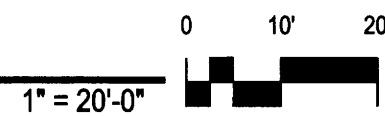


SITE PLAN



SITE DATA

LEGAL DESCRIPTION:
JOURNAL CENTER PHASE 2, UNIT 2, TRACT 9A-1A-1

ZONE:
IP INDUSTRIAL PARK

GROSS BUILDING AREA:
OFFICE BLDG. (2-STORY) - 46,953 sf

SITE AREA:
124,874 sf - 2.87 ACRES

GROSS F.A.R. (GBA/SITE AREA):
46,953 sf/124,874 sf = 0.38

PARKING INFORMATION

PARKING REQUIRED:
186 SPACES
PARKING PROVIDED:
186 SPACES

ACCESSIBLE PARKING REQUIRED:
101-300 SPACES = 8 ACCESSIBLE SPACES
ACCESSIBLE PARKING PROVIDED:
8 SPACES, 2 VAN ACCESSIBLE

MOTORCYCLE PARKING REQUIRED:
151-300 SPACES = 5 SPACES
MOTORCYCLE PARKING PROVIDED:
5 SPACES

BICYCLE PARKING REQUIRED:
1:20 AUTOMOBILES = 10 SPACES
BICYCLE PARKING PROVIDED:
10 SPACES

GENERAL SHEET NOTES

- A. SITE PLAN SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS.
- B. SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE AND UTILITY INFORMATION.
- C. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
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- E. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT, THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3-9 AREA LIGHTING REGULATIONS.
- F. EXISTING ASPHALT SIDEWALK ALONG WEST SIDE OF SITE FRONTING TIBURON STREET SHALL BE REMOVED PRIOR TO INSTALLATION OF NEW CONCRETE SIDEWALK. SIGN SHALL BE POSTED NEAR MAIN ENTRANCE STATING SMOKING IS PROHIBITED AND SHALL DIRECT PEDESTRIAN TO DESIGNATED SMOKING AREA.
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6. ASPHALT PAVING
7. METAL BIKE RACK
8. 6'-0" WIDE PEDESTRIAN CROSSWALK. COLOR AND TEXTURE PATTERN TO DIFFERENTIATE FROM SURROUNDING ASPHALT PAVING.
9. CONCRETE WHEEL STOP TYPICAL
10. STEEL TRELIS ABOVE
11. REFUSE ENCLOSURE FOR SOLID WASTE DISPOSAL; REFER DETAIL D4/SHT. A102
12. 6'-0" WIDE CONCRETE SIDEWALK TO CONNECT TO EXISTING SIDEWALK ALONG STREET.
13. POLE MOUNTED ADA SIGNAGE
14. POLE MOUNTED MOTORCYCLE PARKING SIGNAGE
15. PAINTED ADA PAVEMENT SIGNAGE TYP.
16. AUTOMOBILE INGRESS/EGRESS.
17. CONCRETE CURB
18. EXISTING CONCRETE SIDEWALK
19. NEW CONCRETE ADA RAMP WITH 1:12 MAXIMUM SLOPE AND TRUNCATED DOMES PER COA STANDARD DRAWING 2440
20. COURT YARD
21. NEW CONCRETE RAMP; REFER DETAIL A4/SHT. A102.
22. PARKING SPACE: 9'-0"x20'-0"
23. EXISTING BUS STOP
24. LIGHT POLE TYP.; REFER DETAIL C4/SHT. A102
25. DRAINAGE CANAL
26. EQUIPMENT ENCLOSURE
27. MONUMENT SIGN; REFER DETAIL B4/SHT. A102
28. 10' PUBLIC UTILITY EASEMENT
29. COMCAST EASEMENT
30. CONCRETE DRIVEPAD; SEE COA STANDARD DRAWING #2426
31. EXISTING FIRE HYDRANT
32. NEW FIRE HYDRANT
33. FIRE LANE
34. CONCRETE STAIRS
35. SIDEWALK STEEL GRATE COVER
36. PROPOSED GAS METER LOCATION
37. ACCESSIBLE RAMP
38. COURTYARD WALL
39. CONCRETE CURB @ BUILDING
40. CONCRETE CURB AND GUTTER
41. SHARED PRIVATE ACCESS EASEMENT; RECORDED 1/31/2005, BOOK 2005C PG. 40.
42. DESIGNATED OUTDOOR SMOKING AREA; BENCH WITH ASH URN/TRASH RECEPTACLE.
43. NEW CONCRETE RAMP; REFER DETAIL C5/SHT. A102

