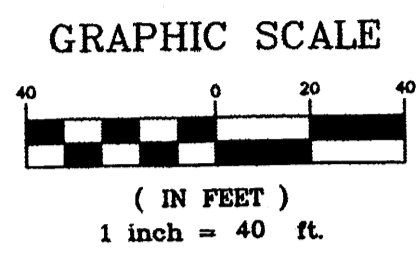
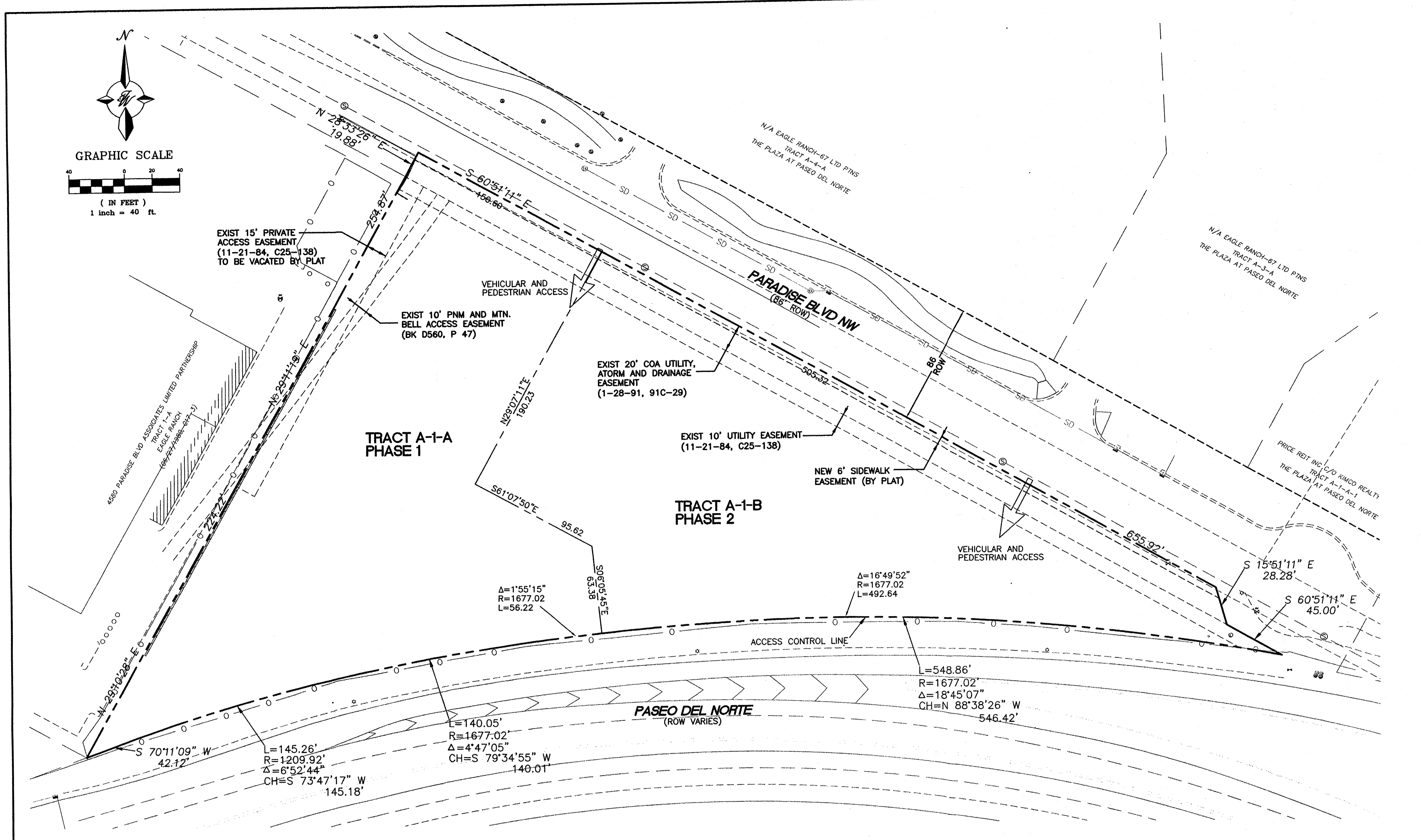


LEGAL DESCRIPTION
TRACT A1 ALBUQUERQUE WEST UNIT 2

NOTES:

- THE FOLLOWING USES ARE EXPRESSLY EXCLUDED WHETHER FIRST LISTED AS PERMISSIVE OR CONDITIONAL USES IN THE C-3 ZONE: TIRE RECAPPING OR RETREADING, CONTRACTORS YARD, EQUIPMENT RENTAL, BULK FUEL STORAGE OR SALES, AUTO DISMANTLING, OUTDOOR BUILDING MATERIAL STORAGE OR SALES UNLESS INCIDENTAL TO RETAIL SALES AND ADEQUATELY SCREENED.
- PURSUANT TO THE ANNEXATION ZONING AND SPECIAL USE OF PARAMETERS FOR THIS PROPERTY THE FOLLOWING MATTERS ARE DELEGATED TO THE DEVELOPMENT REVIEW BOARD FOR APPROVAL:
 - ALL PLATTING OR REPLATTING.
 - SITE DEVELOPMENT PLANS FOR BUILDING PERMITS PROVIDED THAT:
 - THE PROPOSED USES ARE EITHER RESIDENTIAL OR AMONG THOSE FIRST LISTED AS PERMISSIVE IN THE C-1 OR O-1 ZONES, AND;
 - STRUCTURES DO NOT EXCEED 2.5 STORIES IN HEIGHT, AND;
 - 15% OF THE PAVED PARKING AREAS ARE LANDSCAPED AND BUFFER LANDSCAPING IS IN ACCORDANCE WITH SECTION 40.J OF THE COMPREHENSIVE ZONING ORDINANCE;
 - THE F.A.R. DOES NOT EXCEED 0.50.
- PURSUANT TO THE ANNEXATION ZONING AND SPECIAL USE OF PARAMETERS FOR THIS PROPERTY, IF A SITE DEVELOPMENT PLAN FOR SUBDIVISION IS APPROVED BY THE E.P.C., ALL SUBSEQUENT SITE DEVELOPMENT PLANS FOR BUILDING PERMITS SHALL BE DELEGATED TO THE DEVELOPMENT REVIEW BOARD.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
- LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINE OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALL WITH TOP OF EQUIPMENT BELOW TO OF SCREEN WALL.
- PEDESTRIAN CROSSWALKS, INCLUDING PEDESTRIAN PATHWAYS AND DRIVE AISLE CROSSINGS SHALL BE CONSTRUCTED OF A MATERIAL OTHER THAN ASPHALT, SUCH AS TEXTURED (SCORED) COLORED CONCRETE
- 10' CLEARANCE SHALL BE PROVIDED FOR ALL GROUND MOUNTED PNM UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PROPOSES.
- CROSS LOT ACCESS AND DRAINAGE EASEMENTS SHALL BE PROVIDED ON THE PLAT TO EACH LOT.
- PHASE 2 WILL BE FUTURE DEVELOPMENT TO BE CONDUCTED AT A LATER DATE THAN PHASE 1.
- ALL ARCHITECTURAL DESIGN SHALL BE COMPATIBLE WITH THE PHASE 1 DEVELOPMENT ON TRACT A-1-A. IT SHALL BE SIMILAR IN COLOR AND MATERIAL TO THE FIRST BUILDING ON THE SITE AND HAVE A SIMILAR LEVEL OF ARTICULATION AND DETAIL. FUTURE BUILDINGS SHALL BE CONSISTENT WITH THE GENERAL BUILDING REGULATIONS 14-16-3-18.
- PRIOR TO INSTALLATION OF THE STREETSCAPE LANDSCAPING ALONG PARADISE BLVD, THE PROJECT MANAGER SHALL CONTACT MRCOG TO VERIFY THE STATUS OF THE PASEO DEL NORTE HUGH CAPACITY TRANSIT STUDY ALIGNMENT. IF PARADISE BLVD IS SELECTED, INSTALLATION OF STREETSCAPE MATERIALS MAY HAPPEN AS PART OF PHASE II DEVELOPMENT.

	ALBUQUERQUE SPORTING CENTER	DRAWN BY pm
	SITE PLAN FOR SUBDIVISION	DATE 1-31-13
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2012086-SPE
RONALD R. BOHANNAN P.E. #7868		SHEET # 1
		JOB # 2012086



SITE DATA TRACT A-1-A

ZONING PROPOSED USAGE	SU-1 PDA TO INCLUDE C-3 USES COMMERCIAL/RETAIL/SHOOTING RANGE
LOT AREA:	PHASE 1 76196 SF (1.75 AC)
BUILDING AREA:	PHASE 1 15036 SF (TO BE BUILT) 6297 SF (FUTURE ADDITION)
FAR	0.279
BUILDING HEIGHT	26' MAXIMUM
SETBACKS	FRONT 11' (MINIMUM) SIDE 10' (MINIMUM) REAR 10' (MINIMUM)

SITE DATA TRACT A-1-B

ZONING PROPOSED USAGE	SU-1 PDA TO INCLUDE C-3 USES COMMERCIAL/RETAIL
LOT AREA:	PHASE 2 75571 SF (1.73 AC)
BUILDING AREA:	PHASE 2 2 BUILDINGS 7200 SF EA
FAR	0.190
BUILDING HEIGHT	26' MAXIMUM
SETBACKS	FRONT 11' (MINIMUM) SIDE 10' (MINIMUM) REAR 10' (MINIMUM)

TOTAL FAR FOR SITE IS 0.235

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

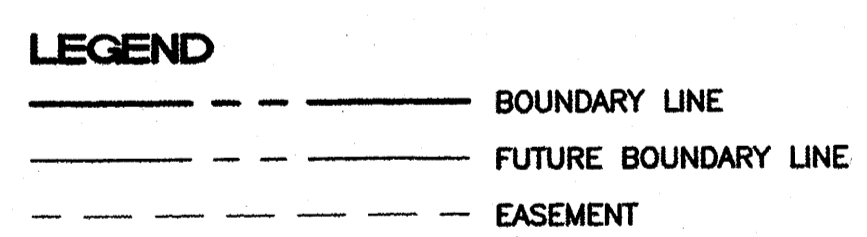
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

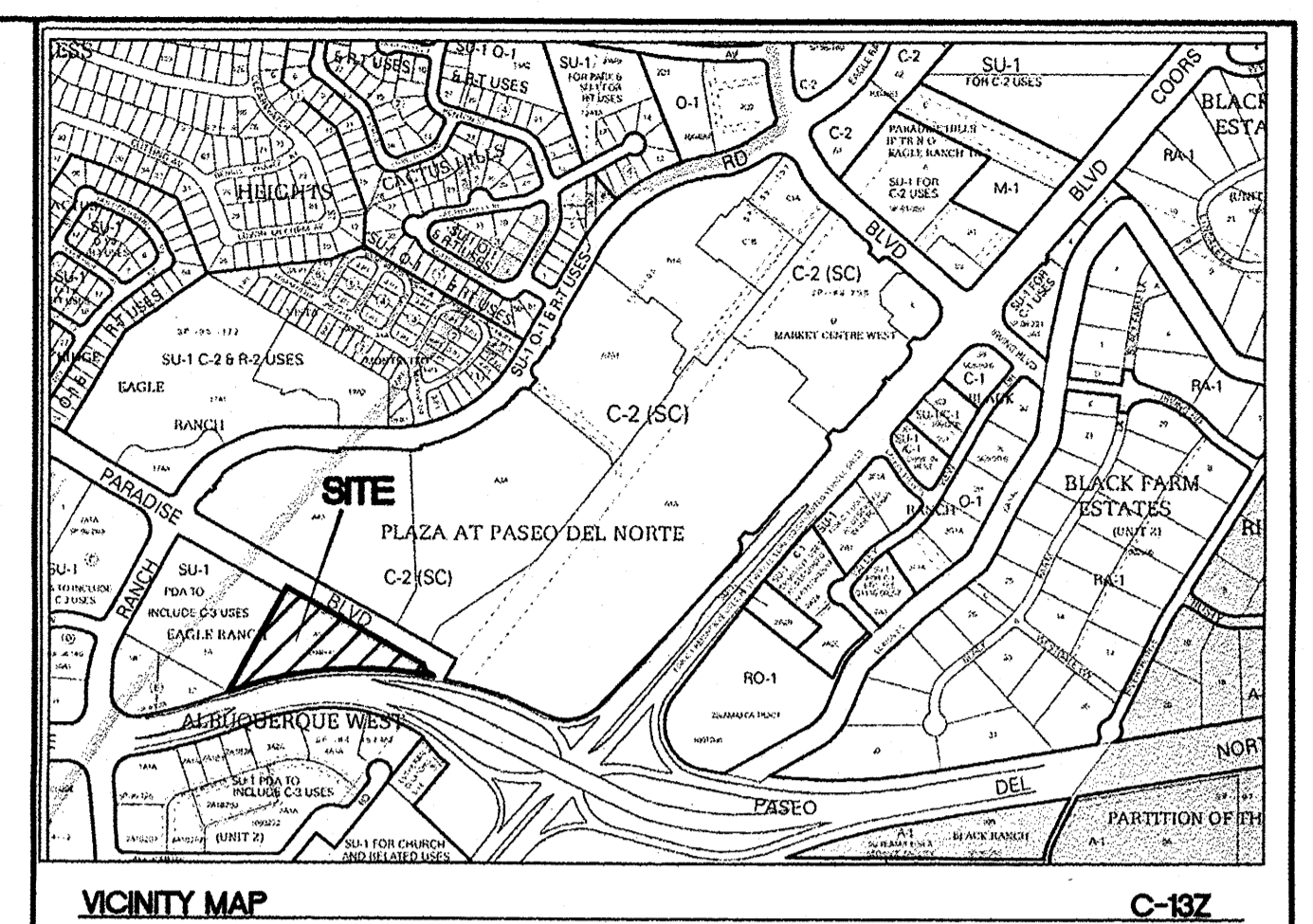
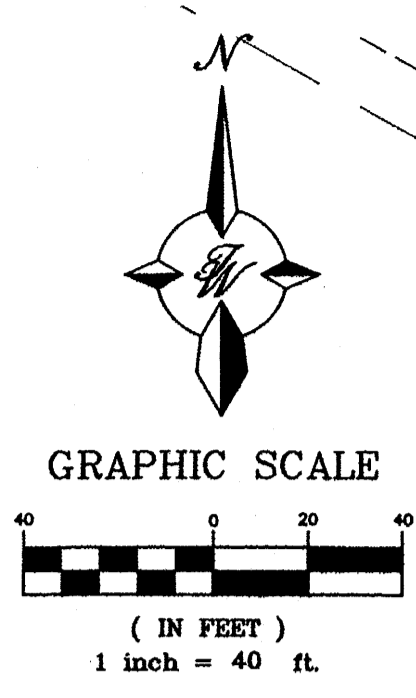
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary



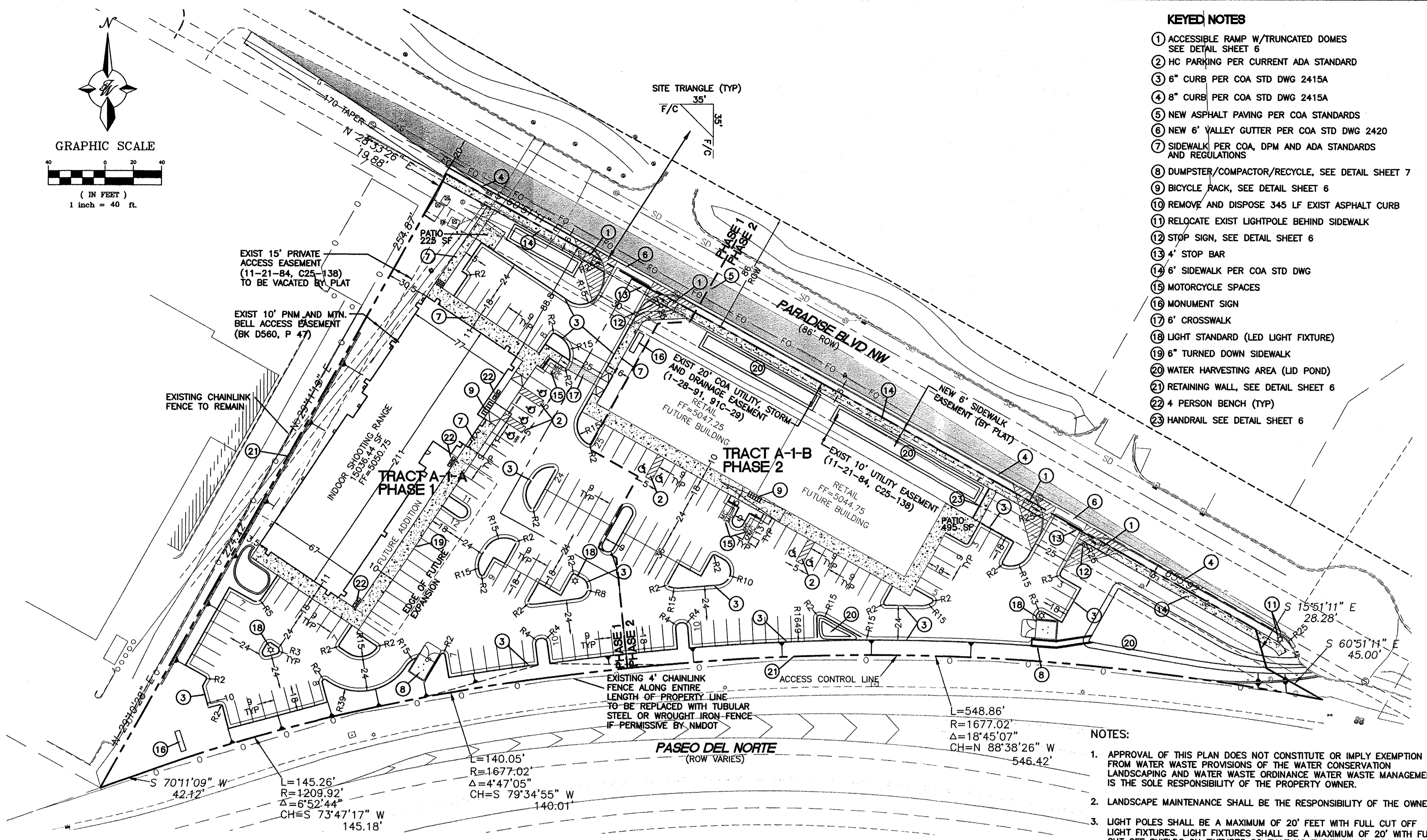
- INDEX TO DRAWINGS**
1. SITE PLAN FOR SUBDIVISION
 2. SITE PLAN FOR BUILDING PERMIT
 3. LANDSCAPING PLAN
 4. GRADING PLAN
 5. MASTER UTILITY PLAN
 6. BUILDING ELEVATIONS
 7. BUILDING ELEVATIONS
 8. CONSTRUCTION DETAILS
 9. CONSTRUCTION DETAILS



- ### KEYED NOTES
- ACCESSIBLE RAMP W/TRUNCATED DOMES SEE DETAIL SHEET 6
 - HC PARKING PER CURRENT ADA STANDARD
 - 6" CURB PER COA STD DWG 2415A
 - 8" CURB PER COA STD DWG 2415A
 - NEW ASPHALT PAVING PER COA STANDARDS
 - NEW 6" VALLEY GUTTER PER COA STD DWG 2420
 - SIDEWALK PER COA, DPM AND ADA STANDARDS AND REGULATIONS
 - DUMPSTER/COMPACTOR/RECYCLE, SEE DETAIL SHEET 7
 - BICYCLE RACK, SEE DETAIL SHEET 6
 - REMOVE AND DISPOSE 345 LF EXIST ASPHALT CURB
 - RELOCATE EXIST LIGHTPOLE BEHIND SIDEWALK
 - STOP SIGN, SEE DETAIL SHEET 6
 - 4' STOP BAR
 - 6' SIDEWALK PER COA STD DWG
 - MOTORCYCLE SPACES
 - MONUMENT SIGN
 - 6' CROSSWALK
 - 6" TURNED DOWN SIDEWALK
 - WATER HARVESTING AREA (LID POND)
 - RETAINING WALL, SEE DETAIL SHEET 6
 - 4 PERSON BENCH (TYP)
 - HANDRAIL SEE DETAIL SHEET 6

LEGAL DESCRIPTION
TRACT A1 ALBUQUERQUE WEST UNIT 2

- ### LEGEND
- PROPOSED CURB & GUTTER
 - BOUNDARY LINE
 - FUTURE BOUNDARY LINE
 - EASEMENT
 - PROPOSED SIDEWALK
 - BICYCLE RACK
 - SITE LIGHTING
 - PROPERTY LINE
 - NEW PAVING PER COA STANDARDS



- ### NOTES:
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 - LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINE OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALL WITH TOP OF EQUIPMENT BELOW TO OF SCREEN WALL.
 - PEDESTRIAN CROSSWALKS, INCLUDING PEDESTRIAN PATHWAYS AND DRIVE AISLE CROSSINGS SHALL BE CONSTRUCTED OF A MATERIAL OTHER THAN ASPHALT, SUCH AS TEXTURED (SCORED) COLORED CONCRETE.
 - 10' CLEARANCE SHALL BE PROVIDED FOR ALL GROUND MOUNTED PNM UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PROPOSES.
 - CROSS ACCESS, PAVING AND DRAINAGE PROVIDED TO EACH LOT
 - PHASE 2 WILL BE FUTURE DEVELOPMENT TO BE CONDUCTED AT A LATER DATE THAN PHASE 1
 - ALL FUTURE DEVELOPMENT SHALL BE DELEGATED TO DRB
 - DELIVERY TRUCKS TO BE SU-30 PANEL TRUCKS
 - THE 10 FOOT SIDEWALK AND OTHER RELATED PEDESTRIAN FEATURES IN FRONT OF THE BUILDING SHALL BE RELOCATED IF THE BUILDING IS EXPANDED IN A FUTURE PHASE
 - ALL ARCHITECTURAL DESIGN SHALL BE COMPATIBLE WITH THE PHASE 1 DEVELOPMENT ON TRACT A-1-A. IT SHALL BE SIMILAR IN COLOR AND MATERIAL TO THE FIRST BUILDING ON THE SITE AND HAVE A SIMILAR LEVEL OF ARTICULATION AND DETAIL. FUTURE BUILDINGS SHALL BE CONSISTENT WITH THE GENERAL BUILDING REGULATIONS 14-16-3-18.
 - PHASE 1 CONSTRUCTION WILL INCLUDE THE SIDEWALK AND PARKING STALLS IN FRONT OF THE FUTURE ADDITION AREA.
 - SECURITY CAMERAS WILL BE PROVIDED TO COVER SURVEILLANCE OF ALL ACCESS POINTS, PARKING LOTS AND THE SIDES OF THE BUILDING.

SITE DATA TRACT A-1-A

ZONING PROPOSED USAGE	SU-1 PDA TO INCLUDE C-3 USES COMMERCIAL/RETAIL/SHOOTING RANGE
LOT AREA:	PHASE 1 76196 SF (1.75 AC)
BUILDING AREA:	PHASE 1 15036 SF (TO BE BUILT) 6297 SF (FUTURE ADDITION)
FAR	0.279
BUILDING HEIGHT	26' MAXIMUM
SETBACKS	FRONT 11' (MINIMUM) SIDE 10' (MINIMUM) REAR 10' (MINIMUM)

SITE DATA TRACT A-1-B

ZONING PROPOSED USAGE	SU-1 PDA TO INCLUDE C-3 USES COMMERCIAL/RETAIL
LOT AREA:	PHASE 2 75571 SF (1.73 AC)
BUILDING AREA:	PHASE 2 2 BUILDINGS 7200 EA
FAR	0.190
BUILDING HEIGHT	26' MAXIMUM
SETBACKS	FRONT 11' (MINIMUM) SIDE 10' (MINIMUM) REAR 10' (MINIMUM)

PARKING CALCULATIONS TRACT A-1-A

BUILDING AREA:	15036 SF
PHASE 1	6297 (FUTURE ADDITION)
PARKING REQUIRED PHASE 1	1/200 SF (3625 SF) 18 SPACES
PHASE 1	1/1000 SF (11411 SF) 11 SPACES
TOTAL	39 SPACES
PARKING PROVIDED PHASE 1	57 SPACES
ACCESSIBLE SPACES REQUIRED PHASE 1	3 SPACES
PROVIDED PHASE 1	4 SPACES (1 VAN ACCESSIBLE)
MOTORCYCLE SPACES REQUIRED PHASE 1	2 SPACES
PROVIDED PHASE 1	2 SPACES
BICYCLE SPACES REQUIRED PHASE 1	3 SPACES
PROVIDED PHASE 1	5 SPACES

PARKING CALCULATIONS TRACT A-1-B

BUILDING AREA	2 BUILDINGS 7200 SF EA
PARKING REQUIRED PHASE 2	1/200 SF (14400 SF) 72 SPACES
PARKING PROVIDED PHASE 2	72 SPACES
ACCESSIBLE SPACES REQUIRED PHASE 2	3 SPACES
PROVIDED PHASE 2	4 SPACES (1 VAN ACCESSIBLE)
MOTORCYCLE SPACES REQUIRED PHASE 2	4 SPACES
PROVIDED PHASE 2	4 SPACES
BICYCLE SPACES REQUIRED PHASE 2	3 SPACES
PROVIDED PHASE 2	5 SPACES

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

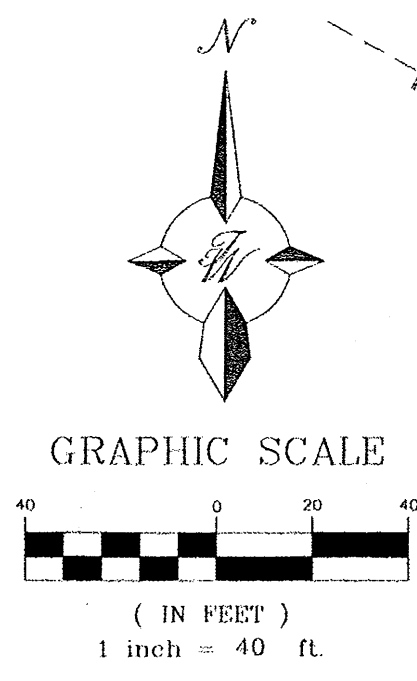
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	

	ALBUQUERQUE SPORTING CENTER SITE PLAN FOR BUILDING PERMIT	DRAWN BY pm DATE 1-31-13 DRAWING 2012086-SPE
	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierawestllc.com	SHEET # 2 JOB # 2012086



EXIST 15' PRIVATE ACCESS EASEMENT (11-21-84, C25-138) TO BE VACATED BY PLAT

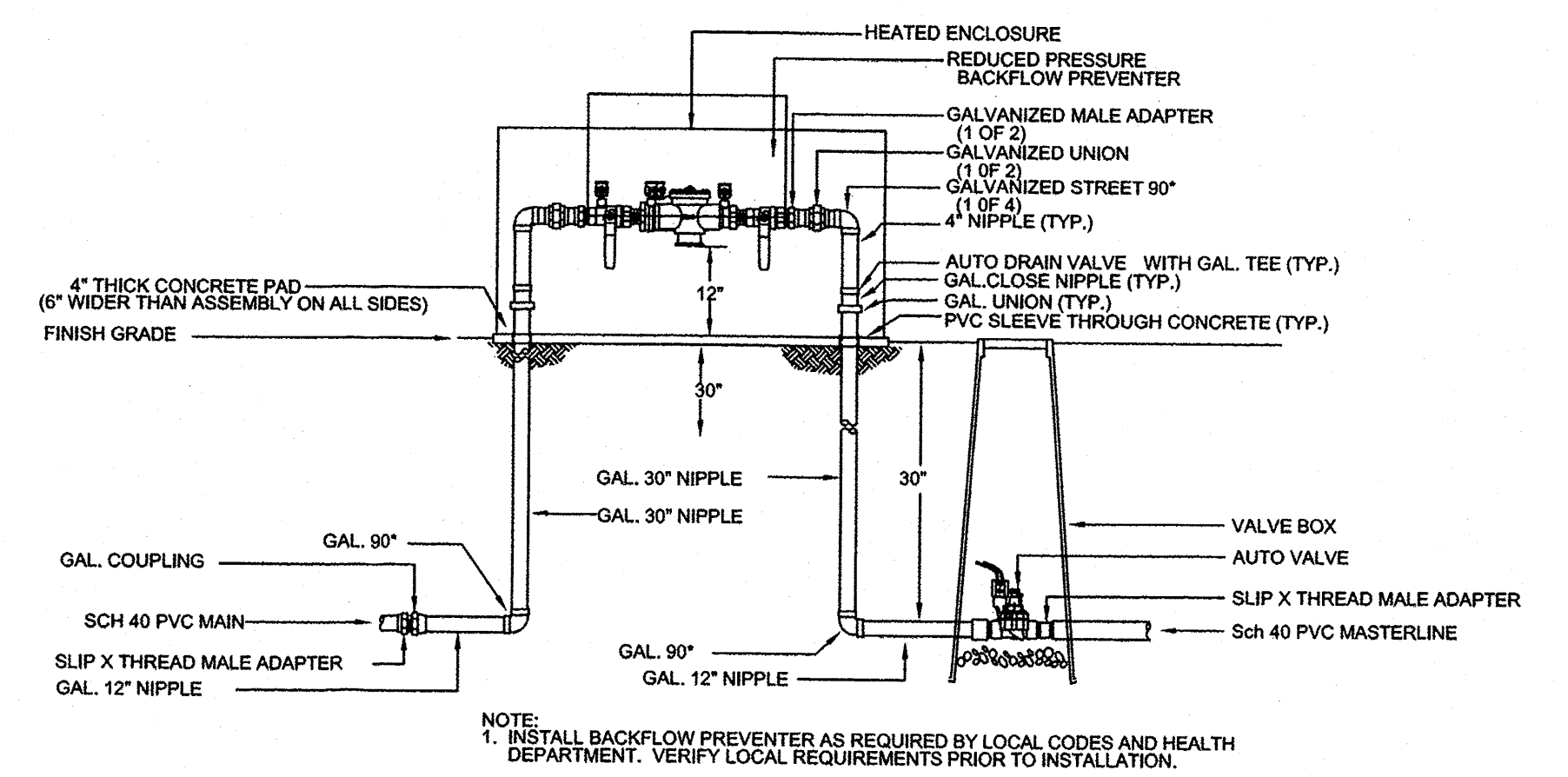
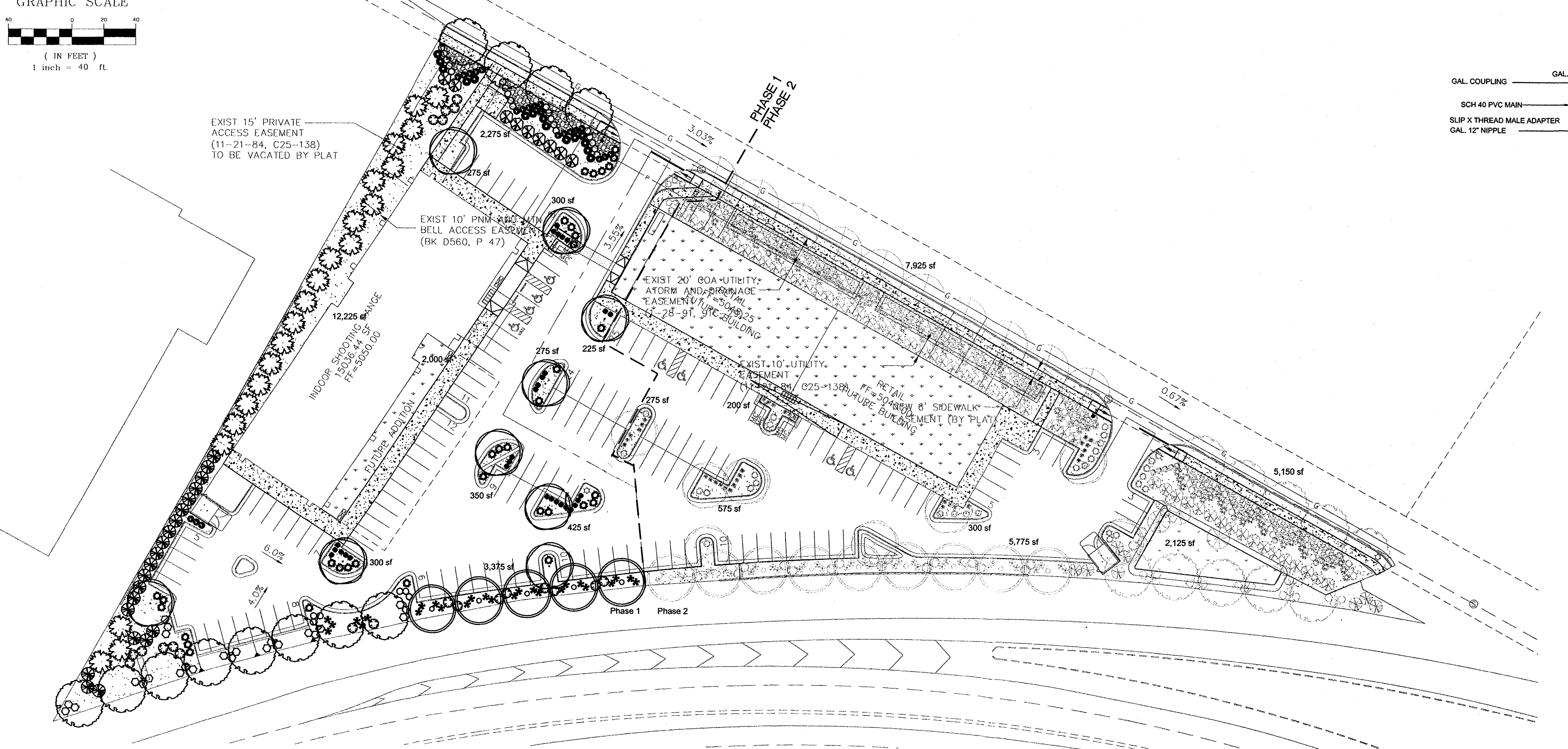
EXIST 10' PNM AND 10' BELL ACCESS EASEMENT (BK D560, P 47)

EXIST 20' GOA UTILITY ATORR AND FIRE MGMT EASEMENT (BY PLAT) 11-28-91, C15-138

EXIST 10' UTILITY EASEMENT (BY PLAT) C25-138

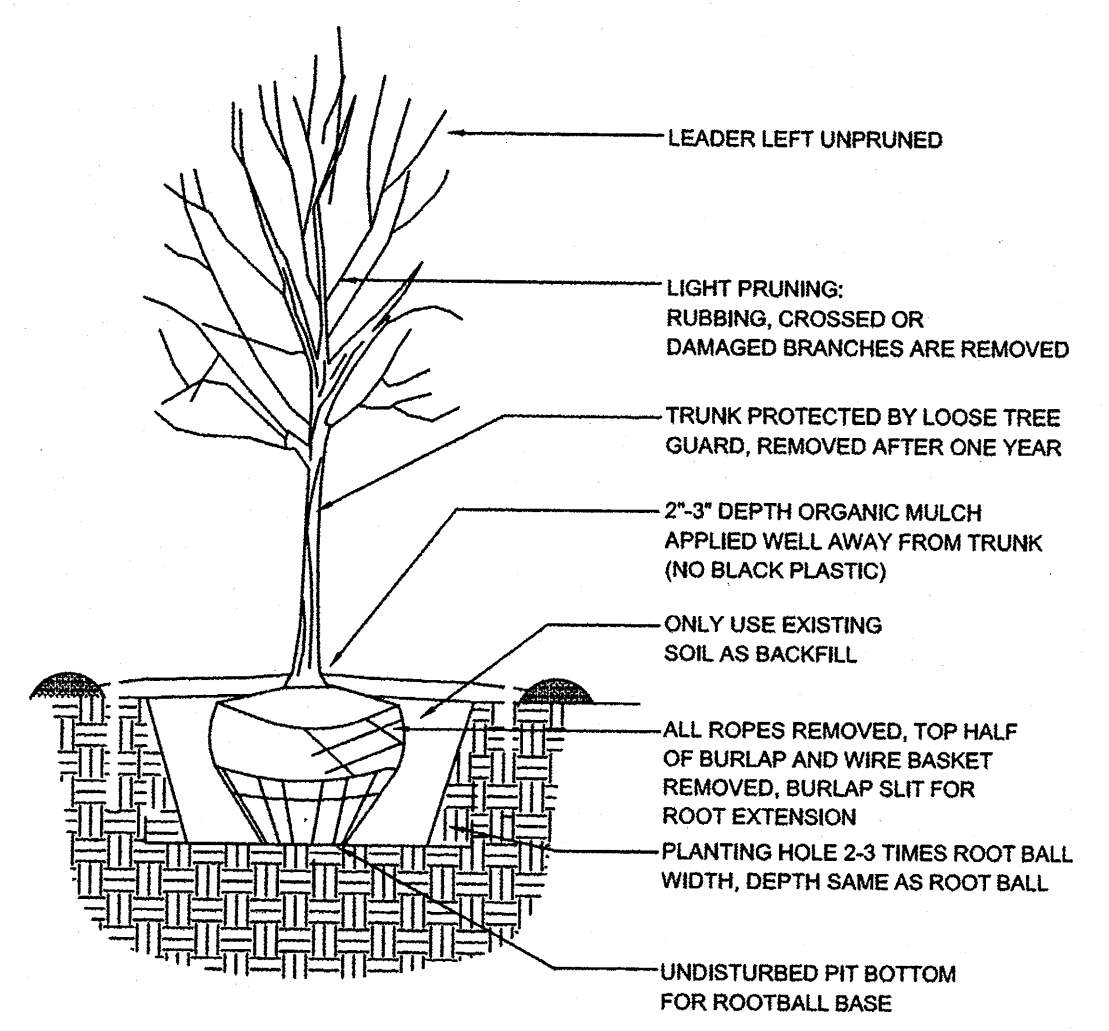
RETAIL 50' X 8' SIDEWALK

EXIST 10' UTILITY EASEMENT (BY PLAT) C25-138



NOTE:
1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.

