

GROUND TO GRID FACTOR=0.99967921

DELTA ALPHA ANGLE =-0'16'42"

NOTES: (ONLY APPLY TO LOTS 1-4)

1. COMMON STORM DRAINAGE, PEDESTRIAN, CROSS PARKING, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE

2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY

3. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.

4. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN

5. LIGHT POLES SHALL BE A MAXIMUM OF 25' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.

6. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC

7. NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.

8. SETBACKS: THERE SHALL BE A FRONT OR CORNER SIDE SETBACK OF NOT LESS THAN TEN FEET WHERE THE LOT IS ACROSS THE STREET FROM THE FRONT LOT LINE OF A FACING LOT IN A RESIDENTIAL ZONE. THIS SETBACK APPLIES TO ON AND OFF PREMISE SIGNS. THERE SHALL BE A SIDE OR REAR SETBACK OF NOT LESS THAN FIVE FEET WHERE THE SITE ABUTS THE SIDE OF A LOT IS A RESIDENTIAL ZONE. THERE SHALL BE A SIDE OR REAR SETBACK OF NOT LESS THAT 15 FEET WHERE THE SITE ABUTS THE REAR OF A LOT IN A RESIDENTIAL ZONE. THE CLEAR SIGHT TRIANGLE SHALL NOT BE INFRINGED UPON.

9. BUILDINGS CANNOT EXCEED THE HEIGHTS AS SPECIFIED IN THE C1 ZONE OF THE COMPREHENSIVE CITY ZONING CODE.

10. BUS ROUTE 54 RUNS DOWN 98TH AND PAST THE SITE.

11. HIGHLY REFLECTIVE SURFACES ARE NOT PERMITTED ON THE GAS CANOPY. ALL UNDER CANOPY LIGHTS MUST BE FULLY RECESSED SO THAT NO PART OF THE LENSE PROJECTS BELOW THE SURFACE OF THE UNDERSIDE CANOPY. SITE LIGHTING MUST MEET NIGHT SKY

M-9

LEGAL DESCRIPTION:

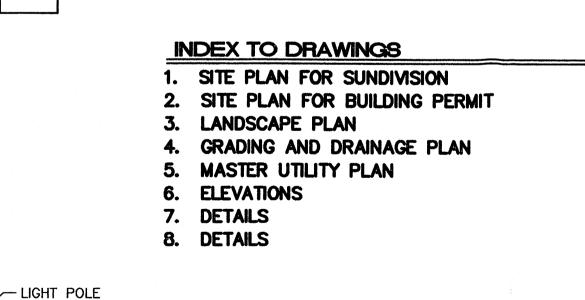
VICINITY MAP:

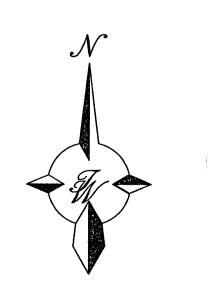
Parcel "A-1" and Remaining Westerly Portion of Parcel "A", Town of Atrisco Grant, Unit 7

SITE DATA TABLE

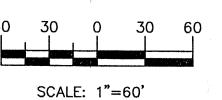
LOT	AREA (AC)	BUILDING AREA	PROPOSED USE	ZONING	PRKG. REQ.	PRKG. PROV.	HC PRKG. REG.	HC PRKG. PROV.	HC VAN REQ.			BIKE SPACES PROV.	MIN. FAR	MAX. FAR	MAX. BLDG. HEIGHT
1	4.7626	39,690	RETAIL	SU-1*	174	191	8	11	3	3	20	20	0.15	0.35	PER C1 ZONE
2	0.5360	201	GAS	C1 (SC)	1	5	-1	1		-	_		0.15	0.35	PER C1 ZONE
3	1.1239	5,600	BANK W/DRIVE THRU	C1 (SC)	**								0.15	0.35	PER C1 ZONE
4	3.6204	20,955	RETAIL	C1 (SC)	**					, et			0.15	0.35	PER C1 ZONE
5	3.7442		RESIDENTIAL	R-LT		_	-					_		_	PER RLT ZONE
TOTAL	13.7871	66,446			175	196	9	12	2	2	20	20			

