

AA

**CITY OF ALBUQUERQUE
ADMINISTRATIVE APPROVAL (AA)- SITE DEV PLAN AMENDMENT
ROUTING & REVIEW SHEET**

APPLICATION #: 11 AA 10136	PROJECT #: 1003883
PROJECT NAME: 7425 Jefferson NE	
APPLICANT or AGENT: D/P/S Design	
PHONE # and E-MAIL: 761-9700 Sheri	
ZONE ATLAS PAGE: D-17	
ADMINISTRATIVE APPROVAL (AA) for:	<input type="checkbox"/> EPC CASE <input type="checkbox"/> DRB CASE

CURRENT PLANNING	DATE RECEIVED:
APPLICATION COMPLETE:	DATE:
APPLICATION INCOMPLETE:	DATE:
ROUTING NEEDED:	<input type="checkbox"/> YES <input type="checkbox"/> NO
COMMENTS:	

TRANSPORTATION (505) 924-3630	DATE RECEIVED:
PLANS DISAPPROVED: NSF	DATE:
PLANS APPROVED: X	DATE: 12/22/11
COMMENTS:	

UTILITIES (505) 924-3989	DATE RECEIVED:
PLANS DISAPPROVED: NSF	DATE: 12/22/11
PLANS APPROVED: AP	DATE: 01/04/12
COMMENTS:	

HYDROLOGY (505) 924-3986	DATE RECEIVED:
PLANS DISAPPROVED:	DATE:
PLANS APPROVED: Santa & Chem	DATE: 12-28-11
COMMENTS:	

PLANNING DIRECTOR (505) 924-3860	DATE RECEIVED:
PLANS DISAPPROVED:	DATE:
PLANS APPROVED: J. Chen	DATE: 1-9-12
COMMENTS:	



Supplemental Form (SF)

SUBDIVISION	S	Z	ZONING & PLANNING
<input type="checkbox"/> Major subdivision action			<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor subdivision action			
<input type="checkbox"/> Vacation	V		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plan boundaries)
<input type="checkbox"/> Variance (Non-Zoning)			
SITE DEVELOPMENT PLAN	P		<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Subdivision			<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> for Building Permit			<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input checked="" type="checkbox"/> Administrative Amendment/Approval (AA)	D		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L A		APPEAL / PROTEST of...
STORM DRAINAGE (Form D)			<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Board of Appeals
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): D/P/S DESIGN PHONE: 761-9700
 ADDRESS: 7601 JEFFERSON NE, SUITE 100 FAX: 761-4222
 CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: sherit@dpsdesign.org

APPLICANT: TITAN TIBURON, LLC PHONE: 998-0163
 ADDRESS: 6300 RIVERSIDE PLAZA LN NW, STE 200 FAX: 837-1061
 CITY: ALBUQUERQUE STATE NM ZIP 87120 E-MAIL: kbrowning@titan-development.com
 Proprietary interest in site: CONTRACT PURCH. List all owners: REDW INVESTMENT PROPERTIES, LLC.

DESCRIPTION OF REQUEST: REVIEW & APPROVAL OF ADMIN. AMENDMENT FOR TRACT WITHIN THE JOURNAL CENTER IP MASTER DEV. PLAN

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT 9A-1A-1 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: JOURNAL CENTER
 Existing Zoning: IP Proposed zoning: IP MRGCD Map No _____
 Zone Atlas page(s): D17 UPC Code: 101706330018530621

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.):
PREVIOUS SKETCH PLAN, CASE # 1003883

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 2.77
 LOCATION OF PROPERTY BY STREETS: On or Near: JEFFERSON ST. NE (7425 JEFFERSON NE)
 Between: MASTHEAD and HAWKINS

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE [Signature] DATE 12/21/11
 (Print Name) SHERI TOWEFSON Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 6/2011

	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> INTERNAL ROUTING	<u>11AA - 10163</u>	<u>AA</u>		\$ <u>45.00</u>
<input checked="" type="checkbox"/> All checklists are complete				\$ _____
<input checked="" type="checkbox"/> All fees have been collected				\$ _____
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate				\$ <u>45.00</u>

Hearing date _____
[Signature] 12-21-11
 Staff signature & Date

Project # 1003883

FORM P(4): SITE DEVELOPMENT PLAN REVIEW – ADMINISTRATIVE APPROVAL (AA)