GRAPHIC LEGEND

- EASEMENT LINE
- PROPERTY LINE
- NEW CONCRETE SIDEWALK/PAVING
- EXISTING CONCRETE CURB
- NEW CONCRETE CURB

FORMER PROJECT NUMBER:

PROJECT NUMBER: 1003883

APPLICATION NUMBER: 11DRB-70014

Is an Infrastructure List Required? () Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

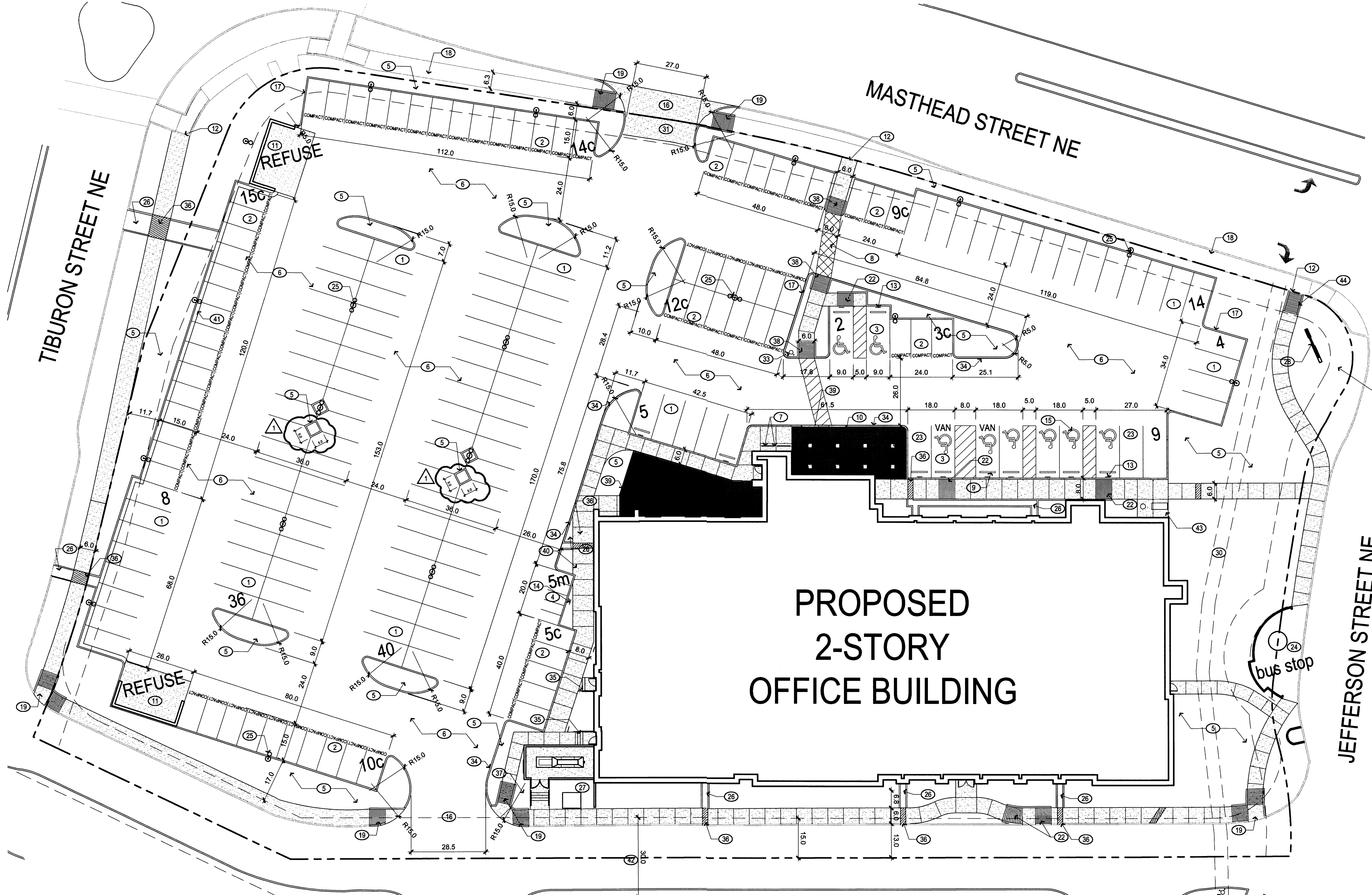
DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

REVISIONS	DATE	DESCRIPTION
	12/20/2011	Admin Amendment

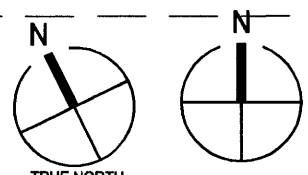
DRAWN BY	DPS
REVIEWED BY	DPS
DATE	01.21.2011
PROJECT NO.	10-0138
DRAWING NAME	
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT	
SHEET NO.	

