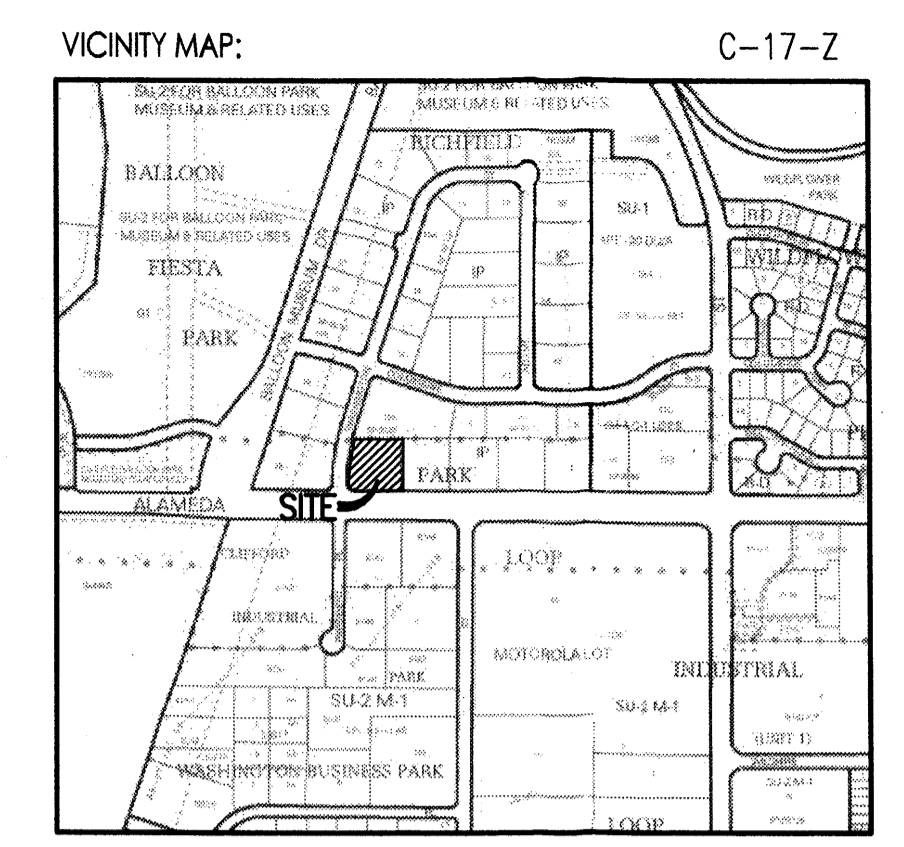


Site Development Plan for Building Permit  
Scale: 1"=30'-0"



**GENERAL NOTES:**

- [A] PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- [B] THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. IF DIMENSIONAL ERROR, VARIANCES, AND/OR CONFLICTS EXIST, AS DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS, OR CONDITIONS ARE ENCOUNTERED THAT ARE NOT COVERED IN THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK.
- [C] PATCH OR REPLACE ANY EXISTING CURB & GUTTER ALONG STREET FRONTAGES AS NECESSARY IN COORDINATION WITH NEW DRIVEWAY CONSTRUCTION.
- [D] ALL NEW DRIVEWAY CONSTRUCTION WILL BE TO CITY OF ALBUQUERQUE STANDARDS AND REQUIREMENTS.
- [E] VERIFY SITE UTILITY ROUTING AND NEW UTILITY CONNECTIONS WITH UTILITY PROVIDERS.
- [F] ALL OTHER UTILITIES NOT SHOWN ON PLAN ELECTRIC, GAS, PHONE, CABLE, ETC. (WET AND DRY) WILL RUN THRU VENTING BARRIER AS SHOWN AND DETAILED (13/A002) PER THE COA ENVIRONMENTAL HEALTH DEPARTMENT REQUIREMENTS.

**AEHD LANDFILL NOTES:**

THE SUBJECT PROPERTY IS LOCATED NEAR THE FORMER LOS ANGELES LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE INTERIM GUIDELINES FOR DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL BUFFER ZONES) SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

**SITE LIGHTING NOTES:**

- [A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
- [B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 18 FEET.
- [C] LIGHTING TO BE PROVIDED ON BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.

**DECCELERATION LANE CONSTRUCTION NOTES:**

- [A] SUPERPAVE ASPHALT PAVING (SP-3) PER NMDOT STANDARDS AND REQUIREMENTS.
- [B] BASE COURSE WILL BE OF TYPE C1 PER NMDOT STANDARDS AND REQUIREMENTS.
- [C] ALL MATERIALS TESTING TO BE COMPLETED BY CERTIFIED NMDOT LAB.

**SITE DEVELOPMENT DATA:**

LEGAL DESCRIPTION: LOT 1 OF RICHFIELD PARK SUBDIVISION BERNALILLO COUNTY, NEW MEXICO

BUILDING LOCATION: NEC OF ALAMEDA BOULEVARD AND WASHINGTON STREET

ADDRESS: 4501 ALAMEDA BOULEVARD, NE.

CURRENT ZONING: INDUSTRIAL PARK (IP)

ZONE ATLAS PAGE: C-17-Z

BUILDING AREA: 14,367 GROSS BUILDING SQUARE FOOTAGE

OFFICE: 3,737 GROSS SQUARE FEET  
WAREHOUSE: 10,150 GROSS SQUARE FEET  
MEZZANINE: 480 GROSS SQUARE FEET

PARKING CALCULATIONS: 24 SPACES REQUIRED  
24 SPACES PROVIDED INCLUDING 2 HANDICAP SPACES

OFFICE: 3,737 SF/200 = 19 SPACES  
WAREHOUSE: 10,150 SF/2000 = 5 SPACES  
MEZZANINE: 480 SF/200 = 3 SPACES

27 SPACES REQ'D x 10% (BUS ROUTE CREDIT - ROUTE 98) = 24 SPACES REQUIRED

**LANDFILL ZONE:**

THE SUBJECT PROPERTY IS LOCATED WITHIN THE 1000 FT. LANDFILL BUFFER ZONE OF THE FORMER LOS ANGELES LANDFILL AS DESIGNATED BY THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DEPARTMENT'S LANDFILL BUFFER ZONES.

- KEYED NOTES:**
- [1] CONCRETE SIDEWALK WITH CONTROL JOINTS @ 5'-0" AND EXPANSION JOINTS AT 20'-0" O.C. SEE 3/A002.
  - [2] NOT USED.
  - [3] LANDSCAPING. SEE LANDSCAPING PLAN.
  - [4] PAINTED PARKING STRIPES.
  - [5] CONCRETE PARKING BUMPERS.
  - [6] PAINTED HC PARKING SYMBOL, SEE 5/A002.
  - [7] CONCRETE CURB.
  - [8] 24" WIDE CONCRETE STRIP, TYP.
  - [9] 30" WIDE ENTRY ACCESS.
  - [10] SITE LIGHTING LOCATION, SEE 12/A002.
  - [11] 3" ASPHALT PAVING OVER COMPACTED SUBGRADE. SEE GEOTECHNICAL REPORT.
  - [12] CONCRETE PAD & TRANSFORMER WITH 6" DIA. PIPE BOLLARDS COORDINATE LOCATION WITH PNM. SEE ELECTRICAL.
  - [13] 4" ASPHALT PAVING OVER 6" COMPACTED BASE. SEE GEOTECHNICAL REPORT.
  - [14] HC PARKING SIGN, TYPICAL OF 2. SEE DETAIL 8/A002.
  - [15] PAINTED HC PARKING STRIPING, SEE 5/A002.
  - [16] CMU DUMPSTER LOCATION, SEE 1/A002.
  - [17] EXISTING CONCRETE SIDEWALK TO REMAIN.
  - [18] HC RAMP, SEE 6/A002.
  - [19] REMOVE PORTION OF EXISTING SIDEWALK AND CURB FOR CONSTRUCTION OF NEW ENTRY DRIVEWAY.
  - [20] NEW DECELERATION LANE TO BE CONSTRUCTED TO NMDOT STANDARDS AND REQUIREMENTS. SEE DECCELERATION CONSTRUCTION NOTES FOR REQUIREMENTS.
  - [21] EXISTING CONCRETE CURB TO REMAIN.
  - [22] EXISTING POWER POLE LOCATION WITH GUY WIRE TO WEST OF POLE TO REMAIN.
  - [23] MONUMENT SIGN LOCATION SEE 11/A002. SIGN BY TENANT.
  - [24] GAS METER LOCATION. RUN GAS LINE ON EXTERIOR WALL AND PAINT TO MATCH BUILDING COLORS.
  - [25] NEW FIRE HYDRANT LOCATION. INSTALL PER CITY OF ALBUQUERQUE STANDARDS.
  - [26] UTILITY TRENCH VENTING BARRIER, LOCATIONS AS SHOWN ON PLAN. SEE DETAIL 13/A002.
  - [27] BIKE RACK LOCATION. SEE DETAIL 9/A002.
  - [28] NEW CONCRETE SIDEWALK (STD. DWG. 2430) WITH CONCRETE HC RAMPS (STD. DWG. 2441) CONSTRUCTED TO COA STANDARDS.
  - [29] NEW CONCRETE DRIVEWAY (STD. DWG. 2425) TO BE CONSTRUCTED TO COA STANDARDS.
  - [30] NEW 6" WATERLINE OF NEW FIRE HYDRANT.
  - [31] EXISTING SEWER SERVICE STUB TO PROPERTY LINE.
  - [32] EXISTING WATERLINE STUB TO PROPERTY TO REMAIN.
  - [33] ~~REMOVED. NEW 3/4" WATER TRP TO MAIN LINE.~~
  - [34] NEW 1" CAPPED WATERLINE FOR LOT 2 USE.
  - [35] NEW 4" CAPPED SEWER SERVICE FOR LOT 2 USE.
  - [36] REMOVE EXISTING WATER METER BOX AND REPLACE WITH NEW DOUBLE 3/4" WATER METER PER COA STANDARDS.
  - [37] EXISTING STEEL PIPE BOLLARDS AND EXISTING CONCRETE DRAINAGE SWALE.
  - [38] EXISTING PHONE PEDESTAL TO REMAIN.
  - [39] EXISTING CONCRETE DRAINAGE SWALE TO REMAIN.
  - [40] REMOVE SOUTHERN PORTION OF DRAINAGE SWALE. SEE CIVIL ADDITIONAL INFORMATION.

