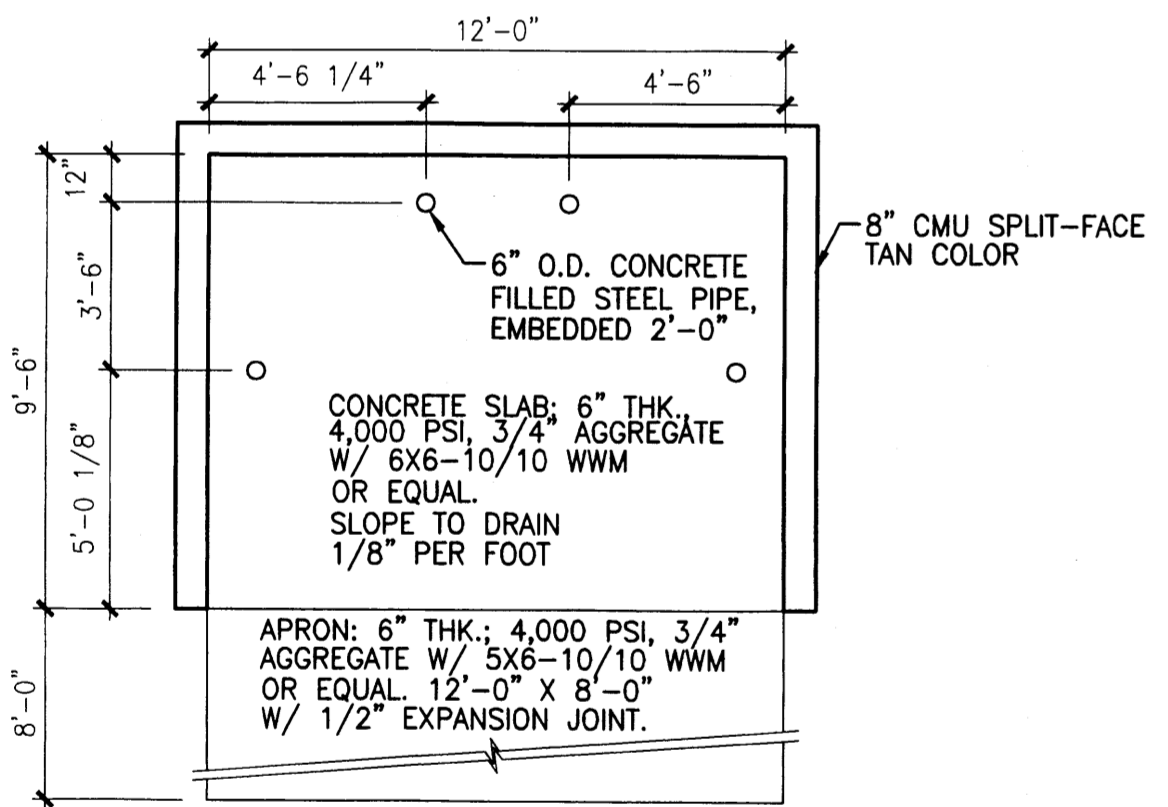
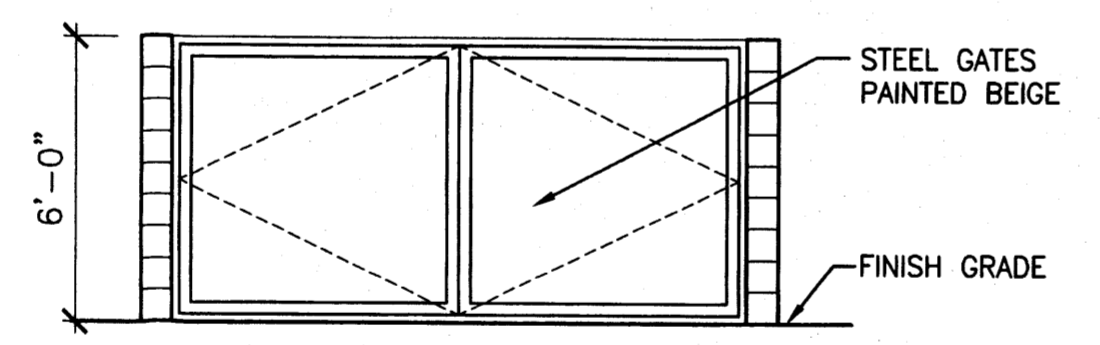


NOTE: FOR SITE UTILITIES, SEE SHEET 103, UTILITY AND GRADING PLAN

NOTE: SITE LIGHTING IS ACCOMPLISHED WITH WALL-MOUNTED FIXTURES ON THE SELF-STORAGE BUILDINGS, AND LIGHT STANDARDS (POLES) AT THE PARKING LOT. ALL FIXTURES WILL INCLUDE FULL CUT-OFF TO PREVENT LIGHT POLLUTION ONTO NEIGHBORING PROPERTIES.



TRASH ENCLOSURE  
1/8" = 1'-0"



ELEVATION

LANDSCAPE CALCULATIONS

TOTAL SF:	183839.69 SF
SF OF BLDGS:	73000 SF
NET SF:	183839.69 - 73000 = 110839.69 SF
% OF LANDSCAPE REQUIRED:	110839.69 x .15 = 16626 SF
SF OF LANDSCAPE PROVIDED:	20550.5 SF

PARKING CALCULATIONS

\*BASED ON ABQ. ZONE CODE 14-16-3-1, "OFF-STREET PARKING REGULATIONS"

WAREHOUSE:	1 SPACE PER 2000 SF OF NET LEASABLE 62796 SF / 2000 = 31.4 SPACES
OFFICE:	1 SPACE PER 200 SF OF NET LEASABLE AREA NET LEASABLE AREA: 8437 SF 8437 SF / 200 SF = 42.2 SPACES
PARKING SPACES REQUIRED:	73.6 SPACES ~ 74 SPACES
LESS 10% REDUCTION (300' OF TRANSIT ROUTE):	74 x .9 = 66.6 ~ 67 SPACES
SMALL CAR SPACES (25% OF TOTAL)	67 x .25 = 17 SPACES ALLOWED 12 SPACES PROVIDED
ACCESSIBLE PARKING REQUIRED:	4 (FOR LOTS W/ 51 TO 100 AUTOMOBILE SPACES)
ACCESSIBLE PARKING PROVIDED:	4
TOTAL PARKING PROVIDED:	61 STANDARD + 12 SMALL CAR + 4 ADA = 77 SPACES
MOTORCYCLE PARKING REQUIRED:	3 SPACES
MOTORCYCLE PARKING PROVIDED:	3 SPACES
BICYCLE PARKING PROVIDED:	5 SPACES

PROJECT NUMBER 1003993  
Application Number 07DRB-00591

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED MARCH 15, 2007 AND THE FINDING AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

*[Signature]* 6-6-07  
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION Date

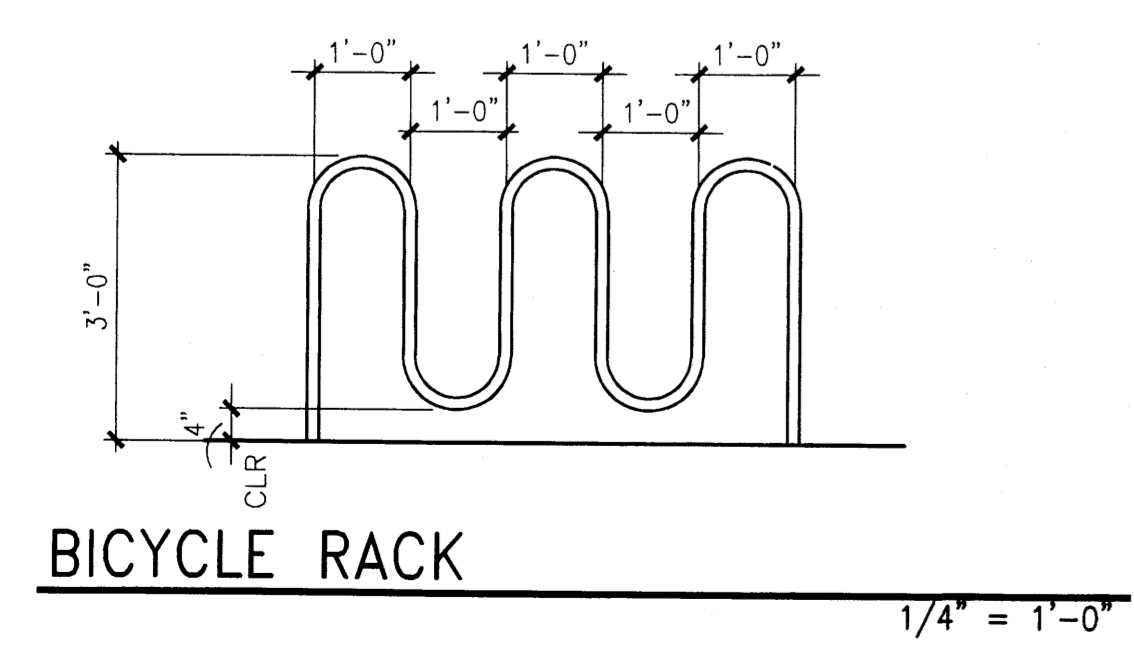
*[Signature]* 6-6-07  
WATER UTILITY DEPARTMENT Date

*[Signature]* 6/6/07  
PARKS AND RECREATION DEPARTMENT Date

*[Signature]* 1/18/08  
CITY ENGINEER Date

*[Signature]* 6/6/07  
SOLID WASTE MANAGEMENT Date

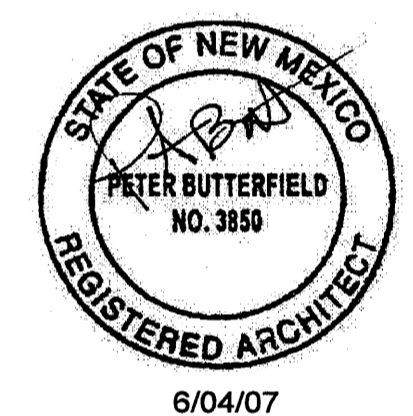
*[Signature]* 1/18/08  
DRB CHAIRPERSON, PLANNING DEPARTMENT Date



BICYCLE RACK  
1/4" = 1'-0"

peter butterfield architect  
13013 glenwood hills ct ne | albuquerque nm 87111  
(ph) 298 3099 | (fax) 298 6320

DRAWING NAME  
SITE PLAN  
REVISIONS



GLOBAL STORAGE  
3501 COORS BOULEVARD NW  
ALBUQUERQUE, NEW MEXICO 87120

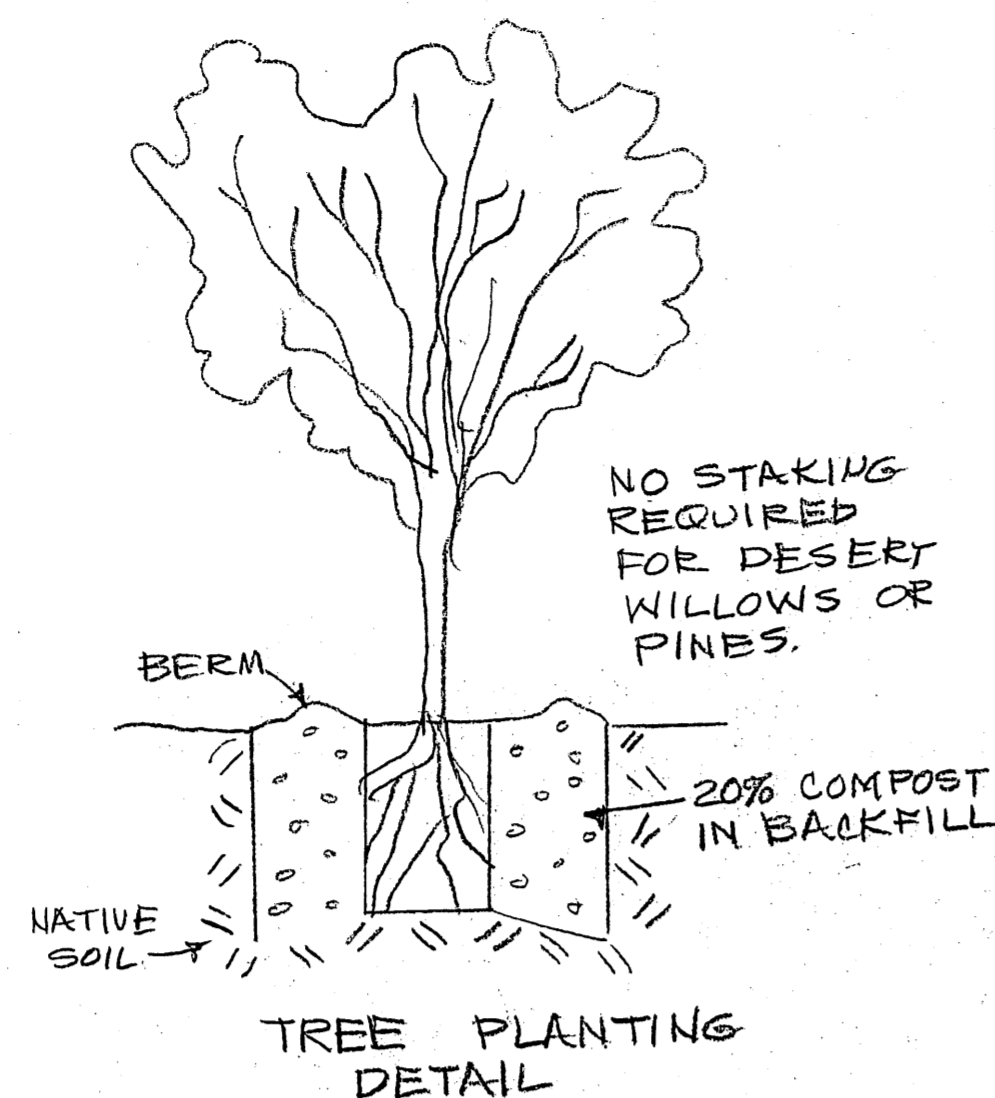
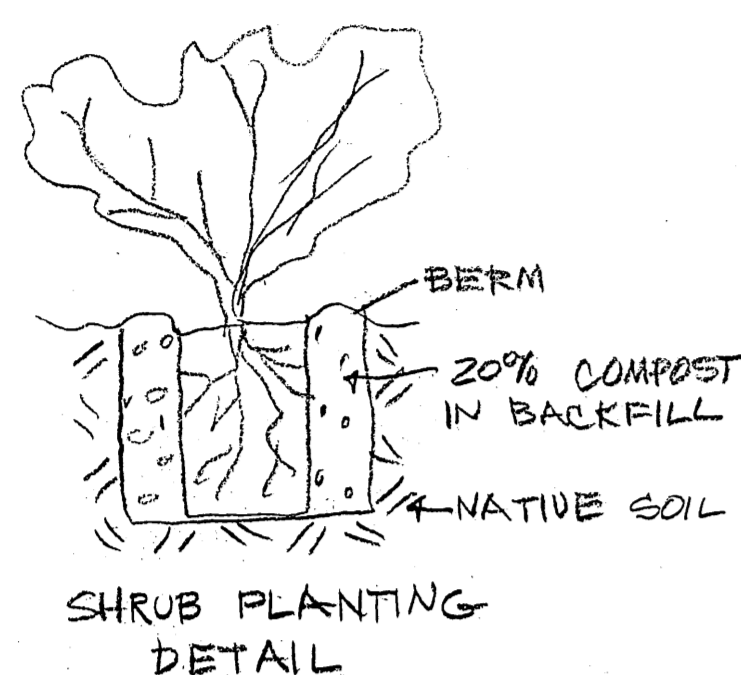
THIS DRAWING IS AN INSTRUMENT OF SERVICE ONLY. THE ARCHITECT RETAINS ALL RIGHTS OF OWNERSHIP AND COPYRIGHT. INFORMATION HEREIN, INCLUDING AREA CALCULATIONS, IS FOR REFERENCE ONLY.

