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Perich
Sabatini**

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ARCHITECT

ENGINEER

PROJECT

REDW
Office Building
7425 Jefferson NE
Albuquerque, New Mexico 87109

1003883

GENERAL SHEET NOTES

- A. SITE PLAN SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS.
- B. SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE AND UTILITY INFORMATION.
- C. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- D. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- E. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT, THE CITY OF ALBUQUERQUE ZONING CODE: SECTION 14-16-3-9 AREA LIGHTING REGULATIONS.
- F. EXISTING ASPHALT SIDEWALK ALONG WEST SIDE OF SITE FRONTING TIBERON SHALL BE REMOVED PRIOR TO INSTALLATION OF NEW CONCRETE SIDEWALK.
- G. SIGN SHALL BE POSTED NEAR MAIN ENTRANCE STATING SMOKING IS PROHIBITED AND SHALL DIRECT PEDESTRIAN TO DESIGNATED SMOKING AREA.

SHEET KEYNOTES

1. TYPICAL PARKING SPACE; 8'-6"x18'-0" (UNLESS NOTED OTHERWISE).
2. TYPICAL COMPACT PARKING SPACE; 8'-0"x15'-0"
3. TYPICAL ADA PARKING SPACE; 9'-0"x20'-0"
4. TYPICAL MOTORCYCLE PARKING SPACE; 4'-0"x8'-0"
5. LANDSCAPED AREA; REFER TO LANDSCAPE PLAN
6. ASPHALT PAVING
7. METAL BIKE RACK
8. 6'-0" WIDE PEDESTRIAN CROSSWALK. COLOR AND TEXTURE PATTERN TO DIFFERENTIATE FROM SURROUNDING ASPHALT PAVING.
9. CONCRETE WHEEL STOP TYPICAL
10. STEEL TRELLIS ABOVE
11. REFUSE ENCLOSURE FOR SOLID WASTE DISPOSAL; REFER DETAIL D4/SHT. A102
12. 8'-0" WIDE CONCRETE SIDEWALK TO CONNECT TO EXISTING SIDEWALK ALONG STREET.
13. POLE MOUNTED ADA SIGNAGE
14. POLE MOUNTED MOTORCYCLE PARKING SIGNAGE
15. PAINTED ADA PAVEMENT SIGNAGE TYP.
16. AUTOMOBILE INGRESS/EGRESS.
17. CONCRETE CURB
18. EXISTING CONCRETE SIDEWALK
19. NEW CONCRETE ADA RAMP WITH 1:12 MAXIMUM SLOPE AND TRUNCATED DOMES PER COA STANDARD DRAWING 2440
21. COURTYARD
22. NEW CONCRETE RAMP; REFER DETAIL A4/SHT. A102.
23. PARKING SPACE; 9'-0"x20'-0"
24. EXISTING BUS STOP
25. LIGHT POLE TYP; REFER DETAIL C4/SHT. A102
26. DRAINAGE CANAL
27. EQUIPMENT ENCLOSURE
28. MONUMENT SIGN; REFER DETAIL B4/SHT. A102
29. 10' PUBLIC UTILITY EASEMENT
30. COMCAST EASEMENT
31. CONCRETE DRIVEPAD, SEE COA STANDARD DRAWING #2426
32. EXISTING FIRE HYDRANT
33. NEW FIRE HYDRANT
34. FIRE LANE
35. CONCRETE STAIRS
36. SIDEWALK STEEL GRATE COVER
37. PROPOSED GAS METER LOCATION.
38. ACCESSIBLE RAMP
39. COURTYARD WALL
40. CONCRETE CURB @ BUILDING
41. CONCRETE CURB AND GLITTER
42. SHARED PRIVATE ACCESS EASEMENT; RECORDED 1/31/2005, BOOK 2005C PG. 40.
43. DESIGNATED OUTDOOR SMOKING AREA; BENCH WITH ASH URN/TRASH RECEPTACLE.
44. NEW CONCRETE RAMP; REFER DETAIL C5/SHT. A102

GRAPHIC LEGEND

- EASEMENT LINE
- PROPERTY LINE
- NEW CONCRETE SIDEWALK/PAVING
- EXISTING CONCRETE CURB
- NEW CONCRETE CURB

DRB ADMINISTRATIVE SITE PLAN AMENDMENT	
PROJECT NO.	1003883
APPLICATION NO.	11DRB-70014
PLANNING DIRECTOR	DATE

FORMER PROJECT NUMBER:

PROJECT NUMBER: 1003883

APPLICATION NUMBER: 11DRB-70014

Is an Infrastructure List Required? () Yes (X) No If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i>	DATE
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	02-29-11
<i>[Signature]</i>	DATE
ABCWUA	02/16/11
<i>[Signature]</i>	DATE
PARKS AND RECREATION DEPARTMENT	2/16/11
<i>[Signature]</i>	DATE
CITY ENGINEER	2-16-11
<i>[Signature]</i>	DATE
SOLID WASTE MANAGEMENT	1-20-11
<i>[Signature]</i>	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	3-30-11

REVISIONS

- △ 12/21/11 Admin Amend.
- △
- △
- △

DRAWN BY: DPS
REVIEWED BY: DPS
DATE: 01.21.2011
PROJECT NO.: 10-0138
DRAWING NAME:

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SHEET NO.

A101
OF

SITE DATA

LEGAL DESCRIPTION:
JOURNAL CENTER PHASE 2, UNIT 2, TRACT 9A-1A-1

ZONE:
IP INDUSTRIAL PARK

GROSS BUILDING AREA:
OFFICE BLDG. (2-STORY) - 46,953 sf

SITE AREA:
124,874 sf - 2.87 ACRES

GROSS F.A.R. (GBA/SITE AREA):
46,953 sf/124,874 sf = 0.38

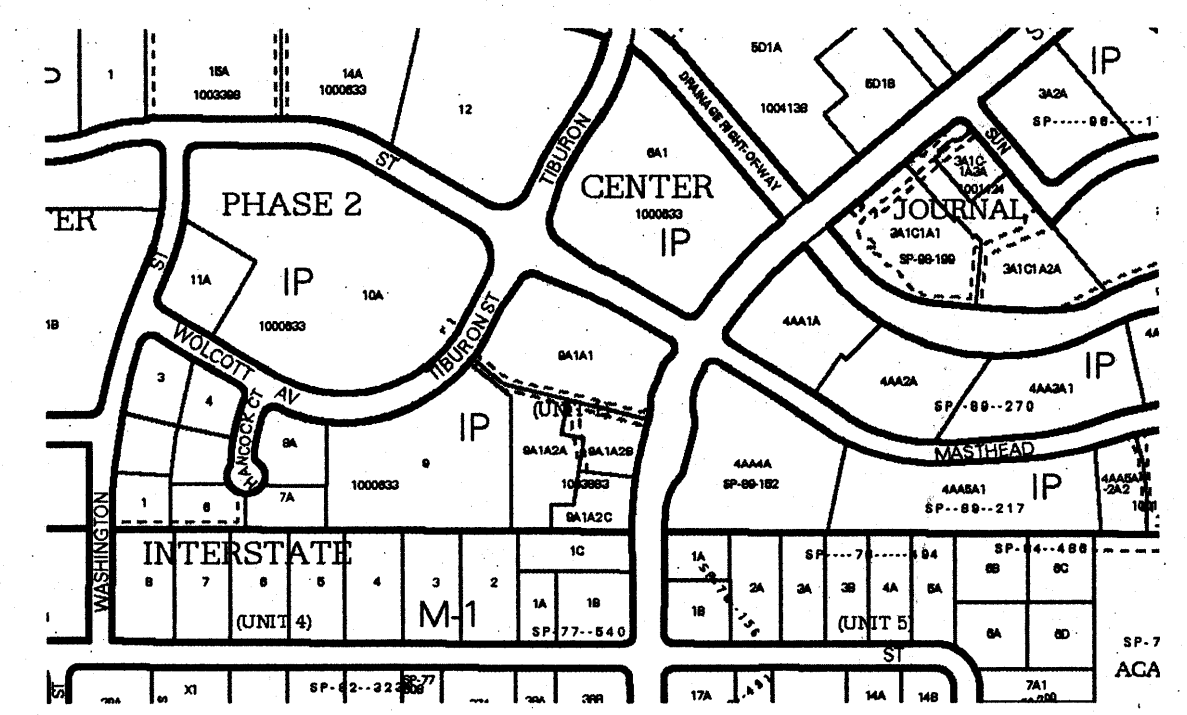
PARKING INFORMATION

PARKING REQUIRED:
186 SPACES
PARKING PROVIDED:
186 SPACES

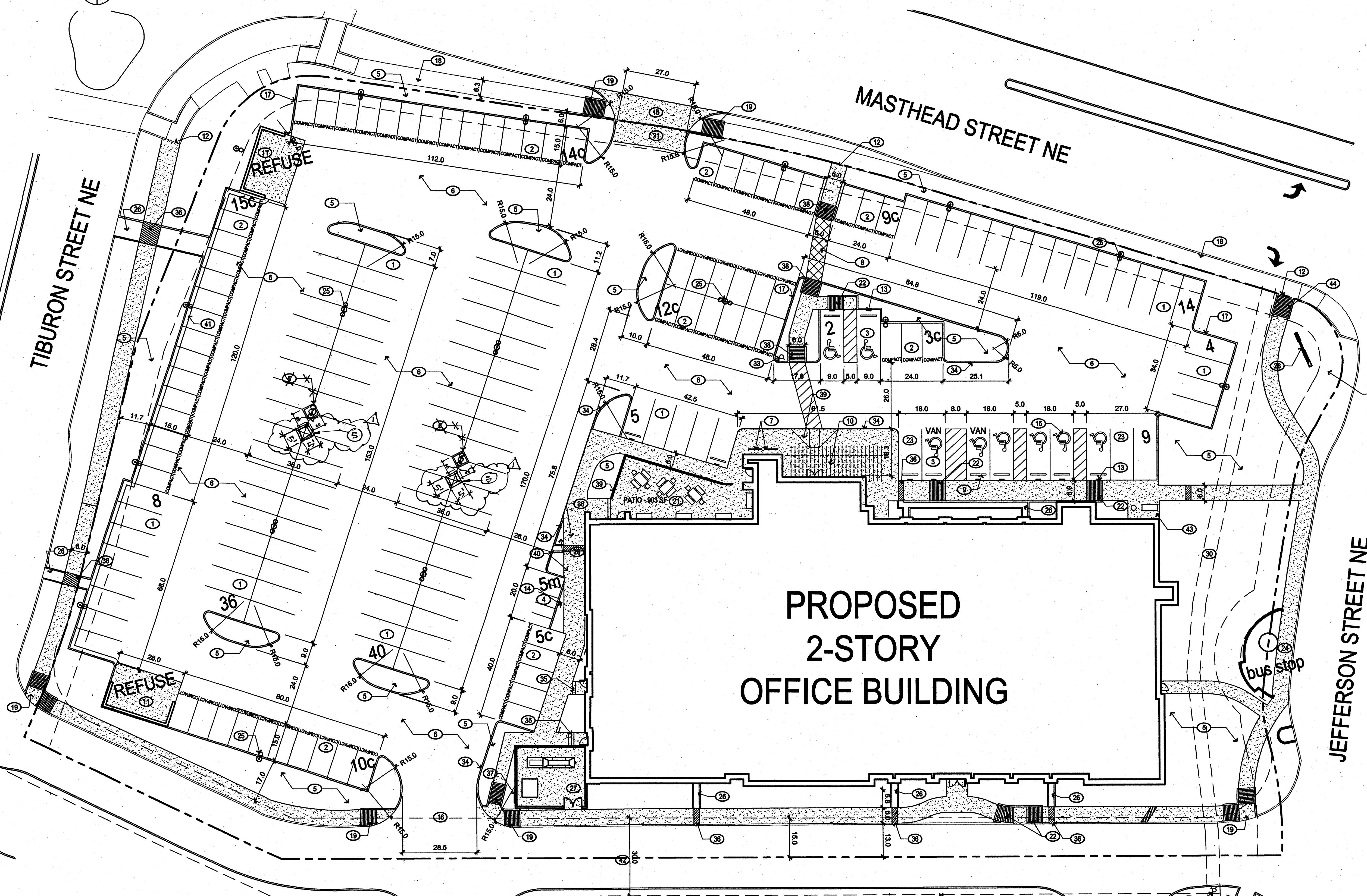
ACCESSIBLE PARKING REQUIRED:
101-300 SPACES = 8 ACCESSIBLE SPACES
ACCESSIBLE PARKING PROVIDED:
8 SPACES, 2 VAN ACCESSIBLE