RP BACKFLOW/MASTER VALVE DETAIL



TREE PLANTING DETAIL

PLANT LEGEND

Qty.	Symbol	Scientific Name	Size	Mature Landscape	Water Use	Drip
10	9	Gleditsia Honey Locust	2" Cal	50'/45'	Medium+	6-2 gph
12	10	Pistacia Chinese Pistache	2" Cal	60'/60'	Medium	6-2 gph
0	10	Platanus acerifolia Sycamore	2" Cal	70'/50'	High	6-2 gph
5	9	Celtis occidentalis Hackberry	2" Cal	40'/40'	Medium	6-2 gph
22	0	Juniperus monosperma One Seed Juniper	15-Gal	15'/15'	400 sf=8800 sf RW	4-2 gph
0	3	Vitex Chaste Tree	15-Gal	20'/20'	400 sf=1200 sf	Medium 6-2 gph
16	71	Miscanthus Maiden Grass	5-Gal	5'/5'	25 sf=400 sf 25 sf=1775 sf	Medium 2-2 gph
29	34	Catagrotis Karl Foerster Grass	5-Gal	3'/2'	10 sf=290 sf 10 sf=340 sf	Medium 2-2 gph

Qty.	Shrubs/Groundcovers	Size	Mature Landscape	Water Use	Drip	
21	76	Caryopteris Blue Mist	1-Gal	3'/3'	15 sf=315 sf 15 sf=1140 sf	Medium 2-2 gph
26	37	Hesperaloe parviflora Red Yucca	5-Gal	3'/4'	20 sf=520 sf 20 sf=740 sf	Low+ 2-1 gph
35	34	Juniperus sabina 'Buffalo' Buffalo Juniper (female)	1-Gal	1'/5'	25 sf=875 sf 25 sf=850 sf	Low + 2-1 gph
26	68	Rhus aromatica Gro Low Sumac	1-Gal	2'/6'	36 sf=936 sf 36 sf=2448 sf	Low+ 2-1 gph
21	8	Chamaebatia Fernbush	5-Gal	5'/6'	36 sf=756 sf 36 sf=288 sf	Low+ 2-1 gph
9	54	Vauquelinia Rosewood	5-Gal	12'/10'	100 sf=900 sf 100 sf=5400 sf	Medium+ 2-2 gph
21	26	Rhus trilobata 3 Leaf Sumac	1-Gal	6'/6'	36 sf=756 sf 36 sf=936 sf	Low 2-1 gph
24	15	Fallugia Apache Plume	1-Gal	6'/7'	49 sf=1176 sf 49 sf=735 sf	Low 2-1 gph

SITE DATA/PHASE 1

GROSS LOT AREA (3.47 ACRES)	151,667 SF
LESS BUILDING(S)	15,038 SF
NET LOT AREA	136,631 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	20,495 SF
PROPOSED LANDSCAPE	22,025 SF
PERCENT OF NET LOT AREA	16.1%
HIGH WATER USE TURF MAX. 20% OF LANDSCAPE AREA	0 SF
PROPOSED HIGH WATER USE TURF	0 SF
PERCENT OF LANDSCAPE AREA	0%
REQUIRED STREET TREES 1 PER 30 L.F. OF STREET FRONTAGE	4
PROVIDED STREET TREES	4
REQUIRED PARKING LOT TREES 1 PER 10 SPACES	9
PROVIDED PARKING LOT TREES	9
REQUIRED LANDSCAPE COVERAGE 75% LIVE VEGETATIVE MATERIAL (22,025 SF PROPOSED LANDSCAPE X 75%)	16,518 SF MIN.
NATIVE SEED AREA	2,000 SF
LIVE GROUNDCOVER	15,724 SF
PROVIDED GROUNDCOVER COVERAGE	17,724 SF
PERCENT GROUNDCOVER COVERAGE OF REQUIRED LANDSCAPE AREAS	80%
Total landscape coverage/Ph.1=	15,724 sf
Total landscape coverage/Ph.2=	15,852 sf
Total landscape coverage=	31,576 sf

SITE DATA/PHASE 1&2

GROSS LOT AREA (3.47 ACRES)	151,667 SF
LESS BUILDING(S)	23,123 SF
NET LOT AREA	128,538 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	18,980 SF
PROPOSED LANDSCAPE	44,392 SF
PERCENT OF NET LOT AREA	38.4%
HIGH WATER USE TURF MAX. 20% OF LANDSCAPE AREA	0 SF
PROPOSED HIGH WATER USE TURF	0 SF
PERCENT OF LANDSCAPE AREA	0%
REQUIRED STREET TREES 1 PER 30 L.F. OF STREET FRONTAGE	46
PROVIDED STREET TREES	46
REQUIRED PARKING LOT TREES 1 PER 10 SPACES	15
PROVIDED PARKING LOT TREES	19
REQUIRED LANDSCAPE COVERAGE 75% LIVE VEGETATIVE MATERIAL (44,392 SF PROPOSED LANDSCAPE X 75%)	33,292 SF MIN.
NATIVE SEED AREA	4,125 SF
LIVE GROUNDCOVER	31,576 SF
PROVIDED GROUNDCOVER COVERAGE	35,701 SF
PERCENT GROUNDCOVER COVERAGE OF REQUIRED LANDSCAPE AREAS	80%

NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.

NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.

LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10.

LANDSCAPE AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS AND PLANTINGS BETWEEN 3' AND 8' TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS

A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

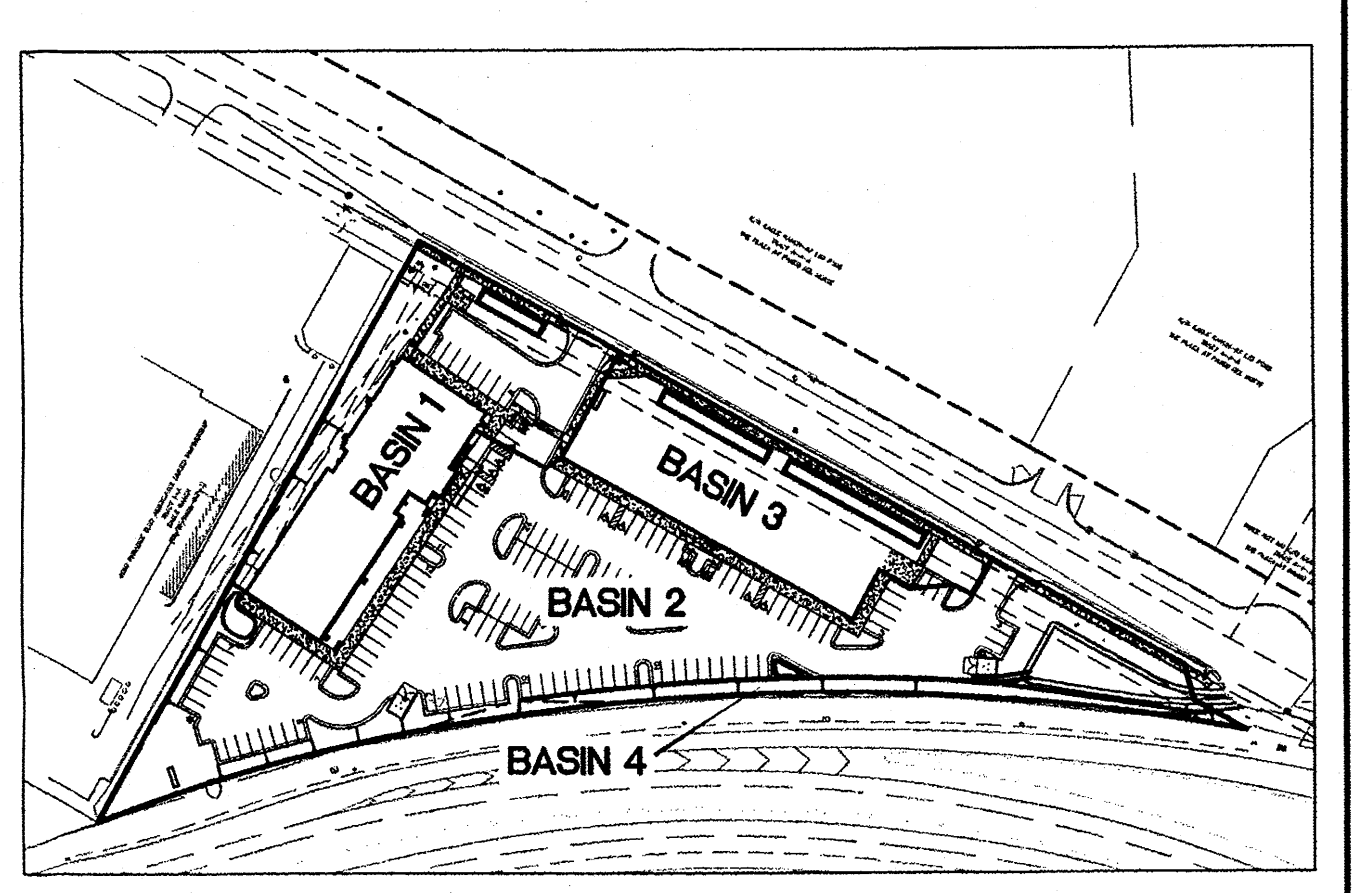
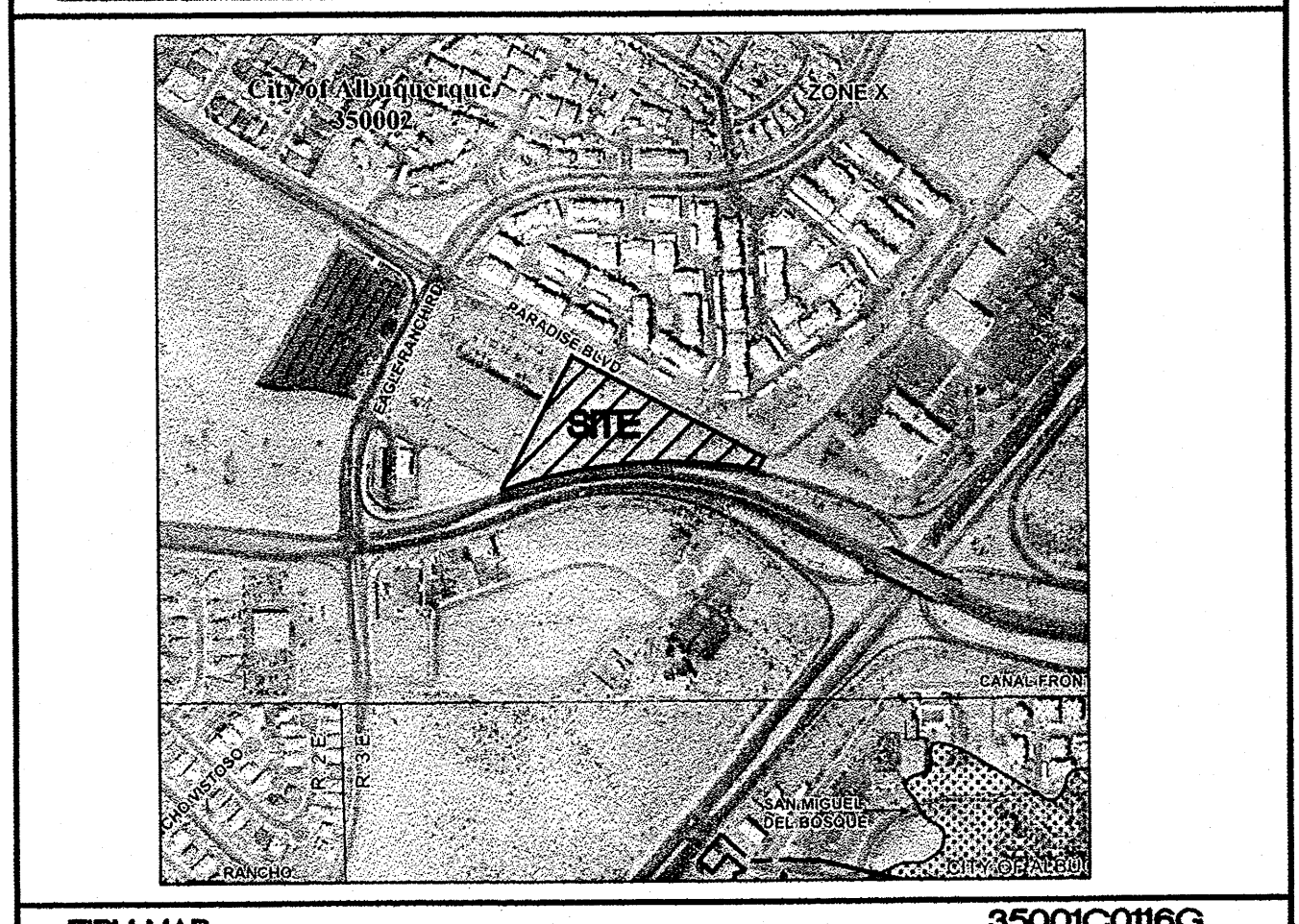
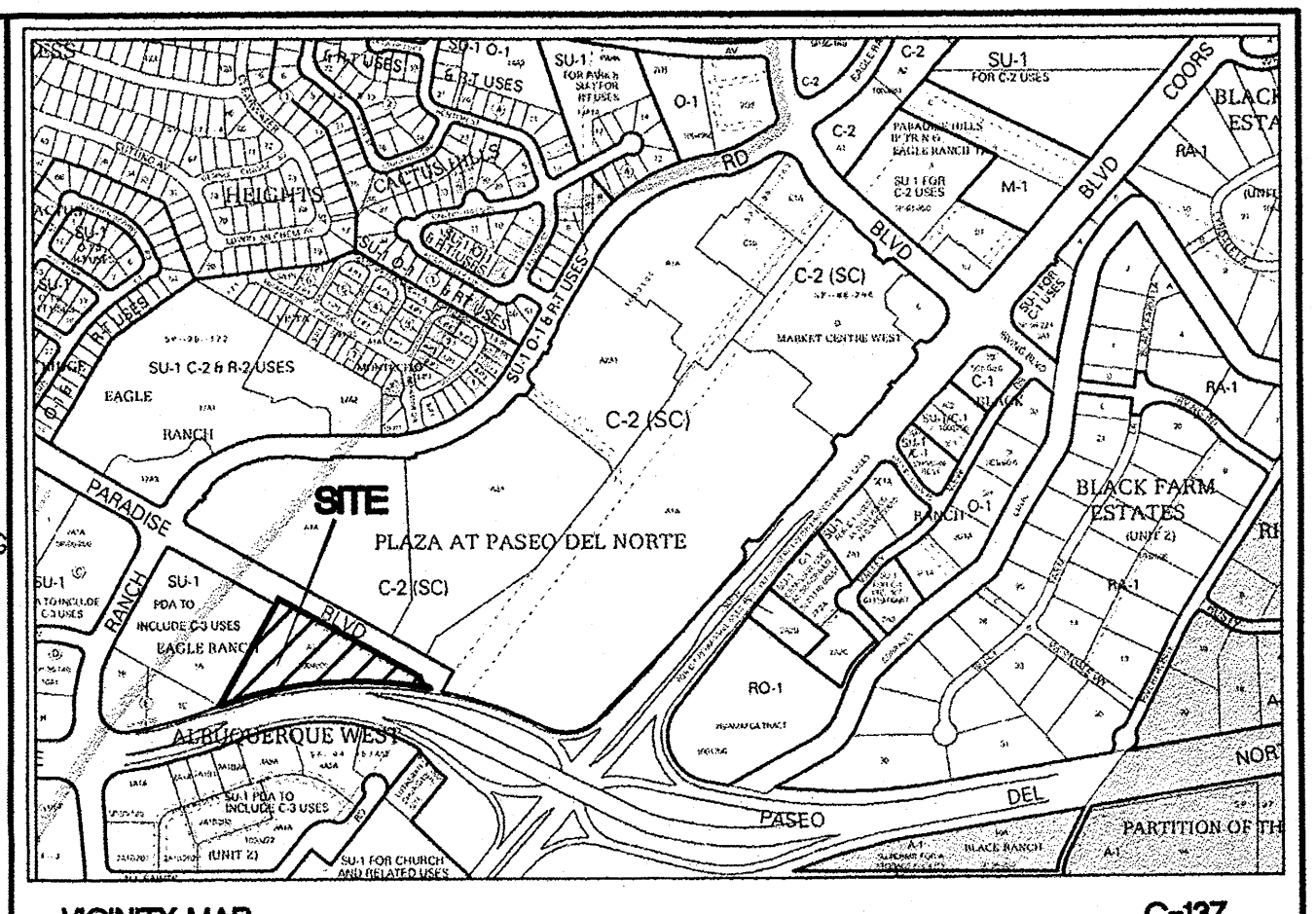
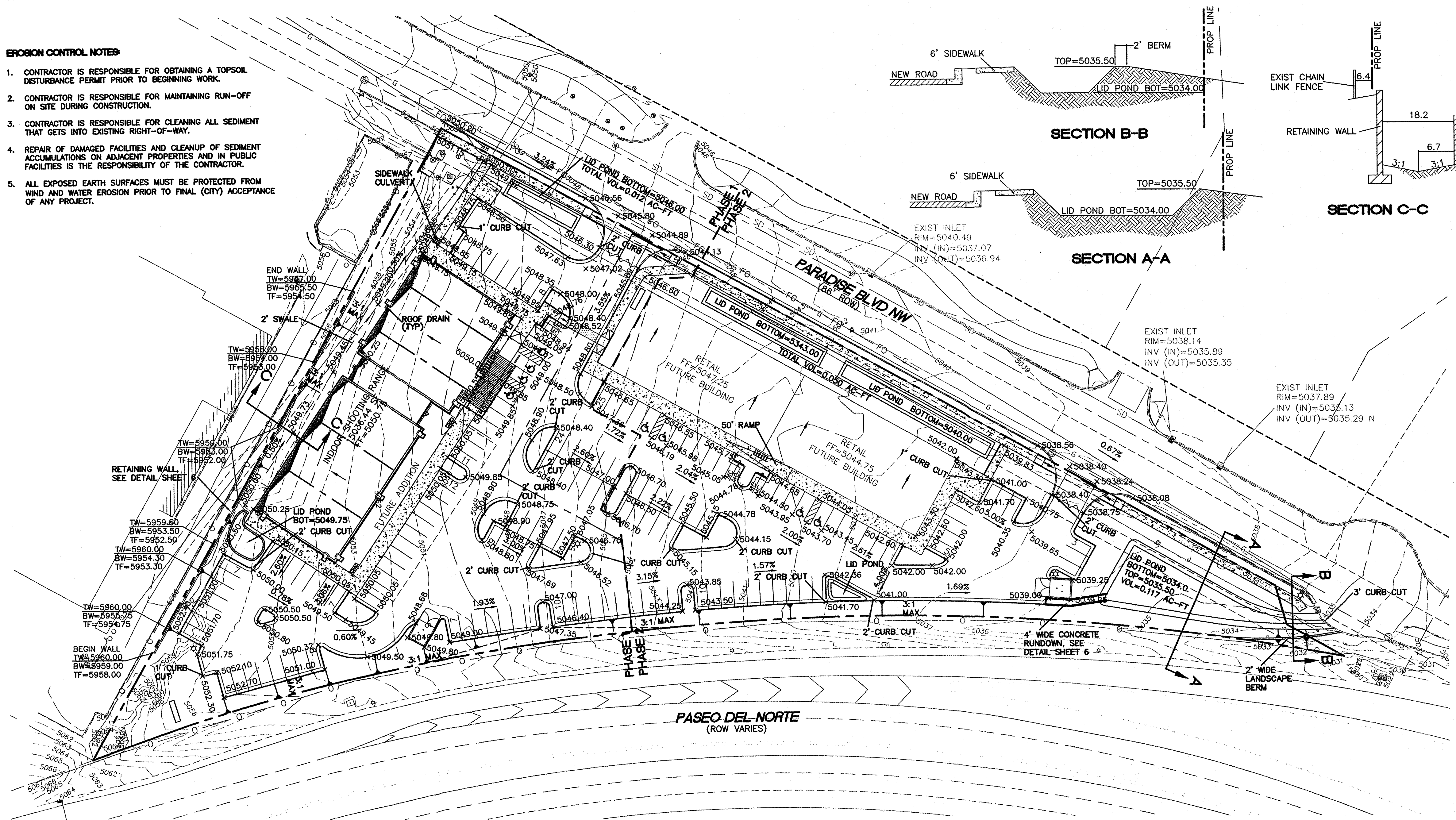
MATERIALS LEGEND

- BROWN CRUSHER FINES
- 2"-4" COBBLESTONE
- NATIVE GRASS SEED

growing better Up Heads
LANDSCAPE CONTRACTORS
P.O. BOX 10587
Albuquerque, NM 87184
505.898.9615
505.898.2105 (fax)
design@hulc.com
www.headsuplandscape.com

ENGINEER'S SEAL	ALBUQUERQUE SPORTING CENTER	DRAWN BY pm
	LANDSCAPE PLAN FOR BUILDING PERMIT	DATE 1-30-13 3-29-13
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2012086-SPE
RONALD R. BOHANNAN P.E. #7868		SHEET # 3
		JOB # 2012086

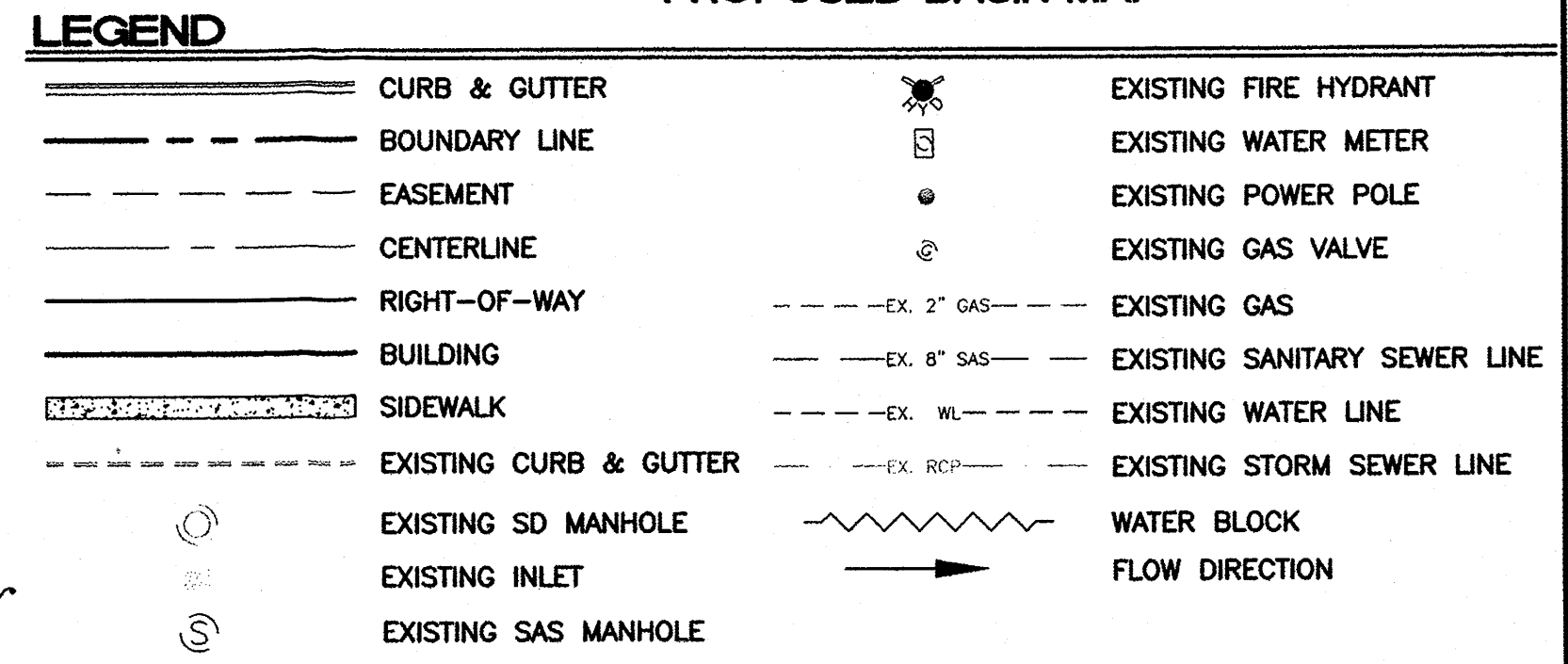
- EROSION CONTROL NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



EXISTING DRAINAGE:
THE SITE IS CURRENTLY VACANT AND DRAINS FROM THE WEST TO EAST. IT IS BOUND BY PASEO DEL NORTE ON THE SOUTH AND EAST, PARADISE BOULEVARD ON THE NORTH AND AN EXISTING BUILDING ON THE WEST AND CONTAINS APPROXIMATELY 3.48 ACRES. THE STORM WATER FROM THIS SITE FLOWS INTO PARADISE BOULEVARD AND CONTINUES EAST TO A POND LOCATED BEHIND THE MOVIE THEATER. FROM THERE THE WATER IS CONVEYED TO AN AMAFCA POND LOCATED ON THE EAST SIDE OF COORS BOULEVARD. THE SITE FALLS WITHIN THE NORTH COORS DRAINAGE MANAGEMENT PLAN MIDDLE AREA AND THE EXISTING AMAFCA POND IS SIZED TO ACCEPT DEVELOPED FLOWS FROM THIS SITE.

PROPOSED DRAINAGE:
THE SITE IS DIVIDED UP INTO FOUR ON-SITE BASINS AND WILL CONTINUE TO FLOW TO THE EAST. STORM WATER WILL BE DIRECTED TO DRAIN THROUGH LANDSCAPE ISLANDS AND INTO LOW IMPACT DEVELOPMENT PONDS LOCATED THROUGHOUT THE SITE TO COMPLY WITH THE WATER HARVESTING REQUIREMENTS. EXCESS STORM WATER WILL CONTINUE TO FLOW TO THE EXISTING POND BEHIND THE MOVIE THEATER AT THE END OF PARADISE BOULEVARD AND EVENTUALLY DRAIN TO THE AMAFCA POND THAT IS SIZED TO ACCEPT THE DEVELOPED FLOWS FROM THIS SITE.
BASIN 1 WILL DISCHARGE 3.04 CFS INTO PARADISE BLVD THROUGH THE WEST ENTRANCE. BASIN 2 WILL DISCHARGE 7.65 CFS AT THE END OF PARADISE BLVD THROUGH A LID POND AND A PROPOSED THREE FOOT CURB OPENING. BASIN 3 WILL DISCHARGE INTO PARADISE BLVD THROUGH LID PONDS AND THE EAST ENTRANCE. BASIN 4 WILL DRAIN INTO THE PASEO DEL NORTE DRAINAGE SWALE AND BE CONVEYED TO THE POND BY AN EXISTING DROP INLET.
THE SITE IS SET UP TO RETAIN THE "FIRST FLUSH" VOLUME WHICH TOTALS 0.094 AC-FT FOR THE SITE. A TOTAL OF 0.179 AC-FT OF PONDING IN THE LID PONDS IS PROVIDED.

- NOTICE TO CONTRACTORS**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



Weighted E Method

On-Site Basins

Basin	Area (sf)	Area (acres)	Treatment A				Treatment B				Treatment C				Treatment D				100-Year			10-Year		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs		
1	35,404	0.81	0%	0	27%	0.22	0%	0.00	73%	0.59	1.819	0.110	3.04	0.985	0.085	1.88								
2	85,938	1.97	0%	0	21%	0.41	0%	0.00	79%	1.56	1.697	0.279	7.65	1.026	0.169	4.82								
3	25,423	0.58	0%	0	32%	0.19	0%	0.00	68%	0.40	1.554	0.076	2.11	0.914	0.044	1.29								
4	5,115	0.12	0%	0	100%	0.12	0%	0.00	0%	0.00	0.670	0.007	0.24	0.220	0.002	0.09								

Equations:
Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)
Volume = Weighted E * Total Area
Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Excess Precipitation, E (inches)

Zone	100-Year	10-Year
E _a	0.44	0.08
E _b	0.67	0.22
E _c	0.99	0.44
E _d	1.97	1.24

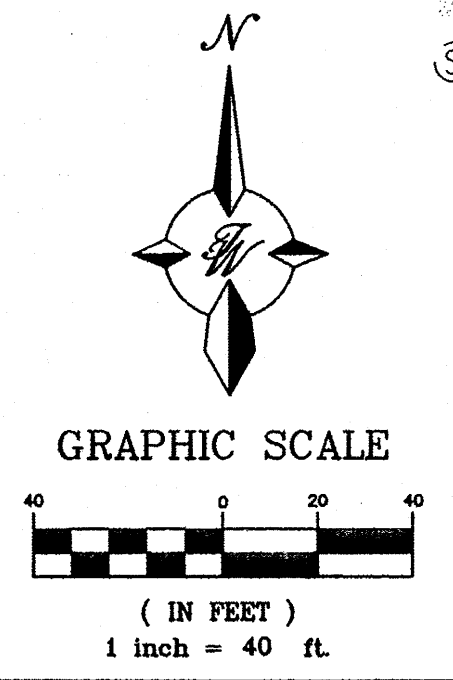
Peak Discharge (cfs/acre)

Zone	100-Year	10-Year
Q _a	1.29	0.24
Q _b	2.03	0.76
Q _c	2.87	1.49
Q _d	4.37	2.89

First Flush Volume Calculations

Basin	Impervious Area (Acre)		Volume Required (Ac-ft)
	100-Year	10-Year	
1	0.59	0.022	
2	1.56	0.057	
3	0.40	0.015	
4	0.00	0.000	

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

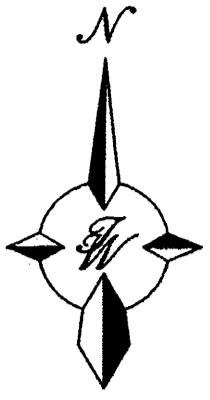


ENGINEER'S SEAL
RONALD R. BOHANNAN
P.E. #7868

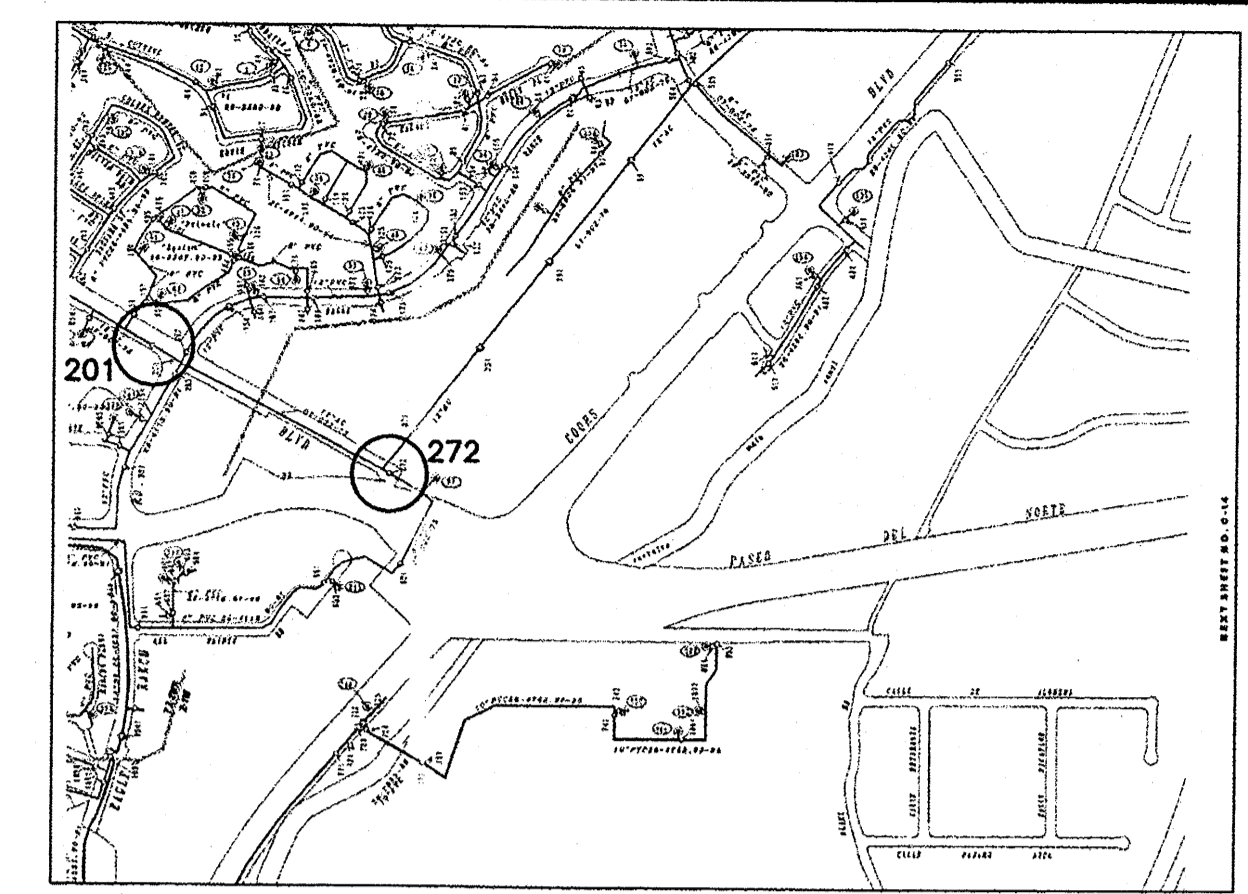
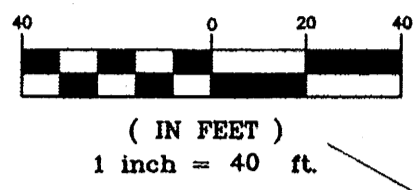
ALBUQUERQUE SPORTING CENTER
GRADING AND DRAINAGE PLAN

TERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.terrawestllc.com

DRAWN BY pm
DATE 1-31-13
DRAWING 2012086-GRE
SHEET # 4
JOB # 2012086

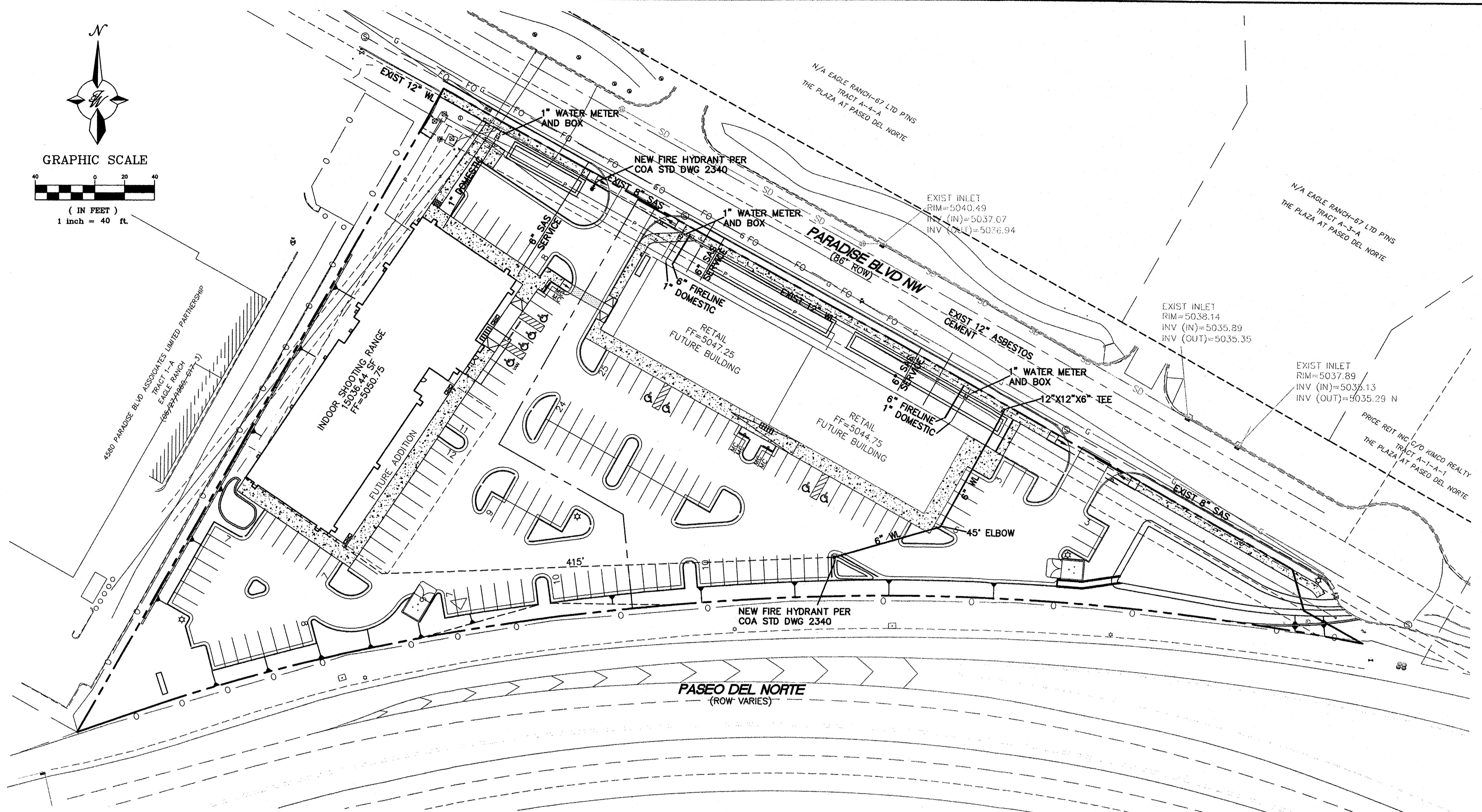


GRAPHIC SCALE



WATER SHUTOFF PLAN SHUTOFF VALVES 201, 272

THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463/729/](http://abcwua.org/content/view/full/463/729/).

