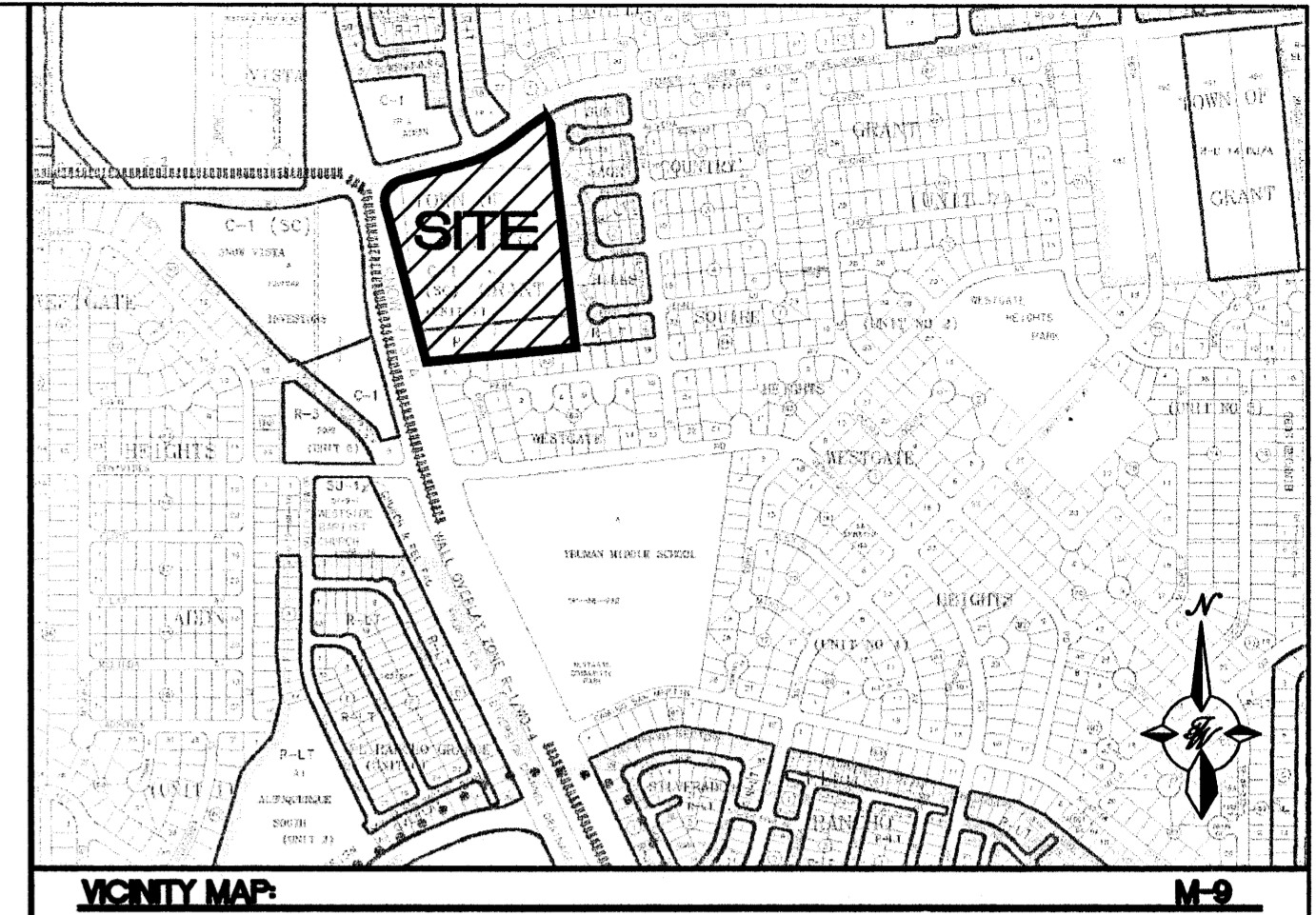
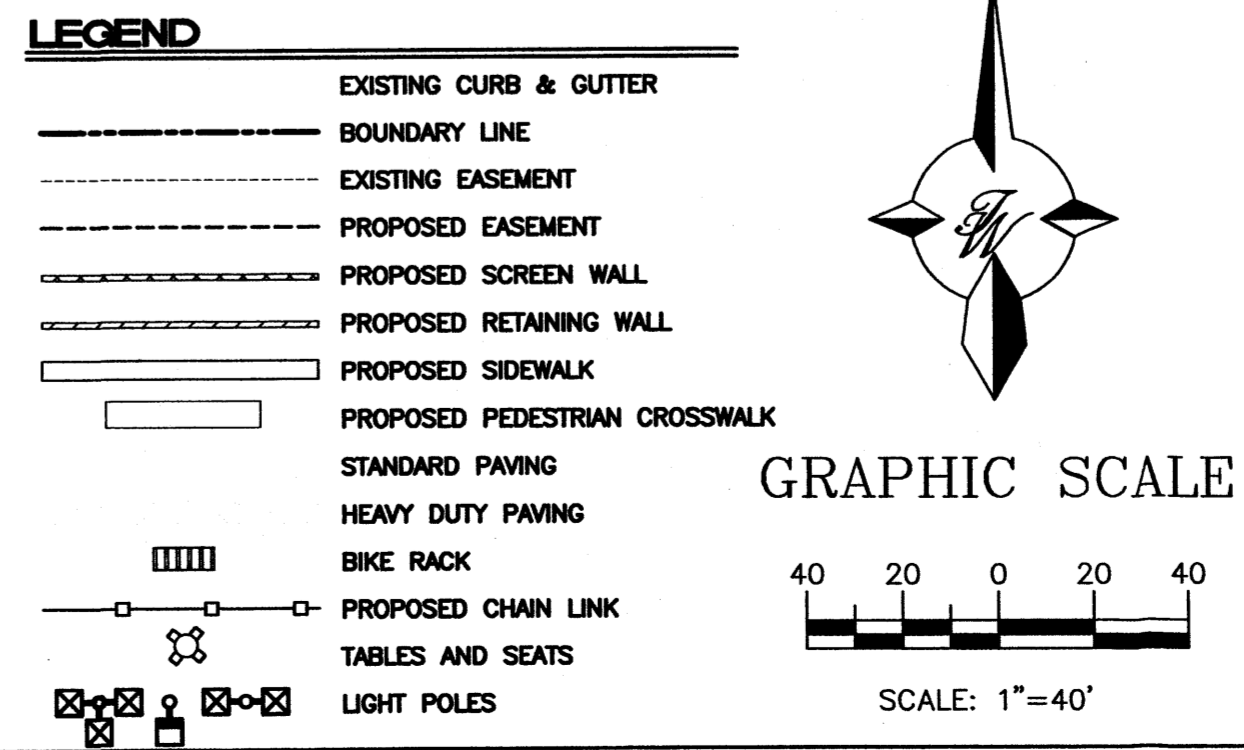


- KEYED NOTES:**
- 1 "YIELD" PAINTED YELLOW ON PAVEMENT TYPICAL.
 - 2 PAINTED DIRECTIONAL ARROW TYPICAL.
 - 3 HANDICAP ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN"-INDICATES VAN ACCESSIBLE SPACE).
 - 4 UNIDIRECTIONAL HC RAMP.
 - 5 PROPOSED HC RAMP.
 - 6 6" CONCRETE CURB AND GUTTER TYPICAL.
 - 7 6" CONCRETE HEADER CURB TYPICAL.
 - 8 8' WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK.
 - 9 10' WIDE RAISED CONCRETE SIDEWALK TYPICAL.
 - 10 6" CONCRETE SIDEWALK TYPICAL.
 - 11 "STOP" SIGN. SEE PLAN FOR LOCATION.
 - 12 BIKE RACK TYPICAL.
 - 13 PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH.
 - 14 TREE PLANTER TYPICAL.
 - 15 PYLON SIGN.
 - 16 LIGHT POLE TYPICAL.
 - 17 6' CHAIN LINK FENCE.
 - 18 6' HIGH SPLIT FACE- TAN CMU.
 - 19 BENCHES.
 - 20 ONE WAY ONLY. DO NOT ENTER SIGN.
 - 21 BOLLARD SEE SHEET 6 FOR DETAIL.

- NOTES:**
1. COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 3. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 4. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 5. LIGHT POLES SHALL BE A MAXIMUM OF 25' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. LIGHTING MUST MEET NIGHT SKY ORDINANCE.
 6. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 7. NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
 8. SETBACKS: THERE SHALL BE A FRONT AND A CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE FEET AND A SETBACK OF 11 FEET FROM JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION. THE CLEAR SIGHT TRIANGLE SHALL NOT BE INFRINGED UPON.
 9. BUILDINGS CANNOT EXCEED THE HEIGHTS AS SPECIFIED IN THE C1 (SC) ZONE OF THE COMPREHENSIVE CITY ZONING CODE.
 10. BUS ROUTE 54 RUNS DOWN 98TH AND PAST THE SITE.

- INDEX TO DRAWINGS:**
1. SITE FOR BUILDING PERMIT
 - 1A. APPROVED SITE PLAN FOR SUBDIVISION
 - 1B. APPROVED SITE PLAN FOR BUILDING PERMIT NEIGHBORHOOD MARKET
 2. LANDSCAPE PLAN
 3. GRADING AND DRAINAGE
 4. MASTER UTILITY PLAN
 5. ARCHITECTURAL ELEVATIONS
 6. DETAILS



LEGAL DESCRIPTION:
Parcel "A-1" and Remaining Westerly Portion of Parcel "A", Town of Atrisco Grant, Unit 7

SITE DATA

PROPOSED USAGE:	C-1 (SC)
EXISTING ZONING:	C-1 (SC)
LOT AREA:	3.6204
LOT 4	3.6204± AC.
TOTAL:	21,416 SF
BUILDING AREA:	157 SPACES
PARKING PROVIDED:	107 SPACES
PARKING REQUIRED:	8 SPACES (2 VAN)
HC PARKING PROVIDED:	1 SPACE
HC PARKING REQUIRED:	2 SPACES VAN ACCESSIBLE
BIKE SPACES PROVIDED:	20 SPACES
BIKE SPACES REQUIRED:	7 SPACES
MOTORCYCLE SPACES PROVIDED:	4 SPACES
LANDSCAPING REQUIRED:	21,878 SF
LANDSCAPING PROVIDED:	41,067 SF
TOTAL AREA OF ROW DEDICATION =	6,494 SF

PAINT STRIPING LEGEND

SWSL/4"	- SINGLE WHITE SOLID LINE / 4" WIDE
SYSL/4"	- SINGLE YELLOW SOLID LINE / 4" WIDE EACH
DYSL/4"	- DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
SYSL/10"	- SINGLE YELLOW SOLID LINE / 10" WIDE
SWSL/4"	- SINGLE WHITE SOLID LINE / 4" WIDE
SWSL/24"	- SINGLE WHITE SOLID LINE / 24" WIDE

PROJECT NUMBER: 1003991
APPLICATION NUMBER: 05DRB-01716

This plan is consistent with the specific Site Development Plan approval by the Environmental Planning Commission (EPC) dated 10-20-05, and the Findings and Conditions in the Official Notification of Decision are satisfied.

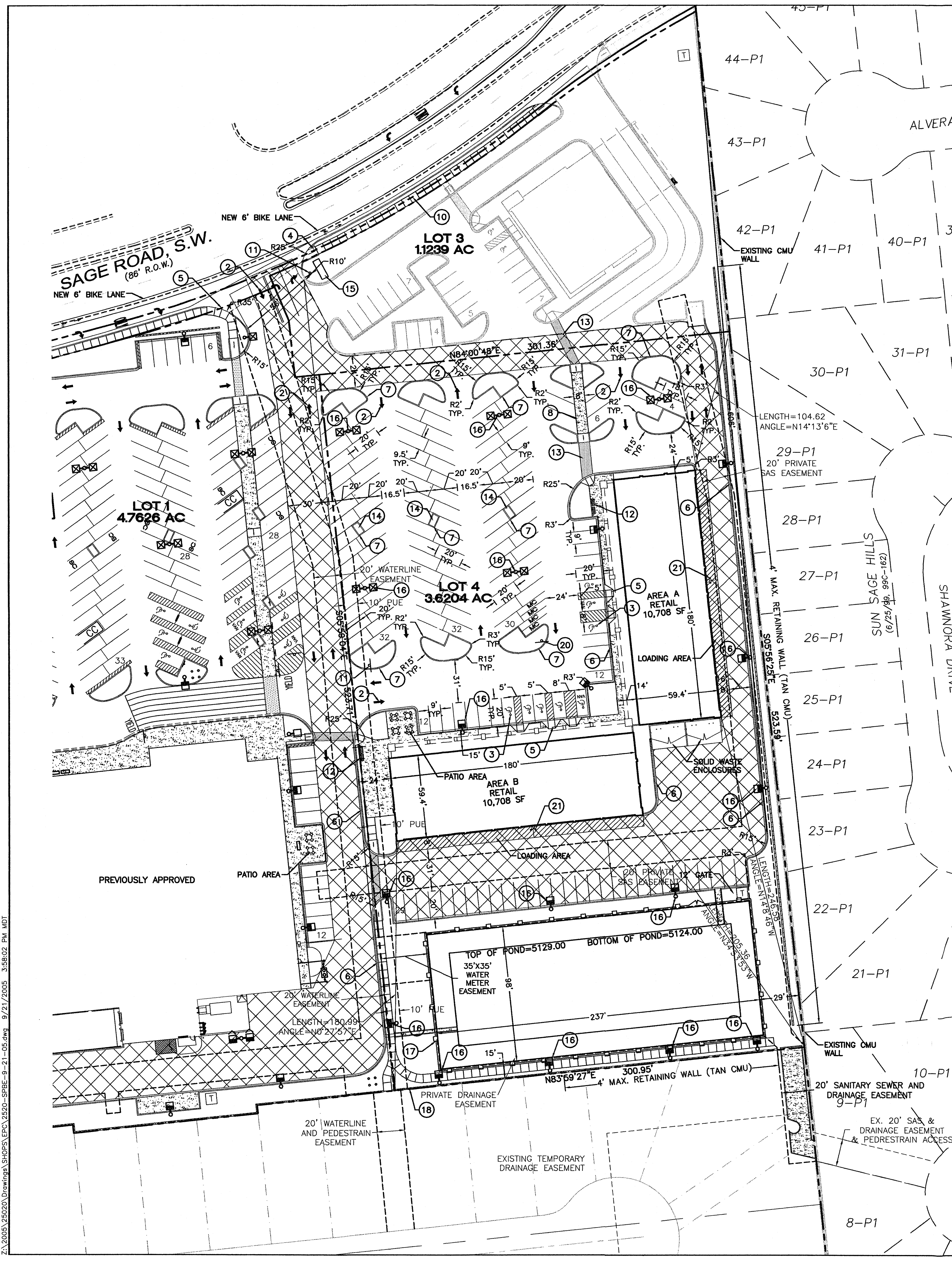
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i> Traffic Engineer, Transportation Division	4-4-06 Date
<i>[Signature]</i> Utilities Development	2/7/06 Date
<i>[Signature]</i> Parks & Recreation, Department	1/16/05 Date
<i>[Signature]</i> City Engineer	2/18/06 Date
N/A Environmental Health Department (conditional)	Date
<i>[Signature]</i> Solid Waste Management	2/15/06 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	2/16/06 Date

[Signature] Planner 2/14/06

ENGINEER'S SEAL	SAGE MARKETPLACE	DRAWN BY EMT
	SITE PLAN FOR BUILDING PERMIT	DATE 11-16-05
	TIERRA WEST, L.L.C. 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # 1
RONALD R. BOHANNAN P.E. #7868		JOB # 25020

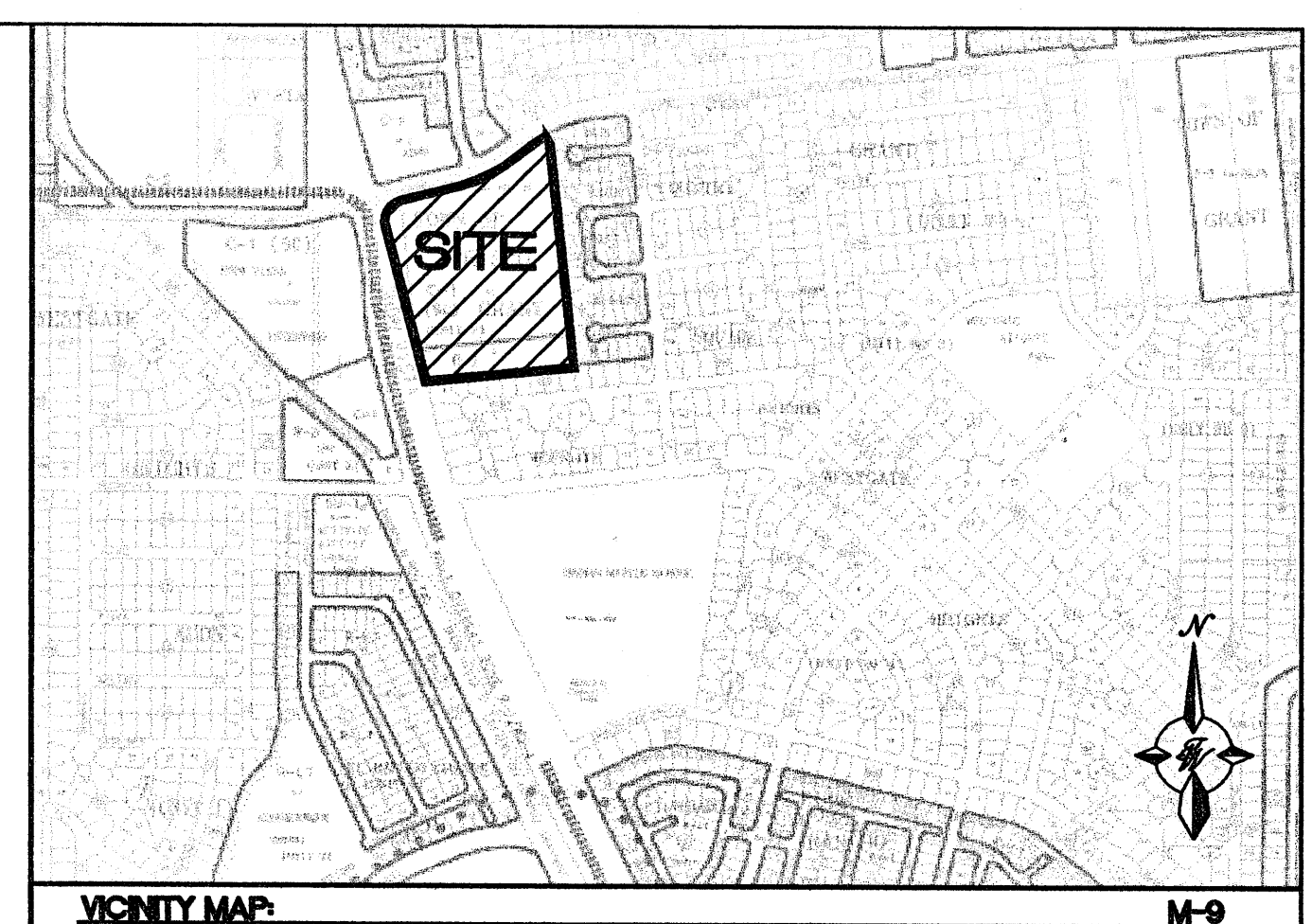
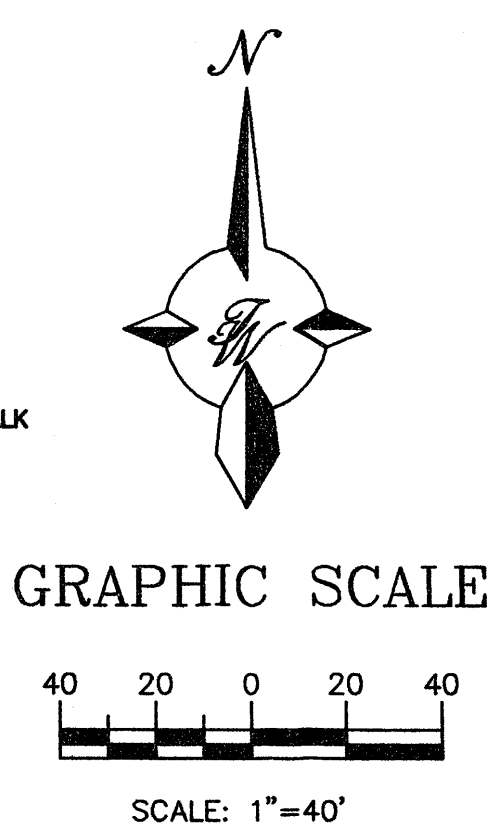
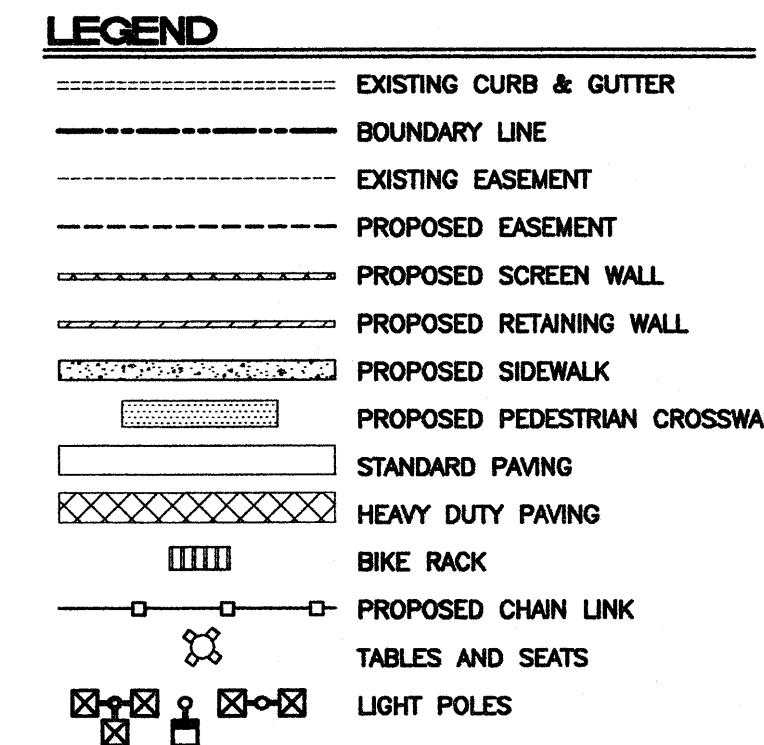
1003991