1003993

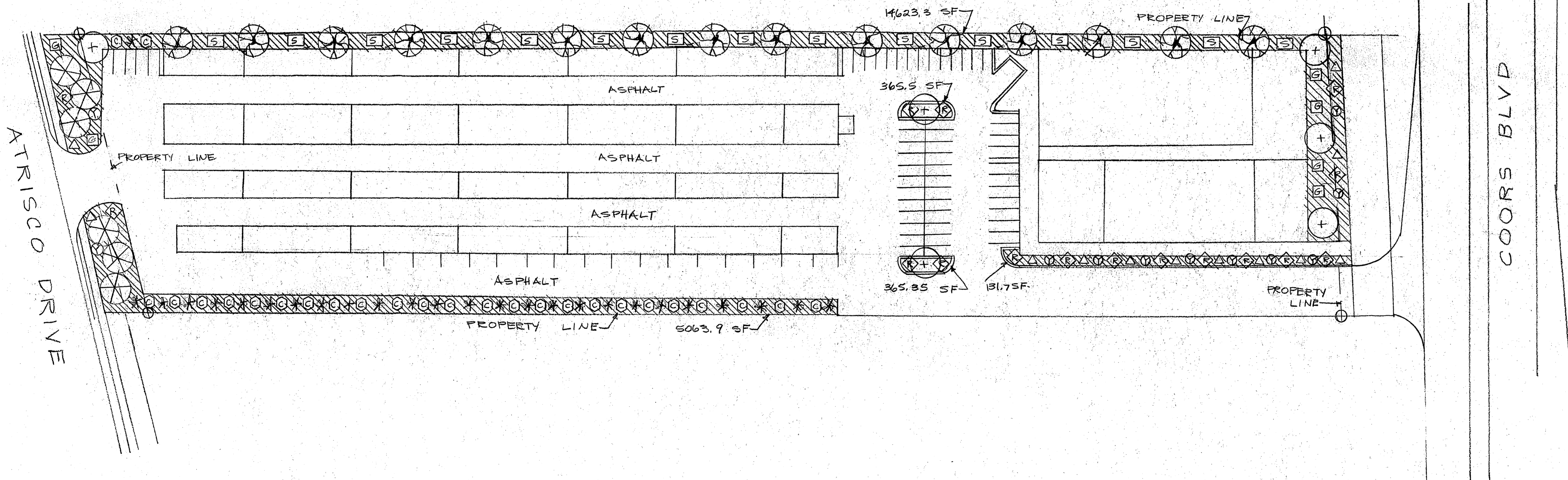
REVISIONS	BY

LEGEND

TOTAL	SYMBOL	SIZE	COMMON NAME	BOTANICAL NAME
6	+	15 GAL	DESERT WILLOW	CHILOPSIS LINERARIS
16	◇	5 GAL	ROSEMARY 'ARP'	ROSMARINUS OFFICIANALIS
26	⊙	1 GAL	RABBIT BUSH	CHAMISA NAUSEOSA
26	*	1 GAL	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA
6	⊠	5 GAL	MAIDEN GRASS	MISCANTHUS SINENSIS
11	⊕	1 GAL	MOONSHINE YARROW	ACHILLEA MOONSHINE
15	⊗	15 GAL	CHINESE PISTACHE	PISTACIA CHINENSIS
6	⊗	6'	AUSTRIAN PINE	PINUS NIGRA
12	△	1 GAL	RED VALARIAN	CENTRANTHUS RUBRA
15	⊞	5 GAL	SILVERBERRY	ELAEAGNUS COMMUTATA
	▨		1" TAN GRAVEL MULCH OVER WEED BARRIER FABRIC	

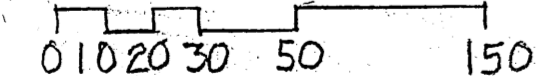


VILLA DE PAZ



LANDSCAPE PLAN

SCALE 1" = 40' 0"



NOTE: ALL LANDSCAPING MATERIAL SHALL BE LOW WATER USAGE CONSISTANT WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION CODE 6-1-1-1 ET AL.

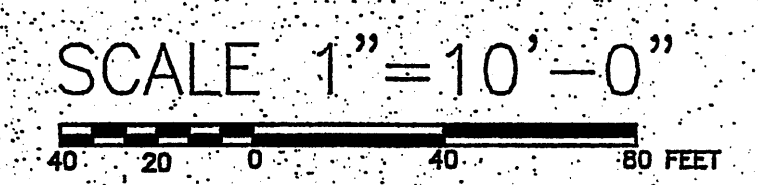
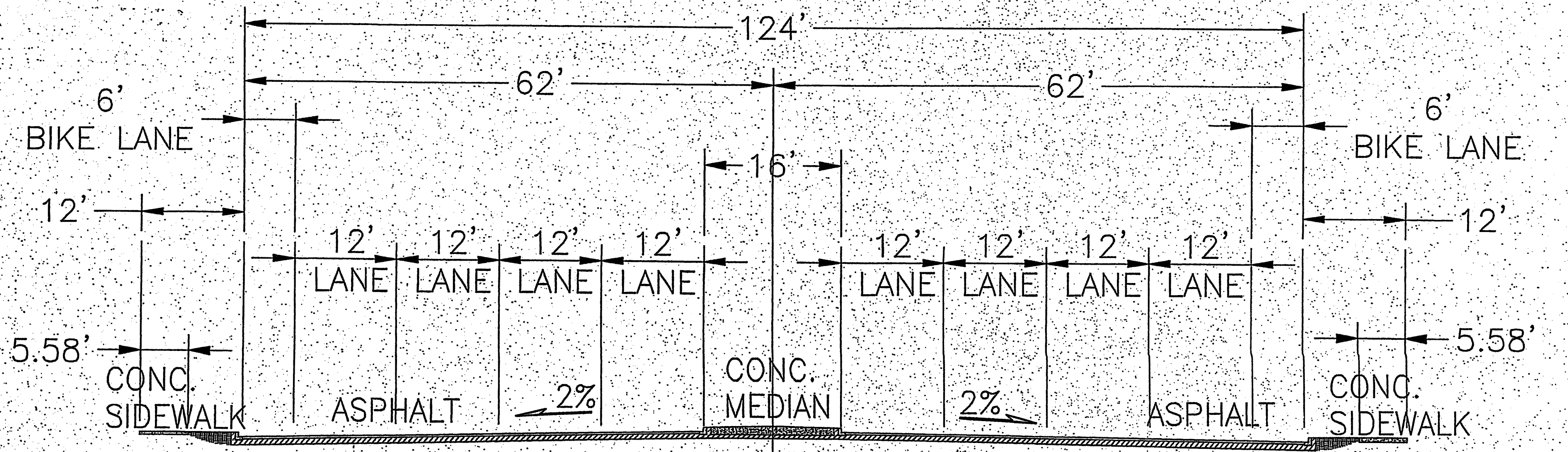
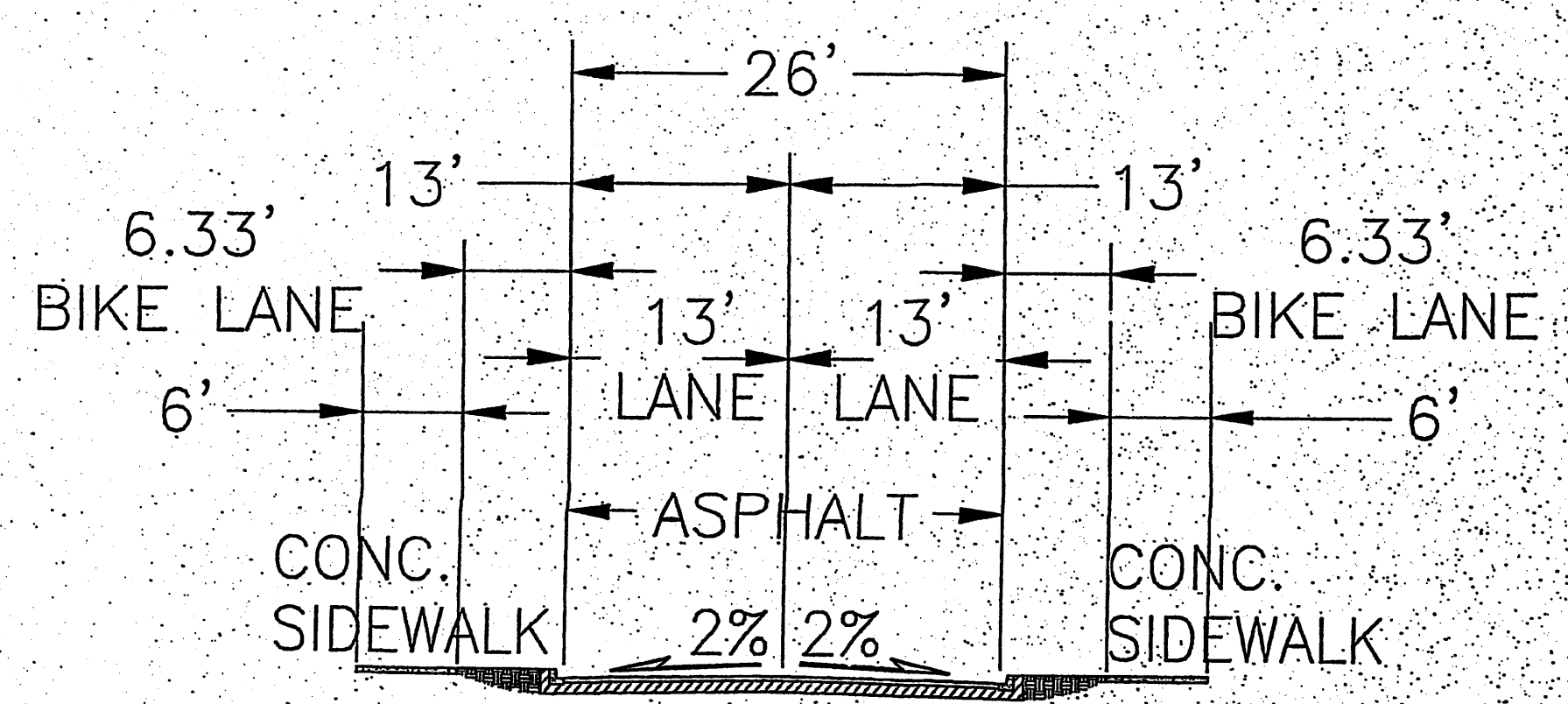
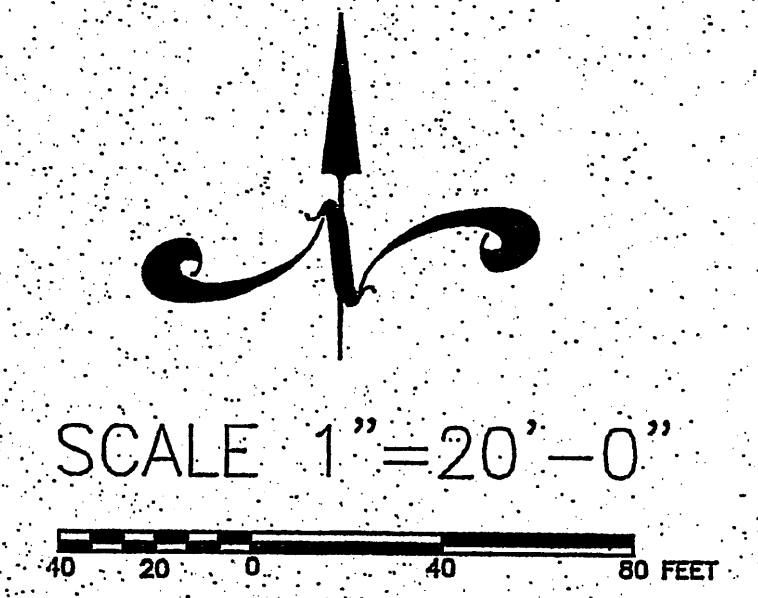
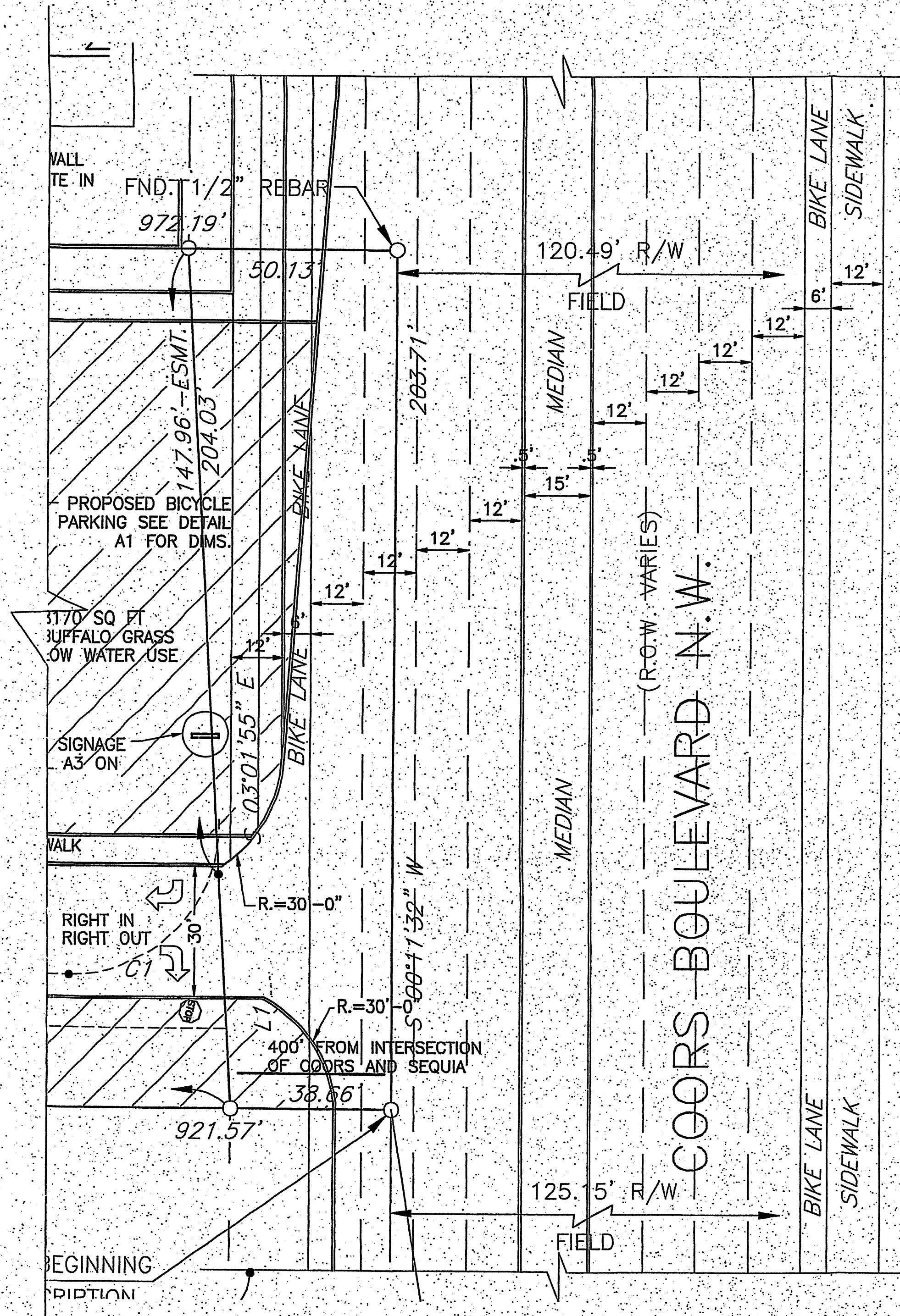
NOTE: ALL LANDSCAPING SHALL BE PROVIDED WITH A DRIP IRRIGATION SYSTEM CONTROLLED BY AN AUTOMATIC TIMER. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE OF THE SYSTEM.