MOTORCYCLE PARKING REQUIRED:
151-300 SPACES = 5 SPACES
MOTORCYCLE PARKING PROVIDED:
5 SPACES

BICYCLE PARKING REQUIRED:
1-20 AUTOMOBILES = 10 SPACES
BICYCLE PARKING PROVIDED:
10 SPACES

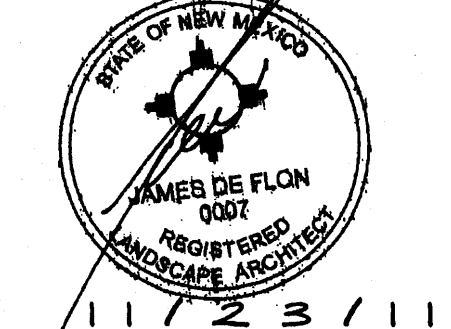


SITE PLAN
0 10' 20'
1" = 20'-0"



**PROPOSED
2-STORY
OFFICE BUILDING**

SITE PLAN
0 10' 20'
1" = 20'-0"



REVISIONS

△	12/21/11 Admin Amend.
△	
△	
△	cmj 11-23-11 tree & shrub moved

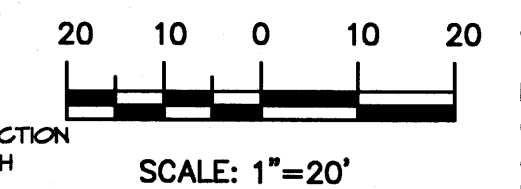
DRAWN BY	cmj
REVIEWED BY	df
DATE	1-11-11
PROJECT NO.	
DRAWING NAME	



LANDSCAPE ARCHITECTS & CONTRACTORS
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All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be reissued or copied unless applicable fees have been paid or prior order placed. All plants shall be sized per American Standard for Nursery Stock.

SHEET NO.	L101
OF	

GRAPHIC SCALE



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete non-potable underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1.0 gph Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polytube with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for non-potable Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Non-potable Water and Power source shall be the responsibility of the Developer/Builder.

STREET TREE REQUIREMENTS - Minimum 2" Caliper

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: JEFFERSON	Required 7	Provided 8
Name of Street: MASTHEAD	Required 13	Provided 12
Name of Street: TIBURON	Required 9	Provided 9

