

VICINITY MAP

SUBDIVISION DATA / NOTES

- Total Number of Existing Tracts: 3
- Total Number of Lots created: 159
- Total Number of Tracts created: 3
- Gross Subdivision Acreage: 50.3484 Ac.
- Total Mileage of Full Width Streets Created: 1.11
- Total Mileage of Half Width Streets Created: 0.38
- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:
 "BULK LAND PLAT FOR EL RANCHO GRANDE, TRACTS 16-A, 16-B, 16-C, 16-D, AND 16-F" (1-31-05, 2005C-41)
 "WESTGATE DAM DRAINAGE R/W", (06-10-94, 94C-194)
 "ATRISCO VILLAGE, UNIT J.T.", (11-20-73, D5-200)
 "LANDS OF RIO BRAVO PARTNERS", (04-17-96, 96C-160)
 "LANDS OF RIO BRAVO PARTNERS", (07-19-90, 90C-163)
 "LANDS IF GREVEY/LIBERMAN, TRACT 3", (07-17-98, 98C-210)
 all being records of Bernalillo County, New Mexico.
- Field Survey performed on November, 2003.
- Title Report: None provided.
- Unless otherwise noted all points are set 5/8" rebar with cap cap "ALS LS 7719".
- City Standard Utility Note II: "City of Albuquerque Water and Sanitary Sewer Service to El Rancho Grande, Unit 16 must be verified and coordinated with the Public Works Department, City of Albuquerque."
- Centerline (in lieu of R/W) monumentation Δ to be installed at all centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard four-inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monumentation", "Survey Marker", "Do Not Disturb", "PLS #7719".
- ZONING: R-D
- Unless otherwise noted all points are set 5/8" rebar with cap cap "ALS LS 7719".
- Total Open Space Requirements are met via a cash payment to the City of Albuquerque per the provisions of Section 14-16-3-8 (A) (2).

PLAT FOR EL RANCHO GRANDE UNIT 16

CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE 2005



LEGAL DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Section 5, Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being all of Tracts 16-D, 16-E, and 16-F of the BULK LAND PLAT FOR TRACTS 16-A, 16-B, 16-C, 16-D, 16-E, AND 16-F, EL RANCHO GRANDE, as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on January 31, 2005, in Book 2005C, Page 41, and containing 50.3484 acres more or less.

DISCLOSURE STATEMENT

The intent of this plat is to subdivide the subject tract into 159 residential lots and three tracts, to dedicate public rights-of-way, to grant all easements necessary to serve the residential development, and to vacate easements.

'NOTICE OF SUBMISION PLAT CONDITIONS'

El Rancho Grande Unit 16, Tracts 16-D-1 and 16-D-2 have been granted a variance or waiver from certain subdivision requirements pursuant to section 14-14-6-1 of the City of Albuquerque Subdivision Ordinance.

Future subdivision of lands within these tracts, zoning site development plan approvals, and development permits may be conditioned upon dedication of rights-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading and parks in accordance with current resolutions, ordinances and policies in effect at the time for any specific proposal.

The City and AMAFCA (with reference to drainage) may require and/or permit easements to be added, modified, or removed when future plats and/or site development plans are approved. By its approval of this subdivision the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; Parks and Open Space requirements; drainage requirements and/or improvements; and excavation, filling or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

At such time as all such conditions have been satisfactorily met, the City Engineer shall approve a recordable document, removing such conditions from all or from a portion of the area within the subject subdivision.

This "Notice of Subdivision Plat Conditions" was filed in the Office of the County Clerk of Bernalillo County, New Mexico on 9-29-05, in Book 0104, Page 3455

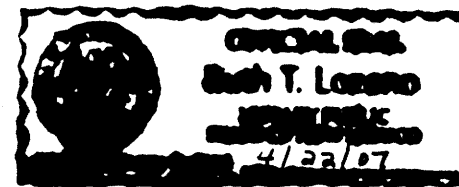
FREE CONSENT AND DEDICATION

The subdivision shown hereon is with the free consent and in accordance with the desires of the undersigned Owner(s) and/or Proprietor(s) thereof and said Owner(s) and/or Proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for overhead and/or buried distribution lines, conduits, and pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said Owner(s) and/or Proprietor(s) do hereby consent to all of the foregoing and said owners warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided, and do hereby certify that this subdivision is their free act and deed.

OWNER TRACTS 16-D AND 16-E CURB INC.

Charles A. Haegel
 CHARLES A. HAEGELIN, PRESIDENT

ACKNOWLEDGMENT
 STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)



This instrument was acknowledged before me on June 22, 2005, by Charles A. Haegel, President of Curb Inc., a New Mexico corporation, on behalf of said corporation.

My Commission Expires: 4/22/07

Ruth J. Lopez
 Notary Public

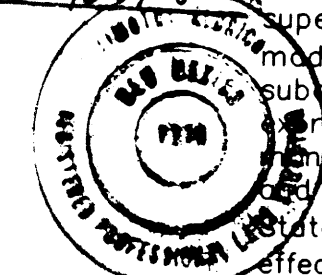
THIS IS TO CERTIFY THAT I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions effective December 25, 1991, February 2, 1994 and October 2000), and is true and correct to the best of my knowledge and belief".

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBU., N.M. 87190
 505-884-1990

APPROVALS

DRB PROJECT NO. 1003874
 APPLICATION NO. 05DRB-01412
 Utility Approvals

- | | |
|--|------------------------|
| <u>Leon D. Mante</u>
PNM ELECTRIC SERVICES | <u>6-23-05</u>
DATE |
| <u>Leon D. Mante</u>
PNM GAS SERVICES | <u>6-23-05</u>
DATE |
| <u>Greg Hume</u>
QWEST TELECOMMUNICATIONS | <u>7-7-05</u>
DATE |
| <u>Donna Borton</u>
COMCAST | <u>7-1-05</u>
DATE |
| <u>Phil Hat</u>
CITY SURVEYOR | <u>6-23-05</u>
DATE |
| <u>NA</u>
REAL PROPERTY DIVISION | <u>9/29/05</u>
DATE |
| <u>NA</u>
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION | <u>9-21-05</u>
DATE |
| <u>Roger A. Green</u>
WATER UTILITY DEPARTMENT
ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY | <u>7-29-05</u>
DATE |
| <u>Christina Sandoval</u>
PARKS AND RECREATION DEPARTMENT | <u>9/21/05</u>
DATE |
| <u>Martin W. Eked</u>
AMAFCA | <u>9/21/05</u>
DATE |
| <u>Bradley A. Bingham</u>
CITY ENGINEER | <u>9/21/05</u>
DATE |
| <u>Sharon Matson</u>
DRB CHAIRPERSON, PLANNING DEPARTMENT | <u>9/29/05</u>
DATE |

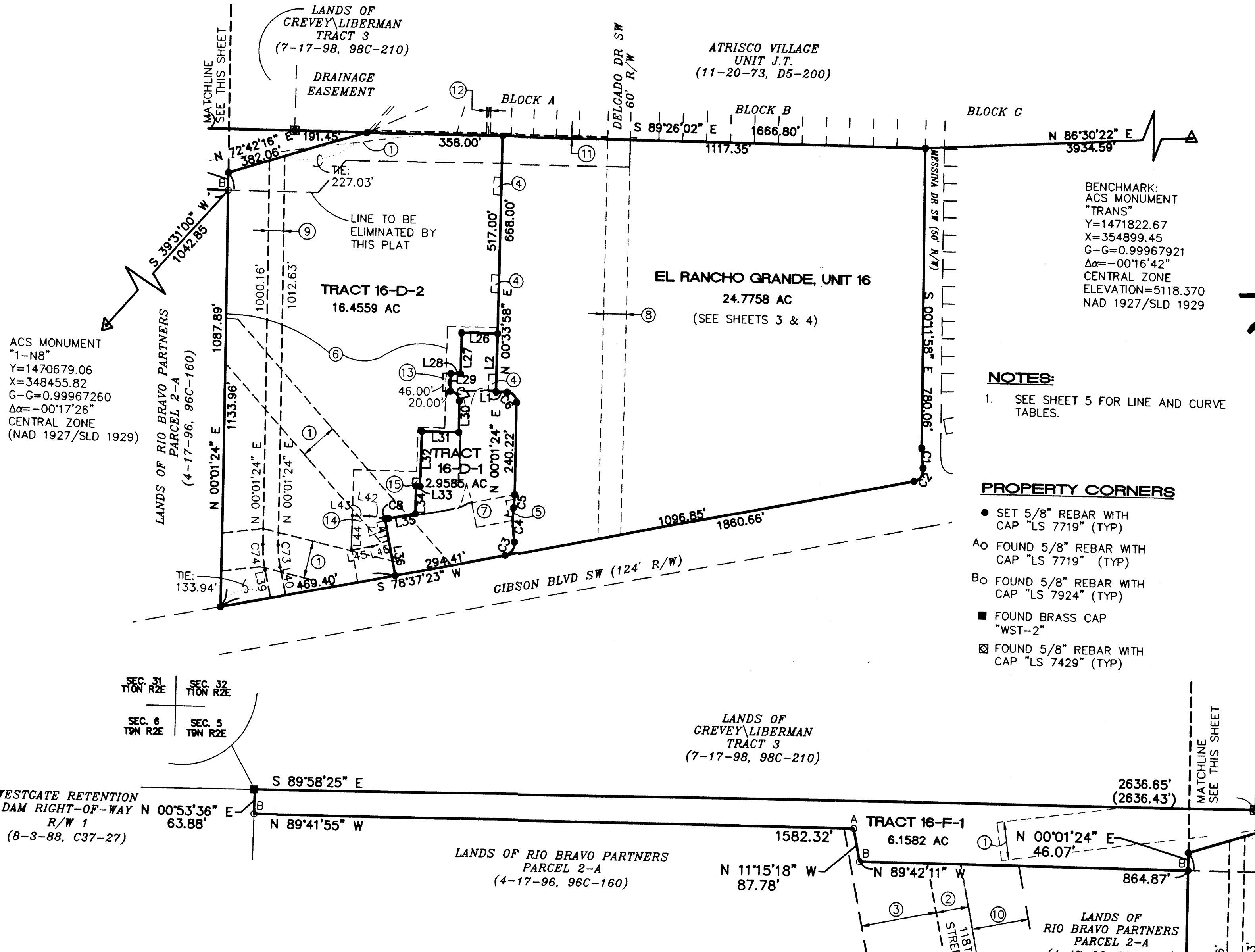
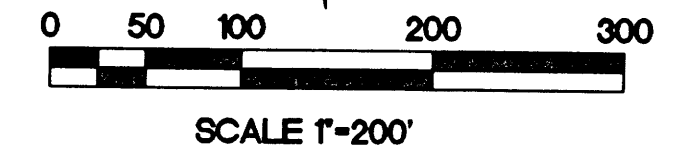


Timothy Aldrich, P.S. No. 7719
 Date 06-22-05

PLAT FOR EL RANCHO GRANDE UNIT 16

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE 2005

2985143855
639994
Page: 2 of 5
09/29/2005 03:02P
Bk-2985C Pg-319



BENCHMARK:
ACS MONUMENT
"TRANS"
Y=1471822.67
X=354899.45
G-G=0.99967921
Δα=-00°16'42"
CENTRAL ZONE
ELEVATION=5118.370
NAD 1927/SLD 1929

NOTES:

- SEE SHEET 5 FOR LINE AND CURVE TABLES.

PROPERTY CORNERS

- SET 5/8" REBAR WITH CAP "LS 7719" (TYP)
- FOUND 5/8" REBAR WITH CAP "LS 7719" (TYP)
- FOUND 5/8" REBAR WITH CAP "LS 7924" (TYP)
- FOUND BRASS CAP "WST-2"
- ☒ FOUND 5/8" REBAR WITH CAP "LS 7429" (TYP)

FREE CONSENT AND DEDICATION

The subdivision shown hereon is with the free consent and in accordance with the desires of the undersigned Owner(s) and/or Proprietor(s) thereof and said Owner(s) and/or Proprietor(s) do hereby consent to the creating of TRACT 16-F-1 as shown hereon. Said Owner(s) and/or Proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed.

OWNER TRACT 16-F
ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY (AMAFCA)

John P. Kelly
JOHN P. KELLY, EXECUTIVE ENGINEER
9-26-05
DATE

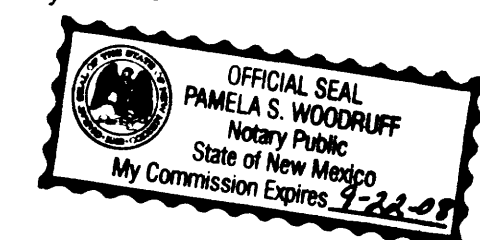
ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

This instrument was acknowledged before me on Sept. 26, 2005, by John P. Kelly, as Executive Engineer of AMAFCA.

My Commission Expires: 9-22-08

Pamela S. Woodruff
Notary Public



EASEMENT NOTES

- EXISTING 100' AMAFCA DRAINAGE EASEMENT (07-19-90, 90C-163) VACATED BY APP. NO. 05DRB-00894 EASEMENT QUITCLAIMED BY AMAFCA (6-17-05, A98-6090)
- EXISTING 86' PUBLIC ROADWAY EASEMENT (04-17-96, 96C-160)
- EXISTING 200' POWER LINE EASEMENT U.S.B.R. (02-05-52, D197-567)
- EXISTING PUBLIC 46"x20' SANITARY SEWER AND WATERLINE EASEMENT (07-01-05, A99-5029)
- EXISTING PUBLIC SANITARY SEWER, WATERLINE AND DRAINAGE EASEMENT (07-01-05, A99-5029)
- EXISTING PERMANENT DRAINAGE EASEMENT (07-18-05, A100-2468) AGREEMENTS AND COVENANTS FILED 07-18-05, A100-2464.
- EXISTING PERMANENT DRAINAGE EASEMENT (07-18-05, A100-2467) AGREEMENTS AND COVENANTS FILED 07-18-05, A100-2465.
- EXISTING 60' RESERVATION FOR FUTURE R/W (07-19-90, 90C-163) VACATED BY APP. NO. 05DRB-00033.
- 40' TEMPORARY ACCESS EASEMENT GRANTED TO AMAFCA BY THIS PLAT. THIS EASEMENT SHALL BE TERMINATED UPON DEDICATION OF PUBLIC RIGHT-OF-WAY BY FUTURE PLAT ACTION.
- EXISTING 150' AMAFCA DRAINAGE EASEMENT (04-17-96, 96C-160)
- EXISTING 7' UTILITY EASEMENT (11-20-73, D5-200)
- EXISTING 10' UTILITY EASEMENT (TYP.) (11-20-73, D5-200)
- 20'x46' PUBLIC WATERLINE AND SANITARY SEWER EASEMENT GRANTED TO THE ABCWUA BY THIS PLAT. THIS EASEMENT SHALL BE TERMINATED UPON DEDICATION OF PUBLIC RIGHT-OF-WAY BY FUTURE PLAT ACTION.
- TEMPORARY PUBLIC ROADWAY EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE AND SANITARY SEWER* BY THIS PLAT. THIS EASEMENT SHALL BE TERMINATED UPON DEDICATION OF PUBLIC RIGHT-OF-WAY BY FUTURE PLAT ACTION.
- 20'x20' PUBLIC SANITARY SEWER EASEMENT GRANTED TO THE ABCWUA BY THIS PLAT. THIS EASEMENT SHALL BE TERMINATED UPON DEDICATION OF PUBLIC RIGHT-OF-WAY BY FUTURE PLAT ACTION.

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY = ABCWUA

*EASEMENT GRANTED TO THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.

EASEMENT NOTES

- ① 10' PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT.
- ② EXISTING 46"x20' SANITARY SEWER AND WATERLINE EASEMENT (07-01-05, A99-5029)
- ③ EXISTING 60' RESERVATION FOR FUTURE R/W (07-19-90, 90C-163). VACATED BY APP. NO. 05DRB-00033.
- ④ EXISTING 7' UTILITY EASEMENT (11-20-73, D5-200)
- ⑤ EXISTING 10' UTILITY EASEMENT (TYP.) (11-20-73, D5-200)
- ⑥ EXISTING 20' PUBLIC WATERLINE EASEMENT (02-07-03, BK A50-PG 485)

NOTES:

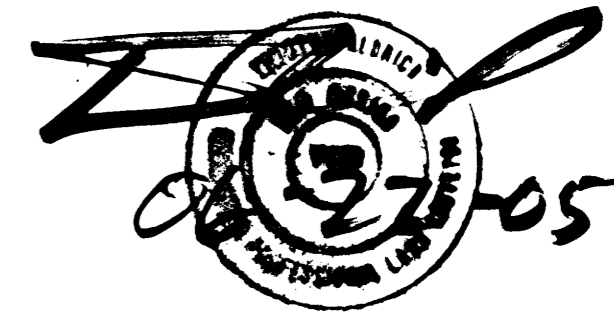
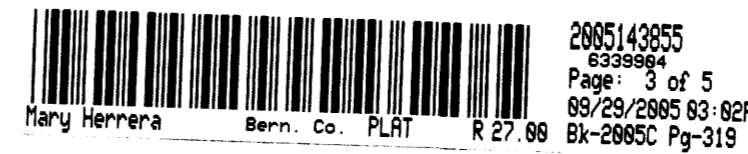
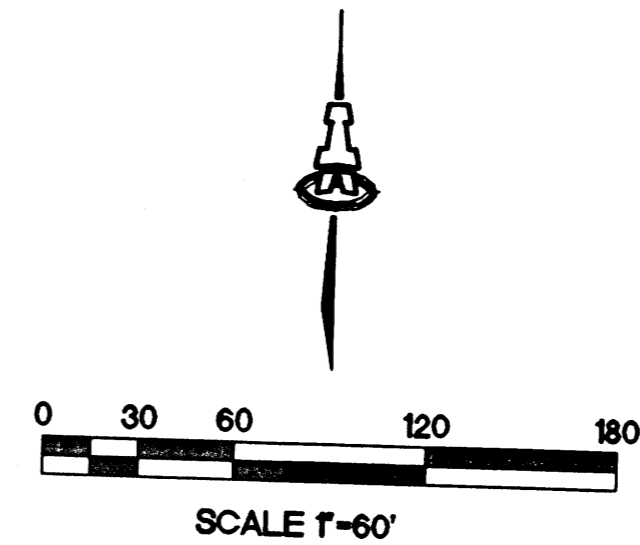
- 1. SEE SHEET 5 FOR LINE AND CURVE TABLES.
- 2. SEE SHEET 5 FOR LOT AREA TABLE.
- 3. DISTANCES SHOWN IN BRACKETS ARE TO CENTERLINE MONUMENTS.

PROPERTY CORNERS

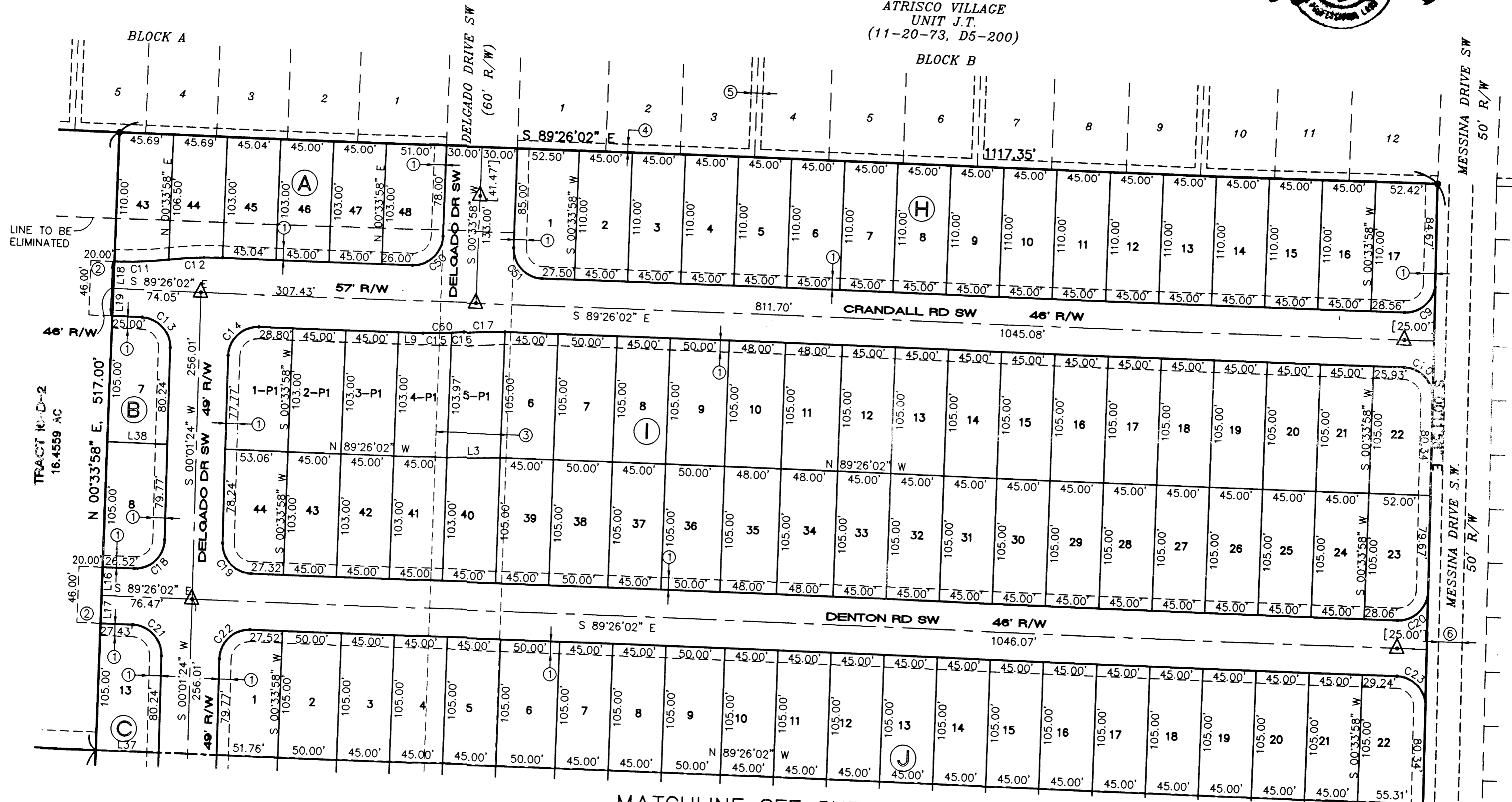
- SET 5/8" REBAR WITH CAP "LS 7719" (TYP)

PLAT FOR EL RANCHO GRANDE UNIT 16

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE 2005



ATRISCO VILLAGE
UNIT J.T.
(11-20-73, D5-200)



MATCHLINE SEE SHEET 4

EASEMENT NOTES

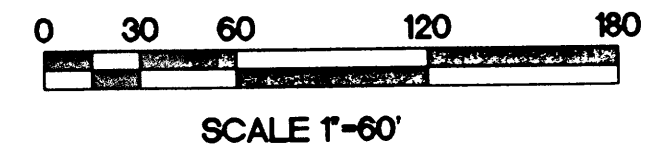
- ① 10' PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT.
- ② EXISTING 46'x20' PUBLIC SANITARY SEWER AND WATERLINE EASEMENT (07-01-05, A99-5029)
- ③ EXISTING 60' RESERVATION FOR FUTURE R/W (07-19-90, 90C-163). VACATED BY APP. NO. 05DRB-00033.
- ④ EXISTING PUBLIC SANITARY SEWER, WATERLINE AND DRAINAGE EASEMENT (07-01-05, A99-5029)
- ⑤ 20' PUBLIC STORM DRAIN EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
- ⑥ 25' PUBLIC DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE AND WATERLINE EASEMENT GRANTED TO THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY BY THIS PLAT.
- ⑦ 30' PUBLIC STORM DRAIN EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE AND WATERLINE EASEMENT GRANTED TO THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY BY THIS PLAT.
- ⑧ 35' PUBLIC WATERLINE AND SANITARY SEWER EASEMENT GRANTED TO THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY BY THIS PLAT.
- ⑨ EXISTING PERMANENT DRAINAGE EASEMENT (07-18-05, A100-2467) AGREEMENTS AND COVENANTS FILED 07-18-05, A100-2465.
- ⑩ EXISTING 20' PUBLIC WATERLINE EASEMENT (02-07-03, BK A50-PG 485)
- ⑪ PUE FOR EXCLUSIVE USE BY QWEST GRANTED BY THIS PLAT.

NOTES:

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- 2. SEE SHEET 5 FOR LOT AREA TABLE.
- 3. DISTANCES SHOWN IN BRACKETS ARE TO CENTERLINE MONUMENTS.