LANDSCAPE CALCULATIONS

TOTAL SF	183,839.69 SF
SF OF BLDGS	73,000 SF
NET SF:	183,839.69 - 73,000 = 770,839.69 SF
% OF LANDSCAPE REQUIRED	770,839.69 X .15 = 16,626 SF
SF OF LANDSCAPE PROVIDED	20,550.5 SF

GLOBAL STORAGE  
3501 COORS BOULEVARD N.W.  
ALBUQUERQUE, NEW MEXICO 87120

Date	5-17-07
Scale	1" = 40' 0"
Drawn	PENNY GENTER
Job	0513
Sheet	102
Of	Sheets



LINE TABLE

LINE	DIRECTION	DISTANCE
L1	S 03°01'55" E	56.07'
L2	S 89°53'05" E	80.00'
L3	N 00°06'55" E	18.00'
L4	S 00°06'55" W	30.00'
L5	N 13°45'25" W	30.90'

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	36.00'	58.53'	52.29'	N 43°32'30" E	93°08'50"

\* ADDITIONAL RIGHTS-OF-WAY TO BE ACQUIRED BY THE CITY OF ALBUQUERQUE.

ACS CONTROL STATION "NM 448-N4B" NEW MEXICO STATE PLANE COORDINATE SYSTEM (CENTRAL ZONE)(NAD 1927)  
 Y=1,502,080.28  
 X= 365,122.05  
 G-C=0.9996762  
 Δα = -00°15'34"  
 ELEV.=5,113.596

SEE SHEET 108 FOR STREET CIRCULATION PLAN

VILLA DE PAZ  
 FILED 01/05/73  
 VOL. D5, FOL. 84

NOTE: THIS DRAWING IS FOR ILLUSTRATIVE PURPOSES ONLY. THIS PLAN WAS APPROVED WITH CONDITIONS BY THE EPC.

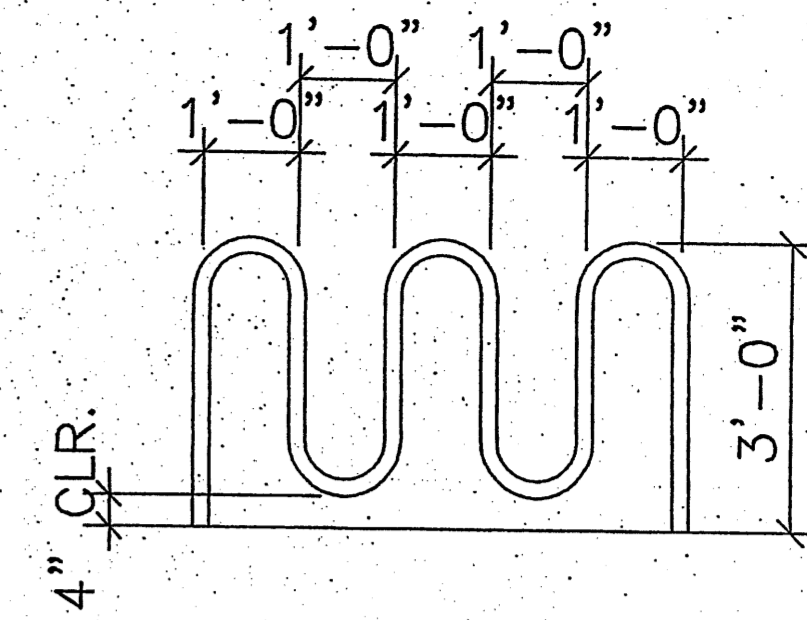
PARKING CALCULATIONS:  
 ACTUAL SQ. FT. LEASABLE 143683 107762

PARKING CALCS.  
 STORAGE= 1/2000 SQ. FT.  
 BIKE REQ.=1/20 PARKING  
 HANDICAP REQ.=1/20 PARKING

REQUIRED  
 STORAGE: 71  
 HANDICAP: 3  
 BIKE: 3

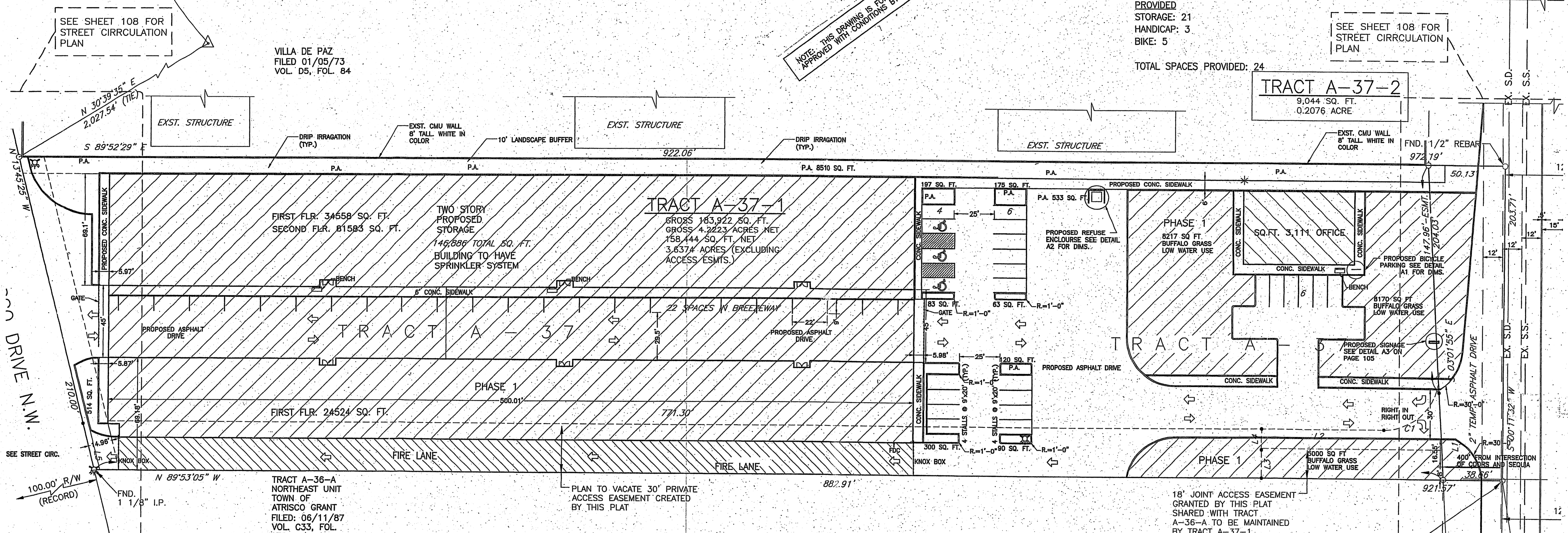
PROVIDED  
 STORAGE: 21  
 HANDICAP: 3  
 BIKE: 5

TOTAL SPACES PROVIDED: 24

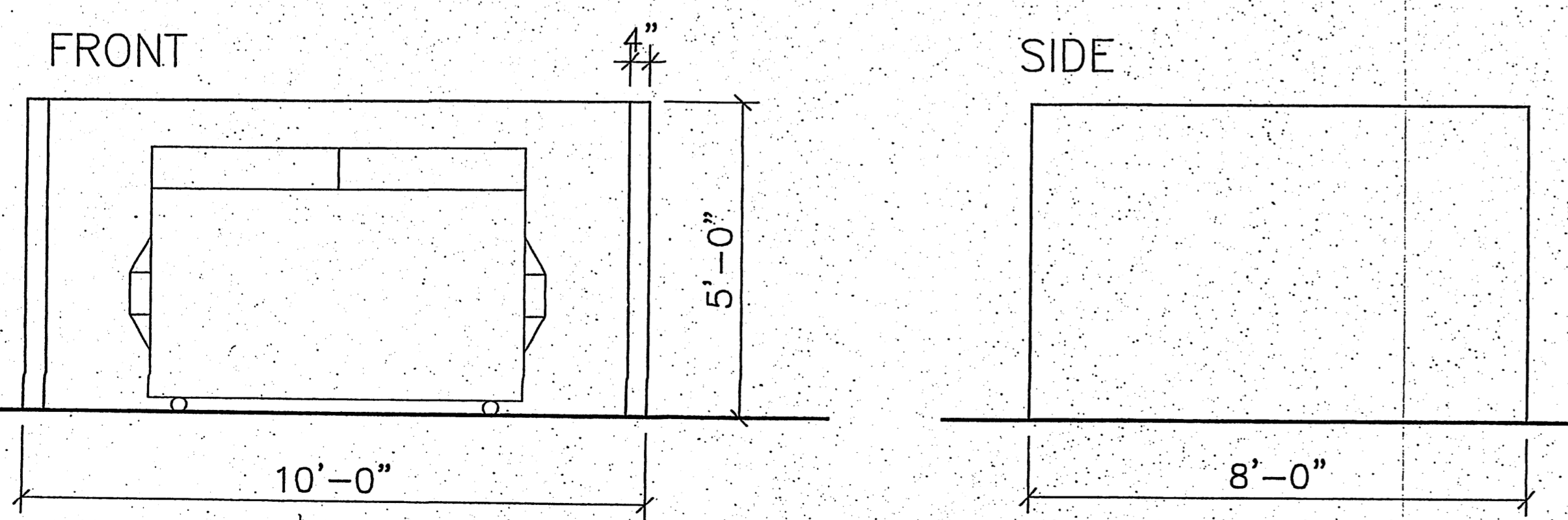


DETAIL A1 1/2" = 1'-0"