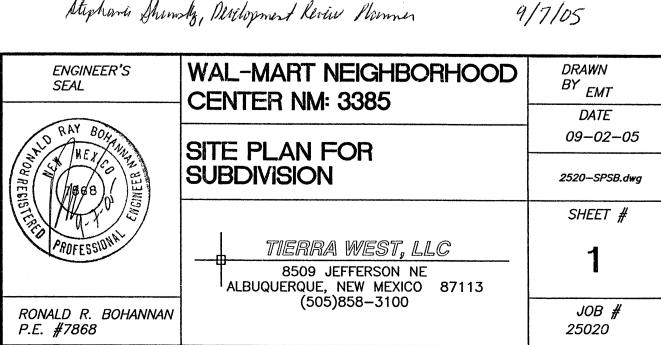
- TOTAL AREA OF ROW DEDICATION = 7,420 SF
- * SU-1 FOR C1 PERMISSIVE USES WITH DRIVE THRU PHARMACY
- ** FINAL PARKING CALCS TO BE DETERMINED UPON SUBMITTAL OF SITE PLAN FOR BUILDING PERMIT FOR EPC APPROVAL





GRAPHIC SCALE



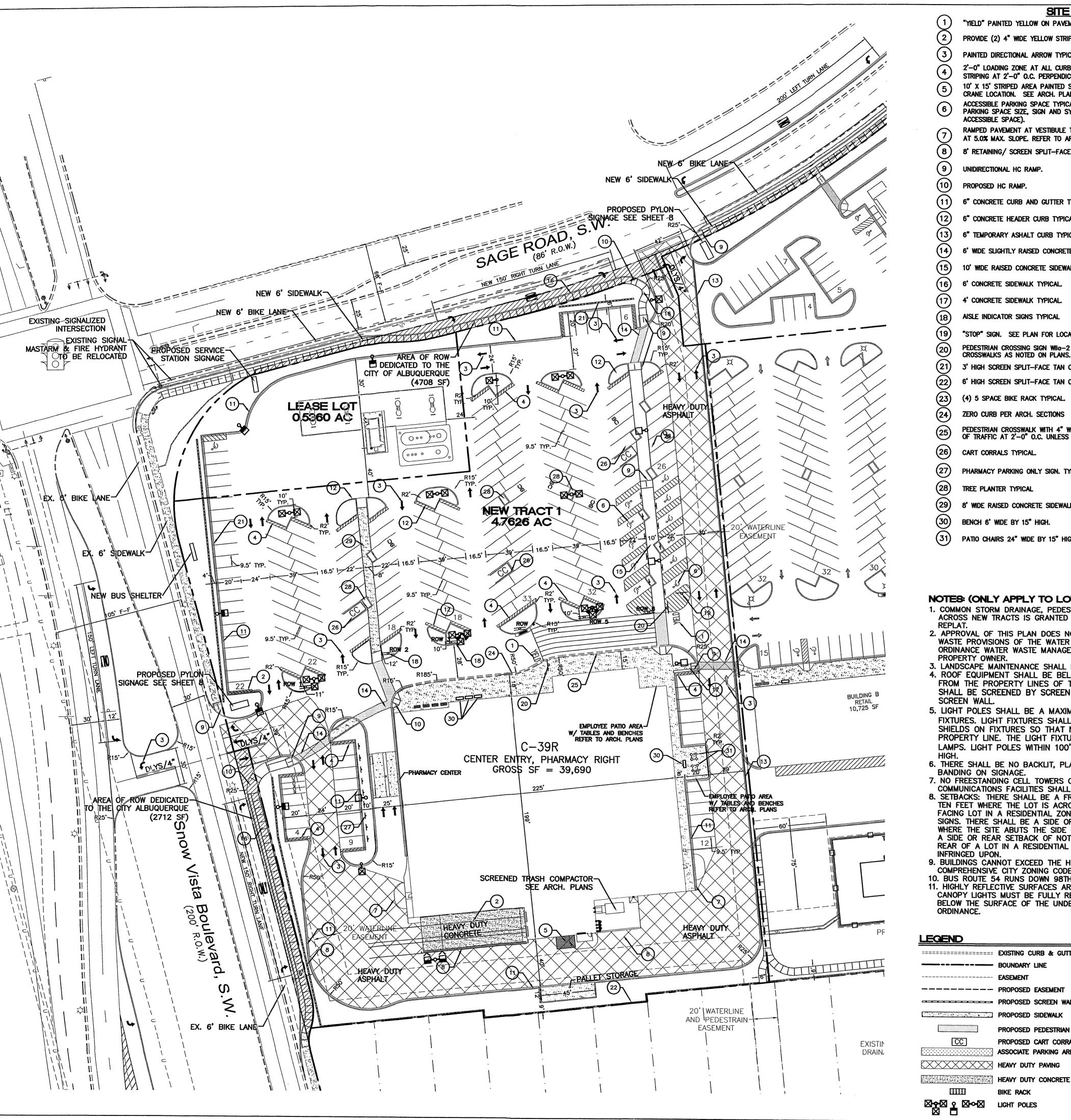


PROJECT NUMBER: ____/003991 APPLICATION NUMBER: ___05 DRB - 0/293 This plan is consistent with the specific Site Development Plan approval by the Environmental Planning Commission (EPC) dated ______, and the Findings and Conditions in the Official Notification of Decision are satisfied.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

9-7-05 Date Traffic/Engineer. Transportation Division Utilities Development Parks & Recreation Department Date Environmental Health Department (conditional) N/H7 Solfd Waste Management Date

DRB Chairperson, Planning Department Stephanis Shimsly, Development Review Planner



SITE LEGEND

"YIELD" PAINTED YELLOW ON PAVEMENT TYPICAL.

PROVIDE (2) 4" WIDE YELLOW STRIPES • 10' O.C. x 130' LONG CENTER ON DOCK DOORS

PAINTED DIRECTIONAL ARROW TYPICAL.

2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO PARKING SPACE.

