

Journal Center

Albuquerque - New Mexico

Langdon & Wilson
Architects

PROJECT # 1000 473

Application # 00410-00000-01190

This Master Plan was amended on August 24, 2000,
to reflect changes in the area clouded by:

sites
southwest

Development Review Board Member Approval

[Signature] 10/10/00
Traffic Date

[Signature] 10/10/00
Water Date

[Signature] 10/10/00
Parks + Recreation Date

[Signature] 3/15/01
City Engineer/AMAFCA Date

[Signature] 3/15/01
DRB Chair Date

Prepared by:
Print Name: *[Signature]*
GEORGE RASNYNICH
SITES SOUTHWEST LLC

IP Site Plan Approval

This IP site plan was approved by the Environmental Planning Commission (EPC) on August 16, 1980. The associated parcels were zoned and annexed to the City of Albuquerque based upon recommendations by the EPC rendered at the same meeting (AX-79-13, 2-79-80-2).

The subject site plan is intended to define the major public infrastructure elements of the plan as required by the IP zone. The building placement on this plan is shown for illustration purposes only and shall not dictate the pattern of future development plans.

Subsequent site development plans within the boundaries of this site plan shall conform with the major public infrastructure elements of this plan and with the requirements of the IP zone. Site development plan approval shall be accomplished by the Development Review Board (DRB). The following notice shall appear on each approved site development plan, along with the signatures of the DRB members:

Site Development Plan Approval

This plan is consistent with the concepts of the original Journal Center Site Plan approved by the Environmental Planning Commission on August 16, 1980 (AX-79-13, 2-79-80-2) and the IP zone.

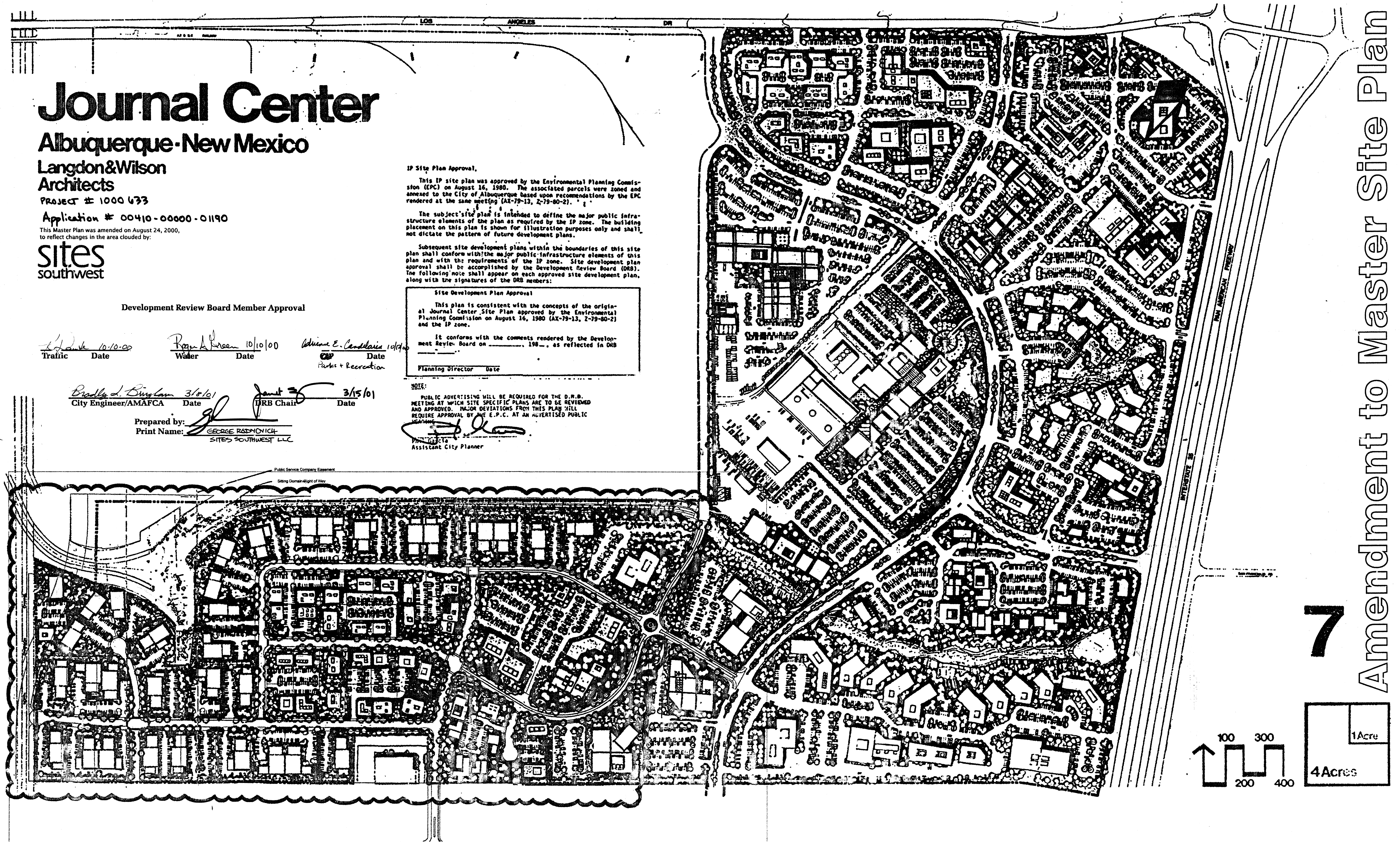
It conforms with the comments rendered by the Development Review Board on _____, 198____, as reflected in DRB _____.

Planning Director Date

NOTE:

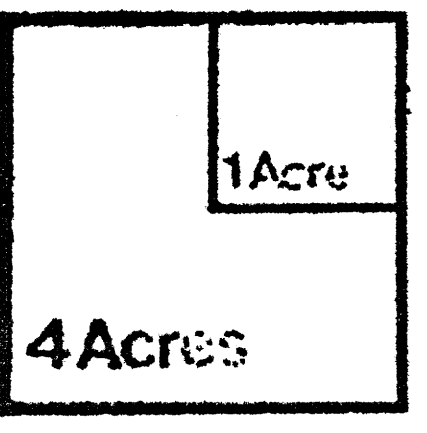
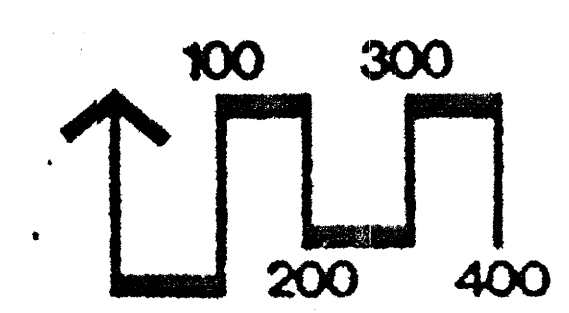
PUBLIC ADVERTISING WILL BE REQUIRED FOR THE D.R.B. MEETING AT WHICH SITE SPECIFIC PLANS ARE TO BE REVIEWED AND APPROVED. MAJOR DEVIATIONS FROM THIS PLAN WILL REQUIRE APPROVAL BY THE E.P.C. AT AN ADVERTISED PUBLIC MEETING.

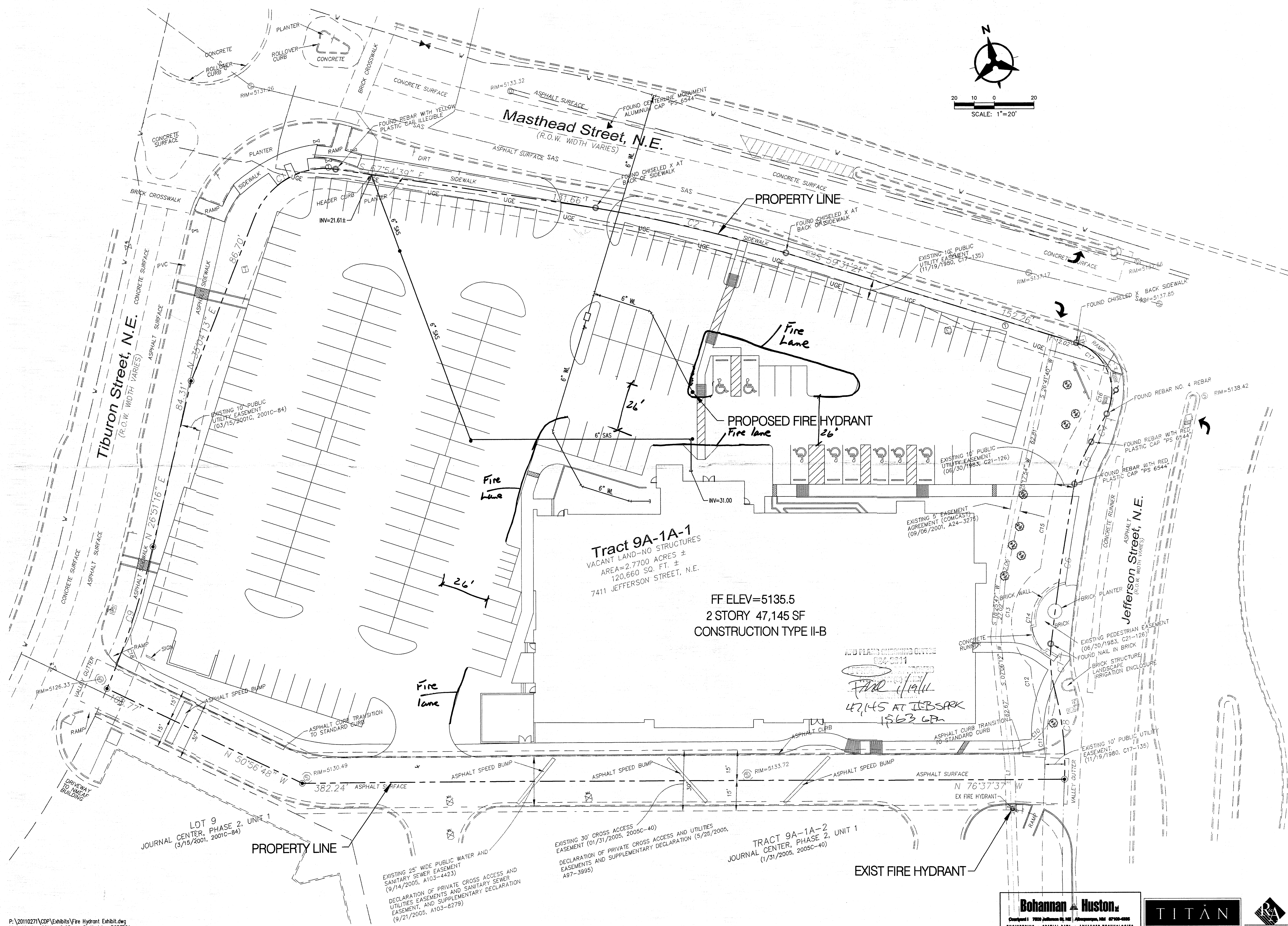
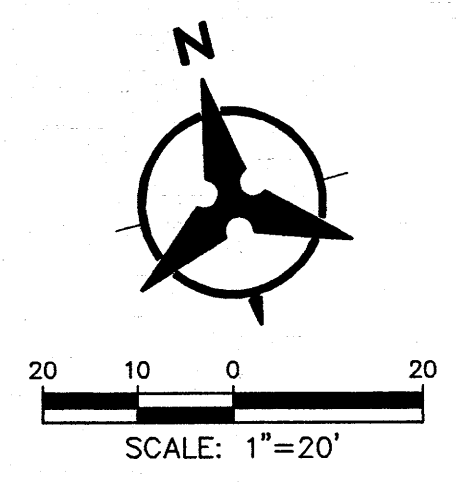
[Signature]
Assistant City Planner

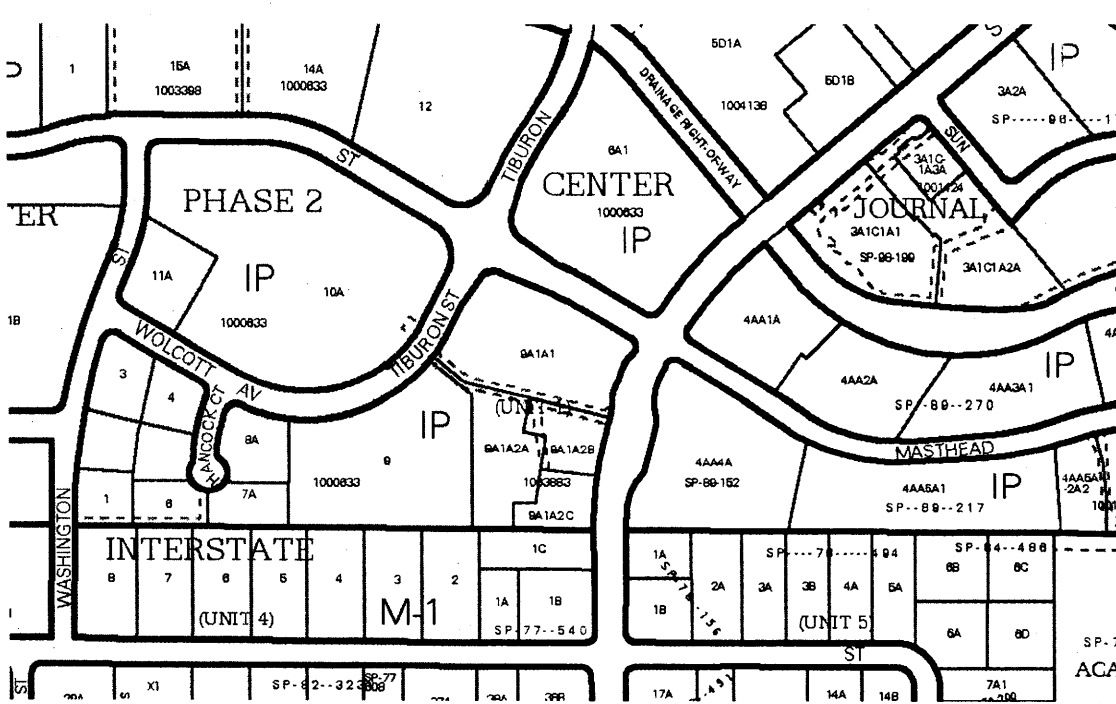


Amendment to Master Site Plan

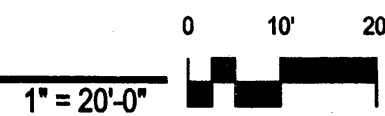
7







SITE PLAN



SITE DATA

LEGAL DESCRIPTION:
JOURNAL CENTER PHASE 2, UNIT 2, TRACT 9A-1A-1

ZONE:
IP INDUSTRIAL PARK

GROSS BUILDING AREA:
OFFICE BLDG. (2-STORY) - 46,953 sf

SITE AREA:
124,874 sf - 2.87 ACRES

GROSS F.A.R. (GBA/SITE AREA):
46,953 sf/124,874 sf = 0.38

PARKING INFORMATION

PARKING REQUIRED:
186 SPACES
PARKING PROVIDED:
186 SPACES

ACCESSIBLE PARKING REQUIRED:
101-300 SPACES = 8 ACCESSIBLE SPACES
ACCESSIBLE PARKING PROVIDED:
8 SPACES, 2 VAN ACCESSIBLE

MOTORCYCLE PARKING REQUIRED:
151-300 SPACES = 5 SPACES
MOTORCYCLE PARKING PROVIDED:
5 SPACES

BICYCLE PARKING REQUIRED:
1-20 AUTOMOBILES = 10 SPACES
BICYCLE PARKING PROVIDED:
10 SPACES

GENERAL SHEET NOTES

- A. SITE PLAN SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS.
- B. SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE AND UTILITY INFORMATION.
- C. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- D. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- E. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT, THE CITY OF ALBUQUERQUE ZONING CODE: SECTION 14-16-3-9 AREA LIGHTING REGULATIONS.
- F. EXISTING ASPHALT SIDEWALK ALONG WEST SIDE OF SITE FRONTING TIBURON STREET SHALL BE REMOVED PRIOR TO INSTALLATION OF NEW CONCRETE SIDEWALK.
- G. SIGN SHALL BE POSTED NEAR MAIN ENTRANCE STATING SMOKING IS PROHIBITED AND SHALL DIRECT PEDESTRIAN TO DESIGNATED SMOKING AREA.

SHEET KEYNOTES

1. TYPICAL PARKING SPACE; 8'-6"x18'-0" (UNLESS NOTED OTHERWISE).
2. TYPICAL COMPACT PARKING SPACE; 8'-0"x15'-0"
3. TYPICAL ADA PARKING SPACE; 9'-0"x20'-0"
4. TYPICAL MOTORCYCLE PARKING SPACE; 4'-0"x8'-0"
5. LANDSCAPED AREA; REFER TO LANDSCAPE PLAN
6. ASPHALT PAVING
7. METAL BIKE RACK
8. 6'-0" WIDE PEDESTRIAN CROSSWALK. COLOR AND TEXTURE PATTERN TO DIFFERENTIATE FROM SURROUNDING ASPHALT PAVING.
9. CONCRETE WHEEL STOP TYPICAL
10. STEEL TRELLIS ABOVE
11. REFUSE ENCLOSURE FOR SOLID WASTE DISPOSAL; REFER DETAIL D4/SHT. A102
12. 6'-0" WIDE CONCRETE SIDEWALK TO CONNECT TO EXISTING SIDEWALK ALONG STREET.
13. POLE MOUNTED ADA SIGNAGE
14. POLE MOUNTED MOTORCYCLE PARKING SIGNAGE
15. PAINTED ADA PAVEMENT SIGNAGE TYP.
16. AUTOMOBILE INGRESS/EGRESS.
17. CONCRETE CURB
18. EXISTING CONCRETE SIDEWALK
19. NEW CONCRETE ADA RAMP WITH 1:12 MAXIMUM SLOPE AND TRUNCATED DOMES PER COA STANDARD DRAWING 2440
21. COURTYARD
22. NEW CONCRETE RAMP; REFER DETAIL A4/SHT. A102.
23. PARKING SPACE; 9'-0"x20'-0"
24. EXISTING BUS STOP
25. LIGHT POLE TYP; REFER DETAIL C4/SHT. A102
26. DRAINAGE CANAL
27. EQUIPMENT ENCLOSURE
28. MONUMENT SIGN; REFER DETAIL B4/SHT. A102
29. 10' PUBLIC UTILITY EASEMENT
30. COMCAST EASEMENT
31. CONCRETE DRIVEPAD, SEE COA STANDARD DRAWING #2426
32. EXISTING FIRE HYDRANT
33. NEW FIRE HYDRANT
34. FIRE LANE
35. CONCRETE STAIRS
36. SIDEWALK STEEL GRATE COVER
37. PROPOSED GAS METER LOCATION.
38. ACCESSIBLE RAMP
39. COURTYARD WALL
40. CONCRETE CURB @ BUILDING
41. CONCRETE CURB AND GUTTER
42. SHARED PRIVATE ACCESS EASEMENT; RECORDED 1/31/2005, BOOK 2005C PG. 40.
43. DESIGNATED OUTDOOR SMOKING AREA; BENCH WITH ASH URN/TRASH RECEPTACLE.
44. NEW CONCRETE RAMP; REFER DETAIL C5/SHT. A102

GRAPHIC LEGEND

- EASEMENT LINE
- PROPERTY LINE
- NEW CONCRETE SIDEWALK/PAVING
- EXISTING CONCRETE CURB
- NEW CONCRETE CURB

FORMER PROJECT NUMBER:

PROJECT NUMBER: 1003883

APPLICATION NUMBER: 11DRB-70014

Is an Infrastructure List Required? () Yes (X) No If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i>	DATE
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	03-30-11
<i>[Signature]</i>	DATE
ABCWUA	02/16/11
<i>[Signature]</i>	DATE
PARKS AND RECREATION DEPARTMENT	2/16/11
<i>[Signature]</i>	DATE
CITY ENGINEER	2-16-11
<i>[Signature]</i>	DATE
SOLID WASTE MANAGEMENT	1-20-11
<i>[Signature]</i>	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	3-30-11

REVISIONS

- △
- △
- △
- △

DRAWN BY	DPS
REVIEWED BY	DPS
DATE	01.21.2011
PROJECT NO.	10-0138
DRAWING NAME	

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SHEET NO.

A101
OF

architecture
interiors
landscape
planning
engineering

Dekker Perich Sabatini

7501 Jefferson NE Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsdesign.org

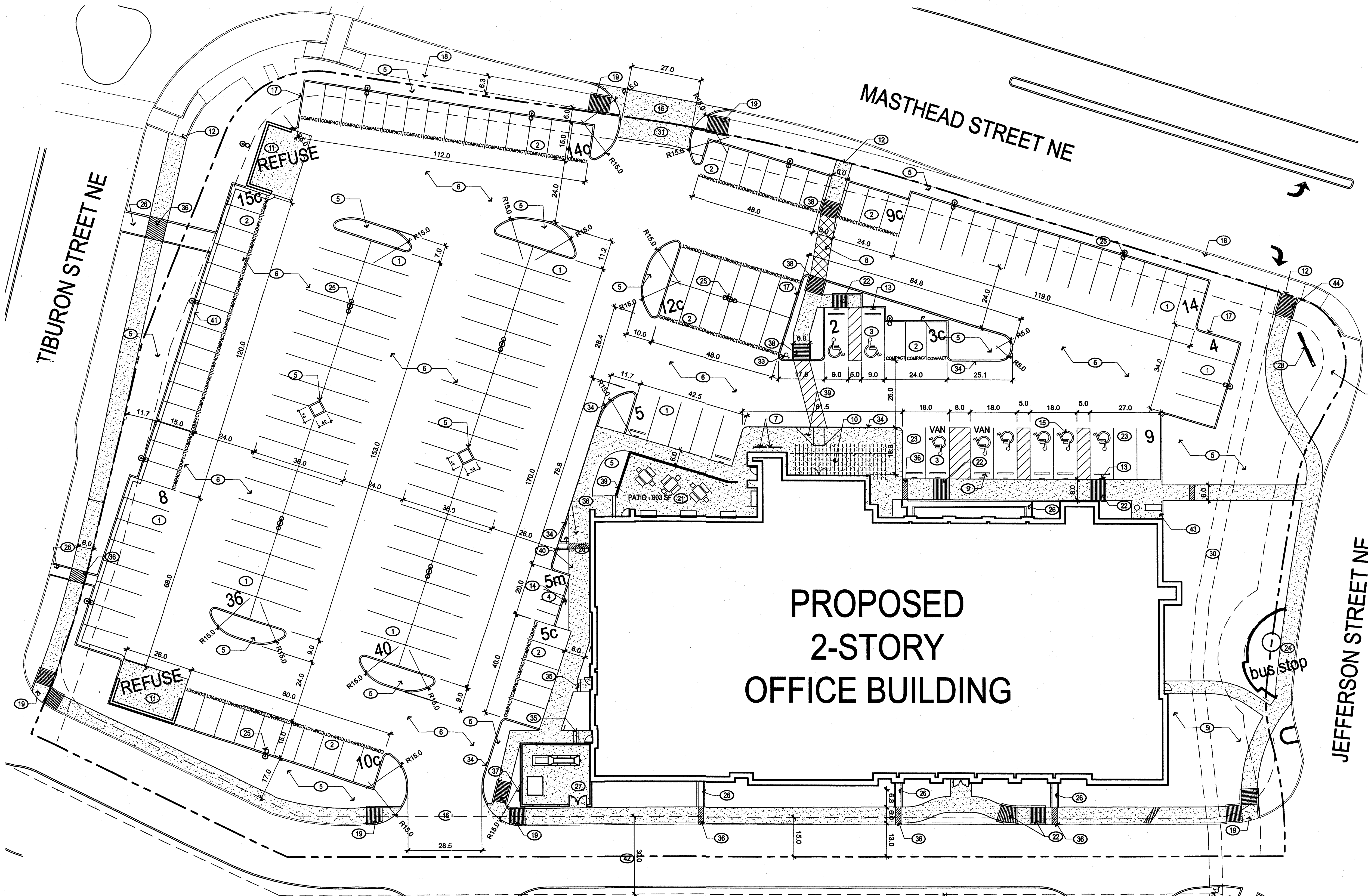
ARCHITECT

ENGINEER

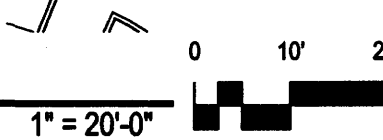
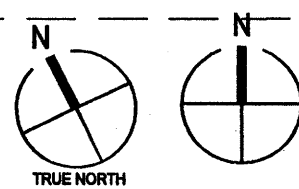
PROJECT

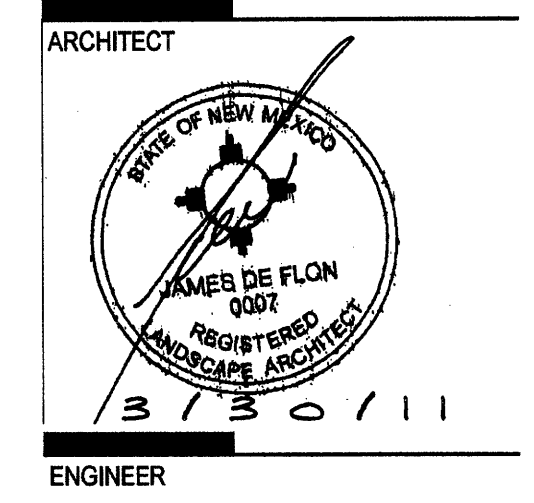
REDW
Office Building
7425 Jefferson NE
Albuquerque, New Mexico 87109

**PROPOSED
2-STORY
OFFICE BUILDING**



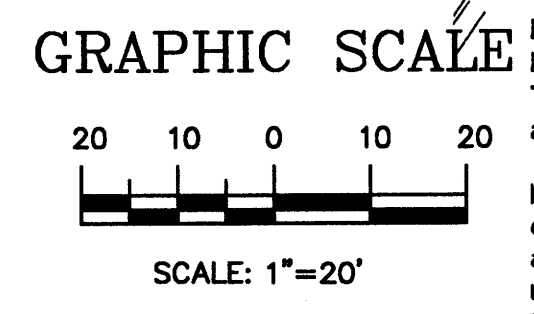
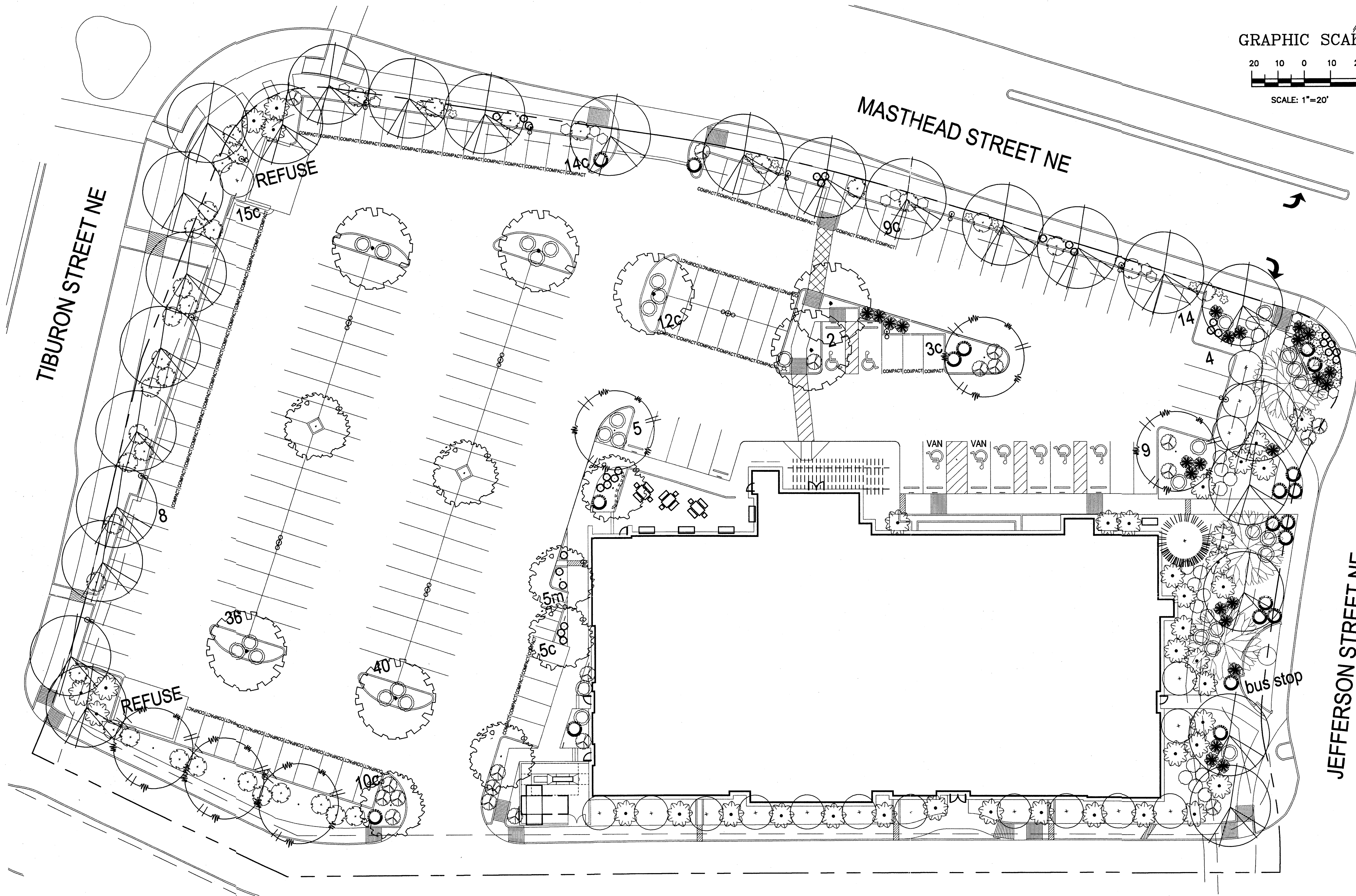
SITE PLAN





ARCHITECT
ENGINEER
PROJECT

REDW
Office Building
7425 Jefferson NE
Albuquerque, New Mexico 87109



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

STREET TREE REQUIREMENTS - Minimum 2" Caliper

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

- Name of Street: JEFFERSON
Required 7 Provided 8
- Name of Street: MASTHEAD
Required 13 Provided 12
- Name of Street: TIBURON
Required 9 Provided 9

PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper

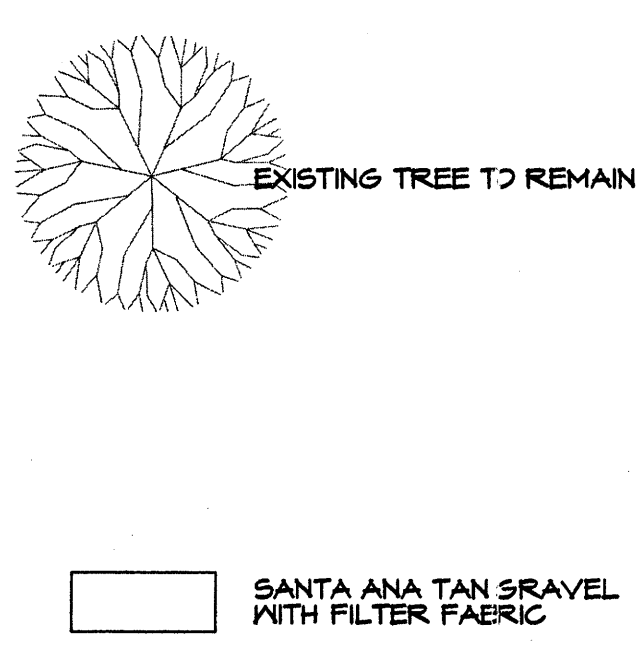
Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

- Shade tree per 10 spaces
Required 20 Provided 20

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

PLANT LEGEND

- BERINDA ASH (H) 21
Fraxinus spp.
2" Cal.
(PER THE JOURNAL CENTER REQUIREMENTS FOR STREET TREE PARKSTRIP)
- CHINESE PISTACHE (M) 7
Pistachia chinensis
2" Cal.
- OAK (M) 6
Quercus spp.
2" Cal.
- REDBUD (M) 7
Cercis reniformis
2" Cal.
- AUSTRIAN PINE (M) 1
Pinus nigra
6" Cal.
- THORNLESS HAWTHORN (M+) 17
Crataegus crus-galli inermis
15 Gal. 225sf
- SOTOL 24
Dasylirion wheeleri
5 Gal. 36sf
- MUGO PINE (M) 30
Pinus mugo
5 Gal. 36sf
- CURLLEAF MTN MAHOGANY (L) 34
Carpinus ledgeri
5 Gal. 100sf
- GREYLEAF COTONEASTER 34
Cotoneaster buxifolius
5 Gal. 31sf
- APACHE PLUME (L) 18
Falugia paradoxa
5 Gal. 42sf
- ARP ROSEMARY (M) 34
Rosmarinus officinalis
5 Gal. 36sf
- POWIS CASTLE SAGE (L) 21
Artemisia x powis castle
5 Gal. 25sf
- AUTUMN SAGE (M) 18
Salvia greggii
1 Gal. 4sf
- LAVENDER (M) 24
Lavandula angustifolia
1 Gal. 4sf
- THREADGRASS (M) 22
Stipa tenuisima
1 Gal. 4sf
- LADY BANKS ROSE (M) 1
Rosa banksiae
5 Gal.



