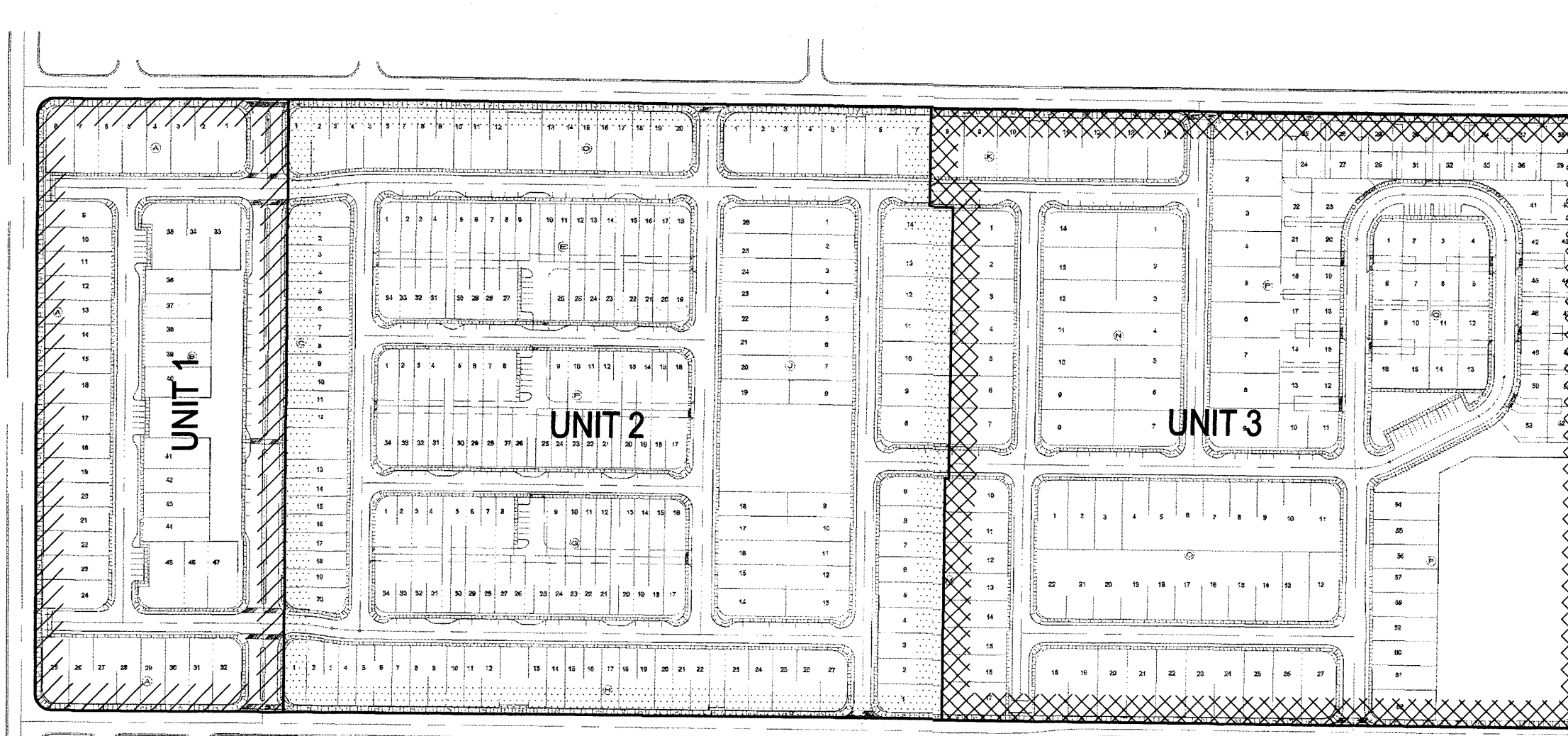
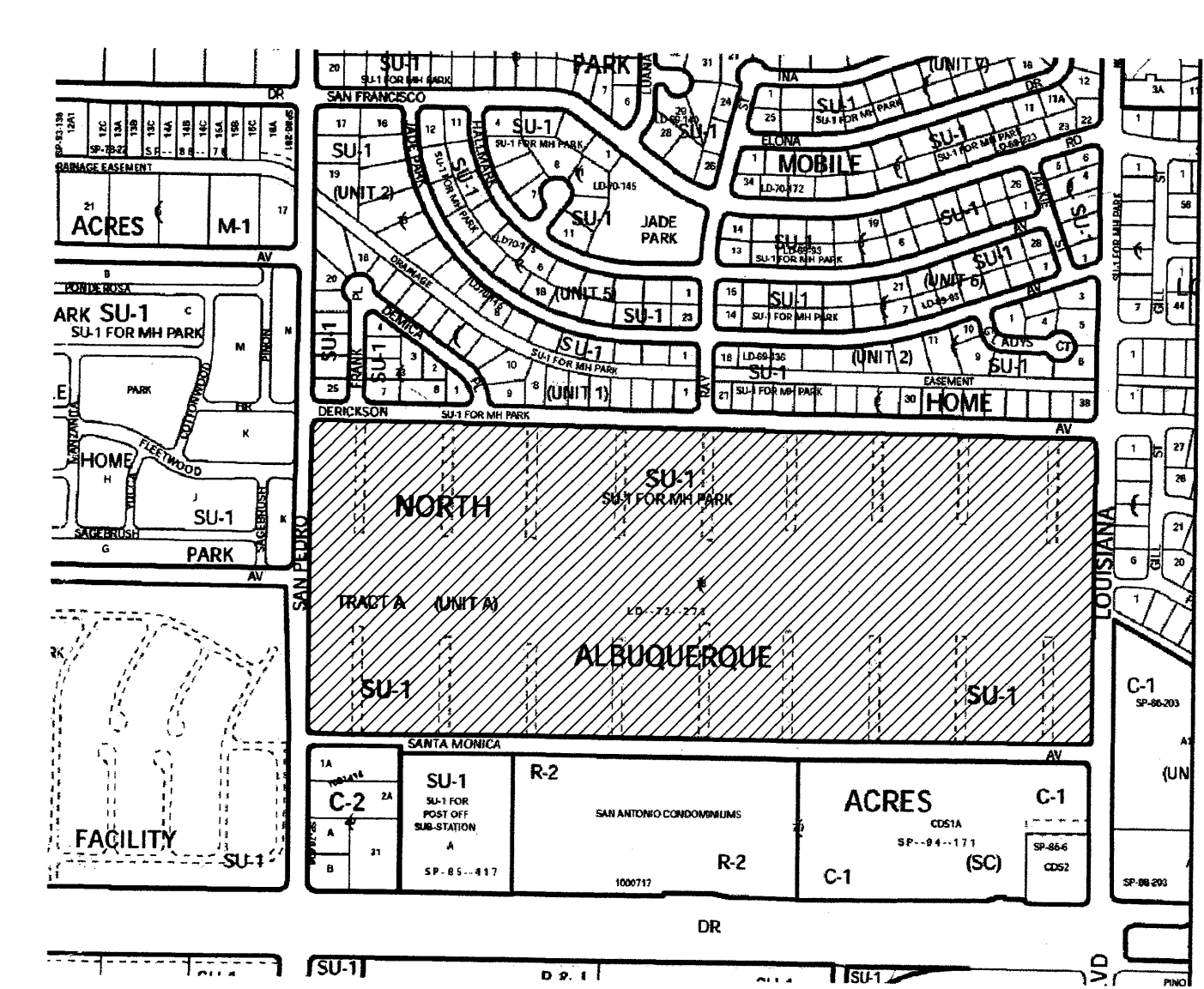


**EXHIBIT A: VEHICULAR, PEDESTRIAN AND COMMON SPACE (NOT TO SCALE)**



**EXHIBIT 1A: PROJECT PHASING (NOT TO SCALE)**



**ZONE ATLAS: D-18-Z (NOT TO SCALE)**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION**

The redevelopment of Monterra Del Rey will stress an innovative design providing a range of housing types that includes a mix of affordability and lifestyles. The overall goal is to create a vibrant, sustainable community, encompassing the existing residents of the Del Rey Mobile Home Park and new families into a cohesive community environment. The emphasis will be placed on incorporating a diversity of housing product into a walkable and inclusive neighborhood consistent with environmentally sensitive design.

**The Site:**  
 The site consists of 58.52 acres as shown on Zone Atlas Number C-18-Z. This project proposes a total of 431 Tracts; 412 Tracts of residential lots of various sizes, 18 Tracts of landscaped common areas of various sizes and 1 Tract of neighborhood commercial of approximately 2.4 acres, conducive to a neighborhood environment. Approximately 15.49 acres of land will be dedicated to the City of Albuquerque as right of way for roads and sidewalks to serve the community and surrounding neighborhoods. The existing zoning for the site is SU-1 for MH Park we are proposing changing the zoning to SU-1 for PDA.

**Pedestrian Ingress & Egress:**  
 Public sidewalks and trails will provide pedestrian connectivity within the site as well as to surrounding neighborhoods and businesses. Access to the neighborhood commercial portion of this project, from within the proposed site, will be limited to pedestrian access only. All sidewalks will have a minimum width of 5', and will include a landscaped parkway between the street and the sidewalk. Landscaped bump-outs are also provided at intersections throughout the site as a means of traffic calming and allowing for safe locations for pedestrians wanting to cross the street. See Exhibit 1 on Sheet A001. Landscaped breezeways abutting the site wall shall provide pedestrian and visual access, gates are acceptable, provided that they can be opened from either side.

**Vehicular Ingress & Egress:**  
 Vehicular access to the site is limited to six points into the site; 3 along Derickson on the north side of the site and 3 along Santa Monica on the south side of the site. There is no vehicular access to and from the residential portion of the site along San Pedro or Louisiana. Vehicular access to the neighborhood commercial portion of the site will be from Louisiana only; there will be no vehicular access to the neighborhood commercial site from within the residential portion of the project. See Exhibit 1 on Sheet A001.

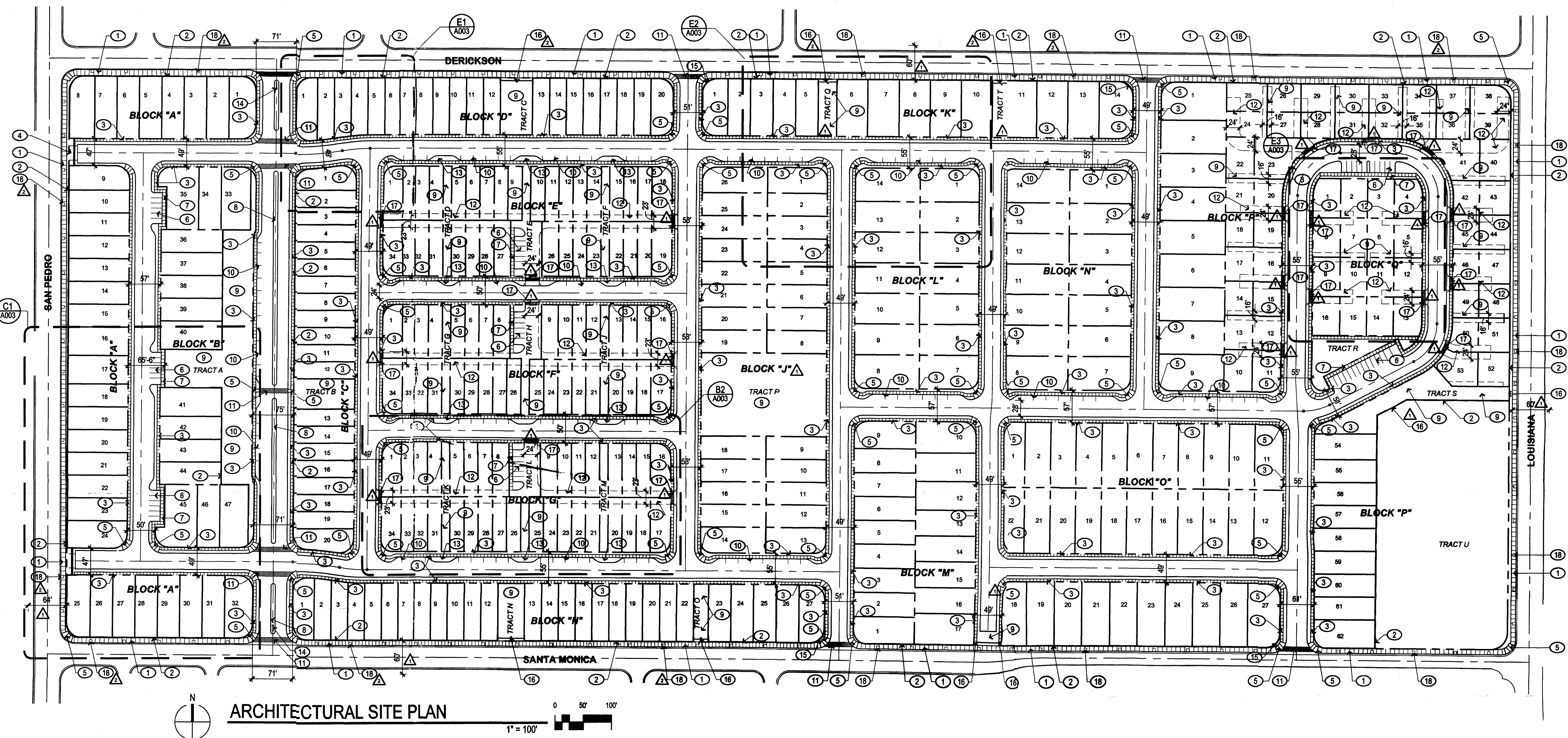
**Internal Circulation Requirements:**  
 The internal circulation with primary access off of Santa Monica and Derickson meet the required street widths, radius and configurations and comply with the COA standards. An Entry Boulevard with landscaped median is provided at the western end of the site and is intended to be the primary access point into the newly developed neighborhood with additional secondary entrances further east from this point. Right-of-ways are designed with tree-lined sidewalks and landscaped bump-outs at intersections to encourage walkability within the site.

**Phasing:**  
 This project will be broken down into three phases (See Exhibit 1a on sheet A001):  
 Unit 1 (Phase 1) - Relocation and re-development of 8.39 acres designated Area 1 (Mobile Homes). This phase will begin with the relocation of any residents currently living at the western end of the site and then preparing the land and installing the infrastructure for the 47 residential lots to be constructed in Area 1. Once the land and infrastructure are in all remaining residents of the former Del Rey Mobile Home Park will be relocated to the newly developed lots within Area 1.

Unit 2 (Phase 2) - Redevelopment of residential lots and common spaces as well as the development of the 2.4 acres of the Neighborhood Commercial portion of the site. This phase will finish the proposed plan of the Monterra Del Rey Neighborhood by finding a user for the south-east portion with a use that is conducive to a neighborhood environment (Area 5, 6 and the remaining portion of area 4).

Unit 3 (Phase 3) - Redevelopment of the remaining residential lots and common spaces as well as the development of the 2.4 acres of the Neighborhood Commercial portion of the site. This phase will finish the proposed plan of the Monterra Del Rey Neighborhood by finding a user for the south-east portion with a use that is conducive to a neighborhood environment (Area 5, 6 and the remaining portion of area 4).

**Storm Water Management:**  
 The site is broken down into two drainage basins the eastern half of the site will drain along Ray Street to the existing arroyo running just north of the site. The western half of the site will drain to the northwestern corner of the site and into the existing storm water drainage system. Both the existing storm water drainage system and the arroyo have the capacity necessary for the drainage of the site. See Exhibit 1b on Sheet A001.



**ARCHITECTURAL SITE PLAN**  
 1" = 100'

**SUBDIVISION DATA**

SITEPLAN AREA.....	58.5209 AC
ZONE ATLAS NUMBER.....	D-18-Z
NUMBER OF LOTS CREATED.....	411 RESIDENTIAL LOTS 1 NEIGHBORHOOD COMMERCIAL 18 TRACTS OF COMMON SPACE
NUMBER OF TRACTS CREATED.....	431 TRACTS
RIGHT-OF-WAY AREA DEDICATED TO CITY.....	approx. 15.49 AC
EXISTING ZONING.....	SU-1 FOR MH PARK
PROPOSED ZONING.....	SU-1 FOR PDA

**LEGAL DESCRIPTION**

TRACT A, UNIT A, BLOCK 18 AND BLOCK 19, NORTH ALBUQUERQUE ACRES CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AND CONTAINING 58.5209 ACRES (MORE OR LESS).

**KEYED NOTES**

- CONCRETE SIDEWALK (WIDTH VARIES)
- CMU SITE WALL
- CONCRETE SIDEWALK (5' WIDE)
- UTILITY AND DRAINAGE EASEMENT
- ACCESSIBLE SIDEWALK RAMP, PER COA STANDARD DETAIL #2418
- PERPENDICULAR PARKING (9'x20')
- CONCRETE SIDEWALK (6' WIDE)
- LANDSCAPED MEDIAN, SEE LANDSCAPE DRAWINGS FOR TYPICAL MEDIAN LANDSCAPE
- LANDSCAPED COMMON AREAS AND PARKS SEE LANDSCAPE PLANS
- PARALLEL PARKING, 8'-6" WIDE
- 8' WIDE CROSS-WALK
- ACCESS DRIVE ALLEY
- LANDSCAPED BUMP-OUT
- MONUMENT SIGN, SEE SHEET C002
- WALL MOUNTED ENTRANCE SIGN, SIMILAR TO MONUMENT SIGN.
- PEDESTRIAN ACCESS
- CROSSWALK FOR ALLEY OR DRIVE COURT, 6' WIDTH DIFFERENTIATE PAVING.
- STREET TREE GRATE 4'x4' MIN.

**INDEX TO DRAWINGS**

- A001 SITE DEVELOPMENT PLAN FOR SUBDIVISION
- A002 AREA BREAKDOWNS, ZONING REQUIREMENTS AND ARCHITECTURAL DESIGN STANDARDS
- A003 ENLARGED AREA PLANS
- L001 LANDSCAPE PLANS
- L002 LANDSCAPE PLANS
- L003 LANDSCAPE PLANS
- C001 OVERALL CONCEPTUAL UTILITY PLAN
- C002 TRAFFIC DISTRIBUTION MAP
- C003 GRADING & DRAINAGE PLAN (SHEETS 1-10)

PROJECT NUMBER: \_\_\_\_\_  
 Application Number: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Traffic Engineering, Transportation Division	Date
Albuquerque Bernalillo County Water Utility Authority	Date
Parks and Recreation Department	Date
City Engineer	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\*Environmental Health, if necessary

ENGINEER

PROJECT

**Monterra Del Rey**  
 Louisiana Boulevard  
 Albuquerque, New Mexico

**REVISIONS**

10/19/2007 EPC Conditions
03/31/2008 DRB Comments

DRAWN BY	raw
REVIEWED BY	
DATE	10/2/07
PROJECT NO.	07034
DRAWING NAME	

Site Development Plan for Subdivision

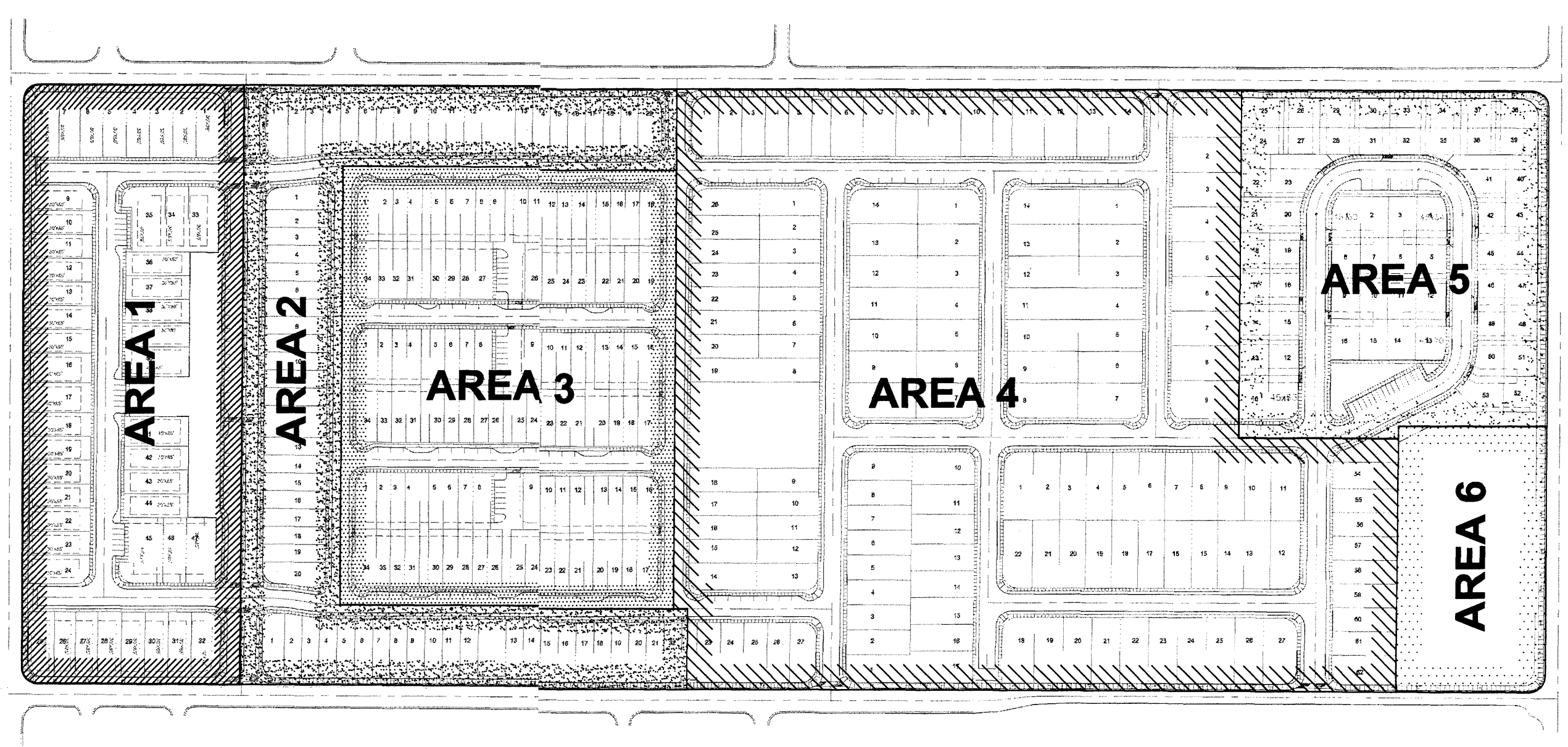
SHEET NO.