10' X 15' STRIPED AREA PAINTED SYSL/4" AT 45' O 2'-0" O.C. AT JIB CRANE LOCATION. SEE ARCH. PLANS

ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN"-INDICATES VAN

ACCESSIBLE SPACE). RAMPED PAVEMENT AT VESTIBULE TO BE FLUSH WITH TOP OF SIDEWALK

AT 5.0% MAX. SLOPE. REFER TO ARCHITECTURAL PLANS.

8' RETAINING/ SCREEN SPLIT-FACE TAN CMU WALL

UNIDIRECTIONAL HC RAMP.

PROPOSED HC RAMP.

6" CONCRETE CURB AND GUTTER TYPICAL.

6" CONCRETE HEADER CURB TYPICAL.

6" TEMPORARY ASHALT CURB TYPICAL.

6' WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK. (SHT 8)

10' WIDE RAISED CONCRETE SIDEWALK TYPICAL.

6' CONCRETE SIDEWALK TYPICAL.

4' CONCRETE SIDEWALK TYPICAL.

AISLE INDICATOR SIGNS TYPICAL

"STOP" SIGN. SEE PLAN FOR LOCATION. PEDESTRIAN CROSSING SIGN WIIG-2 AND WIIG-2P TYPICAL AT PEDESTRIAN

CROSSWALKS AS NOTED ON PLANS.

3' HIGH SCREEN SPLIT-FACE TAN CMU WALL.

6' HIGH SCREEN SPLIT-FACE TAN CMU WALL

(4) 5 SPACE BIKE RACK TYPICAL.

PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH.

CART CORRALS TYPICAL.

PHARMACY PARKING ONLY SIGN. TYPICAL

ZERO CURB PER ARCH. SECTIONS

TREE PLANTER TYPICAL

8' WIDE RAISED CONCRETE SIDEWALK.

BENCH 6' WIDE BY 15" HIGH.

PATIO CHAIRS 24" WIDE BY 15" HIGH.