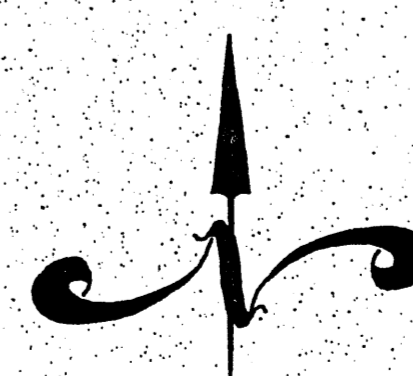
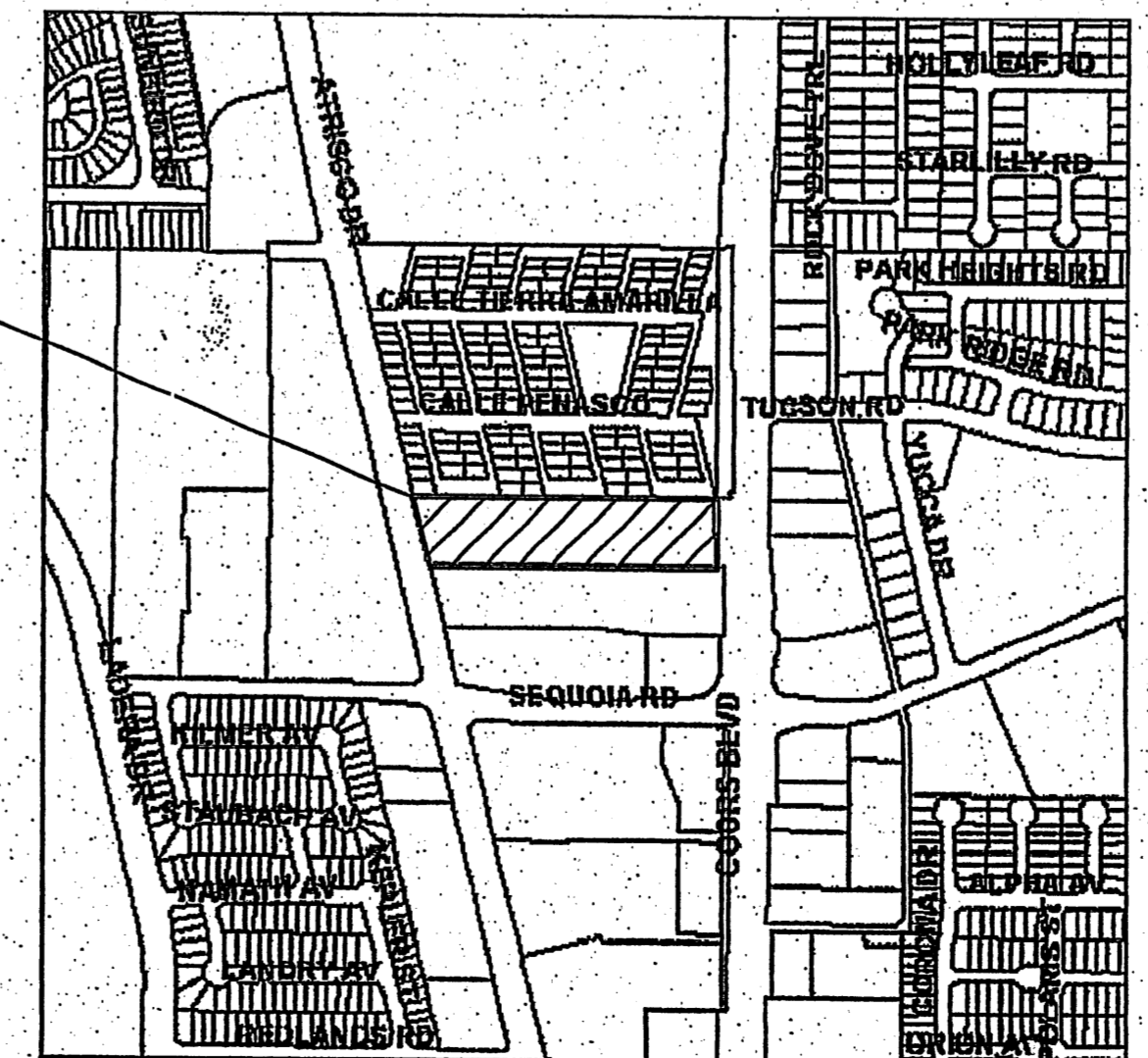
SEE SHEET 108 FOR STREET CIRCULATION PLAN



NOTE: EXIST. WATER LINE LOCATED FURTHER SOUTH ON ATRISCO



DETAIL A2 1/2" = 1'-0"



SCALE 1" = 30'-0"  
 0 20 40 80 FEET

POINT OF BEGINNING LEGAL DESCRIPTION  
 TRACT A-36-B NORTHEAST UNIT TOWN OF ATRISCO GRANT  
 FILED: 06/11/87 VOL. C33, FOL. 178

ACS CONTROL STATION "NM 448-N4A" NEW MEXICO STATE PLANE COORDINATE SYSTEM (CENTRAL ZONE)(NAD 1927)  
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 Δα = -00°15'34"  
 ELEV.=5,104.408

107

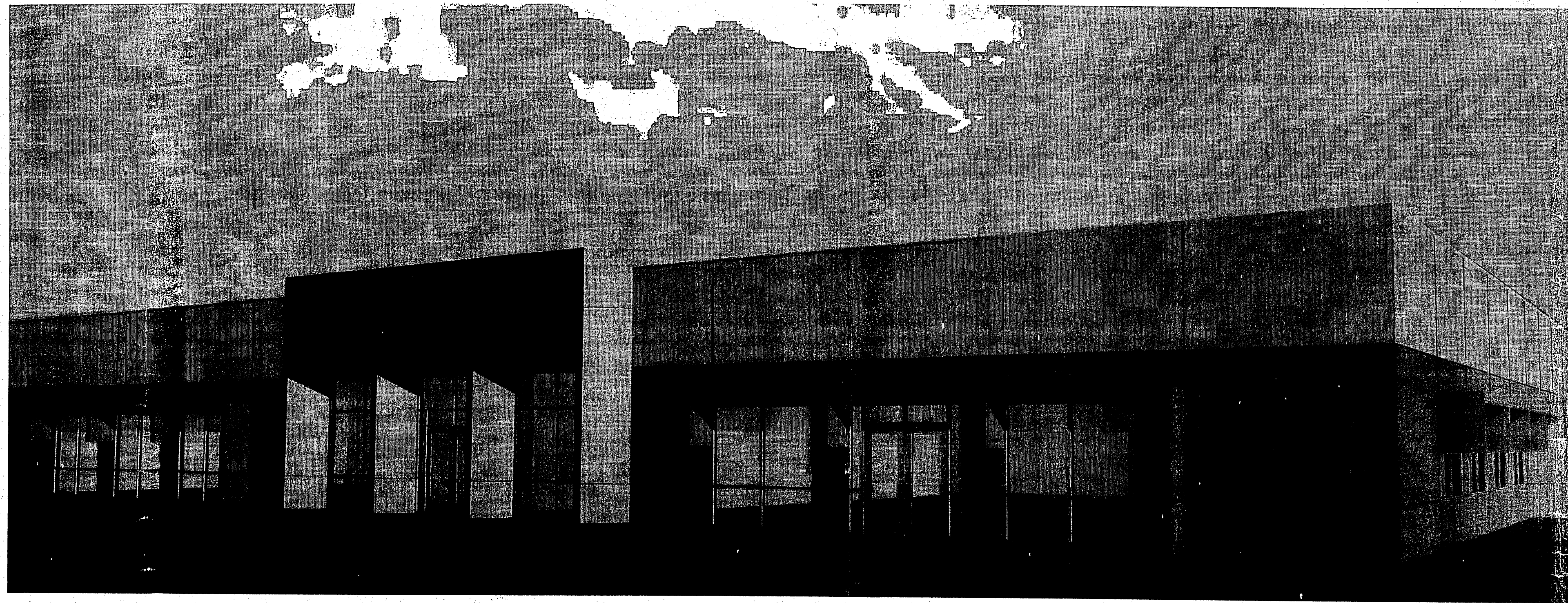
SUJAY THAKUR COORS AND ATRISCO PRE-APPROVED STORAGE UNIT SITE PLAN

SUJAY THAKUR COORS AND ATRISCO STORAGE UNIT

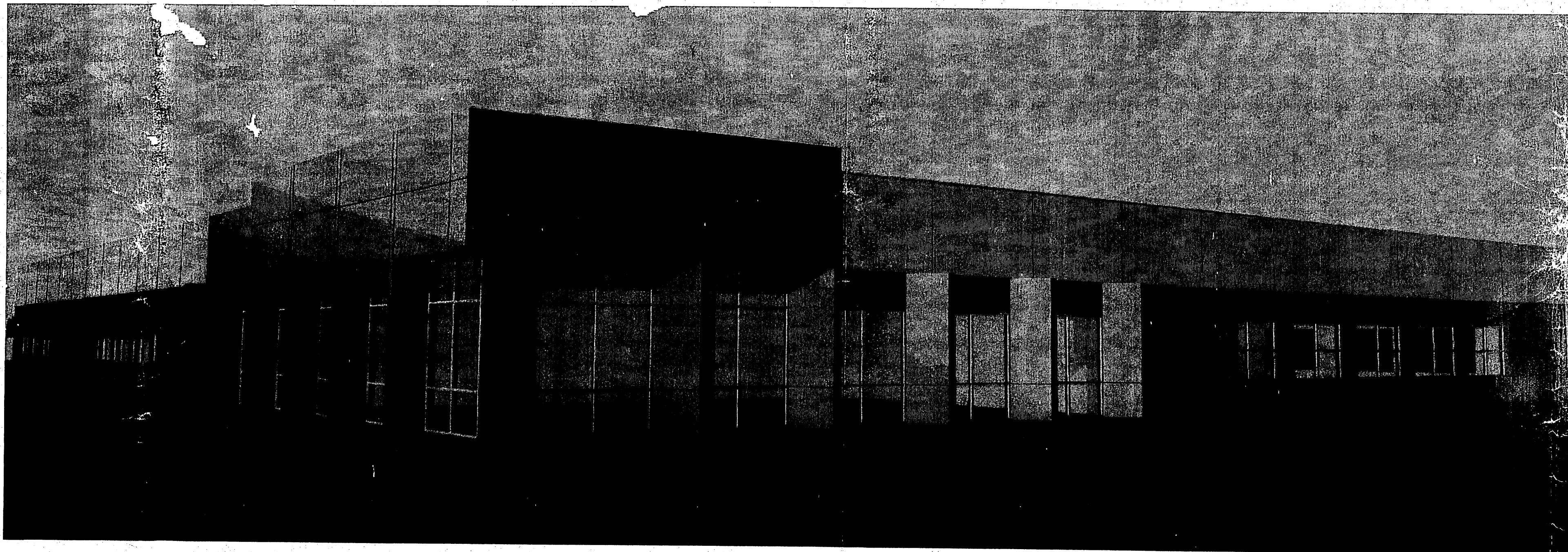
CD&D

CD&D CONSULTING & DESIGN, LLC  
 3800 AUSTIN AVENUE, SUITE 100  
 ALBUQUERQUE, NM 87122  
 TEL: 505.263.1111 FAX: 505.263.1112  
 WWW.CDANDD.COM

DRAWN BY: D. BOONE  
 DATE: 04/01/2006  
 SCALE: AS NOTED



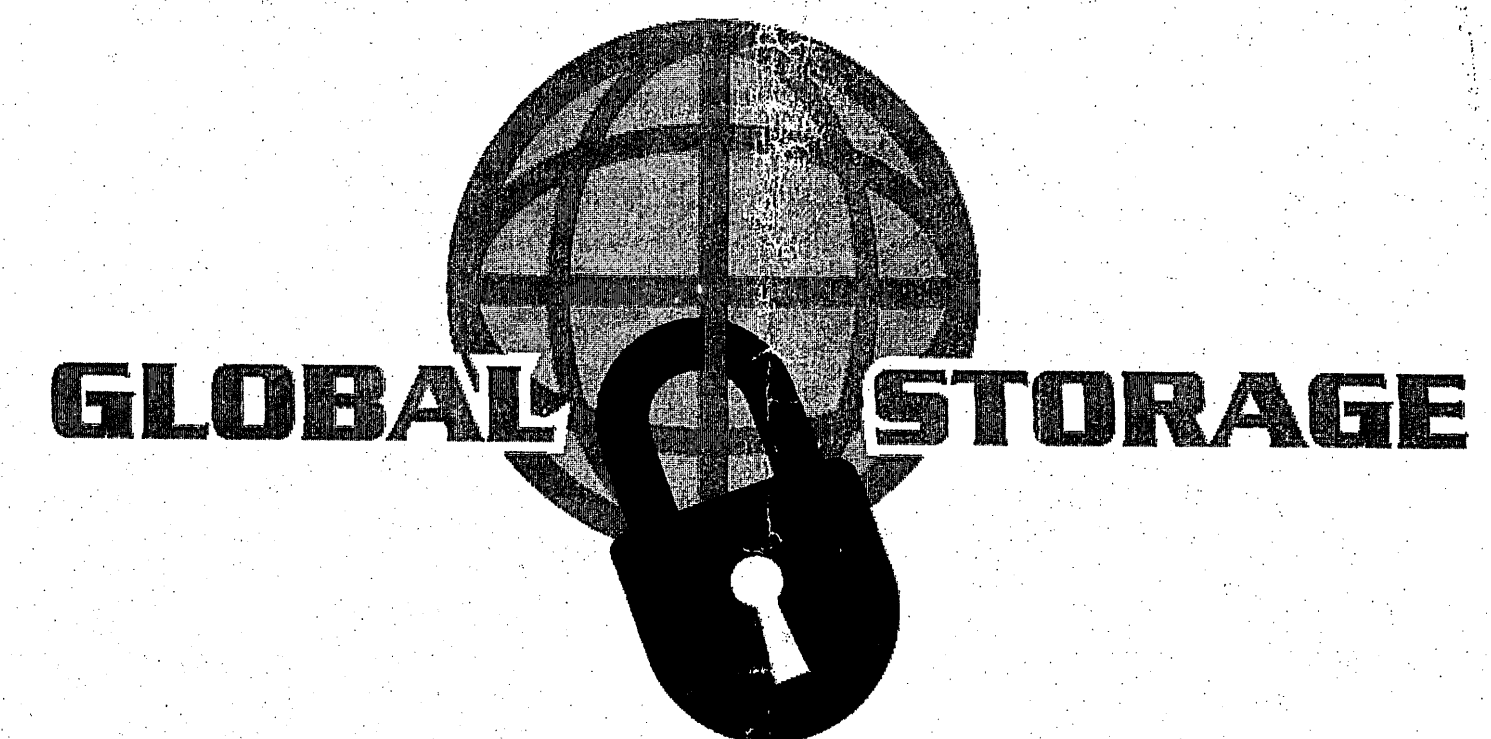
BUILDING "A" - VIEW OF ENTRY



BUILDING "A" - VIEW FROM COORS BOULEVARD

## SHEET INDEX

100.....	COVER
101.....	SITE PLAN
102.....	LANDSCAPE PLAN
103.....	GRADING & UTILITY PLAN
104.....	BUILDING ELEVATIONS
105.....	BUILDING ELEVATIONS
106.....	FUTURE COORS CORRIDOR/ SITE ACCESS
107.....	PRE-APPROVED EPC SITE PLAN