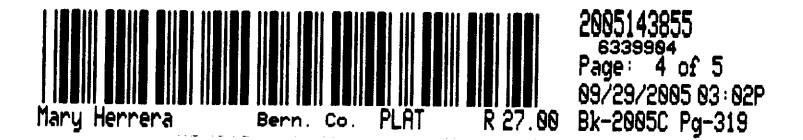
PROPERTY CORNERS

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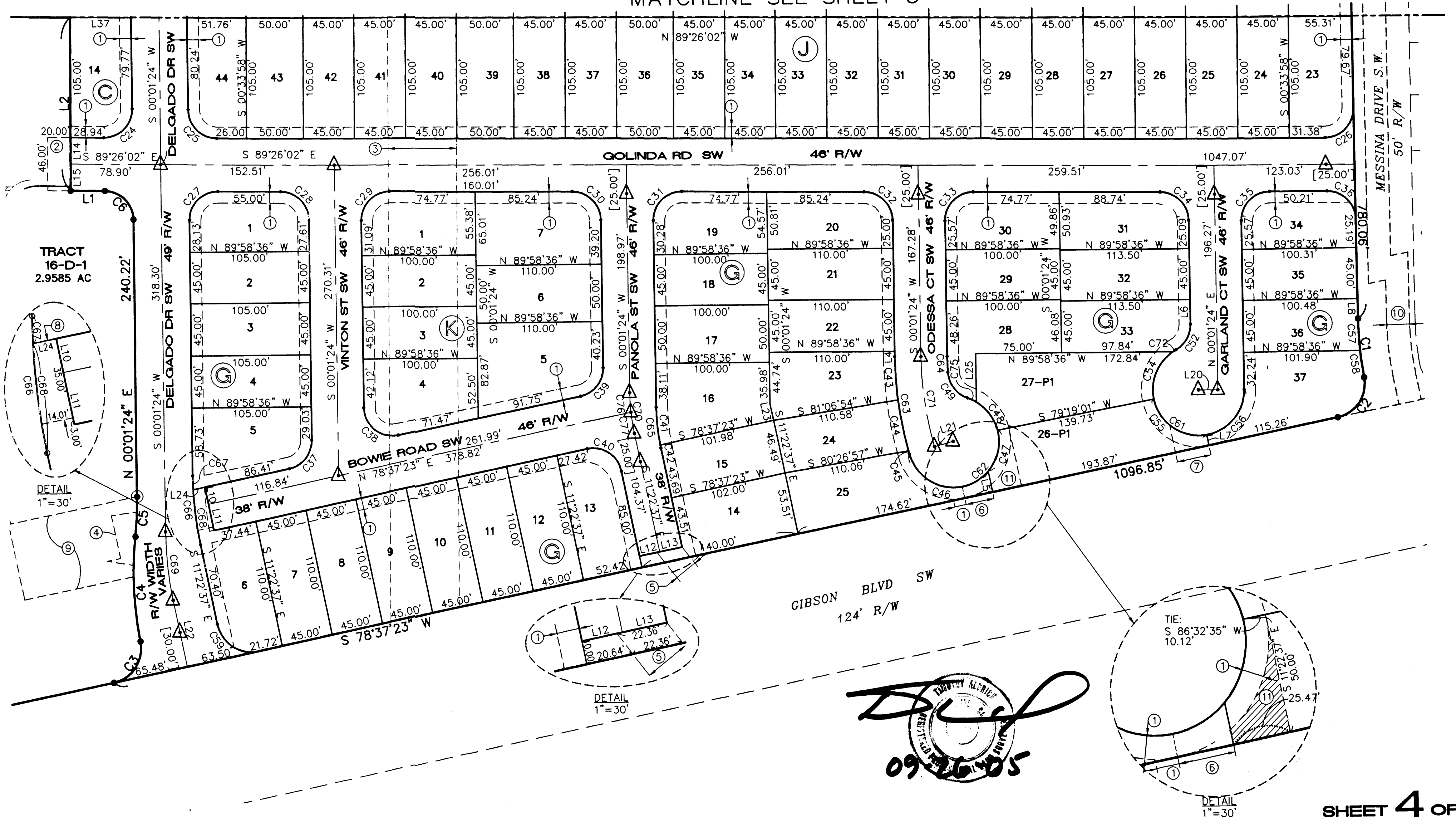


PLAT FOR EL RANCHO GRANDE UNIT 16

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE 2005



MATCHLINE SEE SHEET 3



TRACT 16-D-1
2.9585 AC

DETAIL 1"=30'

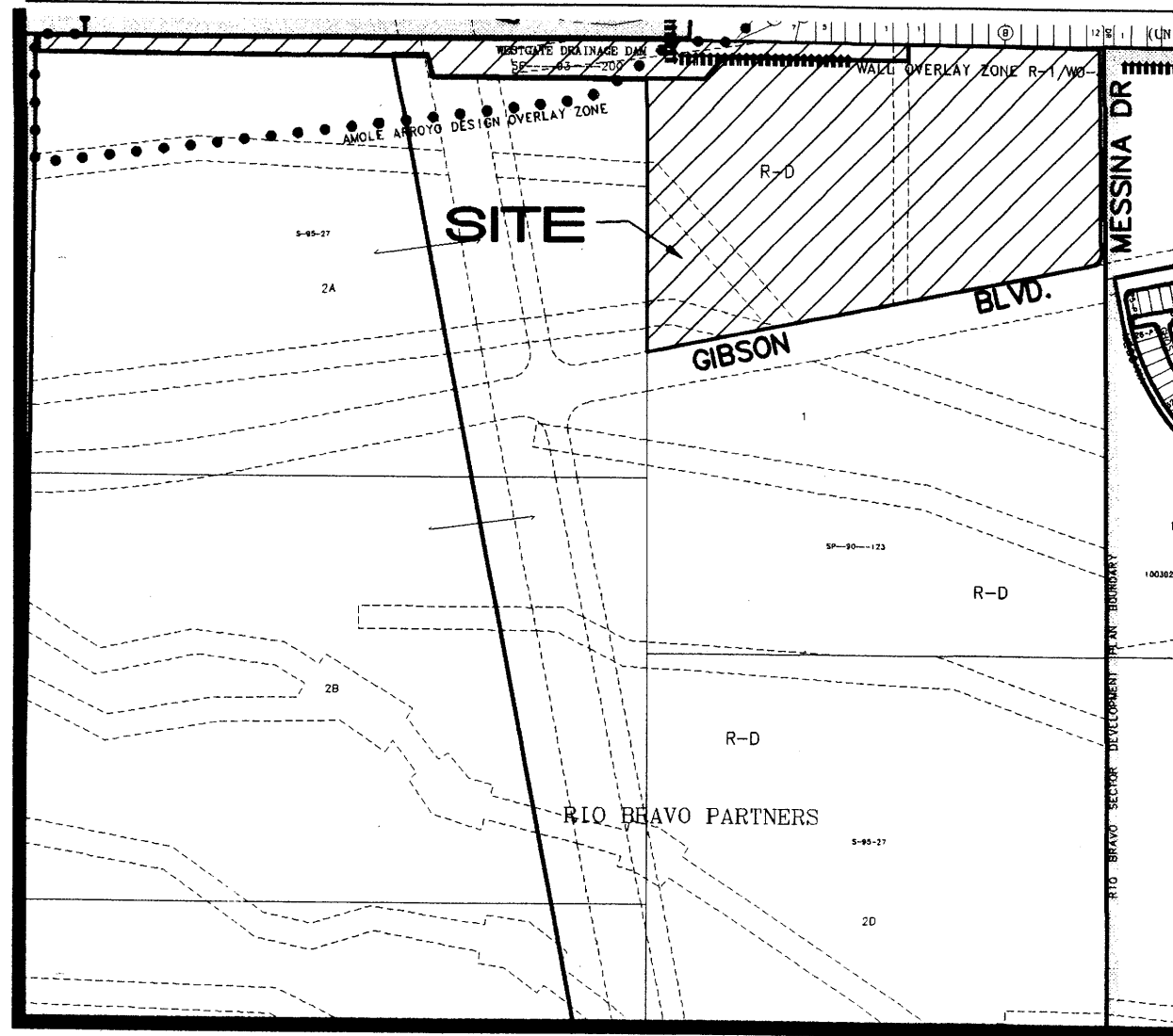
DETAIL 1"=30'

TIE:
S 86°32'35" W
10.12'

DETAIL 1"=30'

[Handwritten Signature]
09-26-05





VICINITY MAP

SUBDIVISION DATA / NOTES

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2. Total Number of Lots created: 159
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 - "LANDS IF GREVEY/LIBERMAN, TRACT 3", (07-17-98, 98C-210)
 all being records of Bernalillo County, New Mexico.
11. Field Survey performed on November, 2003.
12. Title Report: None provided.
13. Unless otherwise noted all points are set 5/8" rebar with cap cap "ALS LS 7719".
14. City Standard Utility Note II: "City of Albuquerque Water and Sanitary Sewer Service to El Rancho Grande, Unit 16 must be verified and coordinated with the Public Works Department, City of Albuquerque."
15. Centerline (in lieu of R/W) monumentation Δ to be installed at all centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard four-inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monumentation", "Survey Marker", "Do Not Disturb", "PLS #7719".
16. ZONING: R-D
17. Unless otherwise noted all points are set 5/8" rebar with cap cap "ALS LS 7719".
18. Total Open Space Requirements are met via a cash payment to the City of Albuquerque per the provisions of Section 14-16-3-8 (A) (2).

PLAT FOR EL RANCHO GRANDE UNIT 16

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

JUNE 2005

PRELIMINARY PLAT APPROVED BY DRB

ON 6/21/05

LEGAL DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Section 5, Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being all of Tracts 16-D, 16-E, and 16-F of the BULK LAND PLAT FOR TRACTS 16-A, 16-B, 16-C, 16-D, 16-E, AND 16-F, EL RANCHO GRANDE, as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on January 31, 2005, in Book 2005C, Page 41, and containing 50.3484 acres more or less.

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The City and AMAFCA (with reference to drainage) may require and/or permit easements to be added, modified, or removed when future plats and/or site development plans are approved. By its approval of this subdivision the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; Parks and Open Space requirements; drainage requirements and/or improvements; and excavation, filling or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

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This "Notice of Subdivision Plat Conditions" was filed in the Office of the County Clerk of Bernalillo County, New Mexico on _____, in Book _____, Page _____

FREE CONSENT AND DEDICATION

The subdivision shown hereon is with the free consent and in accordance with the desires of the undersigned Owner(s) and/or Proprietor(s) thereof and said Owner(s) and/or Proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for overhead and/or buried distribution lines, conduits, and pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said Owner(s) and/or Proprietor(s) do hereby consent to all of the foregoing and said owners warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided, and do hereby certify that this subdivision is their free act and deed.

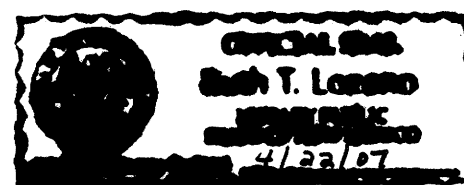
OWNER TRACTS 16-D AND 16-E

CURB INC.

Charles A. Haegelin 6-22-05
CHARLES A. HAEGELIN, PRESIDENT DATE

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)



This instrument was acknowledged before me on June 22 2005, by Charles A. Haegelin, President of Curb Inc., a New Mexico corporation, on behalf of said corporation.

My Commission Expires: 4/22/07

Ruth J. Lopez
Notary Public

APPROVALS

DRB PROJECT NO. 1003874

APPLICATION NO.

Utility Approvals

Leon D. Marks 6-23-05
PNM ELECTRIC SERVICES DATE

Leon D. Marks 6-23-05
PNM GAS SERVICES DATE

QWEST TELECOMMUNICATIONS DATE

Donna Bourbon 7-1-05
COMCAST DATE

Phil B. Hat 6-23-05
CITY SURVEYOR DATE

REAL PROPERTY DIVISION DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

WATER UTILITY DEPARTMENT DATE

PARKS AND RECREATION DEPARTMENT DATE

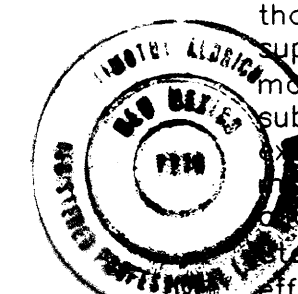
AMAFCA DATE

CITY ENGINEER DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions effective December 25, 1991, February 2, 1994 and October 2000), and is true and correct to the best of my knowledge and belief".



ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

Timothy Aldrich 06-22-05
Timothy Aldrich, P.S. No. 7719 Date

PLAT FOR EL RANCHO GRANDE UNIT 16

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE 2005

BENCHMARK:
ACS MONUMENT
"TRANS"
Y=1471822.67
X=354899.45
G-G=0.99967921
Δα=-00'16'42"
CENTRAL ZONE
ELEVATION=5118.370
NAD 1927/SLD 1929



0 50 100 200 300
SCALE 1"=200'

NOTES:

- SEE SHEET 5 FOR LINE AND CURVE TABLES.

PROPERTY CORNERS

- SET 5/8" REBAR WITH CAP "LS 7719" (TYP)
- FOUND 5/8" REBAR WITH CAP "LS 7719" (TYP)
- FOUND 5/8" REBAR WITH CAP "LS 7924" (TYP)
- FOUND BRASS CAP "WST-2"
- ☒ FOUND 5/8" REBAR WITH CAP "LS 7429" (TYP)

FREE CONSENT AND DEDICATION

The subdivision shown hereon is with the free consent and in accordance with the desires of the undersigned Owner(s) and/or Proprietor(s) thereof and said Owner(s) and/or Proprietor(s) do hereby consent to the creating of TRACT 16-F-1 as shown hereon. Said Owner(s) and/or Proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed.

OWNER TRACT 16-F

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY (AMAFCA)

John P. Kelly
JOHN P. KELLY, EXECUTIVE ENGINEER DATE 6-22-05

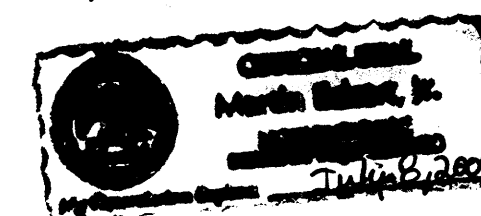
ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

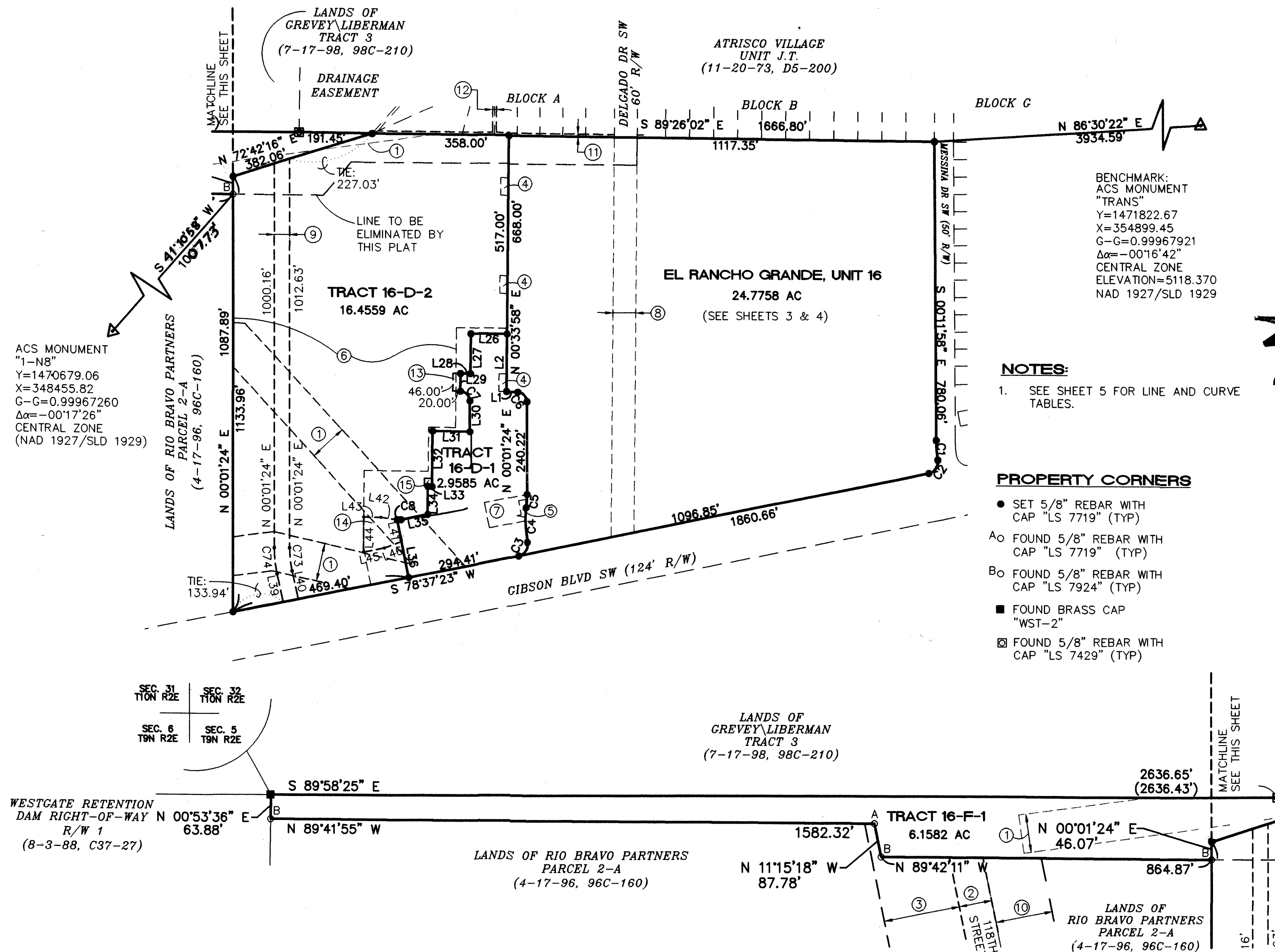
This instrument was acknowledged before me on June 22, 2005, by John P. Kelly, as Executive Engineer of AMAFCA.

My Commission Expires: July 8, 2008

Martin S. Kest, Jr.
Notary Public



SHEET 2 OF 5



EASEMENT NOTES

- | | | | |
|---|---|---|---|
| ① EXISTING 100' AMAFCA DRAINAGE EASEMENT (07-19-90, 90C-163) VACATED BY APP. NO. 05DRB-00894 EASEMENT QUITCLAIMED BY AMAFCA (6-17-05, A98-6090) | ⑤ EXISTING PUBLIC SANITARY SEWER, WATERLINE AND DRAINAGE EASEMENT (_____) | ⑨ 40' TEMPORARY ACCESS EASEMENT GRANTED TO AMAFCA BY THIS PLAT. THIS EASEMENT SHALL BE TERMINATED UPON DEDICATION OF PUBLIC RIGHT-OF-WAY BY FUTURE PLAT ACTION. | ⑬ 20'x46' PUBLIC WATERLINE AND SANITARY SEWER EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT. THIS EASEMENT SHALL BE TERMINATED UPON DEDICATION OF PUBLIC RIGHT-OF-WAY BY FUTURE PLAT ACTION. |
| ② EXISTING 86' PUBLIC ROADWAY EASEMENT (04-17-96, 96C-160) | ⑥ EXISTING TEMPORARY DRAINAGE EASEMENT (AGREEMENTS AND COVENANTS FILED _____) | ⑩ EXISTING 150' AMAFCA DRAINAGE EASEMENT (04-17-96, 96C-160) | ⑭ TEMPORARY PUBLIC ROADWAY AND SANITARY SEWER EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT. THIS EASEMENT SHALL BE TERMINATED UPON DEDICATION OF PUBLIC RIGHT-OF-WAY BY FUTURE PLAT ACTION. |
| ③ EXISTING 200' POWER LINE EASEMENT U.S.B.R. (02-05-52, D197-567) | ⑦ EXISTING TEMPORARY DRAINAGE EASEMENT (AGREEMENTS AND COVENANTS FILED _____) | ⑪ EXISTING 7' UTILITY EASEMENT (11-20-73, D5-200) | ⑮ 20'x20' PUBLIC SANITARY SEWER EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT. THIS EASEMENT SHALL BE TERMINATED UPON DEDICATION OF PUBLIC RIGHT-OF-WAY BY FUTURE PLAT ACTION. |
| ④ EXISTING PUBLIC 46'x20' SANITARY SEWER AND WATERLINE EASEMENT (_____) | ⑧ EXISTING 60' RESERVATION FOR FUTURE R/W (07-19-90, 90C-163). VACATED BY APP. NO. 05DRB-00033. | ⑫ EXISTING 10' UTILITY EASEMENT (TYP.) (11-20-73, D5-200) | |

EASEMENT NOTES

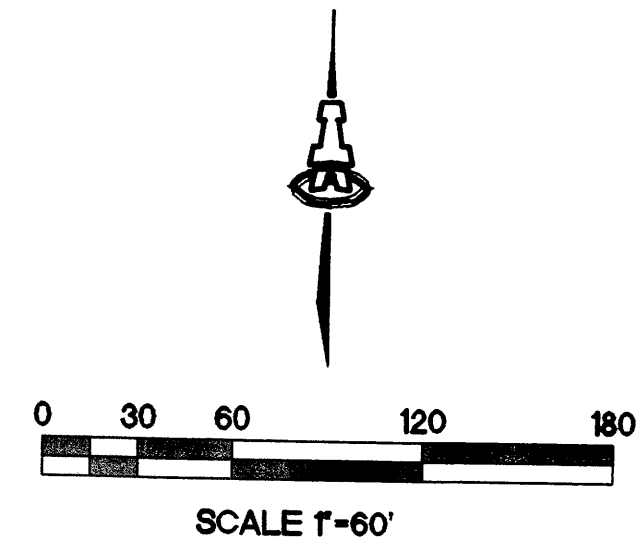
- ① 10' PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT.
- ② EXISTING 46'x20' SANITARY SEWER AND WATERLINE EASEMENT
- ③ EXISTING 60' RESERVATION FOR FUTURE R/W (07-19-90, 90C-163). VACATED BY APP. NO. 05DRB-00033.
- ④ EXISTING 7' UTILITY EASEMENT (11-20-73, D5-200)
- ⑤ EXISTING 10' UTILITY EASEMENT (TYP.) (11-20-73, D5-200)
- ⑥ EXISTING 20' PUBLIC WATERLINE EASEMENT (02-07-03, BK A50-PG 485)

NOTES:

- 1. SEE SHEET 5 FOR LINE AND CURVE TABLES.
- 2. SEE SHEET 5 FOR LOT AREA TABLE.
- 3. DISTANCES SHOWN IN BRACKETS ARE TO CENTERLINE MONUMENTS.

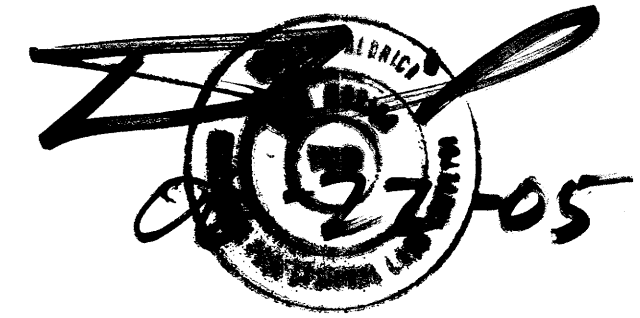
PROPERTY CORNERS

- SET 5/8" REBAR WITH CAP "LS 7719" (TYP)

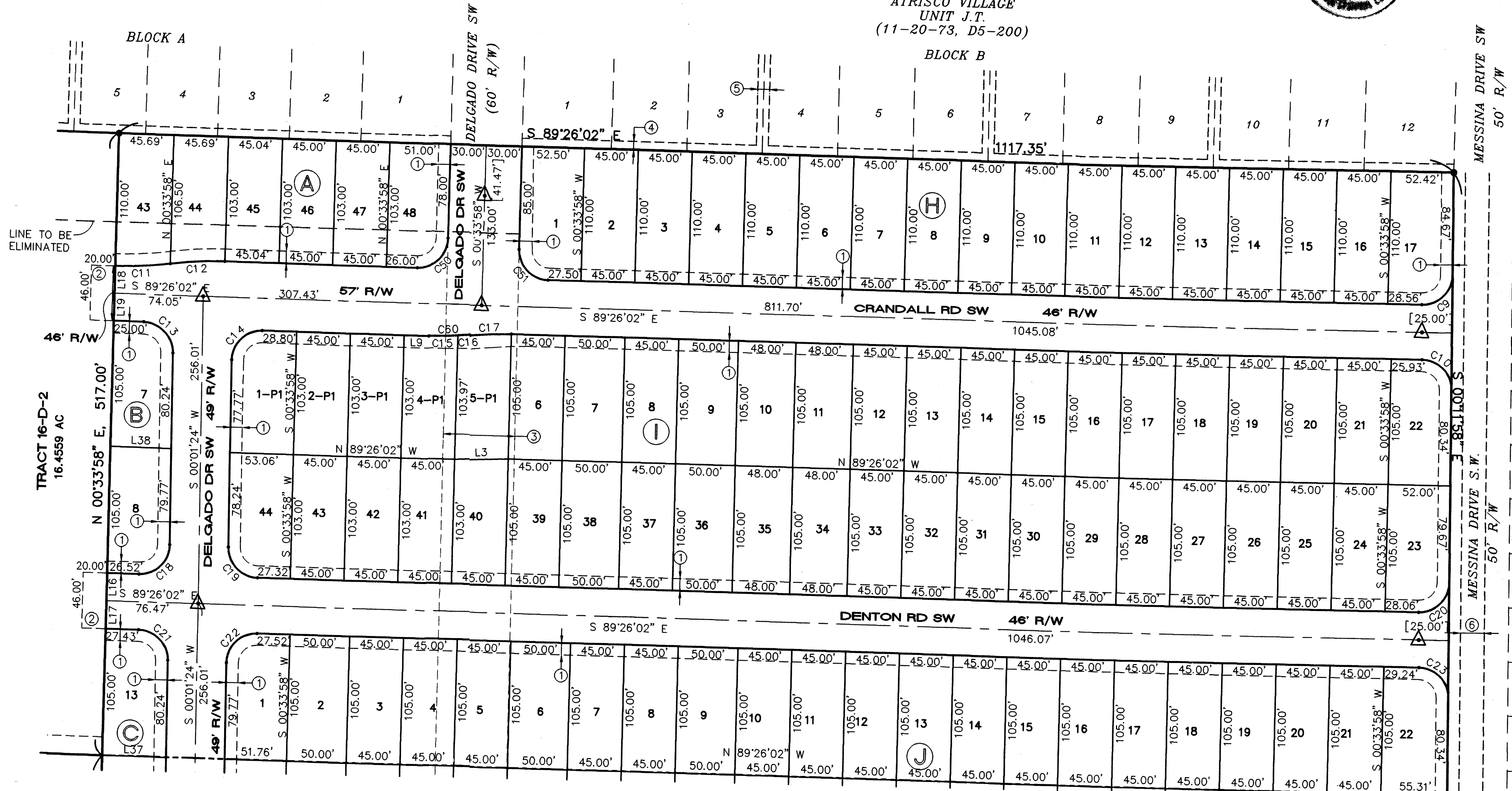


PLAT FOR EL RANCHO GRANDE UNIT 16

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE 2005



ATRISCO VILLAGE
UNIT J.T.
(11-20-73, D5-200)



MATCHLINE SEE SHEET 4

EASEMENT NOTES

- ① 10' PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT.
- ② EXISTING 46'x20' PUBLIC SANITARY SEWER AND WATERLINE EASEMENT (-----)
- ③ EXISTING 60' RESERVATION FOR FUTURE R/W (07-19-90, 90C-163). VACATED BY APP. NO. 05DRB-00033.
- ④ EXISTING PUBLIC SANITARY SEWER, WATERLINE AND DRAINAGE EASEMENT (-----)
- ⑤ 20' PUBLIC STORM DRAIN EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
- ⑥ 25' PUBLIC DRAINAGE AND WATERLINE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
- ⑦ 30' PUBLIC STORM DRAIN AND WATERLINE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
- ⑧ 35' PUBLIC WATERLINE AND SANITARY SEWER EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
- ⑨ EXISTING TEMPORARY DRAINAGE EASEMENT (-----) AGREEMENTS AND COVENANTS FILED
- ⑩ EXISTING 20' PUBLIC WATERLINE EASEMENT (02-07-03, BK A50-PG 485)
- ⑪ PUE FOR EXCLUSIVE USE BY QWEST GRANTED BY THIS PLAT.

NOTES:

- 1. SEE SHEET 5 FOR LINE AND CURVE TABLES.
- 2. SEE SHEET 5 FOR LOT AREA TABLE.
- 3. DISTANCES SHOWN IN BRACKETS ARE TO CENTERLINE MONUMENTS.