A101
OF



**PROPOSED
2-STORY
OFFICE BUILDING**

SITE PLAN

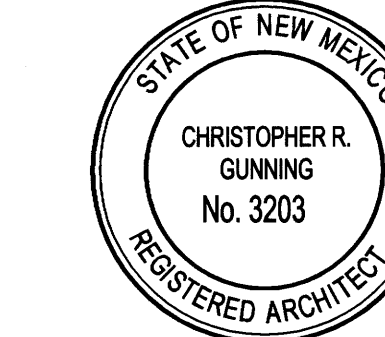


architecture
interiors
landscape
planning
engineering

**Dekker
Perich
Sabatini**

7601 Jefferson NE Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsdesign.org

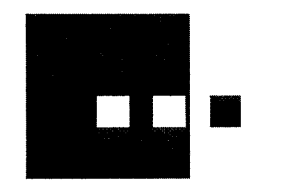
ARCHITECT



ENGINEER

PROJECT

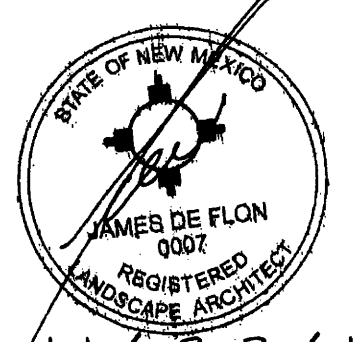
REDW
Office Building
7425 Jefferson NE
Albuquerque, New Mexico 87109



**Dekker
Perich
Sabatini**

7601 Jefferson NE Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsdesign.org

ARCHITECT



ENGINEER

PROJECT

REDW
Office Building
7425 Jefferson NE
Albuquerque, New Mexico 87109

GRAPHIC SCALE



SCALE: 1"=20'

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete non-potable underground system with trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for non-potable irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Non-potable Water and Power source shall be the responsibility of the Developer/Builder.

STREET TREE REQUIREMENTS - Minimum 2" Caliper

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

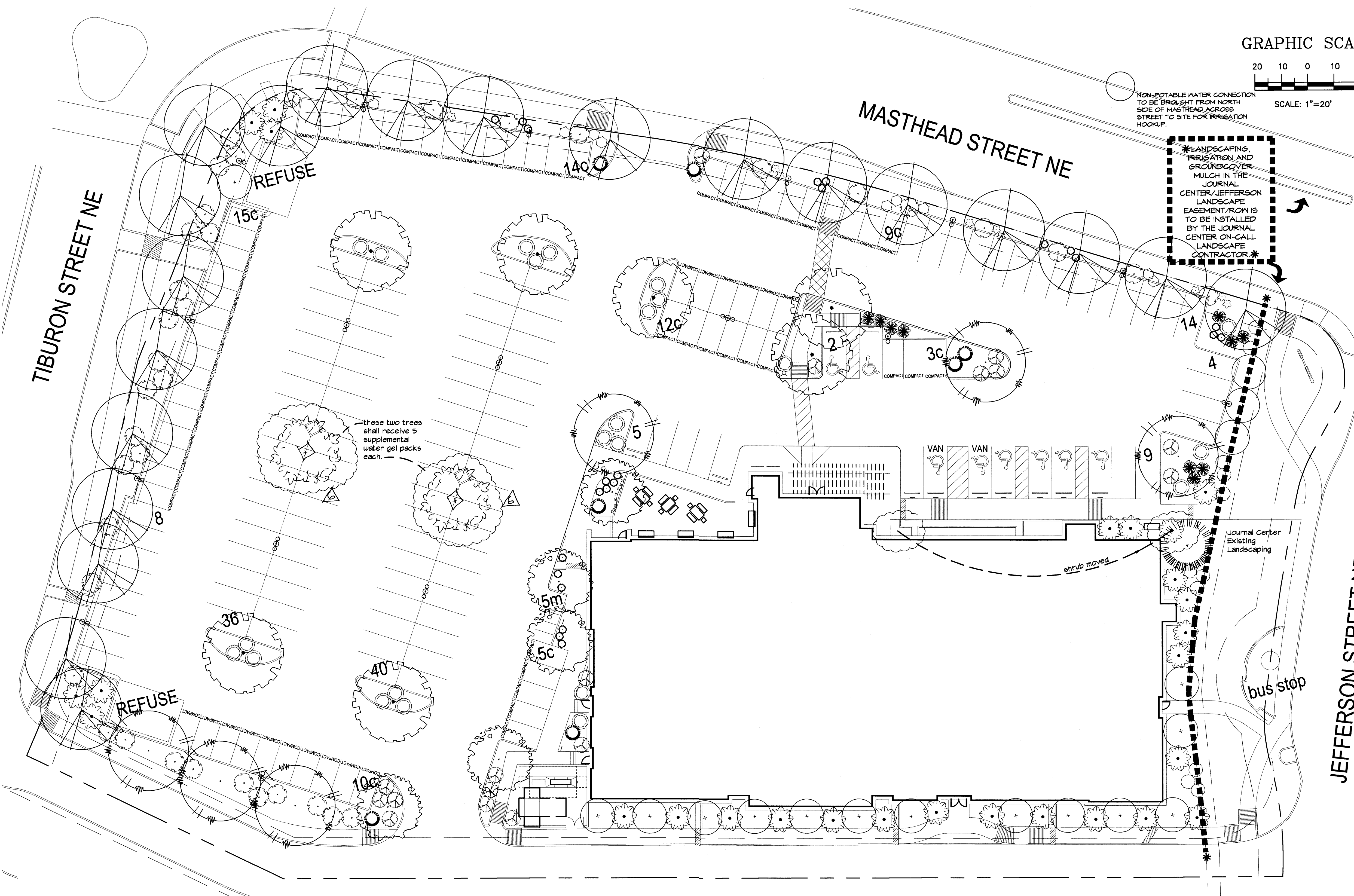
Name of Street: JEFFERSON	Required 7	Provided 8
Name of Street: MASTHEAD	Required 13	Provided 12
Name of Street: TIBURON	Required 9	Provided 9

PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper

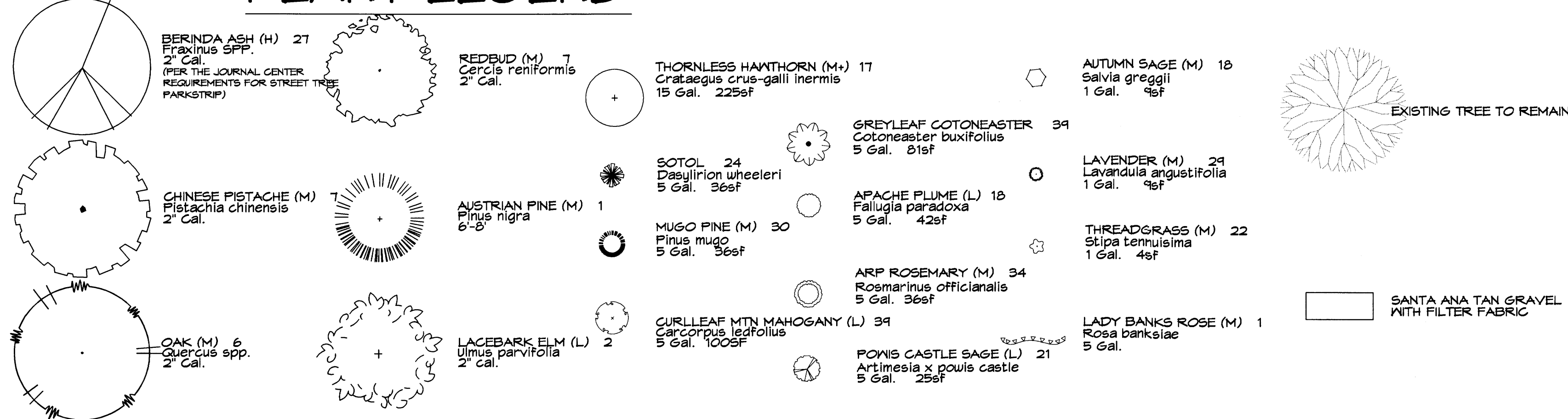
Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces	Required 20	Provided 20
----------------------------	-------------	-------------

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



PLANT LEGEND



LANDSCAPE CALCULATIONS

TOTAL LOT AREA	120874	square feet
TOTAL BUILDINGS AREA	29572	square feet
NET LOT AREA	91301	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	14595	square feet
TOTAL BED PROVIDED	19776	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	14892	square feet
TOTAL GROUND COVER PROVIDED	16265 (82%)	square feet
TOTAL PONDING AREA	0	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	19776 (20%)	square feet

REVISIONS

△	
△	
△	
△	cmj 11-23-11 tree & shrub moved
△	12-20-11 Admin Amend.