AMENDMENT TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (AA02)

AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION (AA03)

- Letter describing and justifying the request
- One (1) copy of all applicable sheets of the approved Site Development Plan being amended, folded to fit into an 8.5" x 14" pocket. Approved site development plans should contain signatures of the Development Review Board (DRB).
- Copy of EPC or DRB *Official Notice of Decision* associated with the approved site development plan
- One (1) copy of the proposed Site Development Plan, with changes circled and noted, folded to fit into an 8.5" x 14" pocket. Refer to the Site Development Plan for Building Permit or Site Development Plan for Subdivision *Checklist* for information needed on the proposed Site Development Plan.
- Map from the most recent Zone Atlas, with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter of authorization from the property owner, if the application is submitted by an agent
- Fee (see fee schedule)
- Any original and/or related file numbers must be listed on the cover application

N/A NOTE: The next two items are also required if the square footage change is 2% or more of any building's gross floor area:

- Notification letter addressed to owners of adjacent properties and certified mail receipts
- Office of Neighborhood Coordination (ONC) inquiry response, notification letter to affected Neighborhood Associations and certified mail receipts

WIRELESS TELECOM FACILITY (WTF)- FREE-STANDING, COLLOCATION or OTHER TYPE (AA04)
(EXCEPT FOR COLLOCATION OF A NON-CONCEALED WTF ON A STRAIGHT-ZONED SITE, WHICH GOES TO THE ZONING FRONT COUNTER AT THE BUILDING SERVICES CENTER/ EAST SIDE)

- Letter describing the request and discussion of its how it relates to the WTF Ordinance (O-06-40)
- Letter of authorization from the property owner if application is submitted by an agent
- Fee (see fee schedule)
- Any relevant file numbers (case history of previous development applications) must be listed on cover application
- Copy of EPC *Official Notice of Decision*, if the subject site went through the EPC process
- Proposed Site Development Plan set: title sheet, notes/photo sheet, site plan sheets, elevation sheets, landscape plan (if free-standing), and survey sheet(s) (3 copies- 11" x 17"). No electrical sheets needed.
- For collocation on a public utility pole: the PNM approved site dev. plan set for the proposed WTF (1 copy)
- Photo simulations- before and after the proposed WTF (3 views minimum)
- Site Development Plan sheets must be stamped by a registered engineer or architect.
- Copy of approved Site Development Plan being amended by adding the proposed WTF, if applicable (1 copy)
- City Zone Atlas map page, with location of the subject site clearly indicated
- 1 map showing Zoning of the subject site and adjacent properties
- 1 map showing Land Use (ex. residential, commercial, etc.) of the subject site and adjacent properties
- For free-standing WTFs: Evidence demonstrating that collocation possibilities were considered, consisting of a written response to §14-16-3-17(A)(6)(a through e) and any supporting materials such as engineering maps
- For collocation on a public utility pole: written response to items a through e in §14-16-3-17(A)(14)
- Notarized statement re: WTF capacity, number and types of proposed antennas and if another user can be accommodated on the proposed WTF [see §14-16-3-17(A)(13)(d)(2)]
- Affidavit (notarized statement) re: explanation of factual basis for the proposed WTF's engineering requirements [see §14-16-3-17(A)(13)(d)(3)] Note: Notarized statement and affidavit must be on separate pages.
- Letter of intent re: shared use of proposed WTF if reasonable conditions are met [§14-16-3-17(A)(13)(e)]
- For free-standing WTFs: Distance to the nearest existing free-standing WTF and the WTF owner's name [§14-16-3-17(A)(13)(d)(5) and (A)(17)]
- Office of Neighborhood Coordination (ONC) inquiry forms, response based on ¼ mile radius from subject site [§14-16-3-17(A)(13)(f)]
- Copy of letter and site plan sheet(s) to both contacts for each neighborhood association, with certified return receipts
- List of property owners within 100 feet of the subject site and copy of letter and site plan sheet(s) sent to property owners, with certified return receipts [§14-16-3-17(A)(13)(f)]
- Supplemental Application Form for Wireless Projects- filled out completely, with the required attachments provided and labeled.

NOTE: For WTFs proposed to be located on City of Albuquerque property, a lease agreement with the City will be needed. Please contact Catalina Lehner at (505) 924-3935 for more information.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in rejection of this application and/or deferral of actions.