**A001**  
OF

REVISIONS	
△	10/19/2007 EPC Conditions
△	04/13/2008 DRB Comments
△	
△	
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DRAWN BY	RAW
REVIEWED BY	
DATE	10/2/07
PROJECT NO.	07034
DRAWING NAME	

Architectural Design  
Guidelines, Area Break  
Downs and Zoning



**EXHIBIT B: MONTERRA DEL REY HOUSING PRODUCT TYPE BREAK DOWN (NOT TO SCALE)**

**Sustainable Design Statement:**

The development and design team for Monterra del Rey is designing the site plan to create a community using the guiding principles of Build Green New Mexico (BGNM). This will be accomplished through the redevelopment of infill space using the BGNM guidelines of site planning and construction implementation. The goal is to create a certified sustainable development as set forth by the BGNM. The process involves coordination and consideration from the earliest stages of the site plan design through construction and into the home ownership stage.

**Design Standards For Planned Development Area (PDA) - Residential Areas Only**

**Neighborhood Commercial** shall be architecturally compatible with the adjoining residential areas and shall integrate into the residential open space and pedestrian network.

The purpose of these design standards is to establish a framework for a quality development of the subject development area shown on the development plan for subdivision. The primary goal for these design standards is to create an attractive, comfortable, safe and sustainable residential community that fosters pedestrian accessibility and creates a strong coherent and inclusive community for all residents. These standards address the issues of architecture, parking, site lighting, screen walls and fences, pedestrian amenities, and signage to create the quality image desired for this development. The design standards are intended to be complimentary to the planning and design of adjacent properties.

**Off-Street Parking:**  
Off street parking spaces shall be provided in compliance with regulation 14-16-3-1 of the Albuquerque comprehensive City Zoning Code.

**On-Street Parking:**  
Additional parking has been provided throughout the site for visitor and resident use as needed. Both perpendicular parking and parallel parking have been provided as shown on the site plan.

**Massing, Exterior Wall Materials and Colors:**  
Exterior wall materials are to be predominately vernacular based. The varying styles of vernacular Northern New Mexico Architecture shall be the basis of a more simple and contemporary expression or interpretation for architectural design.

Articulation of massing so as not to produce a long and flat building facade is required. Special attention should be given to street facing garage facades within the town home areas of the site to vary the articulation of garage facade. An articulated top-line of buildings and the play of figure/ground will help the massing to achieve this goal. Building massing shall also promote pedestrian site access.

The use of a stucco wall finish system (or synthetic version thereof) shall be the predominant material for buildings to reinforce the Northern New Mexico vernacular architectural expression.

Exterior wall color shall reflect a consistent overall palette of earth-based tones for the field colors, however, more saturated earth-based tones with a much wider color palette range is permitted for accent colors. This is intended to add vitality to the rich mix of housing types in the area.

Exterior detail trim such as shade canopies, trellises, open railings, pitched roof elements, parapet cornicing, lintels, etc. should be consistently detailed throughout the site to complement the overall architecture and to help to break up any long facades.

**Roof Materials and Colors:**  
Roof materials may vary with the New Mexico vernacular expression from flat roof (low slope) with parapet, to metal roof and clay or concrete tile roof. Low reflectivity is required. Asphalt shingles are not permitted.

**Site Lighting:**  
In order to enhance the safety, security and visual aesthetics, careful consideration must be given to both the daytime and nighttime appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall maximize public safety while not affecting adjacent properties, buildings or roadways with unnecessary glare or reflection. In order to accomplish the lighting goals, the following guidelines shall be required for the design of the lighting system:

- Placement of fixtures and standards shall conform to state and local safety and illumination standards.
- All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "Dark Sky."
- Area light fixtures shall be full cut-off design with no visible light source above a horizontal line projected from the bottom of the fixture housing. Building mounted fixtures shall also comply with this requirement.
- The height of street lights and parking area lights shall be kept to a minimum necessary to meet safety requirements.
- The maximum height of light poles other than street lights shall be 16' in, and within 100', of a residential zone.
- Individual site lighting shall blend with the architectural character of the buildings and other site fixtures.
- Parks and landscaped walkways shall have pedestrian-scale lighting.

All lighting on site will be pursuant to the New Mexico Night Sky Ordinance.

**Placement of Mechanical Units:**

Only pad mounted mechanical units will be permitted for new construction. Mechanical units must be screened from view, walls and/or landscape materials may be used for screening of mechanical units.

**Refuse Containers:**  
All residents to have COA rolling refuse containers. Storage for containers must be provided outside the home and must be screened from view to street.

**Walls/Fences:**  
Perimeter walls and fencing are allowed on the property. However efforts shall be made to lessen the visual impact of the walls or fencing through the use of landscaping and the design and location of openings.

- Barbed wire, concertina wire and plastic/vinyl fencing are prohibited.
- Standard gray CMU walls shall be prohibited
- Internal fences separating building lots are allowed, acceptable materials would include masonry block, block with stucco, split face block, stone, painted tube steel, chain link or a combination of fence and/or wall. The maximum height for internal fences separating building lots shall be 6 feet.
- Interior fences will not be allowed within 20' of the front property line.
- Clear sight distances shall be maintained at all driveway/entrance locations.
- The design, material and color of interior walls and fences shall be compatible with the architecture of the housing in their respective area of the site (Areas 1-5) to ensure a harmonious design.

Site walls will incorporate variations in type of block and color of block in order to break up the appearance of a straight wall. Open iron fencing will be incorporated into the wall at common space locations to help in breaking up the mass of the wall. (See Conceptual Site Wall Drawings on this sheet)

- Perimeter fences for the entire site shall be colored concrete block with openings as required for pedestrian access to and from the site. The maximum height for the Perimeter fence shall be 6 feet in compliance with Section 14-16-3-19 of the Zoning Code.
- Clear sight distances shall be maintained at all driveway/entrance locations.

Site and patio walls should reflect the same use of stucco finish to complement that of the buildings, or may contrast the building finish by use of exposed split-face CMU.

The height and design of walls, fences and retaining walls shall comply with Section 14-16-3-19 of the Zoning Code.

**Pedestrian Amenities:**  
The creation of a pedestrian-friendly environment will depend on creative site design and will be a primary design objective for this project. Objectives to achieve this goal include, but are not limited to, maintaining a high quality and consistency in style for site amenities, including benches, parks, walkways, landscaping and lighting. Other objectives include providing landscaped access ways to and from the site as well within the sight.

Parks and open spaces will be equipped with shade shelters, play structures and benches as shown on Landscape Drawings.

Traffic calming techniques such as "bump-outs" at intersection corners, on street parking and alternative paving materials at pedestrian crossings shall be incorporated into the design of the site. In addition, "bump-outs" will provide a space for cluster mailboxes as deemed necessary by the USPS.

**Landscaping:**  
All landscaping shall be in accordance with the Build Green New Mexico Guidelines and shall be of native materials and water conserving as required. All landscaping and pedestrian amenities within public areas and shared private drives shall be maintained by a Home Owners Association. All landscaping should also meet COA requirements.

All common spaces to be irrigated using the City of Albuquerque's non-potable water line.

Lanscaped breezeways abutting the site wall shall provide pedestrian access as well as a visual opening. Gates are acceptable, provided they can be opened from either side.

**Signage:**  
All signage shall conform to the City of Albuquerque sign code (14-6-3-5). This project shall have two monument signs, one at each vehicular entrance to the community located in the median of the boulevard at the western end of the property. There shall be four additional wall mounted signs, one at each of the remaining vehicular entrances into the property. See Conceptual Monument Sign and Site Wall on Sheet A002.

**Design Review and Enforcement:**  
All enforcement and approval of these Design Guidelines shall be under the authority of the Home Owners Association. This does not preclude compliance with COA Zoning Code and Development Review Procedures.

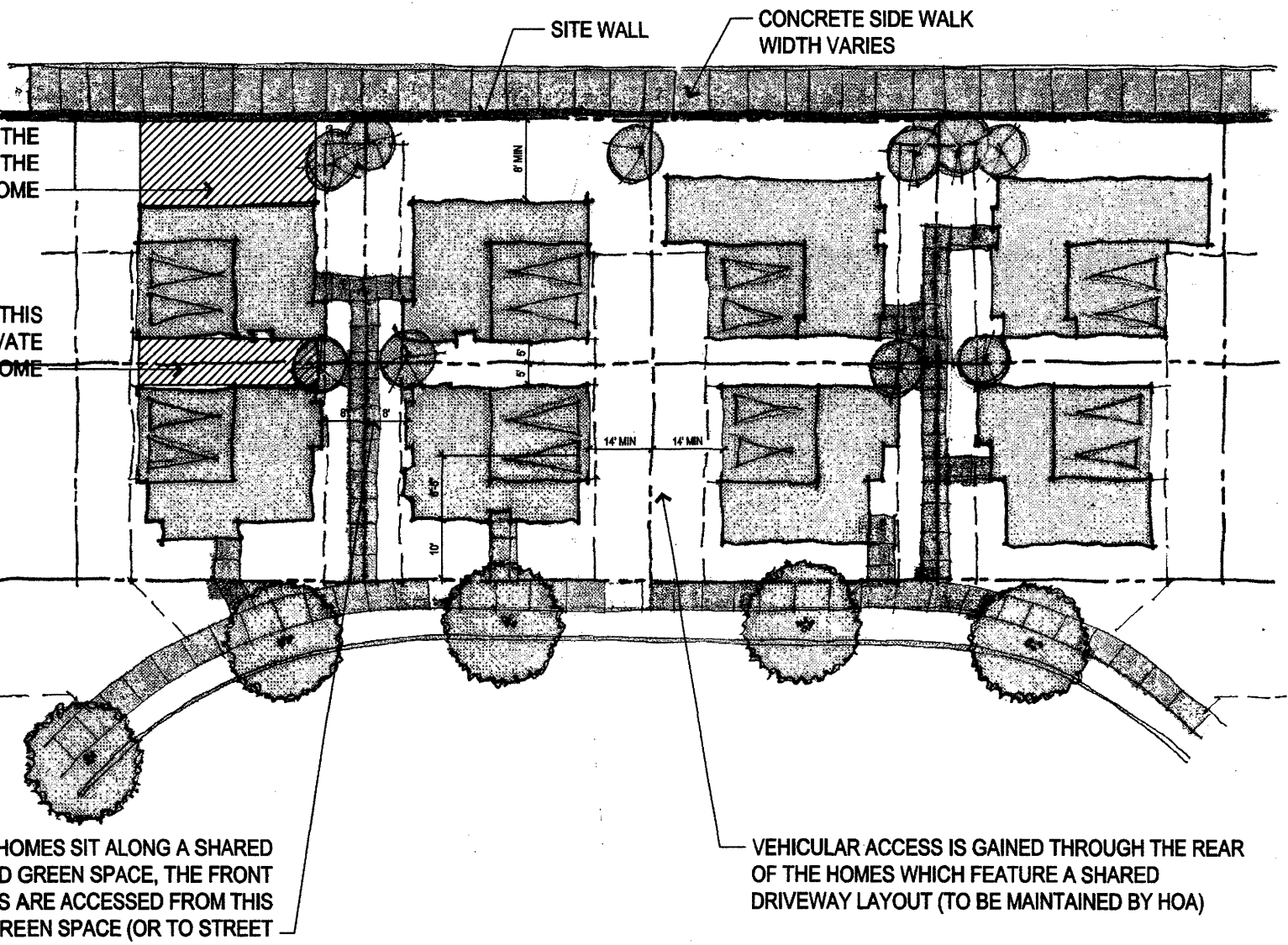
**GENERAL NOTES:**

- The site development plan for building permit for the commercial lot and any amendments to the site development plan for subdivision for Area 1 (affordable housing) shall require EPC approval.
- Future site development plans for the residential lots may proceed directly to building permit.
- Minor amendments to this Site Development Plan for Subdivision shall be approved by the Planning Director in accordance with the Albuquerque Comprehensive City Zoning Code.
- Major amendments to this Site Development Plan for Subdivision shall be approved by the Environmental Planning Commission.

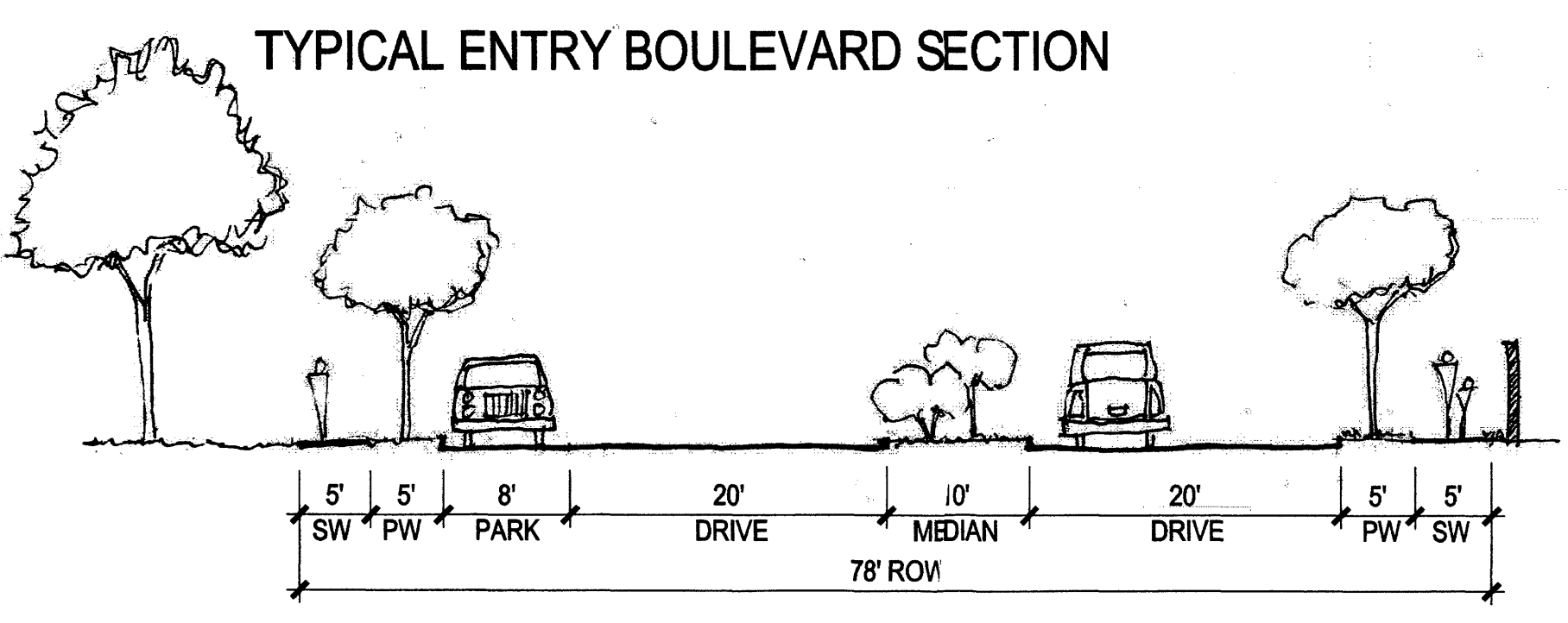
	Area 1	Area 2	Area 3	Area 4	Area 5	Area 6
<b>Description</b>	Single Family Detached - Affordable Housing	Paired Town Homes	Multiple Town Homes	Single Family Detached Homes	Green Court Single Family Homes	Neighborhood Commercial
<b>Approximate Acres</b>	8.39 acres (6.6 du)	7.16 acres (8.7 du)	9.62 acres (10.6 du)	24.11 acres (5.8 du)	6.73 acres (8.9 du)	2.4 acres
<b>Number of Lots</b>	47	62	102	141	60	
<b>Zoning Districts</b>	SU-1 for PDA (R-1)	SU-1 for PDA (R-T)	SU-1 for PDA (R-T)	SU-1 for PDA (R-1)	SU-1 for PDA (GC)	SU-1 for PDA (C1 and O1 uses)
<b>A-Permissive Uses</b>	Single family detached homes and Mobile Homes (1 per lot)*	Single family paired town homes (1 per lot)*	Single family multiple attached town-homes*	Single family detached homes (1 per lot)*	Single family detached homes - GreenCourt*	**
<b>Minimum Lot Width</b>	40' △	30'	25'	40'	45'	
<b>C-Height (*26' Maximum except as permitted in Zone Code Section 14-16-3-3 (A)(7))</b>	26' Maximum* △	26' Maximum* △	26' Maximum* △	26' Maximum* △	26' Maximum* △	26' Maximum* △
<b>D-Lot Size</b>	4,400 sqft △	3,000 sqft △	2,395 sqft △	4,000 sqft △	2,700 sqft △	
<b>E-Setbacks</b>						
<b>Front</b>	10'	20'	10'	20'	0' from Green Court, see E3/A003	
<b>Back</b>	10'	15'	15' from edge of alley easement	15'	15' from Drive Court, see E3/A003	
<b>Sides</b>	5' minimum on interior of lots and 8' on street side of corner lots	10' on corner lots, adjacent to street. 10' between structures	8' on street side of corner lots	(5' interior), 10' on street side of corner lots.	5' from side adjacent to other homes, 10' from streets or property lines adjacent to next quad, and at boundary of housing type, see E3/A003	
<b>F-Off-Street Parking</b>	Per COA Zoning Code Section 14-16-3-1	Per COA Zoning Code Section 14-16-3-1	Per COA Zoning Code Section 14-16-3-1	Per COA Zoning Code Section 14-16-3-1	2 spaces per DU	Based on use
<b>G-Usable Open Space</b>	N/A	550 sqft on site per lot	360 sqft on site per lot	N/A	N/A	Based on use
<b>Notes</b>	Zero lot line setback for permitted non-occupied structures (ex. Detached garage), along the left side of the property when viewed from street				This is a newhousing product, see Exhibit D this sheet.	Max FAR .6

*Text in ITALIC indicates a proposed change to the COA Comprehensive Zoning Code.*

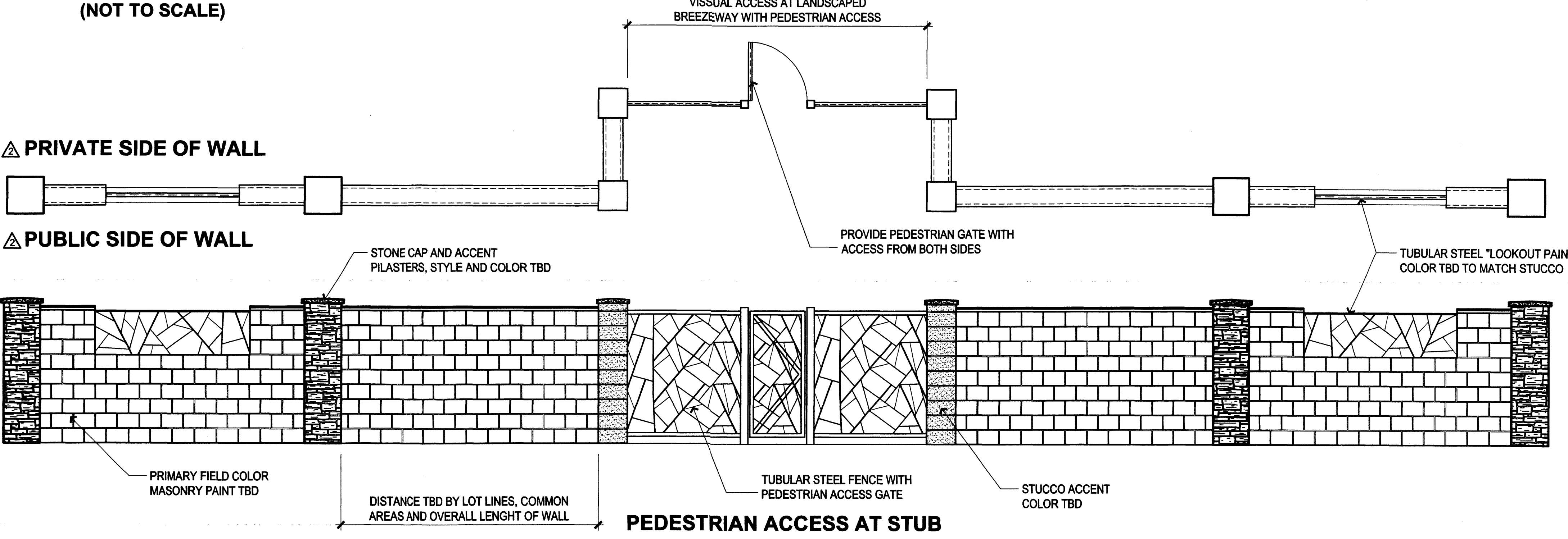
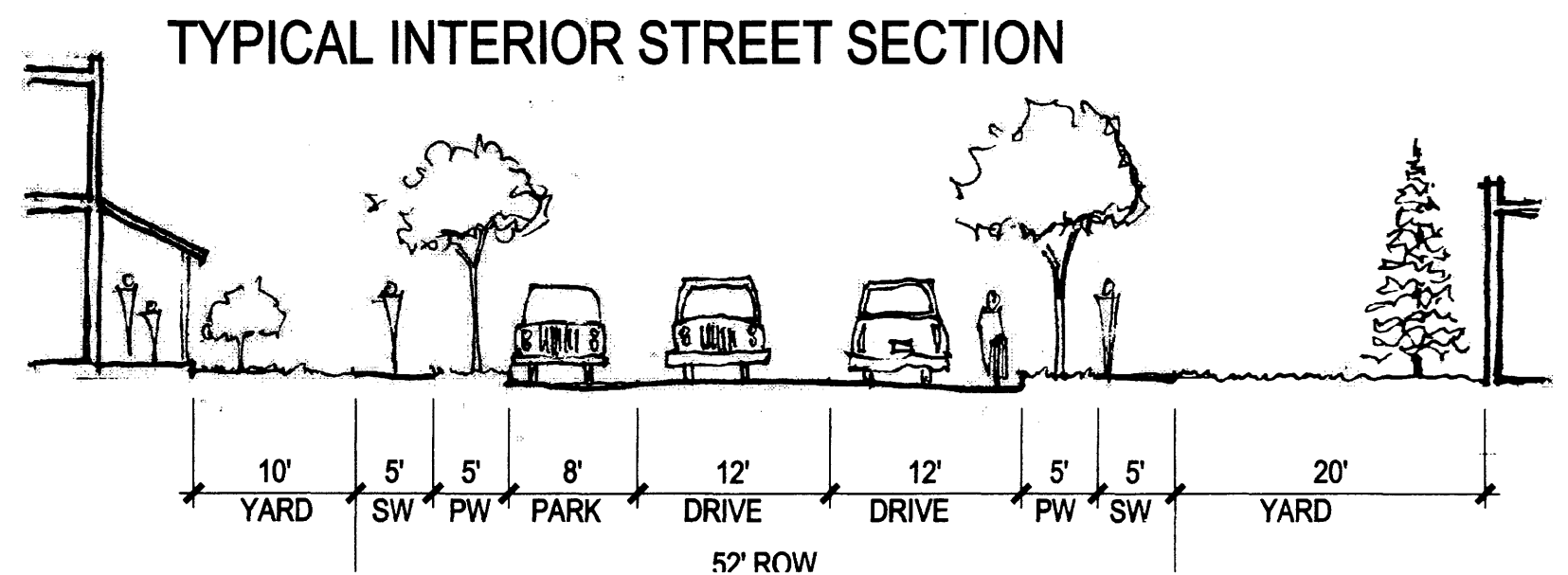
**EXHIBIT C: MONTERRA DEL REY ZONING CODE BREAKDOWN (NOT TO SCALE)**



**EXHIBIT D: MONTERRA DEL REY GREEN COURT HOUSING LAYOUT (NOT TO SCALE)**



**CONCEPTUAL STREET SECTION (NOT TO SCALE)**



**CONCEPTUAL SITE WALL (NOT TO SCALE)**

**PEDESTRIAN ACCESS AT STUB STREET WITHIN BLOCK M SHALL BE SIMILAR TO OPENING AT BREEZWAYS WITH GATES PROVIDED AT EACH SIDE WALK LOCATION.**

**\*Uses not permitted for R-1 and R-T Residential Zoning Use:**  
Based on Section 14-16-2-6 R-1 Residential Zoning, the following uses are not permitted under the Special Use Permit for Planned Development Area for Monterra Del Rey Project.