PROJECT # 0701  
 DATE: 30 JAN 2007  
 DRAWN BY:  
 SCALE: AS NOTED

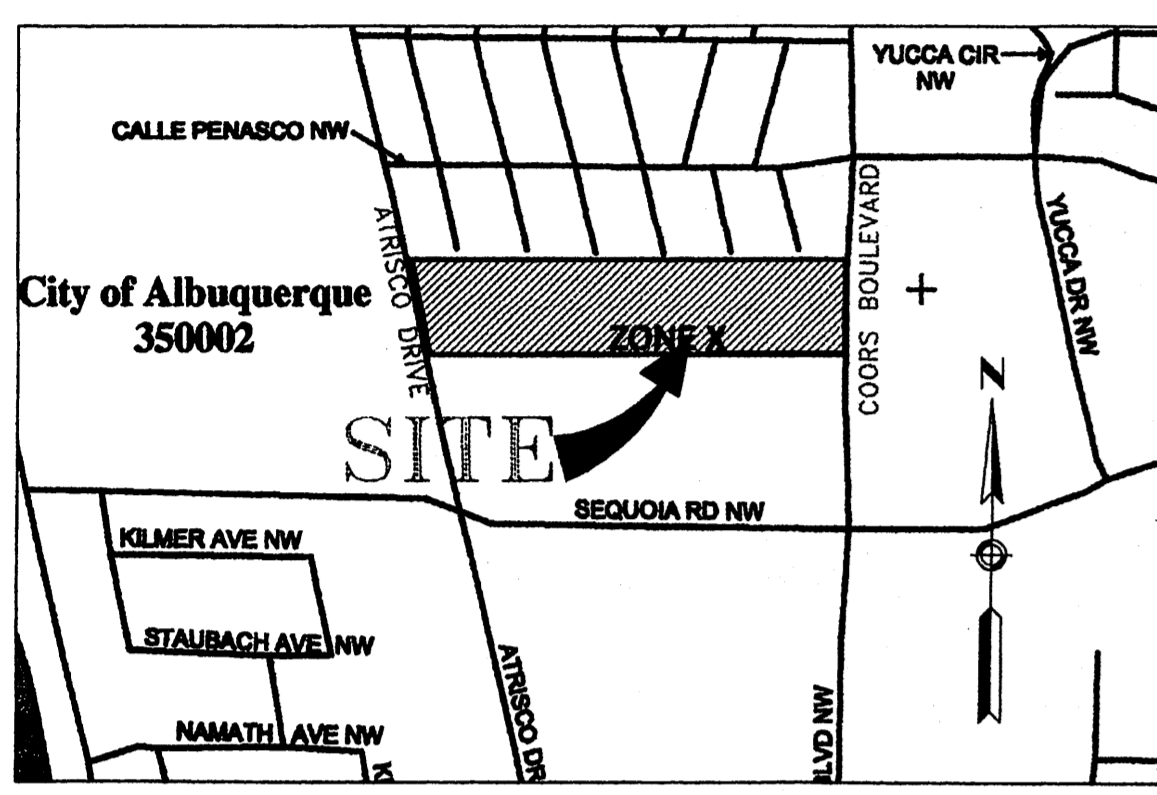
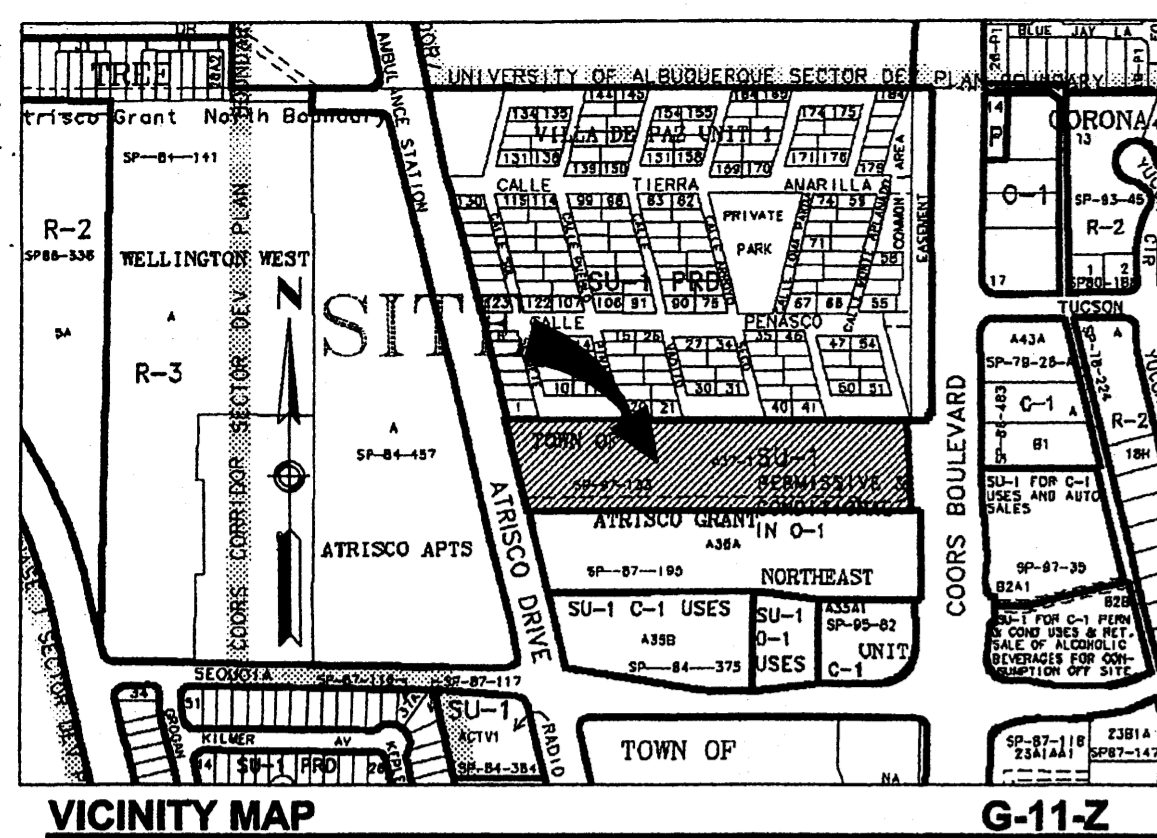
100

GLOBAL STORAGE  
 3501 COORS BOULEVARD NW  
 ALBUQUERQUE, NEW MEXICO 87120

**BakerAD**

310 SILVER AVENUE SE ALBUQUERQUE, NEW MEXICO 87106  
 T 505.254.4897 F 505.254.4897 www.bakerad.com

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**LEGEND**

- CONCRETE SIDEWALK
- LANDSCAPE AREA
- ENTRY DOOR
- PROPOSED BIKE RACK LOCATION
- CONCRETE WHEEL STOP
- HC ACCESSIBLE SIGN ON BLDG WALL
- HC SYMBOL PAVEMENT MARKING
- TRAFFIC FLOW DIRECTION
- EXISTING STORM SEWER
- EXISTING STORM SEWER MANHOLE W/ BEEHIVE GRATE
- PROPOSED DOUBLE 'D' STORM INLET
- GRADE BREAK
- EXISTING GUARDPOST WITH CABLE
- SET 5/8" REBAR W/ CAP LS 13979
- FOUND 3/8" REBAR AS NOTED

**BASIS OF BEARINGS**

NAD 27 NEW MEXICO CENTRAL ZONE

**KEYED NOTES**

- 1 RELOCATE TELEPHONE PEDESTAL.
- 2 REMOVE GUARDPOST WITH CABLE.
- 3 EXISTING CMU WALL TO REMAIN.
- 4 EXISTING GUARDPOST WITH CABLE TO REMAIN.
- 5 CONSTRUCT STANDARD CURB & GUTTER PER COA STD DWG #2415A.
- 6 CONSTRUCT 6' OFFSET TYPE SIDEWALK PER COA STD DWG #2430.
- 7 CONSTRUCT PRIVATE ENTRANCE PER COA STD DWG #2426.
- 8 CONSTRUCT CONCRETE VALLEY GUTTER PER COA STD DWG #2420.
- 9 CONSTRUCT FLEXIBLE ARTERIAL/COLLECTOR PAVEMENT PER COA STD DWG #2407.
- 10 CONSTRUCT TEMPORARY ASPHALT CURB PER COA STD DWG #2415A.
- 11 CONSTRUCT FLEXIBLE RESIDENTIAL PAVEMENT PER COA STD DWG #2405.
- 12 CONSTRUCT MEDIAN CURB & GUTTER PER COA STD DWG #2415A.
- 13 CONSTRUCT CONCRETE HC RAMPS.
- 14 CONSTRUCT DOUBLE "D" STORM INLET W/ 24-IN CONNECTOR PIPE, PER COA STD DWG #2206.
- 15 REPLACE BEEHIVE GRATE & FRAME W/ NEENAH R-2554 HD GRATE & FRAME.
- 16 CONSTRUCT CMU RETAINING WALL/GARDEN WALL PER ARCHITECTURAL/STRUCTURAL DETAILS.
- 17 CONSTRUCT CMU BLOCK TRASH BIN ENCLOSURE PER COA SOLID WASTE DEPARTMENT SPECIFICATIONS.
- 18 4" WIDE STRIPE PAINTED ON ASPHALT
- 19 INSTALL LANDSCAPE PER LANDSCAPE ARCHITECT DETAILS.

**LEGAL DESCRIPTION:**  
Tract A-37-1-A, Northeast Unit, Town of Atrisco Grant, City of Albuquerque, New Mexico.

**FLOOD HAZARD ZONE:**  
Tract A-37-1-A is located in Flood Hazard Zone X (i.e., Areas determined to be outside 500-year floodplain) designated on the Federal Emergency Management Agency's (FEMA's) Flood Insurance Rate Map Panel No. 35001C0327E (November 19, 2003).

**EXISTING SITE CONDITIONS:**  
Tract A-37-1-A is undeveloped. Tract A-37-1-A is bounded on the east by Coors Blvd. (arterial roadway) and on the west by Atrisco Drive, NW (collector roadway). Sidewalks, curbs, and gutters are not currently present along these roadways. Runoff from one small offsite drainage basin within the Via de Paz subdivision enters onto Tract A-37-1-A.

**PROPOSED IMPROVEMENTS:**  
Proposed improvements include four (4) outdoor storage buildings (44,800 sf) and one office/indoor storage building (28,000 sf). The outdoor storage buildings will be situated on the western two-thirds of the site. The proposed office/indoor storage building will be located on the eastern third of the site. Other improvements include grading and drainage modifications, asphalt-paved parking areas, site utilities, and landscaping.

**DRAINAGE ANALYSIS:**  
REFERENCE: City of Albuquerque, Development Process Manual -Vol. 2, Section 22.2 - Hydrology, January, 1993.

