panels, awnings, or canopies are allowed. Awnings and canopies, if used, shall be integrated with building architecture.
- Building heights should be kept to a minimum. Maximum height shall be limited to 45 feet for the ridge of the building to correspond with the Coors Corridor Plan.
- Entry ways to non-residential and multi-family buildings shall be clearly defined.
- No freestanding cell towers or antennas are allowed; rather antenna shall be integrated with the building architecture.

**SINGLE-FAMILY RESIDENTIAL STANDARDS**

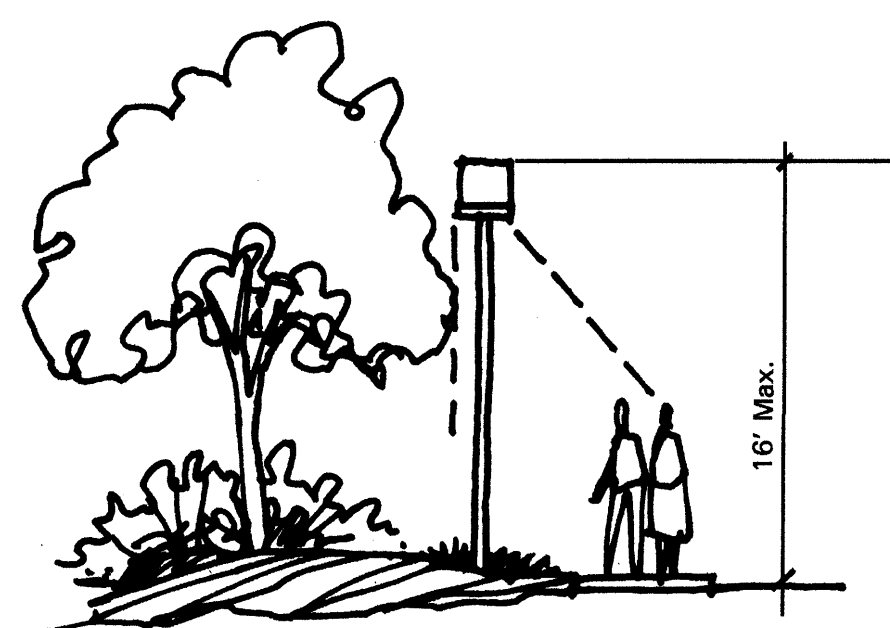
- Lot Size**
  - Minimum residential lot size shall be 3,500 s.f.
- Front Porches**
  - Front porches are required for each dwelling unit.
  - Front porches and/or portals shall have a minimum 6 foot depth.
- Building Colors and Materials**
  - Highly reflective surfaces shall be screened from public view.
  - Stucco shall be the primary building material. Stucco colors shall be limited to shades of brown, tan, sage green, and sand.
  - Accent colors in entry portals, front door, window frames and trim, and other incidental elements shall be shades of white, blue, brown, and green.
  - Windows may be wood, metal or solid vinyl. All windows visible from nearby street and path shall be glazed with clear, non reflective glass. Reflective film is prohibited
  - Exterior doors, including garage doors, shall be stained or painted wood, or painted metal.
- Roof Colors and Materials**
  - Roofs may be flat, pitched (tile), or combination of both and shall be made of non-reflective materials. Roof tile color shall be Terracotta Blend.
- Accessory Buildings and Remodels**
  - All accessory buildings and/or building remodeling under 200 square feet are permitted without special approval from the City. Projects that are larger than 200 square feet are required to apply for administrative approval from the City Planning Director.

**LIGHTING**

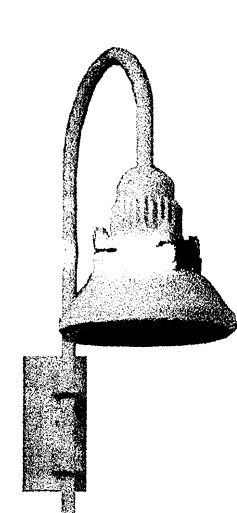
In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and night-time appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.

In order to accomplish the lighting goals, the following guidelines shall be required for the design of the lighting system:

- All lighting shall comply with Section 14-16-3-9, Area Lighting Regulations of the Comprehensive City Zoning Code. Placement of fixtures and standards shall conform to state and local safety and illumination standards.
- All lights shall be shielded source with glare cut off angles of a maximum of 75 degrees to prevent spillage onto adjoining properties or light pollution of the existing "dark sky". Cobra and sodium lights are prohibited.
- The height of street lights and parking area lights shall be kept to a minimum necessary to meet safety requirements.
- Individual site lighting standards shall blend with the architectural character of the buildings and other site fixtures.
- The location of light fixtures shall be identified on subsequent Site Plans for Building Permits. The maximum mounting height of luminaires for pedestrian scale lights shall be 16 feet in height. Consistent with the Coors Corridor Plan, the maximum mounting height of luminaires for parking lot lights shall be a maximum of 20 feet in height, except where they are within 70 feet of residential, they shall be 16 feet in height.
- Neon lights are prohibited in the area of Tract 6B, 300 feet north of Learning Road (see Sheet 1 for location).
- Site lighting shall be restricted to a maximum off-site luminance of 1,000 lamberts from any point and 200 foot lamberts from any residential property line.
- Accent lighting is permitted, however, surface lighting is limited to an average of 2 footcandles measured 4 feet from the surface level of any point on the building surface being lighted.
- Average light levels shall be limited to 2 footcandles with maximum levels limited to 16 footcandles as measured from 4 feet above the surface level of any point on the site.



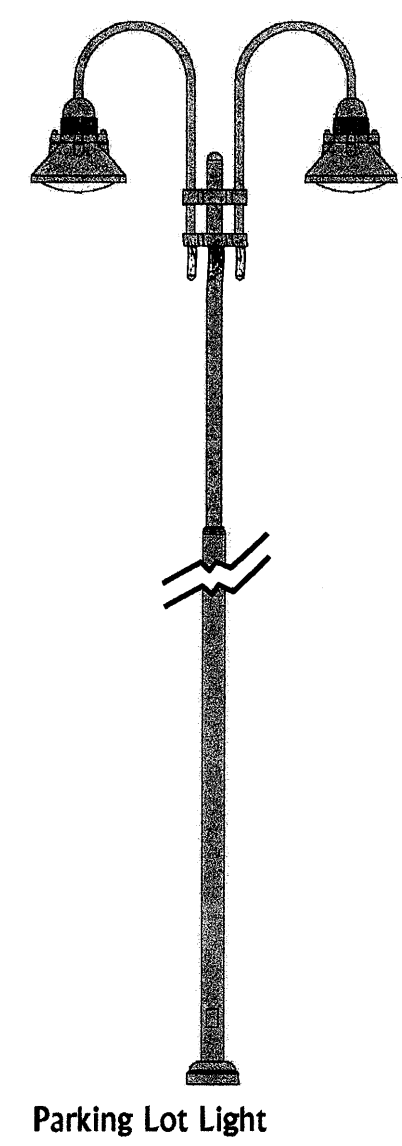
LIGHTING - should be shielded source, with the height kept to a minimum necessary to meet safety standards



Wall Mounted Light



Bollard Light

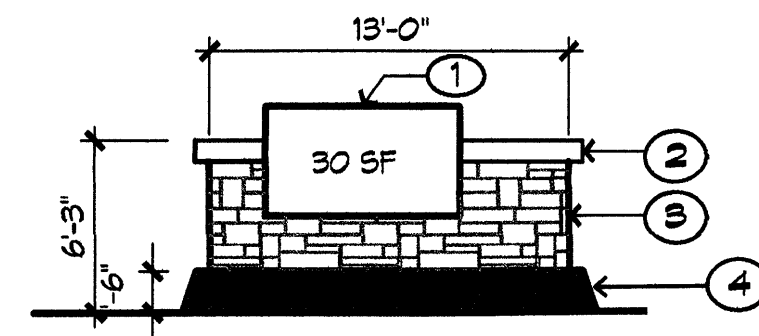


Parking Lot Light

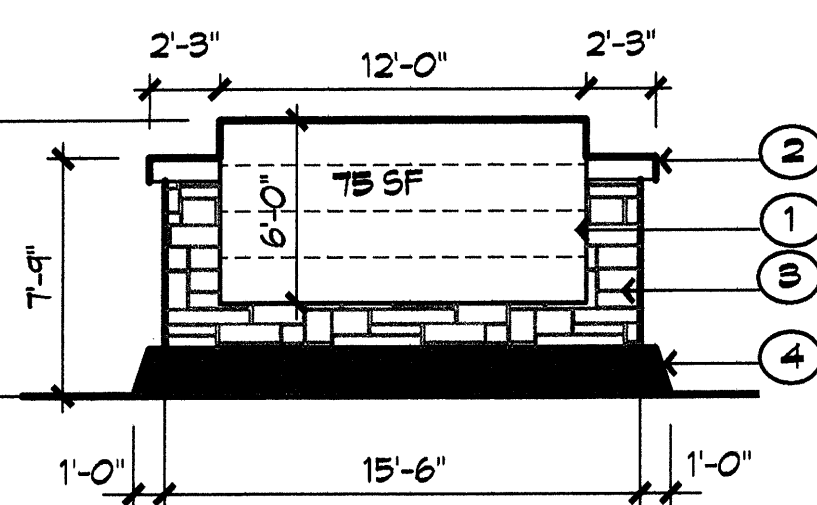
**SIGNAGE**

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within North Andalusia at La Luz. The goal is to provide a signage program that is of high quality, maintains a consistent style, creates a sense of arrival, and complements the visual character of the property.

- All signs shall be in compliance with Section 14-16-3-5 General Sign Regulations of the Comprehensive City Zoning Code and the Coors Corridor Plan.
- Entry signs shall be monument type and shall complement the materials, color, and architectural character of the buildings.
- Project Monument Signs**
  - Three project monument signs are allowed at the entries along Coors Boulevard and one minor entry monument sign is allowed on Montano Road as landmarks identifying the project. These project monument signs shall be of similar design and materials as the buildings.
  - Project monument signs along Coors Boulevard shall have an overall maximum height of 9 feet and shall identify the tenants in a signage area not to exceed 75 square feet with a total of 10 items of information. The minor monument sign along Montano Road shall have an overall height of 9 feet and shall identify the tenants in a signage area not to exceed 30 square feet.

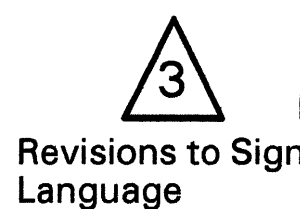


Minor Monument Sign



Project Monument Sign

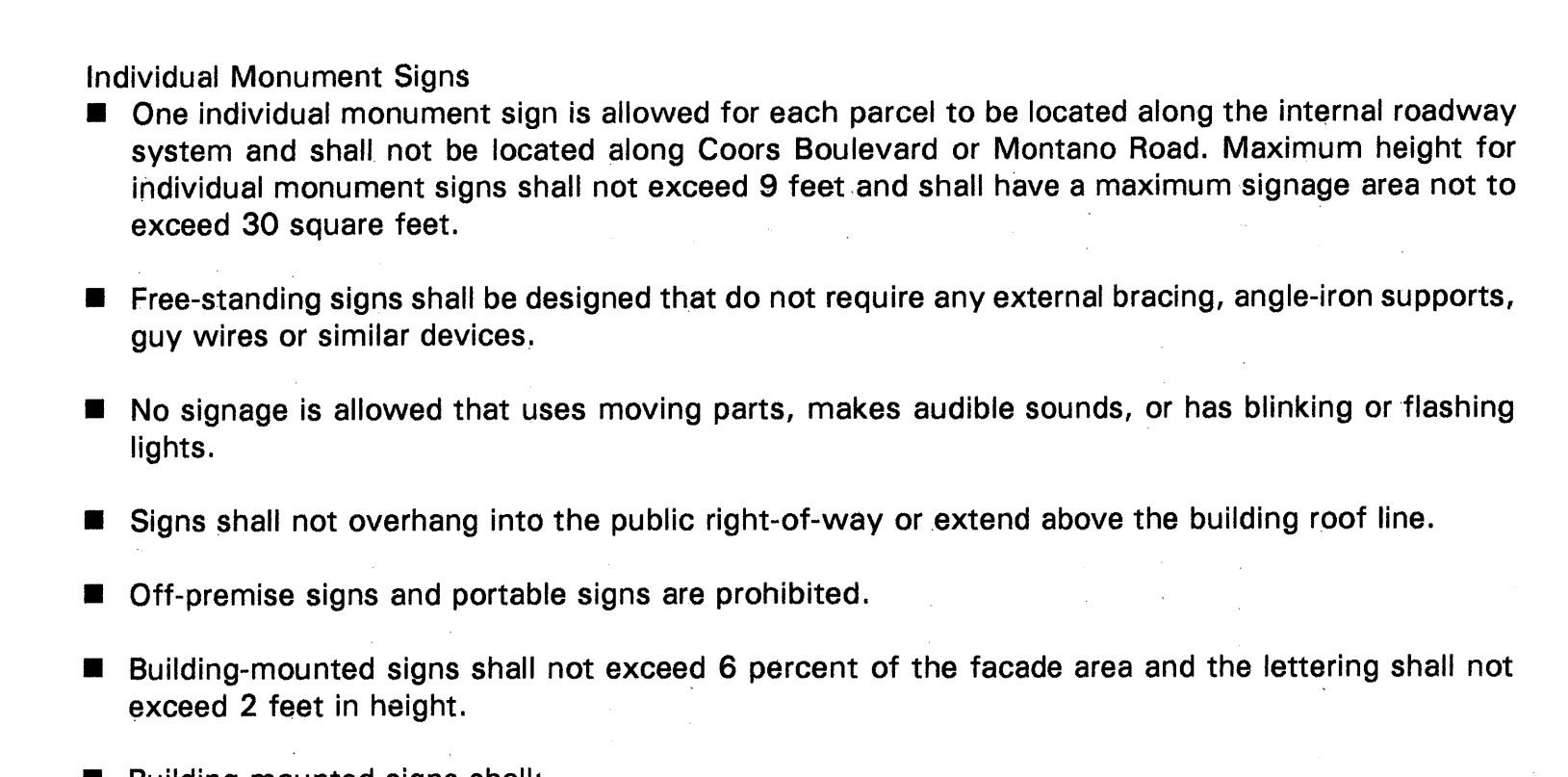
- Keyed Notes**
  - 1 Tenant signage area
  - 2 Precast coping
  - 3 Stone veneer vainscot with precast cap
  - 4 Precast window sill



Revisions to Sign Language

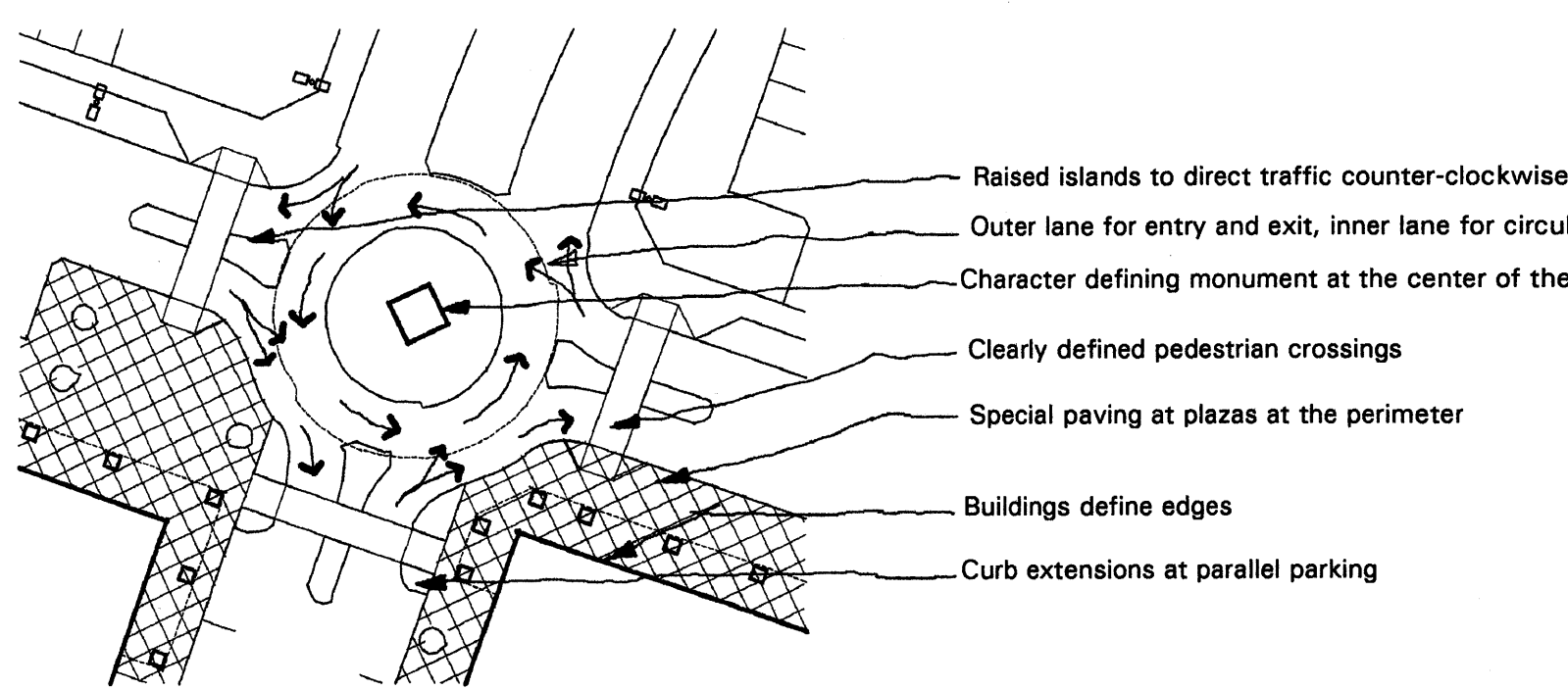
**Individual Monument Signs**

- One individual monument sign is allowed for each parcel to be located along the internal roadway system and shall not be located along Coors Boulevard or Montano Road. Maximum height for individual monument signs shall not exceed 9 feet and shall have a maximum signage area not to exceed 30 square feet.
- Free-standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.
- No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- Signs shall not overhang into the public right-of-way or extend above the building roof line.
- Off-premise signs and portable signs are prohibited.
- Building-mounted signs shall not exceed 6 percent of the facade area and the lettering shall not exceed 2 feet in height.
- Building-mounted signs shall:
  - Identify the name and business of the occupant or of those offering the premises for sale or lease;
  - Not have too many different colors;
  - Have a significant contrast between the background and the text in order to ensure readability; and
  - Not intrude upon any architectural features, including windows, columns, moldings, or other decorative features.
- No illuminated plastic panel signs are allowed except business logos within the non-residential areas of the property.
- Signs on buildings immediately west of Winterhaven (labeled New Local Street) shall not be lighted.



70' Street Section

**Street Character**  
The following 80 foot street section will be constructed within Tracts 6B and A. It has been designed in conjunction with the parking standards (see Sheet 2 of 3), and is intended to reduce traffic speeds. The 70 foot section occurs north of the Learning Road/Street B intersection, and includes the 20 foot Learning Road landscape/trail.



Roundabouts

- Roundabouts**  
Roundabouts will be utilized as a traffic calming device at major public and private vehicular intersections. Because these locations will be focal points, a character defining monument element will be located at the center of the traffic circle.
- Roundabouts will meet design requirements of Publications FHWA-RD-00-067 and AASHTO.
- Raised islands with rolled curbs will be used to direct traffic counter-clockwise, and prevent left turn movements. Special paving will be utilized on adjacent pedestrian plaza areas, and crosswalks will provide clear separation between vehicular and pedestrian movements. Traffic will enter and exit on the outer lane, and circulate around the circle on the inner lane.

**UTILITIES**

To ensure the overall aesthetic quality of the property and the natural environment, the visual impact of utilities and equipment should be minimized by the following:

- All new electric distribution lines shall be placed underground.
- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.
- Alleys may be used for dry utilities and sewer, wherever possible.
- Utility easements shall be a minimum of 7.5 feet in width and may be spot easements instead of continuous easements for above-ground structures.

**PRIVATE COMMONS AREAS**

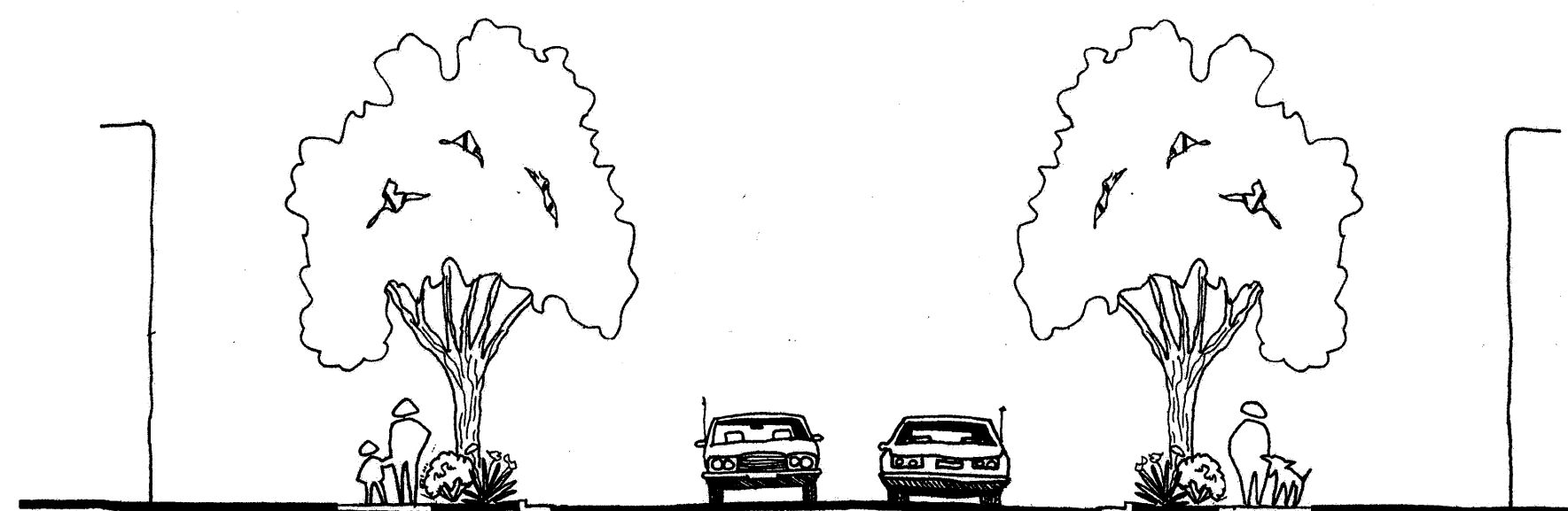
A defining feature of Andalusia at La Luz is the private commons areas that are spread throughout the community. The City's on-site useable open space requirements are met through a combination of the private commons areas and on-site useable open space.

- Minimum on-lot useable open space shall be as required in the SU-1 Zone: 250 square feet per two bedrooms and 300 square feet for three or more bedrooms.
- Covered outdoor space and balconies shall be considered on-lot useable open space.
- Private commons areas shall be considered as part of meeting the SU-1 useable open space requirements of 2,400 square feet provided the minimum on-lot requirements (as stated above) are met. The private commons areas shall be utilized to meet any deficiency in the 2,400 square foot requirement.

**UNIQUE STREET AND TRAFFIC CALMING STANDARDS**

Much attention has been given to the design of the streetscapes at Andalusia at La Luz. These unique standards, along with the treatment given to garages and front yard setbacks, are critical to the success of creating an active, pedestrian-oriented urban community. The intent is to provide relatively short street blocks with a smaller number of lots in order to make the streets as intimate as possible and still meet the City's DPM Standards.