- KEYED NOTES:**
- "YIELD" PAINTED YELLOW ON PAVEMENT TYPICAL.
 - PAINTED DIRECTIONAL ARROW TYPICAL.
 - HANDICAP ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN"-INDICATES VAN ACCESSIBLE SPACE).
 - UNIDIRECTIONAL HC RAMP.
 - PROPOSED HC RAMP.
 - 6" CONCRETE CURB AND GUTTER TYPICAL.
 - 6" CONCRETE HEADER CURB TYPICAL.
 - 8' WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK.
 - 10' WIDE RAISED CONCRETE SIDEWALK TYPICAL.
 - 6" CONCRETE SIDEWALK TYPICAL.
 - "STOP" SIGN. SEE PLAN FOR LOCATION.
 - BIKE RACK TYPICAL.
 - PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH.
 - TREE PLANTER TYPICAL.
 - PYLON SIGN.
 - LIGHT POLE TYPICAL.
 - 6' CHAIN LINK FENCE.
 - 6' HIGH SPLIT FACE- TAN CMU.
 - BENCHES.
 - ONE WAY ONLY. DO NOT ENTER SIGN.
 - BOLLARD SEE SHEET 6 FOR DETAIL.

- NOTES:**
- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 - LIGHT POLES SHALL BE A MAXIMUM OF 25' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. LIGHTING MUST MEET NIGHT SKY ORDINANCE.
 - THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 - NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
 - SETBACKS: THERE SHALL BE A FRONT AND A CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE FEET AND A SETBACK OF 11 FEET FROM JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION. THE CLEAR SIGHT TRIANGLE SHALL NOT BE INFRINGED UPON.
 - BUILDINGS CANNOT EXCEED THE HEIGHTS AS SPECIFIED IN THE C1 (SC) ZONE OF THE COMPREHENSIVE CITY ZONING CODE.
 - BUS ROUTE 54 RUNS DOWN 98TH AND PAST THE SITE.

- INDEX TO DRAWINGS:**
- SITE FOR BUILDING PERMIT
 - APPROVED SITE PLAN FOR SUBDIVISION
 - APPROVED SITE PLAN FOR BUILDING PERMIT NEIGHBORHOOD MARKET
 - LANDSCAPE PLAN
 - GRADING AND DRAINAGE
 - MASTER UTILITY PLAN
 - ARCHITECTURAL ELEVATIONS
 - DETAILS



VICINITY MAP: M-9

LEGAL DESCRIPTION:
Parcel "A-1" and Remaining Westerly Portion of Parcel "A", Town of Atrisco Grant, Unit 7

SITE DATA

PROPOSED USAGE:	C-1 (SC)
EXISTING ZONING:	C-1 (SC)
LOT AREA:	3.6204
TOTAL:	3.6204± AC.
BUILDING AREA:	21,416 SF
PARKING PROVIDED:	157 SPACES
PARKING REQUIRED:	107 SPACES
HC PARKING PROVIDED:	8 SPACES (2 VAN)
HC PARKING REQUIRED:	1 SPACE 2 SPACES VAN ACCESSIBLE
BIKE SPACES PROVIDED:	20 SPACES
BIKE SPACES REQUIRED:	7 SPACES
MOTORCYCLE SPACES PROVIDED:	4 SPACES
LANDSCAPING REQUIRED:	21,878 SF
LANDSCAPING PROVIDED:	41,067 SF
TOTAL AREA OF ROW DEDICATION =	6,494 SF

PAINT STRIPING LEGEND

- SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE
- SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
- DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
- SYSL/10" - SINGLE YELLOW SOLID LINE / 10" WIDE
- SWDL/4" - SINGLE WHITE DASHED LINE / 4" WIDE
- SWSL/24" - SINGLE WHITE SOLID LINE / 24" WIDE

PROJECT NUMBER: 1003991
APPLICATION NUMBER: 05DRB-01716

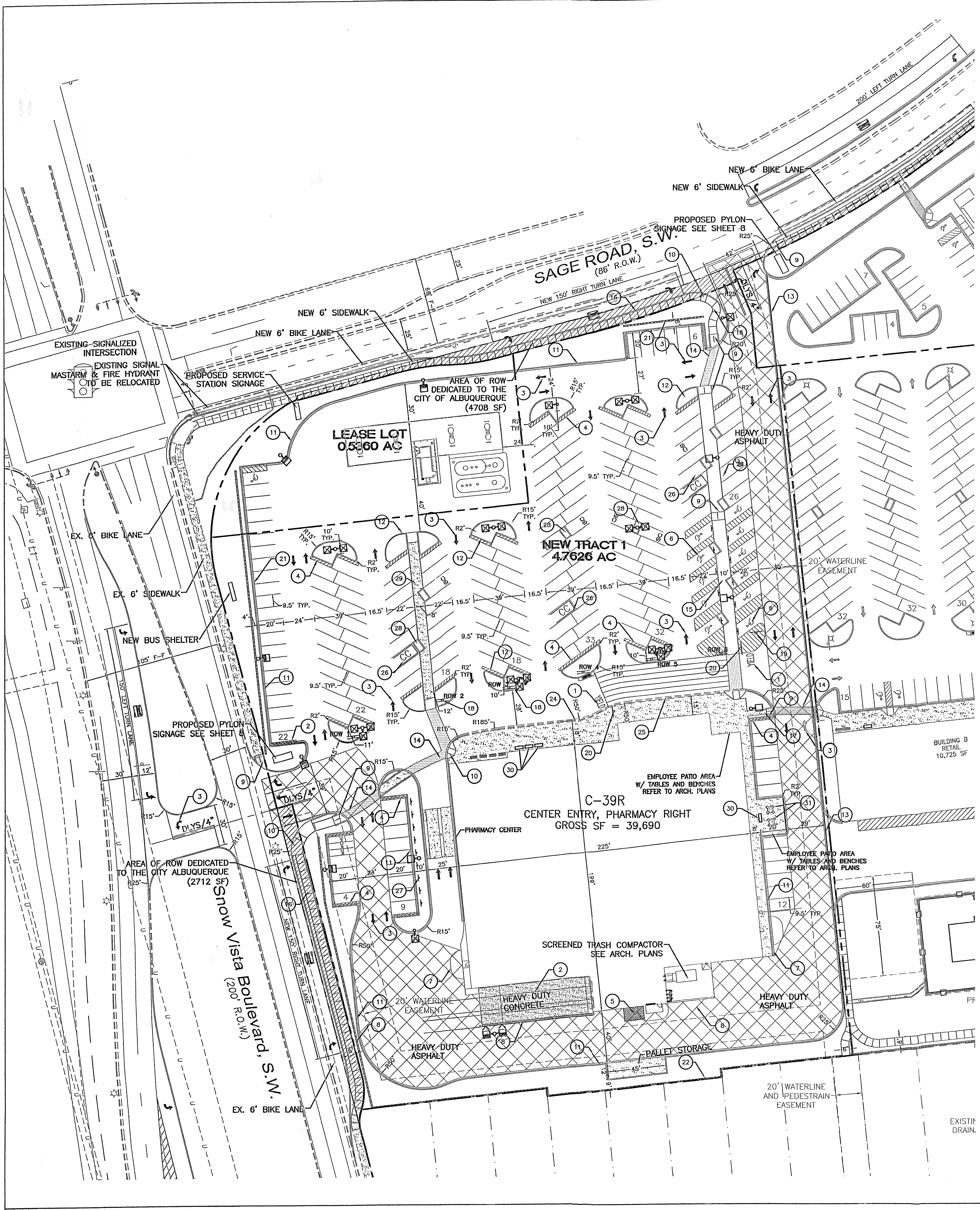
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated 10/22/2005, and the Findings and Conditions in the Official Notification of Decision are satisfied.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
<i>Ronald Green</i>	11-16-05
Utilities Development	Date
<i>Christina Sandoval</i>	11/16/05
Parks & Recreation Department	Date
<i>Michael D. Smith</i>	11/16/05
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
<i>Stephanie Hernandez, Associate Planner</i>	11/16/2005

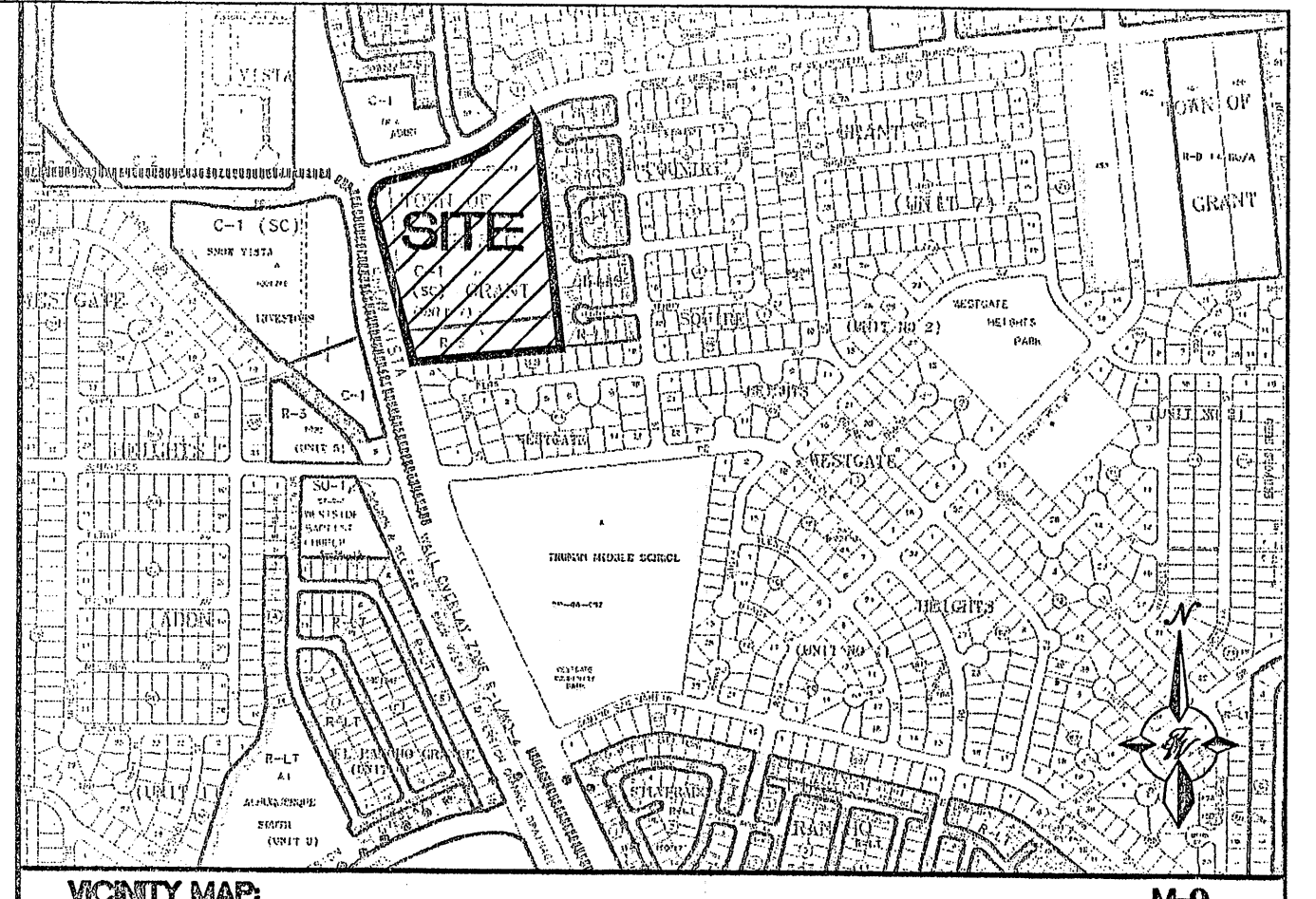
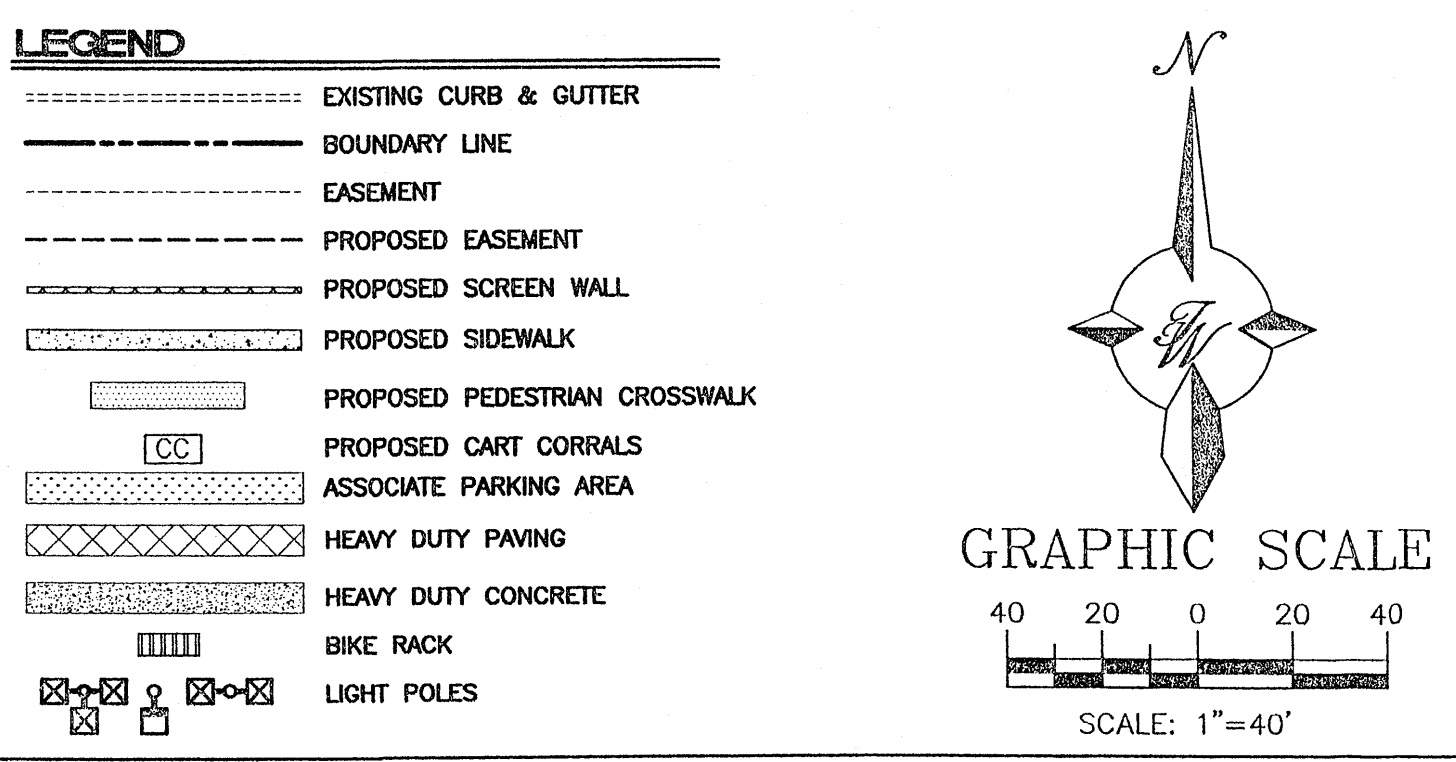
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	SITE PLAN FOR BUILDING PERMIT	SHEET # 1 JOB # 25020
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		

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- ### SITE LEGEND
- 1 "YIELD" PAINTED YELLOW ON PAVEMENT TYPICAL
 - 2 PAVED (2) 4" WIDE YELLOW STRIPES @ 10' O.C. x 130' LONG CENTER ON DOCK DOORS
 - 3 PAINTED DIRECTIONAL ARROW TYPICAL.
 - 4 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO PARKING SPACE.
 - 5 10' X 15' STRIPED AREA PAINTED SYSL/4" AT 45° @ 2'-0" O.C. AT JB CRANE LOCATION. SEE ARCH. PLANS.
 - 6 ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL. ("VAN"-INDICATES VAN ACCESSIBLE SPACE).
 - 7 RAMPED PAVEMENT AT VESTIBULE TO BE FLUSH WITH TOP OF SIDEWALK AT 5.0% MAX. SLOPE. REFER TO ARCHITECTURAL PLANS.
 - 8 8' RETAINING/ SCREEN SPLIT-FACE TAN CMU WALL.
 - 9 UNIDIRECTIONAL HC RAMP.
 - 10 PROPOSED HC RAMP.
 - 11 6" CONCRETE CURB AND GUTTER TYPICAL.
 - 12 6" CONCRETE HEADER CURB TYPICAL.
 - 13 6" TEMPORARY ASPHALT CURB TYPICAL.
 - 14 6" WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK. (SHT 8)
 - 15 10' WIDE RAISED CONCRETE SIDEWALK TYPICAL.
 - 16 6" CONCRETE SIDEWALK TYPICAL.
 - 17 4" CONCRETE SIDEWALK TYPICAL.
 - 18 AISLE INDICATOR SIGNS TYPICAL.
 - 19 "STOP" SIGN. SEE PLAN FOR LOCATION.
 - 20 PEDESTRIAN CROSSING SIGN M10-2 AND M10-2p TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS.
 - 21 3' HIGH SCREEN SPLIT-FACE TAN CMU WALL.
 - 22 6' HIGH SCREEN SPLIT-FACE TAN CMU WALL.
 - 23 (4) 5 SPACE BIKE RACK TYPICAL.
 - 24 ZERO CURB PER ARCH. SECTIONS
 - 25 PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH.
 - 26 CART CORRALS TYPICAL.
 - 27 PHARMACY PARKING ONLY SIGN. TYPICAL.
 - 28 TREE PLANTER TYPICAL.
 - 29 8' WIDE RAISED CONCRETE SIDEWALK.
 - 30 BENCH 6" WIDE BY 15" HIGH.
 - 31 PATIO CHAIRS 24" WIDE BY 15" HIGH.