PROPERTY CORNERS

- SET 5/8" REBAR WITH CAP "LS 7719" (TYP)



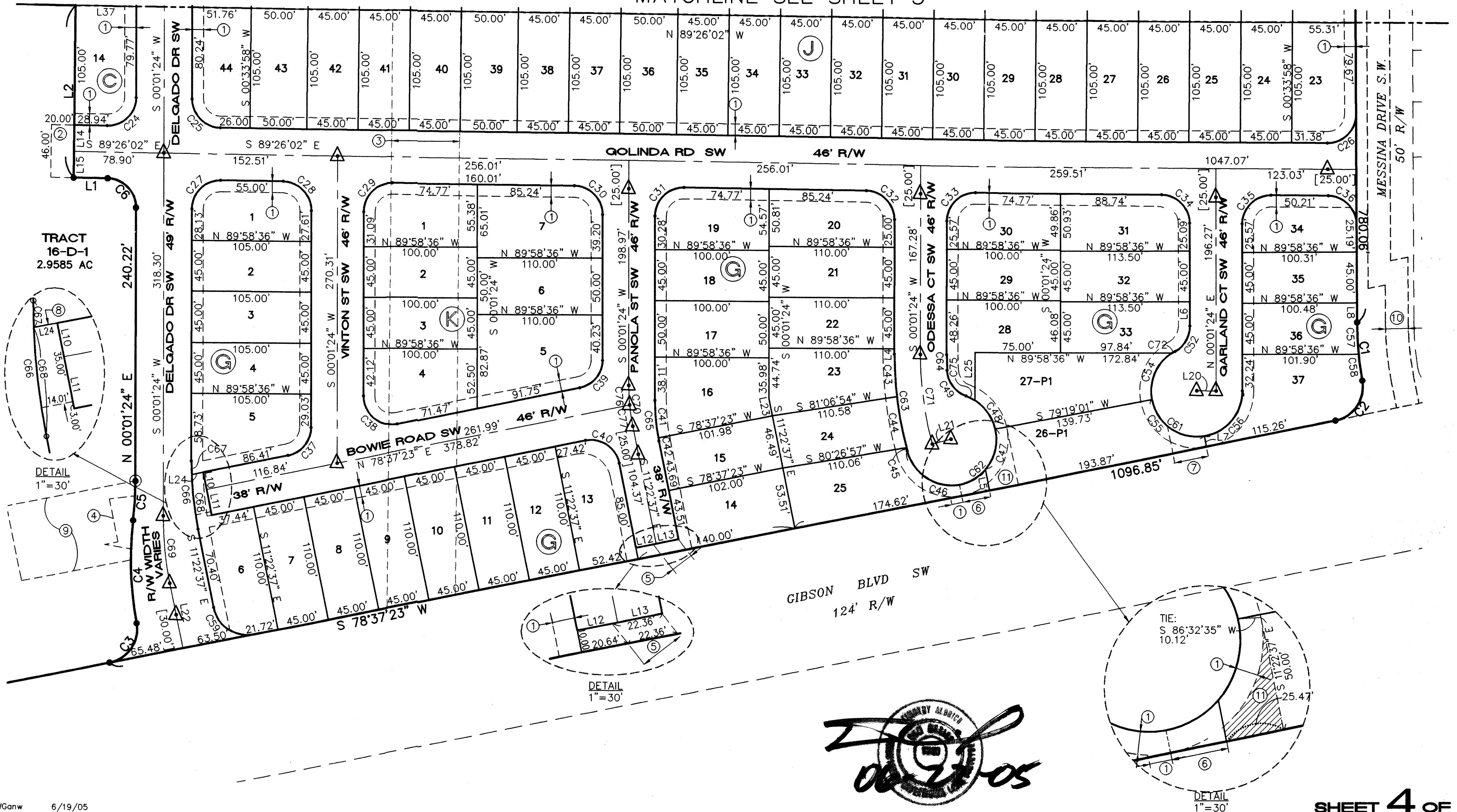
SCALE 1"=60'



PLAT FOR EL RANCHO GRANDE UNIT 16

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE 2005

MATCHLINE SEE SHEET 3



**PLAT
FOR
EL RANCHO GRANDE
UNIT 16**

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE 2005

CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	300.00	51.54	25.83	51.48	S 05°00'59" E	9°50'38"
C2	30.00	46.37	29.26	41.89	N 34°20'33" E	88°33'40"
C3	30.00	46.78	29.66	42.18	N 33°57'07" E	89°20'31"
C4	300.00	90.79	45.75	90.45	S 02°02'56" E	17°20'25"
C5	300.00	34.55	17.29	34.53	N 03°19'20" E	6°35'52"
C6	25.00	39.03	24.76	35.19	N 44°42'19" W	89°27'26"
C7	25.00	39.03	24.76	35.19	N 44°42'19" W	89°27'26"
C8	25.00	10.12	5.13	10.05	S 89°46'58" E	2°31'18"
C9	25.00	39.60	25.34	35.59	N 45°11'00" E	90°45'56"
C10	25.00	38.94	24.67	35.12	N 44°49'00" W	89°14'04"
C11	300.00	45.87	22.98	45.83	N 86°11'09" E	8°45'38"
C12	300.00	45.87	22.98	45.83	S 86°11'09" W	8°45'38"
C13	25.00	39.03	24.76	35.19	N 44°42'19" W	89°27'26"
C14	25.00	39.51	25.24	35.52	S 45°17'41" W	90°32'34"
C15	300.00	24.19	12.10	24.19	N 88°15'21" E	4°37'14"
C16	300.00	10.47	5.23	10.47	N 84°56'46" E	1°59'57"
C17	300.00	34.66	17.35	34.64	S 87°15'23" W	6°37'11"
C18	25.00	39.51	25.24	35.52	N 45°17'41" E	90°32'34"
C19	25.00	39.03	24.76	35.19	S 44°42'19" E	89°27'26"
C20	25.00	39.60	25.34	35.59	N 45°11'00" E	90°45'56"
C21	25.00	39.03	24.76	35.19	N 44°42'19" W	89°27'26"
C22	25.00	39.51	25.24	35.52	S 45°17'41" W	90°32'34"
C23	25.00	38.94	24.67	35.12	N 44°49'00" W	89°14'04"
C24	25.00	39.51	25.24	35.52	N 45°17'41" E	90°32'34"
C25	25.00	39.03	24.76	35.19	S 44°42'19" E	89°27'26"
C26	25.00	39.60	25.34	35.59	N 45°11'00" E	90°45'56"
C27	25.00	39.51	25.24	35.52	S 45°17'41" W	90°32'34"
C28	25.00	39.03	24.76	35.19	N 44°42'19" W	89°27'26"
C29	25.00	39.51	25.24	35.52	S 45°17'41" W	90°32'34"
C30	25.00	39.03	24.76	35.19	N 44°42'19" W	89°27'26"
C31	25.00	39.51	25.24	35.52	S 45°17'41" W	90°32'34"
C32	25.00	39.03	24.76	35.19	N 44°42'19" W	89°27'26"
C33	25.00	39.51	25.24	35.52	S 45°17'41" W	90°32'34"
C34	25.00	39.03	24.76	35.19	N 44°42'19" W	89°27'26"
C35	25.00	39.51	25.24	35.52	S 45°17'41" W	90°32'34"
C36	25.00	38.94	24.67	35.12	N 44°49'00" W	89°14'04"
C37	25.00	34.30	20.46	31.67	N 39°19'23" E	78°35'59"
C38	25.00	44.24	30.54	38.69	S 50°40'37" E	101°24'01"
C39	25.00	34.30	20.46	31.67	N 39°19'23" E	78°35'59"
C40	25.00	39.27	25.00	35.36	N 56°22'37" W	90°00'00"
C41	180.00	33.02	16.55	32.97	S 05°13'53" E	10°30'34"
C42	180.00	2.80	1.40	2.80	S 10°55'54" E	0°53'27"
C43	320.00	41.03	20.55	41.01	S 03°39'01" E	7°20'50"
C44	320.00	41.98	21.02	41.95	S 11°04'55" E	7°30'58"
C45	320.00	2.77	1.38	2.77	S 15°05'16" E	0°29'44"
C46	40.00	55.97	33.66	51.51	S 55°25'13" E	80°10'10"
C47	40.00	37.83	20.46	36.43	N 13°42'57" E	54°10'55"
C48	40.00	31.37	16.54	30.57	N 35°50'30" W	44°56'00"
C49	25.00	29.63	16.83	27.93	S 36°52'06" E	67°54'30"
C50	25.00	39.27	25.00	35.36	N 45°33'58" E	90°00'00"
C51	25.00	39.27	25.00	35.36	S 44°26'02" E	90°00'00"
C52	25.00	26.84	14.88	25.57	N 30°46'51" E	61°30'55"
C54	40.00	47.48	26.98	44.74	S 23°14'08" W	68°00'01"
C55	40.00	61.96	39.13	55.95	S 55°08'25" E	88°44'45"
C56	40.00	56.17	33.84	51.67	N 40°15'16" E	80°27'44"
C57	300.00	27.90	13.96	27.89	S 02°45'30" E	5°19'41"
C58	300.00	23.64	11.83	23.64	S 07°40'49" E	4°30'57"
C59	30.00	47.12	30.00	42.43	S 56°22'37" E	90°00'00"
C60	300.00	34.66	17.35	34.64	N 87°15'23" E	6°37'11"
C61	40.00	168.61	67.21	68.75	S 59°13'09" E	241°30'55"
C62	40.00	164.40	76.05	70.80	N 46°55'15" E	235°29'13"
C63	320.00	85.78	43.15	85.52	S 07°39'22" E	15°21'32"
C64	274.00	14.05	7.03	14.05	S 01°26'44" E	2°56'15"
C65	180.00	35.82	17.97	35.76	S 05°40'37" E	11°24'01"
C66	300.00	59.69	29.94	59.59	S 05°40'37" E	11°24'01"
C67	300.00	11.89	5.95	11.89	S 01°06'44" E	2°16'16"
C68	300.00	47.80	23.95	47.75	S 06°48'45" E	9°07'45"
C69	300.00	59.69	29.94	59.59	S 05°40'37" E	11°24'01"
C70	180.00	35.82	17.97	35.76	S 05°40'37" E	11°24'01"
C71	297.00	79.61	40.05	79.38	S 07°39'22" E	15°21'32"
C72	40.00	3.00	1.50	3.00	S 59°23'17" W	4°18'04"
C73	280.00	60.38	30.31	60.26	S 06°09'15" E	12°21'17"
C74	320.00	69.00	34.64	68.87	S 06°09'15" E	12°21'17"
C75	40.00	8.74	4.39	8.72	N 64°33'56" W	12°30'51"
C76	180.00	17.16	8.58	17.15	S 02°42'26" E	5°27'40"
C77	180.00	18.66	9.34	18.65	S 08°24'27" E	5°56'21"

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 89°26'02" W	29.85
L2	N 00°33'58" E	151.00
L3	S 88°01'17" W	45.04
L4	S 00°01'24" W	4.73
L5	N 11°22'37" W	18.40
L6	S 00°01'24" W	21.02
L7	S 11°22'37" E	9.30
L8	S 00°11'58" E	17.15
L9	S 89°26'02" E	20.83
L10	S 11°22'37" E	15.00
L11	S 11°22'37" E	23.00
L12	N 78°37'23" E	18.00
L13	N 78°37'23" E	22.00
L14	N 00°33'58" E	23.00
L15	S 00°33'58" W	23.00
L16	N 00°33'58" E	23.00
L17	N 00°33'58" E	23.00
L18	N 00°33'58" E	23.00
L19	N 00°33'58" E	23.00
L20	N 89°58'36" W	17.00
L21	N 74°39'52" E	17.00
L22	S 11°22'37" E	58.21
L23	S 11°22'37" E	15.11
L24	N 78°37'23" E	10.47
L25	S 00°01'24" W	42.30
L26	N 89°26'02" W	95.00
L27	S 00°33'58" W	105.00
L28	N 89°26'02" W	26.15
L29	S 00°33'58" W	46.00
L30	S 00°01'24" W	80.24
L31	N 89°26'02" W	97.52
L32	S 00°33'58" W	143.00
L33	N 89°26'02" W	11.13
L34	S 00°01'24" W	73.40
L35	S 78°37'23" W	71.47
L36	S 11°22'37" E	153.02
L37	S 89°26'02" E	53.19
L38	S 89°26'02" E	50.76
L39	S 12°19'54" E	74.92
L40	S 12°19'54" E	74.92
L41	S 11°22'37" E	58.02
L42	N 82°27'07" W	42.44
L43	N 89°26'02" W	45.56
L44	N 00°33'58" E	90.66
L45	S 78°37'23" W	56.49
L46	S 69°34'02" W	47.58

LOT AREA TABLE									
LOT	AREA (SF)	LOT	AREA (SF)	LOT	AREA (SF)	LOT	AREA (SF)	LOT	AREA (SF)
A43	4973	G26	8196	I7	5250	J42	4635	J33	4725
A44	4759	G27	8499	I8	4725	J43	4635	J34	4725
A45	4640	G28	5469	I9	5250	J44	5284	J35	4725
A46	4635	G29	4500	I10	5040	J1	5350	J36	5250
A47	4635	G30	4896	I11	5040	J2	5250	J37	4725
A48	5119	G31	5589	I12	4725	J3	4725	J38	4725
B7	5146	G32	5108	I13	4725	J4	4725	J39	5250
B8	5245	G33	5003	I14	4725	J5	4725	J40	4725
C13	5401	G34	4776	I15	4725	J6	5250	J41	4725
C14	5500	G35	4518	I16	4725	J7	4725	J42	4725
G1	5283	G36	4537	I17	4725	J8	4725	J43	5250
G2	4725	G37	7081	I18	4725	J9	5250	J44	5251
G3	4725	H1	5641	I19	4725	J10	4725	K1	5448
G4	4725	H2	4950	I20	4725	J11	4725	K2	4500
G5	6224	H3	4950	I21	4725	J12	4725	K3	4500
G6	5978	H4	4950	I22	5256	J13	4725	K4	6047
G7	4950	H5	4950	I23	5395	J14	4725	K5	7813
G8	4950	H6	4950	I24	4725	J15	4725	K6	5500
G9	4950	H7	4950	I25	4725	J16	4725	K7	6962
G10	4950	H8	4950	I26	4725	J17	4725		
G11	4950	H9	4950	I27	4725	J18	4725		
G12	4950	H10	4950	I28	4725	J19	4725		
G13	5632	H11	4950	I29	4725	J20	4725		
G14	5838	H12	4950	I30	4725	J21	4725		
G15	4742	H13	4950	I31	4725	J22	5604		
G16	6136	H14	4950	I32	4725	J23	5743		
G17	5000	H15	4950	I33	4725	J24	4725		
G18	4500	H16	4950	I34	5040	J25	4725		
G19	5367	H17	5709	I35	5040	J26	4725		
G20	5400	I1	5378	I36	5250	J27	4725		
G21	4950	I2	4635	I37	4725	J28	4725		
G22	4950	I3	4635	I38	5250	J29	4725		
G23	5659	I4	4643	I39	4725	J30	4725		
G24	5031	I5	4720	I40	4680	J31	4725		
G25	6752	I6	4725	I41	4635	J32	4725		

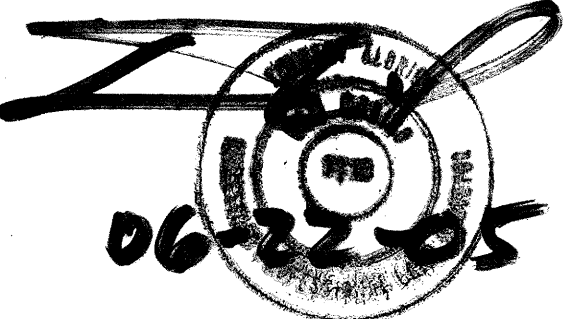
PUBLIC UTILITY EASEMENTS

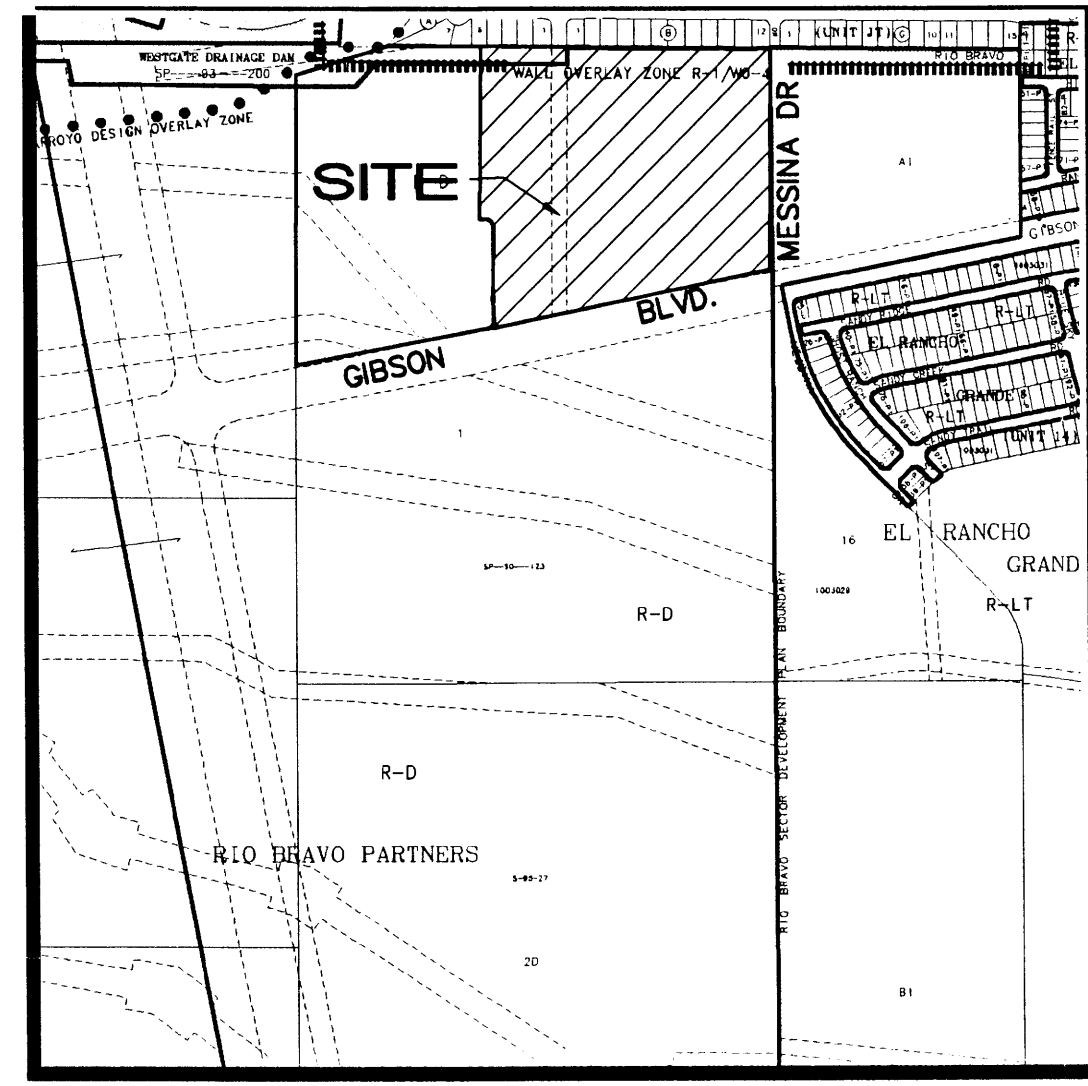
PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. THE PUBLIC SERVICE CO. OF NM--ELECTRIC SERVICES DIVISION FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF UNDERGROUND/OVERHEAD ELECTRICAL LINES, COMMUNICATION LINES, TRANSFORMERS, AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES, AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
3. COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
4. THE PUBLIC SERVICE CO. OF NM--GAS SERVICES DIVISION FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH DISTRIBUTION AND SERVICE LINES AND FACILITIES REASONABLY NECESSARY TO PROVIDE GAS SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS, OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHEAR DOORS AND FIVE FEET (5') ON EACH SIDE.





VICINITY MAP

LANDS OF GREVEY/LIBERMAN
TRACT 3
(07-17-98, 98C-210)

DRAINAGE
EASEMENT

BLOCK A

ATRISCO VILLAGE
UNIT J.T.
(11-20-73, D5-200)
BLOCK B

TRACT 16-D
EL RANCHO GRANDE

LANDS OF RIO BRAVO PARTNERS
PARCEL 2-A
(4-17-96, 96C-160)

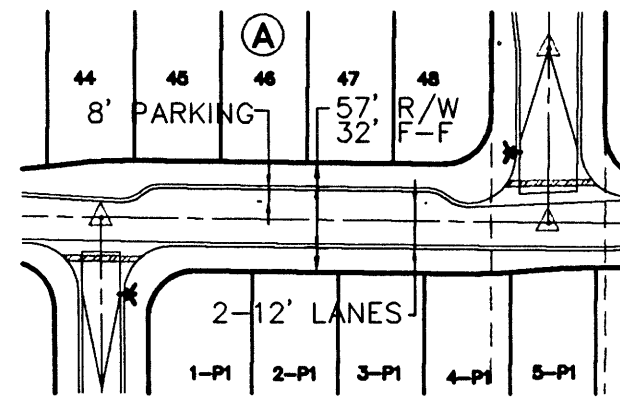
NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD LENGTH
C1	09°50'38"	S 05°00'59" E	25.83	300.00	51.54	51.48
C2	88°33'40"	S 34°20'33" W	29.26	30.00	46.37	41.89
C3	89°20'31"	N 33°57'07" E	29.66	30.00	46.78	42.18
C4	17°20'25"	S 02°02'56" E	45.75	300.00	90.79	90.45
C5	06°35'52"	N 03°19'20" E	17.29	300.00	34.55	34.53
C6	89°27'26"	N 44°42'19" W	24.76	25.00	39.03	35.19

NUMBER	DIRECTION	DISTANCE
L1	N 89°26'02" W	29.85'

P1-DESIGNATED LOTS

LOTS 1-5, BLOCK I AND LOTS 26 & 27, BLOCK G SHALL BE DESIGNATED AS P1, WITH NO ON-STREET PARKING.

THERE SHALL BE A NO-PARKING SIGN INSTALLED ALONG THE STREET FRONTAGE OF LOTS 1-5, BLOCK I, ALONG WITH AN 8-FOOT WIDE PARKING POCKET ON THE NORTH SIDE ALONG THE FRONTAGE OF LOTS 45-48, BLOCK A. SEE THE DETAIL TO THE RIGHT.

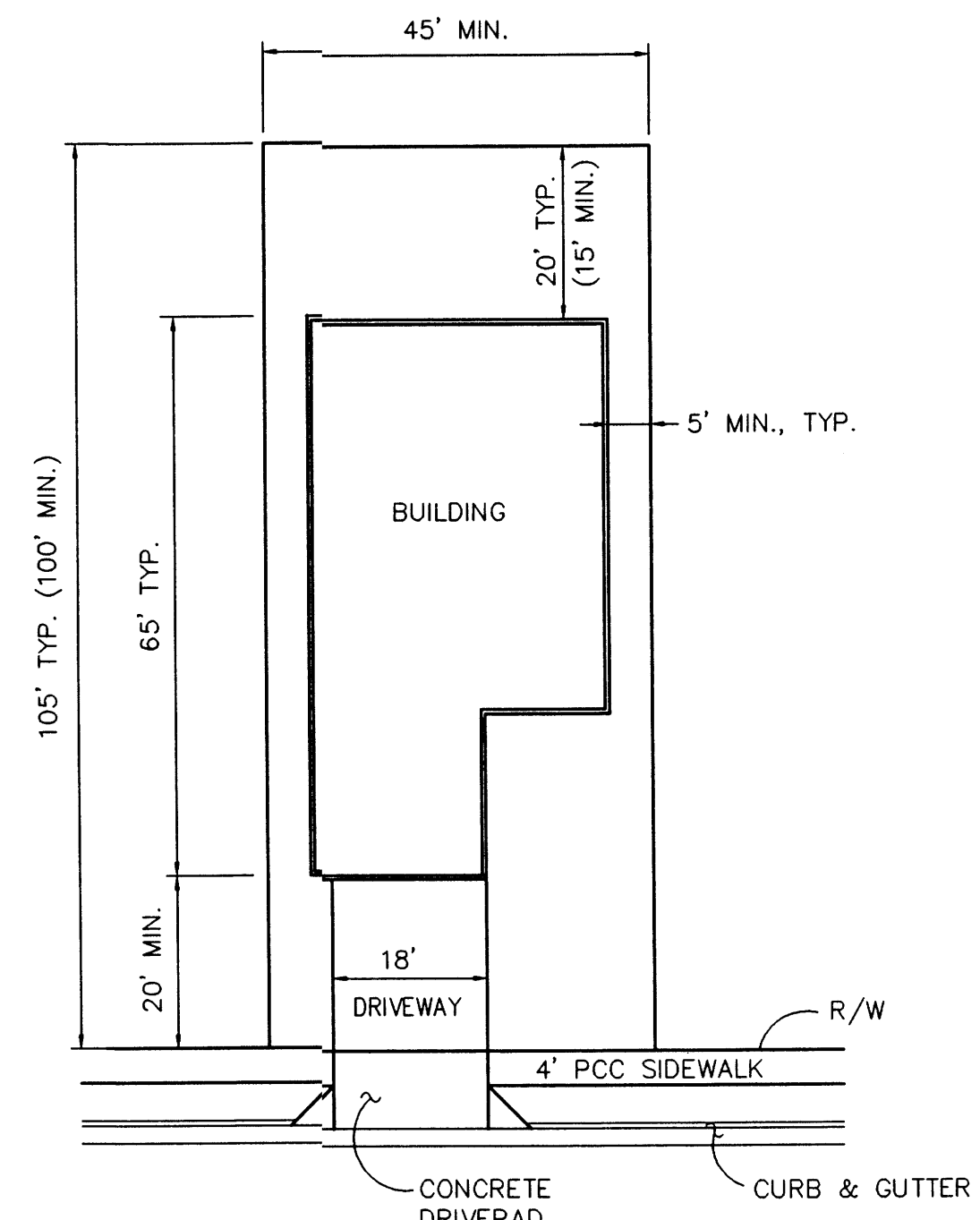


SITE DATA

- TOTAL LAND AREA = 24.7758 ACRES.
- NUMBER OF EXISTING TRACTS IS 1.
- NUMBER OF PROPOSED RESIDENTIAL LOTS IS 159.
- CURRENT ZONING: R-D.
- ALL STREETS WILL MEET CITY STANDARDS AND WILL BE PUBLIC BY PLAT DEDICATION AND BE MAINTAINED BY THE CITY OF ALBUQUERQUE. NO LOT SHALL HAVE DIRECT ACCESS TO GIBSON BLVD OR MESSINA DR SW.
- ALL STREETS HAVE RIGHT-OF-WAY AND PAVING WIDTHS PER DPM STANDARDS.
- CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICES TO THIS DEVELOPMENT MUST BE VERIFIED AND COORDINATED WITH THE WATER UTILITY DEPARTMENT, CITY OF ALBUQUERQUE. IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER AND HOME OWNER'S ASSOCIATION.