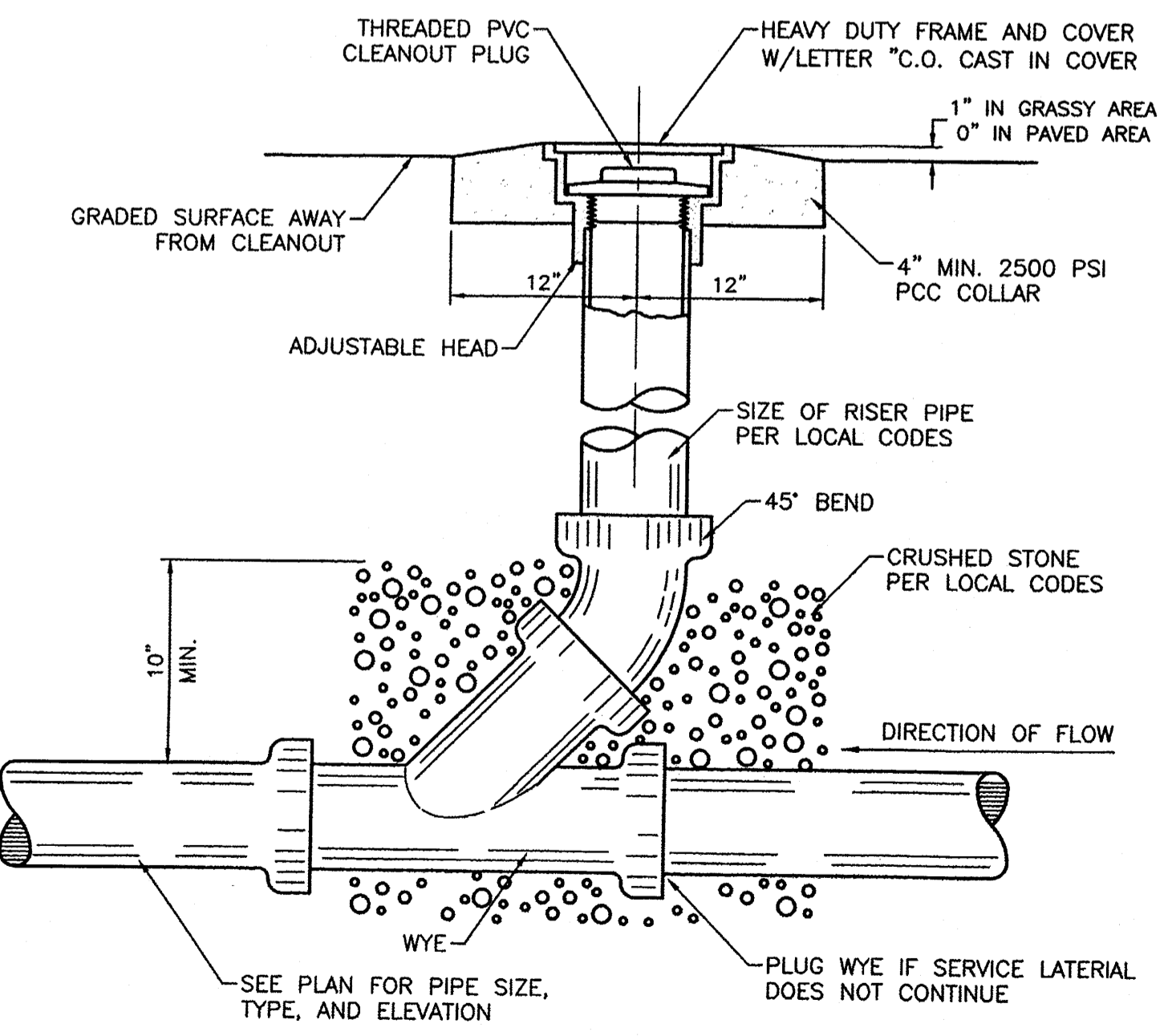


LEGEND

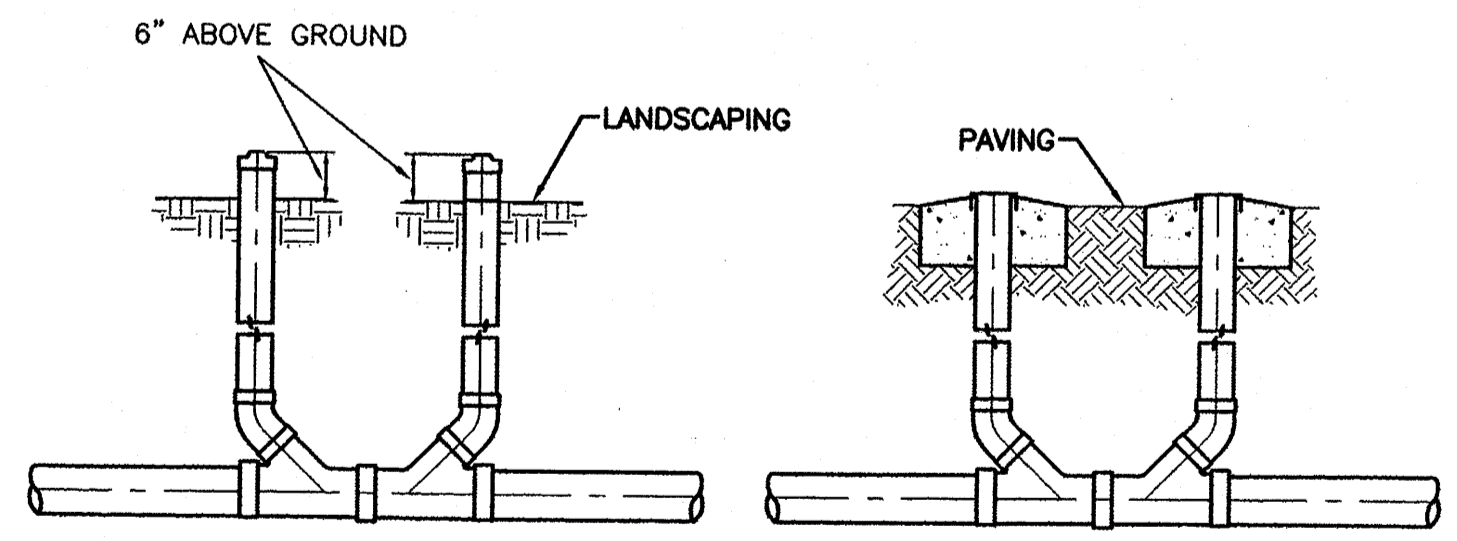
- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- ▭ BUILDING
- ▭ SIDEWALK
- - - EXISTING CURB & GUTTER
- 36" SD — STORM SEWER LINE
- 8" SAS — SANITARY SEWER LINE
- 8" WL — WATERLINE
- SINGLE CLEAN OUT
- ∞ DOUBLE CLEAN OUT
- ⊙ EXISTING SD MANHOLE
- ⊙ EXISTING INLET
- ⊙ EXISTING SAS MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER METER
- ⊙ EXISTING POWER POLE
- ⊙ EXISTING GAS VALVE
- EXISTING GAS
- - - EX. 8" SAS - - - EXISTING SANITARY SEWER LINE
- - - EX. WL - - - EXISTING WATER LINE
- - - EX. SD - - - EXISTING STORM SEWER LINE
- G — PROPOSED GAS
- P — PROPOSED POWER
- T — PROPOSED TELEPHONE

GENERAL UTILITY NOTES

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
13. ALL BUILDINGS - CONSTRUCTION TYPE IS II-B



SANITARY SEWER CLEAN-OUT
NTS

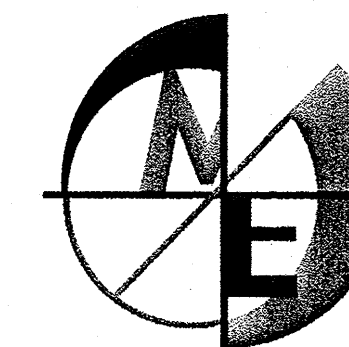


SANITARY SEWER DOUBLE CLEAN-OUTS
NTS

CAUTION:

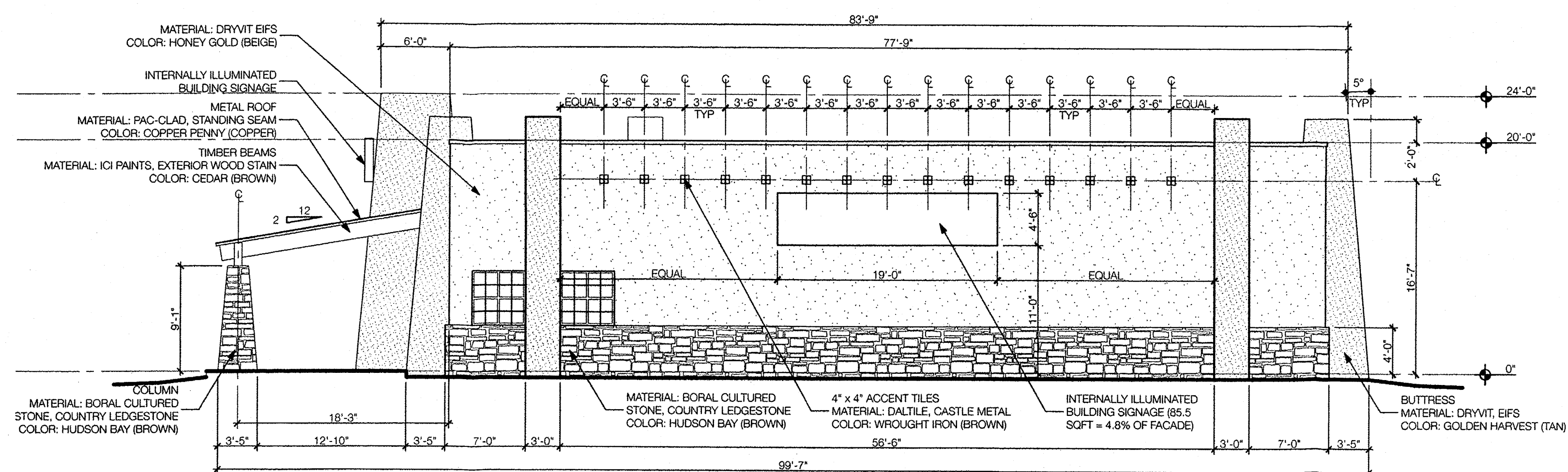
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

	ALBUQUERQUE SPORTING CENTER MASTER UTILITY PLAN	DRAWN BY pm DATE 1-31-13 DRAWING 2012086-MUE
	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # 5 JOB # 2012086



MIND'S EYE ARCHITECTURE

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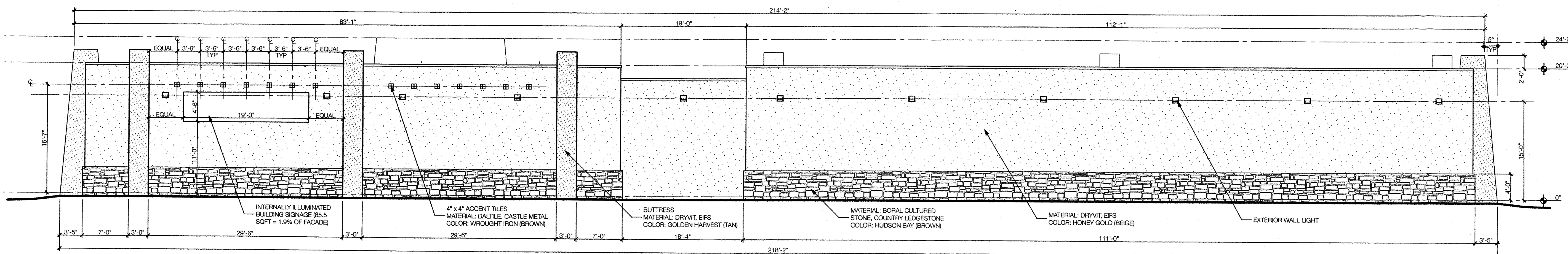
North Elevation

1/8" = 1'-0"



Albuquerque Sporting Center Albuquerque, New Mexico

ISSUE DATE: March 6, 2013
PROJECT STATUS: Design Development
PROJECT NUMBER: 13-002
REVISIONS:



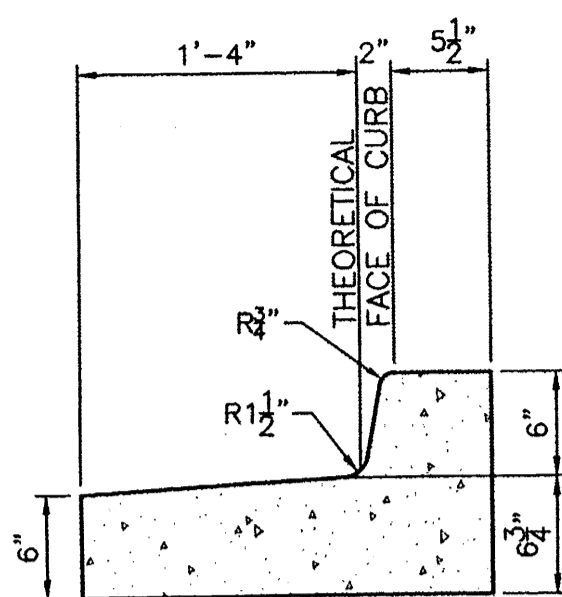
West Elevation

1/8" = 1'-0"

EXTERIOR ELEVATIONS

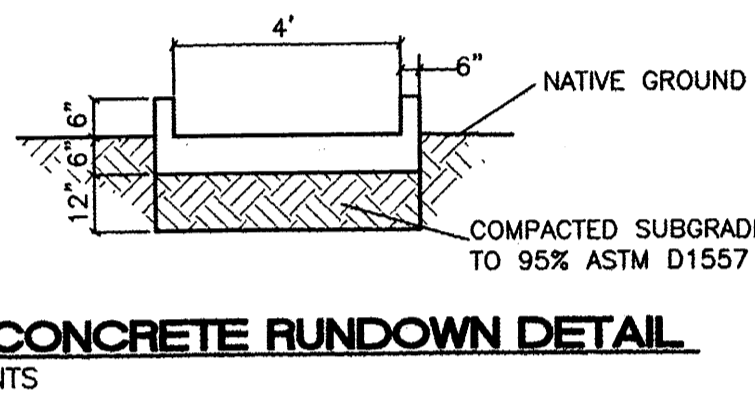
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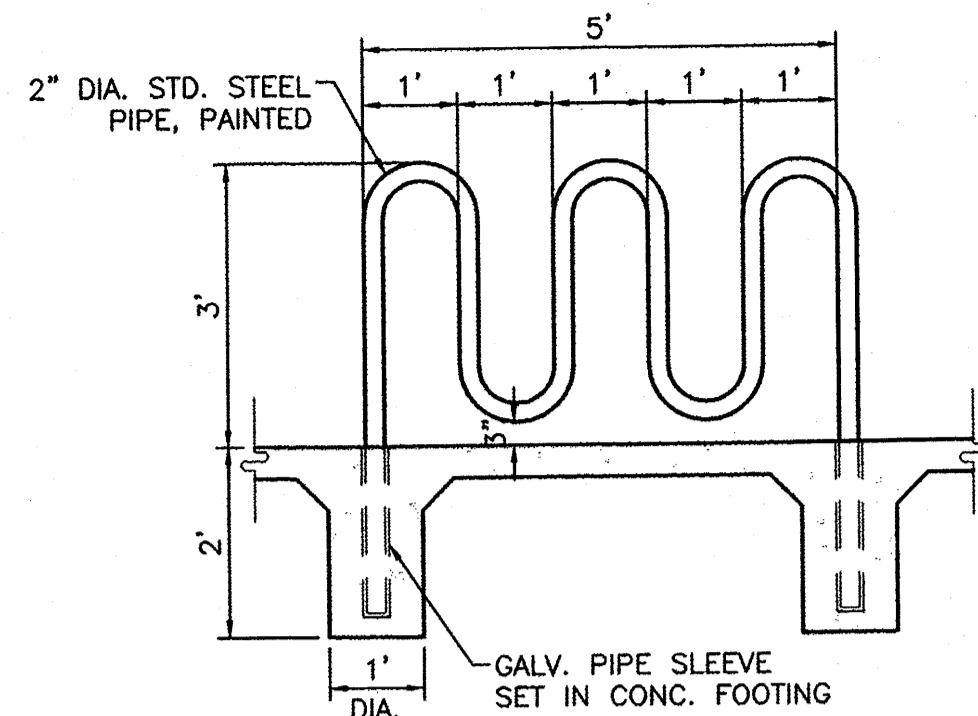


CURB GENERAL NOTES:
 1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
 2. PROVIDE CONTRACTION JTS. 12" MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS. SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
 3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
 4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

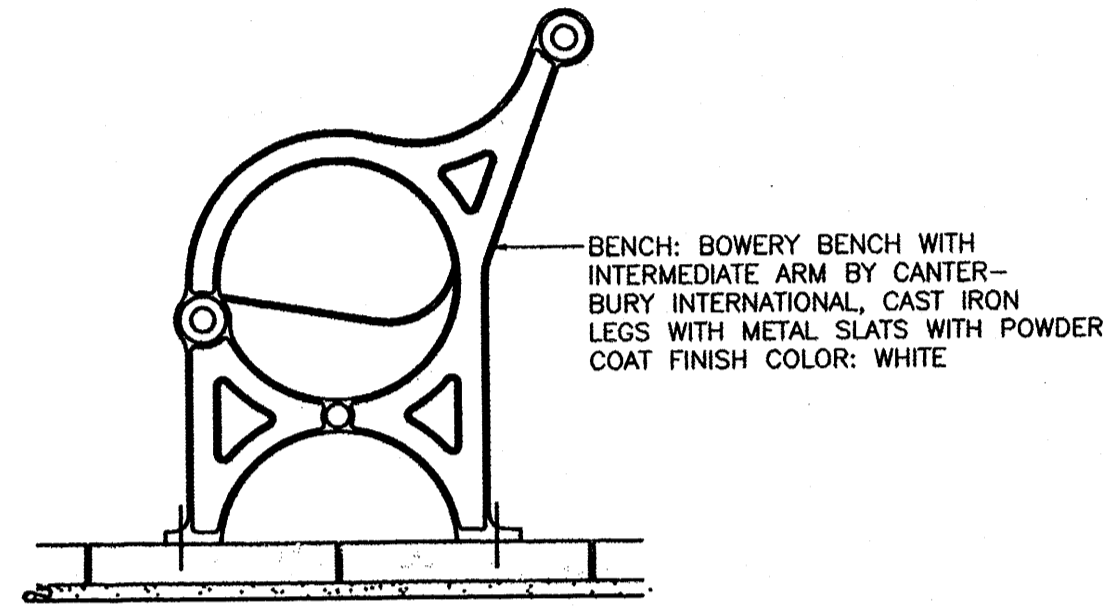
STANDARD CURB / GUTTER
NTS



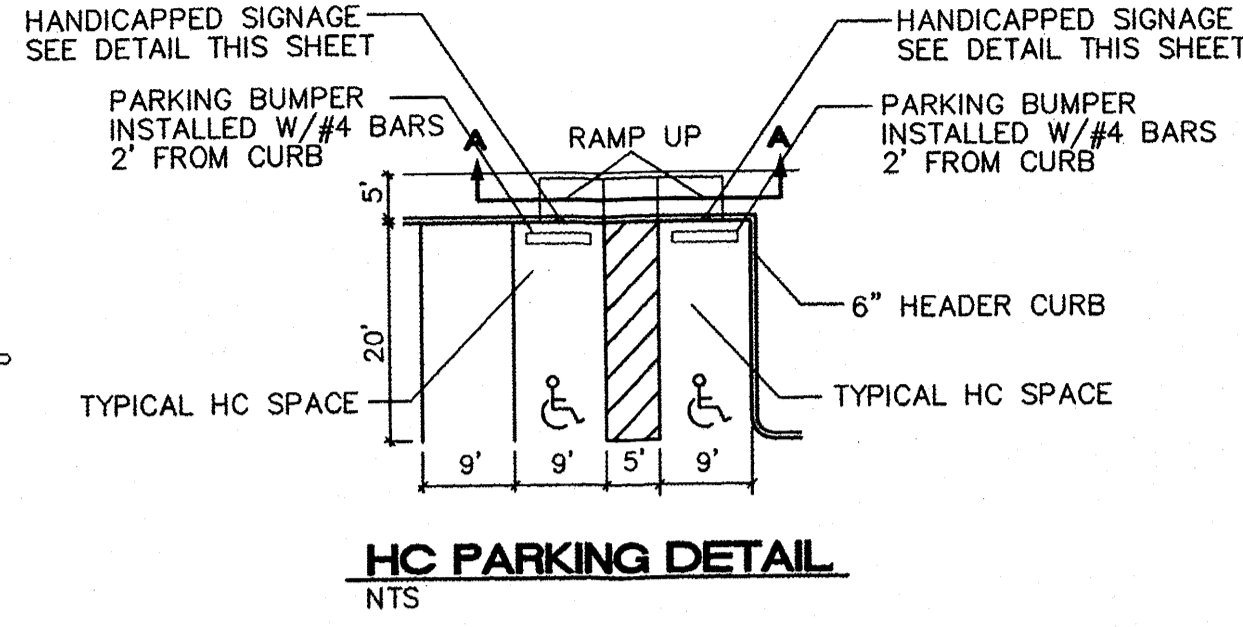
CONCRETE RUNDOWN DETAIL
NTS



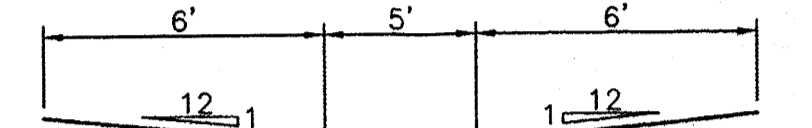
BIKE RACK DETAIL
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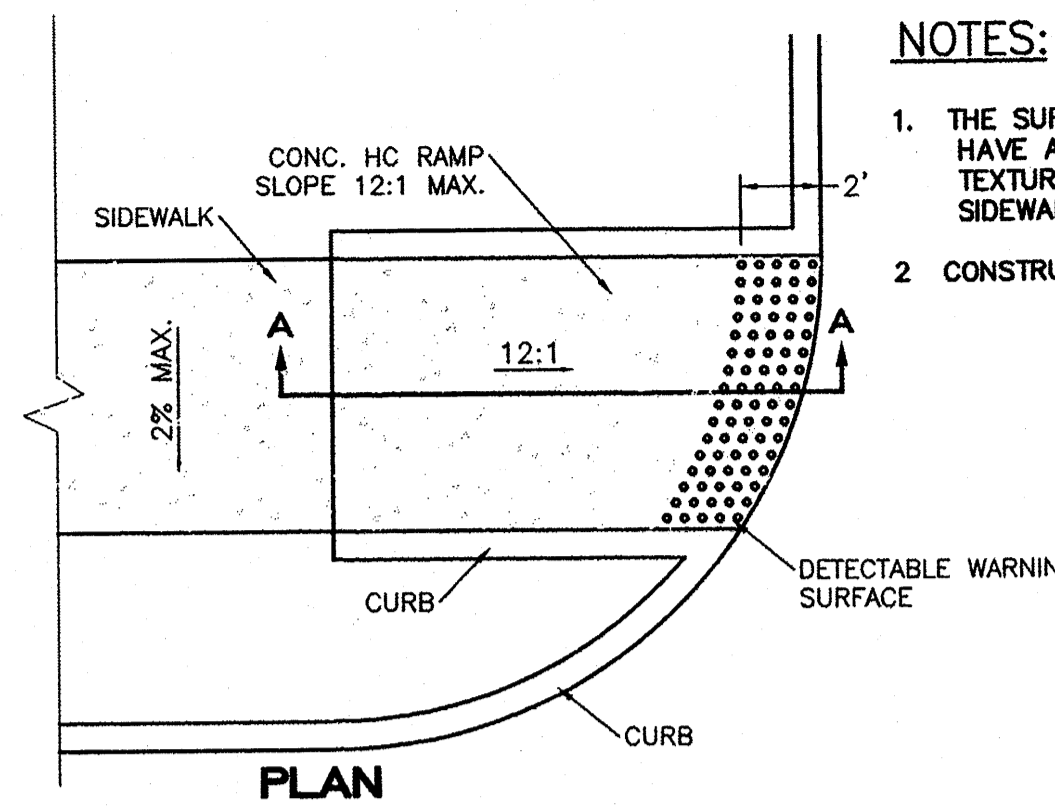
BENCH AND RECEPTACLE CONC. CONNECTION
NTS



HC PARKING DETAIL
NTS



HC PARKING DETAIL SECTION A-A
NTS



PLAN

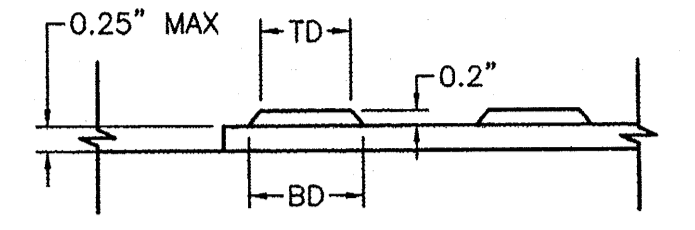
SECTION A-A

UNIDIRECTIONAL HC RAMP

NOT TO SCALE

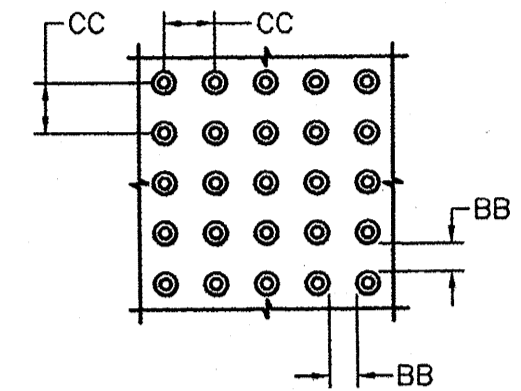
NOTES:

1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. CONSTRUCT PER A.D.A. STANDARDS.



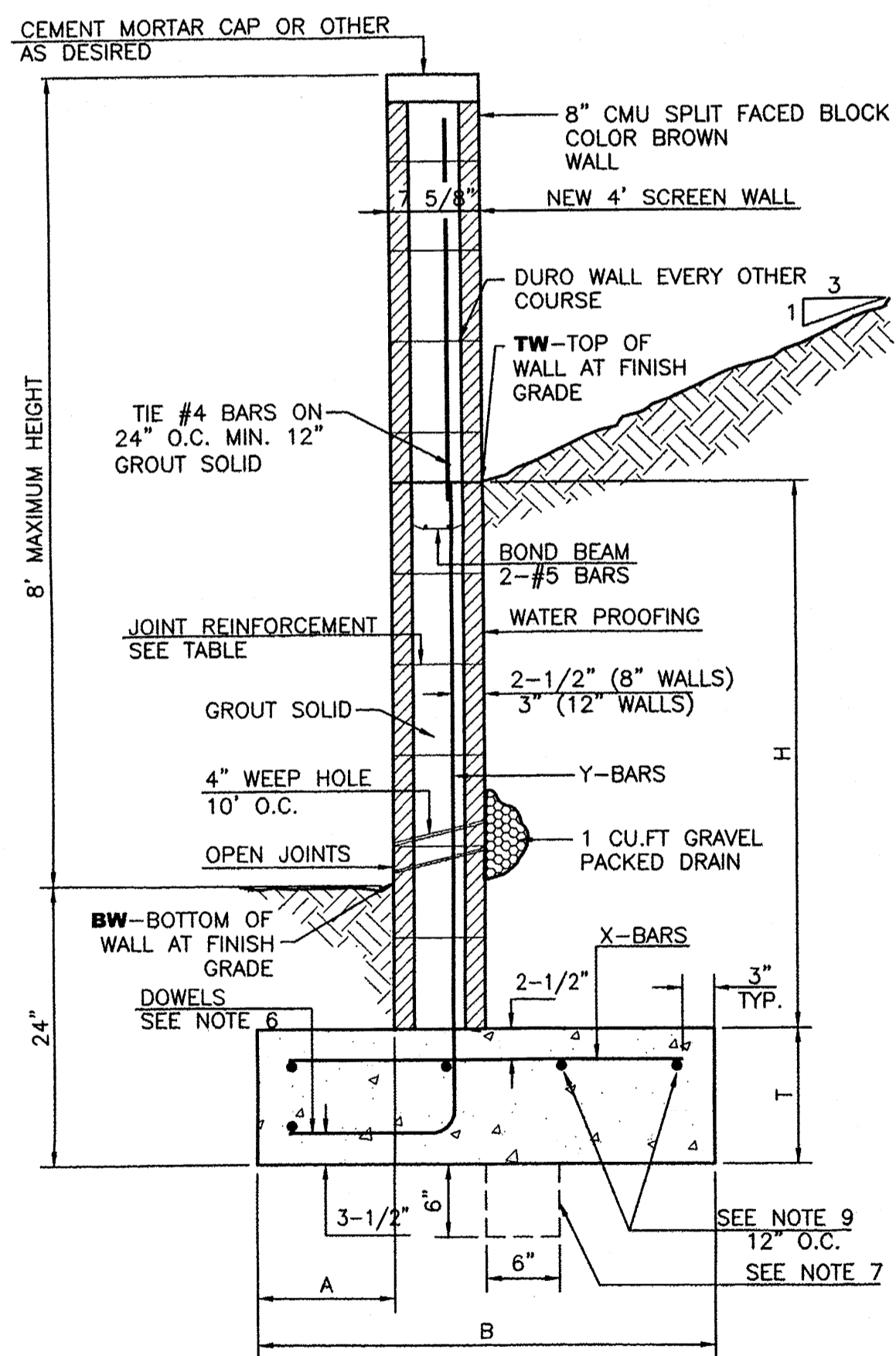
DOMES SECTION

BD - BASE DIAMETER 0.9" MIN
 TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



DOMES SPACING

CC - CENTER TO CENTER SPACING
 2.35" MIN
 BB - BASE TO BASE SPACING
 1.48" MIN



RETAINING WALL DETAIL
NTS

8 INCH REINFORCED CONCRETE MASONRY WALL

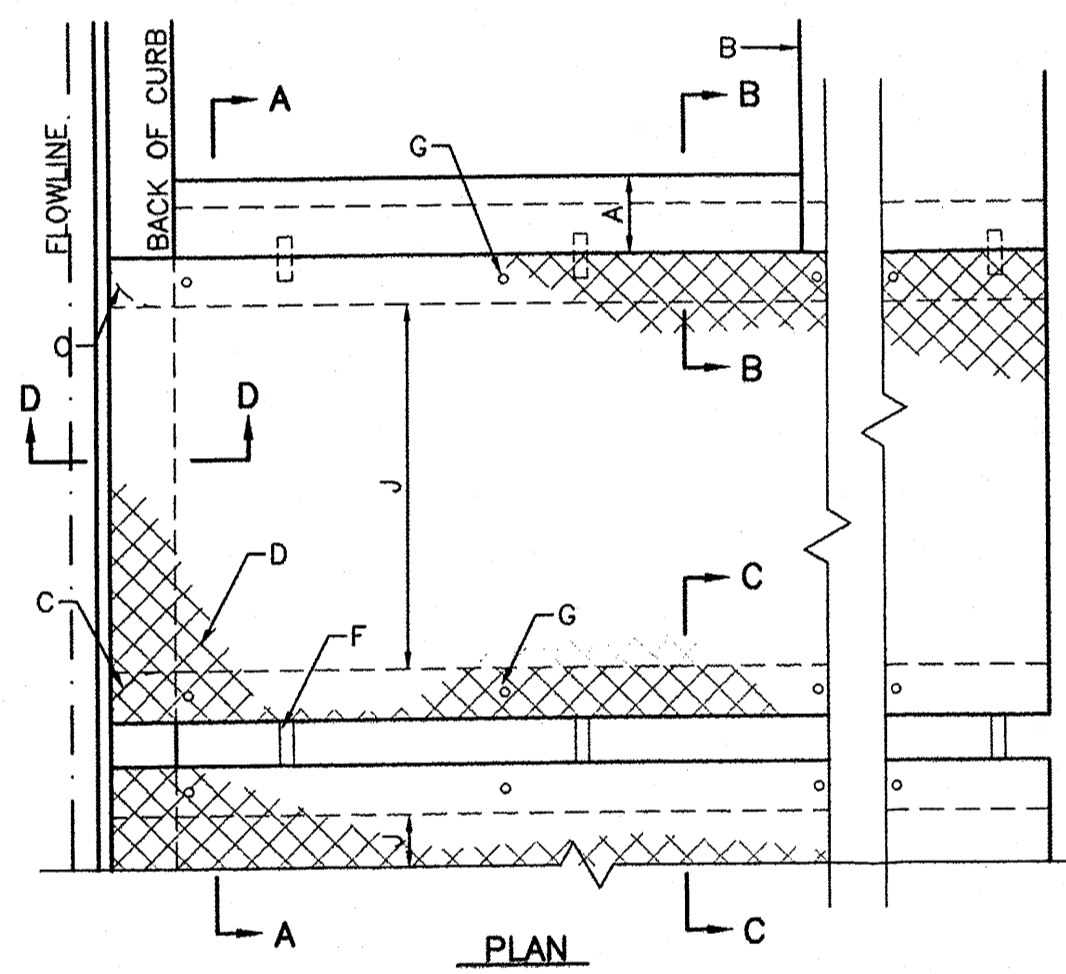
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

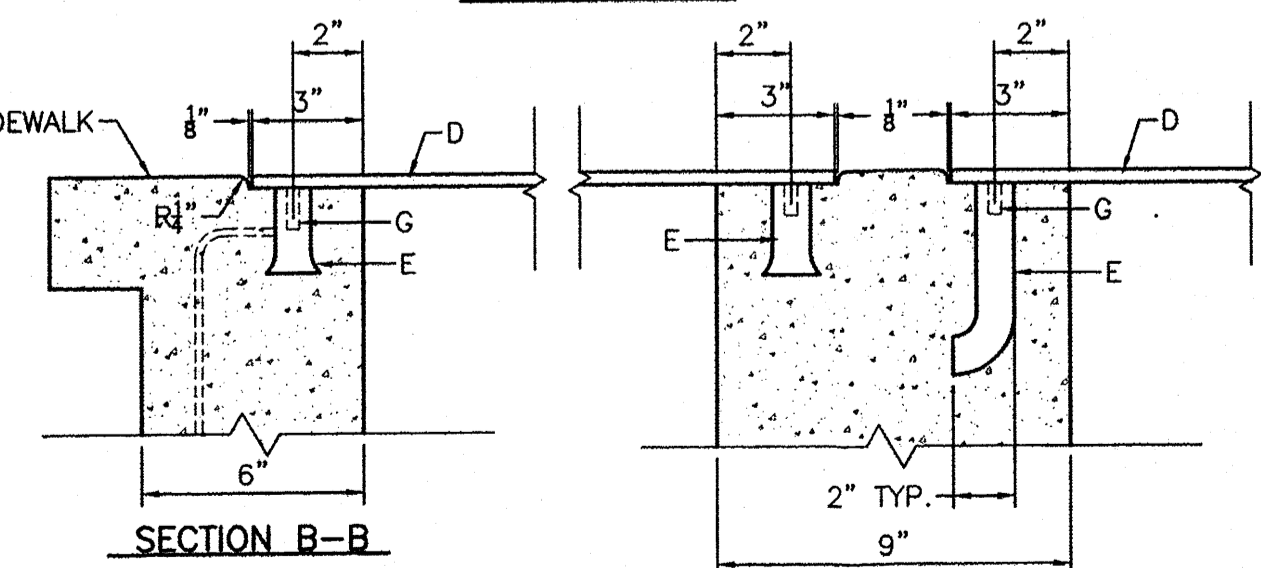
GENERAL NOTES:

1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
9. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