LANDSCAPE CALCULATIONS

TOTAL LOT AREA	120874	square feet
TOTAL BUILDINGS AREA	23512	square feet
NET LOT AREA	97361	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	14595	square feet
TOTAL BED PROVIDED	19716	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	14832	square feet
TOTAL GROUNDCOVER PROVIDED	16265 (82%)	square feet
TOTAL PONDING AREA	0	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	19716 (20%)	square feet

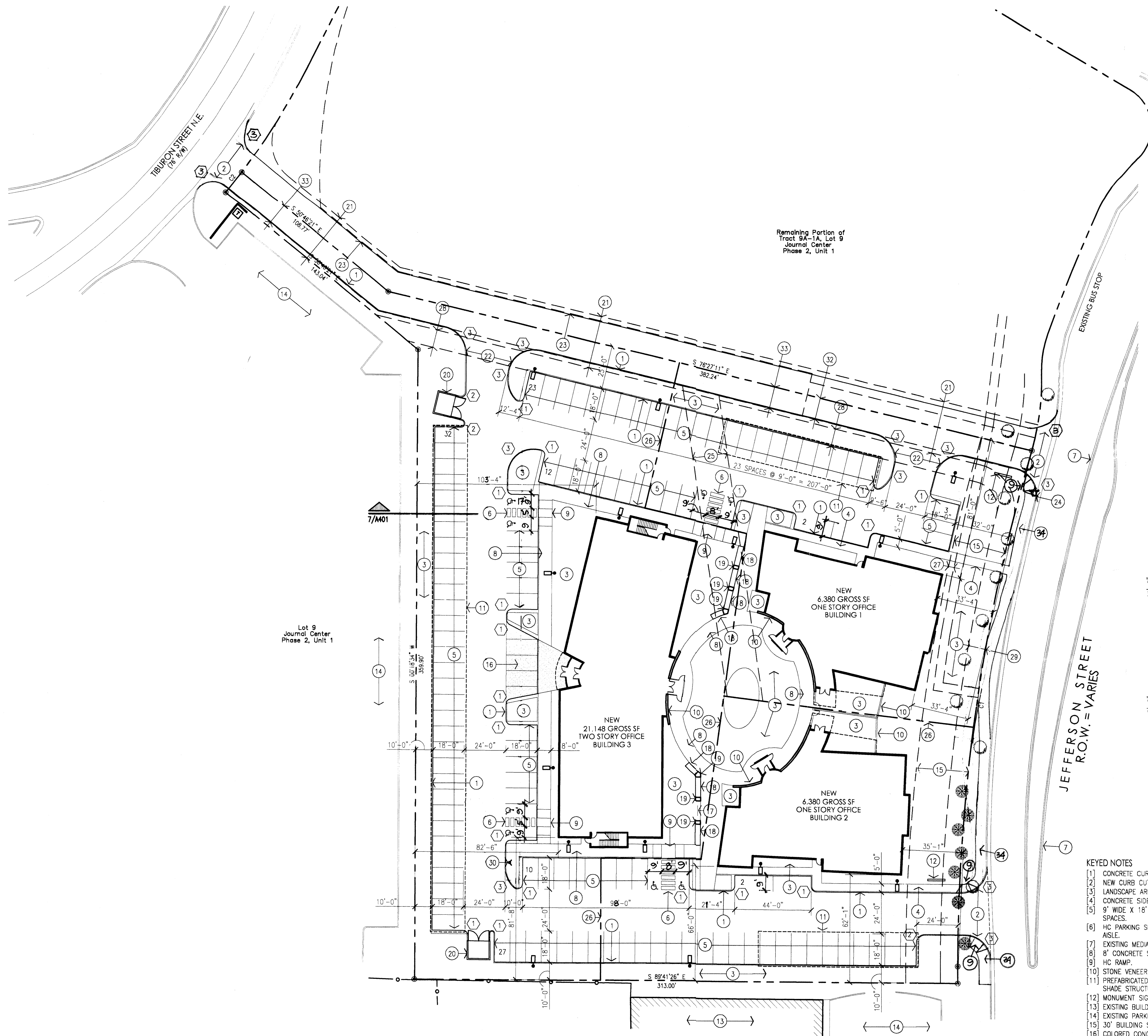
- REVISIONS**
- cmj 9-15-11 tree vs. lighting
 - cmj 2-15-11 revised site plan
 - cmj 1-24-11 ex. trees located
 - cmj 9-30-11 rev. site # no-sod

DRAWN BY cmj
REVIEWED BY df
DATE 1-11-11
PROJECT NO.
DRAWING NAME

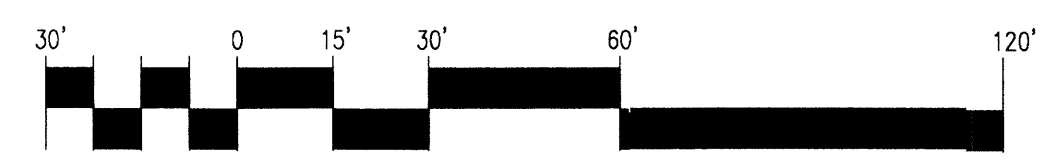


LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed. All plants shall be sized per American Standard for Nursery Stock.

SHEET NO. L101



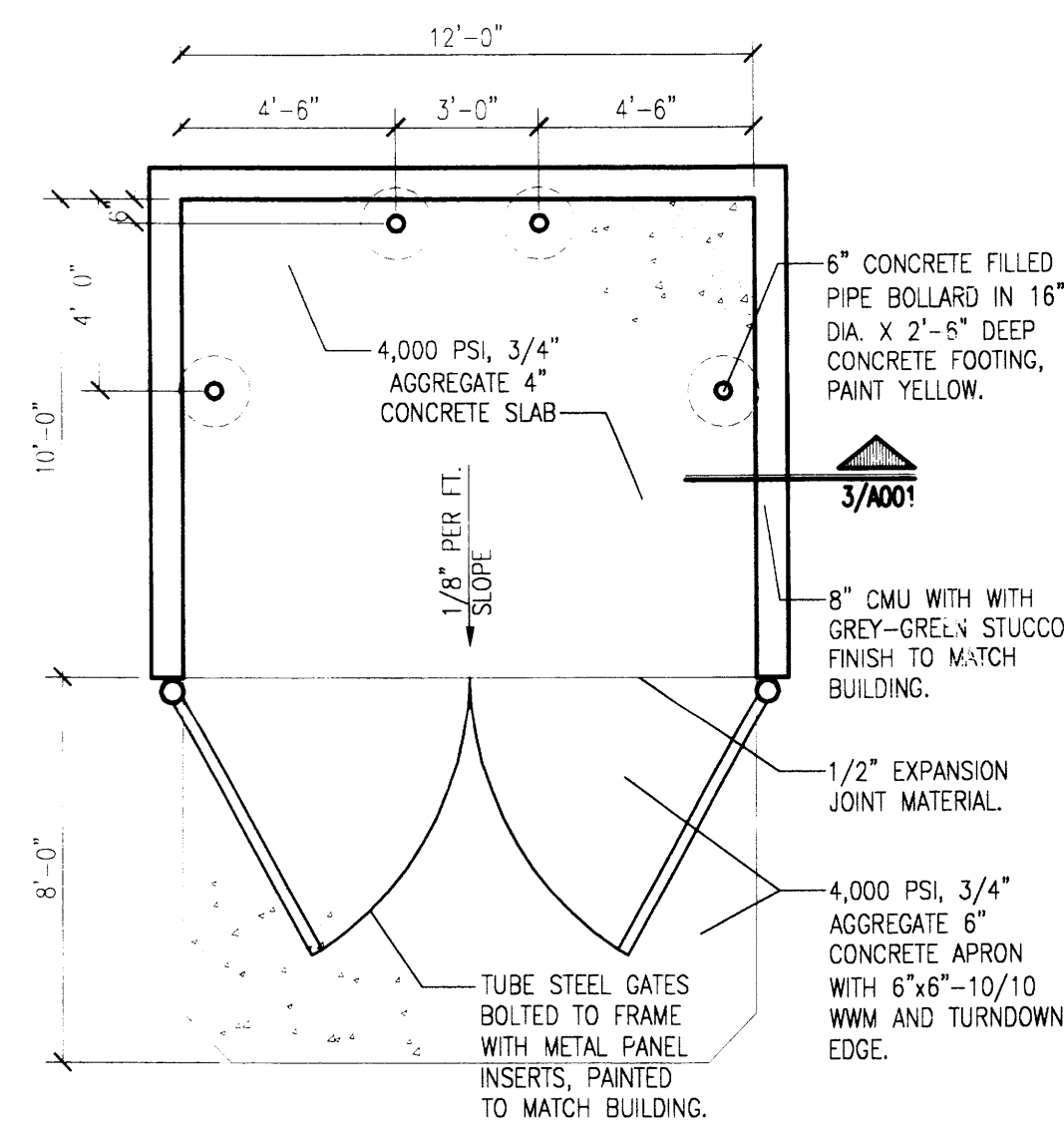
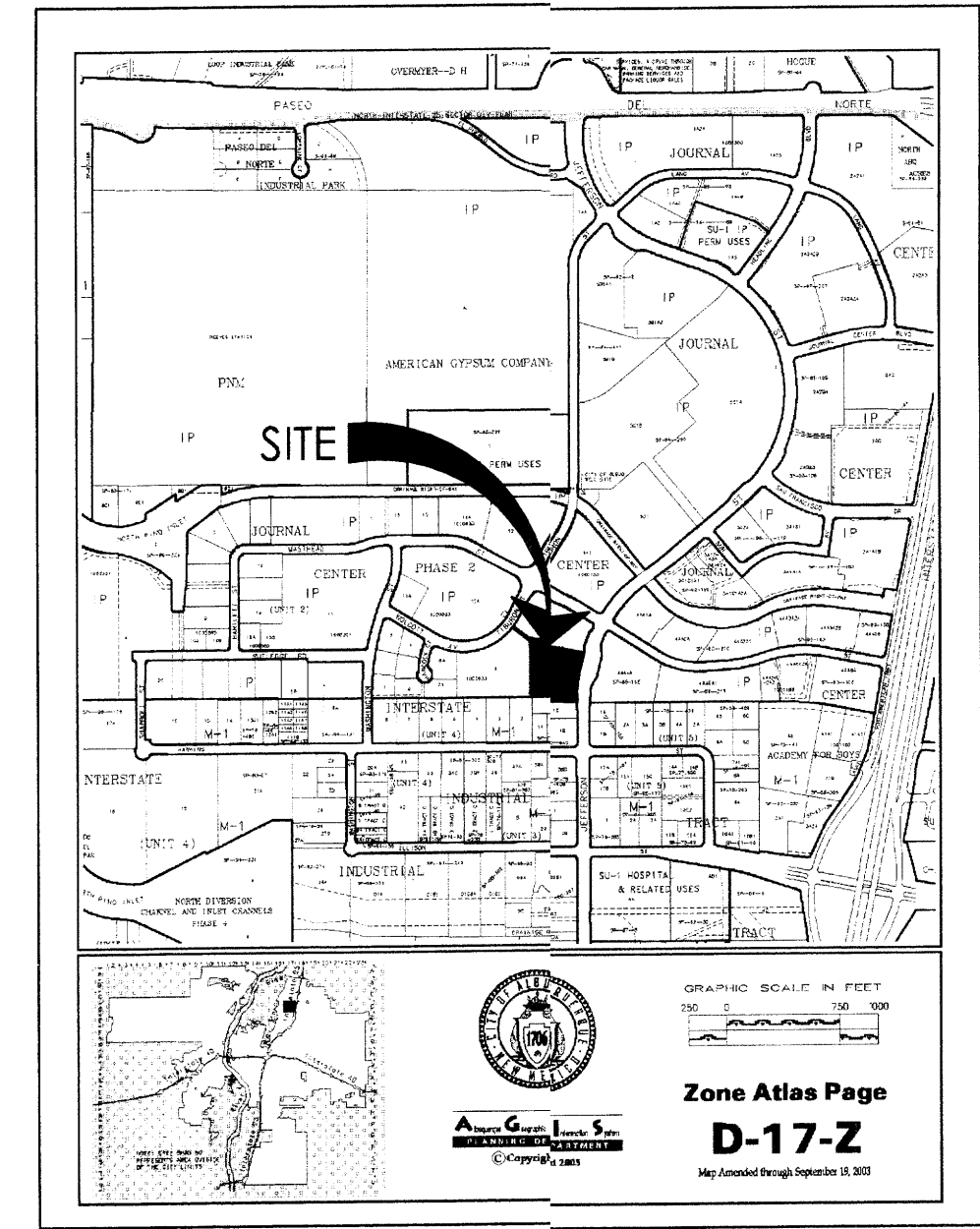
1 Architectural Site Plan
Scale: 1"=30'-0"



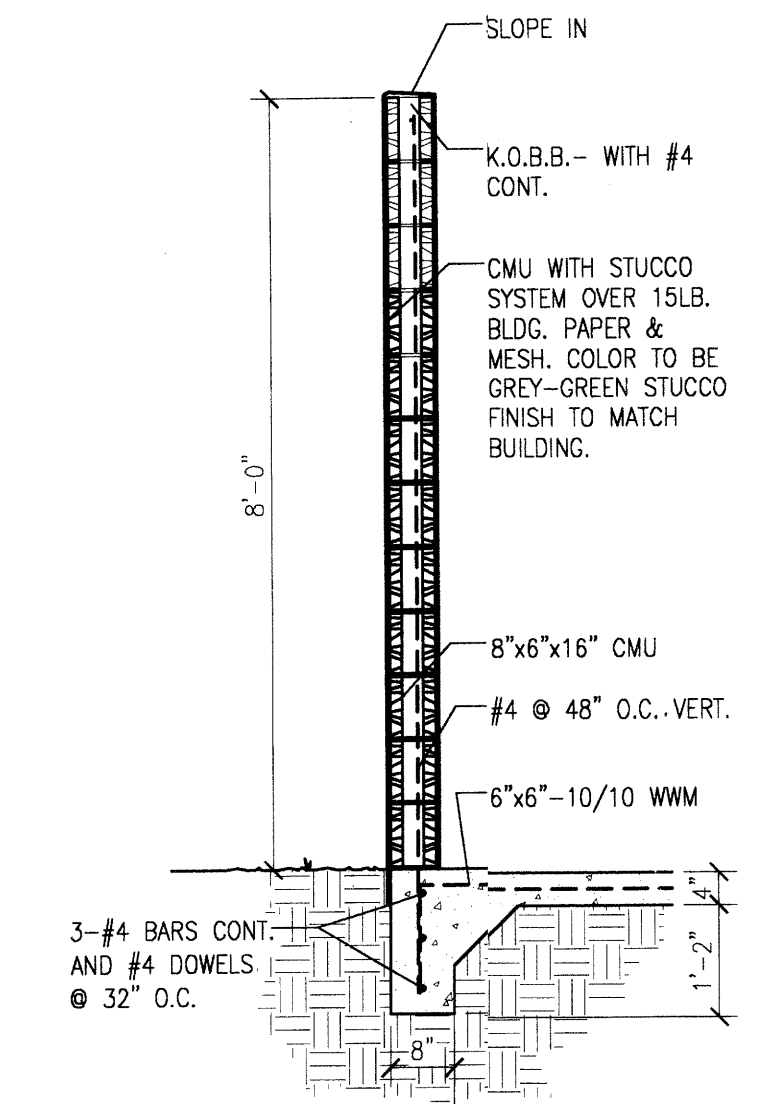
Remaining Portion of
Tract 94-1A, Lot 9
Journal Center
Phase 2, Unit 1

Lot 9
Journal Center
Phase 2, Unit 1

VICINITY MAP



2 Dumpster Enclosure Plan
Scale: 1"=20'



3 Enclosure Wall Section
Scale: 1/4"=1'-0"

- KEYED NOTES**
- [1] CONCRETE CURB.
 - [2] NEW CURB CUT, 24" WIDE PER 2A DTL. 242c.
 - [3] LANDSCAPE AREA.
 - [4] CONCRETE SIDEWALK.
 - [5] 9' WIDE X 18' DEEP PARKING SPACES.
 - [6] HC PARKING SPACES AND ACCESS AISLE.
 - [7] EXISTING MEDIAN.
 - [8] 8" CONCRETE SIDEWALK.
 - [9] HC RAMP.
 - [10] STONE VENEER YARD WALL.
 - [11] PREFABRICATED PARKING SHADE STRUCTURE.
 - [12] MONUMENT SIGN. SEE 6/A401.
 - [13] EXISTING BUILDING.
 - [14] EXISTING PARKING LOT.
 - [15] 30" BUILDING SETBACK LINE.
 - [16] COLORED CONCRETE PAVING.
 - [17] BIKE RACK. SEE 8/A401.
 - [18] STONE VENEER BENCH.
 - [19] STONE VENEER LIGHT BOLLARD.
 - [20] DUMPSTER ENCLOSURE. SEE 2/A001.
 - [21] EXISTING 30' PRIVATE CROSS ACCESS EASEMENT.
 - [22] DRIVEWAY CUT.
 - [23] EDGE OF NEW ASPHALT DRIVE.
 - [24] RELOCATED FIRE HYDRANT.
 - [25] NEW 20' PRIVATE UTILITY EASEMENT.
 - [26] PROPOSED PROPERTY LINE.
 - [27] EXISTING 5' COMCAST EASEMENT.
 - [28] NEW 10' PUBLIC UTILITY EASEMENT.
 - [29] EXISTING 10' PUBLIC UTILITY EASEMENT.
 - [30] NEW FIRE HYDRANT.
 - [31] ~~NEW 20' PUBLIC WATERLINE EASEMENT. NOT USED.~~
 - [32] NEW 12"-6" PUBLIC WATERLINE EASEMENT.
 - [33] NEW 12"-6" PUBLIC GAS AND WATERLINE EASEMENT.
 - [34] NEW 6' CITY SIDEWALK PER 2A DTL. 2430.
- SITE LIGHTING LEGEND**
- 16" HIGH LITE POLE WITH 250 WATT METAL HALIDE SHIELDED SHOEBOX FIXTURE
- RADIUS INFO**
- 1 3' RADIUS
 - 2 5' RADIUS
 - 3 15' RADIUS
- PARKING CALCULATIONS**
- | | |
|----------------------|-----------------|
| OFFICE: | 6,380 GROSS SF |
| OFFICE: | 6,380 GROSS SF |
| OFFICE: | 21,148 GROSS SF |
| TOTAL BUILDING AREA: | 33,908 GROSS SF |
- PARKING REQUIREMENTS:**
- | | |
|-----------------------|------------------|
| FIRST FLOOR OFFICE = | 23,334/200 = 116 |
| SECOND FLOOR OFFICE = | 10,574/300 = 35 |
| TOTAL = | 151 |
- 15% REDUCTION FOR BUS STOP = 128 SPACES REQUIRED
- TOTAL SPACES PROVIDED = 128
- 8 HANDICAP SPACES REQUIRED
8 HANDICAP SPACES PROVIDED
- BLDG 1. 23 SPACES REQ'D, 24 PROVIDED**
BLDG 2. 23 SPACES REQ'D, 24 PROVIDED
BLDG 3. 74 SPACES REQ'D, 77 PROVIDED

revision	
by	
date	
rev	▲▲▲▲▲

MH
Mullen Heller
Architecture P.C.
1015 Tijeras Avenue NW
Suite 220
Albuquerque 87102
505 268 4144 [p]
505 268 4244 [f]

job number	04-38
drawn by	MAC
project manager	Douglas Heller, AIA
date	06/14/05

PROJECT NUMBER: 003883 APPLICATION NUMBER: 05-00999

IS AN INFRASTRUCTURE LIST REQUIRED? YES NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

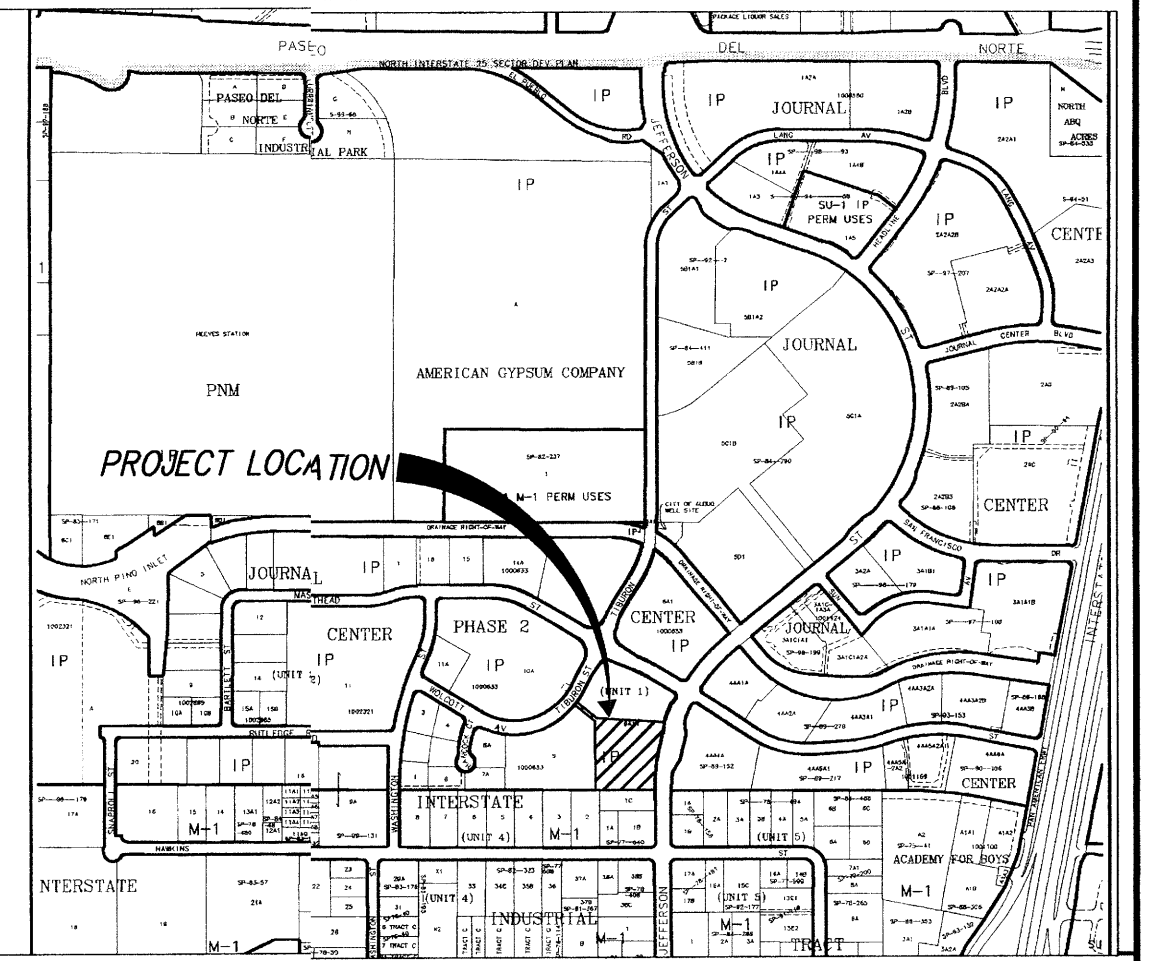
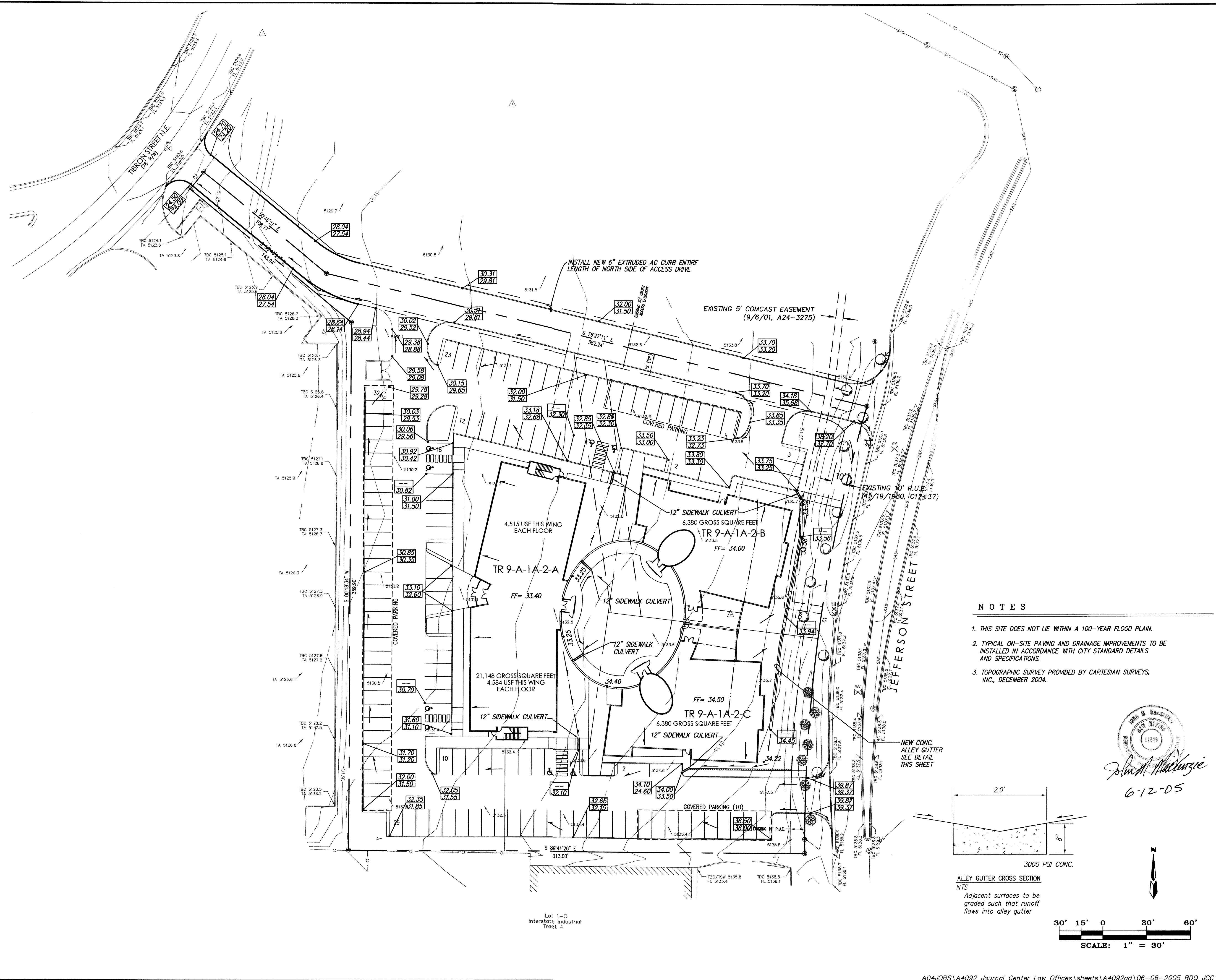
DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i>	6-30-05
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	Date
<i>[Signature]</i>	6-22-05
UTILITIES DEVELOPMENT	Date
<i>[Signature]</i>	6/22/05
PARKS AND RECREATION DEPARTMENT	Date
<i>[Signature]</i>	6/22/05
CITY ENGINEER	Date
N/A	
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
<i>[Signature]</i>	6-22-05
SOLID WASTE MANAGEMENT	Date
<i>[Signature]</i>	6/22/05
DRB CHAIRPERSON, PLANNING DEPARTMENT	Date

project title
Lanchiaford Development
SWC of Jefferson Street and Masthead
Albuquerque, New Mexico

sheet title
Site Development Plan for Building Permit

sheet
A001



VICINITY MAP ZONE MAP: D-17-Z

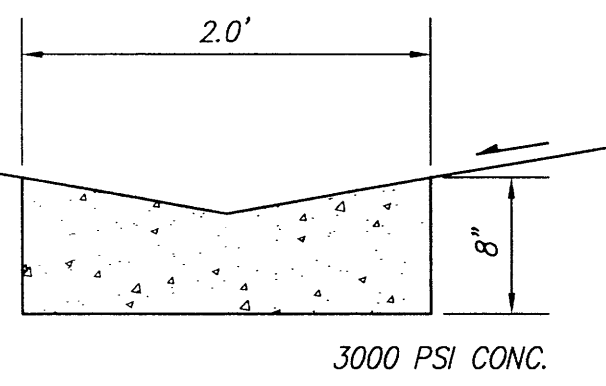
ACS BENCHMARK
ACS MONUMENT "16-E: 17" ELEV. = 5144.74

LEGAL DESCRIPTION
TRACT 9-A-1A-2-A, 9-A-1A-2-B, AND -A-1A-2-C
JOURNAL CENTER PHASE 2, UNIT 1

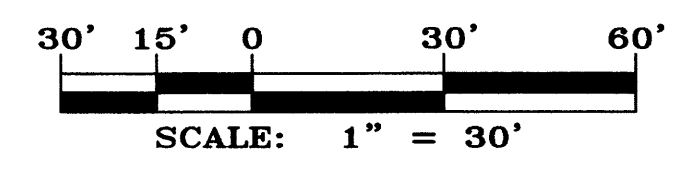
- LEGEND
- N 90°00'00" E RECORD BEARING AND DISTANCES
 - FOUND REBAR WITH CAP "LS 6544"
 - ⊙ SANITARY SEWER MANHOLE
 - ⊙ STORM DRAIN MANHOLE
 - ⊙ FIRE HYDRANT
 - ⊙ WATER VALVE
 - ⊙ CHAIN LINK FENCE
 - ⊙ UNDERGROUND ELECTRIC BOX
 - ⊙ TRANSFORMER
 - ⊙ DECIDUOUS TREE
 - ⊙ CONIFEROUS TREE
 - RETAINING WALL
 - LANDSCAPE SWALE
 - FF= XX.XX FINISH FLOOR ELEVATION
 - XX.XX NEW SPOT ELEVATION
 - XX.XX TOP OF CURB ELEVATION & FLOWLINE ELEVATION
 - FLOW DIRECTION

- NOTES
1. THIS SITE DOES NOT LIE WITHIN A 100-YEAR FLOOD PLAIN.
 2. TYPICAL ON-SITE PAVING AND DRAINAGE IMPROVEMENTS TO BE INSTALLED IN ACCORDANCE WITH CITY STANDARD DETAILS AND SPECIFICATIONS.
 3. TOPOGRAPHIC SURVEY PROVIDED BY CARTESIAN SURVEYS, INC., DECEMBER 2004.

