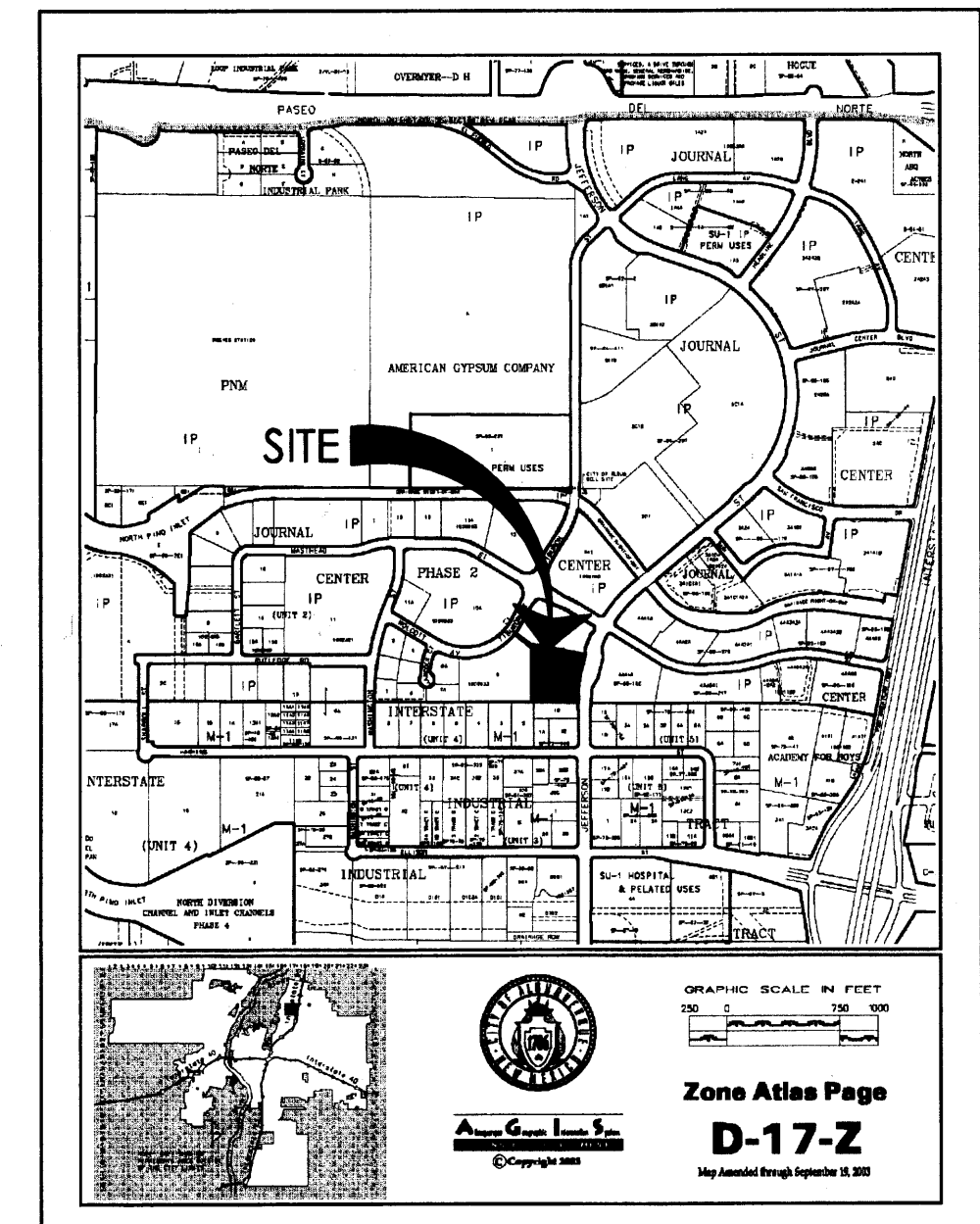
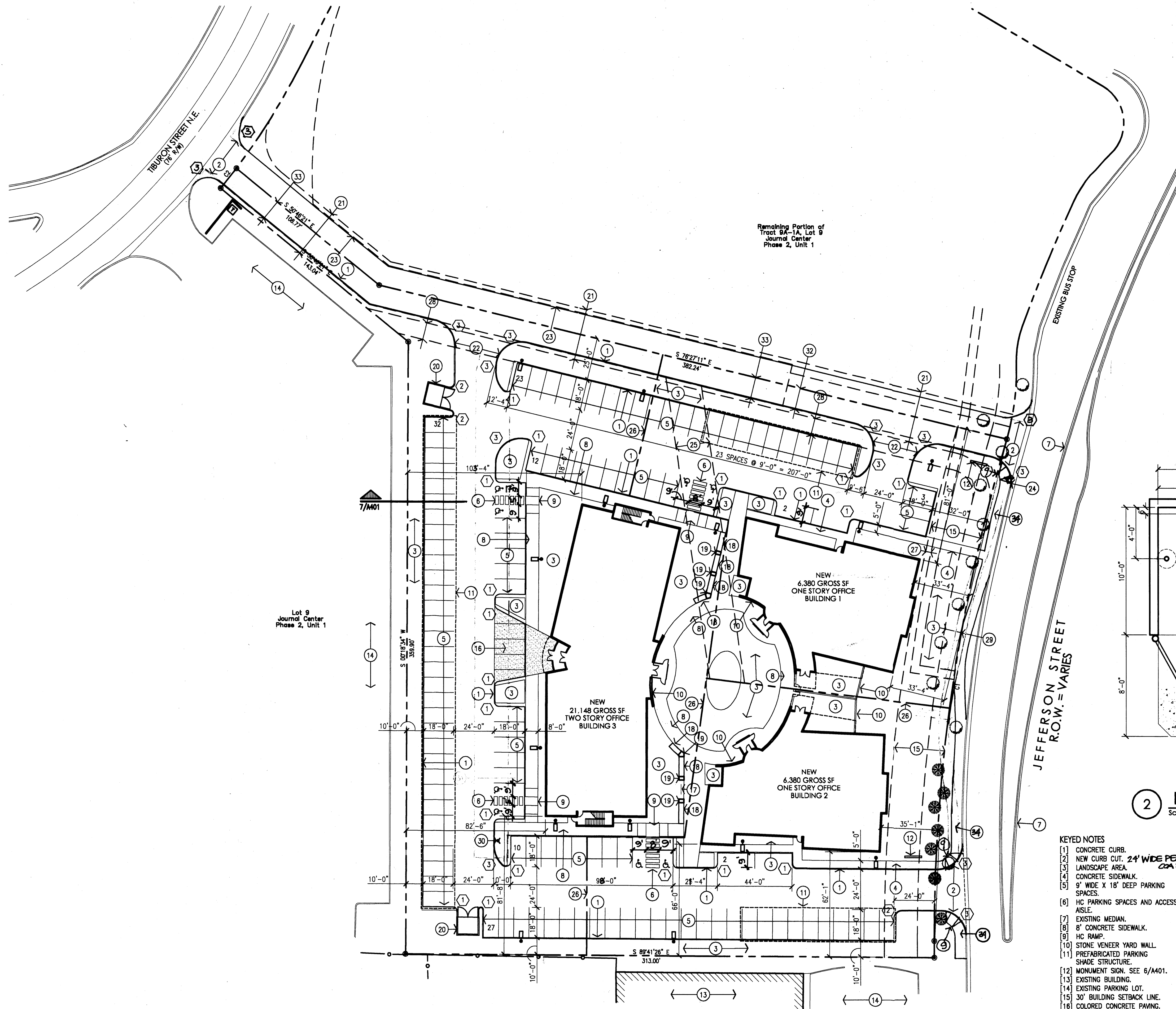