Principal Design Storm: 100-year 6-hour event  
Precipitation Zone 1 (Table A-1)  
Excess Precipitation (Table A-8):  
E<sub>1</sub> = 0.44 in (Land Treatment 'A'), E<sub>2</sub> = 0.67 in (Land Treatment 'B')  
E<sub>3</sub> = 0.99 in (Land Treatment 'C'), & E<sub>4</sub> = 1.97 in (Land Treatment 'D')

Peak Discharge (Table A-9):  
Q<sub>P1</sub> = 1.29 ft<sup>3</sup>/sec-acre (Land Treatment 'A')  
Q<sub>P2</sub> = 2.03 ft<sup>3</sup>/sec-acre (Land Treatment 'B')  
Q<sub>P3</sub> = 2.87 ft<sup>3</sup>/sec-acre (Land Treatment 'C')  
Q<sub>P4</sub> = 4.37 ft<sup>3</sup>/sec-acre (Land Treatment 'D')

**On-Site 'Existing' Condition (Tract A-37-1):**  
Total Site Area = 183,922 ft<sup>2</sup> x 1 acre/43,560 ft<sup>2</sup> = 4.22 acres  
100% Land Treatment 'C' (Table A-4)

E = 0.99 in  
V<sub>360</sub> = 0.99 in x 4.22 acres x 1 ft/12 in  
= 0.348 acre-ft x 43,560 ft<sup>2</sup>/acre  
= 15,174 ft<sup>3</sup>

Total Q<sub>P</sub> = (Q<sub>P3</sub> x 4.22 acres)  
= 12.12 ft<sup>3</sup>/sec

**On-Site 'Post Development' Condition (Tract A-37-1):**  
7.22% Land Treatment 'B', 17.57% Land Treatment 'C'  
75.20% Land Treatment 'D'

Weighted E = ((E<sub>2</sub> x 0.30 acres) + (E<sub>3</sub> x 0.74 acres) + (E<sub>4</sub> x 3.16 acres))/4.22 acres  
= 1.70 in

V<sub>360</sub> = (1.70 in x 4.22 acres) x 1 ft/12 in  
= 0.60 acre-ft x 43,560 ft<sup>2</sup>/acre  
= 26,115 ft<sup>3</sup>

Total Q<sub>P</sub> = (Q<sub>P2</sub> x 0.30 acres) + (Q<sub>P3</sub> x 0.74 acres) + (Q<sub>P4</sub> x 3.16 acres)  
= 16.62 ft<sup>3</sup>/sec

**Off-Site 'Post Development' Condition (Via de Paz):**  
Drainage Basin Area = 23,527 ft x 1 acre/43,560 ft<sup>2</sup> = 0.54 acres  
7.84% Land Treatment 'B', 92.16% Land Treatment 'D'

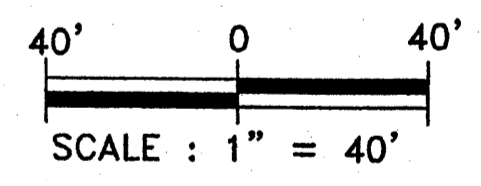
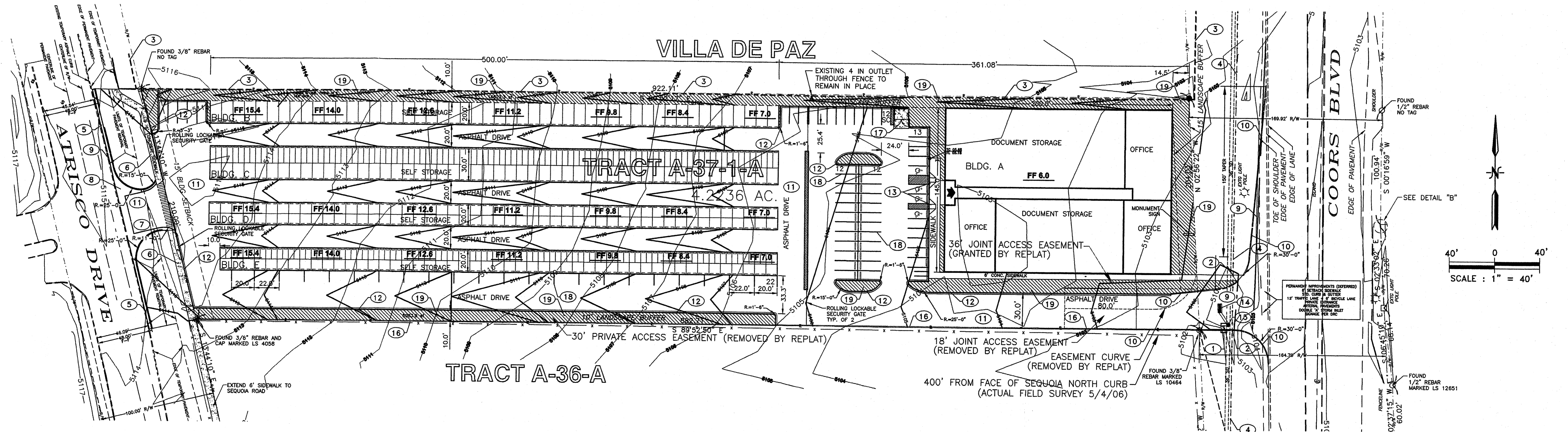
Weighted E = ((E<sub>2</sub> x 0.04 acres) + (E<sub>4</sub> x 0.50 acres))/0.54 acres  
= 1.87 in

V<sub>360</sub> = (1.87 in x 0.54 acres) x 1 ft/12 in  
= 0.084 acre-ft x 43,560 ft<sup>2</sup>/acre  
= 3,663 ft<sup>3</sup>

Total Q<sub>P</sub> = (Q<sub>P2</sub> x 0.04 acres) + (Q<sub>P3</sub> x 0.50 acres)  
= 2.26 ft<sup>3</sup>/sec

All runoff from Tract A-37-1-A and offsite drainage basins is discharged to existing storm drains in Sequoia Road and Coors Boulevard. The 'Post Development' peak discharge from Tract A-37-1-A will have a minor impact on the Coors Boulevard storm drain. Free discharge from Tract A-37-1-A is recommended for the following reasons:

1. The 'Post Development' runoff from Tract A-37-1-A is a small percentage of the total runoff from the entire offsite drainage basin.
2. The Coors Boulevard storm drain has sufficient capacity to convey the 'Post Development' runoff from Tract A-37-1-A.
3. There are no storm water ponds on parcels adjacent to A-37-1-A.



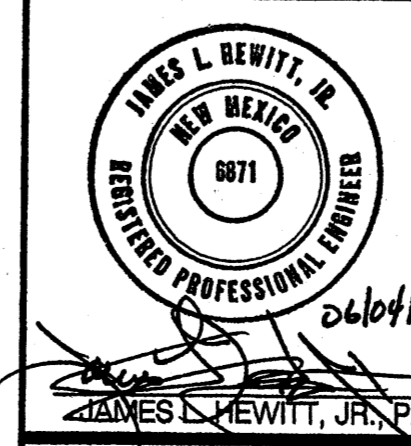
TBM: 3/8" REBAR W/CAP 10464  
SE CORNER TRACT A-37-1  
TBM ELV. = 5101.6885'

BM: ACS MON. NM 448-N4A  
N MEDIAN COORS BLVD. NW & SEQUOIA RD. NW  
BM ELV. = 5104.408

**ENGINEER'S CERTIFICATION:**

THE ENGINEER HAS PERSONALLY VISITED AND INSPECTED THE SITE. NO GRADING, FILLING, OR EXCAVATIONS HAVE OCCURRED AFTER THE TOPOGRAPHIC SURVEY WAS COMPLETED ON AUGUST 1, 2005.

JAMES L. HEWITT, JR., P.E. # 6871  
DATE: 06/04/07



**RHOMBUS P.A., INC.**  
FACILITIES ENGINEERS • ENVIRONMENTAL CONSULTANTS

e-mail: rhombus@nmia.com  
web site: www.RHOMBUSPA.COM

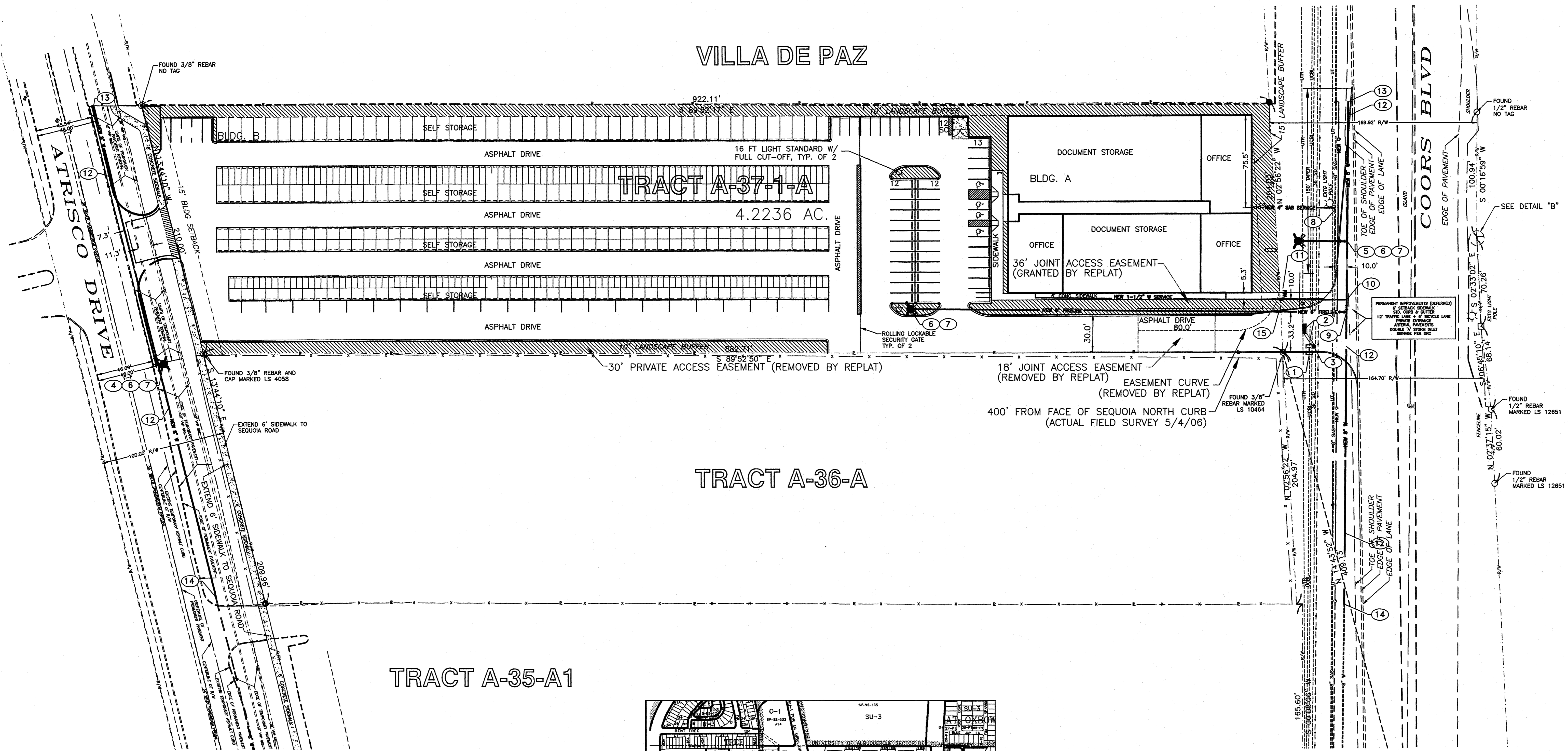
2620 San Mateo NE Suite B Albuquerque, NM 87110  
TEL. (505) 881-6890 FAX (505) 881-6896

PROJECT TITLE:  
**GLOBAL STORAGE OFFICE COMPLEX**  
Tract A-37-1-A, Northeast Unit, Town of Atrisco Grant  
3501 COORS BLVD NW ALBUQUERQUE NEW MEXICO

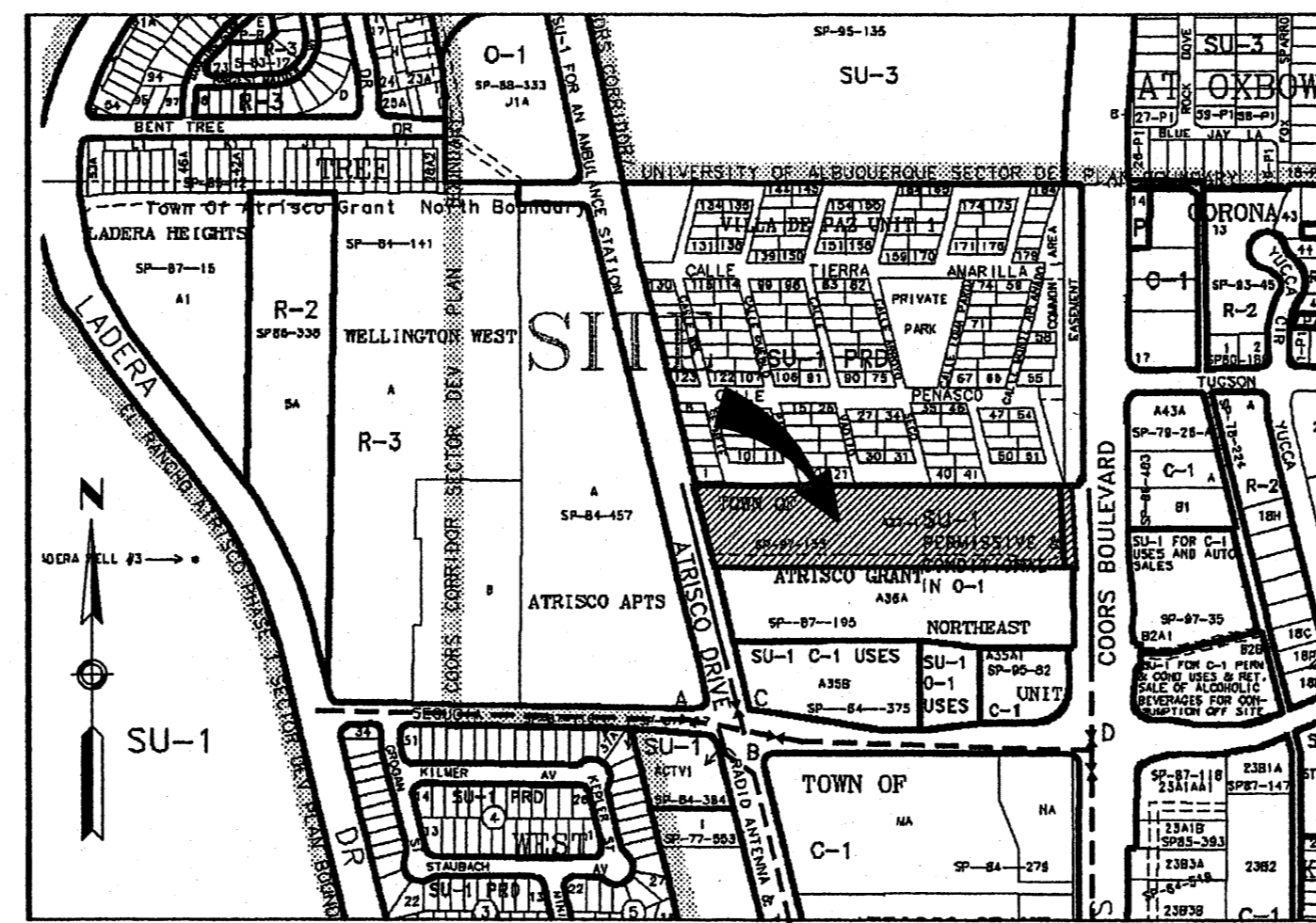
SHEET TITLE:  
GRADING & DRAINAGE PLAN

MAP NO: G-11-Z  
RHOMBUS JOB NO: 05-C2-33  
SHEET: C-3

# VILLA DE PAZ



## TRACT A-35-A1

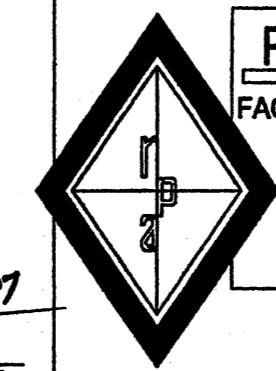
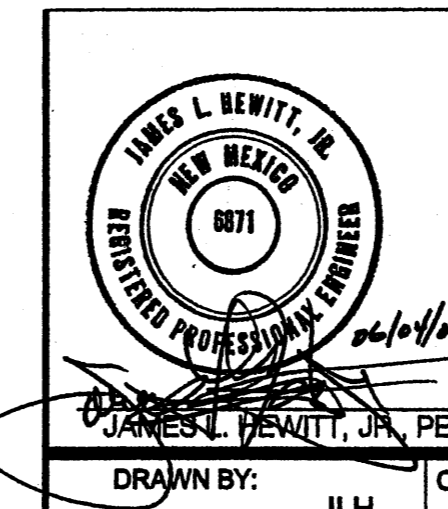