- ### NOTES (ONLY APPLY TO LOTS 1-4)
1. COMMON STORM DRAINAGE, PEDESTRIAN, CROSS PARKING, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 3. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 4. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 5. LIGHT POLES SHALL BE A MAXIMUM OF 25' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
 6. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 7. NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
 8. SETBACKS: THERE SHALL BE A FRONT OR CORNER SIDE SETBACK OF NOT LESS THAN TEN FEET WHERE THE LOT IS ACROSS THE STREET FROM THE FRONT LOT LINE OF A FACING LOT IN A RESIDENTIAL ZONE. THIS SETBACK APPLIES TO ON AND OFF PREMISE SIGNS. THERE SHALL BE A SIDE OR REAR SETBACK OF NOT LESS THAN FIVE FEET WHERE THE SITE ABUTS THE SIDE OF A LOT IS A RESIDENTIAL ZONE. THERE SHALL BE A SIDE OR REAR SETBACK OF NOT LESS THAN 15 FEET WHERE THE SITE ABUTS THE REAR OF A LOT IN A RESIDENTIAL ZONE. THE CLEAR SIGHT TRIANGLE SHALL NOT BE INFRINGED UPON.
 9. BUILDINGS CANNOT EXCEED THE HEIGHTS AS SPECIFIED IN THE C-1 ZONE OF THE COMPREHENSIVE CITY ZONING CODE.
 10. BUS ROUTE 54 RUNS DOWN 98TH AND PAST THE SITE.
 11. HIGHLY REFLECTIVE SURFACES ARE NOT PERMITTED ON THE GAS CANOPY. ALL UNDER CANOPY LIGHTS MUST BE FULLY RECESSED SO THAT NO PART OF THE LENSE PROJECTS BELOW THE SURFACE OF THE UNDERSIDE CANOPY. SITE LIGHTING MUST MEET NIGHT SKY ORDINANCE.



LEGAL DESCRIPTION

Parcel "A-1" and Remaining Westerly Portion of Parcel "A", Town of Atrisco Grant, Unit 7

SITE DATA

ZONING:	SU-1 FOR C-1 PERMISSIVE USES WITH DRIVE-THRU PHARMACY
LOT AREA:	NEW WAL-MART TRACT 4.76 AC
LEASE LOT	0.54 AC
TOTAL:	5.3 ± AC.
BUILDING AREA:	NEIGHBORHOOD MARKET: 39,690 SF
LEASE LOT:	201 SF
PARKING PROVIDED:	NEIGHBORHOOD MARKET: 191 SPACES
LEASE LOT:	5 SPACES
PARKING REQUIRED:	NEIGHBORHOOD MARKET: 174 SPACES
LEASE LOT:	1 SPACES
HC PARKING PROVIDED:	NEIGHBORHOOD MARKET: 11 SPACES (3 VAN)
LEASE LOT:	1 SPACES
HC PARKING REQUIRED:	NEIGHBORHOOD MARKET: 8 SPACES (3 VAN)
LEASE LOT:	1 SPACES
BIKE SPACES PROVIDED:	20 SPACES
BIKE SPACES REQUIRED:	20 SPACES
MOTORCYCLE SPACES:	3 SPACES
LANDSCAPING REQUIRED	27,304 SF
LANDSCAPING PROVIDED	27,931 SF
TOTAL AREA OF ROW DEDICATION = 7,420 SF	

PAINT STRIPING LEGEND

SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE
 SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
 DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
 SYSL/10" - SINGLE YELLOW SOLID LINE / 10" WIDE
 SWDL/4" - SINGLE WHITE DASHED LINE / 4" WIDE
 SWSL/24" - SINGLE WHITE SOLID LINE / 24" WIDE

PROJECT NUMBER: 1003991

APPLICATION NUMBER: 05DRB-01294

This plan is consistent with the specific Site Development Plan approval by the Environmental Planning Commission (EPC) dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

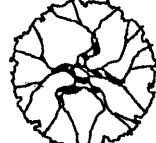



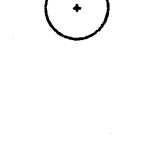
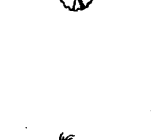

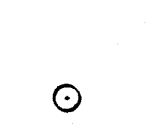




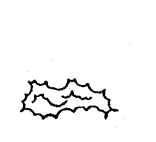
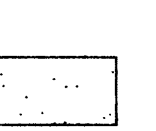
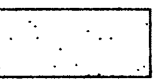
Traffic Engineer, Transportation Division	<i>[Signature]</i>	9-7-05
		Date
Utilities Development	<i>[Signature]</i>	9-7-05
		Date
Parks & Recreation Department	<i>[Signature]</i>	9/7/05
		Date
City Engineer	<i>[Signature]</i>	11/8/05
		Date
Environmental Health Department (conditional)	NA	
		Date
Solid Waste Management	<i>[Signature]</i>	11/8/05
		Date
DRB Chairperson, Planning Department	<i>[Signature]</i>	11/8/05
		Date

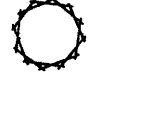

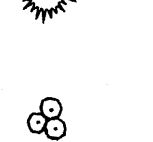

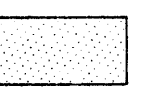

ENGINEER'S SEAL	RONALD R. BOHANNAN P.E. #7868	WAL-MART NEIGHBORHOOD CENTER NM: 3385	DRAWN BY EMT
		SITE PLAN FOR BUILDING PERMIT	DATE 09-02-05
		TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2520-SPBB.dwg
			SHEET # 1B
			JOB # 25020

PLANT LEGEND

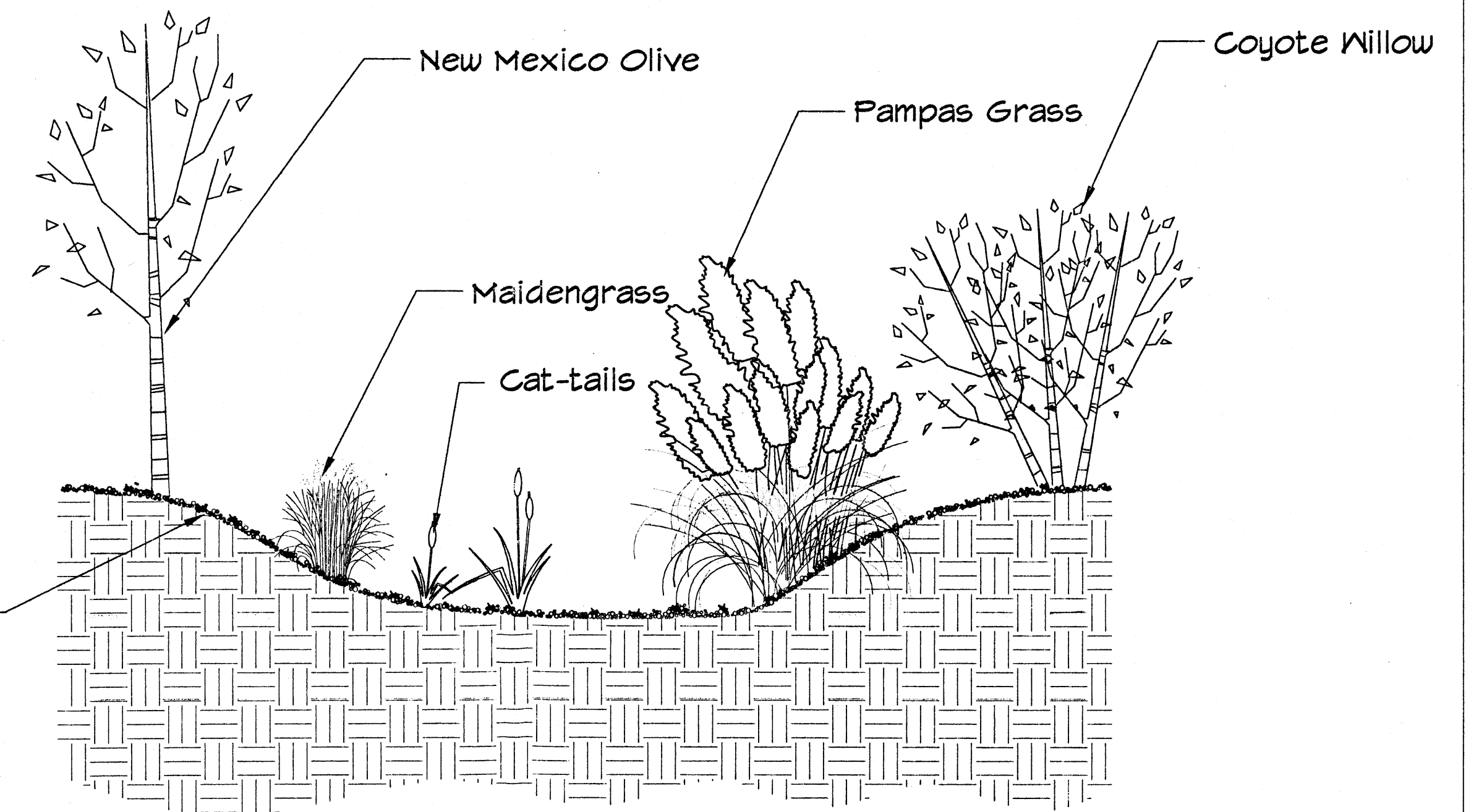
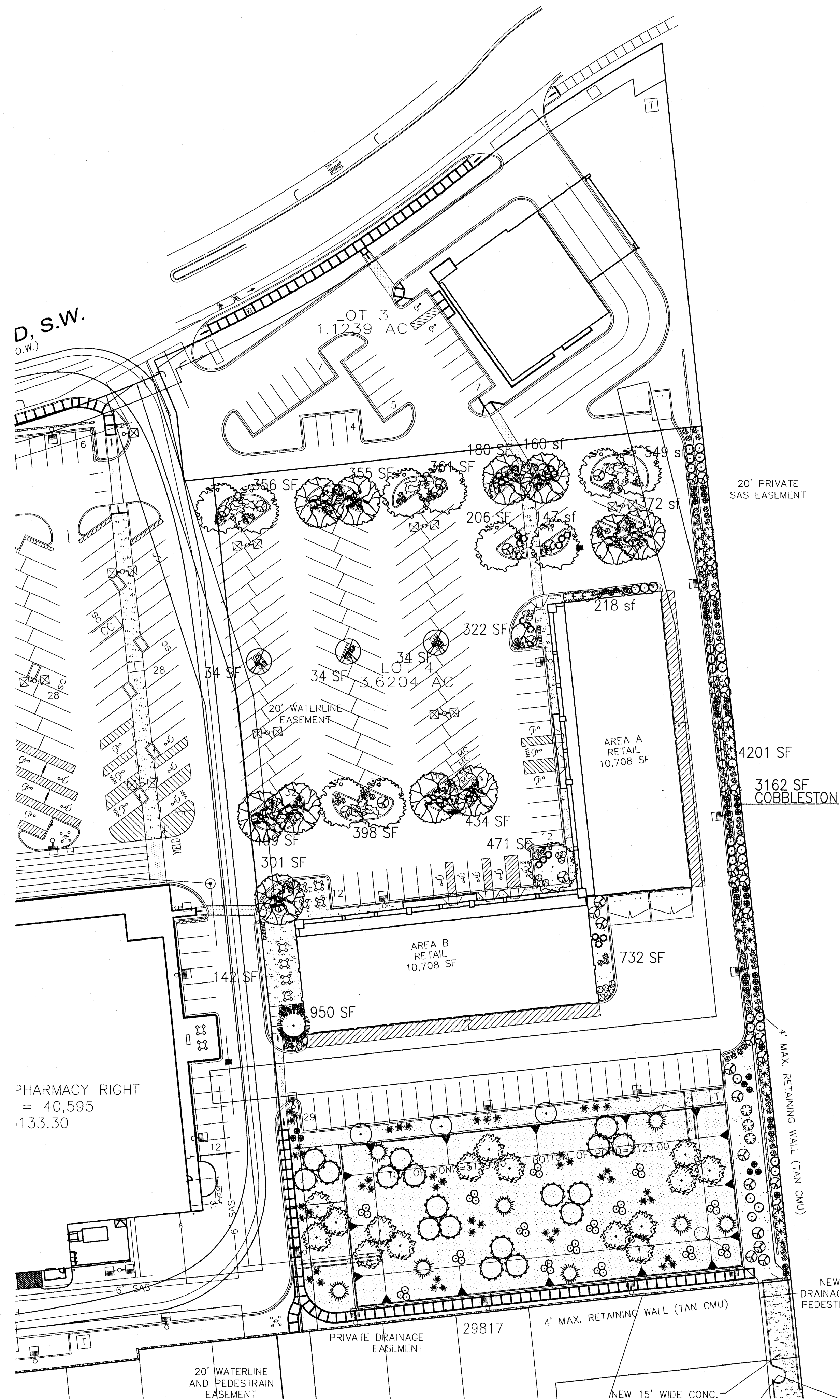
PONDING AREA

LANDSCAPE CALCULATIONS

-  HONEY LOCUST (M) 11
Gleditsia triacanthos
2" Gal.
-  ASH (H) 11
Fraxinus pennsylvanica
2" Gal.
-  AUSTRIAN PINE (M) 1
Pinus nigra
6'-8'
-  FLOWERING PEAR (M+) 4
Pyrus calleryana
2" Gal.
-  NEW MEXICO OLIVE (L) 3
Forestiera neomexicana
15 Gal.
-  HALL'S HONEYSUCKLE (M) 59
Japonica 'Halliana'
1 Gal. 144sf
Unstaked-Groundcover
-  MAIDENGRASS (M) 6
Miscanthus sinensis
5 Gal. 16sf
-  REGAL MIST (M) 53
Muhlenbergia capillaris
5 Gal. 4sf
-  RUSSIAN SAGE (M) 30
Perovskia atriplicifolia
5 Gal. 25sf
-  ROSEMARY (M) 21
Rosmarinus officinalis
2 Gal. 4sf
-  CHAMISA (L) 30
Chrysothamnus nauseosus
1 Gal. 25sf
-  WILDFLOWER 21
1 Gal. 4sf
-  THREADGRASS (M) 143
Stipa tenuissima
1 Gal. 4sf
-  CREEPING ROSEMARY (L) 24
Rosmarinus officinalis 'Prostrata'
1 Gal. 25sf
-  3/4" GRAY GRAVEL
WITH FILTER FABRIC

-  NEW MEXICO OLIVE (M) 13
Forestiera neomexicana
15 Gal.
-  COYOTE WILLOW (M) 15
Salix exigua
15 Gal.
-  PAMPAS GRASS (M) 8
Cortaderia selloana
5 Gal.
-  CAT TAILS (M) 15
Nympha spp
1 Gal.
-  MAIDENGRASS (M) 45
Miscanthus sinensis
5 Gal. 16sf
-  3/4" GRAY GRAVEL
with Water Harvesting
Seed Mix

TOTAL LOT AREA	167270	square feet
TOTAL BUILDINGS AREA	21416	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	145854	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	21878	square feet
TOTAL BED PROVIDED	14528	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	10896	square feet
TOTAL GROUNDCOVER PROVIDED	12082 (83%)	square feet
TOTAL PONDING AREA	29817	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	22363	square feet
TOTAL GROUNDCOVER PROVIDED	24917 (100%)	square feet
TOTAL LANDSCAPE PROVIDED	41067 (28%)	square feet



PONDING AREA DETAIL

no scale

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

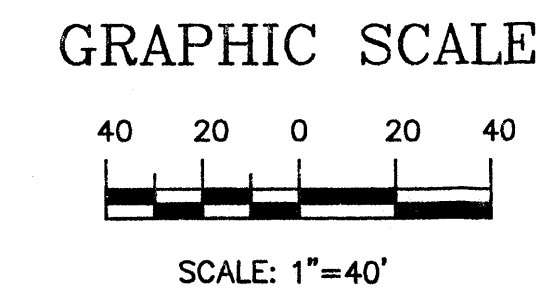
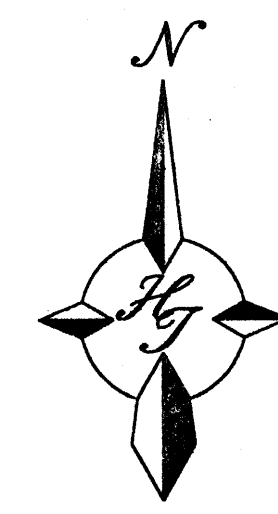
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Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Grey Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

No proposed turf areas.