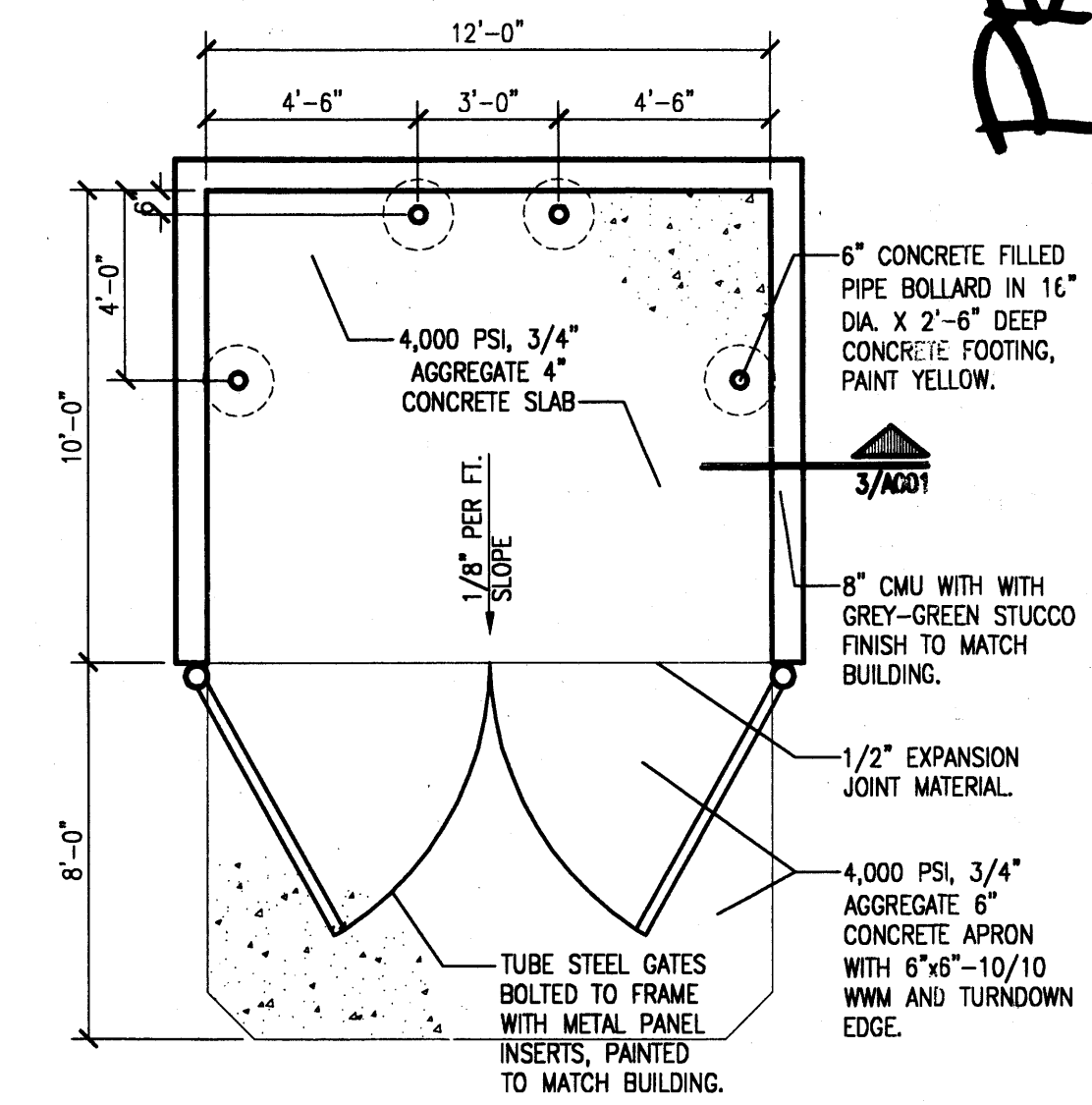
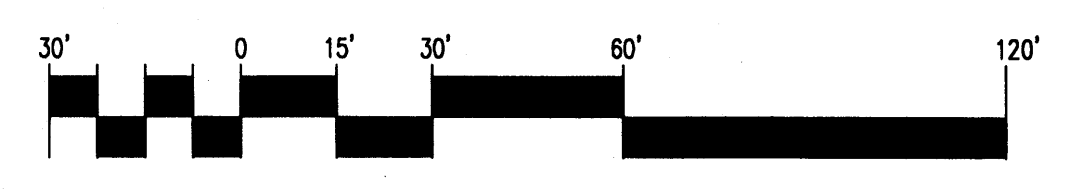
VICINITY MAP



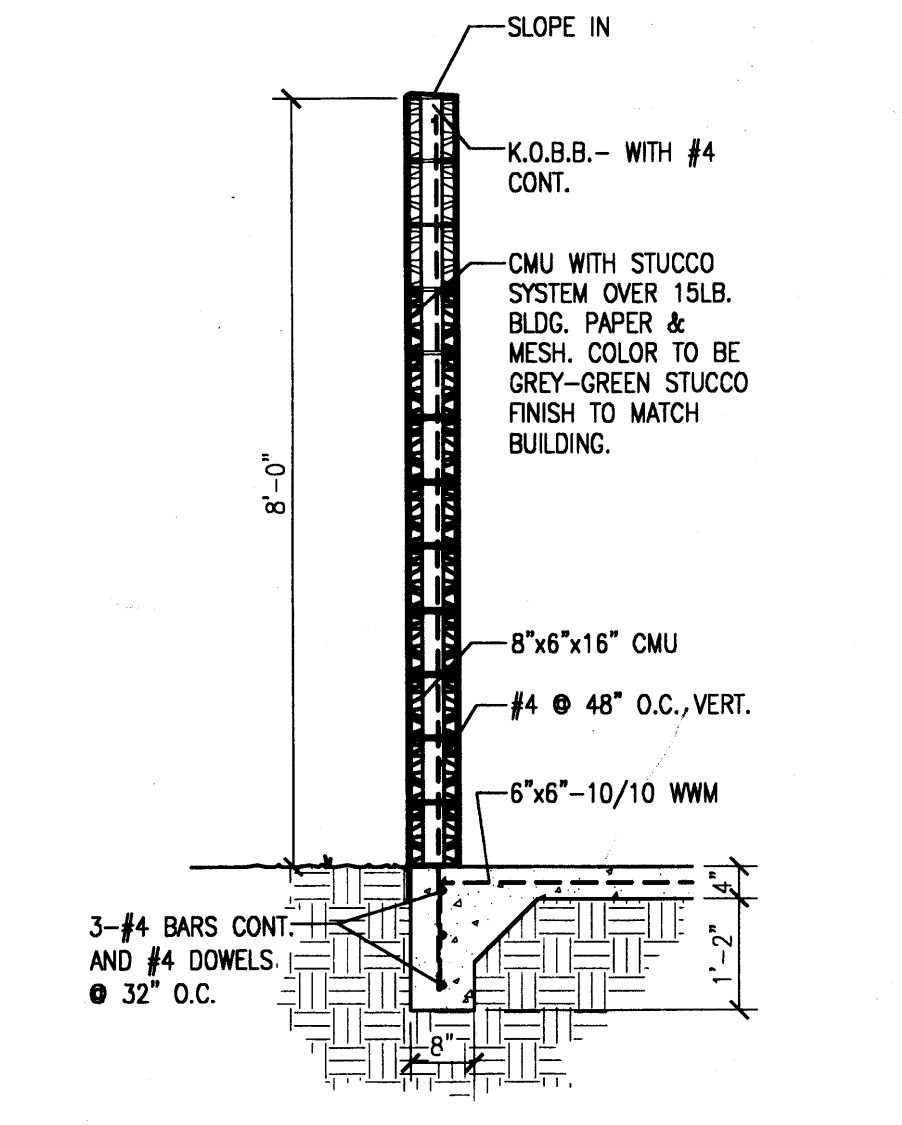
PROJECT # 1003883



**1 Architectural Site Plan**  
Scale: 1"=30'-0"



**2 Dumpster Enclosure Plan**  
Scale: 1"=20"



**3 Enclosure Wall Section**  
Scale: 1/4"=1'-0"

- KEYED NOTES**
- [1] CONCRETE CURB.
  - [2] NEW CURB CUT, 24" WIDE PER 22A DTL. 2412.
  - [3] LANDSCAPE AREA.
  - [4] CONCRETE SIDEWALK.
  - [5] 9' WIDE X 18' DEEP PARKING SPACES.
  - [6] HC PARKING SPACES AND ACCESS AISLE.
  - [7] EXISTING MEDIAN.
  - [8] CONCRETE SIDEWALK.
  - [9] HC RAMP.
  - [10] STONE VENEER YARD WALL.
  - [11] PREFABRICATED PARKING SHADE STRUCTURE.
  - [12] MONUMENT SIGN, SEE 6/A401.
  - [13] EXISTING BUILDING.
  - [14] EXISTING PARKING LOT.
  - [15] 30' BUILDING SETBACK LINE.
  - [16] COLORED CONCRETE PAVING.
  - [17] BIKE RACK, SEE 6/A401.
  - [18] STONE VENEER BENCH.
  - [19] STONE VENEER LIGHT BOLLARD.
  - [20] DUMPSTER ENCLOSURE, SEE 2/A001.
  - [21] EXISTING 30' PRIVATE CROSS ACCESS EASEMENT.
  - [22] DRIVEWAY CUT.
  - [23] EDGE OF NEW ASPHALT DRIVE.
  - [24] RELOCATED FIRE HYDRANT.
  - [25] NEW 20' PRIVATE UTILITY EASEMENT.
  - [26] PROPOSED PROPERTY LINE.
  - [27] EXISTING 5' COMCAST EASEMENT.
  - [28] NEW 10' PUBLIC UTILITY EASEMENT.
  - [29] EXISTING 10' PUBLIC UTILITY EASEMENT.
  - [30] NEW FIRE HYDRANT.
  - [31] NEW 20' PUBLIC WATERLINE EASEMENT. NOT USED.
  - [32] NEW 12'-6" PUBLIC WATERLINE EASEMENT.
  - [33] NEW 12'-6" PUBLIC SAS AND WATERLINE EASEMENT.
  - [34] NEW 6" CITY SIDEWALK PER 22A DTL. 2420.
- SITE LIGHTING LEGEND**
- 16' HIGH LITE POLE WITH 250 WATT METAL HALIDE SHIELDED SHOEBOX FIXTURE
- RADIUS INFO**
- ① 3' RADIUS
  - ② 5' RADIUS
  - ③ 15' RADIUS
- PARKING CALCULATIONS**
- |                      |                 |
|----------------------|-----------------|
| OFFICE:              | 6,380 GROSS SF  |
| OFFICE:              | 6,380 GROSS SF  |
| OFFICE:              | 21,148 GROSS SF |
| TOTAL BUILDING AREA: | 33,908 GROSS SF |
- PARKING REQUIREMENTS:**
- |                     |                    |
|---------------------|--------------------|
| FIRST FLOOR OFFICE  | = 23,334/200 = 116 |
| SECOND FLOOR OFFICE | = 10,574/300 = 35  |
| TOTAL               | = 151              |
- 15% REDUCTION FOR BUS STOP = 128 SPACES REQUIRED**
- TOTAL SPACES PROVIDED = 128**
- 8 HANDICAP SPACES REQUIRED**  
8 HANDICAP SPACES PROVIDED
- BLDG. 1. 27 SPACES REQD, 24 PROVIDED**  
**BLDG. 2. 27 SPACES REQD, 27 PROVIDED**  
**BLDG. 3. 77 SPACES REQD, 77 PROVIDED**