Professional Engineer Seal
John M. MacLaurie
 6-12-05



ALLEY GUTTER CROSS SECTION NTS
Adjacent surfaces to be graded such that runoff flows into alley gutter

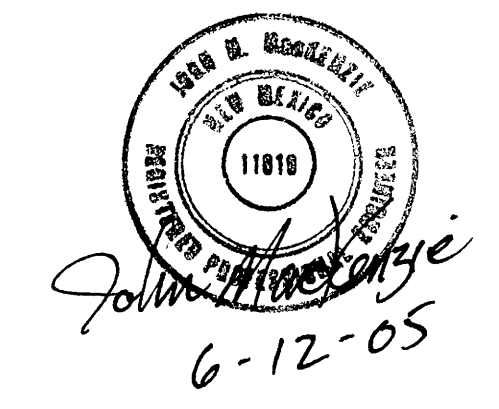
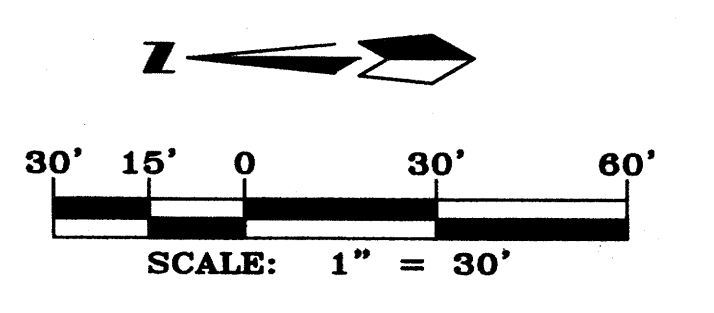
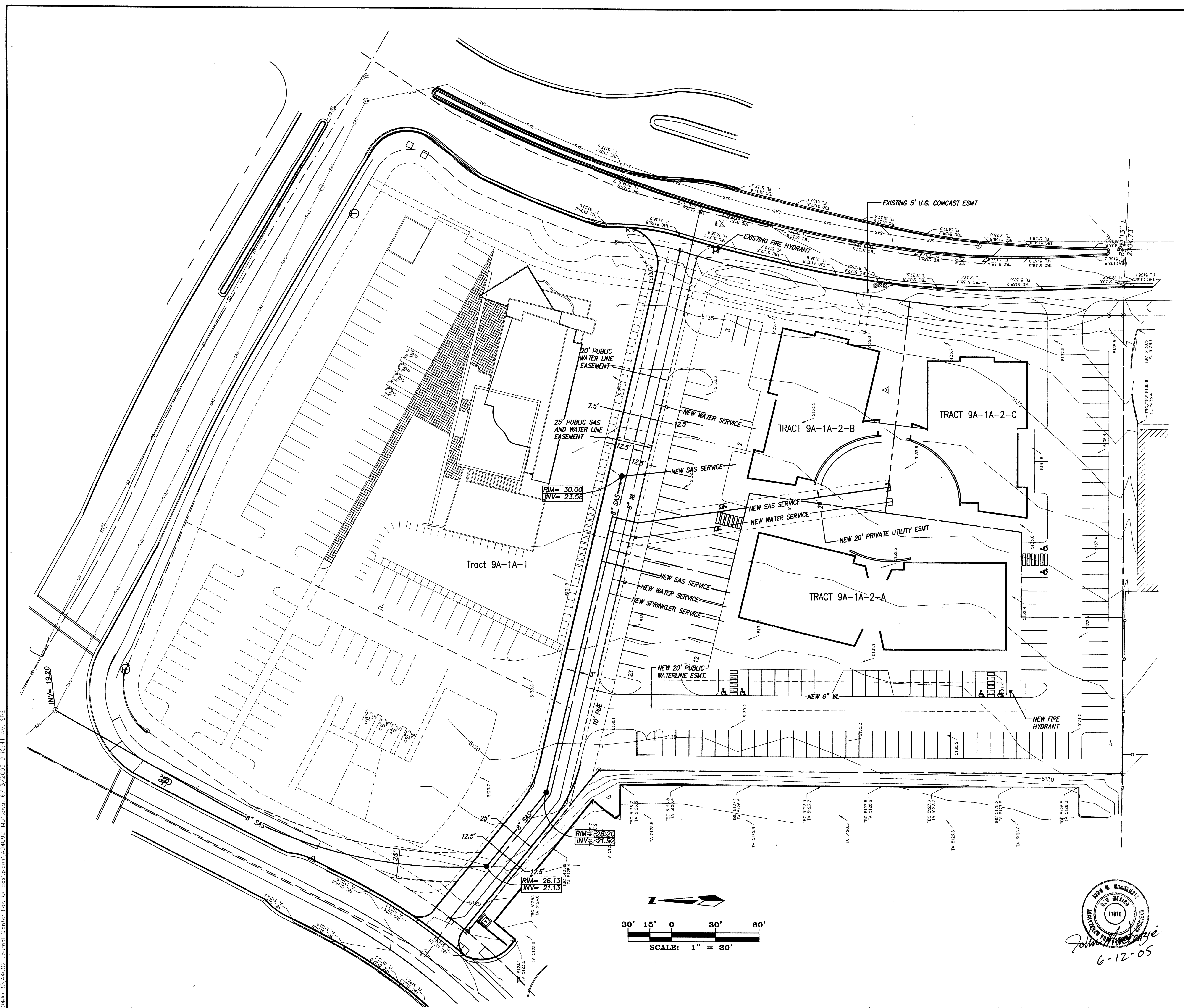


OFFICE BUILDING
GRADING & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JMM	Drawn: JCC	Checked: DMG	Sheet C-101
Scale: 1" = 1'	Date: 6-6-05	Job: A04092	

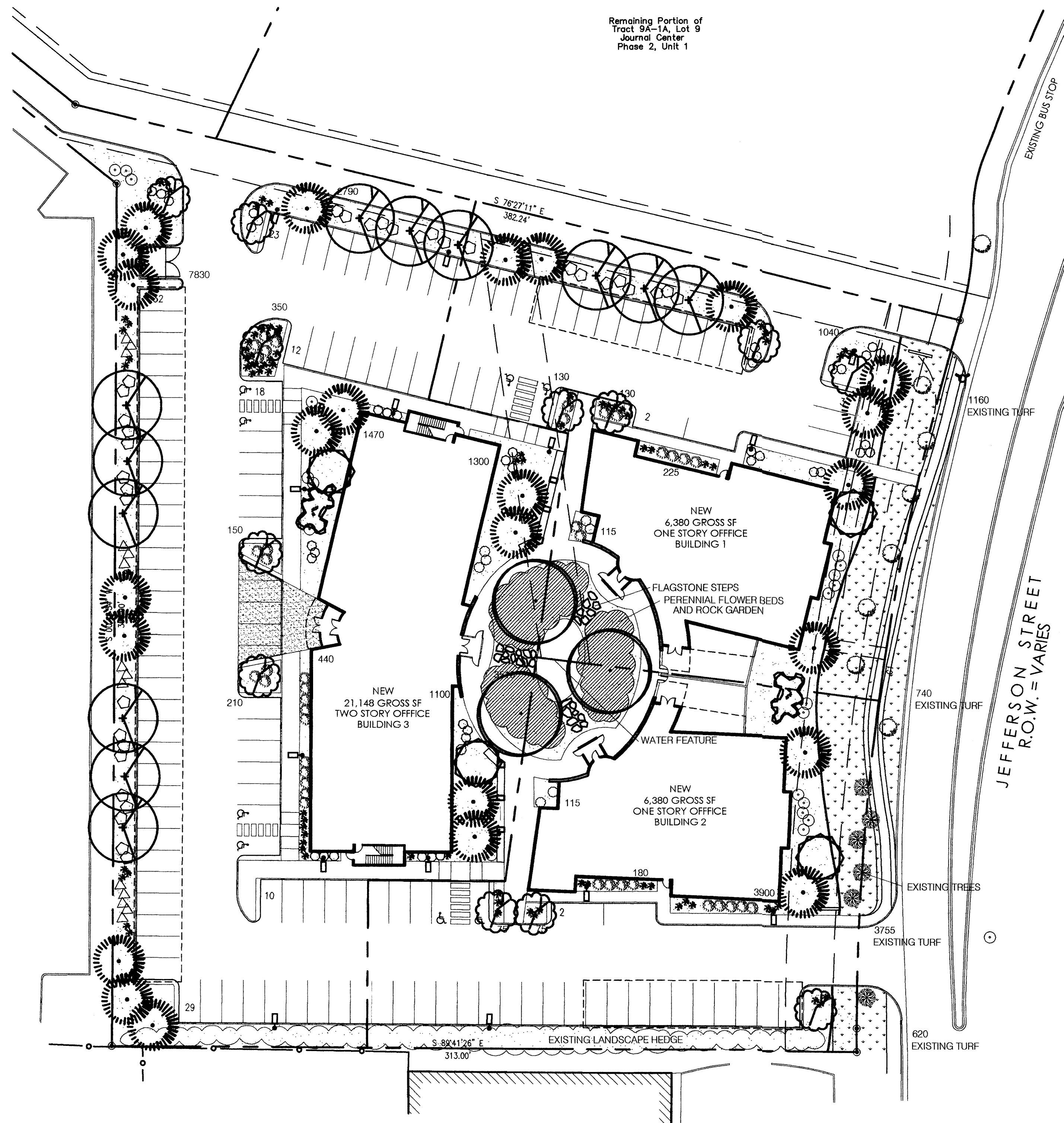
NOTES



MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505) 828-2200, FAX (505) 797-9539	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT	
TITLE: JOURNAL CENTER LAW OFFICES CONCEPTUAL UTILITY PLAN	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
LAST DESIGN UPDATE	MO./DAY/YR. _____ MO./DAY/YR. _____ MO./DAY/YR. _____
CITY PROJECT NO.	ZONE MAP NO.
	SHEET
	C-102

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.	BY	NO.	DATE	CONTRACTOR	WORK	DATE	NO.
					STAKED BY	DATE	
					INSPECTOR'S	DATE	
					FIELD CHANGE BY	DATE	
					VERIFICATION BY	DATE	
					CORRECTED BY	DATE	
					MICRO-FILM INFORMATION		
					RECORDED BY	DATE	
					NO.		

A04JOBS\A4092 Journal Center Law Offices\plans\A04092-MU1.dwg 6/13/2005 9:10:41 AM SPS



LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
12	2" cal	Raywood Ash <i>Fraxinus oxycarpa</i>	M+
3	2" cal	Honey Locust <i>Gleditsia triacanthos</i>	M
24	6 - 8'	Austrian Pine <i>Pinus nigra</i>	M
2	4 - 6'	Pinon <i>Pinus edulis</i>	M
4	2" cal	Desert Willow <i>Chilopsis linearis</i>	L
12	10-12'	Bradford Pear <i>Pyrus calleryana</i>	M
34	5 Gal	Wintergreen Barberry <i>Berberis julianae</i>	M
40	5 Gal	India Hawthorne <i>Raphiolepis indica</i>	M
0	5 Gal	Honeysuckle <i>Lonicera japonica</i>	M
14	5 Gal	Dwarf Butterfly Bush <i>Buddleia davidii nanhoensis</i>	M
84	5 Gal	Dwarf Feathertop <i>Pennisetum villosum</i>	M
40	5 Gal	Cherry Sage <i>Salvia greggii</i>	M
211	5 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	M
3	5 Gal	Turpentine Bush <i>Ericameria laricifolia</i>	L
		SANTA FE BROWN CRUSHER FINES	
		EXISTING SOD LAWN	

LANDSCAPE NOTES

OWNER IS RESPONSIBLE FOR MAINTENANCE OF IRRIGATION SYSTEM, LANDSCAPE PLANTINGS, AND LANDSCAPE MULCH. LANDSCAPE PLANT MATERIAL WHICH DIES SHALL BE REPLACED BY THE OWNER NO LATER THAN 60 DAYS AFTER NOTIFICATION.

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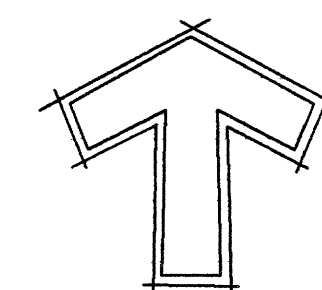
LANDSCAPE AREAS IN EXCESS OF 36 SQUARE FEET SHALL BE PLANTED SO AS TO ACHIEVE 75% LIVE GROUND COVER AT MATURITY.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

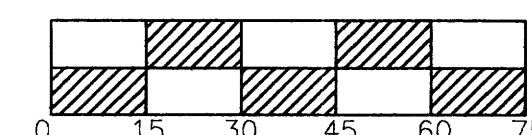
THE LANDSCAPE PLAN FOR THIS SITE SHALL LIMIT THE PROVISION OF HIGH WATER USE TURF TO A MAXIMUM OF 20 PERCENT OF THE PROVIDED LANDSCAPE AREA.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	42,760
TOTAL BUILDING AREA (sf)	5,037
NET LOT AREA (sf)	37,723
LANDSCAPE REQUIREMENT (%)	15
TOTAL LANDSCAPE REQUIRED (sf)	5,658
TOTAL LANDSCAPE PROVIDED (sf)	31410
TOTAL GRAVEL LANDSCAPE	25135
TOTAL EXISTING SOD	6275



NORTH

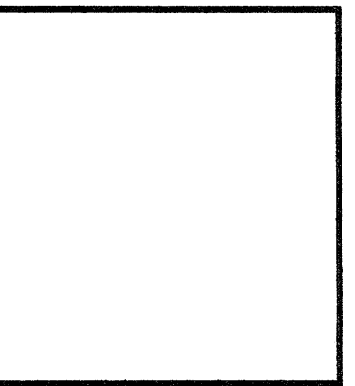


SCALE: 1" = 30'-0"

LANDSCAPE PLAN

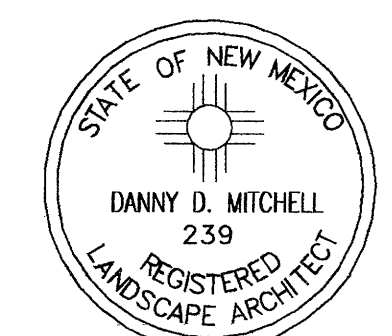
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MH
Mullen Heller
Architecture P.C.
1015 Tijeras Avenue NW
Suite 220
Albuquerque 87102
505 268 4144 [p]
505 268 4244 [f]



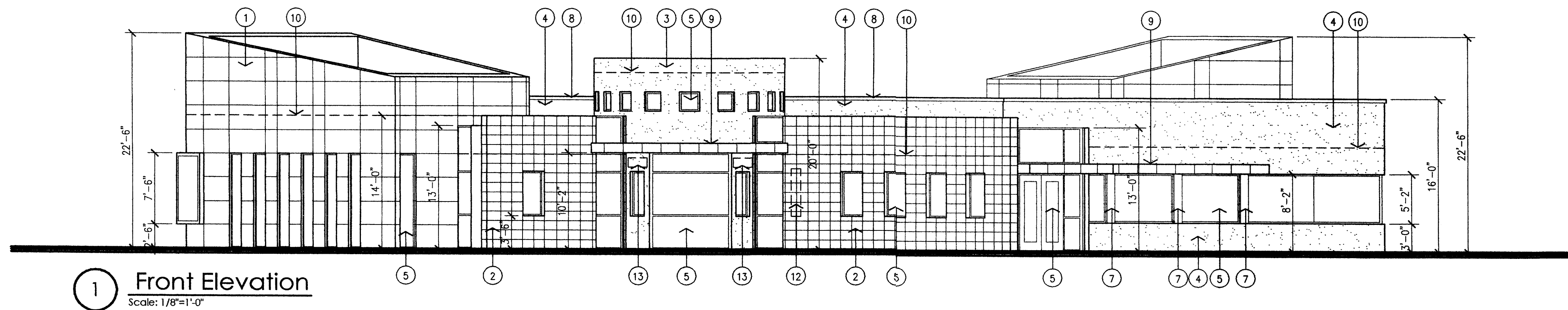
job number	04-38
drawn by	dam
project manager	Douglas Heller, AIA
date	06/14/05

Mitchell Associates, LLC
LANDSCAPE ARCHITECTS
1400 W. GARDEN AV.
SUITE 100
ALBUQUERQUE, NM 87102
505.268.4244
DANNY@MITCHELLASSOCIATESLLC.COM

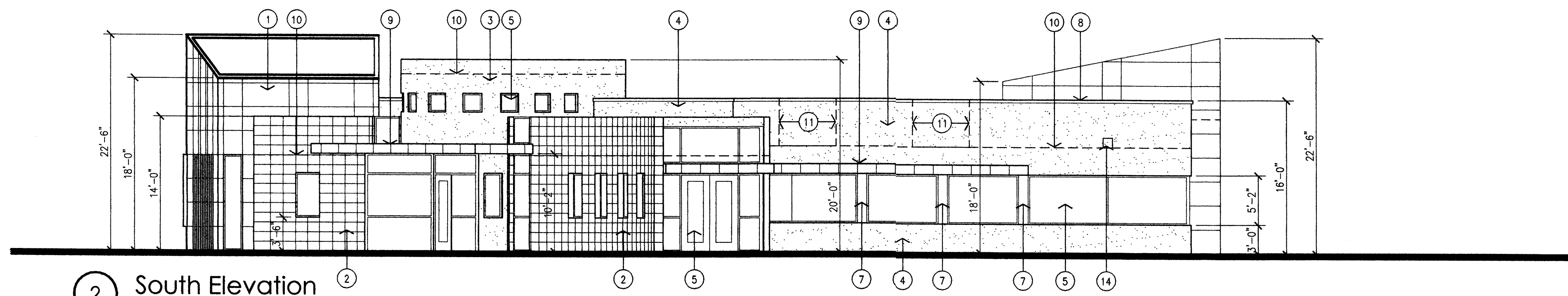


project title
Landlford Development
SVC of Jefferson Street and Musthead
Albuquerque, New Mexico
sheet title
Landscape Plan

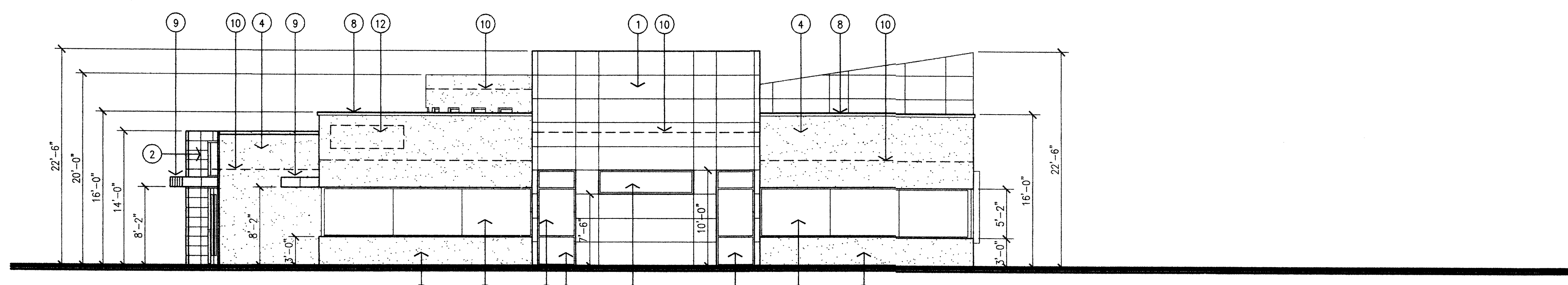
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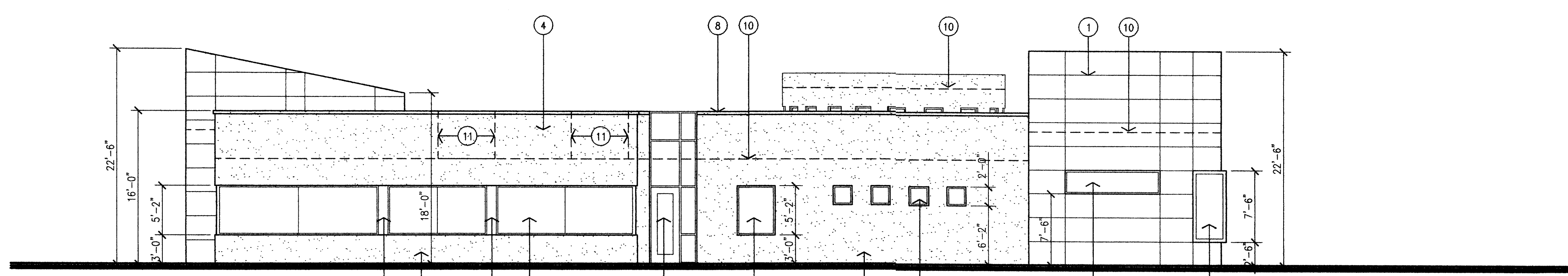
1 Front Elevation
Scale: 1/8"=1'-0"



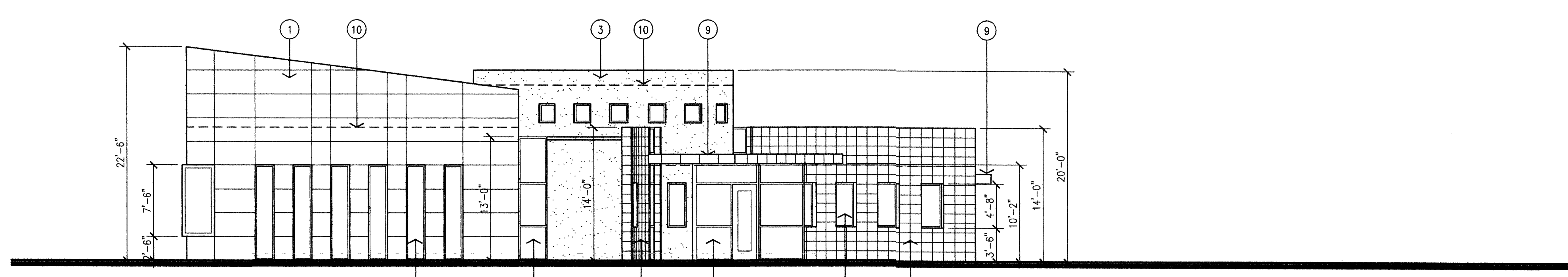
2 South Elevation
Scale: 1/8"=1'-0"



3 East Elevation
Scale: 1/8"=1'-0"



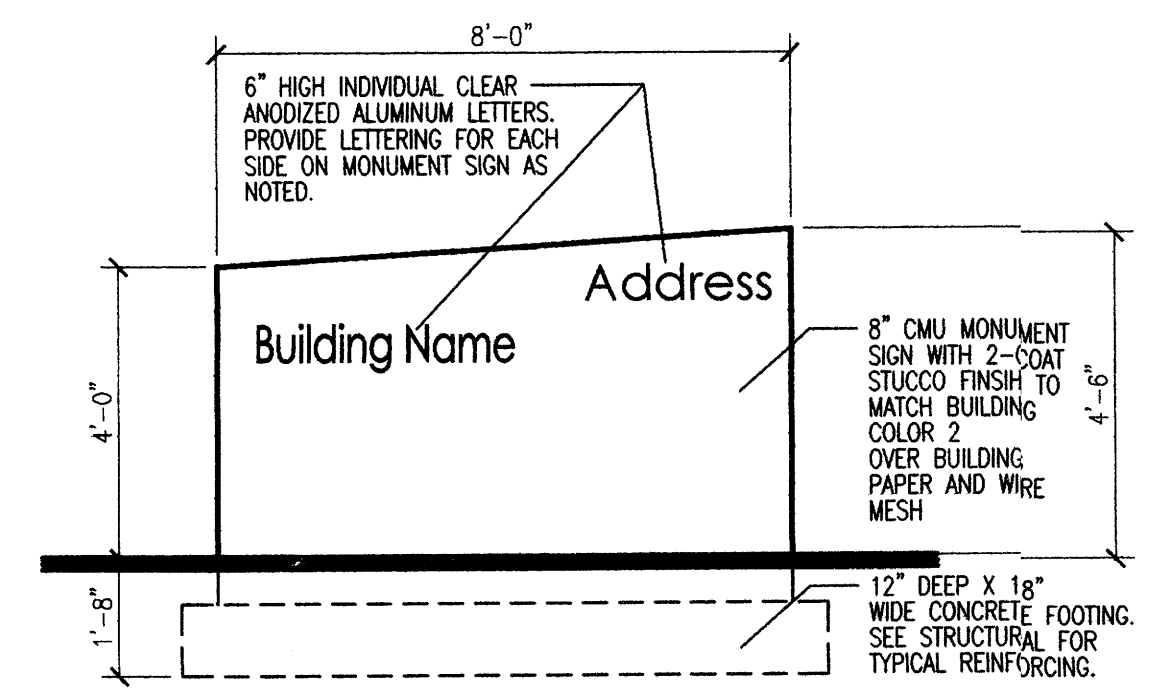
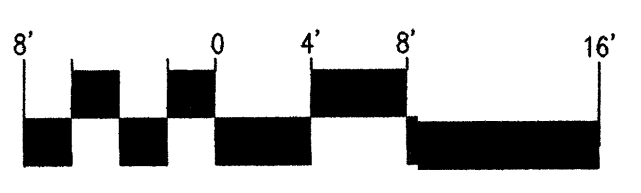
4 North Elevation
Scale: 1/8"=1'-0"



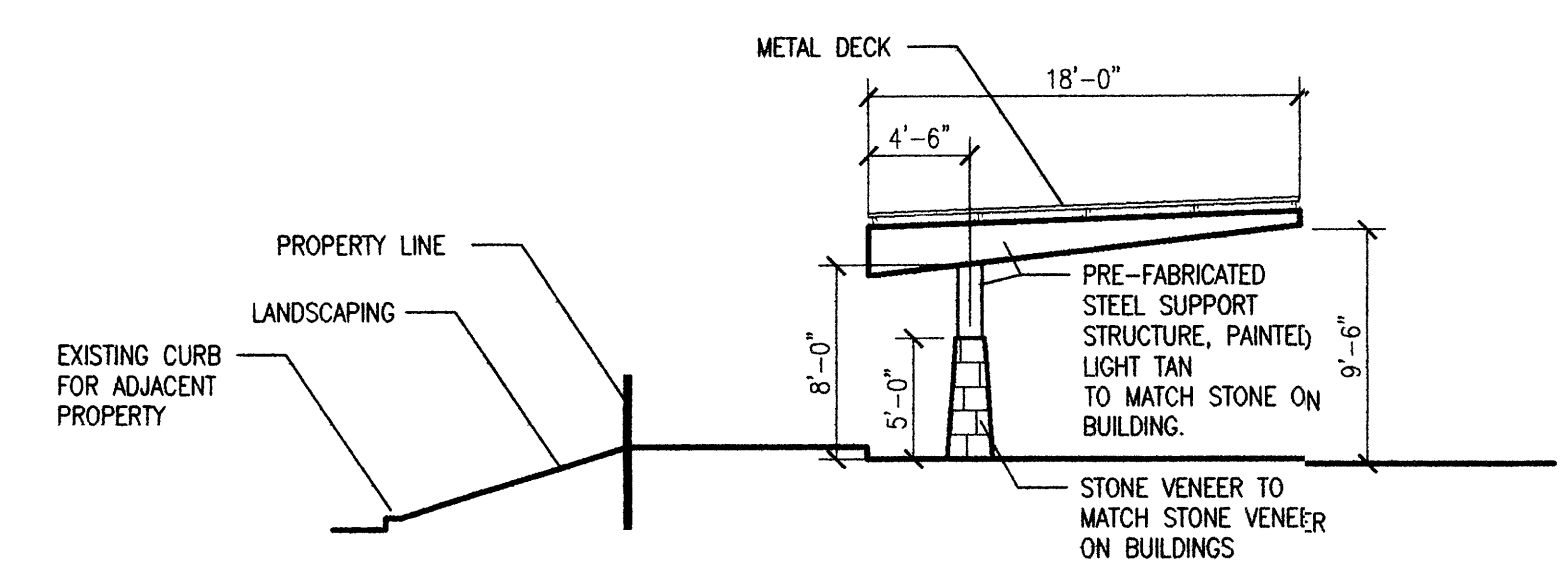
5 West Elevation
Scale: 1/8"=1'-0"

KEYED NOTES

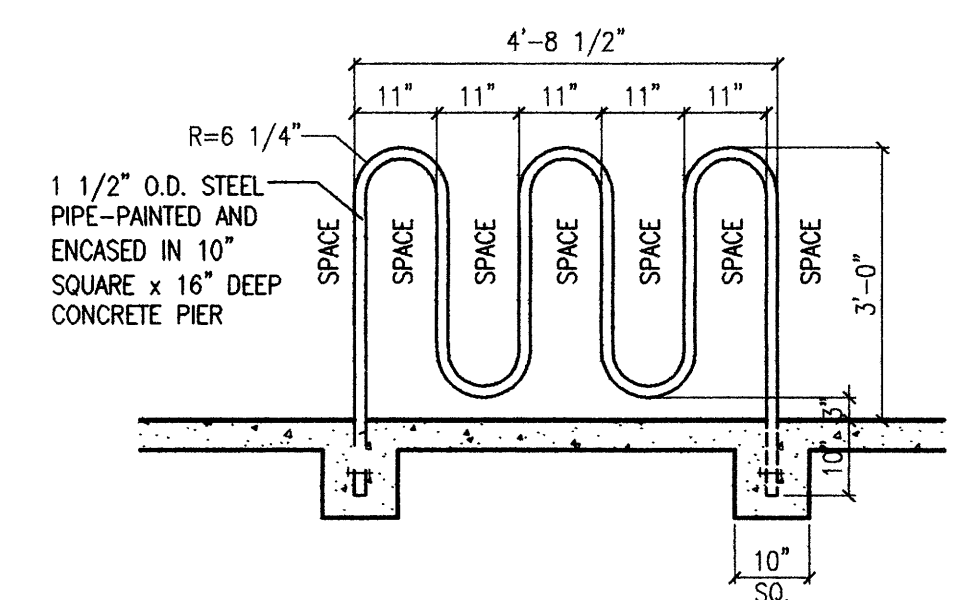
- [1] ALUMINUM PANELS. COLOR: SILVER.
- [2] STONE VENEER. COLOR: LIGHT TAN.
- [3] STUCCO COLOR 1. COLOR: BLUE-GREY.
- [4] STUCCO COLOR 2. COLOR: LIGHT TAN.
- [5] TINTED GLASS IN CLEAR ANODIZED ALUMINUM STOREFRONT. COLOR STOREFRONT IN STONE VENEER TO BE BLUE-GREY.
- [6] OPAQUE SPANDREL PANEL.
- [7] ALUMINUM PANEL TO MATCH STOREFRONT COLOR.
- [8] PREFINISHED PARAPET CAP TO MATCH STOREFRONT.
- [9] CANOPY WITH ALUMINUM PANELS. COLOR: SILVER.
- [10] LINE OF ROOF BEYOND.
- [11] LINE OF ROOF TOP UNITS BEYOND.
- [12] INTERNALLY LIT INDIVIDUAL CHANNEL LETTER SIGNAGE. MAX 30 S.F.
- [13] EXTERIOR WALL SCONCE LOCATION.
- [14] EXTERIOR WALL MOUNTED SHIELDED LIGHT.