PLAN

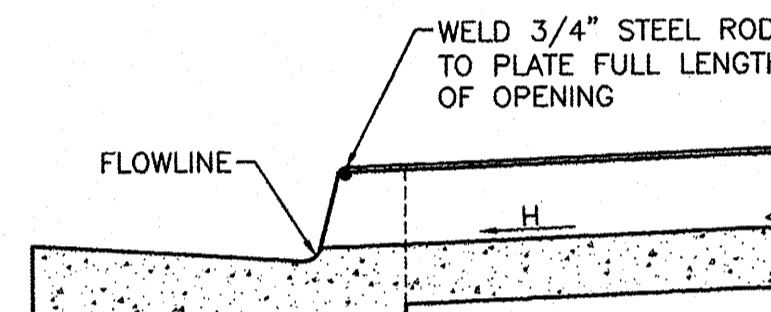
SECTION A-A



SECTION B-B

SECTION C-C

SIDEWALK CULVERT DETAIL
NTS



SECTION D-D

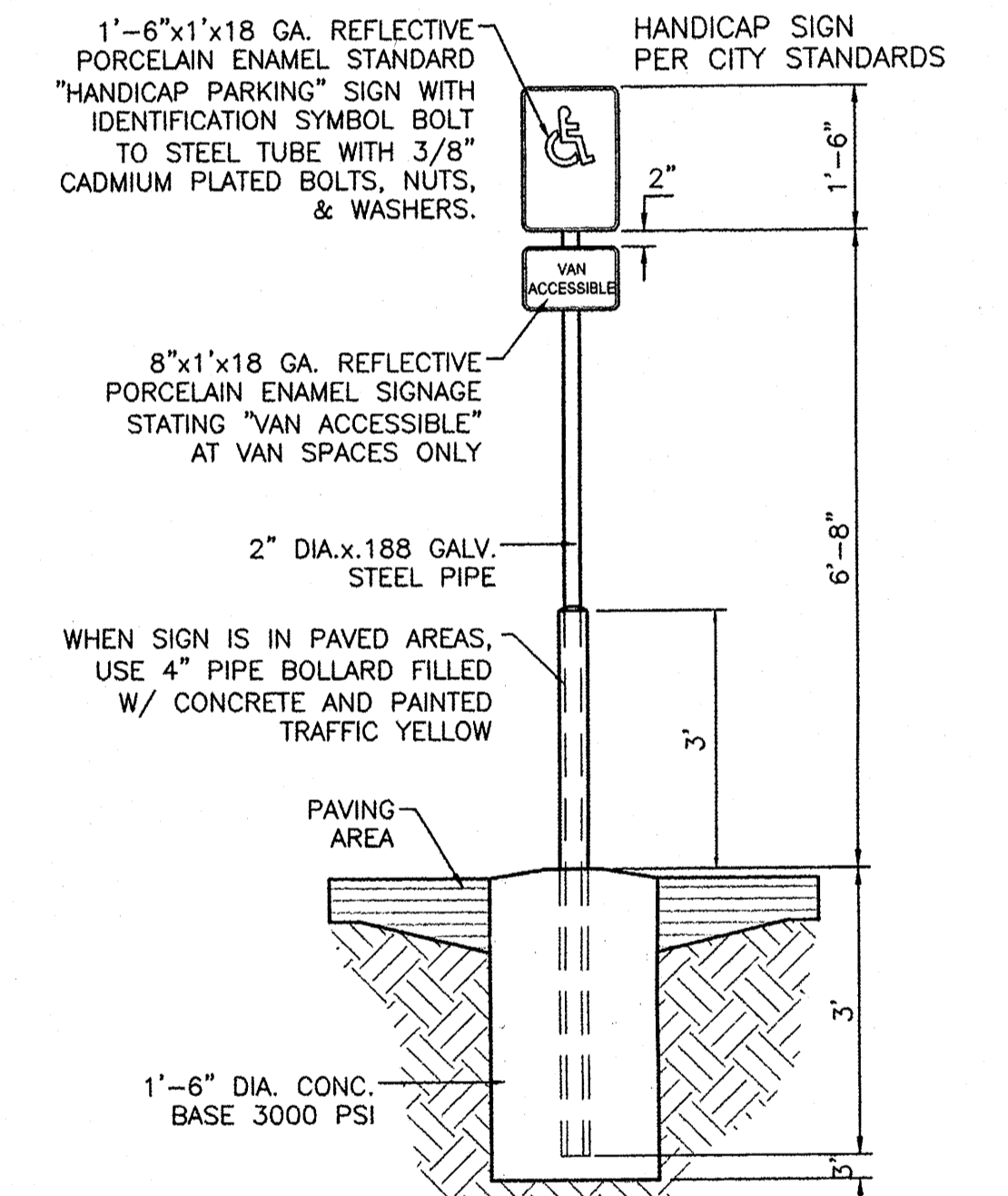
DOWEL DETAIL

GENERAL NOTES:

1. PLACING OF DRAIN THRU EX. SIDEWALK AND C&G REQUIRES THAT ENTIRE STONES BE REMOVED AND REPLACED AS DETAILED.
2. BOTTOM SLAB OF CULVERT SHALL BE POURED MONOLITHICALLY WITH NEW GUTTER
3. THE INVERT SHALL BE TROWELED TO PRODUCE A HARD POLISHED SURFACE OF MAX DENSITY AND SMOOTHNESS. INVERT SHALL BE V-SHAPED TO WITHIN 3" OF OUTLET, THEN WARPED TO PARALLEL FLOWLINE AT OUTLET.
4. ALL EXPOSED CONC. SURFACE SHALL MATCH GRADE. COLOR, FINISH AND SCORING OF ADJACENT CURB AND SIDEWALK
5. SIDEWALK REPLACED DURING CONSTRUCTION SHALL BE POURED MONOLITHICALLY WITH CULVERT WALLS.
6. IF ROD ANCHORS ARE USED, DRILL & TAP FOR F.H. MACHINE SCREW. ATTACH ANCHORS TO PLATE AND SECURE PLATE IN PLACE PRIOR TO POURING WALLS.
7. LENGTH OF EACH PLATE SHALL BE SUCH THAT THE WEIGHT WILL NOT EXCEED 300LBS. AND SHALL BE STRESS RELIEVED AFTER FABRICATION. CLEAN SURFACE OF PLATE AND FRAMING MEMBERS AND PAINT W/ONE SHOP COAT RED OXIDE AND TWO FINISH COATS ALUMINUM PAINT (AASHTO M 68)
8. THE CITY WILL NOT ASSUME RESPONSIBILITY FOR MAINTENANCE OF ANY SIDEWALK CULVERT INSTALLED BY OR FOR PRIVATE PROPERTY OWNERS

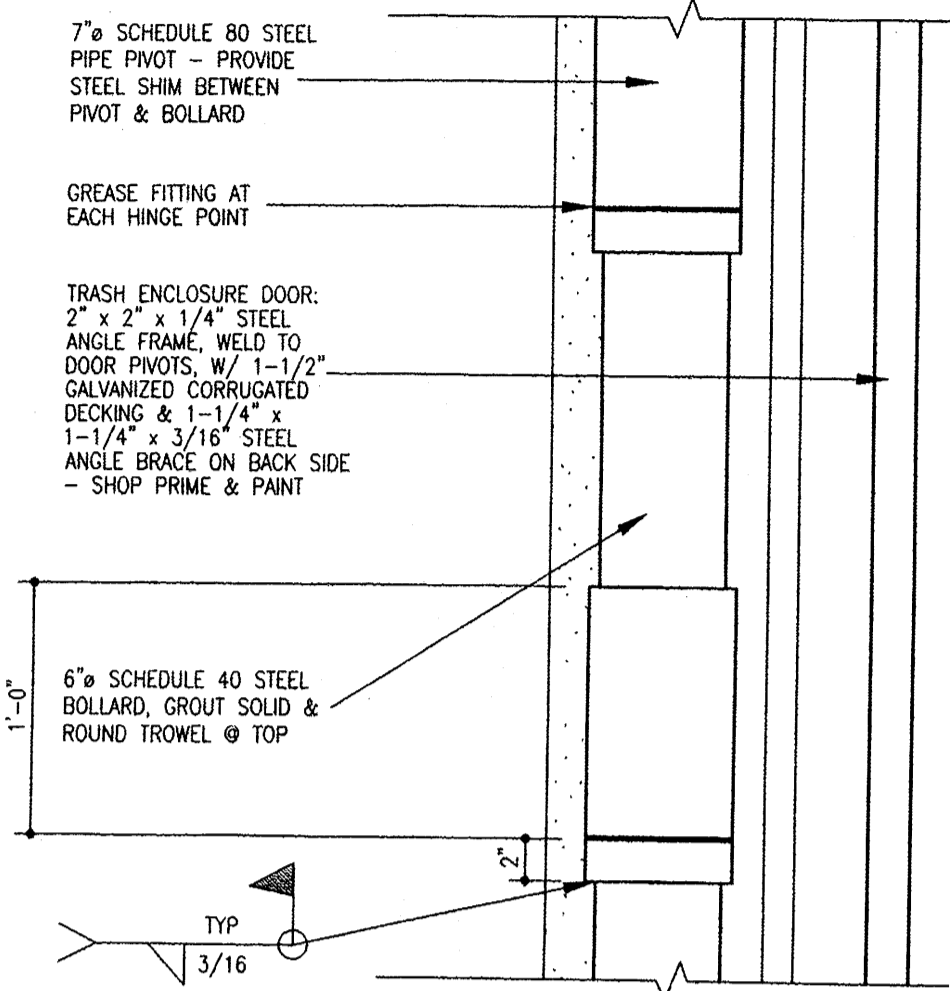
CONSTRUCTION NOTES:

- A. MATCH NEAREST CONTROL JOINT, INSTALL 1/2" EXPANSION JOINT
- B. EDGE OF SIDEWALK OR SETBACK
- C. 3" RADIUS
- D. 3/8" CHECKERED STEEL PLATE (PAINT PER NOTE 7, ABOVE)
- E. FOR SECURING PLATE USE 1"x5" S.S. ROD ANCHOR, "RED HEAD MULTI-SET II SRM-38 ANCHOR" OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S INSTRUCTIONS AT MAX. 24" O.C. A MIN. OF 2 PER SIDE AND ONE WITHIN 6" OF EACH OTHER
- F. CONSTRUCTION JOINT IS OPTIONAL. IF USED SPACE DOWELS AT 18" O.C. MAX. 1-1/2" MIN. FROM FACE OF CONC.
- G. 3/8" - 16x1-1/4" COUNTERSUNK, F.H. STAINLESS STEEL, MACHINE SCREW.
- H. SLOPE 1/4" PER FT. MIN.
- J. DRAIN WIDTH PER PLAN (12" MIN, 24" MAX.)

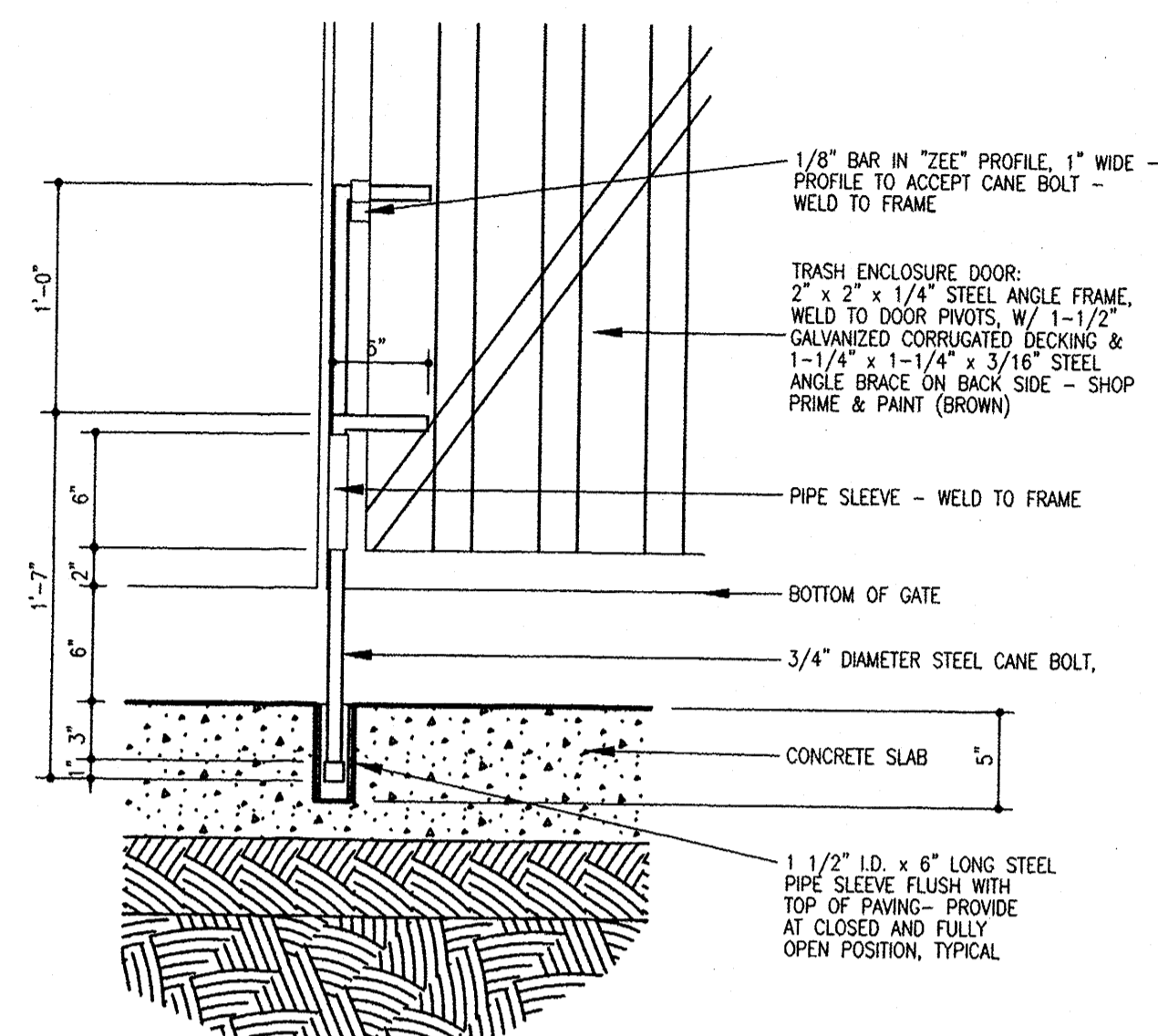


HANDICAP SIGN
NTS

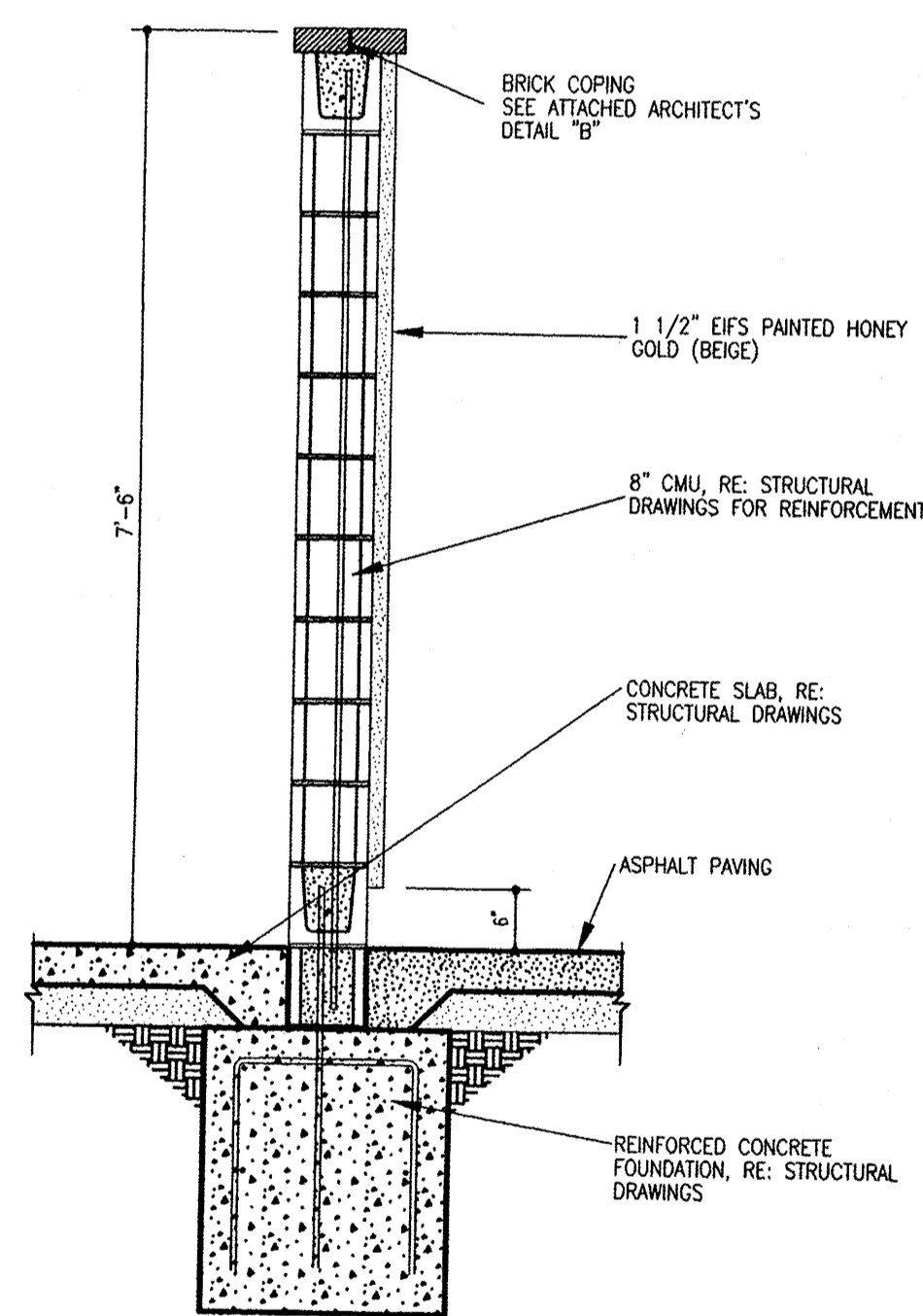
	ALBUQUERQUE SPORTING CENTER CONSTRUCTION DETAILS	DRAWN BY pm DATE 1-31-13 DRAWING 2012086-DET SHEET # 6 JOB # 2012086
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	



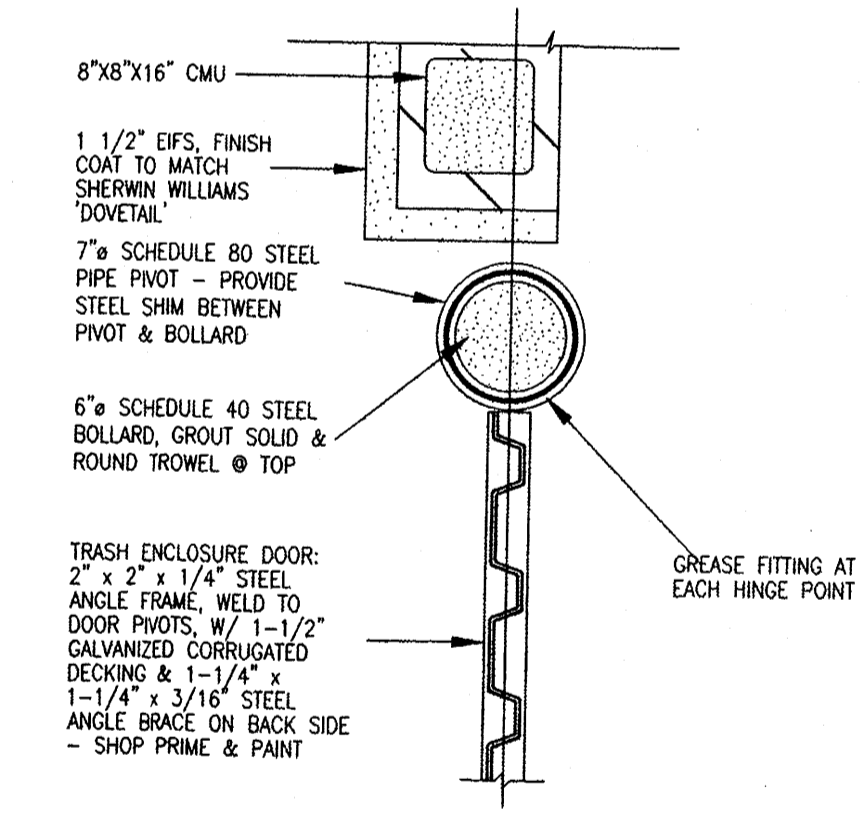
9 Dumpster Door Pivot
1/12" = 1'-0"



8 Cane Bolt Detail
1/12" = 1'-0"



7 Wall Section
3/4" = 1'-0"



6 Plan Detail
1/12" = 1'-0"

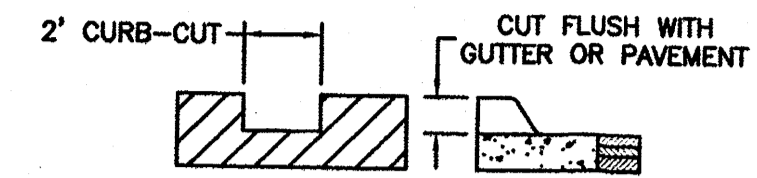
TRASH ENCLOSURE DOOR, RE: DETAILS THIS SHEET (TYP)

6" STEEL BOLLARD, 72" HIGH, GROUT SOLID WITH ROUND TROWEL @ TOP, ENCASE IN 18" DIAMETER X 36" DEEP CONCRETE FOOTING (TYP OF 4)

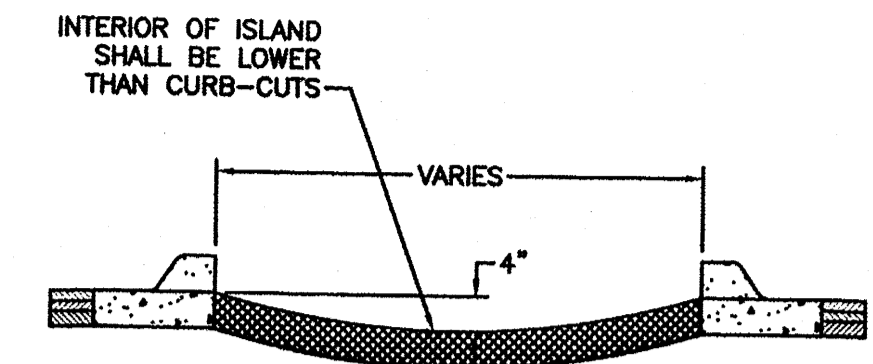
1 Dumpster Floor Plan
1/2" = 1'-0"

General Notes

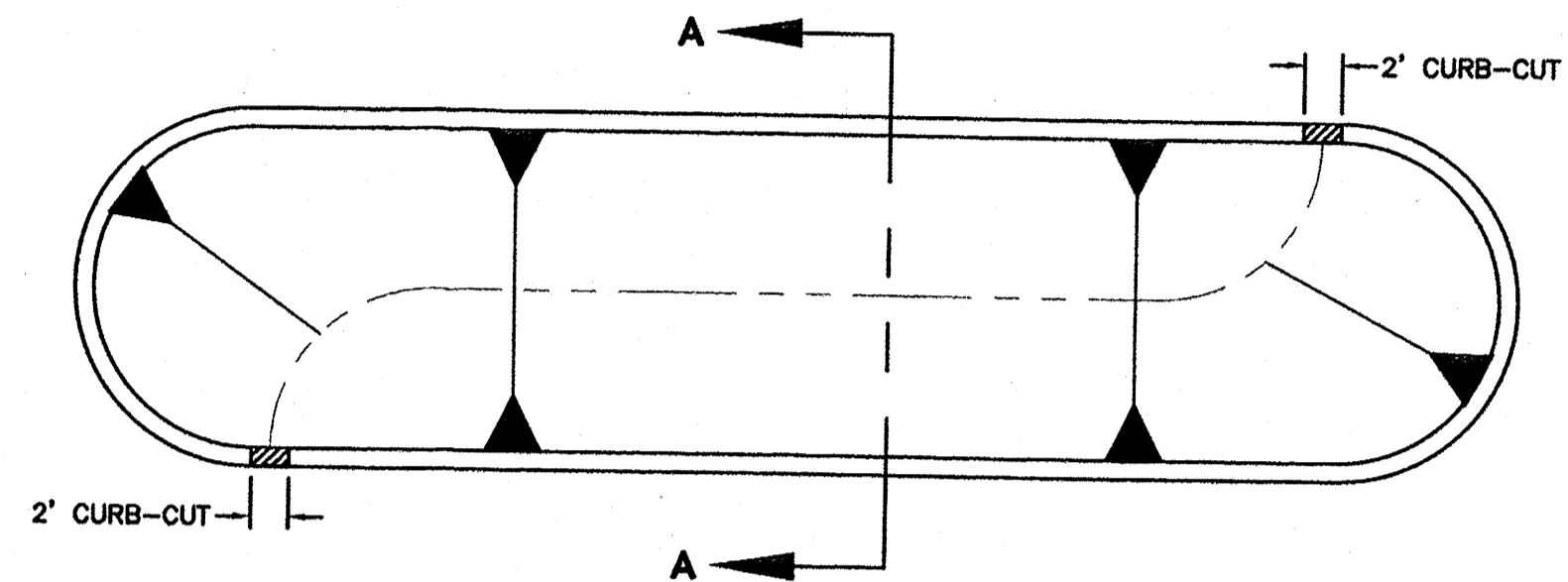
1. PAINT BOLLARDS, GATE HINGES, GATES & ANY OTHER FERROUS STEEL COMPONENT SHERWIN WILLIAMS PER ARCHITECTURAL PLANS



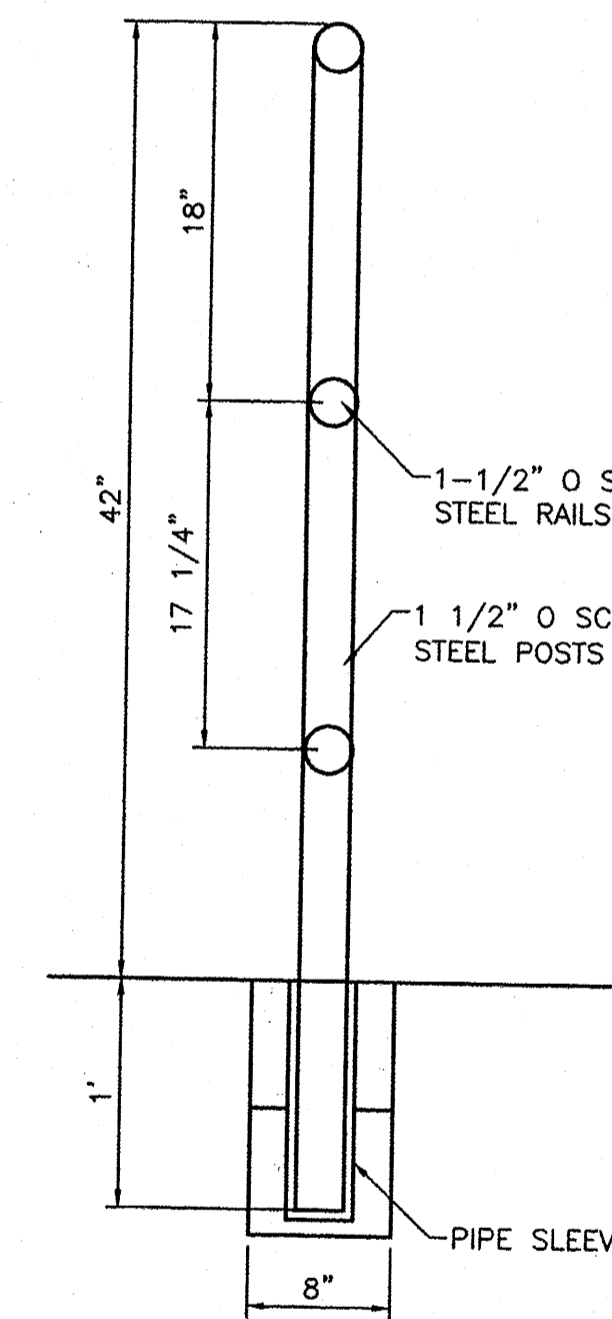
2' CURB-CUT
NTS



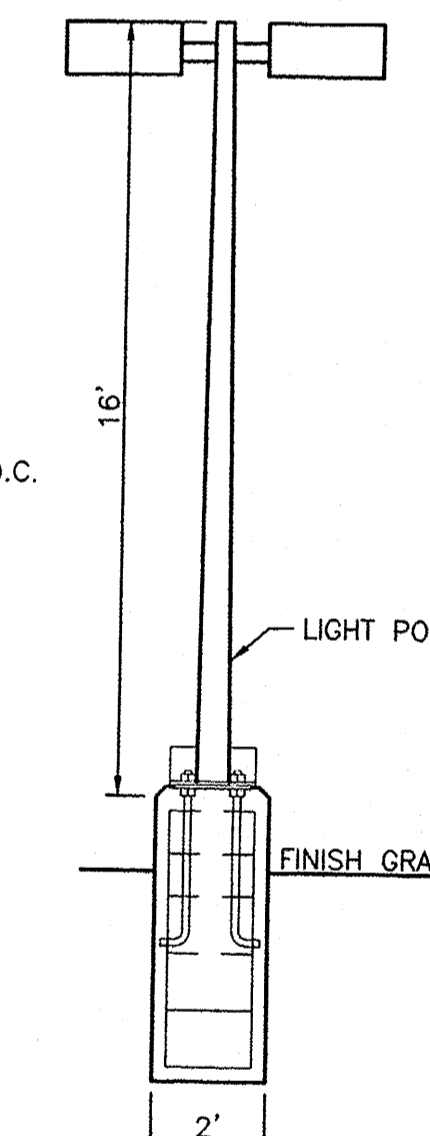
SECTION A-A
NTS



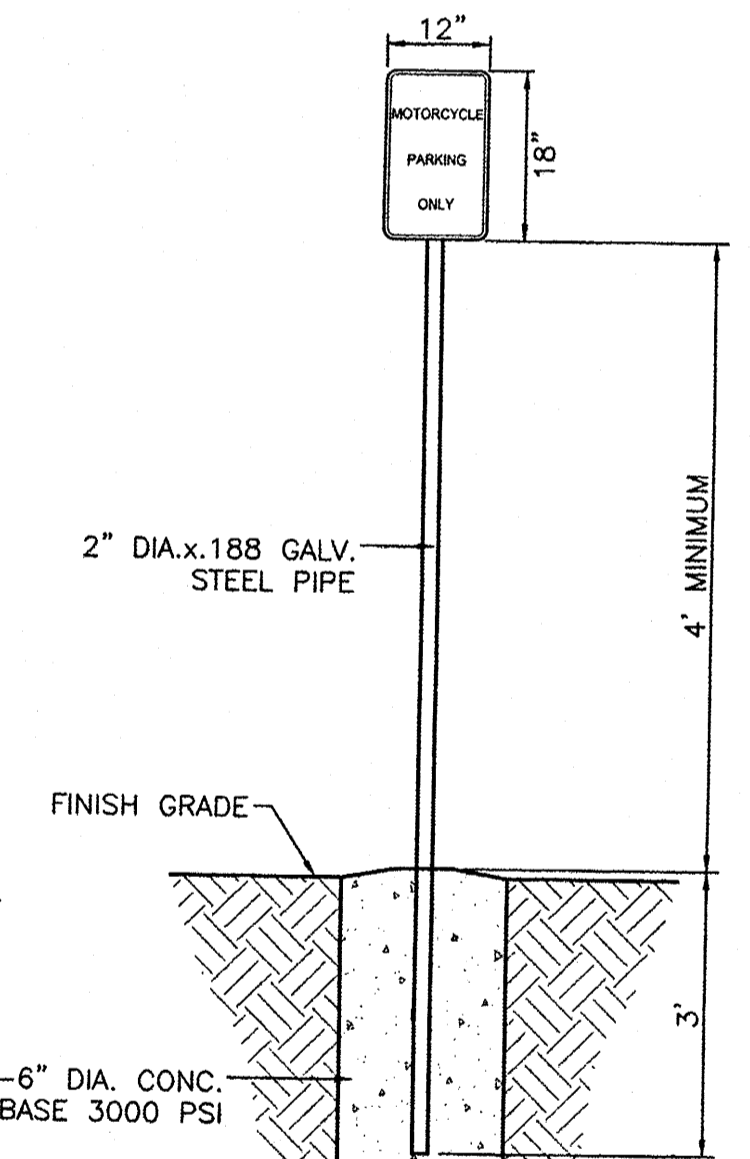
LANDSCAPE ISLAND WATER HARVESTING DETAIL FOR REFERENCE ONLY - BUILD ISLAND GEOMETRY PER SITE AND GRADING PLAN



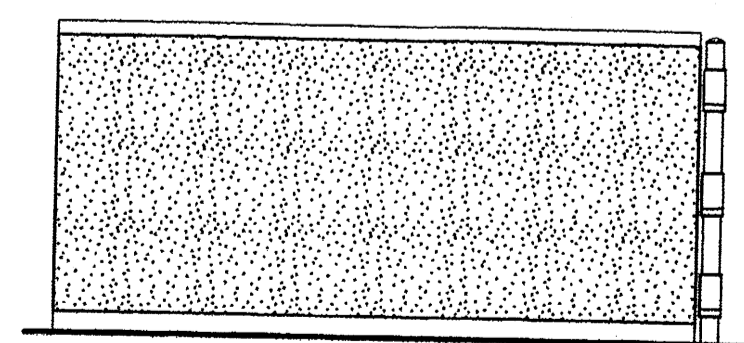
3 GUARD RAIL DETAIL
NTS



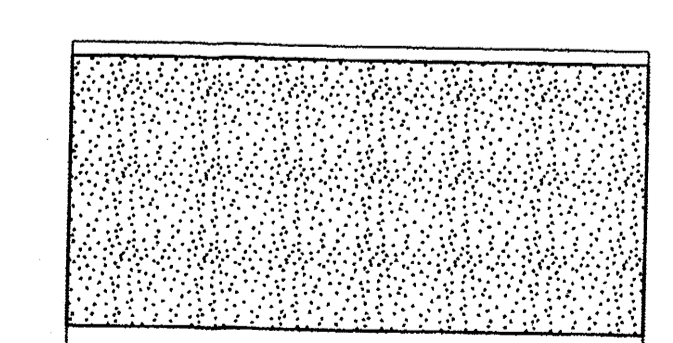
4 LIGHT POLE DETAIL
NTS



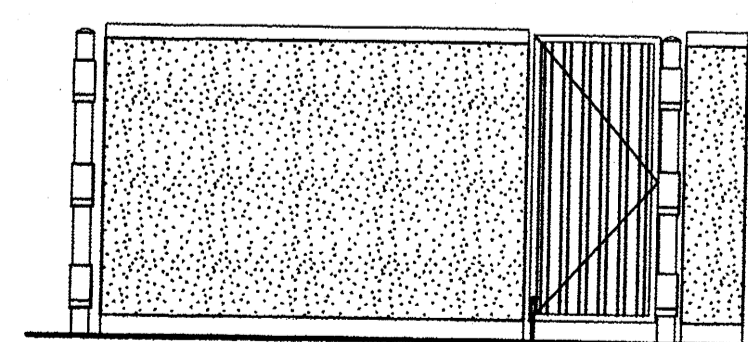
5 MOTORCYCLE PARKING SIGN
NTS



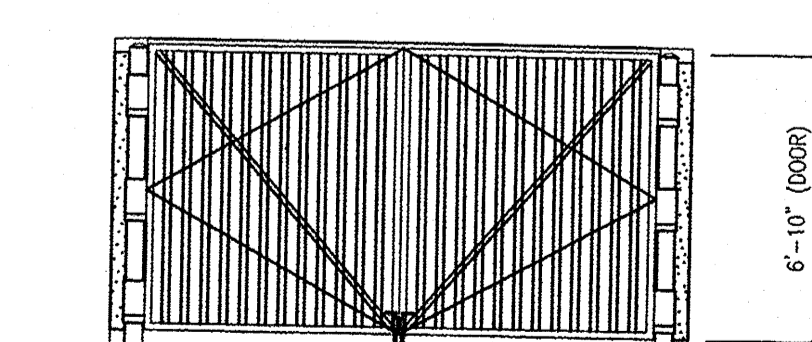
5 Side Elevation
1/4" = 1'-0"