PROJECT NUMBER: 1003883	APPLICATION NUMBER: 05-20999
IS AN INFRASTRUCTURE LIST REQUIRED? <input checked="" type="checkbox"/> YES ( ) NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
<i>Bill De...</i> TRAFFIC ENGINEER, TRANSPORTATION DIVISION	6-30-05 Date
<i>Roger A. Sheen</i> UTILITIES DEVELOPMENT	6-22-05 Date
<i>Christina Sandoval</i> PARKS AND RECREATION DEPARTMENT	6/22/05 Date
<i>Bradley P. Bingham</i> CITY ENGINEER	6/22/05 Date
<i>N/A</i> ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
<i>Joe Whittle</i> SOLID WASTE MANAGEMENT	6-22-05 Date
<i>D. Malen</i> DRB CHAIRPERSON, PLANNING DEPARTMENT	6/30/05 Date

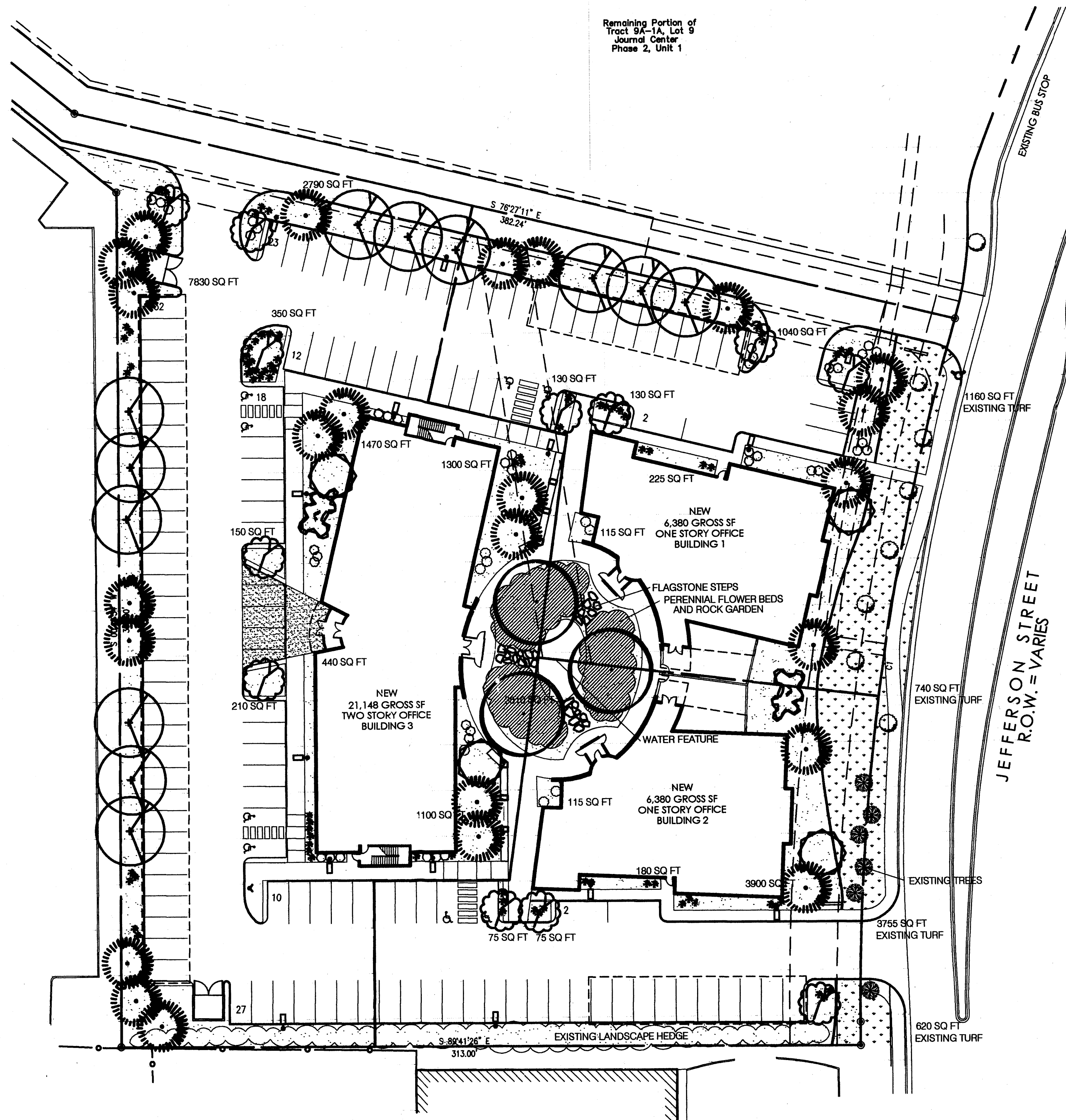
revision \_\_\_\_\_  
by \_\_\_\_\_  
date \_\_\_\_\_  
rev.

**MH**  
Mullen Heller  
Architecture P.C.  
1015 Tijeras Avenue NW  
Suite 220  
Albuquerque 87102  
505 268 4144 [p]  
505 268 4244 [f]

job number 04-38  
drawn by MAG  
project manager Douglas Heller, AIA  
date 06/14/05

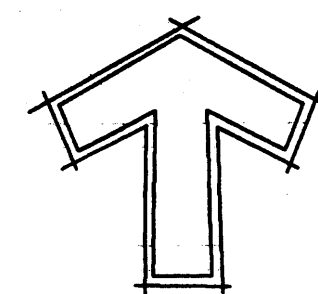
project title Landlaford Development  
SWC of Jefferson Street and Masthead  
Albuquerque, New Mexico  
sheet title Site Development Plan for Building Permit  
sheet number A001



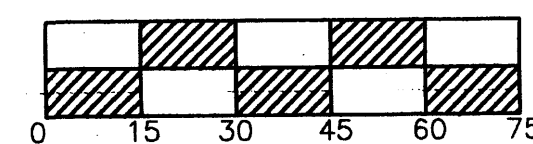


Remaining Portion of  
Tract 9A-1A, Lot 9  
Journal Center  
Phase 2, Unit 1

JEFFERSON STREET  
R.O.W. = VARIES



NORTH



SCALE: 1" = 30'-0"

LANDSCAPE PLAN

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (SQ FT)	42,760
TOTAL BUILDING AREA (SQ FT)	5,037
NET LOT AREA (SQ FT)	37,723
LANDSCAPE REQUIREMENT (%)	15
TOTAL LANDSCAPE REQUIRED (SQ FT)	5,658
TOTAL LANDSCAPE PROVIDED (SQ FT)	31410
TOTAL GRAVEL LANDSCAPE	25135
TOTAL EXISTING SOD	6275

LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
12	2" cal	Raywood Ash <i>Fraxinus oxycarpa</i>	M+
3	2" cal	Honey Locust <i>Gleditsia triacanthos</i>	M
24	6 - 8'	Austrian Pine <i>Pinus nigra</i>	M
2	4 - 6'	Pinon <i>Pinus edulis</i>	M
4	2" cal	Desert Willow <i>Chilopsis linearis</i>	L
12	10-12'	Bradford Pear <i>Pyrus calleryana</i>	M
34	5 Gal	Wintergreen Barberry <i>Berberis julianae</i>	M
40	5 Gal	India Hawthorne <i>Raphiolepis indica</i>	M
0	5 Gal	Honeysuckle <i>Lonicera japonica</i>	M
14	5 Gal	Dwarf Butterfly Bush <i>Buddleia davidii nanhoensis</i>	M
84	5 Gal	Dwarf Feathertop <i>Pennisetum villosum</i>	M
40	5 Gal	Cherry Sage <i>Salvia greggii</i>	M
211	5 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	M
3	5 Gal	Turpentine Bush <i>Ericameria laricifolia</i>	L
		SANTA FE BROWN CRUSHER FINES	
		EXISTING SOD LAWN	

LANDSCAPE NOTES

Owner is responsible for maintenance of Irrigation System, Landscape Plantings, and Landscape Mulch. Landscape Plant material which dies shall be replaced by the owner no later than 60 days after notification.

Landscape shall be watered by a complete underground irrigation system operated by automatic timer. Trees shall have bubblers and shrubs shall have a minimum of 2 emitters per shrub. Trees and shrubs shall be zoned separately. Point of Connection for irrigation system shall be coordinated between the Landscape Contractor and the General Contractor of the project prior to Construction.

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.

Prior to Construction, Landscape Contractor shall verify location of all Utility Lines. In case of a discrepancy between utilities indicated on plan and actual field verification, Contractor shall notify the Landscape Architect immediately before proceeding.

Any damage to utility lines resulting from the negligence of the abutting landowner, his agents or employees in the installation and maintenance of the landscaped area in the public right-of-way shall be the responsibility of such landowner. Any damage to utility lines resulting from the grown of plant materials which have been approved by the applicable public utility as part of a plan for landscaping on the public right-of-way, shall be the responsibility of such public utility. If a public utility disturbs a landscaped area in the public right-of-way, it shall make every reasonable effort to preserve the landscaping materials and return them to their prior locations after utility work. If, nonetheless some plant materials die, it is the obligation of the abutting landowner to replace the plant materials.