LOCATION MAP  
NOT TO SCALE  
MAP NO: G-11-Z

### WATER SHUTOFF PLAN

- CONSTRUCT 8" WATER MAIN EXTENSION IN ATRISCO DRIVE. CLOSE VALVES A, B AND C AT SEQUOIA ROAD DURING UNPRESSURIZED CONNECTION TO EXISTING DEADEND 8" WATER MAIN IN ATRISCO DRIVE.
- CONSTRUCT 8" WATER MAIN EXTENSION IN COORS ROAD. CLOSE VALVE D AT SEQUOIA ROAD DURING UNPRESSURIZED CONNECTION TO EXISTING DEADEND 8" WATER MAIN IN COORS ROAD.
- NOTIFY CITY OF ALBUQUERQUE WATER SYSTEMS DIVISION (857-8200) SEVEN (7) WORKING DAYS PRIOR TO EXECUTION OF THE WATER SHUTOFF PLAN.
- ONLY WATER SYSTEMS DIVISION PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.

APPROVED PLANS CHECKING OFFICE  
924-3611  
APPROVED/DISAPPROVED  
HYDRANT(S) ONLY  
RCJ  
SIGNATURE & DATE  
6-6-07



**RHOMBUS P.A., INC.**  
FACILITIES ENGINEERS & ENVIRONMENTAL CONSULTANTS  
e-mail: rhombus@nmia.com  
web site: www.RHOMBUSPA.COM  
2620 San Mateo NE Suite B Albuquerque, NM 87110  
TEL. (505) 881-6690 FAX (505) 881-6886

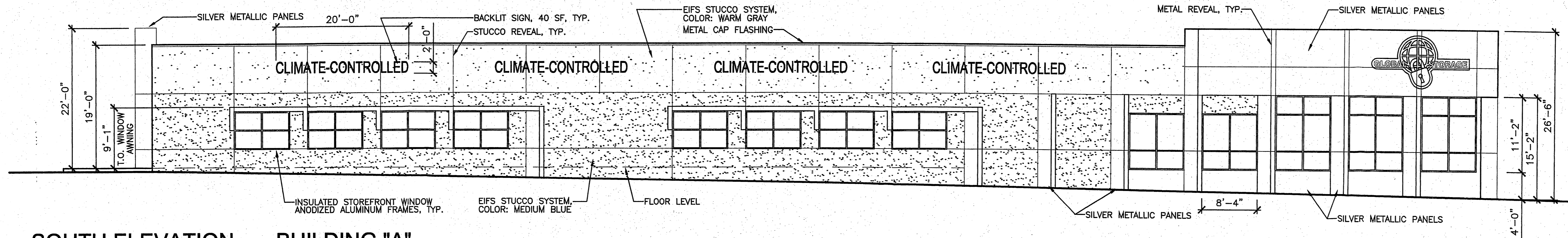
PROJECT TITLE:		GLOBAL STORAGE OFFICE COMPLEX	
		Tract A-37-1-A, Northeast Unit, Town of Atrisco Grant	
		3501 Coors Blvd NW ALBUQUERQUE NEW MEXICO	
SHEET TITLE:		SITE UTILITY PLAN 103A	
MAP NO:	G-11-Z	RHOMBUS JOB NO:	05-C2-33
SHEET	C-4		

#### LEGEND

- INSTALL NEW LIGHT POLE
- NEW FIRE HYDRANT
- EXISTING VERY HIGH PRESSURE GAS MAIN
- EXISTING GAS MAIN
- EXISTING TELEPHONE CABLE
- EXISTING TRAFFIC AND POWER CABLE
- EXISTING FIBER OPTIC CABLE
- EXISTING SEWER MAIN
- EXISTING SEWER MANHOLE
- NEW SEWER CLEANOUT
- NEW WATER METER
- EXISTING STORM SEWER
- EXISTING STORM SEWER MANHOLE W/ BEEHIVE GRATE
- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- PROPOSED GAS MAIN
- PROPOSED DOUBLE 'D' STORM INLET
- SET 5/8" REBAR W/ CAP LS 13979
- FOUND 3/8" REBAR AS NOTED

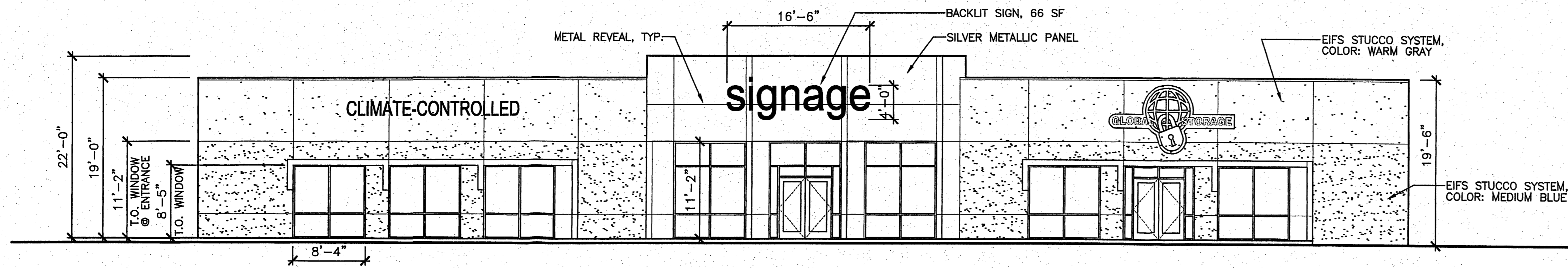
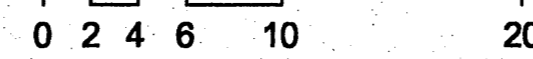
#### KEYED NOTES

- RELOCATE TELEPHONE PEDESTAL.
- CONSTRUCT DOUBLE "D" STORM INLET W/ 24-IN CONNECTOR PIPE, PER COA STD DWG #2206.
- REPLACE BEEHIVE GRATE & FRAME W/ NEENAH R-2554 HD GRATE & FRAME.
- INSTALL 1 - 8" X 8" X 6" TEE
  - 1 - NON-PRESSURIZED CONNECTION
- INSTALL 1 - 8" X 8" X 6" TEE
  - 1 - NON-PRESSURIZED CONNECTION
  - 1 - 6" GATE VALVE FL-MJ
  - 1 - VALVE BOX PER COA STD DWG 2326.
- INSTALL 6" C-900 WATER PIPE WITH RESTRAINED JOINTS OR BOLTED FLANGES FROM WATER MAIN. NO CONCRETE BLOCKING WILL BE ALLOWED.
- INSTALL FIRE HYDRANT PER COA STD DWG 2340.
- INSTALL 4-IN SANITARY SEWER CONNECTION PER COA STD DWG 2125.
- INSTALL 1 - 8" X 8" X 6" TEE
  - 1 - NON-PRESSURIZED CONNECTION
  - 1 - 8" GATE VALVE FL-MJ
  - 1 - 6" GATE VALVE FL-MJ
  - 2 - VALVE BOXES PER COA STD DWG 2326.
- INSTALL 1-1/2" METERED WATER SERVICE PER COA STD DWG 2363.
- INSTALL HEAVYWEIGHT METER BOX, COVER AND LID PER COA STD DWG 2369.
- INSTALL 8" WATER MAIN.
- INSTALL 8" CAP W/ CONCRETE BLOCKING PER COA STD DWG #2320.
- REMOVE 8" CAP W/ CONCRETE BLOCKING.
- INSTALL 6" FIRELINE WITH 6" GATE VALVE & VALVE BOX AT PROPERTY LINE PER COA STD DWG 2326.



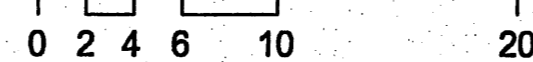
1 SOUTH ELEVATION . . . BUILDING "A"

104 SCALE: 1/8" = 1'-0"



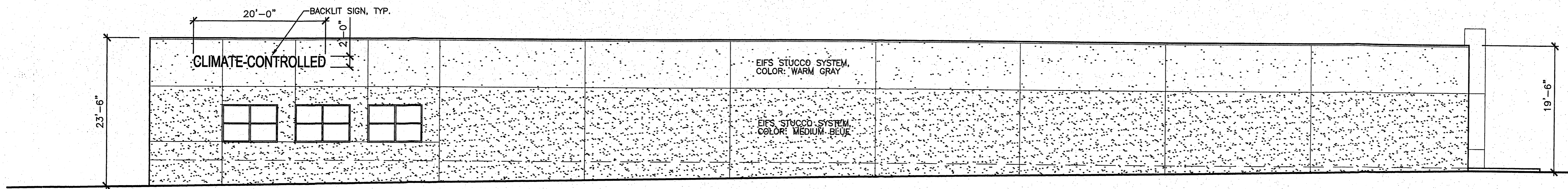
2 WEST ELEVATION . . . BUILDING "A"

104 SCALE: 1/8" = 1'-0"



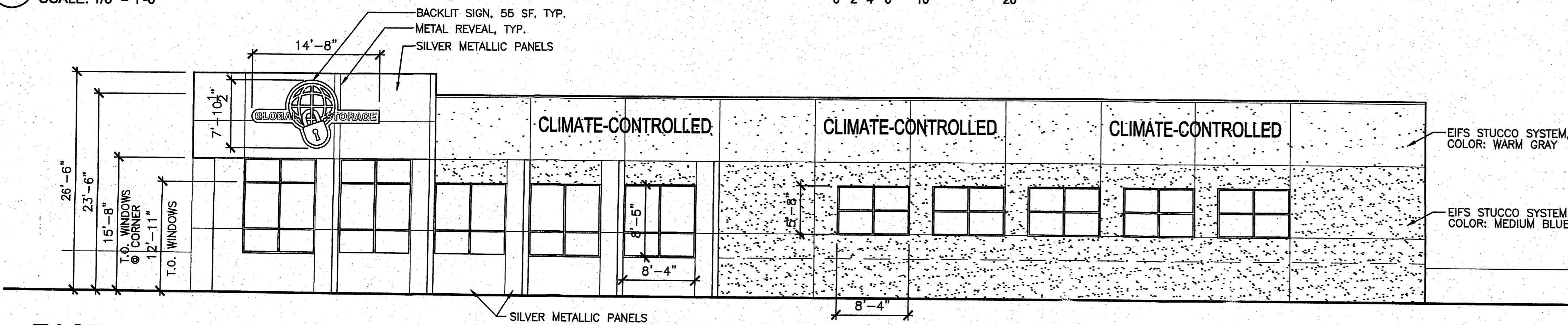
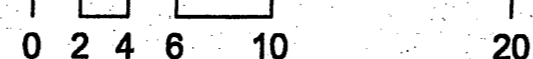
NOTE: BUILDING-MOUNTED SIGNAGE ON BUILDING A:

LOGO SIGN: 55 SF X 3 =	165 SF
TYPICAL LETTER SIGN: 40 SF X 9 =	360 SF
LARGE LETTER SIGN: 66 SF X 1 =	66 SF
<b>TOTAL SIGNAGE AREA:</b>	<b>591 SF</b>



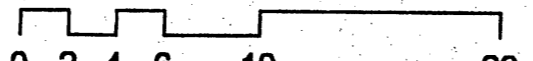
3 NORTH ELEVATION . . . BUILDING "A"