4 Back Elevation
1/4" = 1'-0"

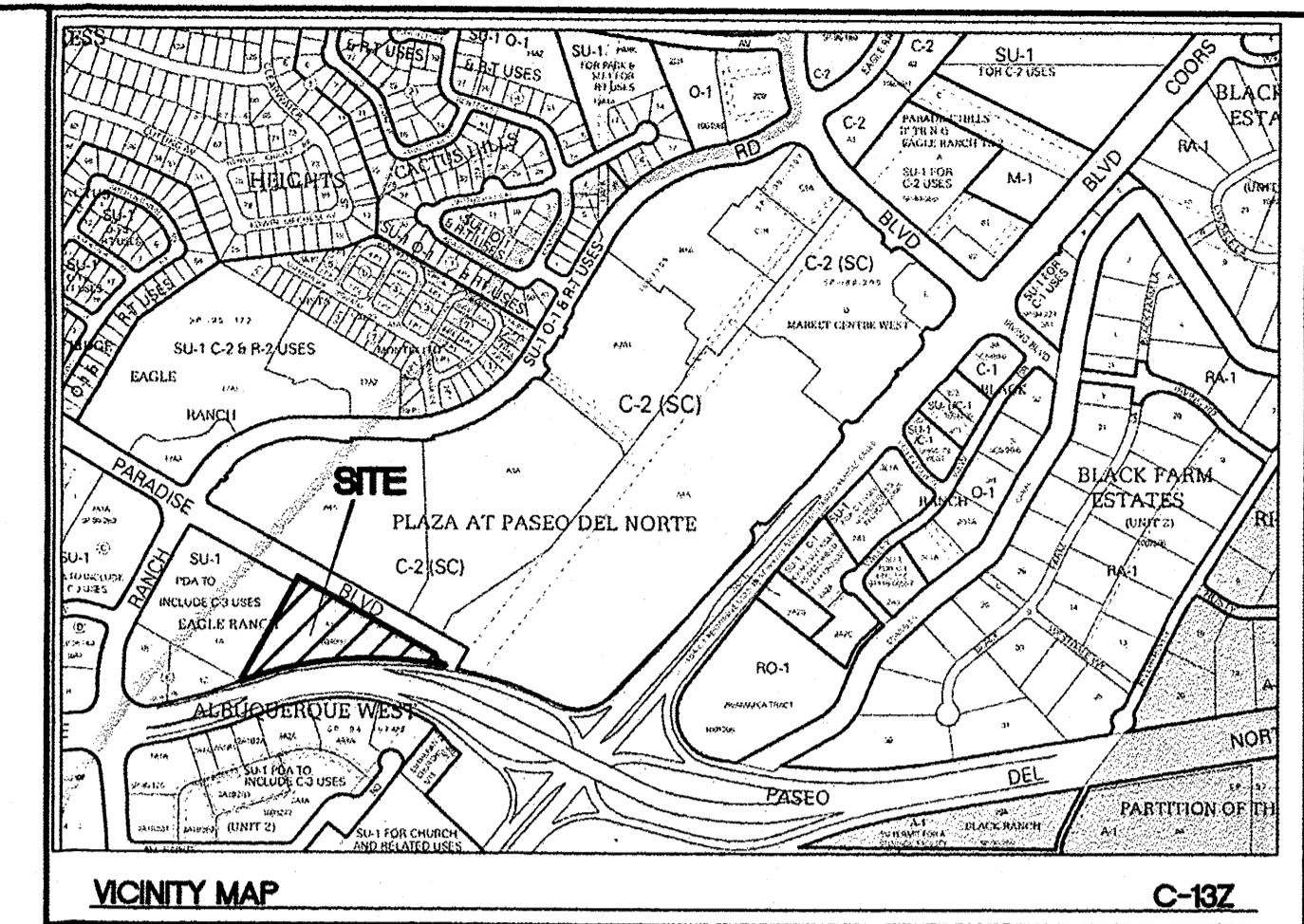


3 Side Elevation
1/4" = 1'-0"



2 Front Elevation
1/4" = 1'-0"

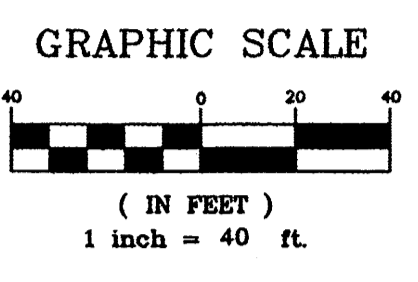
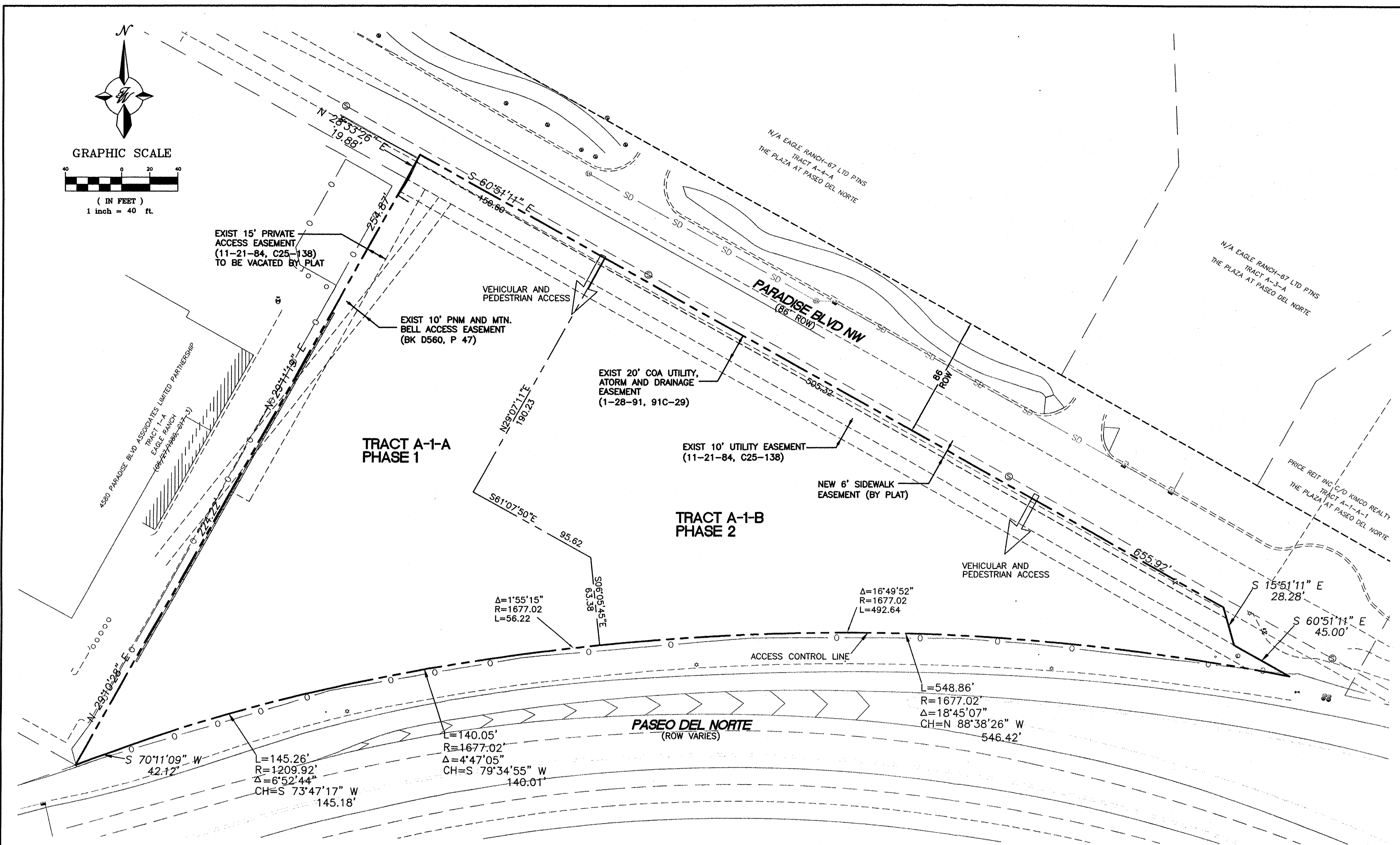
	ALBUQUERQUE SPORTING CENTER CONSTRUCTION DETAILS	DRAWN BY pm DATE 1-31-13 DRAWING 2012086-DET
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # 7



LEGAL DESCRIPTION
TRACT A1 ALBUQUERQUE WEST UNIT 2

NOTES:

- THE FOLLOWING USES ARE EXPRESSLY EXCLUDED WHETHER FIRST LISTED AS PERMISSIVE OR CONDITIONAL USES IN THE C-3 ZONE: TIRE RECAPPING OR RETREADING, CONTRACTORS YARD, EQUIPMENT RENTAL, BULK FUEL STORAGE OR SALES, AUTO DISMANTLING, OUTDOOR BUILDING MATERIAL STORAGE OR SALES UNLESS INCIDENTAL TO RETAIL SALES AND ADEQUATELY SCREENED.
- PURSUANT TO THE ANNEXATION ZONING AND SPECIAL USE OF PARAMETERS FOR THIS PROPERTY THE FOLLOWING MATTERS ARE DELEGATED TO THE DEVELOPMENT REVIEW BOARD FOR APPROVAL:
 - ALL PLATTING OR REPLATTING.
 - SITE DEVELOPMENT PLANS FOR BUILDING PERMITS PROVIDED THAT:
 - THE PROPOSED USES ARE EITHER RESIDENTIAL OR AMONG THOSE FIRST LISTED AS PERMISSIVE IN THE C-1 OR O-1 ZONES, AND;
 - STRUCTURES DO NOT EXCEED 2.5 STORIES IN HEIGHT, AND;
 - 15% OF THE PAVED PARKING AREAS ARE LANDSCAPED AND BUFFER LANDSCAPING IS IN ACCORDANCE WITH SECTION 40.4J OF THE COMPREHENSIVE ZONING ORDINANCE;
 - THE F.A.R. DOES NOT EXCEED 0.50.
- PURSUANT TO THE ANNEXATION ZONING AND SPECIAL USE OF PARAMETERS FOR THIS PROPERTY, IF A SITE DEVELOPMENT PLAN FOR SUBDIVISION IS APPROVED BY THE E.P.C., ALL SUBSEQUENT SITE DEVELOPMENT PLANS FOR BUILDING PERMITS SHALL BE DELEGATED TO THE DEVELOPMENT REVIEW BOARD.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
- LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINE OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALL WITH TOP OF EQUIPMENT BELOW TO OF SCREEN WALL.
- PEDESTRIAN CROSSWALKS, INCLUDING PEDESTRIAN PATHWAYS AND DRIVE AISLE CROSSINGS SHALL BE CONSTRUCTED OF A MATERIAL OTHER THAN ASPHALT, SUCH AS TEXTURED (SCORED) COLORED CONCRETE
- 10' CLEARANCE SHALL BE PROVIDED FOR ALL GROUND MOUNTED PNM UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PROPOSES.
- CROSS LOT ACCESS AND DRAINAGE EASEMENTS SHALL BE PROVIDED ON THE PLAT TO EACH LOT.
- PHASE 2 WILL BE FUTURE DEVELOPMENT TO BE CONDUCTED AT A LATER DATE THAN PHASE 1.
- ALL ARCHITECTURAL DESIGN SHALL BE COMPATIBLE WITH THE PHASE 1 DEVELOPMENT ON TRACT A-1-A. IT SHALL BE SIMILAR IN COLOR AND MATERIAL TO THE FIRST BUILDING ON THE SITE AND HAVE A SIMILAR LEVEL OF ARTICULATION AND DETAIL. FUTURE BUILDINGS SHALL BE CONSISTENT WITH THE GENERAL BUILDING REGULATIONS 14-16-3-18.
- PRIOR TO INSTALLATION OF THE STREETSCAPE LANDSCAPING ALONG PARADISE BLVD, THE PROJECT MANAGER SHALL CONTACT MRCOG TO VERIFY THE STATUS OF THE PASEO DEL NORTE HUGH CAPACITY TRANSIT STUDY ALIGNMENT. IF PARADISE BLVD IS SELECTED, INSTALLATION OF STREETSCAPE MATERIALS MAY HAPPEN AS PART OF PHASE II DEVELOPMENT.



SITE DATA TRACT A-1-A

ZONING PROPOSED USAGE	SU-1 PDA TO INCLUDE C-3 USES COMMERCIAL/RETAIL/SHOOTING RANGE
LOT AREA: PHASE 1	76196 SF (1.75 AC)
BUILDING AREA: PHASE 1	15036 SF (TO BE BUILT) 6297 SF (FUTURE ADDITION)
FAR	0.279
BUILDING HEIGHT	26' MAXIMUM
SETBACKS	FRONT 11' (MINIMUM) SIDE 10' (MINIMUM) REAR 10' (MINIMUM)

SITE DATA TRACT A-1-B

ZONING PROPOSED USAGE	SU-1 PDA TO INCLUDE C-3 USES COMMERCIAL/RETAIL
LOT AREA: PHASE 2	75571 SF (1.73 AC)
BUILDING AREA: PHASE 2	2 BUILDINGS 7200 SF EA
FAR	0.190
BUILDING HEIGHT	26' MAXIMUM
SETBACKS	FRONT 11' (MINIMUM) SIDE 10' (MINIMUM) REAR 10' (MINIMUM)

TOTAL FAR FOR SITE IS 0.235

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

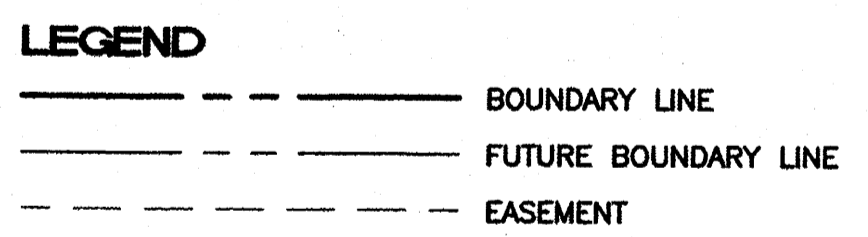
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

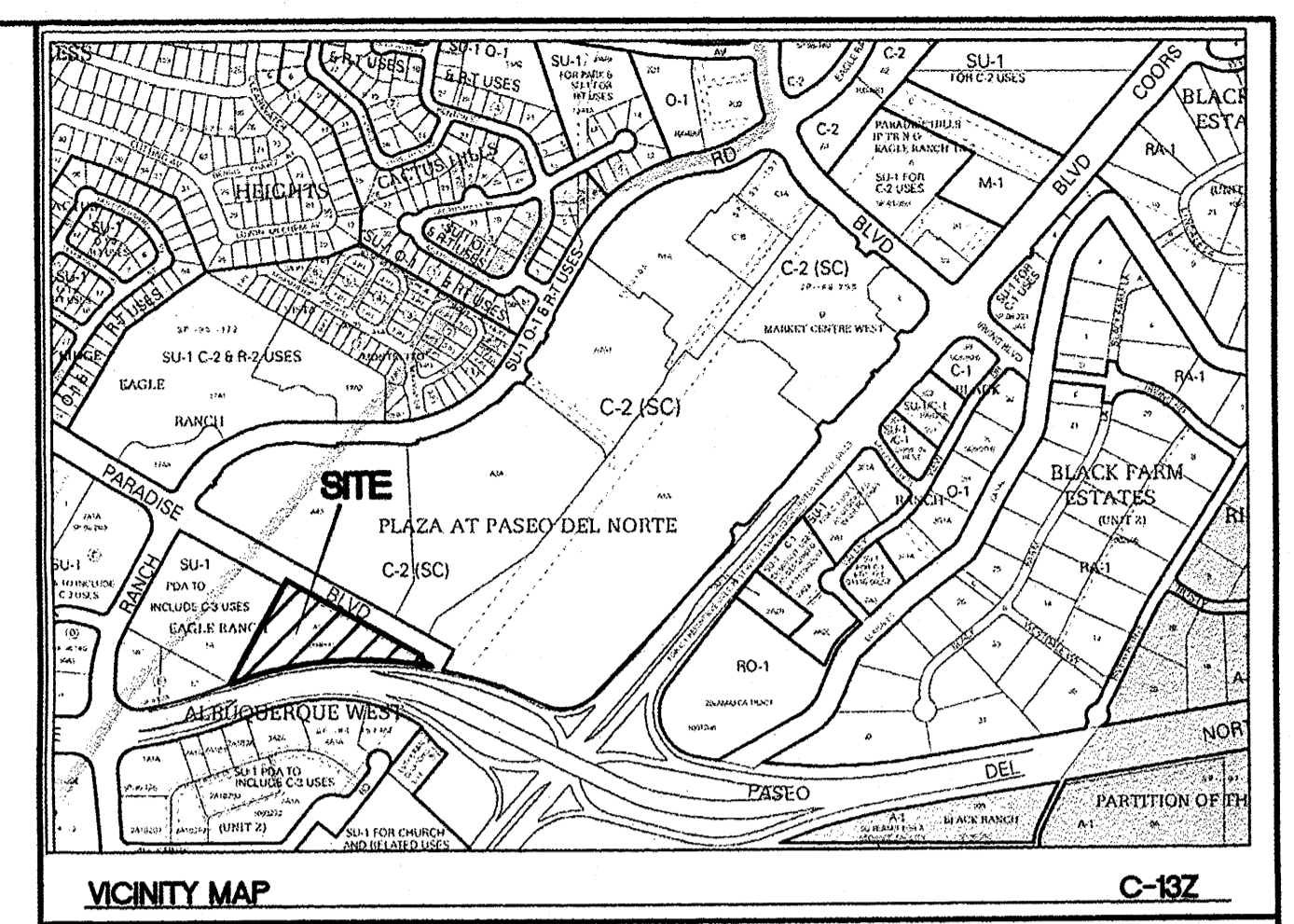
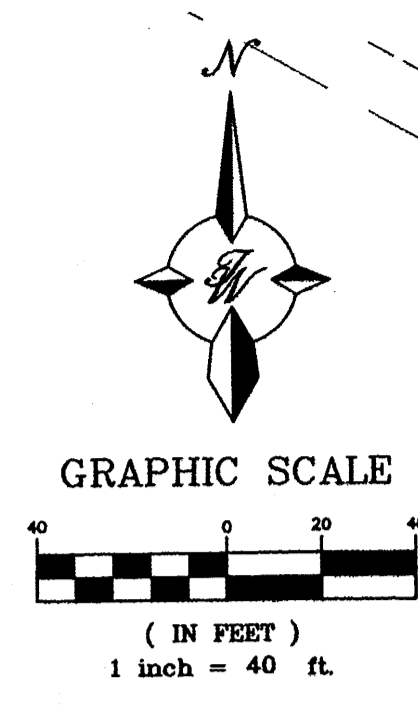
Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary



- INDEX TO DRAWINGS**
- SITE PLAN FOR SUBDIVISION
 - SITE PLAN FOR BUILDING PERMIT
 - LANDSCAPING PLAN
 - GRADING PLAN
 - MASTER UTILITY PLAN
 - BUILDING ELEVATIONS
 - BUILDING ELEVATIONS
 - CONSTRUCTION DETAILS
 - CONSTRUCTION DETAILS

	ALBUQUERQUE SPORTING CENTER SITE PLAN FOR SUBDIVISION	DRAWN BY pm DATE 1-31-13 DRAWING 2012086-SPE SHEET # 1 JOB # 2012086
	TERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.terrawestllc.com	

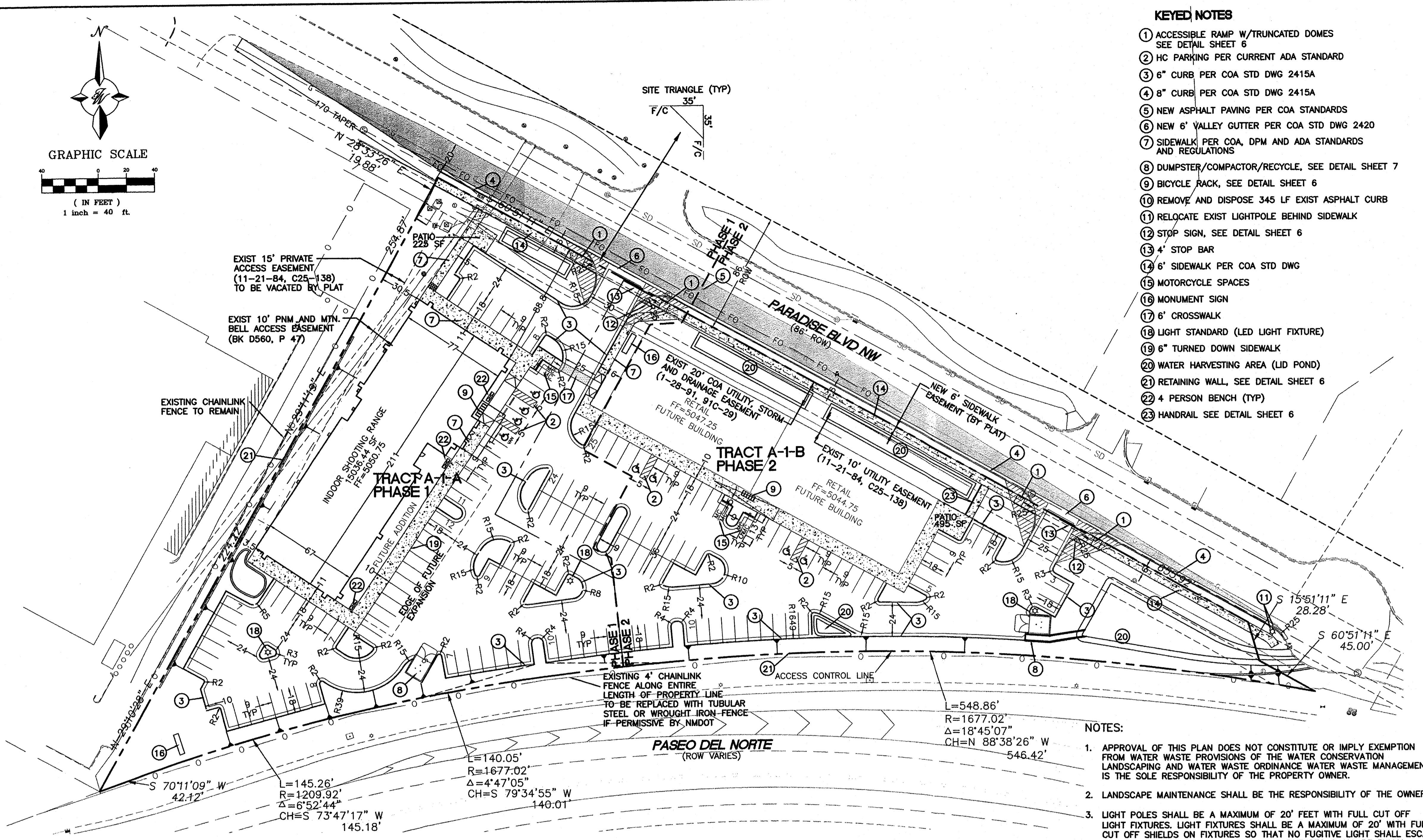


LEGAL DESCRIPTION
TRACT A1 ALBUQUERQUE WEST UNIT 2

LEGEND

	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	FUTURE BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	BICYCLE RACK
	SITE LIGHTING
	PROPERTY LINE
	NEW PAVING PER COA STANDARDS

- KEYED NOTES**
- ACCESSIBLE RAMP W/TRUNCATED DOMES SEE DETAIL SHEET 6
 - HC PARKING PER CURRENT ADA STANDARD
 - 6" CURB PER COA STD DWG 2415A
 - 8" CURB PER COA STD DWG 2415A
 - NEW ASPHALT PAVING PER COA STANDARDS
 - NEW 6" VALLEY GUTTER PER COA STD DWG 2420
 - SIDEWALK PER COA, DPM AND ADA STANDARDS AND REGULATIONS
 - DUMPSTER/COMPACTOR/RECYCLE, SEE DETAIL SHEET 7
 - BICYCLE RACK, SEE DETAIL SHEET 6
 - REMOVE AND DISPOSE 345 LF EXIST ASPHALT CURB
 - RELOCATE EXIST LIGHTPOLE BEHIND SIDEWALK
 - STOP SIGN, SEE DETAIL SHEET 6
 - 4' STOP BAR
 - 6' SIDEWALK PER COA STD DWG
 - MOTORCYCLE SPACES
 - MONUMENT SIGN
 - 6' CROSSWALK
 - LIGHT STANDARD (LED LIGHT FIXTURE)
 - 6" TURNED DOWN SIDEWALK
 - WATER HARVESTING AREA (LID POND)
 - RETAINING WALL, SEE DETAIL SHEET 6
 - 4 PERSON BENCH (TYP)
 - HANDRAIL SEE DETAIL SHEET 6



- NOTES:**
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 - LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINE OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALL WITH TOP OF EQUIPMENT BELOW TO OF SCREEN WALL.
 - PEDESTRIAN CROSSWALKS, INCLUDING PEDESTRIAN PATHWAYS AND DRIVE AISLE CROSSINGS SHALL BE CONSTRUCTED OF A MATERIAL OTHER THAN ASPHALT, SUCH AS TEXTURED (SCORED) COLORED CONCRETE.
 - 10' CLEARANCE SHALL BE PROVIDED FOR ALL GROUND MOUNTED PNM UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PROPOSES.
 - CROSS ACCESS, PAVING AND DRAINAGE PROVIDED TO EACH LOT
 - PHASE 2 WILL BE FUTURE DEVELOPMENT TO BE CONDUCTED AT A LATER DATE THAN PHASE 1
 - ALL FUTURE DEVELOPMENT SHALL BE DELEGATED TO DRB
 - DELIVERY TRUCKS TO BE SU-30 PANEL TRUCKS
 - THE 10 FOOT SIDEWALK AND OTHER RELATED PEDESTRIAN FEATURES IN FRONT OF THE BUILDING SHALL BE RELOCATED IF THE BUILDING IS EXPANDED IN A FUTURE PHASE
 - ALL ARCHITECTURAL DESIGN SHALL BE COMPATIBLE WITH THE PHASE 1 DEVELOPMENT ON TRACT A-1-A. IT SHALL BE SIMILAR IN COLOR AND MATERIAL TO THE FIRST BUILDING ON THE SITE AND HAVE A SIMILAR LEVEL OF ARTICULATION AND DETAIL. FUTURE BUILDINGS SHALL BE CONSISTENT WITH THE GENERAL BUILDING REGULATIONS 14-16-3-18.
 - PHASE 1 CONSTRUCTION WILL INCLUDE THE SIDEWALK AND PARKING STALLS IN FRONT OF THE FUTURE ADDITION AREA.
 - SECURITY CAMERAS WILL BE PROVIDED TO COVER SURVEILLANCE OF ALL ACCESS POINTS, PARKING LOTS AND THE SIDES OF THE BUILDING.

SITE DATA TRACT A-1-A

ZONING PROPOSED USAGE	SU-1 PDA TO INCLUDE C-3 USES COMMERCIAL/RETAIL/SHOOTING RANGE
LOT AREA:	PHASE 1 76196 SF (1.75 AC)
BUILDING AREA:	PHASE 1 15036 SF (TO BE BUILT) 6297 SF (FUTURE ADDITION)
FAR	0.279
BUILDING HEIGHT	26' MAXIMUM
SETBACKS	FRONT 11' (MINIMUM) SIDE 10' (MINIMUM) REAR 10' (MINIMUM)

SITE DATA TRACT A-1-B

ZONING PROPOSED USAGE	SU-1 PDA TO INCLUDE C-3 USES COMMERCIAL/RETAIL
LOT AREA:	PHASE 2 75571 SF (1.73 AC)
BUILDING AREA:	PHASE 2 2 BUILDINGS 7200 EA
FAR	0.190
BUILDING HEIGHT	26' MAXIMUM
SETBACKS	FRONT 11' (MINIMUM) SIDE 10' (MINIMUM) REAR 10' (MINIMUM)

PARKING CALCULATIONS TRACT A-1-A

BUILDING AREA:	PHASE 1 15036 SF
	PHASE 2 6297 (FUTURE ADDITION)
PARKING REQUIRED:	PHASE 1 1/200 SF (3625 SF) 18 SPACES
	PHASE 2 1/1000 SF (11411 SF) 11 SPACES
TOTAL	39 SPACES
PARKING PROVIDED:	PHASE 1 57 SPACES
ACCESSIBLE SPACES REQUIRED:	PHASE 1 3 SPACES
PROVIDED:	PHASE 1 4 SPACES (1 VAN ACCESSIBLE)
MOTORCYCLE SPACES REQUIRED:	PHASE 1 2 SPACES
PROVIDED:	PHASE 1 2 SPACES
BICYCLE SPACES REQUIRED:	PHASE 1 3 SPACES
PROVIDED:	PHASE 1 5 SPACES

PARKING CALCULATIONS TRACT A-1-B

BUILDING AREA:	PHASE 2 2 BUILDINGS 7200 SF EA
PARKING REQUIRED:	PHASE 2 1/200 SF (14400 SF) 72 SPACES
PARKING PROVIDED:	PHASE 2 72 SPACES
ACCESSIBLE SPACES REQUIRED:	PHASE 2 3 SPACES
PROVIDED:	PHASE 2 4 SPACES (1 VAN ACCESSIBLE)
MOTORCYCLE SPACES REQUIRED:	PHASE 2 4 SPACES
PROVIDED:	PHASE 2 4 SPACES
BICYCLE SPACES REQUIRED:	PHASE 2 3 SPACES
PROVIDED:	PHASE 2 5 SPACES

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

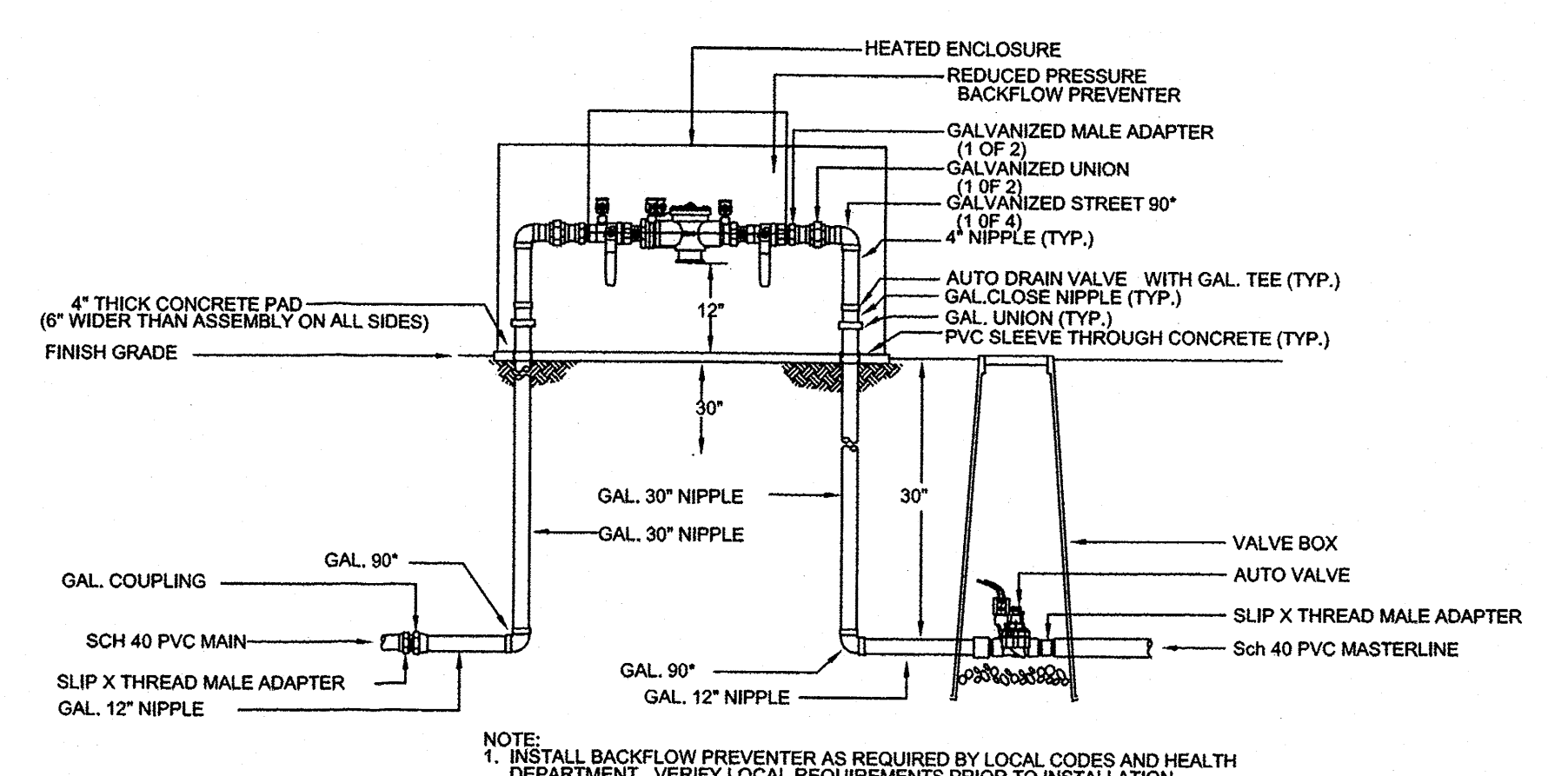
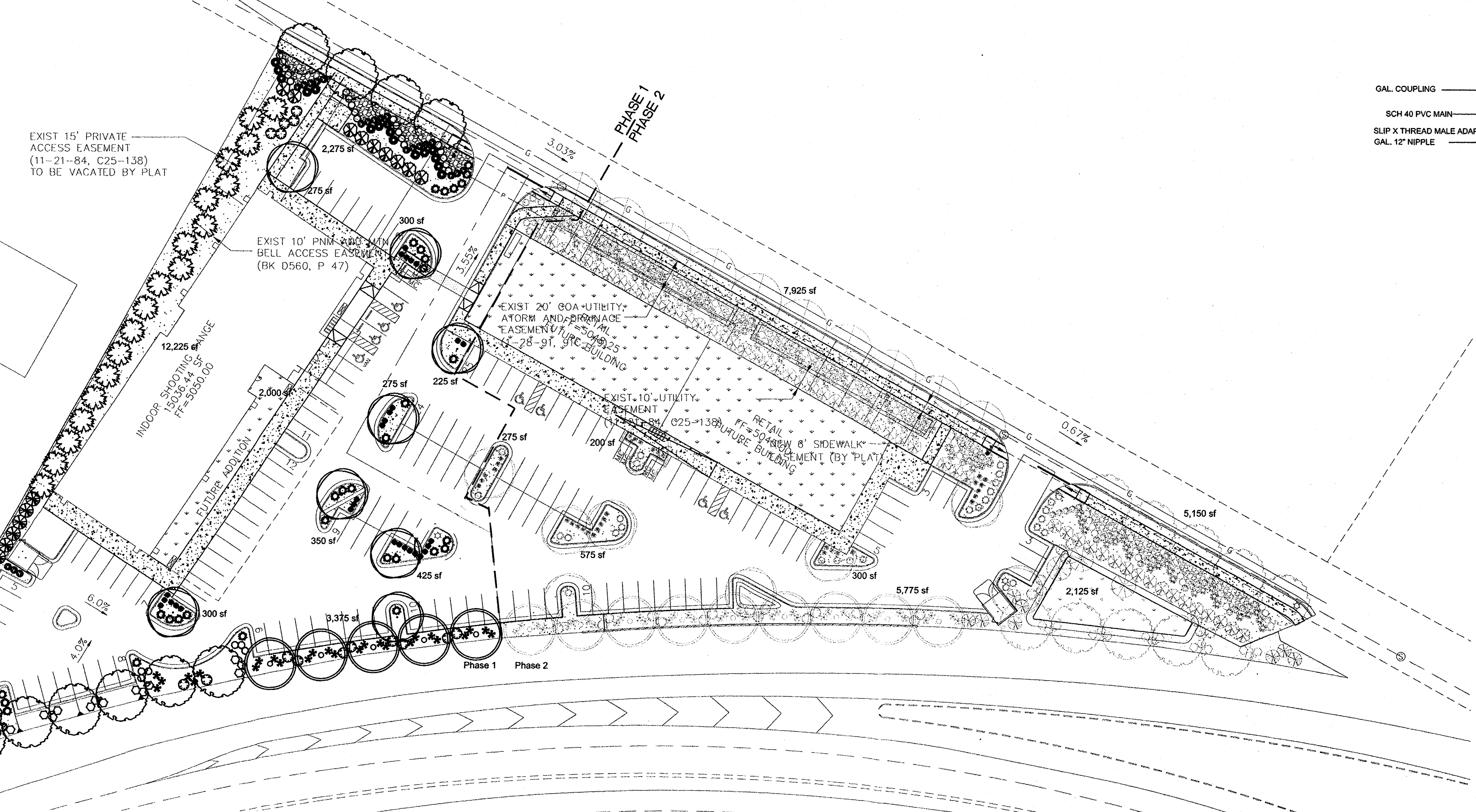
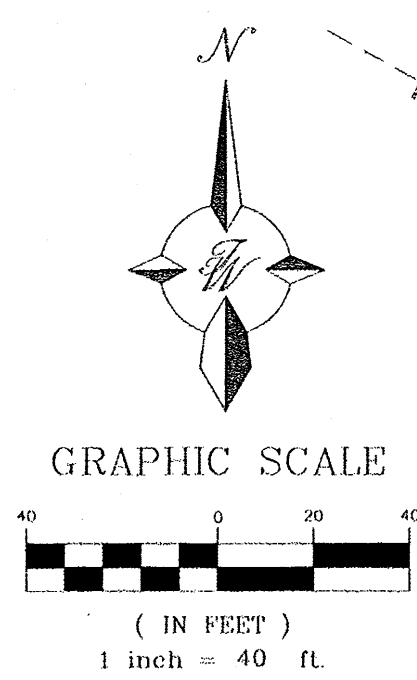
Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

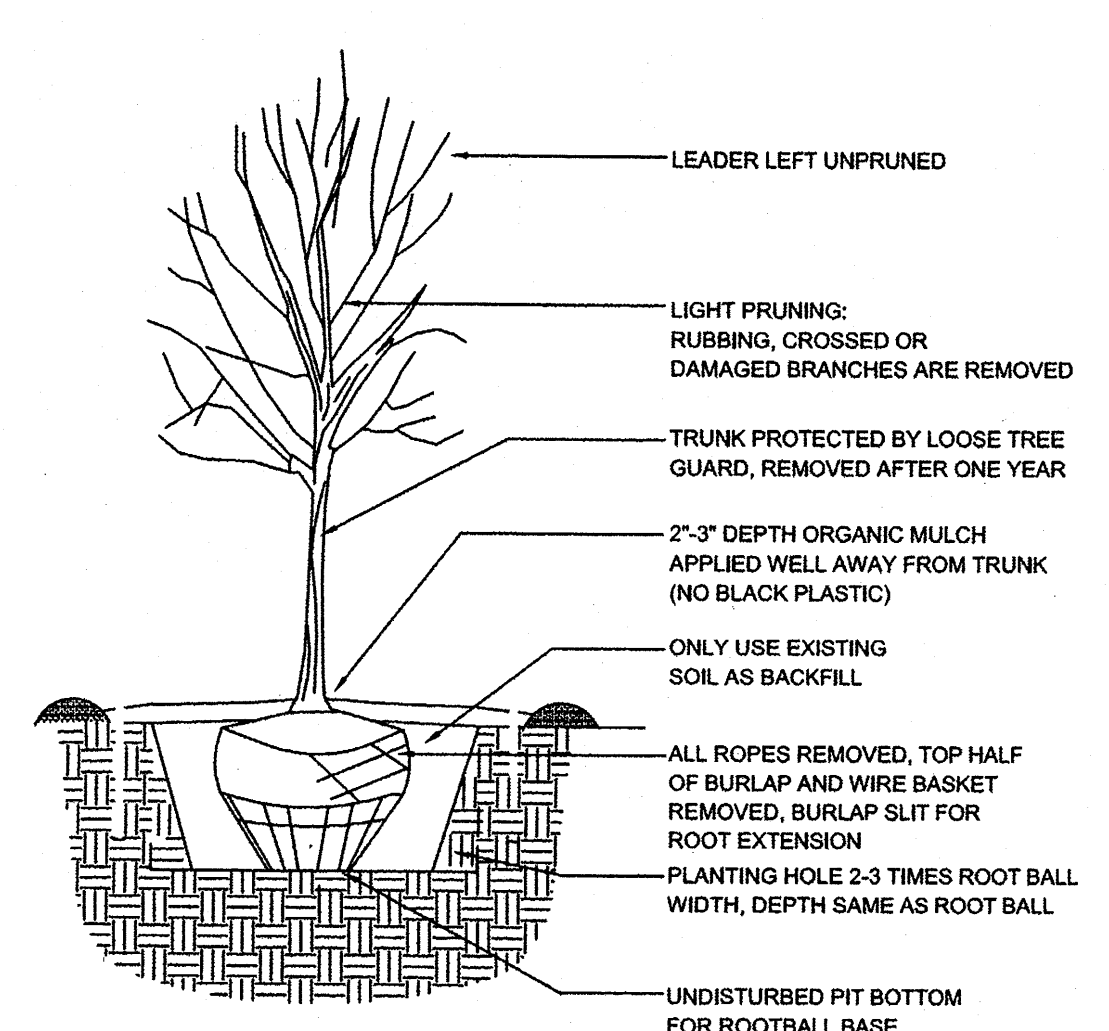
Traffic Engineer, Transportation Division	_____	Date
Water Utility Development	_____	Date
Parks & Recreation Department	_____	Date
City Engineer	_____	Date
* Environmental Health Department (conditional)	_____	Date
Solid Waste Management	_____	Date
DRB Chairperson, Planning Department	_____	Date