6 Monument Sign Elevation
Scale: 1"=20'-0"



7 Site Section Thru Covered Parking
Scale: 1/8"=1'-0"



8 Bike Rack Detail
Scale: 1/2"=1'-0"

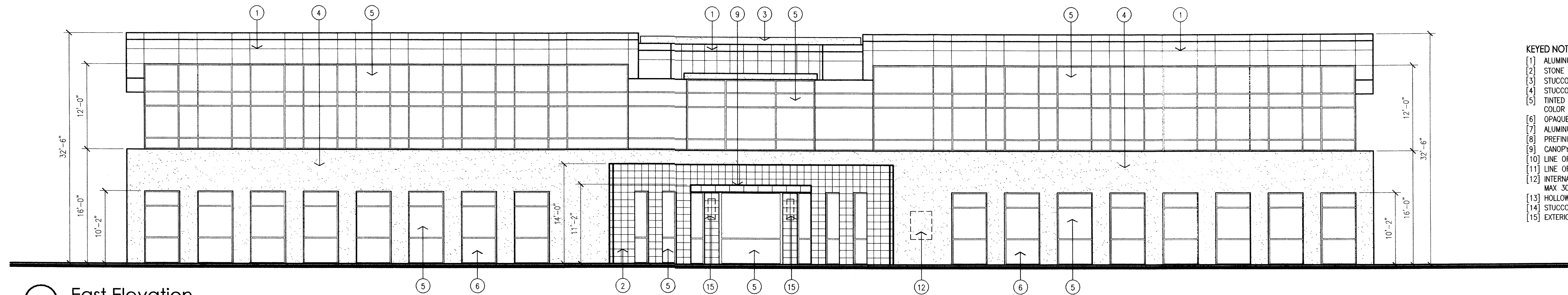
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MH
Mullen Heller
Architecture P.C.
1015 Tijeras Avenue NW
Suite 220
Albuquerque 87102
505 268 4144 [p]
505 268 4244 [f]

job number	04-38
drawn by	MAG
project manager	MMW
date	06/14/05

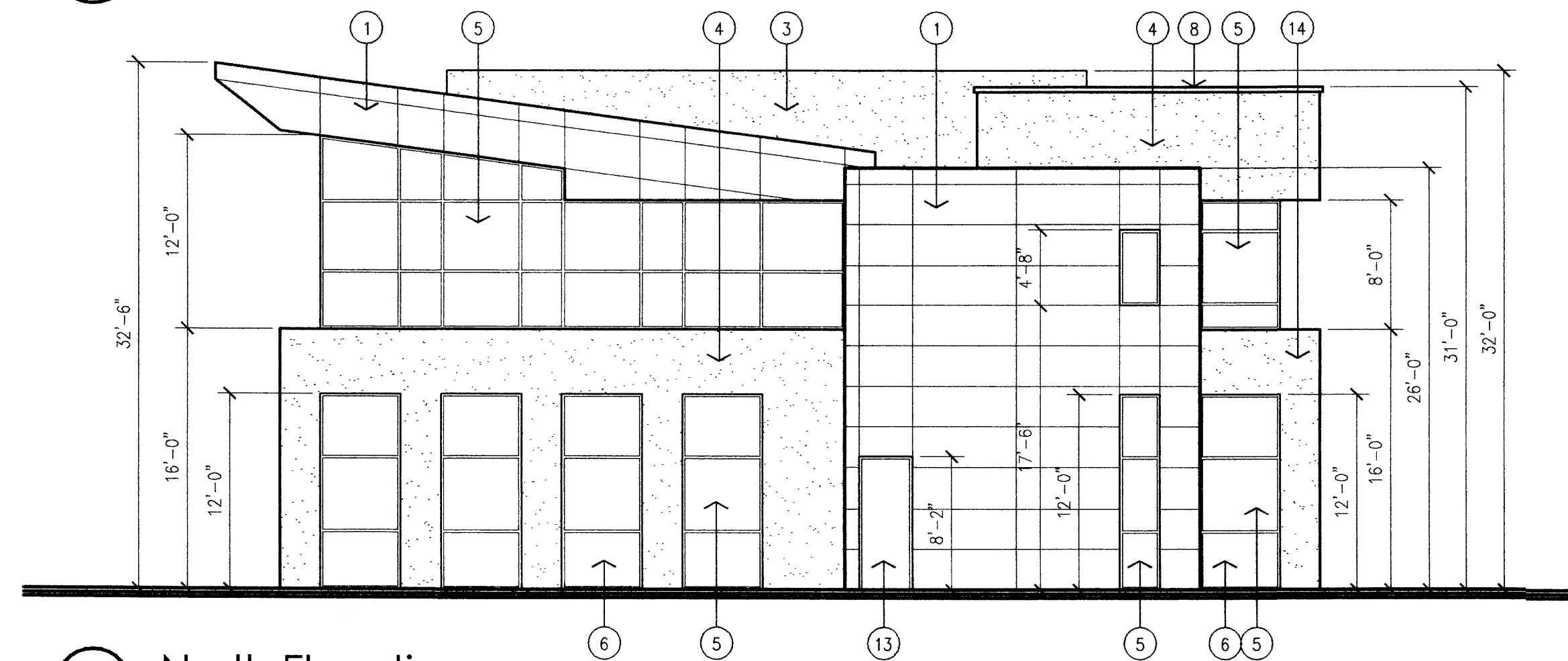
project title
Landlafford Development
SWC of Jefferson Street and Masthead
Albuquerque, New Mexico

sheet title
Exterior Elevations (Buildings 1 & 2)

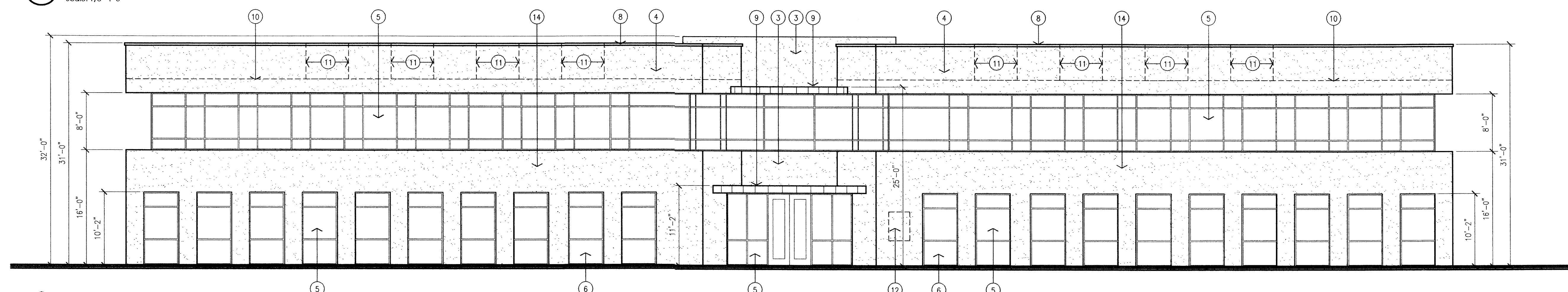


- KEYED NOTES**
- [1] ALUMINUM PANELS. COLOR: SILVER.
 - [2] STONE VENEER. COLOR: LIGHT GREY.
 - [3] STUCCO COLOR 1. COLOR: BLUE-GREY.
 - [4] STUCCO COLOR 2. COLOR: LIGHT TAN.
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 - [8] PREFINISHED PARAPET CAP TO MATCH STOREFRONT.
 - [9] CANOPY WITH ALUMINUM PANELS. COLOR: SILVER.
 - [10] LINE OF ROOF BEYOND.
 - [11] LINE OF ROOF TOP UNITS BEYOND.
 - [12] INTERNALLY LIT INDIVIDUAL CHANNEL LETTER SIGNAGE. MAX 30 S.F.
 - [13] HOLLOW METAL DOOR.
 - [14] STUCCO COLOR 3. COLOR: MEDIUM TAN.
 - [15] EXTERIOR BUILDING SCONCE LOCATION.

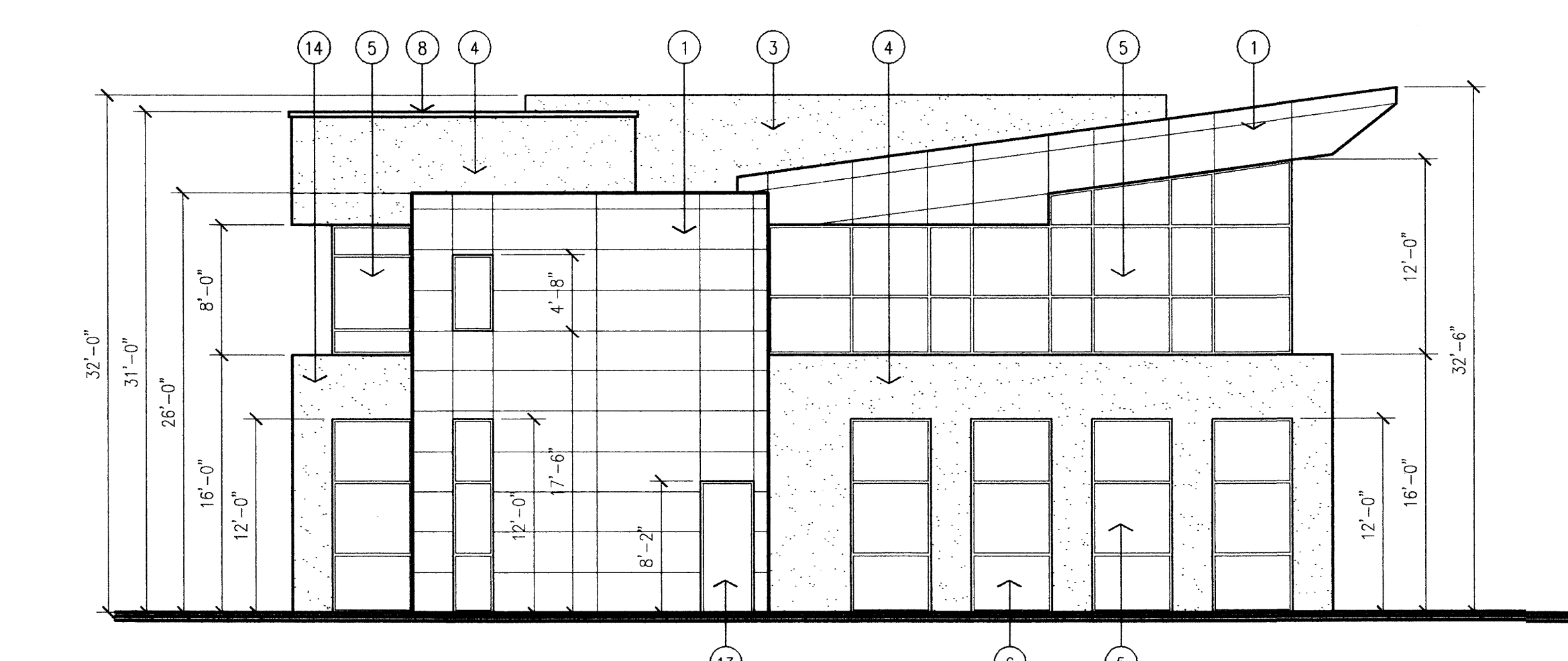
1 East Elevation
Scale: 1/8"=1'-0"



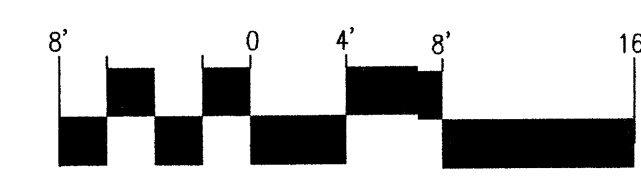
2 North Elevation
Scale: 1/8"=1'-0"



3 West Elevation
Scale: 1/8"=1'-0"

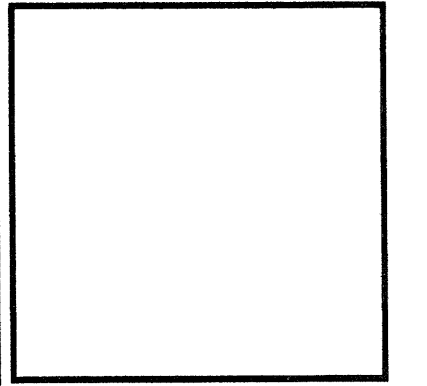


4 South Elevation
Scale: 1/8"=1'-0"



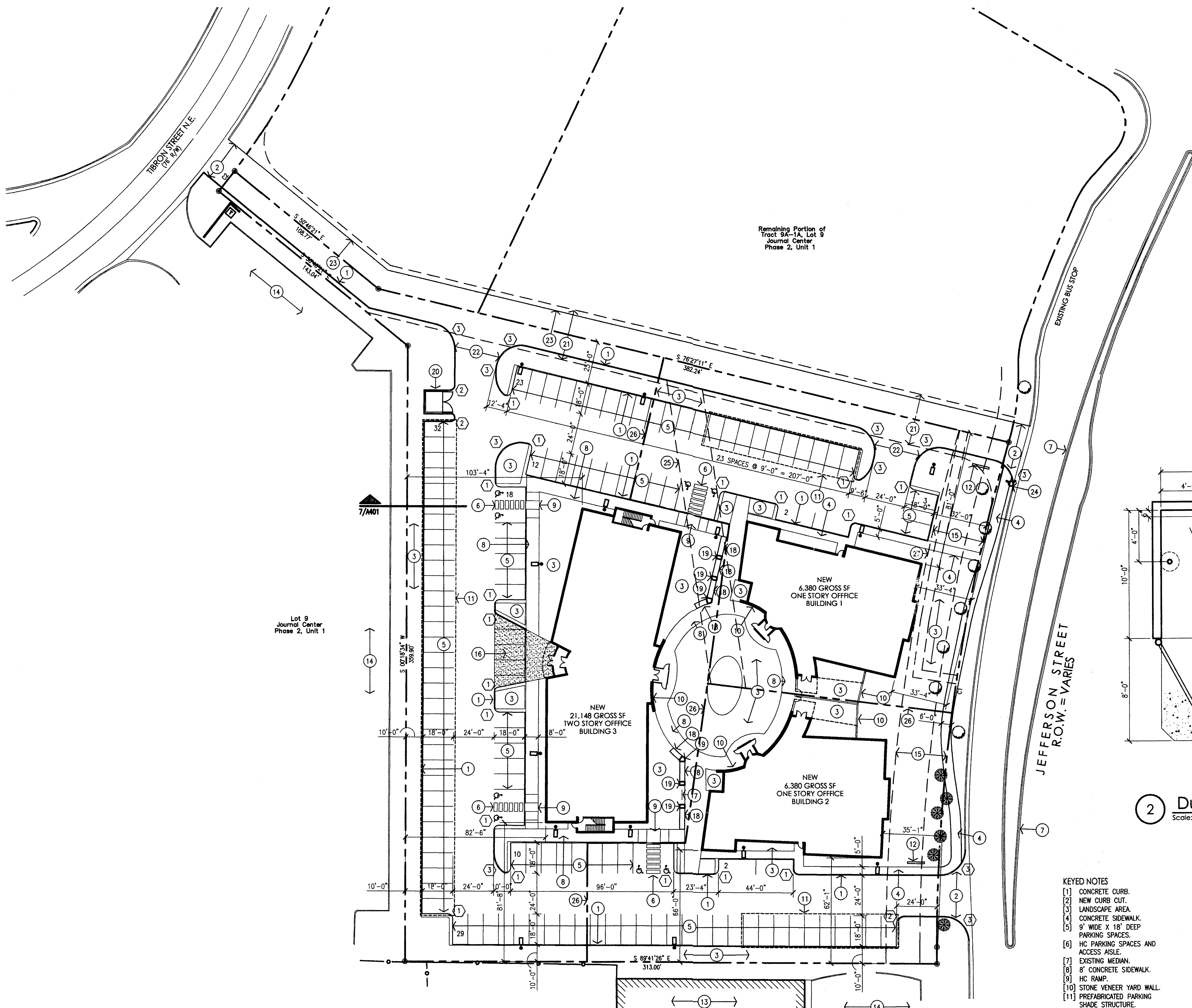
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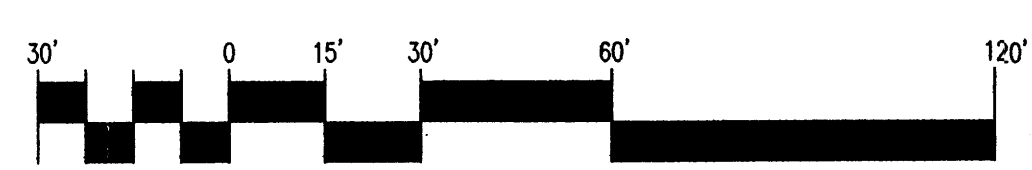


job number	04-38
drawn by	MAG
project manager	MMM
date	06/14/05

project title
Landlafd Development
SWC of Jefferson Street and Masthead
Albuquerque, New Mexico
sheet title
Exterior Elevations (Building 3)



1 Architectural Site Plan
Scale: 1"=30'-0"



Remaining Portion of Tract 9A-1A, Lot 9 Journal Center Phase 2, Unit 1

Lot 9 Journal Center Phase 2, Unit 1

KEYED NOTES

- [1] CONCRETE CURB.
- [2] NEW CURB CUT.
- [3] LANDSCAPE AREA.
- [4] CONCRETE SIDEWALK.
- [5] 9' WIDE X 18' DEEP PARKING SPACES.
- [6] HC PARKING SPACES AND ACCESS AISLE.
- [7] EXISTING MEDIAN.
- [8] 8' CONCRETE SIDEWALK.
- [9] HC RAMP.
- [10] STONE VENEER YARD WALL.
- [11] PREFABRICATED PARKING SHADE STRUCTURE.
- [12] MONUMENT SIGN. SEE 6/A401.
- [13] EXISTING BUILDING.
- [14] 30' BUILDING SETBACK LINE.
- [15] COLORED CONCRETE PAVING.
- [16] BIKE RACK. SEE 8/A401.
- [17] STONE VENEER BENCH.
- [18] STONE VENEER LIGHT BOLLARD.
- [19] 30' ACCESS AND UTILITY EASEMENT.
- [20] DRIVEWAY CUT.
- [21] EDGE OF NEW ASPHALT DRIVE.
- [22] RELOCATED FIRE HYDRANT.
- [23] PROPOSED PROPERTY LINE.
- [24] EXISTING 5' EASEMENT.

SITE LIGHTING LEGEND

- 16" HIGH SHIELDED LITE POLE

RADIUS INFO

- ① 3' RADIUS
- ② 5' RADIUS
- ③ 15' RADIUS

PARKING CALCULATIONS

OFFICE:	6,380 GROSS SF
OFFICE:	6,380 GROSS SF
OFFICE:	21,148 GROSS SF
TOTAL BUILDING AREA:	33,908 GROSS SF

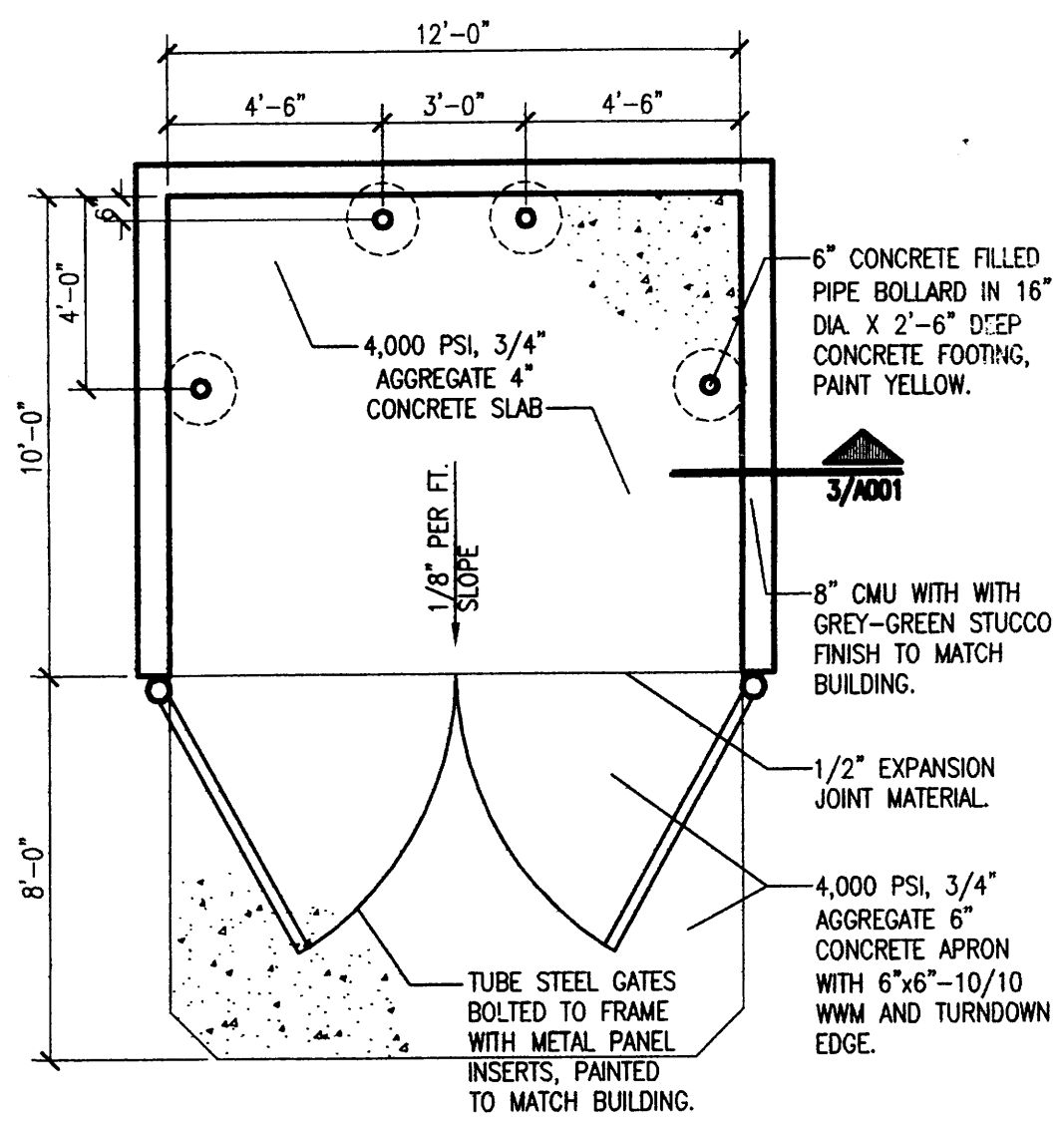
PARKING REQUIREMENTS:

FIRST FLOOR OFFICE	= 23,334/200 = 116
SECOND FLOOR OFFICE	= 10,574/300 = 35
TOTAL	= 151

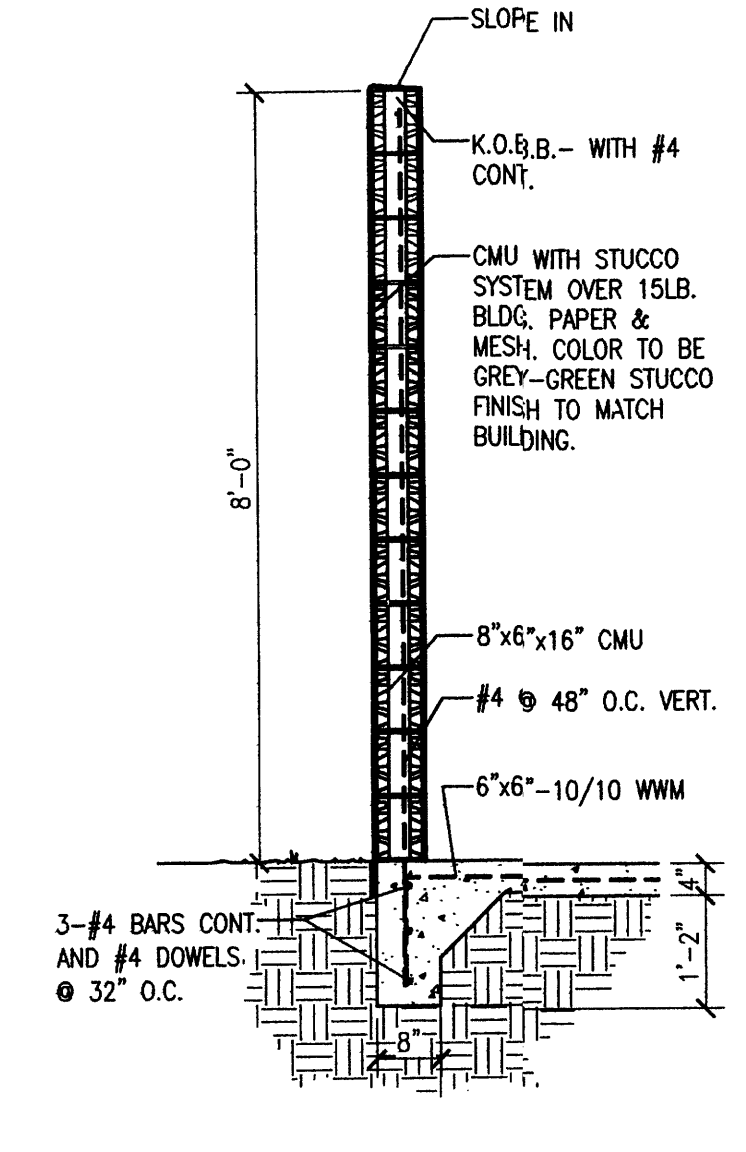
15% REDUCTION FOR BUS STOP = 128 SPACES REQUIRED
TOTAL SPACES PROVIDED = 131

8 HANDICAP SPACES REQUIRED
8 HANDICAP SPACES PROVIDED

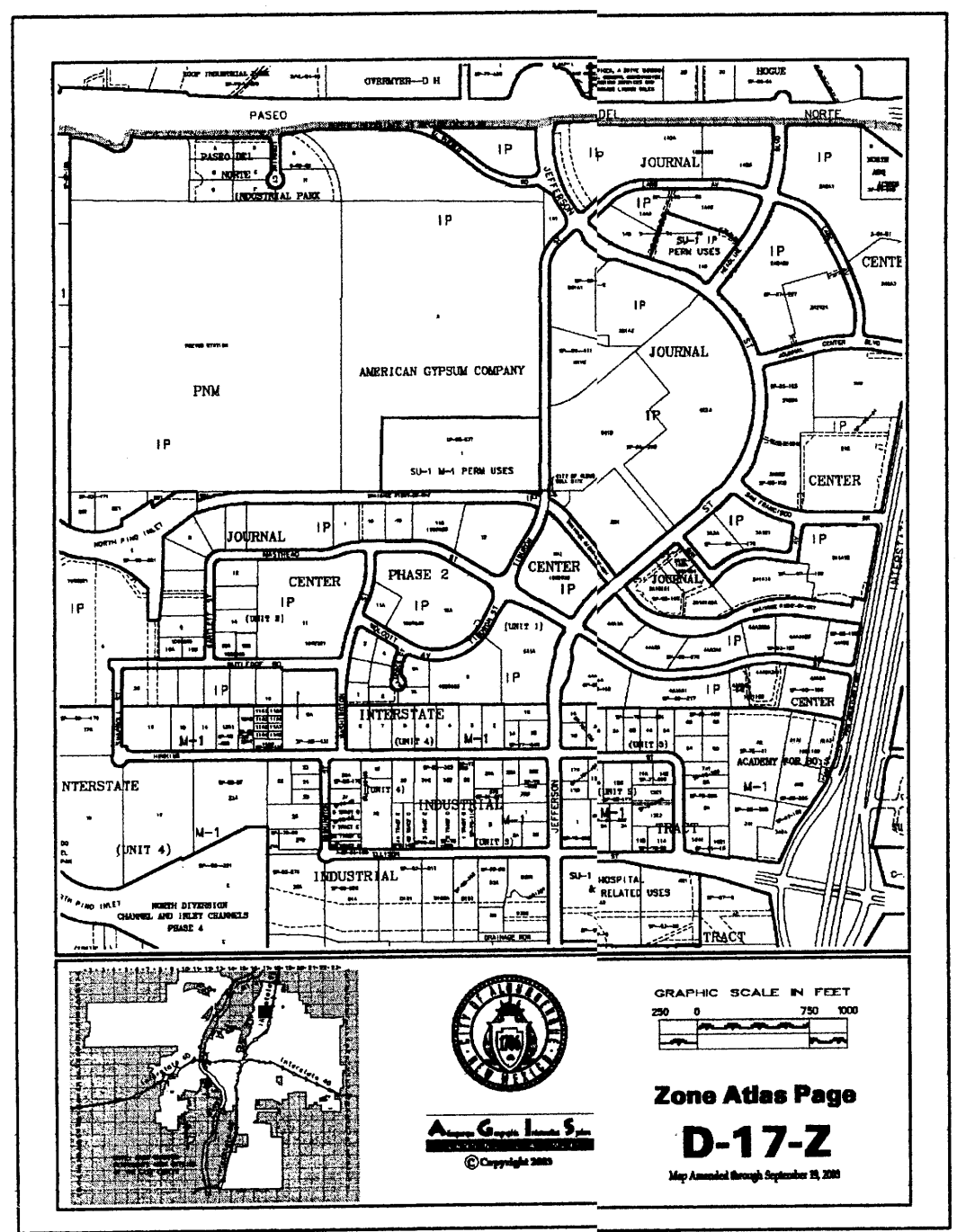
2 Dumpster Enclosure Plan
Scale: 1"=20'



3 Enclosure Wall Section
Scale: 1/4"=1'-0"



VICINITY MAP



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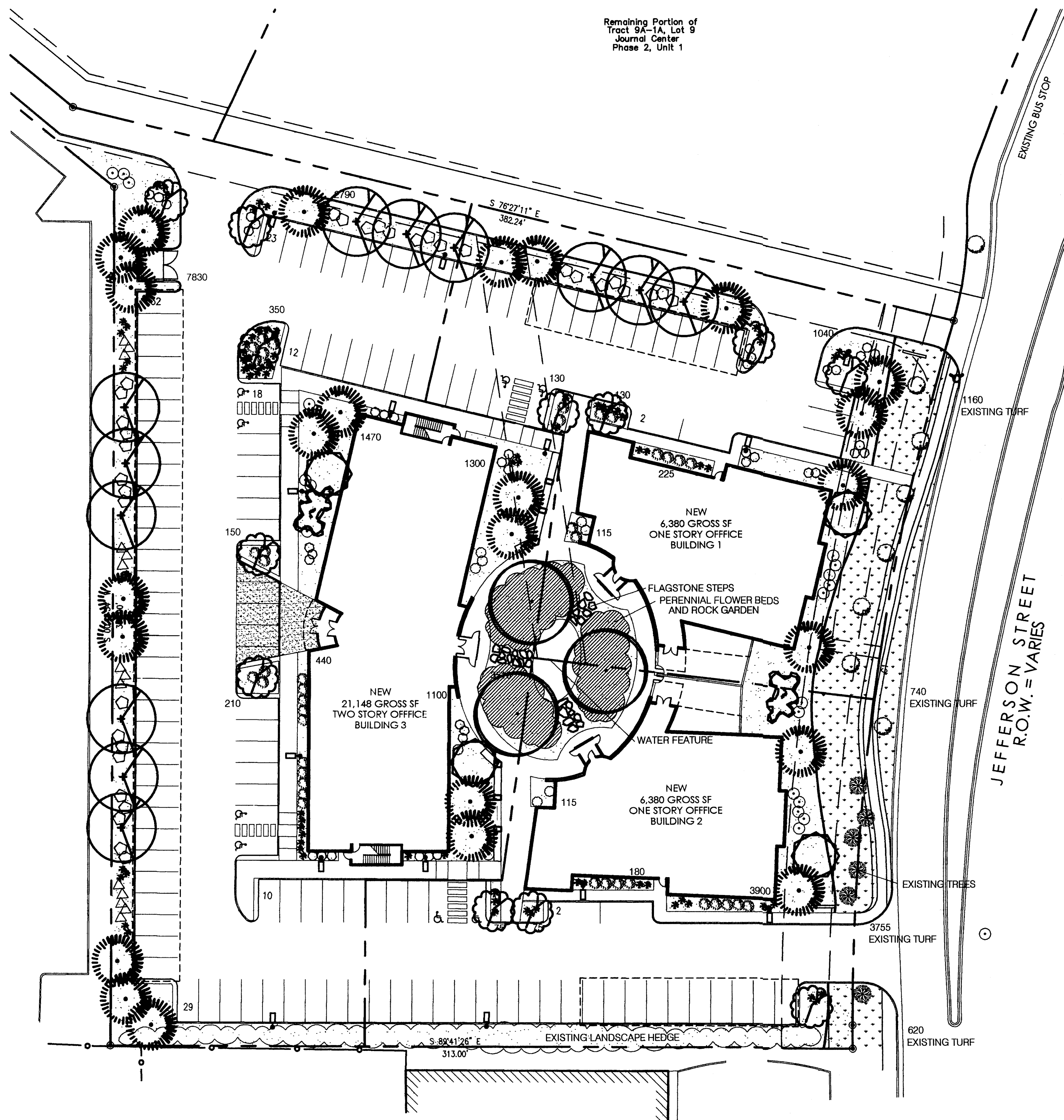
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job number	04-38
drawn by	MAG
project manager	Douglas Heller, AIA
date	06/17/05

project title
Landiaford Development
SWC of Jefferson Street and Masthead
Albuquerque, New Mexico
sheet title
Architectural Site Plan

sheet-
A001

PROJECT NUMBER:	APPLICATION NUMBER:
THIS PLAN IS CONSISTANT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: _____ AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.	
IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRG SITE DEVELOPMENT PLAN SUBMITTAL APPROVAL:	
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	Date _____
UTILITIES DEVELOPMENT	Date _____
PARKS AND RECREATION DEPARTMENT	Date _____
CITY ENGINEER	Date _____
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date _____
SOLID WASTE MANAGEMENT	Date _____
DRG CHAIRPERSON, PLANNING DEPARTMENT	Date _____



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ANY DAMAGE TO UTILITY LINES RESULTING FROM THE NEGLIGENCE OF THE ABUTTING LANDOWNER, HIS AGENTS OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF THE LANDSCAPED AREA IN THE PUBLIC RIGHT-OF-WAY SHALL BE THE RESPONSIBILITY OF SUCH LANDOWNER. ANY DAMAGE TO UTILITY LINES RESULTING FROM THE GROWN OF PLANT MATERIALS WHICH HAVE BEEN APPROVED BY THE APPLICABLE PUBLIC UTILITY AS PART OF A PLAN FOR LANDSCAPING ON THE PUBLIC RIGHT-OF-WAY, SHALL BE THE RESPONSIBILITY OF SUCH PUBLIC UTILITY. IF A PUBLIC UTILITY DISTURBS A LANDSCAPED AREA IN THE PUBLIC RIGHT-OF-WAY, IT SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE THE LANDSCAPING MATERIALS AND RETURN THEM TO THEIR PRIOR LOCATIONS AFTER UTILITY WORK. IF, NONETHELESS SOME PLANT MATERIALS DIE, IT IS THE OBLIGATION OF THE ABUTTING LANDOWNER TO REPLACE THE PLANT MATERIALS.