Landscaping shall be installed according to the approved plan: Installation shall be completed within 60 days of the related building's occupancy.

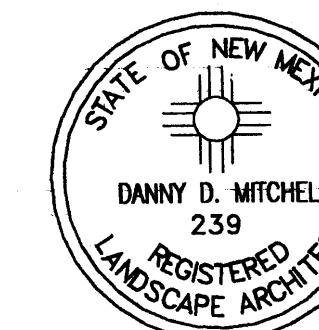
Landscape areas in excess of 36 square feet shall be planted so as to achieve 75% Live Ground Cover at maturity.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.

The landscape plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the provided landscape area.

Mitchell Associates, LLC

7200 W. Cross Ave. NW  
Albuquerque, NM 87120  
505.268.4144  
www.mitchellassociatesllc.com



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date	
rev	▲▲▲▲▲

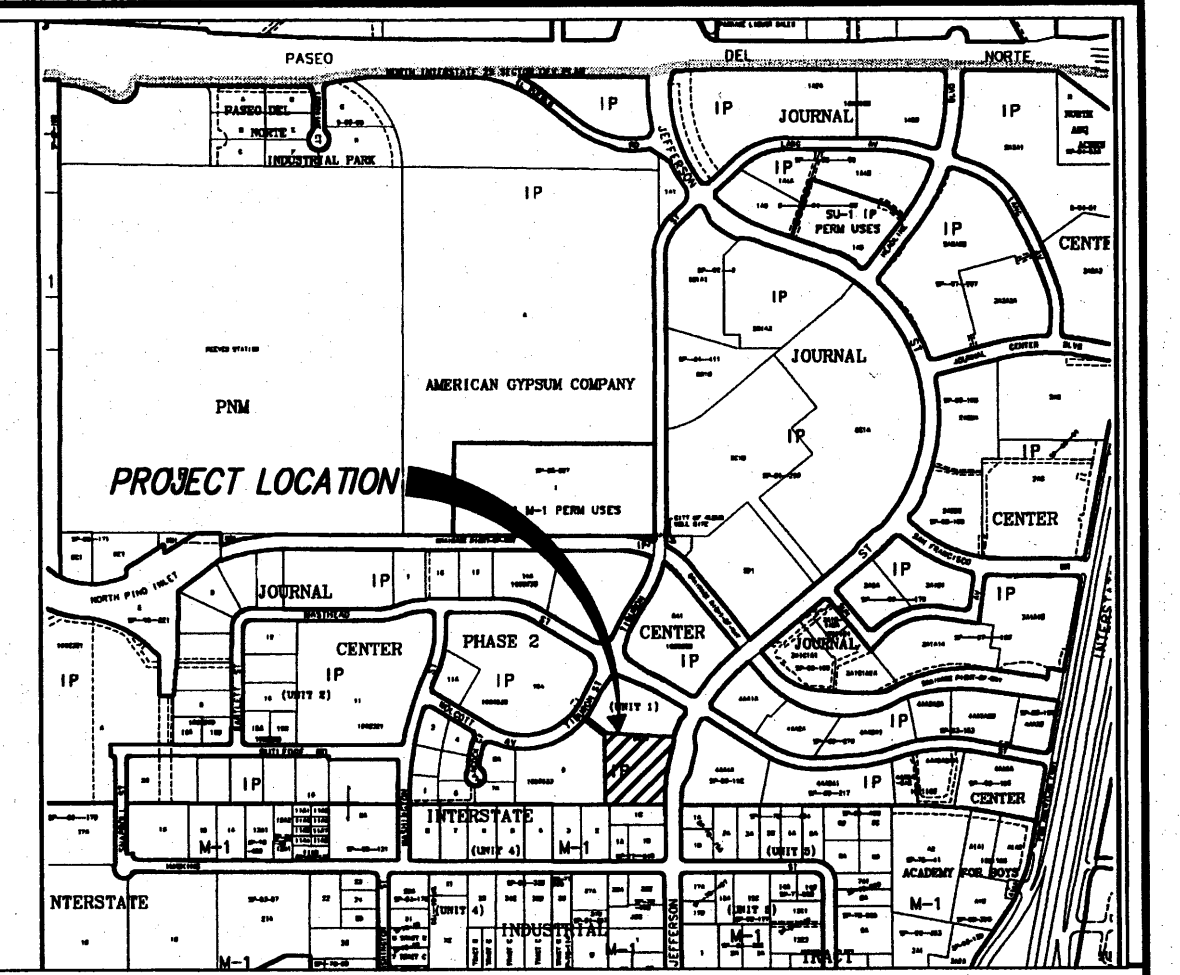
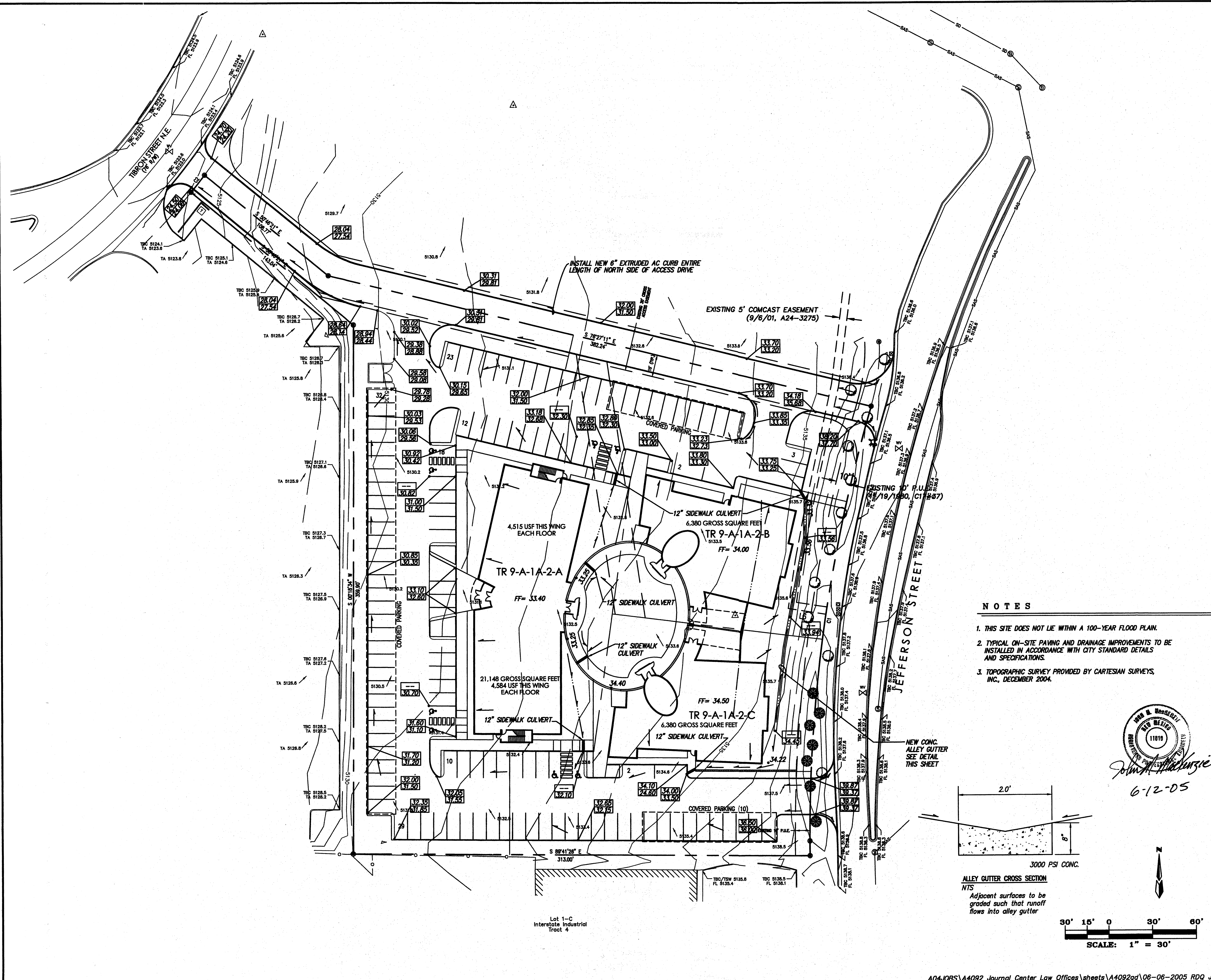
**MH**  
Mullen Heller  
Architecture P.C.  
1015 Tijeras Avenue NW  
Suite 220  
Albuquerque 87102  
505 268 4144 [p]  
505 268 4244 [f]

job number	04-38
drawn by	cdm
project manager	Douglas Heller, AIA
date	06/14/05

project title  
**Landlford Development**  
SVC of Jefferson Street and Masthead  
Albuquerque, New Mexico  
sheet title  
**Landscape Plan**

sheet  
**L001**





VICINITY MAP ZONE MAP: D-17-Z

ACS BENCHMARK  
ACS MONUMENT "16-E 17" ELEV. = 5144.74

LEGAL DESCRIPTION  
TRACT 9-A-1A-2-A, 9-A-1A-2-B, AND -A-1A-2-C  
JOURNAL CENTER PHASE 2, UNIT 1

- LEGEND
- N 90°00'00" E RECORD BEARING AND DISTANCES
  - FOUND REBAR WITH CAP "LS 6544"
  - ⊙ SANITARY SEWER MANHOLE
  - ⊗ STORM DRAIN MANHOLE
  - ⊕ FIRE HYDRANT
  - ⊖ WATER VALVE
  - CHAIN LINK FENCE
  - UNDERGROUND ELECTRIC BOX
  - TRANSFORMER
  - DECIDUOUS TREE
  - CONIFEROUS TREE
  - RETAINING WALL
  - LANDSCAPE SWALE
  - FF= XX.XX FINISH FLOOR ELEVATION
  - XX.XX NEW SPOT ELEVATION
  - XX.XX TOP OF CURB ELEVATION & FLOWLINE ELEVATION
  - FLOW DIRECTION