DRAWN BY	cmj
REVIEWED BY	df
DATE	1-11-11
PROJECT NO.	
DRAWING NAME	

The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

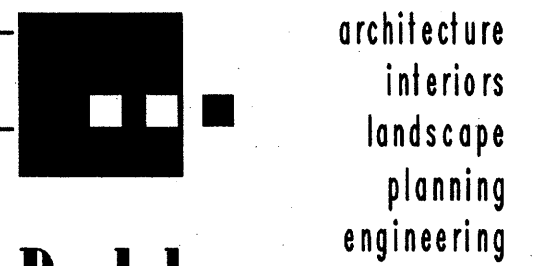
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed. All plants shall be sized per American Standard for Nursery Stock.

SHEET NO.

L101

OF

DRB FILE



Dekker Perich Sabatini

7601 Jefferson NE Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsdesign.org

ARCHITECT

ENGINEER

PROJECT

REDW

Office Building
7425 Jefferson NE
Albuquerque, New Mexico 87109

REVISIONS
12/21/11 Admin. Aven.
1
2
3

DRAWN BY DPS
REVIEWED BY DPS
DATE 01.21.2011
PROJECT NO. 10-0138
DRAWING NAME

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
SHEET NO. A101 OF

GENERAL SHEET NOTES

- A. SITE PLAN SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS.
B. SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE AND UTILITY INFORMATION.
C. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
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F. EXISTING ASPHALT SIDEWALK ALONG WEST SIDE OF SITE FRONTING TIBERON SHALL BE REMOVED PRIOR TO INSTALLATION OF NEW CONCRETE SIDEWALK.
G. SIGN SHALL BE POSTED NEAR MAIN ENTRANCE STATING SMOKING IS PROHIBITED AND SHALL DIRECT PEDESTRIAN TO DESIGNATED SMOKING AREA.

SHEET KEYNOTES

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5. LANDSCAPED AREA; REFER TO LANDSCAPE PLAN
6. ASPHALT PAVING
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8. 6'-0" WIDE PEDESTRIAN CROSSWALK. COLOR AND TEXTURE PATTERN TO DIFFERENTIATE FROM SURROUNDING ASPHALT PAVING.
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43. DESIGNATED OUTDOOR SMOKING AREA; BENCH WITH ASH URN/TRASH RECEPTACLE.
44. NEW CONCRETE RAMP; REFER DETAIL C5/SHT.A102

GRAPHIC LEGEND

- EASEMENT LINE
PROPERTY LINE
NEW CONCRETE SIDEWALK/PAVING
EXISTING CONCRETE CURB
NEW CONCRETE CURB

FORMER PROJECT NUMBER:

PROJECT NUMBER: 1003883

APPLICATION NUMBER: 11DRB-70014

Is an Infrastructure List Required? () Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION
Allan Peitz 02/16/11
PARKS AND RECREATION DEPARTMENT
CITY ENGINEER
SOLID WASTE MANAGEMENT
DRB CHAIRPERSON, PLANNING DEPARTMENT