LANDSCAPING SHALL BE INSTALLED ACCORDING TO THE APPROVED PLAN. INSTALLATION SHALL BE COMPLETED WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.

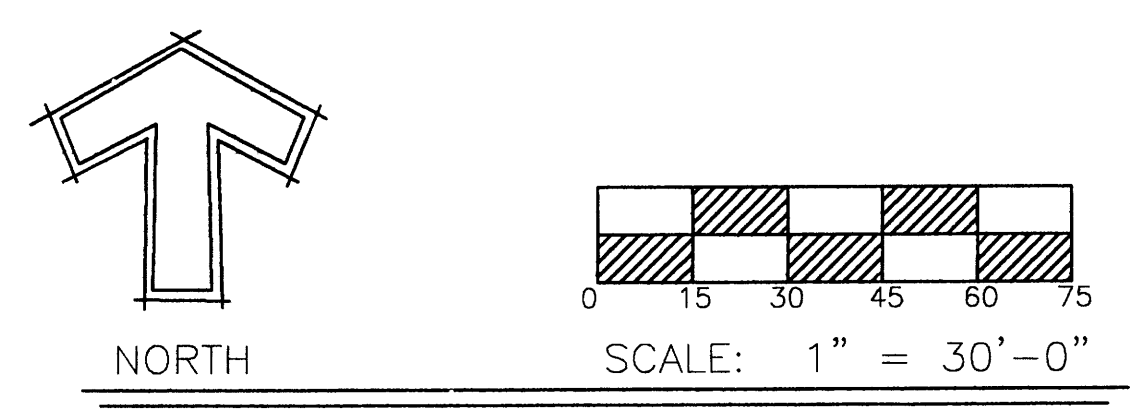
LANDSCAPE AREAS IN EXCESS OF 36 SQUARE FEET SHALL BE PLANTED SO AS TO ACHIEVE 75% LIVE GROUND COVER AT MATURITY.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

THE LANDSCAPE PLAN FOR THIS SITE SHALL LIMIT THE PROVISION OF HIGH WATER USE TURF TO A MAXIMUM OF 20 PERCENT OF THE PROVIDED LANDSCAPE AREA.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	42,760
TOTAL BUILDING AREA (sf)	5,037
NET LOT AREA (sf)	37,723
LANDSCAPE REQUIREMENT (%)	15
TOTAL LANDSCAPE REQUIRED (sf)	5,658
TOTAL LANDSCAPE PROVIDED (sf)	31410
TOTAL GRAVEL LANDSCAPE	25135
TOTAL EXISTING SOD	6275



LANDSCAPE PLAN

revision	by	date
rev	▲▲▲▲▲	

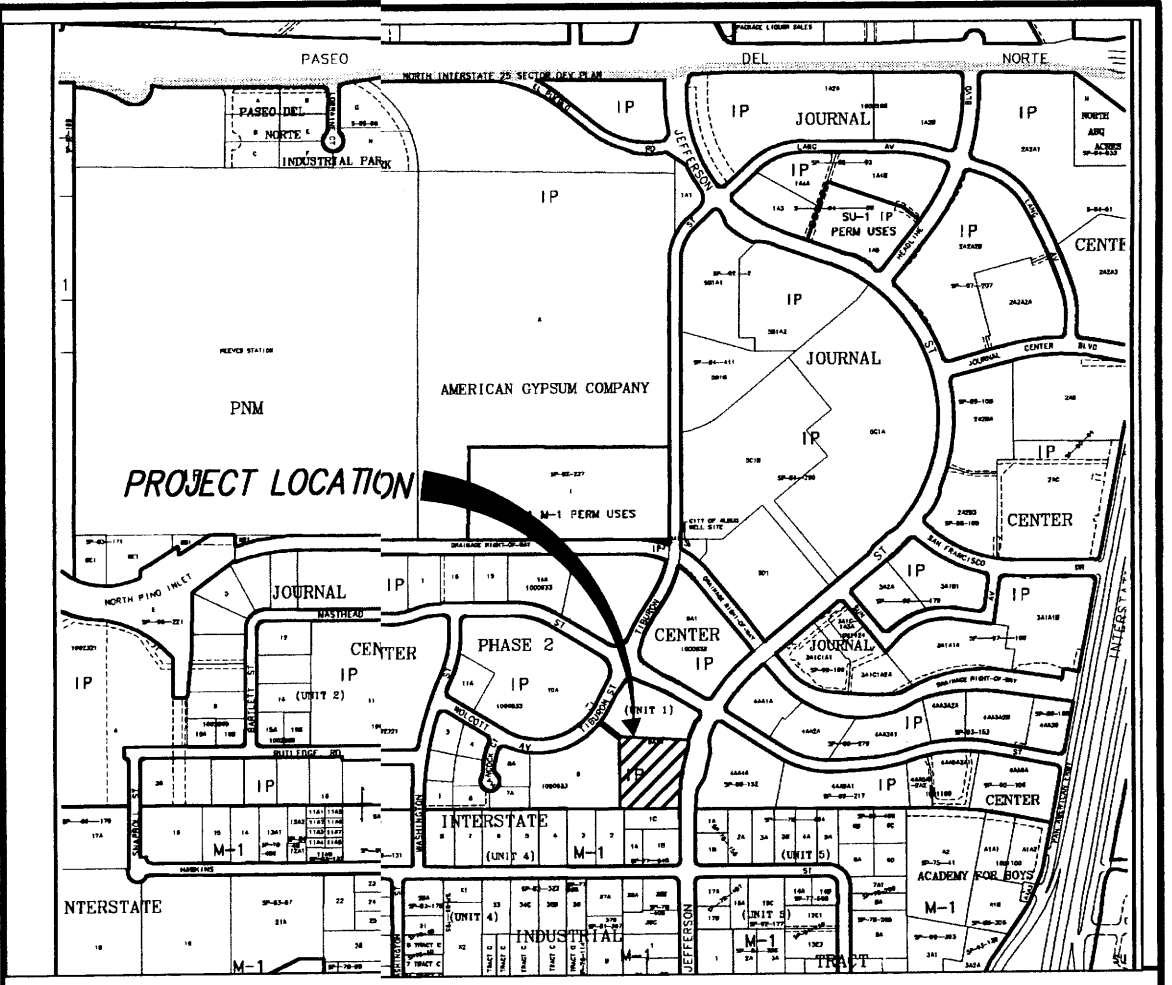
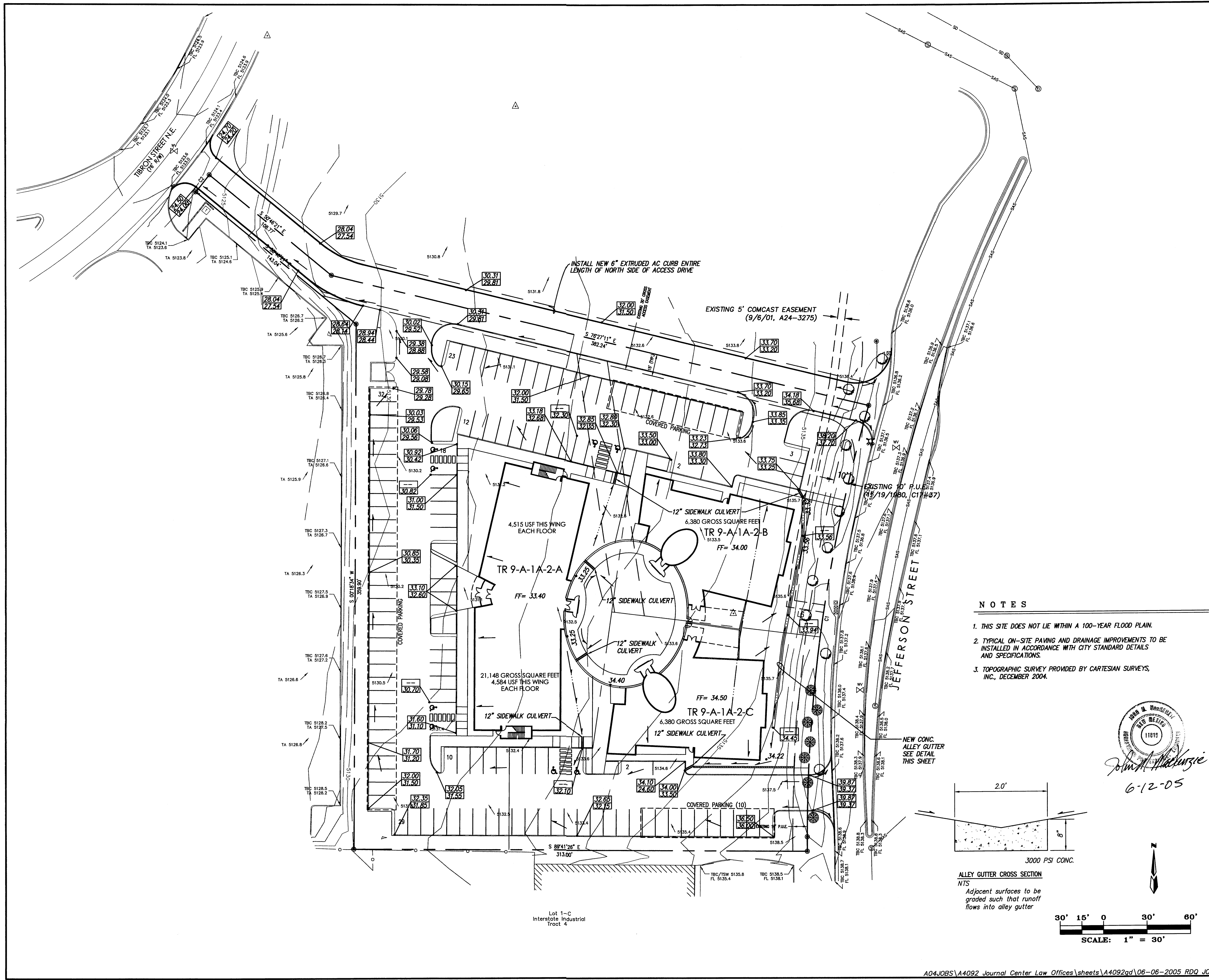
MH
Mullen Heller
 Architecture P.C.
 1015 Tijeras Avenue NW
 Suite 220
 Albuquerque 87102
 505 268 4144 [p]
 505 268 4244 [f]

job number	04-38
drawn by	ddm
project manager	Douglas Heller, AIA
date	06/14/05

Mitchell Associates, LLC
 LANDSCAPE ARCHITECTS
 6001 8TH STREET, NW
 ALBUQUERQUE, NM 87120
 505.274.1000
 WWW.MITCHELLASSOCIATES.COM

STATE OF NEW MEXICO
 DANNY D. MITCHELL
 239
 REGISTERED
 LANDSCAPE ARCHITECT

project title
Landlford Development
 SWC of Jefferson Street and Masthead
 Albuquerque, New Mexico
 sheet title
Landscape Plan



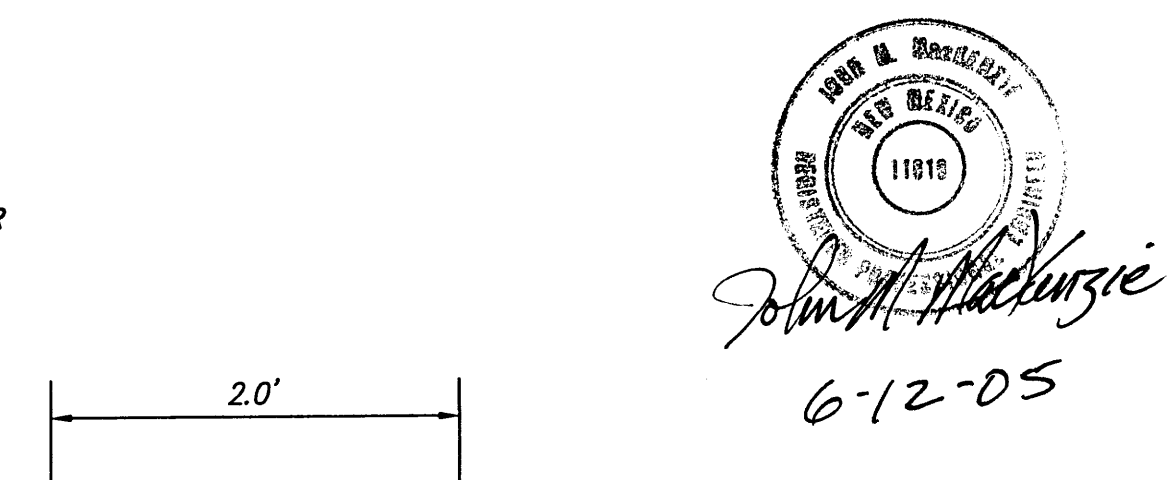
VICINITY MAP ZONE MAP: D-17-Z

ACS BENCHMARK
ACS MONUMENT "16-E 1" ELEV. = 5144.74

LEGAL DESCRIPTION
TRACT 9-A-1A-2-A, 9-A-1A-2-B, AND -A-1A-2-C
JOURNAL CENTER PHASE 2, UNIT 1

- LEGEND
- N 90°00'00" E RECORD BEARING AND DISTANCES
 - FOUND REBAR WITH CAP "LS 6544"
 - ⊙ SANITARY SEWER MANHOLE
 - ⊕ STORM DRAIN MANHOLE
 - ⊗ FIRE HYDRANT
 - ⊕ WATER VALVE
 - ⊕ CHAIN LINK FENCE
 - ⊕ UNDERGROUND ELECTRIC BOX
 - ⊕ TRANSFORMER
 - ⊕ DECIDUOUS TREE
 - ⊕ CONIFEROUS TREE
 - RETAINING WALL
 - LANDSCAPE SWALE
 - FF= XX.XX FINISH FLOOR ELEVATION
 - XX.XX NEW SPOT ELEVATION
 - XX.XX TOP OF CURB ELEVATION & FLOWLINE ELEVATION
 - FLOW DIRECTION

- NOTES
1. THIS SITE DOES NOT LIE WITHIN A 100-YEAR FLOOD PLAIN.
 2. TYPICAL ON-SITE PAVING AND DRAINAGE IMPROVEMENTS TO BE INSTALLED IN ACCORDANCE WITH CITY STANDARD DETAILS AND SPECIFICATIONS.
 3. TOPOGRAPHIC SURVEY PROVIDED BY CARTESIAN SURVEYS, INC., DECEMBER 2004.



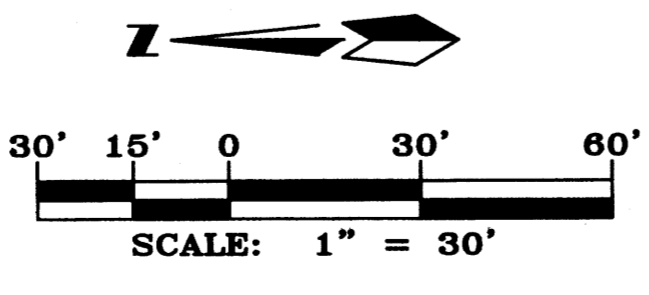
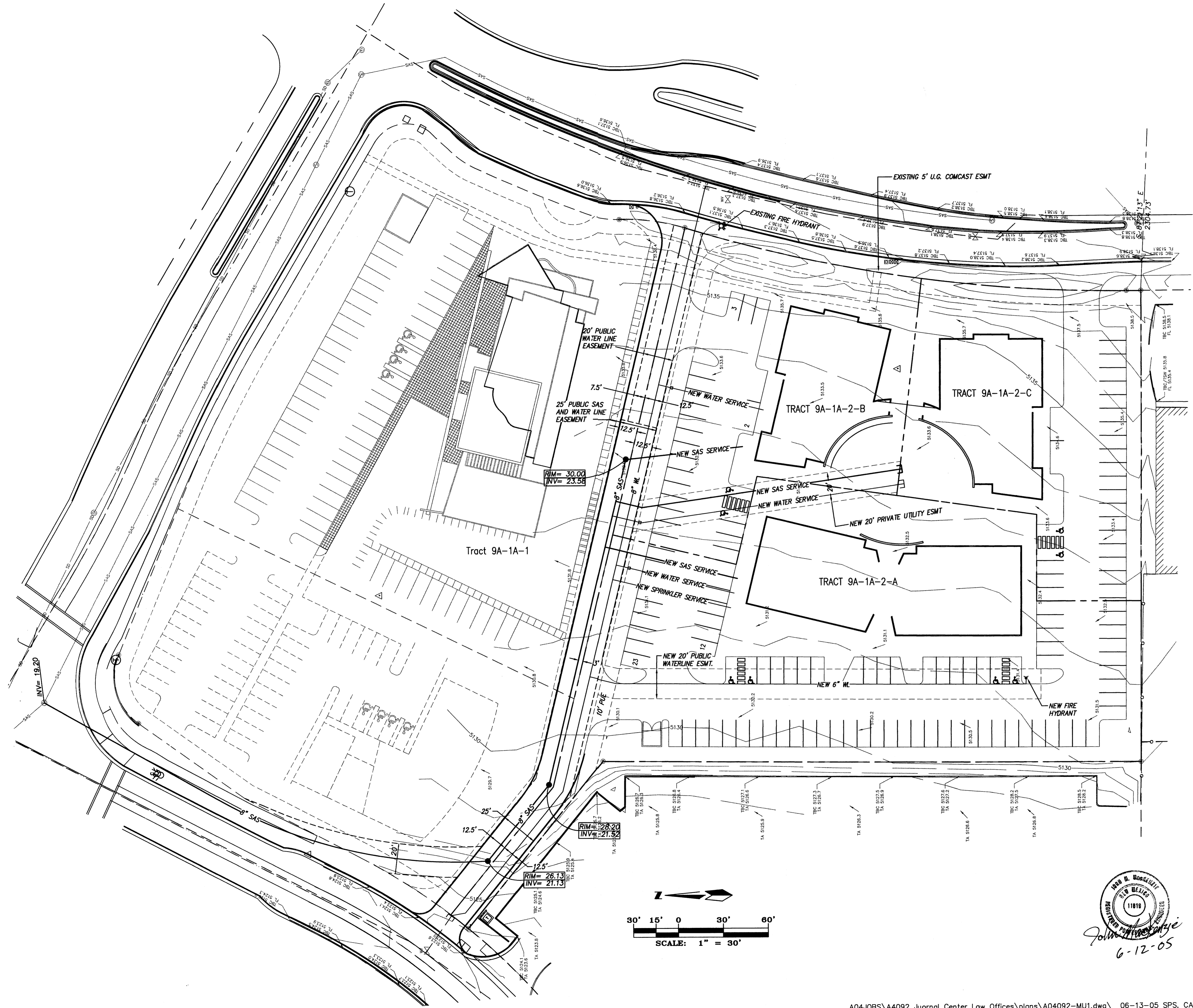
6-12-05

OFFICE BUILDING
GRADING & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JMM Drawn: JCC Checked: DMG Sheet C-101
Scale: 1" = 1' Date: 6-6-05 Job: A04092

NOTES

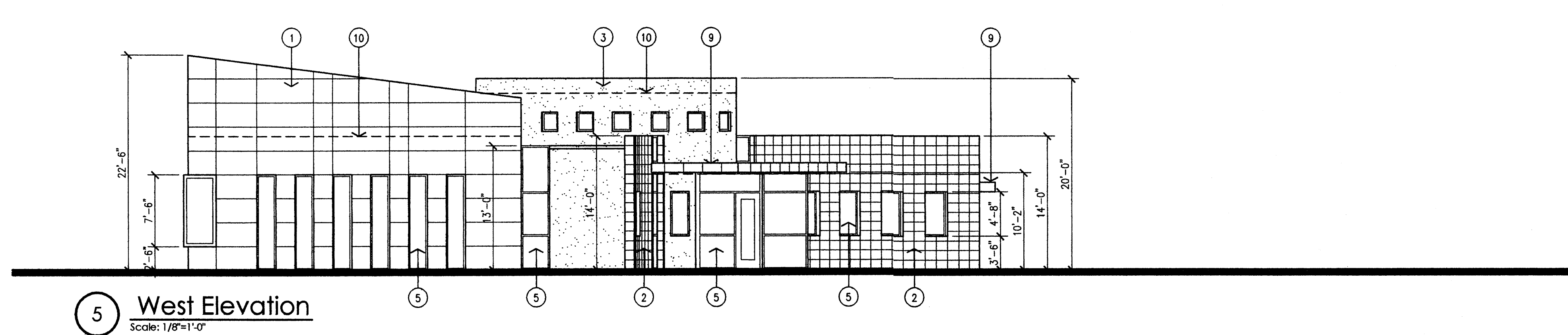
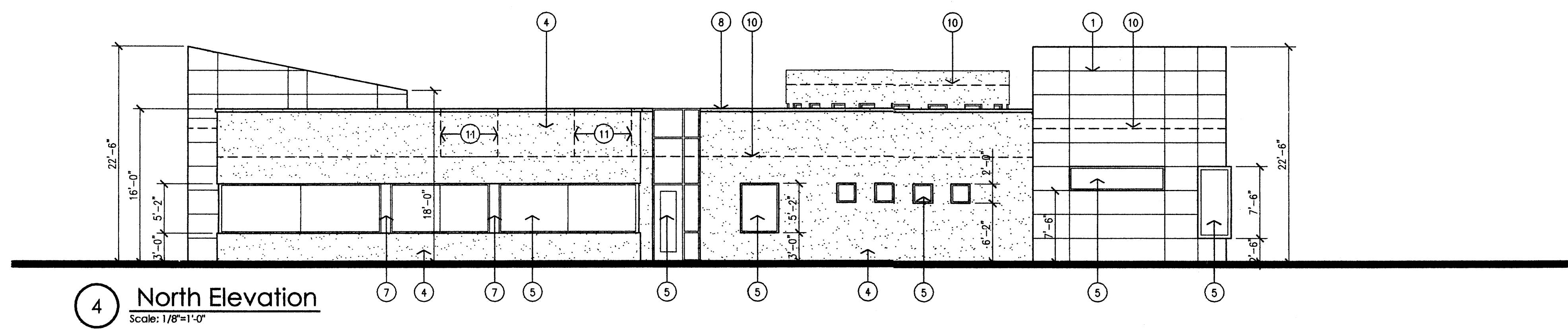
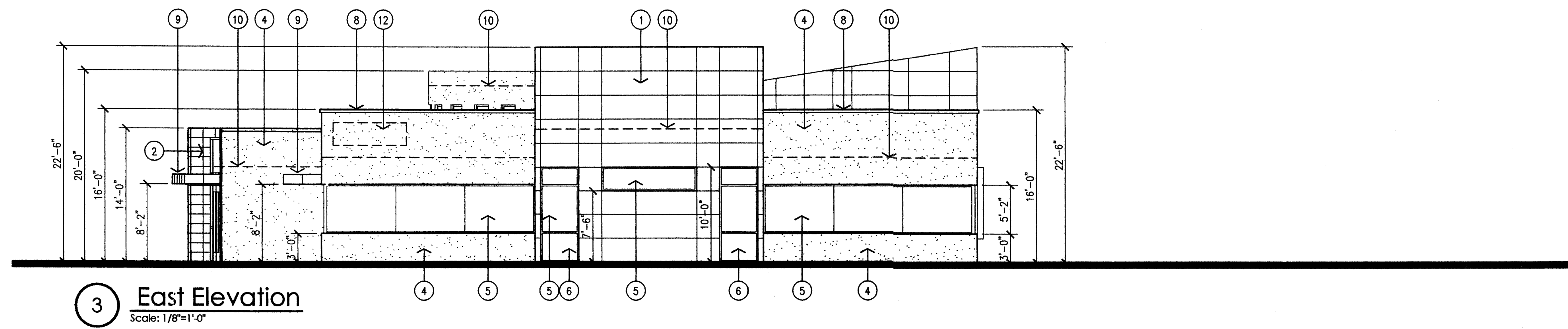
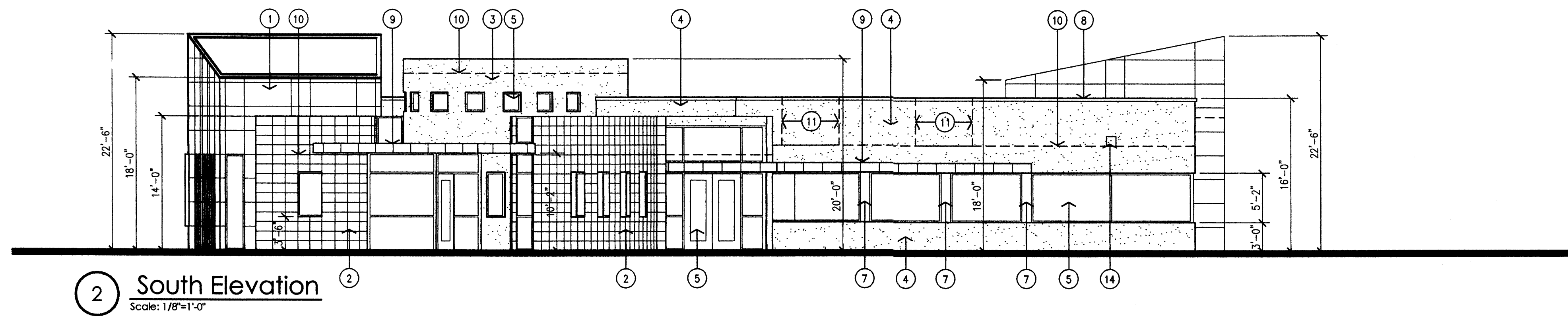
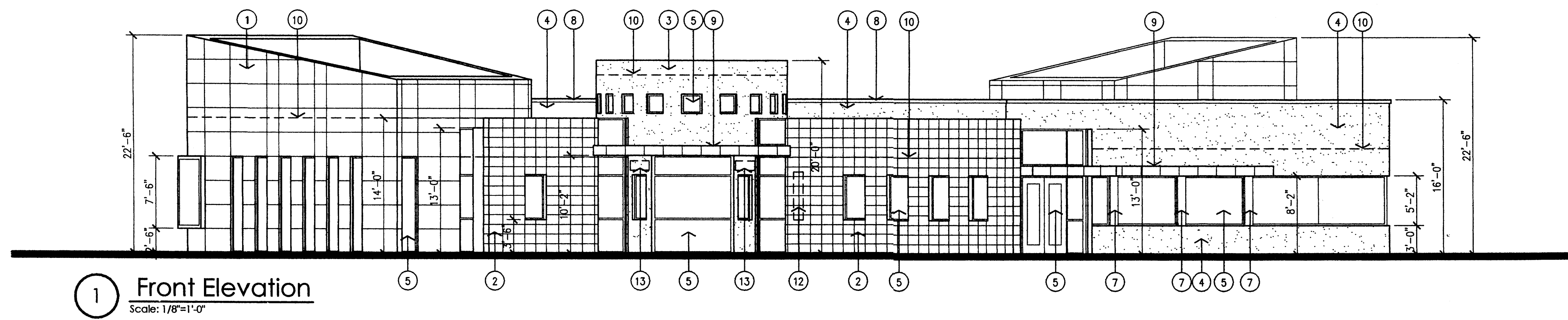