PROJECT NUMBER: 1003983 APPLICATION NUMBER: 05DRB-01482

THIS PLAN IS CONSISTANT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE DEVELOPMENT REVIEW BOARD (DRB) DATED: OCTOBER 12, 2005 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES (X) NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i> TRAFFIC ENGINEER, TRANSPORTATION DIVISION	5-2-06 Date
<i>[Signature]</i> UTILITIES DEVELOPMENT	10-12-05 Date
<i>[Signature]</i> PARKS AND RECREATION DEPARTMENT	10/12/05 Date
<i>[Signature]</i> CITY ENGINEER	10-12-05 Date
<i>[Signature]</i> ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	05-02-06 Date
<i>[Signature]</i> SOLID WASTE MANAGEMENT	5/1/06 Date
<i>[Signature]</i> DRB CHAIRPERSON, PLANNING DEPARTMENT	05/02/06 Date

revision \_\_\_\_\_  
by \_\_\_\_\_  
date \_\_\_\_\_

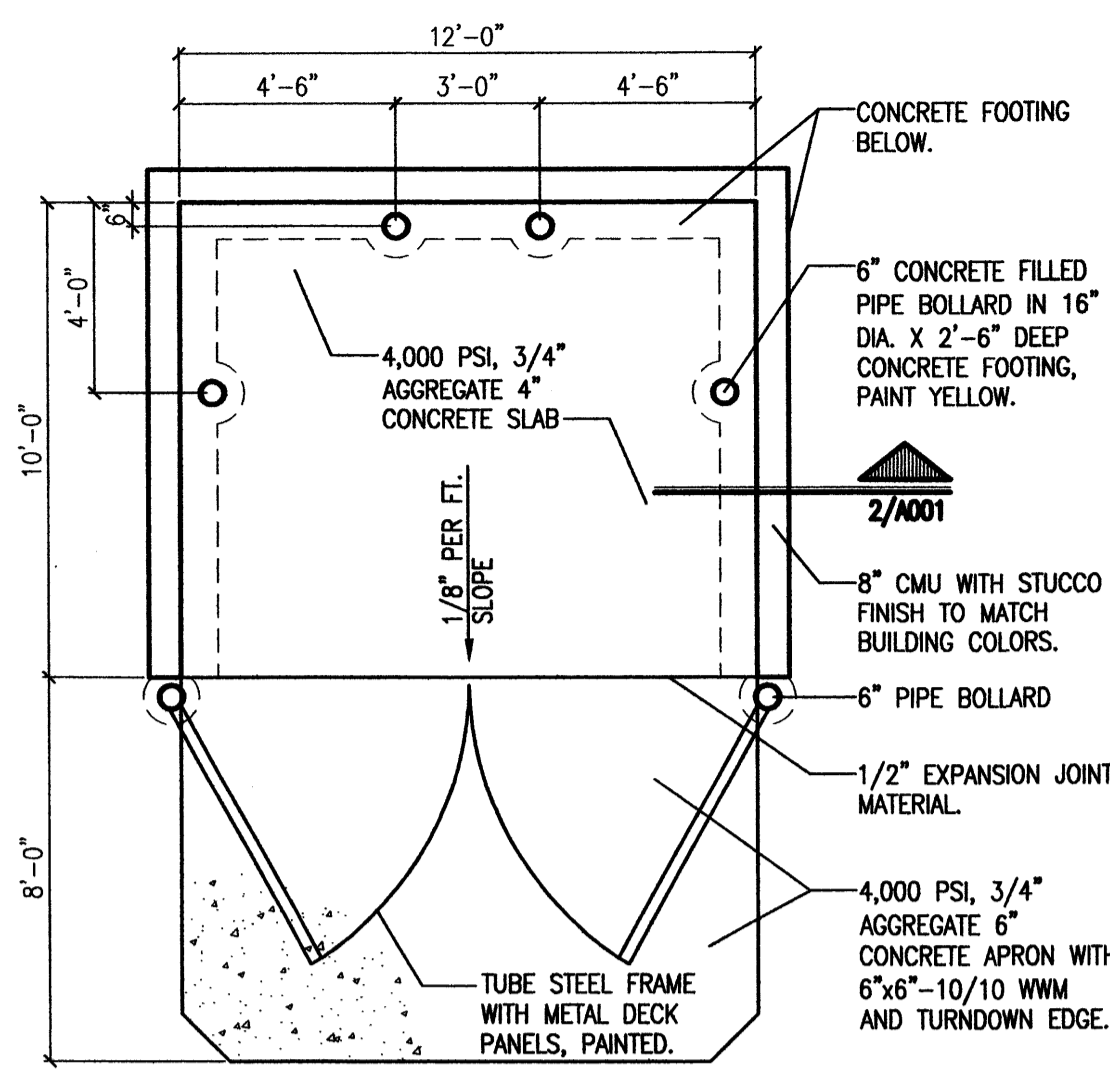
rev

**MH**  
Mullen Heller  
Architecture P.C.  
1015 Tijeras Avenue NW  
Suite 220  
Albuquerque, NM 87102  
505 268 4144 [p]  
505 268 4244 [f]

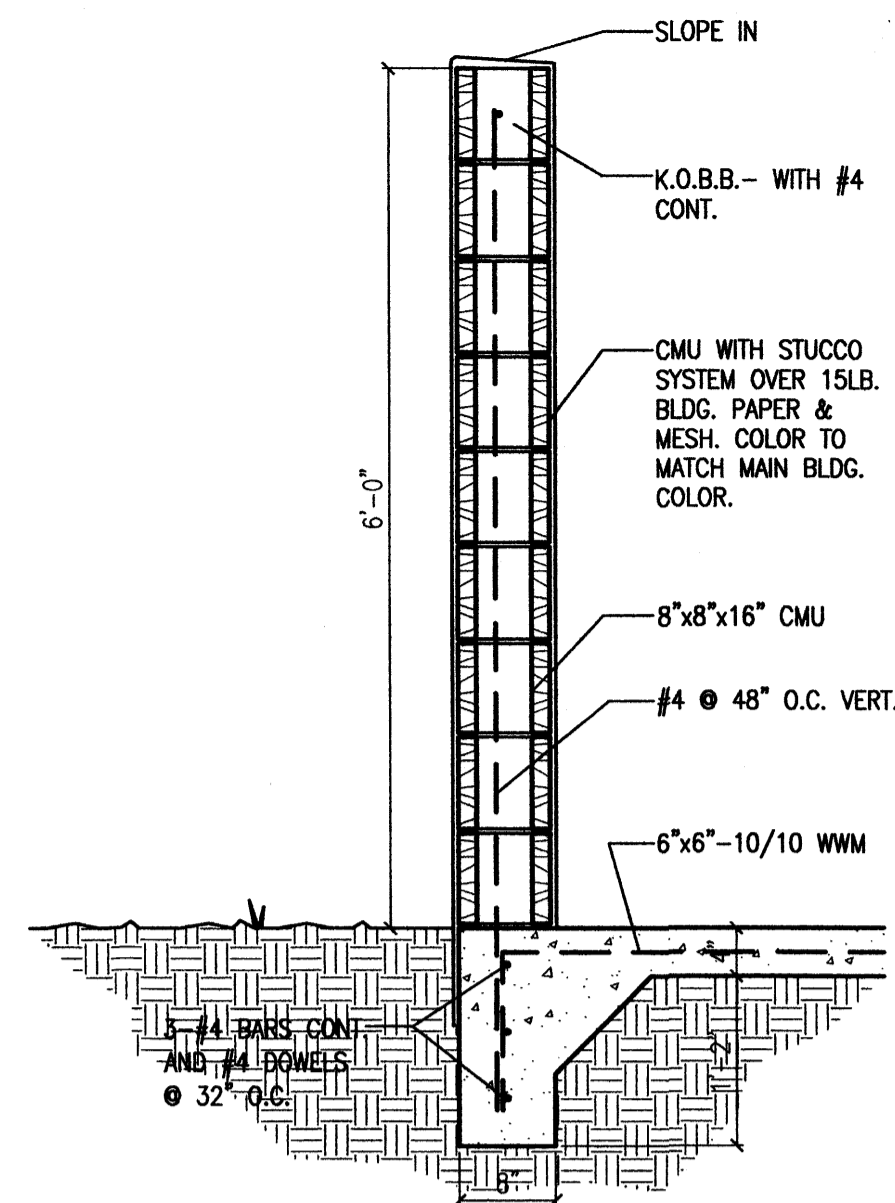
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drawn by rws  
project manager Douglas Heller, AIA  
date 5/1/06

project title Dwight's Glass Office/Warehouse  
4501 Alameda Boulevard, NE.  
Albuquerque, New Mexico  
sheet title Site Development Plan for Building Permit  
sheet number A001

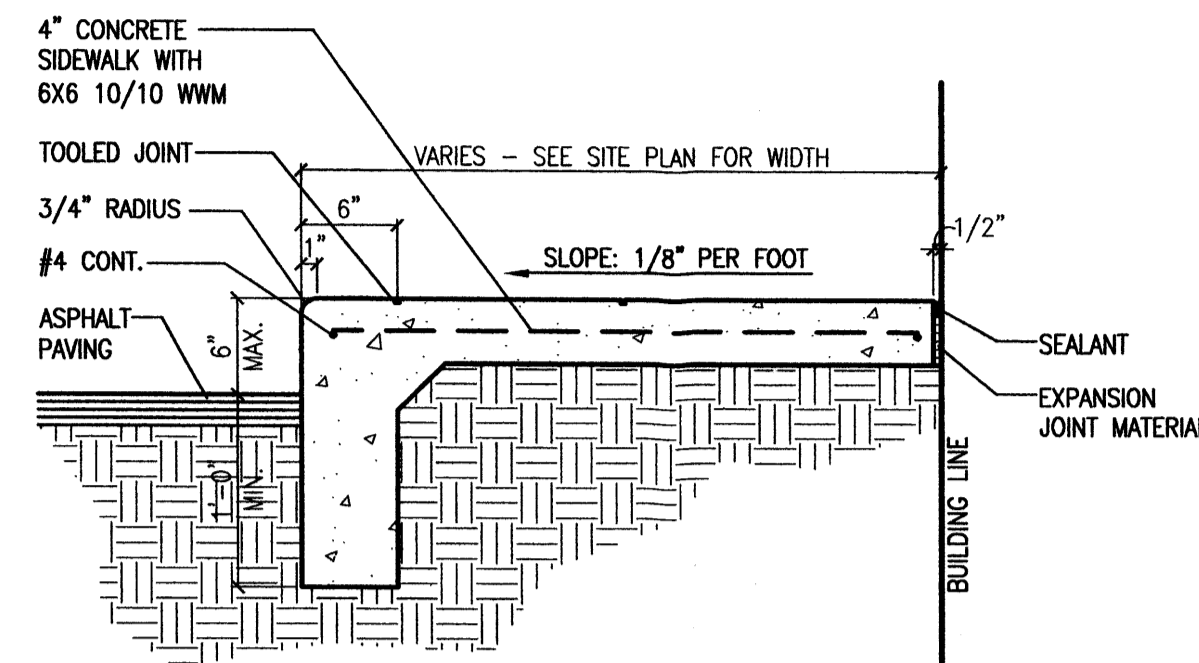
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596397