- Accessory Uses not allowed:**
1. Agricultural animal keeping, for noncommercial purposes, as follows: rabbits and similar animals, poultry, pigeons.
  2. Antenna (noncommercial) up to 65 feet in height
  3. Recreational vehicle, boat, or boat-and-boat trailer parking restricted by covenants.
  4. Trailer parking allowed if screened from public view, as described in covenants.
  5. Public school, including caretaker's mobile home.
  6. Wireless Telecommunications Facility

- Conditional Uses not allowed:**
1. Accessory living quarters
  2. Health care, including physicians, massage, therapy, etc. (but not nursing homes).
  3. Public library
  4. Public utility structure
  5. Recreational facility (non-profit), such as community center, swimming pool, tennis club.
  6. Second kitchen within a house.

**\*\*Uses not permitted for C-1 and O-1:**  
Based on Section 14-16-2-16 C-1 Neighborhood Commercial Zoning, the following uses are not permitted under the Special Use Permit for Planned Development Area for Monterra Del Rey Project.

- Permissible Uses not allowed:**
1. Antenna, up to 65 feet in height
  2. Park and ride temporary facilities
  3. Public utility structure
  4. Retail sales of the following goods, plus incidental retailing of related goods and incidental service or repair:
    - a. Auto parts and supply
    - b. Christmas trees, including outside sales, provided the use is limited to 45 days in one calendar year.
    - c. Gasoline, oil, liquefied petroleum gas, including outside sales.
    - d. Hardware, building materials, provided it is in a completely enclosed building.
  5. Radio and television station
  6. Services:
    - a. Automobile, bicycle and motorized bicycle (moped) repairing, but no body work.
    - b. Car washing
    - c. Parking lot, as regulated in the O-1 zone
    - d. Taxidermy
  7. Wireless Telecommunications Facility

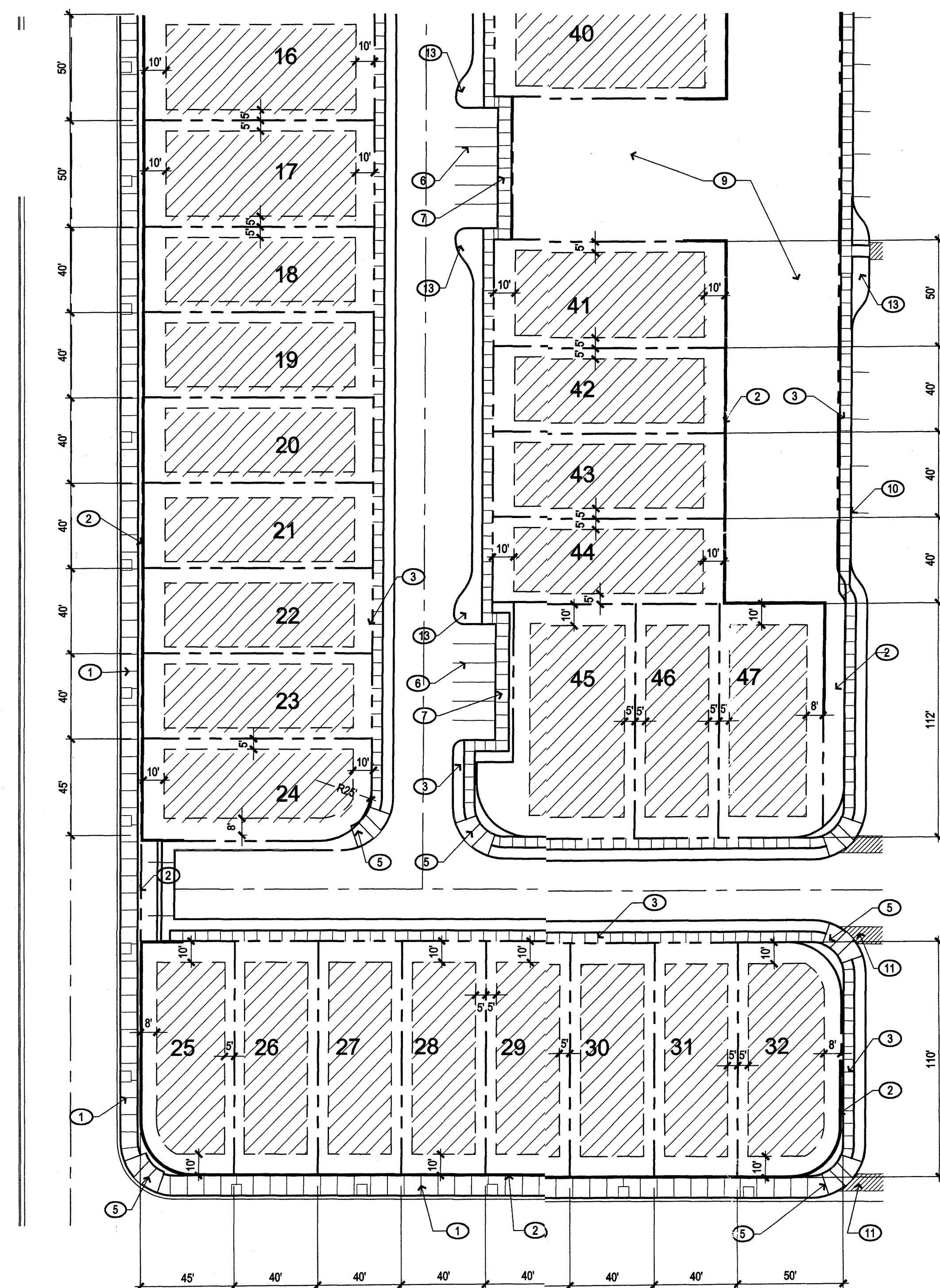
- Conditional Uses not allowed:**
1. Antenna, over 65 feet in height
  2. Community Residential Program except not either Community Residential corrections program or Community residential program for substance abusers.
  3. Auto, trailer, and truck rental, service, storage.
  4. Drive-up service window, except where listed as permissible in this zone, provided that the vehicle movement plan is approved by the Traffic Engineer, and further provided that the service window in existence upon the effective date of this Zoning Code shall be considered as approved conditional uses.
  5. Fireworks sales
  6. Mortuary
  7. Outdoor storage or activity
  8. Park-and-ride joint use facilities
  9. Public utility structure
  10. Use or activities in a tent.
  11. Wireless Telecommunications Facility, Roof-Mounted, up to 20 feet above the parapet of the building.

**KEYED NOTES**

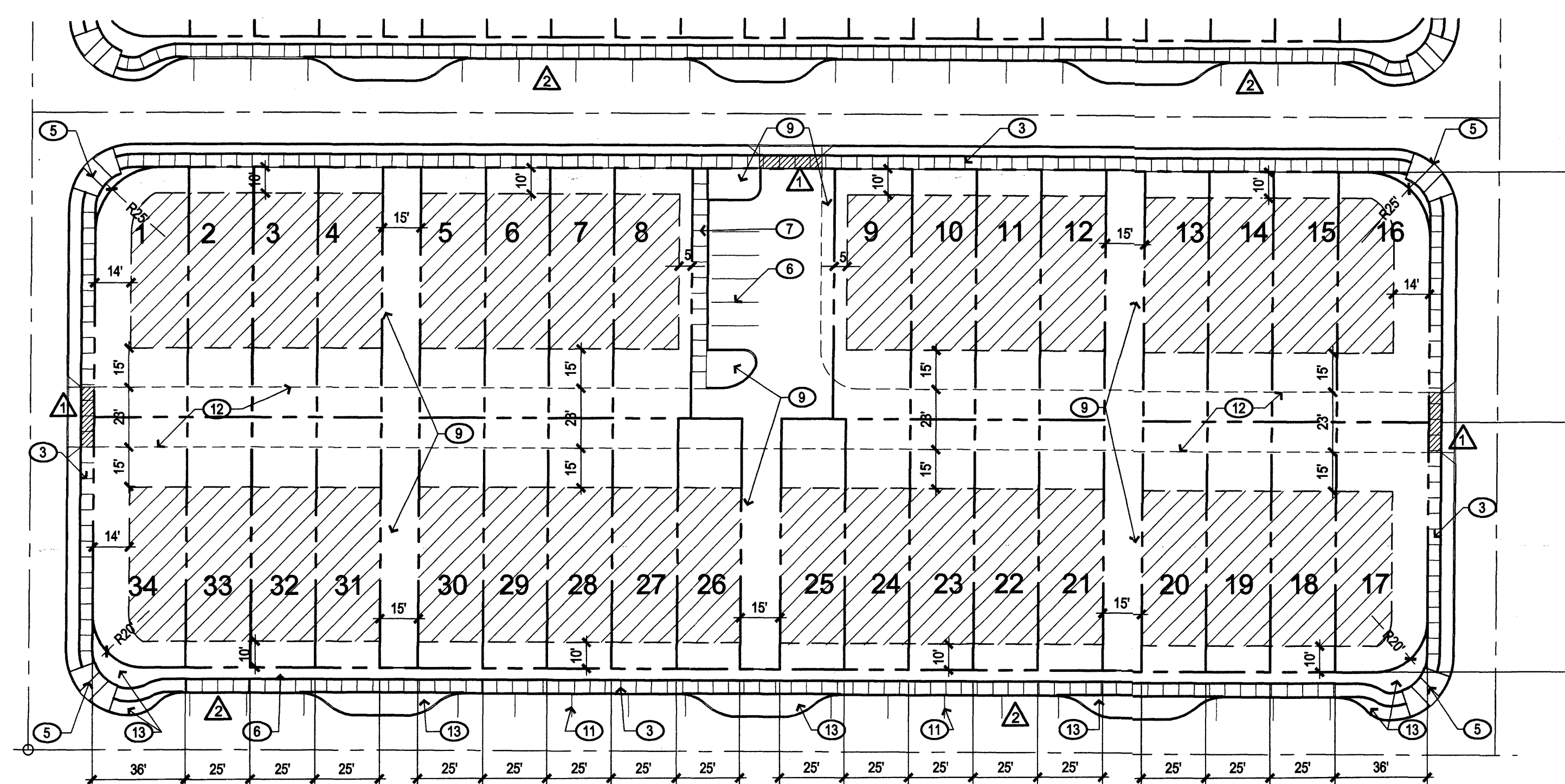
1. CONCRETE SIDEWALK (WIDTH VARIES)
2. CMU SITE WALL, SEE XX/XXX
3. CONCRETE SIDEWALK (5' WIDE)
4. UTILITY AND DRAINAGE EASEMENT
5. ACCESSIBLE SIDEWALK RAMP, PER COA STANDARD DETAIL #2418
6. PERPENDICULAR PARKING (9'X20')
7. CONCRETE SIDEWALK (6' WIDE)
8. LANDSCAPED MEDIAN, SEE XX/XXX
9. LANDSCAPED COMMON AREAS AND PARKS SEE LANDSCAPE PLANS (TO BE MAINTAINED BY H.O.A.)
10. PARALLEL PARKING
11. 8' WIDE CROSS-WALK
12. ACCESS DRIVE ALLEY (PRIVATE, TO BE MAINTAINED BY H.O.A.)
13. LANDSCAPED BUMP-OUT
14. MONUMENT SIGN, SEE SHEET A002
15. WALL MOUNTED ENTRANCE SIGN, SIMILAR TO MONUMENT SIGN

**GENERAL NOTES**

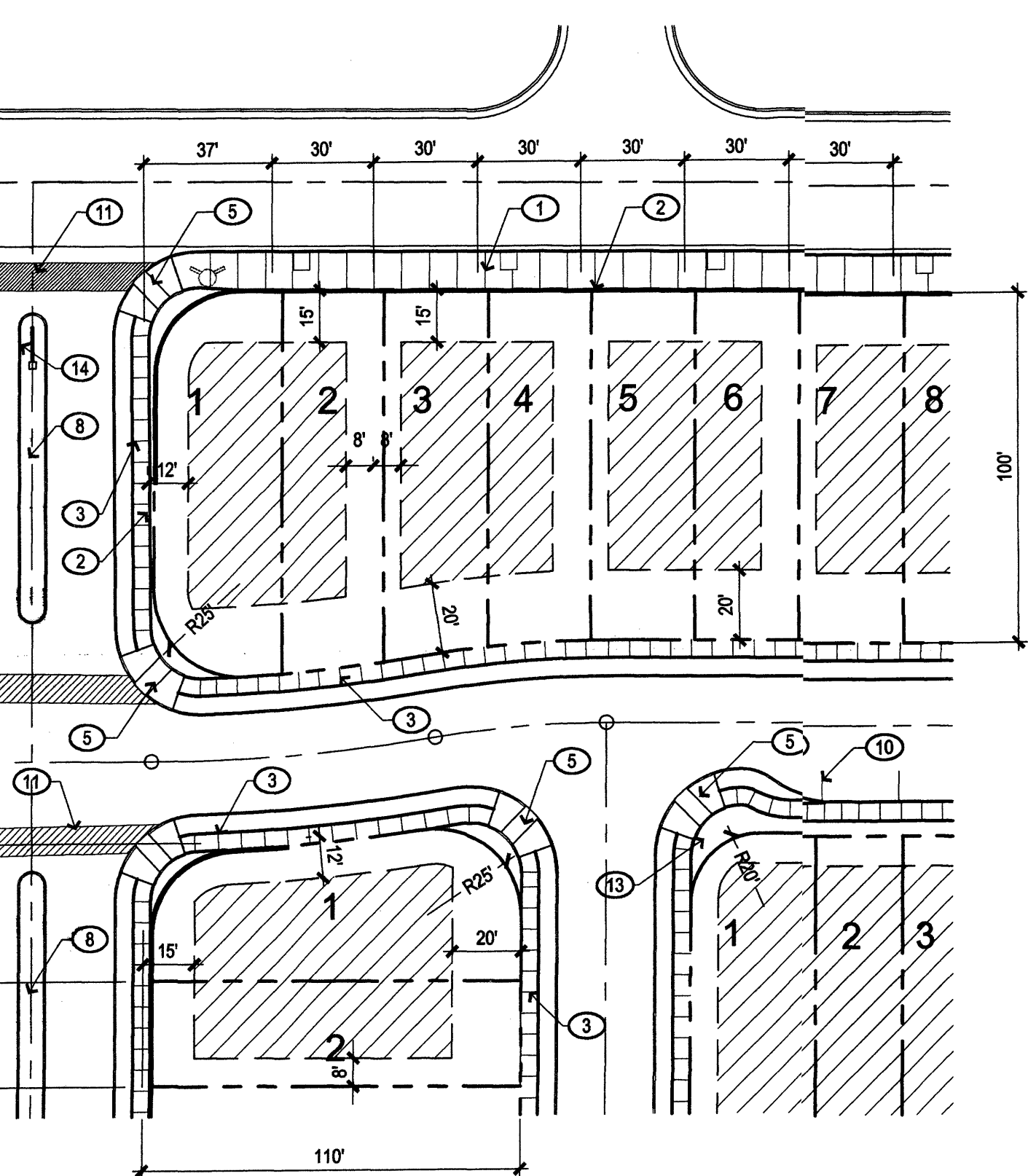
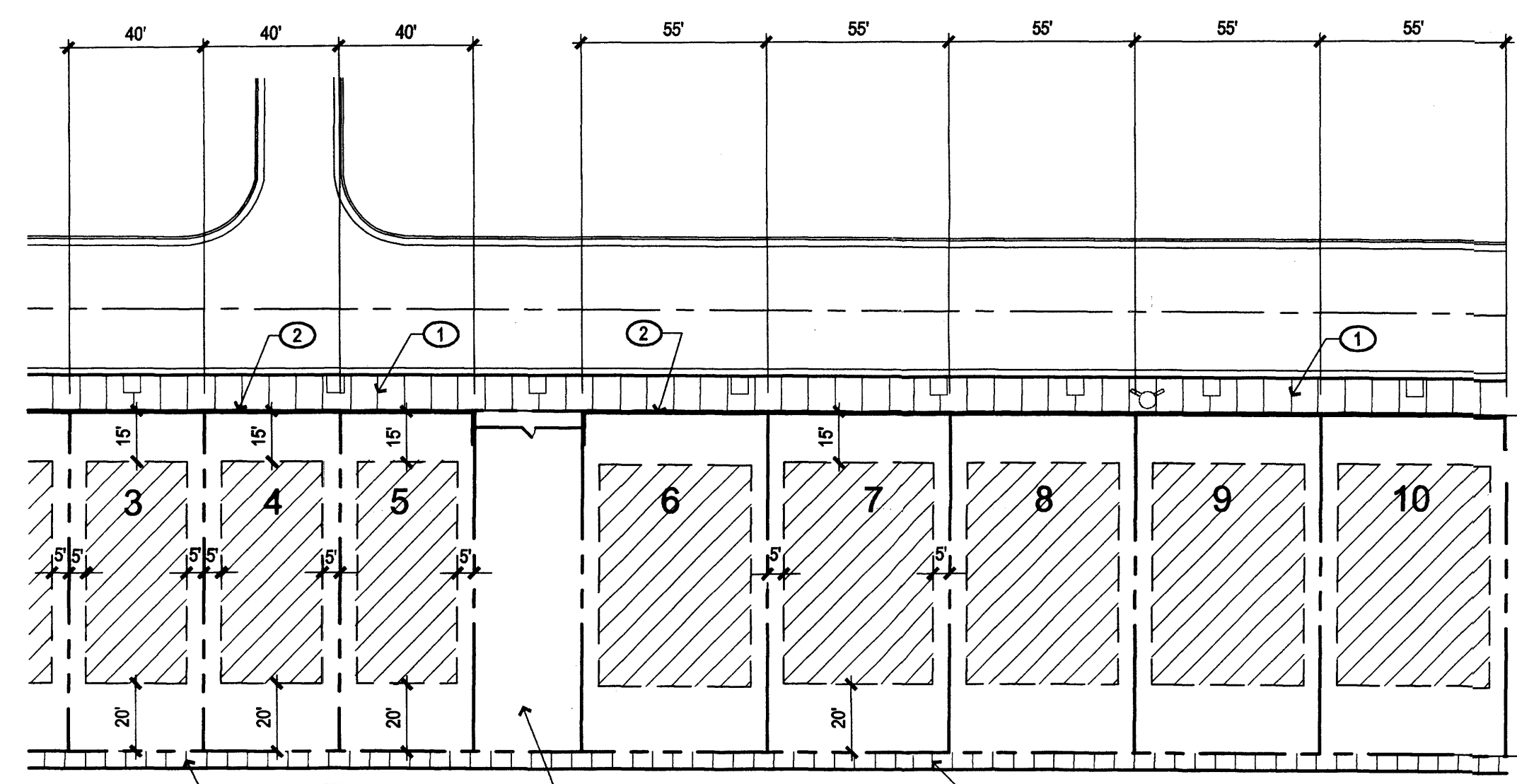
- A. SEE LANDSCAPE SHEETS L001 AND L002 FOR TYPICAL LANDSCAPES AND FOR COMMON SPACE LANDSCAPE LAYOUT. (ALL LANDSCAPE AREAS TO BE MAINTAINED BY H.O.A.)
- B. SEE EXHIBIT C ON SHEET A002 FOR FULL ZONING REQUIREMENTS FOR EACH AREA.