SITE DATA

LEGAL DESCRIPTION: JOURNAL CENTER PHASE 2, UNIT 2, TRACT 9A-1A-1

ZONE: IP INDUSTRIAL PARK

GROSS BUILDING AREA: OFFICE BLDG. (2-STORY) - 46,953 sf

SITE AREA: 124,874 sf - 2.87 ACRES

GROSS F.A.R. (GBA/SITE AREA): 46,953 sf/124,874 sf = 0.38

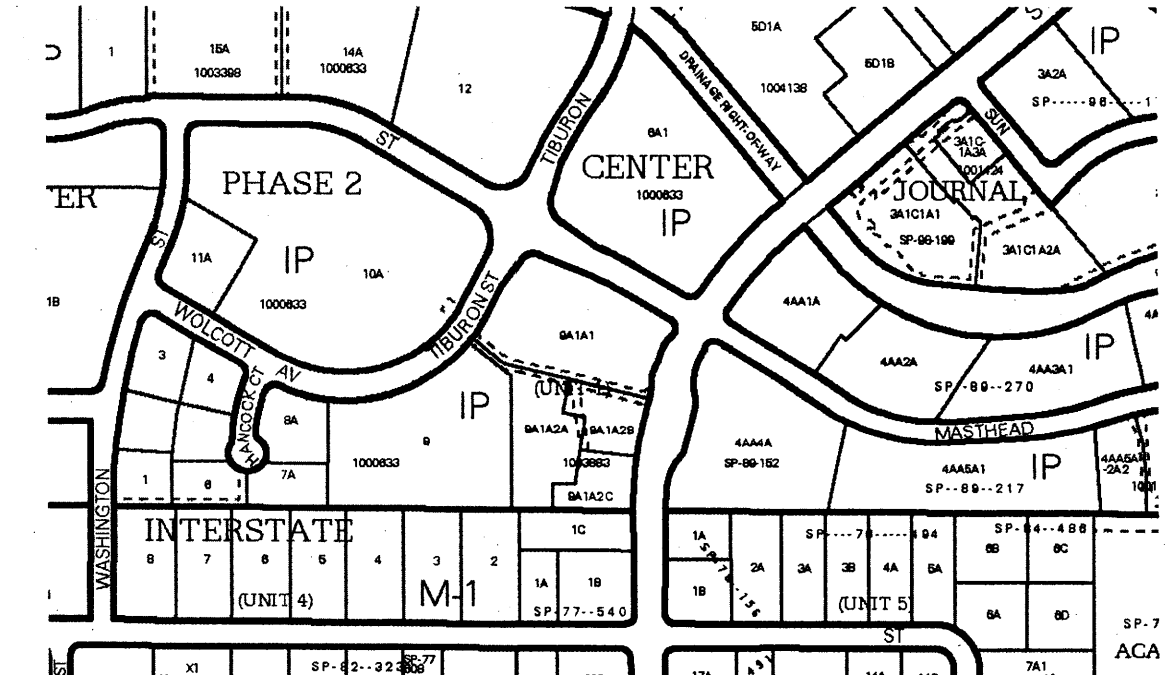
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ACCESSIBLE PARKING PROVIDED: 8 SPACES, 2 VAN ACCESSIBLE

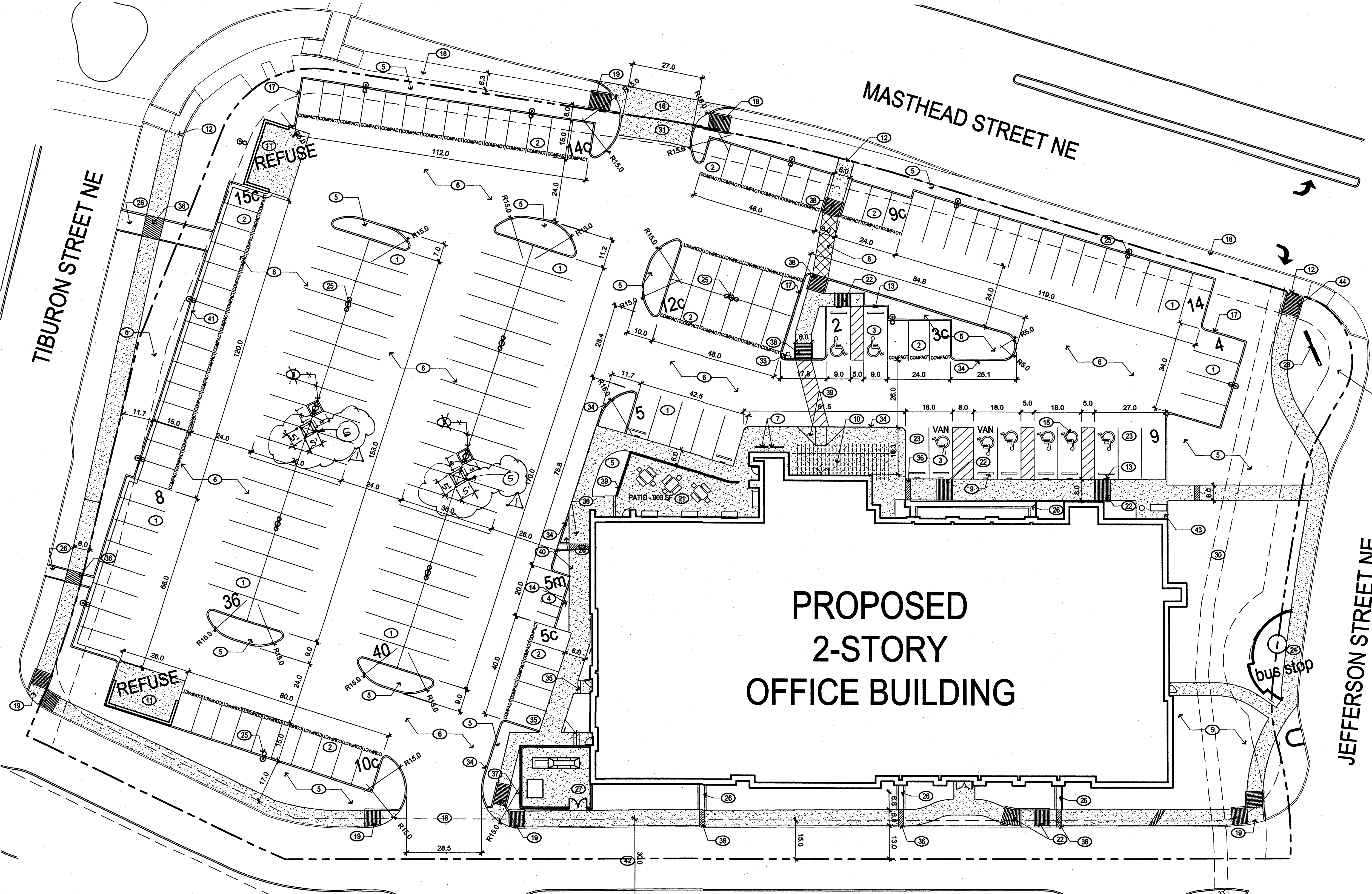
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BICYCLE PARKING PROVIDED: 10 SPACES