The Hilltop

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Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cjohnson@hilltoplandscaping.com




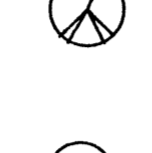




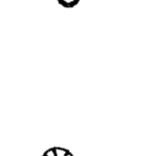



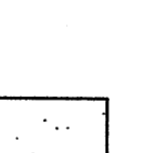

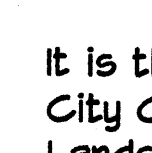


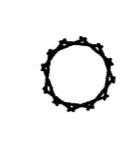

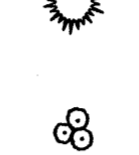



ENGINEER'S SEAL	RETAIL SHOPS 98TH AND SAGE	DRAWN BY drr
	LANDSCAPE PLAN BUILDING PERMIT	DATE 8-3-05
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2520-SFBE-8-01-05
RONALD R. BOHANNAN P.E. #7868		SHEET # 2
		JOB # 25020

PLANT LEGEND

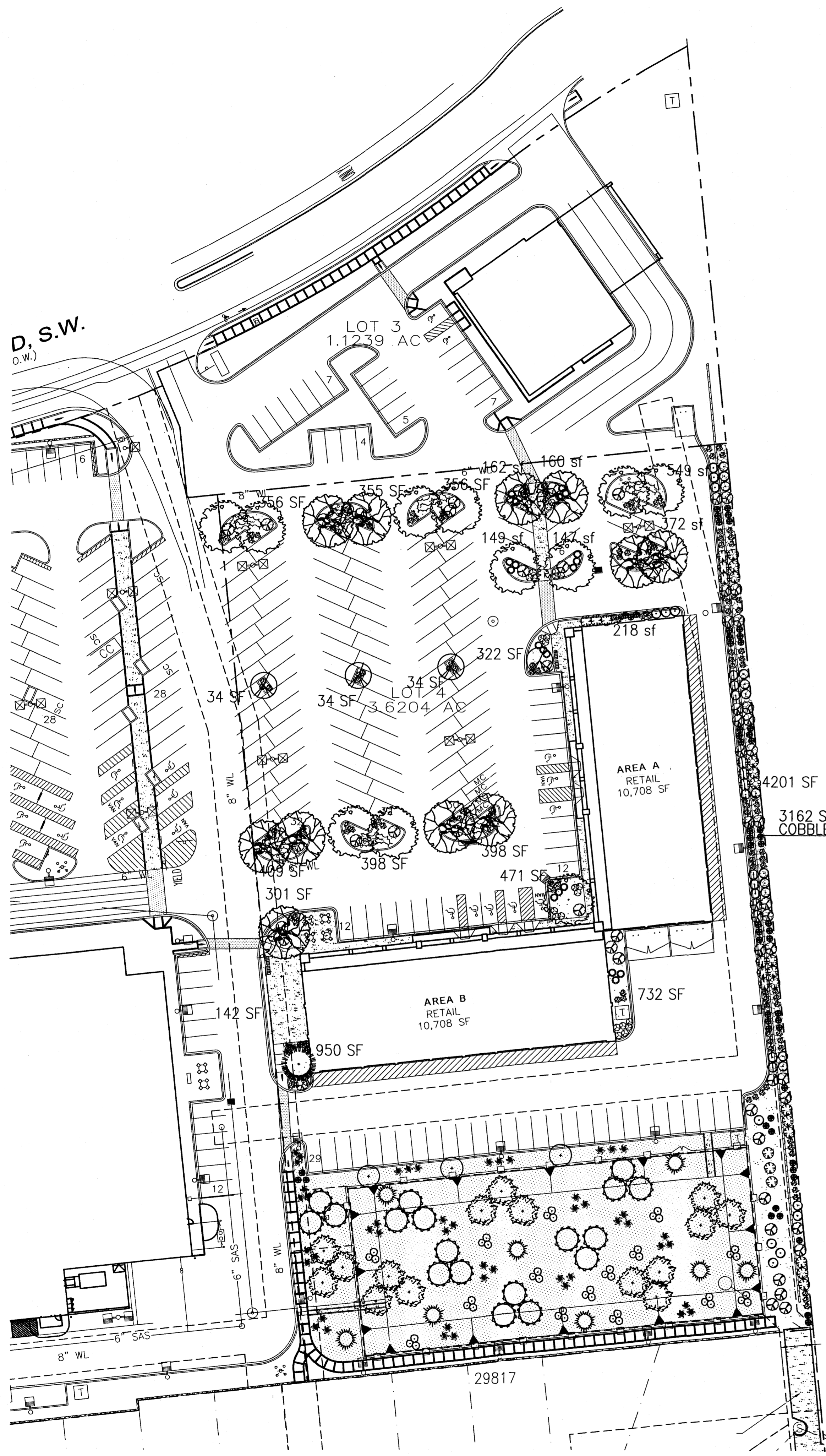
PONDING AREA

LANDSCAPE CALCULATIONS

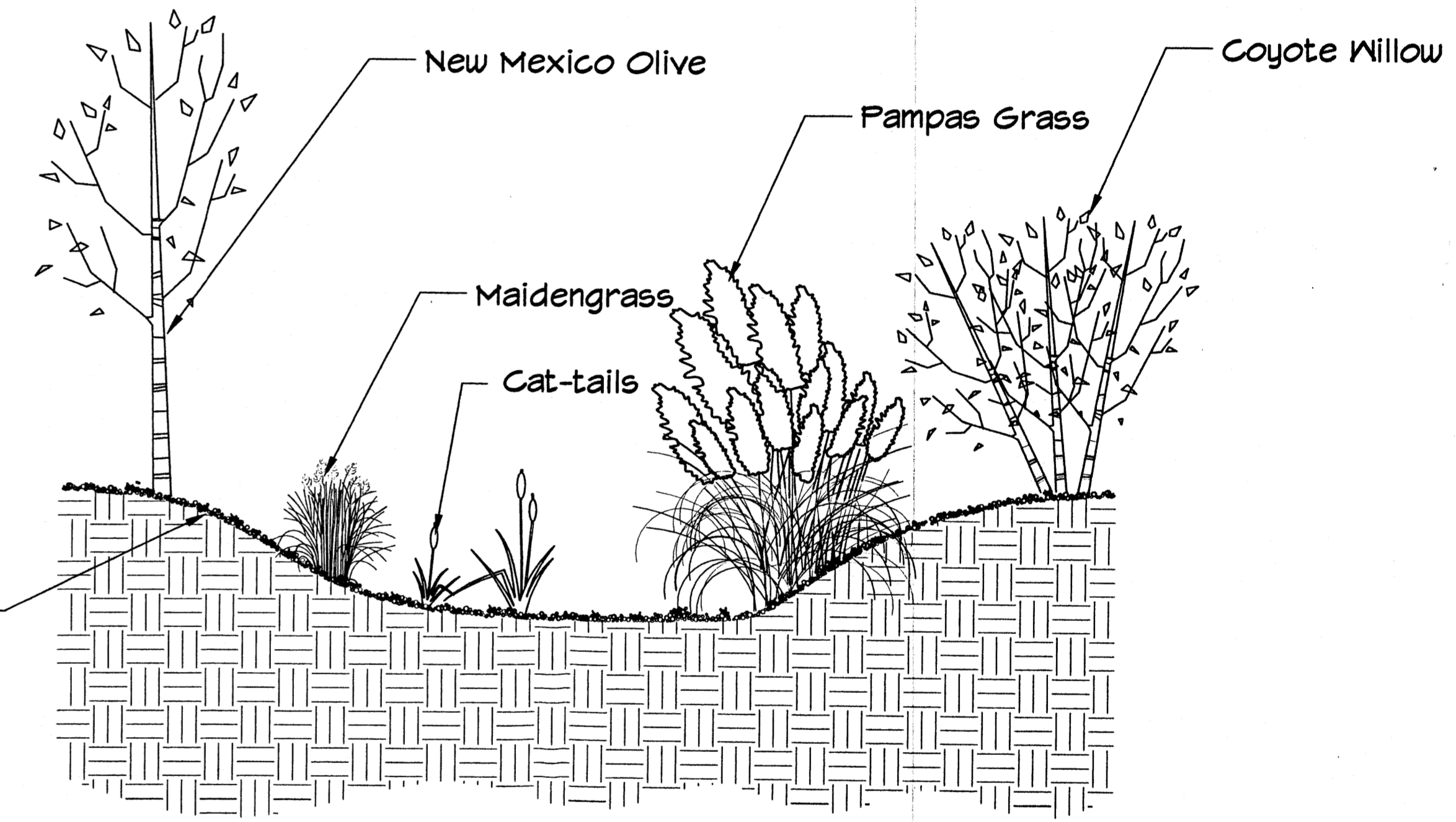
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2" Gal.
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-  3/4" GRAY GRAVEL WITH FILTER FABRIC

-  NEW MEXICO OLIVE (M) 18
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15 Gal.
-  COYOTE WILLOW (M) 15
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5 Gal.
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TOTAL LANDSCAPE PROVIDED	41067 (28%)	square feet



Gravel with Water Harvesting Seed Mix and no FF



PONDING AREA DETAIL

no scale

LANDSCAPE NOTES:
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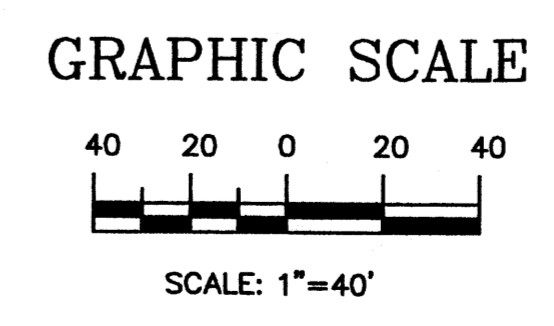
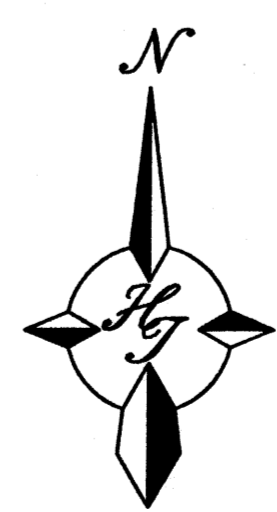
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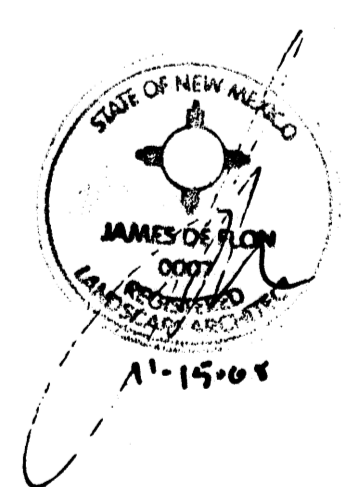
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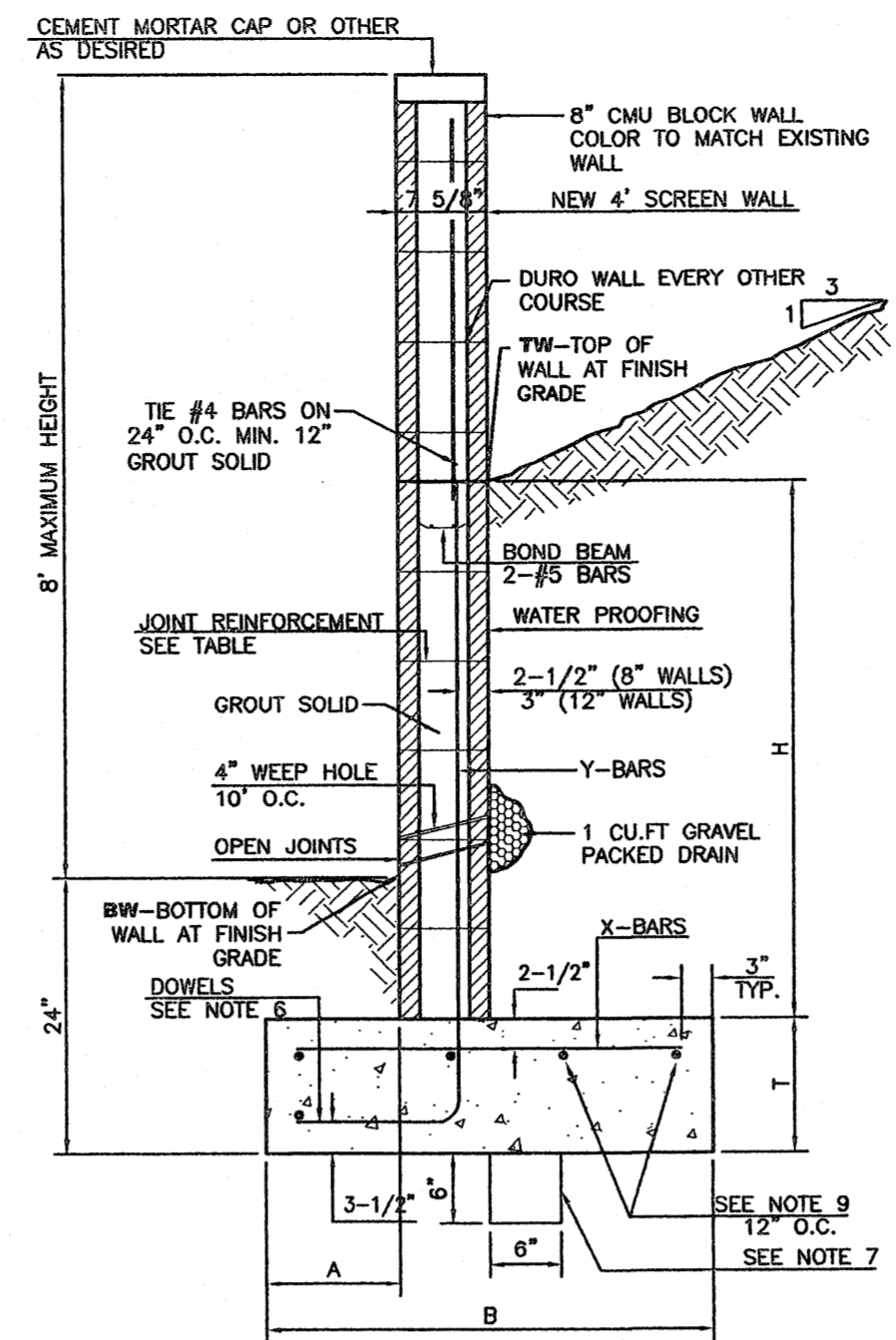
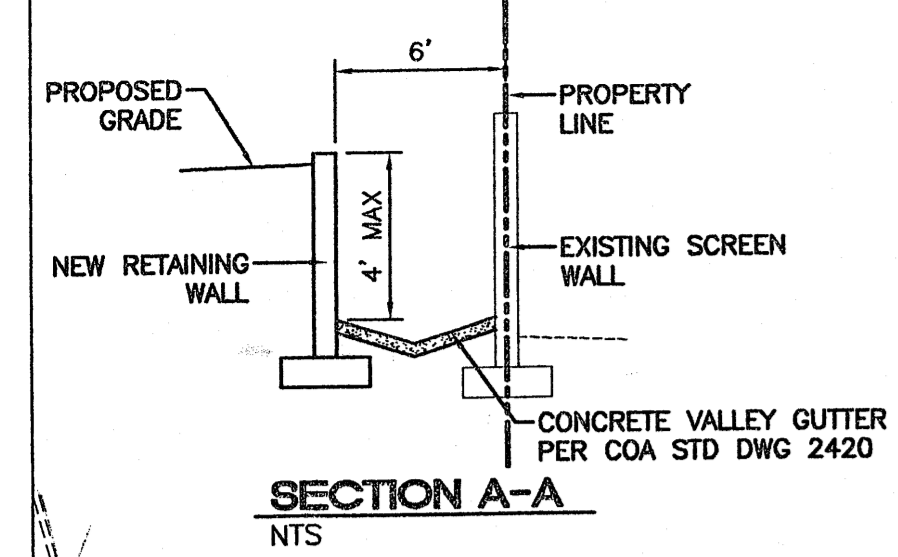
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.



ENGINEER'S SEAL	RETAIL SHOPS 98TH AND SAGE	DRAWN BY drr
	LANDSCAPE PLAN BUILDING PERMIT	DATE 8-3-05
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2520-SPBE-8-01-05
		SHEET # 2 JOB # 25020

GENERAL NOTES:

1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOP OF THE FOOTING.
7. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
8. BUILD TYPE C INLETS PER COA STD DETAIL 2205, TYPE D INLETS PER COA STD DETAIL 2206, MANHOLES PER COA STD DWG 2102.
9. PER COA STD DETAIL 2206, MANHOLES PER COA STD DWG 2102.