* Environmental Health, if necessary

	ALBUQUERQUE SPORTING CENTER SITE PLAN FOR BUILDING PERMIT	DRAWN BY pm DATE 1-31-13 DRAWING 2012086-SPE
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrewestllc.com	SHEET # 2 JOB # 2012086



RP BACKFLOW/MASTER VALVE DETAIL



TREE PLANTING DETAIL

PLANT LEGEND

Qty.	Symbol	Scientific Name	Common Name	Size	Mature Ht/ Sp.	Landscape Coverage	Water Use	Drip Emitters
10	9	Gleditsia	Honey Locust	2" Cal	50'/45'	Medium+	6-2 gph	
12	10	Pistacia	Chinese Pistache	2" Cal	60'/60'	Medium	6-2 gph	
0	10	Platanus acerifolia	Sycamore	2" Cal	70'/50'	High	6-2 gph	
5	9	Celtis occidentalis	Hackberry	2" Cal	40'/40'	Medium	6-2 gph	
22	0	Juniperus monosperma	One Seed Juniper	15-Gal	15'/15'	400 sf=8800 sf	RW	4-2 gph
0	3	Vitex	Chaste Tree	15-Gal	20'/20'	400 sf=1200 sf	Medium	6-2 gph
Grasses								
16	71	Miscanthus	Maiden Grass	5-Gal	5'/5'	25 sf=400 sf	Medium	2-2 gph
29	34	Calamagrotis	Karl Foerster Grass	5-Gal	3'/2'	10 sf=290 sf	Medium	2-2 gph

Qty.	Shrubs/Groundcovers	Size	Mature Ht/ Sp.	Landscape Coverage	Water Use	Drip Emitters		
21	76	Caryopteris	Blue Mist	1-Gal	3'/3'	15 sf=315 sf	Medium	2-2 gph
26	37	Hesperaloe parviflora	Red Yucca	5-Gal	3'/4'	20 sf=520 sf	Low+	2-1 gph
35	34	Juniperus sabin	'Buffalo'	1-Gal	1'/5'	25 sf=875 sf	Low +	2-1 gph
26	68	Rhus aromatica	Gro Low Sumac	1-Gal	2'/6'	36 sf=936 sf	Low+	2-1 gph
21	8	Chamaebatia	Fernbush	5-Gal	5'/6'	36 sf=756 sf	Low+	2-1 gph
9	54	Vauquelinia	Rosewood	5-Gal	12'/10'	100 sf=900 sf	Medium+	2-2 gph
21	26	Rhus trilobata	3 Leaf Sumac	1-Gal	6'/6'	36 sf=936 sf	Low	2-1 gph
24	15	Fallugia	Apache Plume	1-Gal	6'/7'	49 sf=1176 sf	Low	2-1 gph

SITE DATA/PHASE 1

GROSS LOT AREA (3.47 ACRES)	151,667 SF
LESS BUILDING(S)	15,038 SF
NET LOT AREA	136,631 SF
REQUIRED LANDSCAPE	20,495 SF
15% OF NET LOT AREA	20,495 SF
PROPOSED LANDSCAPE	22,028 SF
PERCENT OF NET LOT AREA	16.1%
HIGH WATER USE TURF	0 SF
MAX. 20% OF LANDSCAPE AREA	0 SF
PROPOSED HIGH WATER USE TURF	0 SF
PERCENT OF LANDSCAPE AREA	0.0%
REQUIRED STREET TREES	4
1 PER 30 L.F. OF STREET FRONTAGE	4
PROVIDED STREET TREES	4
REQUIRED PARKING LOT TREES	9
1 PER 10 SPACES	9
PROVIDED PARKING LOT TREES	9
REQUIRED LANDSCAPE COVERAGE	75%
LIVE VEGETATIVE MATERIAL	15,518 SF MIN.
(22,028 SF PROPOSED LANDSCAPE X 75%)	2,000 SF
NATIVE SEED AREA	15,724 SF
LIVE GROUND COVER	17,724 SF
PROVIDED GROUND COVER COVERAGE	80%
PERCENT GROUND COVER COVERAGE OF REQUIRED LANDSCAPE AREAS	

SITE DATA/PHASE 1&2

GROSS LOT AREA (3.47 ACRES)	151,667 SF
LESS BUILDING(S)	25,123 SF
NET LOT AREA	126,538 SF
REQUIRED LANDSCAPE	18,980 SF
15% OF NET LOT AREA	18,980 SF
PROPOSED LANDSCAPE	44,350 SF
PERCENT OF NET LOT AREA	35.1%
HIGH WATER USE TURF	0 SF
MAX. 20% OF LANDSCAPE AREA	0 SF
PROPOSED HIGH WATER USE TURF	0 SF
PERCENT OF LANDSCAPE AREA	0.0%
REQUIRED STREET TREES	46
1 PER 30 L.F. OF STREET FRONTAGE	46
PROVIDED STREET TREES	46
REQUIRED PARKING LOT TREES	15
1 PER 10 SPACES	15
PROVIDED PARKING LOT TREES	19
REQUIRED LANDSCAPE COVERAGE	75%
LIVE VEGETATIVE MATERIAL	33,262 SF MIN.
(44,350 SF PROPOSED LANDSCAPE X 75%)	4,125 SF
NATIVE SEED AREA	31,576 SF
LIVE GROUND COVER	35,701 SF
PROVIDED GROUND COVER COVERAGE	80%
PERCENT GROUND COVER COVERAGE OF REQUIRED LANDSCAPE AREAS	

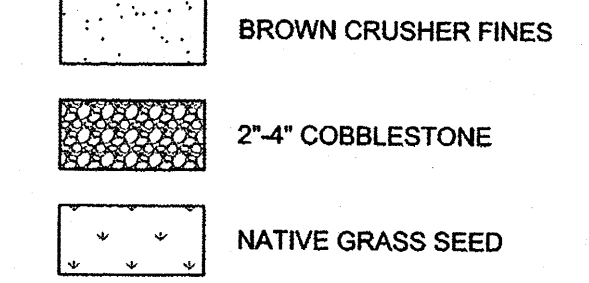
NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE
WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH
IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10
LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC
APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.
NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE.
STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.
LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10.
LANDSCAPE AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS AND PLANTINGS BETWEEN 5' AND 8' TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS
A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

MATERIALS LEGEND

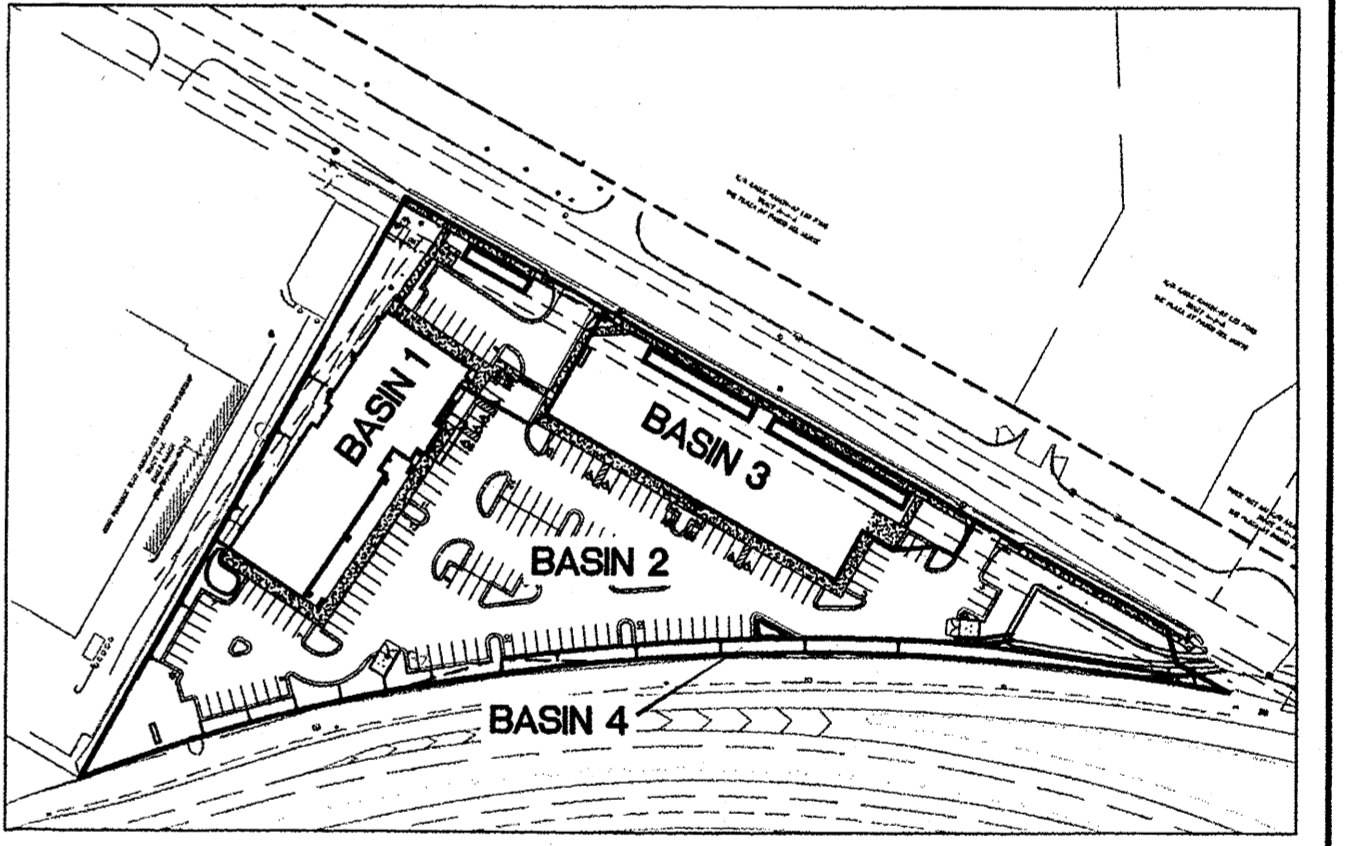
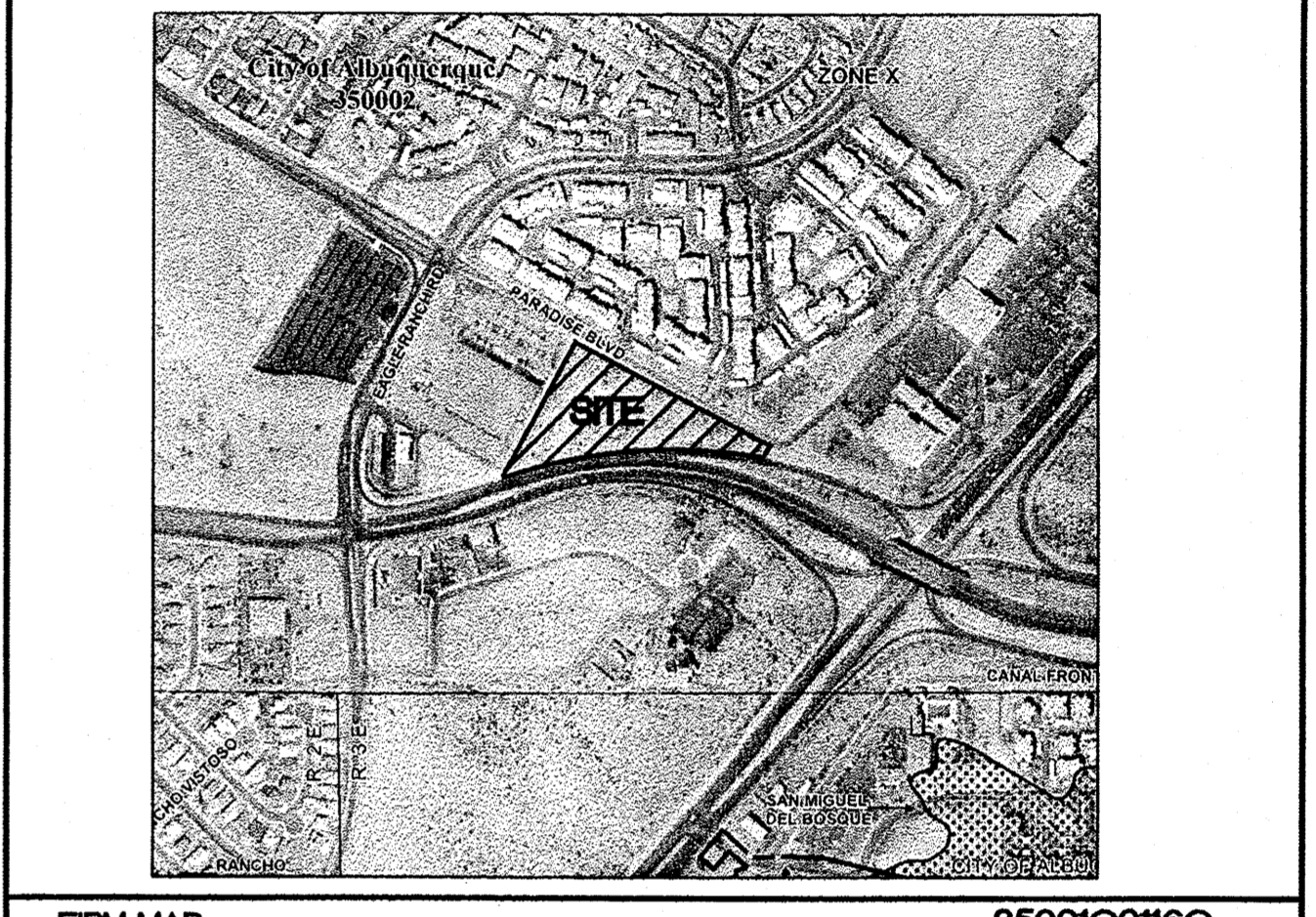
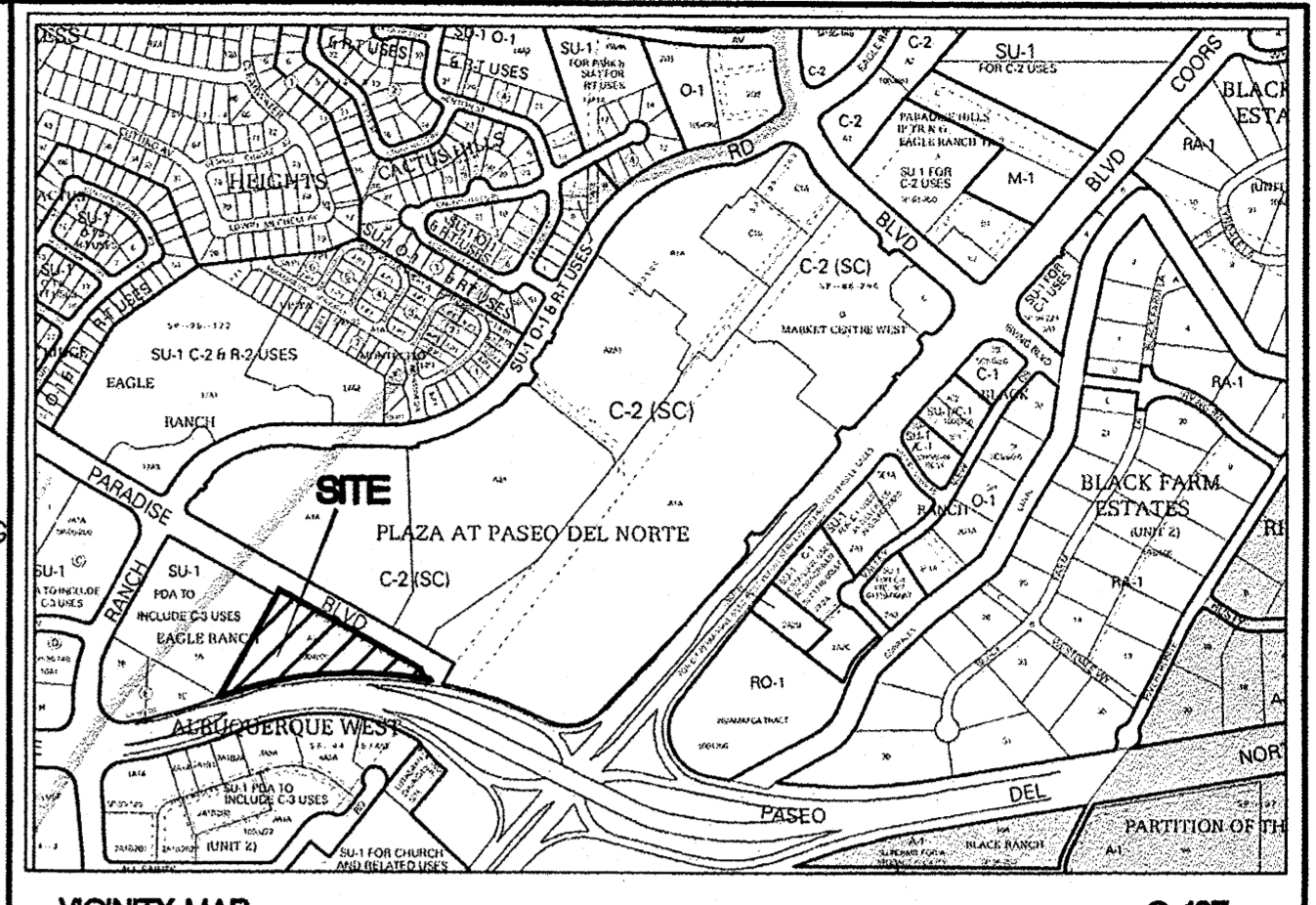
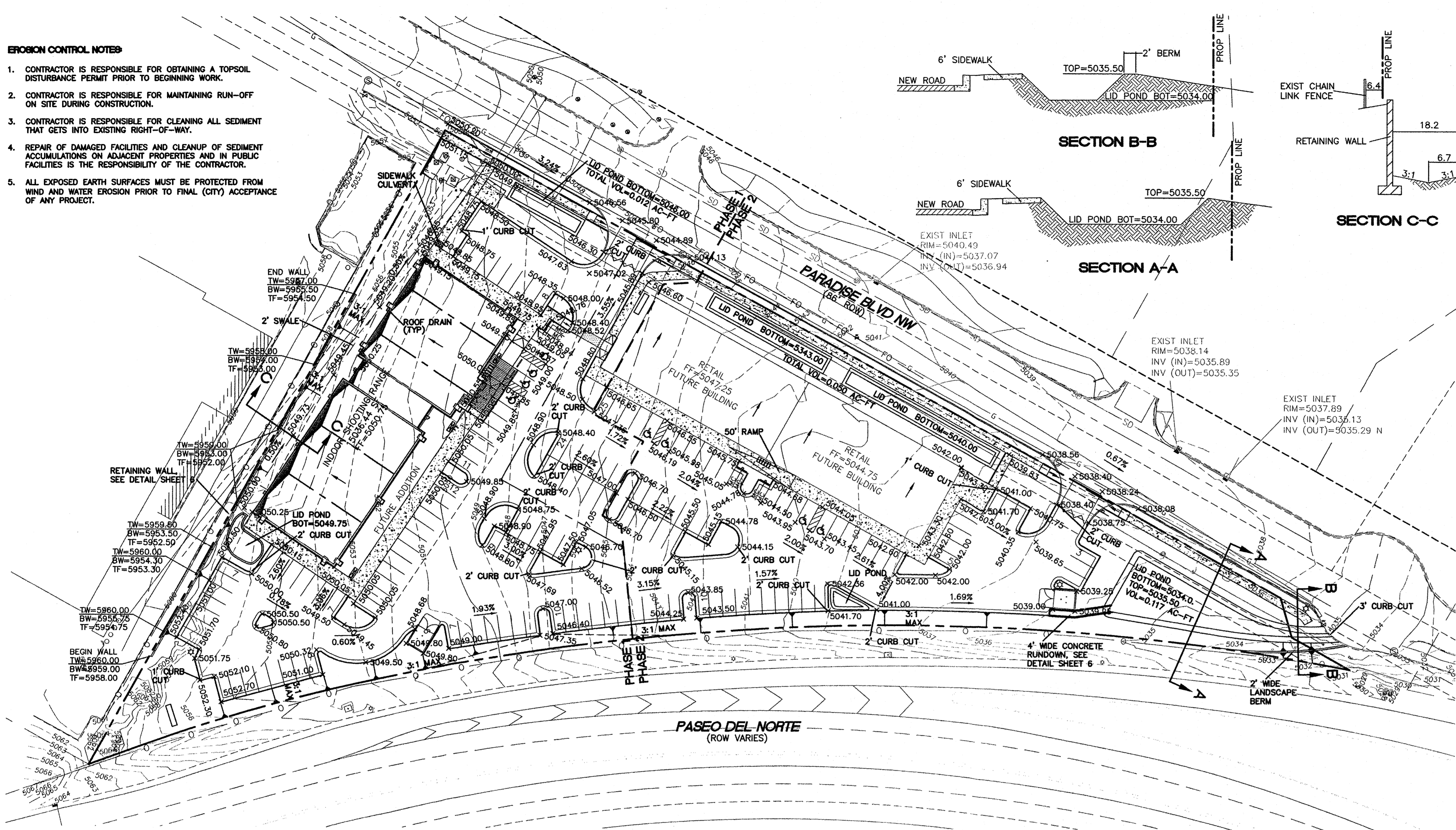


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505.898.9615
505.898.2105 (fax)
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www.headsuplandscape.com

ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	ALBUQUERQUE SPORTING CENTER	DRAWN BY pm
	LANDSCAPE PLAN FOR BUILDING PERMIT	DATE 1-30-13 9-25-13 DRAWING 2012086-SPE SHEET # 3 JOB # 2012086
TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierwestllc.com		

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



EXISTING DRAINAGE:
THE SITE IS CURRENTLY VACANT AND DRAINS FROM THE WEST TO EAST. IT IS BOUND BY PASEO DEL NORTE ON THE SOUTH AND EAST, PARADISE BOULEVARD ON THE NORTH AND AN EXISTING BUILDING ON THE WEST AND CONTAINS APPROXIMATELY 3.48 ACRES. THE STORM WATER FROM THIS SITE FLOWS INTO PARADISE BOULEVARD AND CONTINUES EAST TO A POND LOCATED BEHIND THE MOVIE THEATER. FROM THERE THE WATER IS CONVEYED TO AN AMAFCA POND LOCATED ON THE EAST SIDE OF COORS BOULEVARD. THE SITE FALLS WITHIN THE NORTH COORS DRAINAGE MANAGEMENT PLAN MIDDLE AREA AND THE EXISTING AMAFCA POND IS SIZED TO ACCEPT DEVELOPED FLOWS FROM THIS SITE.

PROPOSED DRAINAGE:
THE SITE IS DIVIDED UP INTO FOUR ON-SITE BASINS AND WILL CONTINUE TO FLOW TO THE EAST. STORM WATER WILL BE DIRECTED TO DRAIN THROUGH LANDSCAPE ISLANDS AND INTO LOW IMPACT DEVELOPMENT PONDS LOCATED THROUGHOUT THE SITE TO COMPLY WITH THE WATER HARVESTING REQUIREMENTS. EXCESS STORM WATER WILL CONTINUE TO FLOW TO THE EXISTING POND BEHIND THE MOVIE THEATER AT THE END OF PARADISE BOULEVARD AND EVENTUALLY DRAIN TO THE AMAFCA POND THAT IS SIZED TO ACCEPT THE DEVELOPED FLOWS FROM THIS SITE.
BASIN 1 WILL DISCHARGE 3.04 CFS INTO PARADISE BLVD THROUGH THE WEST ENTRANCE. BASIN 2 WILL DISCHARGE 7.65 CFS AT THE END OF PARADISE BLVD THROUGH A LID POND AND A PROPOSED THREE FOOT CURB OPENING. BASIN 3 WILL DISCHARGE INTO PARADISE BLVD THROUGH LID PONDS AND THE EAST ENTRANCE. BASIN 4 WILL DRAIN INTO THE PASEO DEL NORTE DRAINAGE SWALE AND BE CONVEYED TO THE POND BY AN EXISTING DROP INLET.
THE SITE IS SET UP TO RETAIN THE "FIRST FLUSH" VOLUME WHICH TOTALS 0.094 AC-FT FOR THE SITE. A TOTAL OF 0.179 AC-FT OF PONDING IN THE LID PONDS IS PROVIDED.

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

LEGEND

—	CURB & GUTTER	⊙	EXISTING FIRE HYDRANT
- - -	BOUNDARY LINE	⊙	EXISTING WATER METER
- - -	EASEMENT	⊙	EXISTING POWER POLE
- - -	CENTERLINE	⊙	EXISTING GAS VALVE
- - -	RIGHT-OF-WAY	- - - EX. 2" GAS	EXISTING GAS
—	BUILDING	- - - EX. 8" SAS	EXISTING SANITARY SEWER LINE
- - -	SIDEWALK	- - - EX. WL	EXISTING WATER LINE
- - -	EXISTING CURB & GUTTER	- - - EX. RCP	EXISTING STORM SEWER LINE
⊙	EXISTING SD MANHOLE	⊙	WATER BLOCK
⊙	EXISTING INLET	→	FLOW DIRECTION
⊙	EXISTING SAS MANHOLE		

Weighted E Method

On-Site Basins

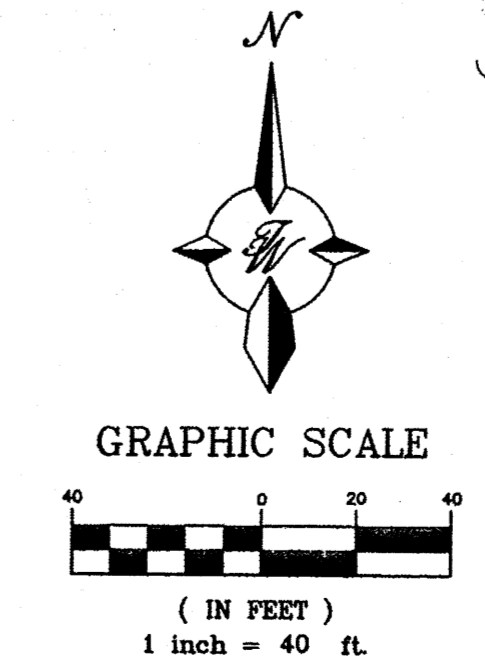
Basin	Area (sf)	Area (acres)	Treatment A				Treatment B				Treatment C				Treatment D				100-Year			10-Year		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs						
1	35,404	0.81	0%	0	27%	0.22	0%	0.00	73%	1.619	0.110	3.04	0.985	0.065	1.88									
2	85,938	1.97	0%	0	21%	0.41	0%	0.00	79%	1.56	0.279	7.65	1.026	0.169	4.82									
3	25,423	0.58	0%	0	32%	0.19	0%	0.00	68%	0.40	1.554	0.076	2.11	0.044	1.29									
4	5,115	0.12	0%	0	100%	0.12	0%	0.00	0%	0.00	0.670	0.007	0.24	0.220	0.002	0.09								

Equations:
 Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)
 Volume = Weighted D * Total Area
 Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Zone	100-Year	10-Year
E _a	0.44	0.08
E _b	0.67	0.22
E _c	0.99	0.44
E _d	1.97	1.24

Zone	100-Year	10-Year
Q _a	1.29	0.24
Q _b	2.03	0.76
Q _c	2.87	1.49
Q _d	4.37	2.89

Basin	Impervious Area (Acre)	Volume Required (Ac-ft)
1	0.59	0.022
2	1.56	0.057
3	0.40	0.015
4	0.00	0.000



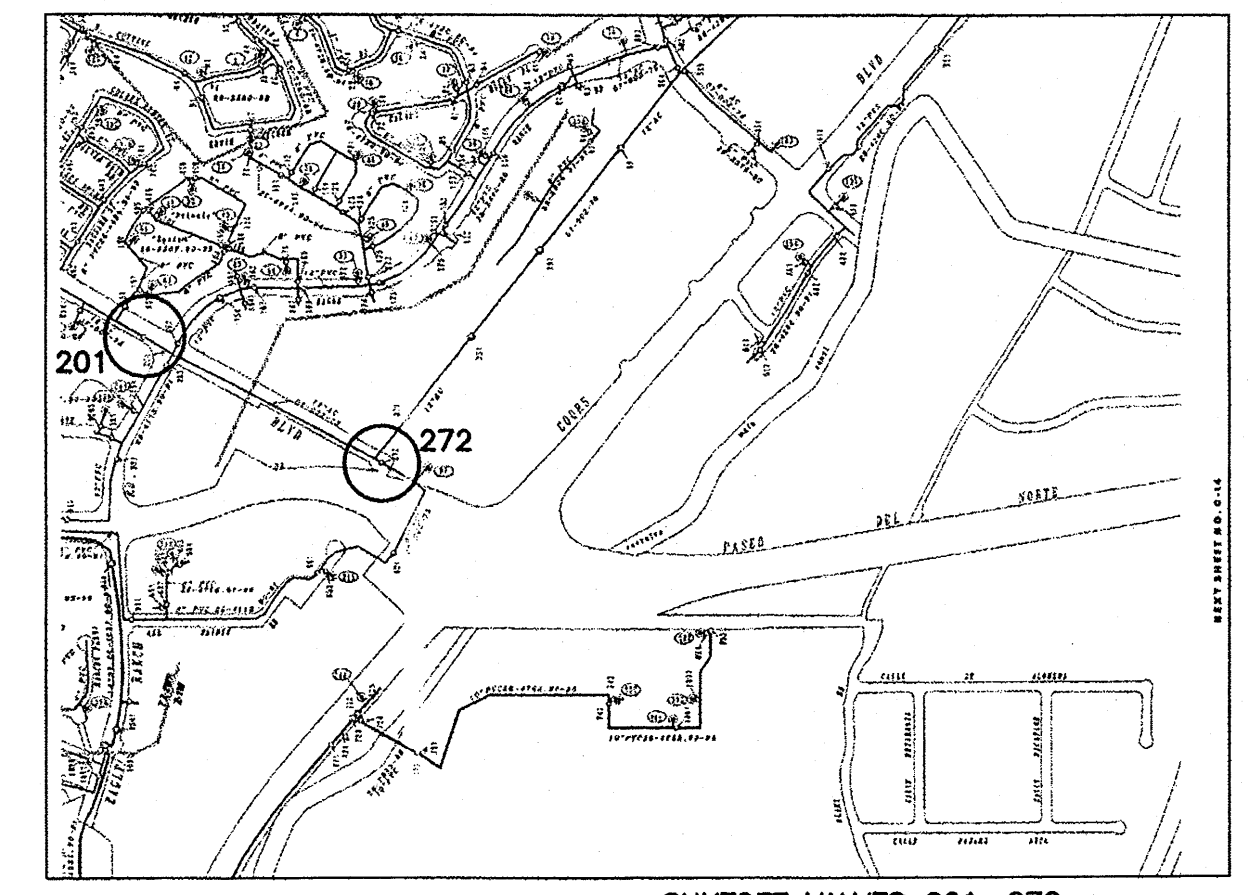
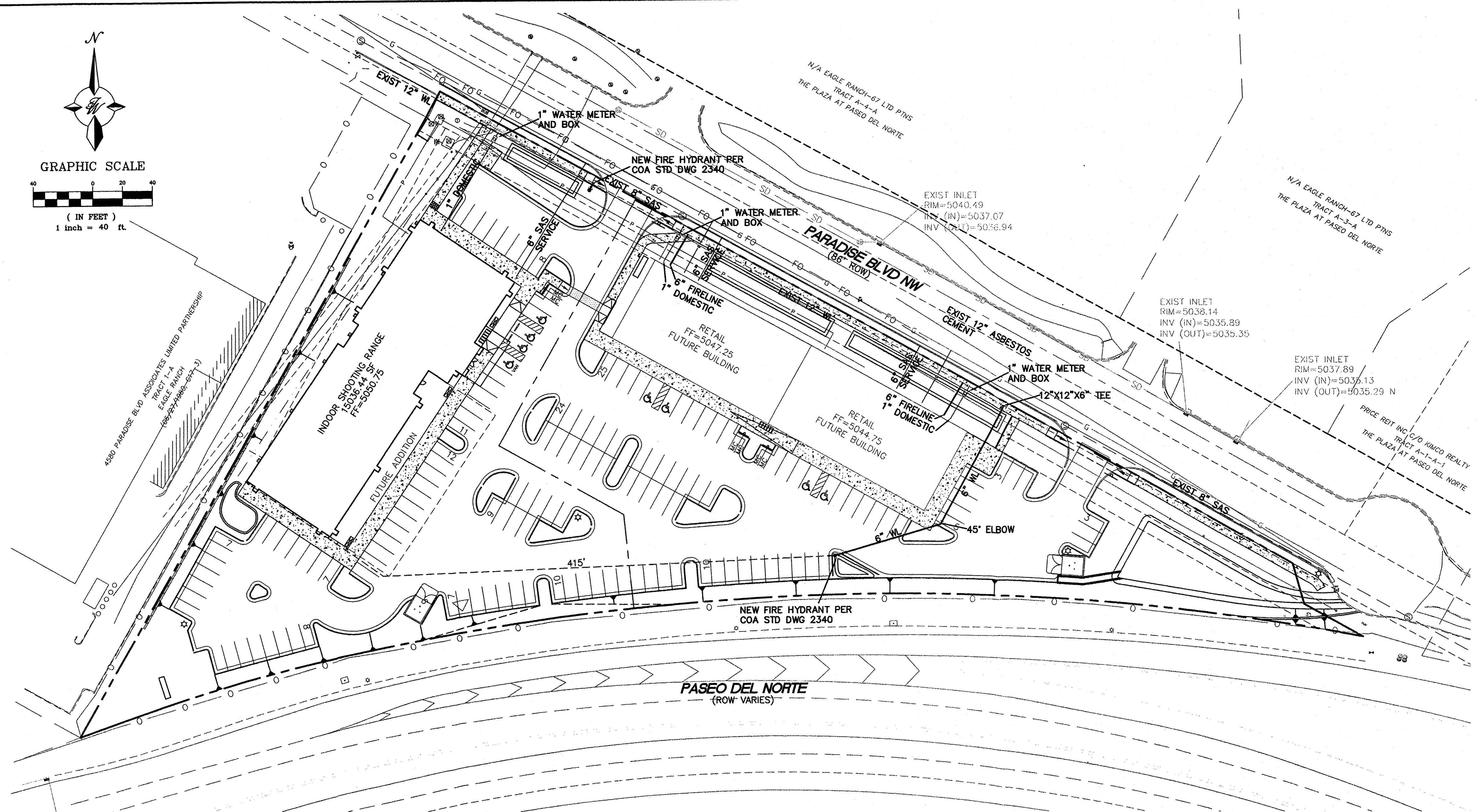
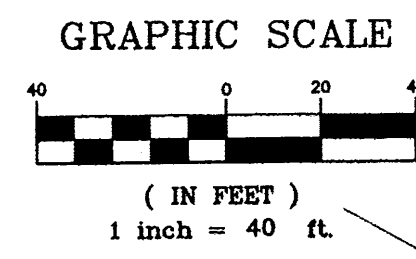
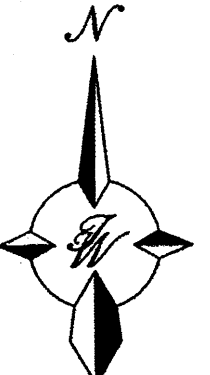
ENGINEER'S SEAL
 RONALD R. BOHANNAN
 P.E. #7868

ALBUQUERQUE SPORTING CENTER
GRADING AND DRAINAGE PLAN

TIERRA WEST, LLC
 5571 MIDWAY PARK PL NE
 ALBUQUERQUE, NEW MEXICO 87109
 (505) 858-3100
 www.tierrewest.com

DRAWN BY pm
 DATE 1-31-13
 DRAWING 2012086-GRE
 SHEET # 4
 JOB # 2012086

CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



WATER SHUTOFF PLAN SHUTOFF VALVES 201, 272

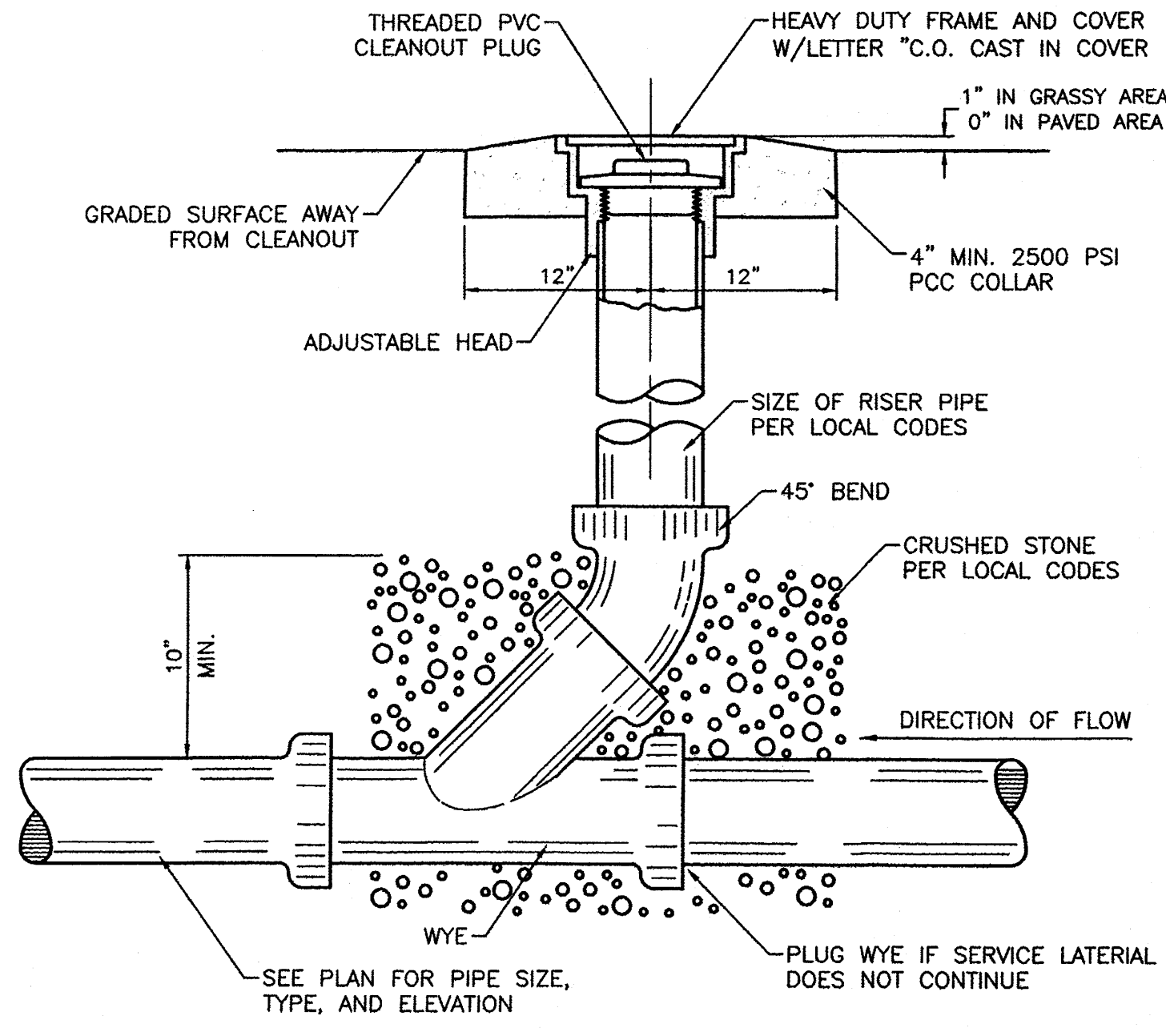
THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ARBCWUA.ORG/CONTENT/VIEW/463/729/](http://arbcwua.org/content/view/full/463/729/).