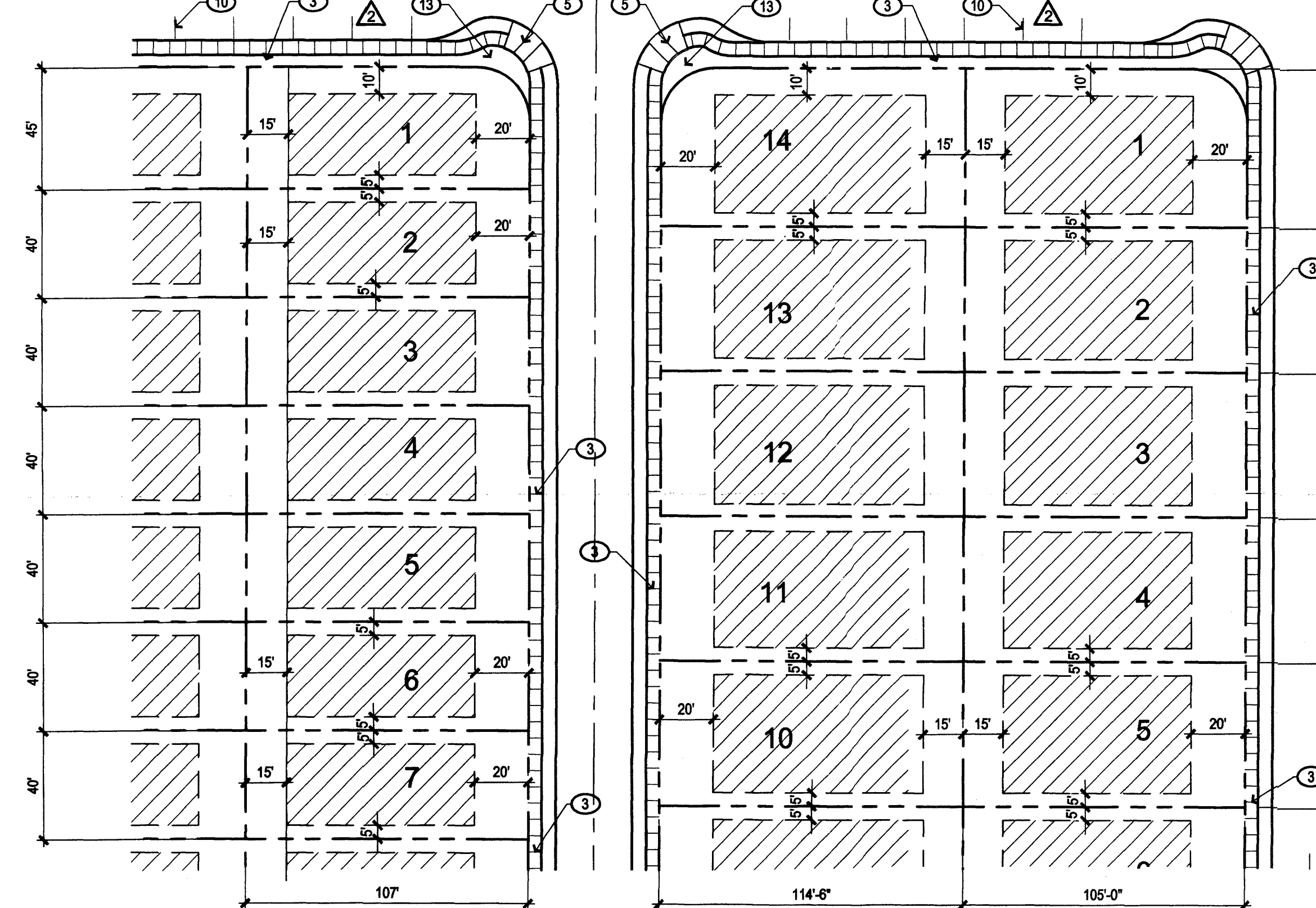
**C1 AREA 1**  
SINGLE FAMILY DETACHED (ALLOW MH)  
1"=40'-0"



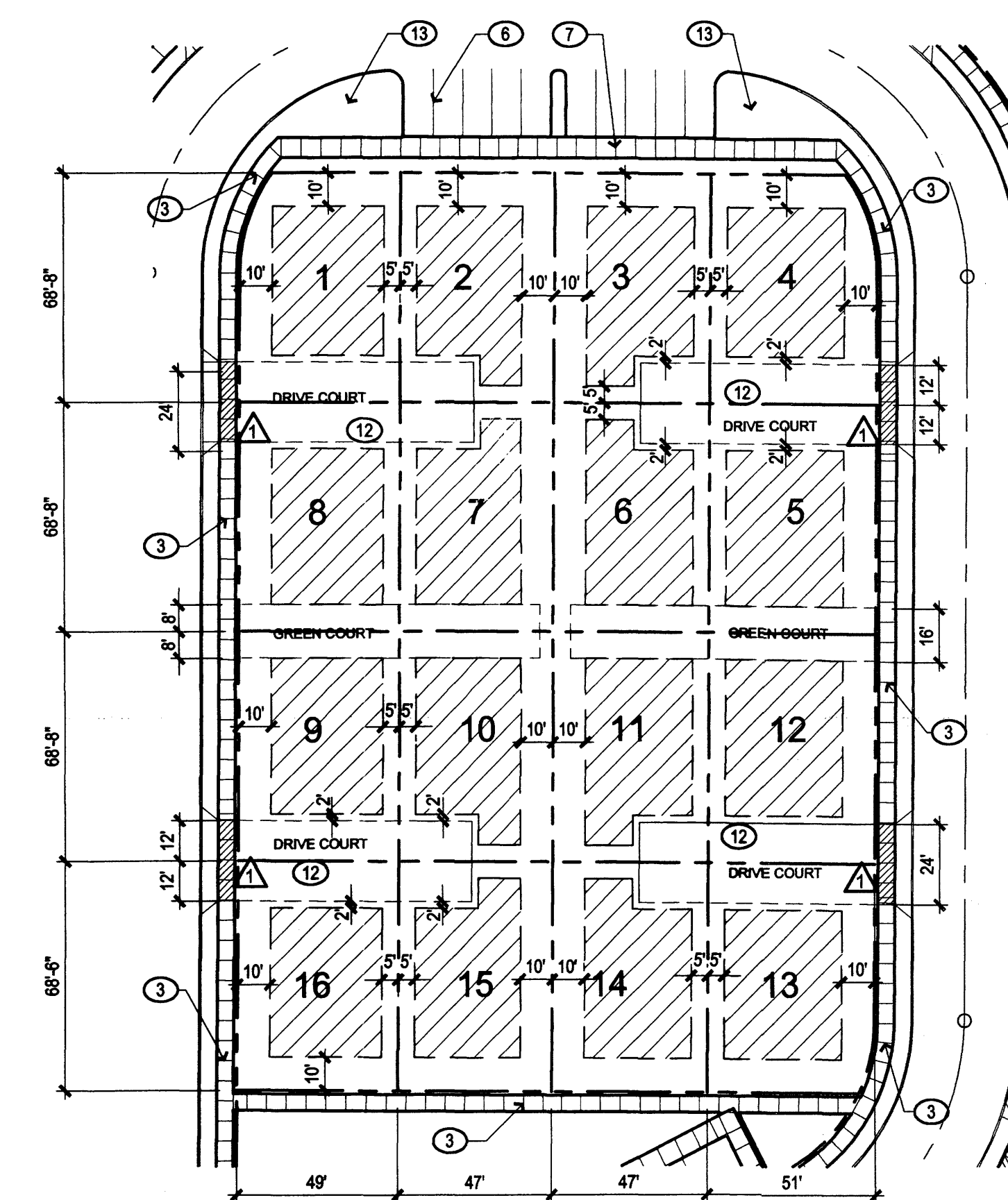
**B2 AREA 3**  
MULTIPLE TOWN HOMES  
1"=40'-0"



**E1 AREA 2**  
PAIRED TOWN HOMES  
1"=40'-0"



**E2 AREA 4**  
SINGLE FAMILY DETACHED  
1"=40'-0"



**E3 AREA 5**  
GREEN COURT HOUSING  
1"=40'-0"

NOTE: THE GREEN COURT HOUSING IS A NEW PRODUCT TYPE AND HAS SPECIFIC REQUIREMENTS FOR SETBACKS AND SHARED EASEMENTS SEE EXHIBIT D ON SHEET A002 FOR TYPICAL HOUSING LAYOUT FOR THIS AREA.

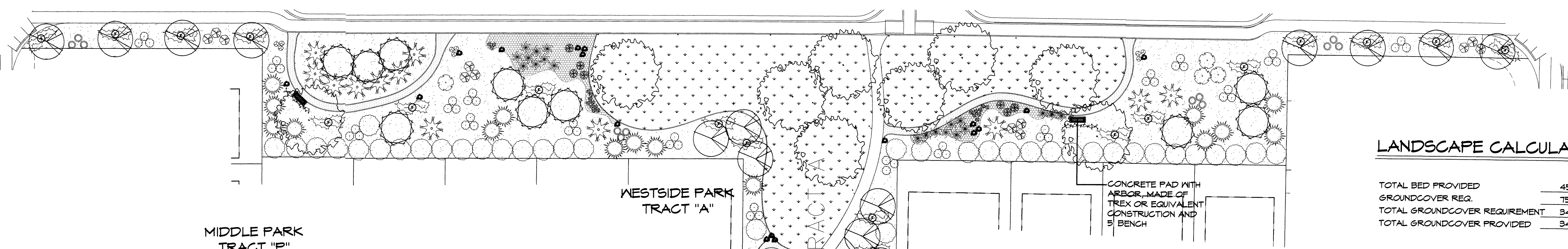
**Monterra Del Rey**  
Louisiana Boulevard  
Albuquerque, New Mexico

REVISIONS

10/19/2007	EPC Conditions
03/31/2008	DRB Comments

DRAWN BY: faw  
REVIEWED BY:  
DATE: 10/2/07  
PROJECT NO.: 07034  
DRAWING NAME:

Site Development  
Plan for Subdivision  
Enlarged Area Plans



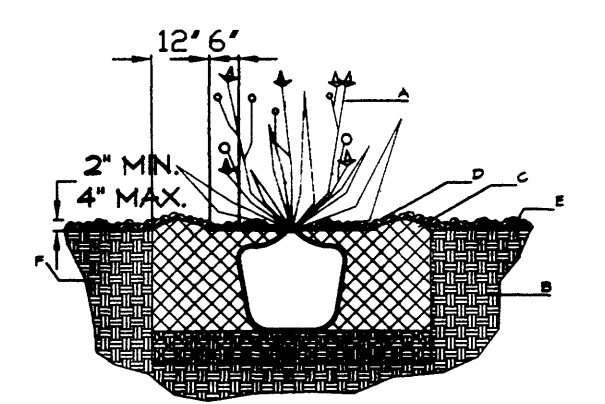
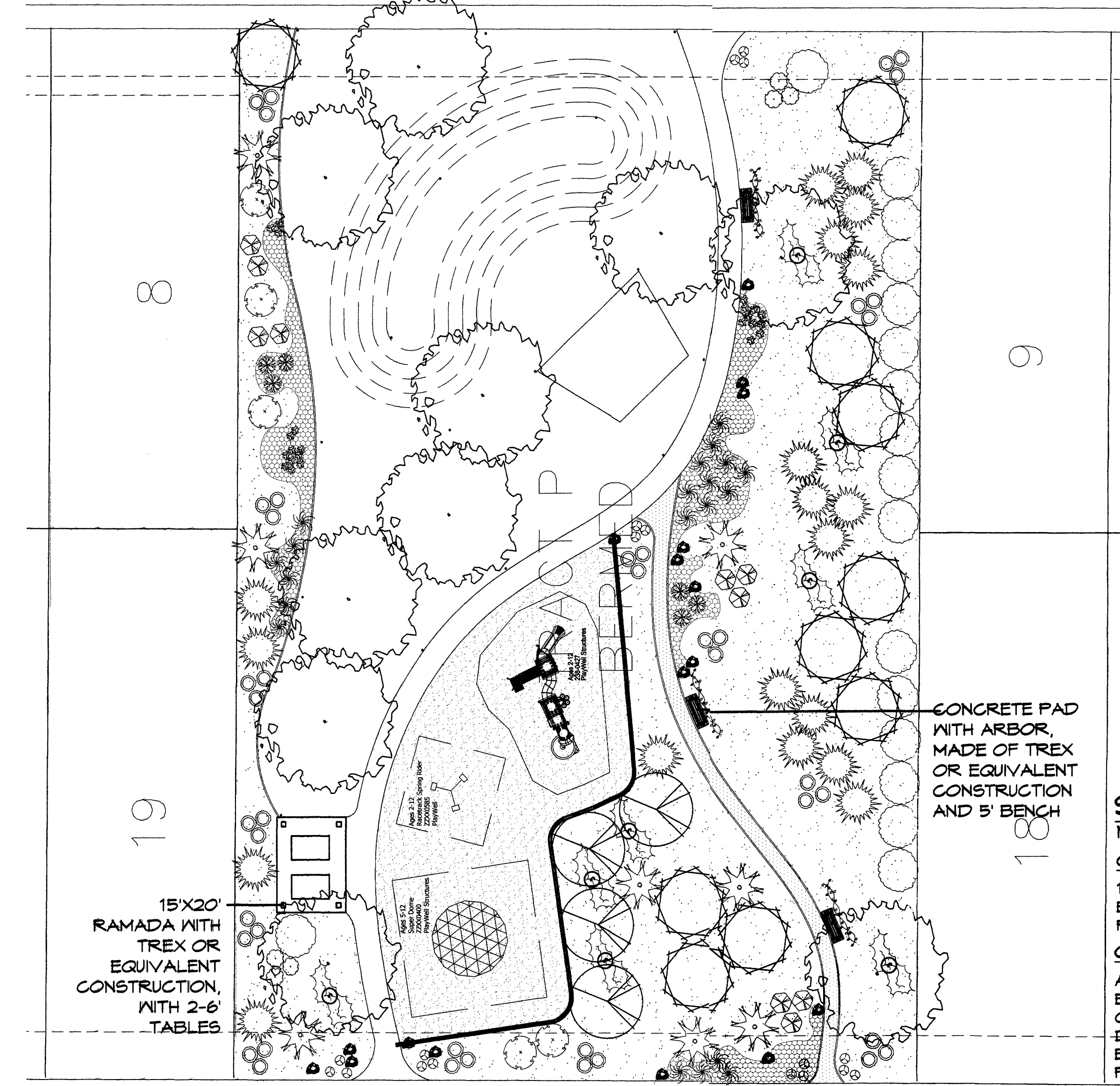
**LANDSCAPE CALCULATIONS**

Parks	
TOTAL BED PROVIDED	45376 square feet
GROUND COVER REQ.	75% square feet
TOTAL GROUND COVER REQUIREMENT	34032 square feet
TOTAL GROUND COVER PROVIDED	34243 (75%) square feet

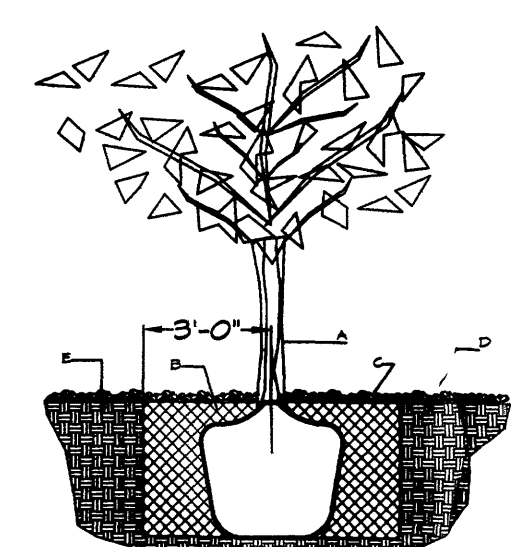
**PLANT LEGEND**

- PARKS**
- ASH (H) OR HONEY LOCUST (M)  
Fraxinus pennsylvanica  
Gleditsia triacanthos  
2" Gal.
  - OR  
CHINESE PITASCHIE (M)  
Fistachia chinensis  
2" Gal.
  - FARNEY COTONEASTER (L)  
Cotoneaster lacteus  
5 Gal. 144sf
  - BIRD OF PARADISE (L)  
Caesalpinia gilliesii  
5 Gal. 100sf
  - TURPENTINE BUSH (L+)  
Ericameria laricifolia  
1 Gal. 16sf
  - BEARGRASS (L+)  
Nolina microcarpa  
5 Gal. 36sf
  - MISTERIA  
Misteria sinensis  
1 Gal. climbing to 20'
  - EASTERN REDBUD (M)  
Cercis canadensis  
2" Gal. 30' H x 30' W
  - SPANISH BROOM (M)  
Genista hispanica  
5 Gal. 16sf
  - PAMPAS GRASS (M)  
Cortaderia selloana  
5 Gal. 100sf
  - FERNBUSH (L+)  
Chamaebatiaria millefolium  
5 Gal. 25sf
  - CREeping ROSEMARY (L)  
Rosmarinus officinalis Prostrata  
1 Gal. 36sf  
Symbol indicates 3 plants
  - VITEX (M)  
Vitex agnus-castus  
15 Gal. 225 sf, 20' H x 20' W
  - OR  
NEB MEXICO OLIVE (L)  
Forsytheria neomexicana  
15 Gal. 225sf, 15' H x 15' W
  - MAIDENGRASS (M)  
Miscanthus sinensis  
5 Gal. 16sf
  - SAND DROPSEED (L)  
Sporobolus cryptandrus  
1 Gal. 4sf
  - THREADGRASS (L+)  
Stipa tenuissima  
1 Gal. 4sf
  - WILDFLOWER  
1 Gal. 4sf

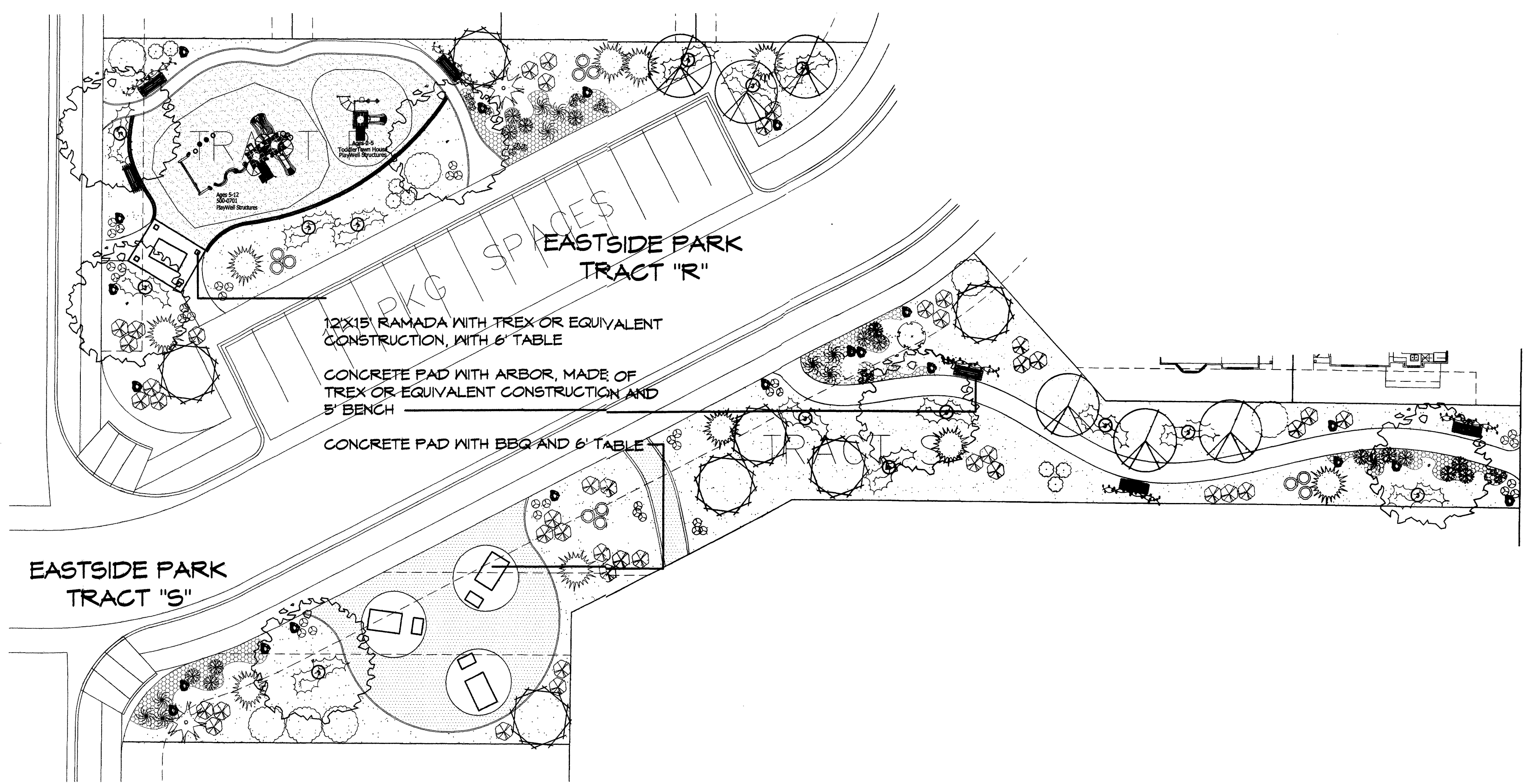
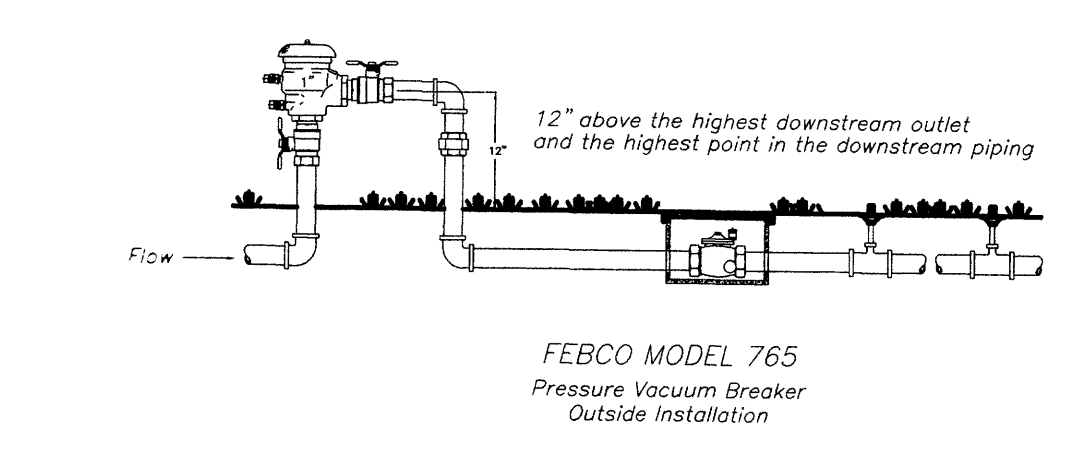
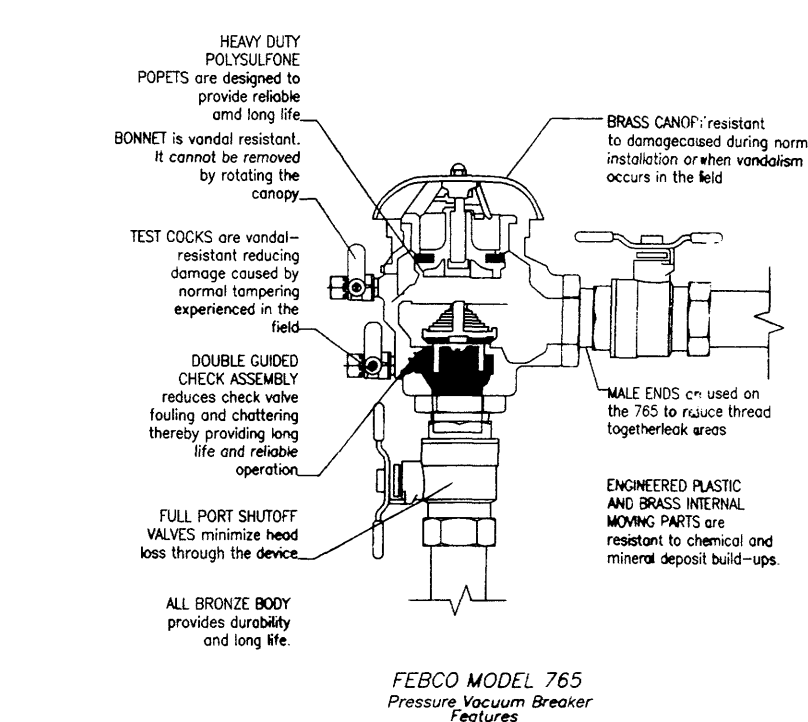
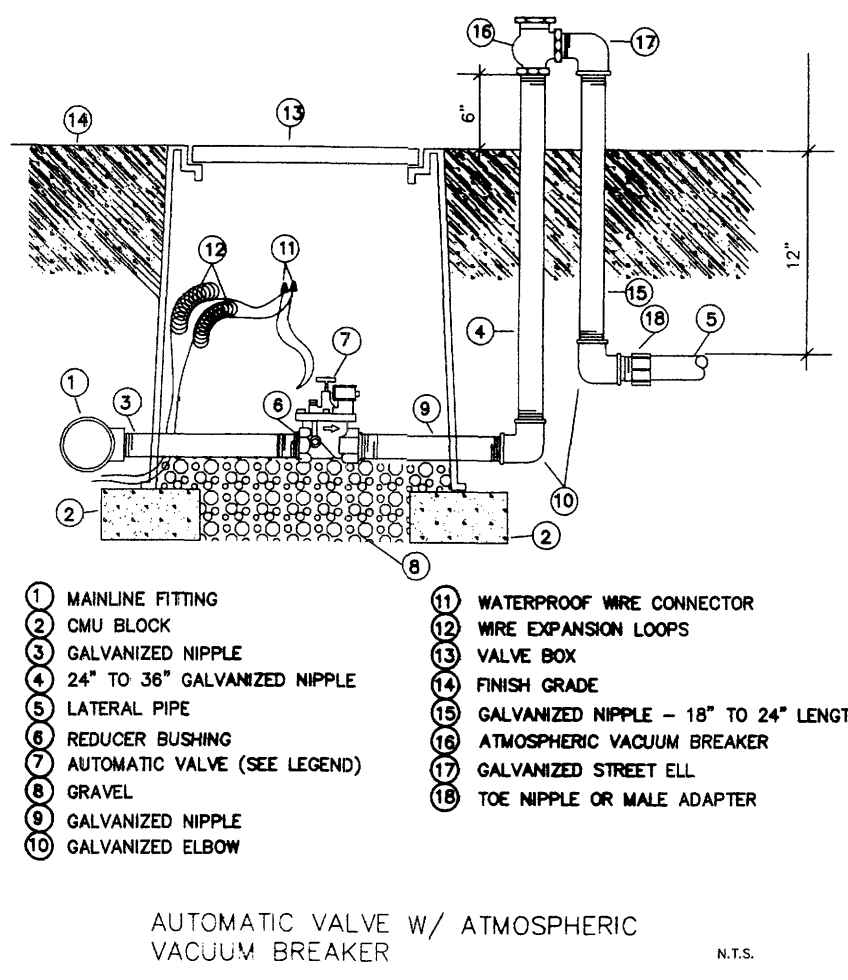
- NATURAL EDGE
- COMMERCIAL GRADE STEEL EDGE
- 6" CONCRETE MONCURB
- LOW WATER MEADOW GRASSES WITH WILDFLOWERS AND STRETCH IRRIGATION
- SANTA ANA TAN GRAVEL WITH FILTER FABRIC
- COMPACTED SANTA FE BROWN CRUSHERFINE PATH
- COBBLESTONE ACCENT WITH FILTER FABRIC
- COMPACTED GREY CRUSHERFINE PATH
- BIO-ENGINEERED WOODFIBER/COMPACTED 12" DEPTH/ ADA ACCESSIBLE