SITE PLAN

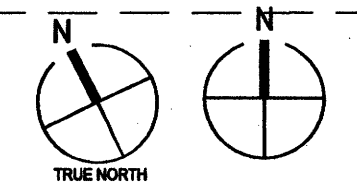
1" = 20'-0"

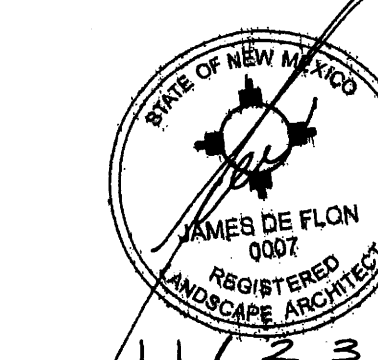


PROPOSED 2-STORY OFFICE BUILDING

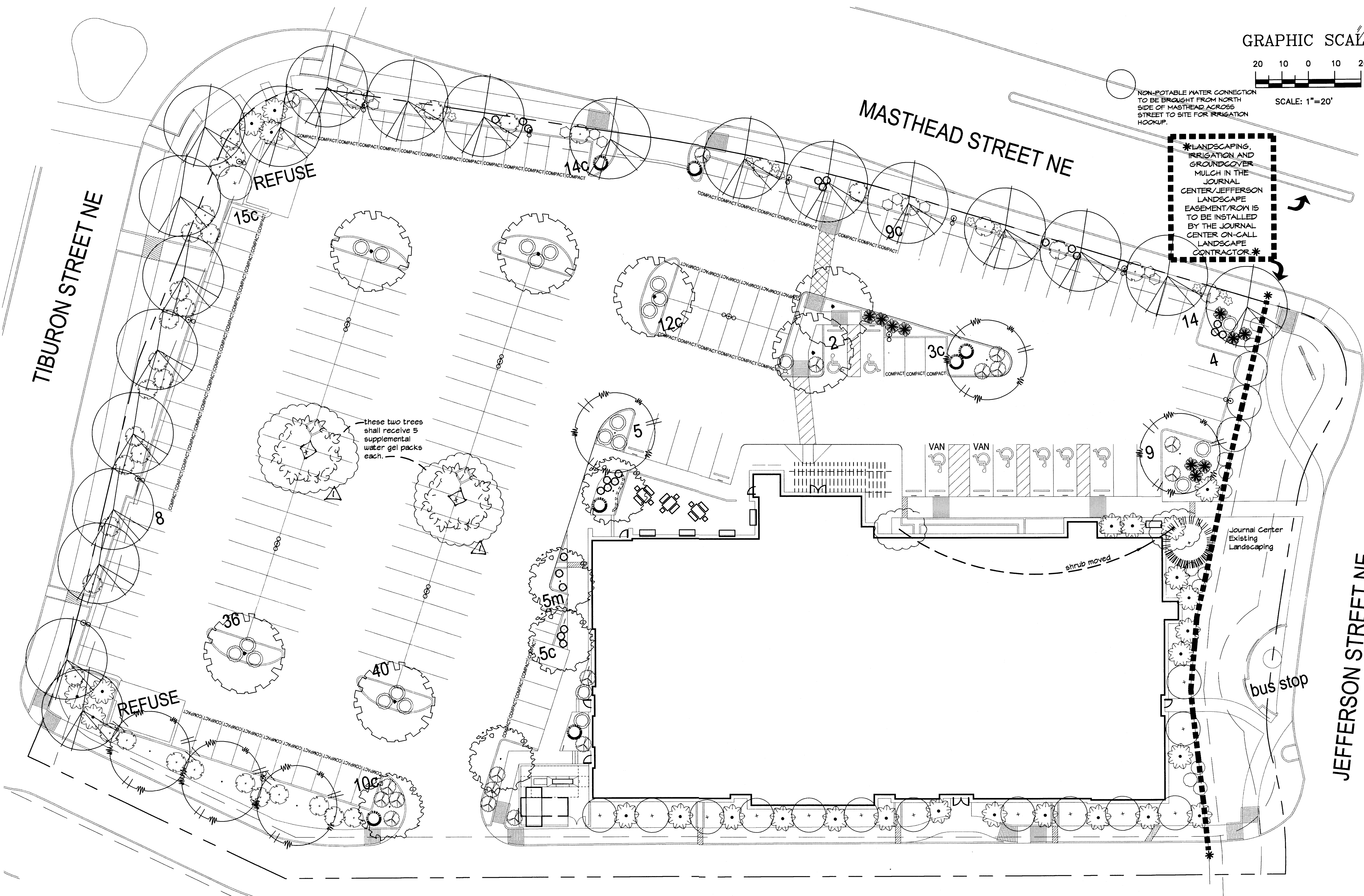
SITE PLAN

1" = 20'-0"

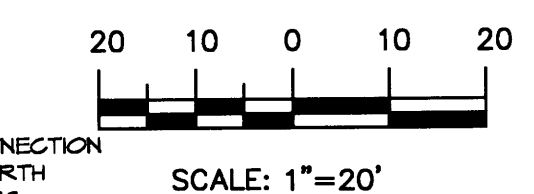




- ▲ 12/21/11 Admin. Amend.
- ▲
- ▲
- ▲ cmj 11-23-11 tree & shrub moved



GRAPHIC SCALE



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Name of Street: MASTHEAD	Required 13	Provided 12