- All street types shall include a 5-6 foot landscaped parkway (actual width depending on street section) and 4 foot sidewalks on both sides of the street.
- Handicapped ramps shall be provided at each intersection, and shall be designed to direct the wheelchair user to the other side of the roadway.
- Bump-outs are allowed in order to slow traffic and to discourage parking close to certain intersections. Where provided, bump-outs shall protrude 4 feet maximum into the right-of-way.
- Curbs shall have a minimum curve radii of 10 feet in order to shorten the distance at pedestrian crossings and provide great pedestrian safety.



60' Street Section

*North Andalusia at La Luz*

Prepared for: Silver Leaf Ventures, LLC.

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Albuquerque, NM 87102  
(505) 764-9801 Fax 842-5495  
e-mail: cp@consensusplanning.com

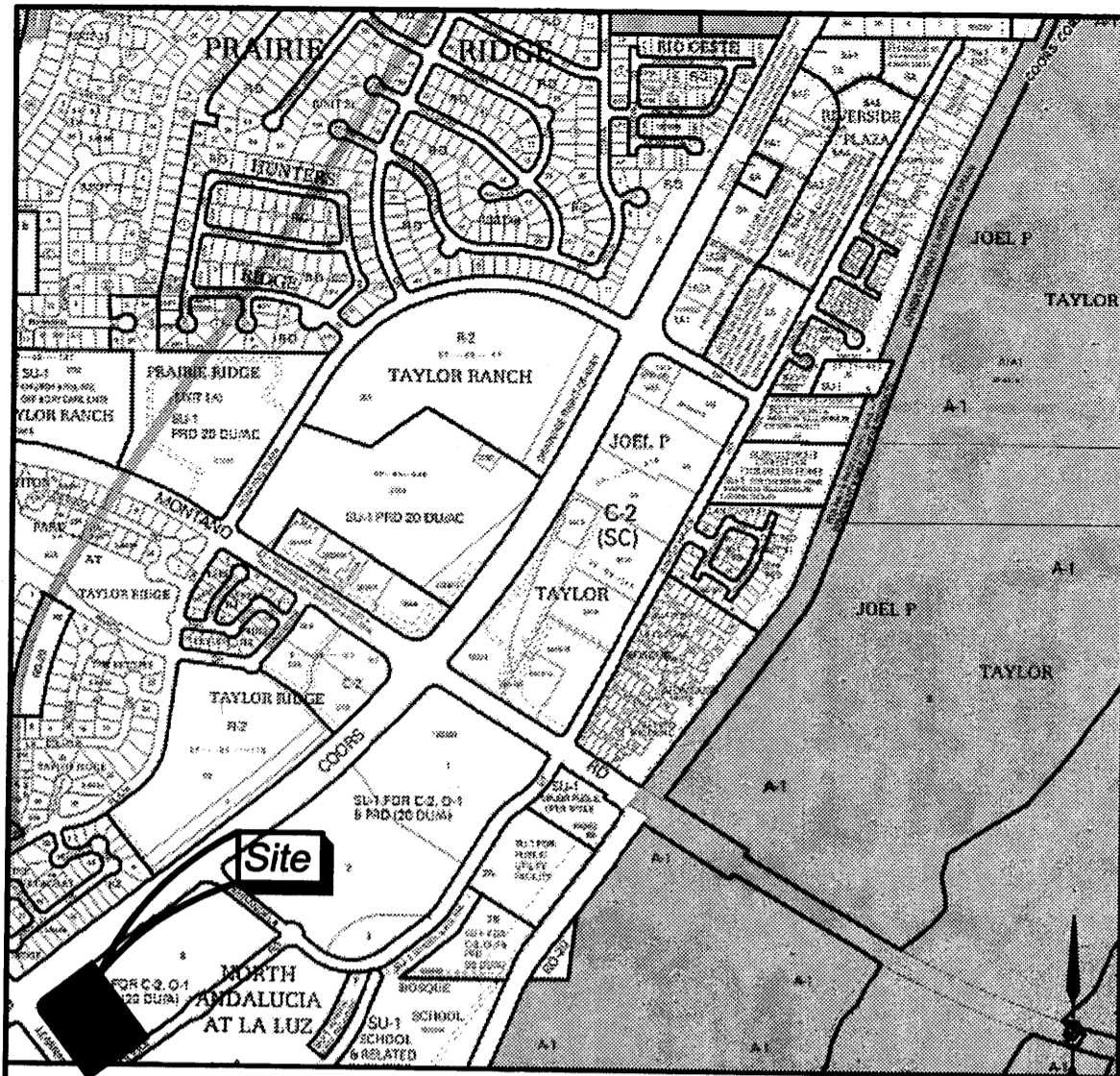
architecture  
interiors  
planning  
engineering

**Dekker Perich Sabatini**

**Bohannon & Huston**  
Court yard 1 7500 Jefferson St. NE Albuquerque, NM 87109  
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Albuquerque, NM 87109  
505 761-8700  
fax 505-761-2222  
cp@bohannon.com





Location Map  
Zone Atlas Map No. E-12-Z

**Subdivision Data:**

ZONING: SU-1 FOR C-2, O-1 USES AND PRD (20 DU/AC)  
 GROSS SUBDIVISION ACREAGE: 3.3826 ACRES±  
 ZONE ATLAS INDEX NO: E-12-Z  
 NO. OF TRACTS CREATED: 2  
 NO. OF LOTS CREATED: 0  
 MILES OF FULL-WIDTH STREETS CREATED: 0  
 DATE OF SURVEY: SEPTEMBER 21, 2011

**Disclosure Statement:**

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE THE ONE EXISTING TRACT INTO TWO NEW TRACTS AND TO GRANT TWO PUBLIC SIDEWALK EASEMENTS, A CROSS ACCESS, WATER LINE AND DRAINAGE EASEMENT, A PRIVATE SANITARY SEWER EASEMENT AND A PUBLIC BUS STOP EASEMENT.

**Notes:**

1. BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
2. ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
3. THIS PROPERTY LIES WITHIN SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

**Utility Notes**

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. NEW MEXICO GAS COMPANY. FOR INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
2. PUBLIC SERVICE COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLE NECESSARY TO PROVIDE ELECTRICAL SERVICE.
3. QWEST FOR INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
4. COMCAST FOR INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID RIGHT OF WAY AND EASEMENT, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, AND TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON.

**DISCLAIMER**

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

RECORDING STAMP

**Legal Description**

TRACT FIVE (5) OF NORTH ANDALUCIA AT LA LUZ AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 13, 2005, IN MAP BOOK 2005C, FOLIO 342, CONTAINING 3.3826 ACRES (47,346 SQUARE FEET) MORE OR LESS, NOW COMPRISING TRACTS 5-A AND 5-B, NORTH ANDALUCIA AT LA LUZ.

Plat of  
Tracts 5-A and 5-B  
**North Andaluca at La Luz**

Albuquerque, Bernalillo County, New Mexico  
January 2012

Project No. 1003859

Application No. 12DRB-

**Utility Approvals**

| PNM                                    | DATE |
|--|------|
| NEW MEXICO GAS COMPANY                 | DATE |
| QWEST CORPORATION D/B/A CENTURYLINK QC | DATE |
| COMCAST                                | DATE |

**City Approvals**

|  |      |
|--|------|
| CITY SURVEYOR                                  | DATE |
| TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT | DATE |
| A.B.C.W.U.A.                                   | DATE |
| PARKS AND RECREATION DEPARTMENT                | DATE |
| AMAFCA   | DATE |
| CITY ENGINEER                                  | DATE |
| DRB CHAIRPERSON, PLANNING DEPARTMENT           | DATE |

TREASURER CERTIFICATE

**Surveyor's Certificate**

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

*Larry W. Medrano* 01/30/12  
 LARRY W. MEDRANO  
 N.M.P.S. No. 11993  
 DATE



**PRECISION SURVEYS, INC.**

OFFICE LOCATION:  
5571 Midway Park Place, NE  
Albuquerque, NM 87109  
MAILING ADDRESS:  
PO Box 90636  
Albuquerque, NM 87199

866.442.8011 TOLL FREE  
505.856.5700 PHONE  
505.856.7900 FAX PS JOB NO. 112138P

**Solar Note:**

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

**Free Consent**

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

*James Raquet*  
 JAMES RAQUET  
 PRESIDENT  
 US NEW MEXICO FEDERAL CREDIT UNION

1-30-12  
DATE

**Acknowledgment**

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) SS

OFFICIAL SEAL  
 Patricia D. Lindley  
 NOTARY PUBLIC  
 STATE OF NEW MEXICO  
 My Commission Expires:

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 30<sup>th</sup> DAY OF January 2012 BY JAMES RAQUET, PRESIDENT, US NEW MEXICO FEDERAL CREDIT UNION.

BY *Patricia D. Lindley* MY COMMISSION EXPIRES: April 15, 2012  
 NOTARY PUBLIC

INDEXING INFORMATION FOR COUNTY CLERK  
 OWNER US NM FEDERAL CREDIT UNION  
 SECTION 25, TOWNSHIP 11 N, RANGE 2 E,  
 SUBDIVISION NORTH ANDALUCIA AT LA LUZ



Plat of  
**Tracts 5-A and 5-B**  
**North Andalusia at La Luz**  
 Albuquerque, Bernalillo County, New Mexico  
 January 2012

RECORDING STAMP

**Coors Boulevard, N.W.**  
 (R.O.W. VARIES)

**Learning Road, N.W.**  
 (R.O.W. VARIES)

A.G.R.S. MONUMENT "L.E11"  
 STANDARD A.G.R.S. BRASS TABLET  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1983)  
 N=1,509,268.080  
 E=1,507,287.119  
 PUBLISHED EL=5116.831 (NAVD 1988)  
 GROUND TO GRID FACTOR=0.999679470  
 DELTA ALPHA ANGLE=-0°15'22.98"

A.G.R.S. MONUMENT "NM\_448\_N6A"  
 STANDARD A.G.R.S. BRASS TABLET  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1983)  
 N=1,507,370.768  
 E=1,506,886.591  
 PUBLISHED EL=5061.638 (NAVD 1988)  
 GROUND TO GRID FACTOR=0.999682224  
 DELTA ALPHA ANGLE=-0°15'25.58"

**Point of Beginning**

EXISTING 7' M.S.T.&T. EASEMENT  
 (11/01/1968, BK. MISC. 119-PG. 938)

PUBLIC SIDEWALK EASEMENT  
 GRANTED BY THIS PLAT

SEE DETAIL AT RIGHT

PUBLIC BUS STOP EASEMENT  
 GRANTED BY THIS PLAT

PUBLIC SIDEWALK EASEMENT  
 GRANTED BY THIS PLAT

**Tract 5-A**  
 VACANT LAND-NO STRUCTURES  
 AREA=2.4217 ACRES±  
 105,488 SQ. FT.±

EXISTING TOTAL OF 2 FLOATING 10'x20' EASEMENTS  
 TO BE LOCATED WITHIN TRACTS 1 THROUGH 9 INCLUSIVE  
 EASEMENT LOCATIONS SHALL BE DETERMINED BY QWEST AS  
 DEVELOPMENT OF THE PROPERTY REQUIRES UTILIZATION  
 OF THE EASEMENTS (10/13/2005, 2005C-342)

FORMER TRACT 5

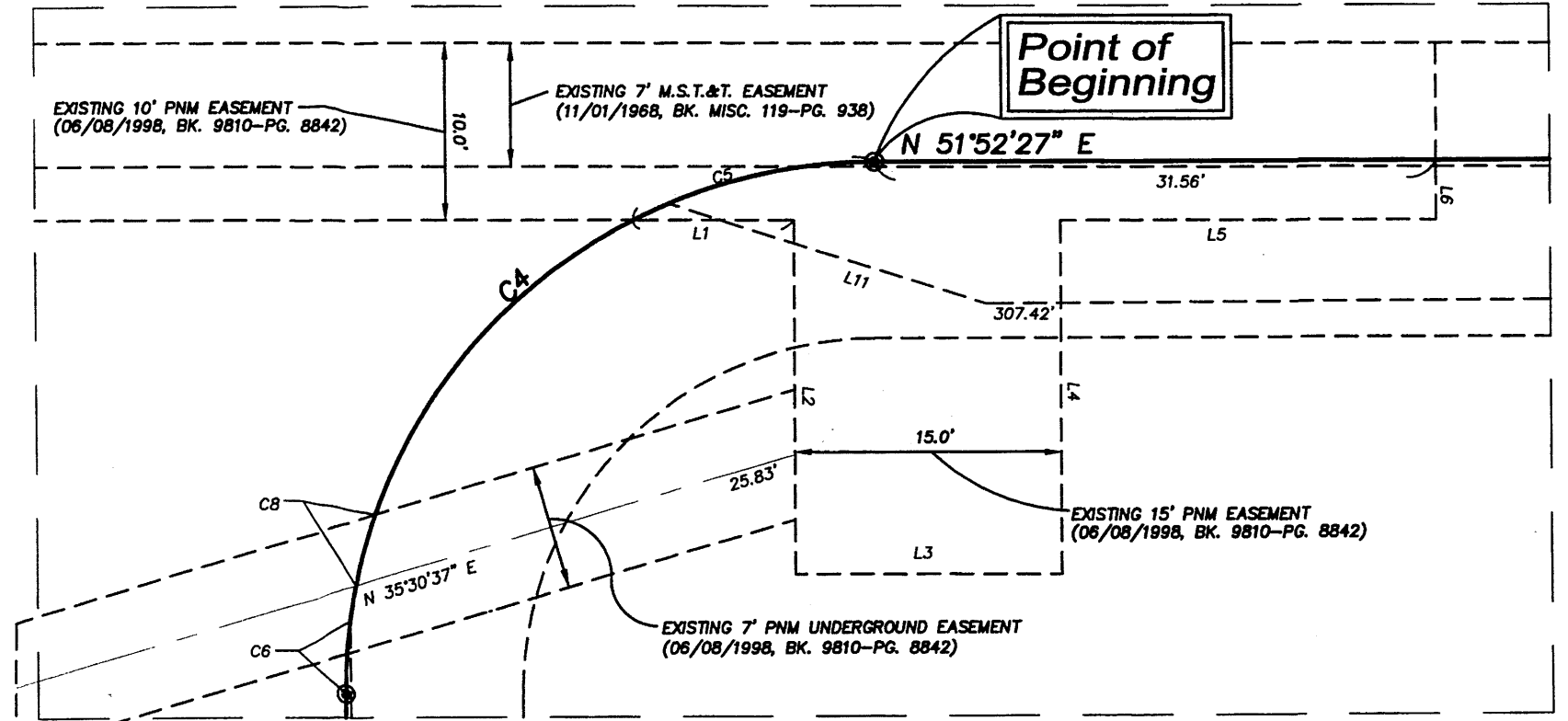
**Tract 5-B**  
 VACANT LAND-NO STRUCTURES  
 AREA=0.9609 ACRES±  
 41,858 SQ. FT.±

20' PRIVATE SANITARY SEWER EASEMENT FOR  
 THE BENEFIT OF TRACTS 5-A AND 5-B, NORTH  
 ANDALUCIA AT LA LUZ GRANTED BY THIS PLAT.  
 SAID EASEMENT TO BE MAINTAINED BY THE  
 OWNER OF EACH TRACT FOR THE BENEFIT OF  
 BOTH TRACTS.

PRIVATE NON-EXCLUSIVE RECIPROCAL CROSS ACCESS,  
 PRIVATE UTILITY AND PRIVATE DRAINAGE EASEMENT  
 FOR THE BENEFIT OF TRACTS 5-A AND 5-B, NORTH  
 ANDALUCIA AT LA LUZ GRANTED BY THIS PLAT. SAID  
 EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH  
 TRACT FOR THE BENEFIT OF BOTH TRACTS.

**Antequera Road, N.W.**  
 (R.O.W. VARIES)

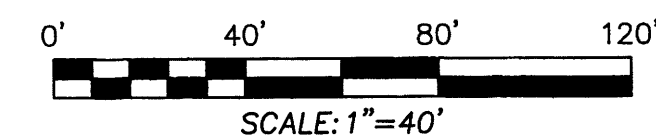
TRACT 6  
 NORTH ANDALUCIA AT LA LUZ  
 (10/13/2005, 2005C-342)



**DETAIL  
 NOT TO SCALE**

**Legend**

- N 90°00'00\"/>**



**Line Table**

| LINE | BEARING        | DISTANCE |
|------|----------------|----------|
| L1   | N 51°59'28\"/> |          |

**Curve Table**

| CURVE | RADIUS  | ARC LENGTH | TANGENT | DELTA ANGLE  | CHORD BEARING | CHORD LENGTH |
|-------|---------|------------|---------|--------------|---------------|--------------|
| C1    | 140.00' | 32.40'     | 16.27'  | 13°15'41\"/> |               |              |

**PRECISION  
 SURVEYS, INC.**

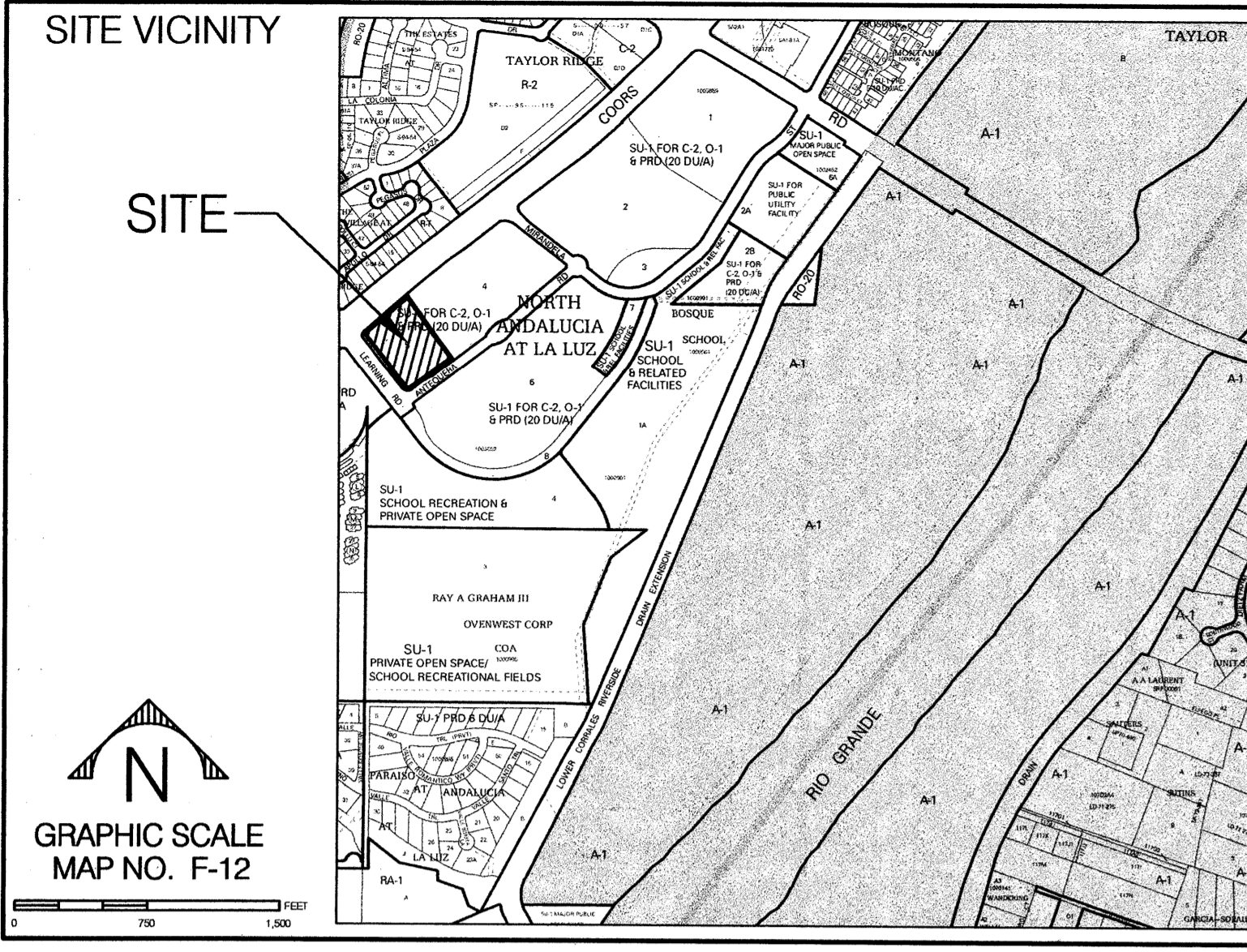
OFFICE LOCATION:  
 5571 Midway Park Place, NE  
 Albuquerque, NM 87109  
 MAILING ADDRESS:  
 PO Box 90636  
 Albuquerque, NM 87199

866.442.8011 TOLL FREE  
 505.856.5700 PHONE  
 505.856.7900 FAX

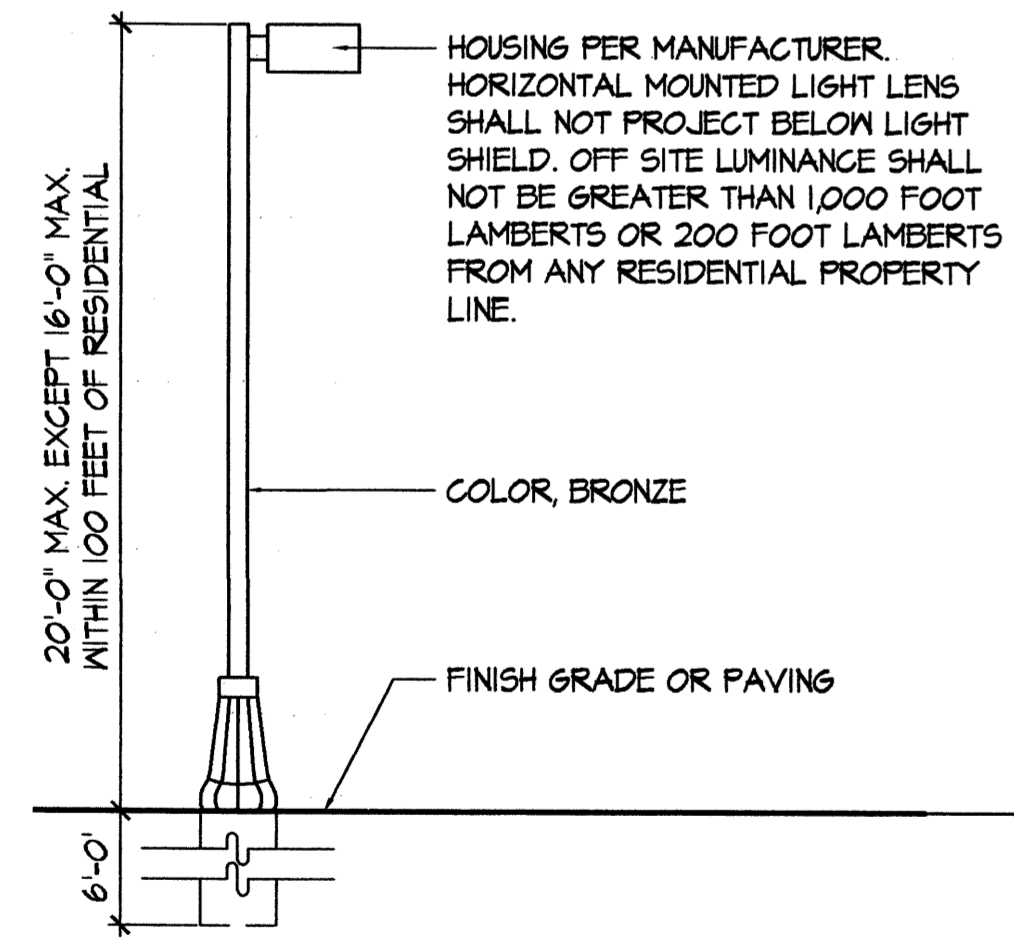
PSI JOB NO. 112138P

INDEXING INFORMATION FOR COUNTY CLERK  
 OWNER US NM FEDERAL CREDIT UNION  
 SECTION 25, TOWNSHIP 11 N, RANGE 2 E,  
 SUBDIVISION NORTH ANDALUCIA AT LA LUZ



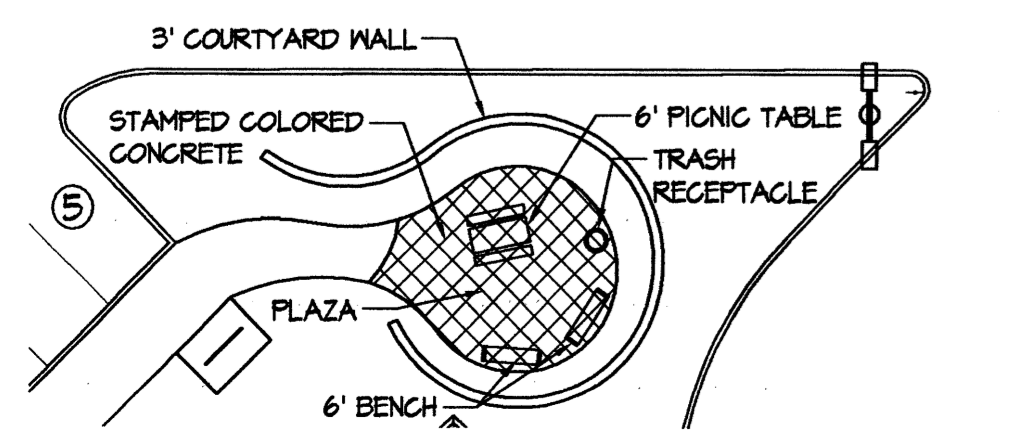


- GENERAL NOTES:**
- SIGNAGE SHALL COMPLY WITH THE APPROVED SITE PLAN FOR SUBDIVISION DESIGN STANDARDS FOR NORTH ANDALUCIA. ONE MONUMENT SIGN IS PROPOSED AT THE CORNER OF THE PROPERTY THAT IS LIMITED TO 30 S.F. SIGN AREA AND A MAXIMUM HEIGHT OF 9 FEET.
  - WALL SIGNS SHALL NOT EXCEED 6% OF FACADE AREA AND THE LETTERING SHALL NOT EXCEED 2 FEET IN HEIGHT.
  - ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF §14-16-3-1, AREA REGULATIONS OF THE CITY COMPREHENSIVE ZONING CODE, THE COORS CORRIDOR PLAN LIGHTING REGULATIONS, AND THE NORTH ANDALUCIA SITE PLAN FOR SUBDIVISION DESIGN STANDARDS.
  - ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
  - THE MECHANICAL SYSTEMS (HEATING AND COOLING) AND BUILDING ENVELOPE (WALLS, ROOF, AND WINDOWS) SHALL BE DESIGNED AND MAINTAINED TO PROMOTE THE EFFICIENT USE OF ENERGY.
  - RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED.
  - ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
  - RECYCLING CARTS SHALL BE PROVIDED IN THE BUILDING AND PICKED UP THROUGH A PRIVATE CONTRACTOR.
  - PNM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT, CONTACT SHALL BE MADE TO PNM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRIC SERVICE CONNECTION.
  - PLACEMENT OF A TYPE C BUS SHELTER PER CITY OF ALBUQUERQUE DESIGN STANDARD #2355 WITHIN A 5' X 20' EASEMENT SHALL BE REQUIRED.