- GENERAL NOTES:**
- THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:**
- SHRUB.
  - BACKFILL WITH EXISTING SOIL.
  - EARTH BERM AROUND WATER RETENTION BASIN.
  - 3" DEPTH OF GRAVEL MULCH.
  - FINISH GRADE.
  - UNDISTURBED SOIL.



- GENERAL NOTES:**
- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
  - TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
  - PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
  - PRIOR TO BACKFILLING ALL BURIAL SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
- CONSTRUCTION NOTES:**
- TREE.
  - BACKFILL WITH EXISTING SOIL.
  - 3" DEPTH OF GRAVEL MULCH.
  - UNDISTURBED SOIL.



**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner and/or the Home Owners Association. The Property Owner and/or the Home Owners Association shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner and/or the Home Owners Association. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Santa Ana Tan Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

**NOTE TO CLIENT:**  
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap. In lieu of the specified gravel to stabilize the slope. All vegetative material shall remain per plan.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

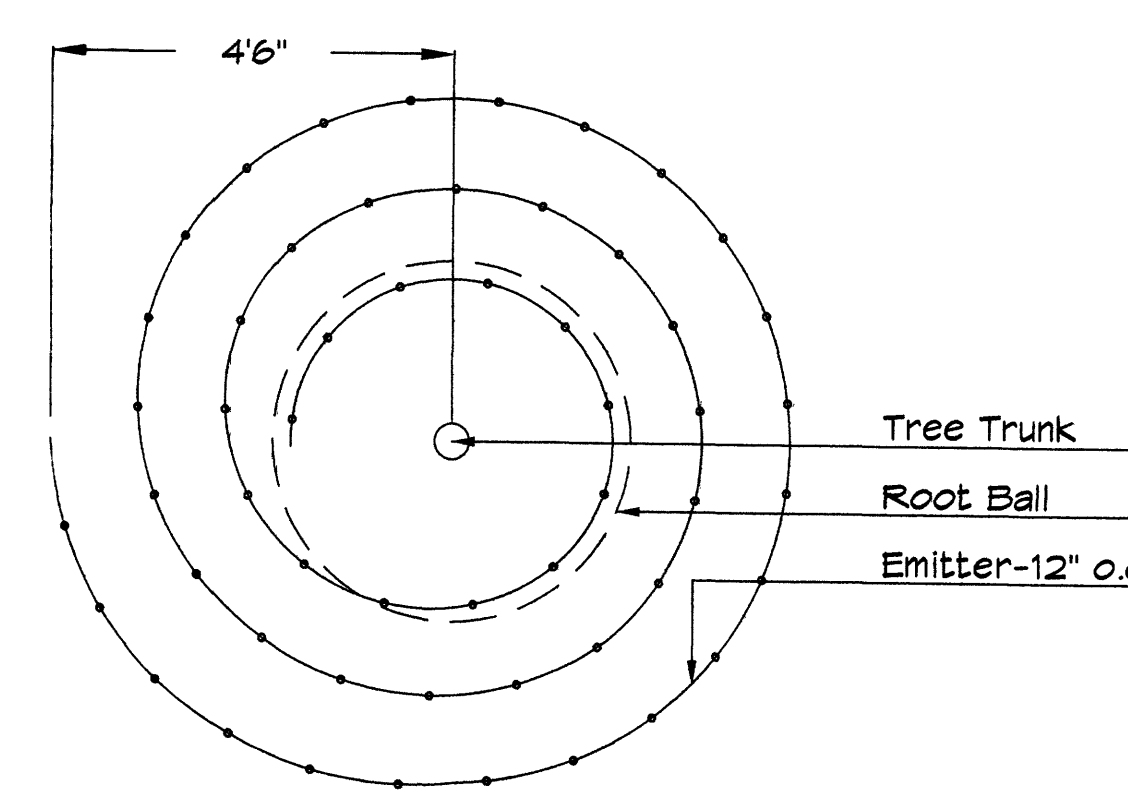
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner and/or the Home Owners Association.

Water and Power source shall be the responsibility of the Developer/Builder.

Site will be connected to the City of Albuquerque's non-potable water line and this water will be used to irrigate common areas.



**Netafim Spiral Detail**

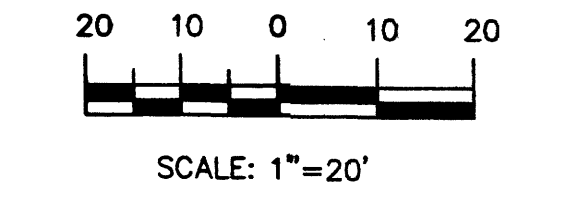
- 10 comments/site plan rmc 4-11-08
- 11 comments rmm 3-21-08

**REVISIONS**

NO.	DESCRIPTION	DATE
1	site plan revision	adf 3-31-08
2	site plan revision	adf 4-9-08
3	site plan revision	rmm 8-1-07
4	site plan revision	cmj 8-31-07
5	EPC comments	rmm 10-02-07
6	site plan revision	rmm 2-28-08
7	comments	rmm 3-12-08
8	comments	rmm 3-14-08

DRAWN BY: \_\_\_\_\_  
REVIEWED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_  
PROJECT NO.: 01034  
DRAWING NAME: \_\_\_\_\_

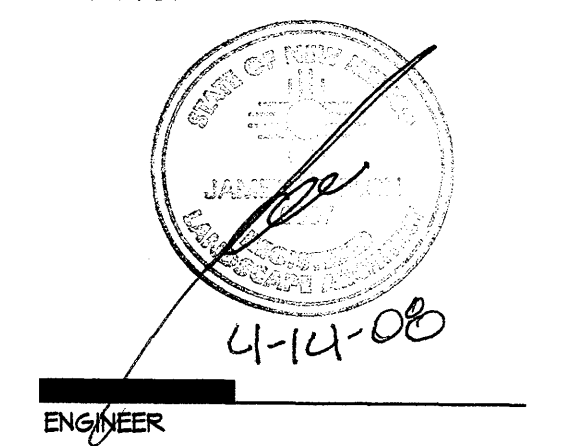
**GRAPHIC SCALE**



**The Hilltop**  
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Albuquerque, NM 87184  
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cjohnson@hilltoplandscaping.com