Name of Street: TIBURON	Required 9	Provided 9

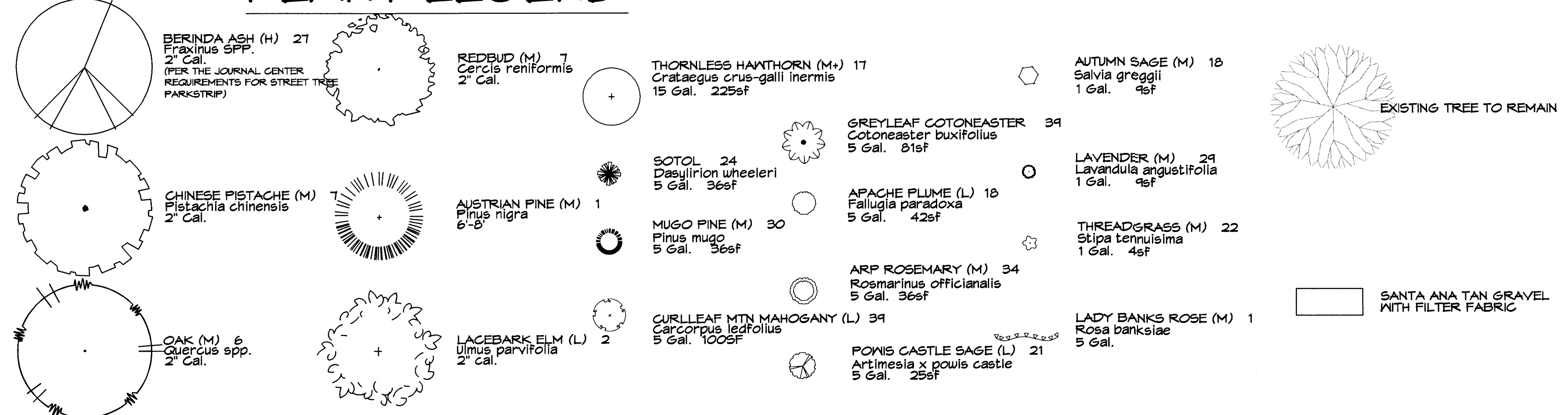
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1 Shade tree per 10 spaces	Required 20	Provided 20
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PLANT LEGEND



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TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
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