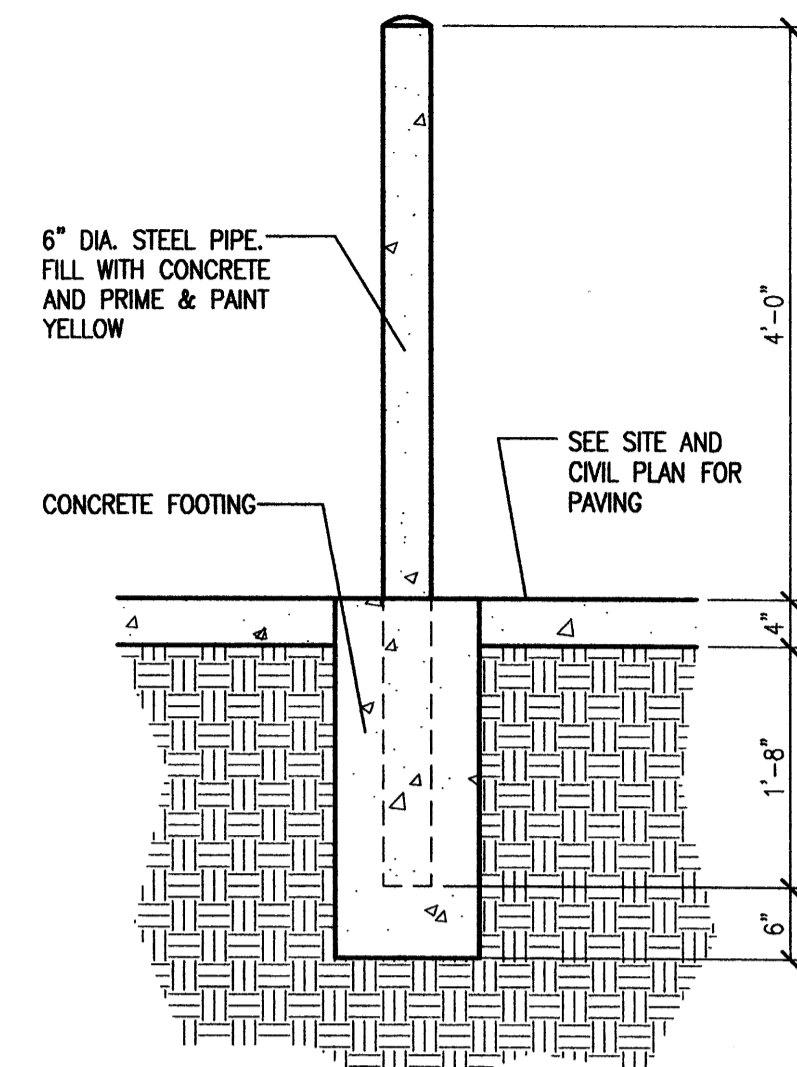
1 Dumpster Enclosure Plan  
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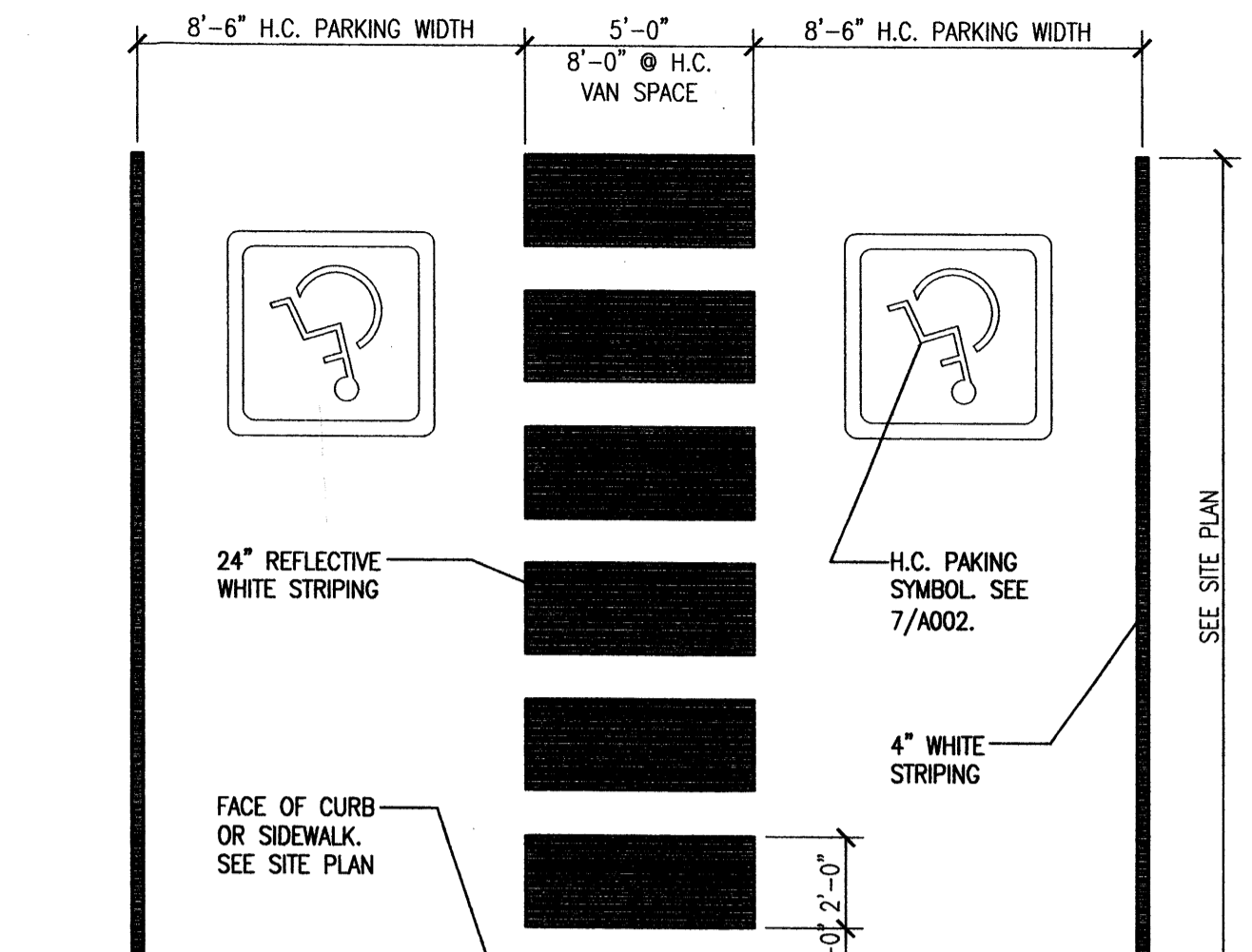
2 Enclosure Wall Section  
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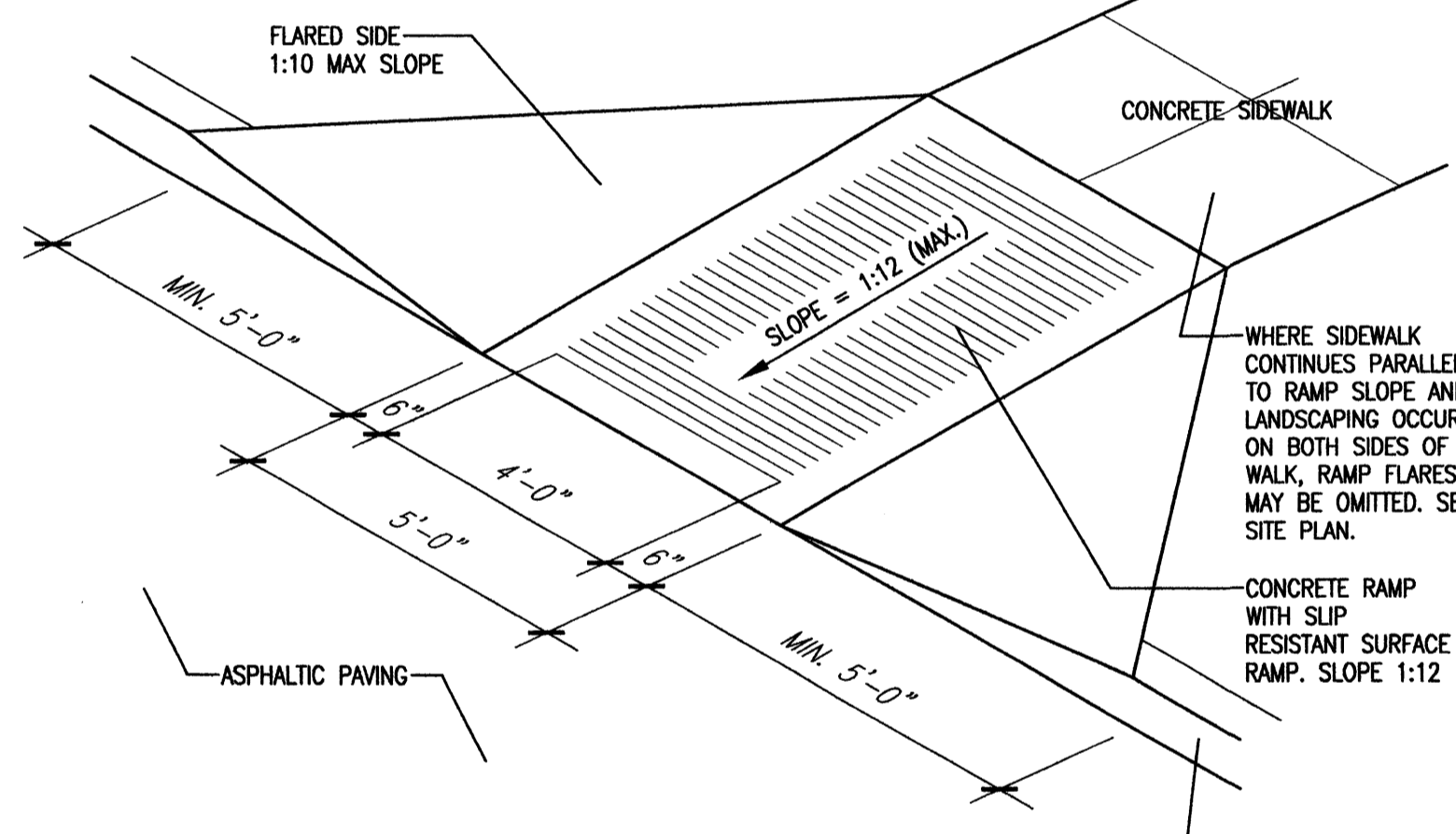
3 Concrete Sidewalk Detail  
Scale: 1"=1'-0"



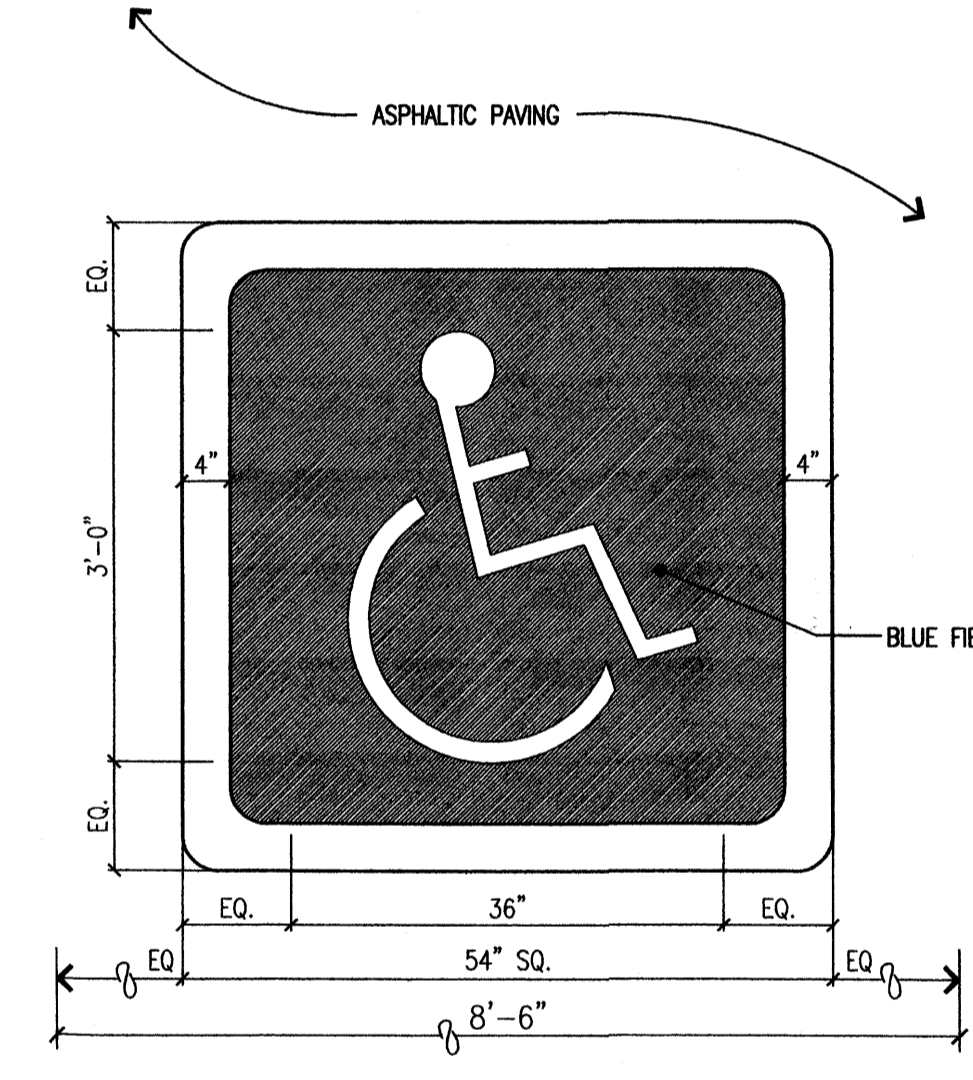
4 Pipe Bollard Detail  
Scale: 3/4"=1'-0"