SHERI TOLLEFSON
Applicant's Name (please print!)

[Signature] 12/20/11
Applicant's Signature Date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers:
11AA - _____

[Signature] 12-21-11
 Planner's Signature / Date

Project #: 1003883

December 20, 2011



Dekker/Perich/Sabatini

architecture
interiors
planning
engineering

Mr. Jack Cloud, AICP
Chair, Development Review Board
City of Albuquerque
600 2nd Street, NW
Albuquerque, New Mexico 87103

Re: Journal Center Phase 2, Unit 2, Tract 9A-1A-1
DRB Site Development Plan for Building Permit Administrative Amendment
Project #1003883

Dear Mr. Cloud:

On behalf of our client, Titan Tiburon, LLC, Dekker/Perich/Sabatini respectfully requests approval of an Administrative Amendment to the Site Development Plan for Building Permit on Journal Center Phase 2, Unit 2, Tract 9A-1A-1. Attached are the required application forms and applicable drawings as listed on the AA Information Sheet.

The proposed revision indicates where lighting was added to the parking field to provide adequate illumination for safety purposes. The optimum locations were tree wells where landscaping had been planned. The revised site plan for your review indicates relocating the tree wells to the south, nine feet from the original location.

Relocation of the trees will not affect the overall square footage of the building.

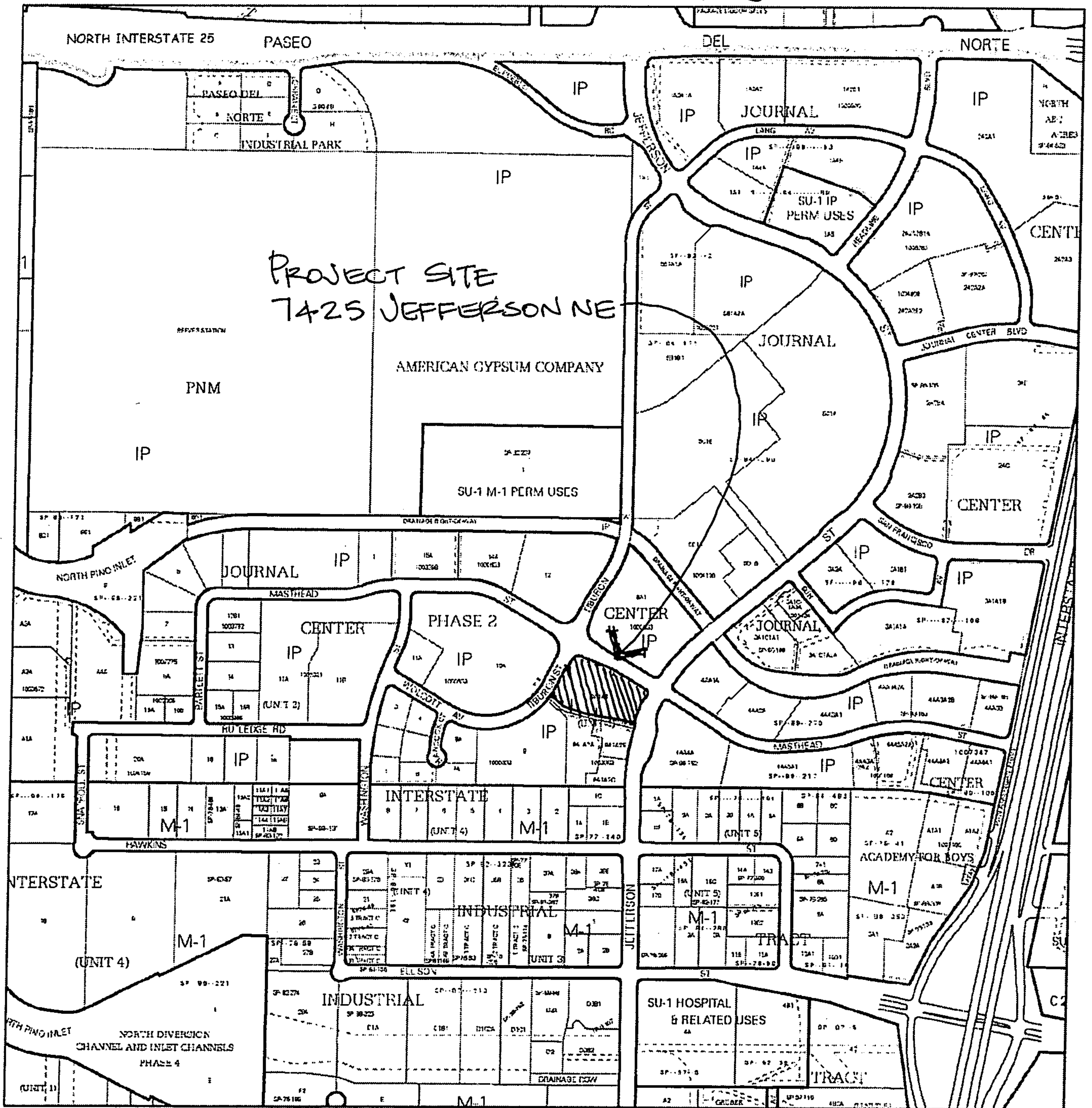
Please do not hesitate to call should you have any questions.