LEGEND

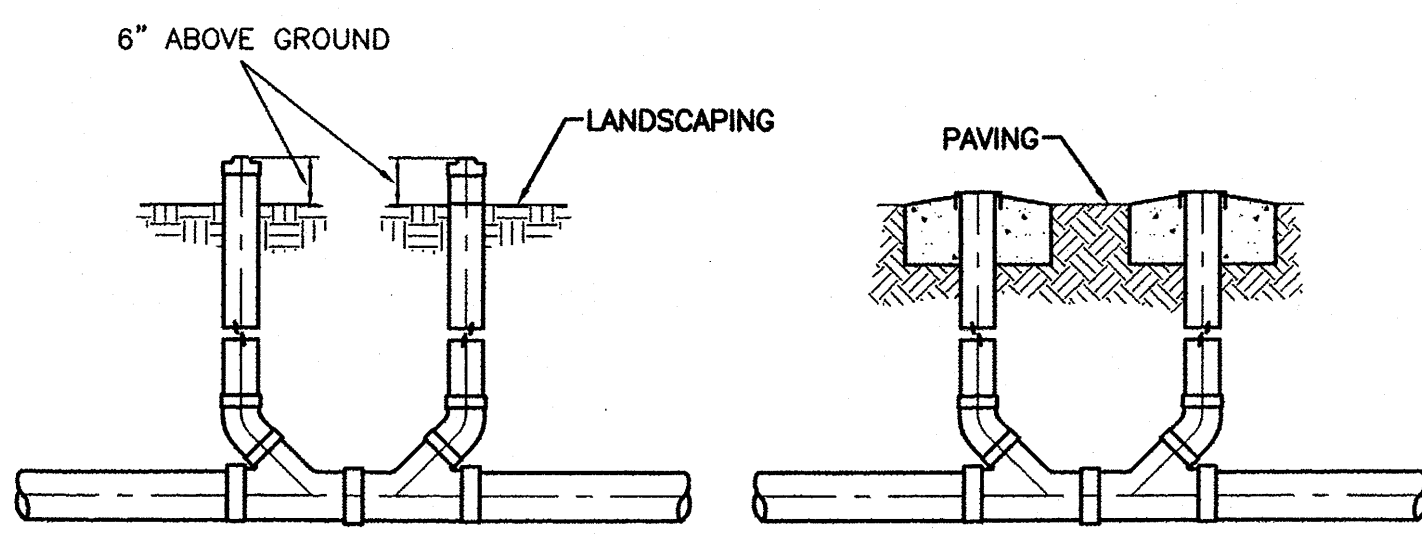
- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- ▭ BUILDING
- ▨ SIDEWALK
- - - EXISTING CURB & GUTTER
- - - 36" SD STORM SEWER LINE
- - - 8" SAS SANITARY SEWER LINE
- - - 8" WL WATERLINE
- SINGLE CLEAN OUT
- ⊙ DOUBLE CLEAN OUT
- ⊙ EXISTING SD MANHOLE
- ⊙ EXISTING INLET
- ⊙ EXISTING SAS MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER METER
- ⊙ EXISTING POWER POLE
- ⊙ EXISTING GAS VALVE
- - - EXISTING GAS
- - - EX. 8" SAS EXISTING SANITARY SEWER LINE
- - - EX. WL EXISTING WATER LINE
- - - EX. SD EXISTING STORM SEWER LINE
- - - G PROPOSED GAS
- - - P PROPOSED POWER
- - - T PROPOSED TELEPHONE

GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
13. ALL BUILDINGS - CONSTRUCTION TYPE IS II-B



SANITARY SEWER CLEAN-OUT
NTS

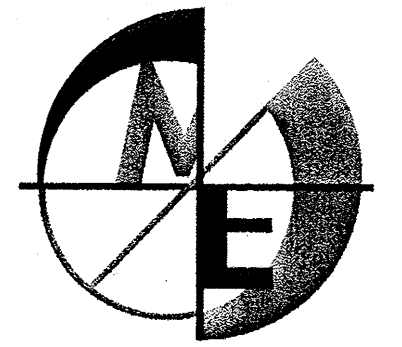


SANITARY SEWER DOUBLE CLEAN-OUTS
NTS

CAUTION:

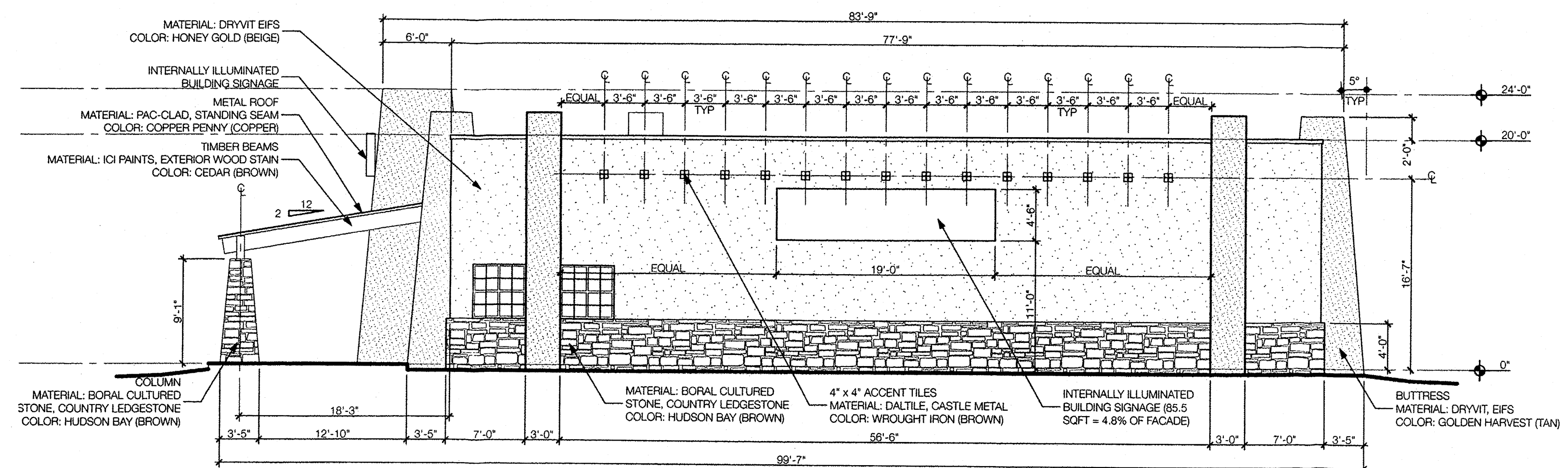
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	ALBUQUERQUE SPORTING CENTER	DRAWN BY pm
	MASTER UTILITY PLAN	DATE 1-31-13
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2012086-MUE
RONALD R. BOHANNAN P.E. #7868	SHEET # 5	JOB # 2012086

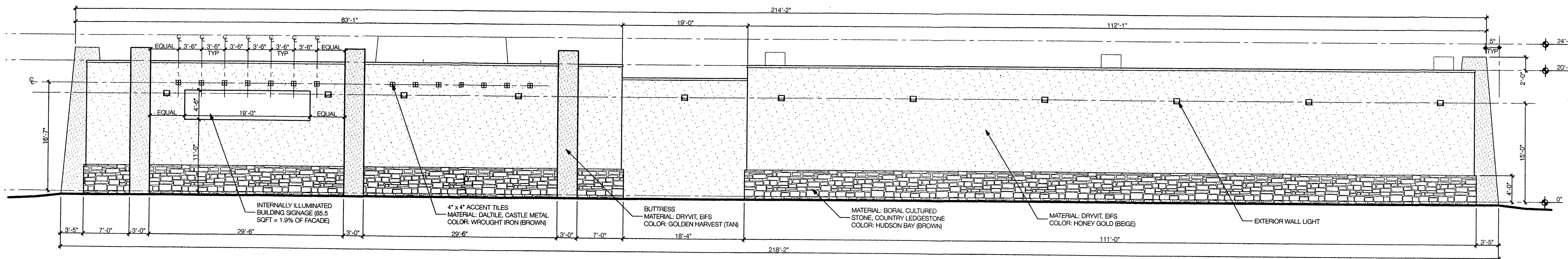


MIND'S EYE ARCHITECTURE

1950 Abbott Street, Suite 605
Charlotte, North Carolina 28203
Phone: 704.373.3101
Fax: 704.373.3103
www.mindseyearchitecture.net



03 North Elevation 1/8" = 1'-0"

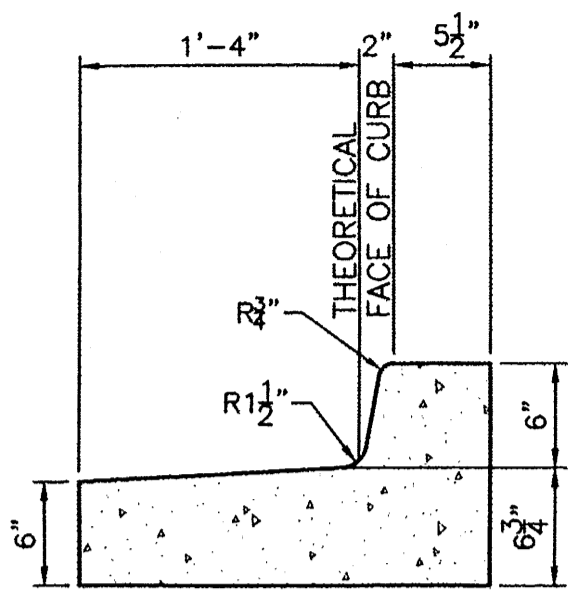


01 West Elevation 1/8" = 1'-0"

Albuquerque Sporting Center Albuquerque, New Mexico

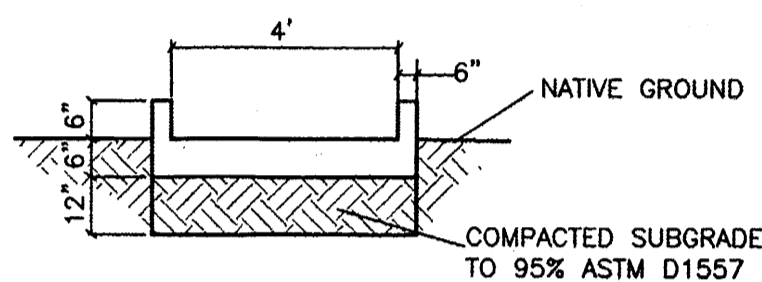
ISSUE DATE: March 6, 2013
PROJECT STATUS: Design Development
PROJECT NUMBER: 13-002
REVISIONS:

EXTERIOR ELEVATIONS A2.02

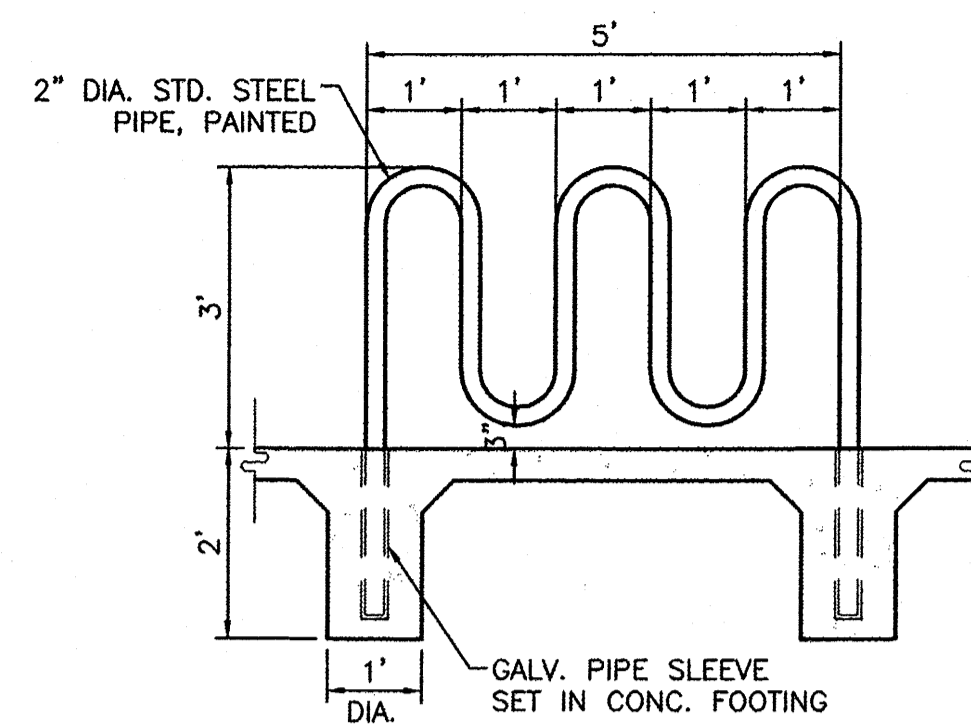


CURB GENERAL NOTES:
 1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
 2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS. SHALL BE EITHER SAWS OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
 3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
 4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

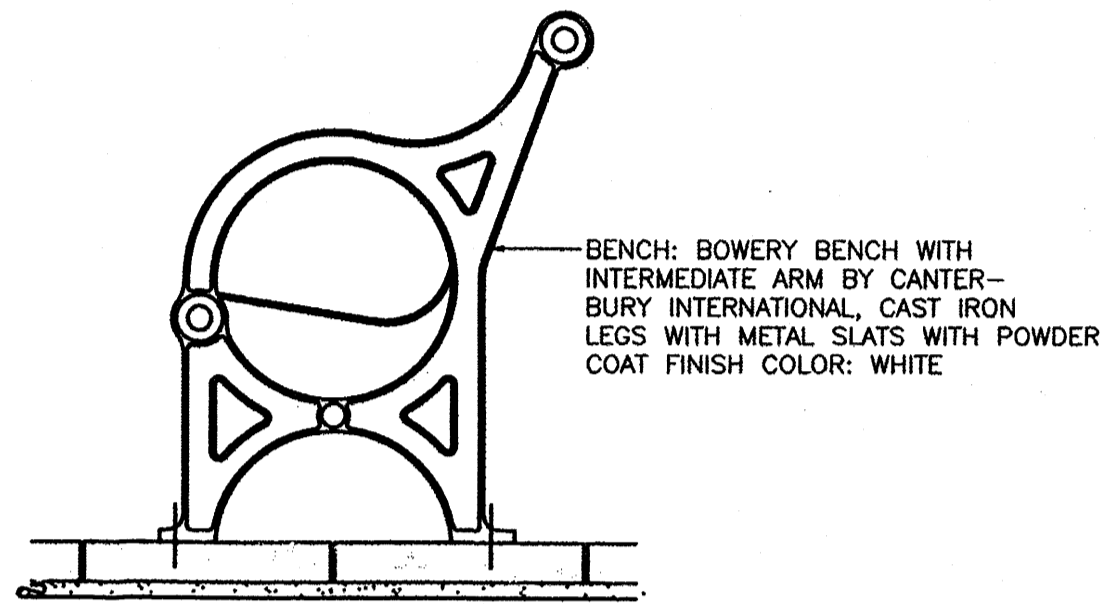
STANDARD CURB / GUTTER
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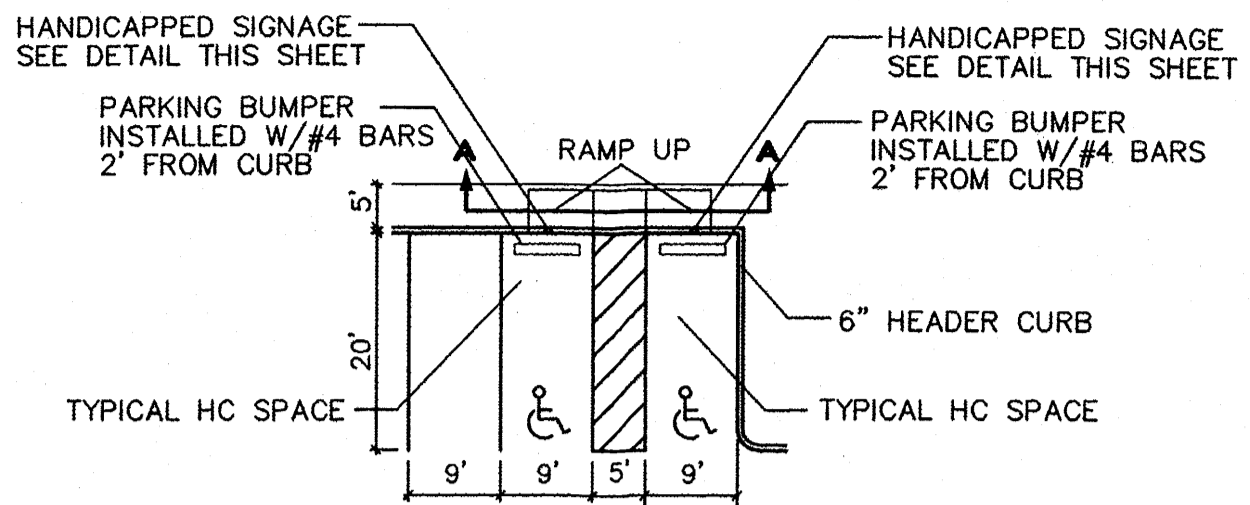
CONCRETE RUNDOWN DETAIL
NTS



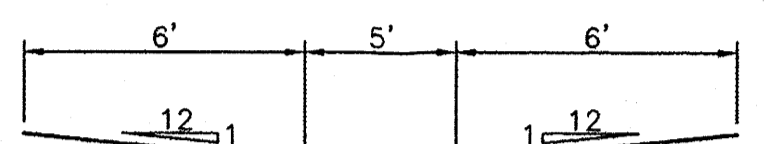
BIKE RACK DETAIL
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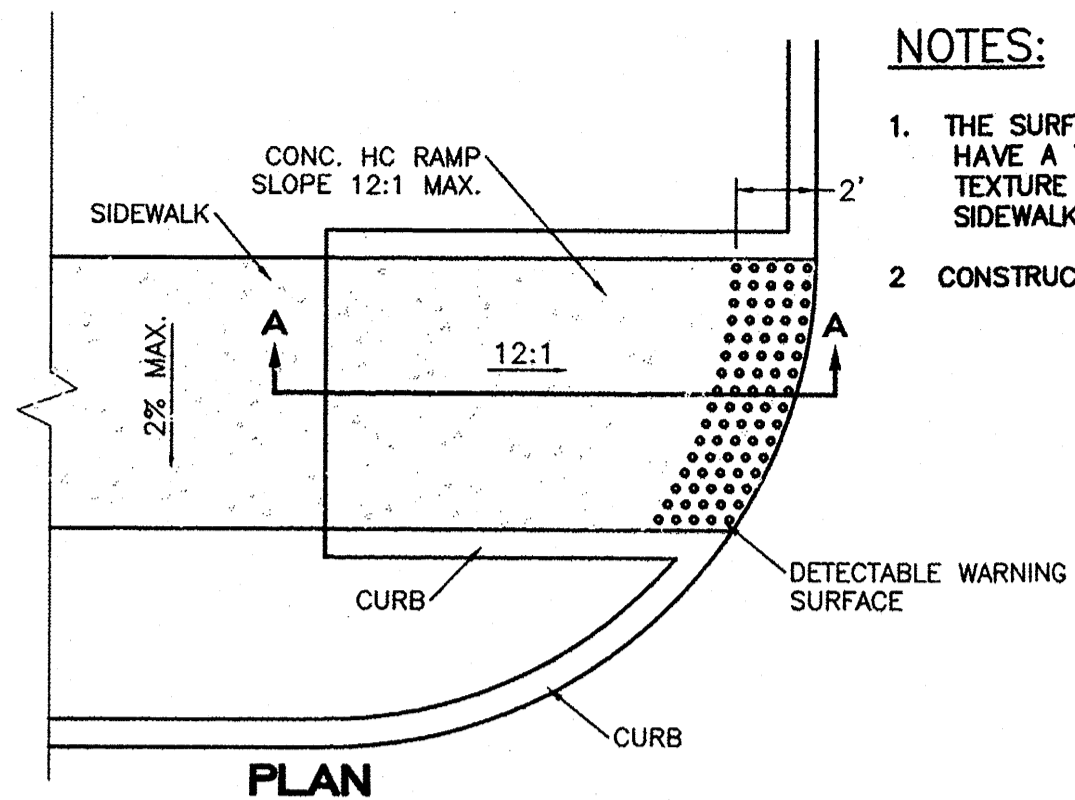
BENCH AND RECEPTACLE CONC. CONNECTION
NTS



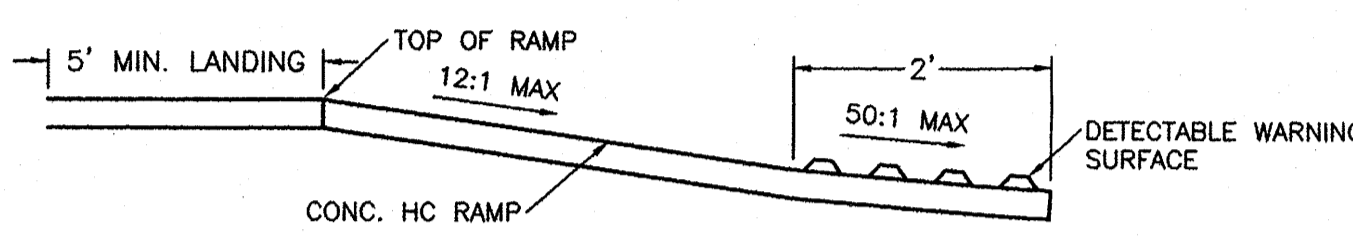
HC PARKING DETAIL
NTS



HC PARKING DETAIL SECTION A-A
NTS



PLAN

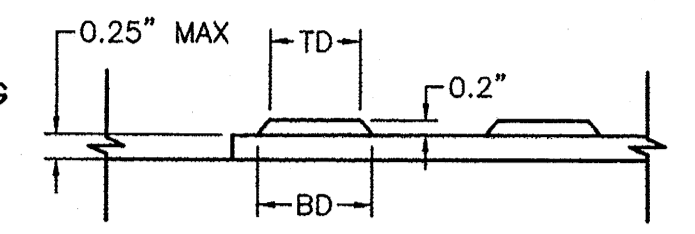


SECTION A-A

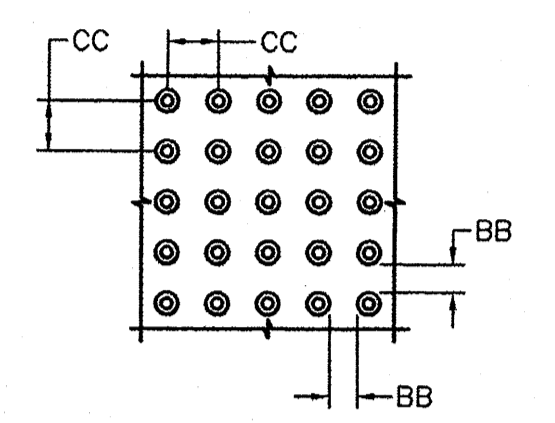
UNIDIRECTIONAL HC RAMP
NOT TO SCALE

NOTES:

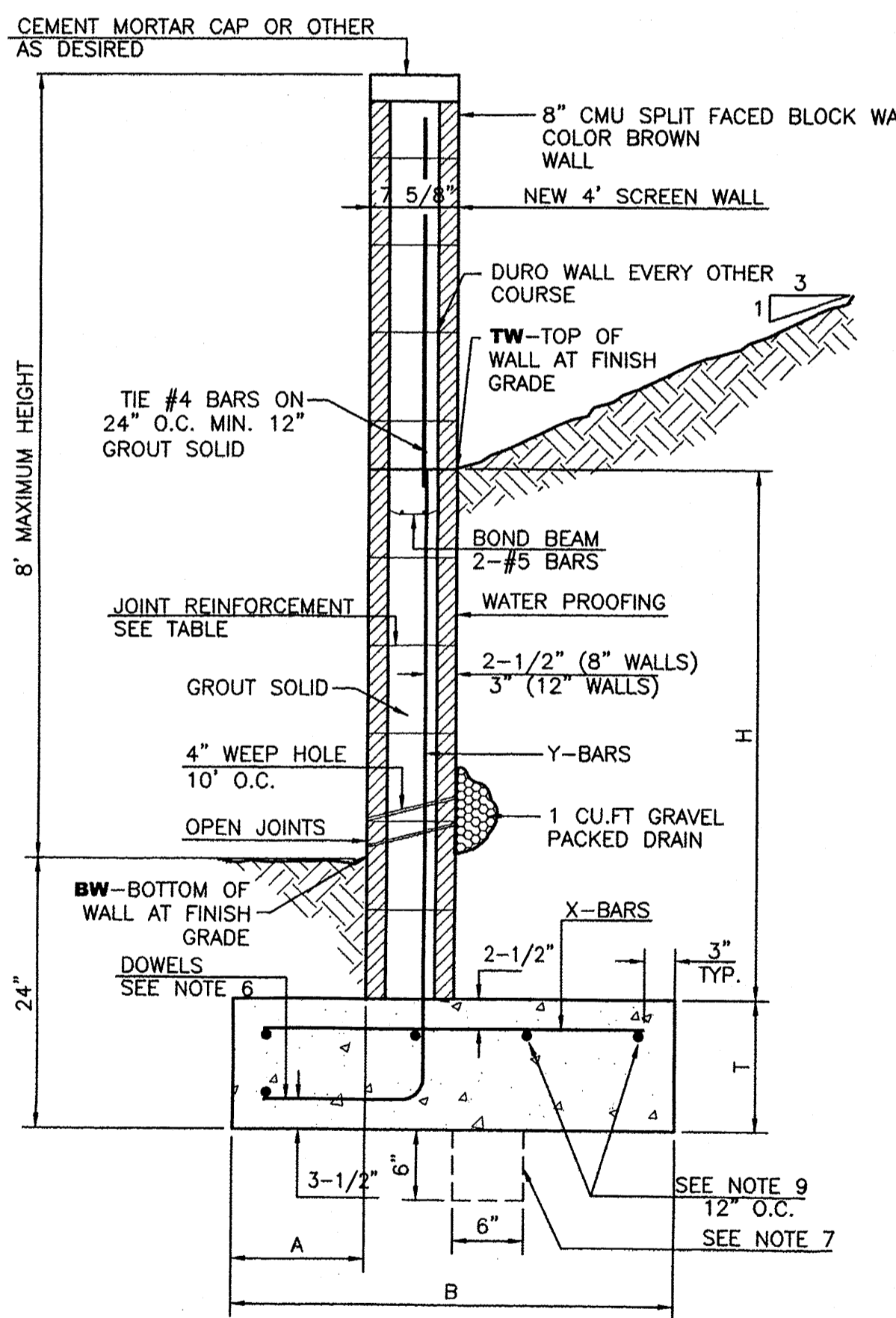
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. CONSTRUCT PER A.D.A. STANDARDS.



DOMES SECTION
 BD - BASE DIAMETER 0.9" MIN
 TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



DOMES SPACING
 CC - CENTER TO CENTER SPACING
 2.35"
 BB - BASE TO BASE SPACING
 1.48" MIN



RETAINING WALL DETAIL
NTS

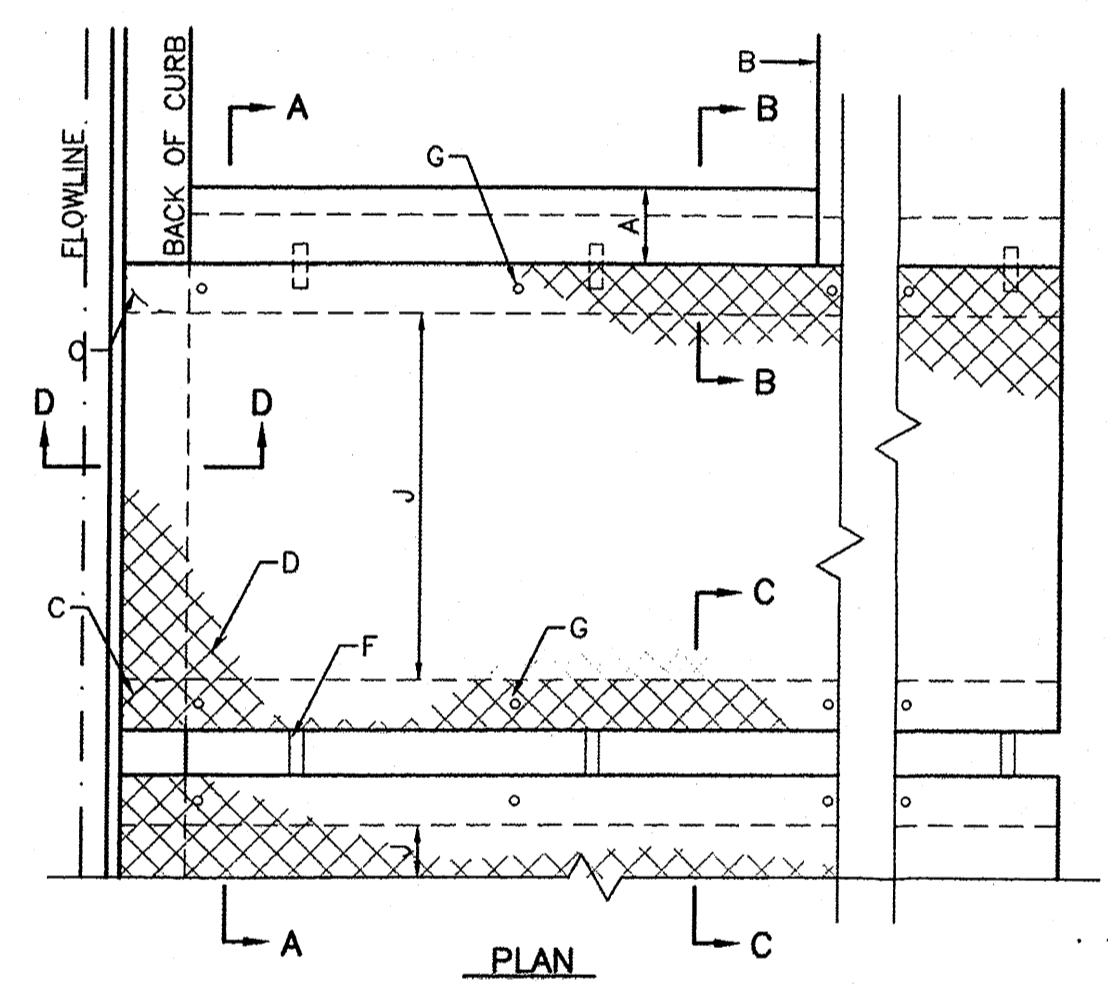
8 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

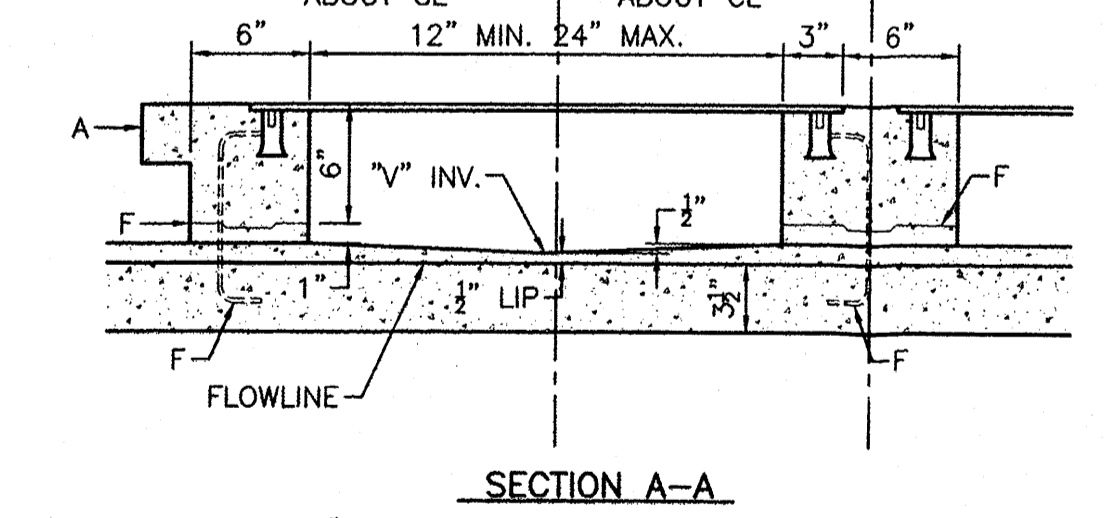
12 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	18"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

- GENERAL NOTES:**
1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM, D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
 5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
 8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
 9. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



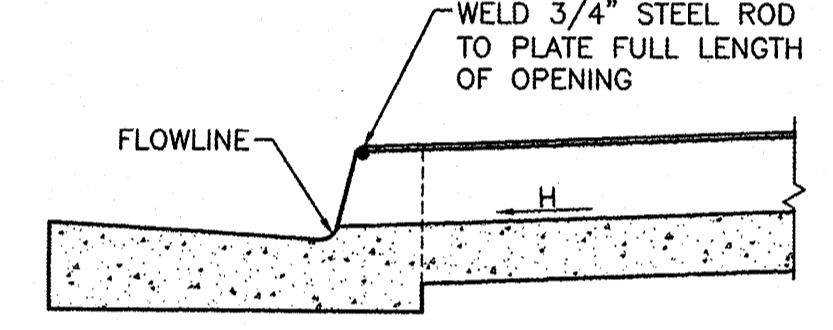
SECTION A-A



SECTION B-B

SECTION C-C

SIDEWALK CULVERT DETAIL
NTS



SECTION D-D

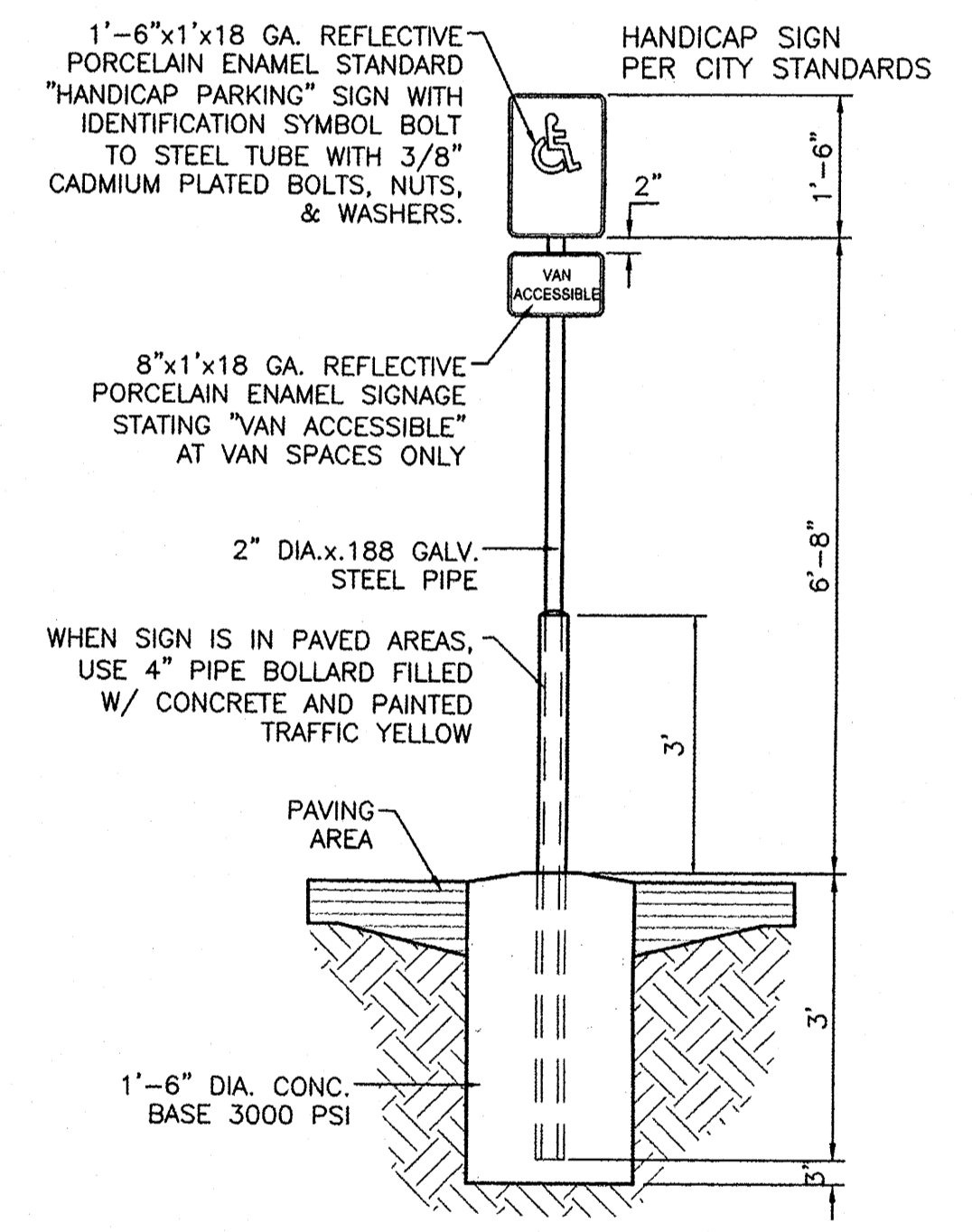
DOWEL DETAIL

GENERAL NOTES:

1. PLACING OF DRAIN THRU EX. SIDEWALK AND C&G REQUIRES THAT ENTIRE STONES BE REMOVED AND REPLACED AS DETAILED.
2. BOTTOM SLAB OF CULVERT SHALL BE POURED MONOLITHICALLY WITH NEW GUTTER.
3. THE INVERT SHALL BE TROWELED TO PRODUCE A HARD POLISHED SURFACE OF MAX DENSITY AND SMOOTHNESS. INVERT SHALL BE V-SHAPED TO WITHIN 3" OF OUTLET, THEN WARPED TO PARALLEL FLOWLINE AT OUTLET.
4. ALL EXPOSED CONC. SURFACE SHALL MATCH GRADE. COLOR, FINISH AND SCORING OF ADJACENT CURB AND SIDEWALK.
5. SIDEWALK REPLACED DURING CONSTRUCTION SHALL BE POURED MONOLITHICALLY WITH CULVERT WALLS.
6. IF ROD ANCHORS ARE USED, DRILL & TAP FOR F.H. MACHINE SCREW. ATTACH ANCHORS TO PLATE AND SECURE PLATE IN PLACE PRIOR TO POURING WALLS.
7. LENGTH OF EACH PLATE SHALL BE SUCH THAT THE WEIGHT WILL NOT EXCEED 300LBS. AND SHALL BE STRESS RELIEVED AFTER FABRICATION. CLEAN SURFACE OF PLATE AND FRAMING MEMBERS AND PAINT W/ONE SHOP COAT RED OXIDE AND TWO FINISH COATS ALUMINUM PAINT (AASHTO M 69).
8. THE CITY WILL NOT ASSUME RESPONSIBILITY FOR MAINTENANCE OF ANY SIDEWALK CULVERT INSTALLED BY OR FOR PRIVATE PROPERTY OWNERS.