John H. Goodwin
6-12-05

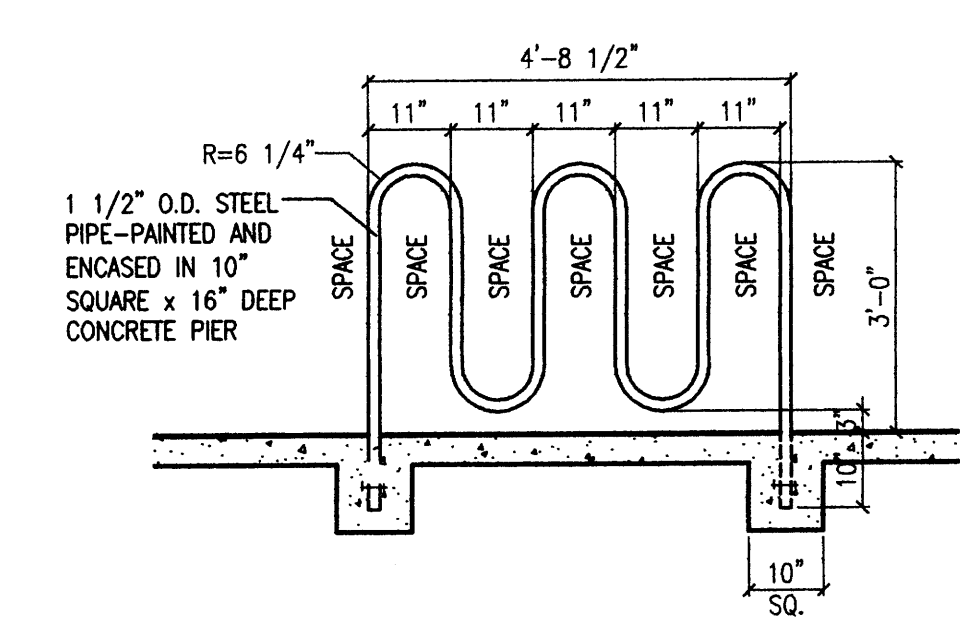
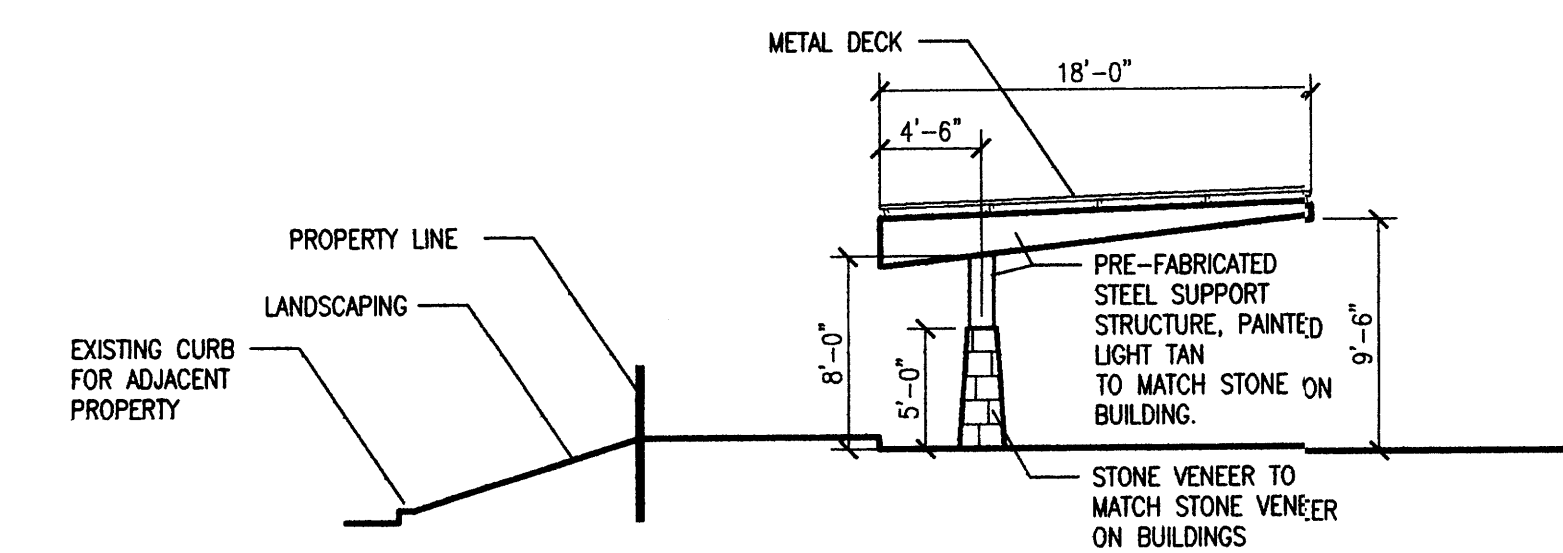
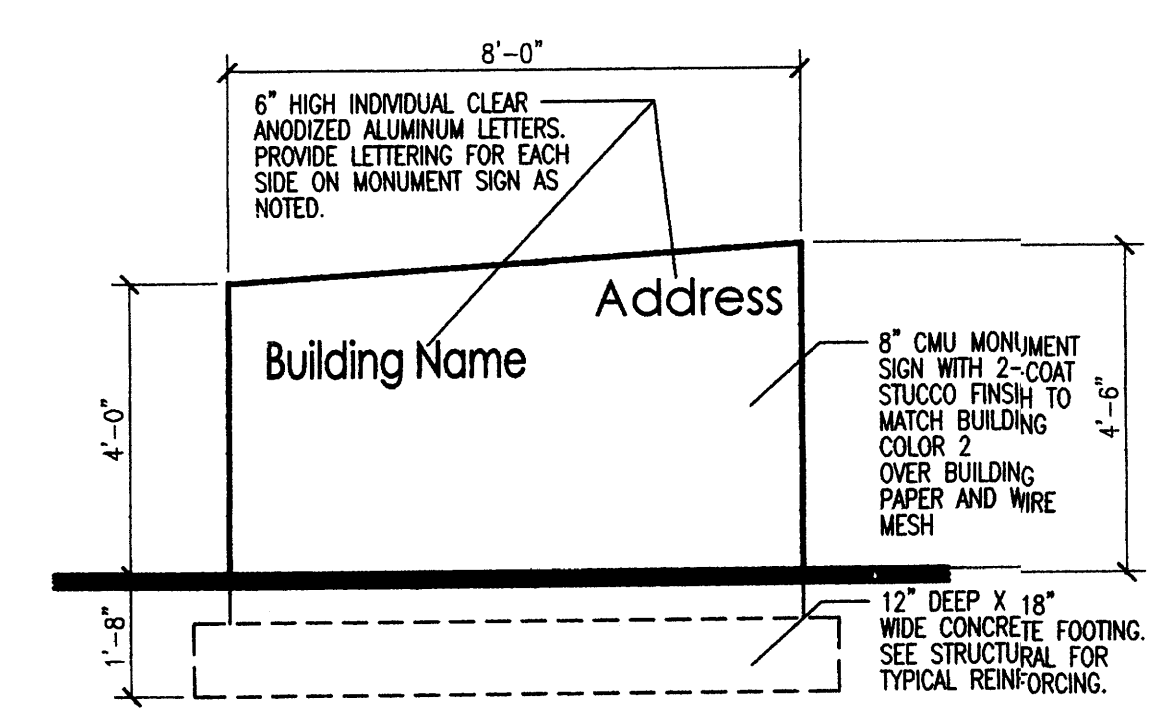
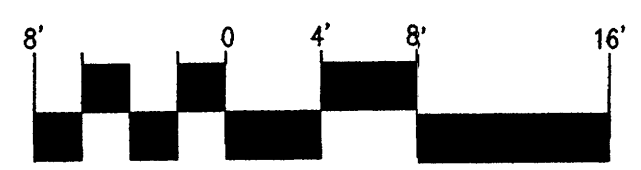
MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505) 828-2200, FAX (505) 797-9539	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT	
TITLE: <i>JOURNAL CENTER LAW OFFICES CONCEPTUAL UTILITY PLAN</i>	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
LAST DESIGN UPDATE: _____ MO./DAY/YR.	
CITY PROJECT NO. _____ ZONE MAP NO. _____ SHEET C-102	

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE

A04092\A4092 Journal Center Law Offices\plans\A04092-MU1.dwg, E:\13\2005 9:10:41 AM, SPS



- KEYED NOTES**
- [1] ALUMINUM PANELS. COLOR: SILVER.
 - [2] STONE VENEER. COLOR: LIGHT TAN.
 - [3] STUCCO COLOR 1. COLOR: BLUE-GREY.
 - [4] STUCCO COLOR 2. COLOR: LIGHT TAN.
 - [5] TINTED GLASS IN CLEAR ANODIZED ALUMINUM STOREFRONT. COLOR STOREFRONT IN STONE VENEER TO BE BLUE-GREY.
 - [6] OPAQUE SPANDREL PANEL.
 - [7] ALUMINUM PANEL TO MATCH STOREFRONT COLOR.
 - [8] PREFINISHED PARAPET CAP TO MATCH STOREFRONT.
 - [9] CANOPY WITH ALUMINUM PANELS. COLOR: SILVER.
 - [10] LINE OF ROOF BEYOND.
 - [11] LINE OF ROOF TOP UNITS BEYOND.
 - [12] INTERNALLY LIT INDIVIDUAL CHANNEL LETTER SIGNAGE. MAX 30 S.F.
 - [13] EXTERIOR WALL SCONCE LOCATION.
 - [14] EXTERIOR WALL MOUNTED SHIELDED LIGHT.

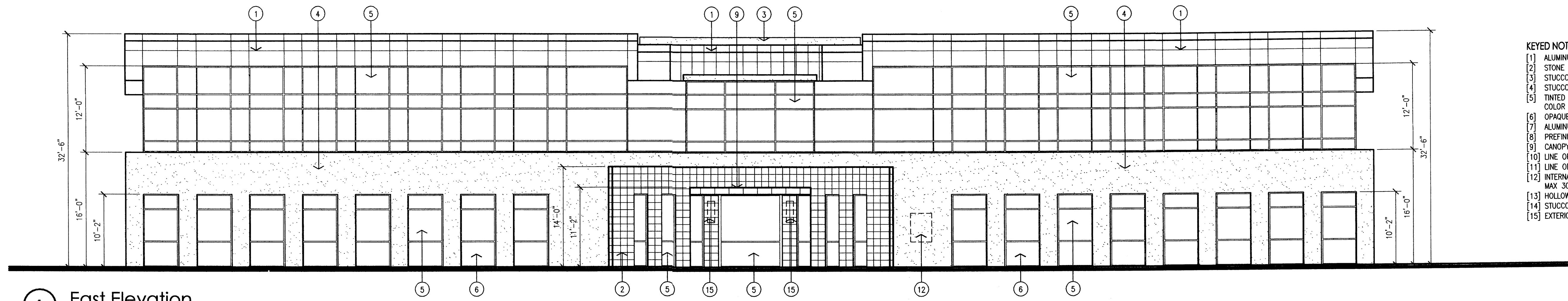


revision	
by	
date	
rev	▲▲▲▲

MH
Mullen Heller
Architecture P.C.
1015 Tijeras Avenue NW
Suite 220
Albuquerque 87102
505 268 4144[p]
505 268 4244 [f]

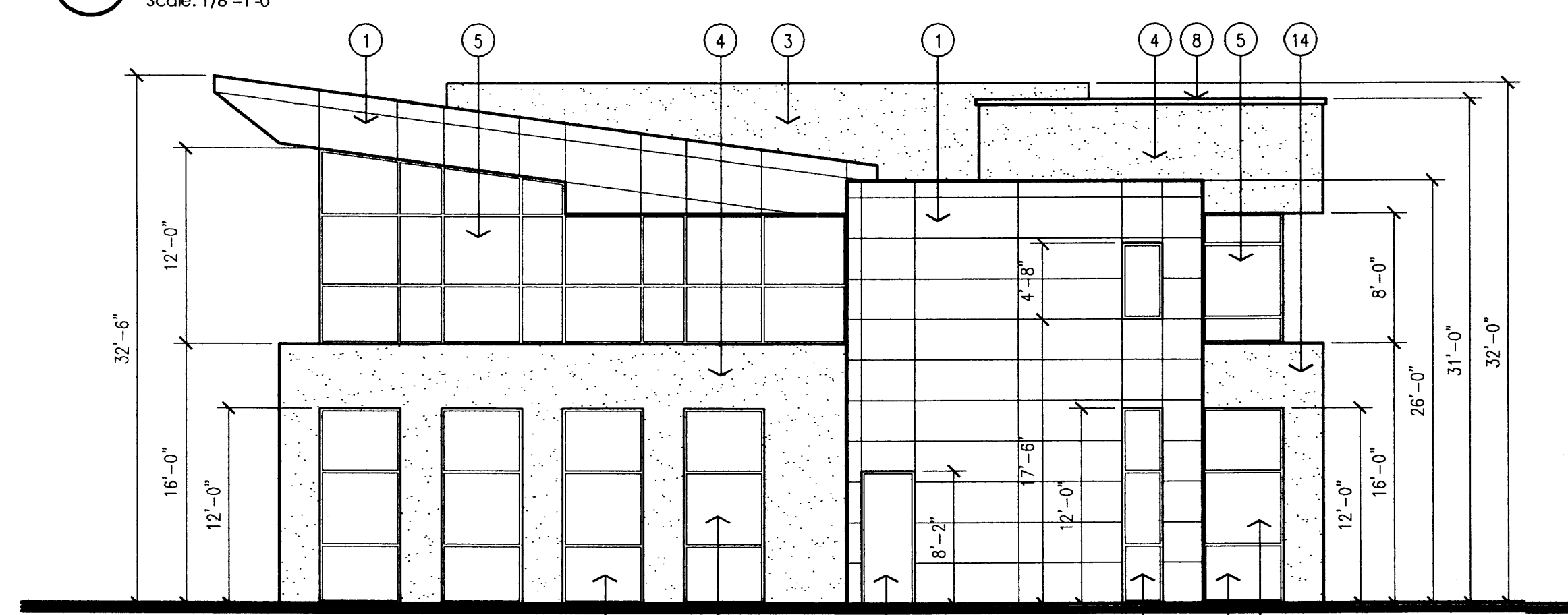
job number	04-38
drawn by	MAG
project manager	MMM
date	06/14/05

project title
Landhafor Development
SWC of Jefferson Street and Masthead
Albuquerque, New Mexico
sheet title
Exterior Elevations (Buildings 1 & 2)

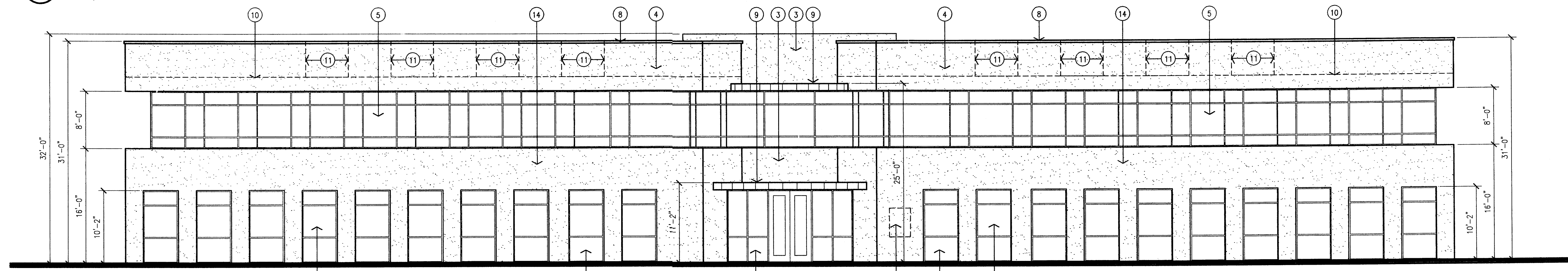


- KEYED NOTES**
- [1] ALUMINUM PANELS. COLOR: SILVER.
 - [2] STONE VENEER. COLOR: LIGHT TAN.
 - [3] STUCCO COLOR 1. COLOR: BLUE-GREY.
 - [4] STUCCO COLOR 2. COLOR: LIGHT TAN.
 - [5] TINTED GLASS IN CLEAR ANGLIZED ALUMINUM STOREFRONT. COLOR STOREFRONT IN STONE VENEER TO BE BLUE-GREY.
 - [6] OPAQUE SPANDREL PANEL.
 - [7] ALUMINUM PANEL TO MATCH STOREFRONT COLOR.
 - [8] PREFINISHED PARAPET CAP TO MATCH STOREFRONT.
 - [9] CANOPY WITH ALUMINUM PANELS. COLOR: SILVER.
 - [10] LINE OF ROOF BEYOND.
 - [11] LINE OF ROOF TOP UNITS BEYOND.
 - [12] INTERNALLY LIT INDIVIDUAL CHANNEL LETTER SIGNAGE. MAX 30 S.F.
 - [13] HOLLOW METAL DOOR.
 - [14] STUCCO COLOR 3. COLOR: MEDIUM TAN.
 - [15] EXTERIOR BUILDING SCONCE LOCATION.

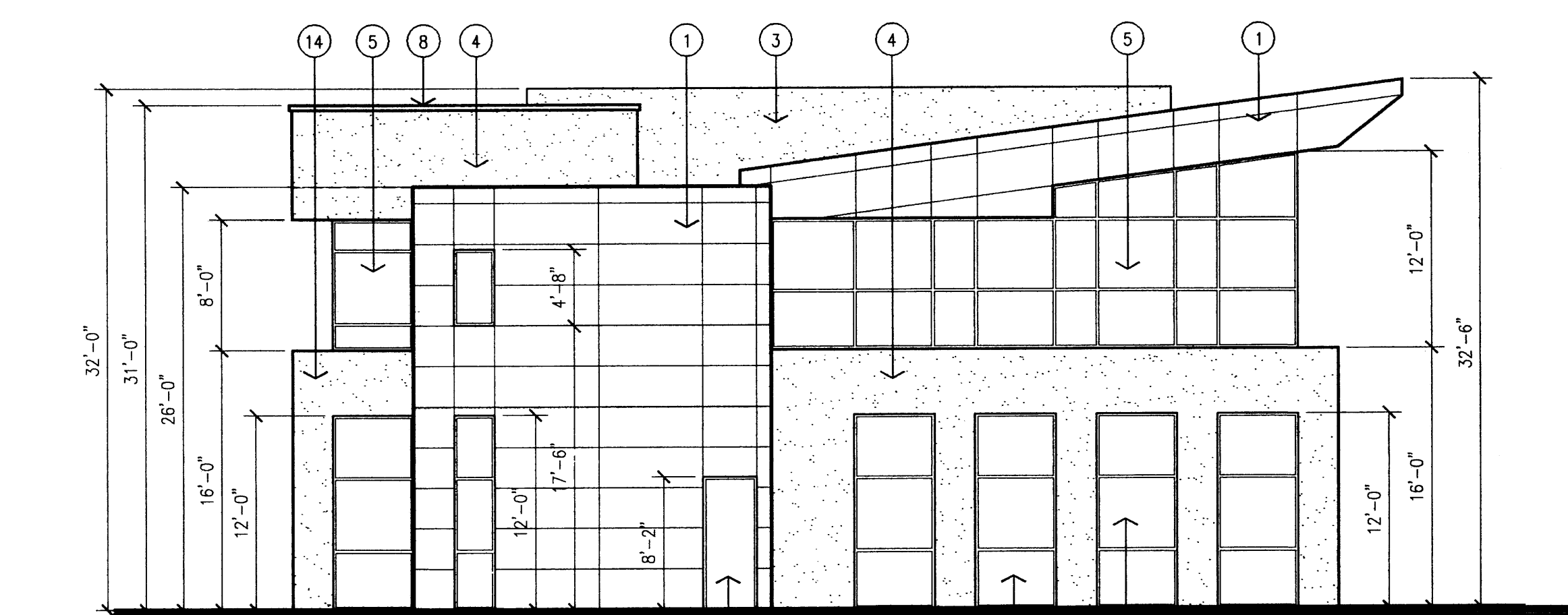
1 East Elevation
Scale: 1/8"=1'-0"



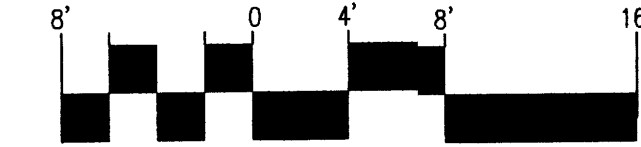
2 North Elevation
Scale: 1/8"=1'-0"



3 West Elevation
Scale: 1/8"=1'-0"



4 South Elevation
Scale: 1/8"=1'-0"

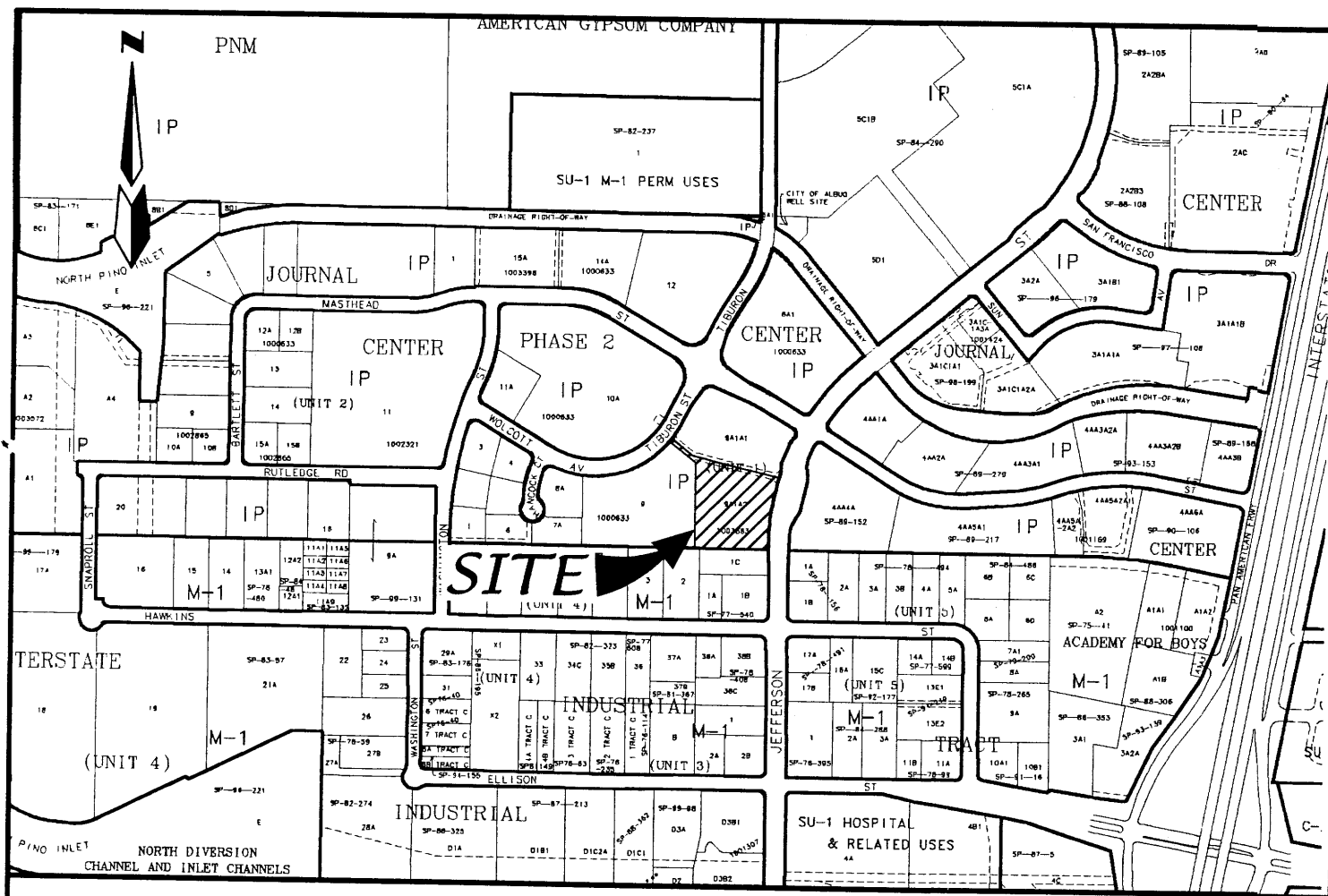


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by	
date	
rev	▲▲▲▲

MH
Mullen Heller
Architecture P.C.
1015 Tijeras Avenue NW
Suite 220
Albuquerque 87102
505 268 4144[p]
505 268 4244 [f]

job number	04-38
drawn by	MAG
project manager	MMM
date	06/14/05

project title
Landlord Development
SWC of Jefferson Street and Masthead
Albuquerque, New Mexico
sheet title
Exterior Elevations (Building 3)



LOCATION MAP

ZONE ATLAS D-17-Z
SCALE: NONE

SUBDIVISION DATA

Gross Acreage 2.6780 Ac.
 Zone Atlas No. D-17-Z
 No. of Existing Tracts 1 Tract
 No. of Tracts created 3 Tracts
 No. of Tracts eliminated 1 Tracts
 Miles of full width streets created 0.00
 Miles of half width streets created 0.00
 Street Area dedicated to the City of Albuquerque 0.0000 Ac.
 Date of Survey November, 2004
 Utility Control Location System Log Number 2005132317
 Zoning IP

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

Carl J. Bettinger and Marianne Bettinger, Trustees of The Bettinger Family Trust;
 Phillip Gaddy and Glenna Gaddy, Husband and Wife;
 Bernard Fenenbock and Jannette Fenenbock, Husband and Wife

Carl J. Bettinger
 Carl J. Bettinger, Attorney in Fact Date 8/18/05

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
 COUNTY OF BERNALILLO

This instrument was acknowledged before me on 4/17/05 8/8/05 8/19/05
 Carl J. Bettinger, Attorney in Fact on behalf of the owners.

Vicki Shible
 NOTARY PUBLIC

11/17/07
 MY COMMISSION EXPIRES

LEGAL DESCRIPTION

Tract 9A-1A-2, of the plat entitled "TRACTS 9A-1A-1 & 9A-1A-2, JOURNAL CENTER, PHASE 2, UNIT 1, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on January, 31, 2005 in Plat Book 2005C, Page 40, and containing 2.6780 acres, more or less.

NOTES

(SEE SHEET 2)

PURPOSE OF PLAT

1. Subdivide 1 Existing Tract into 3 Tracts.
2. Grant easements as shown hereon.

PUBLIC UTILITY EASEMENT

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND
 PAID ON UPC # 101706330418530619
 PROPERTY OWNER OF RECORD
Journal Center Corporation
 BERNALILLO COUNTY TREASURER'S OFFICE
Francois Lopez
11/14/05

PLAT FOR
 TRACTS 9A-1A-2A, 9A-1A-2B AND 9A-1A-2C
 JOURNAL CENTER PHASE 2, UNIT 1
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 27
 TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2005

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1003883

Application Number: 05 DRB-01000

PLAT APPROVAL

Utility Approvals:

Leah S. Munk _____ 6-14-05
 PNM Electric Services Date

Leah S. Munk _____ 6-14-05
 PNM Gas Services Date

Richard R. Clancy _____ 6-14-05
 Qwest Date

Thomas Barber _____ 6-14-05
 Comcast Date

City Approvals:

John B. Faul _____ 6/3/05
 City Surveyor Date

N/A _____ _____
 Real Property Division Date

John D. ... _____ 11-9-05
 Traffic Engineering, Transportation Division Date

William G. Walsh _____ 11/9/05
 Albuquerque-Bernalillo County Utility Authority Date

Christina Sandoval _____ 11/9/05
 Parks and Recreation Department Date

Bradley S. Bingham _____ 11/9/05
 AMAFCA Date

Bradley S. Bingham _____ 11/9/05
 City Engineer Date

Andrew Garcia _____ 11/14/05
 DRB Chairperson, Planning Department Date

SURVEYOR'S CERTIFICATION

"I, Will W. Plotner, Jr., a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Will W. Plotner Jr. _____ 6/2/05
 Will W. Plotner Jr., N.M.P.S. No. 14271 Date

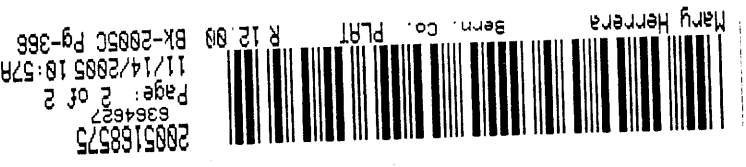
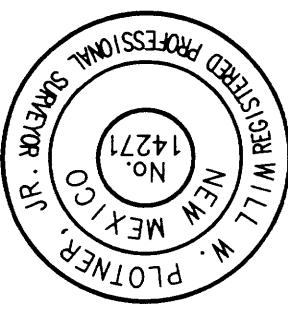


CARTESIAN SURVEYS INC.
 P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505)891-0244

Dwg: A4092FPS1.dwg	Drawn: RICHARD	Checked: ALS	Sheet 1 of 2
Scale: N/A	Date: 03/29/05	Job: A04092 (042197)	

Dwg: A4092FPS2.DWG
 Drawn: RICHARD
 Date: 11/11/05
 Job: A04092(042197)
 Checked: ALS
 Scale: 1"=40'
 Sheet 2 of 2

CARTESIAN SURVEYS INC.
 P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505)891-0244



LINE TABLE

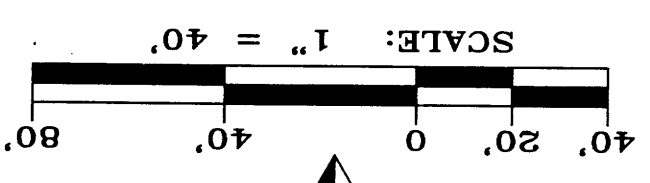
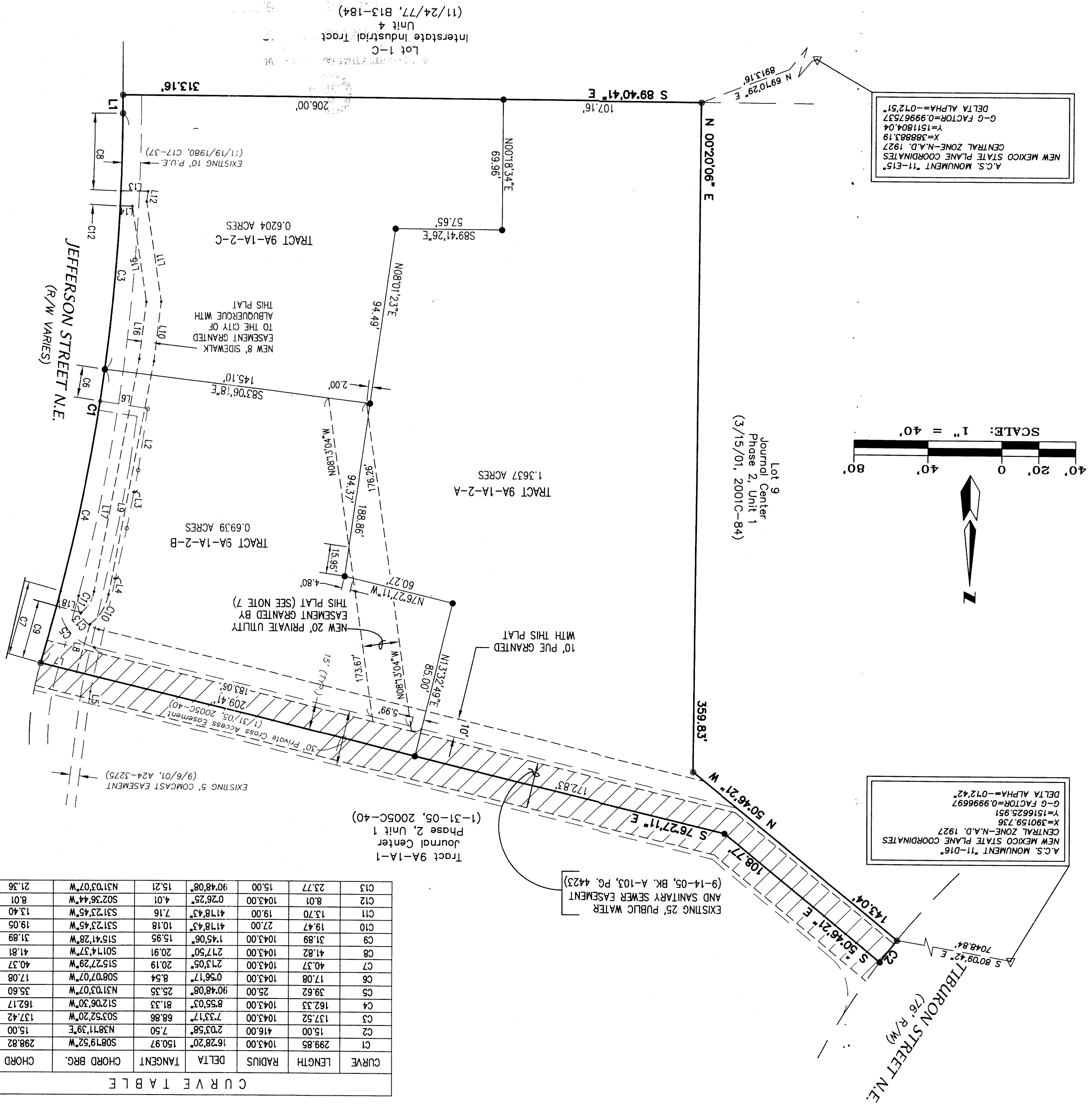
LINE	LENGTH	BEARING
L1	9.84	S00°05'23"E
L2	33.89	S08°24'29"W
L3	31.72	S10°51'08"W
L4	90.25	S12°20'32"W
L5	6.58	N07°20'00"E
L6	25.99	N81°13'30"W
L7	20.03	N76°27'11"W
L8	26.60	S15°53'22"W
L9	128.12	S10°44'23"W
L10	32.09	S06°53'45"W
L11	54.03	S08°37'49"E
L12	5.54	S07°52'35"W
L13	14.67	S89°41'26"E
L14	6.56	N89°44'22"W
L15	51.65	N08°37'49"W
L16	30.73	N06°53'45"E
L17	127.85	N10°44'23"E
L18	13.66	S75°11'05"E