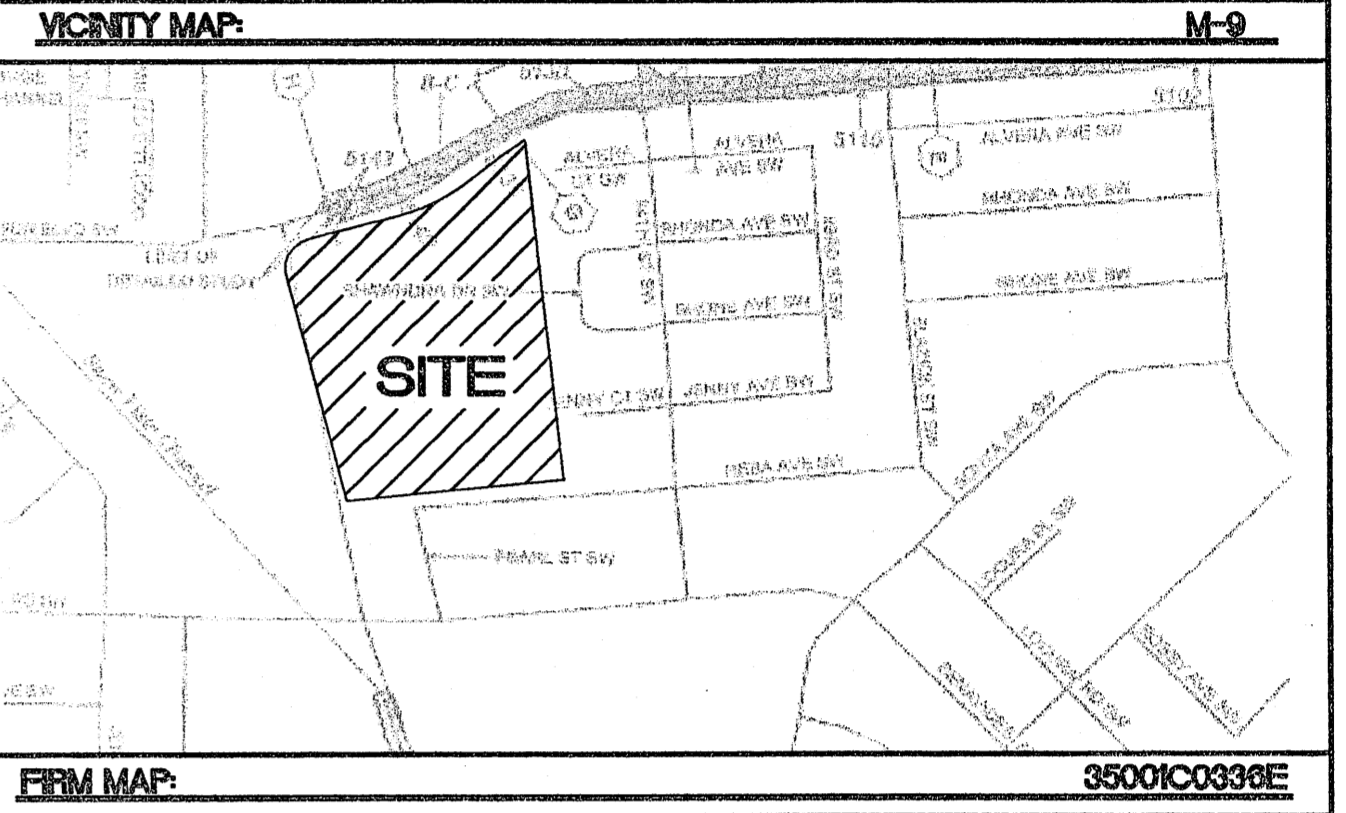
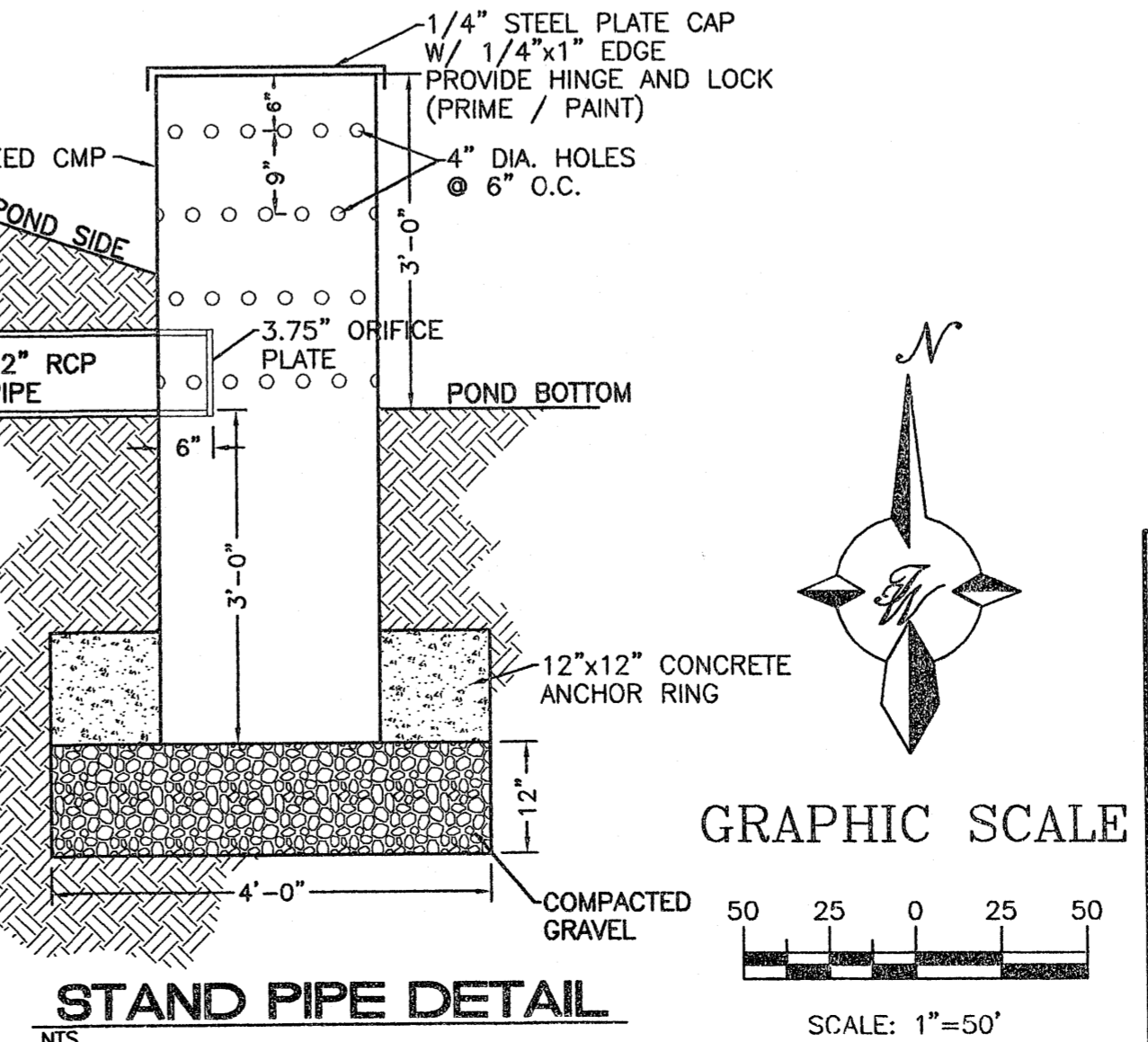
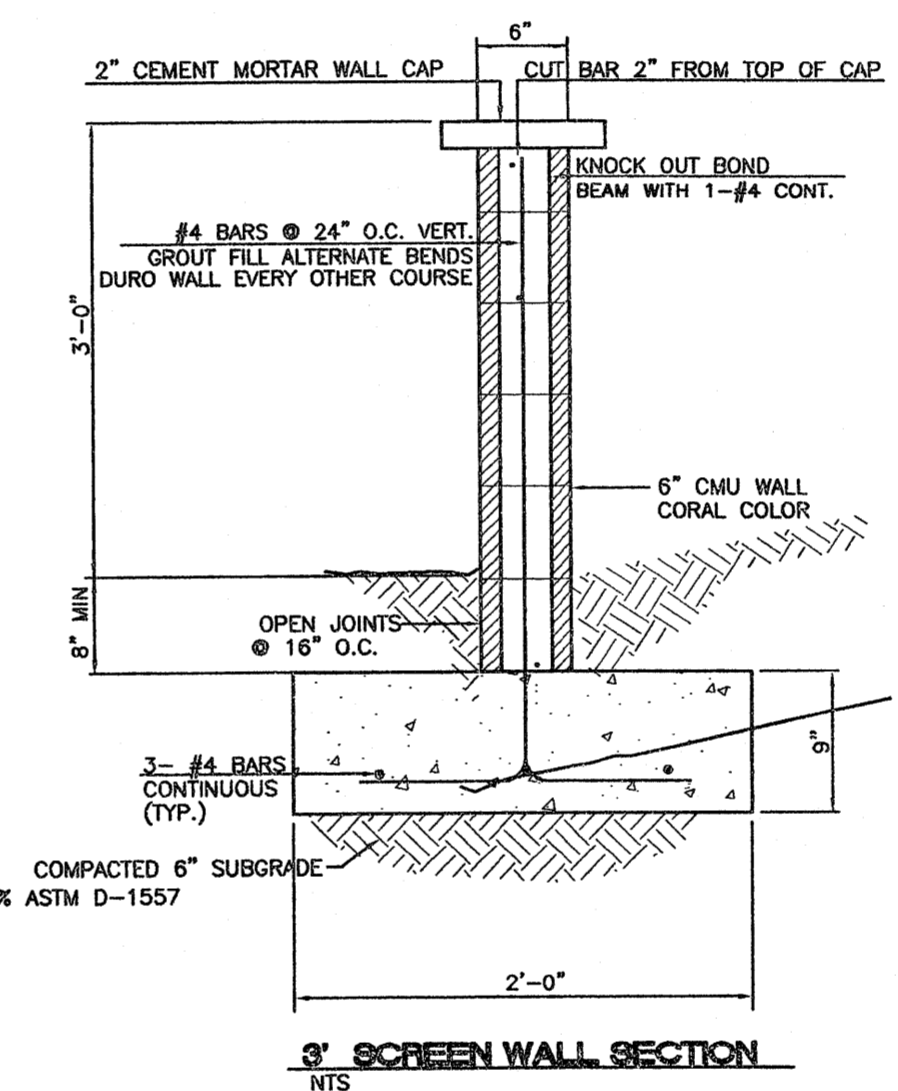


H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	3'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-0"	16"	4'-8"	12"	#6 @32" O.C.	#4 @12" O.C.

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#6 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @16" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

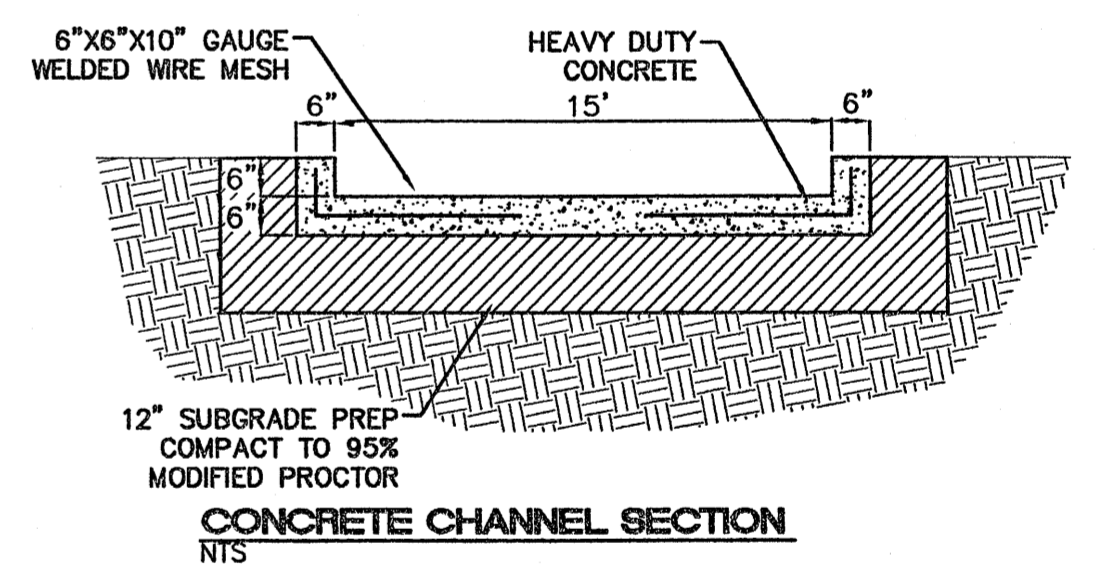
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 4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
 5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOP OF THE FOOTING.
 7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0" EVERY 16'.
 8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
 9. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".

RETAINING WALL DETAIL
NTS



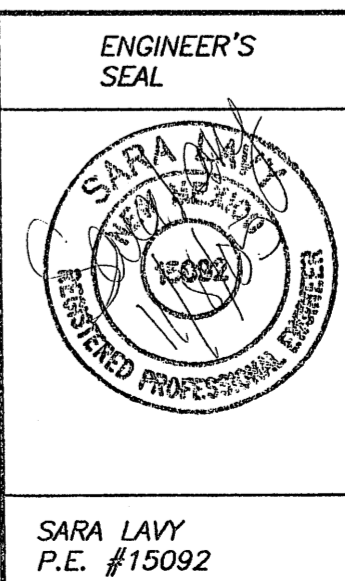
LEGAL DESCRIPTION:
Parcel "A-1" and Remaining Westerly Portion of Parcel "A", Town of Atrisco Grant, Unit 7

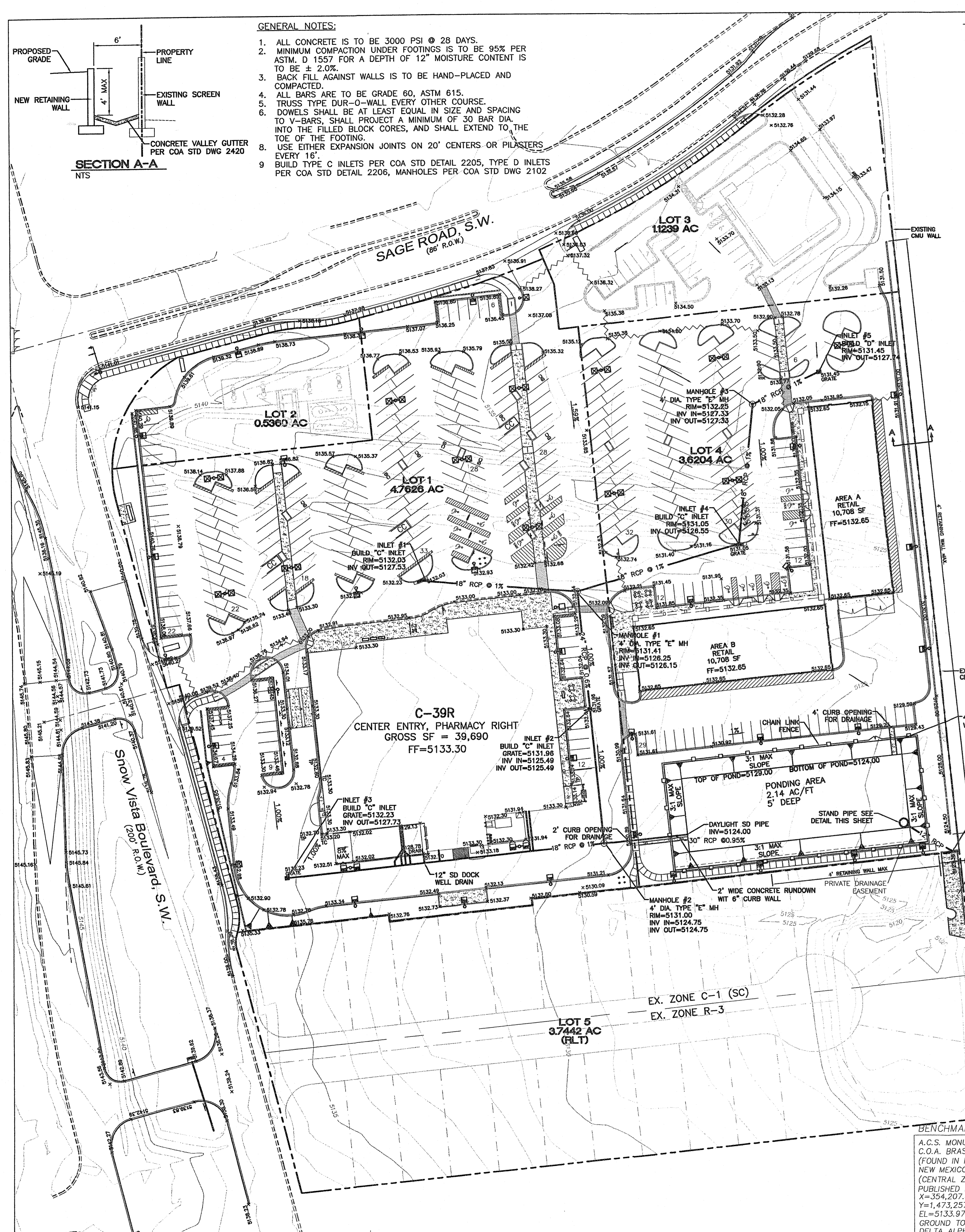
- LEGEND**
- EXISTING CURB
 - EXISTING BUILDING
 - PROPOSED EXPANSION
 - PROPOSED CURB
 - BOUNDARY LINE
 - GRADE CHANGE
 - PROPOSED GRADE ELEVATION
 - EXISTING GRADE ELEVATION



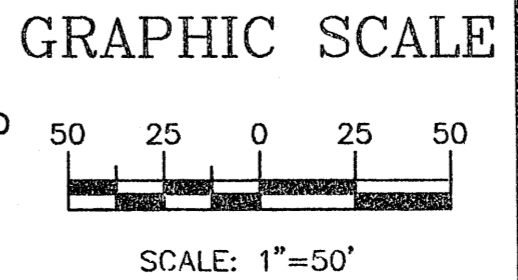
EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE.

 SARA LAVY P.E. #15092	WAL-MART NEIGHBORHOOD CENTER NM: 3385	DRAWN BY ET DATE 11-07-05
	OVERALL GRADING AND DRAINAGE PLAN	3-Overall Grading.dwg
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		SHEET # 3 JOB # 25020



BENCHMARK
A.C.S. MONUMENT "2-M9"
C.O.A. BRASS CAP
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1927)
PUBLISHED DATA
X=354,207.50
Y=1,473,257.74
EL=5133.97 (NGVD 29)
GROUND TO GRID FACTOR=0.99967887
DELTA ALPHA ANGLE=-0'16"47"



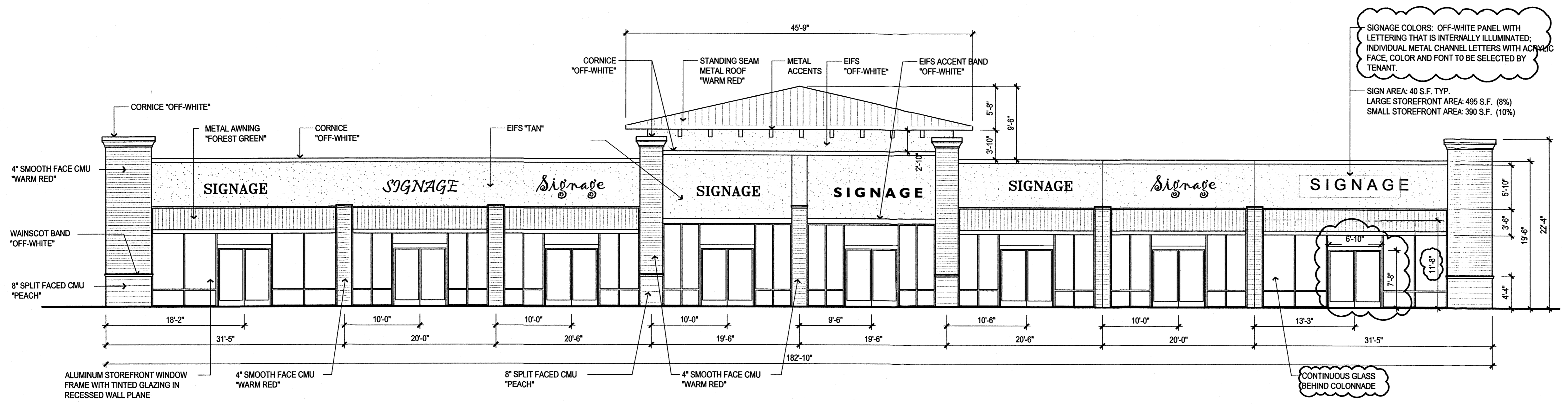
REVISIONS

NO.	DATE	DESCRIPTION
1	8/10/05	FINISH NAMES

DRAWN BY: JA
REVIEWED BY:
DATE: 8-22-05
PROJECT NO.: 05109
DRAWING NAME:

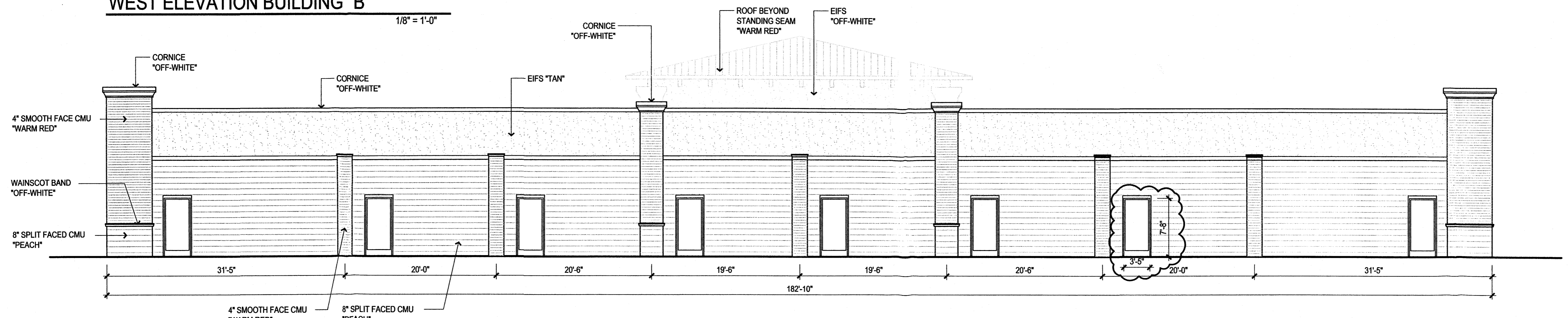
**BUILDINGS "A" & "B"
ELEVATIONS**

SHEET NO.