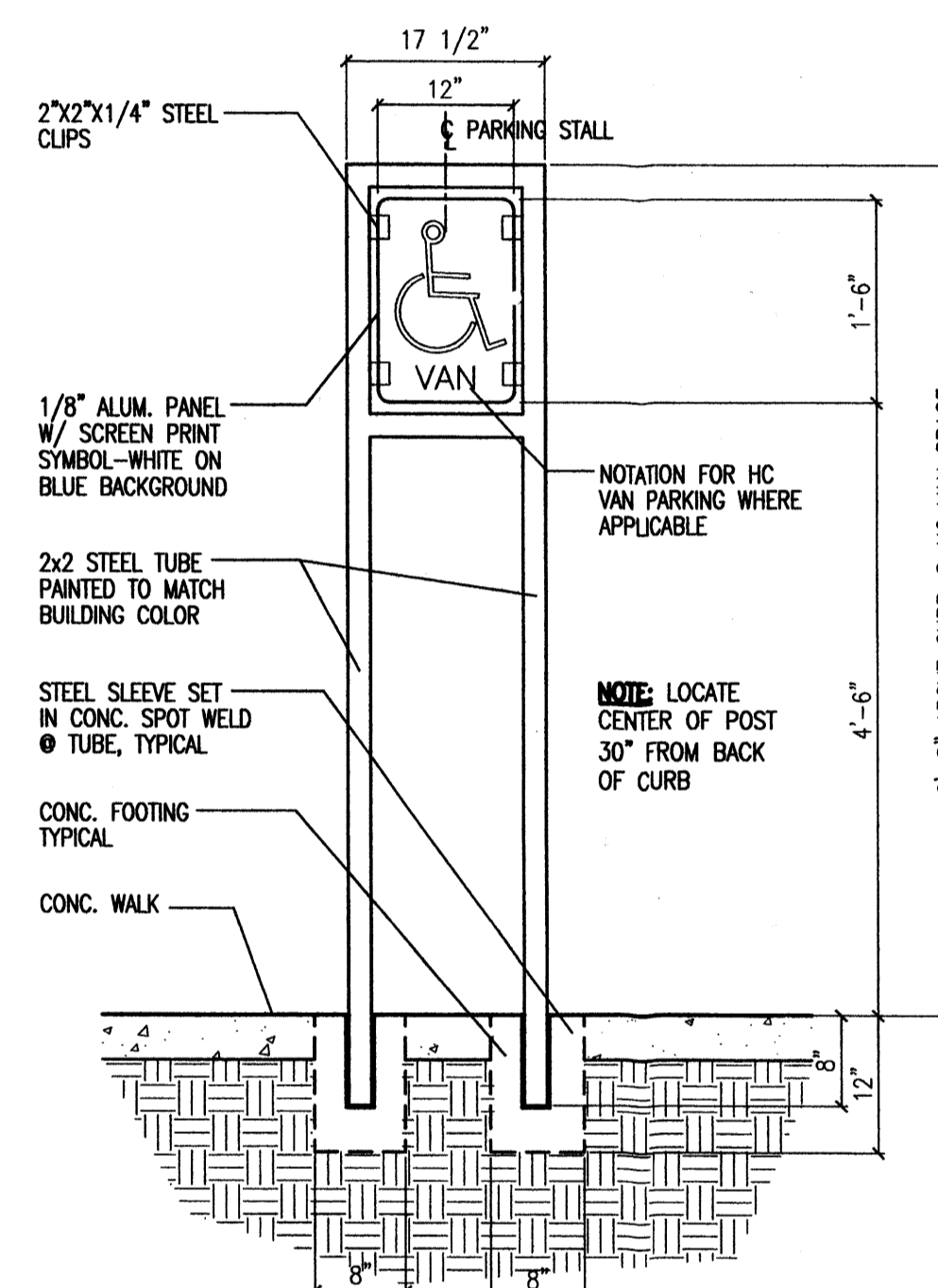
5 HC Parking Striping Detail  
Scale: 1/4"=1'-0"



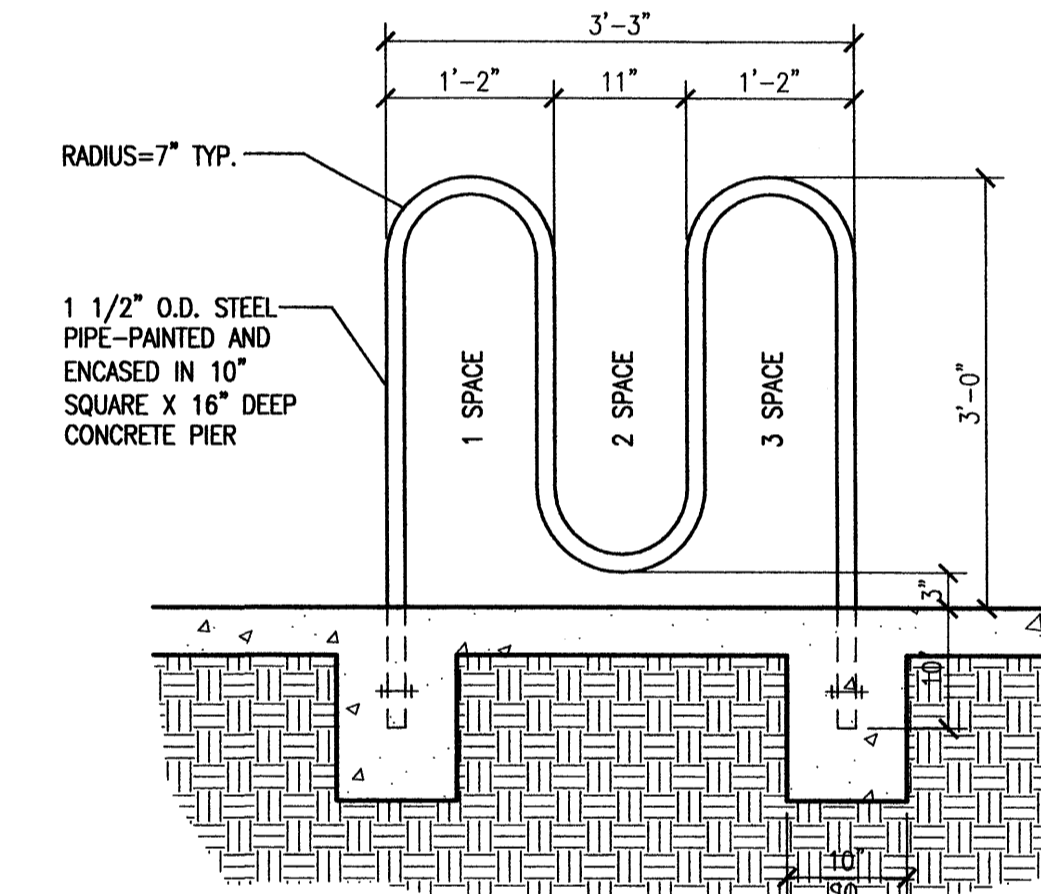
6 H.C. Ramp Detail  
Scale: Not To Scale (Isometric)



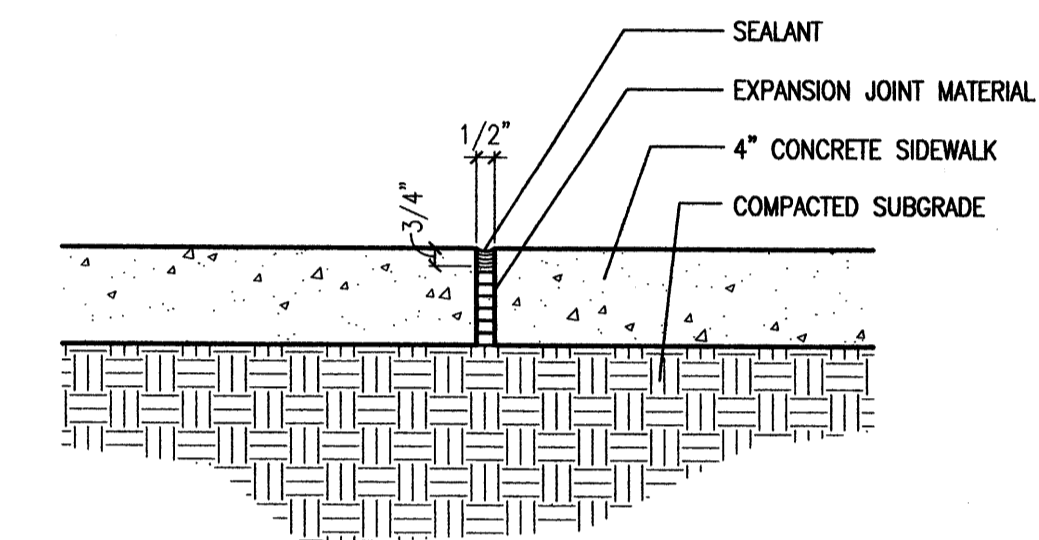
7 HC Pavement Sign Detail  
Scale: 3/4"=1'-0"



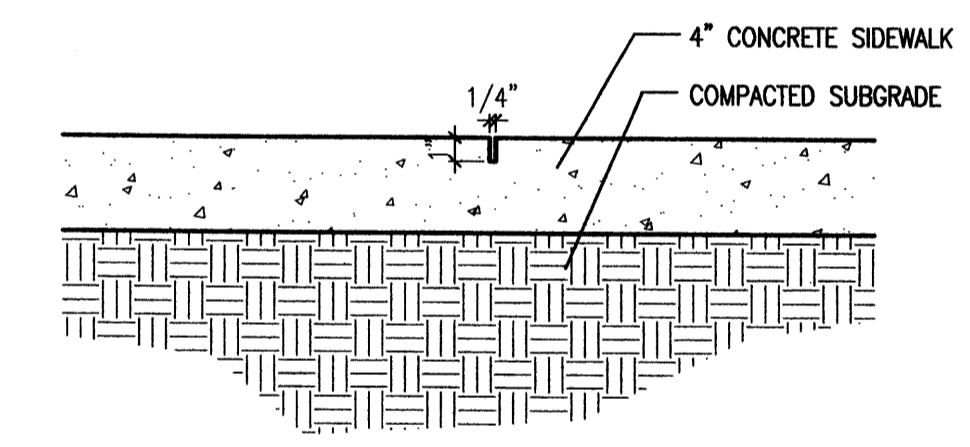
8 HC Parking Sign Detail  
Scale: 3/4"=1'-0"