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BRG.	CHORD
C1	299.85	1043.00	167°28'20"	150.97	S08°19'52"W	298.82
C2	15.00	416.00	2°03'58"	7.50	N38°11'39"E	15.00
C3	137.52	1043.00	8°55'03"	81.33	S12°06'30"W	162.17
C4	162.33	1043.00	8°55'03"	81.33	S12°06'30"W	162.17
C5	39.62	25.00	90°48'08"	25.35	N31°03'07"W	35.60
C6	17.08	1043.00	0°56'17"	8.54	S08°07'07"W	17.08
C7	40.37	1043.00	2°13'05"	20.19	S15°27'29"W	40.37
C8	41.82	1043.00	2°17'50"	20.91	S01°14'37"W	41.81
C9	31.89	1043.00	1°45'06"	15.95	S15°41'28"W	31.89
C10	19.47	1043.00	4°18'43"	10.18	S31°23'45"W	19.05
C11	13.70	19.00	4°18'43"	7.16	S31°23'45"W	13.40
C12	8.01	1043.00	0°26'25"	4.01	S02°36'44"W	8.01
C13	23.77	15.00	90°48'08"	15.21	N31°03'07"W	21.36

- Notes
1. FIELD SURVEY PERFORMED IN NOVEMBER 2004.
 2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
 3. TALOS LOG # 2005132317
 4. THIS PROPERTY LIES WITHIN PROJECTED SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST N.M.P.M., ELENA GALLEGOS GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
 5. THE BASIS OF BEARINGS IS THE ACS MONUMENTS SHOWN HEREON, REFERENCING N.M.S.P. GRID (N.A.D. 1927).
 6. UNLESS OTHERWISE NOTED, ALL POINTS ARE A SET BATTERY MARKER WITH CAP "LS 14271".
 7. PRIVATE UTILITY EASEMENT GRANTED TO, FOR THE BENEFIT OF AND TO BE MAINTAINED BY THE OWNERS OF TRACT 9A-1A-2-C.
 8. TRACTS 9A-1A-2-A, 9A-1A-2-B AND 9A-1A-2-C ARE COVERED BY A RECIPROCAL CROSS LOT ACCESS, PARKING AND DRAINAGE EASEMENT, OUTSIDE OF BUILDINGS.
- Legend
- FOUND REBAR WITH CAP "LS 6544"
 - SET BATTERY MARKER WITH CAP "LS 14271"
- Benchmark
- ACS MONUMENT "16-E17" HAVING AN ELEVATION OF 5144.74.
- (N 90°00'00" E) RECORD BEARING AND DISTANCES

PLAT FOR
 TRACTS 9A-1A-2-A, 9A-1A-2-B AND 9A-1A-2-C
 JOURNAL CENTER PHASE 2, UNIT 1
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 23
 TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2005



A.C.S. MONUMENT "11-E15"
 NEW MEXICO STATE PLANE COORDINATES
 CENTRAL ZONE-N.A.D. 1927
 X=388883.19
 Y=1511804.04
 G-G FACTOR=0.99867537
 DELTA ALPHA=-0.1251"

A.C.S. MONUMENT "11-D16"
 NEW MEXICO STATE PLANE COORDINATES
 CENTRAL ZONE-N.A.D. 1927
 X=390159.736
 Y=1516625.951
 G-G FACTOR=0.9996697
 DELTA ALPHA=-0.1242"

EXISTING 25' PUBLIC WATER AND SANITARY SEWER EASEMENT (9-14-05, BK. A-103, PG. 4423)

EXISTING 10' P.U.E. (11/19/1980, C17-37)

NEW 8' SIDEWALK EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE WITH THIS PLAT

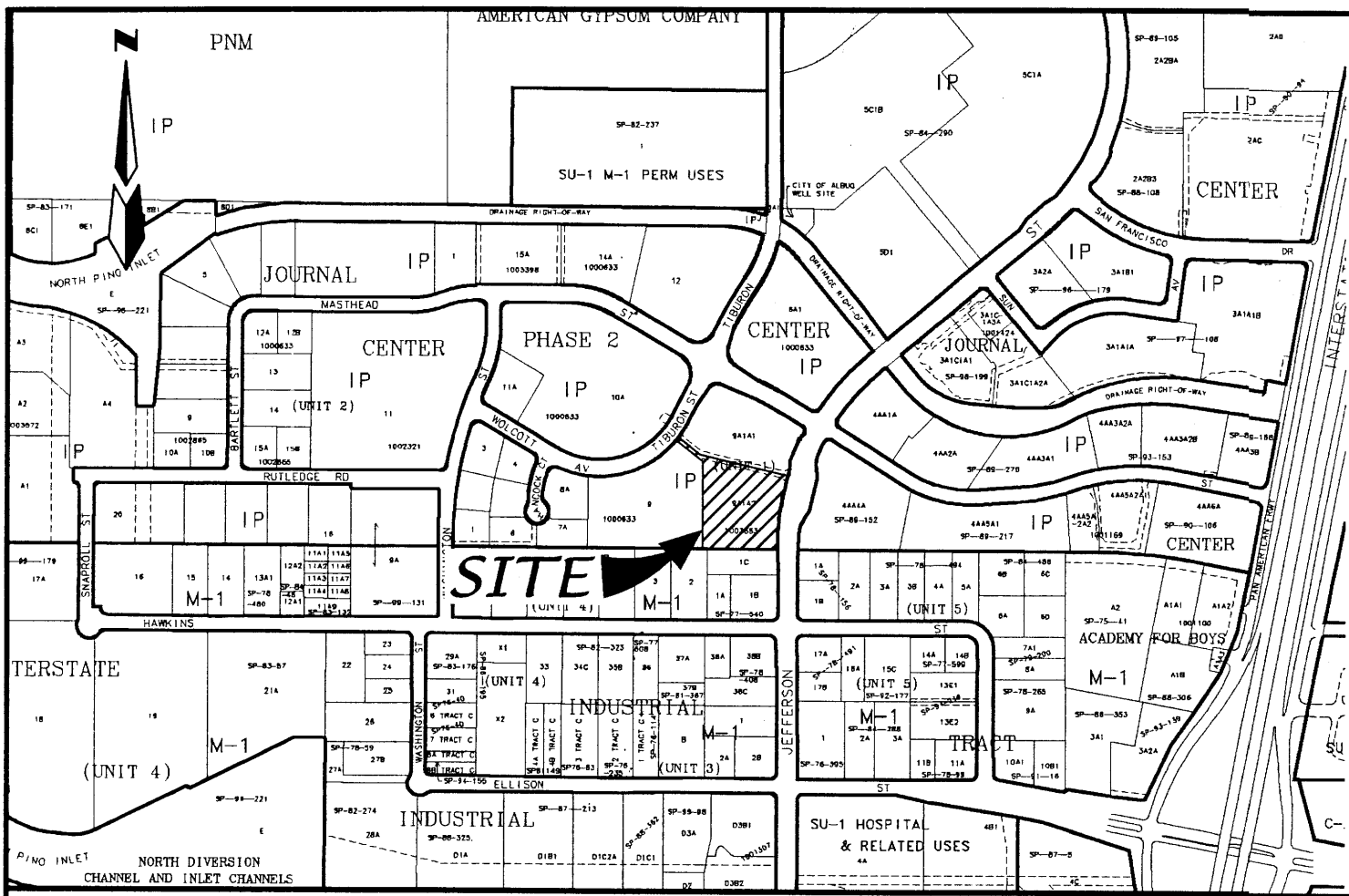
NEW 20' PRIVATE UTILITY EASEMENT GRANTED BY THIS PLAT (SEE NOTE 7)

10' PUE GRANTED WITH THIS PLAT

EXISTING 5' COMCAST EASEMENT (9/6/01, A24-3275)

30' Private Cross Access Easement (1/31/05, 2005C-40)

EXISTING 10' P.U.E. (11/19/1980, C17-37)



LOCATION MAP

ZONE ATLAS D-17-Z
SCALE: NONE

SUBDIVISION DATA

Gross Acreage 2.6780 Ac.
 Zone Atlas No. D-17-Z
 No. of Existing Tracts 1 Tract
 No. of Tracts created 3 Tracts
 No. of Tracts eliminated 1 Tracts
 Miles of full width streets created 0.00
 Miles of half width streets created 0.00
 Street Area dedicated to the City of Albuquerque 0.0000 Ac.
 Date of Survey November, 2004
 Utility Control Location System Log Number 2005132317
 Zoning IP

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

Carl J. Bettinger and Marianne Bettinger, Trustees of The Bettinger Family Trust;
 Phillip Gaddy and Glenna Gaddy, Husband and Wife;
 Bernard Fenenbock and Jeannette Fenenbock, Husband and Wife

Carl J. Bettinger 8/18/05
 Carl J. Bettinger, Attorney in Fact Date

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on 8/18/05
 Carl J. Bettinger, Attorney in Fact on behalf of the owners.

Vicki Struble 11/17/07
 NOTARY PUBLIC MY COMMISSION EXPIRES

LEGAL DESCRIPTION

Tract 9A-1A-2, of the plat entitled "TRACTS 9A-1A-1 & 9A-1A-2, JOURNAL CENTER, PHASE 2, UNIT 1, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on January, 31, 2005 in Plat Book 2005C, Page 40, and containing 2.6780 acres, more or less.

NOTES

(SEE SHEET 2)

PURPOSE OF PLAT

1. Subdivide 1 Existing Tract into 3 Tracts .
2. Grant easements as shown hereon.

PUBLIC UTILITY EASEMENT

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

PLAT FOR
 TRACTS 9A-1A-2A, 9A-1A-2B AND 9A-1A-2C
 JOURNAL CENTER PHASE 2, UNIT 1
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 27
 TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2005

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: _____

Application Number: _____

PLAT APPROVAL

Utility Approvals:

Sean D. Marks 6-14-05
 PNM Electric Services Date

Sean D. Marks 6-14-05
 PNM Gas Services Date

Richard K. Ramsey 6-14-05
 Qwest Date

George Barber 6-14-05
 Comcast Date

City Approvals:

M. B. Jank 6/3/05
 City Surveyor Date

Real Property Division Date

Traffic Engineering, Transportation Division Date

Albuquerque-Bernalillo County Utility Authority Date

Parks and Recreation Department Date

AMAFCFA Date

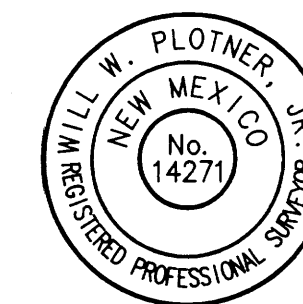
City Engineer Date

DRB Chairperson, Planning Department Date

SURVEYOR'S CERTIFICATION

"I, Will W. Plotner, Jr., a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Will W. Plotner Jr. 6/2/05
 Will W. Plotner Jr., N.M.P.S. No. 14271 Date



CARTESIAN SURVEYS INC.
 P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505)891-0244

Dwg: A4092FPS1.dwg	Drawn: RICHARD	Checked: ALS	Sheet 1 of 2
Scale: N/A	Date: 03/29/05	Job: A04092 (042197)	

PLAT FOR
TRACTS 9A-1A-2-A, 9A-1A-2-B AND 9A-1A-2-C
JOURNAL CENTER PHASE 2, UNIT 1
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 23
 TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2005

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING=	CH-DIST=
C1	299.85	1043.00	16°28'20"	150.97	S08°19'52"W	298.82
C2	15.00	416.00	2°03'58"	7.50	N38°11'39"E	15.00
C3	137.52	1043.00	7°33'17"	68.86	S03°52'20"W	137.42
C4	162.33	1043.00	8°55'03"	81.33	S12°06'30"W	162.17
C5	39.62	25.00	90°48'08"	25.35	N31°03'07"W	35.60
C6	17.08	1043.00	0°56'17"	8.54	S08°07'07"W	17.08
C7	40.37	1043.00	2°13'05"	20.19	S15°27'29"W	40.37
C8	42.67	1043.00	2°20'38"	21.34	S01°16'01"W	42.67
C9	17.47	1043.00	0°57'34"	8.73	S16°05'15"W	17.47

Legend

- (N 90°00'00" E) RECORD BEARING AND DISTANCES
- FOUND REBAR WITH CAP "LS 6544"
- SET BATHEY MARKER WITH CAP "LS 14271"

Benchmark

ACS MONUMENT "16-E17" HAVING AN ELEVATION OF 5144.74.

Notes

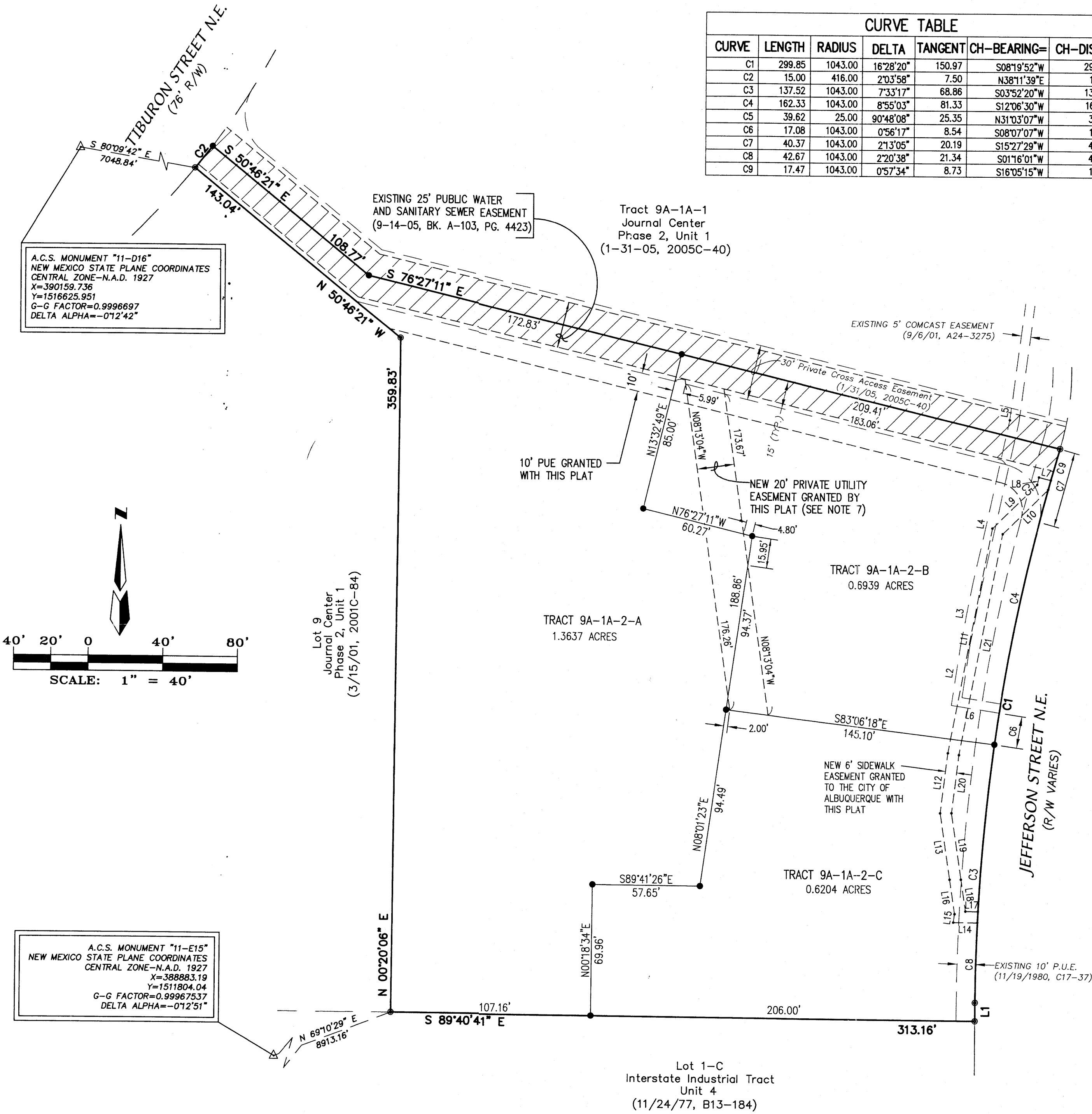
1. FIELD SURVEY PERFORMED IN NOVEMBER 2004.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. TALOS LOG # 2005132317
4. THIS PROPERTY LIES WITHIN PROJECTED SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST N.M.P.M., ELENA GALLEGOS GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
5. THE BASIS OF BEARINGS IS THE ACS MONUMENTS SHOWN HEREON, REFERENCING N.M.S.P. GRID (N.A.D. 1927).
6. UNLESS OTHERWISE NOTED, ALL POINTS ARE A SET BATHEY MARKER WITH CAP "LS 14271".
7. PRIVATE UTILITY EASEMENT GRANTED TO, FOR THE BENEFIT OF AND TO BE MAINTAINED BY THE OWNERS OF TRACT 9A-1A-2-C.
8. TRACTS 9A-1A-2-A, 9A-1A-2-B AND 9A-1A-2-C ARE COVERED BY A RECIPROCAL CROSS LOT ACCESS, PARKING AND DRAINAGE EASEMENT, OUTSIDE OF BUILDINGS.

LINE	BEARING	LENGTH
L1	S00°05'23"E	9.84
L2	S08°24'29"W	33.89
L3	S10°51'08"W	31.72
L4	S12°20'32"W	90.25
L5	N07°20'00"E	6.58
L6	N81°13'30"W	25.99
L7	S76°27'11"E	6.52
L8	N13°32'49"E	4.00
L9	N45°39'47"E	33.42
L10	S45°39'47"W	33.91
L11	N10°44'23"E	123.00
L12	N06°53'45"E	31.92
L13	N08°37'49"W	35.53
L14	N89°41'26"W	12.93
L15	N07°52'35"E	4.54
L16	N08°37'49"W	18.51
L17	S89°44'22"E	6.73
L18	S08°37'49"E	17.07
L19	S08°37'49"E	35.58
L20	S06°53'45"W	30.90
L21	S10°44'23"W	120.91

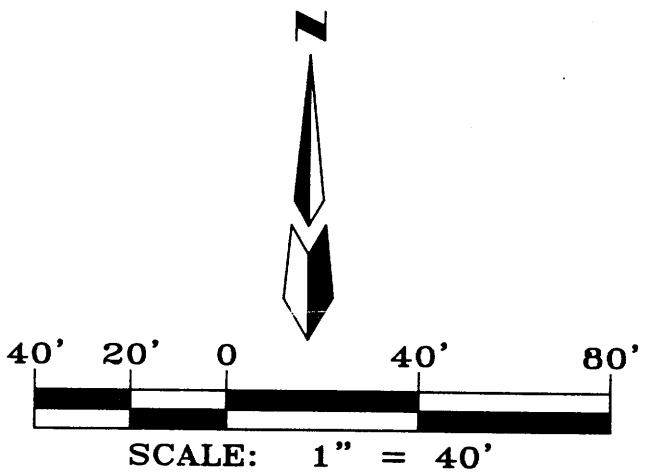


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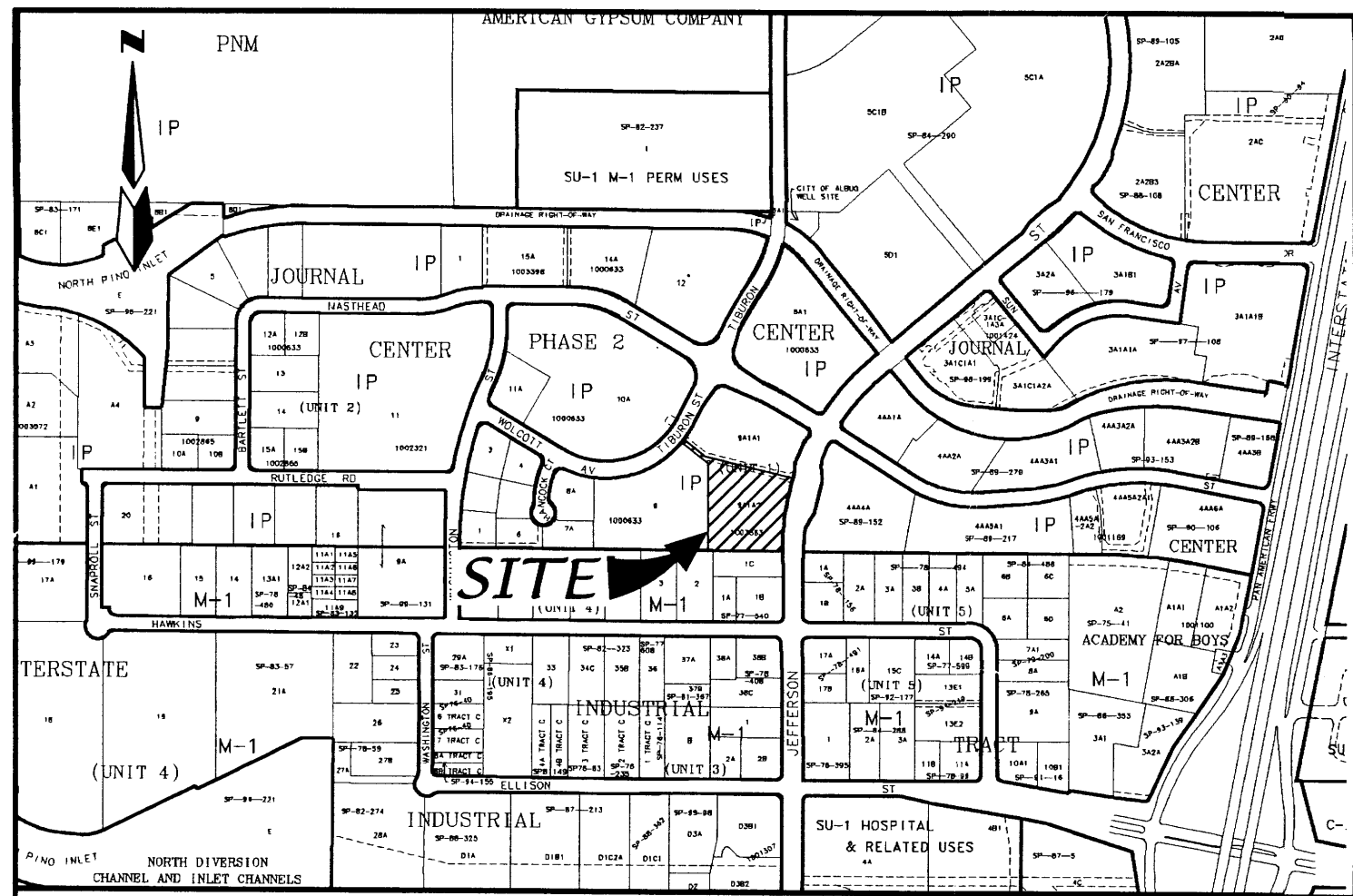
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Scale: 1"=40'	Date: 11/08/05	Job: A04092(042197)	



A.C.S. MONUMENT "11-D16"
 NEW MEXICO STATE PLANE COORDINATES
 CENTRAL ZONE-N.A.D. 1927
 X=390159.736
 Y=1516625.951
 G-G FACTOR=0.9996697
 DELTA ALPHA=-0°12'42"



A.C.S. MONUMENT "11-E15"
 NEW MEXICO STATE PLANE COORDINATES
 CENTRAL ZONE-N.A.D. 1927
 X=388883.19
 Y=1511804.04
 G-G FACTOR=0.99967537
 DELTA ALPHA=-0°12'51"



LEGAL DESCRIPTION

Tract 9A-1A-2, of the plat entitled "TRACTS 9A-1A-1 & 9A-1A-2, JOURNAL CENTER, PHASE 2, UNIT 1, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on January, 31, 2005 in Plat Book 2005C, Page 40, and containing 2.6780 acres, more or less.

NOTES

(SEE SHEET 2)

PURPOSE OF PLAT

1. Subdivide 1 Existing Tract into 3 Tracts .
2. Grant easements as shown hereon.

PLAT FOR
TRACTS 9A-1A-2A, 9A-1A-2B AND 9A-1A-2C
JOURNAL CENTER PHASE 2, UNIT 1
 WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTION 27
TOWNSHIP 11 NORTH, RANGE 3 EAST, NMMP
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2005

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: _____

Application Number: _____

PLAT APPROVAL

Utility Approvals:

PNM Electric Services	_____	Date	_____
PNM Gas Services	_____	Date	_____
Qwest	_____	Date	_____
Comcast	_____	Date	_____
City Approvals:	<i>[Signature]</i>	Date	6/3/05
City Surveyor	_____	Date	_____
Real Property Division	_____	Date	_____
Traffic Engineering, Transportation Division	_____	Date	_____
Albuquerque-Bernalillo County Utility Authority	_____	Date	_____
Parks and Recreation Department	_____	Date	_____
AMA/FCA	_____	Date	_____
City Engineer	_____	Date	_____
DRB Chairperson, Planning Department	_____	Date	_____

LOCATION MAP

ZONE ATLAS D-17-Z
 SCALE: NONE

SUBDIVISION DATA

Gross Acreage 2.6780 Ac.
 Zone Atlas No. D-17-Z
 No. of Existing Tracts 1 Tract
 No. of Tracts created 3 Tracts
 No. of Tracts eliminated 1 Tracts
 Miles of full width streets created 0.00
 Miles of half width streets created 0.00
 Street Area dedicated to the City of Albuquerque 0.0000 Ac.
 Date of Survey November, 2004
 Utility Control Location System Log Number 2005132317
 Zoning IP

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

LANDHLAFORD, LLC

[Signature] 4/4/05
 Carl Bettinger, Managing Member

Date

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on 4/4/05
 By Carl Bettinger, Managing Member of LANDHLAFORD, LLC a Limited Liability Company on behalf of said company.

[Signature]
 NOTARY PUBLIC

11/17/07
 MY COMMISSION EXPIRES

PUBLIC UTILITY EASEMENT

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
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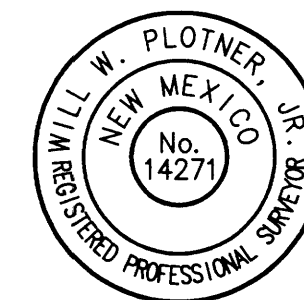
Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

SURVEYOR'S CERTIFICATION

"I, Will W. Plotner, Jr., a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

[Signature]
 Will W. Plotner Jr., N.M.P.S. No. 14271

6/2/05 Date



CARTESIAN SURVEYS INC.
 P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505)891-0244

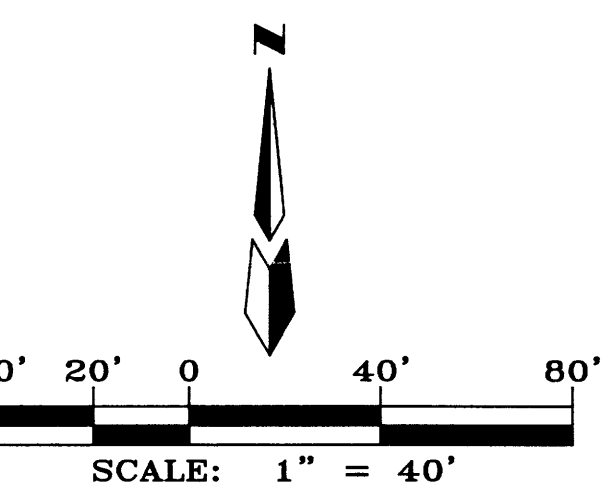
Dwg: A4092FPS1.dwg	Drawn: RICHARD	Checked: ALS	Sheet 1 of 2
Scale: N/A	Date: 03/29/05	Job: A04092 (042197)	

PLAT FOR
TRACTS 9A-1A-2-A, 9A-1A-2-B AND 9A-1A-2-C
JOURNAL CENTER PHASE 2, UNIT 1
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 23
 TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2005

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C1	1043.00	299.85	16°28'20"	150.97	S08°19'52"W	298.82
C2	416.00	15.00	2°03'58"	7.50	N38°11'39"E	15.00
C3	1043.00	137.52	7°33'17"	68.86	S03°52'20"W	137.42
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C7	1043.00	40.37	2°13'05"	20.19	S15°27'29"W	40.37

LINE TABLE		
LINE	LENGTH	BEARING
L1	9.84	S00°05'23"E
L2	33.89	S08°24'29"W
L3	31.72	S10°51'08"W
L4	90.25	S12°20'32"W
L5	6.58	N07°20'00"E
L6	25.98	N81°13'30"W

A.C.S. MONUMENT "11-D16"
 NEW MEXICO STATE PLANE COORDINATES
 CENTRAL ZONE-N.A.D. 1927
 X=390159.736
 Y=1516625.951
 G-G FACTOR=0.9996697
 DELTA ALPHA=-0°12'42"



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 CENTRAL ZONE-N.A.D. 1927
 X=388883.19
 Y=1511804.04
 G-G FACTOR=0.99967537
 DELTA ALPHA=-0°12'51"

12.50' PUBLIC WATER AND
 SANITARY SEWER EASEMENT
 GRANTED TO THE
 ALBUQUERQUE-BERNALILLO
 COUNTY UTILITY AUTHORITY

Tract 9A-1A-1
 Journal Center
 Phase 2, Unit 1
 (1-31-05, 2005C-40)

EXISTING 5' COMCAST EASEMENT
 (9/6/01, A24-3275)

30' Private Cross Access Easement
 (1/31/05, 2005C-40)

10' PUE GRANTED
 WITH THIS PLAT

NEW 20' PRIVATE UTILITY
 EASEMENT GRANTED BY
 THIS PLAT (SEE NOTE 7)

TRACT 9A-1A-2-B
 0.6939 ACRES

TRACT 9A-1A-2-A
 1.3637 ACRES

NEW 20' PUBLIC
 WATERLINE EASEMENT
 GRANTED BY THIS PLAT

TRACT 9A-1A-2-C
 0.6204 ACRES

JEFFERSON STREET N.E.
 (R/W VARIES)

EXISTING 10' P.U.E.
 (11/19/1980, C17-37)

Lot 9
 Journal Center
 Phase 2, Unit 1
 (3/15/01, 2001C-84)

Lot 1-C
 Interstate Industrial Tract
 Unit 4
 (11/24/77, B13-184)

Legend

- (N 90°00'00" E) RECORD BEARING AND DISTANCES
- ⊙ FOUND REBAR WITH CAP "LS 6544"
- SET BATHEY MARKER WITH CAP "LS 14271"

Benchmark

ACS MONUMENT "16-E17" HAVING AN ELEVATION OF 5144.74.

