

SITE DATA

LEGAL DESCRIPTION:
JOURNAL CENTER PHASE 2, UNIT 2, TRACT 9A-1A-1

ZONE:
IP INDUSTRIAL PARK

GROSS BUILDING AREA:
OFFICE BLDG. (2-STORY) - 46,953 sf

SITE AREA:
124,874 sf - 2.87 ACRES

GROSS F.A.R. (GBA/SITE AREA):
46,953 sf/124,874 sf = 0.38

PARKING INFORMATION

PARKING REQUIRED:
186 SPACES

PARKING PROVIDED:
186 SPACES

ACCESSIBLE PARKING REQUIRED:
101-300 SPACES = 8 ACCESSIBLE SPACES

ACCESSIBLE PARKING PROVIDED:
8 SPACES, 2 VAN ACCESSIBLE

MOTORCYCLE PARKING REQUIRED:
151-300 SPACES = 5 SPACES

MOTORCYCLE PARKING PROVIDED:
5 SPACES

BICYCLE PARKING REQUIRED:
1:20 AUTOMOBILES = 10 SPACES

BICYCLE PARKING PROVIDED:
10 SPACES

GENERAL SHEET NOTES

- A. SITE PLAN SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS.
- B. SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE AND UTILITY INFORMATION.
- C. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- D. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- E. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT, THE CITY OF ALBUQUERQUE ZONING CODE: SECTION 14-16-3-9 AREA LIGHTING REGULATIONS.
- F. EXISTING ASPHALT SIDEWALK ALONG WEST SIDE OF SITE FRONTING TIBERON SHALL BE REMOVED PRIOR TO INSTALLATION OF NEW CONCRETE SIDEWALK.
- G. SIGN SHALL BE POSTED NEAR MAIN ENTRANCE STATING SMOKING IS PROHIBITED AND SHALL DIRECT PEDESTRIAN TO DESIGNATED SMOKING AREA.

SHEET KEYNOTES

1. TYPICAL PARKING SPACE; 8'-6"x18'-0" (UNLESS NOTED OTHERWISE).
2. TYPICAL COMPACT PARKING SPACE; 8'-0"x15'-0"
3. TYPICAL ADA PARKING SPACE; 9'-0"x20'-0"
4. TYPICAL MOTORCYCLE PARKING SPACE; 4'-0"x8'-0"
5. LANDSCAPED AREA; REFER TO LANDSCAPE PLAN
6. ASPHALT PAVING
7. METAL BIKE RACK
8. 6'-0" WIDE PEDESTRIAN CROSSWALK. COLOR AND TEXTURE PATTERN TO DIFFERENTIATE FROM SURROUNDING ASPHALT PAVING.
9. CONCRETE WHEEL STOP TYPICAL
10. STEEL TRELLIS ABOVE
11. REFUSE ENCLOSURE FOR SOLID WASTE DISPOSAL; REFER DETAIL D4/SHT. A102
12. 6'-0" WIDE CONCRETE SIDEWALK TO CONNECT TO EXISTING SIDEWALK ALONG STREET.
13. POLE MOUNTED ADA SIGNAGE
14. POLE MOUNTED MOTORCYCLE PARKING SIGNAGE
15. PAINTED ADA PAVEMENT SIGNAGE TYP.
16. AUTOMOBILE INGRESS/EGRESS.
17. CONCRETE CURB
18. EXISTING CONCRETE SIDEWALK
19. NEW CONCRETE ADA RAMP WITH 1:12 MAXIMUM SLOPE AND TRUNCATED DOMES PER COA STANDARD DRAWING 2440
21. COURTYARD
22. NEW CONCRETE RAMP; REFER DETAIL A4/SHT.A102.
23. PARKING SPACE; 9'-0"x20'-0"
24. EXISTING BUS STOP
25. LIGHT POLE TYP; REFER DETAIL C4/SHT. A102
26. DRAINAGE CANAL
27. EQUIPMENT ENCLOSURE
28. MONUMENT SIGN; REFER DETAIL B4/SHT. A102
29. 10' PUBLIC UTILITY EASEMENT
30. COMCAST EASEMENT
31. CONCRETE DRIVEPAD, SEE COA STANDARD DRAWING #2426
32. EXISTING FIRE HYDRANT
33. NEW FIRE HYDRANT
34. FIRE LANE
35. CONCRETE STAIRS
36. SIDEWALK STEEL GRATE COVER
37. PROPOSED GAS METER LOCATION.
38. ACCESSIBLE RAMP
39. COURTYARD WALL
40. CONCRETE CURB @ BUILDING
41. CONCRETE CURB AND GUTTER
42. SHARED PRIVATE ACCESS EASEMENT; RECORDED 1/31/2005, BOOK 2005C PG. 40.
43. DESIGNATED OUTDOOR SMOKING AREA; BENCH WITH ASH URN/TRASH RECEPTACLE.
44. NEW CONCRETE RAMP; REFER DETAIL C5/SHT.A102

GRAPHIC LEGEND

- EASEMENT LINE
- PROPERTY LINE
- NEW CONCRETE SIDEWALK/PAVING
- EXISTING CONCRETE CURB
- NEW CONCRETE CURB

FORMER PROJECT NUMBER:

PROJECT NUMBER: 1003883

APPLICATION NUMBER: 11DRB-70014

Is an Infrastructure List Required? () Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i>	OK 2-29-11 03-30-11
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
<i>[Signature]</i>	02/16/11
ABCWUA	DATE
<i>[Signature]</i>	2/16/11
PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	2-16-11
CITY ENGINEER	DATE
<i>[Signature]</i>	1-20-11
SOLID WASTE MANAGEMENT	DATE
<i>[Signature]</i>	3-30-11
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

