

#11



Complete 2-10-05 BL.

### DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-00205 (SBP)  
Project Name: ALAMEDA BUSINESS PARK  
Agent: Sanders Associates Architects

Project # 1003929  
Phone No.: 255-5040

Your request for (SDP for SUB) (SDP for BP) (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 02/16/05 by the DRB with delegation of signature(s) to the following departments.  
**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

TRANSPORTATION: Per comment sheet ok 2/17/05

UTILITIES: \_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_

PARKS / CIP: \_\_\_\_\_

PLANNING (Last to sign): Add roof language on 2/11/05  
letter on to SBP as a note  
DM 2/17/05

- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.

- Include 3 copies of the approved site plan ~~along with the originals.~~**
  - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk
  - Property Management's signature must be obtained prior to Planning Department's signature.
  - AGIS DXF File approval required.
  - Copy of recorded plat for Planning.

Project Number 1003929

#11



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REVISED 2/5/04

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Project # 1003929

Project Name: ALAMEDA BUSINESS PARK

Agent: Sanders Associates Architects

Phone No.: 255-5040

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TRANSPORTATION: Per comment sheet

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UTILITIES: \_\_\_\_\_

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- 
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CITY ENGINEER / AMAFCA: \_\_\_\_\_

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- 
- 

PARKS / CIP: \_\_\_\_\_

- 
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- 

PLANNING (Last to sign): Add roof language on 2/11/05 letter onto SPBP as a note

- 
- 
- 

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- Copy of recorded plat for Planning.**

Project Number 1003929



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

February 16, 2005 9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 a.m. Adjourned: 11:45 a.m.  
B. Changes and/or Additions to the Agenda  
C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1000126**  
05DRB-00099 Major-Two Year SIA  
05DRB-00100 Minor-Ext of SIA for  
Temp Defer SDWK
- CENTEX HOMES request(s) the above action(s) for all or a portion of Lot(s) 2, 3, 11, 12 and 13, **SAUVIGNON, UNIT 1**, zoned R-1, located on SAN ANTONIO NE, between SKY VALLEY WAY NE and LOWELL ST NE containing approximately 16 acre(s). [REF: 02DRB00032, 03DRB00016] (E-22) **THE TWO-YEAR SIA WAS WITHDRAWN AT THE AGENT'S REQUEST. A TWO-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

2. **Project # 1003470**  
04DRB-01522 Major-Bulk Land Variance  
04DRB-01523 Major-Preliminary Plat  
Approval  
04DRB-01524 Minor-Temp Defer SDWK

WILSON & COMPANY agent(s) for SCOTT SCHIABOR SPS LC request(s) the above action(s) for all or a portion of Tract(s) 1A, 2A, 1B & 2B, **VISTA VIEJA SUBDIVISION**, KASSUBA-MONTBEL LANDS, zoned R-1 residential zone, located on 81<sup>ST</sup> ST NW and ALBERICOQUE PL NW containing approximately 152 acre(s). [REF: 04DRB00825, 04DRB01460] [*Deferred from 11/3/04, 11/10/04, 12/1/04, 1/12/05 & 2/16/05*] (D-9) **DEFERRED AT THE AGENT'S REQUEST TO 3/16/05.**

3. **Project # 1000508**  
05DRB-00093 Major-Vacation of  
Public Easements

TIERRA WEST LLC agent(s) for WAL MART STORES EAST LP request(s) the above action(s) for all or a portion of Tract(s) B1A, **TOWNE PARK PLAZA**, zoned SU-1, C-1, located on EUBANK BLVD NE, between I-40 and CHICO RD NE containing approximately 18 acre(s). [REF: Z-98-114, DRB-90-289, 00EPC01182, 02DRB01528, 02DRB01529, 02AA01605] (K-21) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH CONDITION OF FINAL PLAT: RELOCATED WATER LINE MUST BE IN PLACE PRIOR TO FINAL PLAT APPROVAL.**

4. **Project # 1002960**  
05DRB-00108 Major-Vacation of Pub  
Right-of-Way  
05DRB-00109 Major-Preliminary Plat  
Approval  
05DRB-00110 Minor-Sidewalk Waiver  
05DRB-00111 Minor-Temp Defer  
SDWK

MARK GOODWIN & ASSOCIATES agent(s) for WESTLAND DEVELOPMENT CO INC request(s) the above action(s) for all or a portion of Tract(s) K, SUNDORO SOUTH, UNIT 1, (to be known as SUNDORO SOUTH, UNIT 2, zoned SU-2 FOR RLT, located on 98<sup>TH</sup> STREET NW, between LADERA DR NW and I-40 containing approximately 6 acre(s). [REF: 04DRB01006, 04DRB01007] (J-8/J-9) VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/16/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/16/03 THE PRELIMINARY PLAT WAS APPROVED WITH THE CONDITION OF FINAL PLAT: PROPERTY SHALL BE EXCHANGED WITH NMDOT. THE SIDEWALK VARIANCE FOR WAIVER OF SIDEWALK WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALK ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.

5. **Project # 1003285**  
05DRB-00105 Major-Preliminary Plat Approval  
05DRB-00106 Major-Vacation of Pub Right-of-Way  
05DRB-00112 Minor-Sidewalk Waiver  
05DRB-00107 Major-Vacation of Public Easements  
05DRB-00113 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for WESTLAND DEVELOPMENT CO INC request(s) the above action(s) for all or a portion of Tract(s) B-24 through B-28, TOWN OF ATRISCO GRANT UNIT 5 (to be known as **SUNDORO SOUTH, UNIT 6**) zoned SU-2 RLT, located on ENDEE RD NW, between 90<sup>TH</sup> STREET NW and 94<sup>TH</sup> STREET NW containing approximately 23 acre(s). [REF: 04DRB01689, 04DRB01690, 04DRB01691, 04DRB01692, 04DRB01693] [Listed under Project #1003606 in error] (J-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/16/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/29/04 THE PRELIMINARY PLAT WAS APPROVED WITH THE CONDITION OF FINAL PLAT: SILICA AVENUE SHALL BE DEDICATED AS A 44-FOOT RIGHT-OF-WAY TO THE WESTERN BOUNDARY. VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

6. **Project # 1003360**  
05DRB-00115 Major-Vacation of Public Easements  
05DRB-00116 Minor-Prelim&Final Plat Approval

SURVEYING CONTROL INC agent(s) for CITY OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Tract(s) A, **JOHN ADAMS MULTIPURPOSE CENTER**, zoned SU-1 special use zone, located on GLENRIO RD NW, between 56<sup>TH</sup> ST NW and LOMA HERMOSA DR NW containing approximately 4 acre(s). [REF: ZA-77-179] (J-11) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE AGIS DXF FILE AND THE 15-DAY APPEAL PERIOD.**

7. **Project # 1003684**  
05DRB-00118 Major-Vacation of Pub  
Right-of-Way  
05DRB-00121 Major-Preliminary Plat  
Approval  
05DRB-00119 Minor-Sidewalk Waiver  
05DRB-00120 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES PA agent(s) for COLLATZ INC request(s) the above action(s) for all or a portion of Tract(s) A, B and B2B1, Block(s) 7-14, CALABACILLAS ARROYO, PARADISE HEIGHTS, UNIT 5, SEVILLE, UNIT 7, (to be known as **ANASAZI RIDGE SUBDIVISION, UNITS 1, 2 & 3**) zoned R-1 residential zone, located on MCMAHON BLVD NW, between WESTSIDE RD NW and UNIVERSE BLVD NW containing approximately 92 acre(s). [REF: 04DRB01443 ] [*Deferred from 2/16/05*] (A-10) **DEFERRED AT THE AGENT'S REQUEST TO 2/23/05.**

8. **Project # 1003475**  
04DRB-01694 Major-Vacation of Pub  
Right-of-Way  
04DRB-01695 Major-Preliminary Plat  
Approval  
04DRB-01696 Minor-Temp Defer SDWK

WILSON & COMPANY INC agent(s) for FELIX RABADI request(s) the above action(s) for unplatted lands and all or a portion of Tract(s) 2, PARAGON RESOURCES, (to be known as **PARADISE VIEW SUBDIVISION**) zoned RLT, located on PARADISE BLVD NW, between CONEFLOWER NW and LYON NW containing approximately 22 acre(s). [REF: 04DRB00842] [*Deferred from 12/1/04, 1/26/05 & 2/9/05 & 2/16/05*] (B-10) **DEFERRED AT THE AGENT'S REQUEST TO 2/23/05.**

9. **Project # 1001440**  
05DRB-00026 Major-SiteDev Plan  
BldPermit

BOB BOGAN agent(s) for RICHARD RODRIGUEZ request(s) the above action(s) for all or a portion of Tract(s) D-3A, **COORS CENTRAL NORTH PLAZA**, zoned SU-I, located on COORS BLVD NW, between BLUEWATER RD NW and CENTRAL AVE NW containing approximately 1 acre(s). [*Deferred from 2/2/05*] (K-10) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO CORRECT WATER AND SEWER SERVICE LINE SIZES AND SHOW METER LOCATION AND SIZE AND PLANNING FOR 15-DAY APPEAL PERIOD AND COMMENTS IN FILE.**

10. **Project # 1003790**  
05DRB-00085 Major-Vacation of Public  
Easements

BOHANNAN HUSTON INC agent(s) for MCT INDUSTRIES request(s) the above action(s) for all or a portion of Lot(s) 1A & 25, Tract(s) H-1-C & A, Block(s) 1, **LANDS OF FILBERTO GURULE and NORTH ALBUQUERQUE ACRES**, zoned IP industrial park zone, located on NORTH I-25, between BALLOON FIESTA PARKWAY NE and SAN MATEO DR NE containing approximately 17 acre(s). [REF:04DRB01790] [Deferred from 2/9/05 & 2/16/05] (B-18) **DEFERRED AT THE AGENT'S REQUEST TO 2/23/05.**

05DRB-00158 Minor-SiteDev Plan Subd

DEKKER PERICH SABATINI agent(s) for MCT INDUSTRIES request(s) the above action(s) for all or a portion of Lot(s) 1-A & 25, Block(s) 1, Tract(s) H-1-C & A, **LANDS OF FILBERTO GURULE and NORTH ALBUQUERQUE ACRES**, zoned IP industrial park zone, located on NORTH I-25, between BALLOON FIESTA PARKWAY NE and SAN MATEO BLVD NE containing approximately 12 acre(s). [REF: 05DRB00085] [Deferred from 2/9/05 & 2/16/05] (B-18) **DEFERRED AT THE AGENT'S REQUEST TO 2/23/05.**

05DRB-00165 Minor-Prelim&Final Plat  
Approval

BOHANNAN HUSTON agent(s) for MCT INDUSTRIES request(s) the above action(s) for all or a portion of Tract(s) A, B & C, **NORTH GATEWAY**, zoned IP, located on NORTH I-25, between BALLOON FIESTA PARKWAY NE and SAN MATEO DR NE containing approximately 38 acre(s). [REF: 04DRB1790] [Deferred from 2/9/05 & 2/16/05] (B-18) **DEFERRED AT THE AGENT'S REQUEST TO 2/23/05.**

**SITE DEVELOPMENT PLANS, AMENDED PLANS, AND MASTER DEVELOPMENT PLANS**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THE REQUEST MAY BE INDEFINITELY DEFERRED.**

11. **Project # 1003929**  
05DRB-00205 Minor-SiteDev Plan  
BldPermit

SANDERS AND ASSOCIATES ARCHITECTS agent(s) for MIKE BAKER request(s) the above action(s) for all or a portion of Lot(s) 42, **ALAMEDA BUSINESS PARK**, zoned SU-2 FOR IP-EP USES, located on CALLE ALAMEDA NE, between PASEO ALAMEDA NE and VISTA ALAMEDA NE containing approximately 1 acre(s). [REF: DRB-98-223, PROJ-1000624] (C-16) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT TO ADDRESS COMMENTS ON COMMENT SHEET AND TO PLANNING TO ADD ROOF LANGUAGE ON 2/11/05 LETTER ONTO SITE PLAN FOR BUILDING PERMIT AS A NOTE.**



12. **Project # 1002529**  
05DRB-00212 Minor-SiteDev Plan  
Subd/EPC  
05DRB-00213 Minor-SiteDev Plan  
BldPermit/EPC  
05DRB-00214 Minor-Amnd Prelim Plat  
Approval

CONSENSUS PLANNING agent(s) for CAS LLC request(s) the above action(s) for all or a portion of Tract(s) 6-B, a partition of BLACK RANCH (to be known as **CAS SUBDIVISION**) zoned R-D residential and related uses zone, developing area, located on COORS BLVD NW, between WESTSIDE DR NW and CALABACILLAS ARROYO containing approximately 6 acre(s). [REF: 04EPC01840, 04EPC01841, 04EPC01843, 04DRB01060, 04DRB01059, 04DRB01374] [Makita Hill, EPC Case Planner] (B-13/B-14) **SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD. THE AMENDED PRELIMINARY PLAT WAS APPROVED WITH CONDITION: A PUBLIC SIDEWALK EASEMENT FOR THE MEANDERING SIDEWALK NEEDS TO BE ADDED. THE AMENDED INFRASTRUCTURE LIST DATED 2/16/05 WAS APPROVED. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT.**

13. **Project # 1003646**  
05DRB-00114 Minor-SiteDev Plan  
BldPermit

PAULA DAL SANTO request(s) the above action(s) for all or a portion of Lot(s) 1-B-5, Block(s) 1, **VIDAS SUBDIVISION**, zoned SU-1 C-3, located on PROSPECT NE, between SAN MATEO NE and WASHINGTON NE containing approximately 19 acre(s). [REF: 04EPC01336] [Elvira Lopez, EPC Case Planner] [Deferred from 2/2/05] (H-17) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

14. **Project # 1000980**  
05DRB-00161 Minor-Amnd SiteDev Plan  
BldPermit/EPC  
05DRB-00162 Minor-SiteDev Plan  
Subd/EPC  
05DRB-00163 Minor-SiteDev Plan  
BldPermit/EPC

NCA ARCHITECTS agent(s) for NEW MEXICO BANK & TRUST request(s) the above action(s) for all or a portion of Tract(s) A-3-B, **SIERRA VISTA SHOPPING CENTER**, zoned C-2 community commercial zone, located on MONTGOMERY BLVD NE, between PARSIFAL ST NE and EUBANK BLVD NE containing approximately 1 acre(s). [REF: ZA-01-201, Z-93-83, DRB-93-332, ZA-81-4, Z-77-78, Z-77-78-1, 01DRB01131, 01DRB01740, 02DRB01039, 01EPC00731] [**Carmen Marrone, EPC Case Planner**] [*Deferred from 2/9/05 & 2/16/05*] (G-20) **DEFERRED AT THE AGENT'S REQUEST TO 2/23/05.**

05DRB-00160 Minor-Prelim&Final Plat  
Approval

RON TYREE agent(s) for SIERRA VISTA ASSOCIATES LLC request(s) the above action(s) for all or a portion of Tract(s) A-3, **SIERRA VISTA SHOPPING CENTER**, zoned C-2 community commercial zone (SC), located on MONTGOMERY BLVD NE, between EUBANK BLVD NE and PARSIFAL ST NE containing approximately 15 acre(s). [REF: ZA-01-201, Z-93-83, DRB-93-332, ZA-81-4, Z-77-78-1, 01DRB01739, 01DRB01131, 01DRB01740, 02DRB01039, 01EPC00731] [*Deferred from 2/9/05 & 2/16/05*] (G-20) **DEFERRED AT THE AGENT'S REQUEST TO 2/23/05.**

15. **Project # 1003764**  
05DRB-00208 Minor-SiteDev Plan  
BldPermit/EPC

SMPC ARCHITECTS agent(s) for HOPE EVANGELICAL FREE CHURCH request(s) the above action(s) for all or a portion of Lot(s) 7 & 8, **HOLIDAY PARK SUBDIVISION**, zoned SU-1 Church & Related, located on JUAN TABO BLVD NE, between MANITOBA ST NE and BAJA DR NE containing approximately 4.6 acre(s). [**Stephanie Shumsky, EPC Case Planner**] (F-22) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR FIRE FLOW CALCULATIONS AND TRANSPORTATION DEVELOPMENT FOR PARKING BUMPERS, RESCIND TCL AND 3 COPIES OF SITE PLAN FOR BUILDING PERMIT.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

16. **Project # 1003874**  
05DRB-00199 Minor-Subd Design (DPM)  
Variance
- ISAACSON & ARFMAN, PA agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) 16-E, **EL RANCHO GRANDE, UNIT 16**, zoned R-D, located on GIBSON BLVD SW, between MESSINA DR SW and DELGADO DR SW containing approximately 25 acre(s). [REF: 04DRB-01892, 04DRB-00717, 05DRB-00032, 05DRB-00033, 05DRB-00034, 05DRB-00035, 05DRB-00126] (N-8) **A SUBDIVISION DESIGN VARIANCE FOR BLOCK LENGTH WAS APPROVED AS SHOWN ON EXHIBIT D IN THE PLANNING FILE.**
17. **Project # 1003932**  
05DRB-00215 Minor-Prelim&Final Plat  
Approval
- ISAACSON & ARFMAN PA agent(s) for TRICOR REFERENCE LABS request(s) the above action(s) for all or a portion of Tract(s) D-1-A, **GATEWAY SUBDIVISION**, zoned SU-2 FOR C-3, located on WOODWARD PL NE, between LOMAS BLVD NE and MOUNTAIN RD NE containing approximately 10 acre(s). [REF: 02DRB01516] (J-15) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND CHECK FOR LINEOUT NOTE.**
18. **Project # 1000849**  
05DRB-00211 Minor-Prelim&Final Plat  
Approval
- SURVEYS SOUTHWEST, LTD agent(s) for BILL WADE request(s) the above action(s) for all or a portion of Lot(s) 61, 62 and 63, **BREEZE AT MOUNTAIN GATE**, zoned SU-1, PRD,C-1, SC, located on FOUR HILLS RD SE, between WENONAH AVE SE and SHAFFER CT SE containing approximately 1 acre(s). [REF: 03DRB-02074] (L-23) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