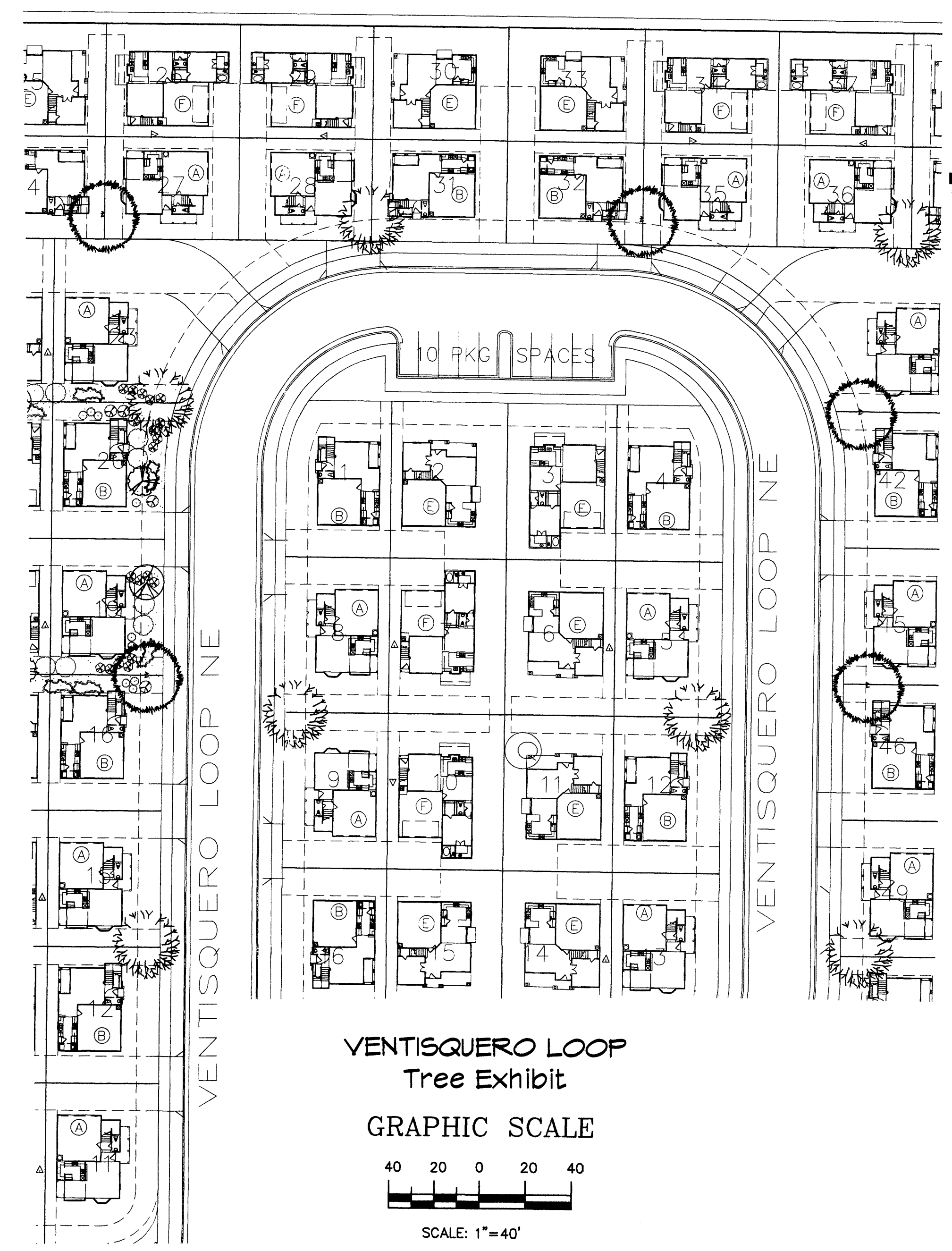
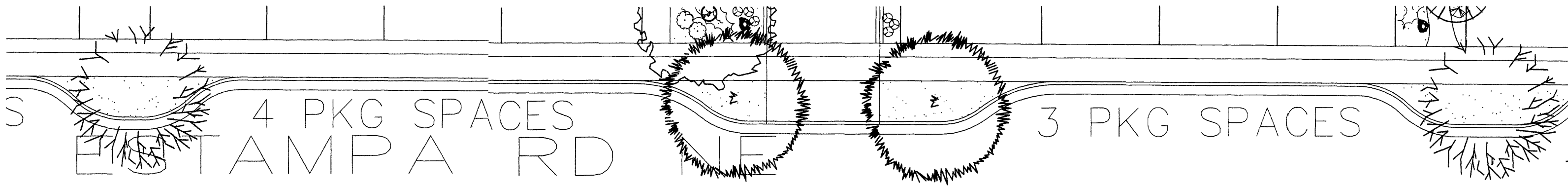
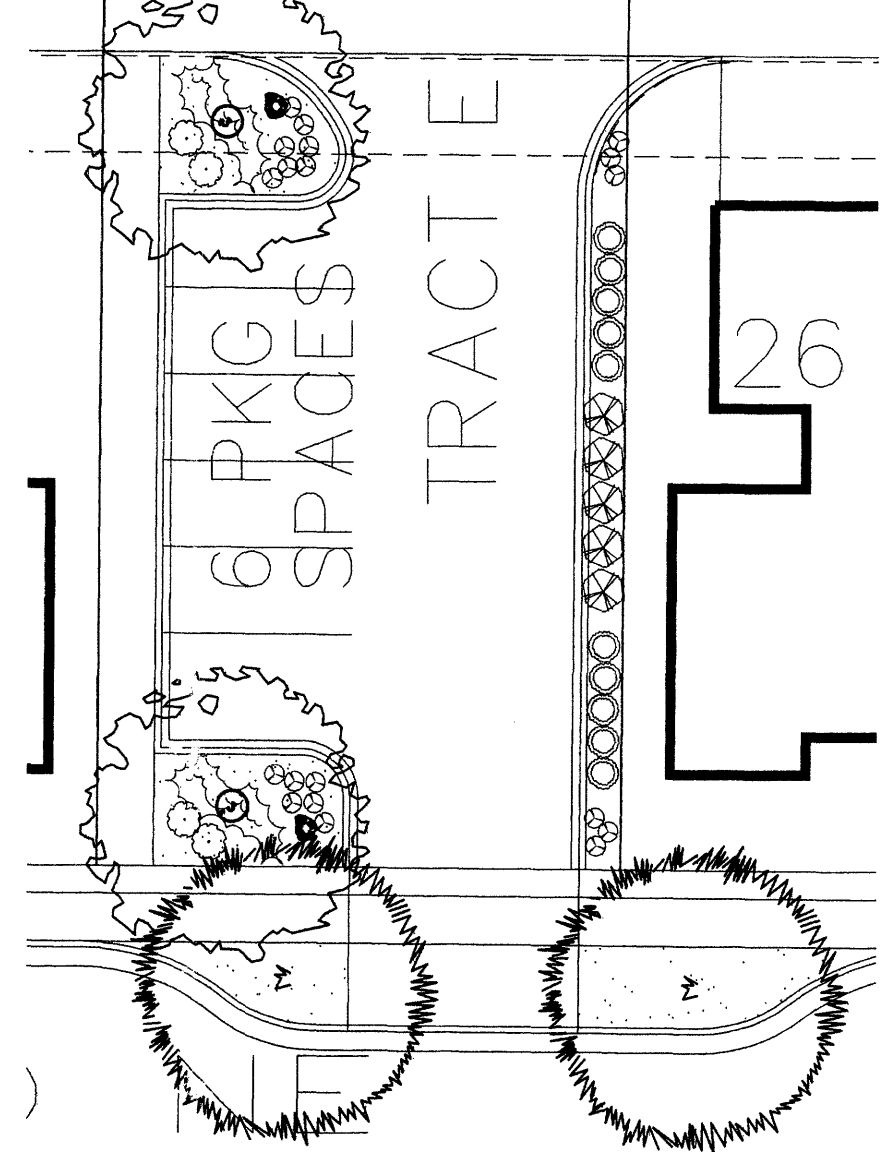
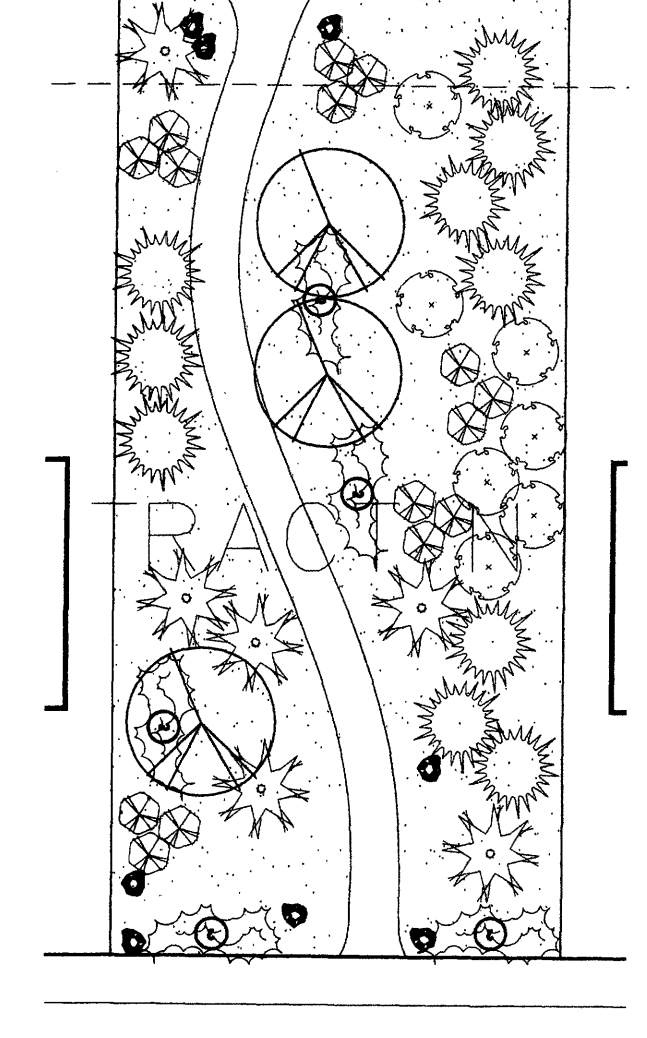
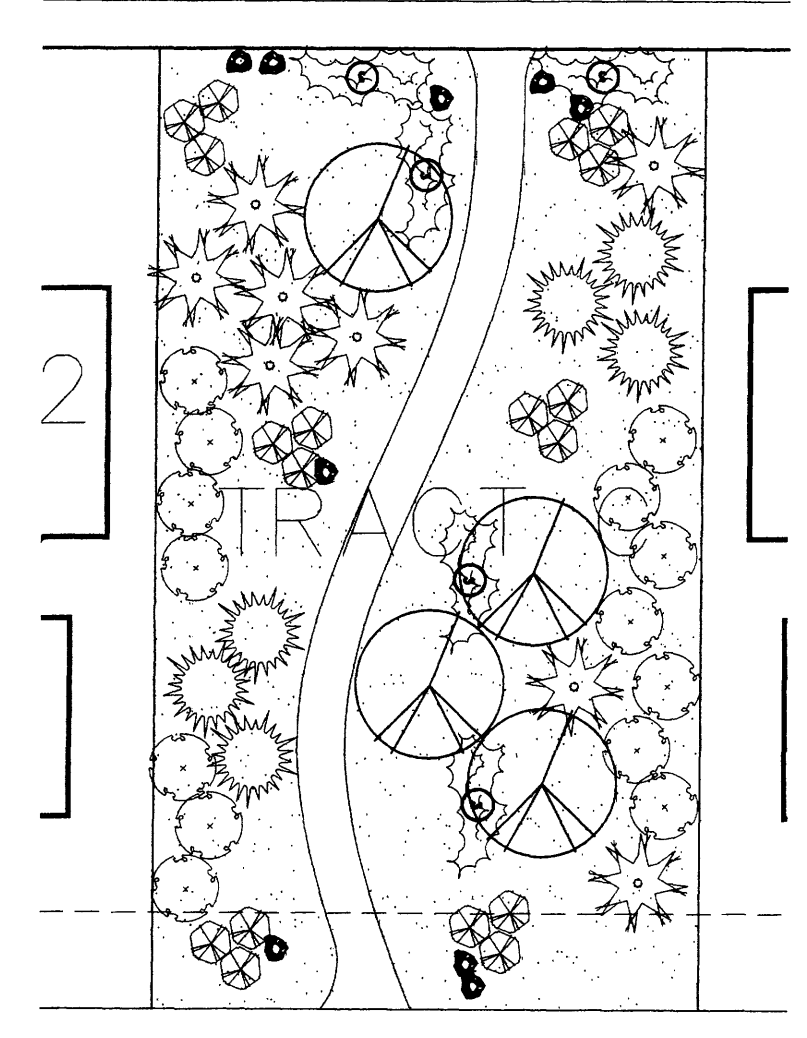
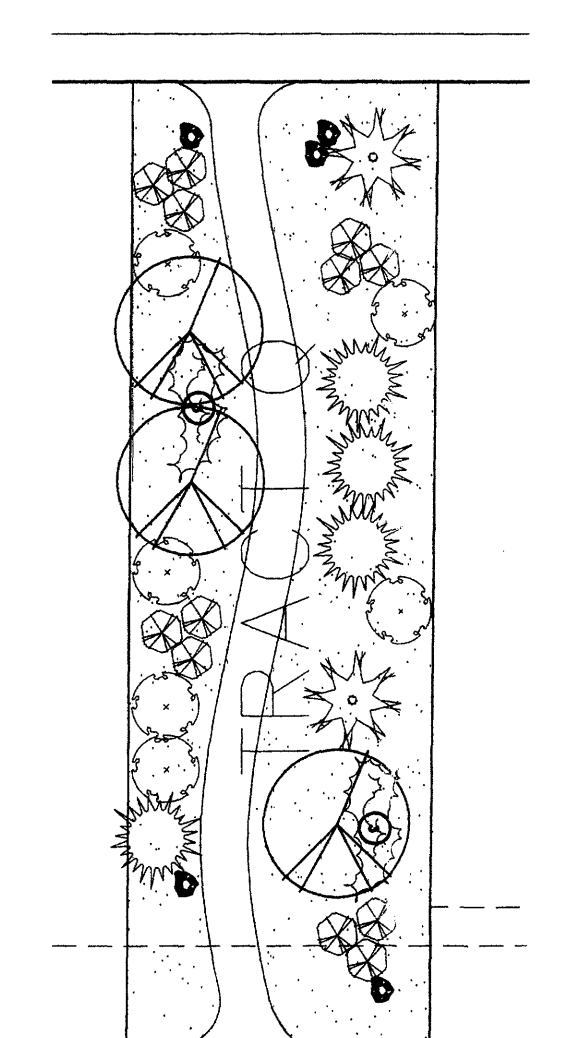
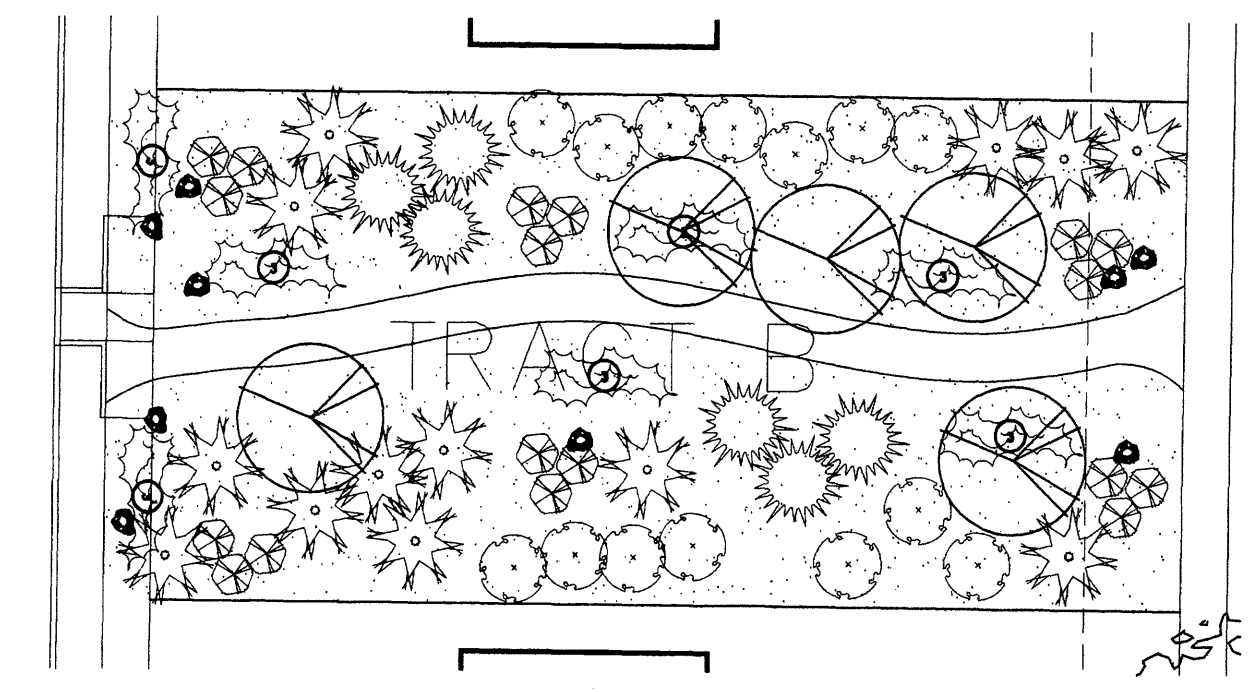
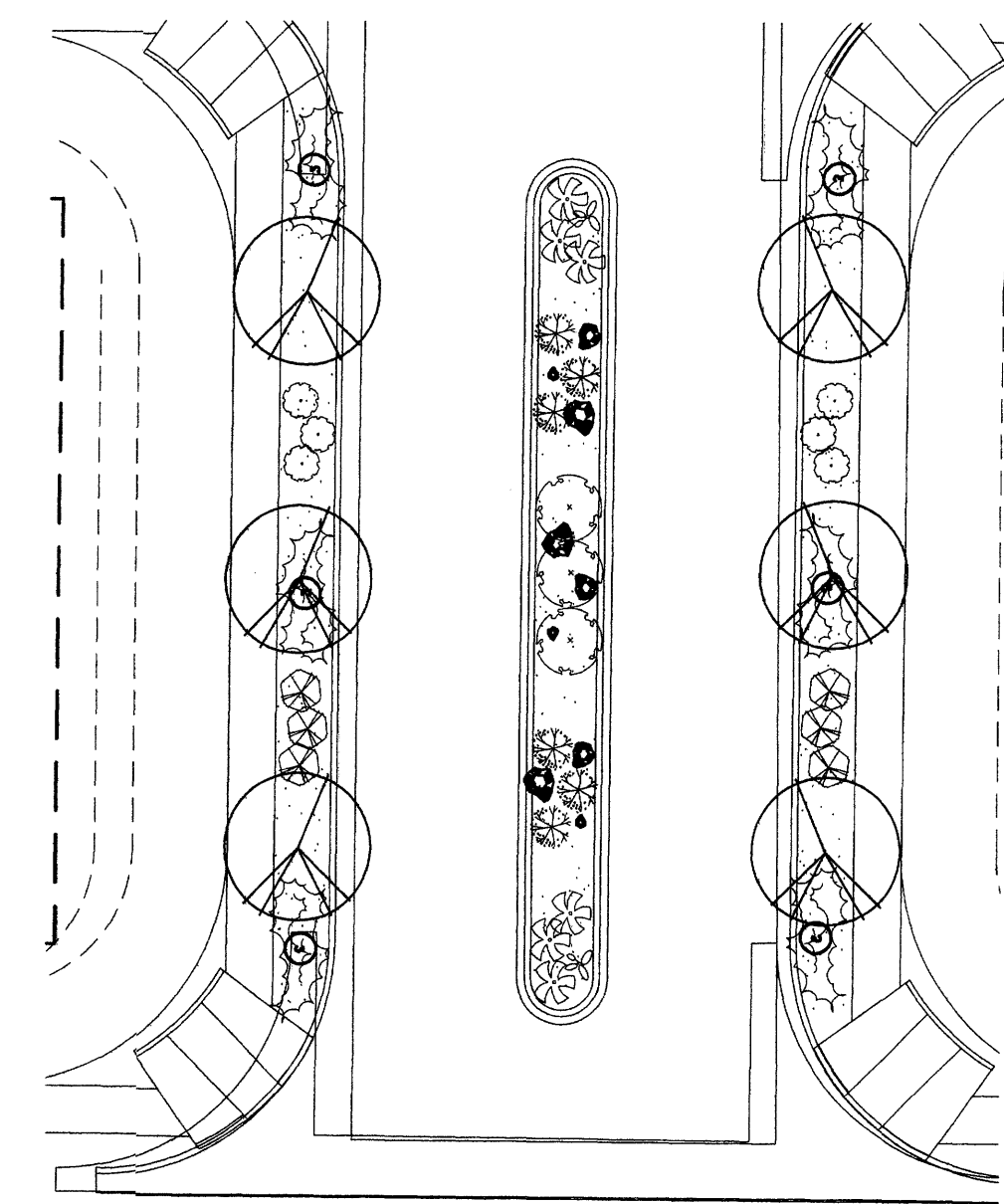
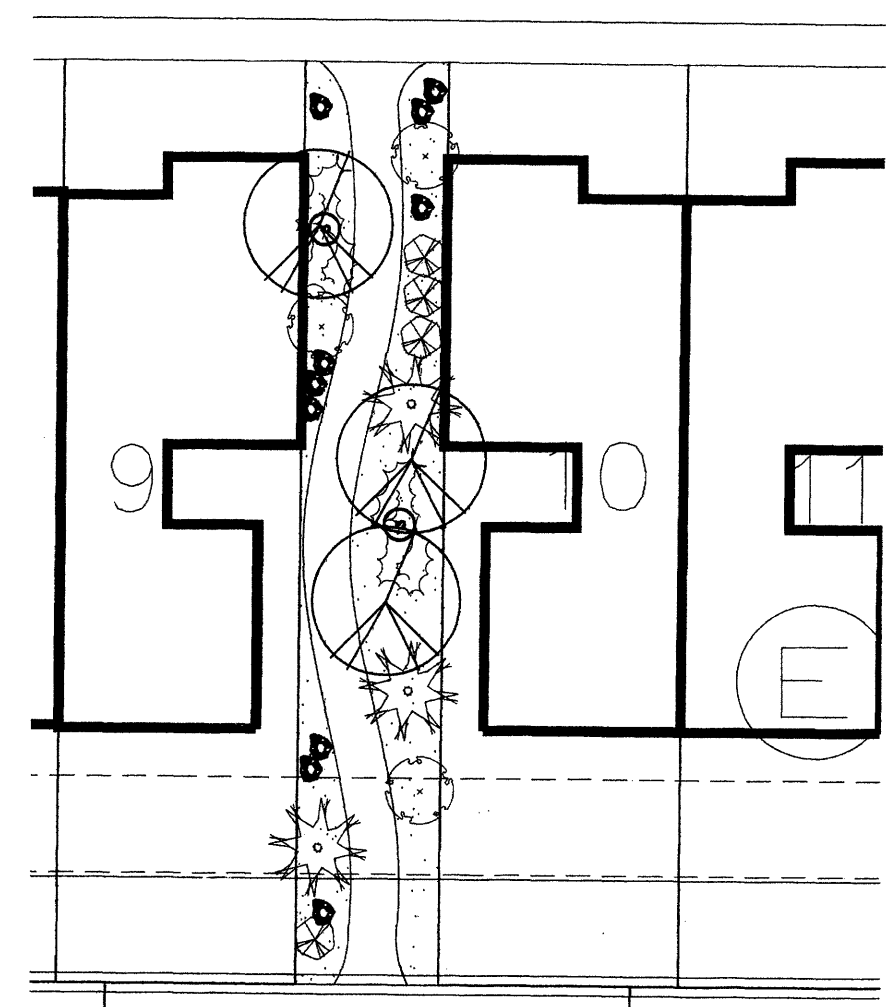
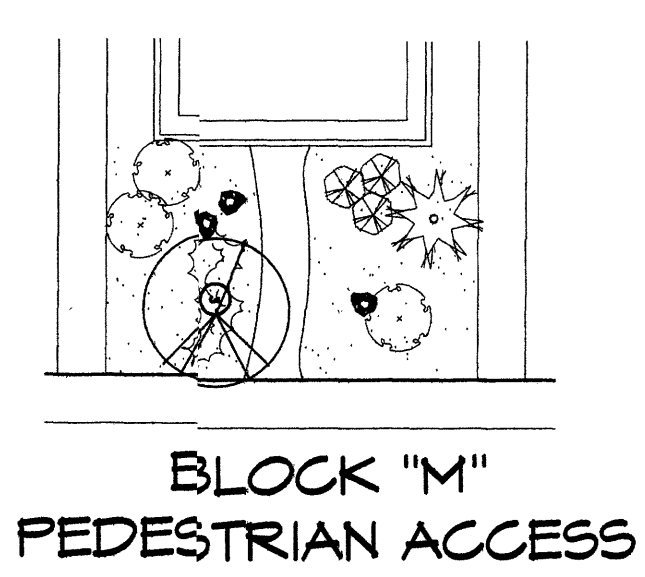
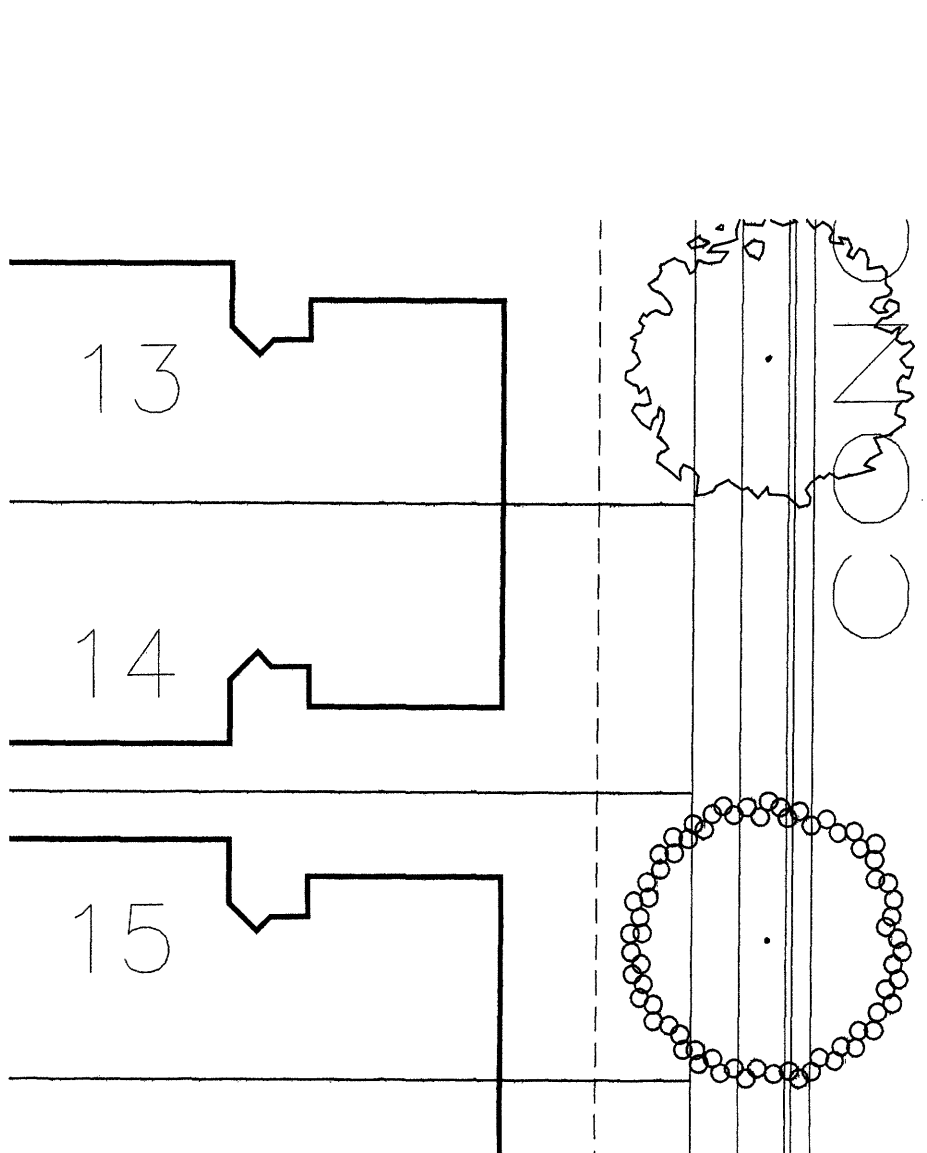
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**Monterra Del Rey**  
Louisiana Boulevard  
Albuquerque, New Mexico



**LANDSCAPE CALCULATIONS**

Breezeways	
TOTAL BED PROVIDED	22710 square feet
GROUND COVER REQ.	75% square feet
TOTAL GROUND COVER REQUIREMENT	17033 square feet
TOTAL GROUND COVER PROVIDED	17041 (75%) square feet



**PLANT LEGEND**  
STREET TREES

- AUTUMN PURPLE ASH (M)  
*Fraxinus americana 'Autumn Purple'*  
2" Cal.
- BUR OAK (M)  
*Quercus macrocarpa*  
2" Cal.
- COMMON HACKBERRY (M)  
*Celtis occidentalis*  
2" Cal.
- SYCAMORE (M)  
*Platanus spp.*  
2" Cal.

**PLANT LEGEND**  
BREEZEWAYS

- CHINESE PISTACHE (M)  
*Pistachia chinensis*  
2" Cal.
- SPANISH BROOM (M)  
*Genista hispanica*  
5 Gal. 100sf
- PAMPAS GRASS (M)  
*Cortaderia selloana*  
5 Gal. 100sf
- BIRD OF PARADISE (L)  
*Caesalpinia gilliesii*  
5 Gal. 100sf
- FERNBUSH (L+)  
*Chamaebatiaria millefolium*  
5 Gal. 25sf
- CREEPING ROSEMARY (L)  
*Rosmarinus officinalis 'Prostrata'*  
Symbol indicates 3 plants  
1 Gal. 36sf

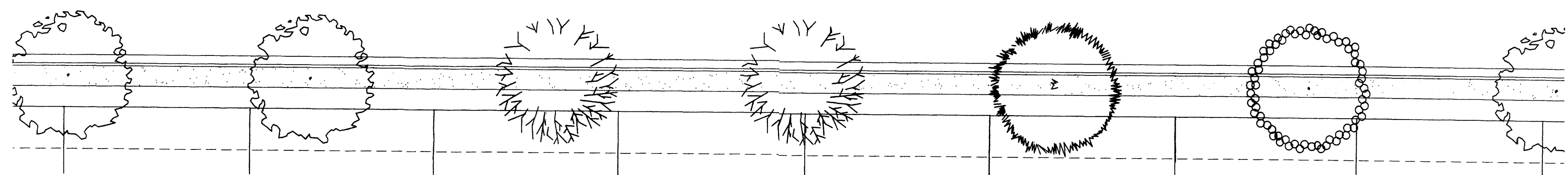
**PLANT LEGEND**  
MEDIANS

- OCOTILLO (L)  
*Fouquieria splendens*
- DESERT FOUR O'CLOCK (L)  
*Mirabilis multiflora*  
1 Gal. 16sf
- AGAVE (L)  
*Agave spp.*  
16 sf
- BIRD OF PARADISE (L)  
*Caesalpinia gilliesii*  
5 Gal. 100sf
- CHAMISA (L)  
*Chrysothamnus nauseosus*  
1 Gal. 25sf
- APACHE PLUME (L)  
*Fallugia paradoxa*  
5 Gal. 25sf

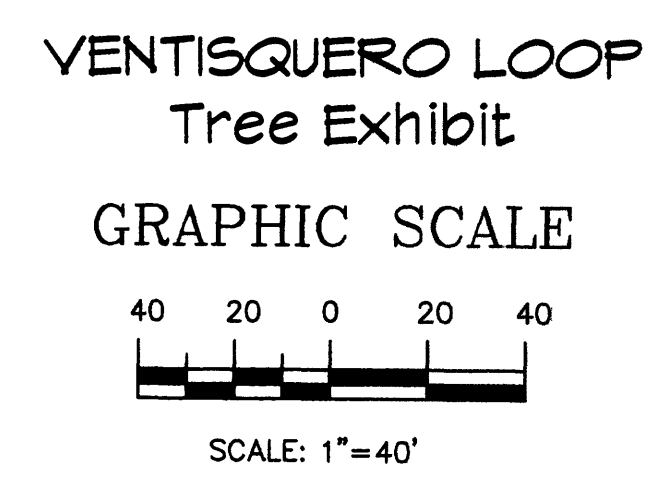
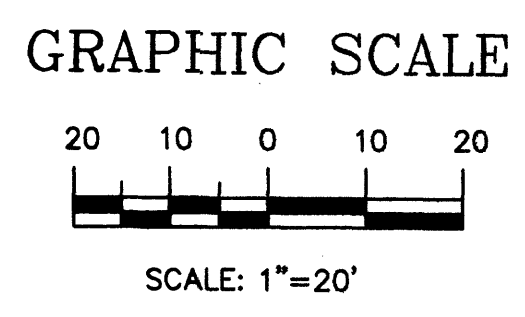
**PLANT LEGEND**  
PARKING LOT

- ASH (H) OR HONEY LOCUST (M)  
*Fraxinus pennsylvanica*  
*Gleditsia triacanthos*  
2" Cal.
- TURPENTINE BUSH (L+)  
*Ericameria laricifolia*  
1 Gal. 16sf
- BEARGRASS (L+)  
*Nothia microcarpa*  
5 Gal. 36sf
- CREEPING ROSEMARY (L)  
*Rosmarinus officinalis 'Prostrata'*  
1 Gal. 36sf  
Symbol indicates 3 plants
- WILDFLOWER  
1 Gal. 4sf
- COMPACTED GREY
- CRUSHERFINE PATH

BREEZEWAY  
TRACTS "D", "F", "G",  
"J", "K" & "M"



Applies to internal streets and to the perimeter of the site. May adjust for drive pads. Trees 60 feet On Center.