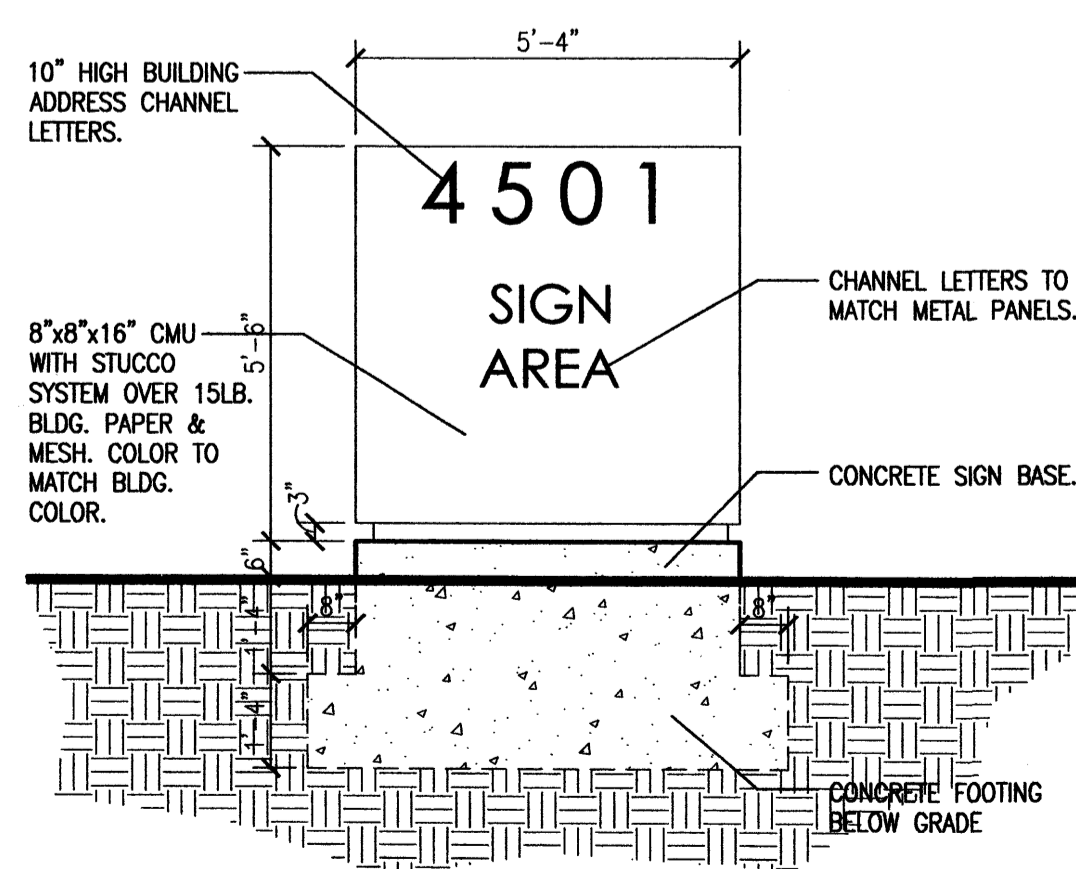
9 Bicycle Rack Detail  
Scale: 3/4"=1'-0"



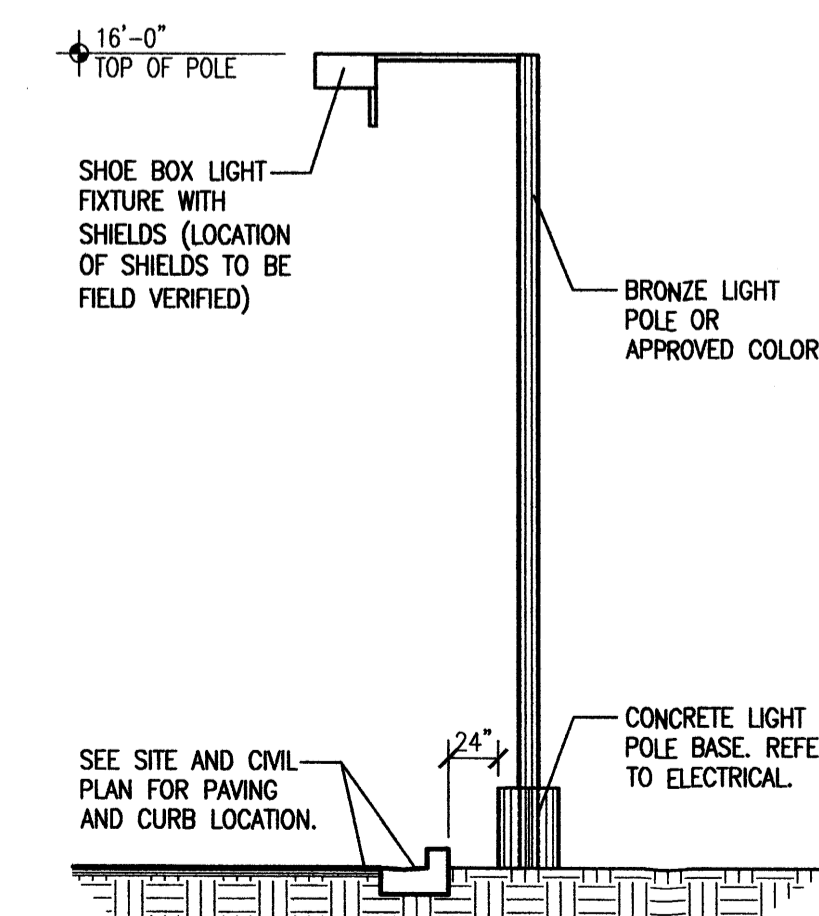
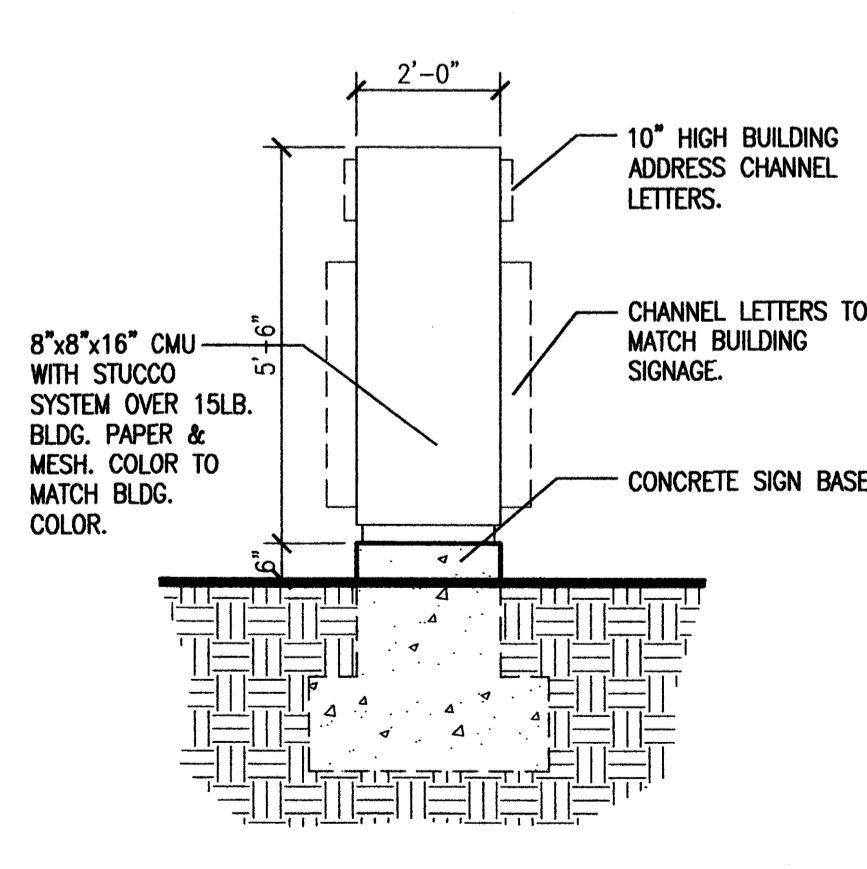
10A Expansion Joint Detail  
Scale: 1-1/2"=1'-0"



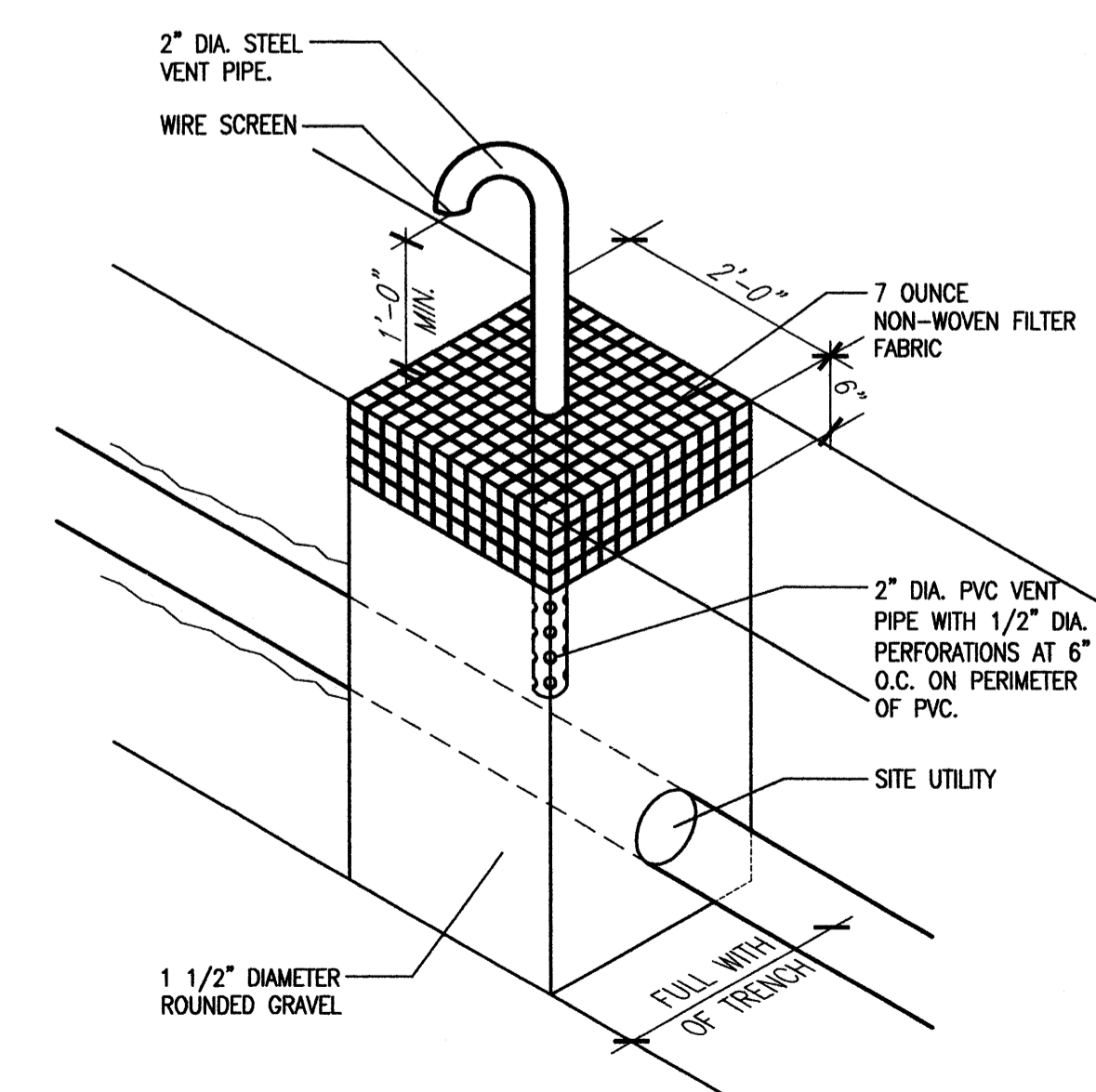
10B Contraction Joint Detail  
Scale: 1-1/2"=1'-0"