19. **Project # 1003761**  
05DRB-00210 Minor-Prelim&Final Plat  
Approval

SURVEYS SOUTHWEST, LTD agent(s) for DOUGLAS F. VAUGHAN request(s) the above action(s) for all or a portion of Lot(s) 15 & portion of 16, Block(s) 20, Tract(s) 3, **NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned SU-2 MIXED USE, located on PASEO DEL NORTE NE, between HOLLY AVE NE and HOLBROOK NE containing approximately 2 acre(s). *[Deferred from 2/16/05]* (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 2/23/05.**

20. **Project # 1002743**  
04DRB-00888 Minor-Final Plat  
Approval

BORDENAVE DESIGNS agent(s) for HARVEST HOMES LLC request(s) the above action(s) for all or a portion of Tract(s) C, **LA LUZ DEL OESTE, UNIT 4**, zoned SU-1 PRD, located on COORS BLVD NW, between WESTERN TRAILS NW and DELLYNE NW containing approximately 2 acre(s). [REF:Z-03-01007, 03DRB00989][*Final Plat was Indef Deferred for SIA 6/16/04*] *[Deferred from 2/9/05 & 2/16/05]* (F-11) **DEFERRED AT THE AGENT'S REQUEST TO 2/23/05.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

21. **Project # 1003931**  
05DRB-00209 Minor-Sketch Plat or Plan

JEFF MORTENSEN & ASSOCIATES agent(s) for THOMAS AND BETTS request(s) the above action(s) for all or a portion of Tract(s) A, **ATRISCO BUSINESS PARK, UNIT 1**, zoned SU-1 Planned Industrial Park, located on BLUEWATER RD NW, between AIRPORT DR NW and COORS BLVD NW containing approximately 40 acre(s). (J-10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. **Project # 1003928**  
05DRB-00203 Minor-Sketch Plat or Plan

SURVEY'S SOUTHWEST agent(s) for JIM MOCHO request(s) the above action(s) for all or a portion of Lot(s) 16-D, **TOHATCHI ADDITION** and Lot(s) 12, Block(s) C, **J. M. MOORE REALTY CO'S 3<sup>RD</sup> ADDITION**, zoned R-1, located on MOUNTAIN RD NW, between RIO GRANDE BLVD NW and PUEBLO BONITO NW containing approximately 2 acre(s). (J-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

23. **Project # 1003930**  
05DRB-00206 Minor-Sketch Plat or Plan

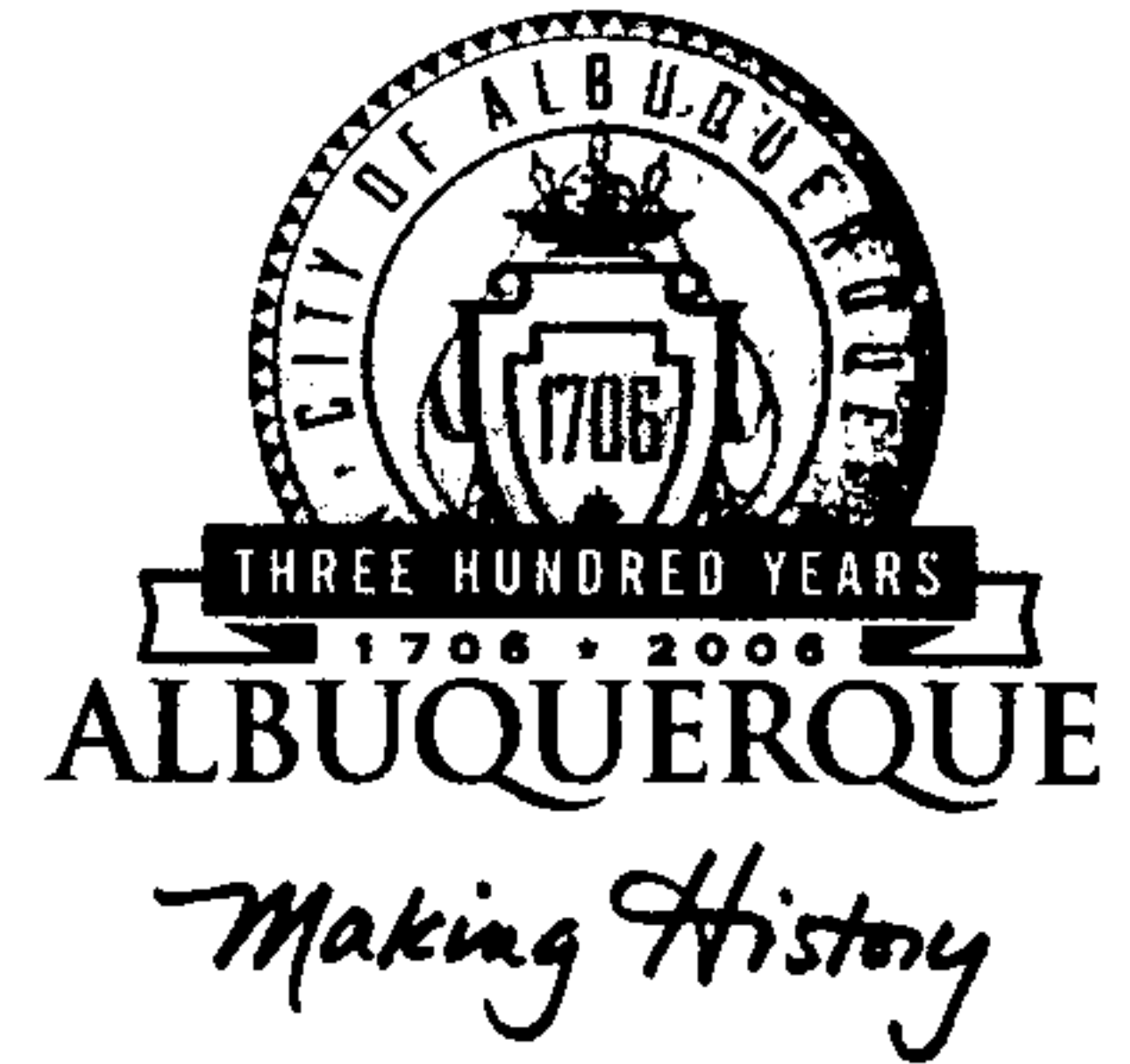
MARK GOODWIN & ASSOCIATES, PA agent(s) for MEL FAMIE, LLC request(s) the above action(s) for all or a portion of Tract(s) B, **LANDS OF BRACKSON A. COURSON**, zoned RD, located on 64<sup>TH</sup> ST NW, between MILNE RD NE and containing approximately 4 acre(s). [REF: 03DRB-02074] (G-10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

24. Approval of the Development Review Board Minutes for January 26, 2005. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR JANUARY 26, 2004 WERE APPROVED.**

ADJOURNED: 11:45 A.M.



# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1003929**

**AGENDA ITEM NO: 11**

**SUBJECT:**

- |                         |                          |                           |
|-------------------------|--------------------------|---------------------------|
| (01) Sketch Plat/Plan   | (05) Site Plan for Subd  | (10) Sector Dev Plan      |
| (02) Bulk Land Variance | (06) Site Plan for BP    | (11) Grading Plan         |
| (03) Sidewalk Variance  | (07) Vacation            | (12) SIA Extension        |
| (03a) Sidewalk Deferral | (08) Final Plat          | (13) Master Dev. Plan     |
| (04) Preliminary Plat   | (09) Infrastructure List | (14) Cost Allocation Plan |

**ACTION REQUESTED:**

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

Albuquerque

No adverse comments.

New Mexico 87103

**RESOLUTION:**

www.cabq.gov

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** February 16, 2005

**SANDERS & ASSOCIATES ARCHITECTS, P. C.**

5921 LOMAS BLVD. N.E. SUITE B ALBUQUERQUE, NEW MEXICO 87110 [505] 255-5040 FAX [505] 255-5040  
Architecture Landscape Architecture Interior Design

February 11, 2005

Ms. Sheran Matson, AICP  
Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> Street N.W.  
Albuquerque, N.M. 87102

Project # 1003929 Application # 05-00205

Thank you for your comments for the above mentioned DRB application please find below my responses.

1. The signature block has been revised to match the City standard.
2. The proposed use of Office and Warehouse has been added on the building footprint.
3. There is no building signage proposed per the property owner's direction.
4. There is no loading dock the overhead doors on the east side of the building are drive in doors.
5. Lighting is mounted on the building and there are to be no pole mounted lights. All lighting will be shielded per the note on sheet C-1.
6. The dumpster enclosure elevation has been placed on sheet C-1.
7. "Landscaping Plan" has been added next to C-2.

Landscape Plan comments:

1. It is our understanding that the required North I25 rear yard landscape buffer will not be required because the rear of the site is walled and thus screened from view. Jack Basye has indicated that they rear landscaping buffer may be omitted in a note that is attached.

The note on the landscaping plan has been corrected concerning the requirement that no parking space be farther that 50' from a tree. The landscaping plan reflects no parking space is further than 50' from a tree.

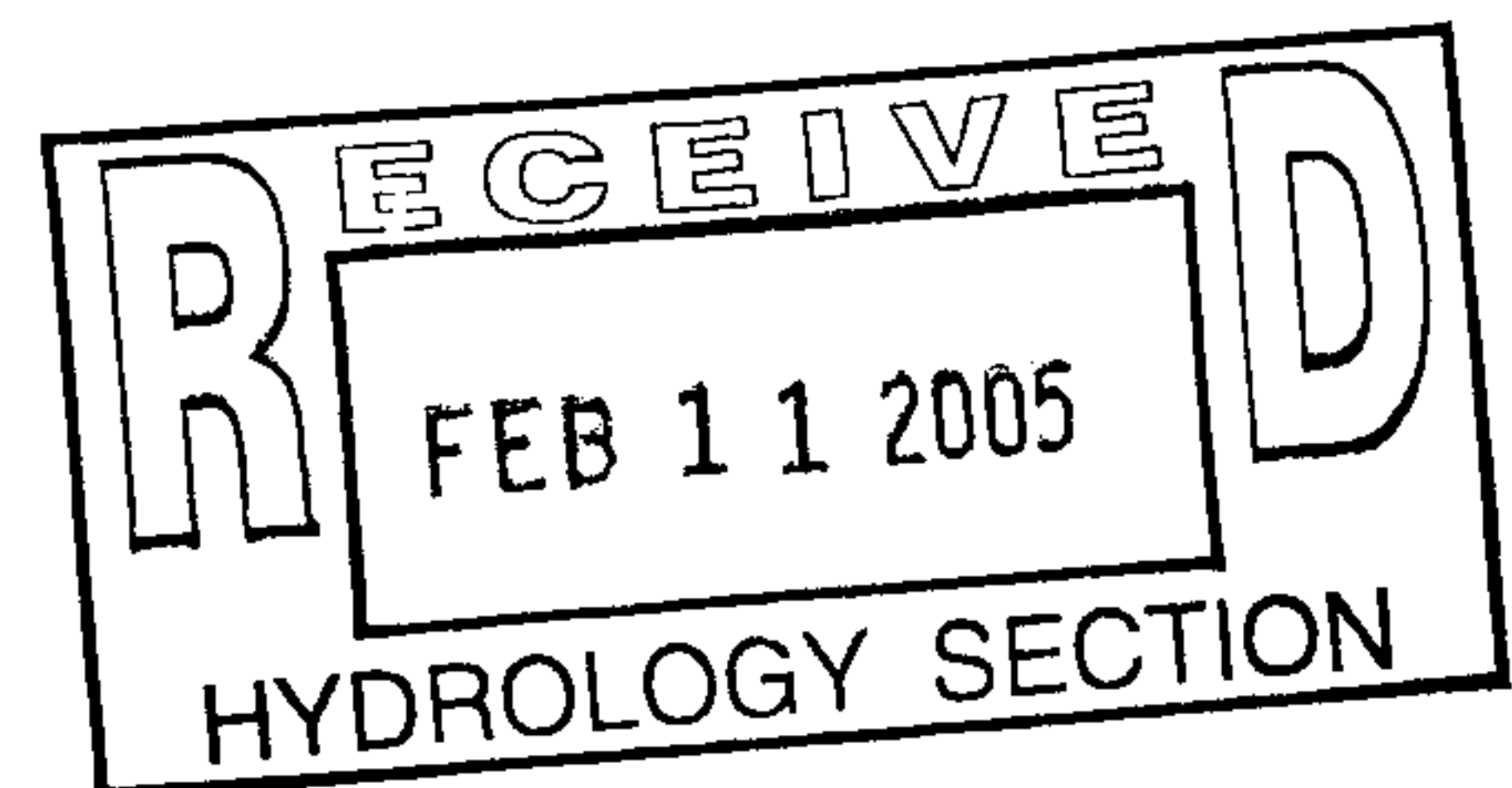
2. A note has been added to the landscaping plan that the gravel shall be Santa Ana Tan.

The roof for the office has a parapet which shields view of both the roof and all mechanical equipment. The warehouse portion has a pre-finished ribbed metal roof which shall not have a highly reflective surface per requirements of the Alameda Business Park Master Plan.

ADD  
to  
SPBP

Sincerely,

George Sanders, AIA





# City of Albuquerque



Environmental Health Department



Alfredo R. Santistevan Director

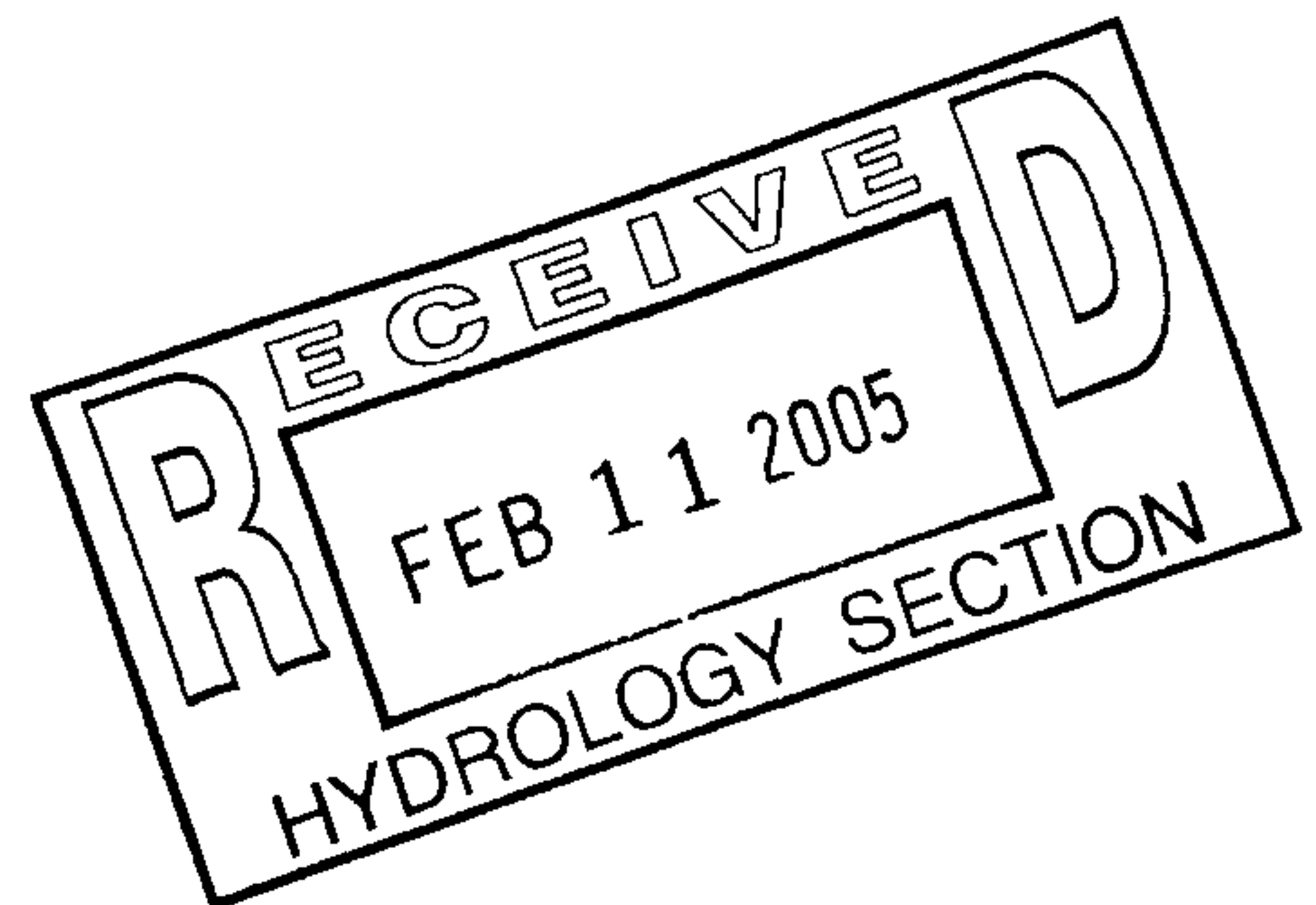
**February 11, 2005**

To: Sheran Matson, DRB Planning Department  
From: Marcia A. Pincus, Environmental Health Department  
Subject: Lot 42 Located in the Alameda Business Park

The above site is within 1000 feet of the former City Owned and/or Operated Los Angeles Landfill. However, this lot is exempt from having to follow the Interim Guidelines for Development Within 1000 Feet of a Landfill.

The project may proceed through the Planning Department process assuming all other Planning Department requirements have been met.

cc: Kevin Curran, Legal Department  
File



**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
February 16, 2004  
DRB Comments**

**ITEM # 11**

**PROJECT # 1003929** - **APPLICATION # 05-00205** - *write on original*

**RE: Lot 42, Alameda Business Park/SPBP**

Even though this lot is within 1000' of a landfill, the City Environmental Health Department has exempted it from any investigation or cleanup.