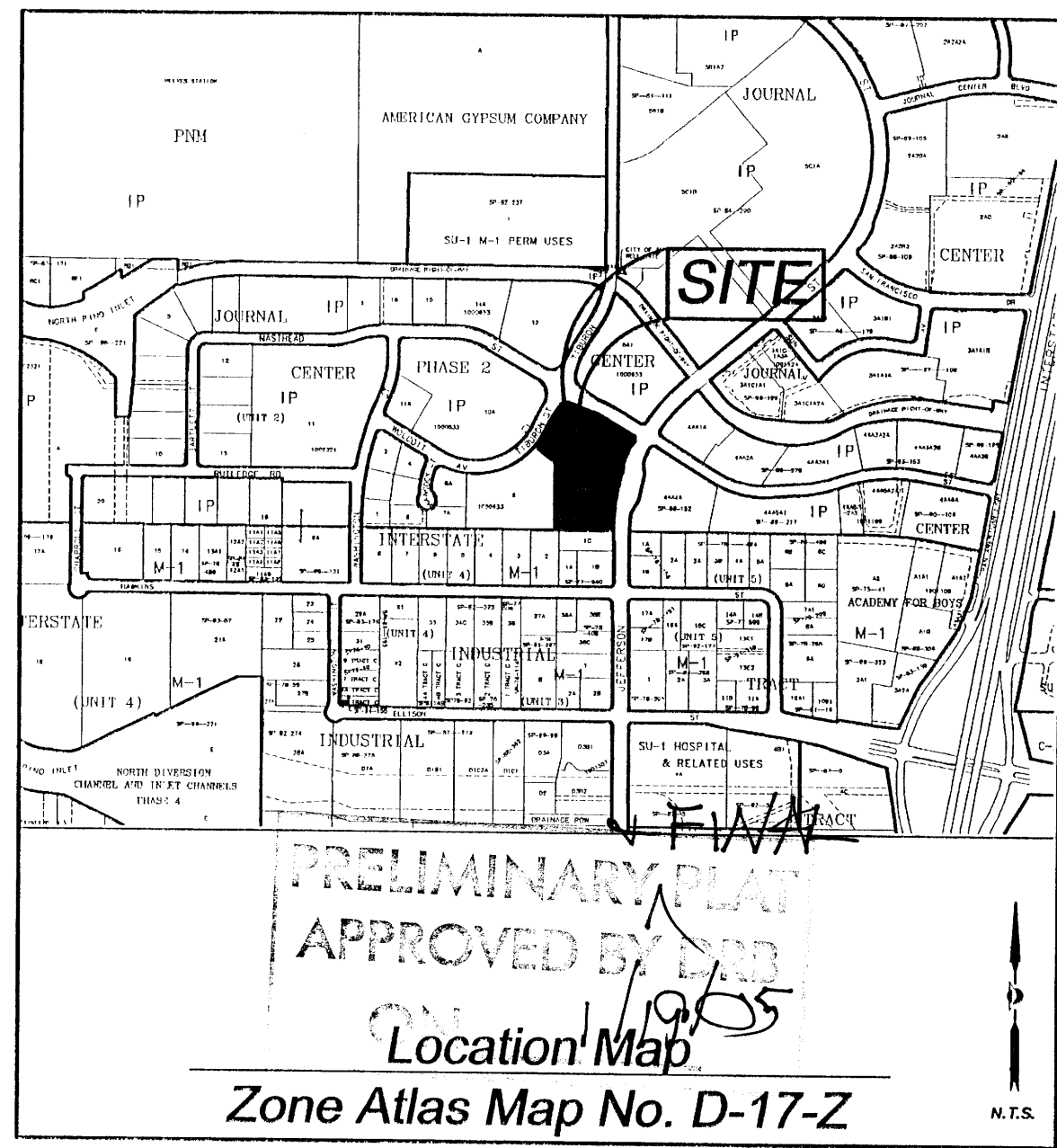
Notes

1. FIELD SURVEY PERFORMED IN NOVEMBER 2004.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. TALOS LOG # 2005132317
4. THIS PROPERTY LIES WITHIN PROJECTED SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST N.M.P.M., ELENA GALLEGOS GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
5. THE BASIS OF BEARINGS IS THE ACS MONUMENTS SHOWN HEREON, REFERENCING N.M.S.P. GRID (N.A.D. 1927).
6. UNLESS OTHERWISE NOTED, ALL POINTS ARE A SET BATHEY MARKER WITH CAP "LS 14271".
7. PRIVATE UTILITY EASEMENT GRANTED TO, FOR THE BENEFIT OF AND TO BE MAINTAINED BY THE OWNERS OF TRACT 9A-1A-2-C.
8. TRACTS 9A-1A-2-A, 9A-1A-2-B AND 9A-1A-2-C ARE COVERED BY A RECIPROCAL CROSS LOT ACCESS, PARKING AND DRAINAGE EASEMENT, OUTSIDE OF BUILDINGS.



CARTESIAN SURVEYS INC.
 P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505)891-0244

Dwg: A4092FPS2.DWG	Drawn: STEPHEN	Checked: ALS	Sheet 2 of 2
Scale: 1"=40'	Date: 06/13/05	Job: A04092 (042197)	



RECORDING STAMP

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN PROJECTED SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACT NUMBERED NINE A-ONE A (9A-1A) OF JOURNAL CENTER PHASE 2, UNIT 1, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 15, 2001 IN VOLUME 2001C, FOLIO 84, CONTAINING 9.3966 ACRES MORE OR LESS, NOW COMPRISING TRACTS 9A-1A-1 AND 9A-1A-2, JOURNAL CENTER, PHASE 2, UNIT 1.

Plat of
Tracts 9A-1A-1 & 9A-1A-2
Journal Center, Phase 2, Unit 1
 Albuquerque, Bernalillo County, New Mexico
 January 2005

Project No. _____

Application No. _____

Utility Approvals

PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST	DATE
City Approvals	
CITY SURVEYOR <i>Larry W. Medrano</i>	1-7-05
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE
UTILITY DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCO	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 9.3966 ACRES±
 ZONE ATLAS INDEX NO: D-17-Z
 NO. OF TRACTS CREATED: 2
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: MAY 2000, FIELD VERIFIED DECEMBER 2003

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING ONE TRACT INTO TWO NEW TRACTS, AND TO GRANT AN EASEMENT.

Notes:

- MISC. DATA: ZONING IP
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2004022735

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

Free Consent

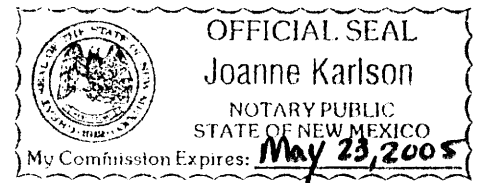
THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

T. H. Lang
 T. H. LANG
 PRESIDENT
 JOURNAL CENTER CORPORATION
 A DELAWARE CORPORATION
 1/6/05
 DATE

Acknowledgment

STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 6th DAY OF January, 2005 BY
 T. H. LANG, PRESIDENT, JOURNAL CENTER CORPORATION, A DELAWARE CORPORATION.
 BY *Joanne Karlson* MY COMMISSION EXPIRES: May 23, 2005
 NOTARY PUBLIC



TREASURER'S CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 01/06/2005
 LARRY W. MEDRANO
 N.M.P.S. No. 11993
 DATE

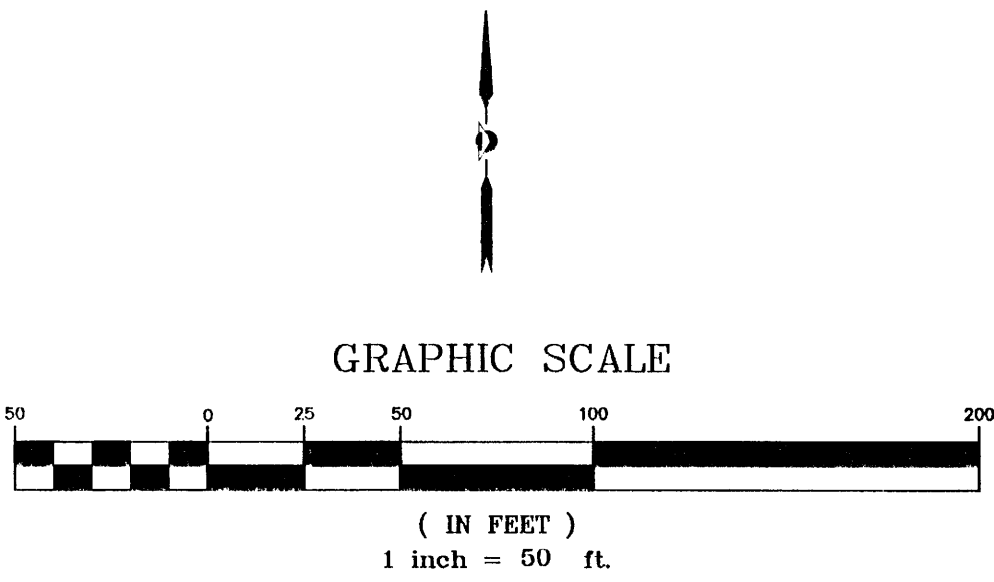


PRECISION SURVEYS, INC.

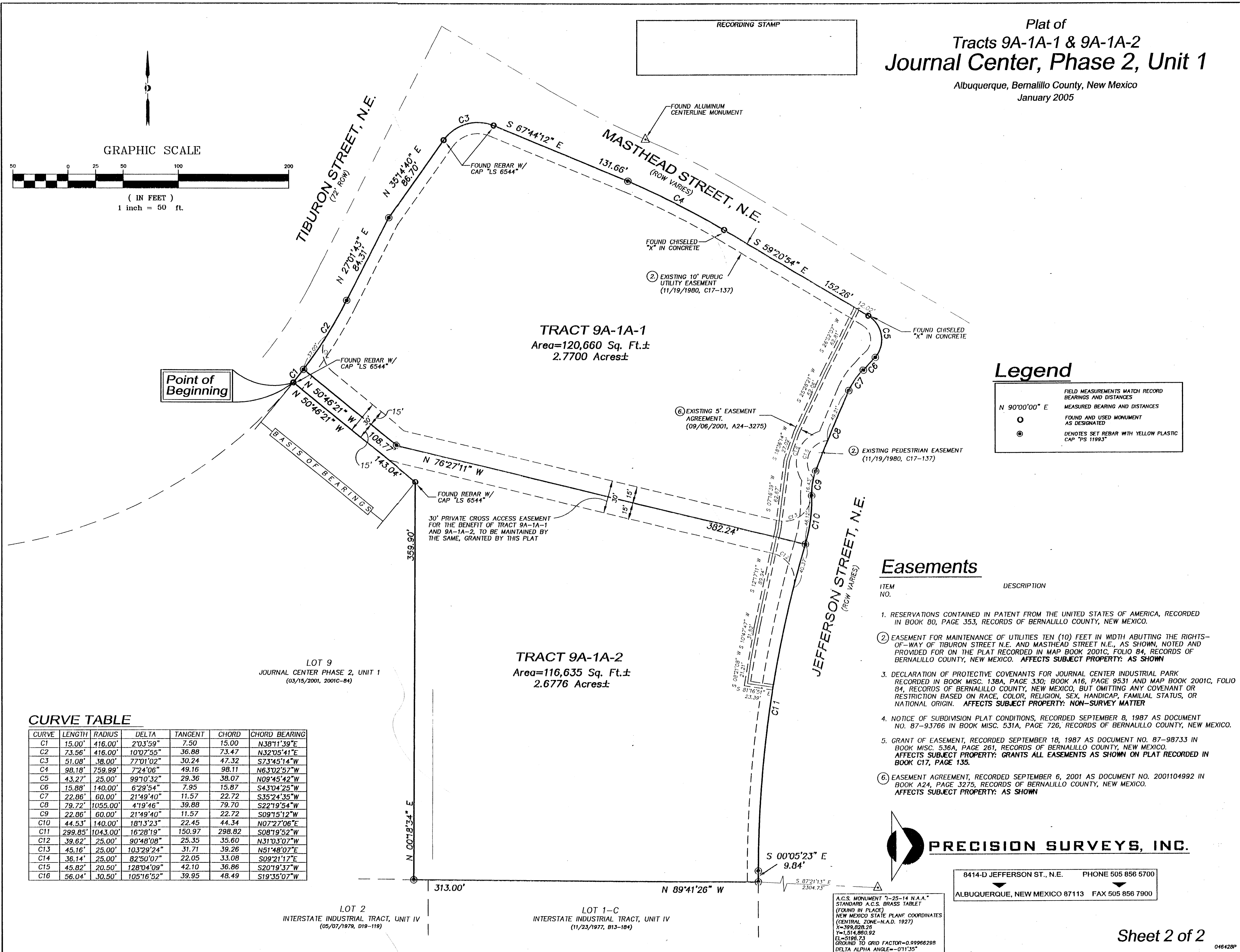
8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

Plat of
Tracts 9A-1A-1 & 9A-1A-2
Journal Center, Phase 2, Unit 1

Albuquerque, Bernalillo County, New Mexico
 January 2005



RECORDING STAMP



Legend

N 90°00'00" E	FIELD MEASUREMENTS MATCH RECORD BEARINGS AND DISTANCES
○	MEASURED BEARING AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
●	DENOTES SET REBAR WITH YELLOW PLASTIC CAP "PS 11993"

Easements

ITEM NO.	DESCRIPTION
1.	RESERVATIONS CONTAINED IN PATENT FROM THE UNITED STATES OF AMERICA, RECORDED IN BOOK 80, PAGE 353, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
2.	EASEMENT FOR MAINTENANCE OF UTILITIES TEN (10) FEET IN WIDTH ABUTTING THE RIGHTS-OF-WAY OF TIBURON STREET N.E. AND MASTHEAD STREET N.E., AS SHOWN, NOTED AND PROVIDED FOR ON THE PLAT RECORDED IN MAP BOOK 2001C, FOLIO 84, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS SUBJECT PROPERTY: AS SHOWN
3.	DECLARATION OF PROTECTIVE COVENANTS FOR JOURNAL CENTER INDUSTRIAL PARK RECORDED IN BOOK MISC. 138A, PAGE 330; BOOK A16, PAGE 9531 AND MAP BOOK 2001C, FOLIO 84, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, BUT OMITTING ANY COVENANT OR RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN. AFFECTS SUBJECT PROPERTY: NON-SURVEY MATTER
4.	NOTICE OF SUBDIVISION PLAT CONDITIONS, RECORDED SEPTEMBER 8, 1987 AS DOCUMENT NO. 87-93766 IN BOOK MISC. 531A, PAGE 726, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
5.	GRANT OF EASEMENT, RECORDED SEPTEMBER 18, 1987 AS DOCUMENT NO. 87-98733 IN BOOK MISC. 536A, PAGE 261, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS SUBJECT PROPERTY: GRANTS ALL EASEMENTS AS SHOWN ON PLAT RECORDED IN BOOK C17, PAGE 135.
6.	EASEMENT AGREEMENT, RECORDED SEPTEMBER 6, 2001 AS DOCUMENT NO. 2001104992 IN BOOK A24, PAGE 3275, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS SUBJECT PROPERTY: AS SHOWN

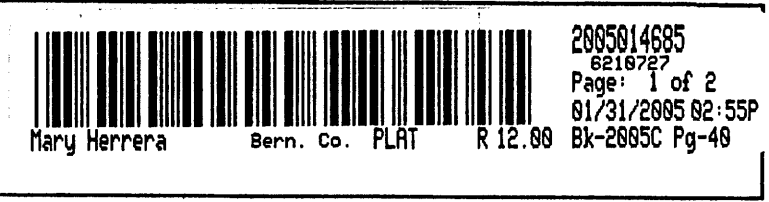
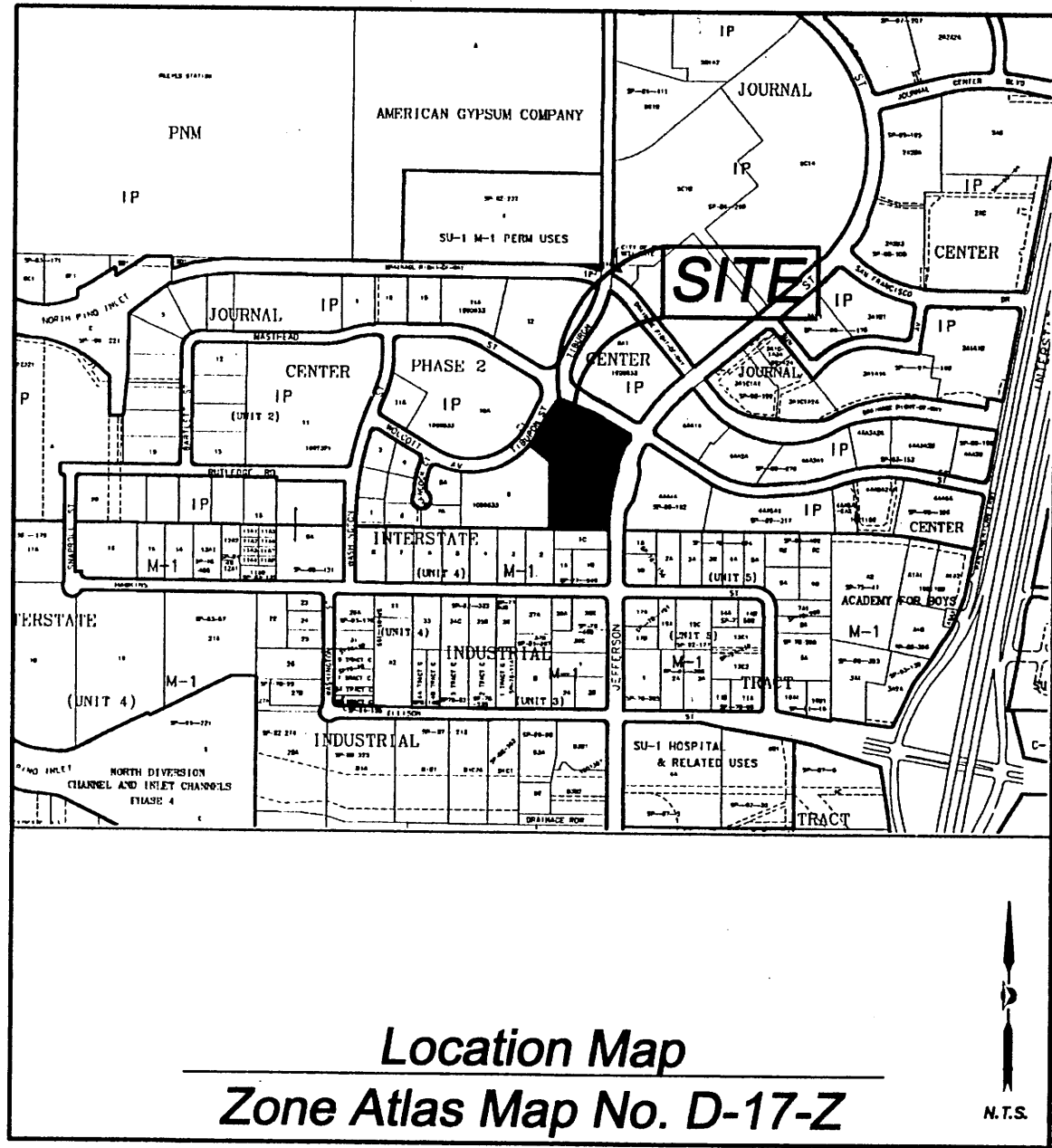
CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD BEARING
C1	15.00'	416.00'	2°03'59"	7.50	15.00	N38°11'39"E
C2	73.56'	416.00'	10°07'55"	36.88	73.47	N32°05'41"E
C3	51.08'	38.00'	77°01'02"	30.24	47.32	S73°45'14"W
C4	98.18'	759.99'	7°24'06"	49.16	98.11	N63°02'57"W
C5	43.27'	25.00'	99°10'32"	29.36	38.07	N09°45'42"W
C6	15.88'	140.00'	6°29'54"	7.95	15.87	S43°04'25"W
C7	22.86'	60.00'	21°49'40"	11.57	22.72	S35°24'35"W
C8	79.72'	1055.00'	4°19'46"	39.88	79.70	S22°19'54"W
C9	22.86'	60.00'	21°49'40"	11.57	22.72	S09°15'12"W
C10	44.53'	140.00'	18°13'23"	22.45	44.34	N07°27'06"E
C11	299.85'	1043.00'	16°28'19"	150.97	298.82	S08°19'52"W
C12	39.62'	25.00'	90°48'08"	25.35	35.60	N31°03'07"W
C13	45.16'	25.00'	103°29'24"	31.71	39.26	N51°48'07"E
C14	36.14'	25.00'	82°50'07"	22.05	33.08	S09°21'17"E
C15	45.82'	20.50'	128°04'09"	42.10	36.86	S20°19'37"W
C16	56.04'	30.50'	105°16'52"	39.95	48.49	S19°35'07"W

PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

A.C.S. MONUMENT "7-25-14 N.A.A."
 STANDARD A.C.S. BRASS TABLET
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1927)
 X=399,028.26
 Y=1,514,860.92
 EL=5196.73
 GROUND TO GRID FACTOR=0.99986298
 DELTA ALPHA ANGLE=-011'35"



Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN PROJECTED SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACT NUMBERED NINE A-ONE A (9A-1A) OF JOURNAL CENTER PHASE 2, UNIT 1, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 15, 2001 IN VOLUME 2001C, FOLIO 84, CONTAINING 9.3966 ACRES MORE OR LESS, NOW COMPRISING TRACTS 9A-1A-1 AND 9A-1A-2, JOURNAL CENTER, PHASE 2, UNIT 1.

Plat of
Tracts 9A-1A-1 & 9A-1A-2
Journal Center, Phase 2, Unit 1
 Albuquerque, Bernalillo County, New Mexico
 January 2005

Project No. 1003883
 Application No. 05DRB-00052

Utility Approvals

<i>Leonard S. Mark</i>	1-20-05
PNM ELECTRIC SERVICES	DATE
<i>Leonard S. Mark</i>	1-20-05
PNM GAS SERVICES	DATE
<i>Doreen Muller</i>	1-25-05
QWEST TELECOMMUNICATIONS	DATE
<i>Kenneth Dubson</i>	1-25-05
COMCAST	DATE

City Approvals

<i>Th B Paul</i>	1-7-05
CITY SURVEYOR	DATE
<i>John A...</i>	1-19-05
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE
<i>Danny D...</i>	1/19/05
UTILITY DEVELOPMENT	DATE
<i>Christina Sandoval</i>	1/19/05
PARKS AND RECREATION DEPARTMENT	DATE
<i>Bradley J. Bingham</i>	1-19-05
AMAFCA	DATE
<i>Bradley J. Bingham</i>	1-19-05
CITY ENGINEER	DATE
<i>Sheran Watson</i>	1/27/05
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 9.3966 ACRES±
 ZONE ATLAS INDEX NO: D-17-Z
 NO. OF TRACTS CREATED: 2
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: MAY 2000, FIELD VERIFIED DECEMBER 2003

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING ONE TRACT INTO TWO NEW TRACTS, AND TO GRANT AN EASEMENT.

Notes:

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- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2004022735

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

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Free Consent

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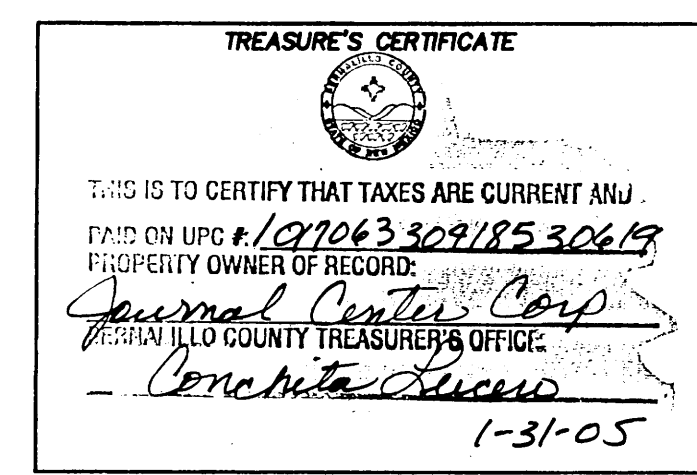
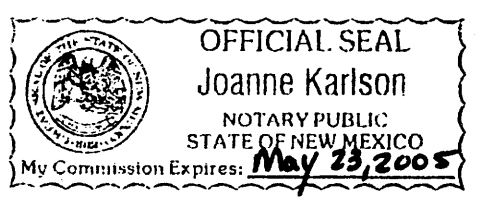
T. H. Lang
 T. H. LANG
 PRESIDENT
 JOURNAL CENTER CORPORATION
 A DELAWARE CORPORATION
 1/6/05
 DATE

Acknowledgment

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 6th DAY OF January, 2005 BY
 T. H. LANG, PRESIDENT, JOURNAL CENTER CORPORATION, A DELAWARE CORPORATION.

BY *[Signature]* MY COMMISSION EXPIRES: May 23, 2005
 NOTARY PUBLIC



Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 01/06/2005
 LARRY W. MEDRANO
 N.M.P.S. No. 11993
 DATE



PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

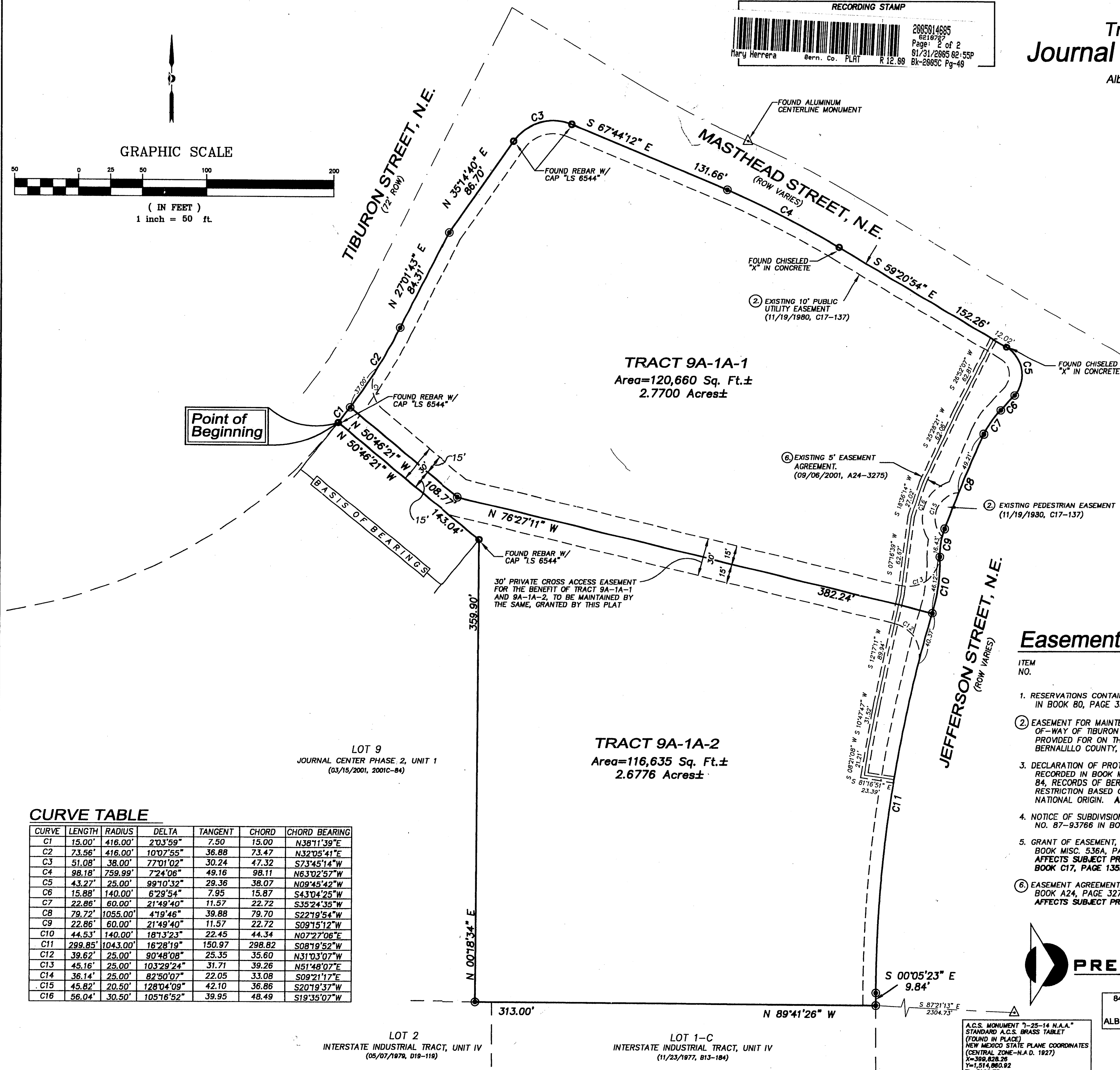
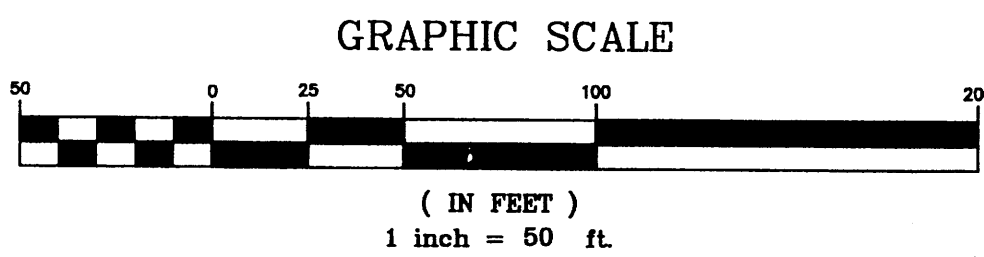
Plat of
Tracts 9A-1A-1 & 9A-1A-2
Journal Center, Phase 2, Unit 1

Albuquerque, Bernalillo County, New Mexico
 January 2005

RECORDING STAMP

2005014685
 6216727
 Page: 2 of 2
 81731/2005 02:55P
 BK-2005C Pg-48

Hary Herrera Bern. Co. PLRT R 12.09



TRACT 9A-1A-1
 Area=120,660 Sq. Ft.±
 2.7700 Acres±

TRACT 9A-1A-2
 Area=116,635 Sq. Ft.±
 2.6776 Acres±

Legend

N 90°00'00" E	FIELD MEASUREMENTS MATCH RECORD BEARINGS AND DISTANCES
○	MEASURED BEARING AND DISTANCES
●	FOUND AND USED MONUMENT AS DESIGNATED
⊙	DEMOTES SET REBAR WITH YELLOW PLASTIC CAP "PS 11993"

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CURVE TABLE

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C4	98.18'	759.99'	7°24'06"	49.16	98.11	N63°02'57"W
C5	43.27'	25.00'	99°10'32"	29.36	38.07	N09°45'42"W
C6	15.88'	140.00'	6°29'54"	7.95	15.87	S43°04'25"W
C7	22.86'	60.00'	21°49'40"	11.57	22.72	S35°24'35"W
C8	79.72'	1055.00'	4°19'46"	39.88	79.70	S22°19'54"W
C9	22.86'	60.00'	21°49'40"	11.57	22.72	S09°15'12"W
C10	44.53'	140.00'	18°13'23"	22.45	44.34	N07°27'06"E
C11	289.85'	1043.00'	16°28'19"	150.97	298.82	S08°19'52"W
C12	39.62'	25.00'	90°48'08"	25.35	35.60	N31°03'07"W
C13	45.16'	25.00'	103°29'24"	31.71	39.26	N51°48'07"E
C14	36.14'	25.00'	82°50'07"	22.05	33.08	S09°21'17"E
C15	45.82'	20.50'	128°04'09"	42.10	36.86	S20°19'37"W
C16	56.04'	30.50'	105°16'52"	39.95	48.49	S19°35'07"W

PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

A.C.S. MONUMENT 7-25-14 N.A.A.
 STANDARD A.C.S. BRASS TABLET
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1927)
 X=399,828.26
 Y=1,514,880.92
 EL=5196.73
 GROUND TO GRID FACTOR=0.99966298
 DELTA ALPHA ANGLE=-0°11'35"