11 Monument Sign Elevation and Section  
Scale: 3/8"=1'-0"



12 Site Lighting Detail  
Scale: Not To Scale

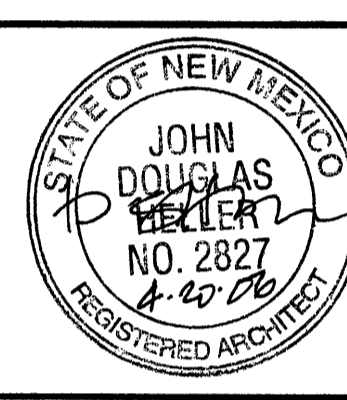


13 Utility Trench Venting Barrier  
Scale: Not To Scale

revision	
by	
date	
rev	▲▲▲▲



Mullen Heller  
Architecture P.C.  
1015 Tijeras Ave NW  
Suite 220  
Albuquerque, NM 87102  
505 268 4144 [p]  
505 268 4244 [f]



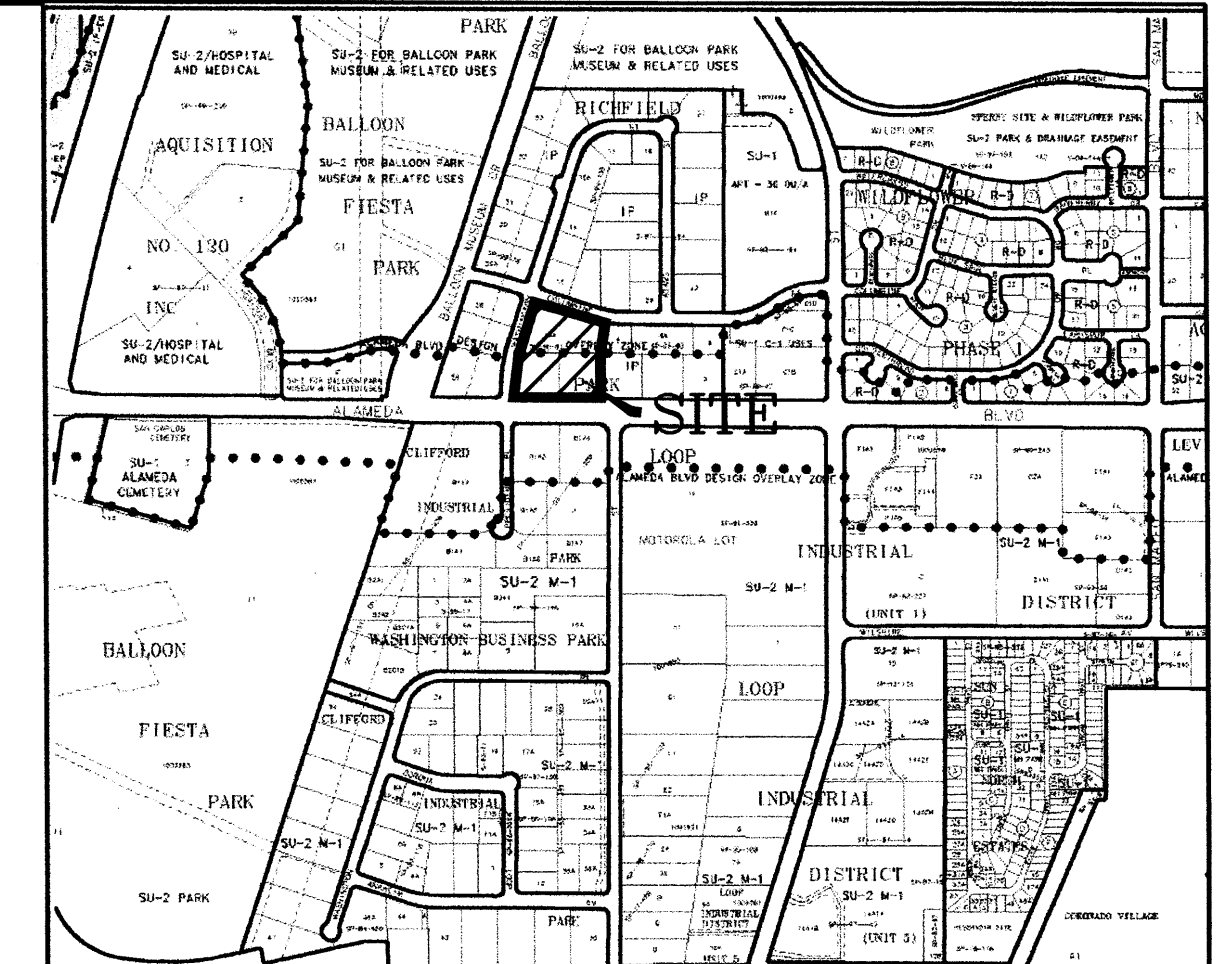
job number	05-36
drawn by	mws
project manager	Douglas Heller, AIA
date	04/20/06

project title  
Dwight's Glass Office/Warehouse  
4501 Alameda Boulevard, N.E.  
Albuquerque, New Mexico  
sheet title  
Site Details

sheet  
A002

**NOTES**

1. TYPICAL ON-SITE PAVING AND DRAINAGE IMPROVEMENTS TO BE INSTALLED IN ACCORDANCE WITH CITY STANDARD DETAILS AND SPECIFICATIONS OR THE PROJECTS GEOTECHNICAL REPORT.
2. TOPOGRAPHIC SURVEY PROVIDED BY CARTESIAN SURVEYS, INC., JUNE 2005.
3. Future development of Tract 2 shall also remove the south half of the existing drainage channel and then build a full-width driveway parallel to the existing channel.



VICINITY MAP ZONE MAP: C-17-Z

T B M (TEMPORARY BENCHMARK)

ACS BENCHMARK

ACS MONUMENT "11-C17" HAVING AN ELEVATION OF 5103.222 (NGVD29).

**LEGAL DESCRIPTION**

LOTS 1 AND 2 OF RICHFIELD PARK SUBDIVISION, A SUBDIVISION IN BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 10, 1988, IN VOLUME C36, FOLIO 12.

**LEGEND**

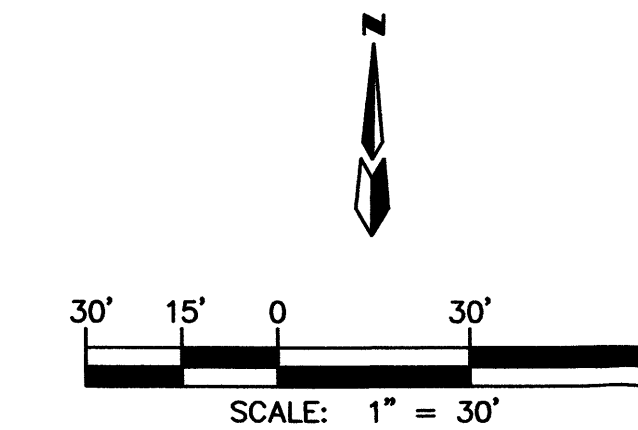
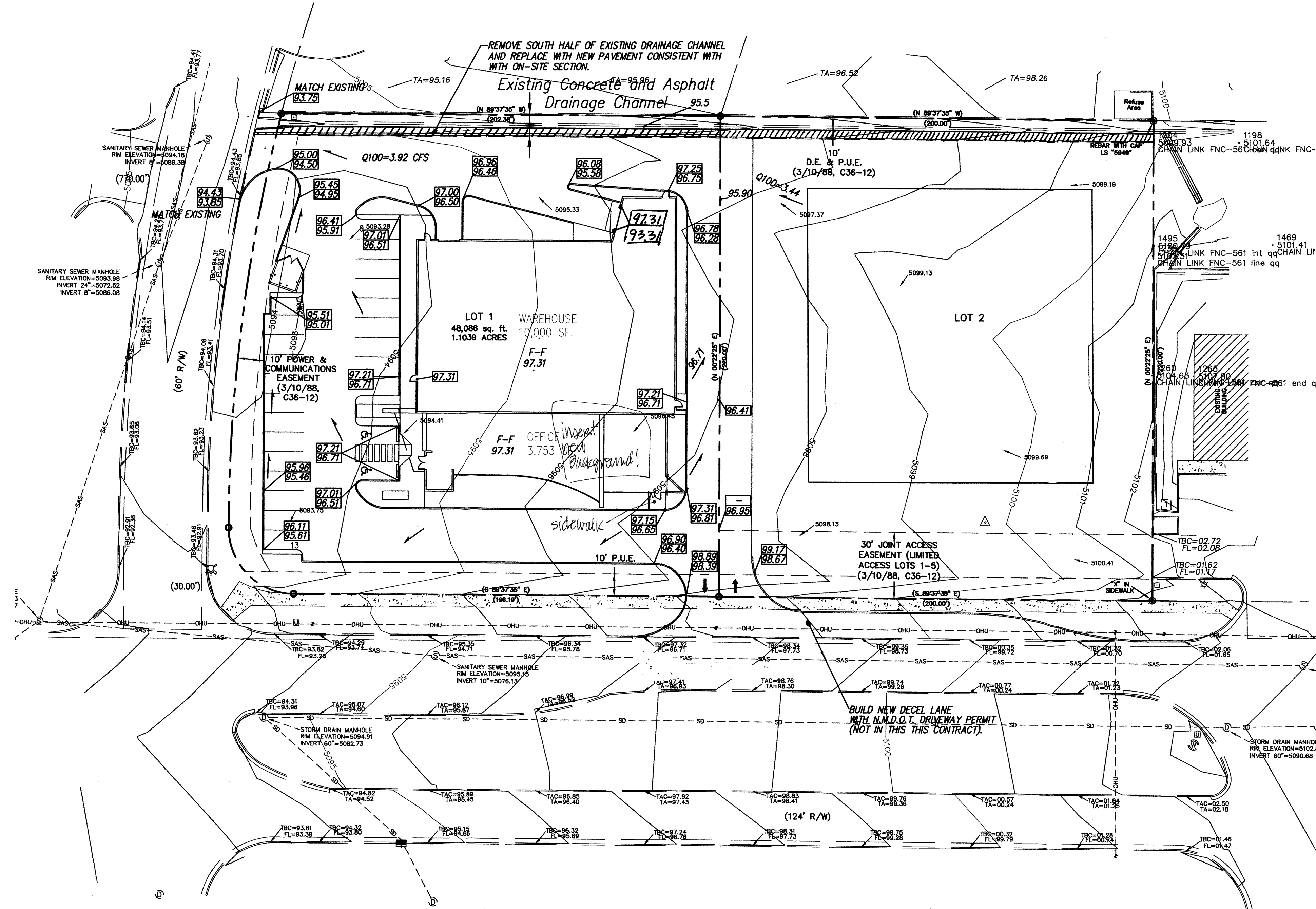
N 90°00'00" E	MEASURED BEARING AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT OF RECORD (95C-126)
⊙	FOUND REBAR WITH CAP "LS 8686" UNLESS INDICATED OTHERWISE
⊠	SIGNAL BOX
⊕	FIRE HYDRANT
⊞	UTILITY PEDESTAL
⊟	DROP INLET
⊠	STORM DRAIN
⊡	SANITARY SEWER MANHOLE
⊢	UTILITY POLE
—	ANCHOR
—	OVERHEAD UTILITIES
FL 5444.30	FLOW LINE ELEVATION
TBC 5444.30	BACK OF CURB ELEVATION
5432.33	GROUND SPOT ELEVATION
FF= XX.XX	FINISH FLOOR ELEVATION
→	FLOW DIRECTION
~	LANDSCAPE SWALE
⊞	WATER BLOCK

**NOTICE TO CONTRACTOR**

1. An excavation/construction permit will be required before beginning any work within City right of way. An approved copy of these plans must be submitted at the time of application for this permit.
2. All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with "City of Albuquerque Standard Specifications for Public Works Construction" (1986 Edition).
3. Two working days prior to any excavation, Contractor must contact the Line Locating Service, 765-1234, for location of existing utilities.
4. Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum of delay.
5. Backfill compaction shall be according to residential street use.
6. Maintenance of these facilities shall be the responsibility of the Owner of the property served.
7. Contractor is responsible for obtaining excavation permit for the S.O. 19 and providing proof of acceptance by the City prior to Hydrology sign-off for Certificate of Occupancy.