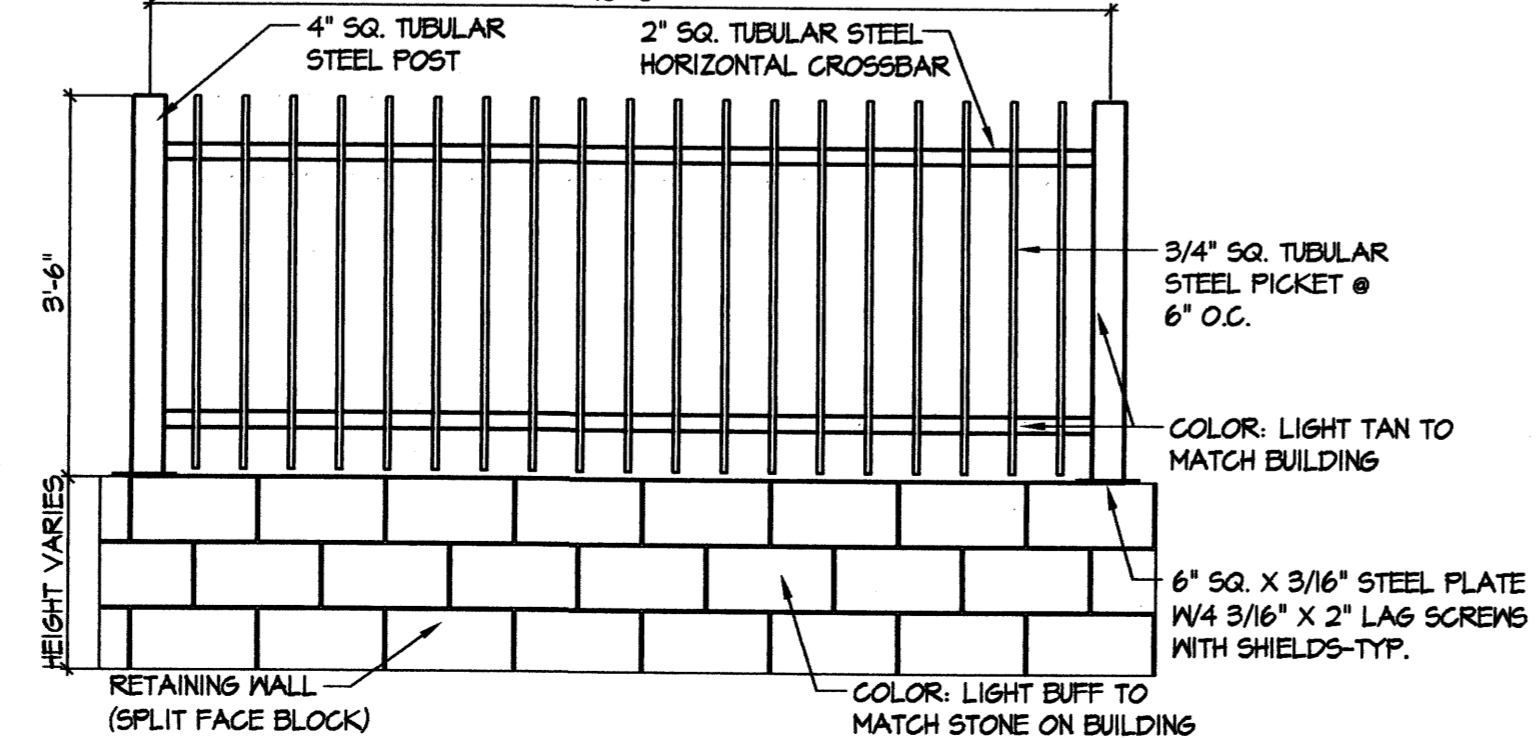
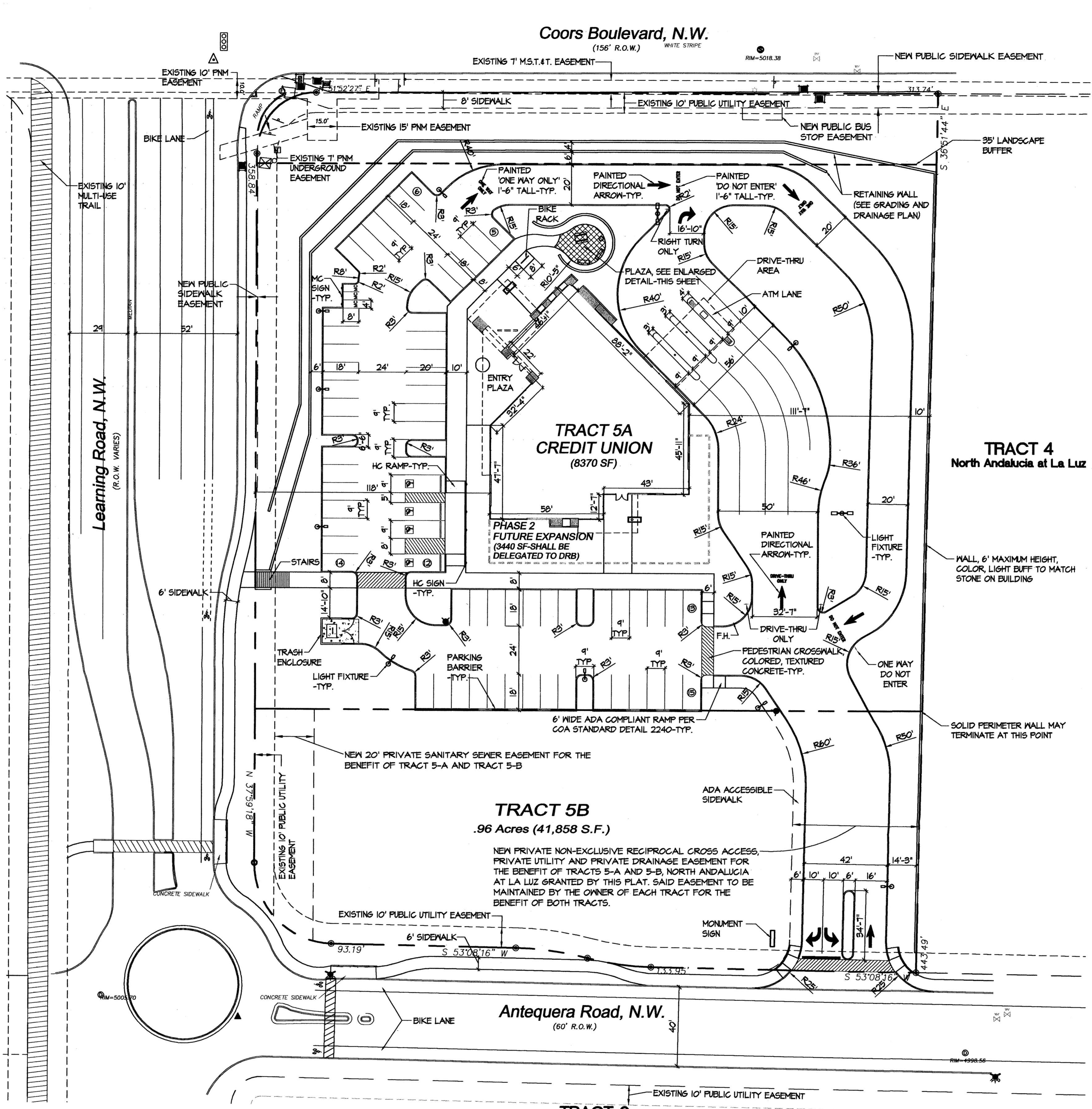


LIGHTING NOTE: NEON LIGHTS ARE PROHIBITED WITHIN 300 FEET OF LEARNING ROAD.

PARKING LOT LIGHT FIXTURE DETAIL  
NOT TO SCALE



ENLARGED PLAZA DETAIL (373 SF)  
SCALE: 1" = 20'



SAFETY FENCE ON TOP OF RETAINING WALL  
SCALE: 1/2" = 1'-0"

**Coors Boulevard, N.W.**  
(156' R.O.W.)

**Learning Road, N.W.**  
(R.O.W. VARIES)

**Antequera Road, N.W.**  
(60' R.O.W.)

**SITE DATA:**  
**LEGAL DESCRIPTION:** TRACTS 5A AND 5B, PLAT OF NORTH ANDALUCIA AT LA LUZ.  
**EXISTING ZONING:** SU-1 FOR O-1 USES INCLUDING BANK WITH DRIVE-UP SERVICE.  
**LAND USE:** 1-STORY CREDIT UNION WITH DRIVE-IN FACILITIES. PROPOSED TRACT SHALL BE O-1 USES.  
**BUILDING AREA:** 8,370 S.F. (PHASE I) 3,440 S.F. (FUTURE PHASE 2)  
**MAXIMUM TOTAL BUILDING HEIGHT:** 26 FEET.  
**SITE AREA:** 3.38 ACRES TRACT 5A: 2.42 ACRES. TRACT 5B: 0.96 ACRES.  
**PARKING:** REQUIRED MINIMUM PARKING: 1 PER 200 S.F. = 60. PER SITE PLAN FOR SUBDIVISION: MAXIMUM PARKING IS MINIMUM, PLUS 10% = 66.  
**TOTAL PROVIDED PARKING:** 65  
**HANDICAPPED REQUIRED:** 4  
**HANDICAPPED PROVIDED:** 4  
**MOTORCYCLE REQUIRED:** 3  
**MOTORCYCLE PROVIDED:** 3  
**BICYCLE REQUIRED:** 3  
**BICYCLE PROVIDED:** 3

**MINIMUM SETBACKS:** PER THE O-1 ZONE.  
**VEHICULAR ACCESS:** VEHICULAR ACCESS TO THIS SITE IS PROVIDED FROM ANTEQUERA ROAD. LEARNING ROAD IS A SIGNALIZED INTERSECTION.  
**BICYCLE ACCESS:** ANDALUCIA HAS A SYSTEM OF BICYCLE LANES AND MULTI-USE TRAILS. BICYCLE LANES ARE IN LEARNING ROAD AND ANTEQUERA ROAD AND MULTI-USE TRAILS ARE ALONG LEARNING ROAD, MONTANO ROAD, AND SOUTH TOWARDS THE SAN ANTONIO ARROYO. A CITY TRAIL HEAD IS LOCATED WITHIN ANDALUCIA AT MONTANO ROAD.  
**TRANSIT ACCESS:** THERE ARE THREE BUS ROUTES ALONG COORS BOULEVARD-ABQ ROUTES 190, 96, AND 155. A RAPID RIDE STOP AND BUS STOP ARE LOCATED ADJACENT TO THIS SITE ALONG COORS BOULEVARD.  
**INTERNAL CIRCULATION:** INTERNAL CIRCULATION AROUND THE PROPOSED BUILDING WILL BE DIRECTED BY TRAFFIC SIGNAGE. PEDESTRIAN CONNECTIONS TO THIS SITE WILL BE PROVIDED FROM LEARNING ROAD AND ANTEQUERA ROAD.  
**CROSS ACCESS EASEMENT:** SHALL BE REQUIRED AT TIME OF PLATTING AT DRB.

PROJECT NUMBER: 1003859  
 Application Number: 11EPC-40074; 12DRB-\_\_\_\_\_

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated December 8, 2011 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes (X) No If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

|  |                 |
|--|-----------------|
| Traffic Engineering, Transportation Division | Date            |
| ABCWUA                                       | Date            |
| Parks and Recreation Department              | Date            |
| City Engineer<br>[Signature]                 | Date<br>1-22-12 |
| Solid Waste Management<br>[Signature]        | Date            |
| DRB Chairperson, Planning Department         | Date            |

**U.S. NEW MEXICO  
 FEDERAL CREDIT UNION**  
 SITE PLAN FOR BUILDING PERMIT

Prepared for:  
  
 PO Box 129  
 Albuquerque, NM 87103

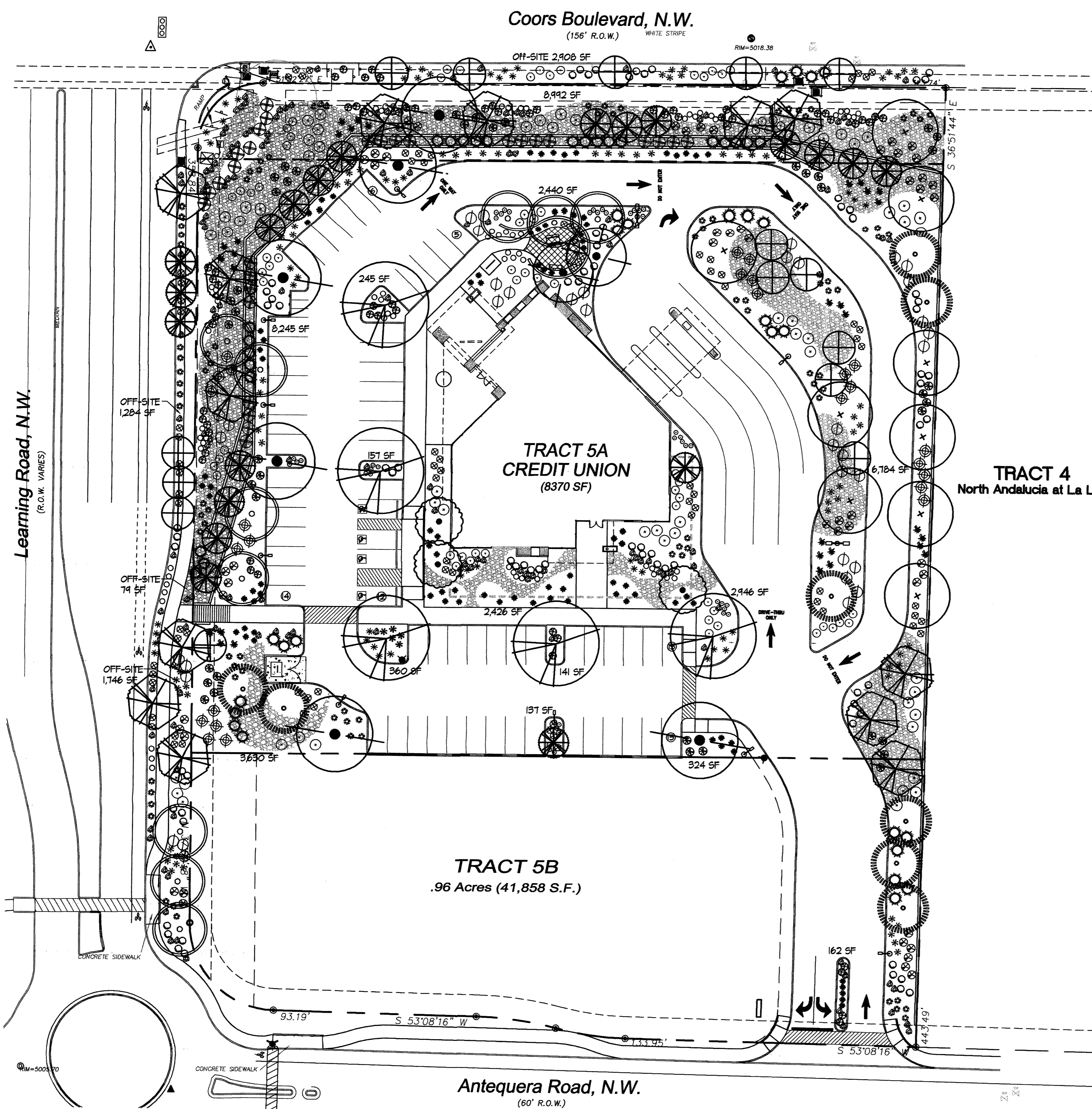
Prepared by:  
 Consensus Planning, Inc.  
 302 Eighth Street NW  
 Albuquerque, NM 87102

NewGround  
 15450 South Outer Forty Drive  
 Suite 300  
 Chesterfield, MO 63017

Bohannon Huston, Inc.  
 Courtyard 1, 7500 Jefferson NE  
 Albuquerque, NM 87109-4335

Scale: 1" = 30'  
  
 Scale: 1" = 20'  
  
 NORTH  
 January 22, 2012  
 Sheet 1 of 7





**GENERAL LANDSCAPE NOTES**

**LANDSCAPE DESIGN**  
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH 1/8" SANTA FE BROWN GRAVEL MULCH. BUILDLOGY BROWN 2-4" COBBLE WILL BE USED AS ACCENT MULCH IN LANDSCAPE BEDS.

**IRRIGATION SYSTEM**  
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB, AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM WILL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE IRRIGATION WILL BE DESIGNED TO CONNECT TO THE EXISTING SYSTEM. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

**MAINTENANCE RESPONSIBILITY**  
MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM, INCLUDING THOSE AREAS WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE OWNER.

**WATER CONSERVATION ORDINANCE COMPLIANCE**  
THE LANDSCAPE PLAN FOR THIS SITE EXCLUDES HIGH WATER USE TURF. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

**PNM COORDINATION**  
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

**SCREENINGS**  
SCREENINGS WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**COORS BOULEVARD STREET TREES**  
THE LANDSCAPE PLAN MEETS THE COORS CORRIDOR PLAN POLICY AND DESIGN REGULATIONS FOR VIEW PRESERVATION. THE HEIGHT OF LANDSCAPING NEAR THE EAST EDGE OF COORS BOULEVARD HAS BEEN SELECTED SO THAT SHRUBS AT MATURITY ARE BELOW THE VIEW PLANE AND TREES SUCH THAT THEIR LOWER BRANCHES AT THE TIME OF PLANTING ARE A MINIMUM OF 4 FEET ABOVE THE VIEW PLANE. TREES HAVE BEEN PLACED SINGULARLY OR IN SMALL GROUPINGS WITH ATTENTION PAID TO ENHANCING VIEWS TO THE SANDIAS AND THE BOSQUE. STREET TREES ARE WITHIN 20' OF THE COORS RIGHT-OF-WAY IN ORDER TO MINIMIZE CONFLICTS WITH PNM EASEMENTS AND INCREASE PUBLIC SAFETY. STREET TREES ARE PLACED WITHIN 20' OF THE COORS RIGHT-OF-WAY IN ORDER TO MINIMIZE CONFLICTS WITH PNM EASEMENTS AND TO INCREASE PUBLIC SAFETY.

**LANDSCAPE COVERAGE**  
PLANTING BEDS SHALL HAVE 15% LIVING GROUND COVER AT FULL MATURITY.

**LANDSCAPE CALCULATIONS**

|                                      |             |
|--------------------------------------|-------------|
| SITE AREA (2.4 AC)                   | 104544 SF   |
| BUILDING FOOTPRINT                   | - 8370 SF   |
| NET LOT AREA:                        | 46,174 SF   |
| IMPERVIOUS AREA:                     | 54,185 SF   |
| REQUIRED LANDSCAPE (15%)             | 14,426 SF   |
| PROVIDED LANDSCAPE                   |             |
| OFF-SITE/ROW:                        | 6,017 SF    |
| ON SITE:                             | + 26,984 SF |
| TOTAL PROVIDED:                      | 43,006 SF   |
| PROVIDED ON-SITE LANDSCAPE:          | 36,984 SF   |
| LESS USEABLE UNPLANTED COBBLE AREAS  | - 1,131 SF  |
| TOTAL PROVIDED LANDSCAPE BEDS        | 28,291 SF   |
| REQUIRED LIVE VEGETATIVE COVER (15%) | 21,218 SF   |
| PROVIDED LIVE VEGETATIVE COVER       | 24,830 SF   |

**PARKING LOT TREES**  
CREDIT UNION IS PROVIDING 65 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

**PARKING LOT TREES REQUIRED:** 7  
**PARKING LOT TREES PROVIDED:** 13

**STREET TREES**  
COORS BOULEVARD FRONTAGE IS 930'. STREET TREE REQUIREMENTS ARE BASED ON A RATE OF ONE TREE PER 25 LINEAR FEET, PER THE SITE PLAN FOR SUBDIVISION.