BUILDING NOTES:

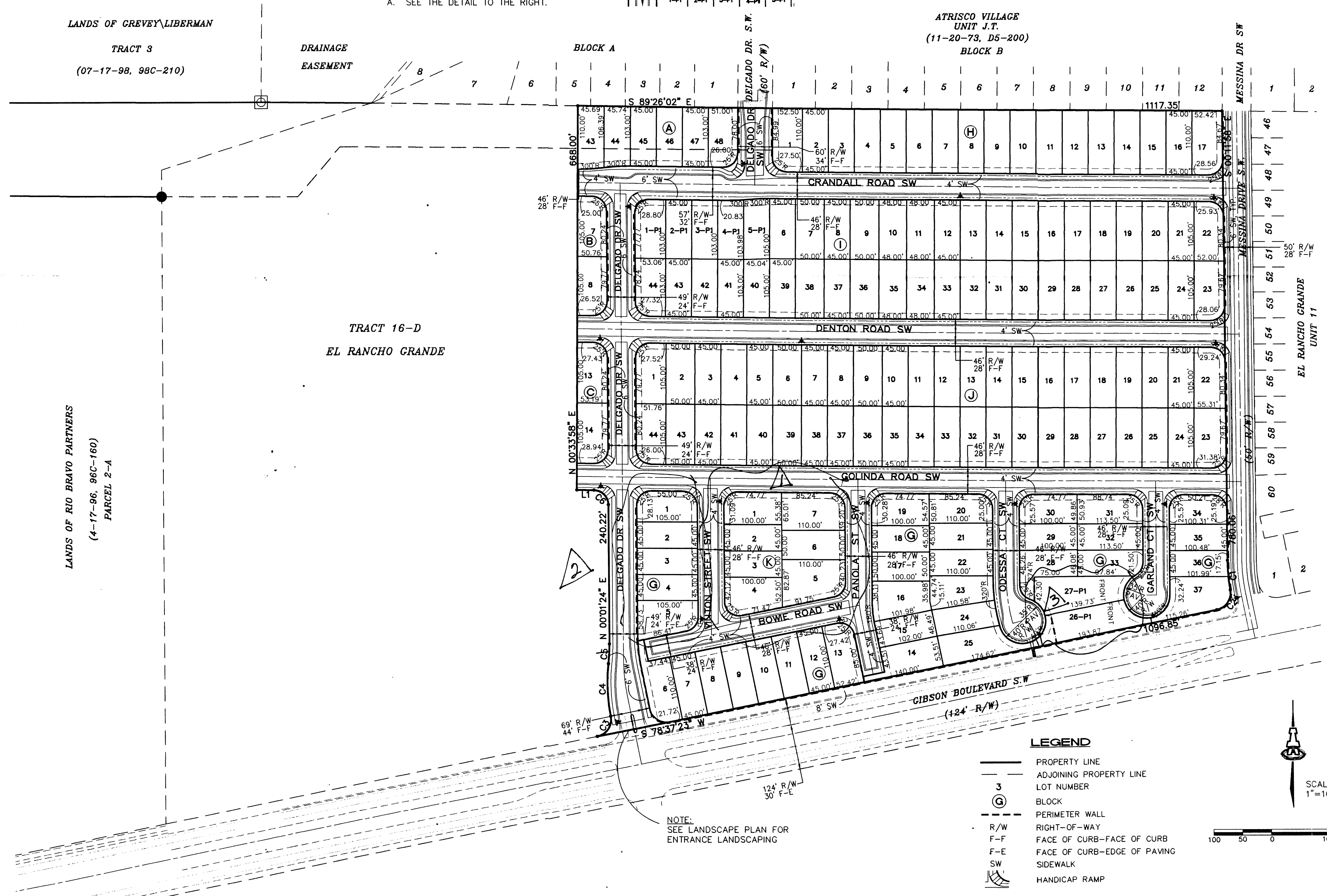
- BUILDING SQUARE FOOTAGE: MIN=1000 sq. ft. MAX=3500 sq. ft.
- BUILDING HEIGHT: MAX=19'-SINGLE STORY, MAX=26'-TWO STORY.
- COLOR OF GARAGE DOOR SHALL MATCH COLOR OF HOUSE.



TYPICAL LOT PLAN

NOTE: SEE LANDSCAPE PLAN FOR TYPICAL FRONT YARD LANDSCAPING

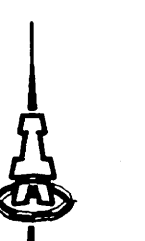
MINIMUM LOT SIZE: 45'x100' (4500 sf.)



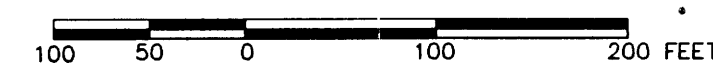
NOTE: SEE LANDSCAPE PLAN FOR ENTRANCE LANDSCAPING

LEGEND

- PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- LOT NUMBER
- ⊙ BLOCK
- PERIMETER WALL
- - - RIGHT-OF-WAY
- F-F FACE OF CURB-FACE OF CURB
- F-E FACE OF CURB-EDGE OF PAVING
- SW SIDEWALK
- HANDICAP RAMP



SCALE: 1"=100'

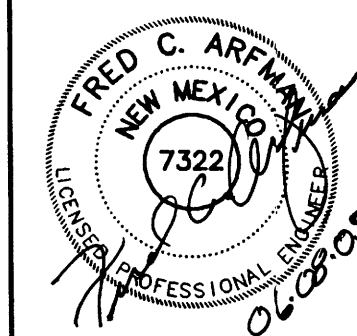


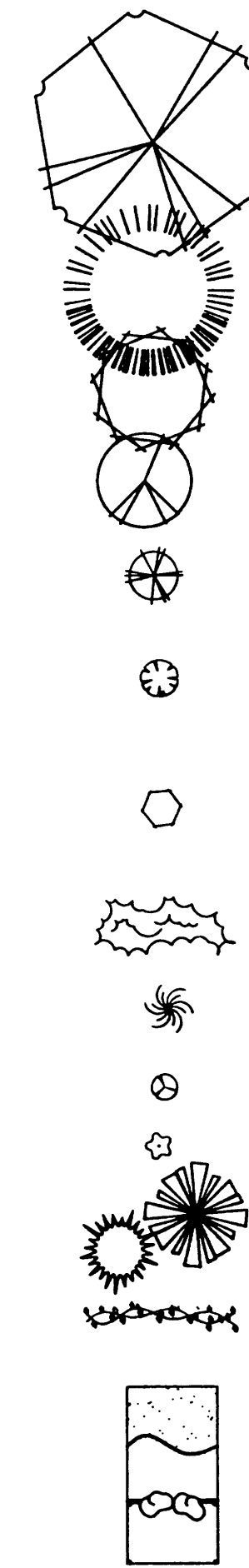
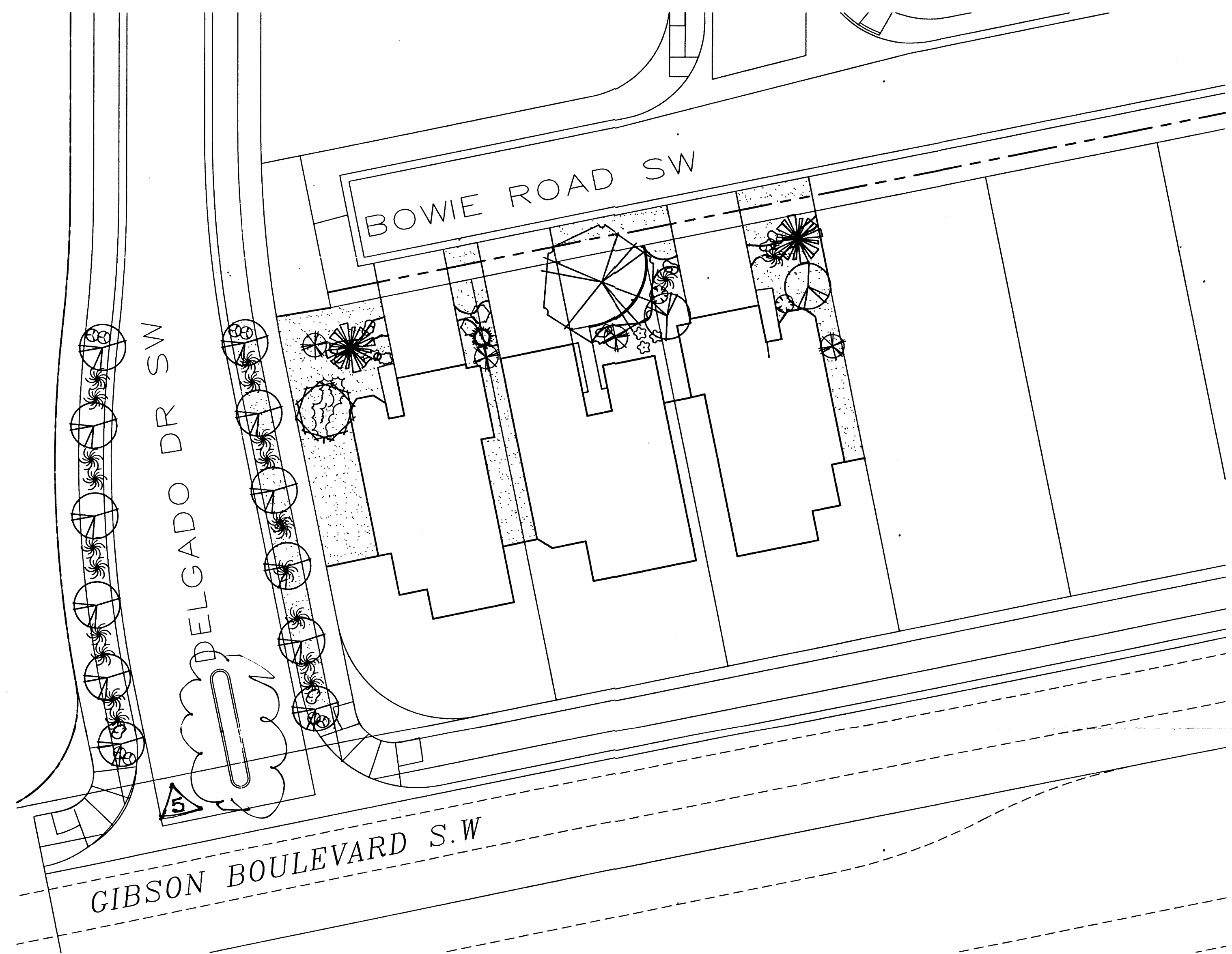
PROJECT NUMBER:	1003874
APPLICATION NUMBER:	05DRB-00126
DRB SITE DEVELOPMENT PLAN APPROVAL:	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
* ENVIRONMENTAL DEPARTMENT (conditional)	DATE
SOLID WASTE MANAGEMENT	DATE
AMAFCA	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

**EL RANCHO GRANDE
UNIT 16
CURB, INC.**

AMENDED
**SITE DEVELOPMENT PLAN
FOR SUBDIVISION**

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1349SDP.DWGaw 6-2-05





- TREES**
 Honey Locust, Arizona Ash, Raywood Ash, Golden Rain Tree, Chinese Pistache
- EVERGREENS**
 Austrian Pine, Afgan Pine
- ORNAMENTALS**
 Canada Red Cherry, Desert Willow, Crabapple, Vitez, Kadbud
- ORNAMENTALS**
 Flowering Pear
- SHRUBS - LARGE 1 Gal.**
 Bird of Paradise, Butterfly Bush, Spanish Broom, Photinia
- SHRUBS - MEDIUM 1 Gal.**
 Chamisa, Indian Hawthorn, Russian Sage, Apache Plume, Cotonestear Sage, Rosemary
- SHRUBS - SMALL 1 Gal.**
 Lenas Broom, Autumn Sage, Potentilla, Gaura, Crimson Pigmy
- GROUNDCOVERS 1 Gal.**
 Cotoneaster, Rosemary
- LARGE GRASSES 1 Gal.**
 Regal Mist, Deer Muhly, Maiden, Blue Avena
- SMALL GRASSES 1 Gal.**
 Threadgrass, Blue Fescue
- WILDFLOWER 1 Gal.**
- ACCENTS**
 Sotol, Palm Yucca, Mugo Pine
- VINES**
 Wisteria, Banks Rose, Boston Ivy, Virginia Creeper
- Santa Fe Brown Gravel**
 Steel Edge
 Cobblestone
 Natural Edge
 Boulder
 Sod

LANDSCAPE NOTES:
 Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

SFB Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
 Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

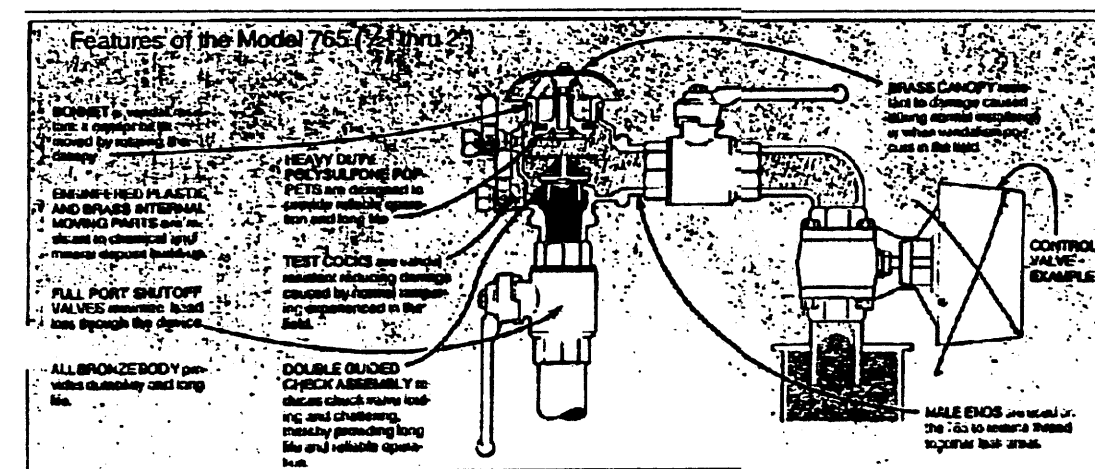
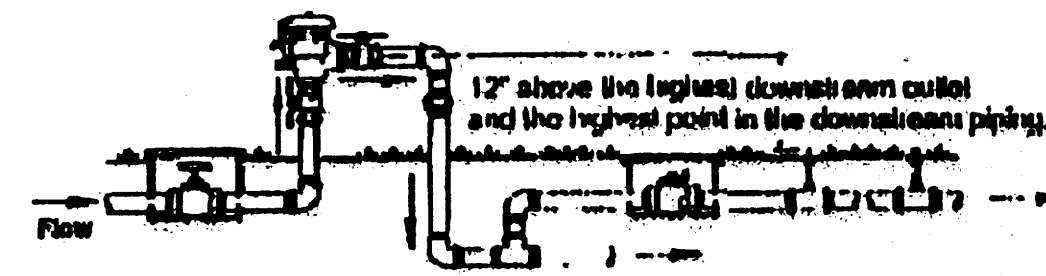
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

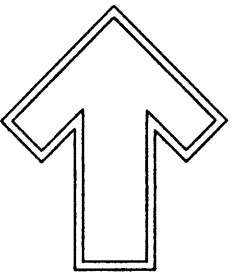
FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

Febco Model 765



BACKFLOW PREVENTOR DETAIL

NO SCALE



Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9690
 Fax (505) 898-7737
 cmd@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL



6-6-05
 JAMES DE FLON
 #0007

EL RANCHO GRANDE
 UNIT 16
 ALBUQUERQUE, NM
 STANDARD ENTRY AND FRONT YARD
 LANDSCAPE PLAN

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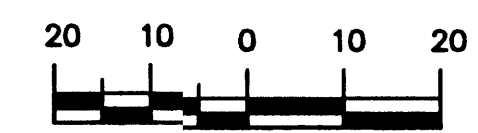


DRAWN BY
 arr
 REVISION #
 1
 DATE
 6-6-05

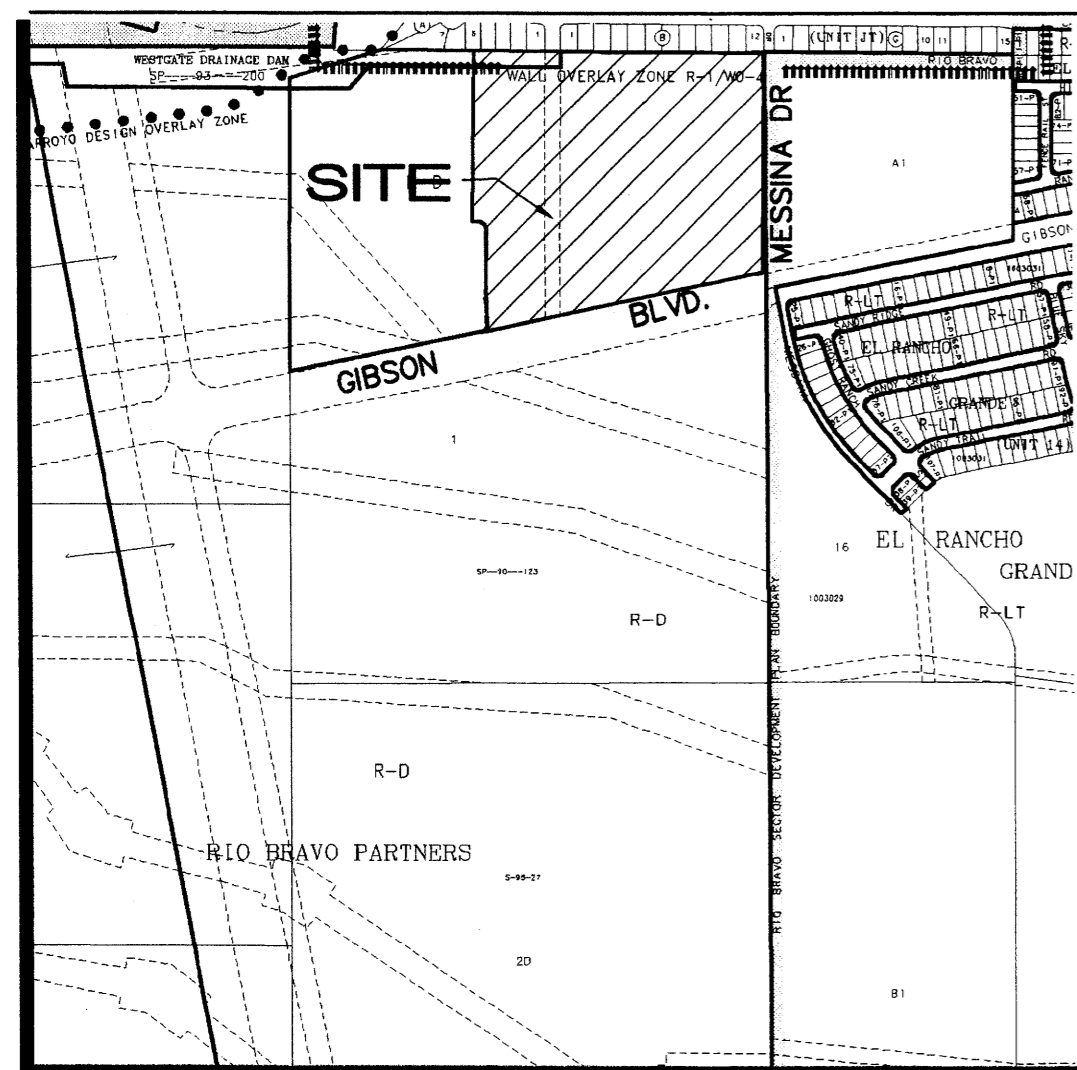
SHEET #

L1 OF L1

GRAPHIC SCALE



SCALE: 1"=20'



VICINITY MAP

N-8 1"=750'

LANDS OF GREVEY/LIBERMAN

TRACT 3
(07-17-98, 98C-210)

DRAINAGE
EASEMENT

WESTGATE DAM
DRAINAGE R/W
(6-10-94, 94C-194)

TRACT 16-D
EL RANCHO GRANDE SUBDIVISION

LANDS OF RIO BRAVO PARTNERS
(4-17-96, 96C-160)
PARCEL 2-A

NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD LENGTH
C1	09°50'38"	S 05°00'59" E	25.83	300.00	51.54	51.48
C2	88°33'40"	S 34°20'33" W	29.26	30.00	46.37	41.89
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NUMBER	DIRECTION	DISTANCE
L1	N 89°26'02" W	29.85'

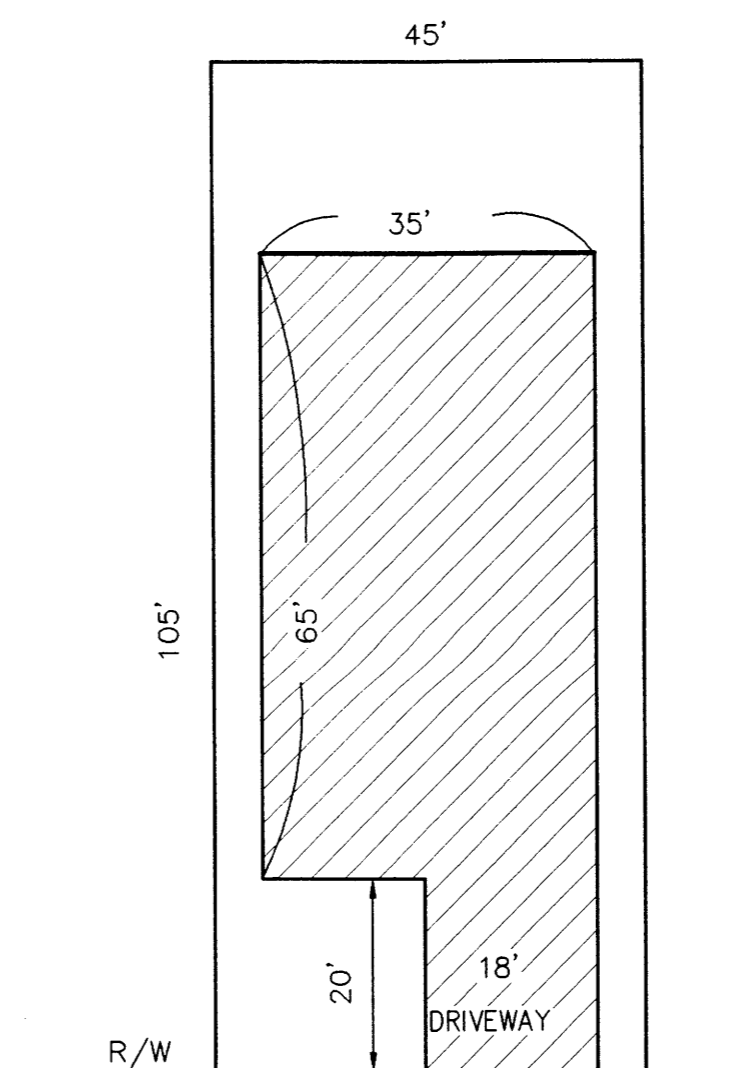
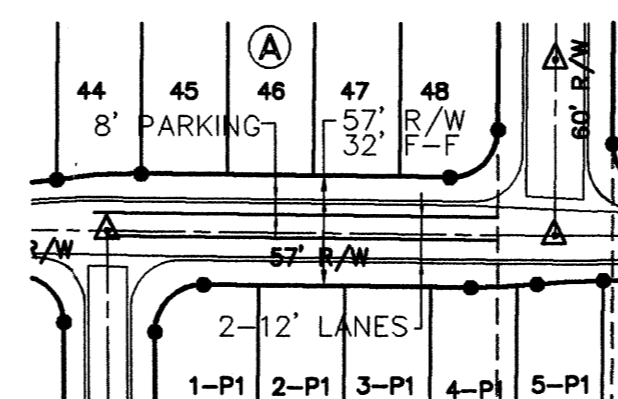
EASEMENT NOTES

- 10' PUBLIC UTILITY EASEMENT (TO BE GRANTED BY FINAL PLAT).
- 20' DRAINAGE EASEMENT TO BE GRANTED BY FINAL PLAT.
- 15' SANITARY SEWER EASEMENT TO BE GRANTED BY FINAL PLAT.
- DRAINAGE EASEMENTS FOR TEMPORARY RETENTION PONDS (3) SHALL BE CREATED BY SEPARATE DOCUMENT. AGREEMENTS AND COVENANTS SHALL BE FILED WITH THE CITY OF ALBUQUERQUE.
- EXISTING 60' RESERVATION FOR FUTURE R/W (07-19-90, 90C-163), TO BE VACATED.

P1-DESIGNATED LOTS

LOTS 1-5, BLOCK 1 AND LOTS 25 & 26, BLOCK C SHALL BE DESIGNATED AS P1, WITH NO ON-STREET PARKING.

THERE SHALL BE A NO-PARKING SIGN INSTALLED ALONG THE STREET FRONTAGE OF LOTS 1-5, BLOCK 1, ALONG WITH A CENTERLINE STRIPE AND STRIPING DESIGNATING AN 8-FOOT WIDE PARKING POCKET ON THE NORTH SIDE ALONG THE FRONTAGE OF LOTS 45-48, BLOCK A. SEE THE DETAIL TO THE RIGHT.



TYPICAL LOT DETAIL
1"=20'

PRELIMINARY
PLAT FOR
**EL RANCHO GRANDE
UNIT 16
SUBDIVISION**

BEING A REPLAT OF
TRACT 16-E OF THE
BULK LAND PLAT FOR
EL RANCHO GRANDE,
TRACTS 16-A, 16-B, 16-C, AND 16-E
WITHIN THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 5, T. 9 N. R. 2 E, NMPM.

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

JANUARY 2005

LEGAL DESCRIPTION

A tract of land situate, within the Town of Atrisco Grant, projected Section 5, Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being ALL OF TRACT 16-E, EL RANCHO GRANDE UNIT 16, as the same is shown and designated on the BULK LAND PLAT FOR TRACTS 16-A, 16-B, 16-C AND 16-D, EL RANCHO GRANDE, as filed for record in the office of the County Clerk of Bernalillo County, New Mexico on _____ 2005, in Book _____ Page _____ and containing 24.7758 acres more or less.

ACS BENCHMARK

ACS MONUMENT
"TRANS"
Y=1471822.67
X=354899.45
G-G=0.99967921
Δα=-00°16'42"
CENTRAL ZONE
ELEVATION=5118.370
NAD 1927/SLD 1929

SITE DATA

- TOTAL LAND AREA = 24.7758 ACRES.
- NUMBER OF EXISTING TRACTS IS 1.
- NUMBER OF PROPOSED RESIDENTIAL LOTS IS 158.
- CURRENT ZONING: R-D
- ALL STREETS WILL MEET CITY STANDARDS AND WILL BE PUBLIC BY PLAT DEDICATION AND BE MAINTAINED BY THE CITY OF ALBUQUERQUE. NO LOT SHALL HAVE DIRECT ACCESS TO GIBSON BLVD OR MESSINA DR SW.
- ALL STREETS HAVE RIGHT-OF-WAY AND PAVING WIDTHS PER DPM STANDARDS
- CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICES TO THIS DEVELOPMENT MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.

NOTES

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS ● WILL BE MARKED BY A NO. 5 IRON REBAR WITH PLASTIC CAP STAMPED "PLS #7719".
- ALL STREET CENTERLINE POINTS SHOWN THUS △ WILL BE MARKED BY A 4" ALUMINUM DISK STAMPED "CENTERLINE MONUMENT, PLS #7719".
- BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NMPM GRID BEARINGS.
- DISTANCES WILL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION. THERE SHALL BE A MINIMUM OF 2,400 SQUARE FEET OF OPEN SPACE PROVIDED FOR EACH LOT WITHIN THE SUBDIVISION. TOTAL REMAINING OPEN SPACE REQUIREMENTS ARE MET VIA THE PROVISION OF DETACHED OPEN SPACE PER THE PROVISIONS OF SECTION 14-16-3-8 (A) (3).