104 SCALE: 1/8" = 1'-0"

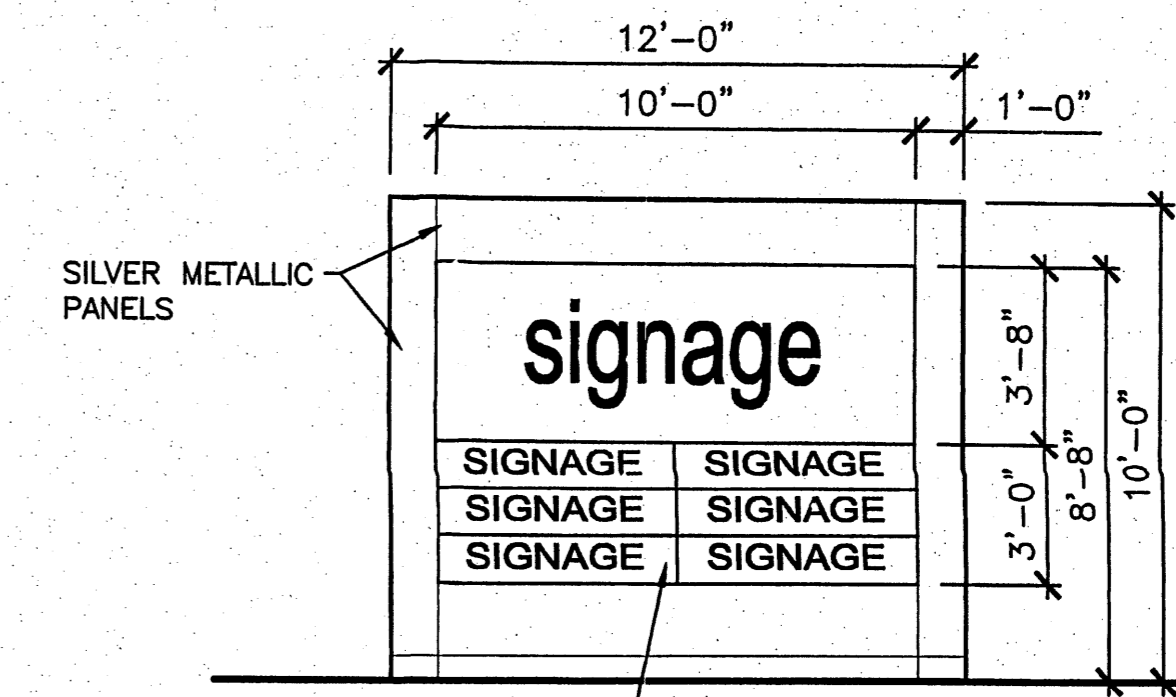


4 EAST ELEVATION . . . BUILDING "A"

104 SCALE: 1/8" = 1'-0"



NOTE: THIS IS A 2-SIDED SIGN. BOTH SIDES ARE AS SHOWN



BACKLIT PANELS, TOTAL SIGNAGE AREA: 67.5 SF

5 MONUMENT SIGN

104 SCALE: 1/4" = 1'-0"



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3110 SILVER AVENUE SE ALBUQUERQUE, NEW MEXICO 87108  
T 505.254.4687 F 505.254.4687 www.bakerad.com

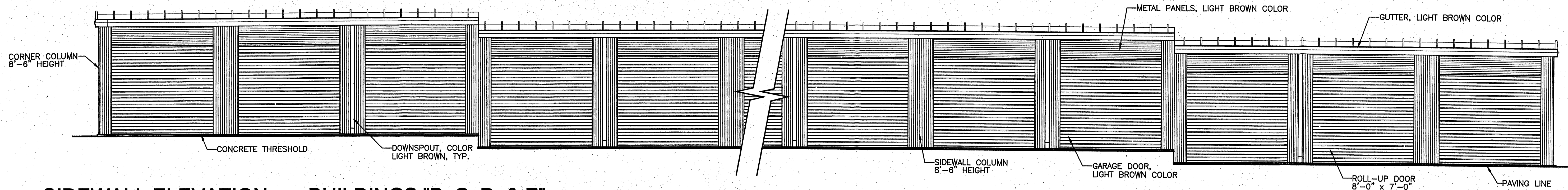
**GLOBAL STORAGE**  
3501 COORS BOULEVARD NW  
ALBUQUERQUE, NEW MEXICO 87120

PROJECT # 0701  
DATE: 29 JAN 2006  
DRAWN BY:  
SCALE: AS NOTED

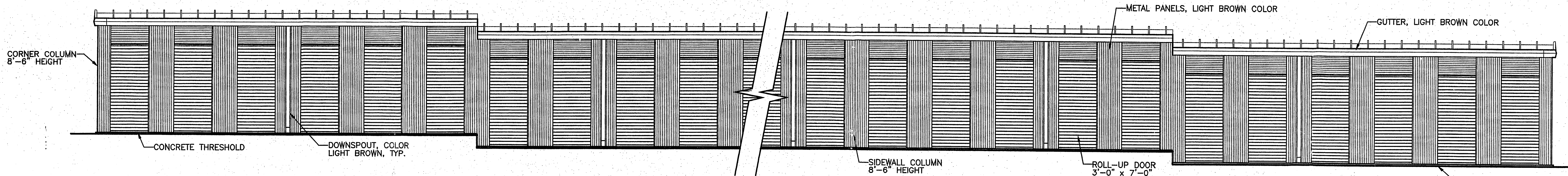
104



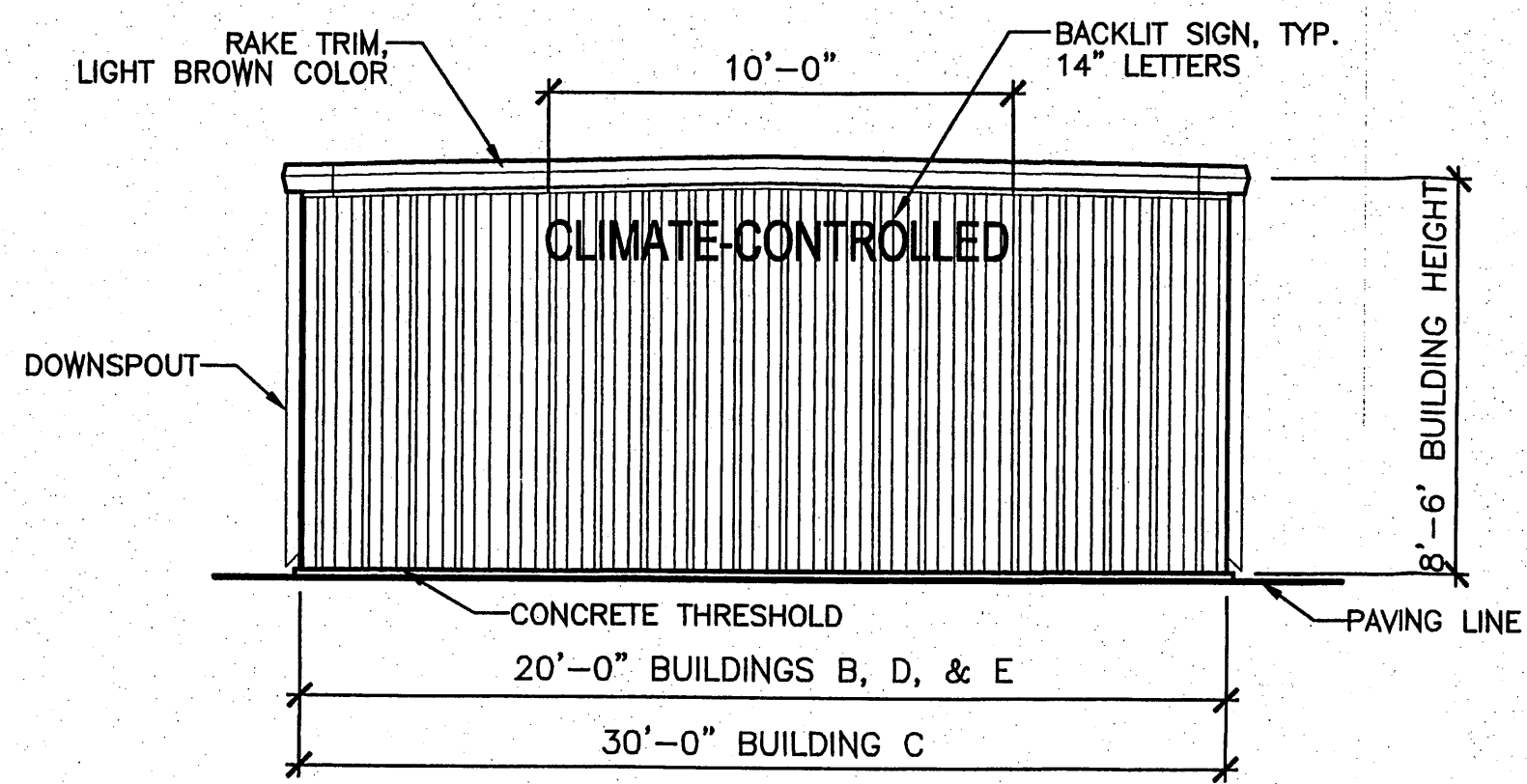
NOTE: ALL THE SELF-STORAGE BUILDINGS WILL BE AN EARTH TONED LIGHT BROWN (TAN) COLOR THROUGHOUT. THE LENGTH OF THE BUILDINGS (INCLUDING THE OVERHEAD DOORS) WILL BE SCREENED BY CONTINUOUS CONCRETE BLOCK WALLS AT THE NORTH AND SOUTH PROPERTY LINE. THE WEST END ELEVATIONS WILL BE VISIBLE FROM ATRISCO.



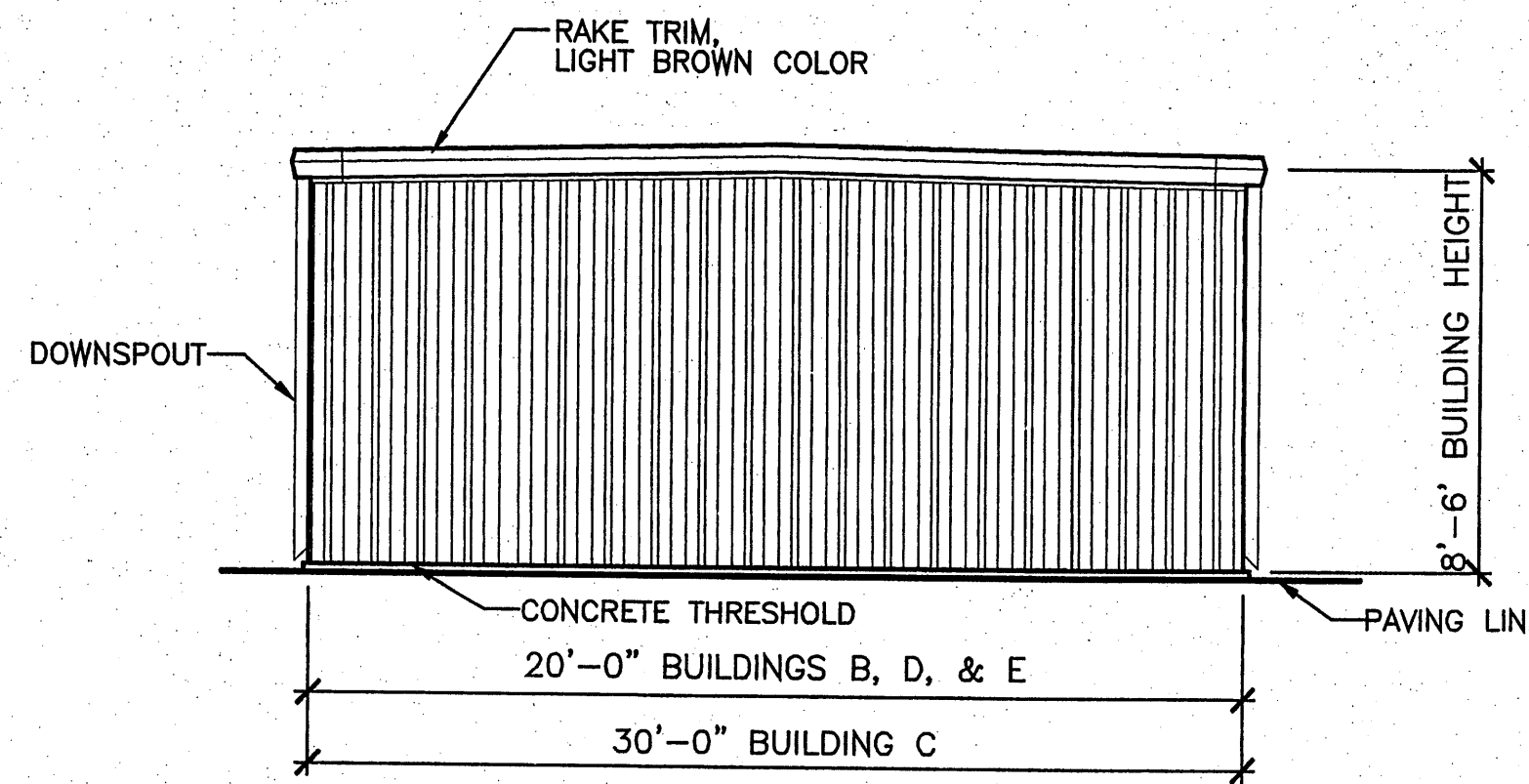
1  
105 **SIDEWALL ELEVATION . . . BUILDINGS "B, C, D, & E"**  
SCALE: 1/4" = 1'-0"



2  
105 **NORTH SIDEWALL ELEVATION . . . BUILDINGS "C & E"**  
SCALE: 1/4" = 1'-0"



3  
105 **WEST ELEVATION . . . BUILDINGS "B, C, D, & E"**  
SCALE: 1/4" = 1'-0"



4  
105 **EAST ELEVATION . . . BUILDINGS "B, C, D, & E"**  
SCALE: 1/4" = 1'-0"

NOTE: BUILDING-MOUNTED SIGNAGE ON SELF-STORAGE BUILDINGS:  
12 SF X 4 BUILDINGS = 48 SF

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T. 505.254.4897 F. 505.254.4897 www.bakerandd.com

**GLOBAL STORAGE**  
3501 COORS BOULEVARD NW  
ALBUQUERQUE, NEW MEXICO 87120

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