NOTES: (ONLY APPLY TO LOTS 1-4)

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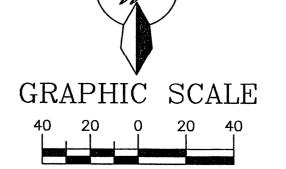
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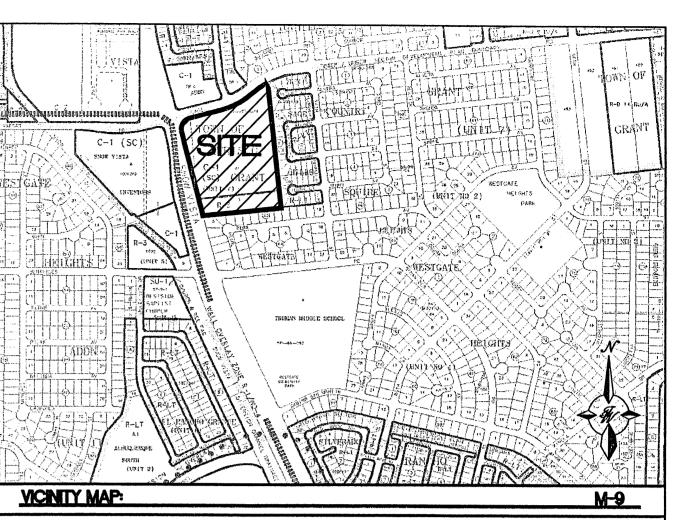
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=======	EXISTING CURB & GUTTER	
	BOUNDARY LINE	A
	EASEMENT	
	PROPOSED EASEMENT	
	PROPOSED SCREEN WALL	
	PROPOSED SIDEWALK	♦ ₩ ,
	PROPOSED PEDESTRIAN CROSSWALK	
]	PROPOSED CART CORRALS	
	ASSOCIATE PARKING AREA	
XXXX	HEAVY DUTY PAVING	GRAPHIC S





LEGAL DESCRIPTION:

Parcel "A-1" and Remaining Westerly Portion of Parcel "A", Town of Atrisco Grant, Unit 7

SITE DATA

ZONING:	SU-1 FOR C-1 PERMISSIVI
	USES WITH DRIVE-THRU PHARMACY
LOT AREA: NEW WAL-MART TRACT LEASE LOT TOTAL:	4.76 AC 0.54 AC 5.3 ± AC.
BUILDING AREA: NEIGHMOBHOOD MARKET: LEASE LOT:	39,690 SF 201 SF
PARKING PROVIDED: NEIGHMOBHOOD MARKET: LEASE LOT:	191 SPACES 5 SPACES
PARKING REQUIRED: NEIGHMOBHOOD MARKET: LEASE LOT:	174 SPACES 1 SPACES
HC PARKING PROVIDED: NEIGHMOBHOOD MARKET: LEASE LOT:	11 SPACES (3 VAN) 1 SPACES
HC PARKING REQUIRED: NEIGHMOBHOOD MARKET: LEASE LOT:	8 SPACES (3 VAN) 1 SPACES
BIKE SPACES PROVIDED: BIKE SPACES REQUIRED: MOTORCYCLE SPACES:	20 SPACES 20 SPACES 3 SPACES
LANDSCAPING REQUIRED LANDSCAPING PROVIDED	27,304 SF 27,931 SF

PAINT STRIPING LEGEND

TOTAL AREA OF ROW DEDICATION = 7.420 SF

PROJECT NUMBER:

Sofid Waste Management

P.E. #7868

SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH SYSL/10" - SINGLE YELLOW SOLID LINE / 10" WIDE SWDL/4" - SINGLE WHITE DASHED LINE / 4" WIDE SWSL/24" - SINGLE WHITE SOLID LINE / 24" WIDE

1003991

APPLICATION NUMBER: 050RB-01294 This plan is consistent with the specific Site Development Plan approval by the Environmental Planning Commission (EPC) dated ______, and the Findings and Conditions in the Official Notification of Decision are satisfied. DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL: 9-7-85 Date Traffic Engineer, Transportation Division 9-7-05 Date Parks & Recreation Department 9/7/05 Date 11/8/05 City Engineer Date

Environmental Health Department (conditional)

Chairperson, Planning Department

ENGINEER'S SEAL	WAL-MART NEIGHBORHOOD CENTER NM: 3385	DRAWN BY _{EMT}
	OLIVIEI I IVIVII 0000	DATE
RAY BOWAN	SITE PLAN FOR	09-02-05
STSUBBROWN STREET STREE	BUILDING PERMIT	2520-SPBB.dwg
SEE TO SEE		SHEET #
PROFESSIONAL	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113	2
RONALD R. BOHANNAN	(505)858–3100	JOB #