**STREET TREES REQUIRED:** 14  
**STREET TREES PROVIDED:** 14

**PLANT LEGEND**

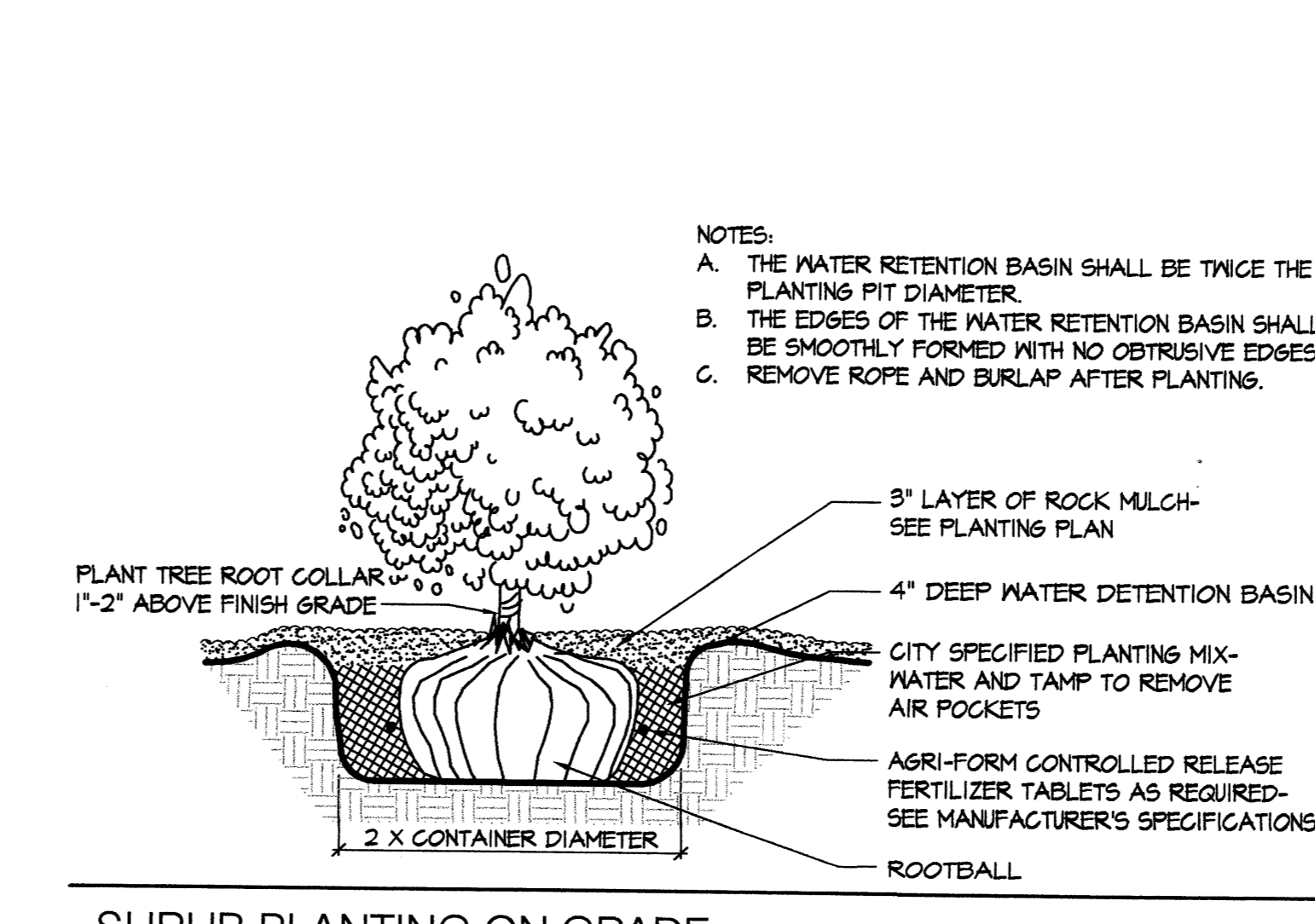
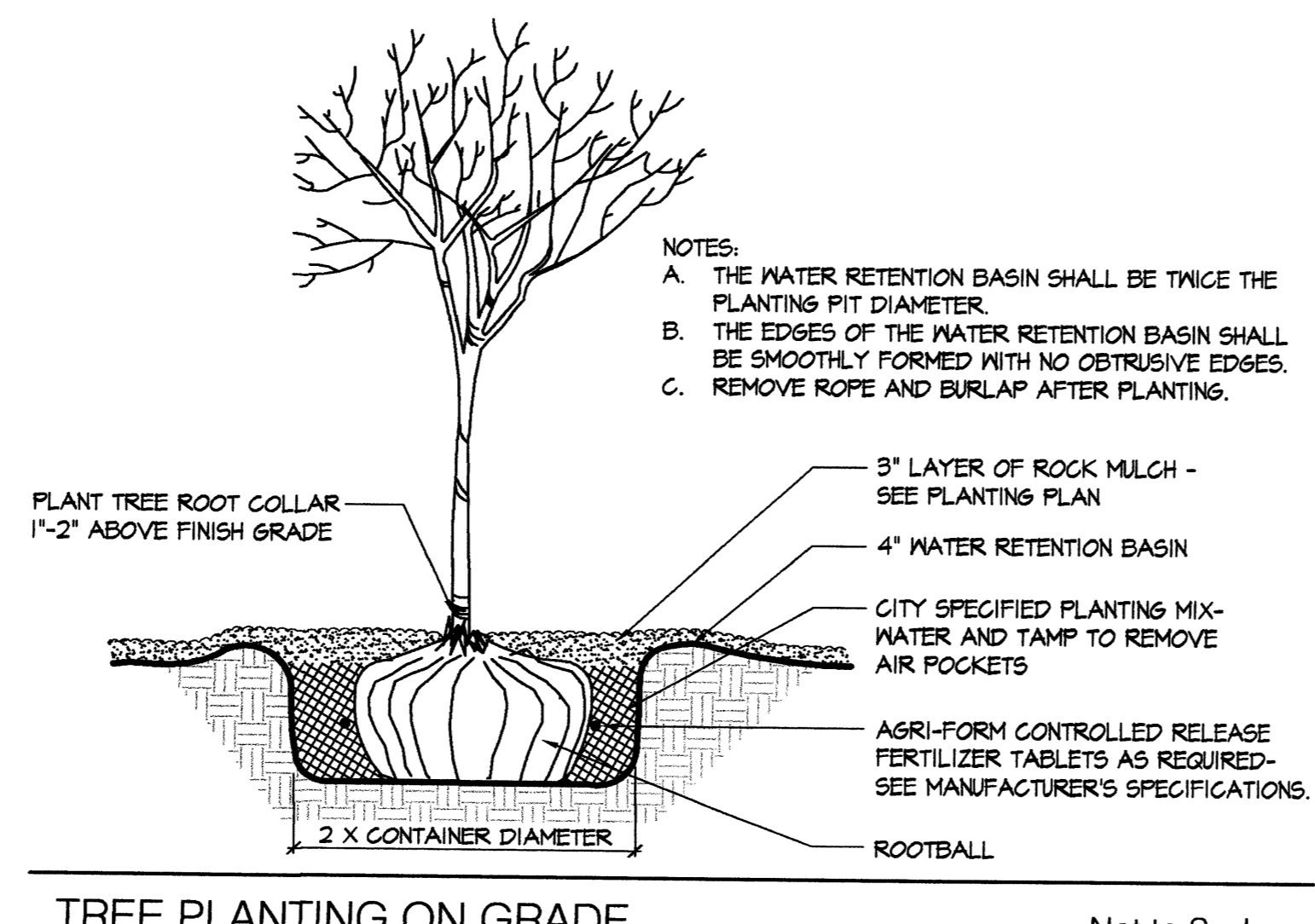
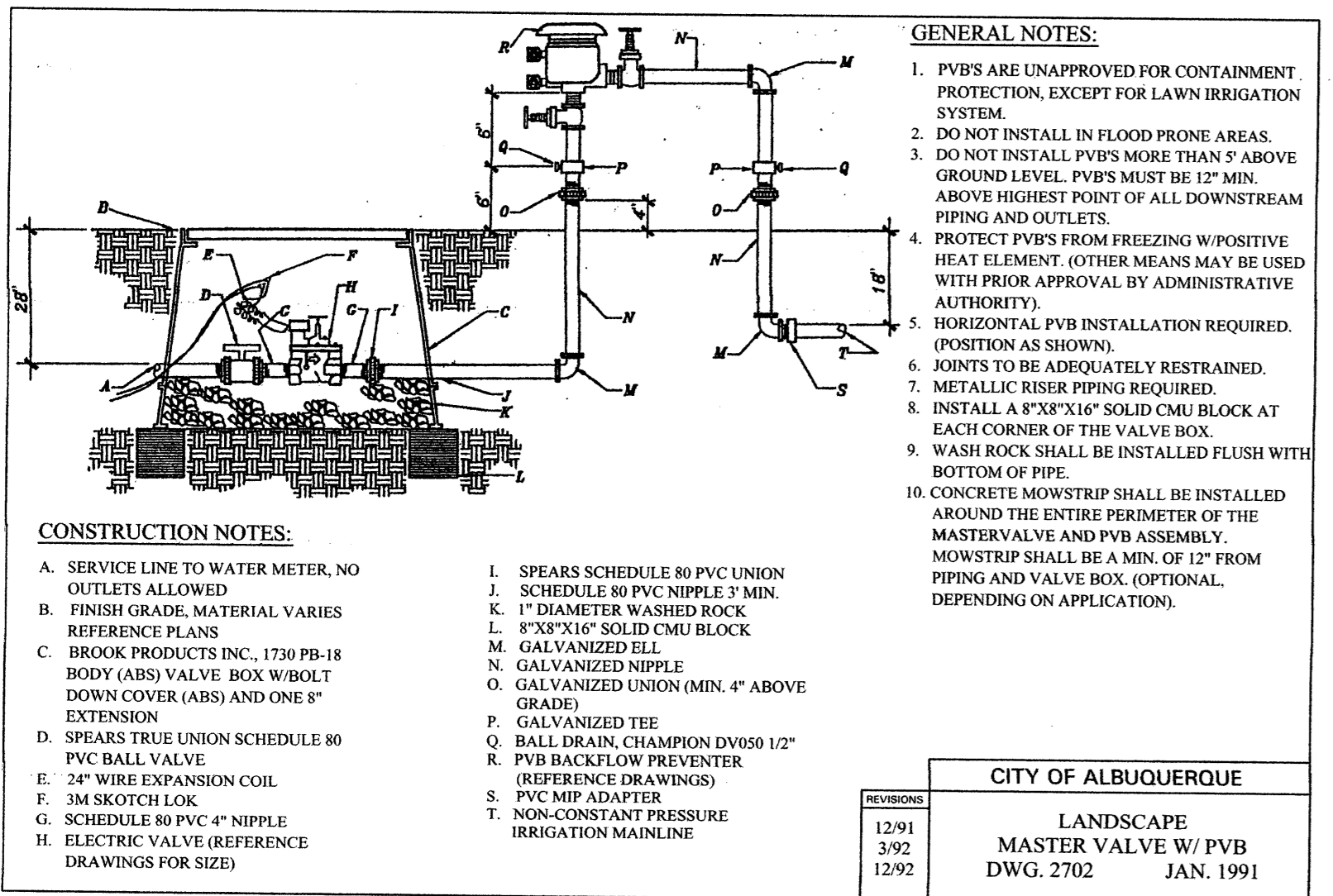
| QTY.                       | SYMBOL | SCIENTIFIC NAME                  | COMMON NAME          | SIZE     | INSTALLED SIZE    | MATURE SIZE        | WATER USE |
|----------------------------|--------|----------------------------------|----------------------|----------|-------------------|--------------------|-----------|
| 13                         | ⊗      | CHILOPSIS LINEARIS 'BUBBA'       | DESERT WILLOW        | 24" BOX  | 8' HT. X 6' SPR.  | 20' HT. X 25' SPR. | LOW +     |
| 15                         | ⊕      | FORESTIERA NEOMEXICANA           | NEW MEXICO OLIVE     | 15 GAL.  | 8' HT. X 5' SPR.  | 15' HT. X 15' SPR. | LOW +     |
| 4                          | ⊙      | FRAXINUS AMER 'AUTUMN PURPLE'    | AUTUMN PURPLE        | 2.5" B4B | 14' HT. X 6' SPR. | 35' HT. X 30' SPR. | MEDIUM +  |
| 6                          | ⊙      | FRAXINUS VELUTINA 'MODESTO'      | MODESTO ASH          | 2.5" B4B | 14' HT. X 6' SPR. | 40' HT. X 35' SPR. | MEDIUM +  |
| 10                         | ⊙      | KOELRUTERIA PANICULATA           | GOLDEN RAIN TREE     | 2.5" B4B | 12' HT. X 5' SPR. | 35' HT. X 25' SPR. | MEDIUM    |
| 8                          | ⊙      | PINUS NIGRA                      | AFGHAN PINE          | B4B      | 8' MIN HT.        |                    | MEDIUM    |
| 5                          | ⊙      | PISTACHIA CHINENSIS              | CHINESE PISTACHE     | 3" B4B   | 14' HT. X 6' SPR. | 40' HT. X 40' SPR. | MEDIUM    |
| 3                          | ⊙      | PYRUS GALLERIANA 'CLEVELAND'     | FLOWERING PEAR       | 2" B4B   | 14' HT. X 5' SPR. | 25' HT. X 20' SPR. | MEDIUM +  |
| 3                          | ⊙      | ROBINIA AMBIGUA 'PURPLE ROBE'    | PURPLE ROBE LOCUST   | 2" B4B   | 16' HT. X 6' SPR. | 30' HT. X 30' SPR. | MEDIUM    |
| 20                         | ⊙      | VITEX AGNUS-CASTUS               | CHASTE TREE          | 15 GAL.  | 8' HT. X 5' SPR.  | 15' HT. X 15' SPR. | MEDIUM    |
| <b>SHRUBS/GROUNDCOVERS</b> |        |                                  |                      |          |                   |                    |           |
| 58                         | ⊙      | CARYOPTERIS CLANDONENSIS         | BLUE MIST            | 5-GAL.   | 3' O.C.           |                    | MEDIUM    |
| 56                         | ⊙      | Buddleia Davidii NANHOENSIS      | DWARF BUTTERFLY BUSH | 5-GAL.   | 5' O.C.           |                    | MEDIUM    |
| 41                         | ⊙      | CYTISUS SCOP. 'LENA'S BROOM'     | LENA'S BROOM         | 1-GAL.   | 4' O.C.           |                    | LOW       |
| 42                         | ⊙      | ERICAMERIA LARIGIFOLIA 'AGUIRRE' | TURPENTINE BUSH      | 1-GAL.   | 2' O.C.           |                    | LOW       |
| 51                         | ⊙      | FALLUSIA PARADOXA                | APACHE PLUME         | 1-GAL.   | 4' O.C.           |                    | LOW       |
| 34                         | ⊙      | HESPERALOE PARVIFLORA            | RED YUCCA            | 1-GAL.   | 3' O.C.           |                    | MEDIUM    |
| 31                         | ⊙      | COPANIA CLANDONENSIS             | CLIFF ROSE           | 5-GAL.   | 4' O.C.           |                    | LOW       |
| 75                         | ⊙      | LAVENDULA ANGUSTIFOLIA           | ENGLISH LAVENDER     | 1-GAL.   | 3' O.C.           |                    | MEDIUM    |
| 37                         | ⊙      | PRUNUS BESSYI                    | WESTERN SAND CHERRY  | 5-GAL.   | 5' O.C.           |                    | MEDIUM    |
| 26                         | ⊙      | PSORTHAMNUS SCOPARIUS            | BROOM DALEA          | 5-GAL.   | 5' O.C.           |                    | LOW       |
| 10                         | ⊙      | POTENTILLA FRUTICOSA             | SHRUBBY CINQUEFOIL   | 1-GAL.   | 3' O.C.           |                    | LOW +     |
| 65                         | ⊙      | RHUS TRILOBATA                   | THREE-LEAF SUMAC     | 5-GAL.   | 4' O.C.           |                    | LOW +     |
| 44                         | ⊙      | ROSMARINUS OFFICINALIS           | CREEPING ROSEMARY    | 5-GAL.   | 5' O.C.           |                    | MEDIUM    |
| 74                         | ⊙      | SALVIA GREGGII                   | CHERRY SAGE          | 1-GAL.   | 3' O.C.           |                    | MEDIUM    |
| <b>ORNAMENTAL GRASSES</b>  |        |                                  |                      |          |                   |                    |           |
| 84                         | ⊙      | CALMAGROSTIS 'KARL FOERSTER'     | FEATHER REED GRASS   | 5-GAL.   | 3' O.C.           |                    | LOW +     |
| 88                         | ⊙      | ARISTIDA LONGISETA               | PURPLE THREEAVIN     | 5-GAL.   | 3' O.C.           |                    | MEDIUM    |
| 74                         | ⊙      | NASSELLA TENISSIMA               | THREADGRASS          | 1-GAL.   | 3' O.C.           |                    | LOW +     |
| <b>VINES</b>               |        |                                  |                      |          |                   |                    |           |
| 24                         | ⊕      | LONIGERA JAPONICA                | HALL'S HONEYSUCKLE   | 5-GAL.   | CLIMBING          | 12' SPR.           | MEDIUM    |

**GRAVEL MULCHES/ACCENT BOULDERS**

16,842 SF 2"-4" BUILDOLGY BROWN COBBLE MULCH (6" DEPTH OVER DENNIT PRO-5 WEED CONTROL FABRIC)

26,164 SF 1/8" SANTA FE BROWN GRAVEL MULCH (3" DEPTH OVER DENNIT PRO-5 WEED CONTROL FABRIC)

135 MOSS ROCK BOULDERS (3'x3' MINIMUM)



**U.S. NEW MEXICO FEDERAL CREDIT UNION**

LANDSCAPE PLAN

Prepared for: Consensus Planning, Inc. 302 Eighth Street NW Albuquerque, NM 87102

Prepared by: NewGround 15450 South Outer Forty Drive Suite 300 Chesterfield, MO 63017

PO Box 129 Albuquerque, NM 87103

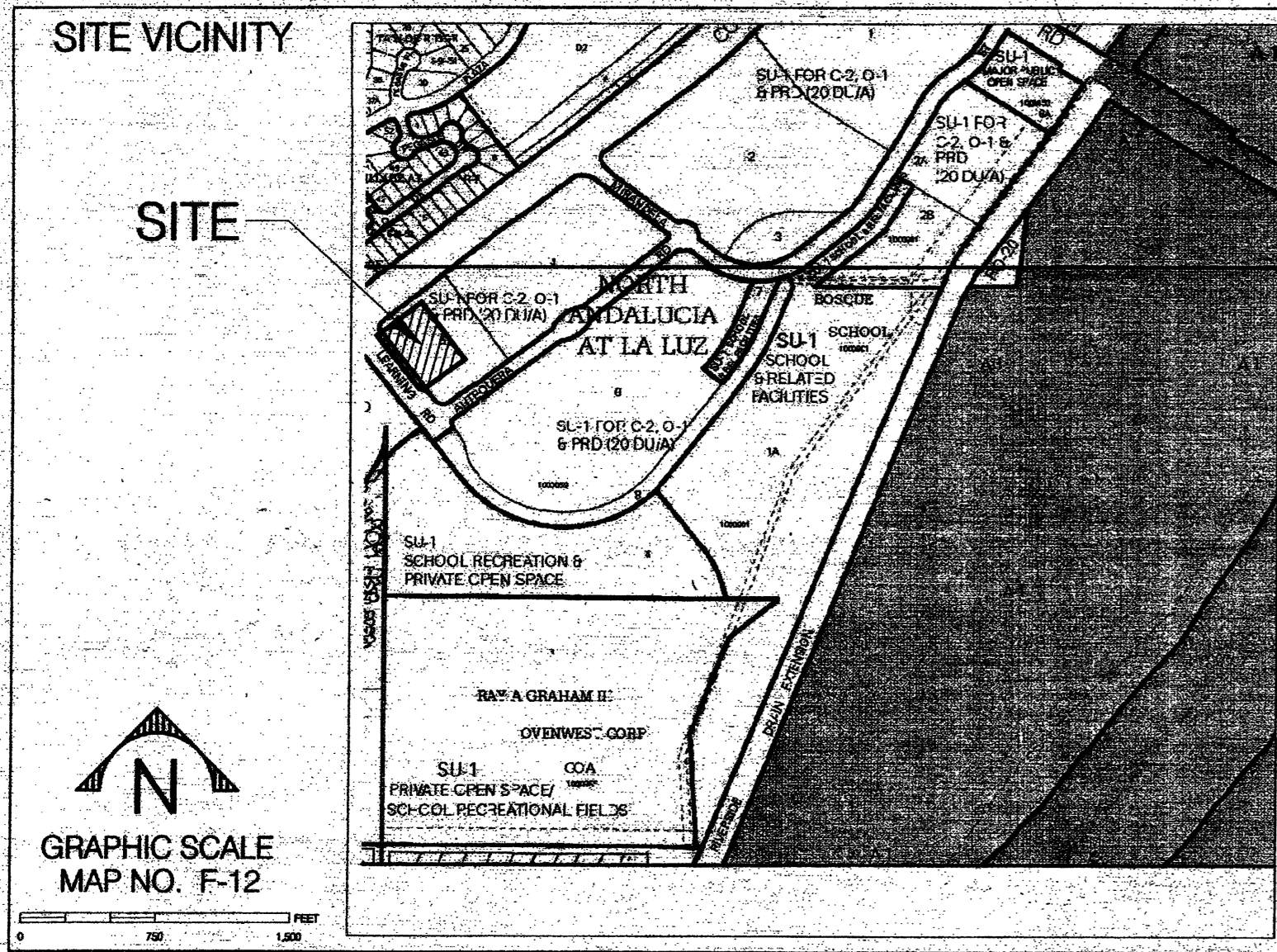
Scale: 1" = 30'