REVISIONS

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△

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DRAWN BY: DPS

REVIEWED BY: DPS

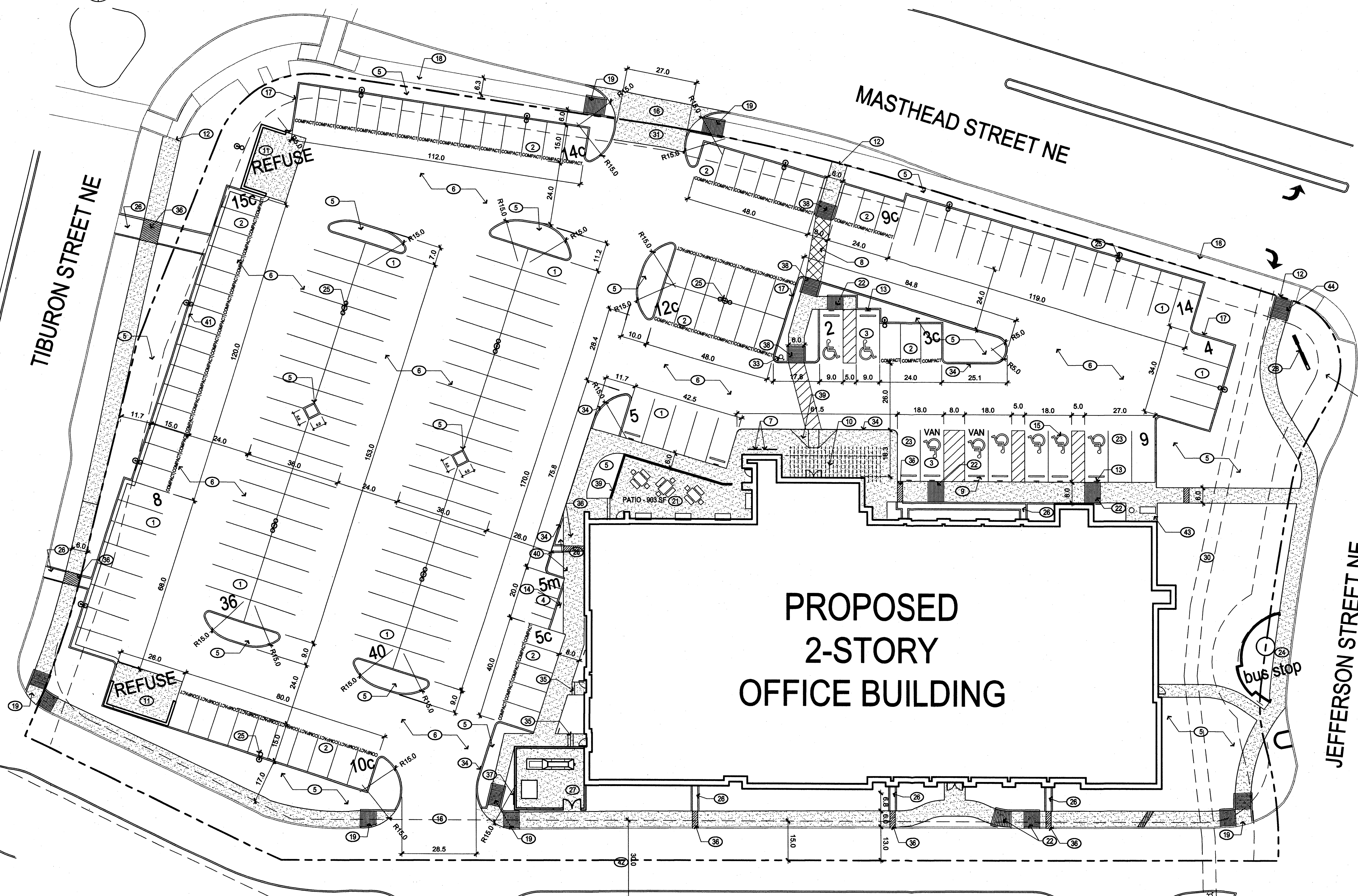
DATE: 01.21.2011

PROJECT NO.: 10-0138

DRAWING NAME: SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SHEET NO.:

A101
OF



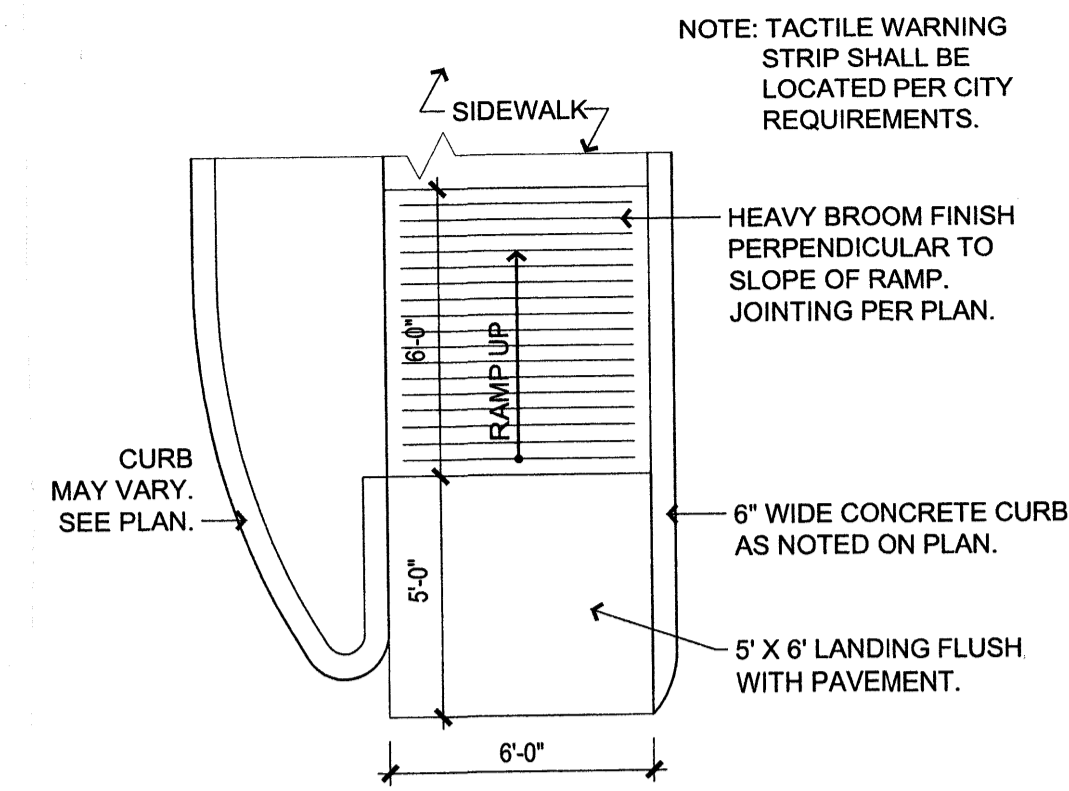
REDW

Office Building

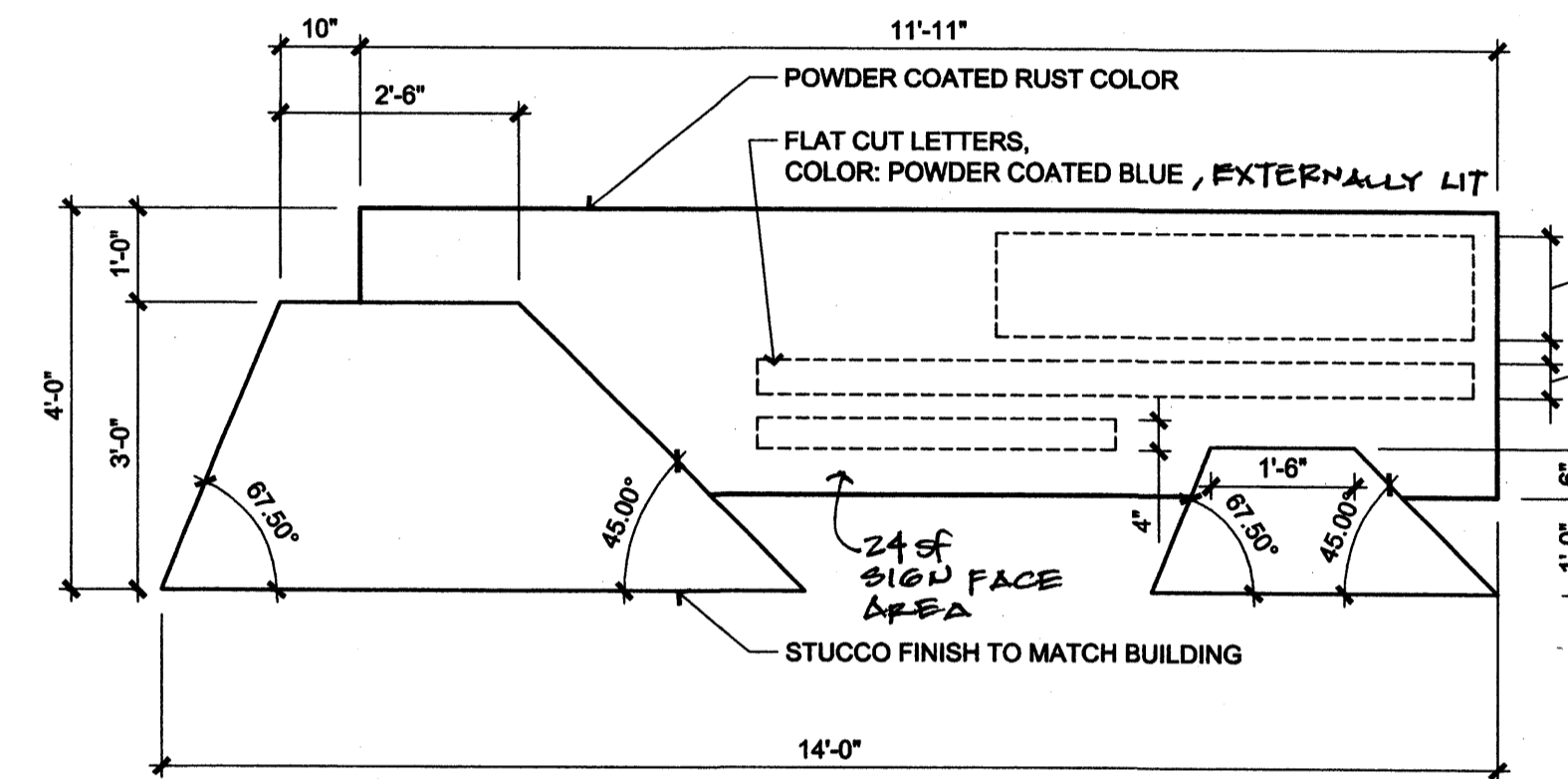
7425 Jefferson NE

Albuquerque, New Mexico 87109

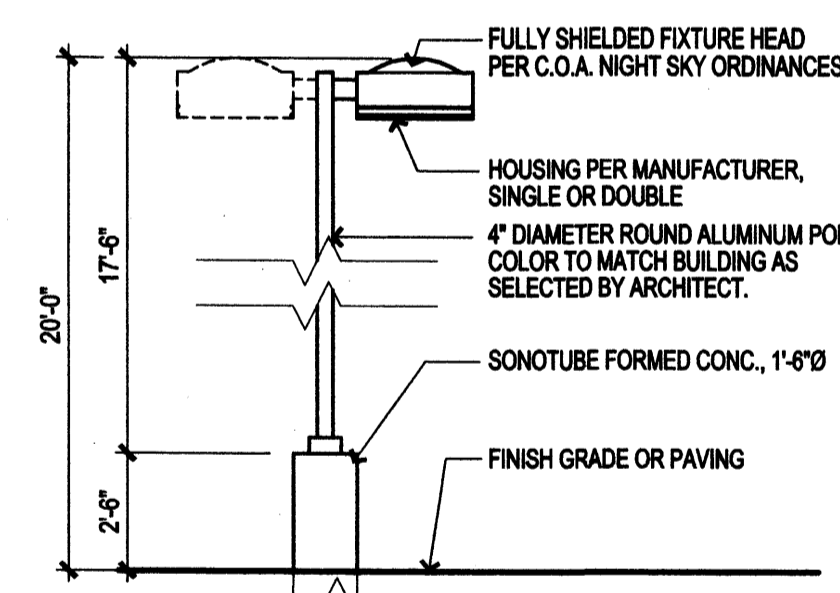
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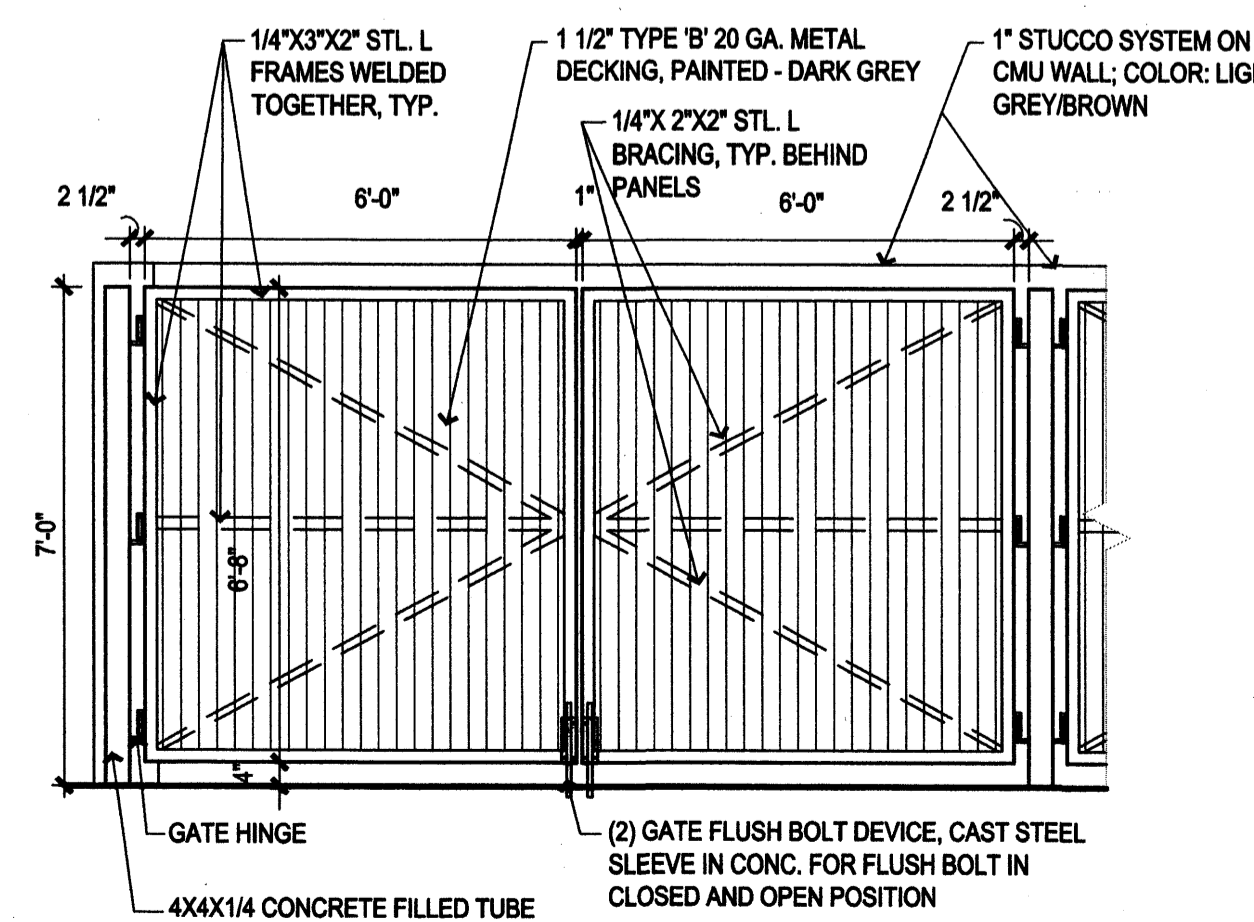
A4 SIDEWALK RAMP DETL
1/4" = 1'-0"