The following comments are based on the requirements listed on the SPBP Checklist:

1. The signature block is incorrect. Be sure to place the correct one ✓  
on your SPBP original before the DRB meeting. The form is available  
at the One Stop Shop Front Counter.
2. The proposed use is not listed on the building footprint on the Site ✓  
Plan sheet. *no 25' x 40'*
3. There are no signs shown on the SPBP. Why? *none*
4. Why is the Loading Facility on the checklist marked "NA" when ✓  
there is a loading facility at the rear of the building? *no loading dock*
5. Is there any lighting in the parking lot? None is shown. *no*  
*boundary must fall*
6. The dumpster enclosure elevation should be placed on one of the ✓  
sheets in the SPBP.
7. On Sheet C-2, please place the title by the "Landscape Plan" by ✓  
the C-2.

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Windows and storefronts are to have tinted glass and are to be in anodized aluminum or pre-finished metal frames. Glass colors are to be compatible with the overall color scheme of the building. Glass curtainwalls are limited to building entries and should not exceed 25% of the area of the building facade of which they are part. Glass curtainwalls may have reflective glass of a color compatible with other glass used in windows and storefronts. Glass installed in the westerly facing facades shall be of a type which reduces light reflectance. Mirrored glass and/or highly reflective glass shall not be installed in westerly facing facades.

Accent walls or accent elements introduced to the building design to give it detailing may utilize any of the allowable materials above as well as painted or pre-finished metal, stainless steel, ceramic tile veneer or colored concrete.

4. Building Colors of major facades are to be muted or pastel rather than bright or brilliant. The use of primary colors for major building walls is prohibited. Architectural accent walls, detached entry walls or colonnades or attached accent elements (entry canopies, window shading devices, medallions, window transoms) may be primary or bright colors.
5. Roofs may be either flat or pitched. Flat roofs shall have a perimeter parapet which at no point will be lower than any portion of the roof it surrounds. Pitched roofs are to be of either concrete tiles, clay tiles or pre-finished ribbed metal. Tile and metal roof colors are to be consistent with the building colors are not to have a highly reflective surface.
6. Roof Equipment Screens
  - A. Mechanical equipment on roofs is to be screened from public view as much as practical. Roof equipment screens are to be at least as high as the highest part of the equipment. Roof screens are to be architecturally compatible with the building.
7. Building mounted signage will conform to the zoning ordinance and the following:
  - A. Dimensional height of any portion of the signs shall not exceed 3'-6".
  - B. No portion of the sign shall protrude more than 6" from the building face on which it is mounted.
8. Direct lot access to Edith Blvd. and/or Alameda Blvd. is not permitted.

Comments on the Landscape Plan in the SPBP:

*6' high wall surrounds rear area. No landscaping required here.*

*See note below*

- \* 1. Per the North I25 Sector Plan;
  - The required 6' rear yard landscape buffer is missing.
  - Both this plan & the Alameda Business Park Master Plan require all parking spaces to be no more than 50' ~~from~~ <sup>from</sup> a tree. The SPBP states 100'.
- 2. Per the Alameda Business Park Master Plan:
  - The gravel in the Landscape Plan should have color. The Alameda Business Park Master Plan requires Santa Ana Tan gravel. Santa Fe Brown is an acceptable substitute.
  - Look at Amendment 2, #5, Roofs and include what is required by this amendment in the SPBP.

*Jack - sidewalk*

*✓*

*from*

*✓*

*?*

*Alameda SBP*

To avoid possible deferral, please be sure to have your corrected SPBP (4 copy) to Planning by Monday, February 14<sup>th</sup> at noon. You may leave it at the Front Counter or with Claire, the Administrative Assistant for DRB.

*5  
4 bring wed.  
1 bring monday*

If you have any questions, please call me at 924-3880.

Sheran Matson, AICP DRB Chair  
924-3880 fax 924-3864 smatson@cabq.gov

*\* The rear landscaping buffer may be omitted for lot relationships within this larger site development plan, the Alameda Business Park. Jack Payne 2/11/05*

*ENFORCEMENT*

*Justification: The requirement is intended for property boundaries that are otherwise separate in development. This development is interior to the larger site development plan.*

\*\*\*\*\*  
\*\*\* TX REPORT \*\*\*  
\*\*\*\*\*

TRANSMISSION OK

TX/RX NO	2966	
CONNECTION TEL		92555040
SUBADDRESS		
CONNECTION ID		
ST. TIME	02/11 10:46	
USAGE T	02'09	
PGS.	3	
RESULT	OK	

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
FAX FORM**

TO: George Sanders FAX# 255-5010  
Sanders Assoc.

# PAGES (INCLUDING COVER SHEET) 3

FROM: Sheran Matson, DRB Chair FAX # 924-3864 PHONE # 924-3880

**COMMENTS:**

Planning's comments only.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
February 16, 2004  
DRB Comments

ITEM # 11

PROJECT # 1003929

APPLICATION # 05-00205

RE: Lot 42, Alameda Business Park/SPBP

- ✓ Even though this lot is within 1000' of a landfill, the City Environmental Health Department has exempted it from any investigation or cleanup.
- ✓ The following comments are based on the requirements listed on the SPBP Checklist:
1. The signature block is incorrect. Be sure to place the correct one on your SPBP original before the DRB meeting. The form is available at the One Stop Shop Front Counter.
  - ✓ 2. The proposed use is not listed on the building footprint on the Site Plan sheet.
  - ③ 3. There are no signs shown on the SPBP. Why?
  - ✓ 4. Why is the Loading Facility on the checklist marked "NA" when there is a loading facility at the rear of the building?  
*drive in door*
  - ✓ 5. Is there any lighting in the parking lot? None is shown.
  - ✓ 6. The dumpster enclosure elevation should be placed on one of the sheets in the SPBP.
  - ✓ 7. On Sheet C-2, please place the title by the "Landscape Plan" by the C-2.

Comments on the Landscape Plan in the SPBP:

1. Per the North I25 Sector Plan;
  - ✓ The required 6' rear yard landscape buffer is missing.
  - ✓ Both this plan & the Alameda Business Park Master Plan require all parking spaces to be no more than 50' from a tree. The SPBP states 100'.
2. Per the Alameda Business Park Master Plan:
  - ✓ The gravel in the Landscape Plan should have color. The Alameda Business Park Master Plan requires Santa Ana Tan gravel. Santa Fe Brown is an acceptable substitute.
  - Look at Amendment 2, #5, Roofs and include what is required by this amendment in the SPBP.

Ad  
Lang  
02/14/14  
SP

To avoid possible deferral, please be sure to have your corrected SPBP (1 copy) to Planning by Monday, February 14<sup>th</sup> at noon. You may leave it at the Front Counter or with Claire, the Administrative Assistant for DRB.

If you have any questions, please call me at 924-3880.

---

Sheran Matson, AICP DRB Chair  
924-3880 fax 924-3864 smatson@cabq.gov

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)

**L A APPEAL / PROTEST of...**

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: Mike Baker PHONE: (505) 898-0100  
 ADDRESS: P.O. Box 92227 FAX: (505) 898-0200  
 CITY: Albuquerque STATE N.M., ZIP 87199 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: OWNER List all owners: \_\_\_\_\_  
 AGENT (if any): Sanders & Associates Architects PHONE: (505) 255-5040  
 ADDRESS: 5921 Lomas Blvd. N.E. Suite B FAX: (505) 255-5040  
 CITY: Albuquerque STATE N.M., ZIP 87110 E-MAIL: \_\_\_\_\_

DESCRIPTION OF REQUEST: Site development plan approval for building permit for 6,500 s.f. office warehouse on lot 42 of the Alameda Business Park

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. 42 Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv. / Addn. Alameda Business Park  
 Current Zoning: SU-2, IP-EP Proposed zoning: \_\_\_\_\_  
 Zone Atlas page(s): C-16-Z No. of existing lots: \_\_\_\_\_ No. of proposed lots: \_\_\_\_\_  
 Total area of site (acres): .53 ac. Density if applicable: dwellings per gross acre: \_\_\_\_\_ dwellings per net acre: \_\_\_\_\_  
 Within city limits?  Yes. No  but site is within 5 miles of the city limits.) Within 1000FT of a landfill? no.  
 UPC No. \_\_\_\_\_ MRGCD Map No. \_\_\_\_\_

LOCATION OF PROPERTY BY STREETS: On or Near: Calle Alameda N.E.  
 Between: Paseo Alameda and Vista Alameda

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):  
DRB 98223 1000624

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE George Sanders DATE 2/7/05  
 (Print) George Sanders \_\_\_\_\_ Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 4/04

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>05 DRB - 00205</u>	<u>SBP</u>		\$ <u>385.00</u>
<input checked="" type="checkbox"/> All fees have been collected				\$ _____
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill <u>YES</u>		<u>CMF</u>		\$ <u>20.00</u>
<input checked="" type="checkbox"/> F.H.D.P. density bonus				Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>2/16/05</u>			\$ <u>405.00</u>

Alvarez 2-7-05  
 Planner signature / date

Project # 1003929



**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

**SKETCH PLAN REVIEW AND COMMENT**

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION**

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist
  - Blue-line copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
  - Infrastructure List, if relevant to the site plan
  - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

George Sanders  
Applicant name (print)

George Sanders 2/7/05  
Applicant signature / date



Form revised October 2004

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
 OSDRB - \_\_\_\_\_ - 00205  
 \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_  
 \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

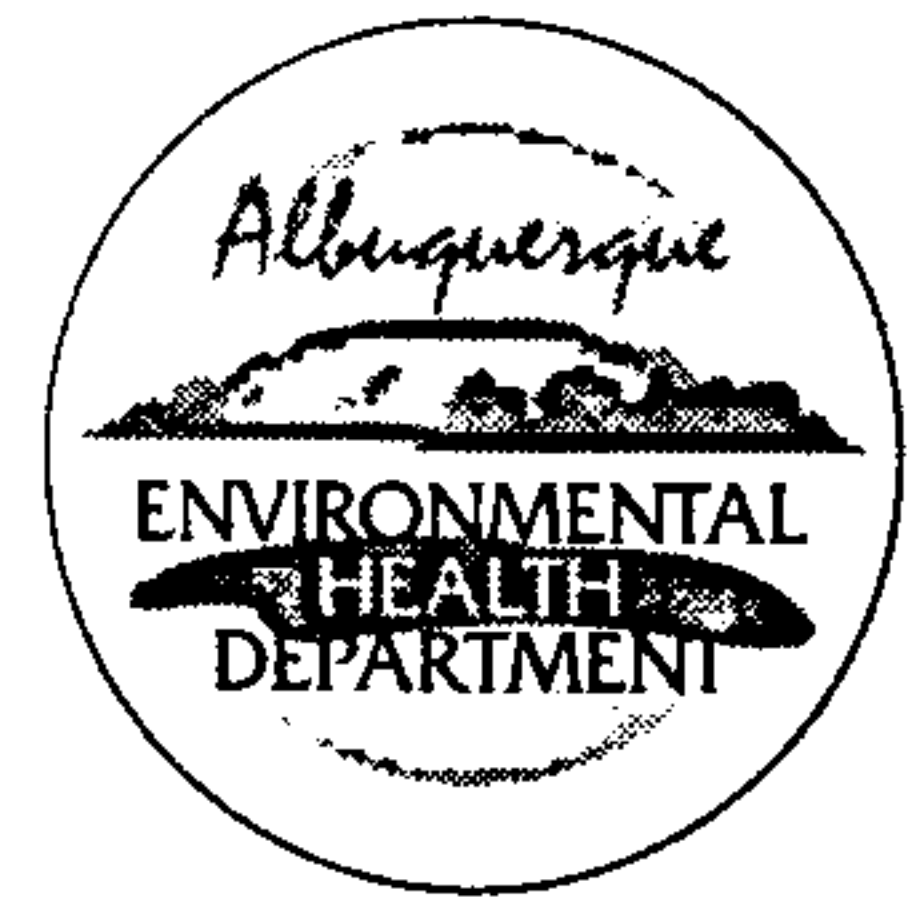
APR 27 2005  
 Planner signature / date

**Project # 1003929**



Martin J. Chávez, Mayor

**City of Albuquerque**  
**Environmental Health Department**



Alfredo R. Santistevan, Director

---

February 11, 2005

**To: Sheran Matson, DRB Planning Department**  
**From: Marcia A. Pincus, Environmental Health Department**  
**Subject: Lot 42 Located in the Alameda Business Park**

The above site is within 1000 feet of the former City Owned and/or Operated Los Angeles Landfill. However, this lot is **exempt** from having to follow the Interim Guidelines for Development Within 1000 Feet of a Landfill.

The project may proceed through the Planning Department process assuming all other Planning Department requirements have been met.

cc: Kevin Curran, Legal Department  
File

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

**I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.**

  
Applicant or Agent Signature / Date

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.**

## Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

## SHEET #1 - SITE PLAN

### A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less      1" = 10'  
1.0 - 5.0 acres      1" = 20'  
Over 5 acres      1" = 50'  
Over 20 acres      1" = 100'      *[Other scales as approved by staff]*
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Property lines (clearly identify)
- 7. Existing and proposed easements (identify each)
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

## B. Proposed Development

### 1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- N/A G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

### 2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. **Location and typical dimensions**, including handicapped spaces
  - 2. **Calculations:** spaces required: 12 provided: 12  
 Handicapped spaces required: 1 provided: 1
- B. Bicycle parking & facilities
  - 1. Bicycle racks, spaces required: 1  
 provided: 1
  - N/A 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
  - 4. Location & orientation of refuse enclosure, with dimensions
  - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths
  - 2. Location and dimension of drive aisle crossings, including paving treatment
  - 3. Location and description of amenities, including patios, benches, tables, etc.

### 3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
  - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
  - N/A 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - N/A 3. Location of traffic signs and signals related to the functioning of the proposal
  - N/A 4. Identify existing and proposed medians and median cuts
  - 5. Sidewalk widths and locations, existing and proposed
- N/A B. Identify Alternate transportation facilities within site or adjacent to site
  - N/A 1. Bikeways and bike-related facilities

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required

## 4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

## 5. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
  - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
  - A. Existing, indicating whether it is to be preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)

## SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

## A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

## B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

## SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

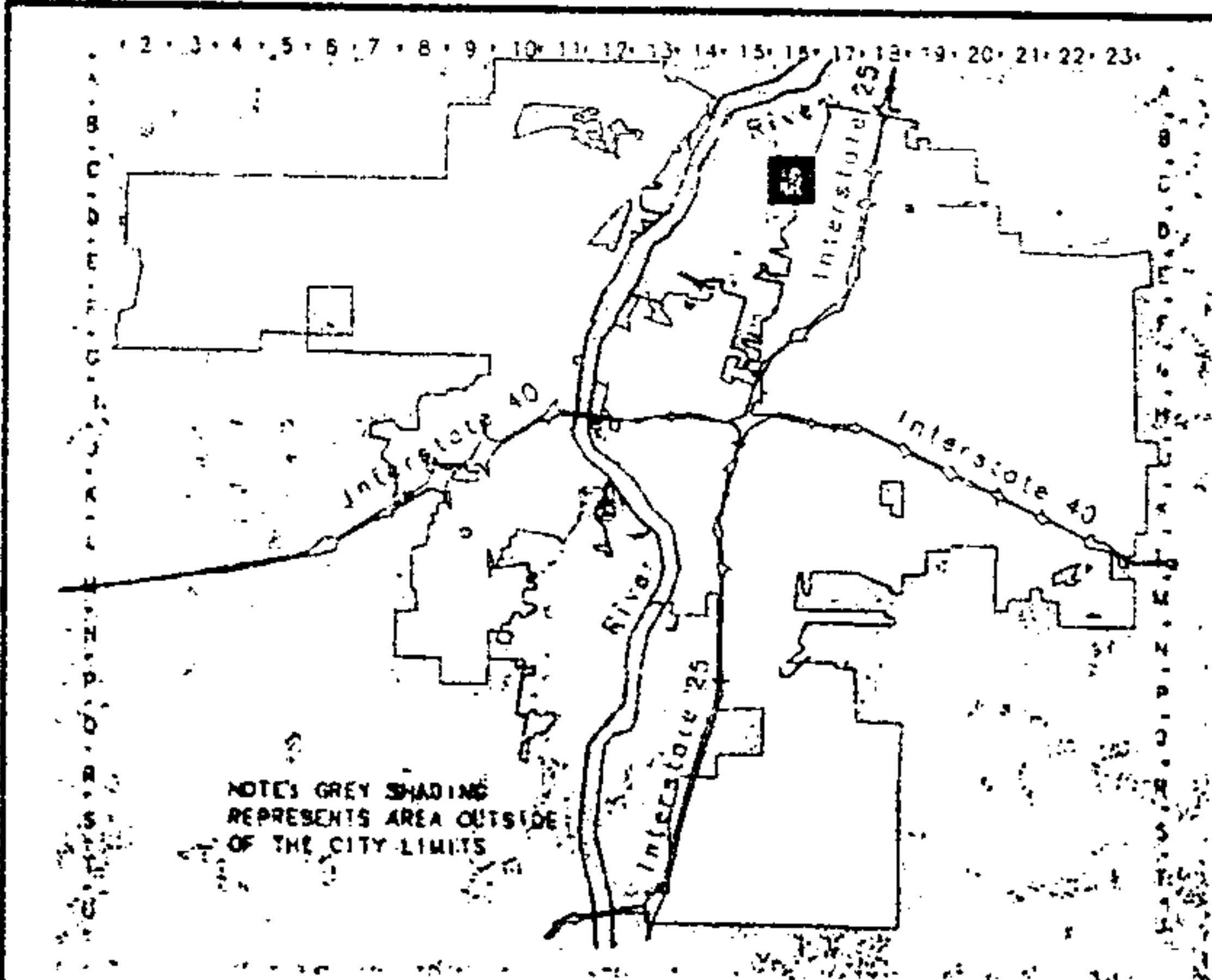
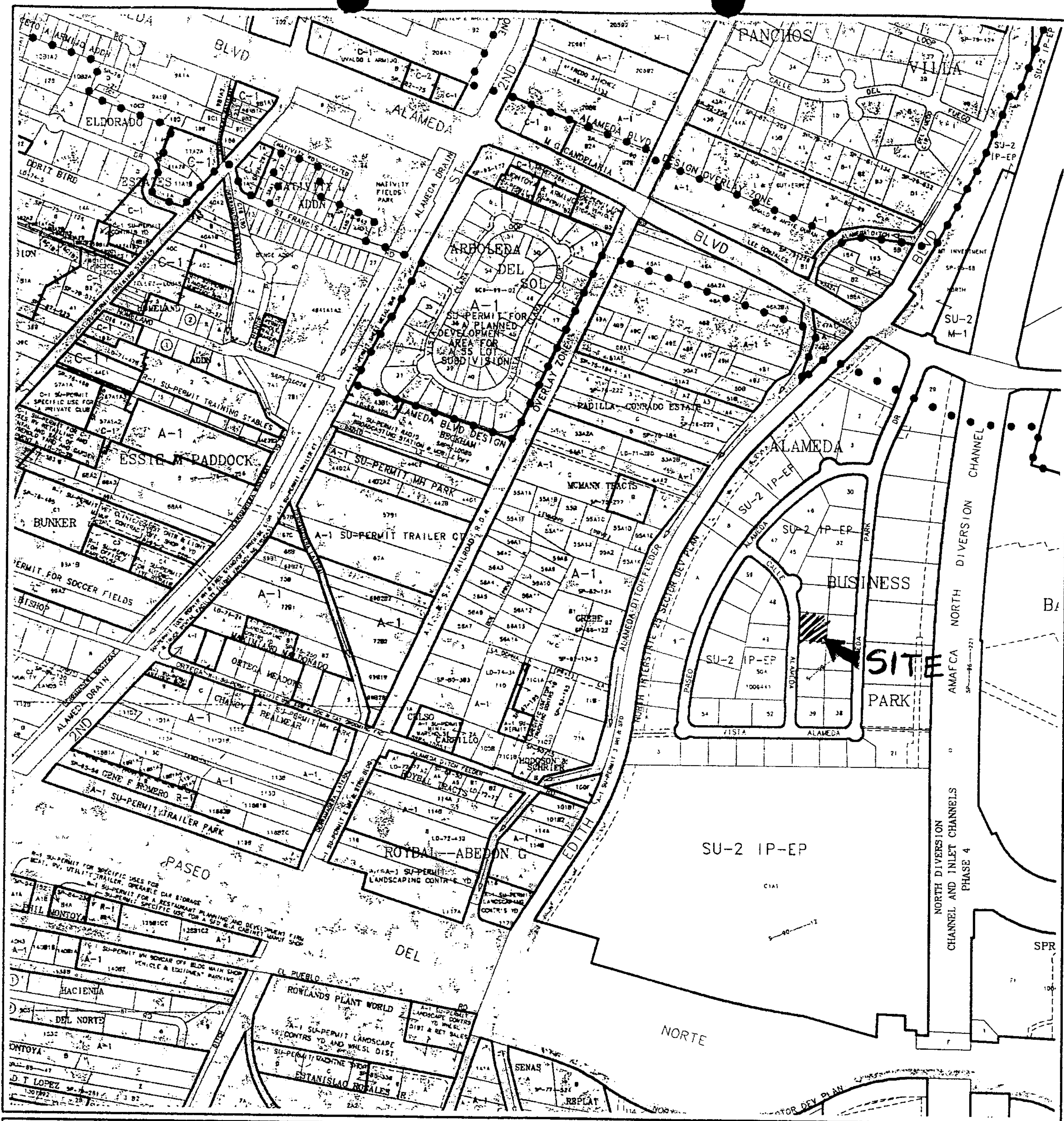
### A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  - 1. Identify facade orientation
  - 2. Dimensions of facade elements, including overall height and width
  - 3. Location, material and colors of windows, doors and framing
  - 4. Materials and colors of all building elements and structures
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