APPROVED

[Signature]
CITY SURVEYOR 1-6-05
DATE

OWNERSHIP

[Signature]
CHARLES HAEGELIN, PRESIDENT 1-6-05
CURB INC. DATE

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1349PLIM.DWGnw 1-5-05

LEGEND

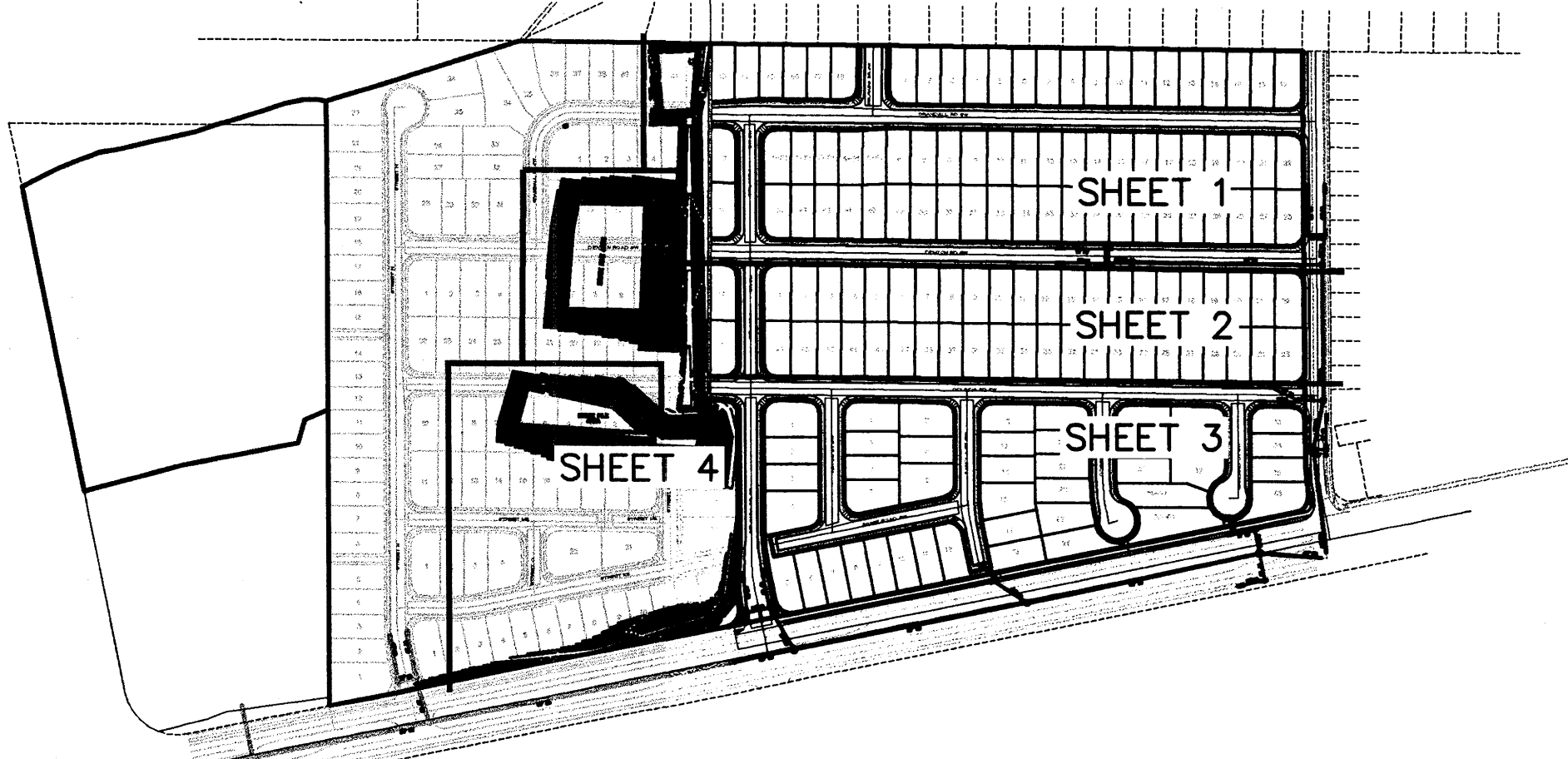
- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP.)
- PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- △ CENTERLINE MONUMENT
- ⊙ BLOCK



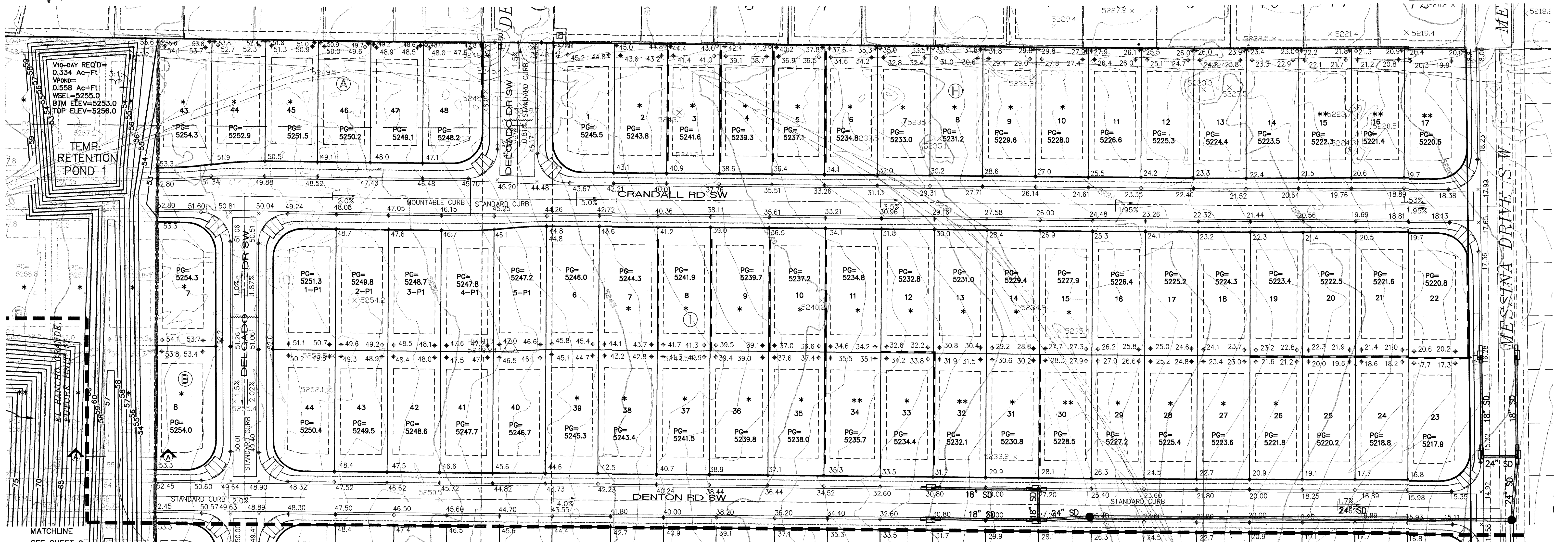
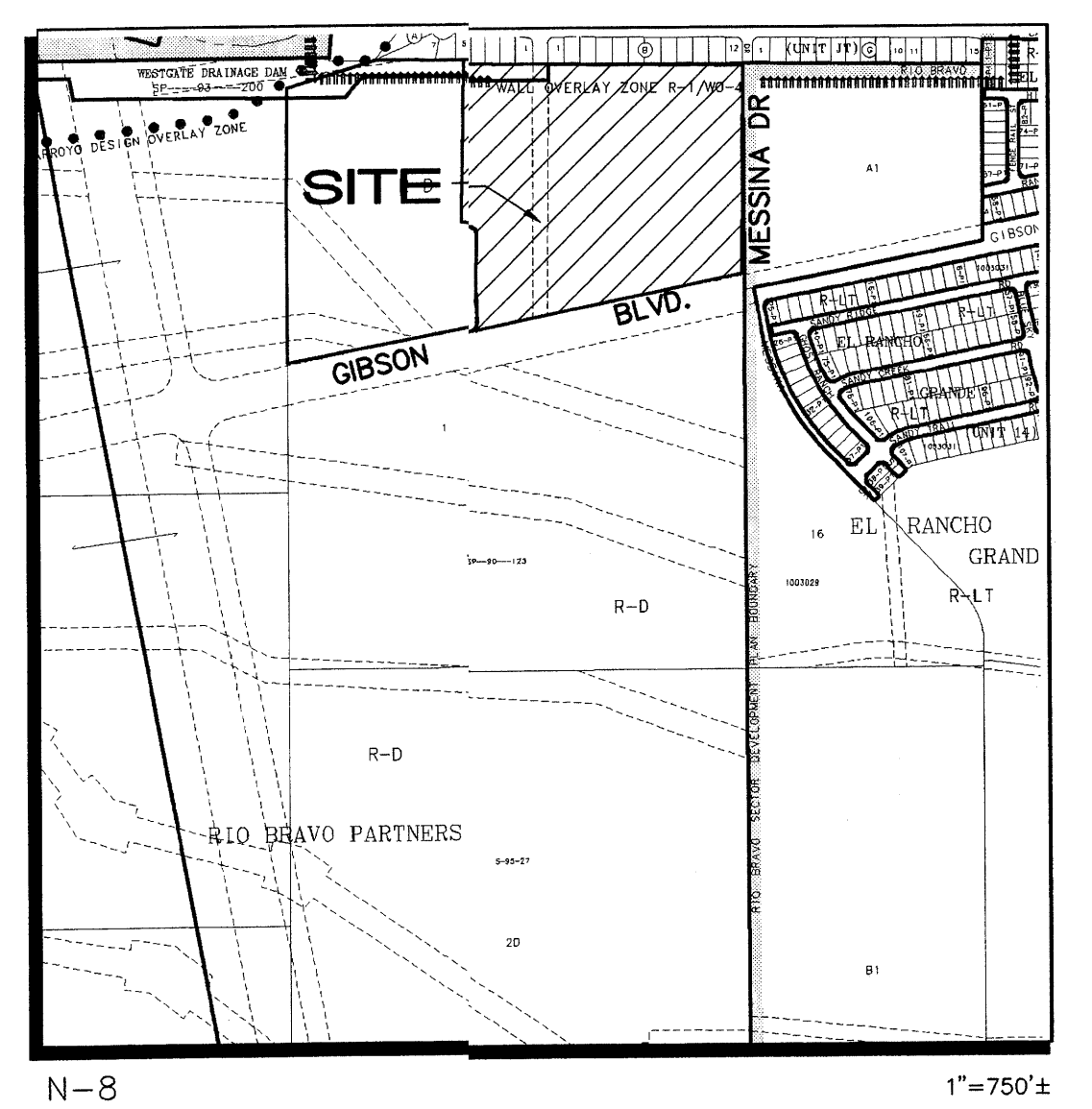
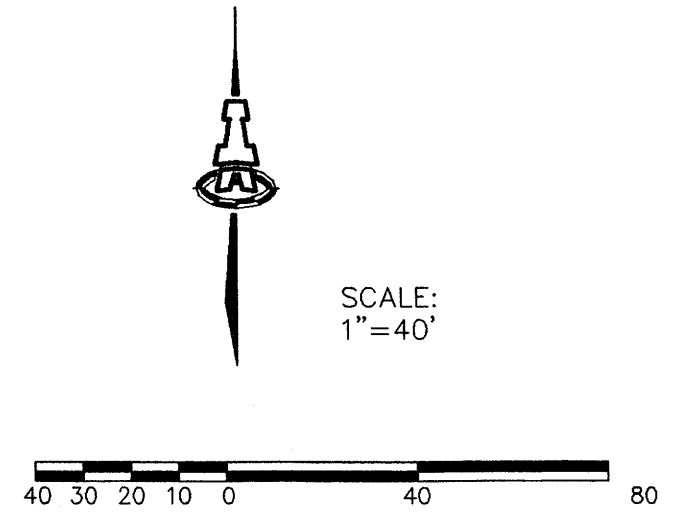
SCALE:
1"=100'

100 50 0 100 200 FEET

EL RANCHO GRANDE, UNIT 17
EL RANCHO GRANDE, UNIT 16



- LEGEND**
- 54.30 --- EXISTING CONTOUR
 - 09 — PROPOSED CONTOUR
 - ◆ 78.3 PROPOSED SPOT ELEVATION
 - ~~~~~ WATER BAR
 - PG=5462.3 PAD GRADE ELEVATION
 - TC=60.40 TOP OF CURB ELEVATION
 - FL=60.67 FLOWLINE ELEVATION
 - 2.00% STREET GRADE BREAK W/ SLOPE
 - PROPOSED RETAINING WALL
 - STORM DRAIN W/ MANHOLE
 - STORM DRAIN INLET
 - * DRIVEWAY RECOMMENDED ON HIGH SIDE
 - ** DRIVEWAY RECOMMENDED ON LOW SIDE



SEE SHEET 4 FOR SECTION

BENCHMARK
ACS MONUMENT
"TRANS"
Y=1471822.67
X=354899.45
G-G=0.99967921
Δα=-00'16"42"
CENTRAL ZONE
ELEVATION=5118.370
NAD 1927/SLD 1929

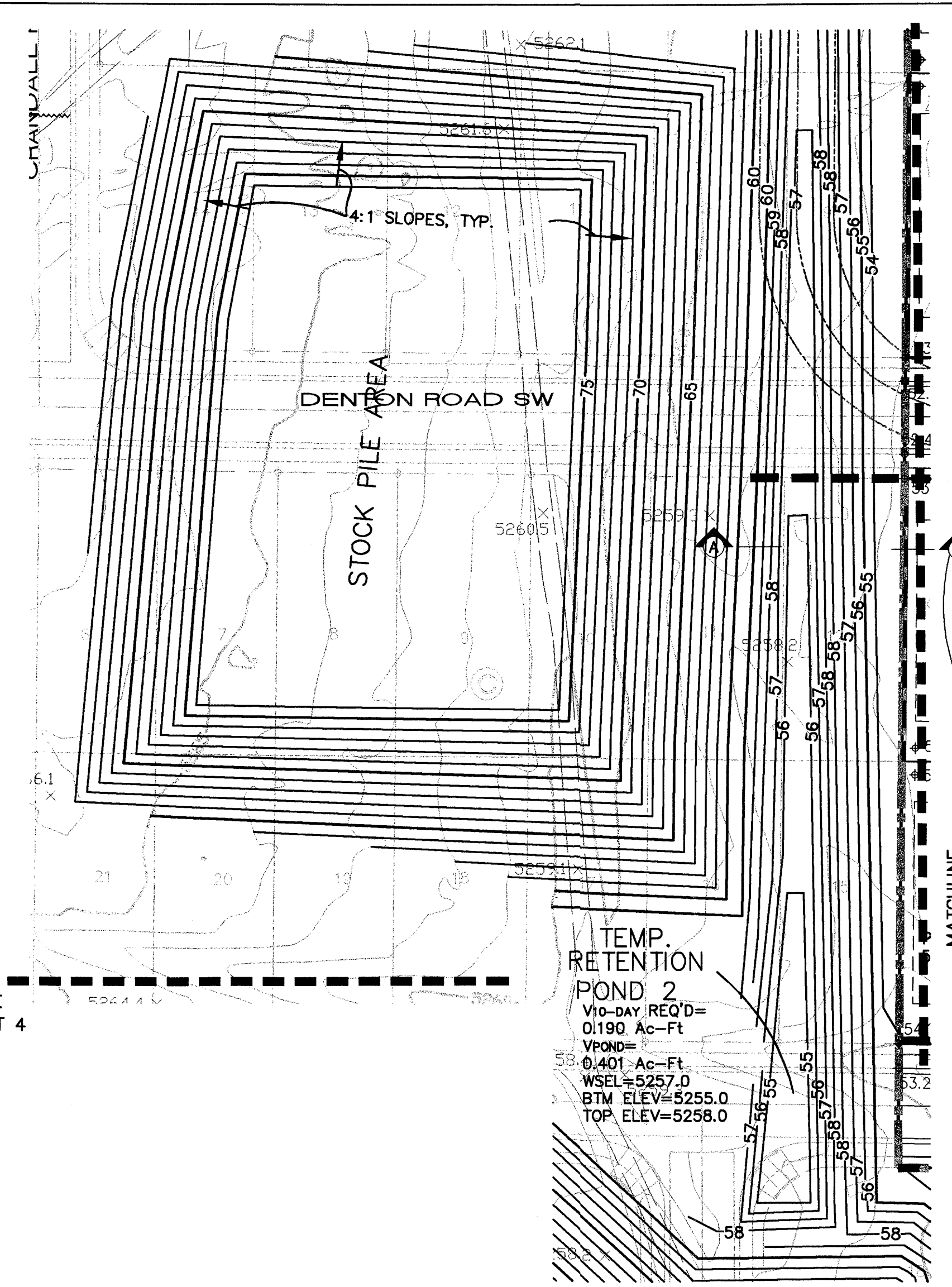
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1349GRD.DWGrev 1/3/05

EL RANCHO GRANDE UNIT 16 CURB, INC.

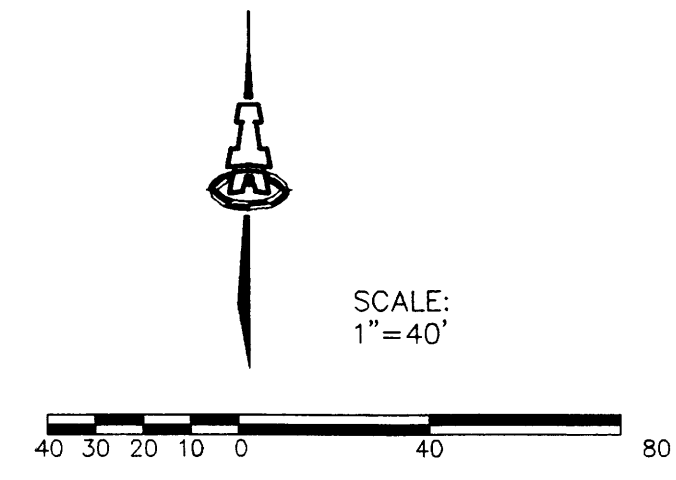
GRADING & DRAINAGE PLAN

Checked By:	Drawn By:	No.	Revision
FCA	ANW		
Date:	Job Number:		
1/05	1349		

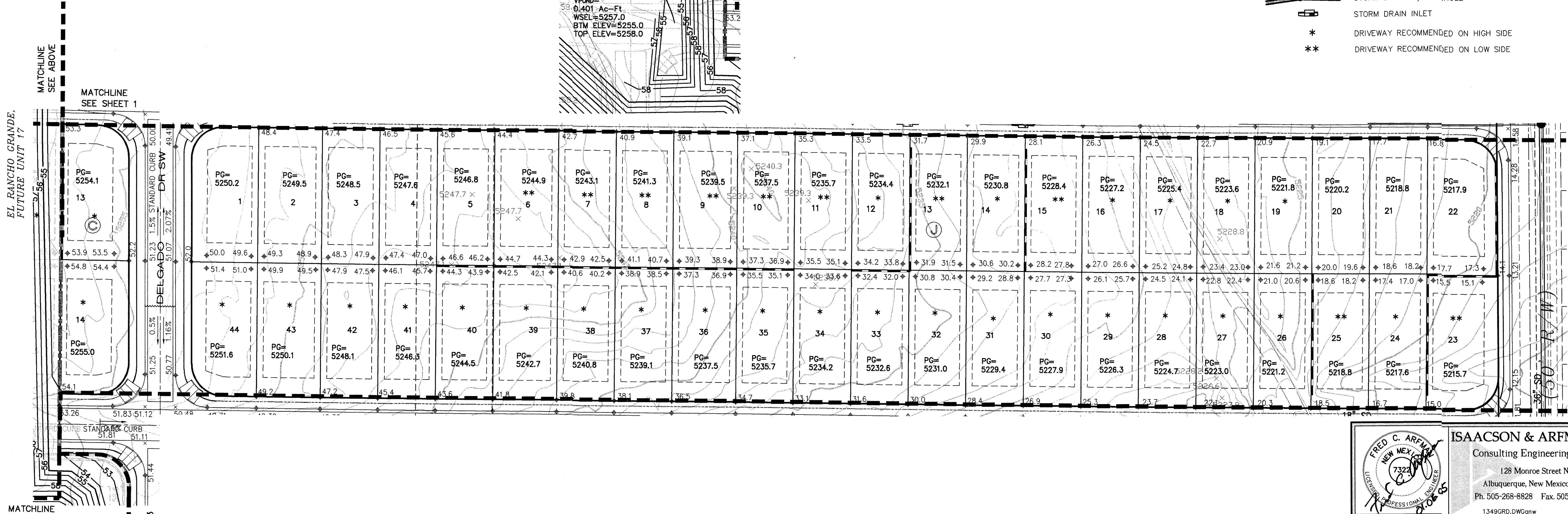
SH. 1 OF 5



SEE SHEET 4 FOR SECTION



- LEGEND**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED SPOT ELEVATION
 - WATER BAR
 - PAD GRADE ELEVATION
 - TOP OF CURB ELEVATION
 - FLOWLINE ELEVATION
 - STREET GRADE BREAK W/ SLOPE
 - PROPOSED RETAINING WALL
 - STORM DRAIN W/ MANHOLE
 - STORM DRAIN INLET
 - DRIVEWAY RECOMMENDED ON HIGH SIDE
 - DRIVEWAY RECOMMENDED ON LOW SIDE



BENCHMARK
 ACS MONUMENT
 "TRANS"
 Y=1471822.67
 X=354899.45
 G-G=0.99967921
 Δα= -0°16'42"
 CENTRAL ZONE
 ELEVATION=5118.370
 NAD 1927/SLD 1929

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 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 Fax. 505-268-2632
 1349GRD.DWGaww 1/3/05

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**EL RANCHO GRANDE
 UNIT 16
 CURB, INC.**

GRADING & DRAINAGE PLAN

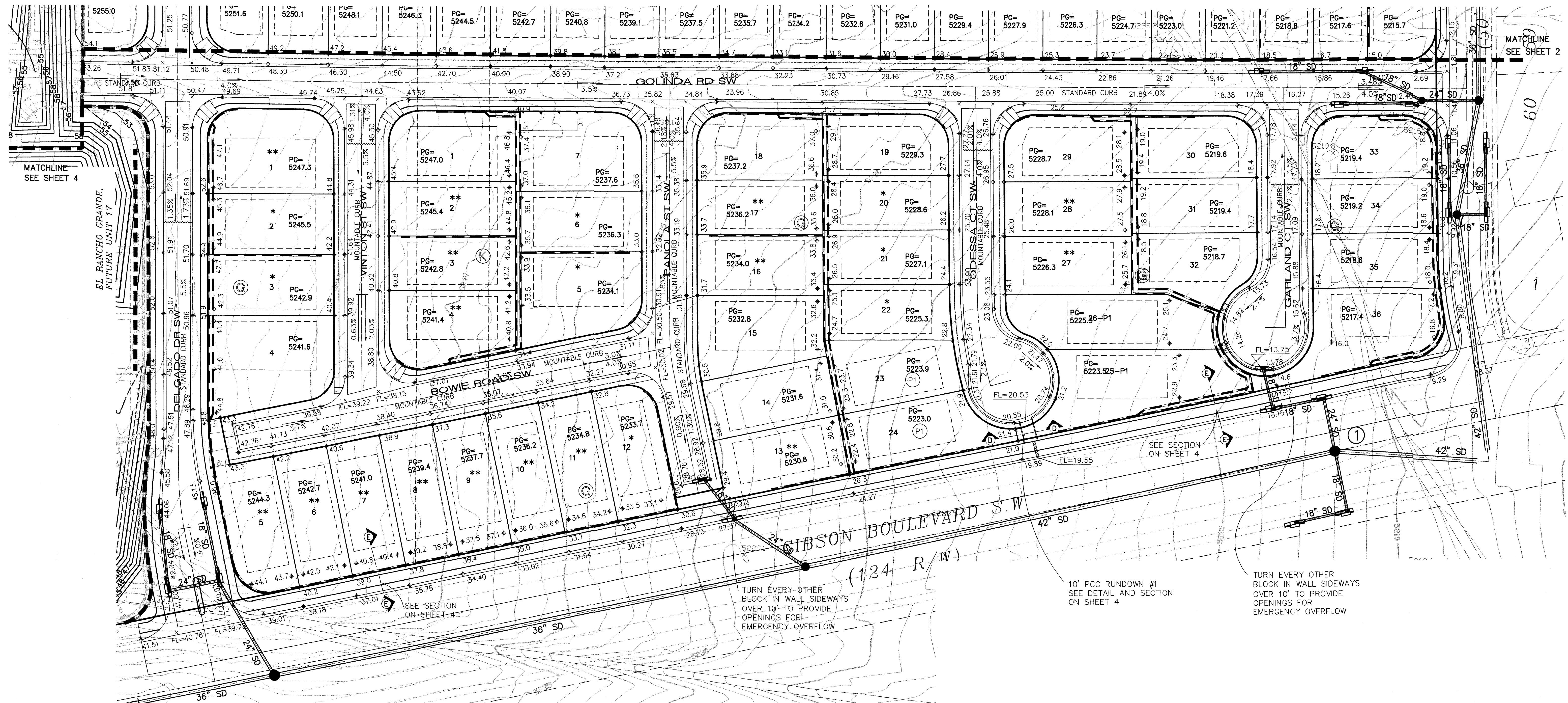
Checked By: FCA	Drawn By: ANW	No.:	Revision:
Date: 1/05	Job Number: 1349		

SH. 2 OF 5

MATCHLINE
SEE SHEET 2

MATCHLINE
SEE SHEET 4

MATCHLINE
SEE SHEET 2

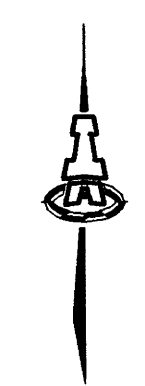


TURN EVERY OTHER
BLOCK IN WALL SIDWAYS
OVER 10' TO PROVIDE
OPENINGS FOR
EMERGENCY OVERFLOW

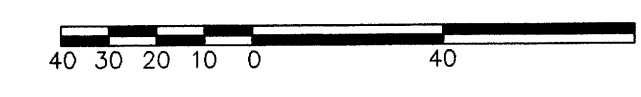
10' PCC RUNDOWN #1
SEE DETAIL AND SECTION
ON SHEET 4

TURN EVERY OTHER
BLOCK IN WALL SIDWAYS
OVER 10' TO PROVIDE
OPENINGS FOR
EMERGENCY OVERFLOW

- LEGEND**
- 54.30 — EXISTING CONTOUR
 - 09 — PROPOSED CONTOUR
 - ◆ 78.3 — PROPOSED SPOT ELEVATION
 - ~~~~~ WATER BAR
 - PG=5462.3 PAD GRADE ELEVATION
 - TC=60.40 TOP OF CURB ELEVATION
 - FL=60.67 FLOWLINE ELEVATION
 - 2.00% STREET GRADE BREAK W/ SLOPE
 - PROPOSED RETAINING WALL
 - STORM DRAIN W/ MANHOLE
 - STORM DRAIN INLET
 - * DRIVEWAY RECOMMENDED ON HIGH SIDE
 - ** DRIVEWAY RECOMMENDED ON LOW SIDE



SCALE:
1"=40'



BENCHMARK
ACS MONUMENT
"TRANS"
Y=1471822.67
X=354899.45
G=0.99967921
Δα=0°16'42"
CENTRAL ZONE
ELEVATION=5118.370
NAD 1927/SLD 1929