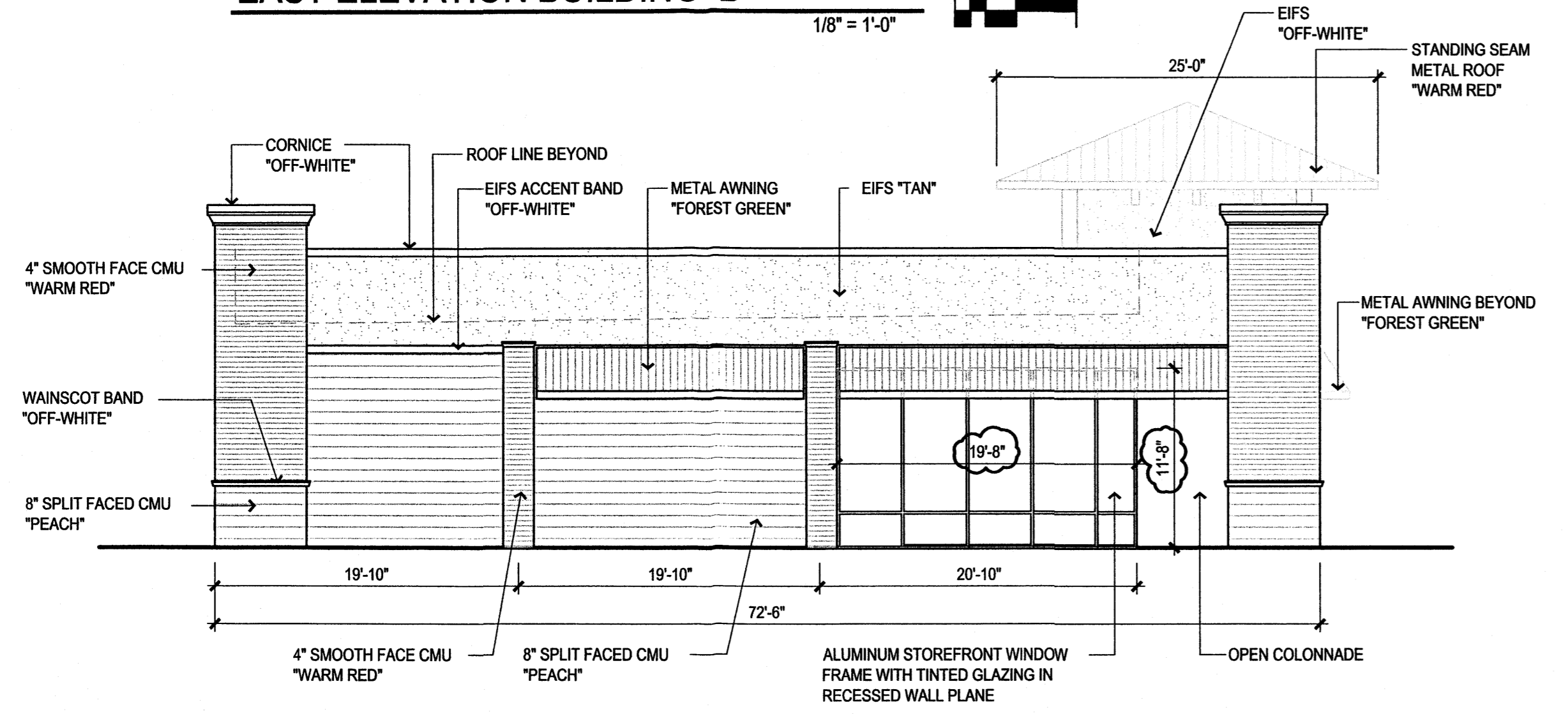
NORTH ELEVATION BUILDING "A"
1/8" = 1'-0"

WEST ELEVATION BUILDING "B"
1/8" = 1'-0"



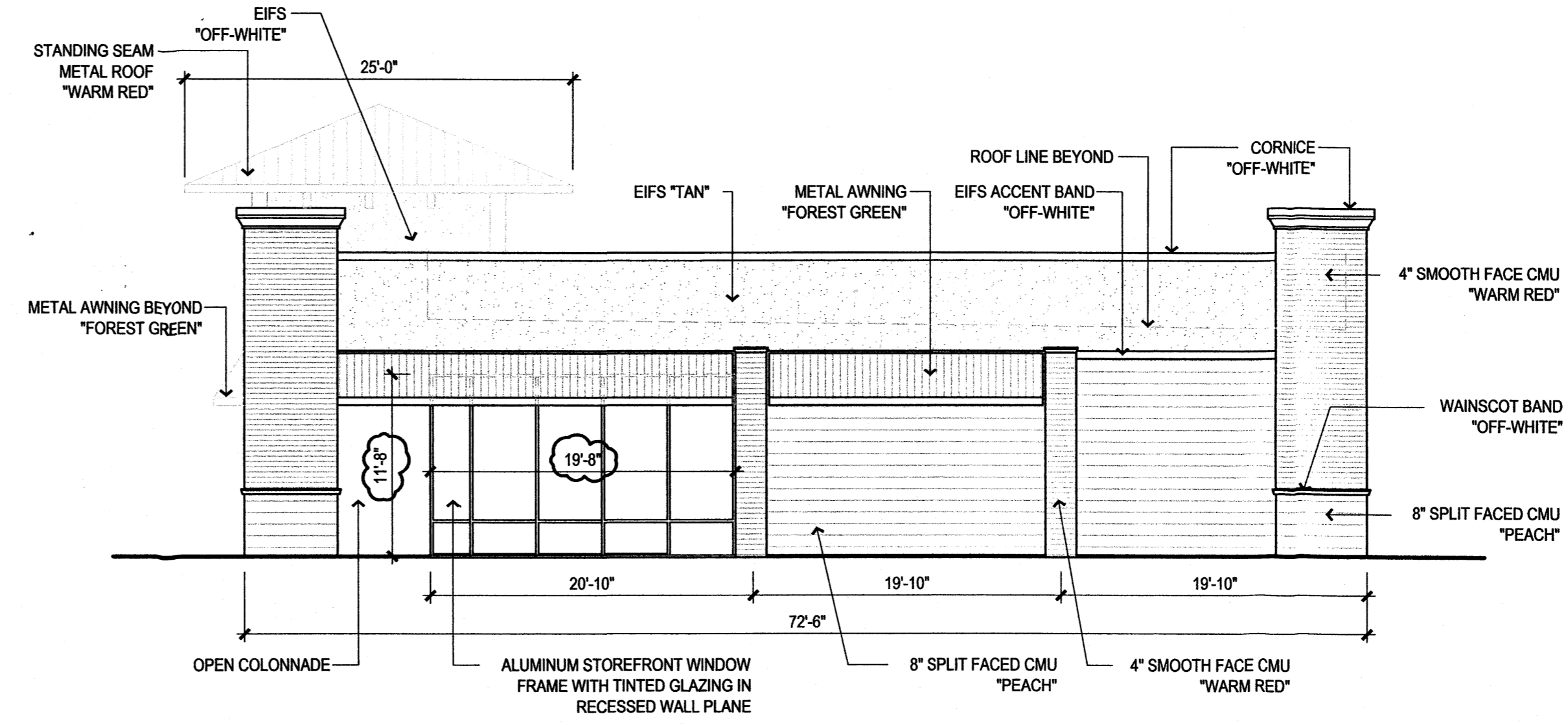
SOUTH ELEVATION BUILDING "A"
1/8" = 1'-0"

EAST ELEVATION BUILDING "B"
1/8" = 1'-0"