NOTES

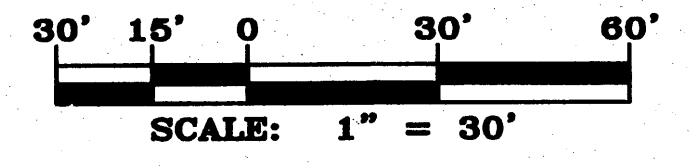
1. THIS SITE DOES NOT LIE WITHIN A 100-YEAR FLOOD PLAIN.
2. TYPICAL ON-SITE PAVING AND DRAINAGE IMPROVEMENTS TO BE INSTALLED IN ACCORDANCE WITH CITY STANDARD DETAILS AND SPECIFICATIONS.
3. TOPOGRAPHIC SURVEY PROVIDED BY CARTESIAN SURVEYS, INC., DECEMBER 2004.

6-12-05

OFFICE BUILDING  
GRADING & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

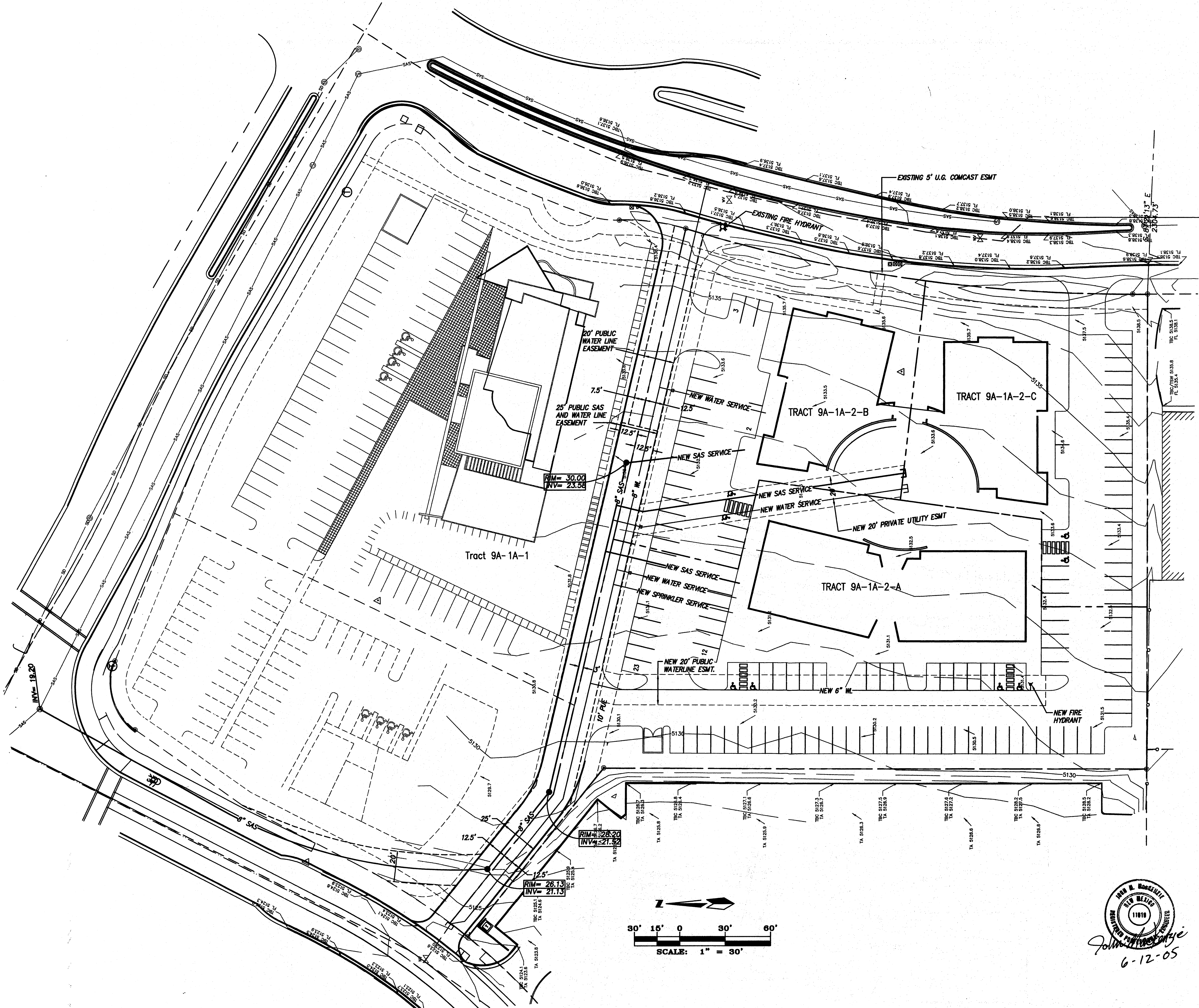
Designed: JMM Drawn: JCC Checked: DMG Sheet C-101  
Scale: 1" = 1' Date: 6-6-05 Job: A04092



A04092 Journal Center Law Offices\sheet\A04092gd\06-06-2005 RDQ JCC



NOTES



dmg MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT

TITLE: **JOURNAL CENTER LAW OFFICES  
CONCEPTUAL UTILITY PLAN**

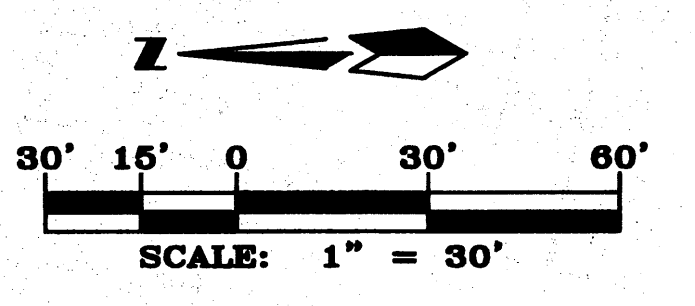
DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL

LAST DESIGN UPDATE

NO.	DATE	REMARKS	BY

DESIGNED BY ? DATE ##  
DRAWN BY ? DATE ##  
CHECKED BY DMG DATE ##

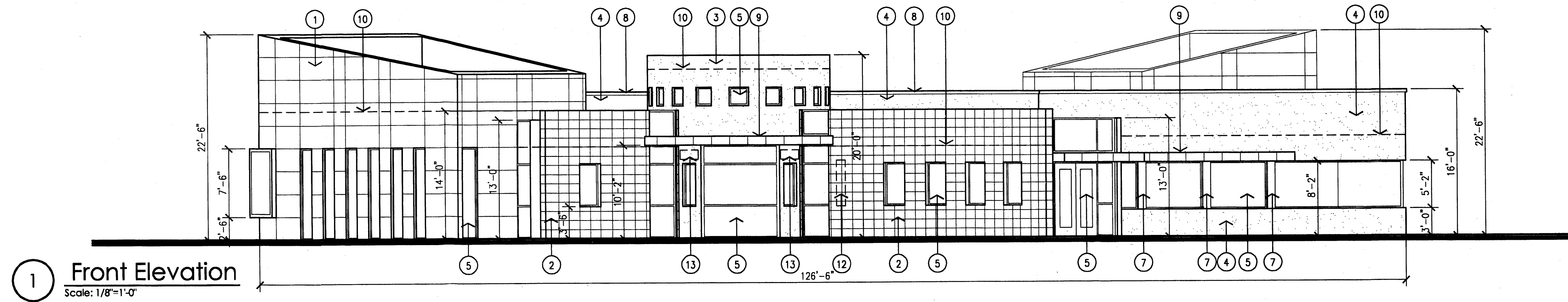
CITY PROJECT NO. ZONE MAP NO. SHEET  
**C-102**



Professional Engineer Seal  
Mark Goodwin  
New Mexico  
11819  
6-12-05

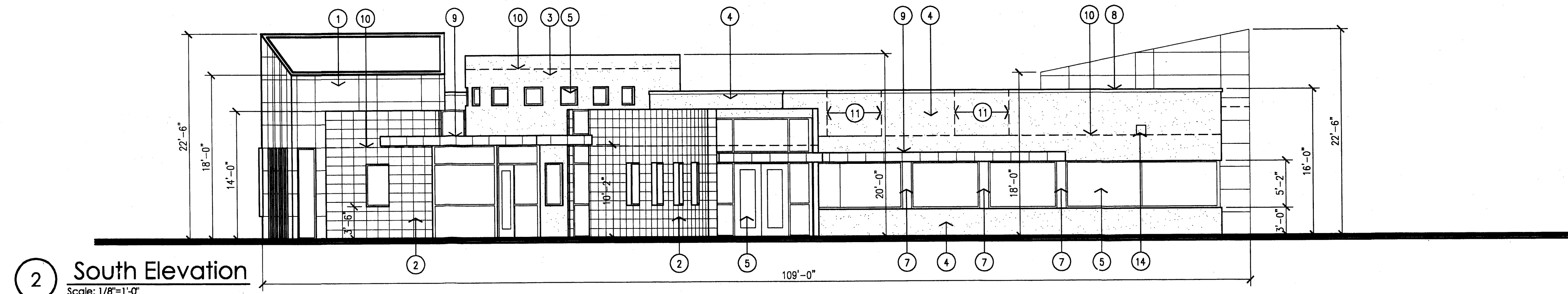
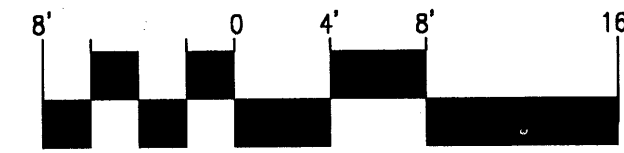
ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE

A04.JOB3\A4092 Journal Center Law Offices\plans\A04092-MU1.dwg 6/13/2005 9:10:41 AM SPS

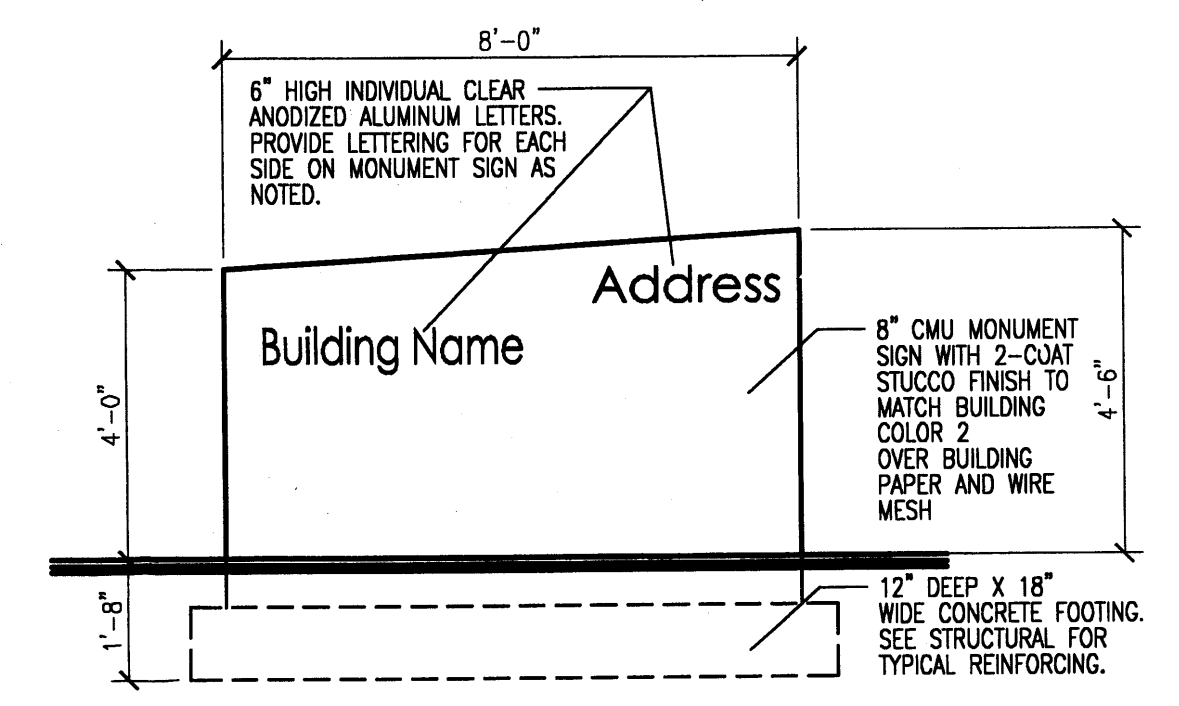


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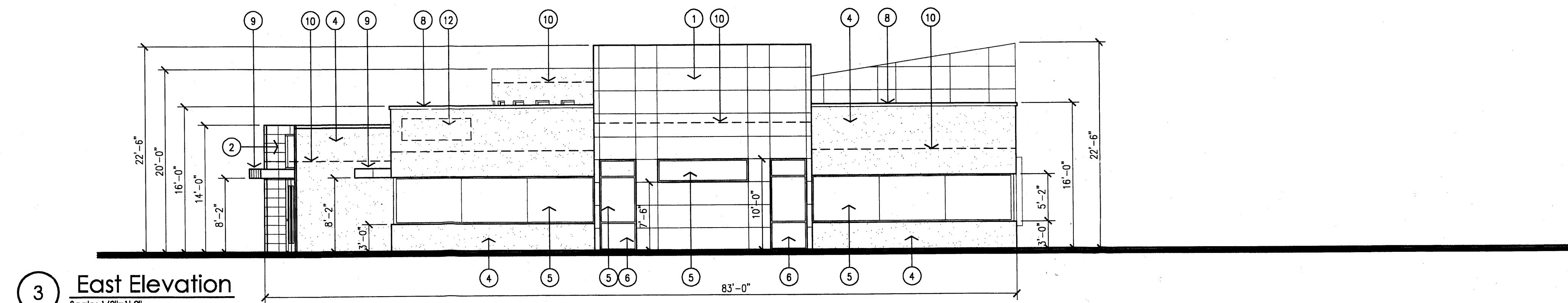
- KEYED NOTES**
- [1] ALUMINUM PANELS. COLOR: SILVER.
  - [2] STUCCO VENEER. COLOR: LIGHT TAN.
  - [3] STUCCO COLOR 1. COLOR: BLUE-GREY.
  - [4] STUCCO COLOR 2. COLOR: LIGHT TAN.
  - [5] TINTED GLASS IN CLEAR ANODIZED ALUMINUM STOREFRONT. COLOR STOREFRONT IN STUCCO VENEER TO BE BLUE-GREY.
  - [6] OPAQUE SPANDREL PANEL.
  - [7] ALUMINUM PANEL TO MATCH STOREFRONT COLOR.
  - [8] PREFINISHED PARAPET CAP TO MATCH STOREFRONT.
  - [9] CANOPY WITH ALUMINUM PANELS. COLOR: SILVER.
  - [10] LINE OF ROOF BEYOND.
  - [11] LINE OF ROOF TOP UNITS BEYOND.
  - [12] INTERNALLY LIT INDIVIDUAL CHANNEL LETTER SIGNAGE. MAX 30 S.F.
  - [13] EXTERIOR WALL SCONCE LOCATION.
  - [14] EXTERIOR WALL MOUNTED SHIELDED LIGHT.