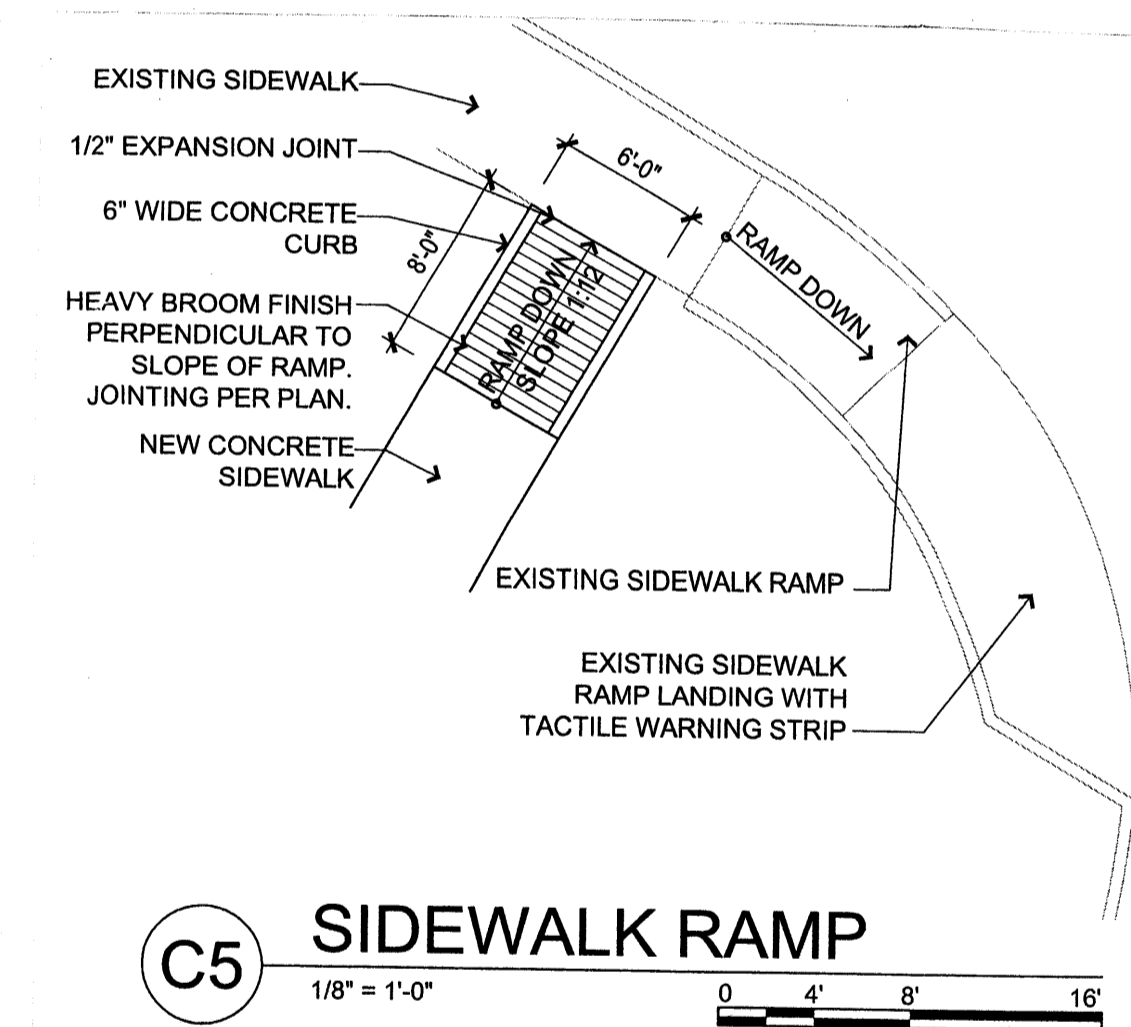
B4 MONUMENT SIGN
1/2" = 1'-0"



C4 LIGHT POLE ELEVATION
1/4" = 1'-0"



D4 TRASH ENCLOSURE ELEVATION
3/8" = 1'-0"



C5 SIDEWALK RAMP
1/8" = 1'-0"

FORMER PROJECT NUMBER:

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

Is an Infrastructure List Required? (X) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DEPARTMENT DATE

ABCWUA DATE

PARKS AND RECREATION DEPARTMENT DATE

CITY ENGINEER DATE

SOLID WASTE MANAGEMENT DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

REVISIONS

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DRAWN BY DPS

REVIEWED BY DPS

DATE 01.21.2011

PROJECT NO. 10-0138

DRAWING NAME

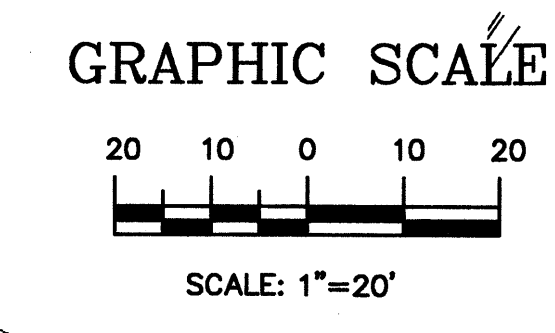
SITE

DETAILS

FOR

BUILDING PERMIT

SHEET NO.



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Foliage Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netarim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netarim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

STREET TREE REQUIREMENTS - Minimum 2" Caliper

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: JEFFERSON
Required 7 Provided 6