January 25, 2012

Bohannon Huston, Inc. Courtyard 1, 7500 Jefferson NE Albuquerque, NM 87109-4335

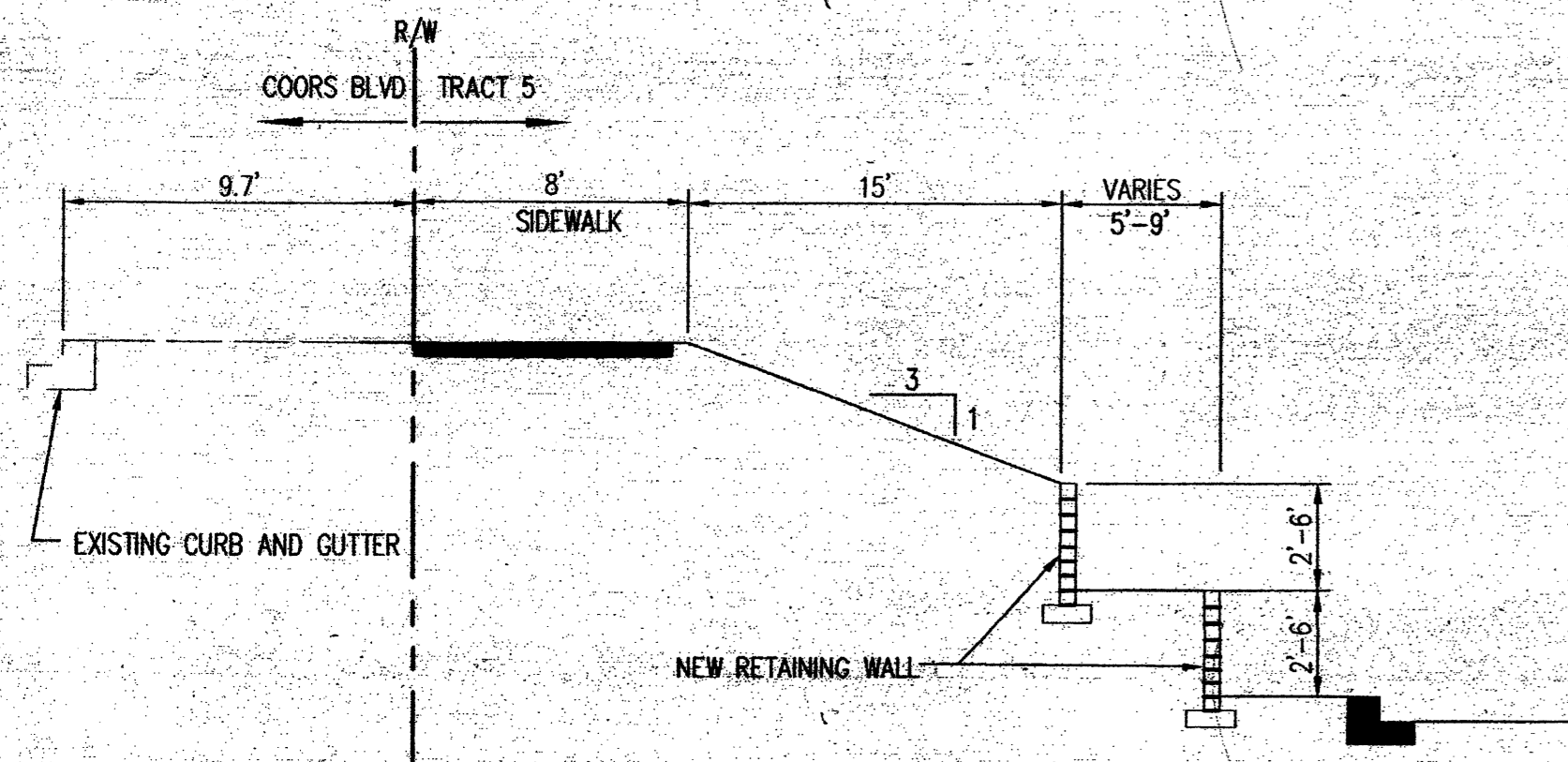
Sheet 2 of 7



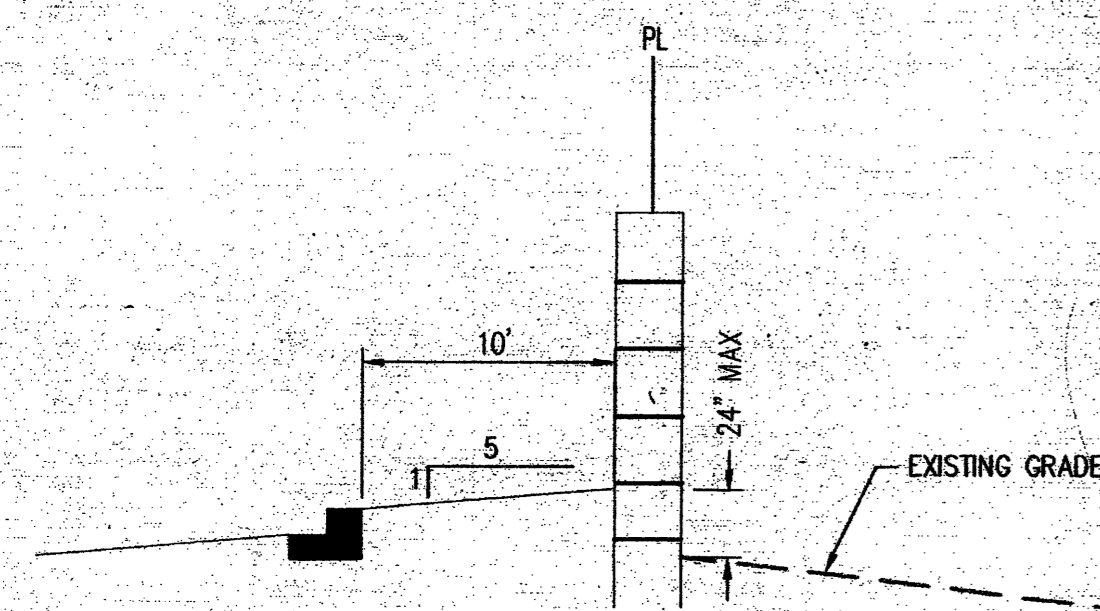


**LEGEND**

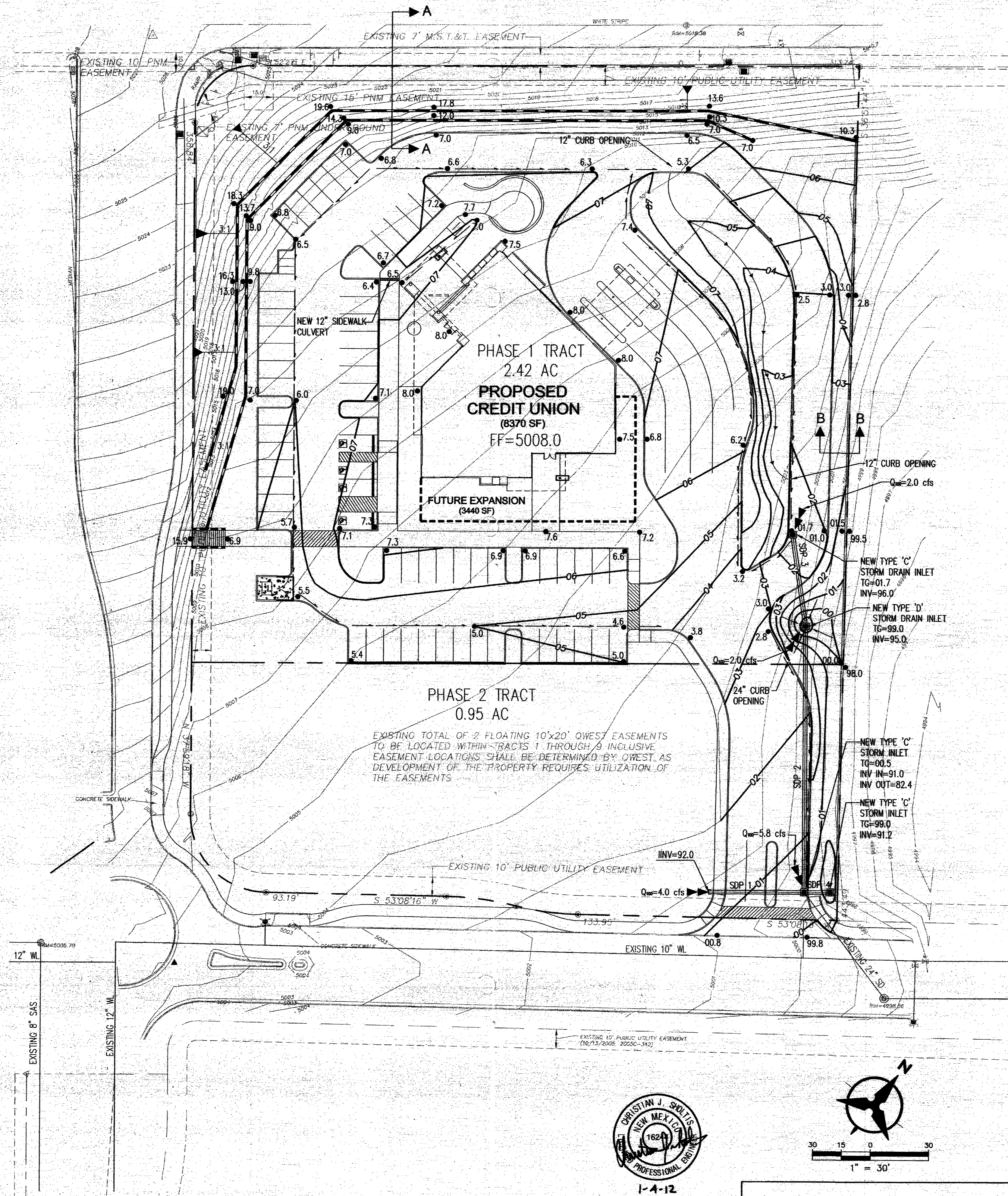
- (91.62) FUTURE SPOT ELEVATION
- 91.62 PROPOSED SPOT ELEVATION
- × 92.46 EXISTING SPOT ELEVATION (GRID & TC)
- EXISTING CURB & GUTTER
- === PROPOSED MOUNTABLE CURB & GUTTER
- PROPOSED STANDARD CURB & GUTTER
- 54.70 EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- PROPOSED RETAINING WALL
- PROPOSED SLOPE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- ← WALL DRAIN PER DETAIL SHEET 2
- ~ HIGH POINT



SECTION A-A  
NOT TO SCALE



SECTION B-B  
NOT TO SCALE



**CONCEPTUAL DRAINAGE MANAGEMENT PLAN AND SUMMARY CALCULATIONS**

**I. INTRODUCTION**  
The purpose of this submittal is to provide a conceptual Drainage Management Plan for the development of Tract 5, North Andaluia at La Luz. This plan is submitted in support of a site plan for building permit and site plan for subdivision approvals.

**II. SITE LOCATION**  
The site is located at the corner of Coors Blvd. and Learning Road in NW Albuquerque and is bounded by Coors Blvd. on the west, Learning Road on the south, and Antequera Road on the east. The site is located within Hydrologic Zone 1 and is shown on Zoning Map F-12.

**III. EXISTING HYDROLOGIC CONDITIONS**  
The site is currently undeveloped, but has been mass graded as a relatively flat pad site. The adjoining Coors Blvd., Learning Road, and Antequera Road are fully constructed streets. In the existing condition, the site sheet flows toward the east and flows are accepted and conveyed by Antequera Road as surface flows to a storm drain system which outfalls to an existing retention pond located just west of the Lower Corrales Riverside Drain.

**IV. PROPOSED HYDROLOGIC CONDITIONS**  
The project site will be developed in two phases: the current proposed phase, and a future development phase which will take place on the remaining southern tract adjacent to Antequera Road. The hydrologic calculations presented herein account for the proposed first phase development and also assume a 90% impervious area for the remaining future tract. As per the Conceptual Grading and Drainage Plan for Andaluia Tract 6B, prepared by Bohannon Huston, Inc., dated 1-11-05, an allowable discharge of 4.18 cfs/acre is permitted from commercial tracts, and this previously prepared plan demonstrates downstream hydraulic capacity. Flows from this project are designed to be accepted by an existing 24" public storm drain and stub to the property located Antequera Drive at the eastern corner of the site which is sized to accept 14.4 cfs from the project site. As demonstrated by the calculations shown herein, the site will generate 13.9 cfs (4.10 cfs/acre) in the ultimate build-out condition. Flows generated by the site will be directed toward the east as surface flows and captured by storm inlets and an underground storm drain system near the paved access into the site which will discharge into the existing Antequera storm drain system and then eventually outfall into the existing retention pond located west of the Lower Corrales Riverside Drain. In the proposed condition, water harvesting within the project site will occur within several of the landscaped areas as feasible.

**V. CONCLUSION**  
This Conceptual Drainage Management Plan provides for grading and drainage elements which are capable of conveying the 100-year storm which meet the City's requirements. Additionally, the project conforms to the previously prepared Drainage Management Plan for the site with storm water peak discharges at or below what was allowed by that plan.

**VI. SITE BASIN SUMMARY CALCULATIONS**  
Site Data:  
Hydrologic Zone 1  
AT= 3.37 ac

Existing Condition  
%C = 100%  
V100 = 0.2789 ac-ft  
Q100 = 9.7 cfs (2.87 cfs/acre)

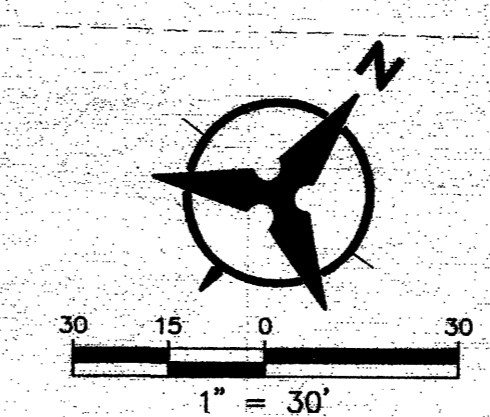
| DEVELOPED SITE BASIN SUMMARY CALCULATIONS |           |     |     |          |                        |                          |
|---|-----------|-----|-----|----------|------------------------|--------------------------|
|   | AREA (ac) | %C  | %D  | cfs/acre | Q <sub>100</sub> (cfs) | V <sub>100</sub> (ac-ft) |
| PHASE 1 TRACT                             | 2.42      | 21% | 79% | 4.06     | 9.8                    | 0.3558                   |
| PHASE 2 TRACT                             | 0.95      | 10% | 90% | 4.22     | 4.0                    | 0.1482                   |
| TOTAL                                     | 3.37      |     |     | 4.10     | 13.8                   | 0.5040                   |

| STORM DRAIN PIPE CAPACITY SUMMARY USING MANNING'S EQN |      |       |             |                        |         |            |
|---|------|-------|-------------|------------------------|---------|------------|
| PIPE  | SIZE | SLOPE | Manning 'n' | Q <sub>100</sub> (cfs) | V (fps) | Depth (ft) |
| SDP1  | 12   | 2%    | 0.012       | 4.0                    | 7.6     | 0.63       |
| SDP2  | 12   | 3%    | 0.012       | 4.0                    | 8.9     | 0.56       |
| SDP3  | 12   | 2%    | 0.012       | 2.0                    | 6.4     | 0.42       |
| SDP4  | 12   | 2%    | 0.012       | 0.1                    | 2.7     | 0.10       |

**U.S. NEW MEXICO  
FEDERAL CREDIT UNION**  
CONCEPTUAL GRADING AND DRAINAGE PLAN

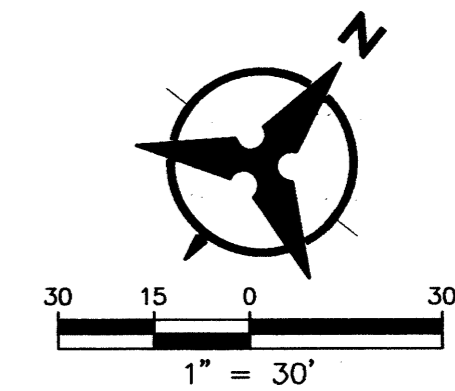
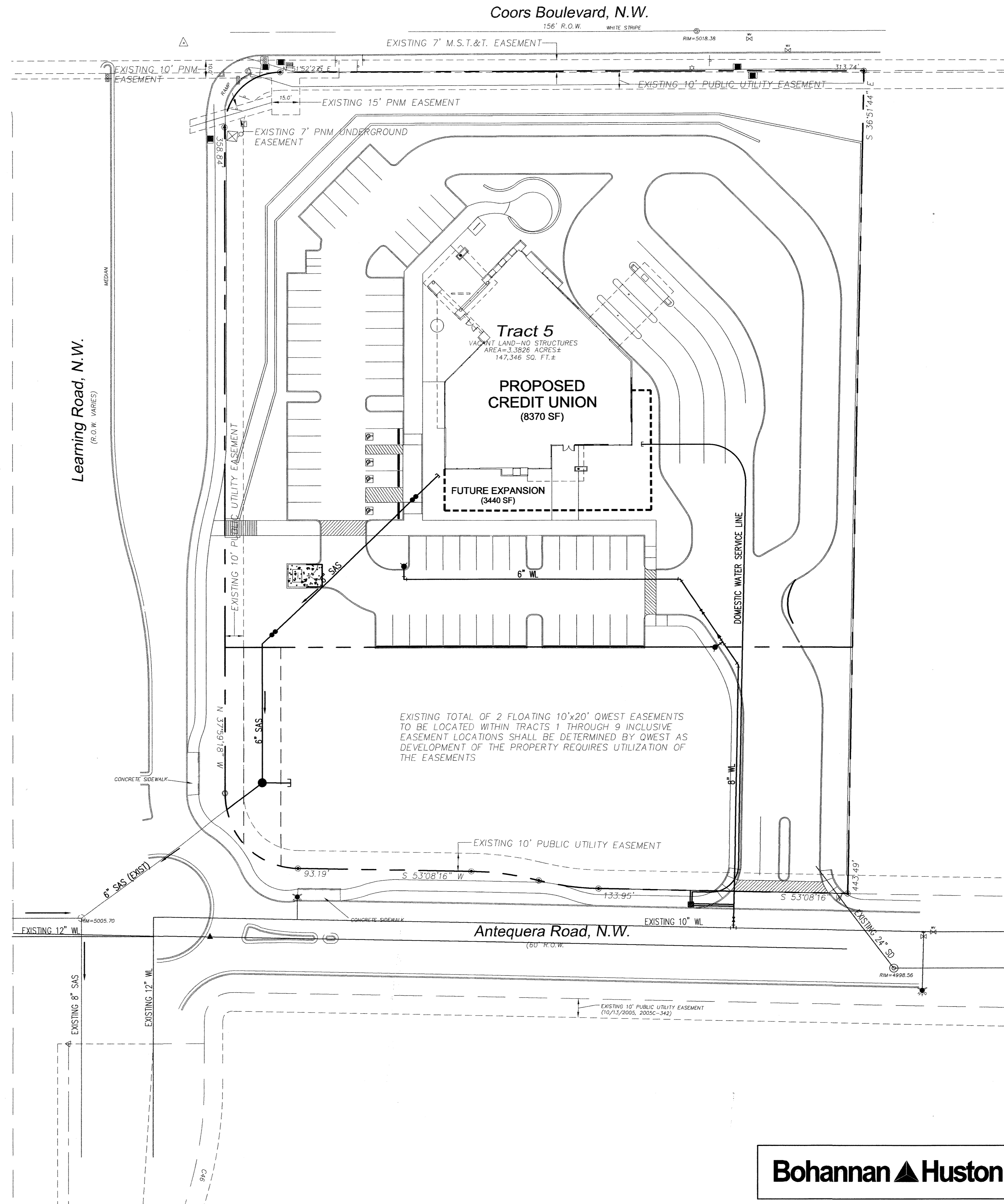
Prepared for:  
**U.S. New Mexico  
FEDERAL CREDIT UNION**  
PO Box 129  
Albuquerque, NM 87103

Prepared by:  
Consensus Planning, Inc.  
302 Eighth Street NW  
Albuquerque, NM 87102  
  
NewGround  
15450 South Outer Forty Drive  
Suite 300  
Chesterfield, MO 63017



**Bohannon Huston**



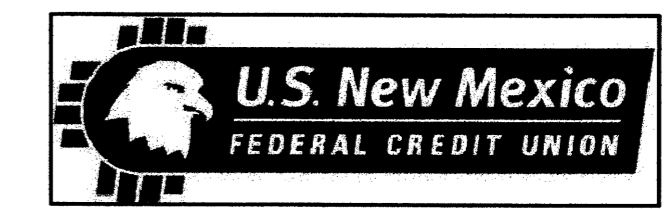


**LEGEND**

|         |                                 |
|---------|---------------------------------|
| ---     | PROPERTY LINE                   |
| - - -   | NEW EASEMENT                    |
| - SAS - | EXISTING SANITARY SEWER         |
| - W -   | EXISTING WATER LINE             |
| - - -   | EXISTING STORM DRAIN            |
| ■       | EXISTING WATER METER            |
| □       | EXISTING CAP                    |
| △       | EXISTING VALVE                  |
| ⊕       | EXISTING FIRE HYDRANT           |
| ⊙       | EXISTING SANITARY SEWER MANHOLE |
| ⊙       | EXISTING STORM DRAIN            |
| - SAS - | PROPOSED SANITARY SEWER         |
| - W -   | PROPOSED WATER LINE             |
| ⊕       | PROPOSED VALVE                  |
| ⊕       | PROPOSED HYDRANT                |
| □       | PROPOSED CAP                    |
| ■       | PROPOSED WATER METER            |
| ⊙       | PROPOSED SANITARY SEWER MANHOLE |
| ⊙       | PROPOSED STORM DRAIN            |

**U.S. NEW MEXICO  
FEDERAL CREDIT UNION  
CONCEPTUAL UTILITY PLAN**

Prepared for:



PO Box 129  
Albuquerque, NM 87103

Scale: 1" = 30'



Prepared by:

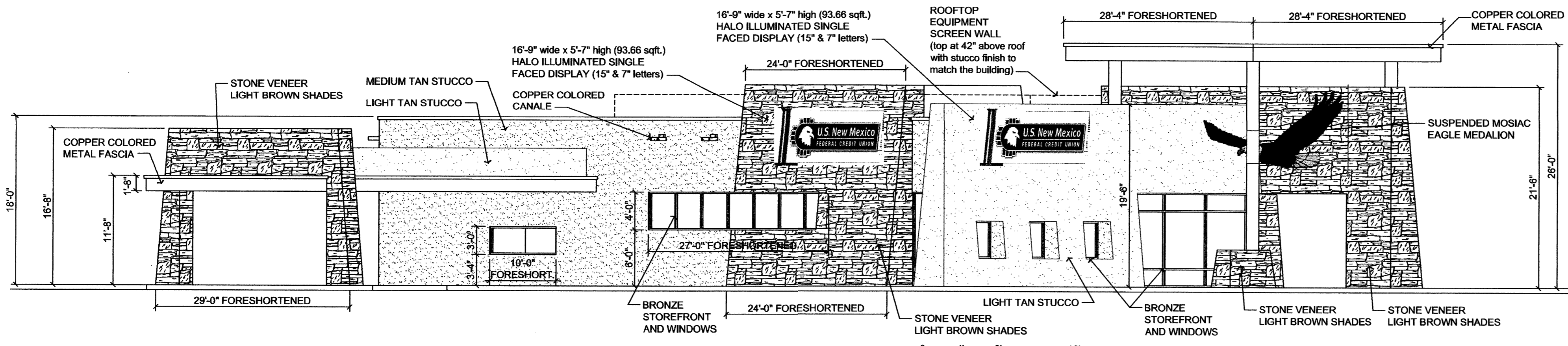
Consensus Planning, Inc.  
302 Eighth Street NW  
Albuquerque, NM 87102

NewGround  
15450 South Outer Forty Drive  
Suite 300  
Chesterfield, MO 63017

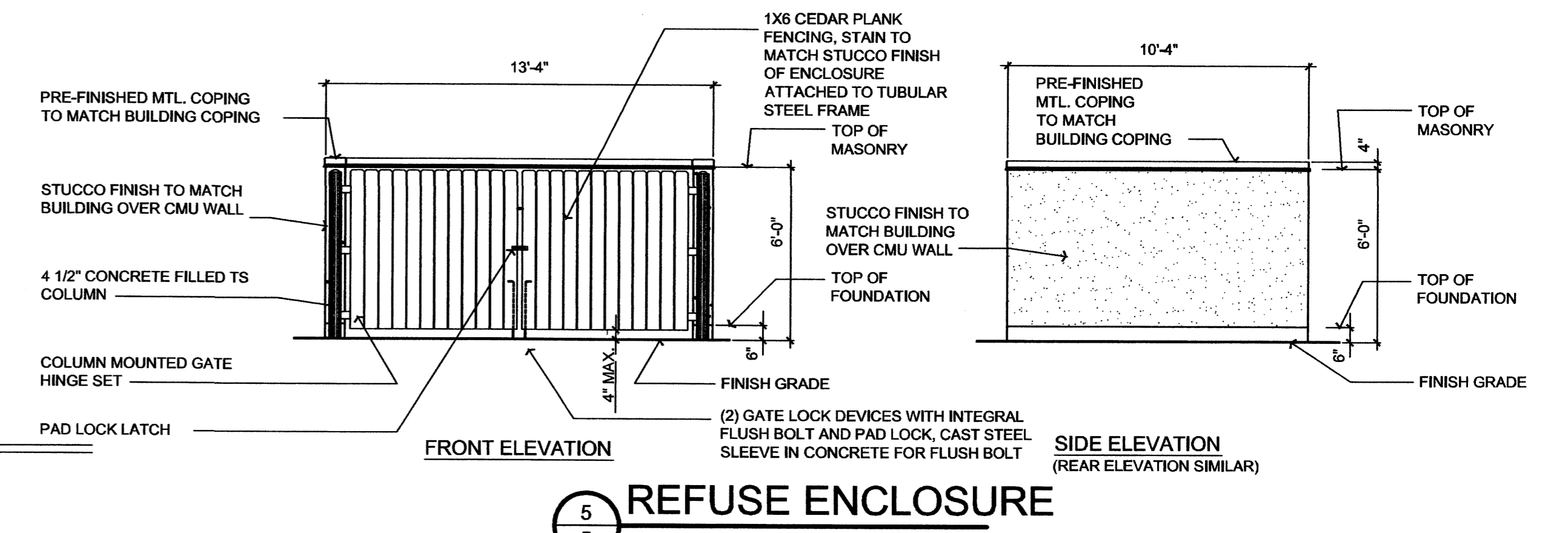
Bohannon Huston, Inc  
Courtyard 1, 7500 Jefferson NE  
Albuquerque, NM 87109-4335