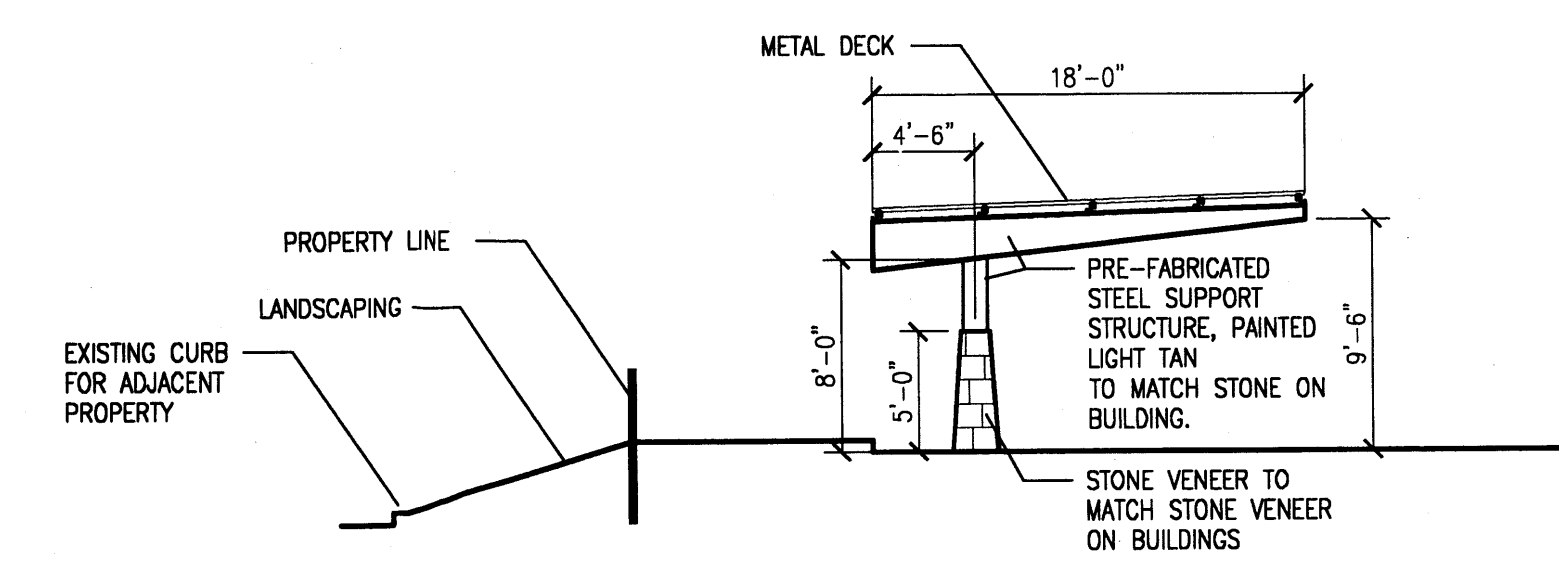
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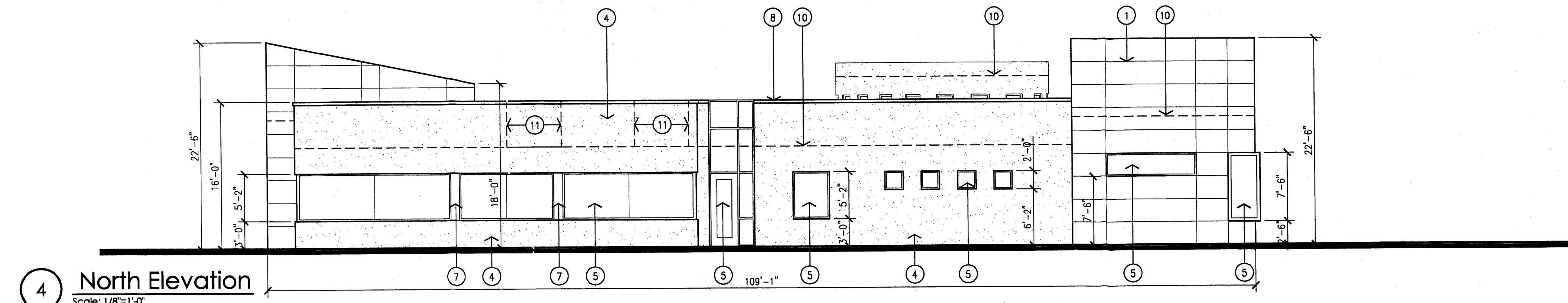
6 Monument Sign Elevation  
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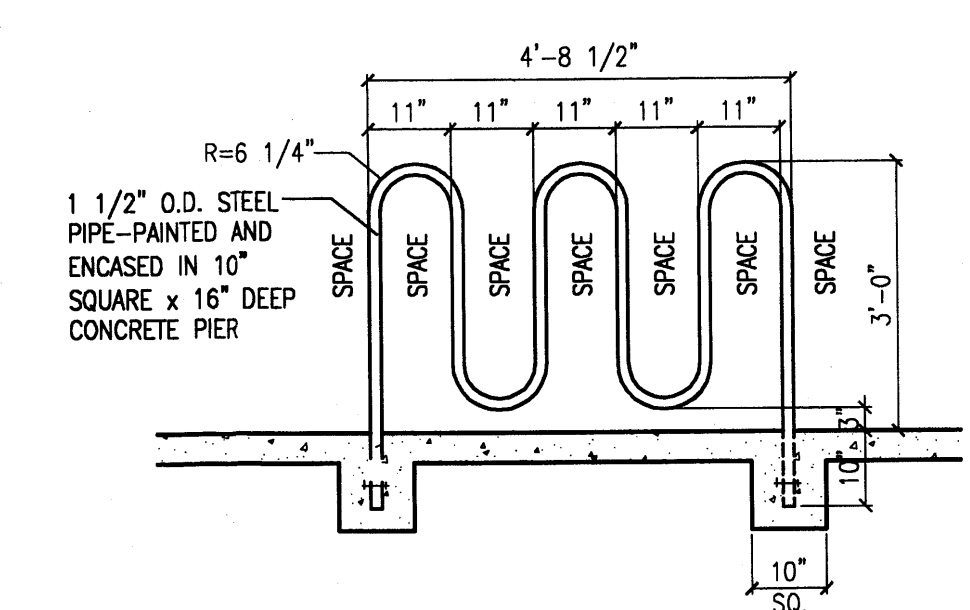
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Scale: 1/8"=1'-0"



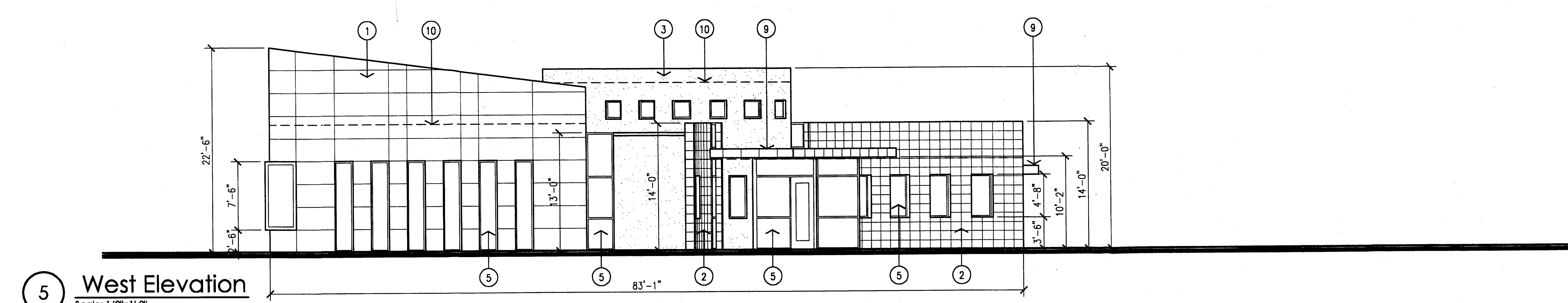
7 Site Section Thru Covered Parking  
Scale: 1/8"=1'-0"



4 North Elevation  
Scale: 1/8"=1'-0"



8 Bike Rack Detail  
Scale: 1/2"=1'-0"



5 West Elevation  
Scale: 1/8"=1'-0"

revision	
by	
date	
rev	△ △ △ △

**MH**  
Mullen Heller  
Architecture P.C.  
1015 Tijeras Avenue NW  
Suite 220  
Albuquerque 87102  
505 268 4144(p)  
505 268 4244 (f)

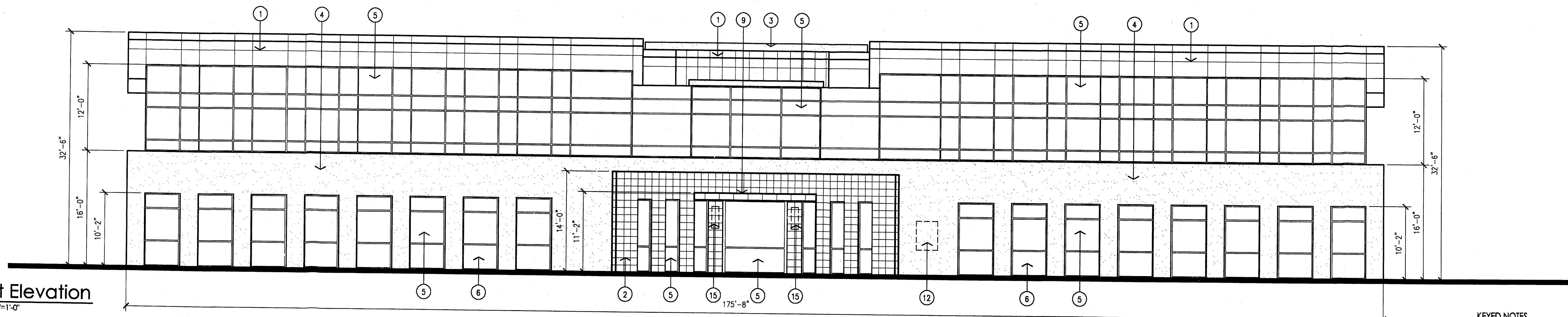
job number	04-38
drawn by	MAG
project manager	MMM
date	06/14/05

project title  
**Landiaford Development**  
SWC of Jefferson Street and Masthead  
Albuquerque, New Mexico

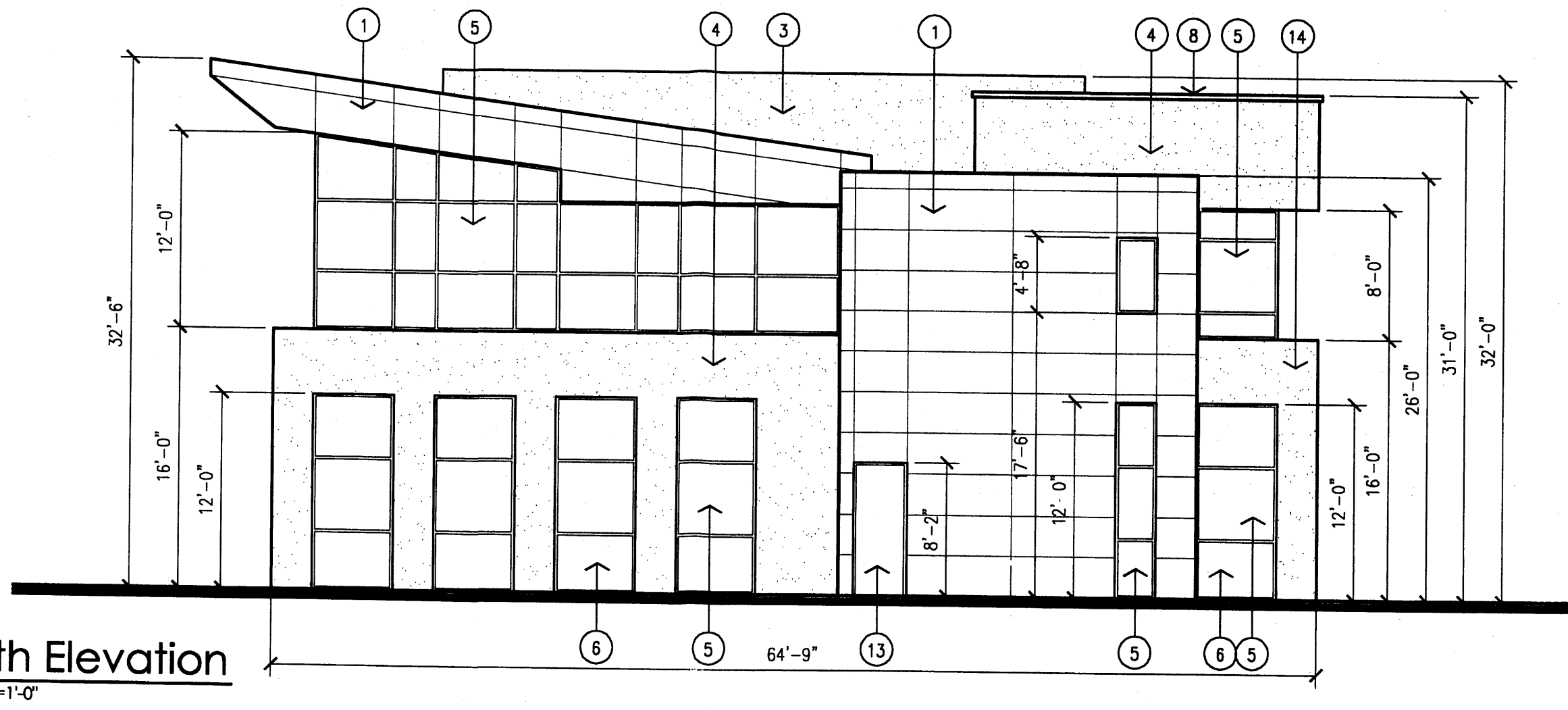
sheet title  
**Exterior Elevations (Buildings 1 & 2)**