JOB # 25020

Date

Date

11/8/05

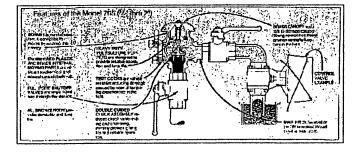
ANDSCAPE CALCULATIONS

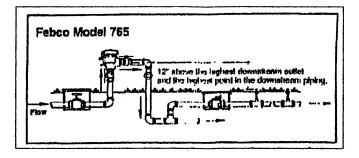
TOTAL LANDSCAPE PROVIDED

TOTAL LOT AREA	221720	_ square feet
TOTAL BUILDINGS AREA	39690	_ square feet
OFFSITE AREA	0	_square feet
NET LOT AREA	182030	_square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	27304	_square feet
TOTAL BED PROVIDED	27931	_square feet
GROUNDCOVER REQ.	75%	_square feet
TOTAL GROUNDCOVER REQUIREMENT	20948	_square feet
TOTAL GROUNDCOVER PROVIDED	22323	_square feet

27931

square feet





BACKFLOW PREVENTER DETAIL

no scale

* EVERGREEN PLANT MATERIAL

ASH (H) 21 Fraxinus pennsylvanica 2" Cal.

HONEY LOCUST (M) 40 Gleditsia triacanthos 2" Cal.

DESERT WILLOW (L) 6 Chilopsis linearis` 15 Gal.

* AUSTRIAN PINE (M) 10 * Pinus nigra 6'-8'

PALM YUCCA (L) 6

BIRD OF PARADISE (L) 28 Caesalpinia gilliesii 5 Gal. 100sf

MAIDENGRASS (M) 54 Miscanthus sinènsis 5 Gal. 16sf

RUSSIAN SAGE (M) 39 O Perovskia atriplicifolia 5 Gal. 25sf

* APACHE PLUME (L) 31 Fallugia paradoxa5 Gal. 25sf

*LANAS/ SCOTCH BROOM (M) 3 Cytisus scoparius/ Genista hispanica 5 Gal. 9sf

*ROSEMARY (M) 21 o Rosmarinus officianalis 2 Gal. 36sf

> LANDSCAPE NOTES: Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Grey Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

AUTUMN SAGE (M) 3 Salvia greggii 2 Gal. 9sf

HALLS HONEYSUCKLE (M) 89 Japonica 'Halliana' 1 Gal. 144sf Unstaked-Groundcover

WILDFLOWER 12

THREADGRASS (M) 165

Stipa tennuisima 1 Gal. 4sf

*CREEPING ROSEMARY (L) 39 Rosmarinus officinalis Prostrata Symbol indicates 3 plants

TRUMPET VINE (M) 8 Campsis radicans 1 Gal. 200sf

OVERSIZED GRAVEL & 9 BOULDERS

3/4" GRAY GRAVEL WITH FILTER FABRIC

INDICATES EVERGREEN MATERIAL

IRRIGATION NOTES: Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polypipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

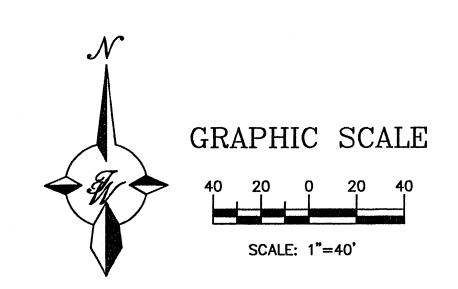
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

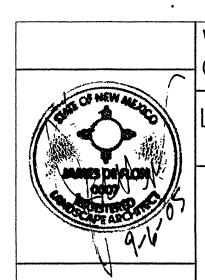
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