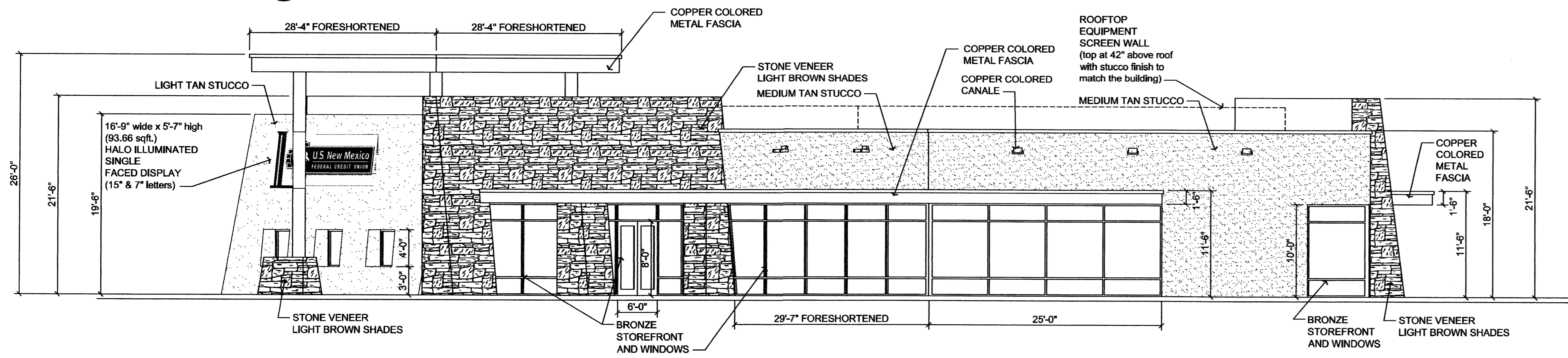




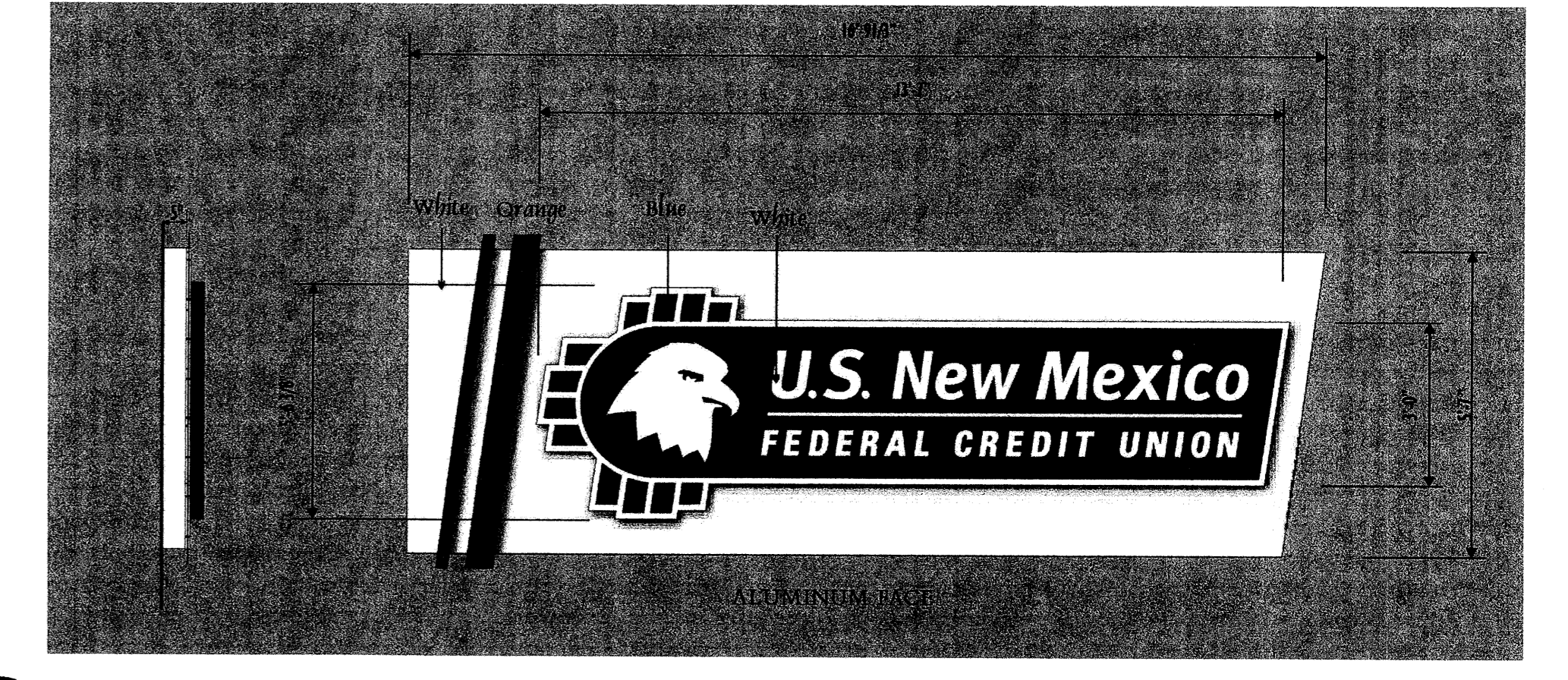
**1 WEST ELEVATION - COORS BOULEVARD N.W.**  
 5 1/8" = 1'-0"



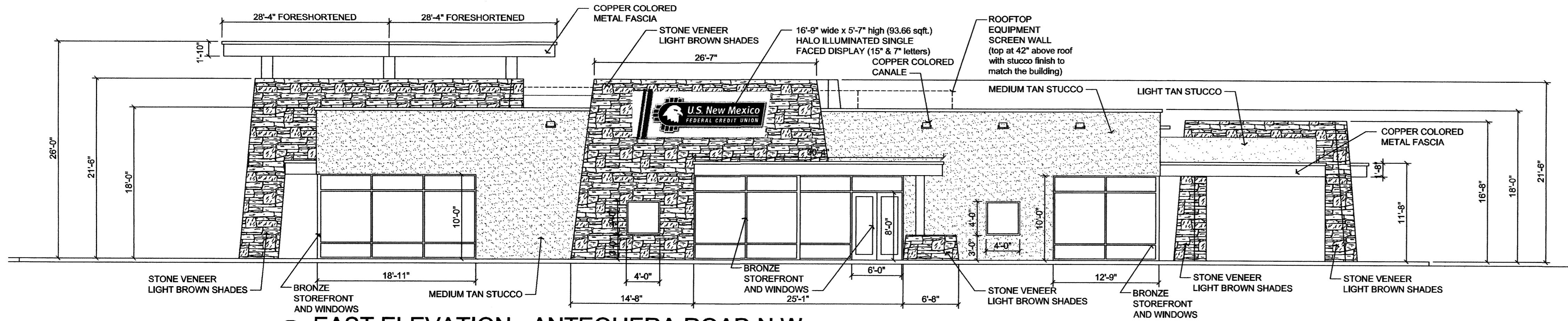
**5 REFUSE ENCLOSURE**  
 5 1/4" = 1'-0"



**2 SOUTH ELEVATION - LEARNING ROAD N.W.**  
 5 1/8" = 1'-0"

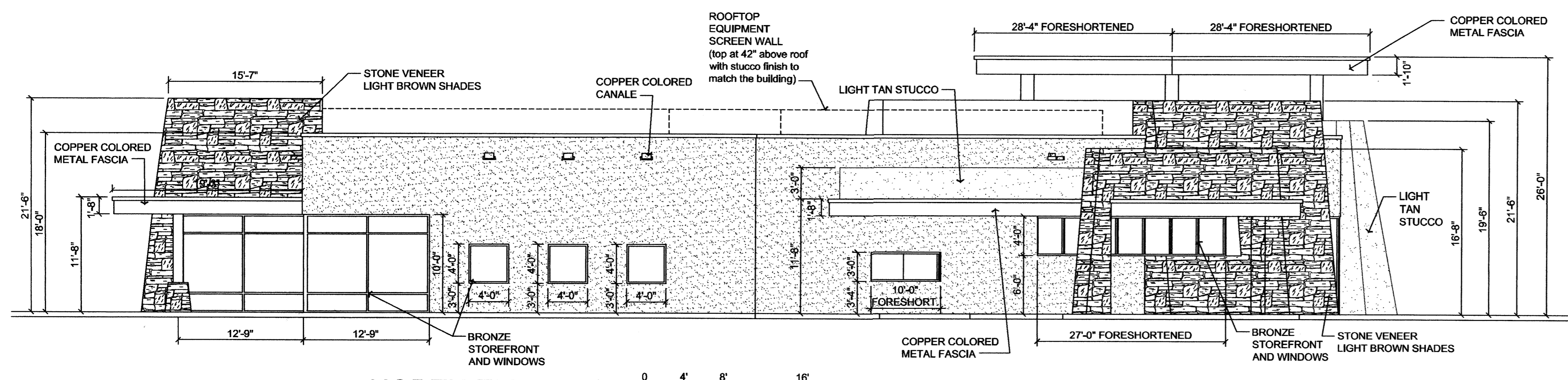


**6 FACE / HALO-ILLUMINATED SINGLE FACED DISPLAY**  
 5 SCALE: 3/8" = 1'-0"

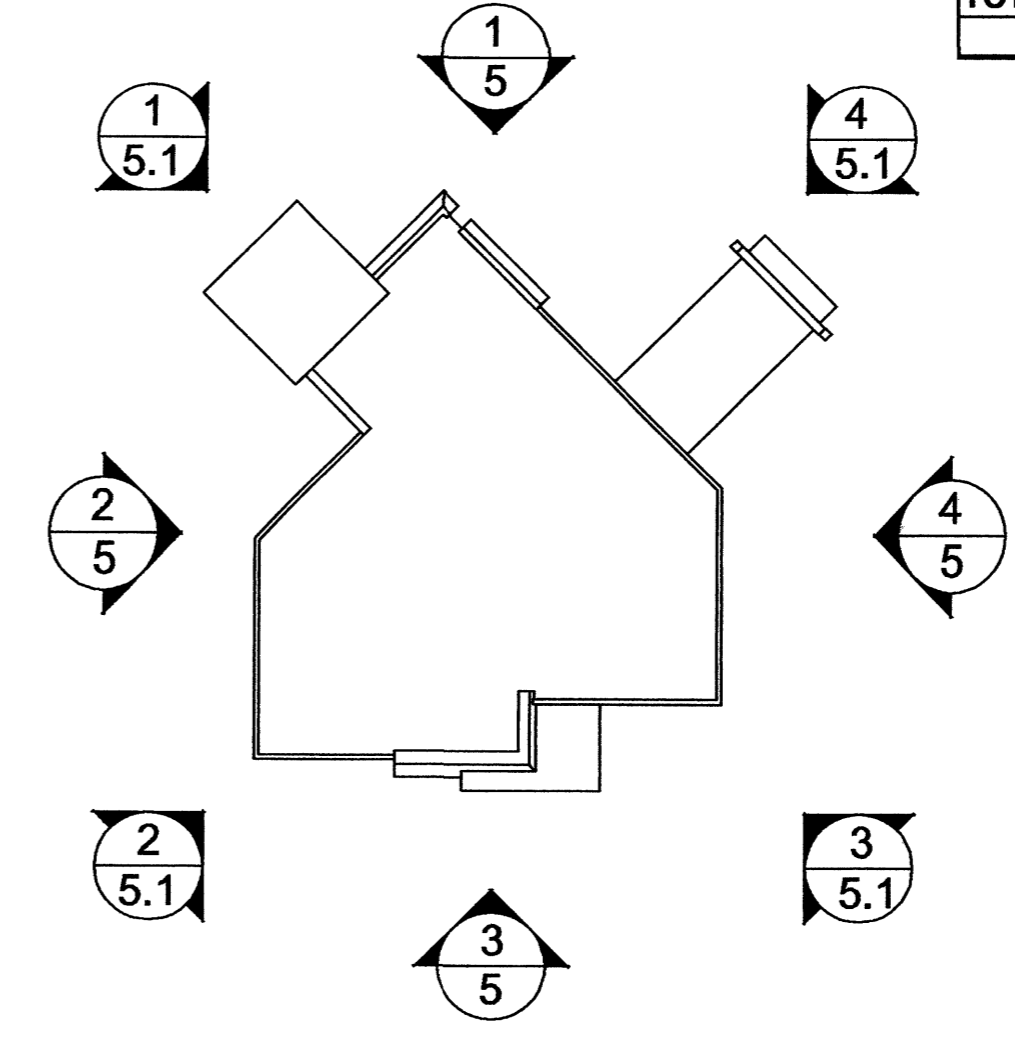


**3 EAST ELEVATION - ANTEQUERA ROAD N.W.**  
 5 1/8" = 1'-0"

| BUILDING SIGN AREA SUMMARY  |                  |
|---|------------------|
| <b>SOUTH ELEVATION</b>  |                  |
| 16'-9 1/3" LONG U.S. NEW MEXICO FEDERAL CREDIT UNION SIGN                   | 93.66 SF         |
| SOUTH FAÇADE ALLOWABLE = 127.69 SF  |                  |
| 8% OF FAÇADE AREA (2128.15 SF) = 127.69 SF                                  |                  |
| <b>NORTH ELEVATION (FACING PERPENDICULAR FROM DRIVE-UP)</b>                 |                  |
| 16'-9 1/3" LONG U.S. NEW MEXICO FEDERAL CREDIT UNION SIGN                   | 93.66 SF         |
| NORTH FAÇADE ALLOWABLE = 147.66 SF  |                  |
| 8% OF FAÇADE AREA (2461.07 SF) = 147.66 SF                                  |                  |
| <b>WEST ELEVATION (FACING PERPENDICULAR FROM STREET CORNER TO BUILDING)</b> |                  |
| 16'-9 1/3" LONG U.S. NEW MEXICO FEDERAL CREDIT UNION SIGN                   | 93.66 SF         |
| WEST FAÇADE ALLOWABLE = 143.72 SF   |                  |
| 8% OF FAÇADE AREA (2395.35 SF) = 143.72 SF                                  |                  |
| <b>TOTAL BUILDING SIGNAGE</b>   | <b>280.98 SF</b> |



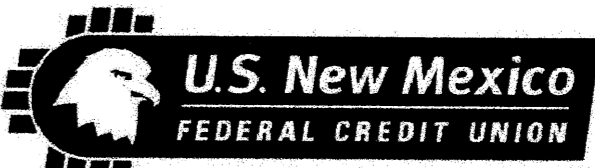
**4 NORTH ELEVATION**  
 5 1/8" = 1'-0"



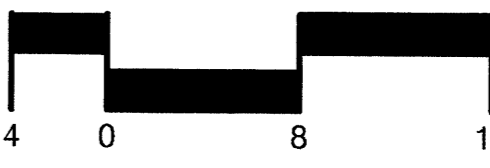
**ELEVATION KEY PLAN**

# U.S. NEW MEXICO FEDERAL CREDIT UNION

## ELEVATIONS

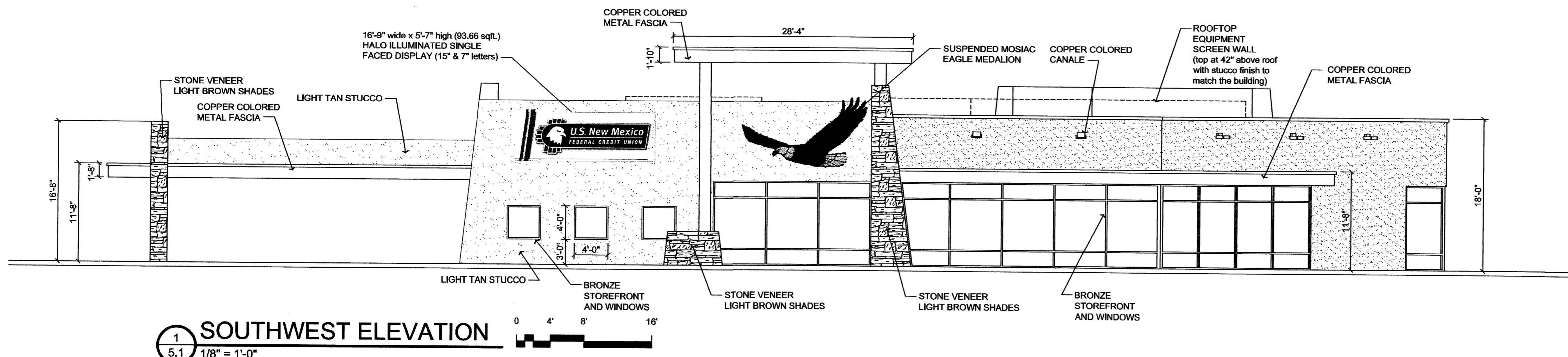
Prepared for:  
  
 PO Box 129  
 Albuquerque, NM 87103

Prepared by:  
 Consensus Planning, Inc.  
 302 Eighth Street NW  
 Albuquerque, NM 87102  
 NewGround  
 15450 South Outer Forty Drive  
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 Chesterfield, MO 63017

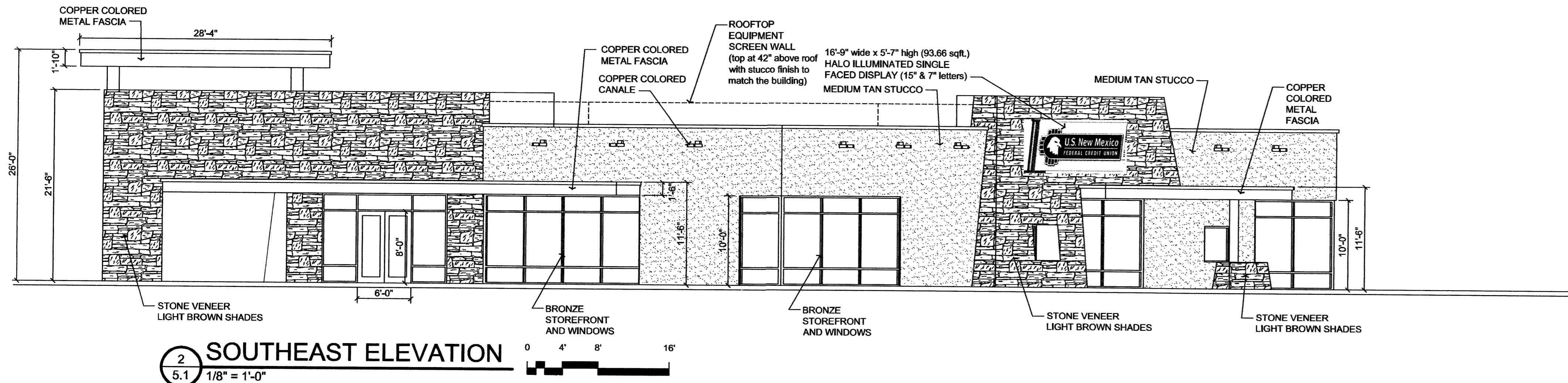
Scale: 1" = 8'  
  
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 January 4, 2012

Bohannon Huston, Inc  
 Courtyard 1, 7500 Jefferson NE  
 Albuquerque, NM 87109-4335  
 Sheet 5 of 7

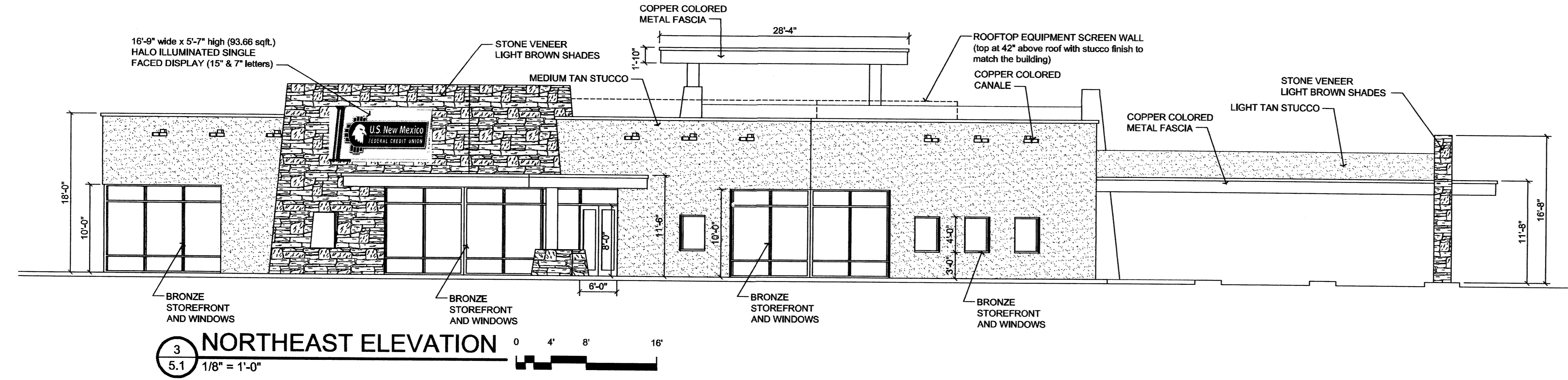




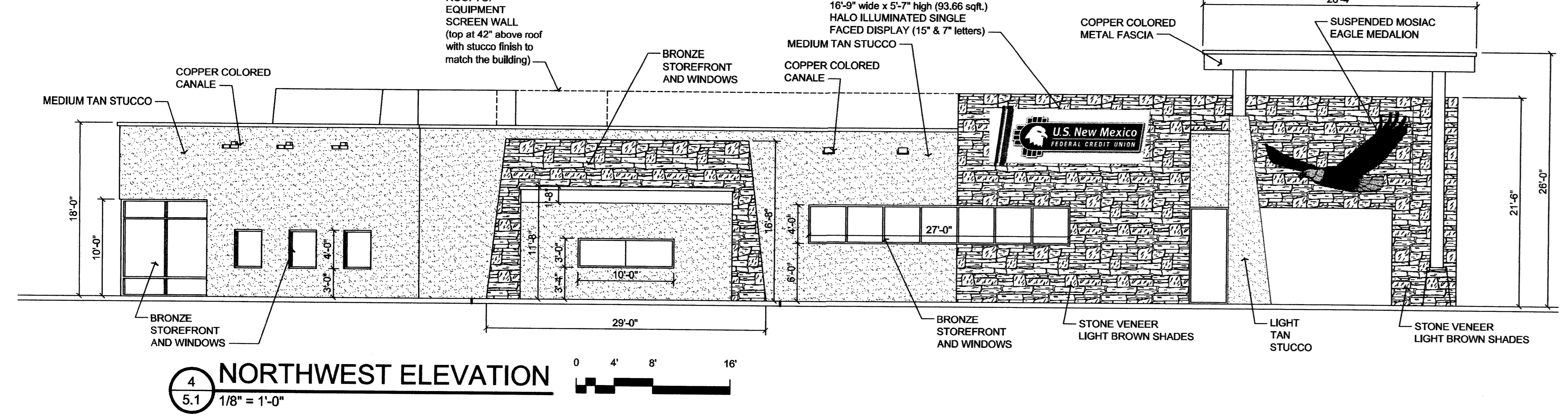
**1**  
5.1  
**SOUTHWEST ELEVATION**  
1/8" = 1'-0"