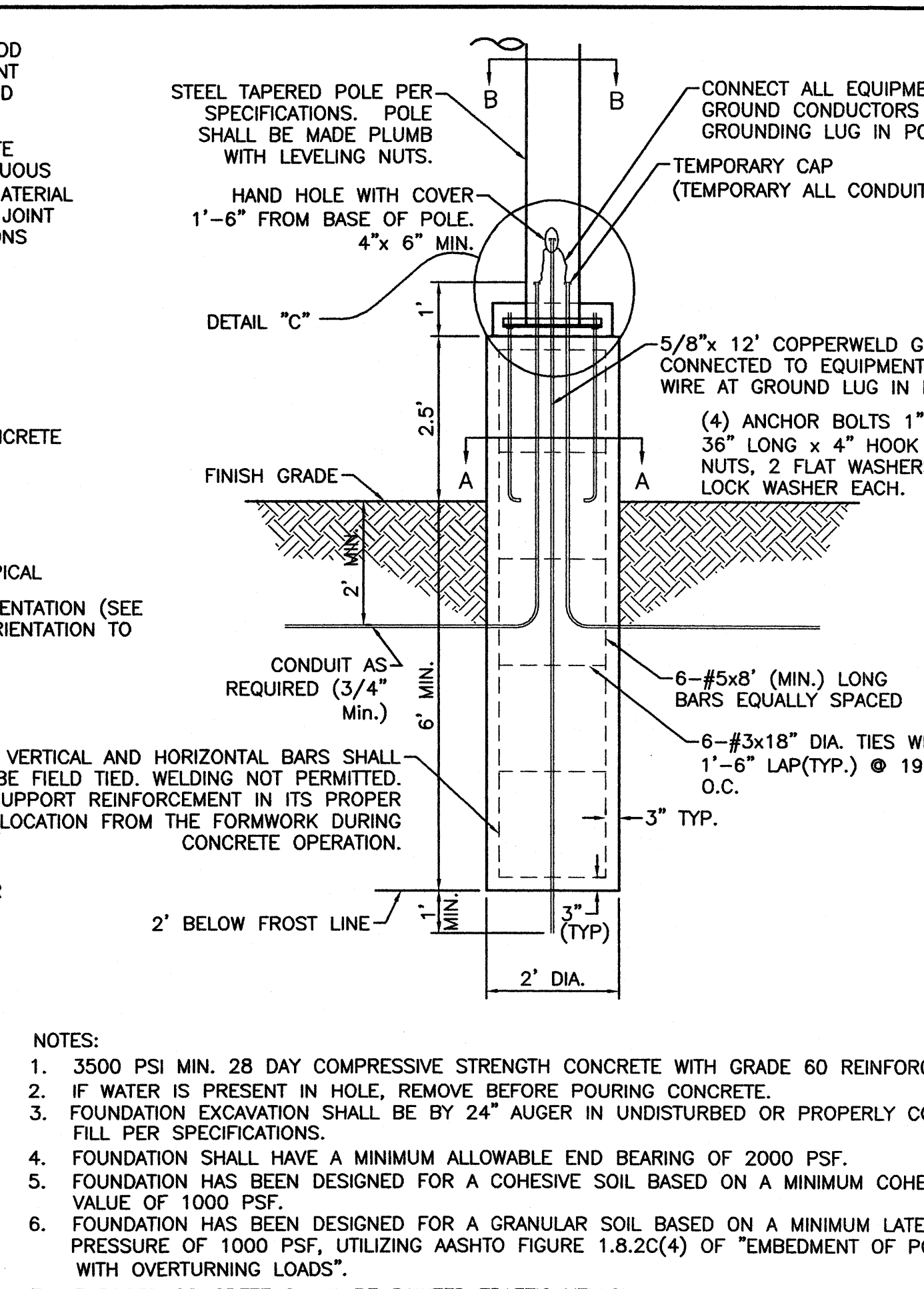
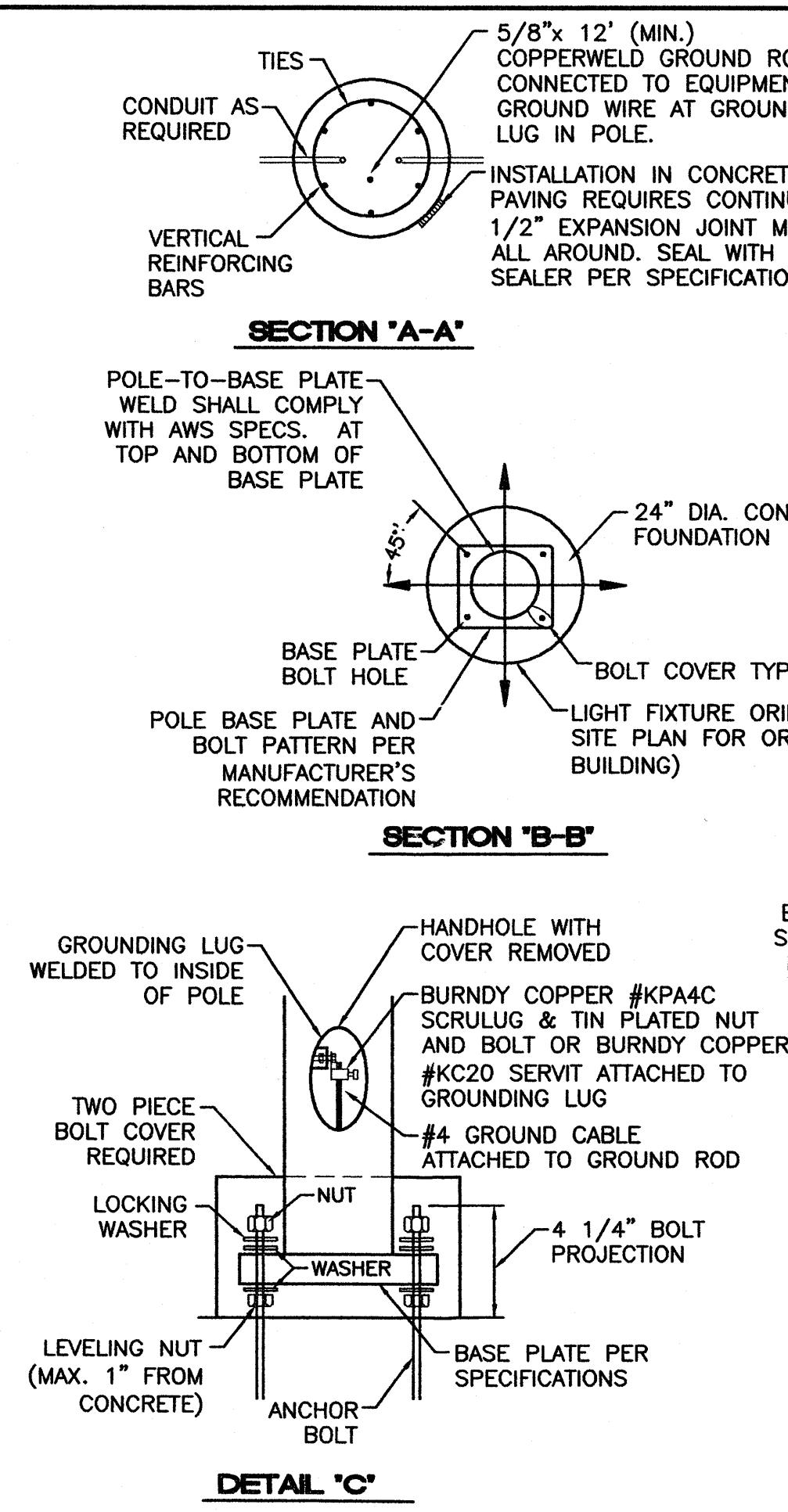
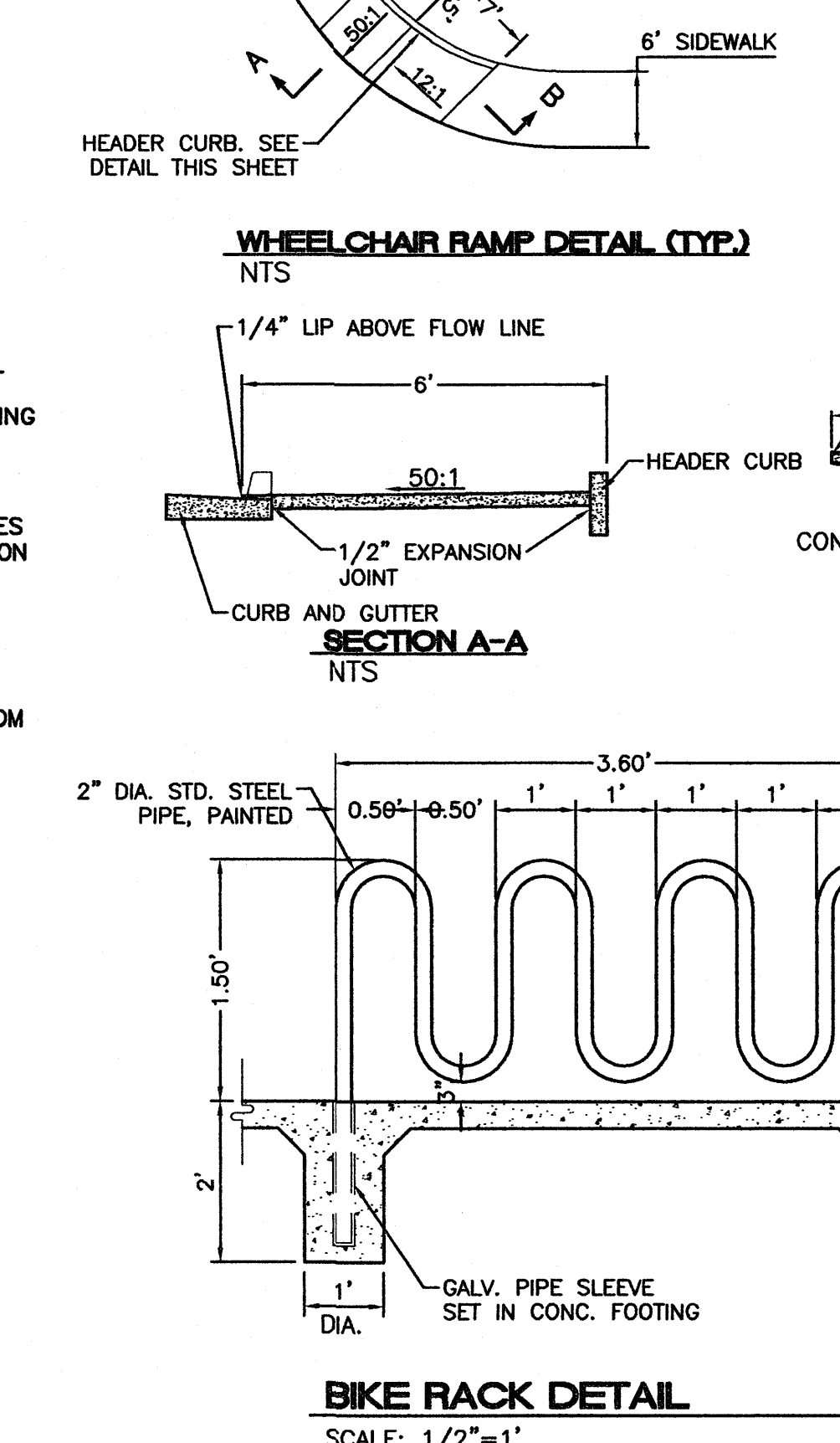
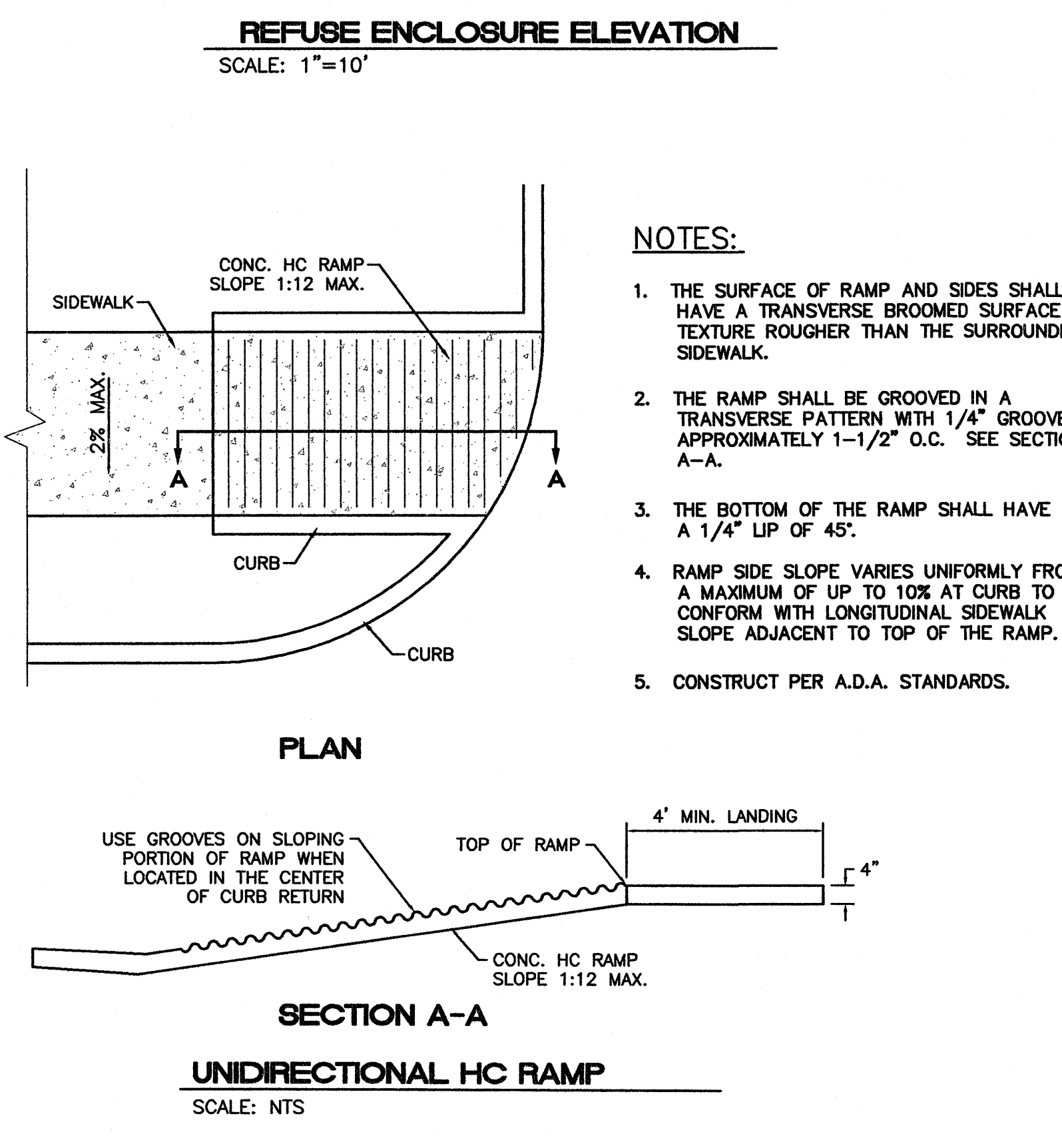
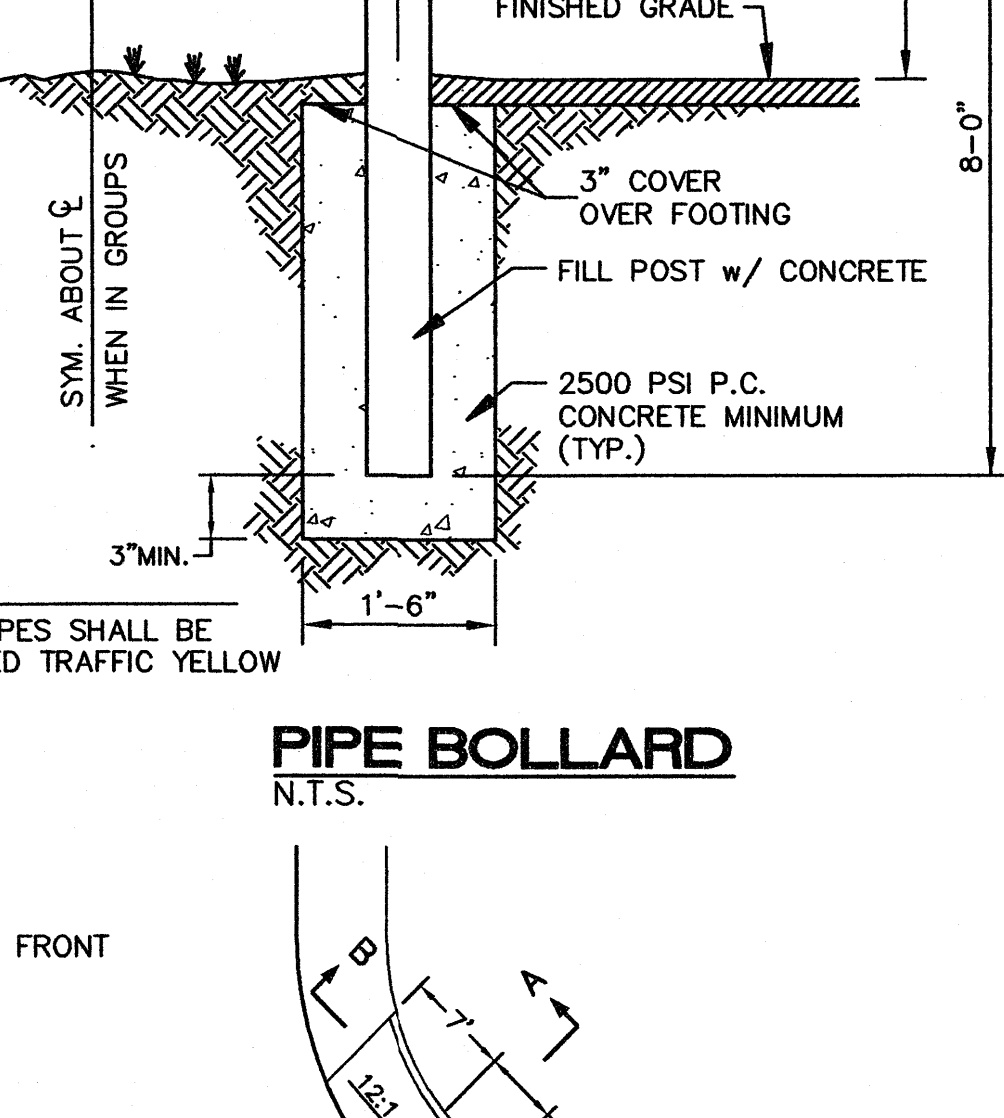
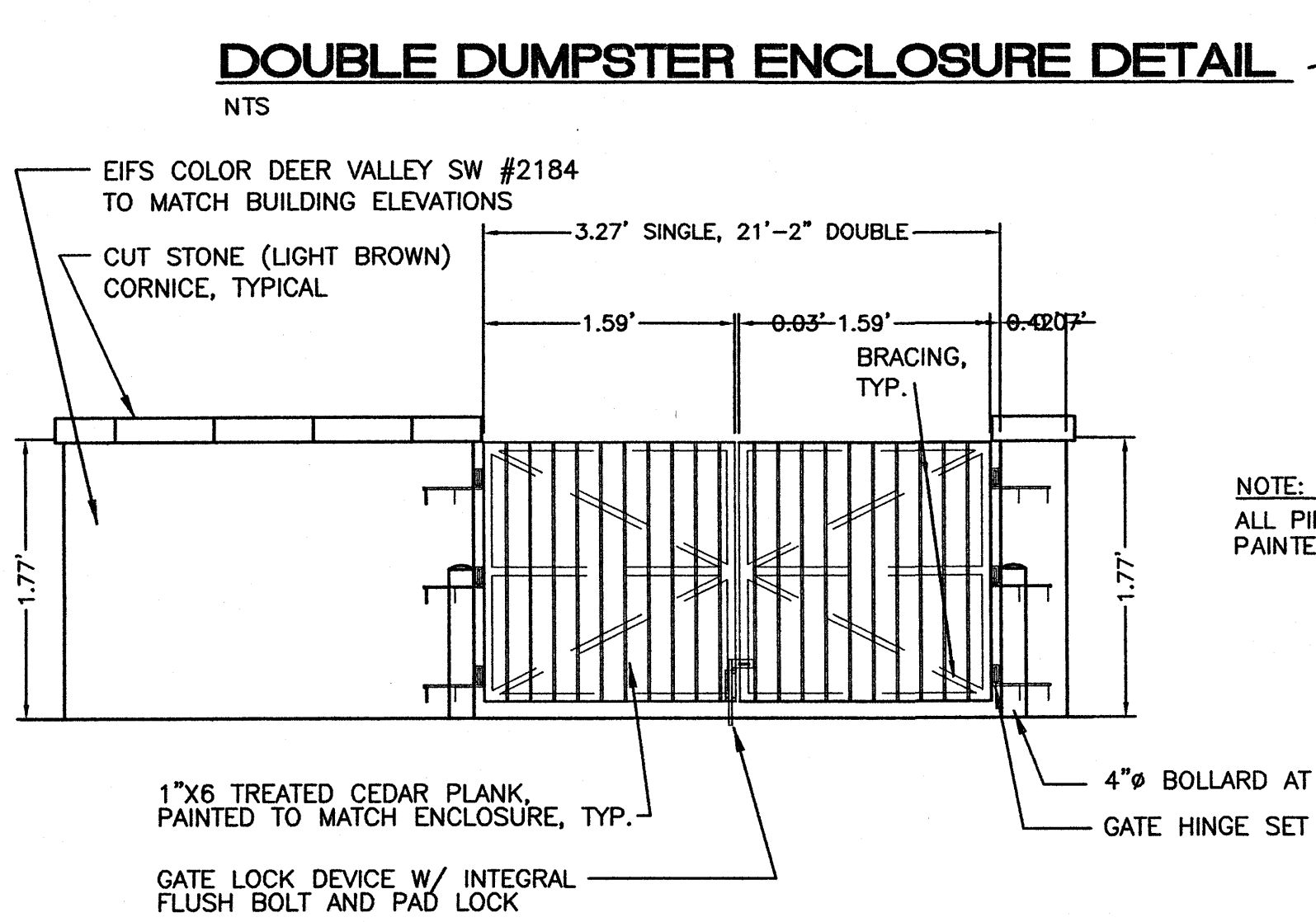
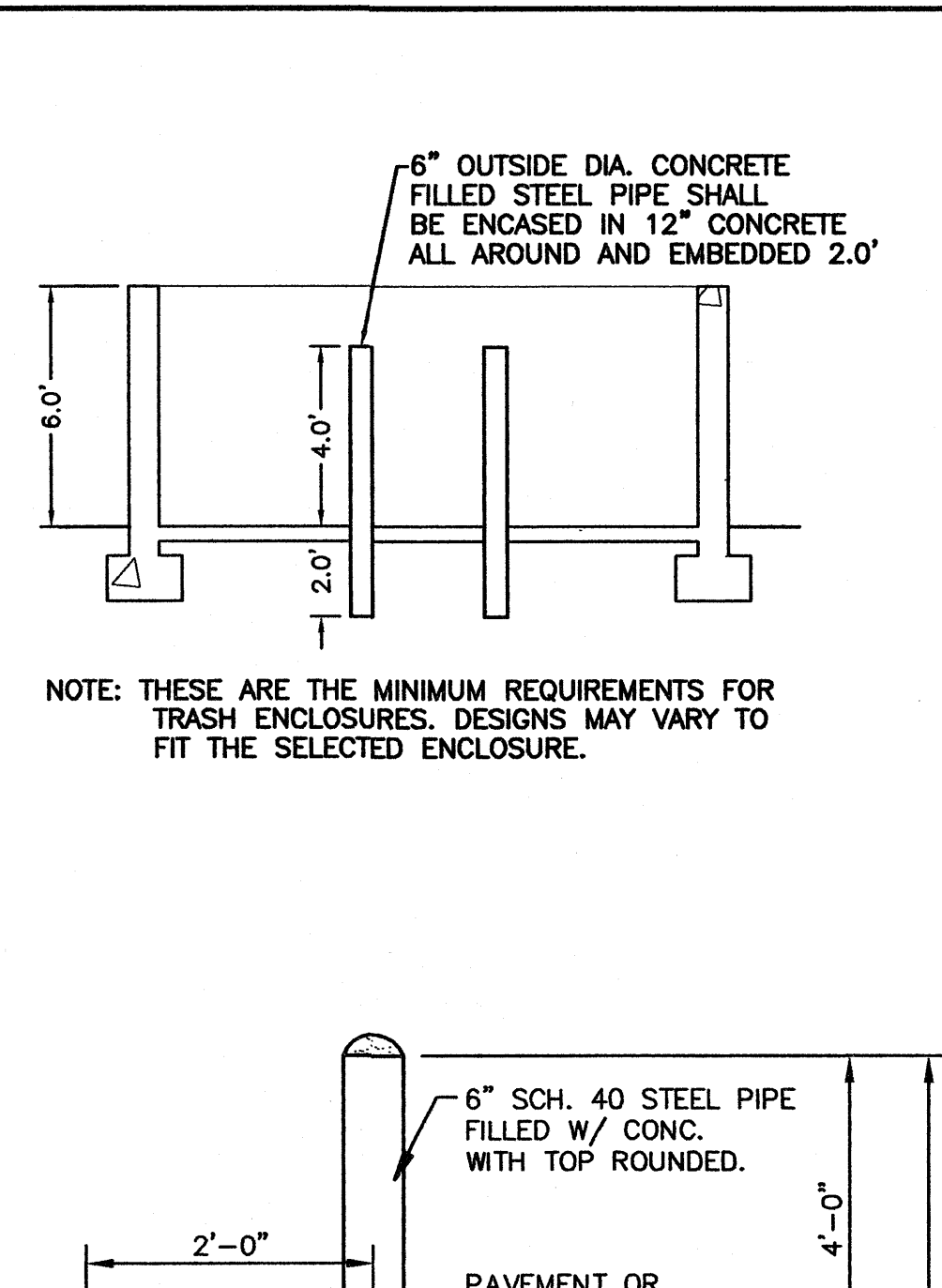
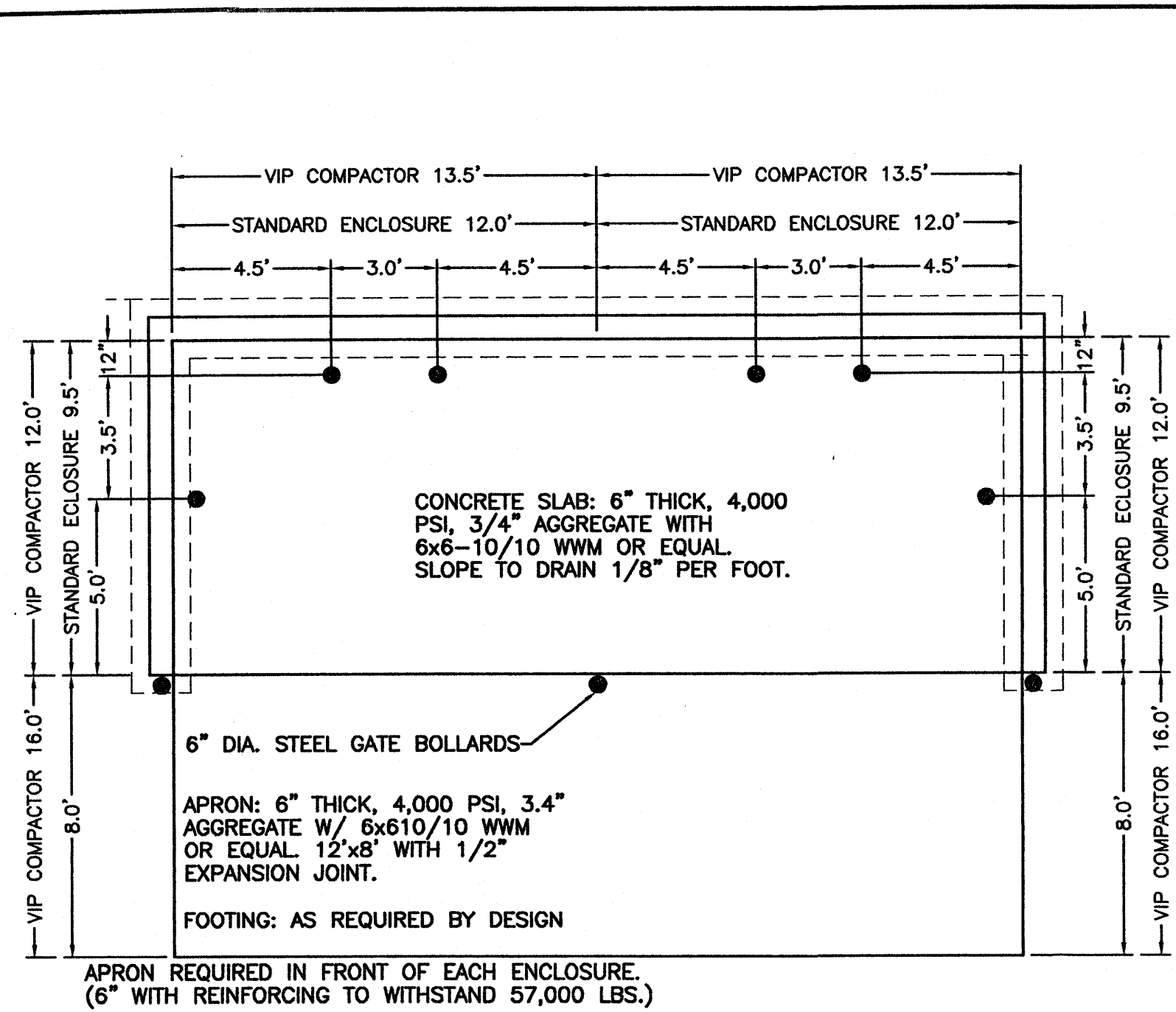
EAST ELEVATION BUILDING "A"
1/8" = 1'-0"

NORTH ELEVATION BUILDING "B"
1/8" = 1'-0"