**DRAINAGE FACILITIES WITHIN CITY RIGHT OF WAY**

Design Approval	_____	DATE	_____
	HYDROLOGY SECTION		
Inspection Approval	_____	DATE	_____
	CONSTRUCTION SECTION		
Acceptance	_____	DATE	_____
	CONSTRUCTION/SECTION/PERMITS		



Professional Engineer Seal for Dan M. Kozlowski, State of New Mexico, No. 11819. Handwritten signature and date: 9-26-05.

**LOTS 1 & 2 RICH FIELD PARK SUB. MASTER GRADING & DRAINAGE PLAN**

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

Designed: DMG	Drawn: CAR	Checked: DMG	Sheet
Scale: 1" = 10'	Date: 9-22-05	Job: A05016	C 101

**NOTE**

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH SUNSET ROSE CRUSHER FINES AT 3" DEPTH NO FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A LANDSCAPE AND WATER WASTE ORDINANCE

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

**PLANTING RESTRICTIONS APPROACH**

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS

A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

City of Albuquerque IMPACT FEES  
 24 33.45  
 3158.30 Rdwy. + 5629.30  
 93.57  
 282.20  
 \$17,591.88

**PLANT LEGEND**

Qty.	Symbol	Scientific Name Common Name	Size	Water Use
<b>Trees</b>				
6		Chilopsis linearis Desert Willow	2"	Low +
2		Pinus leucodermis Bosnian Pine	5'-6'	Medium
6		Quercus buckleyi Texas Red Oak	2" B&B	Medium
9		Vitex agnus-castus Chaste Tree	5g	Medium
3		Nyssa sylvatica Sour Gum	2" B&B	Medium
<b>Shrubs/Groundcovers</b>				
47		Achillea filipendulina Moonshine Yarrow	1g	Medium
23		Ericameria laricifolia 'Aguirre' Turpentine Bush	5g	Low+
16		Ericameria nauseosus Chamisa	1g	Low
25		Fallugia paradoxa Apache Plume	1g	Low
35		Nepeta mussini Giant Catmint	1g	Medium
26		Perovskia atriplicifolia Russian Sage	1g	Medium
28		Rosmarinus officinalis Rosemary	5g	Low +
<b>Ornamental Grasses</b>				
18		Calamagrostis acutiflora Karl Foerster Grass	5g	Medium

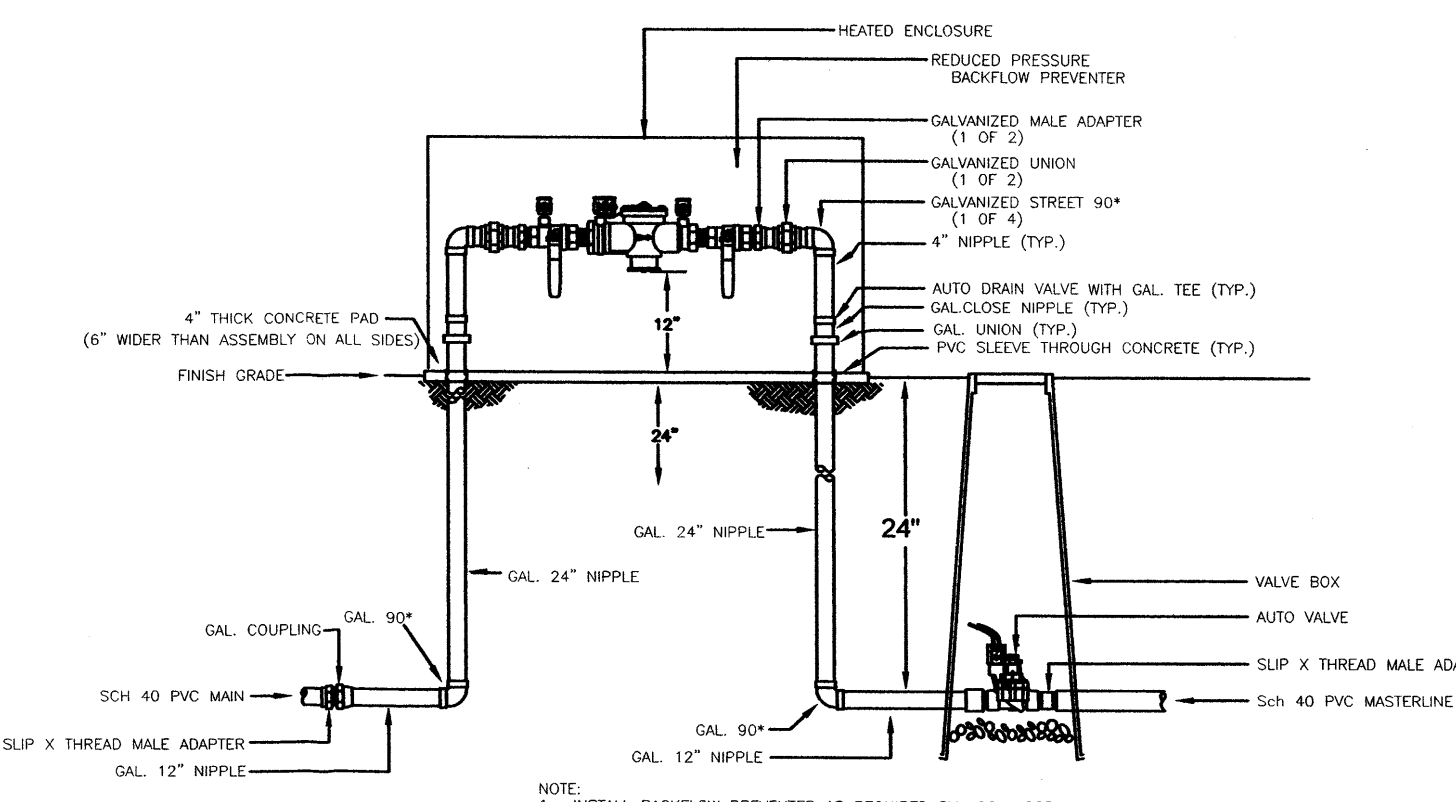
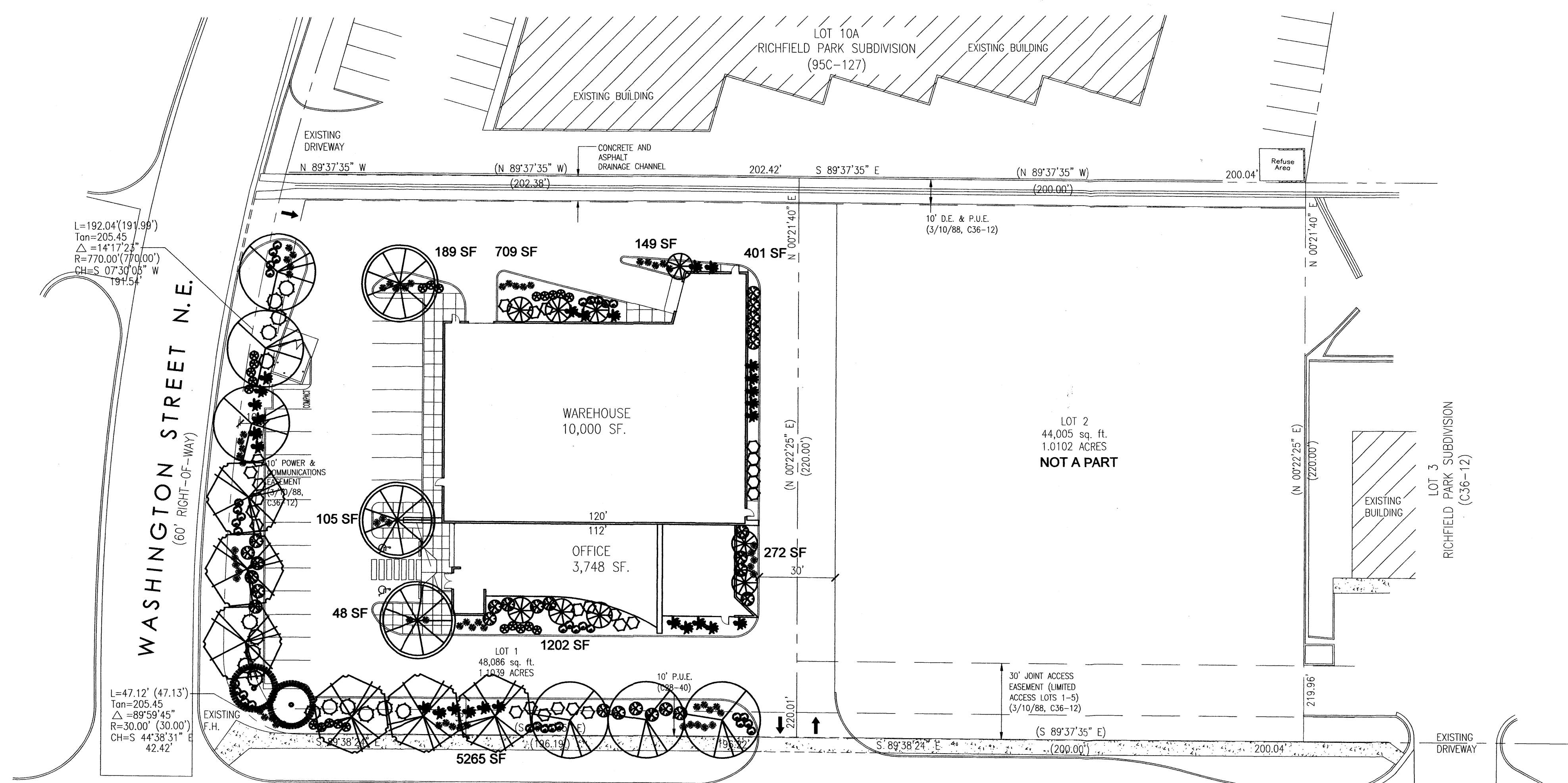
**SITE DATA**