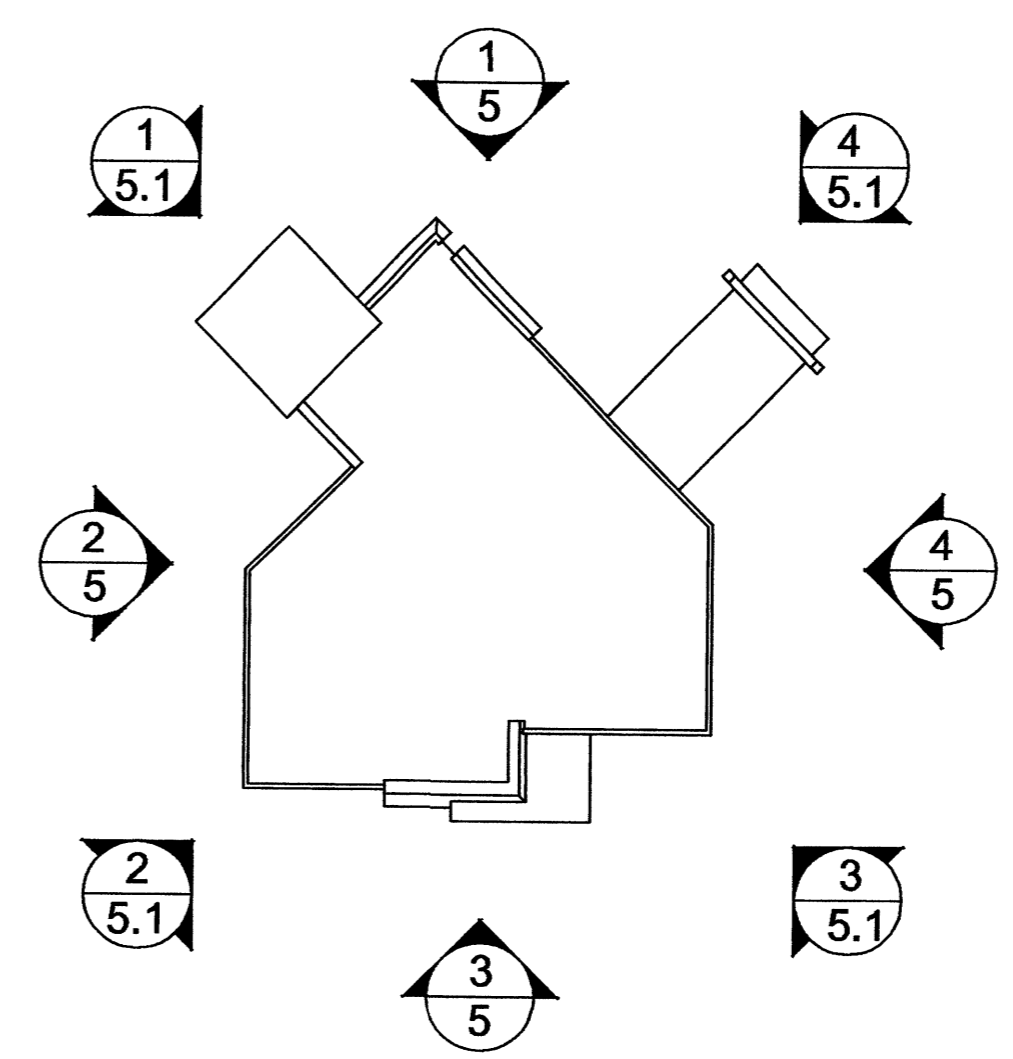
**2**  
5.1  
**SOUTHEAST ELEVATION**  
1/8" = 1'-0"



**3**  
5.1  
**NORTHEAST ELEVATION**  
1/8" = 1'-0"



**4**  
5.1  
**NORTHWEST ELEVATION**  
1/8" = 1'-0"



**ELEVATION KEY PLAN**

# U.S. NEW MEXICO FEDERAL CREDIT UNION

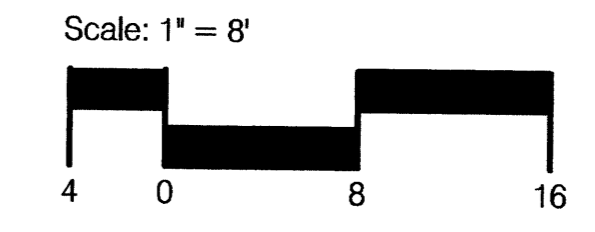
ELEVATIONS

Prepared for:

Prepared by:  
Consensus Planning, Inc.  
302 Eighth Street NW  
Albuquerque, NM 87102

PO Box 129  
Albuquerque, NM 87103

NewGround  
15450 South Outer Forty Drive  
Suite 300  
Chesterfield, MO 63017



January 4, 2012

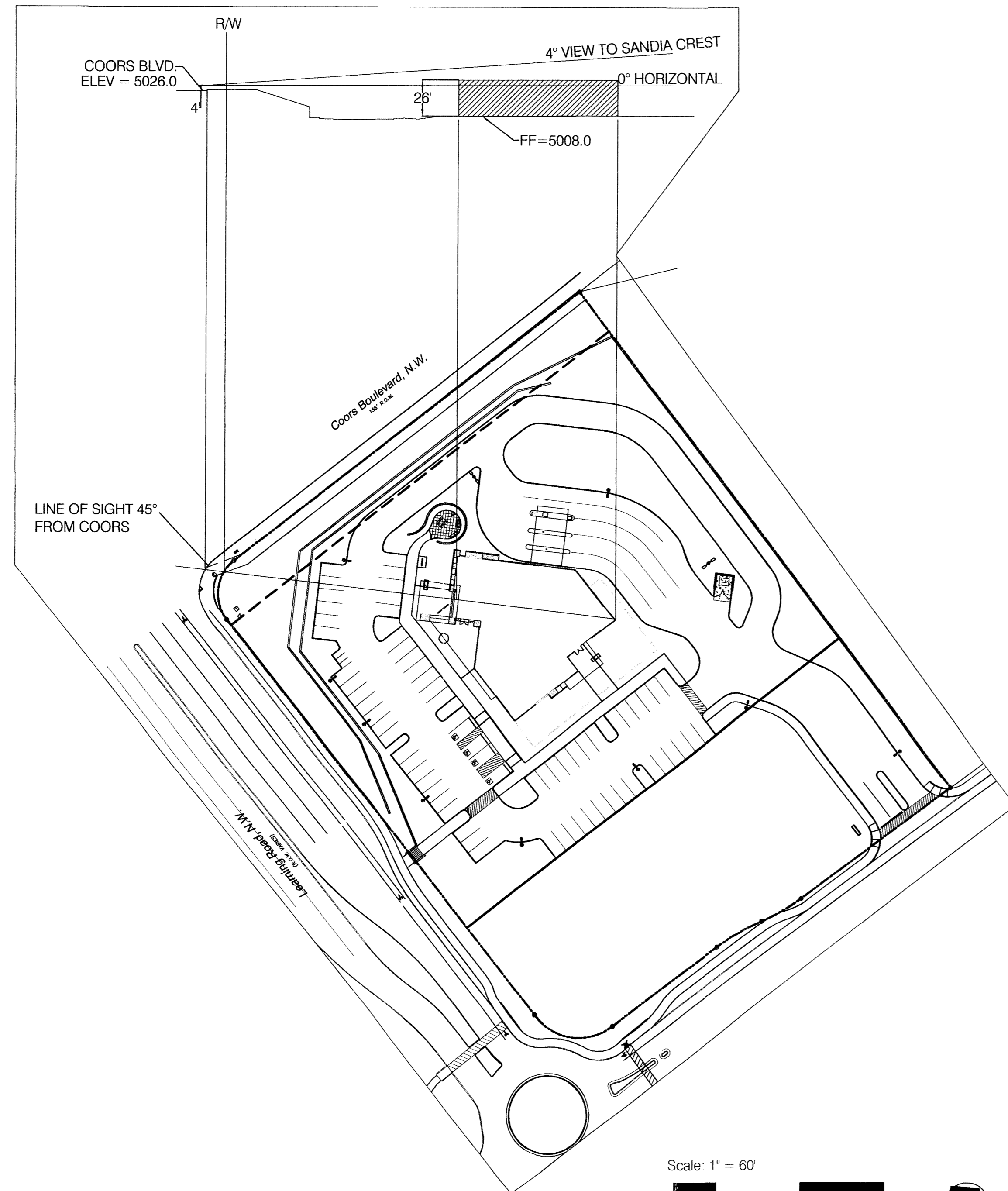
Bohannon Huston, Inc  
Courtyard 1, 7500 Jefferson NE  
Albuquerque, NM 87109-4335

Sheet 5.1 of 7

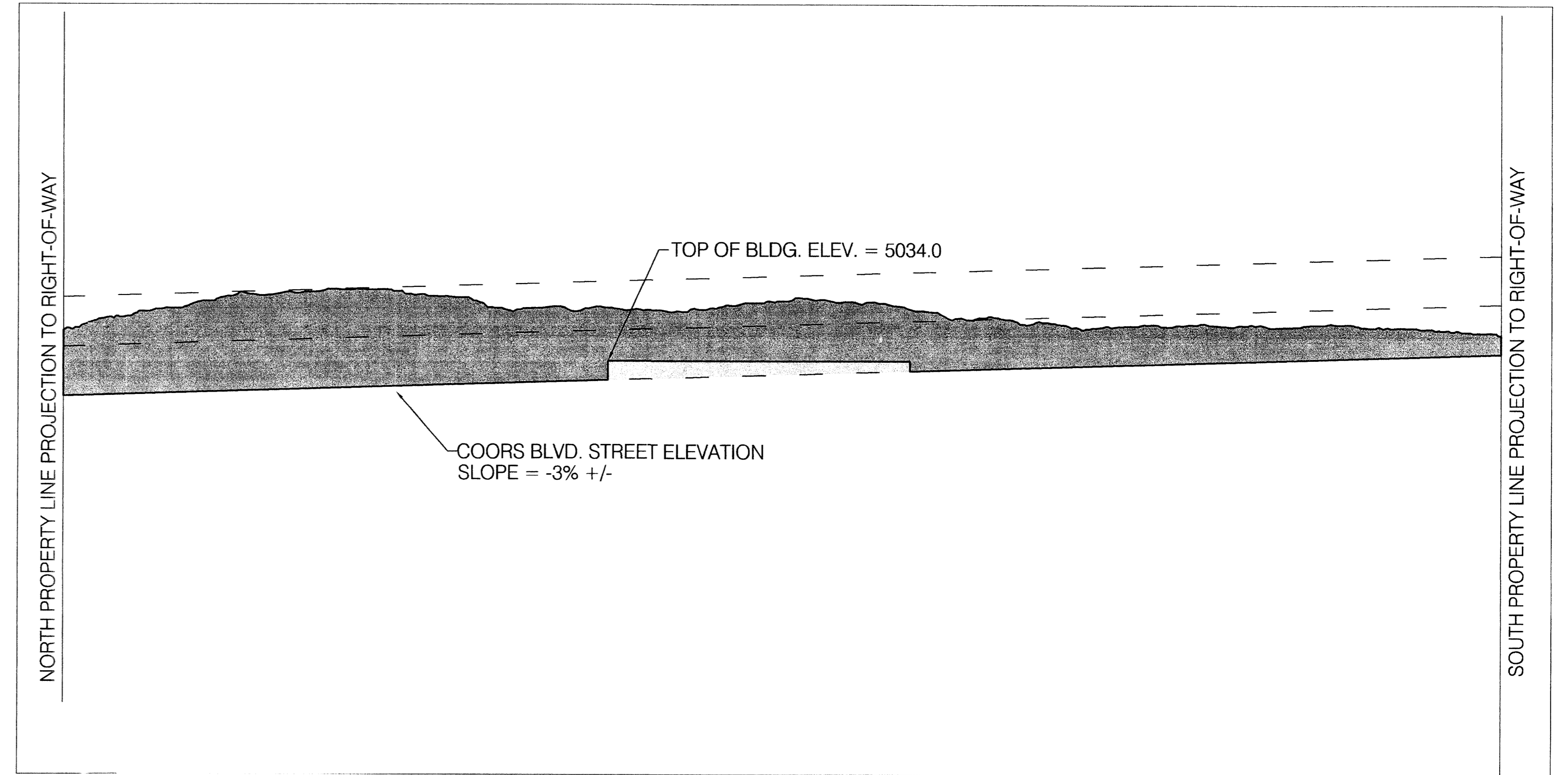


NOTES:

1. The site layout is in compliance with the approved Site Plan for Subdivision, Design Standards, Sheet 2, Coors Corridor Plan View Preservation section.
2. The Coors Corridor Plan requires buildings that meet the multi-story setback (10' below Coors Boulevard grade) may penetrate no more than 1/3 of its height through the view plane.
3. Buildings shall not penetrate above Sandia Crest as seen from 4 feet above Coors grade.



VIEW DIAGRAM



VIEW WINDOW

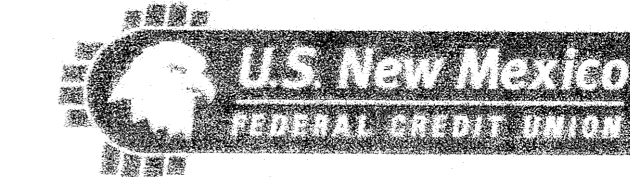
NOTES:

1. Sandia Crest based upon digital photography taken from Coors Boulevard.
2. View shown is at a 45 degree angle from Coors Boulevard, as required by the Coors Corridor Plan.
3. Coors Corridor Plan requires that no greater than 50% of the View Area shall be obscured by structures.
4. 3% of the View Area is obscured by structures in compliance with these regulations.

# U.S. NEW MEXICO FEDERAL CREDIT UNION

## COORS VIEW ANALYSIS

Prepared for:



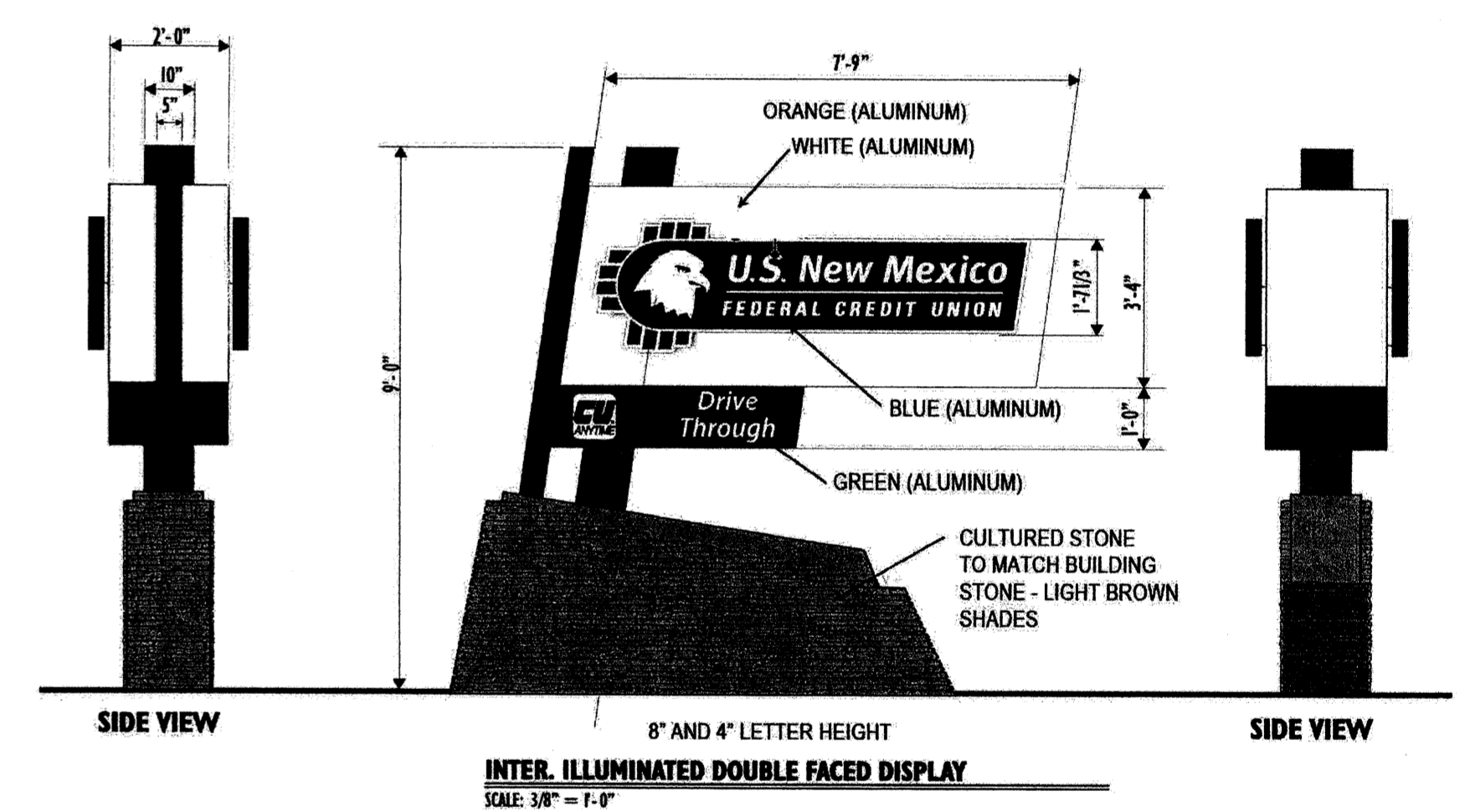
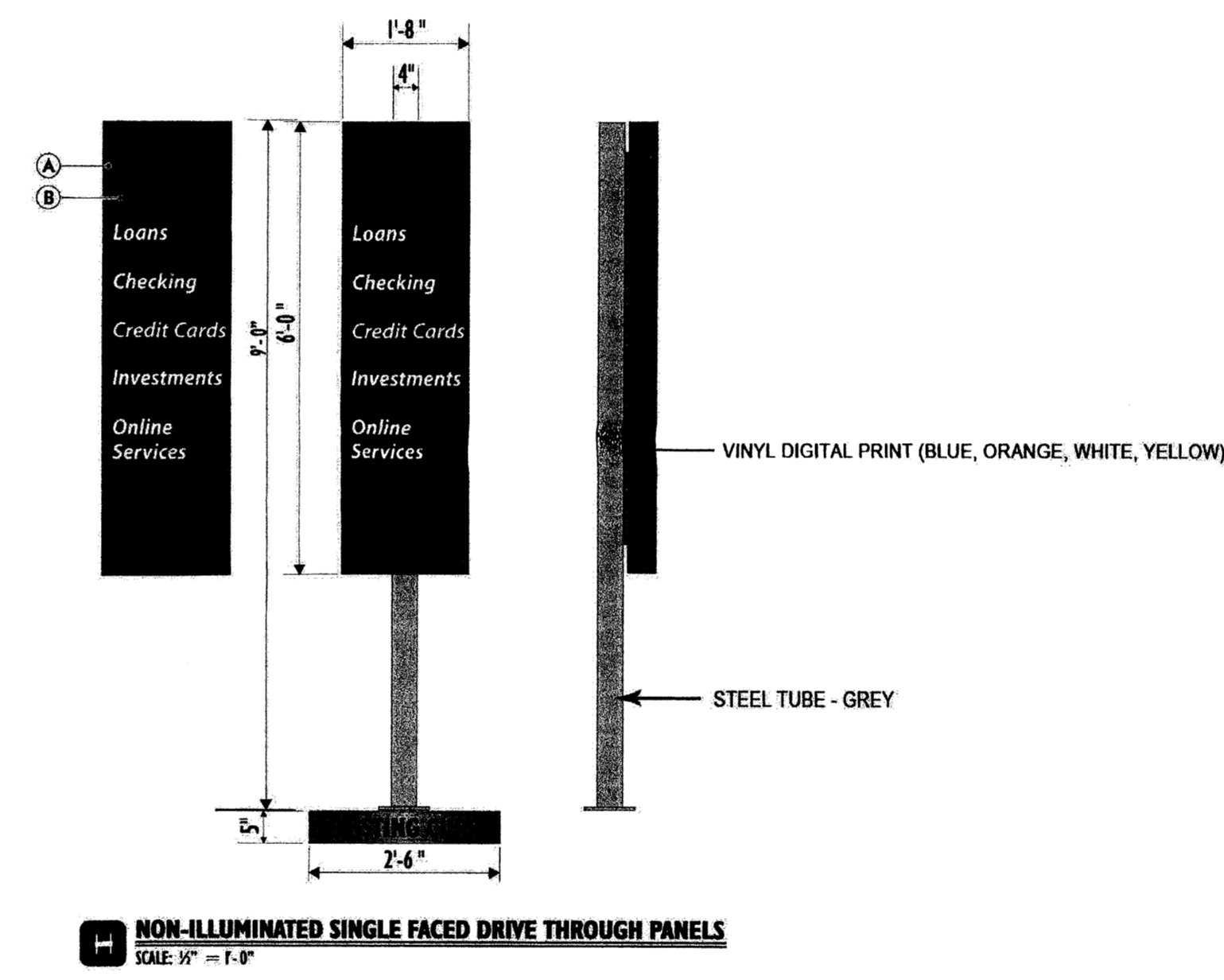
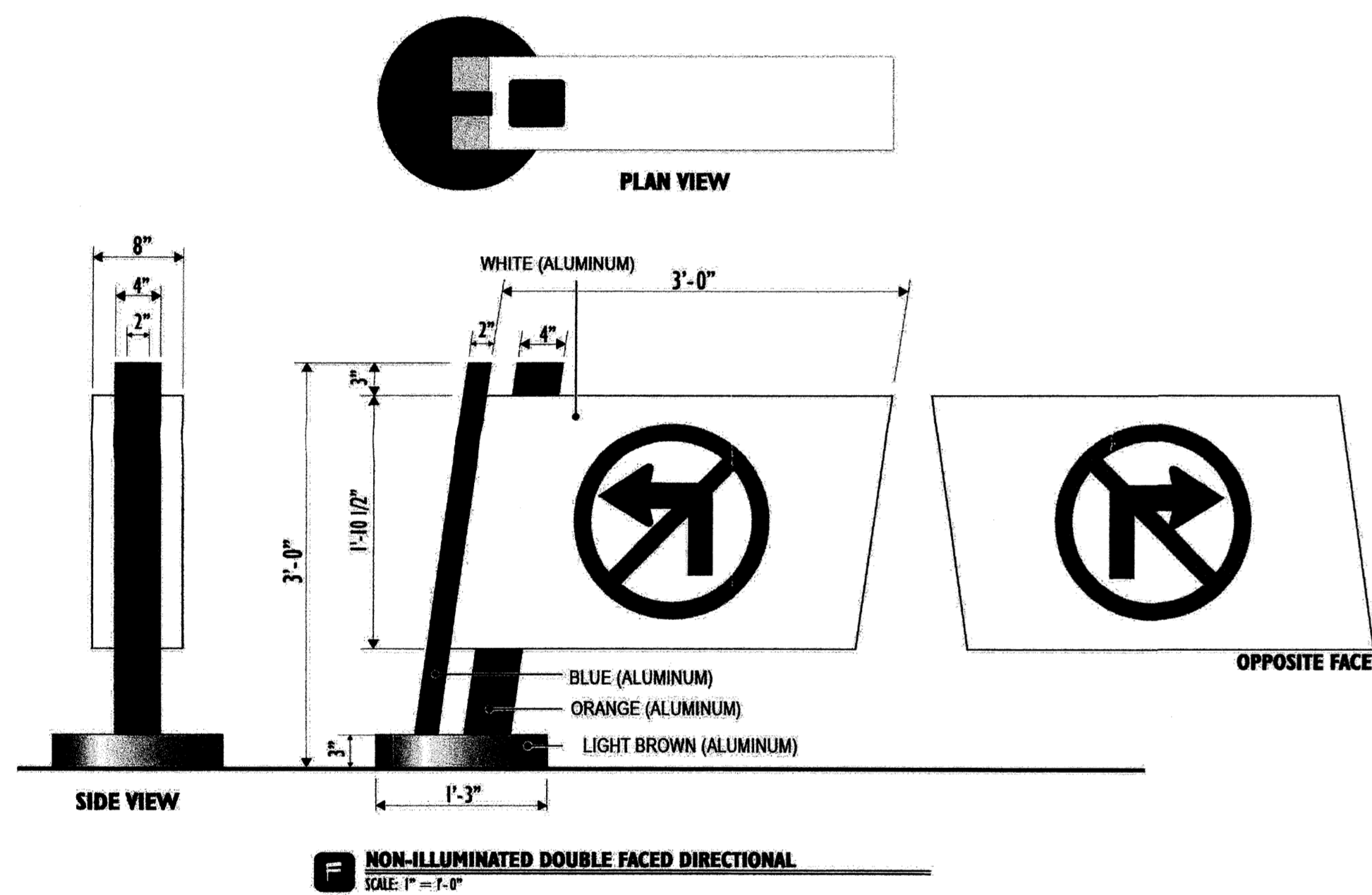
PO Box 129  
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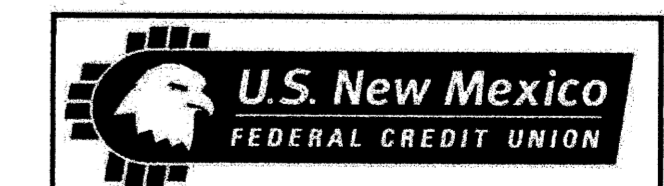


| MONUMENT SIGN SUMMARY                           |          |
|---|----------|
| ONE MONUMENT SIGN PROPOSED (TWO-SIDED)          |          |
| NORTH ELEVATION                                 | 29.69 SF |
| SOUTH ELEVATION                                 | 29.69 SF |
| MONUMENT SIGN AREA ALLOWABLE = 30 SF (PER SIDE) |          |