TYPICAL MEDIAN

Monterra Del Rey  
Louisiana Boulevard  
Albuquerque, New Mexico

△ comments/site rev rmc 4-14-06  
△ comments rmm 3-21-06

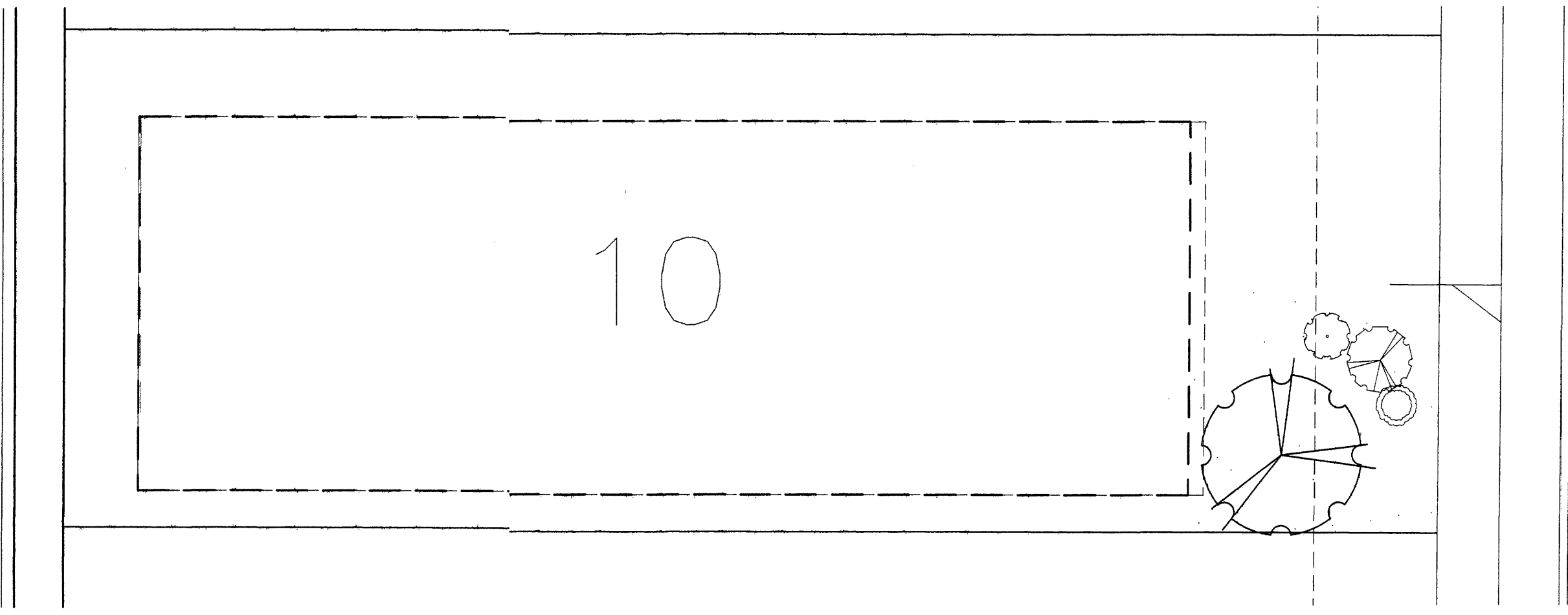
REVISIONS

- △ site plan revision adf 3-31-06
- △ site plan revision adf 4-3-06
- △ site plan revision rmm 3-1-07
- △ site plan revision CMJ 3-31-07
- △ EPC Comments rmm 10-02-07
- △ site plan revision rmm 2-28-08
- △ comments rmm 3-12-08
- △ comments rmm 3-14-08

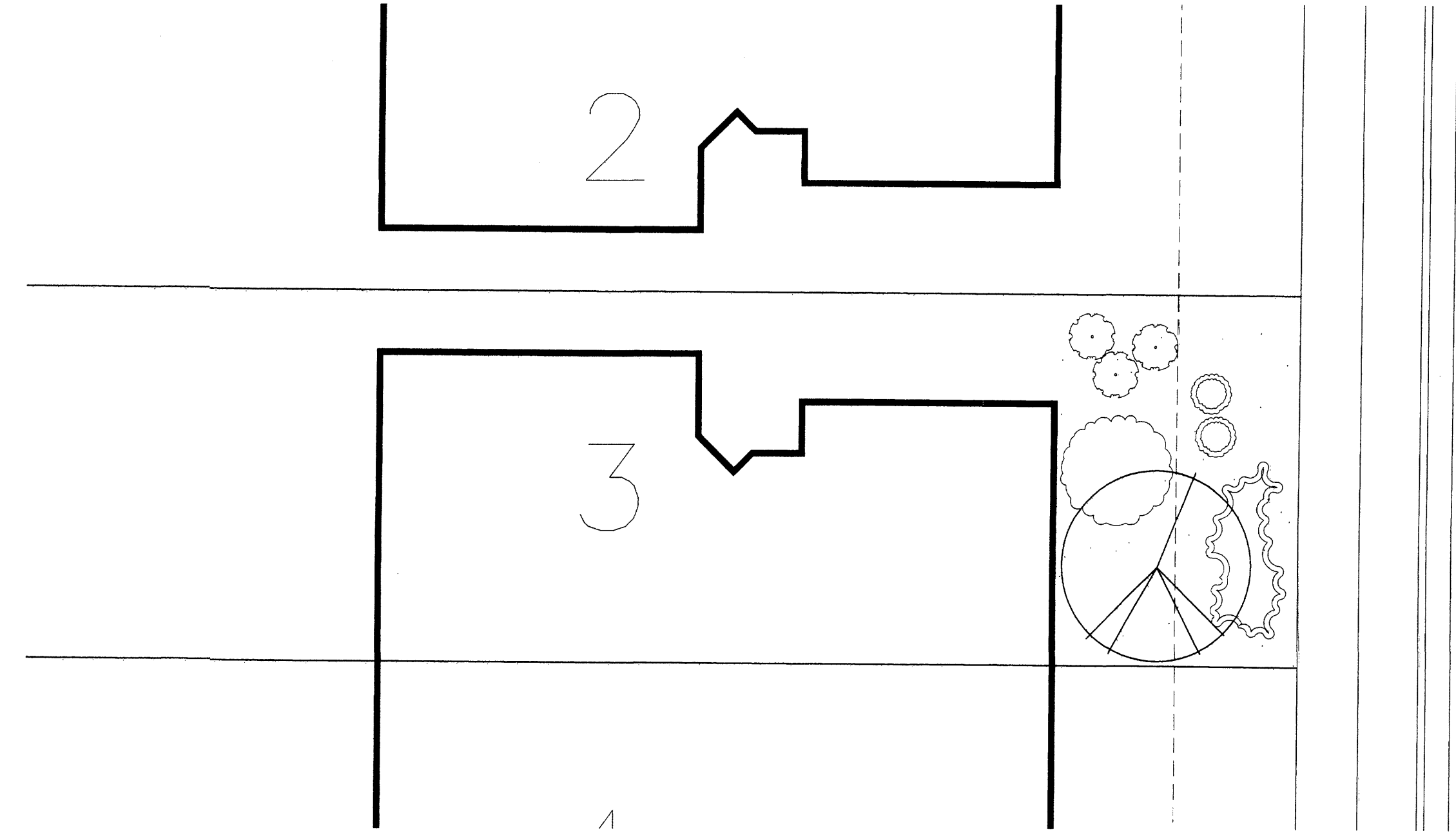
DRAWN BY \_\_\_\_\_  
REVIEWED BY \_\_\_\_\_  
DATE \_\_\_\_\_  
PROJECT NO. 07034  
DRAWING NAME \_\_\_\_\_

**The Hilltop**  
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	comments/site rev	rnc	4-14-06
	comments	rmm	3-21-06
<b>REVISIONS</b>			
	site plan revision	adf	3-31-06
	site plan revision	adf	4-3-06
	site plan revision	rmm	5-1-07
	site plan revision	CMJ	8-31-07
	EPC Comments	rmm	10-02-07
	site plan revision	rmm	2-28-08
	comments	rmm	3-12-08
	comments	rmm	3-14-08
<b>DRAWN BY</b>			
<b>REVIEWED BY</b>			
<b>DATE</b>			
<b>PROJECT NO.</b> 07084			
<b>DRAWING NAME</b>			



TYPICAL LOTS  
AREA 1



TYPICAL LOTS  
AREA 2

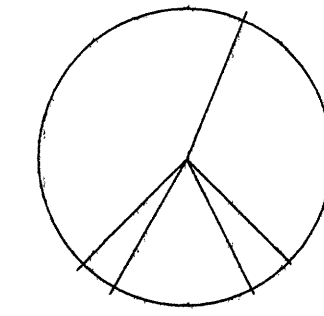

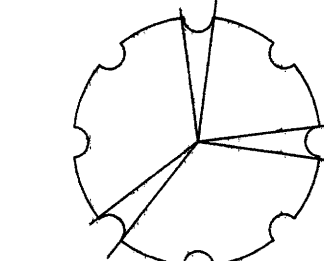
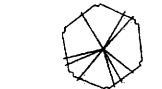
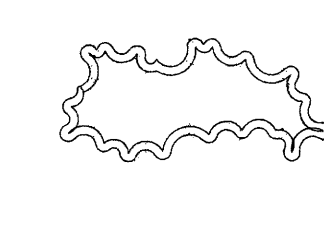


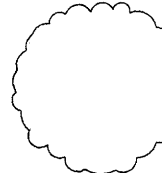
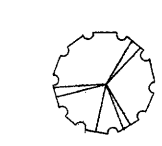
**LANDSCAPE CALCULATIONS**

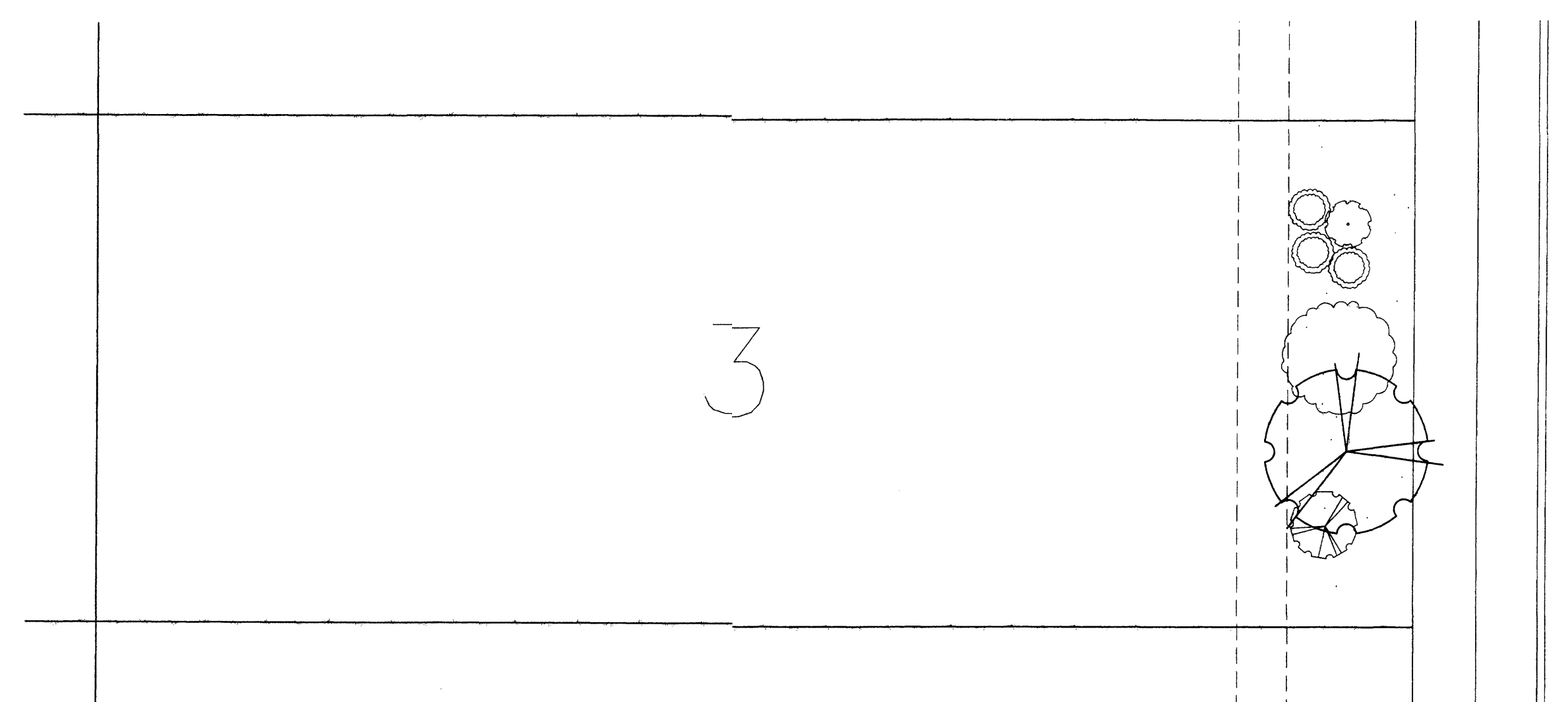
Residential Lots Averages

TOTAL BED PROVIDED	5767	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	4325	square feet
TOTAL GROUND COVER PROVIDED	4327 (75%)	square feet

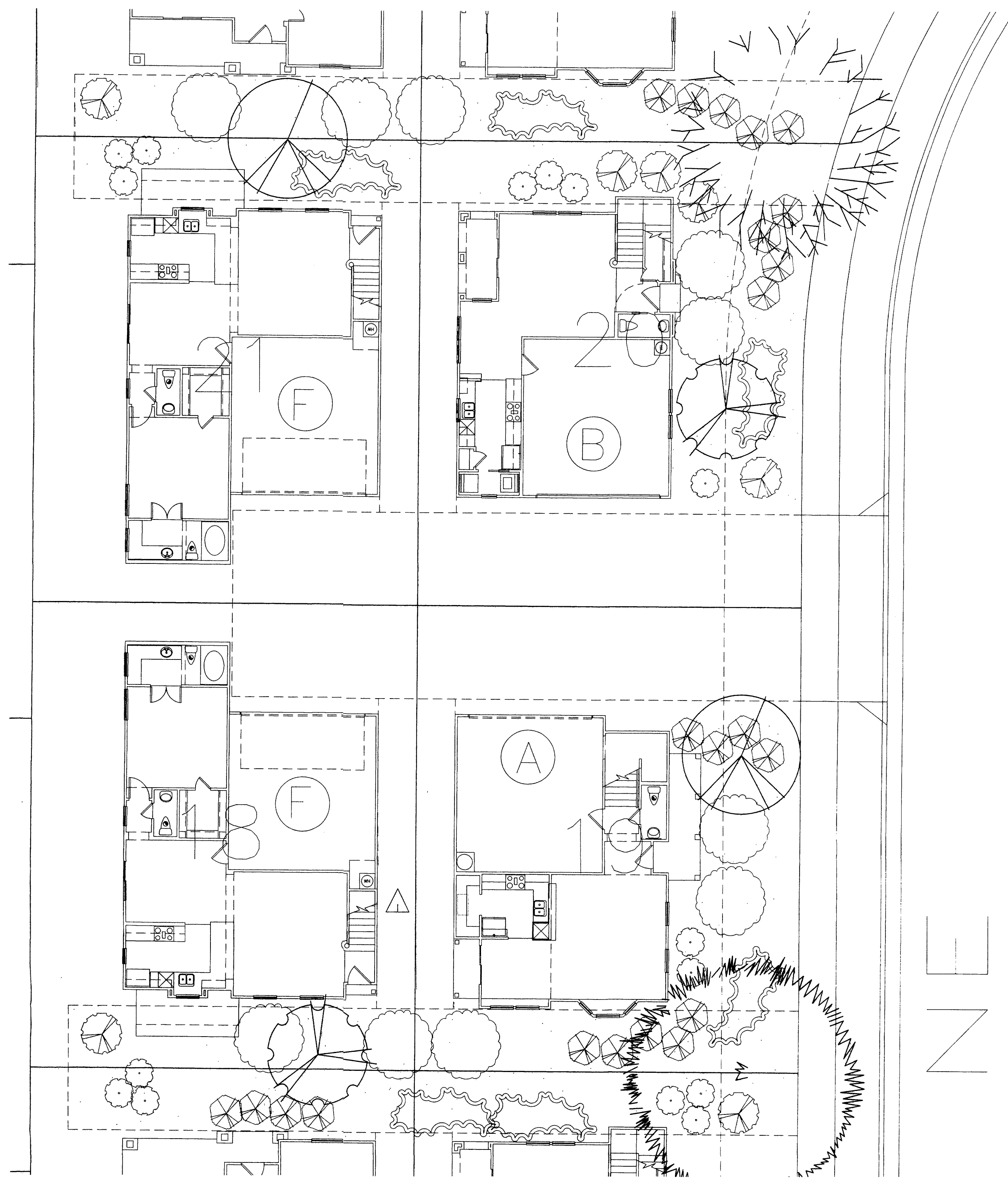
**PLANT LEGEND**

TYPICAL LOT PLANTINGS

- |   |  |   |  |
|---|--|---|--|
|  | <b>ORNAMENTAL TREES</b>  |  | <b>BEARGRASS (L+)</b><br>Nolina microcarpa<br>5 Gal. 36sf                |
|  | <b>EASTERN REDBUD (M)</b><br>Cercis canadensis<br>2" Cal.  |  | <b>FERNBUSH (L+)</b><br>Chamaebatiaria millefolium<br>5 Gal. 25sf        |
|  | <b>NEW MEXICO OLIVE (L)</b><br>Forestiera neomexicana<br>15 Gal.<br>or<br><b>PURPLE-LEAF PLUM (M)</b><br>Prunus spp. |  | <b>TURPENTINE BUSH (L+)</b><br>Ericameria laricifolia<br>1 Gal. 16sf     |
|  | <b>WINTER JASMINE (L+)</b><br>Jasminum nudiflorum<br>1 Gal. 144sf  |  | <b>PARNEY COTONEASTER (L)</b><br>Cotoneaster lacteus<br>5 Gal. 144sf     |
|   |  |  | <b>POMIS CASTLE SAGE (L+)</b><br>Artemisia X Pomis Castle<br>1 Gal. 25sf |

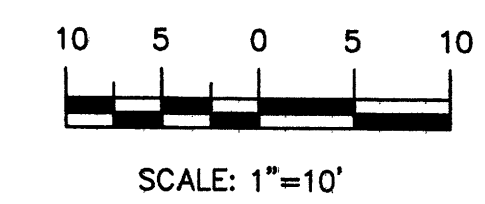


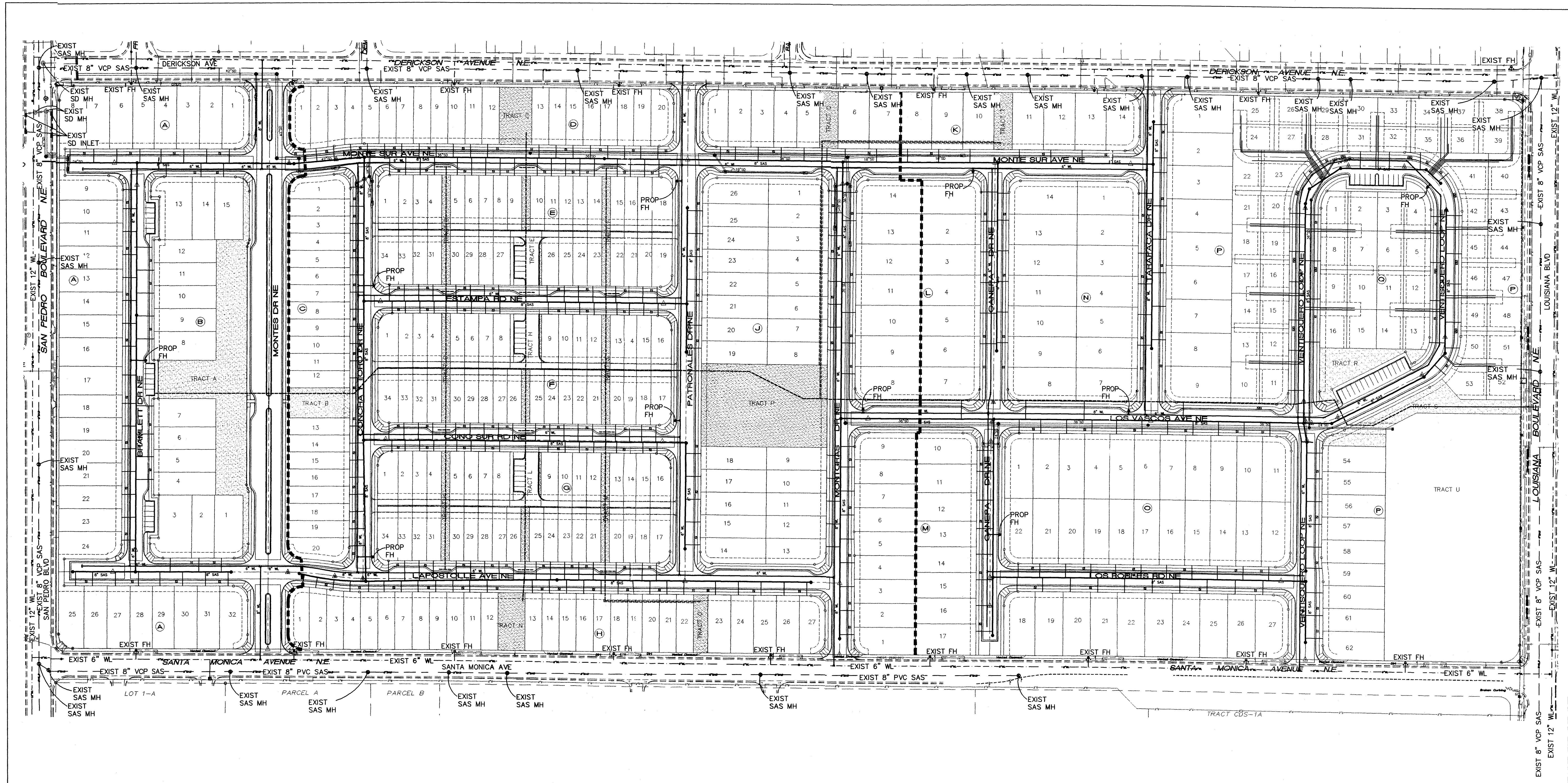
TYPICAL LOTS  
AREA 3



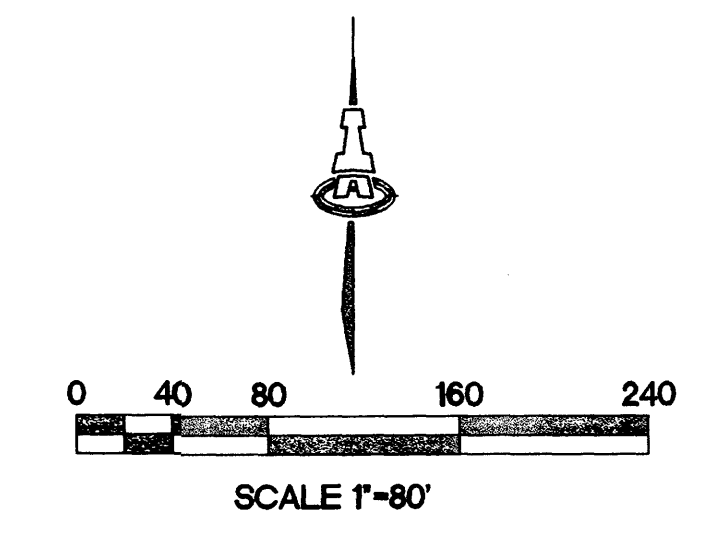
TYPICAL LOTS  
AREA 4

**GRAPHIC SCALE**





- LEGEND**
- EXISTING SANITARY SEWER
  - A EXISTING FIRE HYDRANT
  - EXISTING WATERLINE
  - PROPOSED WATER LINE W/ FITTING
  - PROPOSED FIRE HYDRANT
  - PROPOSED WATER METER
  - PROPOSED PRIVATE NON-POTABLE IRRIGATION LINE
  - PROPOSED SAS W/ MANHOLE
  - PROPOSED SAS W/ SERVICE