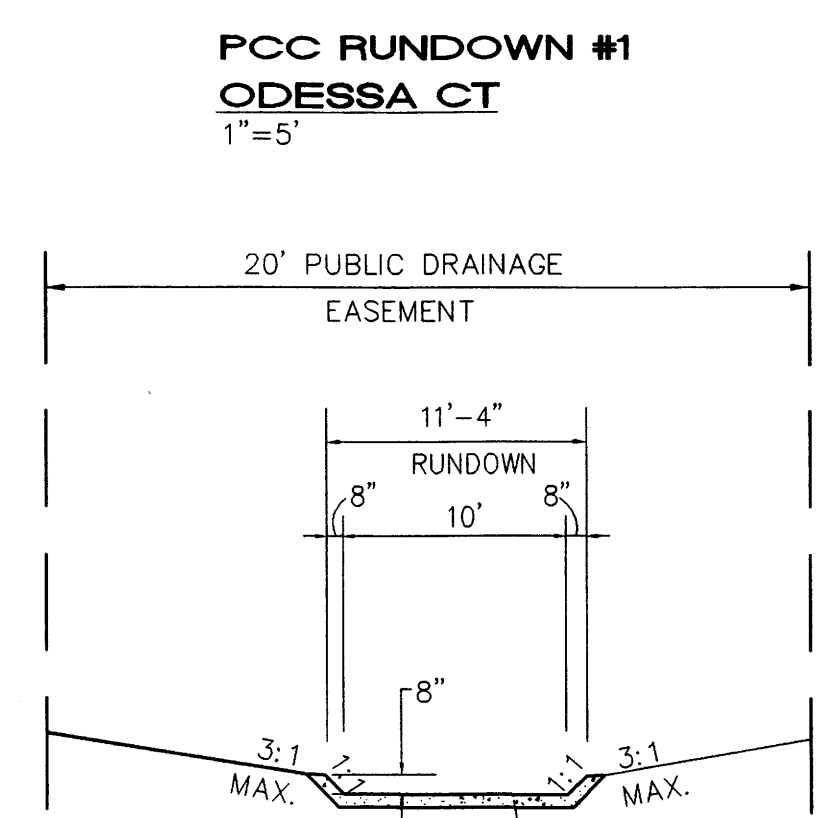
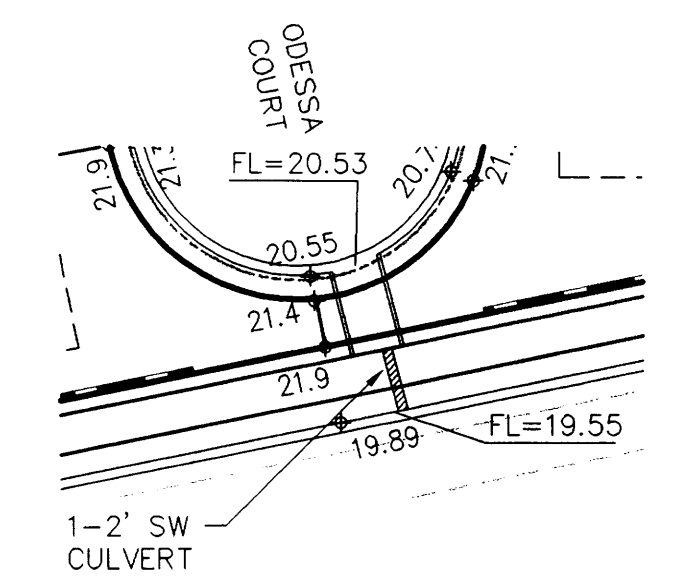
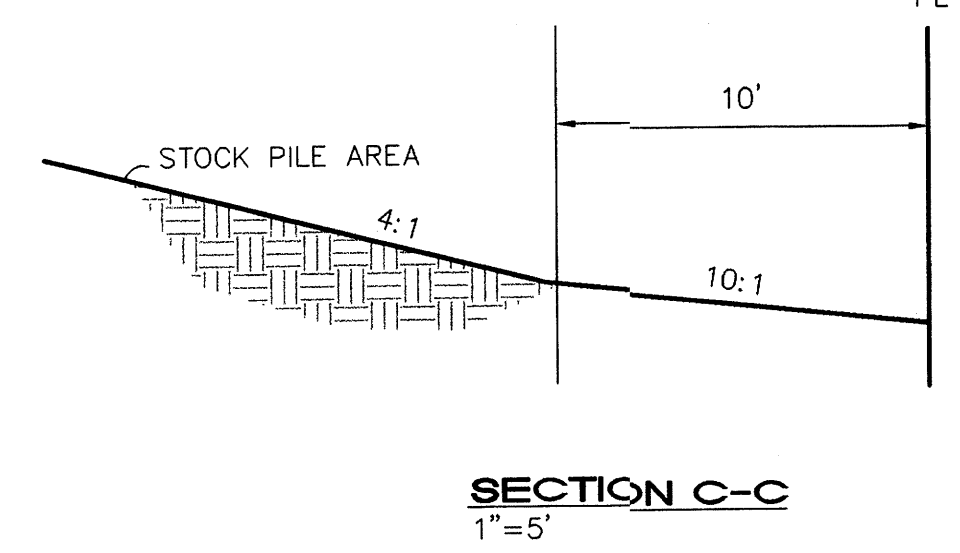
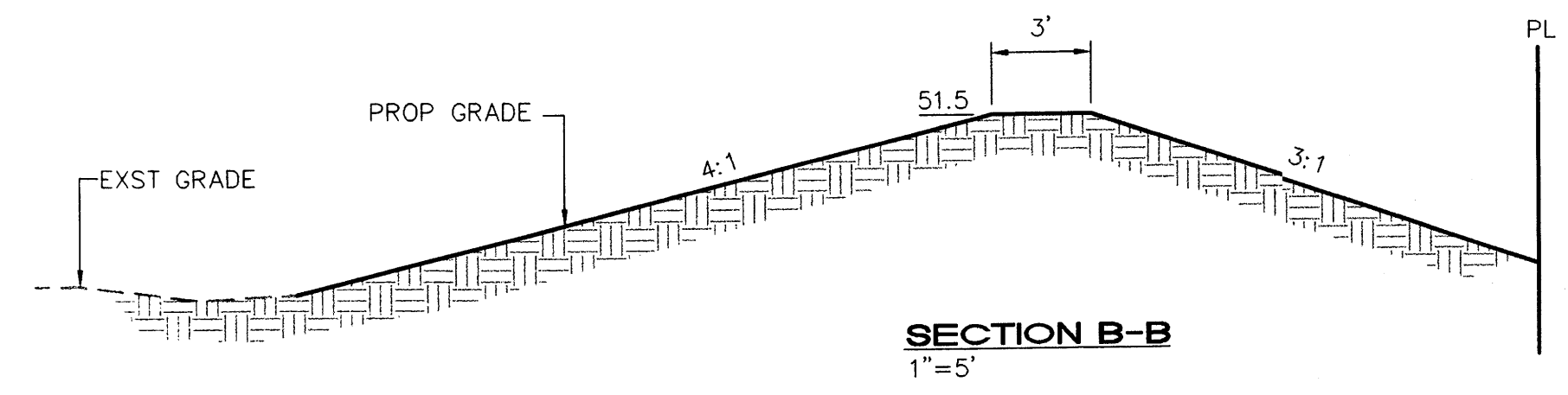
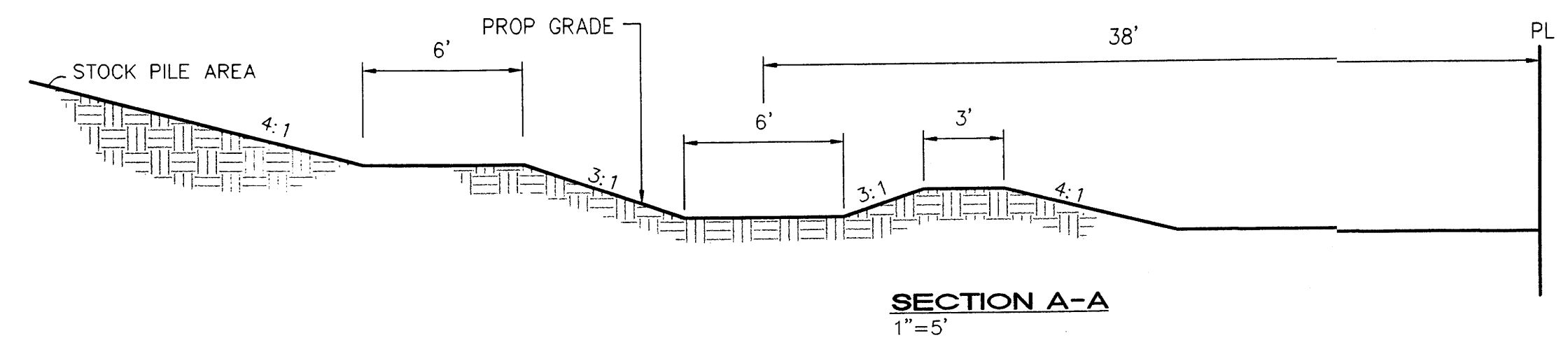
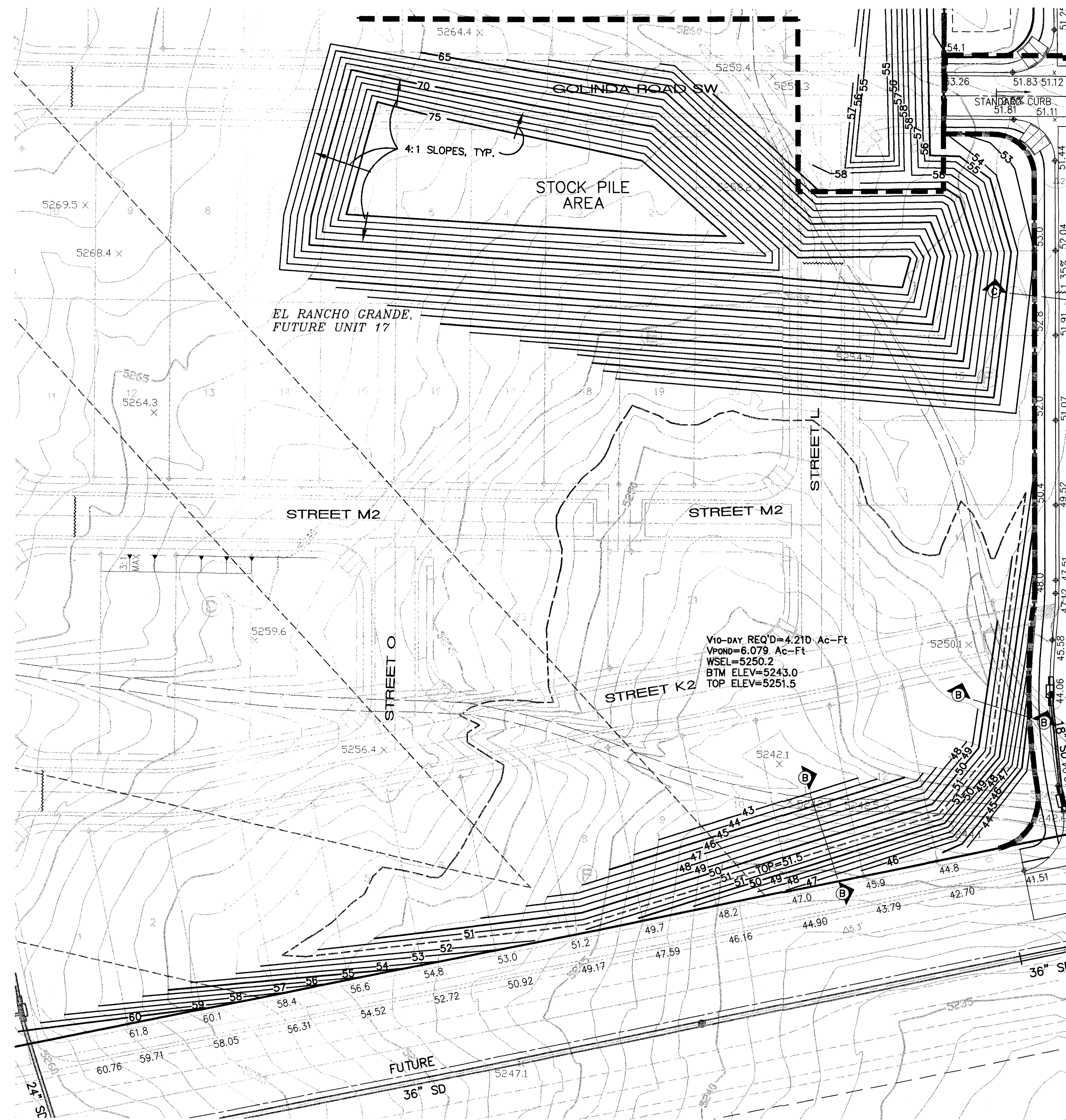
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1349GRD.DWGonw 1/3/05

**EL RANCHO GRANDE
UNIT 16
CURB, INC.**

GRADING & DRAINAGE PLAN

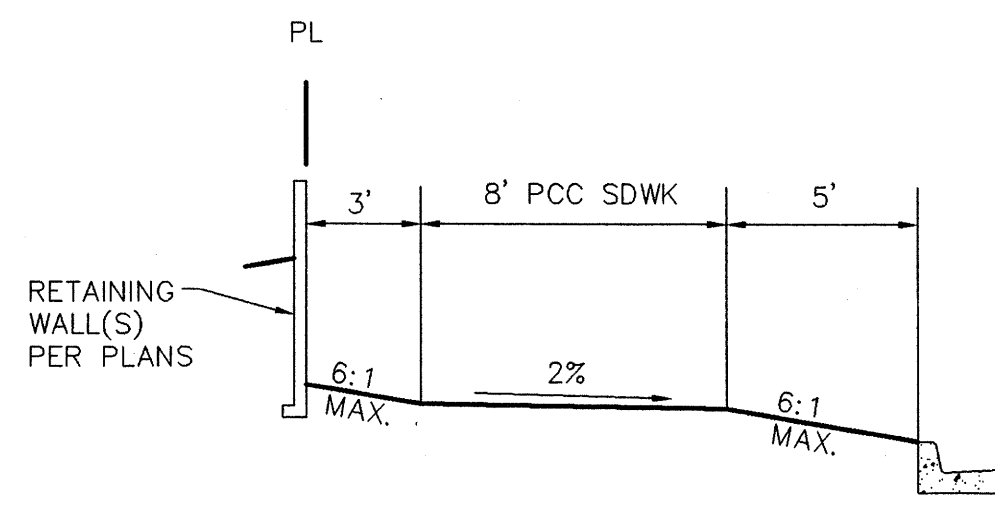
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Date: 1/05	Job Number: 1349		

SH 3 OF 5

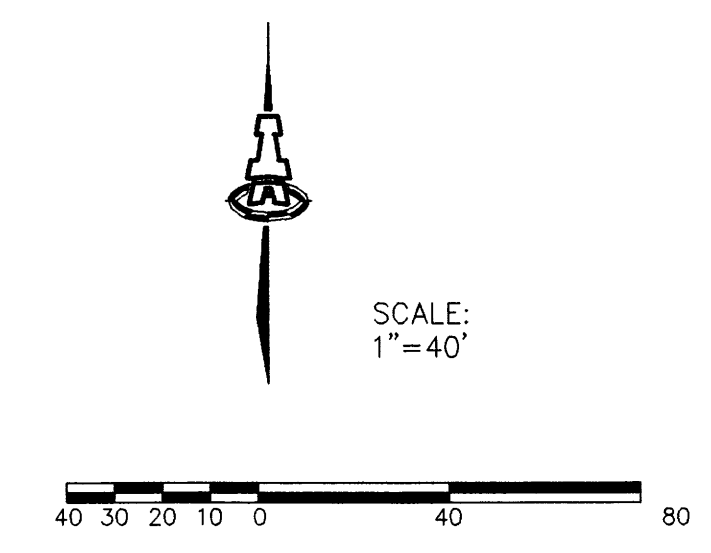


- LEGEND**
- 5430 — EXISTING CONTOUR
 - 09 — PROPOSED CONTOUR
 - ◆ 78.3 — PROPOSED SPOT ELEVATION
 - — WATER BAR
 - PG=5462.3 — PAD GRADE ELEVATION
 - TC=60.40 — TOP OF CURB ELEVATION
 - FL=60.67 — FLOWLINE ELEVATION
 - 2.00% — STREET GRADE BREAK W/ SLOPE
 - — PROPOSED RETAINING WALL
 - — STORM DRAIN W/ MANHOLE
 - — STORM DRAIN INLET
 - * — DRIVEWAY RECOMMENDED ON HIGH SIDE
 - ** — DRIVEWAY RECOMMENDED ON LOW SIDE

BENCHMARK
ACS MONUMENT
"TRANS"
Y=1471822.67
X=354899.45
G-G=0.99967921
Δα=-00'16"42"
CENTRAL ZONE
ELEVATION=5118.370
NAD 1927/SLD 1929



GIBSON BLVD
SECTION E-E
1"=5'

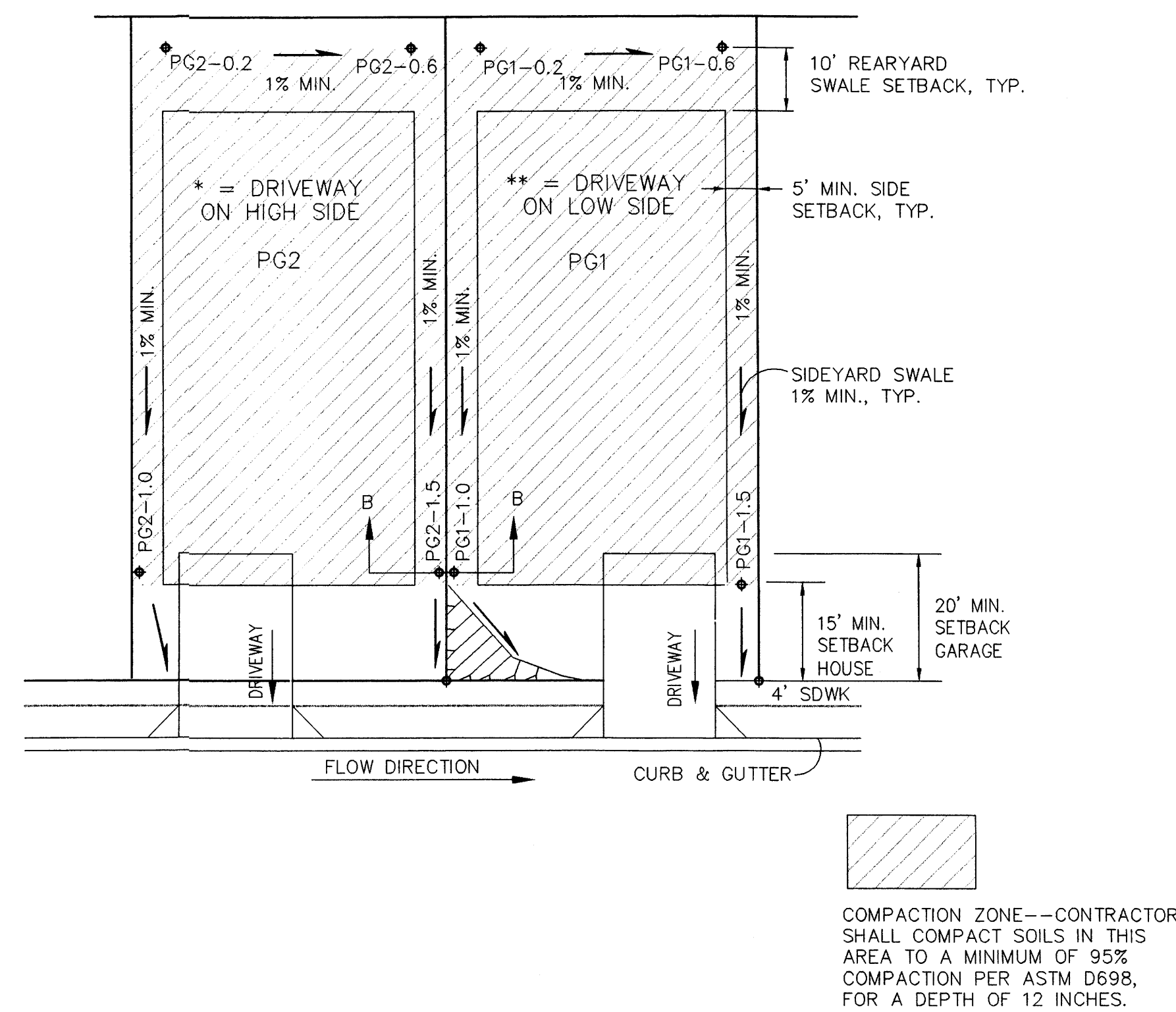


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1349GRD.DWGnew 1/3/05

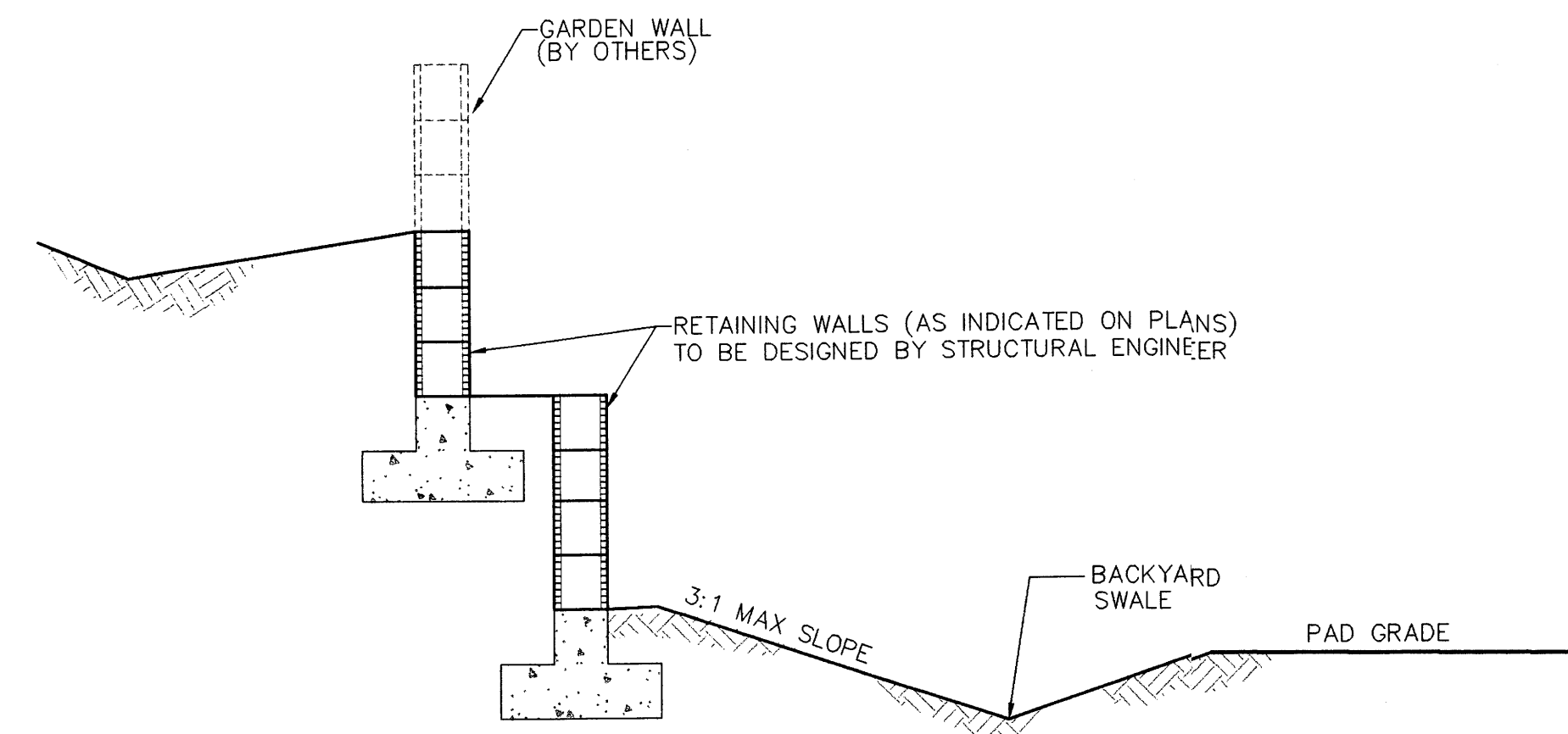
EL RANCHO GRANDE UNIT 16
CURB, INC.
GRADING & DRAINAGE PLAN

Checked By: FCA	Drawn By: ANW	No.	Revision
Date: 1/05	Job Number: 1349		

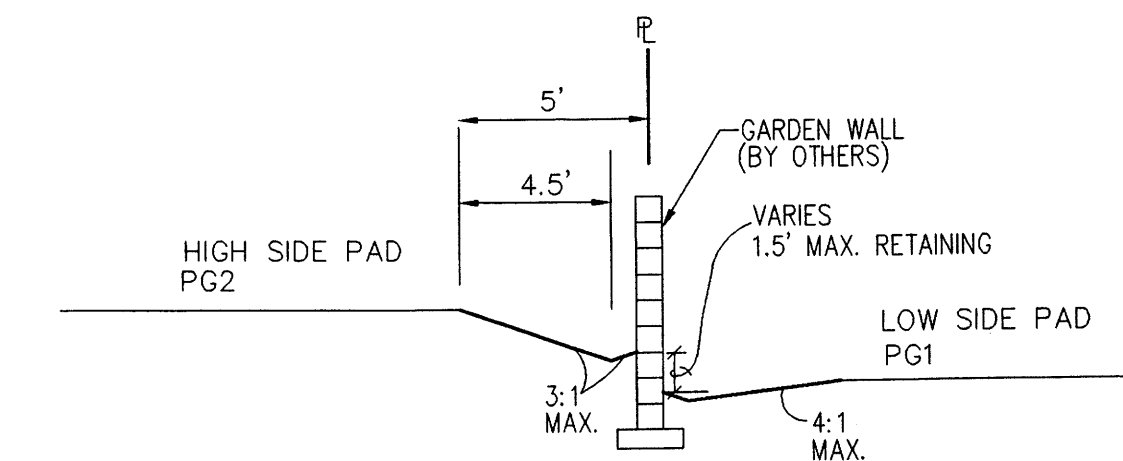
SH. 4 OF 5



TYPICAL LOT GRADING
SCALE: 1"=20'



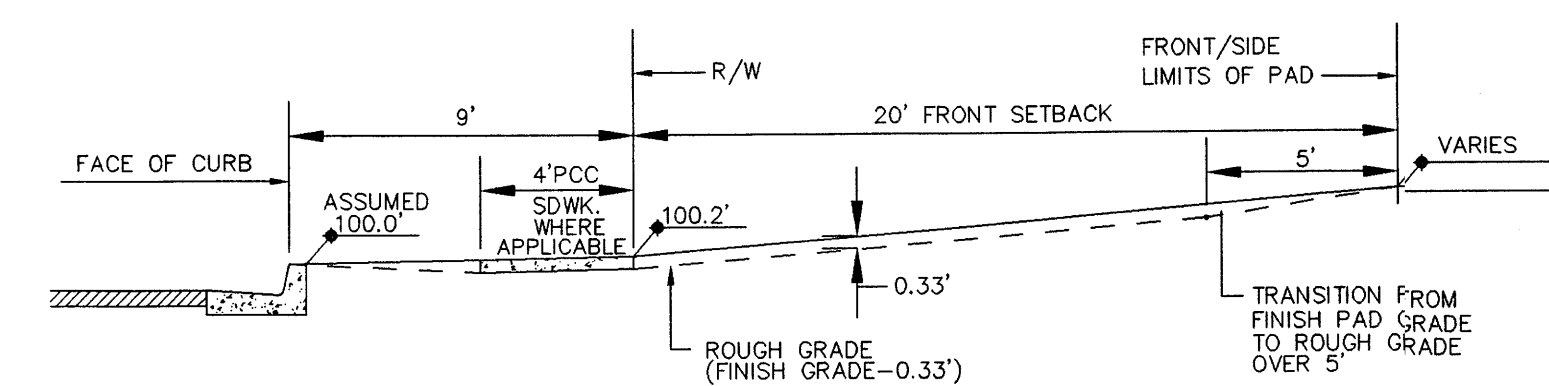
TYPICAL BACKYARD SLOPE
SCALE: 1"=5'-0"



SECTION B-B TYPICAL SIDEYARD GRADING
SCALE: 1"=5'

GRADING NOTES:

- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OFFSITE.
- ALL SUBGRADE AND FILL SHALL BE COMPACTED TO A MINIMUM OF 90% ASTM D-1557.
- EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
- CONFORM TO ELEVATIONS AND DIMENSIONS SHOWN ON PLANS WITHIN A TOLERANCE OF 0.3± FEET.
- SCARIFY AND COMPACT SUBGRADE FOR FILLS. PLACE FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH. MOISTEN AS NECESSARY TO PROVIDE OPTIMUM MOISTURE (±2%) CONTENT.
- UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCE, COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
- MAXIMUM SLOPES SHALL BE 3:1 MINIMUM SLOPES SHALL BE 1%.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE. THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. CONTRACTOR SHALL ALLOW TESTING SERVICE TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT NO ADDITIONAL EXPENSE.
- OWNER HAS ESTABLISHED SUBDIVISION BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING INCLUDING TRACT CORNERS. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS.
- OWNER WILL PROVIDE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND INSPECTION. CONTRACTOR SHALL COMPLY WITH THE BEST MANAGEMENT PRACTICES (BMP'S) AS SPECIFIED IN THE SWPPP, AND WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.