Name of Street: MASTHEAD
Required 13 Provided 12

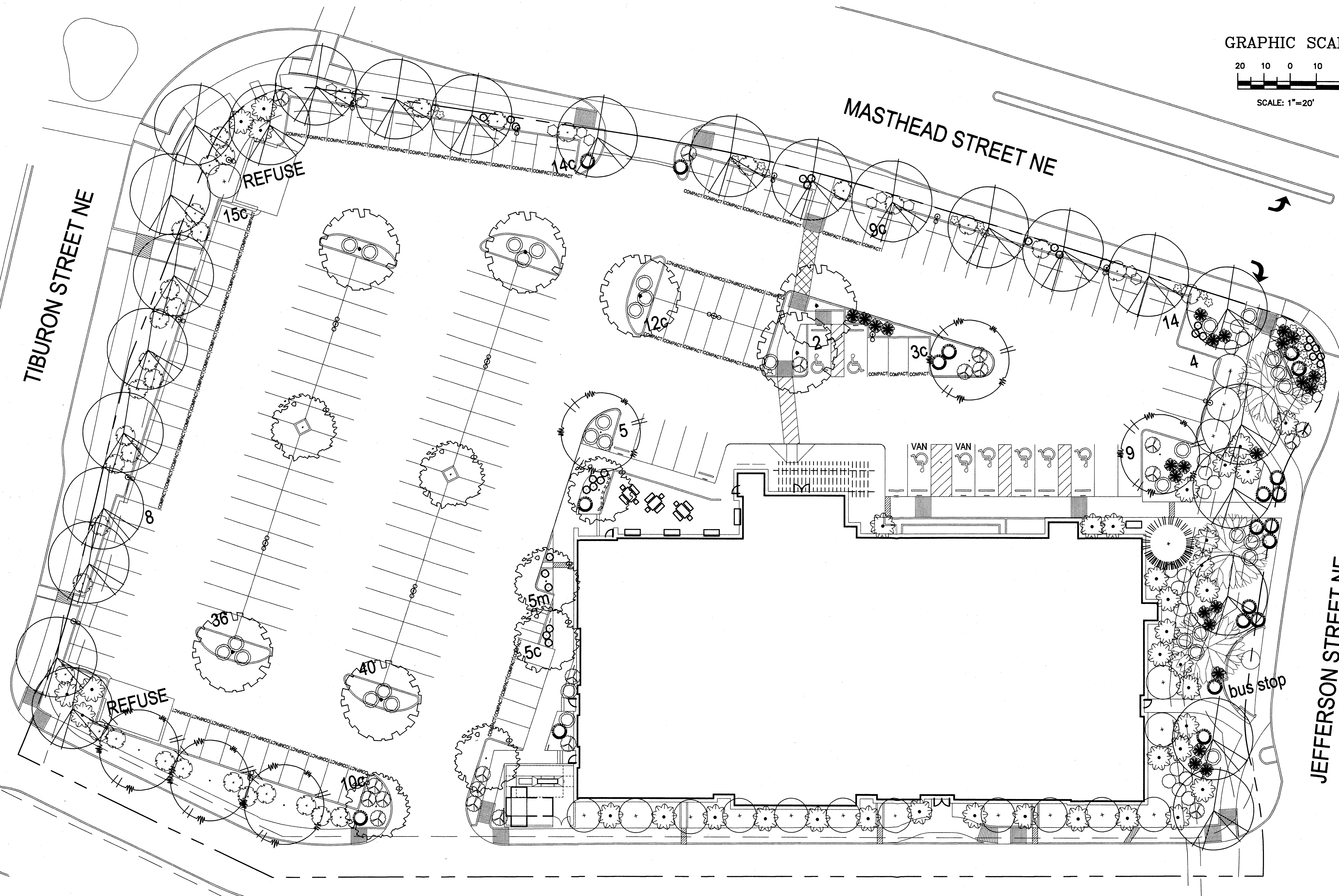
Name of Street: TIBURON
Required 9 Provided 9

PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper

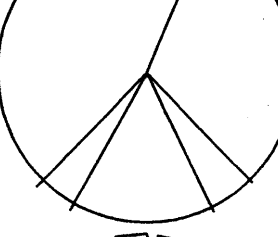
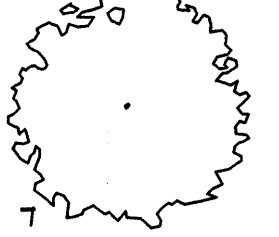
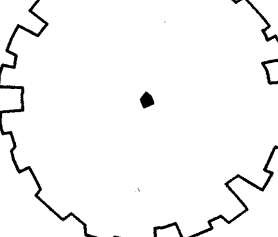
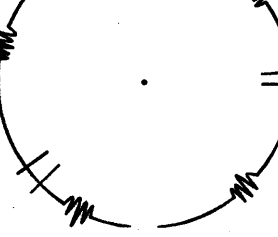
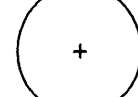







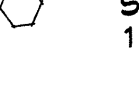


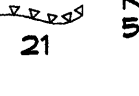
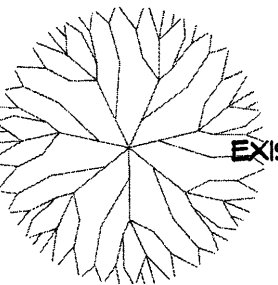

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required 20 Provided 20

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



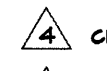


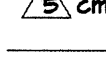
PLANT LEGEND

-  BERINDA ASH (H) 27
Fraxinus spp.
2" Cal.
(PER THE JOURNAL CENTER REQUIREMENTS FOR STREET TREE PARKSTRIP)
-  REDBUD (M) 7
Cercis rehiformis
2" Cal.
-  CHINESE PISTACHE (M)
Pistacia chinensis
2" Cal.
-  OAK (M) 6
Quercus spp.
2" Cal.
-  THORNLESS HAWTHORN (M) 17
Crataegus crus-galli inermis
15 Gal. 225sf
-  SOTOL 24
Dasylirion wheeleri
5 Gal. 36sf
-  MUGO PINE (M) 30
Pinus mugo
5 Gal. 36sf
-  AUSTRIAN PINE (M) 1
Pinus nigra
6'-8'
-  GREYLEAF COTONEASTER 34
Cotoneaster buxifolius
5 Gal. 81sf
-  APACHE PLUME (L) 18
Fallugia paradoxa
5 Gal. 42sf
-  ARP ROSEMARY (M) 34
Rosmarinus officianalis
5 Gal. 36sf
-  POMIS CASTLE SAGE (L) 21
Artemisia x pomis castle
5 Gal. 25sf
-  AUTUMN SAGE (M) 18
Salvia greggii
1 Gal. 4sf
-  LAVENDER (M) 24
Lavandula angustifolia
1 Gal. 4sf
-  THREADGRASS (M) 22
Stipa tenuissima
1 Gal. 4sf
-  LADY BANKS ROSE (M) 1
Rosa banksiae
5 Gal.
-  EXISTING TREE TO REMAIN
-  SANTA ANA TAN GRAVEL WITH FILTER FABRIC

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	120874	square feet
TOTAL BUILDINGS AREA	23512	square feet
NET LOT AREA	97301	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	14595	square feet
TOTAL BED PROVIDED	19776	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	14832	square feet
TOTAL GROUNDCOVER PROVIDED	16265 (82%)	square feet
TOTAL PONDING AREA	0	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	19776 (20%)	square feet

REVISIONS

	cmj	9-15-11	tree vs. lighting
	cmj	2-15-11	revised site plan
	cmj	1-24-11	ex. trees located
	cmj	9-30-11	rev. site # no-sod

DRAWN BY	cmj
REVIEWED BY	df
DATE	1-11-11
PROJECT NO.	
DRAWING NAME	



LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed. All plants shall be sized per American Standard for Nursery Stock.

GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

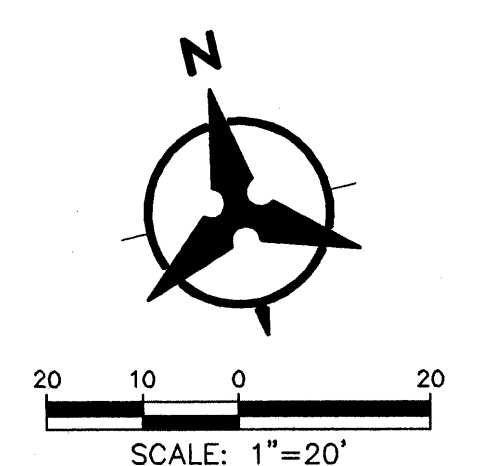
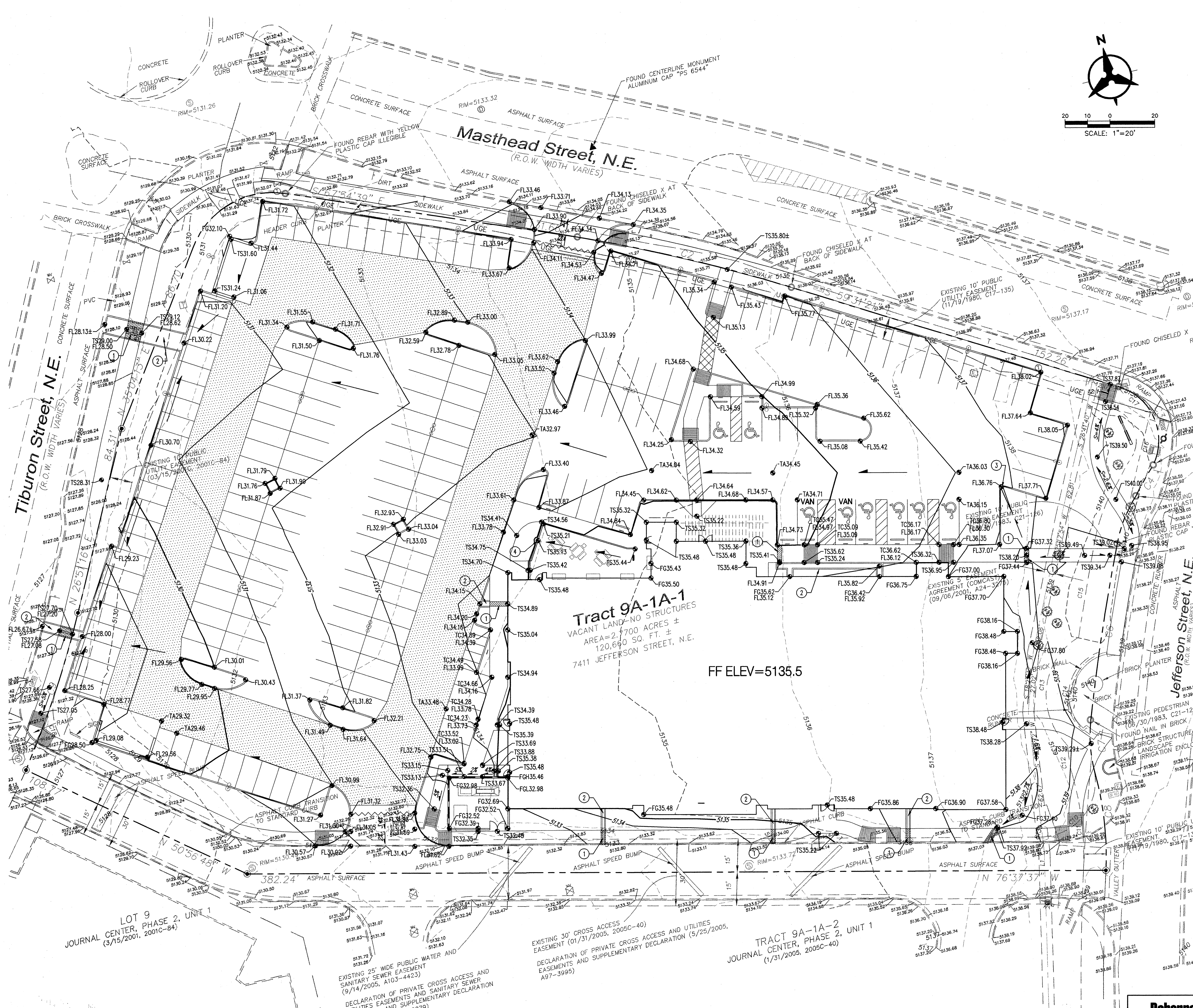
1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION" AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR ORDERED FOR REASON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PREVENT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND/OR FILL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

KEYED NOTES

1. SIDEWALK CULVERT.
2. CONCRETE RIBBON CHANNEL.
3. CURB OPENING.
4. PIPE SLEEVE/OPENING IN WALL.

LEGEND

- PROPERTY LINE
- EXISTING CONTOURS
- EXISTING ELECTRICAL POLE
- PROPOSED SPOT ELEVATION
TC=TOP OF CURB, FL=FLOW LINE
TS=TOP OF SIDEWALK, TA=TOP OF ASPHALT
EX=EXISTING, FG=FINISHED GRADE
FH=FINISHED GRADE HIGH
FL=FINISHED GRADE LOW
- PROPOSED DIRECTION OF FLOW
- WATER BLOCK
- PROPOSED RETAINING WALL
- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- HEAVY DUTY ASPHALT PAVEMENT
- LIGHT DUTY ASPHALT PAVEMENT



UTILITY NOTES

1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE & NFPA 24, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (+0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
11. CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION OF FIRE SERVICE LINES, AND PRIOR TO TESTING OF ALL WATERLINES. CONTRACTOR SHALL COMPLETE, SIGN, AND SUBMIT THE "CONTRACTOR'S MATERIAL & TEST CERTIFICATE FOR UNDERGROUND PIPING" IN ACCORDANCE WITH NFPA 24.