### B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

*Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.*

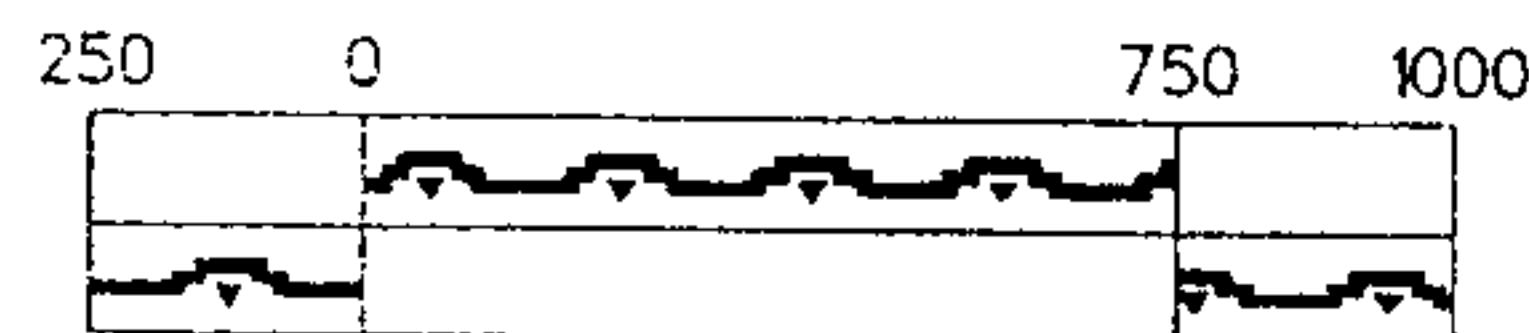


CITY OF  
Albuquerque

Albuquerque Geographic Information System  
PLANNING DEPARTMENT

© Copyright 2003

GRAPHIC SCALE IN FEET



Zone Atlas Page

**C-16-Z**

Map Amended through January 21, 2003

# SANDERS & ASSOCIATES ARCHITECTS, P. C.

5921 LOMAS BLVD. N.E. SUITE B ALBUQUERQUE, NEW MEXICO 87110 [505] 255-5040 FAX [505] 255-5040  
Architecture Landscape Architecture Interior Design

February 7, 2005

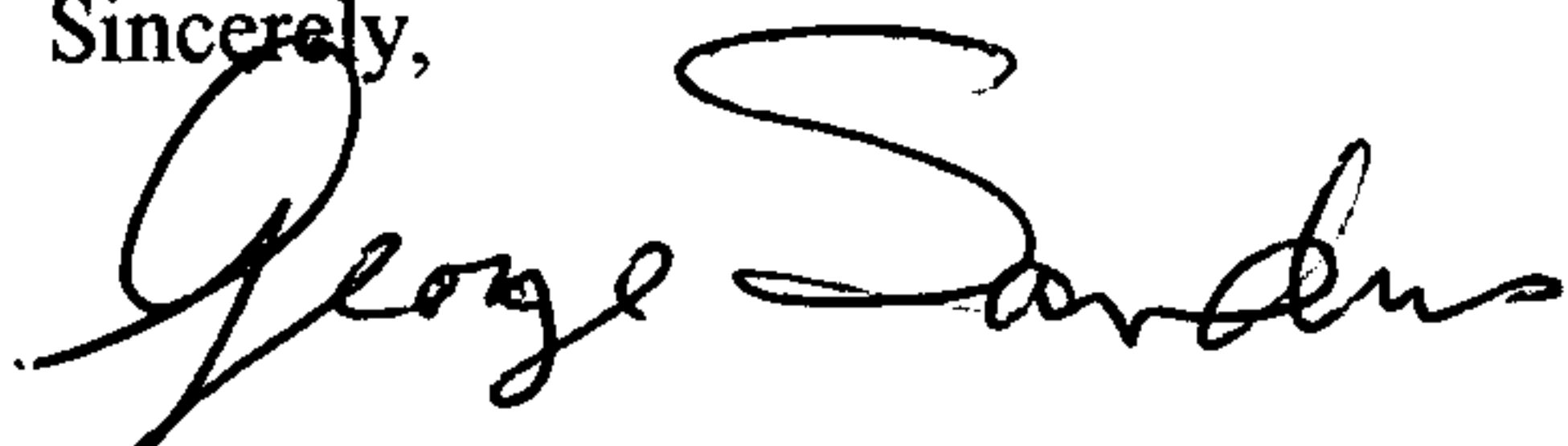
Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> Street N.W.  
Albuquerque, N.M. 87102

To Whom It May Concern

We present the attached site plan and related drawings for Site Development Plan for Building Permit approval. The proposed building is on lot number 42 in the Alameda Business Park. The proposed building will be an office / warehouse occupancy consisting of 4,708 s.f. of warehouse and 1,800 s.f. of office. The proposed development conforms to the requirements of the North I-25 Sector Development Plan, The Alameda Design Overlay Zone, the North Valley Area Plan, and the IP, Industrial Park Zone.

The refuse collection and outdoor storage areas will be screened by a 6' tall colored masonry wall surrounding the back 2/3rds of the property. All loading and unloading of commercial vehicles will occur behind the building and behind the masonry site wall. The setback requirements of 20' front yard, 10' side yard and 10' rear setbacks have been met or exceeded. Landscaping requirements of the Alameda Business Park have been met as is evidenced on the attached landscaping plan with the exception of the required 6' landscaping buffer on the south property line which it is our understanding will be waived because of an existing asphalted cross access drive along this south property line which accesses our site as well as the property to the south. Building colors and materials conform to existing colors and materials of buildings within and adjacent to the Alameda Business Park.

Sincerely,



George Sanders, AIA



EXISTING FENCE TO REMAIN

# VICINITY MAP

ZONE ATLAS MAP NO. C-16

AMENDED 8/4/99 NTS.

## SITE DEVELOPMENT PLAN NOTES:

1. PROPOSED DEVELOPMENT PLAN MUST CONFORM TO THE REQUIREMENTS OF THE NORTH I-25 SECTOR DEVELOPMENT PLAN, THE ALAMEDA DESIGN OVERLAY ZONE, THE NORTH VALLEY AREA PLAN, AND THE IP, INDUSTRIAL PARK ZONE.
2. SITE DEVELOPMENT PLANS AND LANDSCAPE PLANS ARE REQUIRED FOR PERMISSIVE USES ON ALL LOTS. LOTS 23, AND 14-36 SHALL BE APPROVED BY THE PLANNING DIRECTOR. LOTS 1, 4-13, AND 31-33 SHALL BE APPROVED BY THE PLANNING DIRECTOR FOLLOWING NOTIFICATION OF AND OPPORTUNITY FOR REVIEW BY THE ALAMEDA NORTH VALLEY NEIGHBORHOOD ASSOCIATION.
3. ALL REFUSE COLLECTION AND OUTDOOR STORAGE AREAS SHALL BE VISUALLY SCREENED FROM THE PUBLIC RIGHT-OF-WAY AND FROM ADJACENT PROPERTY LINES. SCREENING SHALL CONSIST OF OPAQUE MATERIALS. SOLID BALLS OR PROPERTY FENCINGS SHALL BE AT LEAST SIX FT HIGH AND BE CONSTRUCTED OF MATERIALS WHICH BLEND WITH THE ARCHITECTURAL STYLE OF BUILDINGS ON SITE.
4. ALL LOADING AREAS USED FOR THE LOADING AND UNLOADING OF COMMERCIAL VEHICLES SHALL BE SET BACK FROM THE PUBLIC RIGHT-OF-WAY LINE AND FROM ALL PROPERTY LINES TO REDUCE THE VISUAL IMPACT OF LARGE COMMERCIAL VEHICLES AND LOADING AREAS.
5. BUILDING SETBACK REQUIREMENTS:
  - A) FRONT YARD: NOT LESS THAN 20'
  - B) SIDE YARD: NOT LESS THAN 10'
  - C) REAR YARD: NOT LESS THAN 10'
  - D) LOTS 1 AND 4-8 SHALL HAVE A 5' SETBACK FROM THE TOP OF THE SLOPED PORTION OF THE LOT, ADJUTING EDITH BLVD.
6. STRUCTURE HEIGHT AND BIRTH SHALL FALL WITHIN 45° ANGLE PLANES DRAIN FROM THE HORIZONTAL AT THE MEAN GRADE ALONG EACH BOUNDARY OF THE PREMISES, BUT A STRUCTURE SHALL NOT EXCEED A HEIGHT OF 60 FT (EXCEPT AS FURTHER DEFINED IN THE ZONING CODE)
7. NO MORE THAN 50% OF THE SURFACE OF ANY LOT SHALL BE COVERED WITH BUILDINGS.
8. FOR LANDSCAPE BUFFER REQUIREMENTS SEE LANDSCAPE NOTES ON SHEET 2 OF 2.
9. SEE SHEET 2 OF 2 FOR SIGNAGE, SITE LIGHTING, AND ARCHITECTURAL REQUIREMENTS.

TRACT C-1-A-1, LANDS OF SPRINGER BUILDING MATERIALS CORP. (EXISTING GENERAL MILLS PLANT) ZONED SU-2, IP-EP.

DRB 98-223

THIS PLAN IS CONSISTENT WITH THE REQUIREMENTS OF THE NORTH I-25 SECTOR DEVELOPMENT PLAN AND CITY OF ALBUQUERQUE ZONING ORDINANCE.

[Signature] 8/4/99  
 PLANNING DEPT. DATE  
 [Signature] 3-29-99  
 TRANSPORTATION DEPT. DATE  
 [Signature] 8-16-97  
 CITY ENGINEER/ AMAFCA DATE  
 [Signature] 8-7-99  
 UTILITY DEPT. DATE  
 [Signature] 8-4-99  
 C.I.P. DATE  
 [Signature] 3-2-99  
 DATE

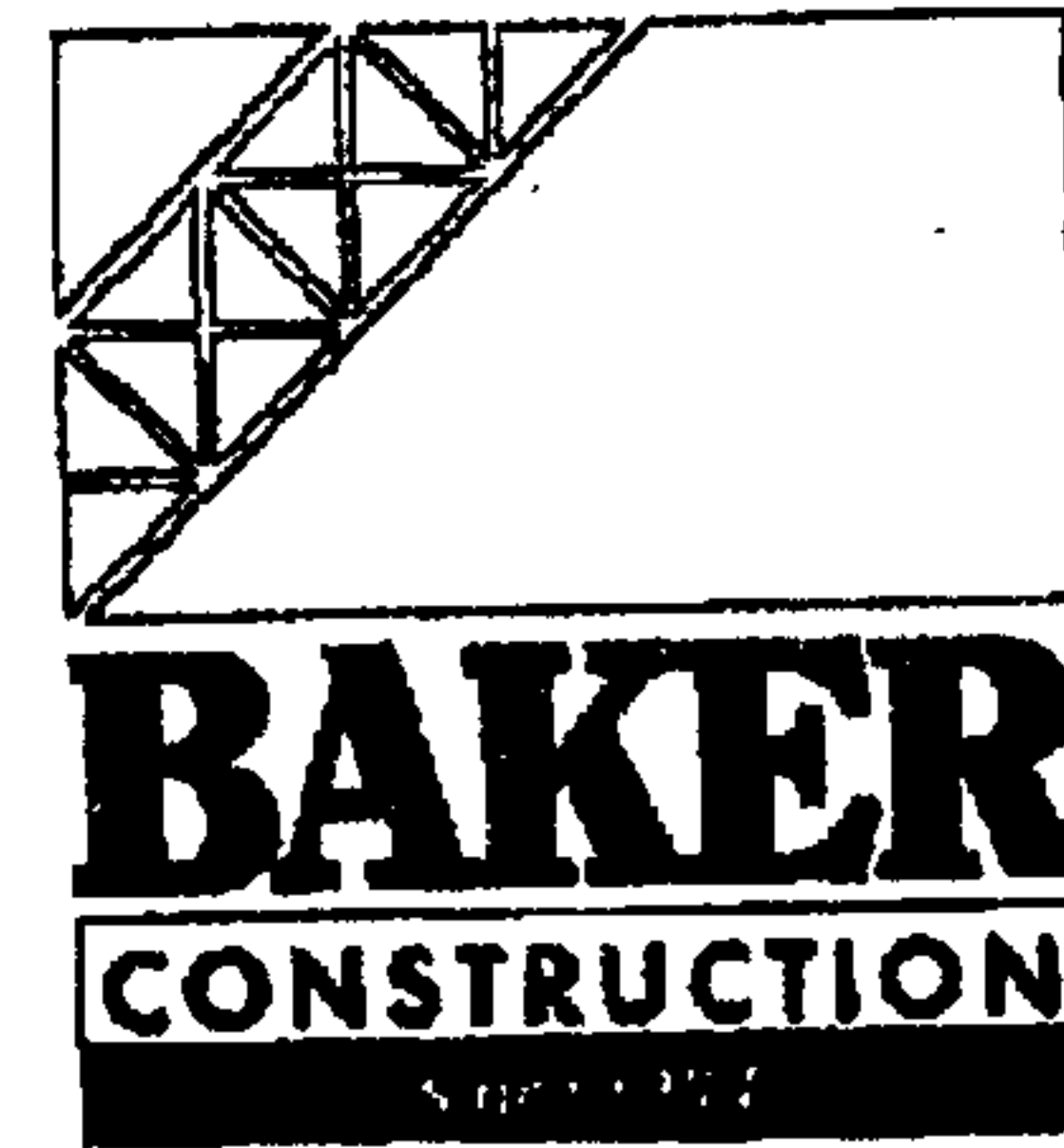
AMENDED 8/4/99

NOTE:

February 7, 2005

George Sanders  
Sanders and Associates

Re: 8516 Calle Alameda



---

MEMBER, AGC OF AMERICA

Dear George,

Please consider this letter your authorization to represent myself and Baker Construction Co. Inc. regarding City of Albuquerque planning and building permit issues for the building to be located at 8516 Calle Alameda NE in Albuquerque, NM,