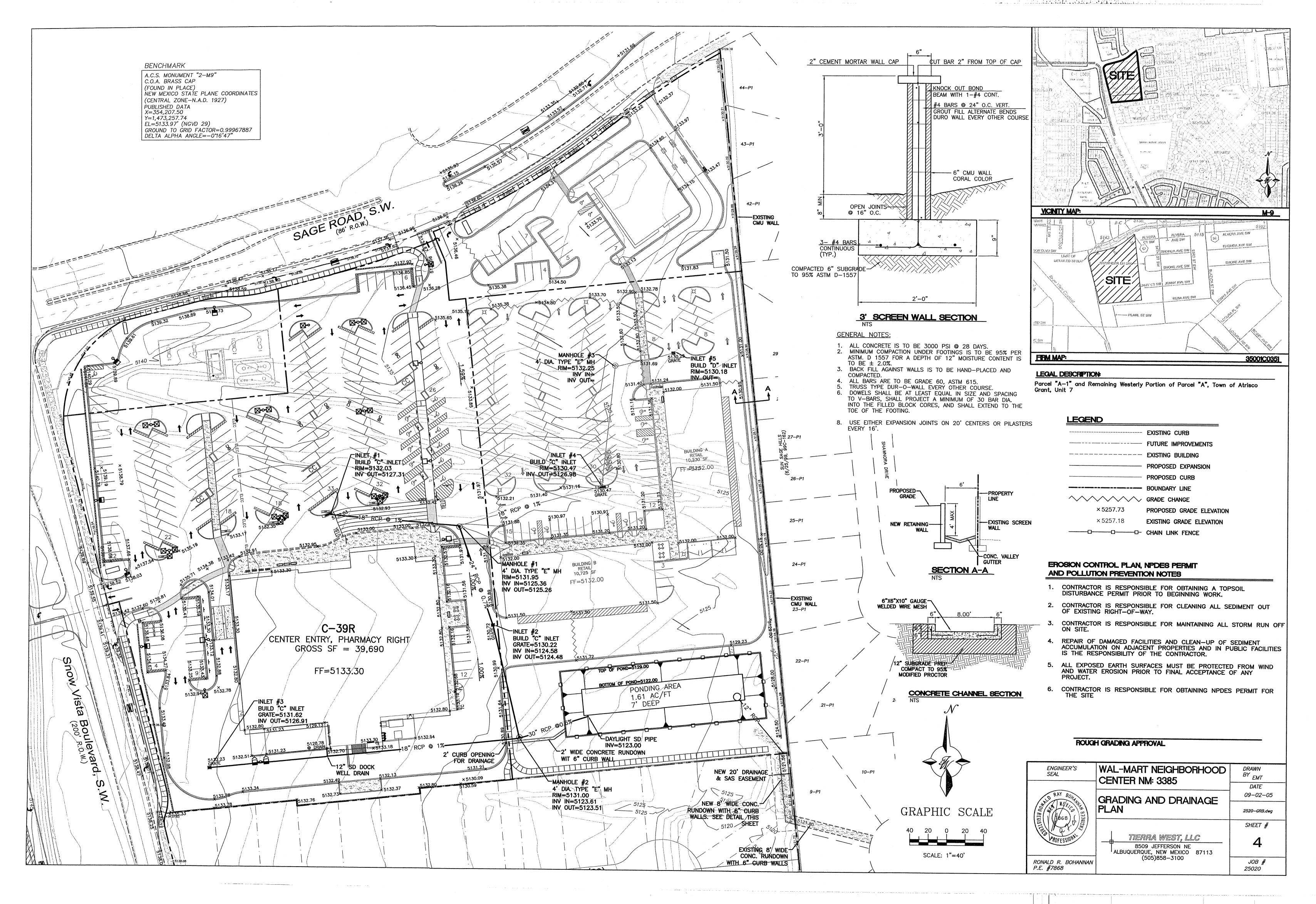
Cont. Lic. #26458 7909 Edith N.E. Albuquerque, NM 87184 Ph. (505) 898-9690 Fax (505) 898-7737 cmd@hilltoplandscaping.com
All creative ideas contained Herein remains the
property of The Hilltop Landscape Architects and
Contractors and are protected by copyright laws. This is
an original design and must not be released or copied