# U.S. NEW MEXICO FEDERAL CREDIT UNION

## SIGNAGE

Prepared for:



PO Box 129  
Albuquerque, NM 87103

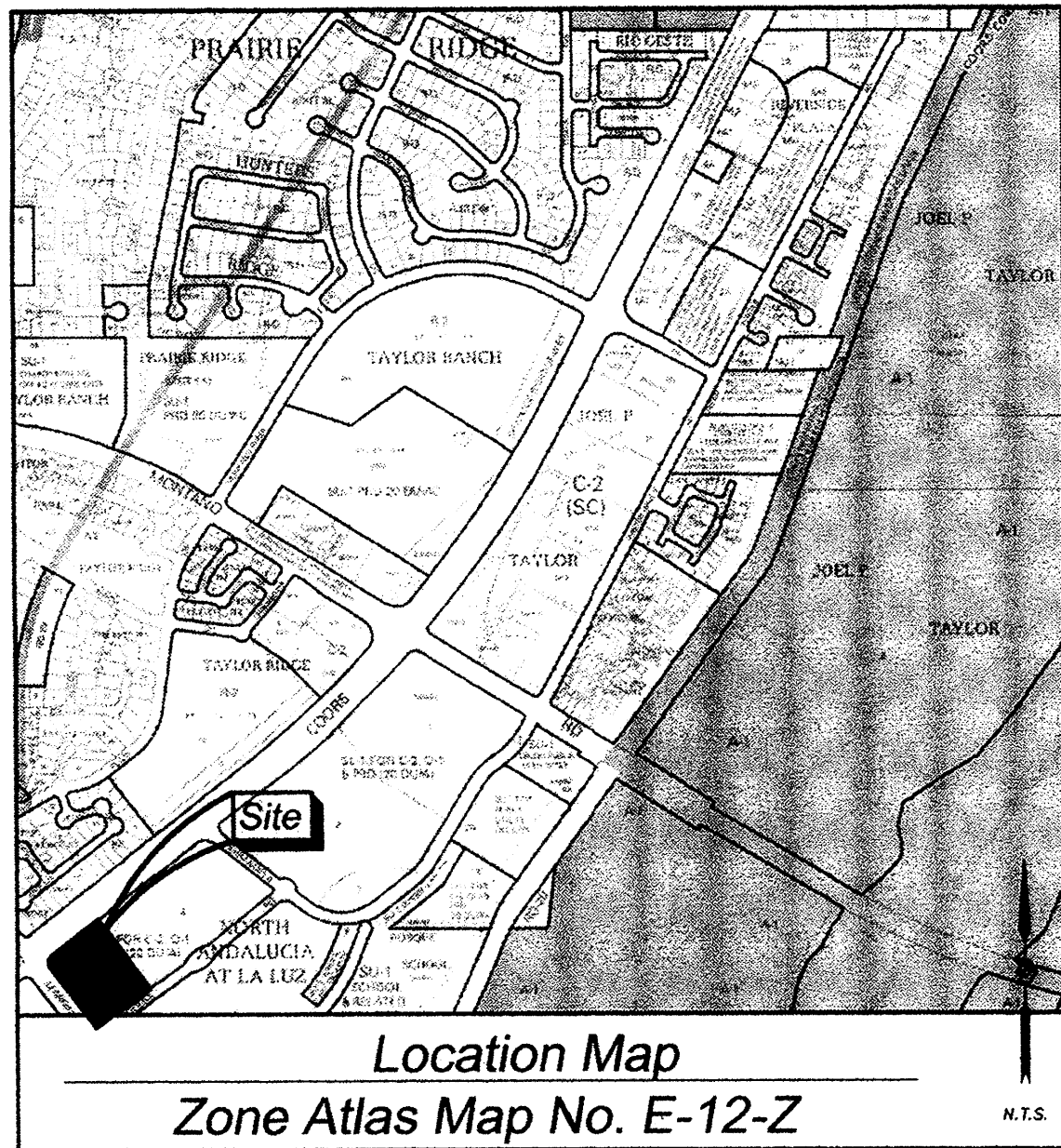
Prepared by:

Consensus Planning, Inc.  
302 Eighth Street NW  
Albuquerque, NM 87102

NewGround  
15450 South Outer Forty Drive  
Suite 300  
Chesterfield, MO 63017

Bohannon Huston, Inc  
Courtyard 1, 7500 Jefferson NE  
Albuquerque, NM 87109-4335





RECORDING STAMP  
 DOC# 2012086678  
 08/24/2012 10:30 AM Page: 1 of 2  
 PLAT R \$25.00 B 2012 P. 0180 R. Toulouse Olivere, Bernalillo Lou

Plat of  
 Tracts 5-A and 5-B  
**North Andalusia at La Luz**  
 Albuquerque, Bernalillo County, New Mexico  
 January 2012

**Legal Description**

TRACT FIVE (5) OF NORTH ANDALUCIA AT LA LUZ AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 13, 2005, IN MAP BOOK 2005C, FOLIO 342, CONTAINING 3.3826 ACRES (47,346 SQUARE FEET) MORE OR LESS, NOW COMPRISING TRACTS 5-A AND 5-B, NORTH ANDALUCIA AT LA LUZ.

Project No. 1003859  
 Application No. 12DRB-70032

**Utility Approvals**  
Toussaint Vignol 2-2-12  
 PNM DATE  
Melinda Ramirez 02-16-12  
 NEW MEXICO GAS COMPANY DATE  
Patricia D. Lindley 02-03-12  
 QUEST CORPORATION D/B/A CENTURYLINK QC DATE  
 COMCAST DATE

**City Approvals**  
James Raquet 1-30-12  
 CITY SURVEYOR DATE  
James Raquet 08-16-12  
 TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT DATE  
Carl S. Dumont 2-8-12  
 A.B.C.W.U.A. DATE  
 PARKS AND RECREATION DEPARTMENT DATE  
Carl S. Dumont 2-8-12  
 AMAFCA DATE  
 CITY ENGINEER DATE  
James Raquet 8-24-12  
 DRB CHAIRPERSON, PLANNING DEPARTMENT DATE  
 TREASURER DATE

**Subdivision Data:**  
 ZONING: SU-1 FOR C-2, O-1 USES AND PRD (20 DU/AC)  
 GROSS SUBDIVISION ACREAGE: 3.3826 ACRES±  
 ZONE ATLAS INDEX NO: E-12-Z  
 NO. OF TRACTS CREATED: 2  
 NO. OF LOTS CREATED: 0  
 MILES OF FULL-WIDTH STREETS CREATED: 0  
 DATE OF SURVEY: SEPTEMBER 21, 2011

**Disclosure Statement:**  
 THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE THE ONE EXISTING TRACT INTO TWO NEW TRACTS AND TO GRANT TWO PUBLIC SIDEWALK EASEMENTS, A CROSS ACCESS, WATER LINE AND DRAINAGE EASEMENT, A PRIVATE SANITARY SEWER EASEMENT AND A PUBLIC BUS STOP EASEMENT.

- Notes:**
1. BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
  2. ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
  3. THIS PROPERTY LIES WITHIN SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
  4. PLAT SHOWS ALL EASEMENTS OF RECORD.
  5. EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

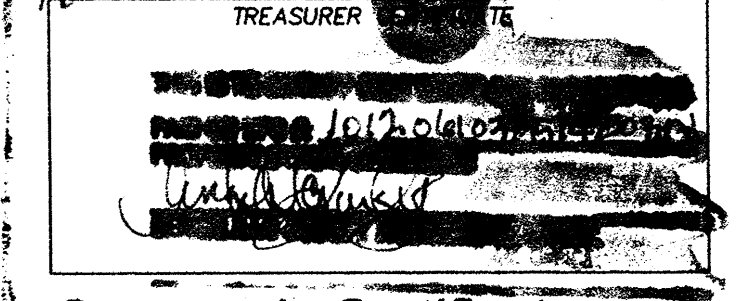
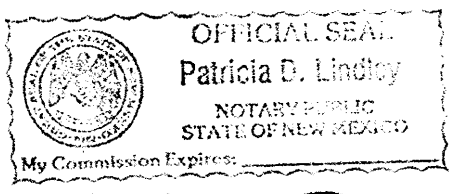
**Solar Note:**  
 NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

**Free Consent**  
 THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

James Raquet 1-30-12  
 JAMES RAQUET  
 PRESIDENT  
 US NEW MEXICO FEDERAL CREDIT UNION  
 DATE

**Acknowledgment**  
 STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) SS  
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 30<sup>th</sup> DAY OF January 2012 BY James Raquet, PRESIDENT, US NEW MEXICO FEDERAL CREDIT UNION.  
 BY Patricia D. Lindley MY COMMISSION EXPIRES: April 15, 2012  
 NOTARY PUBLIC



**Surveyor's Certificate**  
 I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 01/30/12  
 LARRY W. MEDRANO  
 N.M.P.S. No. 11993  
 DATE



**PRECISION SURVEYS, INC.**

OFFICE LOCATION:  
 5571 Midway Park Place, NE  
 Albuquerque, NM 87109  
 MAILING ADDRESS:  
 PO Box 90636  
 Albuquerque, NM 87199

INDEXING INFORMATION FOR COUNTY CLERK  
 OWNER US NM FEDERAL CREDIT UNION  
 SECTION 25, TOWNSHIP 11 N, RANGE 2 E,  
 SUBDIVISION NORTH ANDALUCIA AT LA LUZ

866.442.8011 TOLL FREE  
 505.856.5700 PHONE  
 505.856.7900 FAX PSI JOB NO. 112138P



Plat of  
**Tracts 5-A and 5-B**  
**North Andalusia at La Luz**  
 Albuquerque, Bernalillo County, New Mexico  
 January 2012

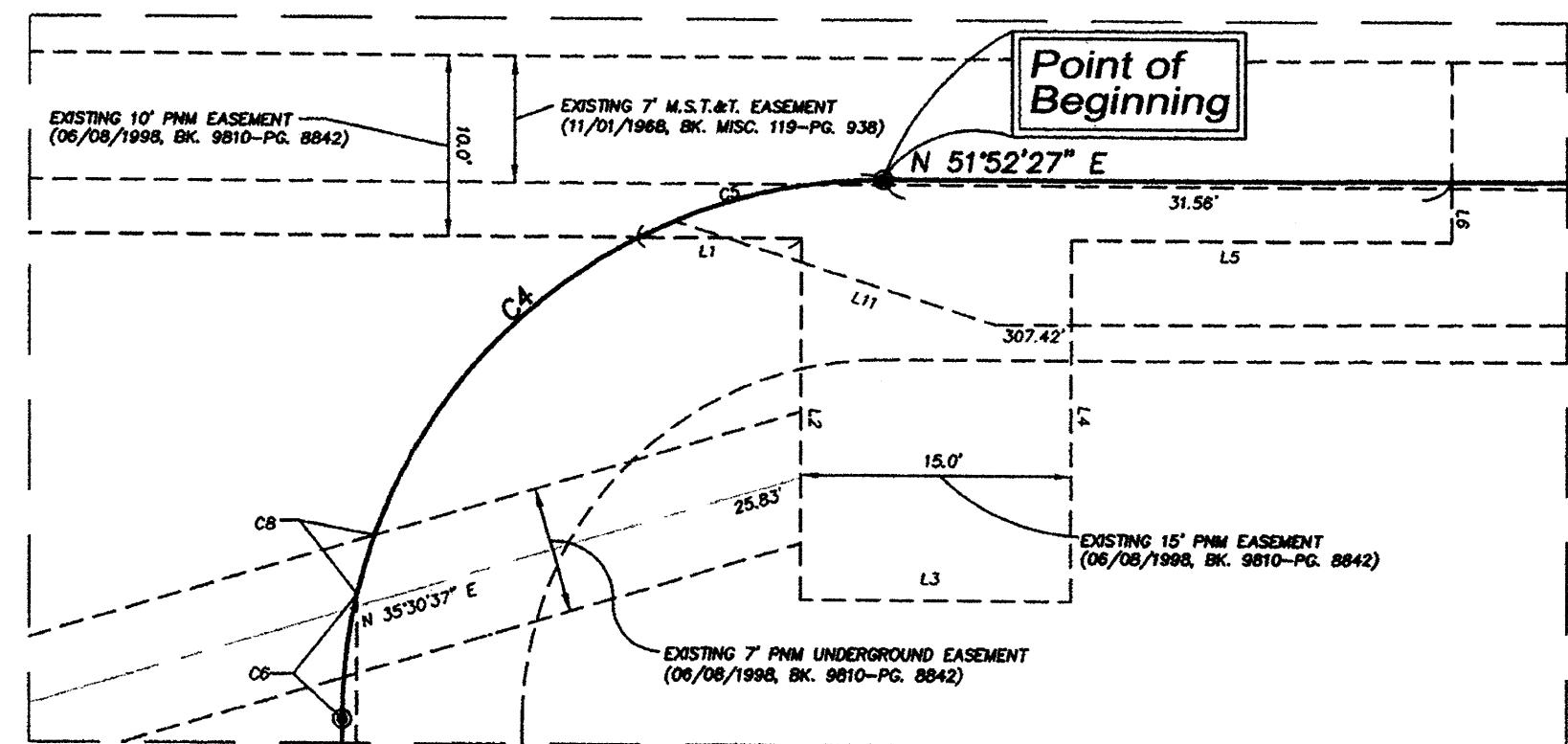
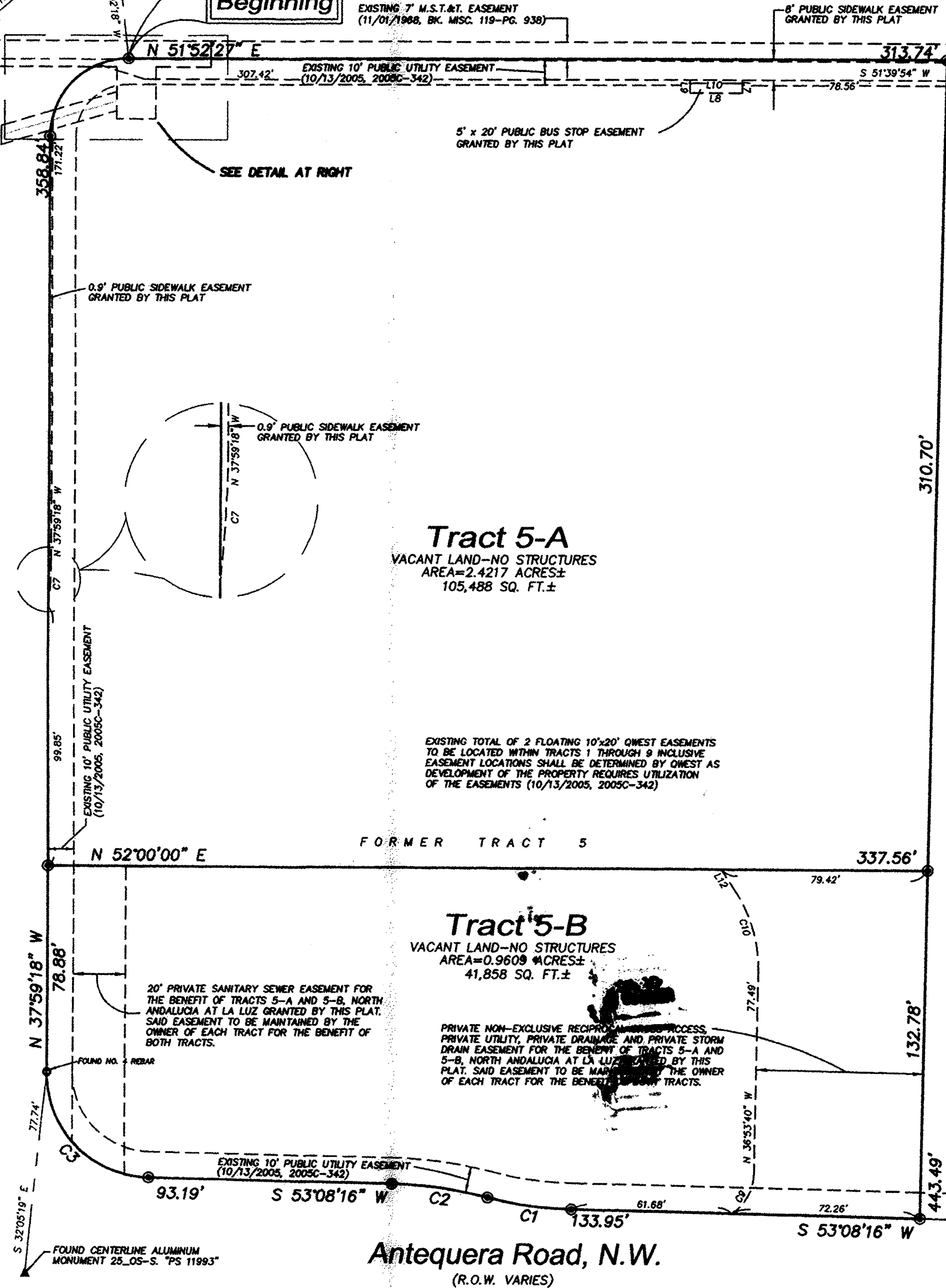
RECORDING STAMP  
 DOC# 2012086678  
 08/24/2012 10:30 AM Page: 2 of 2  
 PLAT R:325 00 B: 2012C P: 0190 M: Toulous Olivera Bernalillo Cou

A.G.R.S. MONUMENT "NM\_448\_N6A"  
 STANDARD A.G.R.S. BRASS TABLE  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1983)  
 N=1,507,370.788  
 E=1,505,886.591  
 PUBLISHED EL=5061.638 (NAVD 1988)  
 GROUND TO GRID FACTOR=0.999682224  
 DELTA ALPHA ANGLE=-015'25.58"

A.G.R.S. MONUMENT "1\_E11"  
 STANDARD A.G.R.S. BRASS TABLE  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1983)  
 N=1,509,268.080  
 E=1,507,287.119  
 PUBLISHED EL=5116.831 (NAVD 1988)  
 GROUND TO GRID FACTOR=0.999679470  
 DELTA ALPHA ANGLE=-015'22.90"

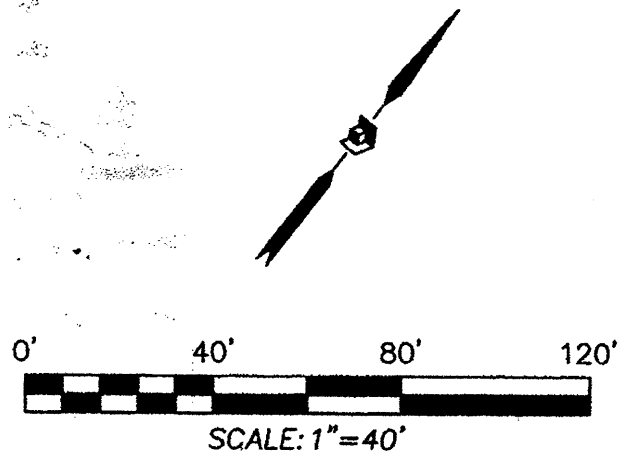
**Coors Boulevard, N.W.**  
 (R.O.W. VARIES)

**Learning Road, N.W.**  
 (R.O.W. VARIES)



**Legend**

N 90°00'00" E MEASURED BEARING AND DISTANCES  
 (N 90°00'00" E) RECORD BEARINGS AND DISTANCES  
 FOUND AND USED MONUMENT AS DESIGNATED  
 DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY  
 FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED  
 FOUND ALUMINUM CENTERLINE MONUMENT AS DESIGNATED



**Line Table**

| LINE | BEARING       | DISTANCE |
|------|---------------|----------|
| L1   | N 51°59'28" E | 9.06'    |
| L2   | S 38°00'50" E | 20.00'   |
| L3   | N 51°59'28" E | 15.00'   |
| L4   | S 38°00'50" E | 20.00'   |
| L5   | N 51°59'28" E | 21.11'   |
| L6   | S 38°00'50" E | 3.36'    |
| L7   | S 38°07'33" E | 5.00'    |
| L8   | S 51°52'27" W | 20.00'   |
| L9   | S 38°07'33" E | 5.00'    |
| L10  | N 51°52'27" E | 20.00'   |
| L11  | N 69°34'11" E | 18.63'   |
| L12  | S 71°48'11" E | 9.57'    |
| L13  | S 66°31'47" E | 5.46'    |

**Curve Table**

| CURVE | RADIUS  | ARC LENGTH | TANGENT | DELTA ANGLE | CHORD BEARING | CHORD LENGTH |
|-------|---------|------------|---------|-------------|---------------|--------------|
| C1    | 140.00' | 32.40'     | 16.27'  | 13°15'41"   | S 59°46'07" W | 32.33'       |
| C2    | 180.00' | 37.03'     | 18.60'  | 13°15'41"   | S 59°46'07" W | 36.95'       |
| C3    | 40.00'  | 62.05'     | 39.22'  | 88°52'26"   | N 82°25'31" W | 56.01'       |
| C4    | 30.00'  | 47.05'     | 29.93'  | 89°51'56"   | S 06°56'40" W | 42.38'       |
| C5    | 30.00'  | 14.13'     | 7.20'   | 26°58'51"   | S 38°23'13" W | 14.00'       |
| C6    | 30.00'  | 7.37'      | 3.70'   | 14°04'12"   | S 30°57'12" E | 7.35'        |
| C7    | 153.20' | 17.01'     | 8.52'   | 6°21'47"    | N 34°57'16" W | 17.01'       |
| C8    | 30.00'  | 2.91'      | 1.45'   | 5°33'01"    | S 21°08'36" E | 2.91'        |
| C9    | 18.50'  | 17.94'     | 9.74'   | 55°32'49"   | N 09°07'16" W | 17.24'       |
| C10   | 53.50'  | 32.60'     | 16.82'  | 34°54'30"   | N 54°20'55" W | 32.09'       |
| C11   | 50.50'  | 30.77'     | 15.88'  | 34°54'30"   | N 54°20'55" W | 30.29'       |
| C12   | 24.50'  | 16.57'     | 8.61'   | 38°44'40"   | S 56°16'00" E | 16.25'       |

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