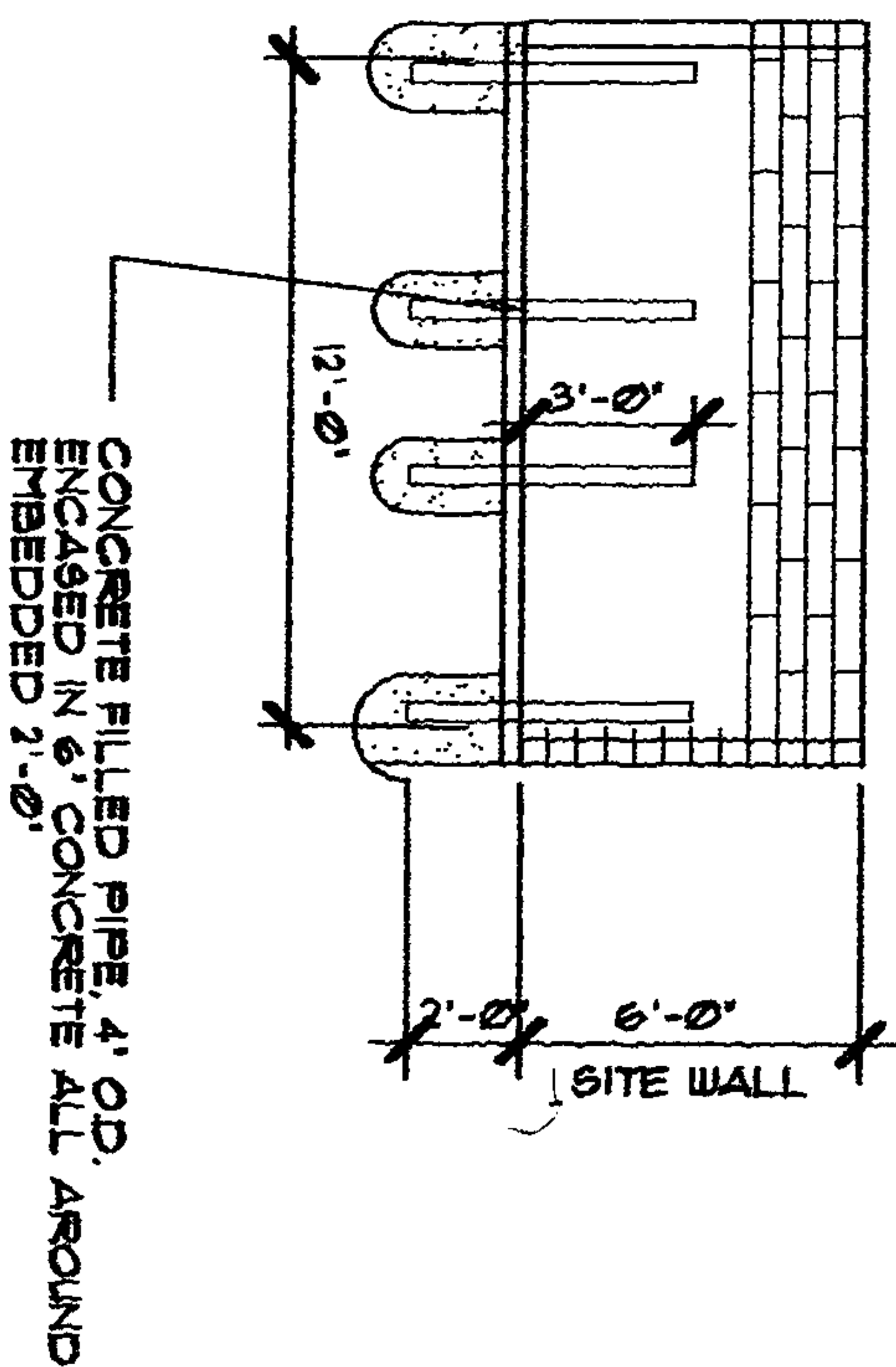
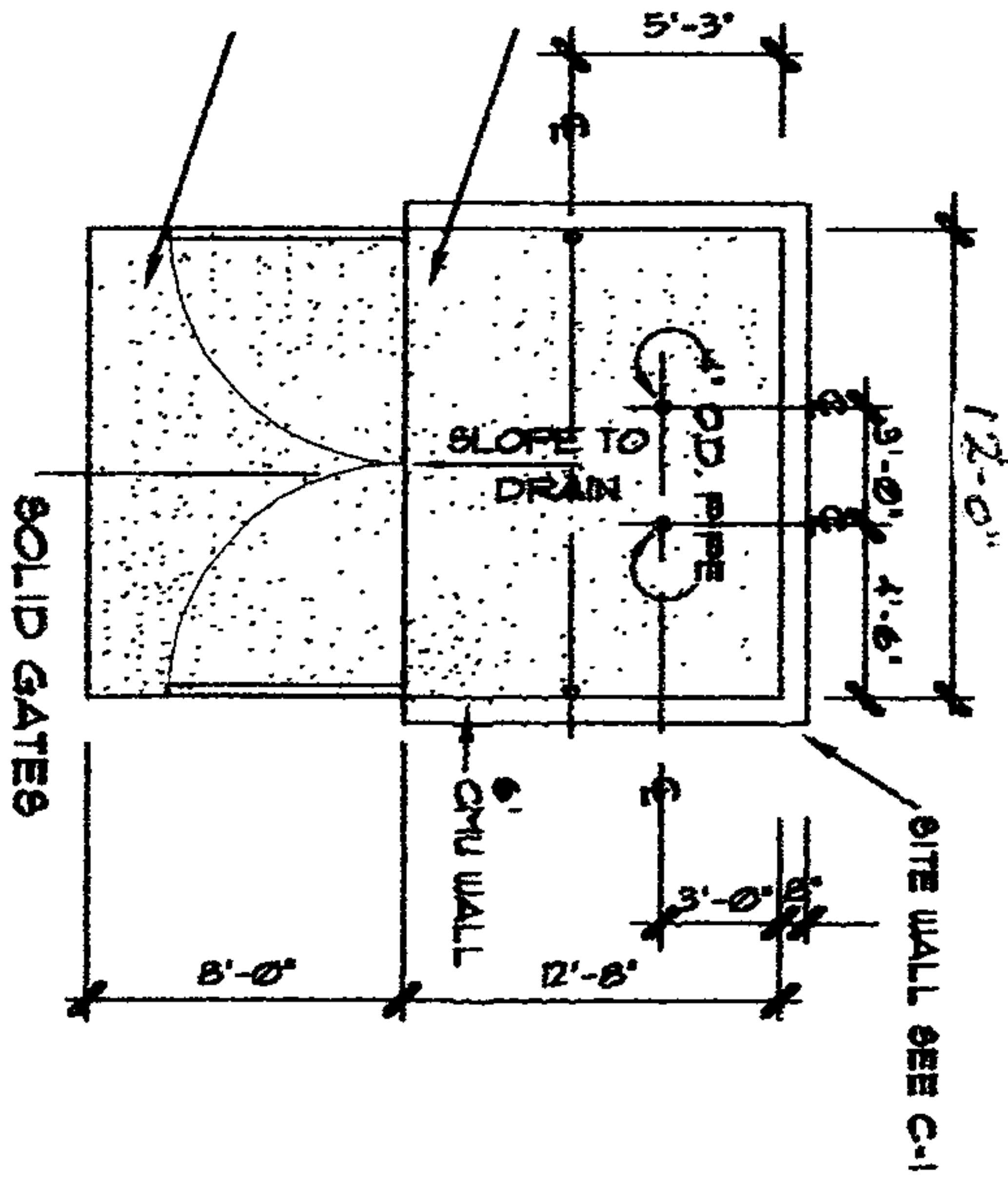
Sincerely,

A handwritten signature in black ink that reads "Michael Baker". The signature is written in a cursive style with a horizontal line at the end.

Michael Baker  
Pres.  
Baker Const. Co. Inc.

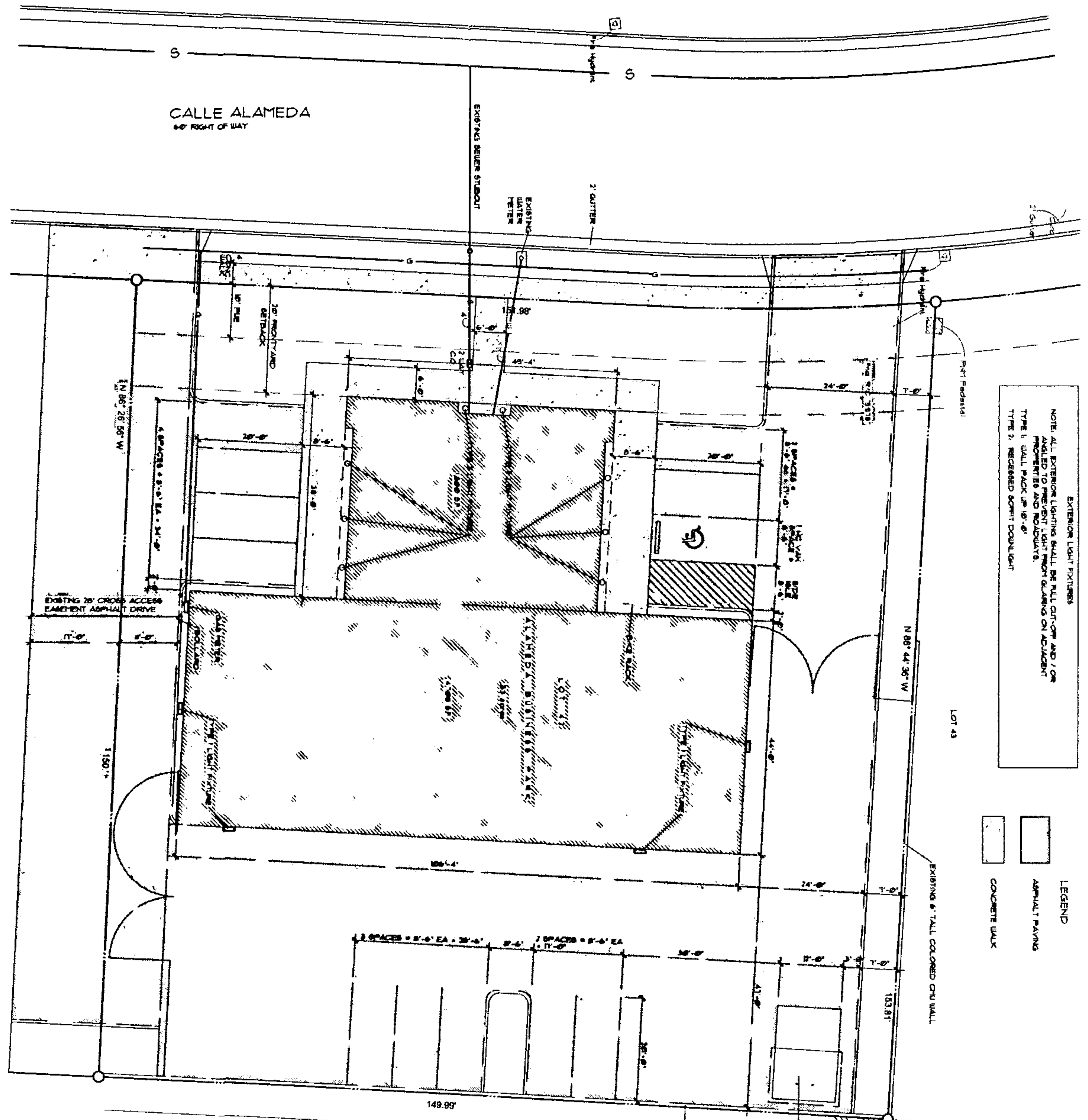
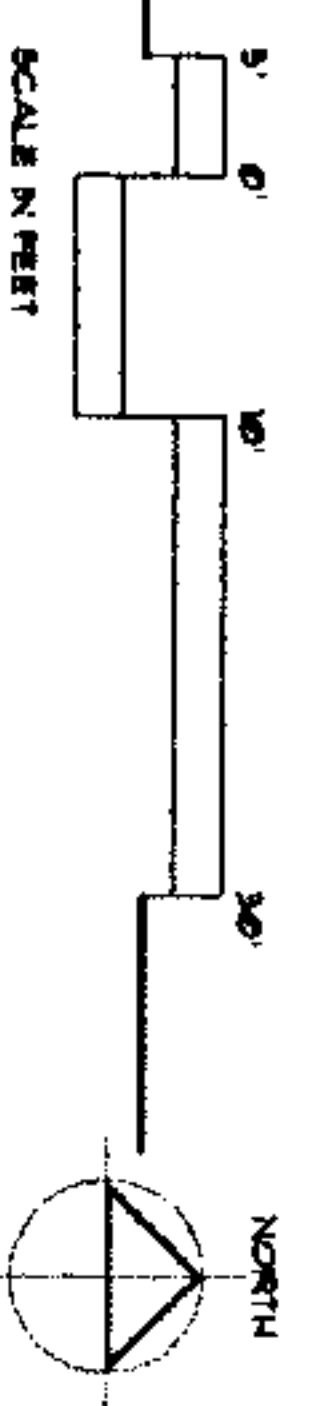
4' THICK CONCRETE SLAB  
 3000 PSI, 3/4" AGG.  
 W/ 6X6-10/10 W/M OR EQUAL  
 SLOPE TO DRAIN 1/8" PER FOOT

6" THICK CONCRETE APRON  
 3000 PSI, 3/4" AGG.  
 W/ 6X6-10/10 W/M OR EQUAL



**2 DUMPSTER ENCLOSURE**  
 NOT TO SCALE

**1 SITE PLAN**  
SCALE: 1" = 10'-0"



**EXTENSION LIGHT FIXTURES**

NOTE: ALL EXTENSION LIGHTING SHALL BE FULL CUT-OFF AND 7' OR HIGHER TO PREVENT LIGHT POLLUTION ON ADJACENT PROPERTIES AND ROADWAYS.

TYPE 1: WALL PACK UP 6'-0"

TYPE 2: RECESSED DOWN LIGHT

**LEGEND**

ASPHALT PAVING

CONCRETE WALK

**LEGAL DESCRIPTION**

LOT NUMBERED PORTION OF ALAMEDA BUSINESS PARK, A REPLAT OF TRACT B-1-A-1, LANDS OF BAKERS BUILDING MATERIALS CORPORATION, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 25, 1991 IN BOOK TWO, PAGE 87, AS DOC. NO. 888888-104.

UNIMPROVED 44' X 107' = 4708 SQ. FT. 1 PARKING SPACE PER 1000 SQ. FT. = 3 SPACES

OFFICE = 1000 SQ. FT. 1 PARKING SPACE PER 1000 SQ. FT. = 3 SPACES

**TOTAL REQUIRED** 12 SPACES

**TOTAL PROVIDED** 12 SPACES

**NET CAR HANDCAP** 1 SPACES

**TOTAL** 13 SPACES

2478 SQ. LANDSCAPING REQUIRED

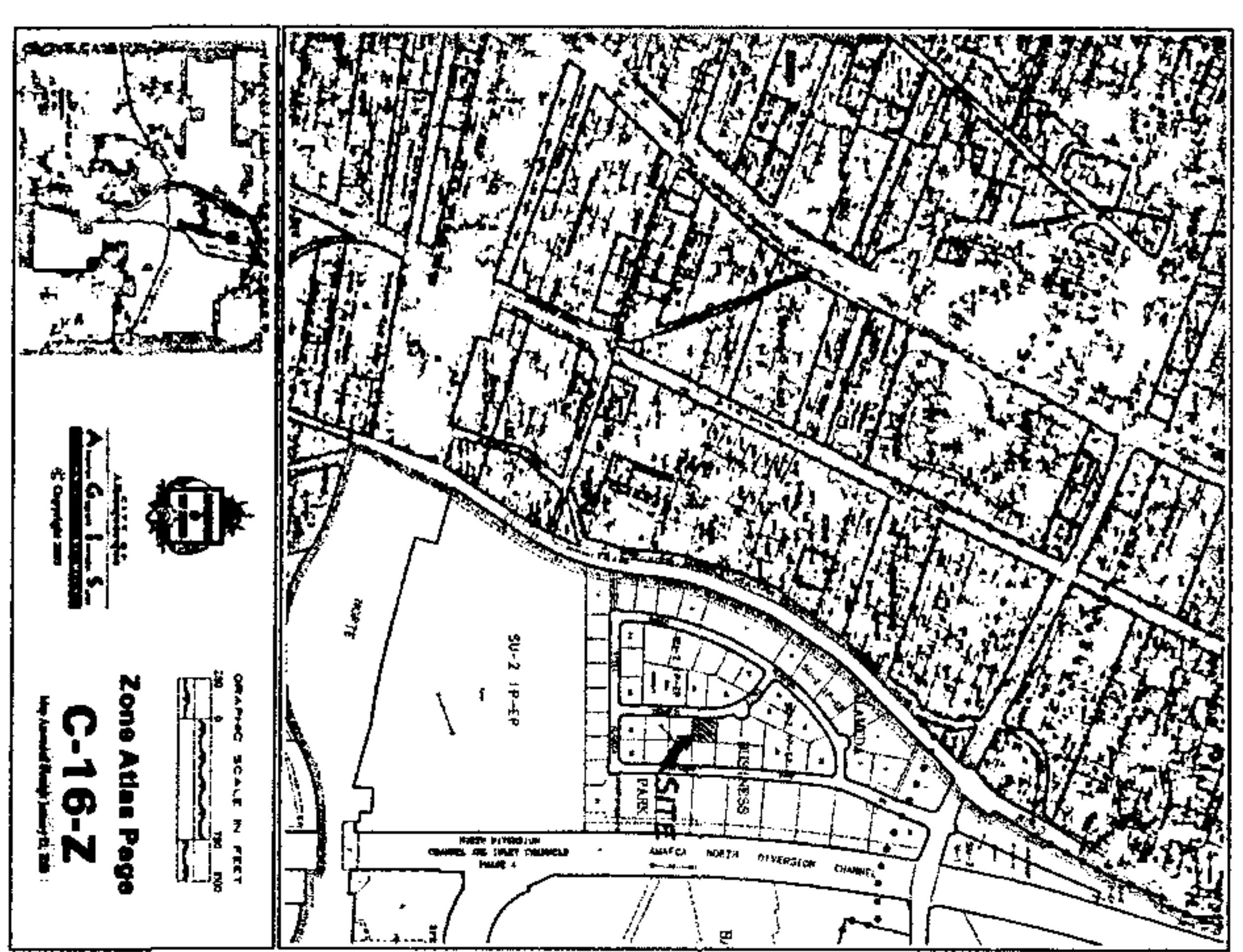
THE TOTAL LANDSCAPED AREA REQUIRED SHALL EQUAL NOT LESS THAN 9% OF THE NET LOT AREA. NET = TOTAL AREA OF LOT MINUS THE AREA OF THE LOT COVERED BY BUILDINGS.