Very truly yours,

Dekker/Perich/Sabatini Ltd.

Sheri Tollefson

■■■
6801 Jefferson NE
Suite 100
Albuquerque NM
87109
505 761.9700
fax 761.4222
dps@dpsabq.com



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 2/4/2010

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
D-17-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon		

0 750 1,500 Feet



December 20, 2011

Mr. Jack Cloud, Development Review Board Chair
City of Albuquerque
One Stop
PO Box 1293
Albuquerque, NM 87102

Re: REDW Office Building – 7425 Jefferson – Titan Tiburon LLC – Admin Amendment
Project # 1003883

Dear Jack:

I hereby authorize Dekker-Perich-Sabatini as our agent for the above referenced Administrative Amendment for Titan Tiburon (REDW Office Building).

Should you have any questions or need further information, please do not hesitate to call me. Thank you for working with us on this successful development.

Best Regards,

A handwritten signature in black ink, appearing to read "K. Browning", written over a horizontal line.

Kurt Browning, P.E. Broker
Director of Development/Construction
Titan Development –
Titan Tiburon LLC



**DEVELOPMENT REVIEW BOARD
AGENDA**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

February 16, 2011 9:00 AM

MEMBERS:

Jack Cloud, DRB Chairman, Planning Department

Angela Gomez, Administrative Assistant

**Kristal Metro, P.E. , Transportation Development
Brad Bingham, P.E., Hydrology/ Alternate City Engineer**

**Allan Porter, P.E., Albuquerque/ Bernalillo Co.WUA
Christina Sandoval, Parks/Municipal Development**

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. Project# 1000332**
11DRB-70013 MAJOR - SITE
DEVELOPMENT PLAN FOR
BUILDING PERMIT
11DRB-70019 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

CLAUDIO VIGIL ARCHITECTS and SURV-TEK INC agent(s) for NORTH 1-25 CORPORATE CENTER, LLC request(s) the referenced/ above action(s) for all or a portion of Lot(s) 28A, Block(s) 5, Tract A, Unit B, **NORTH ALBUQUERQUE ACRES**, zoned SU-2 FOR IP, located on the north side of SAN DIEGO AVE NE between I-25 AND SAN MATEO BLVD NE containing approximately 2.5773 acre(s). (B-18) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION TO COMPLY WITH DPM COMMENTS AND TO PLANNING FOR VERIFICATION FROM ZONING ENFORCEMENT. THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR FINAL SITE PLAN SIGN OFF.**
- 2. Project# 1003883**
11DRB-70014 MAJOR – SITE
DEVELOPMENT PLAN FOR
BUILDING PERMIT

DEKKER PERICH SABATINI agent(s) for TITAN TIBURON, LLC request(s) the referenced/ above action(s) for all or a portion of Tract(s) 9A-1A-1, **JOURNAL CENTER Phase 2 Unit 1**, zoned IP, located on the southwest corner of JEFFERSON ST NE and MASTHEAD ST NE containing approximately 2.7700 acre(s). (D-17) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION TO COMPLY WITH COMMENTS AND TO PLANNING FOR VERIFICATION OF COMPLIANCE WITH CODE BY ZONING ENFORCEMENT; SHOW VALUE ON MASTHEAD FIRELINE.**