○ WATER LINE KEYED NOTES

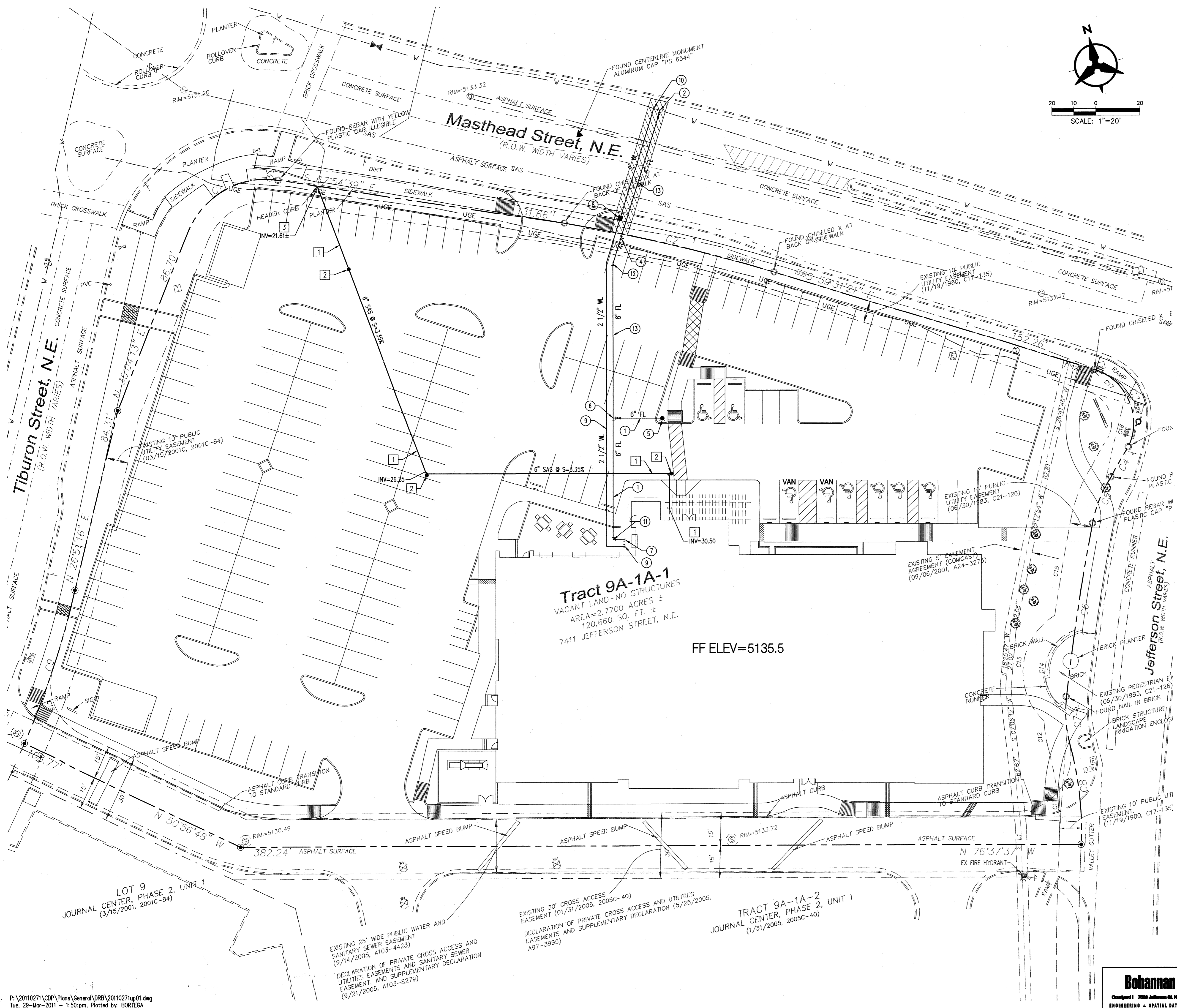
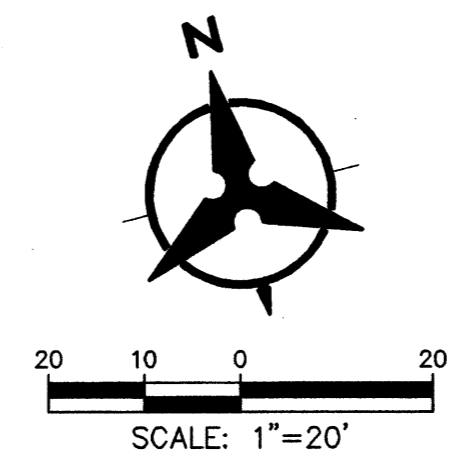
1. INSTALL 6" C900 PVC CLASS 150 FIRE LINE.
2. INSTALL 12"x12"x8" TEE AND 8" GATE VALVE W/ BOX & LID. (NON PRESSURE CONNECTION)
3. NOT USED.
4. INSTALL POST INDICATOR VALVE.
5. INSTALL FIRE HYDRANT.
6. INSTALL 8"x8"x8" TEE, 2-8"x6" REDUCERS AND 6" GATE VALVE W/ BOX & LID.
7. INSTALL 6" FIRE LINE TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
8. INSTALL 2" WATER SERVICE W/ METER BOX & COVER.
9. INSTALL 2 1/2" WATER SERVICE LINE TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
10. INSTALL 12"x2" TAPPING SADDLE WITH CORP STOP.
11. INSTALL 90° HORIZONTAL BEND W/ RESTRAINED JOINTS.
12. INSTALL 22.5° HORIZONTAL BEND W/ RESTRAINED JOINTS.
13. INSTALL 8" C900 PVC CLASS 150 FIRE LINE.

□ SANITARY SEWER KEYED NOTES

1. INSTALL 6" SANITARY SEWER SERVICE LINE TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
2. INSTALL SANITARY SEWER CLEANOUT.
3. CONNECT TO EXISTING 6" SANITARY SEWER STUB.

LEGEND

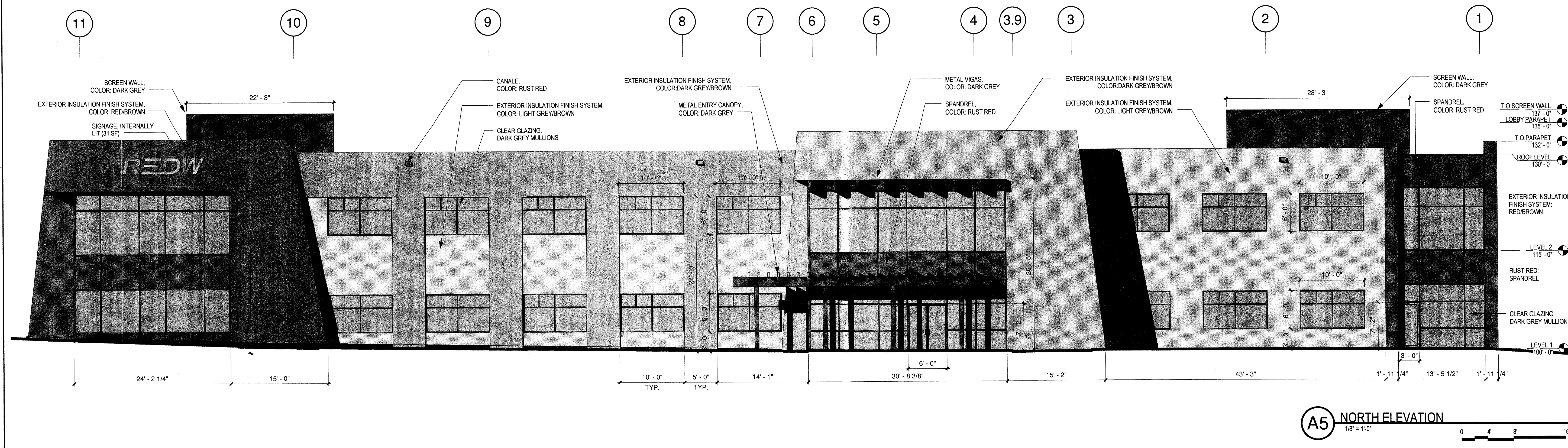
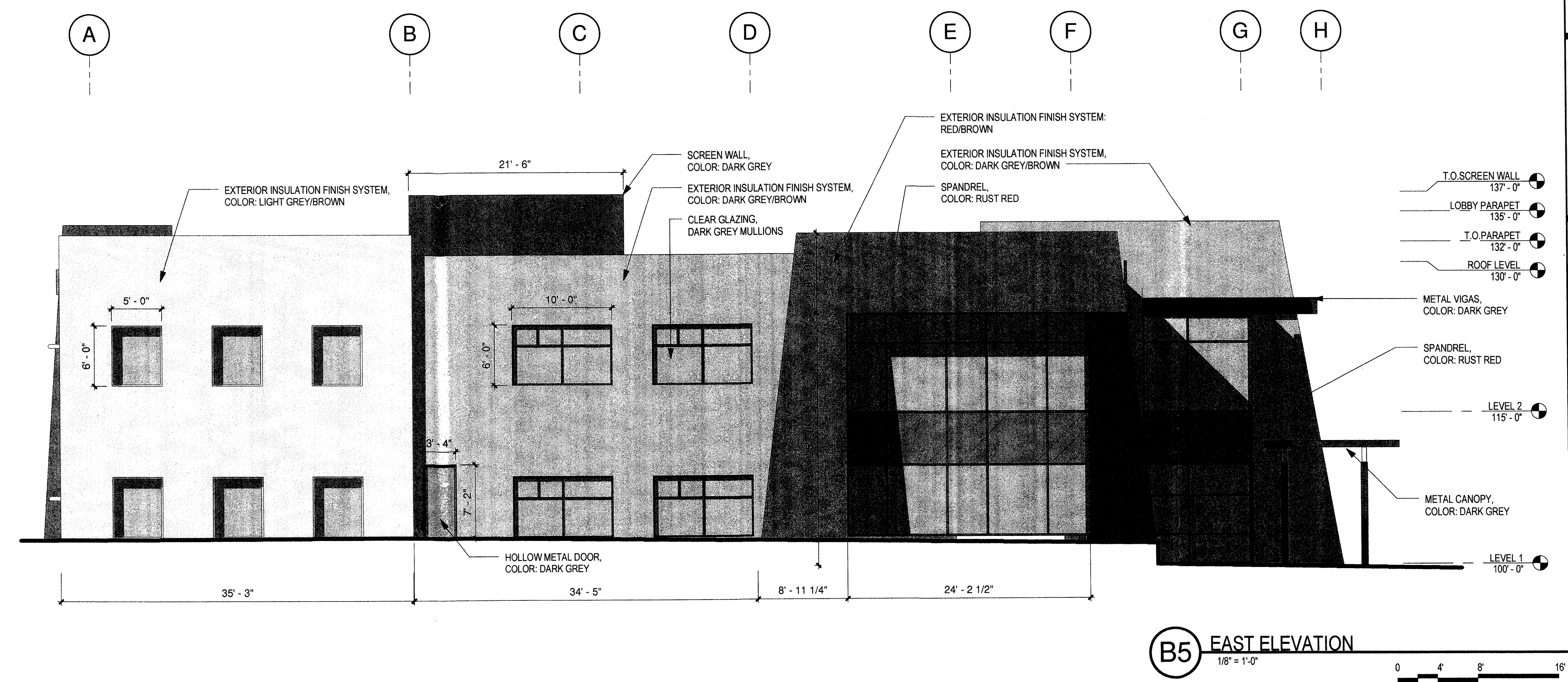
---	PROPERTY LINE
-SAS-	EXIST SANITARY SEWER LINE
---	EXIST STORM DRAIN
-W-	EXIST WATER LINE
X	EXIST VALVE
⊕	EXIST FIRE HYDRANT
SAS	PROPOSED SANITARY SEWER
●	PROPOSED CLEANOUT
WL	PROPOSED WATERLINE
FL	PROPOSED FIRE LINE
⊕	PROPOSED WATER VALVE
⊕	PROPOSED FIRE HYDRANT