LOT 812 = 21167 SQ. FT.

4888 SQ. BUILDING FOOTPRINT

9,199 SQ. FT.

2478 SQ. LANDSCAPING REQUIRED



**PROJECT NUMBER** \_\_\_\_\_

**APPLICATION NUMBER** \_\_\_\_\_

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_, and the findings and conditions in the official notification of decision are satisfied.

**DBS SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Environmental Health Date \_\_\_\_\_

Traffic Engineering Date \_\_\_\_\_

Public Works Management Date \_\_\_\_\_

Utilities Development Date \_\_\_\_\_

City Engineer Date \_\_\_\_\_

DBS Chairperson, Planning Department Date \_\_\_\_\_

Signature Block 12/16/03

Project no. 0429

**C-1**

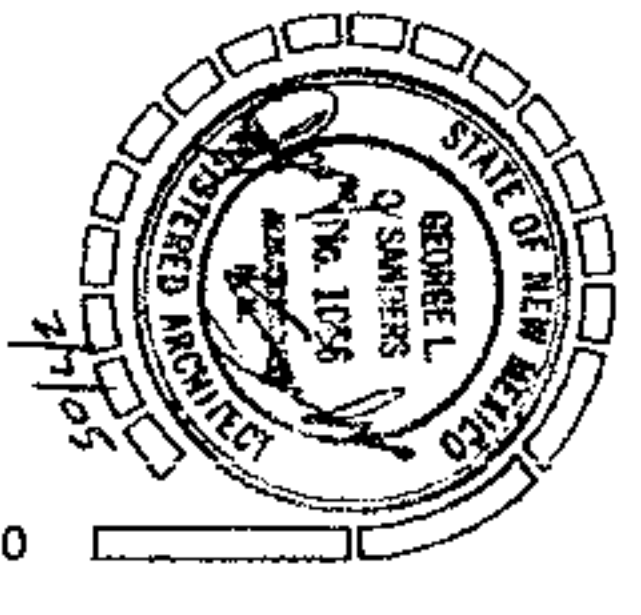
7 of 4

DATE 2.2.05

**BAKER CONSTRUCTION OFFICE/WAREHOUSE**

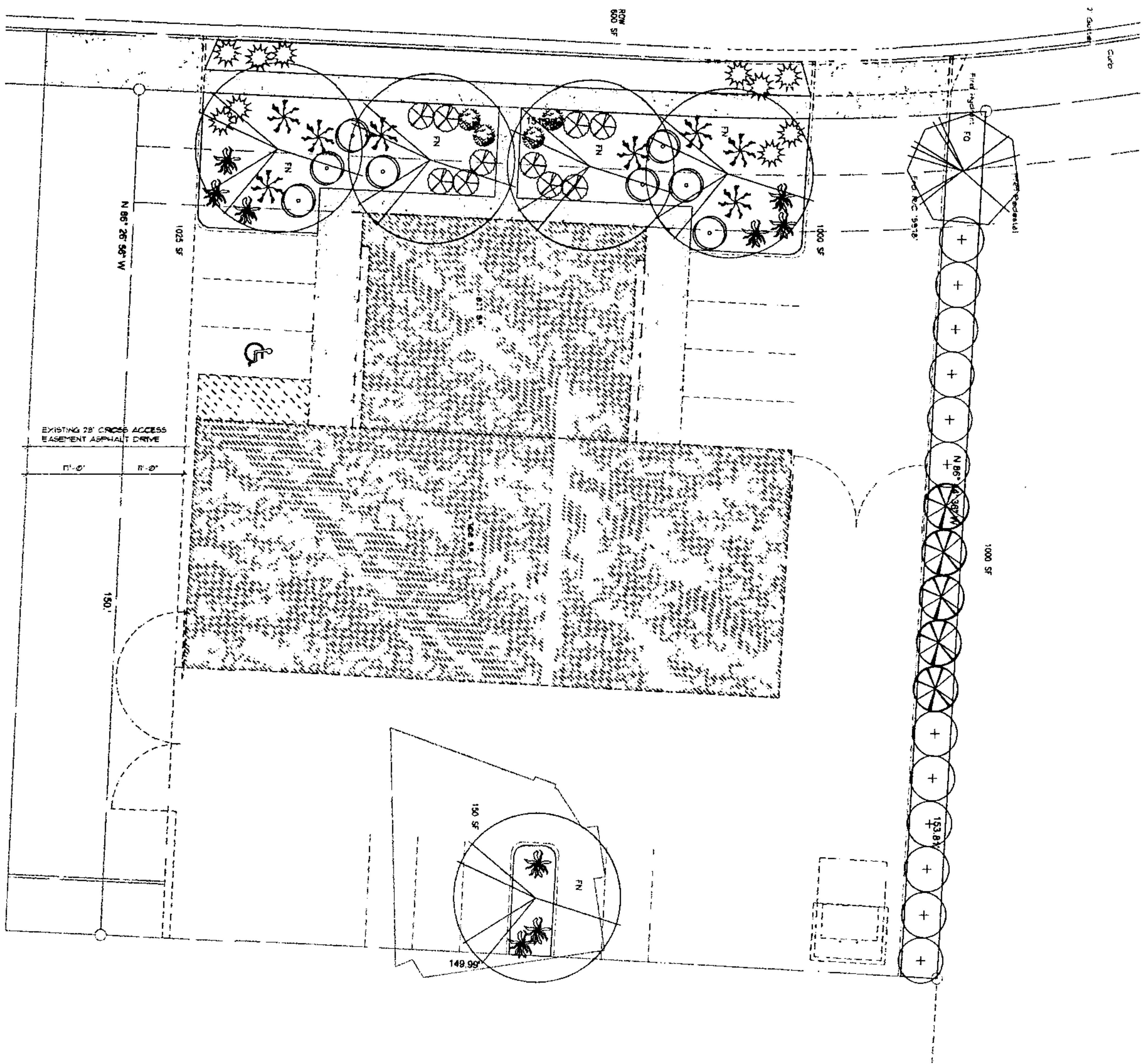
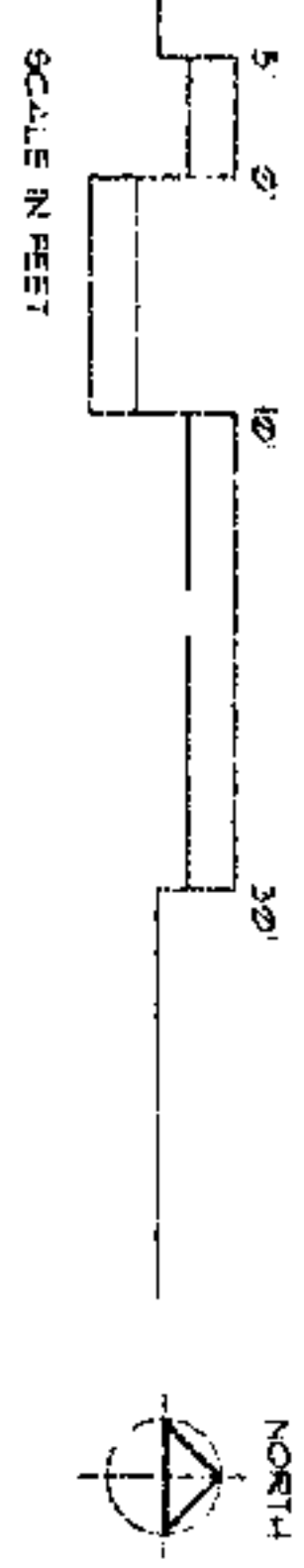
**LOT 42 CALLE ALAMEDA**  
**ALBUQUERQUE, NEW MEXICO**

**SANDERS & ASSOCIATES ARCHITECTS, P.C.** 5921 LOMAS BLVD. N.E. SUITE B ALBUQUERQUE N.M. 87110 (505) 255-5040 FAX (505) 255-5040



LANDSCAPE PLAN

SCALE: 1" = 10'-0"



**PLANT LEGEND**

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
FN	5	FRAXINUS	PALMARE ASH	2' GAL	H
FO	1	FORESTIERA	N.M. OLIVE	15 GAL	W
+	12	COTONEASTER	CLUSTERBERRY	5 GAL	M
☀	10	ROSMARINUS PRO.	CREeping ROSEMARY	5 GAL	M
⊗	10	RAPHIOLERIS NOICA	INDIA HAWTHORN	5 GAL	M
⊗	5	BUDDELEIA DAVON	BUTTERFLY BUSH	5 GAL	M
⊗	8	ROSMARINUS OFFICINALIS	ROSEMARY	5 GAL	M
⊗	8	MISCANTHUS SINENSIS	HARDEN GRASS	5 GAL	M
⊗	9	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	M
⊗	4	LYMNDULA	LAURENDR	1 GAL	M

**SITE DATA**

GROSS LOT AREA	22,207 SF
LESS BUILDING(S)	6,508 SF
NET LOT AREA	16,199 SF
REQUIRED LANDSCAPE	2,428 SF
15% OF NET LOT AREA	1,175 SF
PROPOSED LANDSCAPE	23%
PERCENT OF NET LOT AREA	

**NOTE**

STREET TREES REQUIRED PROVIDED AT 30' O.C. SPACING ALONG STREET  
 PARKING LOT TREES REQUIRED 1 TREE PER 10 SPACES  
 12 SPACES/10=1 TREE PROVIDED MIN.

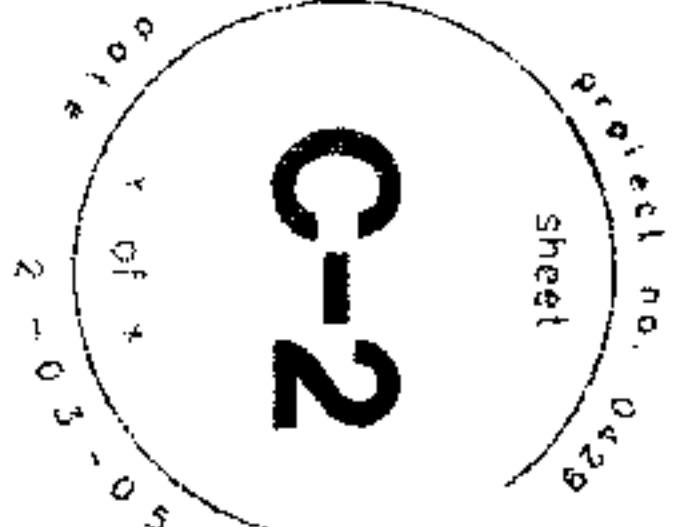
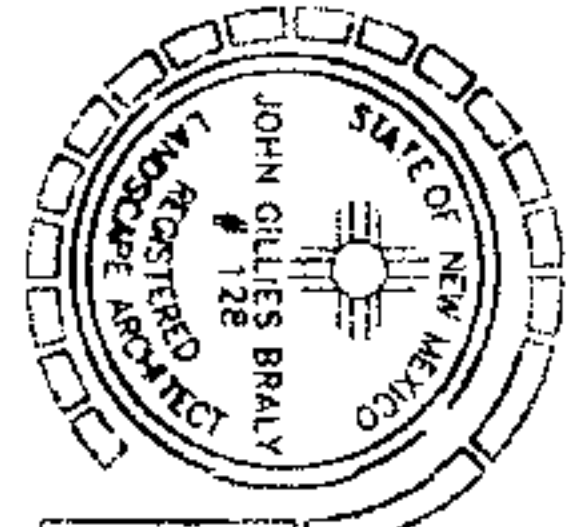
MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER  
 PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM  
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER  
 THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE  
 PLANTING RESTRICTIONS APPROACH  
 IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY  
 LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH  
 APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH OR EXEMPTION FROM THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE  
 TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS  
 NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

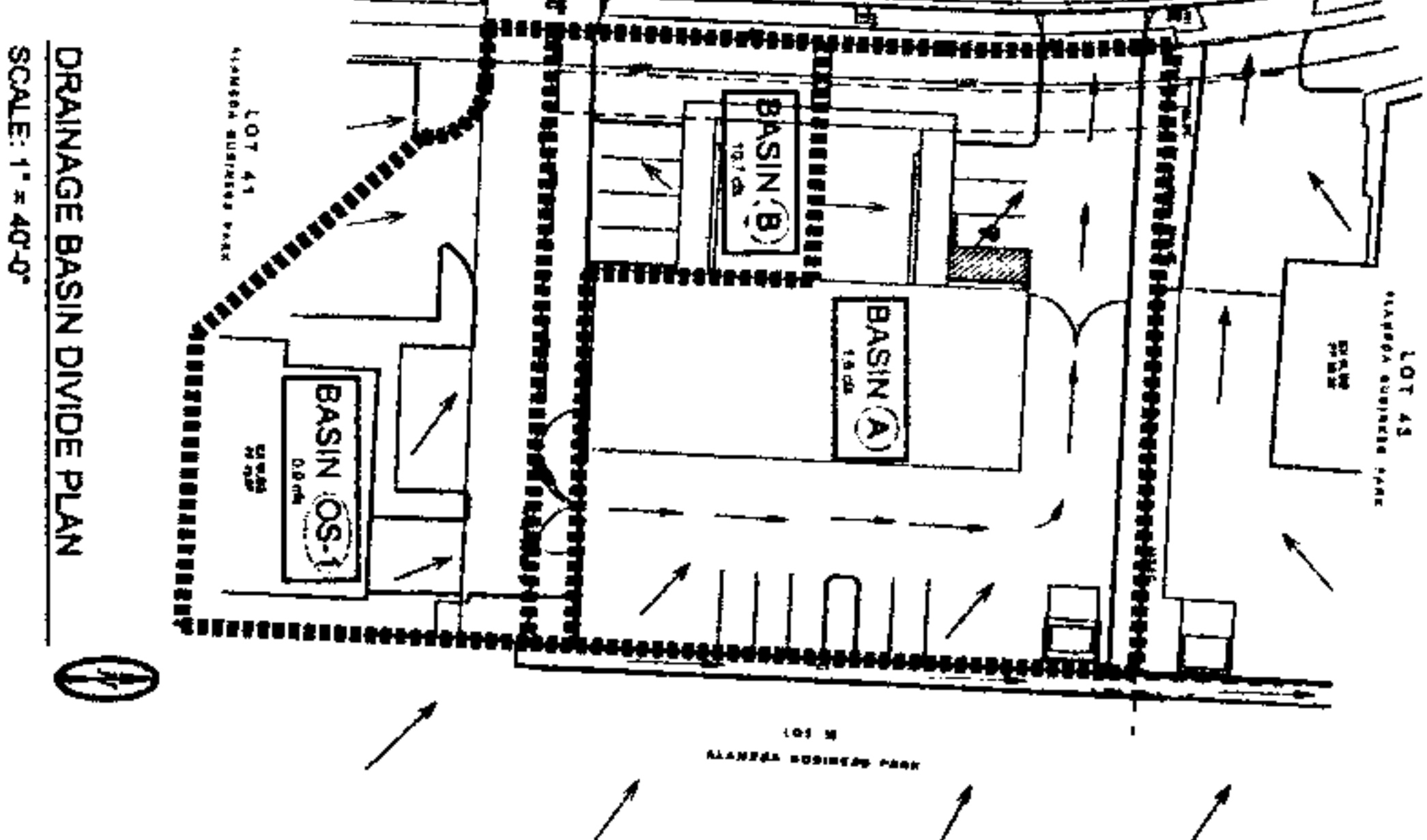
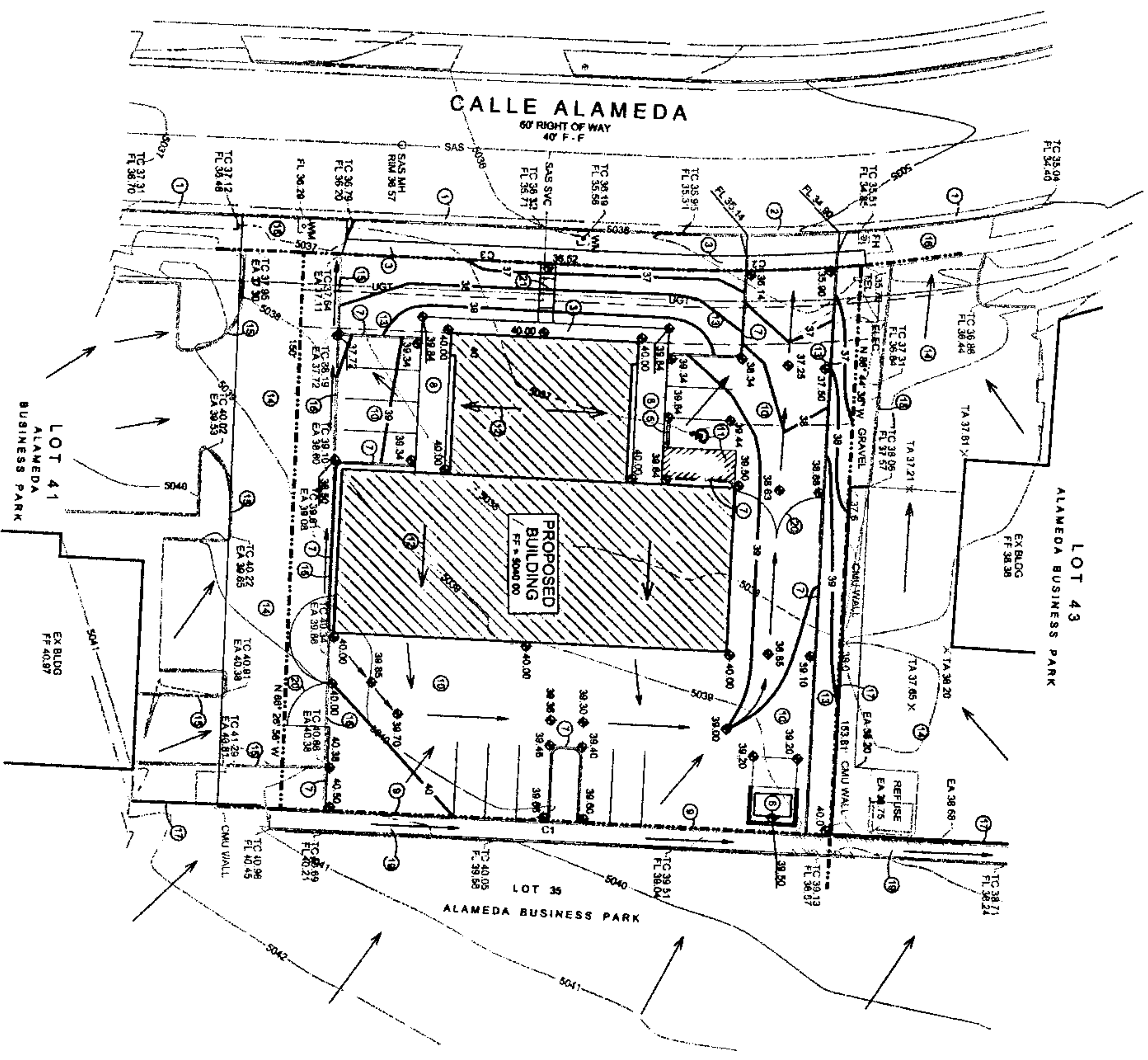
**Heads Up**  
 LANDSCAPE ARCHITECTS  
 7210 1<sup>ST</sup> AVENUE, SUITE 100  
 ALBUQUERQUE, NM 87110  
 (505) 598-9615  
 FAX (505) 598-9615  
 www.headsuplandscape.com