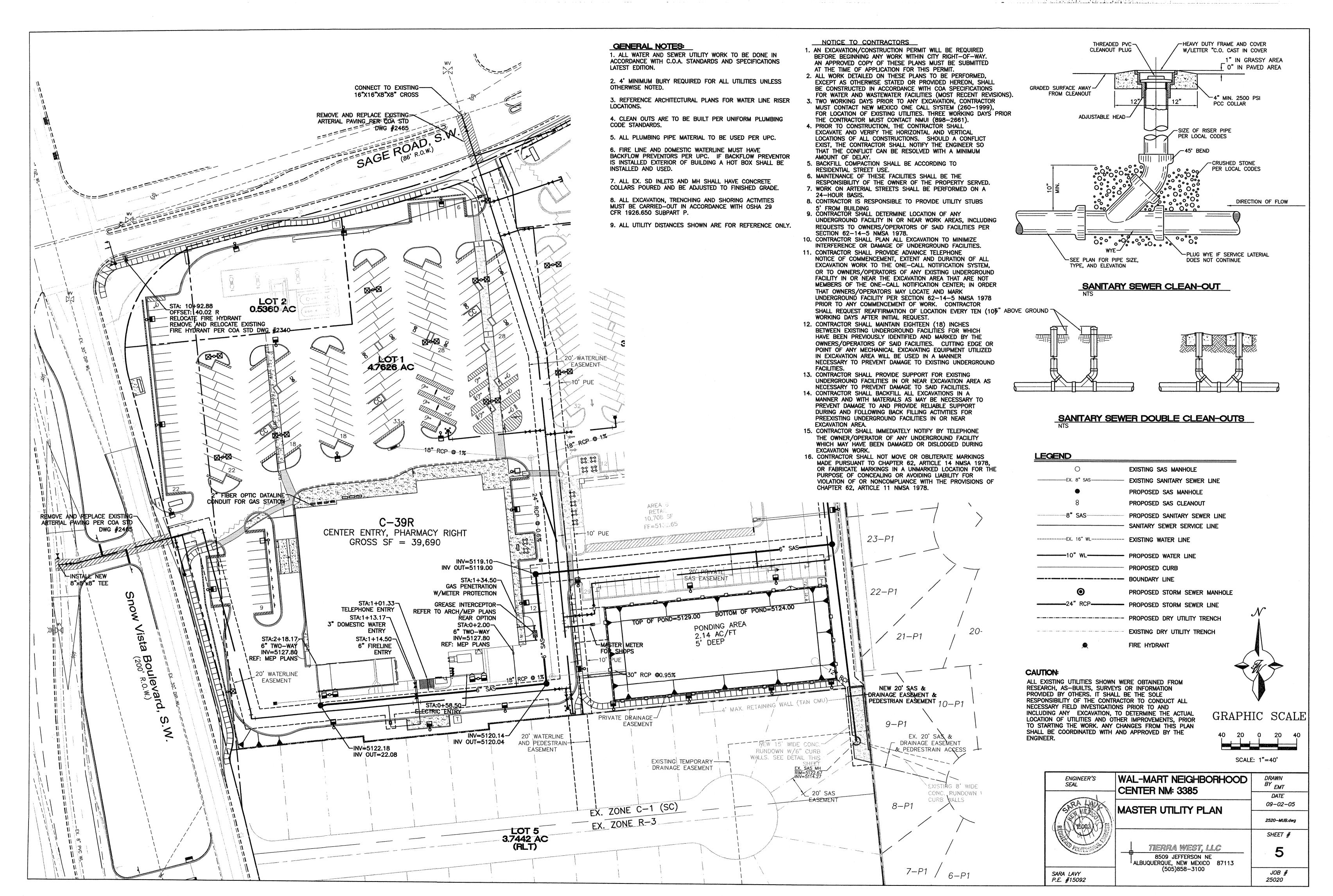


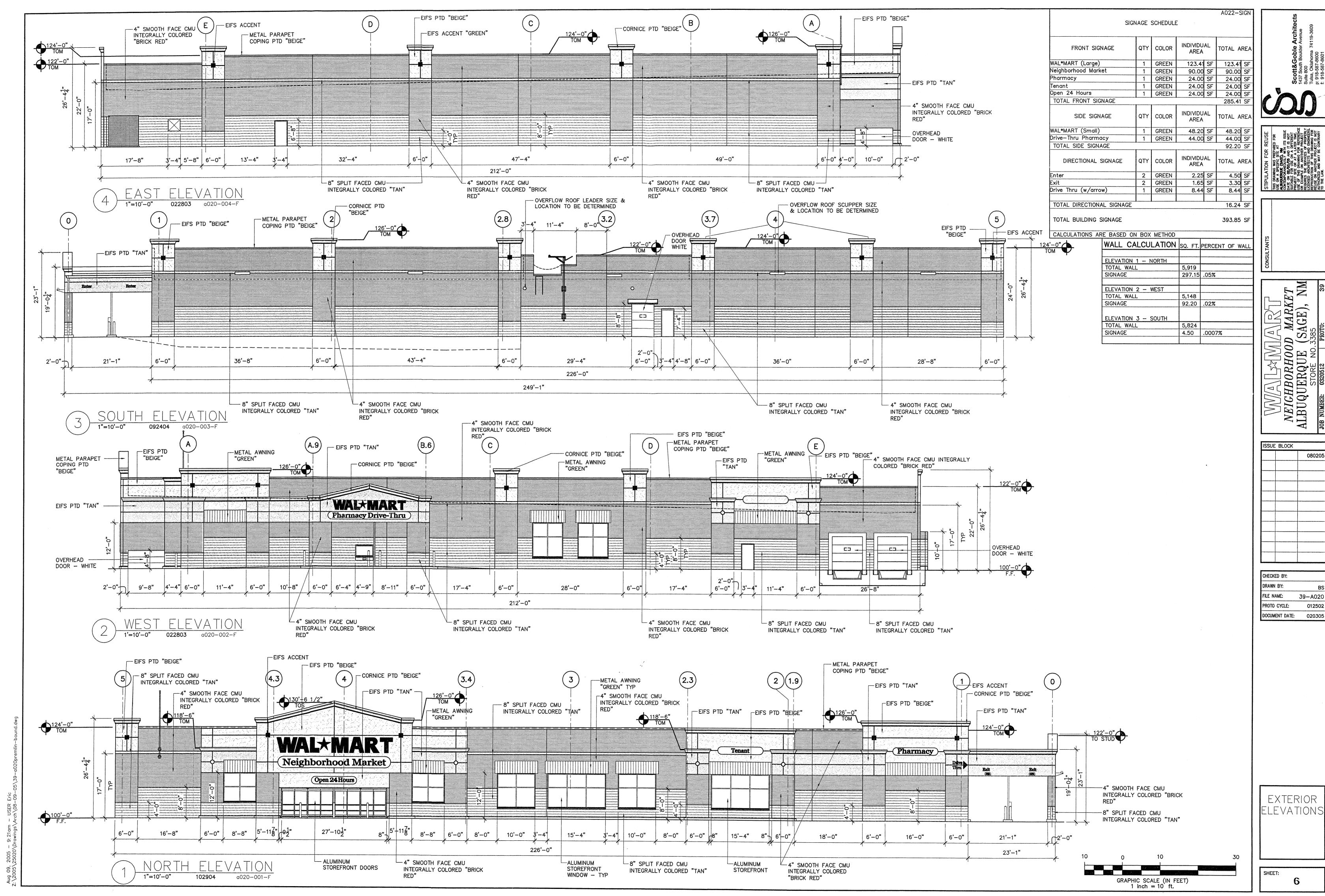


	an original design and must not unless applicable fees have bee placed.	
	WAL-MART NEIGHBORHOO CENTER NM: 3385	D DRAWN BY drr DATE
8	LANDSCAPE PLAN	8/8/05
N	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113	SHEET #
	(505)858–3100	JOB # 23098

revised site plan revised site plan

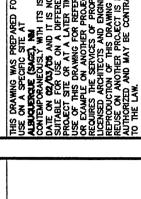


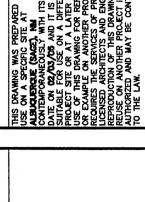


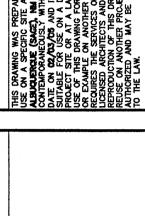


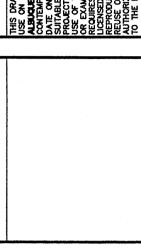
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