GROSS LOT AREA	48061	SF
LESS BUILDING(S)	13880	SF
NET LOT AREA	34181	SF

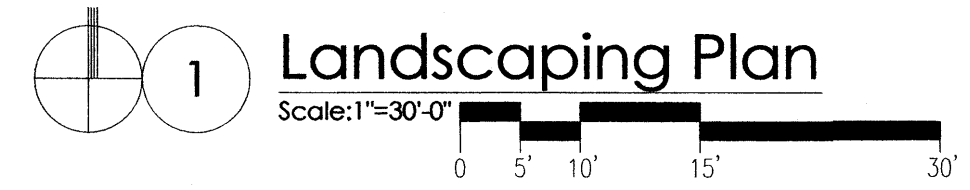
REQUIRED LANDSCAPE 15% OF NET LOT AREA	5127	SF
PROPOSED LANDSCAPE	8340	SF
PERCENT OF NET LOT AREA	24	%

HIGH WATER USE TURF MAX. 20% OF LANDSCAPE AREA	0	SF
PROPOSED HIGH WATER USE TURF	0	SF
PERCENT OF LANDSCAPE AREA	0	%

REQUIRED STREET TREES PROVIDED AT 30' O.C. SPACING ALONG STREET	14
REQUIRED PARKING LOT TREES PROVIDED AT 1 PER 10 SPACES (24 SPACES/10)	3

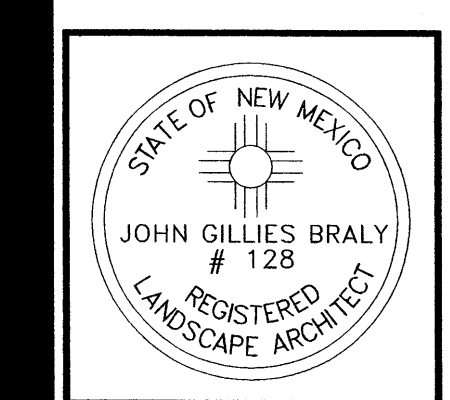


**Mastervalue w/RPBA**



revision  
by  
date  
rev

**MH**  
 Mullen Heller  
 Architecture P.C.  
 1015 Tijeras Avenue NW  
 Suite 220  
 Albuquerque, NM 87102  
 505 268 4144 [p]  
 505 268 4244 [f]

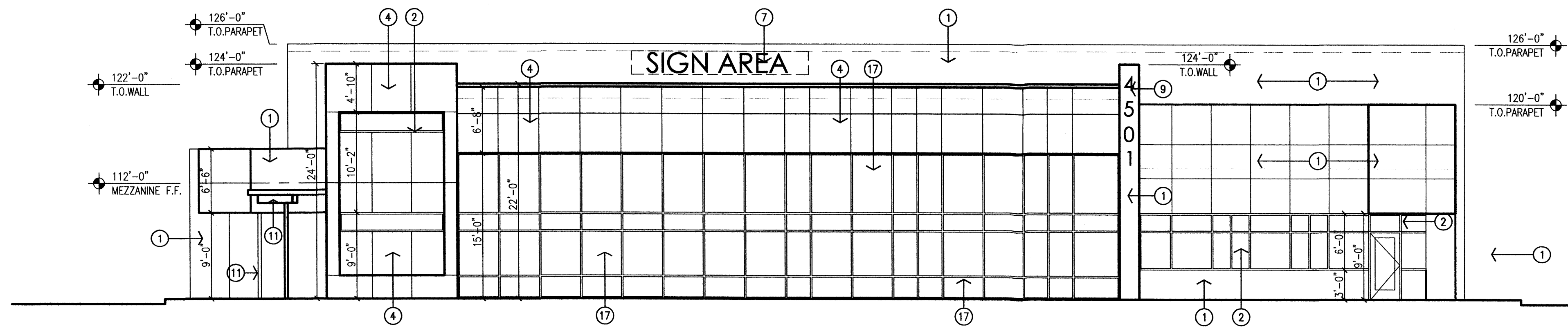


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 drawn by mws  
 project manager HULC  
 date 9/2/05

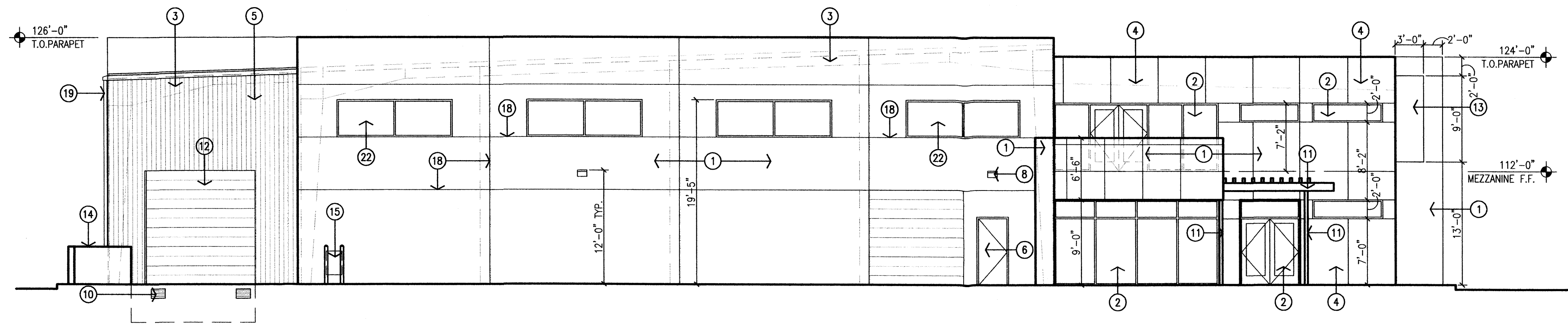
project title  
**Dwight's Glass Office/Warehouse**  
 4501 Alameda Boulevard, NE.  
 Albuquerque, New Mexico  
 sheet title  
**Landscaping Plan**

*Growing Better Up*  
**Heads**  
 LANDSCAPE CONTRACTORS  
 www.headsuplandscape.com  
 PO Box 10597  
 Albuquerque, NM 87184  
 505.898.9615  
 505.898.2105 (fax)  
 design@hulc.com

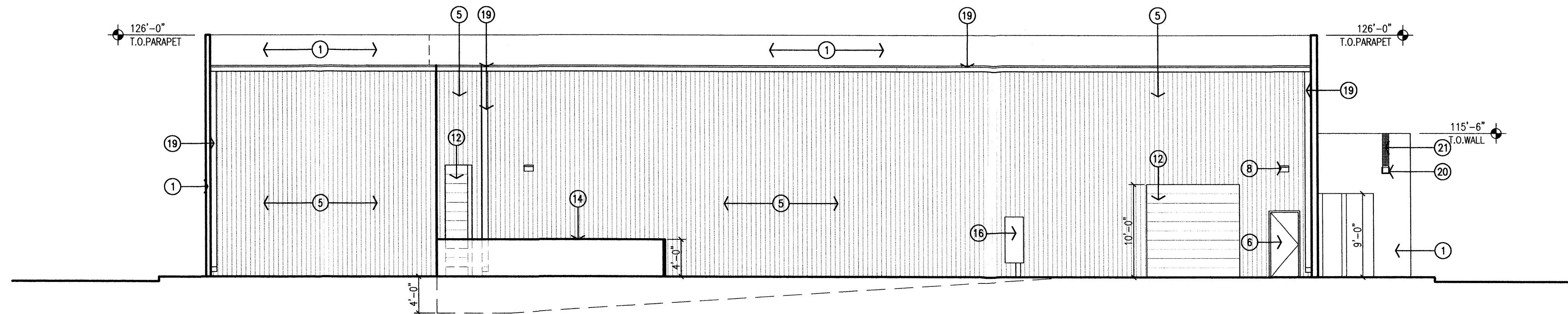
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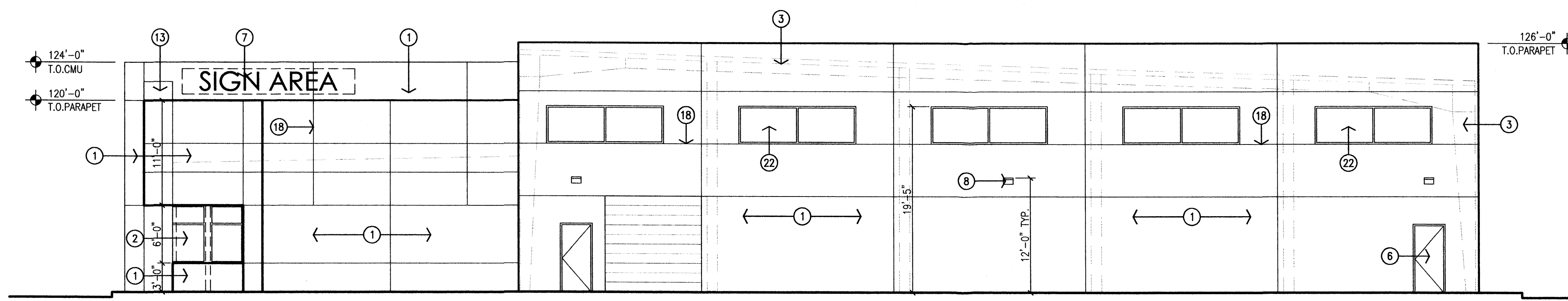
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2 West Elevation  
Scale: 1/8"=1'-0"



3 North Elevation  
Scale: 1/8"=1'-0"



4 East Elevation  
Scale: 1/8"=1'-0"

EXTERIOR ELEVATION KEYED NOTES:

- [1] 2-COAT STUCCO SYSTEM OVER 1 LAYER BUILDING PAPER AND WIRE MESH. COLOR: TAN
- [2] BLUE ALUMINUM STOREFRONT WITH TINTED INSULATED GLAZING.
- [3] OUTLINE OF METAL BUILDING BEYOND.
- [4] PREFINISHED METAL WALL PANELS. COLOR: COPPER
- [5] STANDING SEAM METAL PANELS. COLOR: TAN
- [6] HOLLOW METAL DOOR AND FRAME, PAINTED TO MATCH STOREFRONT.
- [7] INDIVIDUAL ILLUMINATED (BACKLIT) CHANNEL LETTERS.
- [8] EXTERIOR LIGHT FIXTURE.
- [9] 12" HIGH ADDRESS CHANNEL LETTERS.
- [10] RECESSED DOCK WELL WITH DOCK BUMPERS.
- [11] TUBE STEEL COLUMN/BEAM. PAINTED TO MATCH STOREFRONT SYSTEM.
- [12] OVERHEAD DOOR PAINTED.
- [13] OPENING THRU WALL.
- [14] CONCRETE SCREEN WALL. PAINTED TO MATCH BUILDING COLOR.
- [15] GAS METER LOCATION WITH 4" STEEL PIPE BOLLARDS. PAINT METER BOLLARDS TO MATCH BUILDING COLOR.
- [16] ELECTRICAL PANEL LOCATION. PAINTED TO MATCH BUILDING COLOR.
- [17] BLUE ALUMINUM CURTAIN WALL WINDOW SYSTEM WITH TINTED INSULATED GLAZING.
- [18] STUCCO CONTROL JOINT.
- [19] PREFINISHED SHEET METAL GUTTER AND DOWNSPOUTS. COLOR TO MATCH METAL PANEL COLOR.
- [20] PREFINISHED SHEET METAL SCUPPER TO MATCH BUILDING COLOR.
- [21] PAINTED STEEL MESH.
- [22] CLEAR ALUMINUM STOREFRONT WITH INSULATED GLAZING.

revision	
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date	4/20/06

project title  
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sheet title  
**Exterior Elevations**