BAKER CONSTRUCTION OFFICE/WAREHOUSE

LOT 42 CALLE ALAMEDA  
 ALBUQUERQUE, NEW MEXICO

SANDERS & ASSOCIATES ARCHITECTS, P.C. 5921 LUMAS BLVD. N.E. SUITE B ALBUQUERQUE N.M. 87110 (505) 255-5040 FAX (505) 255-5040





**GRADING AND DRAINAGE PLAN**

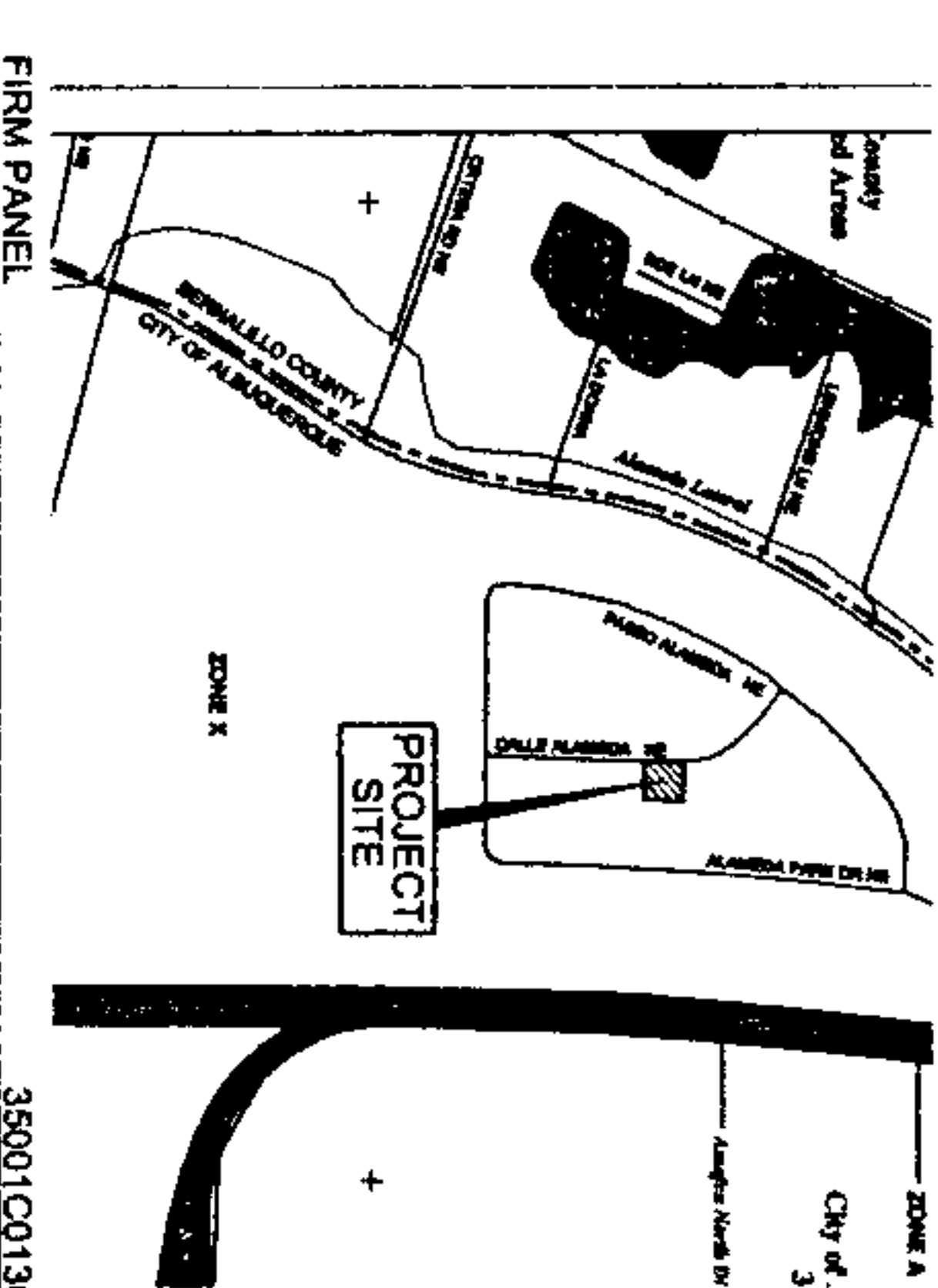
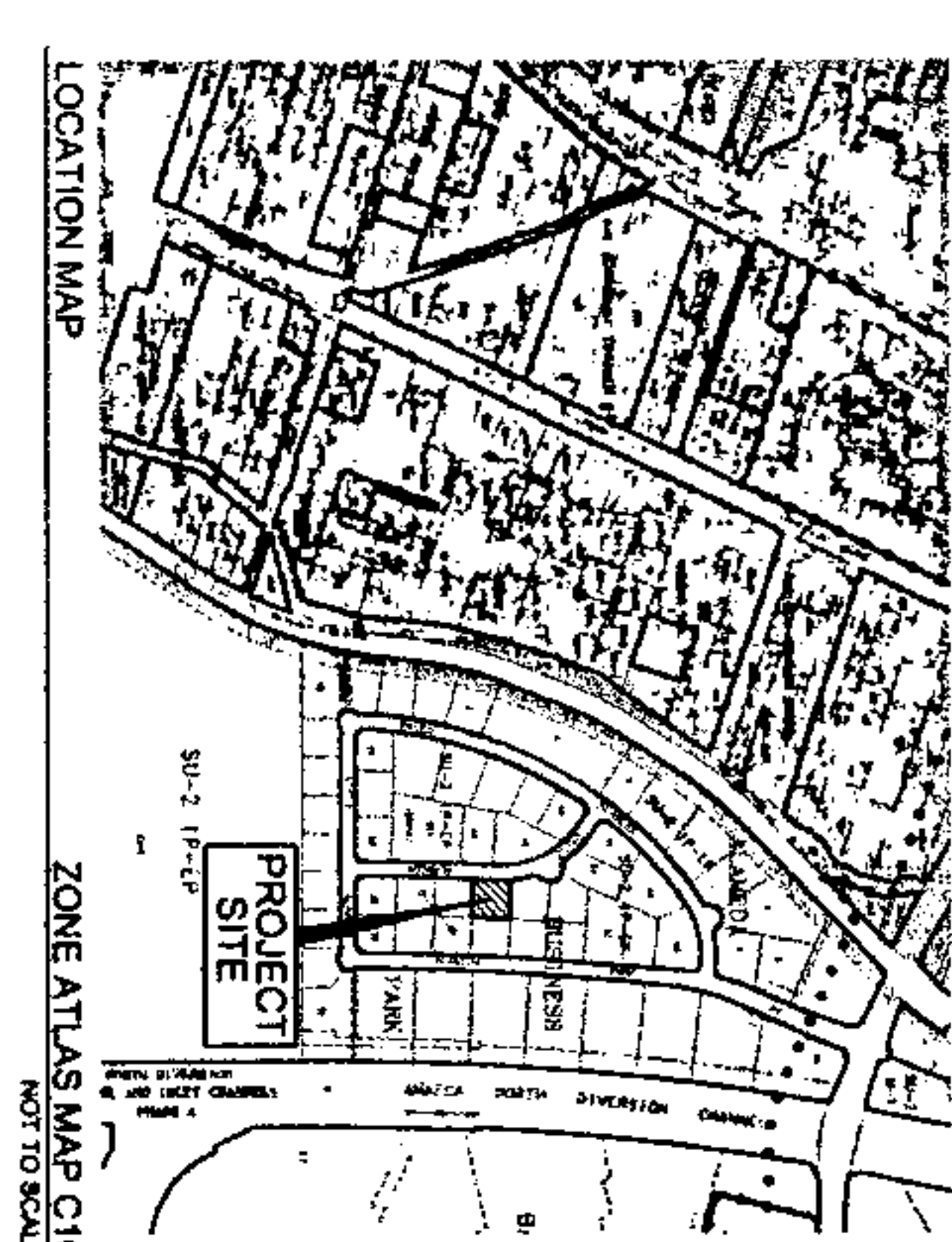
PURPOSE AND SCOPE  
 The purpose of this plan is to provide a detailed grading and drainage plan for the proposed building and basins. It includes all necessary details for construction and drainage.

EXISTING CONDITIONS  
 The project site is approximately 0.33 acres in size and is located at 8518 Calle Alameda, Albuquerque, New Mexico. The site is bounded by Calle Alameda to the east, north and south, and Calle Alameda to the west. Site topography slopes from east to west at approximately 2 percent, sloping to Calle Alameda. The site is also bounded on the east by a 10-foot wide easement that carries utility lines from an existing utility easement (see 8518-19-000) which carries electric, gas, and water lines. The existing south driveway (Calle Alameda from lot 41) drains across the paved access road and east to the south driveway. From the site, all on-site and off-site drainage is to be conveyed to the Alameda Business Park, Albuquerque drainage improvements provided by the developer. The drainage system is to be installed in accordance with the attached FIRM Panel, the site is not impeded by a Flood Hazard Zone.

PROPOSED CONDITIONS  
 As shown by the attached FIRM Panel, the site is not impeded by a Flood Hazard Zone.  
 As shown by the plan, the project consists of the construction of the following:  
 1. Proposed building with associated site improvements. The plan shows the contours and elevations required to properly grade and construct the required parking and drainage improvements. Flow arrows give the direction of drainage flows and the project hydrology is based on the existing and proposed conditions. The drainage system hydrology is based on the existing and proposed conditions. The drainage system is to be installed in accordance with the attached FIRM Panel, the site is not impeded by a Flood Hazard Zone.

PROPOSED CONDITIONS (continued)  
 All drainage flows will be managed on-site and discharge to the Albuquerque drainage improvements provided by the developer. The plan shows the contours and elevations required to properly grade and construct the required parking and drainage improvements. Flow arrows give the direction of drainage flows and the project hydrology is based on the existing and proposed conditions. The drainage system hydrology is based on the existing and proposed conditions. The drainage system is to be installed in accordance with the attached FIRM Panel, the site is not impeded by a Flood Hazard Zone.

CALCULATIONS  
 Calculations are provided which define the 100-year design storm, including the project area under existing and proposed conditions. Hydrology is per Section 22.2, Part A, DPM, Vol 2, updated Jan. 1987.



**DRAINAGE PLAN NOTES**

1. All recommendations that the Owner obtain a Geotechnical Evaluation of the grade and soil prior to construction of the design.
2. This plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future ponding of grades adjacent to the proposed structures is not recommended.
3. Impaction, within 10 feet of any proposed structure is not recommended.
4. This plan is prepared to establish on-site drainage and grading criteria only. All other drainage and grading criteria shall be determined by the standards and specifications of the local authority.
5. Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. The contractor shall be responsible for the design, construction, and maintenance of the fill.
6. All recommendations that the Owner obtain the services of a Geotechnical Engineer to help and inspect all earthwork aspects of the project.
7. The property boundary shown on this plan is shown for information only. It does not constitute a boundary survey. Property boundary measurements shown on this plan were obtained from a boundary survey performed by a licensed New Mexico Registered Professional Surveyor. A boundary survey is recommended prior to construction.
8. All spot elevations are the top of pavement or finish grade unless noted otherwise.

PROPERTY ADDRESS  
 8518 Calle Alameda NE  
 ALBUQUERQUE, NEW MEXICO  
 PROJECT BENCHMARK  
 ALBUQUERQUE BENCHMARK  
 ALBUQUERQUE BENCHMARK  
 ALBUQUERQUE BENCHMARK

**CURVE TABLE**

CURVE	LENGTH	RADIUS	TANGENT	CHORD	DELTA
C1	148.89	1230.00	73.90	148.89	7°-42'-20"
C2	58.15	410.00	27.62	58.15	7°-42'-20"
C3	98.62	1230.00	49.25	98.62	0°-27'-28"

**HYDROLOGY - AHYMO**

Basin	Area (Ac.)	Runoff Coefficient (C)	Time of Concentration (min)	Peak Discharge (cfs)
Basin A	0.00	0.00	0.00	0.00
Basin B	0.00	0.00	0.00	0.00
Basin C	0.00	0.00	0.00	0.00
Basin D	0.00	0.00	0.00	0.00
Basin E	0.00	0.00	0.00	0.00
Basin F	0.00	0.00	0.00	0.00
Basin G	0.00	0.00	0.00	0.00
Basin H	0.00	0.00	0.00	0.00
Basin I	0.00	0.00	0.00	0.00
Basin J	0.00	0.00	0.00	0.00
Basin K	0.00	0.00	0.00	0.00
Basin L	0.00	0.00	0.00	0.00
Basin M	0.00	0.00	0.00	0.00
Basin N	0.00	0.00	0.00	0.00
Basin O	0.00	0.00	0.00	0.00
Basin P	0.00	0.00	0.00	0.00
Basin Q	0.00	0.00	0.00	0.00
Basin R	0.00	0.00	0.00	0.00
Basin S	0.00	0.00	0.00	0.00
Basin T	0.00	0.00	0.00	0.00
Basin U	0.00	0.00	0.00	0.00
Basin V	0.00	0.00	0.00	0.00
Basin W	0.00	0.00	0.00	0.00
Basin X	0.00	0.00	0.00	0.00
Basin Y	0.00	0.00	0.00	0.00
Basin Z	0.00	0.00	0.00	0.00

**KEYED NOTES**

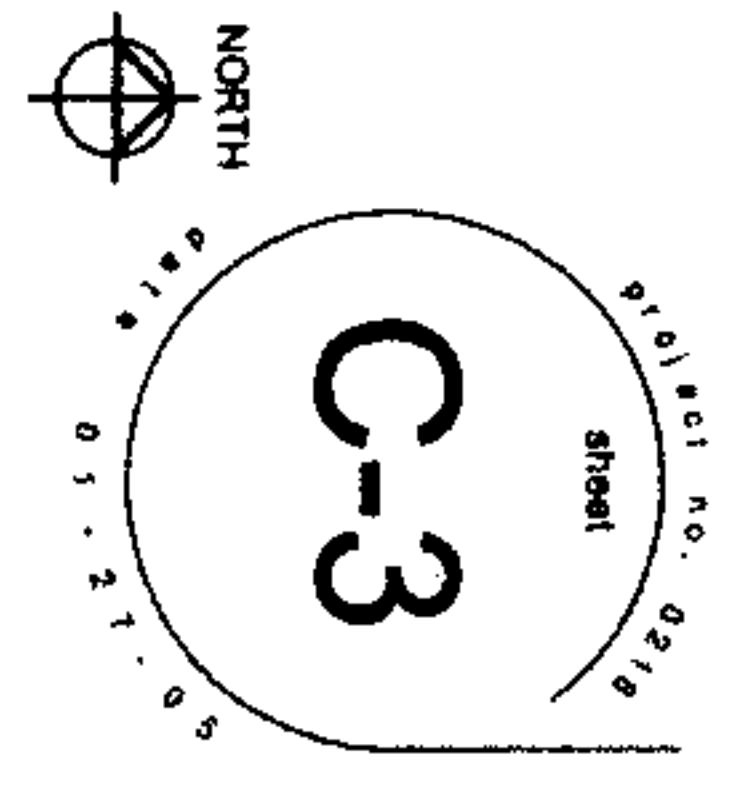
1. EXISTING SITE CURBS & CUTTERS
2. SANICUT EXIST SITE C & G. CONSTRUCT 24" DRAINAGE
3. CONSTRUCT 24" DRAINAGE
4. CONSTRUCT ACCESSIBLE PARK. SEE SITE PLAN
5. NO CURBS AT ACCESSIBLE PARK. PROVIDE CONCRETE TYPED STONE AS SHOWN.
6. CONSTRUCT REFUSE ENCLOSURE. SEE SITE PLAN
7. CONSTRUCT EXPOSED CONCRETE CURB. SEE SITE PLAN
8. INSTALL 6" HIGH CHAIN WALL. SEE SITE PLAN
9. CONSTRUCT ASPHALT PAVEMENT. SEE SITE PLAN
10. PAINTED STRIPING PER COA CRITERIA
11. DIRECTION OF ROOF DRAINAGE
12. EXISTING ASPHALT PAVING TO REMAIN
13. EXISTING ASPHALT PAVING TO REMAIN
14. EXISTING ASPHALT PAVING TO REMAIN
15. EXISTING ASPHALT PAVING TO REMAIN
16. REMOVE & DISPOSE OF EXISTING CONC CURB AS SHOWN
17. EXISTING CONC WALL. REMAIN
18. EXISTING ASPHALT DRIVEWAY. REMAIN
19. EXISTING ASPHALT DRIVEWAY. REMAIN
20. INSTALL GATE. SEE SITE PLAN
21. CONSTRUCT STEPS AT FRONT ENTRY. SEE SITE PLAN