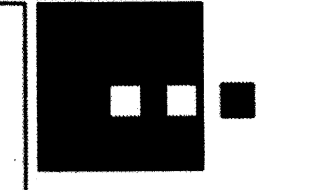


REVISIONS	DATE	DESCRIPTION

DRAWN BY	DPS
REVIEWED BY	DPS
DATE	01.21.2011
PROJECT NO.	10-0138
DRAWING NAME	EXTERIOR ELEVATIONS

SHEET NO.	A301
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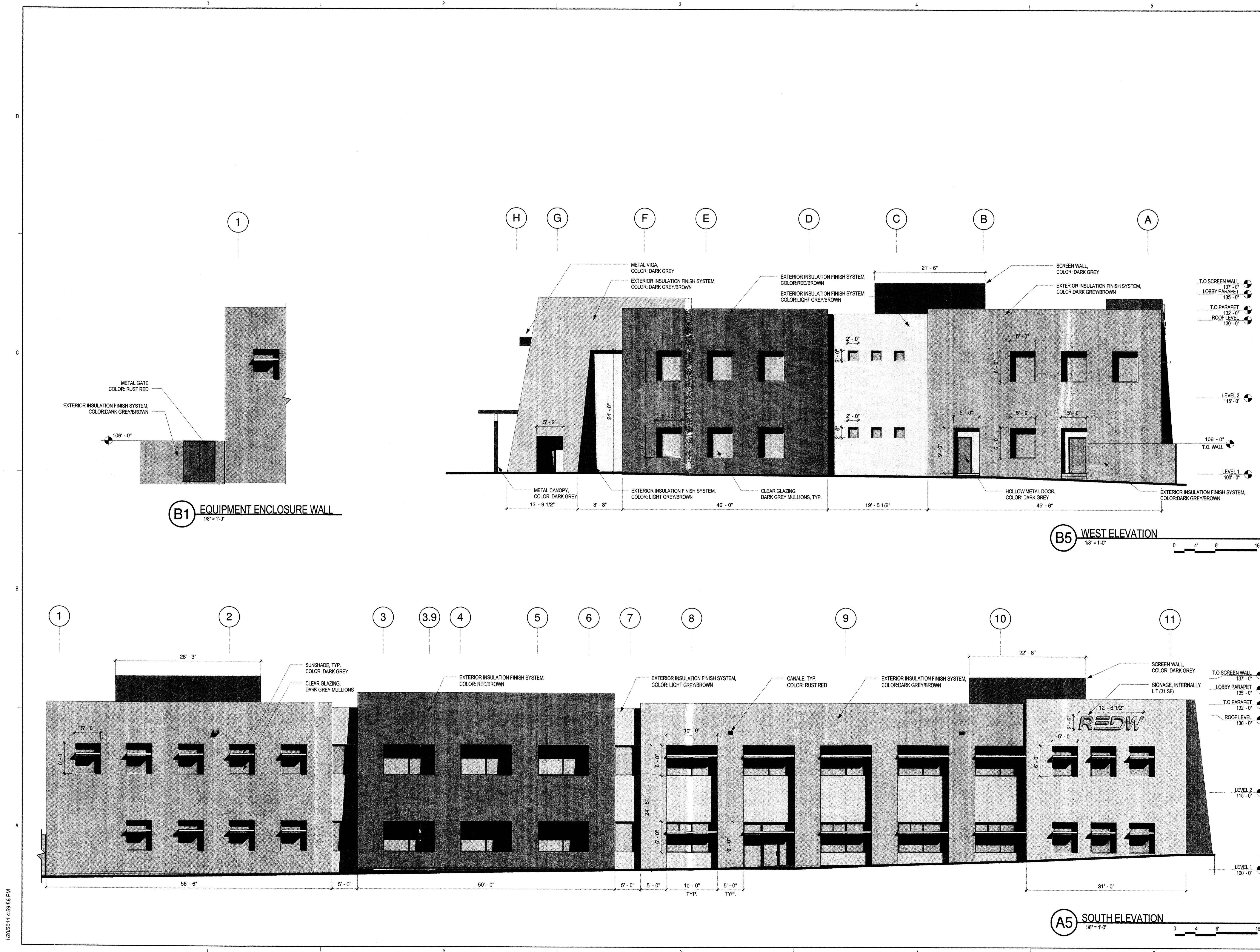
DRB
SUBMITTAL

REVISIONS	
DATE	DESCRIPTION

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DRAWING NAME	EXTERIOR ELEVATIONS

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A302



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