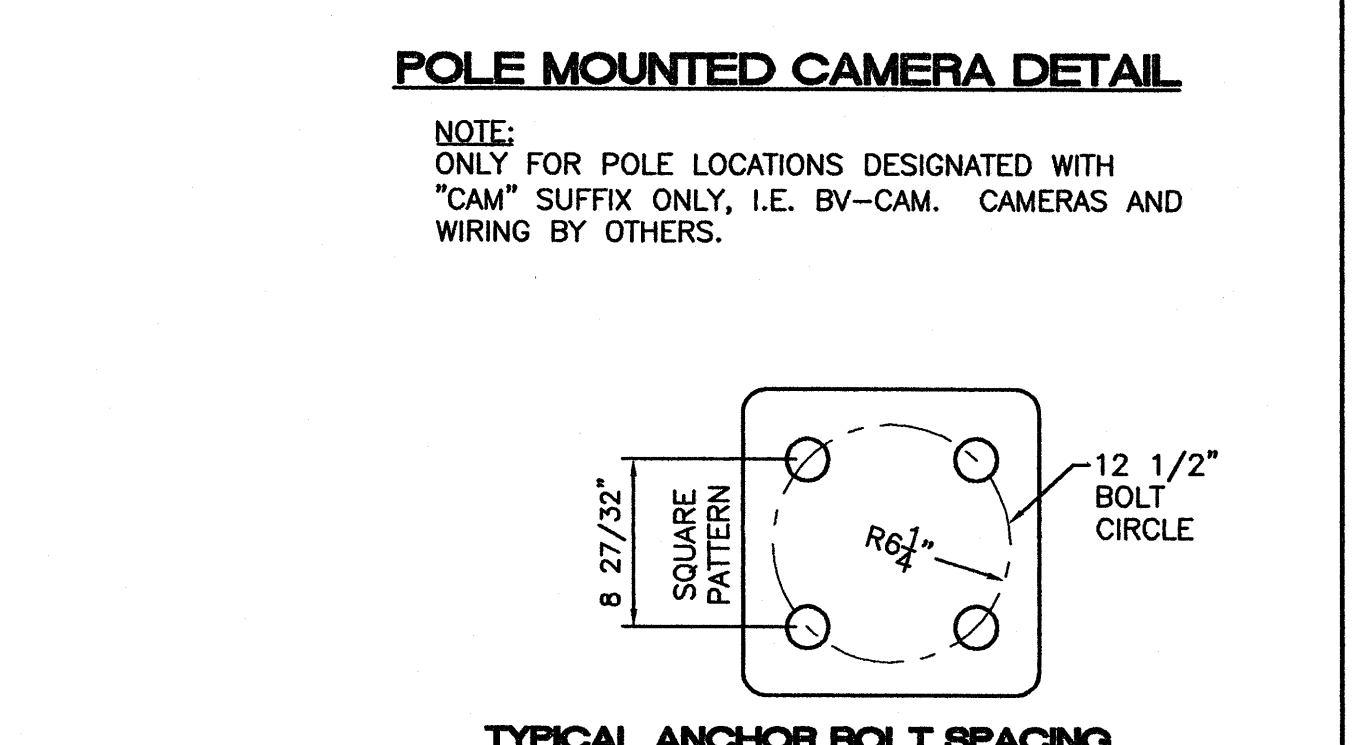
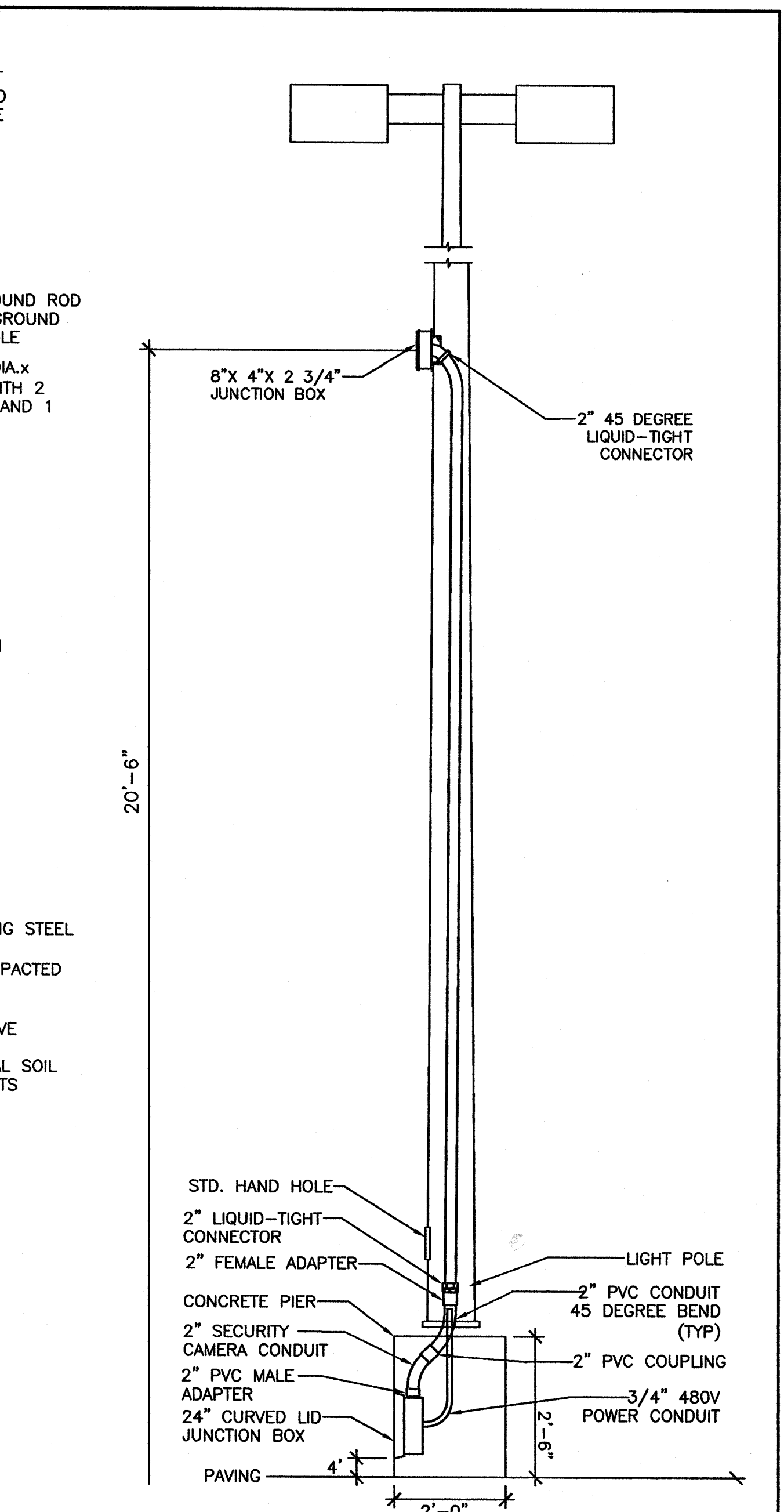


WEST ELEVATION BUILDING "A"
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SOUTH ELEVATION BUILDING "B"
1/8" = 1'-0"

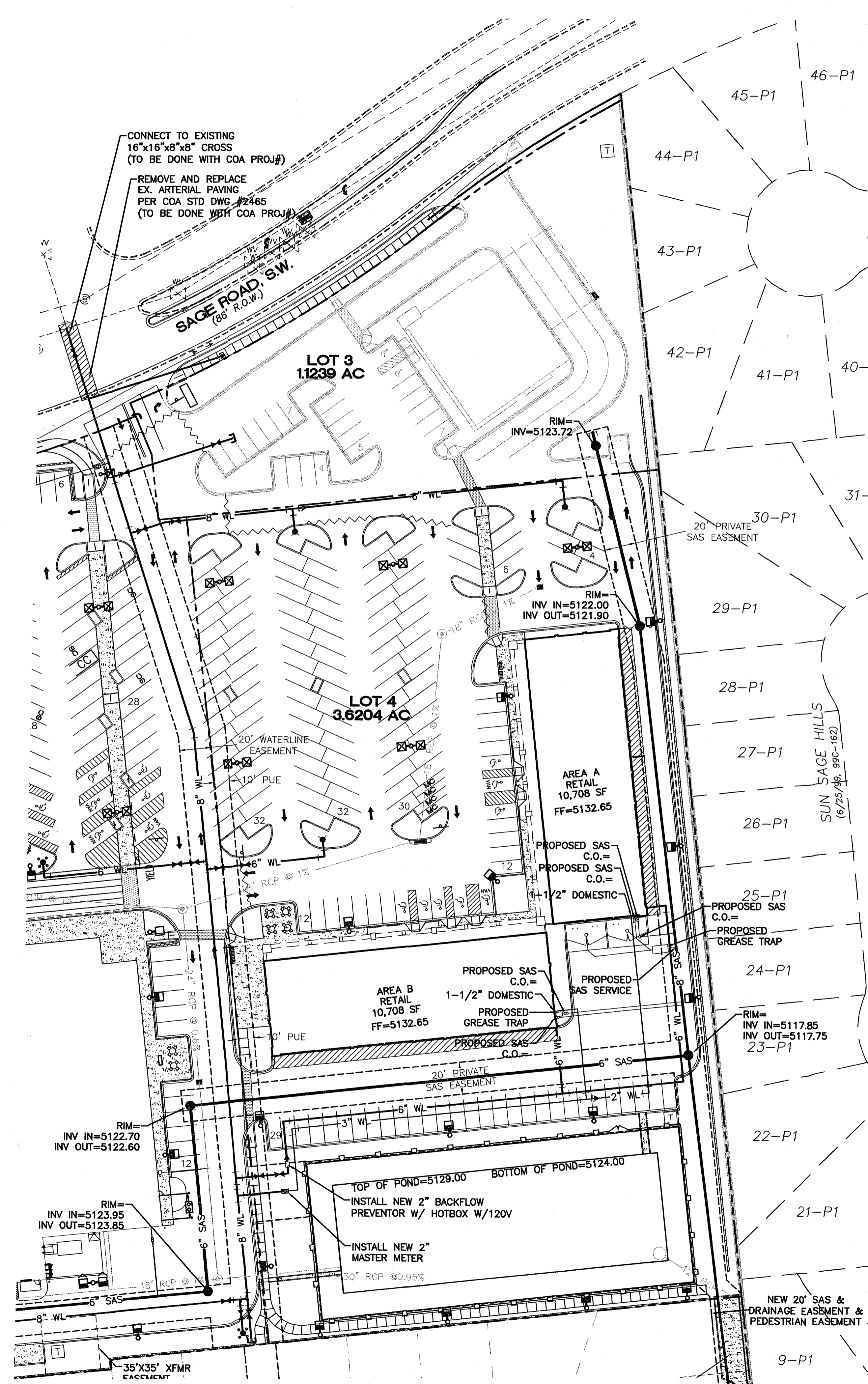


- NOTES:
- 3500 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REINFORCING STEEL
 - IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE.
 - FOUNDATION EXCAVATION SHALL BE BY 24\"/>



- GENERAL NOTES:
- SURFACE TEXTURE OF CURB ACCESS RAMPS SHALL BE OBTAINED BY HEAVY BROOMING, TRANSVERSE TO THE SLOPE OF THE RAMP.
 - GUTTER FLOW LINE PROFILE SHALL BE MAINTAINED THROUGH THE AREA OF THE RAMP.
 - CONSTRUCT PER A.D.A. STANDARDS.

NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL 			RETAIL SHOPS SAGE MARKETPLACE DETAILS
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100			DRAWN BY: EMT DATE: 11-15-05 DETAILS.DWG SHEET # 6 JOB # 25020

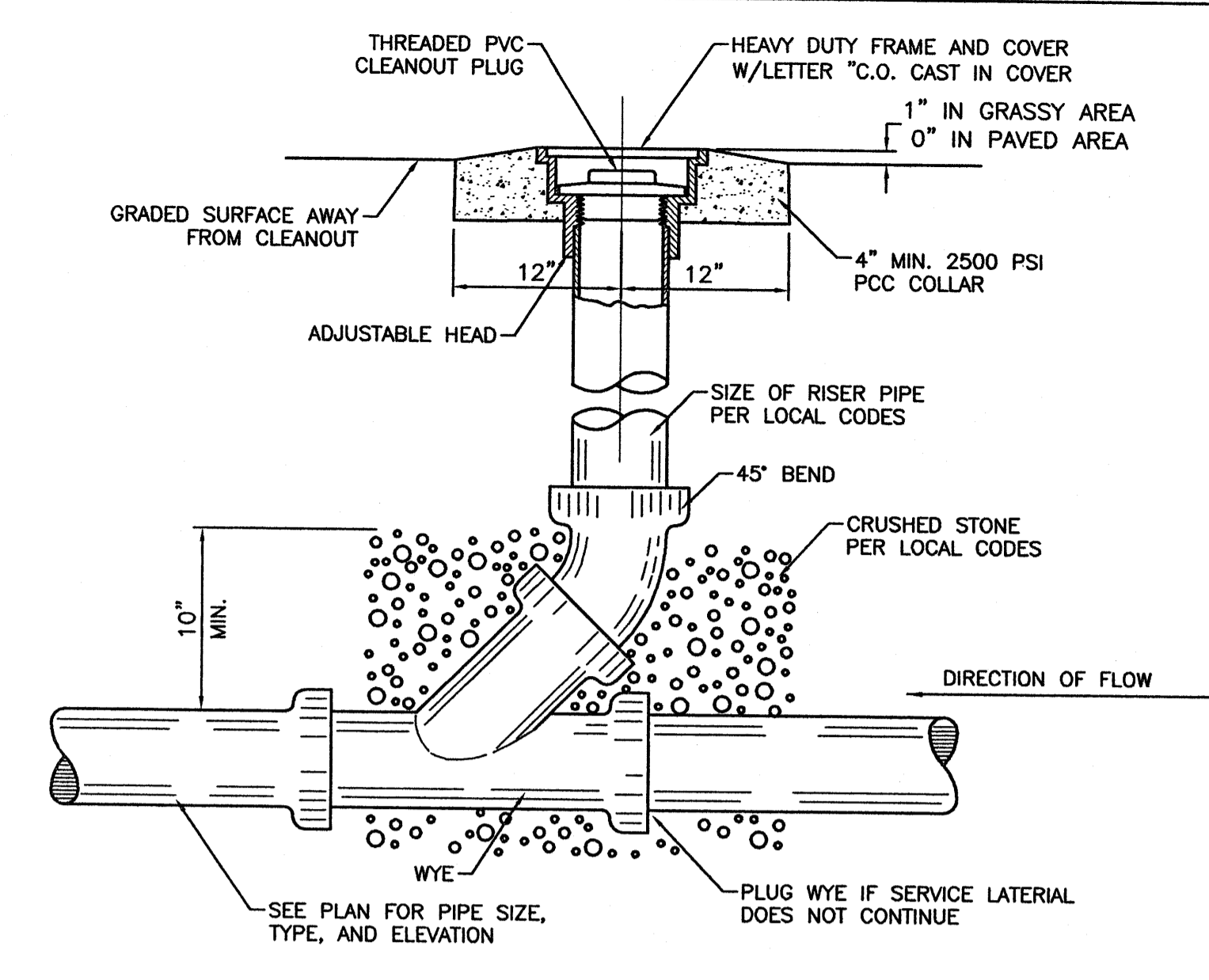


NOTICE TO CONTRACTORS

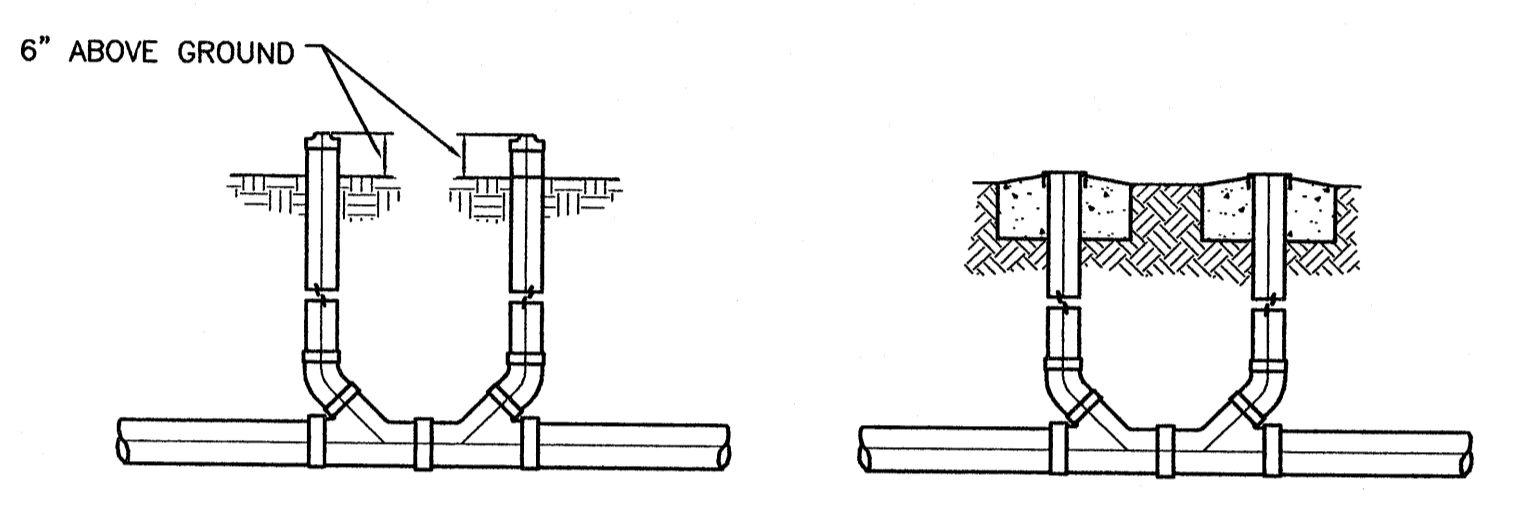
1. AN EXCAVATION/ CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE SPECIFICATIONS FOR WATER AND WASTEWATER FACILITIES (MOST RECENT REVISIONS).
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (280-1999), FOR LOCATION OF EXISTING UTILITIES. THREE WORKING DAYS PRIOR THE CONTRACTOR MUST CONTACT CITY OF ALBUQUERQUE.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING
9. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
10. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
11. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
12. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
13. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
14. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
15. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
16. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.

GENERAL NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.



SANITARY SEWER CLEAN-OUT
NTS

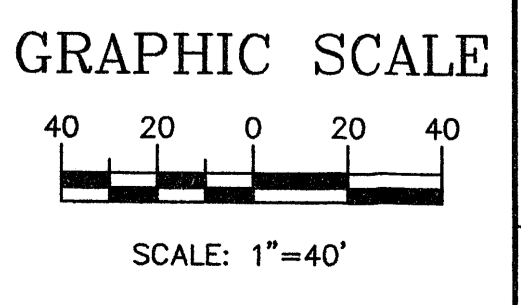
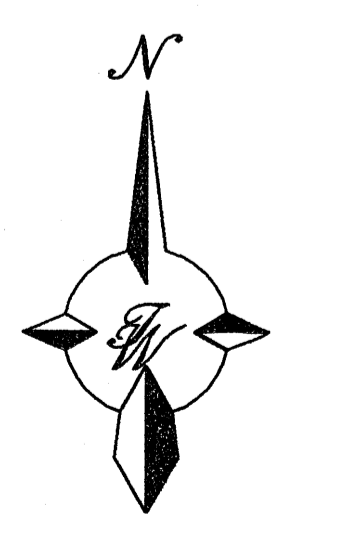


SANITARY SEWER DOUBLE CLEAN-OUTS
NTS

LEGEND

- ⊙ EXISTING SAS MANHOLE
- - - - - EX. 8" SAS - - - - - EXISTING SANITARY SEWER LINE
- PROPOSED SAS MANHOLE
- ⊗ PROPOSED SAS CLEANOUT
- 8" SAS — PROPOSED SANITARY SEWER LINE
- — — — — SANITARY SEWER SERVICE LINE
- - - - - EX. 16" WL - - - - - EXISTING WATER LINE
- 8" WL — PROPOSED WATER LINE
- ⚡ PROPOSED FIRE HYDRANT
- — — — — PROPOSED CURB
- - - - - BOUNDARY LINE
- ⊙ PROPOSED STORM SEWER MANHOLE
- 24" RCP — PROPOSED STORM SEWER LINE
- — — — — CHAIN LINK FENCE

APPROVED/NOT APPROVED
HYDRANT(S) ONLY
Sara Lavy (11/05/05)
SIGNATURE & DATE



CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

FOR REFERENCE ONLY

ENGINEER'S SEAL 	RETAIL SHOPS SAGE MARKETPLACE	DRAWN BY EMT
	MASTER UTILITY PLAN	DATE 11-07-05
		4-Master Utility Plan.dwg
		SHEET # 4
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		JOB # 25020