**LEGEND**

ITEM	EXISTING	PROPOSED
1. EXISTING CURB & CUTTER	---	---
2. PROPOSED CURB & CUTTER	---	---
3. EXISTING ASPHALT PAVEMENT	---	---
4. PROPOSED ASPHALT PAVEMENT	---	---
5. EXISTING ASPHALT DRIVEWAY	---	---
6. PROPOSED ASPHALT DRIVEWAY	---	---
7. EXISTING ASPHALT DRIVEWAY	---	---
8. PROPOSED ASPHALT DRIVEWAY	---	---
9. EXISTING ASPHALT DRIVEWAY	---	---
10. PROPOSED ASPHALT DRIVEWAY	---	---
11. EXISTING ASPHALT DRIVEWAY	---	---
12. PROPOSED ASPHALT DRIVEWAY	---	---
13. EXISTING ASPHALT DRIVEWAY	---	---
14. PROPOSED ASPHALT DRIVEWAY	---	---
15. EXISTING ASPHALT DRIVEWAY	---	---
16. PROPOSED ASPHALT DRIVEWAY	---	---
17. EXISTING ASPHALT DRIVEWAY	---	---
18. PROPOSED ASPHALT DRIVEWAY	---	---
19. EXISTING ASPHALT DRIVEWAY	---	---
20. PROPOSED ASPHALT DRIVEWAY	---	---
21. EXISTING ASPHALT DRIVEWAY	---	---
22. PROPOSED ASPHALT DRIVEWAY	---	---

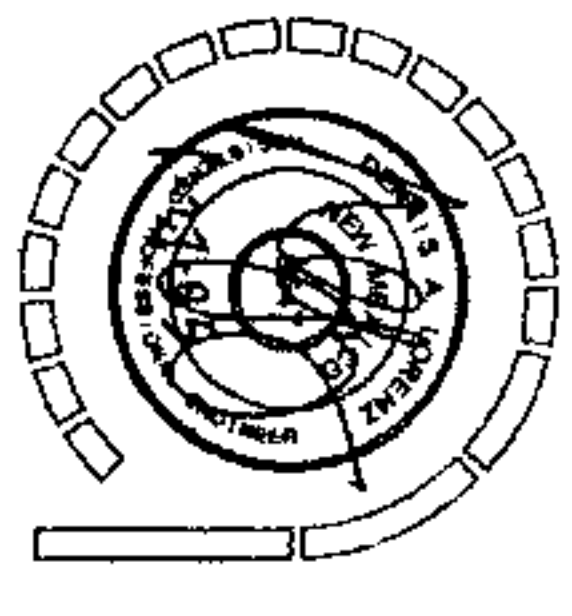
**GRADING & DRAINAGE PLAN**

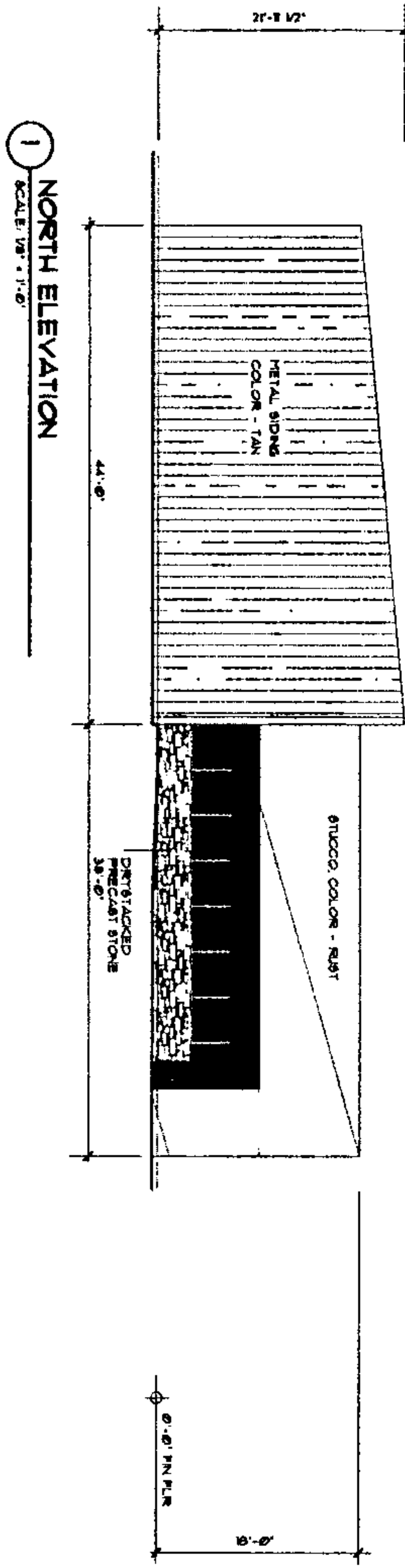
SCALE: 1" = 20'-0"



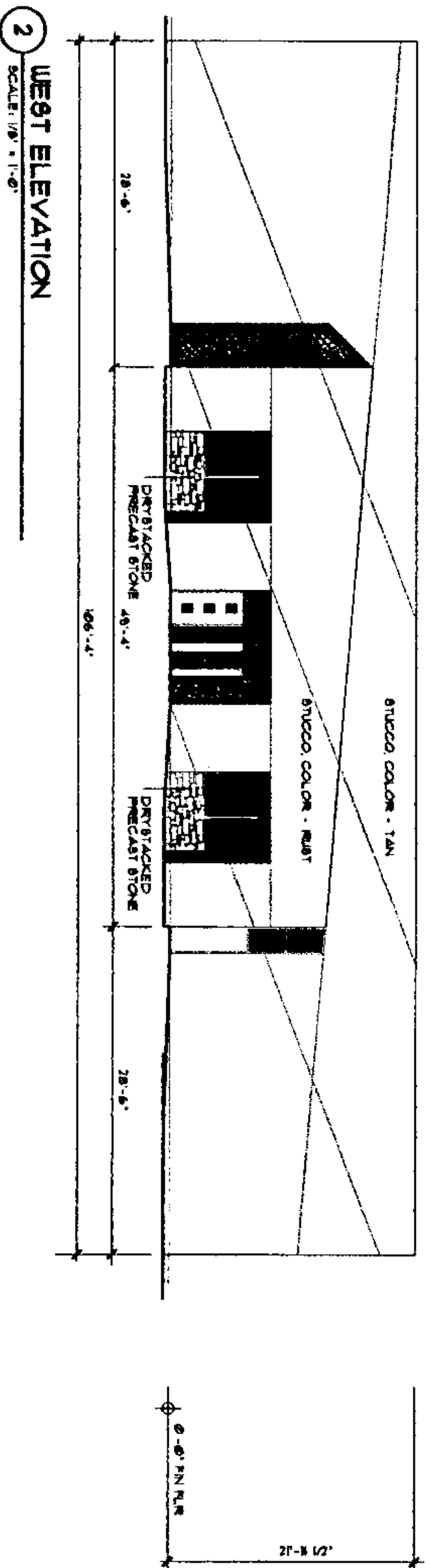
**BAKER CONSTRUCTION OFFICE/WAREHOUSE**  
 LOT 42 CALLE ALAMEDA  
 ALBUQUERQUE, NEW MEXICO  
 SANDERS & ASSOCIATES ARCHITECTS, P.C.

**BRASHER & LORENZ**  
 CONSULTING ENGINEERS  
 2201 San Pablo NE Building 1 Suite 1200  
 Albuquerque, New Mexico 87110  
 Ph: 505-893-8066 Fax: 505-893-6181

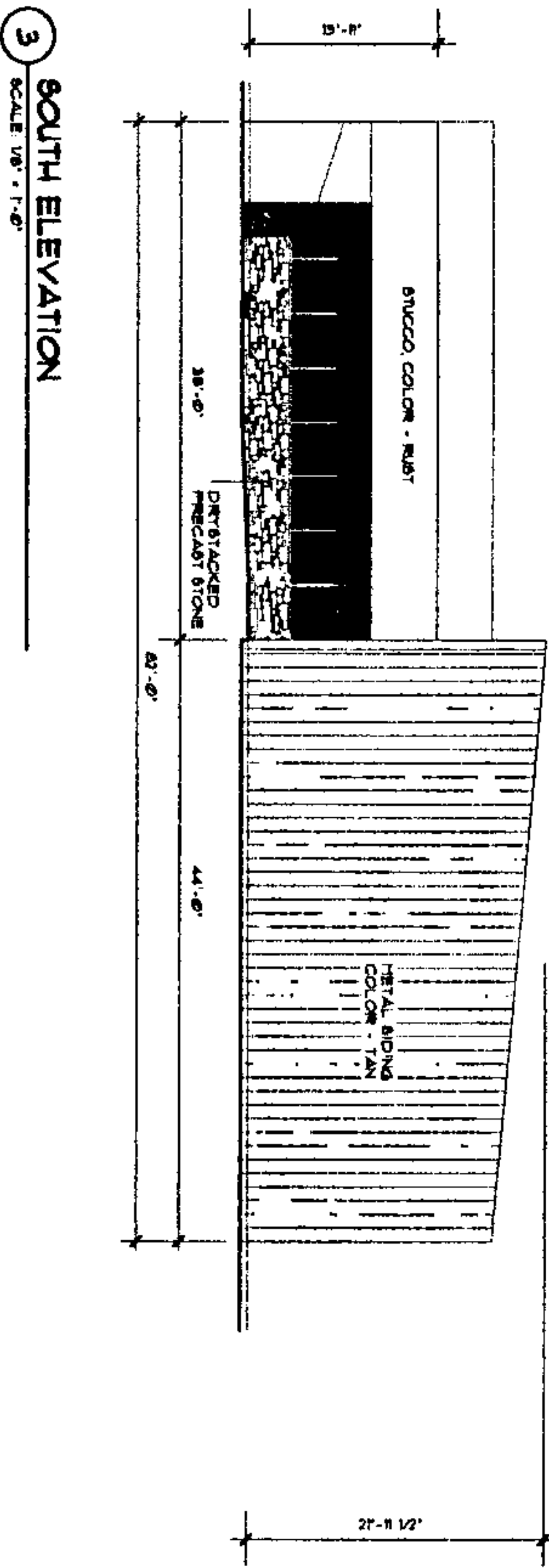




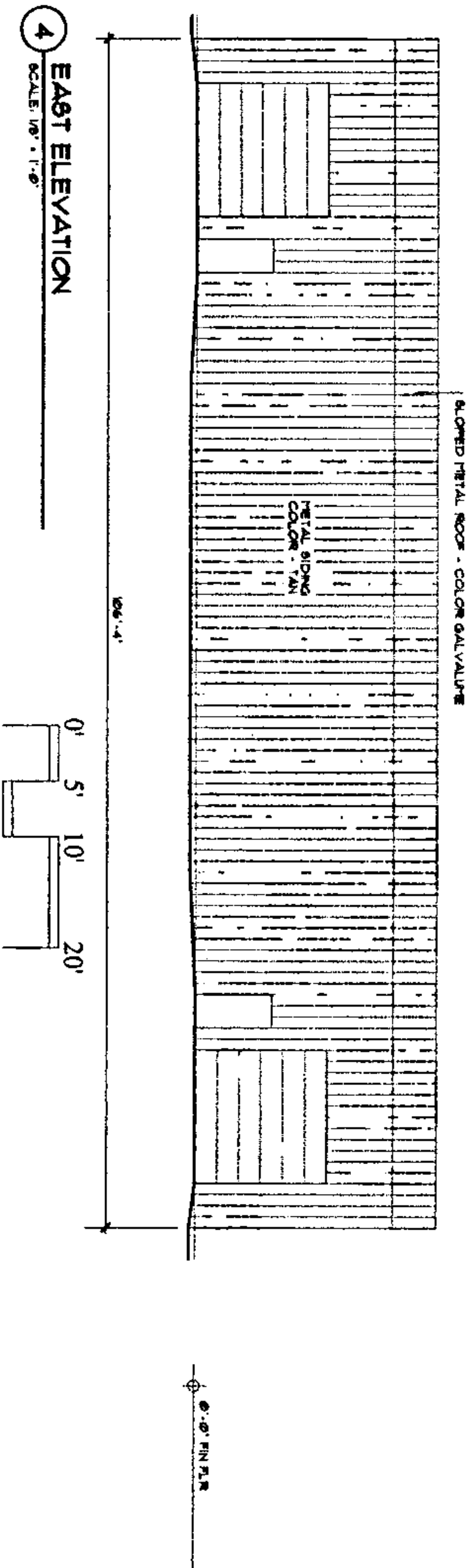
1 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



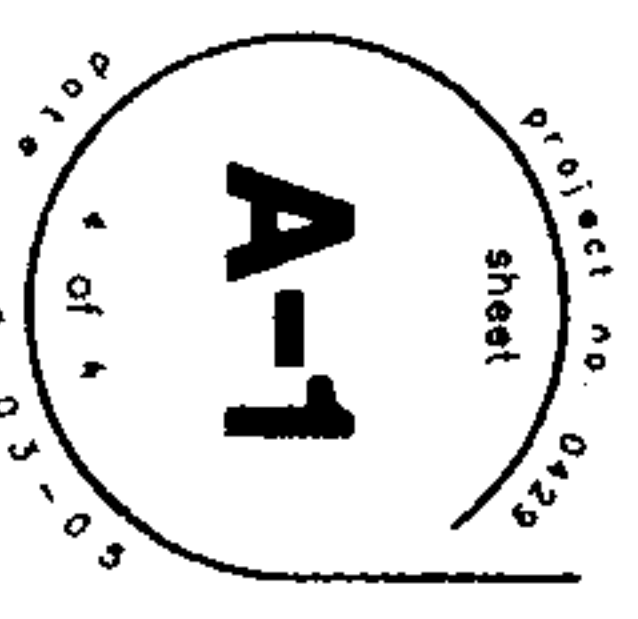
2 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



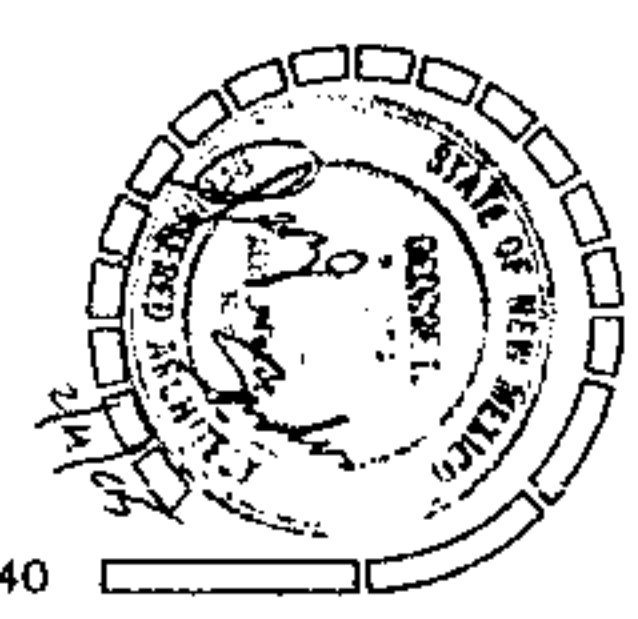
4 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



# BAKER CONSTRUCTION OFFICE/WAREHOUSE

LOT 42 CALLE ALAMEDA  
ALBUQUERQUE, NEW MEXICO

SANDERS & ASSOCIATES ARCHITECTS, P.C. 5921 LOMAS BLVD. N.E. SUITE B ALBUQUERQUE, N.M. 87110 (505) 255-5040 FAX (505) 255-5040



ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

PAID RECEIPT

APPLICANT NAME Mike Baker  
AGENT Sanders & Associates Architects  
ADDRESS 5921 Lomas Blvd. NE Suite B.  
PROJECT & APP # 1003929 / DRB 00205  
PROJECT NAME Alameda Business Park

\$ 20.<sup>00</sup> 441032/3424000 Conflict Management Fee  
\$ 385.<sup>00</sup> 441006/4983000 DRB Actions  
\$            441006/4971000 EPC/AA/LUCC Actions & All Appeals  
\$            441018/4971000 Public Notification  
\$            441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
( ) Traffic Impact Study  
\$ 405.<sup>00</sup> TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

2/7/2005 2:39PM LOC: ANNA  
RECEIPT# 00038016 WSH# 007 TRANS# 0022  
Account 441032 Fund 0110 TRSLJ5  
Activity 3424000  
Trans Amt \$405.00  
J24 Misc \$20.00  
Counterreceipt.d

Thank You

**SANDERS & ASSOCIATES ARCHITECTS P.C.**  
5921 LOMAS BLVD. NE SUITE B 505-350-9298  
ALBUQUERQUE, NM 87110  
95-660/1070  
7827236794  
1498  
DATE 2/7/05  
PAY TO THE ORDER OF City of Albuquerque  
Four hundred five dollars & 00/100  
\$ 405.<sup>00</sup> DOLLARS  
**BANK OF ALBUQUERQUE**  
Albuquerque, New Mexico  
www.bankofalbuquerque.com  
MEMO \_\_\_\_\_  
1070066061 7827236794 1498

Thank You