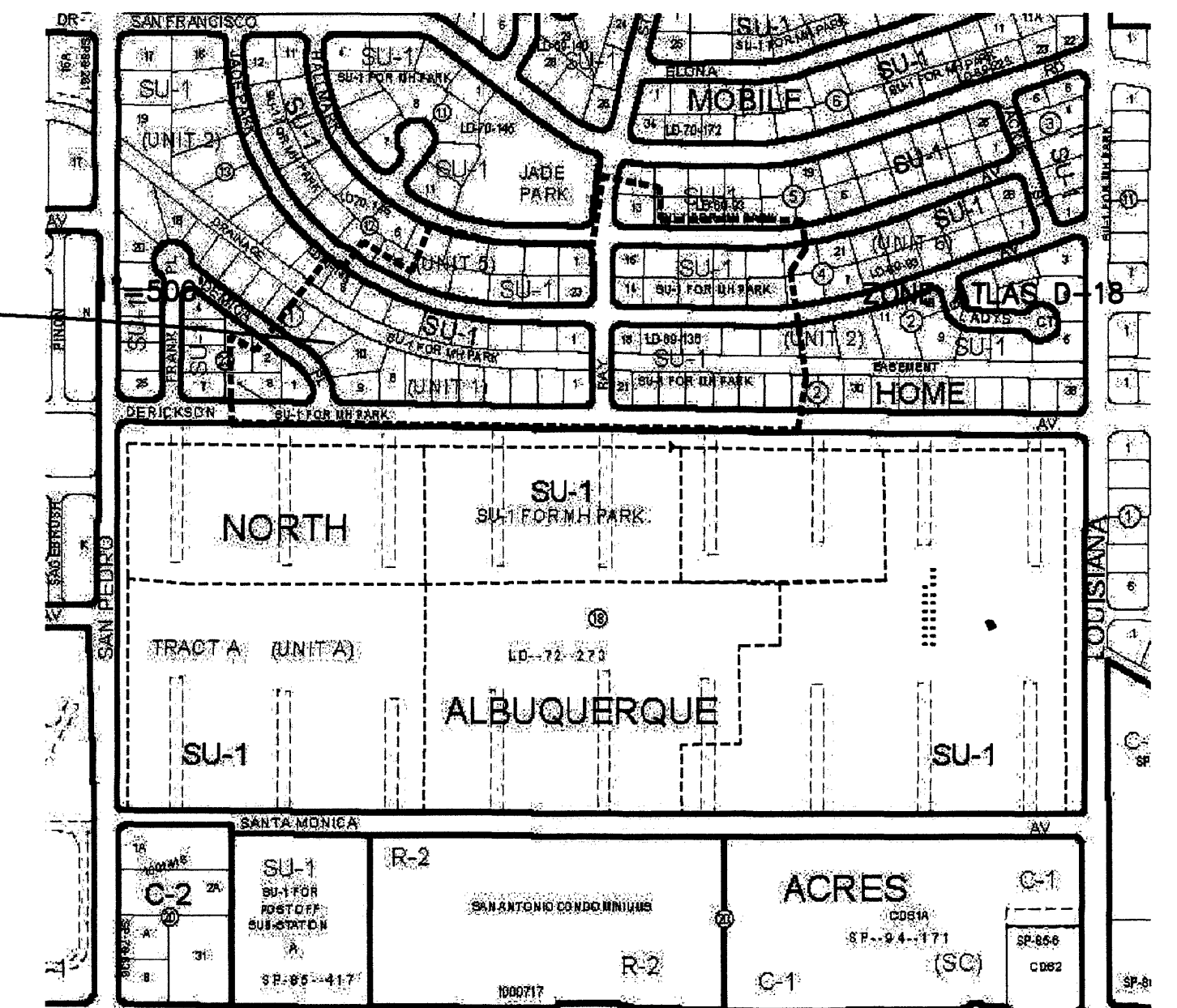


**MONTERREA DEL REY, UNITS 1-3**  
 DRB #1003916

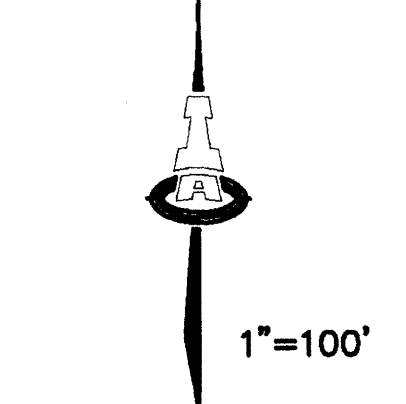
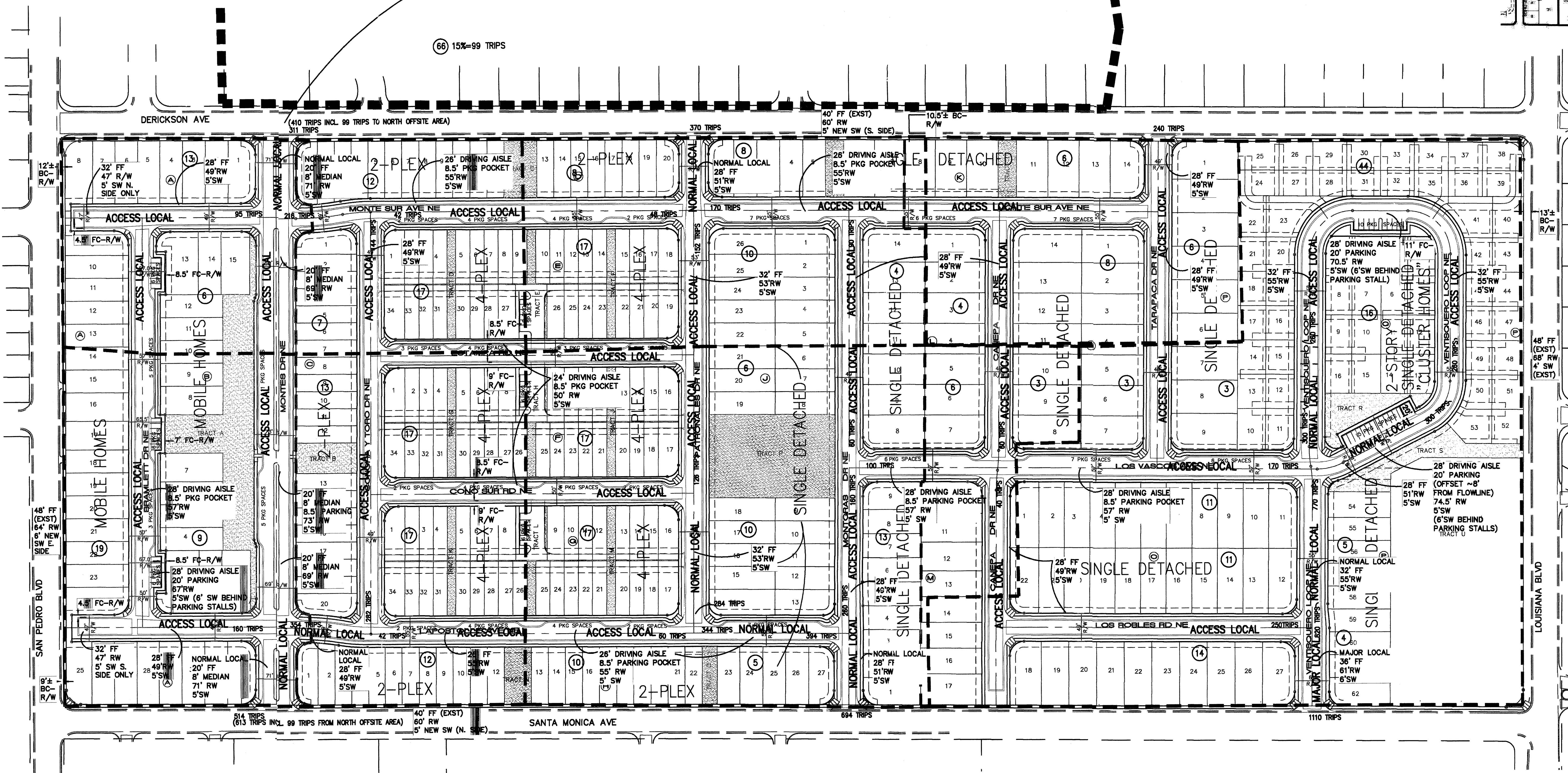
**UTILITY PLAN**  
 001

**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph. 505-268-8828 Fax. 505-268-2632

1814 CU-101.dwg Apr 04, 2008



15% OF TRIPS FROM THIS BASIN ASSUMED FOR THROUGH TRAFFIC ON WEST ENTRANCE (99 TRIPS)



- LEGEND**
- TRIP BASIN BOUNDARY
  - (17) NO. OF UNITS IN TRIP BASIN

**NOTE:**  
 TRIPS ARE ESTIMATED BASED ON  
 10 TRIPS PER DAY PER SINGLE DETACHED UNIT  
 6 TRIPS PER DAY FOR TOWNHOMES  
 5 TRIPS PER DAY FOR AFFORDABLE HOUSING (MOBILE HOMES)

HOUSING TYPE	# UNITS	ADT	TRIPS
AFFORDABLE HOUSING	43	X 5	= 215
DUPLEX/MULTIPLEX TOWNHOMES	164	X 6	= 984
SINGLE DETACHED/CLUSTER HOUSING	204	X 10	= 2,040
<b>TOTAL TRIPS</b>			<b>3,239</b>

INTERSECTION	TRIPS
DERICKSON/MONTES	311
DERICKSON/PATRONALES	370
DERICKSON/TARAPACA	240
SANTA MONICA/MONTES	514
SANTA MONICA/MONTGRAS	694
SANTA MONICA/VENTISQUERO	1,110
<b>TOTAL TRIPS</b>	<b>3,239</b>

**C002**  
**MONTERA DEL REY, UNITS 1-3**  
**DRB #1003916**

**TRAFFIC DISTRIBUTION MAP &  
 STREET DIMENSION PLAN**

**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph. 505-268-8828 Fax. 505-268-2632  
 1814 C-702-TRAF.dwg Apr 10, 2008



**CURB TYPE NOTE**

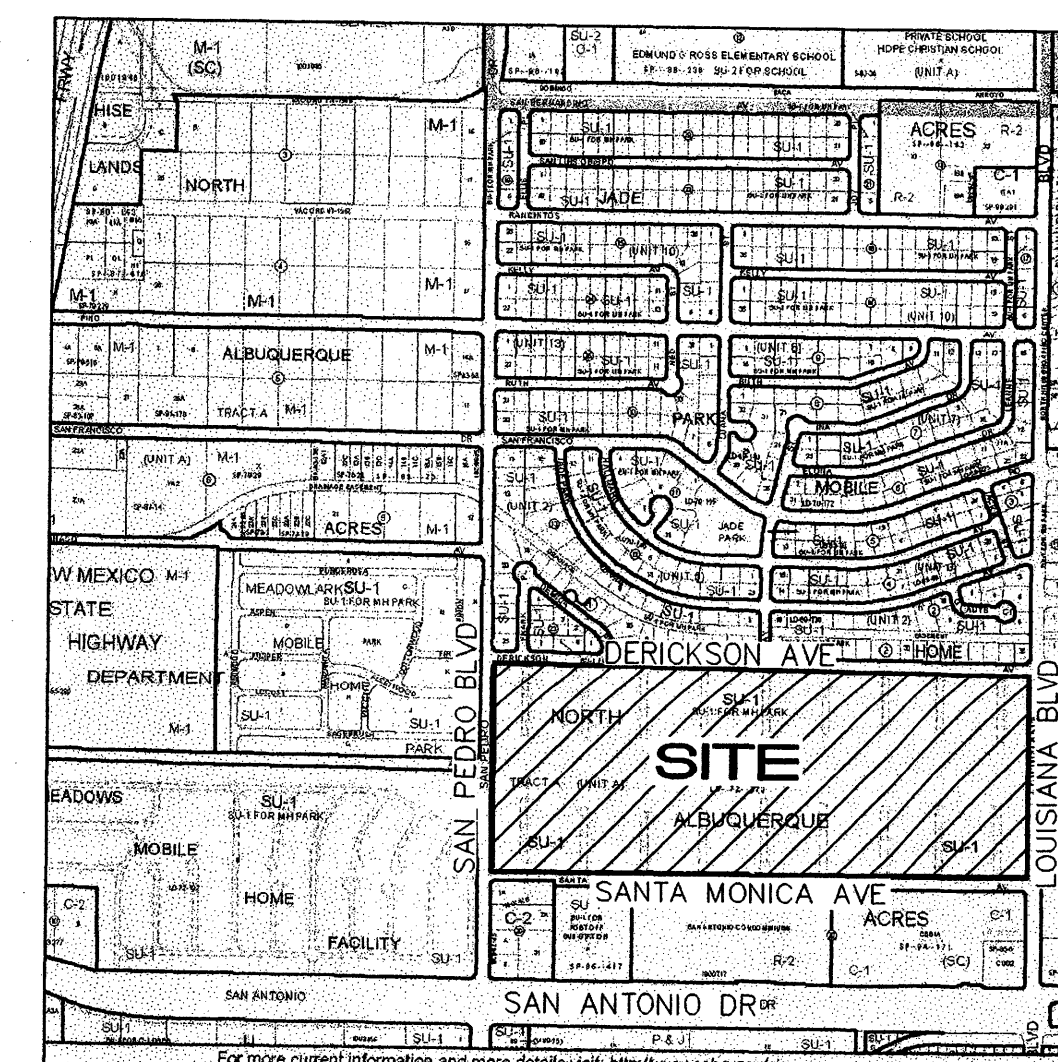
ALL STREETS HAVE MOUNTABLE CURB EXCEPT WHERE NOTED AS FOLLOWS:  
 MEDIAN CURB--PARKING SPACES PERPENDICULAR TO STREET  
 STANDARD CURB--WHERE DENOTED ON THIS SHEET AS - - - - -  
 PARKING POCKETS PARALLEL TO STREETS HAVE EITHER MOUNTABLE OR STANDARD CURB (STANDARD CURB WHERE DESIGNATED AS - - - - -)  
 ALL STREET GRADES REFER TO FLOWLINE ELEVATIONS

**INDEX**

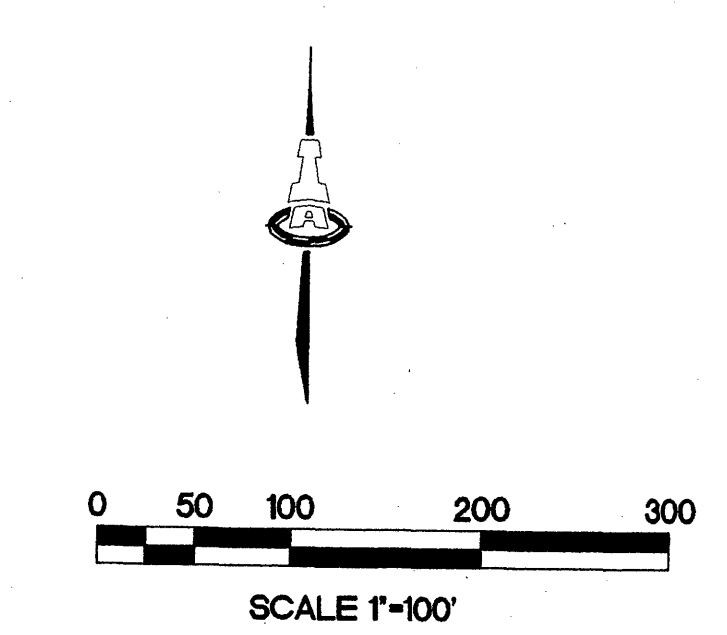
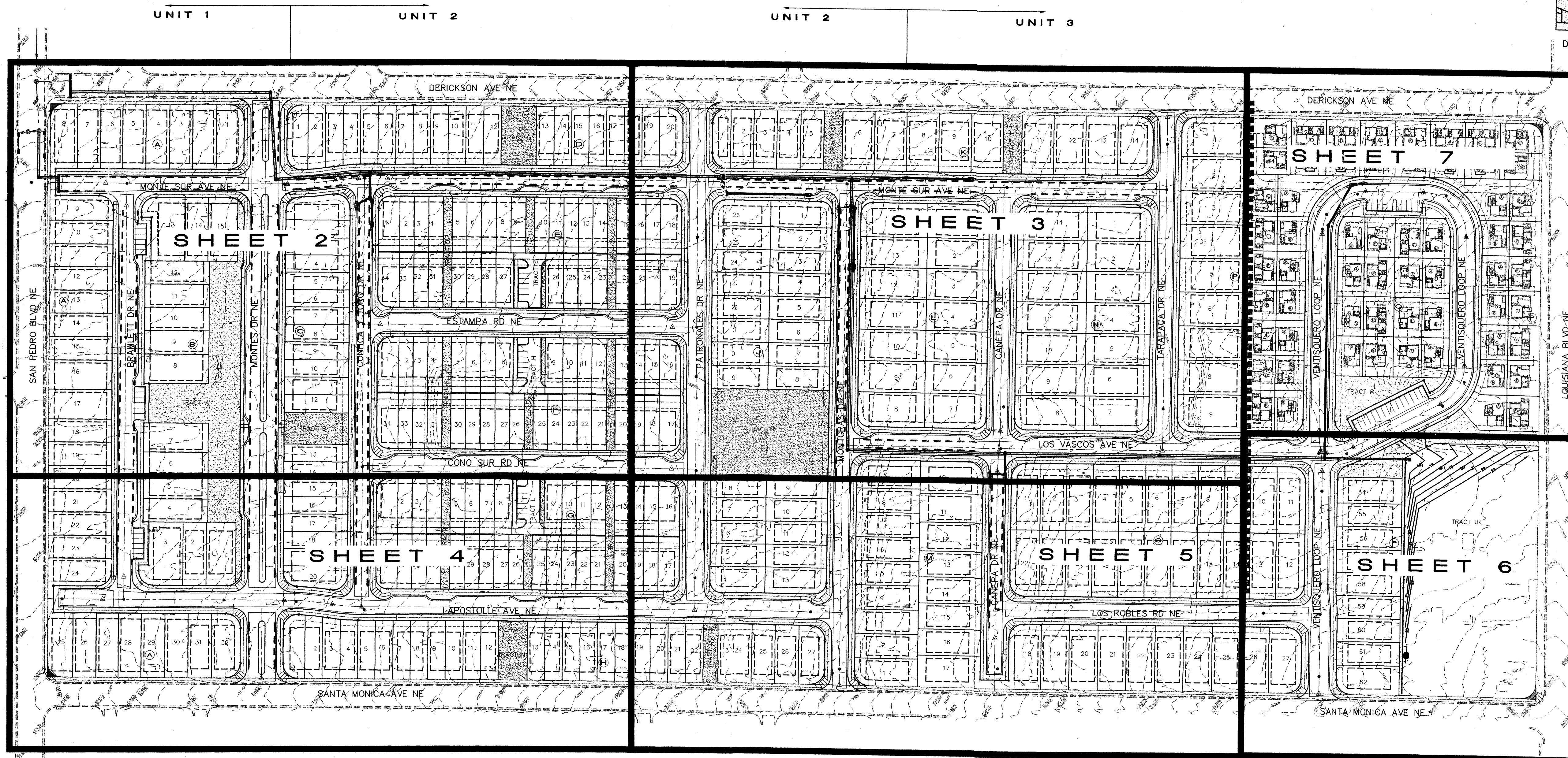
SHEET 1 OVERALL GRADING & DRAINAGE PLAN 1"=100'  
 SHEETS 2-6 GRADING & DRAINAGE PLAN AFFORDABLE HOUSING UNITS, TOWNHOME UNITS, SINGLE DETACHED UNITS 1"=40'  
 SHEET 7 GRADING & DRAINAGE PLAN GREENCOURT UNITS 1"=30'  
 SHEET 8 GRADING DETAILS & NOTES  
 SHEETS 9-10 RETAINING WALL PLANS 1"=50'

**SITE DATA**

LEGAL DESC.: BLOCKS 18 & 19 OF TRACT A, NORTH ALBUQUERQUE ACRES UNIT A, AND A PORTION OF DEL REY AVE., NE, VACATED BY V-71-33.  
 ZONE ATLAS: D-18  
 ZONING: SU-1  
 AREA: 58.30 ACRES  
 SURVEYOR: SURV-TEK, AUGUST, 2007  
 BENCHMARK: ACS BENCHMARK "10-D18" ELEVATION = 5319.15 (NGVD 29)  
 FLOODPLAIN: THE SITE IS IN FLOOD ZONE X (OUTSIDE THE AREA OF THE 0.2% ANNUAL CHANCE FLOOD PLAIN) AS SHOWN ON FEMA MAP 35001C0137F, 11-19-03



D-18-Z VICINITY MAP 1"=750'±



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 REGISTERED PROFESSIONAL ENGINEER  
 No. 7322  
 EXPIRES 12/31/08

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 1614 CG-301.dwg Mar 06, 2008

**MONTERREA DEL REY, UNITS 1-3**

**GRADING & DRAINAGE PLAN**

Date:	1/12/08	No.:	Revision	Date:		Job No.:	1614
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COOBS