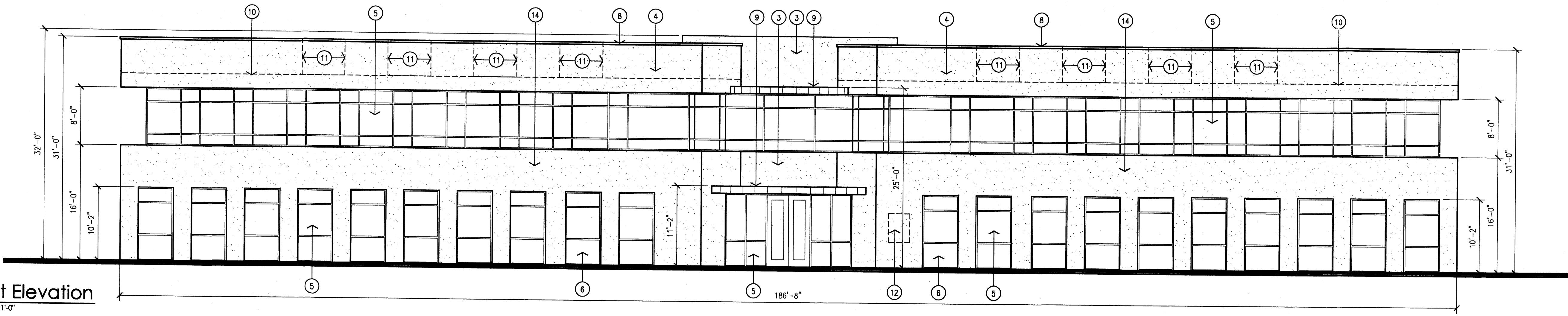
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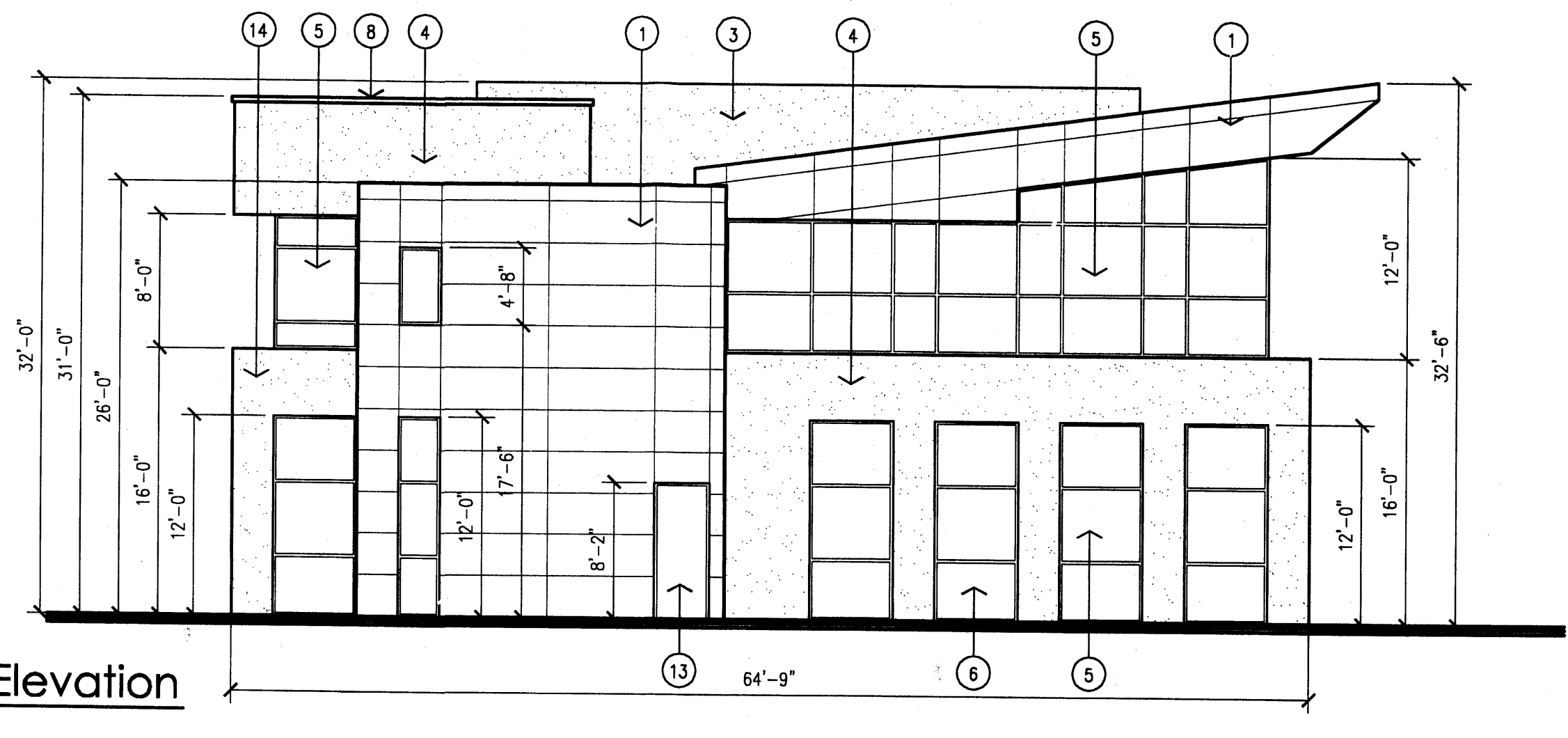
2 North Elevation  
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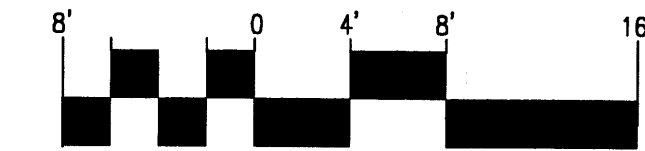
3 West Elevation  
Scale: 1/8"=1'-0"



4 South Elevation  
Scale: 1/8"=1'-0"



- KEYED NOTES
- [1] ALUMINUM PANELS. COLOR: SILVER.
  - [2] STONE VENEER. COLOR: LIGHT TAN.
  - [3] STUCCO COLOR 1. COLOR: BLUE-GREY.
  - [4] STUCCO COLOR 2. COLOR: LIGHT TAN.
  - [5] TINTED GLASS IN CLEAR ANODIZED ALUMINUM STOREFRONT. COLOR STOREFRONT IN STONE VENEER TO BE BLUE-GREY.
  - [6] OPAQUE SPANDREL PANEL.
  - [7] ALUMINUM PANEL TO MATCH STOREFRONT COLOR.
  - [8] PREFINISHED PARAPET CAP TO MATCH STOREFRONT.
  - [9] CANOPY WITH ALUMINUM PANELS. COLOR: SILVER.
  - [10] LINE OF ROOF BEYOND.
  - [11] LINE OF ROOF TOP UNITS BEYOND.
  - [12] INTERNALLY LIT INDIVIDUAL CHANNEL LETTER SIGNAGE. MAX 30 S.F.
  - [13] HOLLOW METAL DOOR.
  - [14] STUCCO COLOR 3. COLOR: MEDIUM TAN.
  - [15] EXTERIOR BUILDING SCENCE LOCATION.



revision	
by	
date	
rev	▲▲▲▲▲

**MH**  
Mullen Heller  
Architecture P.C.  
1015 Tijeras Avenue NW  
Suite 220  
Albuquerque 87102  
505 268 4144 [p]  
505 268 4244 [f]

job number	04-38
drawn by	MAG
project manager	MMX
date	06/14/05

project title  
**Landlford Development**  
SWC of Jefferson Street and Masthead  
Albuquerque, New Mexico  
sheet title  
**Exterior Elevations (Building 3)**