FRONT/SIDE YARD GRADING
SCALE: 1"=5'-0"

FRED C. ARFMAN
NEW MEXICO
7322
REGISTERED PROFESSIONAL ENGINEER
1349

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1349GRD.DWGonw 1/3/05

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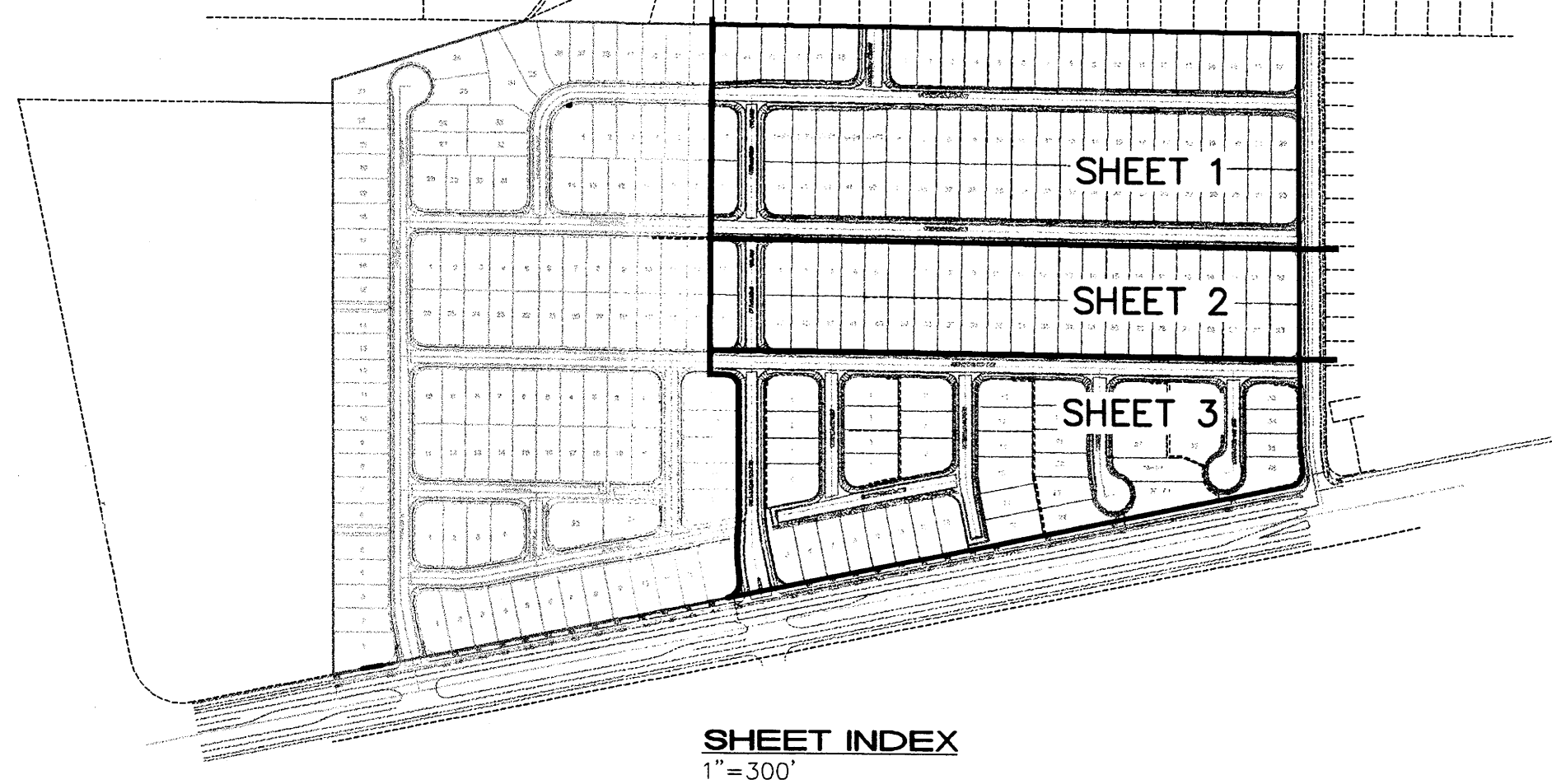
EL RANCHO GRANDE
UNIT 16
CURB, INC.

GRADING & DRAINAGE PLAN

Checked By: FCA	Drawn By: ANW	No.	Revision
Date: 1/05	Job Number: 1349		

EL RANCHO GRANDE,
UNIT 17

EL RANCHO GRANDE,
UNIT 16



SHEET INDEX
1"=300'

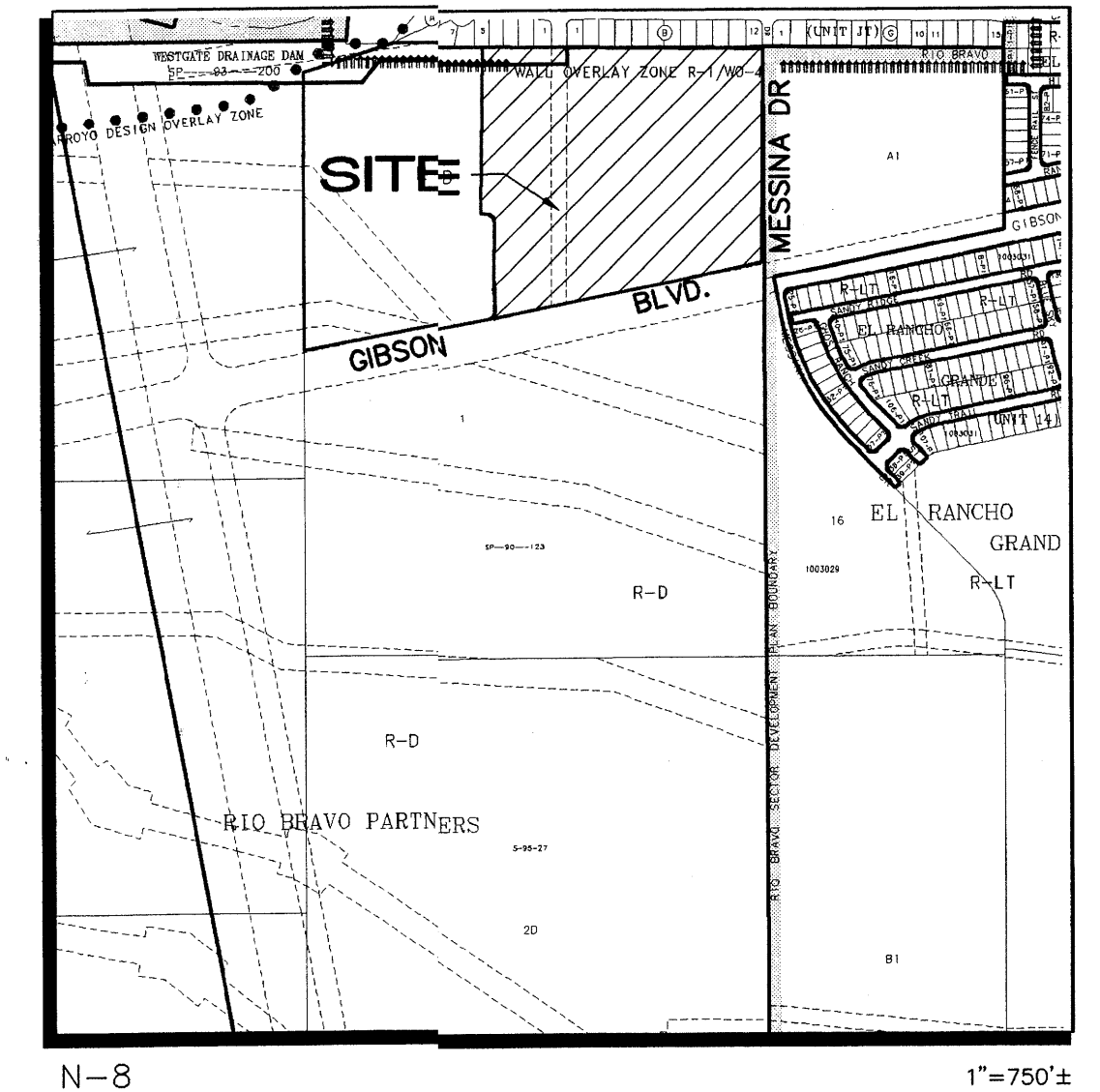
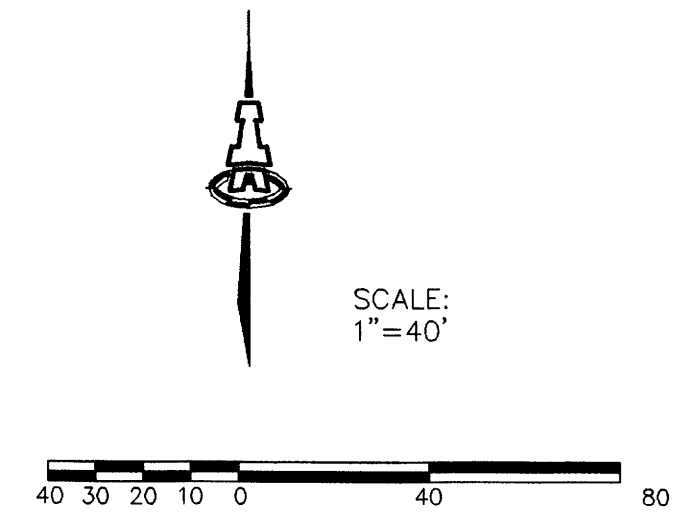
LEGEND

— PROPOSED RETAINING WALL

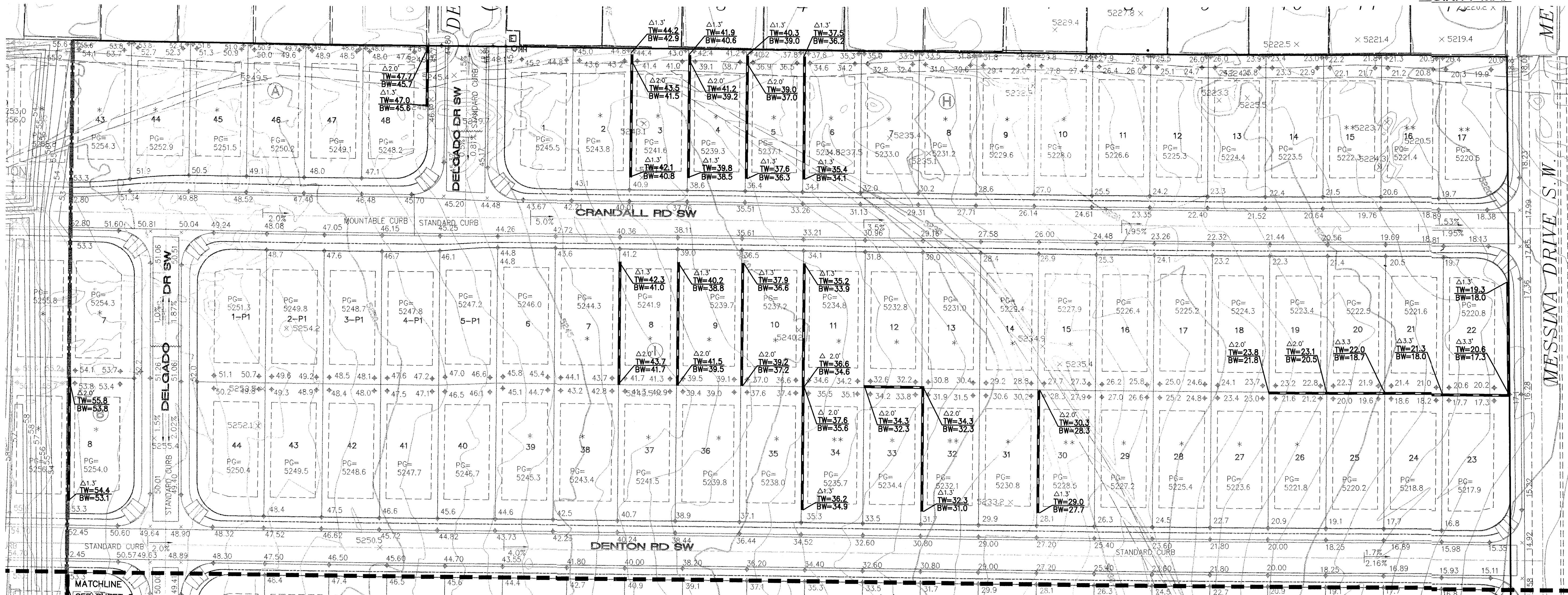
TW= TOP OF WALL ELEVATION

BW= BOTTOM OF WALL

△ 2.0' RETAINING HEIGHT



VICINITY MAP
1"=750'



EL RANCHO GRANDE,
FUTURE UNIT 17

BENCHMARK
ACS MONUMENT
"TRANS"
Y=1471822.67
X=354899.45
G-G=0.99967921
Δα=00°16'42"
CENTRAL ZONE
ELEVATION=5118.370
NAD 1927/SLD 1929

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1349RETWALL.DWGnew 1/3/05

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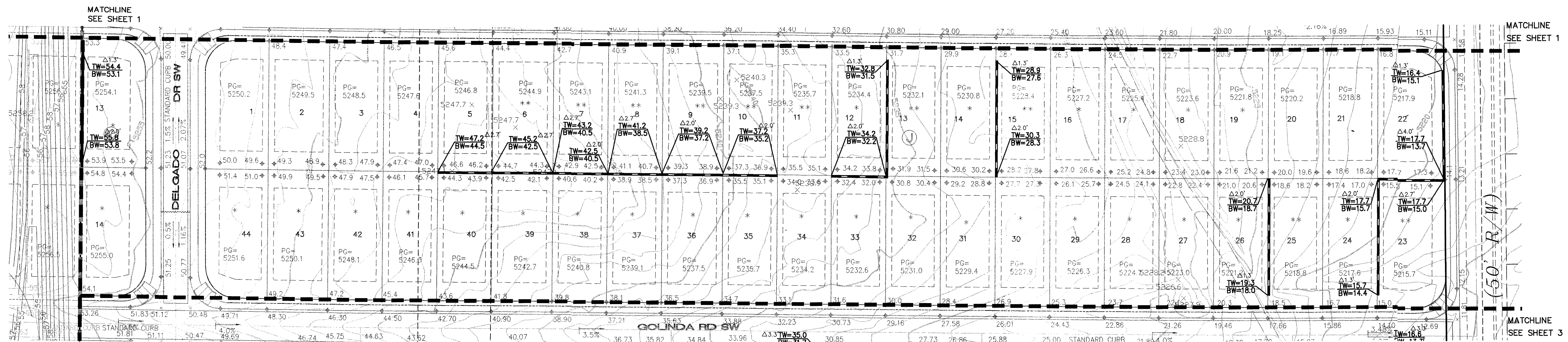
EL RANCHO GRANDE
UNIT 16
CURB, INC.

RETAINING WALL PLAN

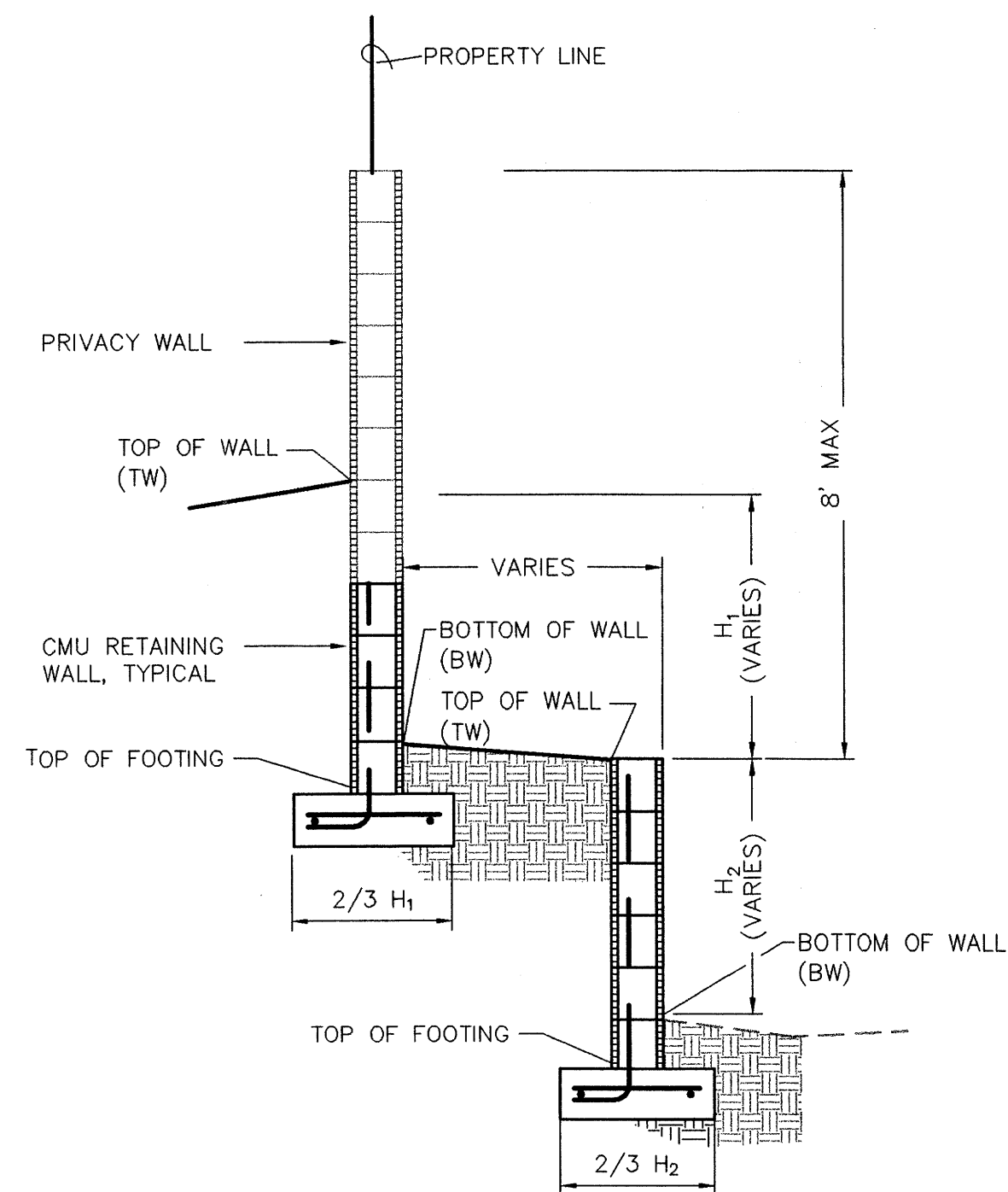
Checked By:	Drawn By:	No.	Revisions
FCA	ANW		
Date:	Job Number:		
1/05	1349		

SH. 1 OF 3

EL RANCHO GRANDE,
FUTURE UNIT 17



MATCHLINE
SEE SHEET 3

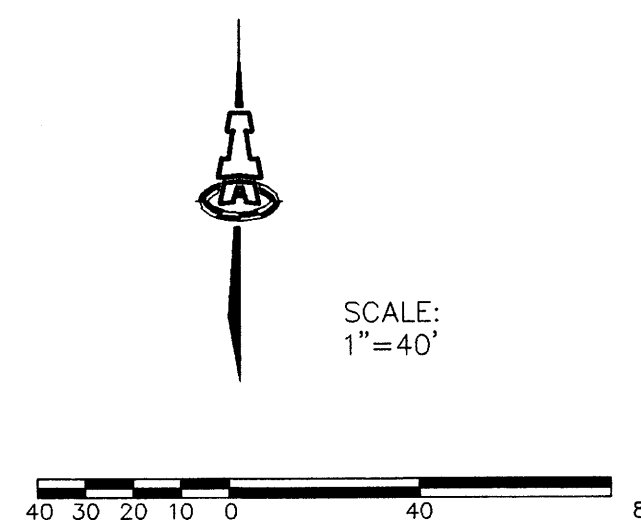


TYPICAL RETAINING WALL DETAIL
NTS

NOTE:
RETAINING WALLS SHALL BE DESIGNED BY A
STRUCTURAL ENGINEER.

LEGEND

- PROPOSED RETAINING WALL
- TW= TOP OF WALL
- BW= BOTTOM OF WALL
- Δ 2.0' RETAINED HEIGHT

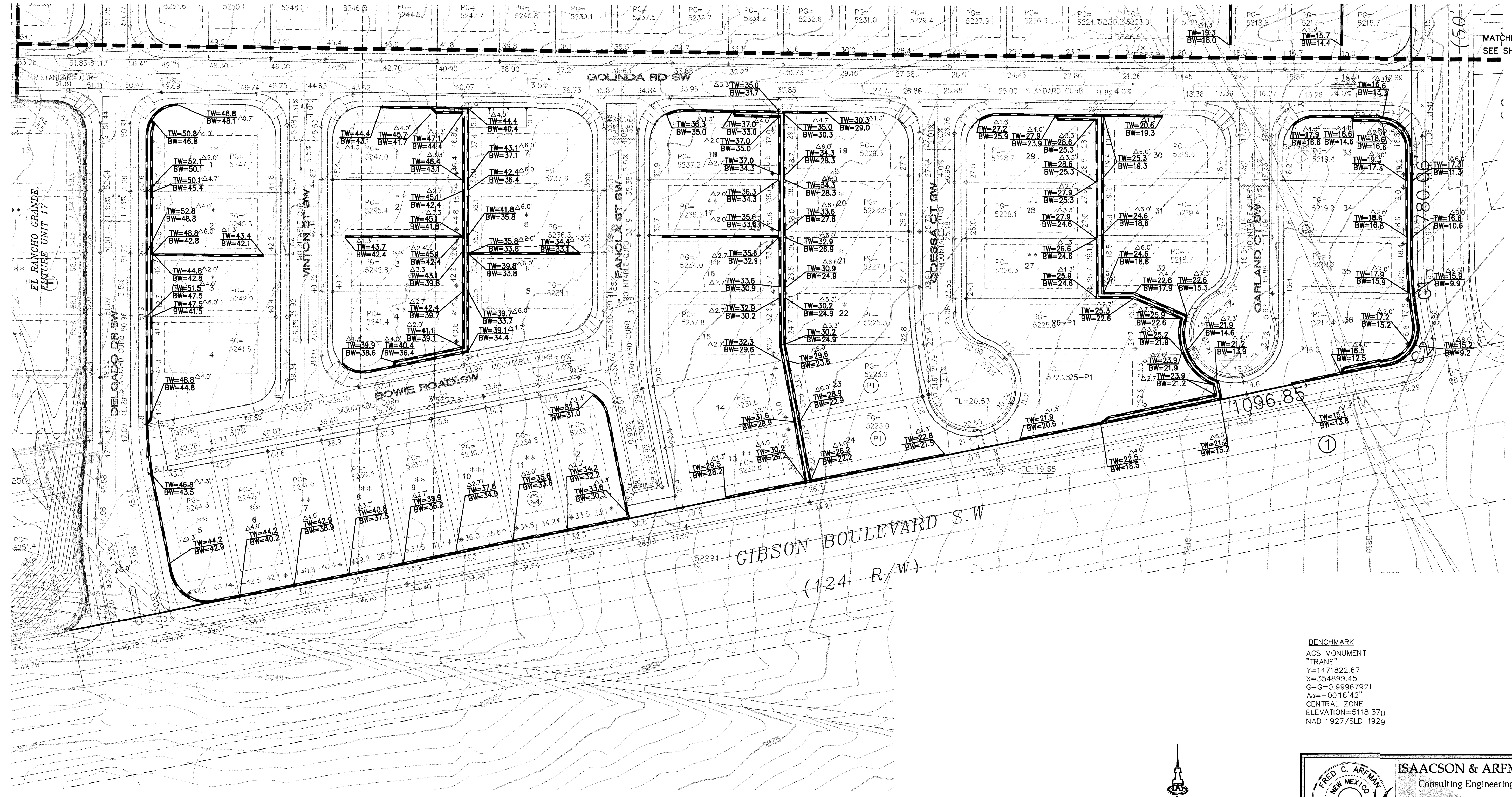


BENCHMARK
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X=354899.45
G-G=0.99967921
Δα=-00'16.42"
CENTRAL ZONE
ELEVATION=5118.370
NAD 1927/SLD 1929

		ISAACSON & ARFMAN, P.A. Consulting Engineering Associates 128 Monroe Street N.E. Albuquerque, New Mexico 87108 Ph. 505-268-8828 Fax. 505-268-2632 1349RETWALL.DWGaw 1/3/05	
EL RANCHO GRANDE UNIT 16 CURB, INC.			
RETAINING WALL PLAN			
Checked By: FCA	Drawn By: ANW	No.	Revision
Date: 1/05	Job Number: 1349		