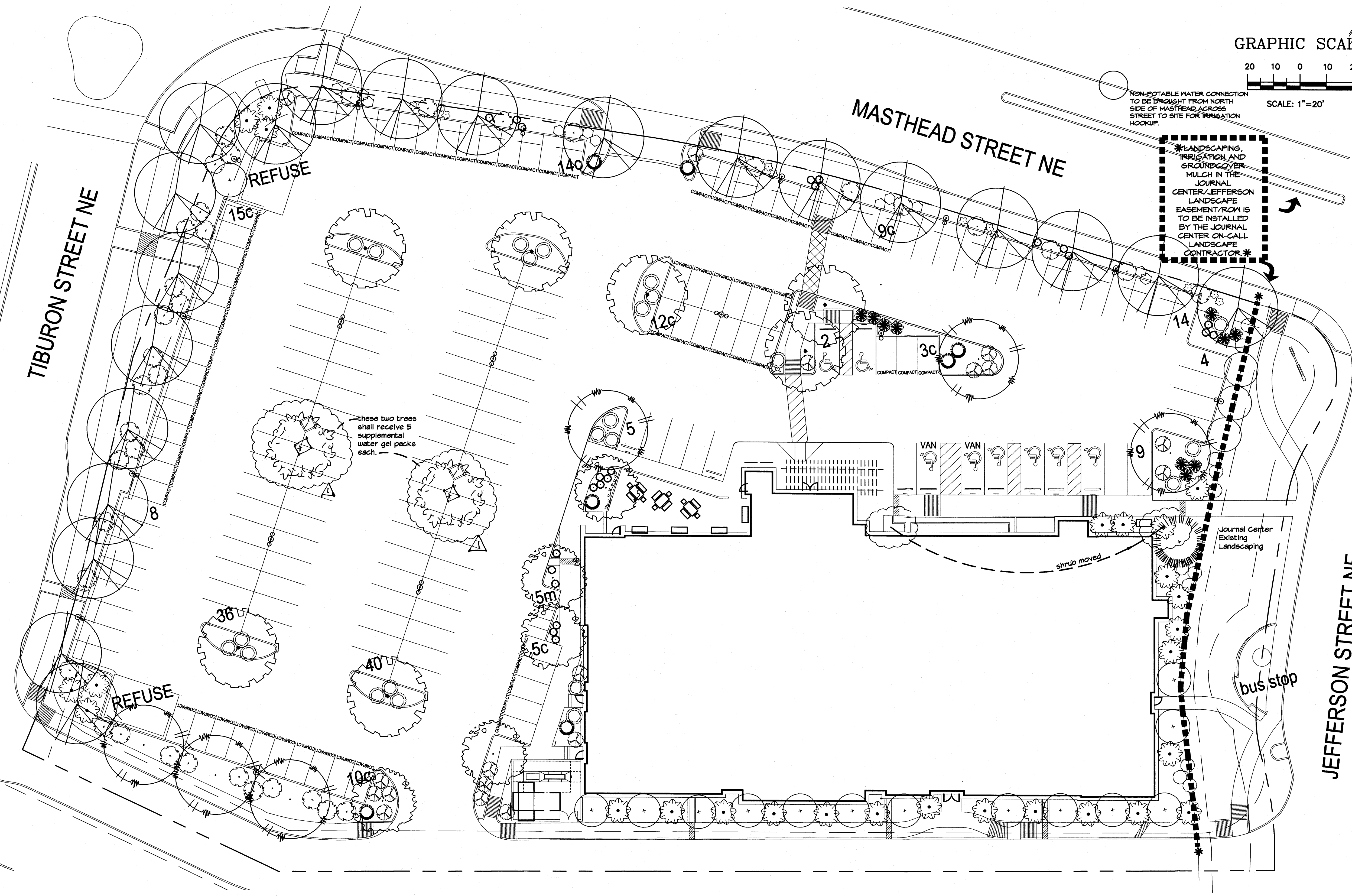
PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces	Required 20	Provided 20
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NOTE TO CLIENT:

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an initial change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



PLANT LEGEND

BERINDA ASH (H) 21 Fraxinus spp. 2" Cal. PER THE JOURNAL CENTER REQUIREMENTS FOR STREET TREE PARKSTRIP	REDBUD (M) 7 Cercis reniformis 2" Cal.	THORNLESS HAWTHORN (M) 17 Crataegus crus-galli inermis 15 Gal. 225sf	AUTUMN SAGE (M) 18 Salvia greggii 1 Gal. 4sf
CHINESE PISTACHE (M) Pistachia chinensis 2" Cal.	AUSTRIAN PINE (M) 1 Pinus nigra 6"-8"	MUGO PINE (M) 30 Pinus mugo 5 Gal. 36sf	THREADGRASS (M) 22 Stipa tenuissima 1 Gal. 4sf
OAK (M) 6 Quercus spp. 2" Cal.	LACEBARK ELM (L) 2 Ulmus parvifolia 2" Cal.	CURLLEAF MTN MAHOGANY (L) 39 Carctopus ledifolius 5 Gal. 100sf	LADY BANKS ROSE (M) 1 Rosa banksiae 5 Gal.
GREYLEAF COTONEASTER 39 Cotoneaster buxifolius 5 Gal. 81sf	SOTOL 24 Dasylirion wheeleri 5 Gal. 36sf	APACHE PLUME (L) 18 Fallugia paradoxa 5 Gal. 42sf	LAVENDER (M) 29 Lavandula angustifolia 1 Gal. 4sf
ARP ROSEMARY (M) 34 Rosmarinus officinalis 5 Gal. 36sf	POMIS CASTLE SAGE (L) 21 Artemisia x pomis castle 5 Gal. 25sf	EXISTING TREE TO REMAIN	SANTA ANA TAN GRAVEL WITH FILTER FABRIC

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	120874	square feet
TOTAL BUILDINGS AREA	23572	square feet
NET LOT AREA	97301	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	14595	square feet
TOTAL BED PROVIDED	19776	square feet
GROUND COVER REG.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	14892	square feet
TOTAL GROUND COVER PROVIDED	16265 (82%)	square feet
TOTAL PONDING AREA	0	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	19776 (20%)	square feet