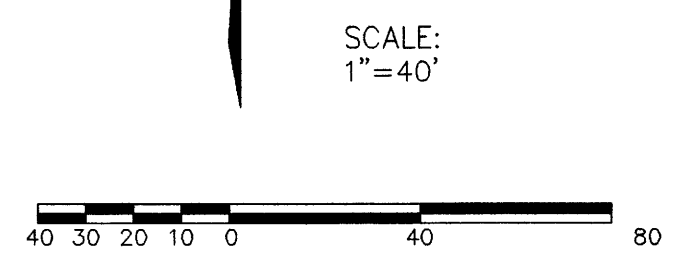
MATCHLINE
SEE SHEET 2

MATCHLINE
SEE SHEET 2



LEGEND

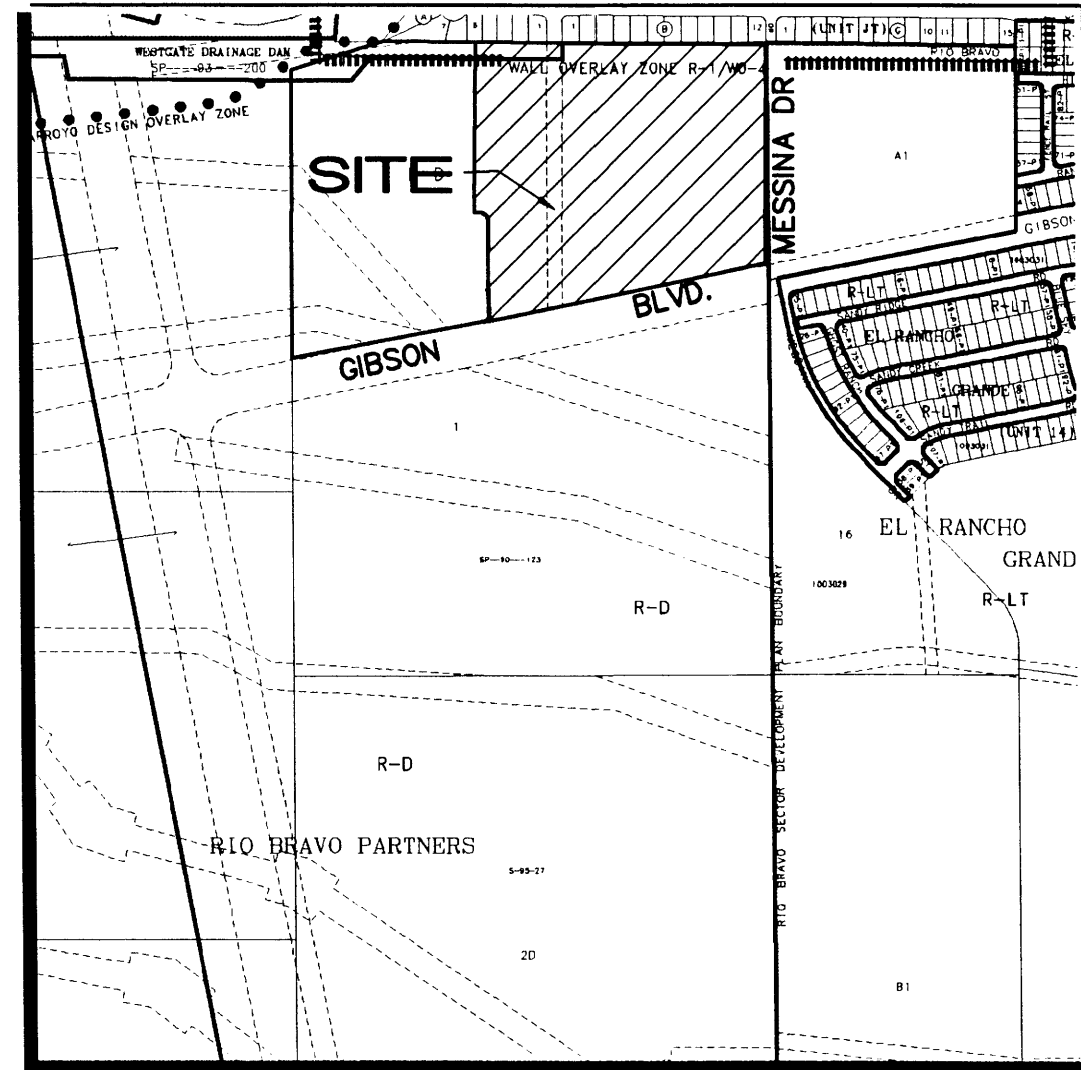
- PROPOSED RETAINING WALL
- TOP OF WALL
- BOTTOM OF WALL
- RETAINING HEIGHT



BENCHMARK
ACS MONUMENT
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X=354899.45
G=0.99967921
Δ=00'16".42"
CENTRAL ZONE
ELEVATION=5118.370
NAD 1927/SLD 1929

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	1349RETWALL.DWGonw 1/3/05

EL RANCHO GRANDE UNIT 16 CURB, INC.	
RETAINING WALL PLAN	
Checked By: FCA	Drawn By: ANW
Date: 1/05	Job Number: 1349
SH. 3 OF 3	



N-8 1"=750'

VICINITY MAP

LANDS OF CREVEY LIBERMAN

TRACT 3
(07-17-98, 98C-210)

DRAINAGE
EASEMENT

WESTGATE DAM
DRAINAGE R/W
(6-10-94, 94C-194)

TRACT 16-D
EL RANCHO GRANDE

LANDS OF RIO BRAVO PARTNERS
PARCEL 2-A
(4-17-96, 96C-160)

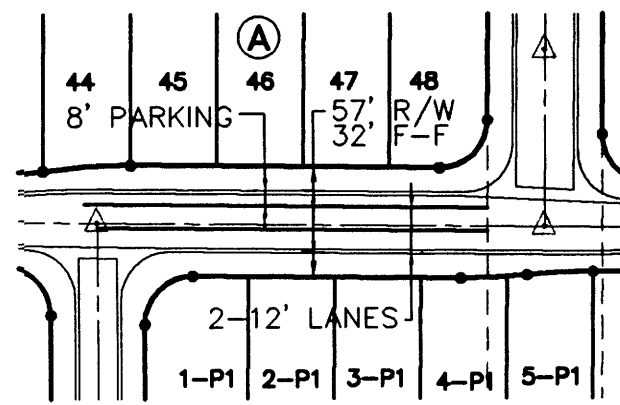
NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD LENGTH
C1	09°50'38"	S 05°00'59" E	25.83	300.00	51.54	51.48
C2	88°33'40"	S 34°20'33" W	29.26	30.00	46.37	41.89
C3	89°20'31"	N 33°57'07" E	29.66	30.00	46.78	42.18
C4	17°20'25"	S 02°02'56" E	45.75	300.00	90.79	90.45
C5	06°35'52"	N 03°19'20" E	17.29	300.00	34.55	34.53
C6	89°27'26"	N 44°42'19" W	24.76	25.00	39.03	35.19

NUMBER	DIRECTION	DISTANCE
L1	N 89°26'02" W	29.85'

P1-DESIGNATED LOTS

LOTS 1-5, BLOCK 1 AND LOTS 25 & 26, BLOCK G SHALL BE DESIGNATED AS P1, WITH NO ON-STREET PARKING.

THERE SHALL BE A NO-PARKING SIGN INSTALLED ALONG THE STREET FRONTAGE OF LOTS 1-5, BLOCK 1, ALONG WITH A CENTERLINE STRIPE AND STRIPING DESIGNATING AN 8-FOOT WIDE PARKING POCKET ON THE NORTH SIDE ALONG THE FRONTAGE OF LOTS 45-48, BLOCK A. SEE THE DETAIL TO THE RIGHT.

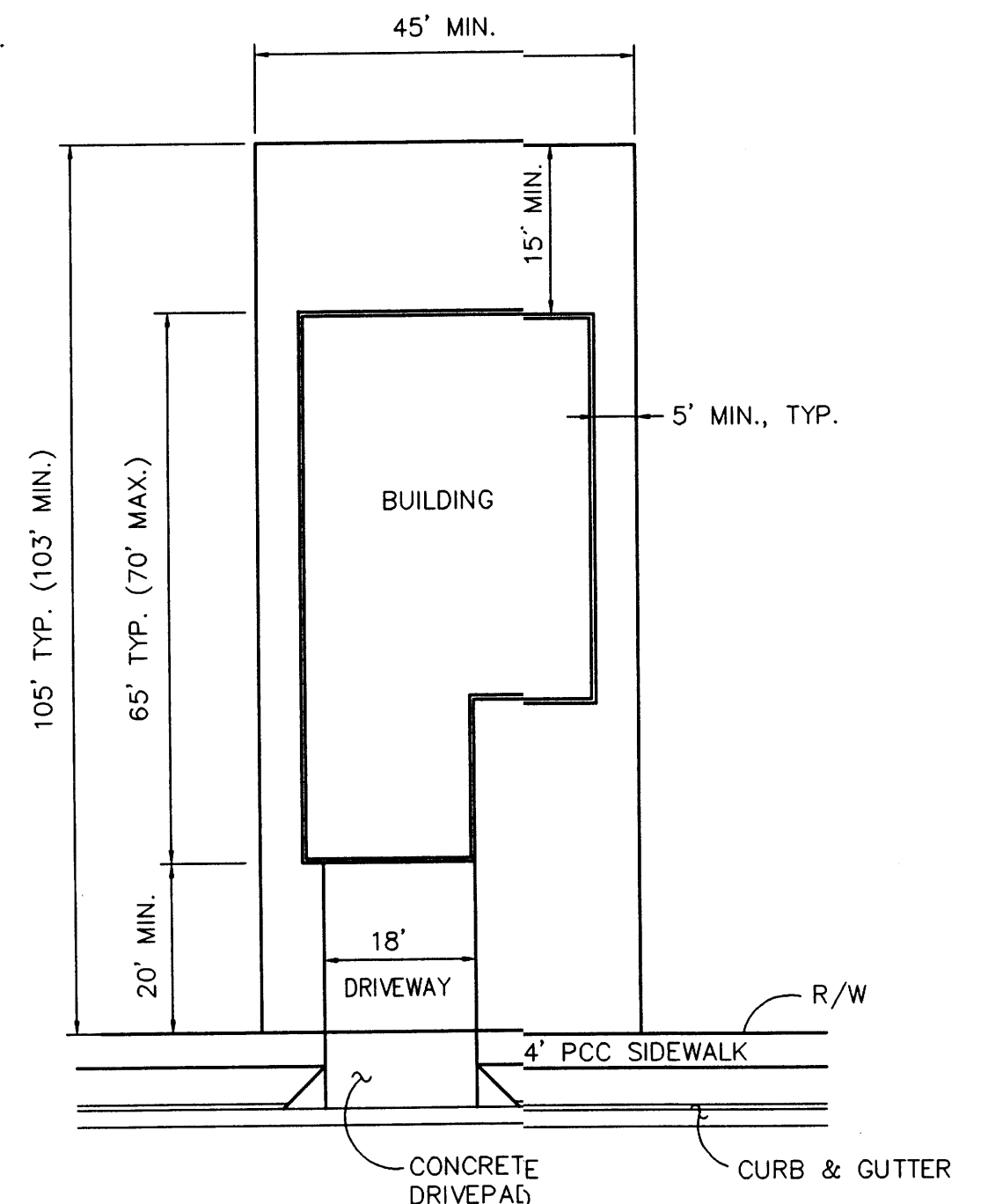


SITE DATA

- TOTAL LAND AREA = 24.7758 ACRES.
- NUMBER OF EXISTING TRACTS IS 1.
- NUMBER OF PROPOSED RESIDENTIAL LOTS IS 158.
- CURRENT ZONING: R-D.
- ALL STREETS WILL MEET CITY STANDARDS AND WILL BE PUBLIC BY PLAT DEDICATION AND BE MAINTAINED BY THE CITY OF ALBUQUERQUE. NO LOT SHALL HAVE DIRECT ACCESS TO GIBSON BLVD OR MESSINA DR SW.
- ALL STREETS HAVE RIGHT-OF-WAY AND PAVING WIDTHS PER DPM STANDARDS.
- CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICES TO THIS DEVELOPMENT MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE. IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER AND HOME OWNERS' ASSOCIATION.

BUILDING NOTES:

- BUILDING SQUARE FOOTAGE: MIN.=1000 sq. ft. MAX.=3500 sq. ft.
- BUILDING HEIGHT: MAX=19'-SINGLE STORY, MAX=26'-TWO STORY.
- COLOR OF GARAGE DOOR SHALL MATCH COLOR OF HOUSE.

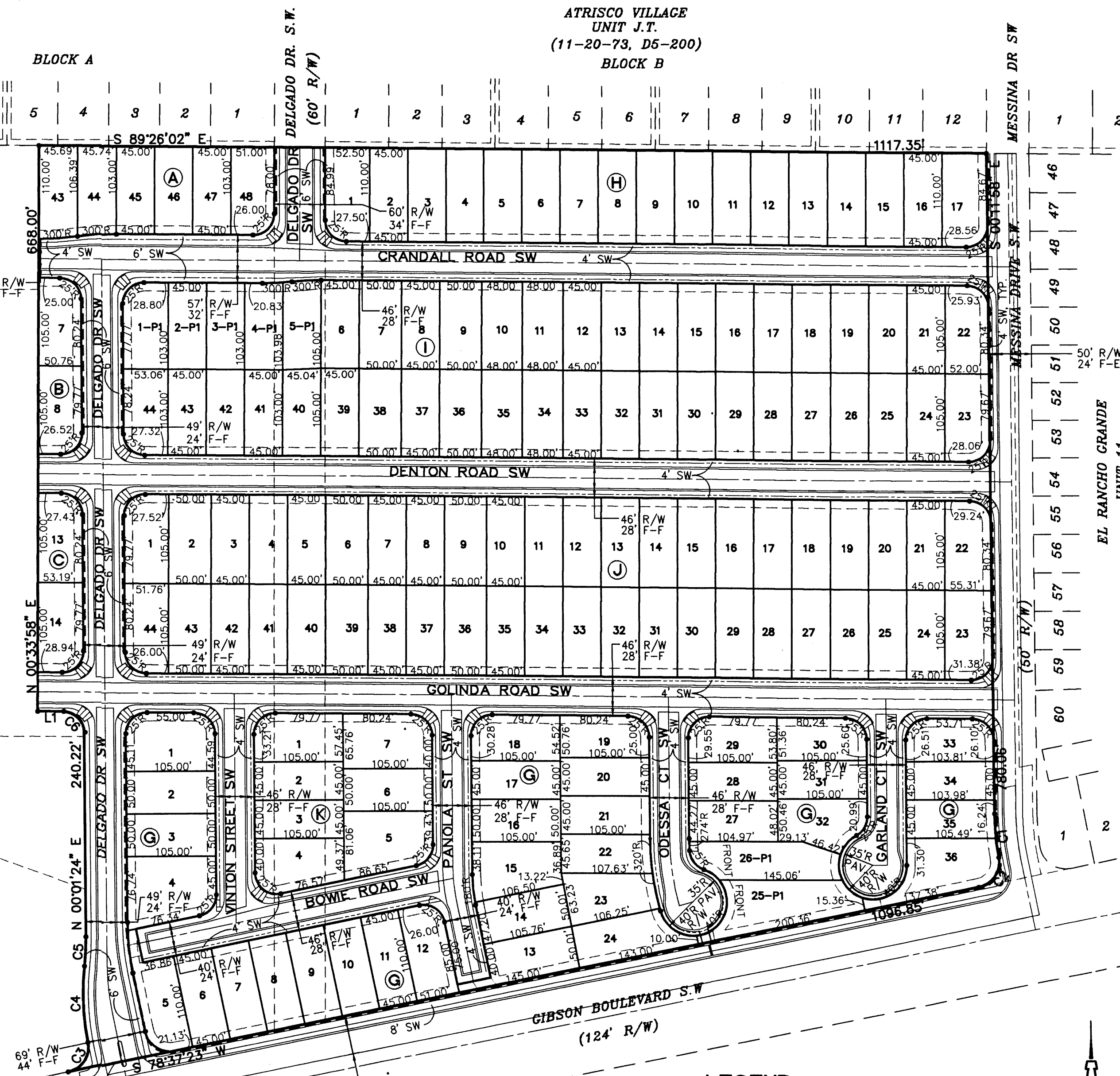


TYPICAL LOT PLAN

1"=20'

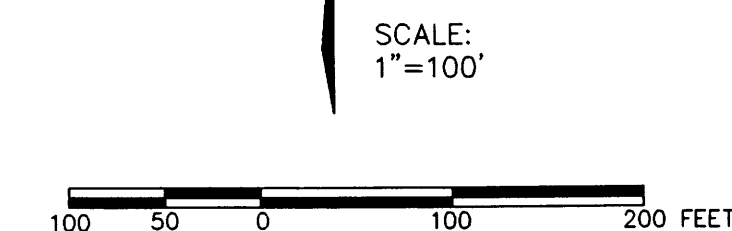
NOTE: SEE LANDSCAPE PLAN FOR TYPICAL FRONT YARD LANDSCAPING

MINIMUM LOT SIZE: 45'x105' (4725 s.f.)
*103' (4635 s.f.)



LEGEND

- PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- 3 LOT NUMBER
- ⓐ BLOCK
- - - PERIMETER WALL
- R/W RIGHT-OF-WAY
- F-F FACE OF CURB-FACE OF CURB
- F-E FACE OF CURB-EDGE OF PAVING
- SW SIDEWALK
- Ⓜ HANDICAP RAMP

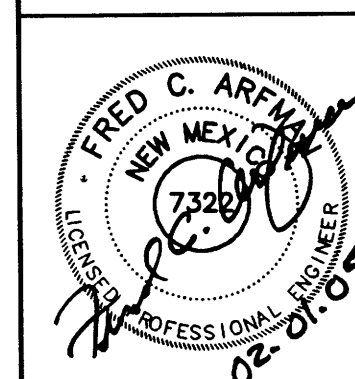


NOTE: SEE LANDSCAPE PLAN FOR ENTRANCE LANDSCAPING

PROJECT NUMBER: _____	
APPLICATION NUMBER: _____	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE _____
UTILITIES DEVELOPMENT	DATE _____
PARKS AND RECREATION DEPARTMENT	DATE _____
CITY ENGINEER	DATE _____
* ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE _____
SOLID WASTE MANAGEMENT	DATE _____
AMAFCA	DATE _____
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE _____

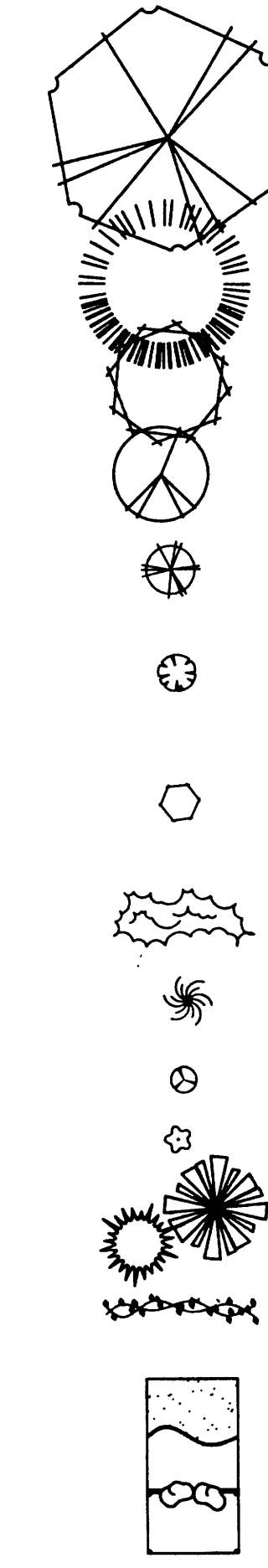
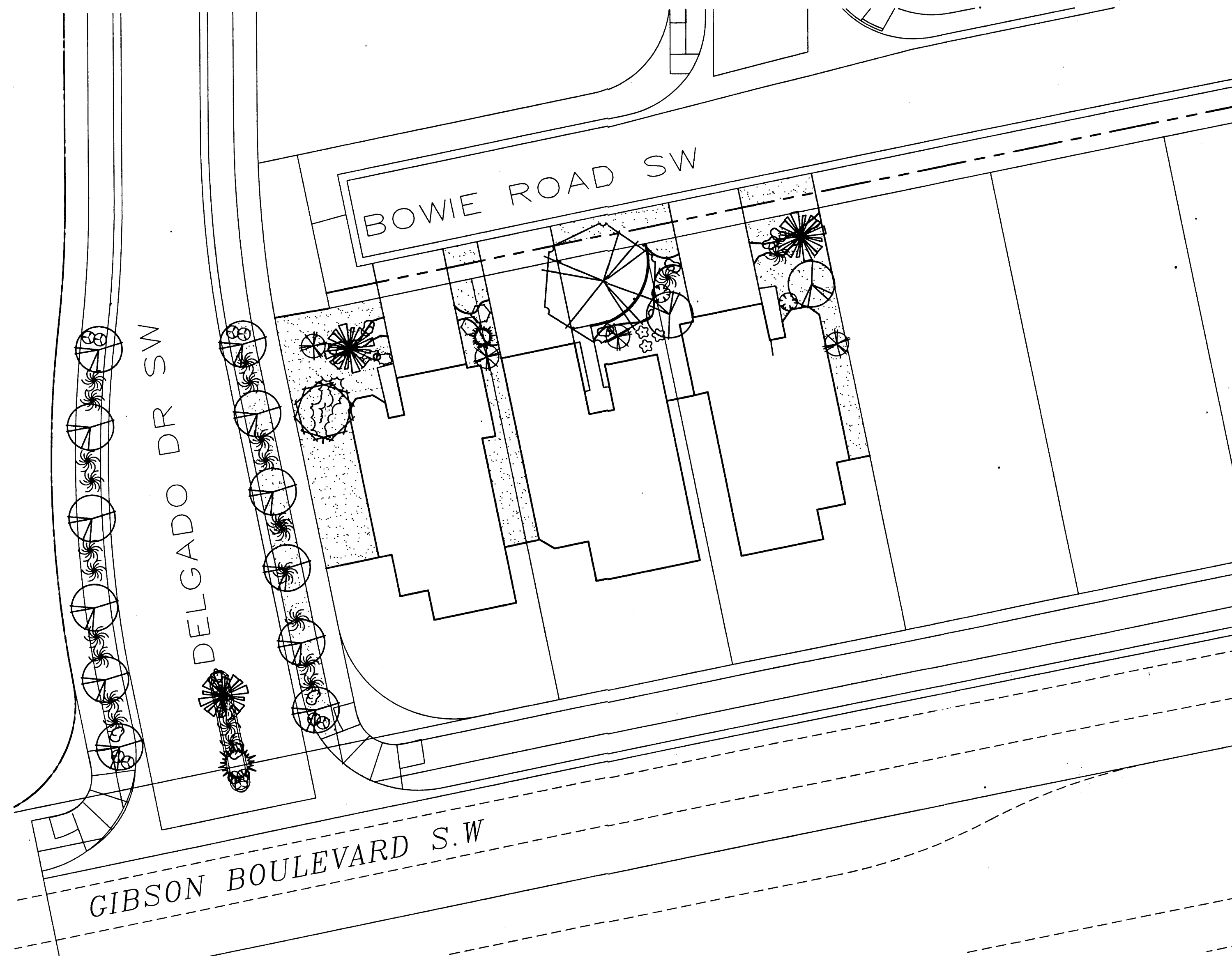
**EL RANCHO GRANDE
UNIT 16
CURB, INC.**

**SITE DEVELOPMENT PLAN
FOR SUBDIVISION**



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1349SDP.DWGonw 1-20-05

APPROVED BY DRB
ON 8/29/05



- TREES**
 Honey Locust, Arizona Ash, Raywood Ash,
 Golden Rain Tree, Chinese Pistache
- EVERGREENS**
 Austrian Pine, Afgan Pine
- ORNAMENTALS**
 Canada Red Cherry, Desert Willow,
 Crabapple, Vitex, Redbud
- ORNAMENTALS**
 Flowering Pear
- SHRUBS - LARGE 1 Gal.**
 Bird of Paradise, Butterfly Bush,
 Spanish Broom, Photinia
- SHRUBS - MEDIUM 1 Gal.**
 Chamisa, Indian Hawthorn, Russian Sage
 Apache Plume, Cotonestear Sage, Rosemary
- SHRUBS - SMALL 1 Gal.**
 Lenas Broom, Autumn Sage, Potentilla,
 Gaura, Crimson Pigmy
- GROUNDCOVERS 1 Gal.**
 Cotonestear, Rosemary
- LARGE GRASSES 1 Gal.**
 Regal Mist, Deer Muhly, Maiden, Blue Avena
- SMALL GRASSES 1 Gal.**
 Threadgrass, Blue Fescue
- WILDFLOWER 1 Gal.**
- ACCENTS**
 Sotol, Palm Yucca, Mugo Pine
- VINES**
 Wisteria, Banks Rose, Boston Ivy, Virginia Creeper
- Santa Fe Brown Gravel (SFB GRAVEL)**
 Steel Edge
 Cobblestone
 Natural Edge
 Boulder
 Sod

LANDSCAPE NOTES:
 Landscape maintenance shall be the responsibility of the Property Owner *at the H.O.A.*

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity. ~~Santa Fe Brown~~ SFB Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
 Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

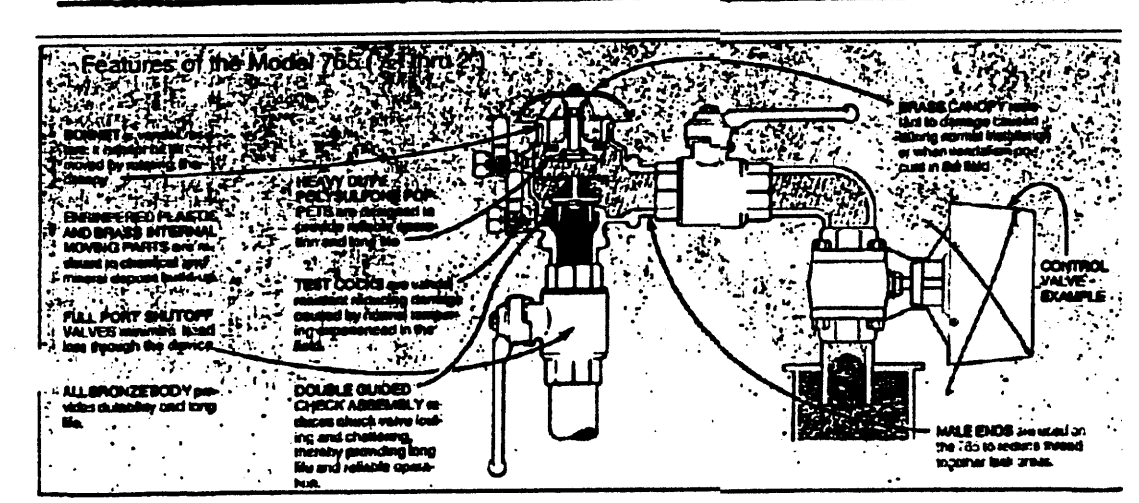
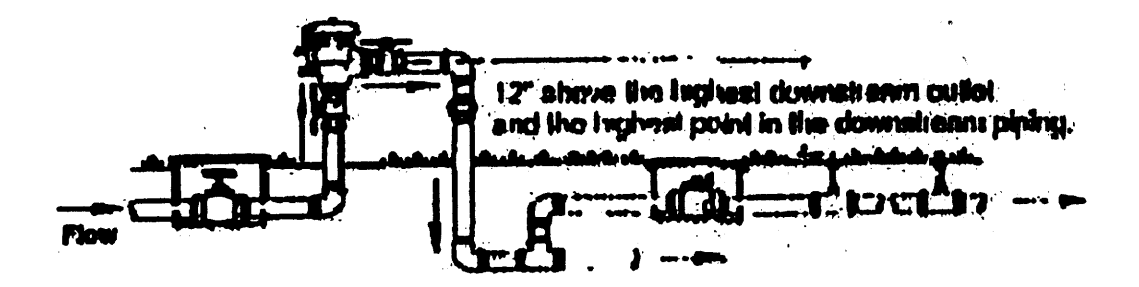
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner, **AND THE H.O.A.**

Water and Power source shall be the responsibility of the Developer/Builder.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

Febco Model 765

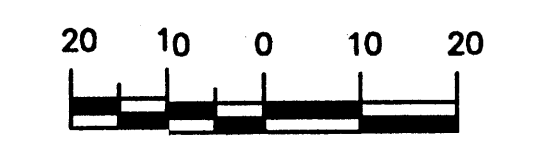


BACKFLOW PREVENTOR DETAIL

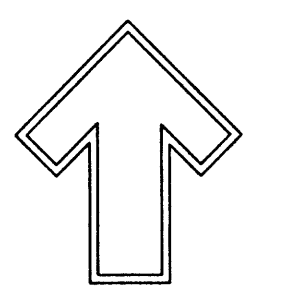
NO SCALE

* FOR LANDSCAPING ON PRIVATE PROPERTY ALL SHALL BE THE RESPONSIBILITY OF THE H.O.A. FOR LANDSCAPING OUTSIDE THE PERIMETER WALLS AND WITHIN THE MEDIAN

GRAPHIC SCALE



SCALE: 1"=20'



Cont. Lic. #26458
 7908 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9690
 Fax (505) 898-7737
 cm@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL



JAMES DE FLON #0007

EL RANCHO GRANDE
 UNIT 16
 ALBUQUERQUE, NM
 STANDARD ENTRY AND FRONT YARD
 LANDSCAPE PLAN

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