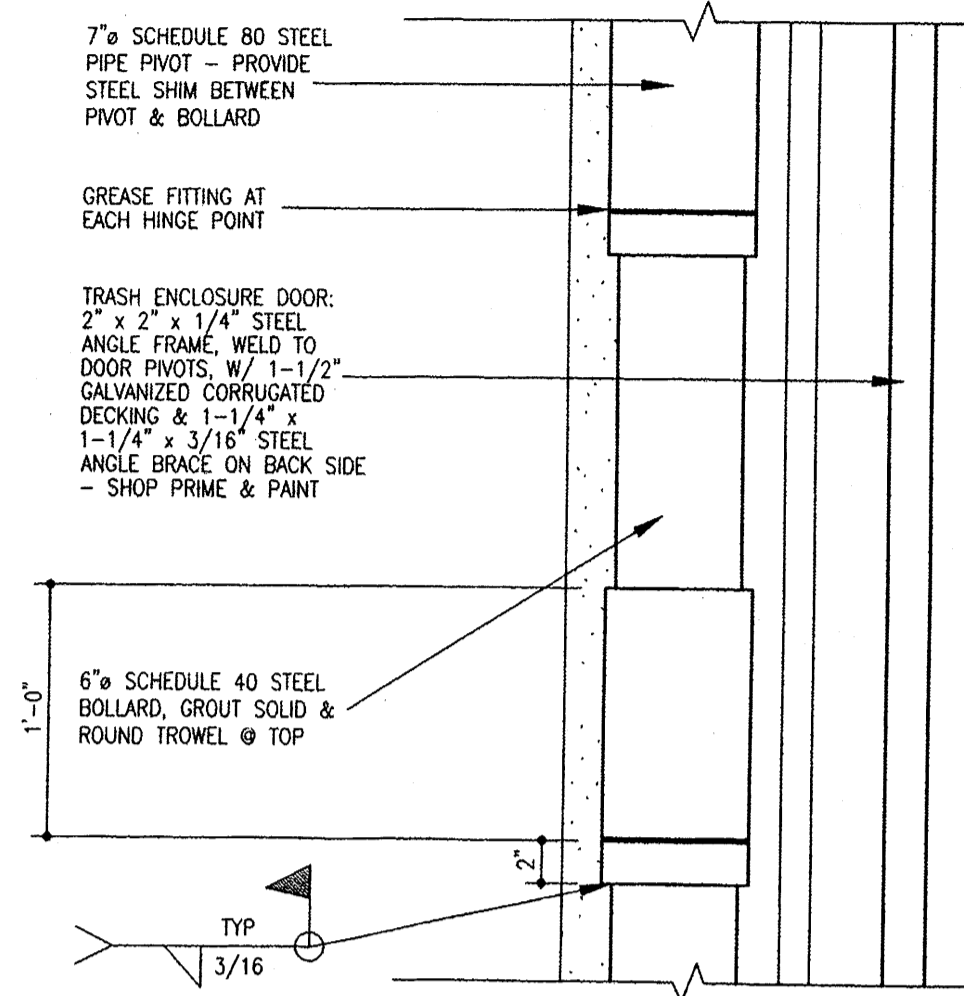
CONSTRUCTION NOTES:

- A. MATCH NEAREST CONTROL JOINT, INSTALL 1/2" EXPANSION JOINT
- B. EDGE OF SIDEWALK OR SETBACK
- C. 3" RADIUS
- D. 3/8" CHECKERED STEEL PLATE (PAINT PER NOTE 7, ABOVE)
- E. FOR SECURING PLATE USE 1"x5" S.S. ROD ANCHOR, "RED HEAD MULTI-SET II SRM-38 ANCHOR" OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S INSTRUCTIONS AT MAX. 24" O.C. A MIN. OF 2 PER SIDE AND ONE WITHIN 6" OF EACH OTHER
- F. CONSTRUCTION JOINT IS OPTIONAL. IF USED SPACE DOWELS AT 18" O.C. MAX. 1-1/2" MIN. FROM FACE OF CONC.
- G. 3/8" - 16x1-1/4" COUNTERSUNK, F.H. STAINLESS STEEL, MACHINE SCREW.
- H. SLOPE 1/4" PER FT. MIN.
- J. DRAIN WIDTH PER PLAN (12" MIN, 24" MAX.)

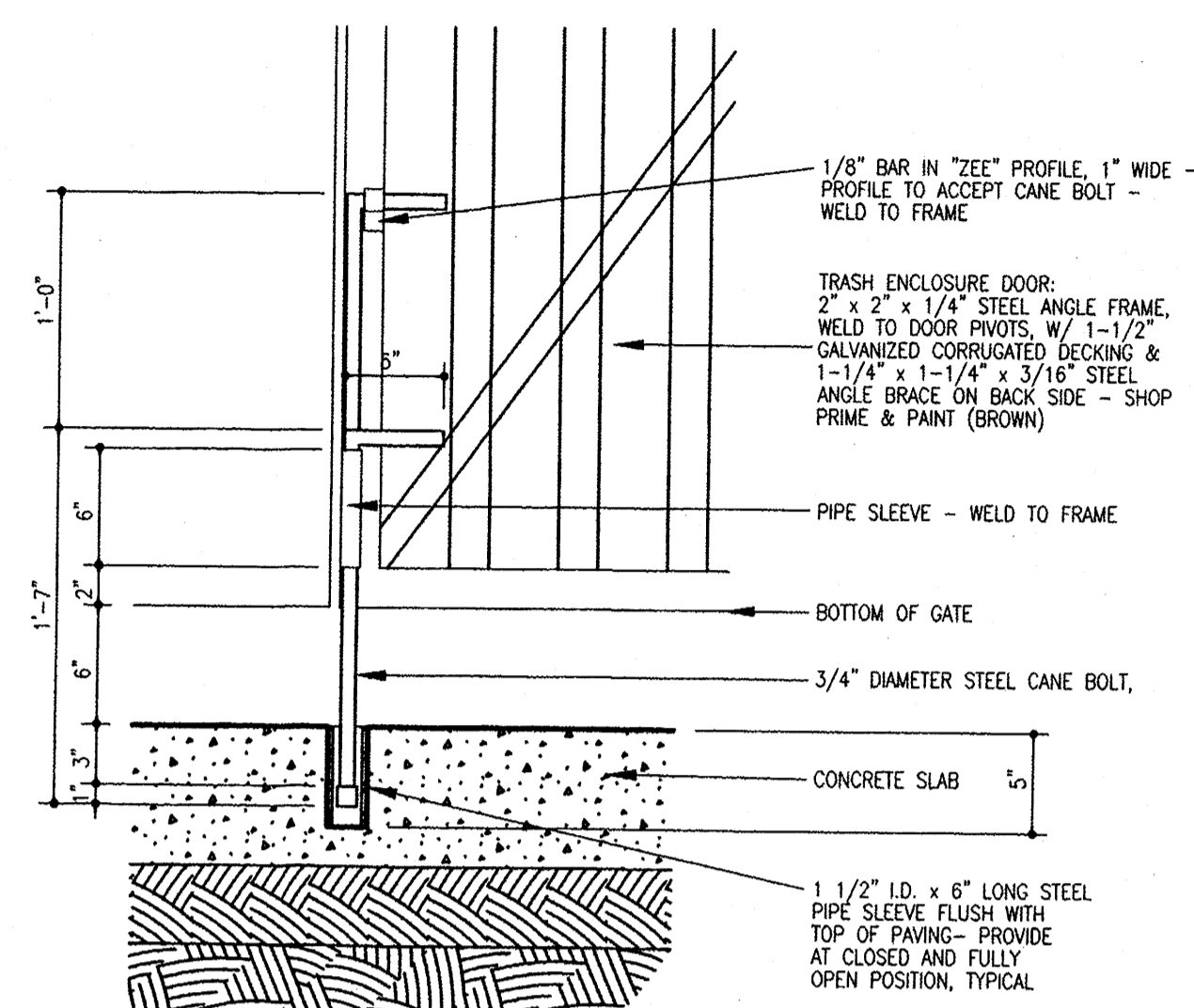


HANDICAP SIGN
NTS

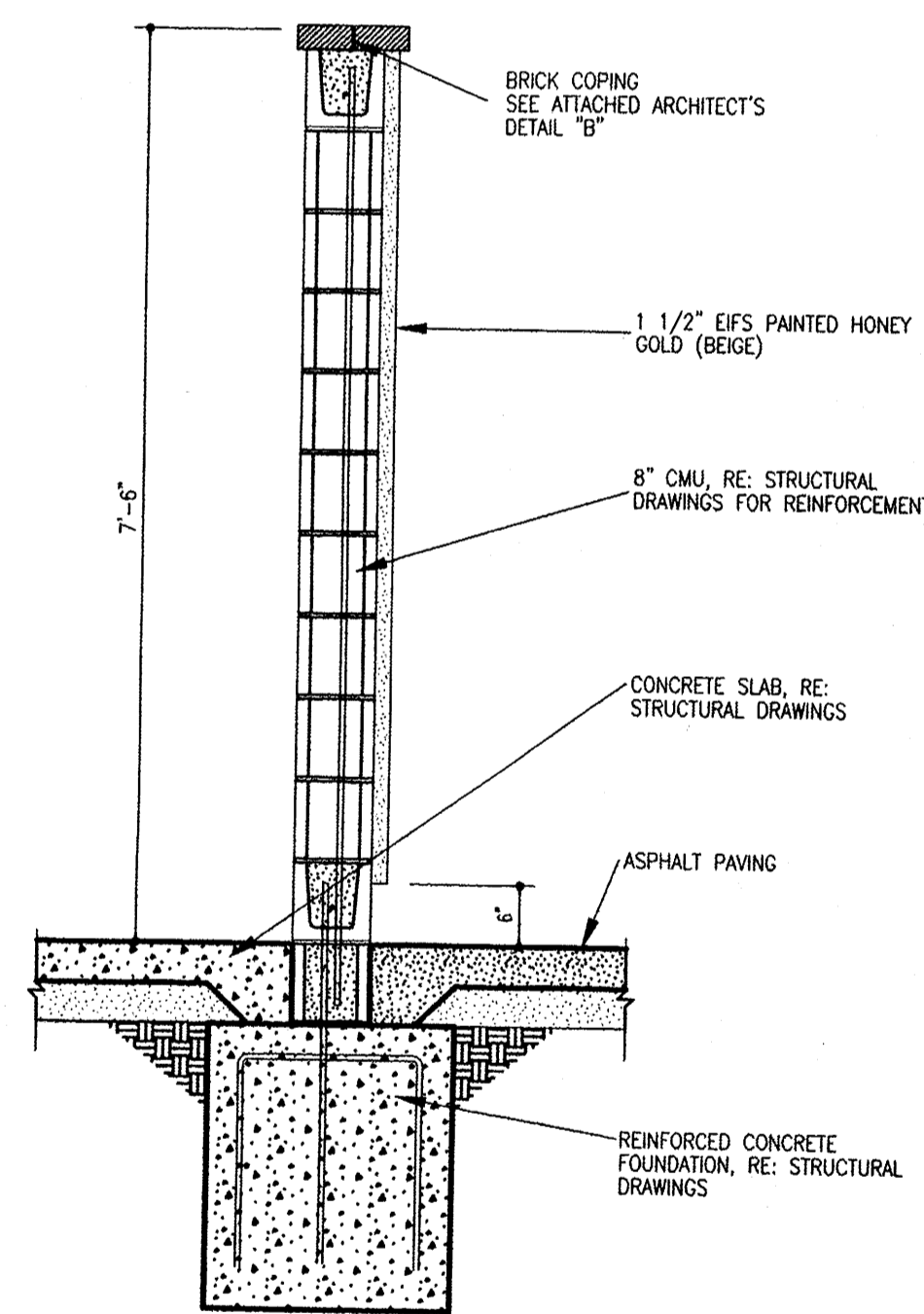
	ALBUQUERQUE SPORTING CENTER CONSTRUCTION DETAILS	DRAWN BY pm DATE 1-31-13 DRAWING 2012086-DET
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # 6 JOB # 2012086



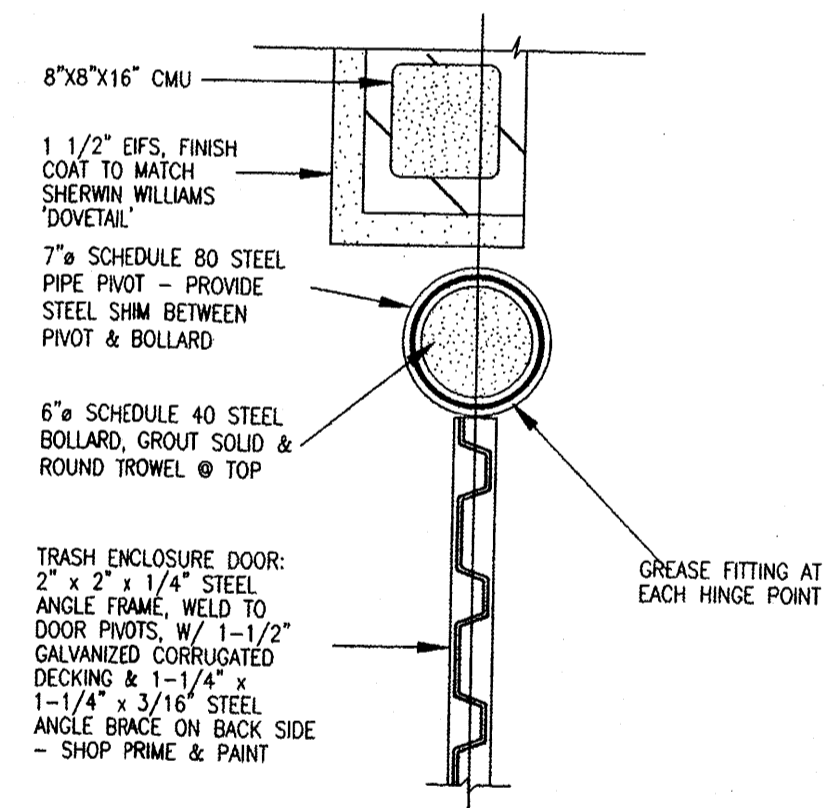
9 Dumpster Door Pivot
1/2" = 1'-0"



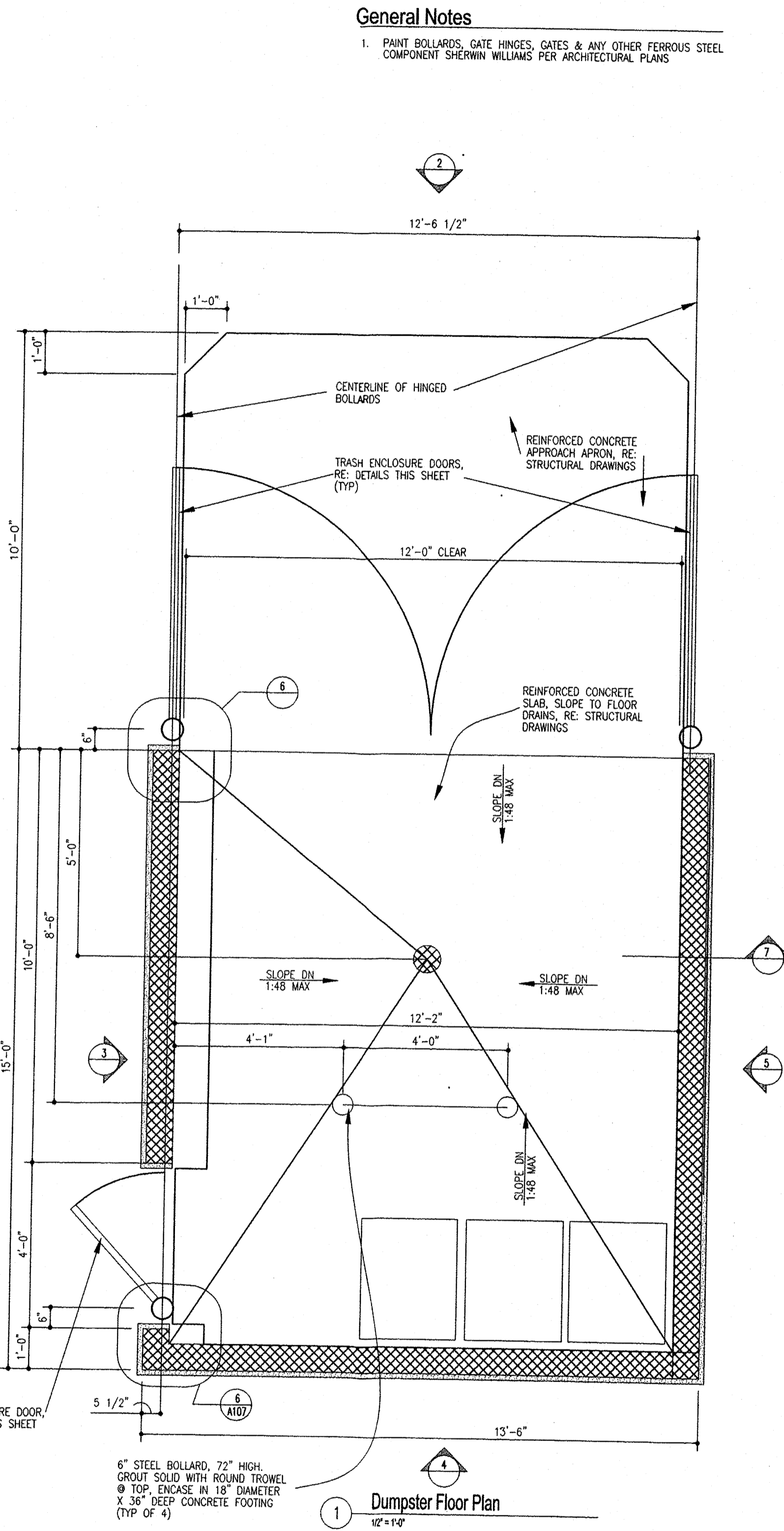
8 Cane Bolt Detail
1/2" = 1'-0"



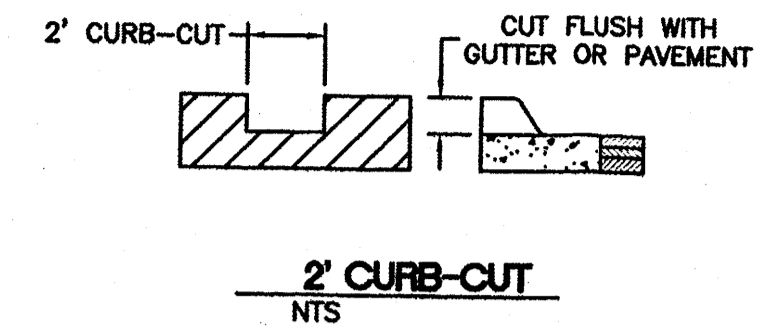
7 Wall Section
3/4" = 1'-0"



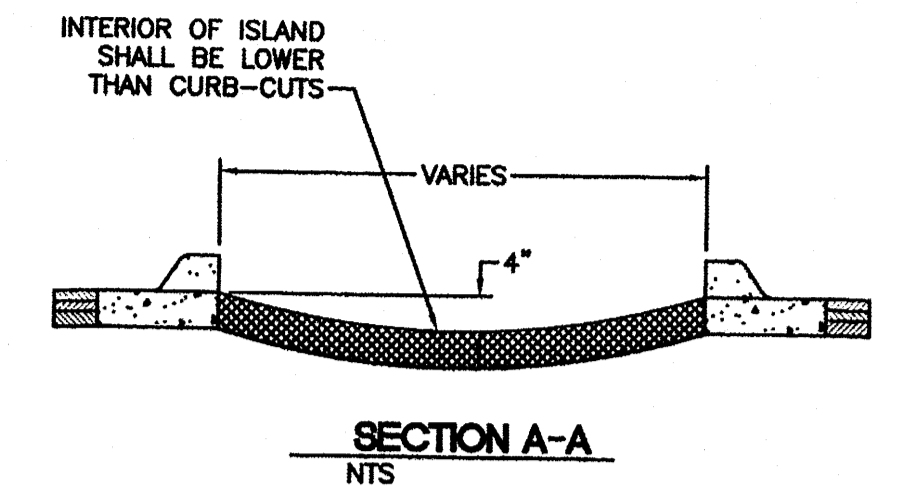
6 Plan Detail
1/2" = 1'-0"



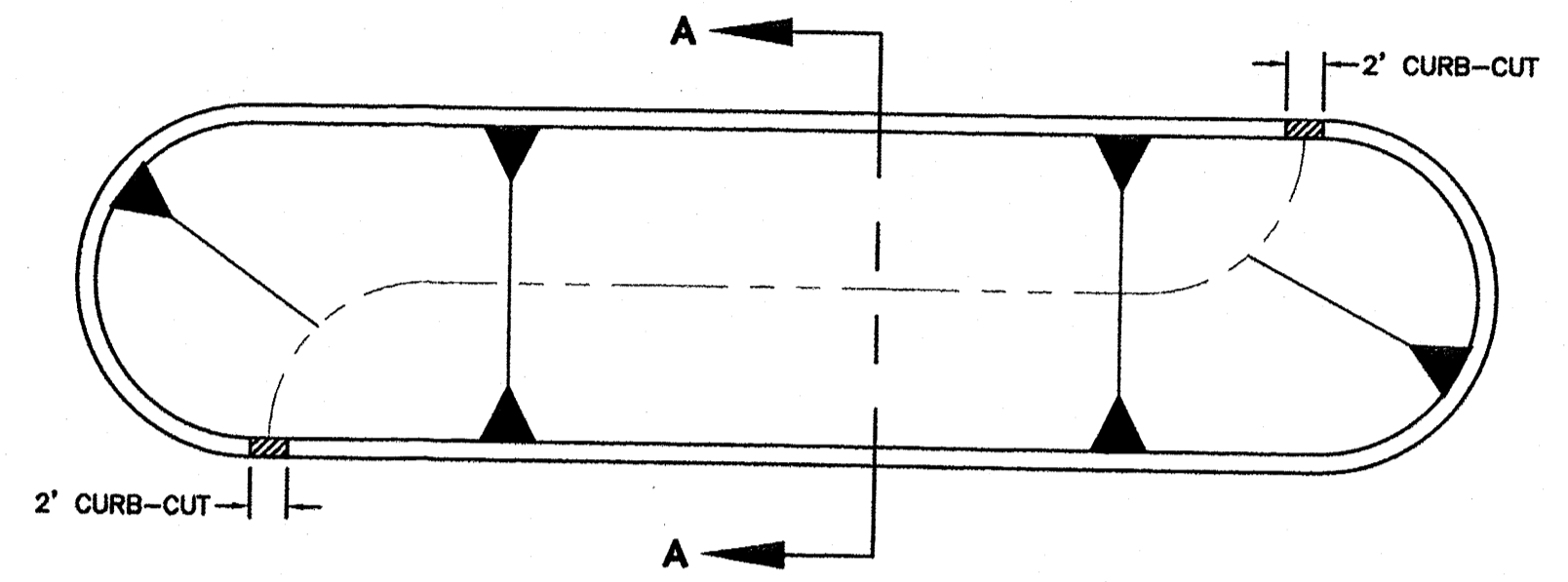
1 Dumpster Floor Plan
1/2" = 1'-0"



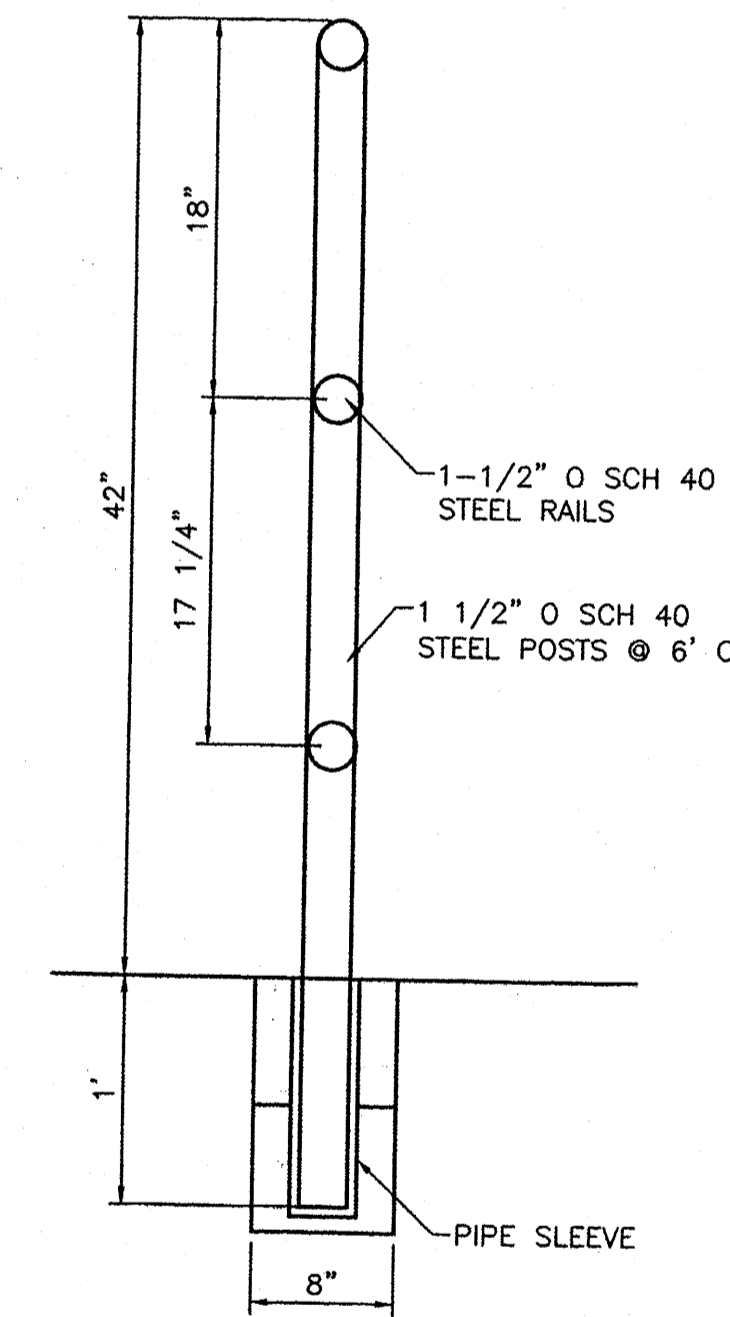
2' CURB-CUT
NTS



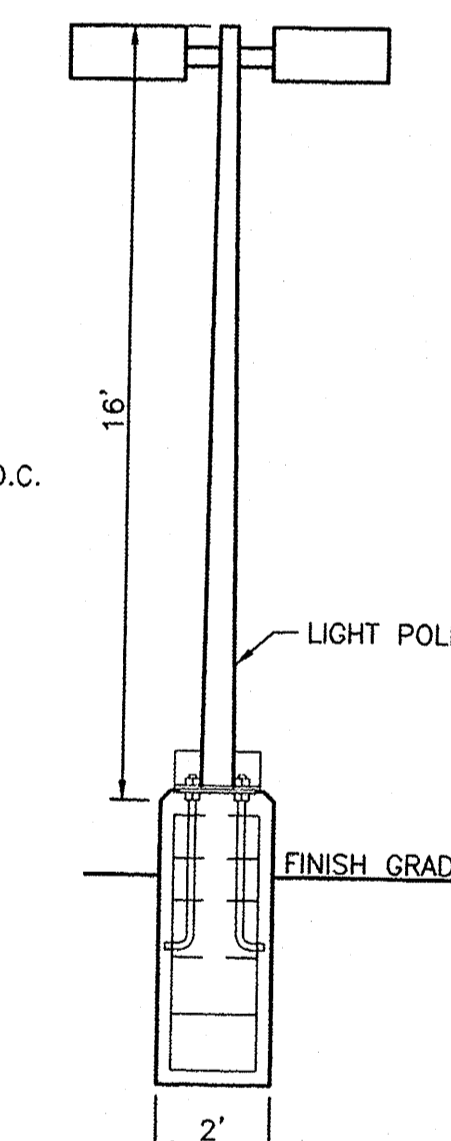
SECTION A-A
NTS



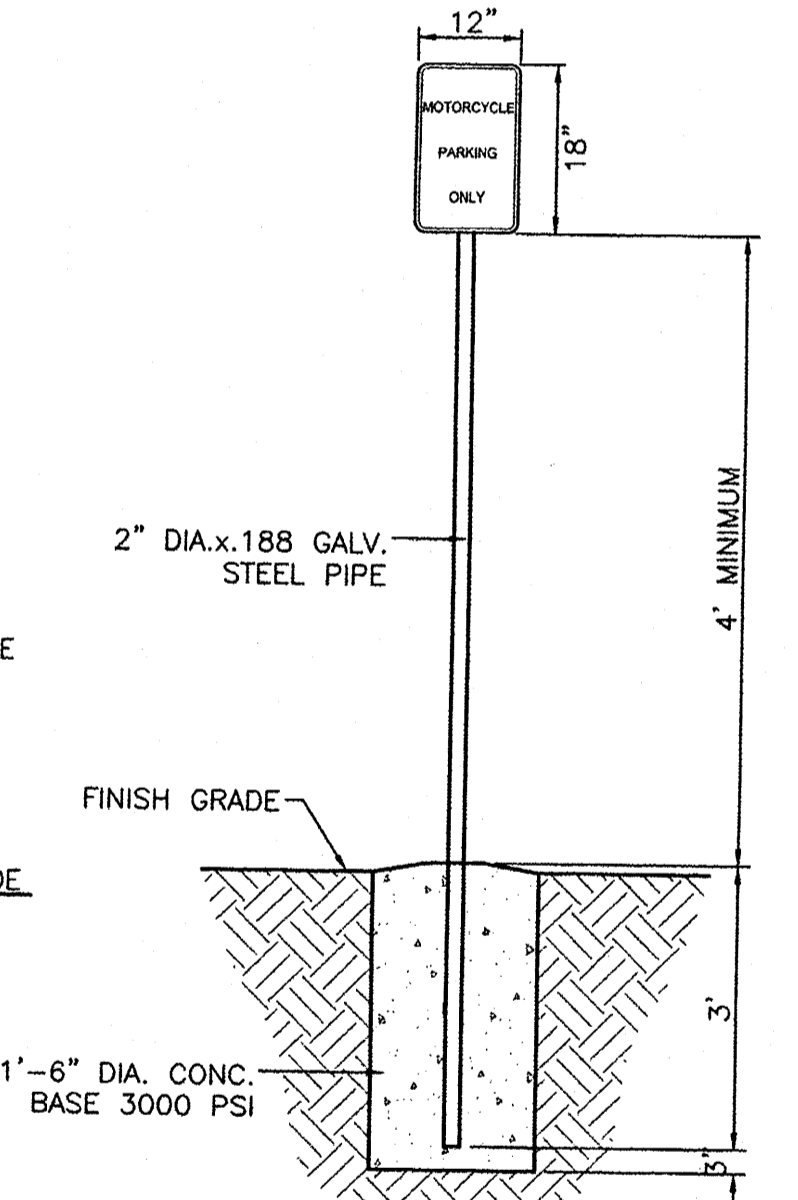
LANDSCAPE ISLAND WATER HARVESTING DETAIL
FOR REFERENCE ONLY - BUILD ISLAND GEOMETRY
PER SITE AND GRADING PLAN



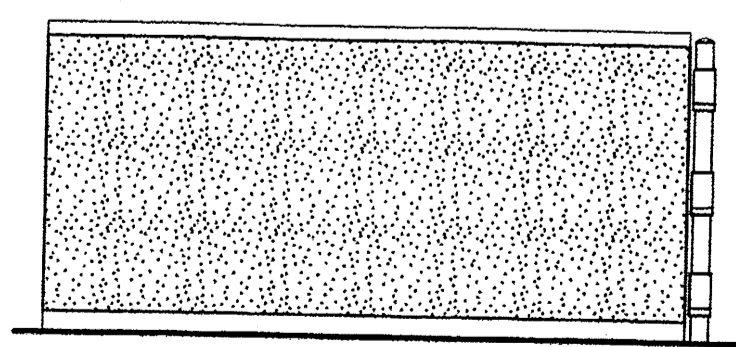
GUARD RAIL DETAIL
NTS



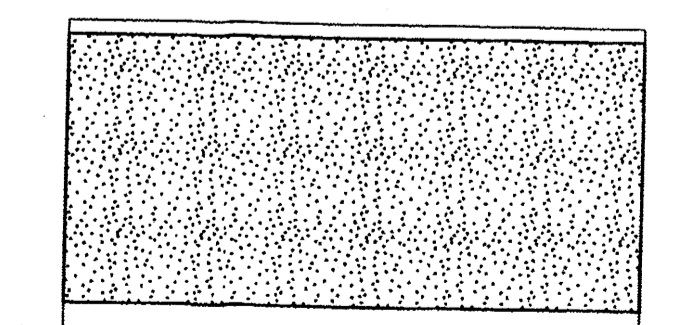
LIGHT POLE DETAIL
NTS



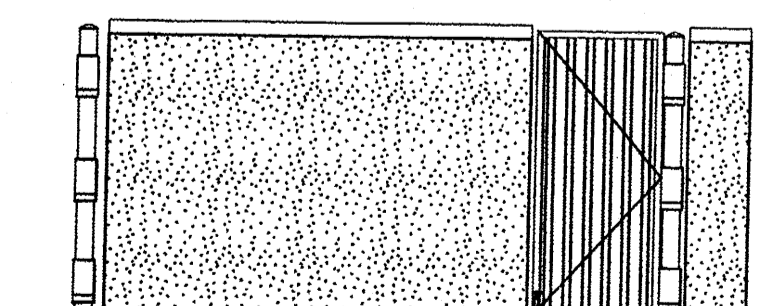
MOTORCYCLE PARKING SIGN
NTS



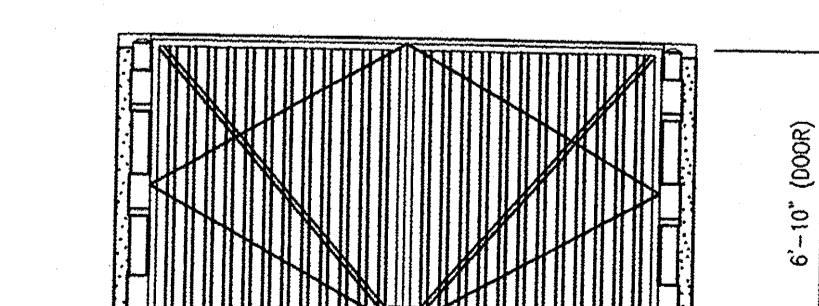
5 Side Elevation
1/4" = 1'-0"



4 Back Elevation
1/4" = 1'-0"

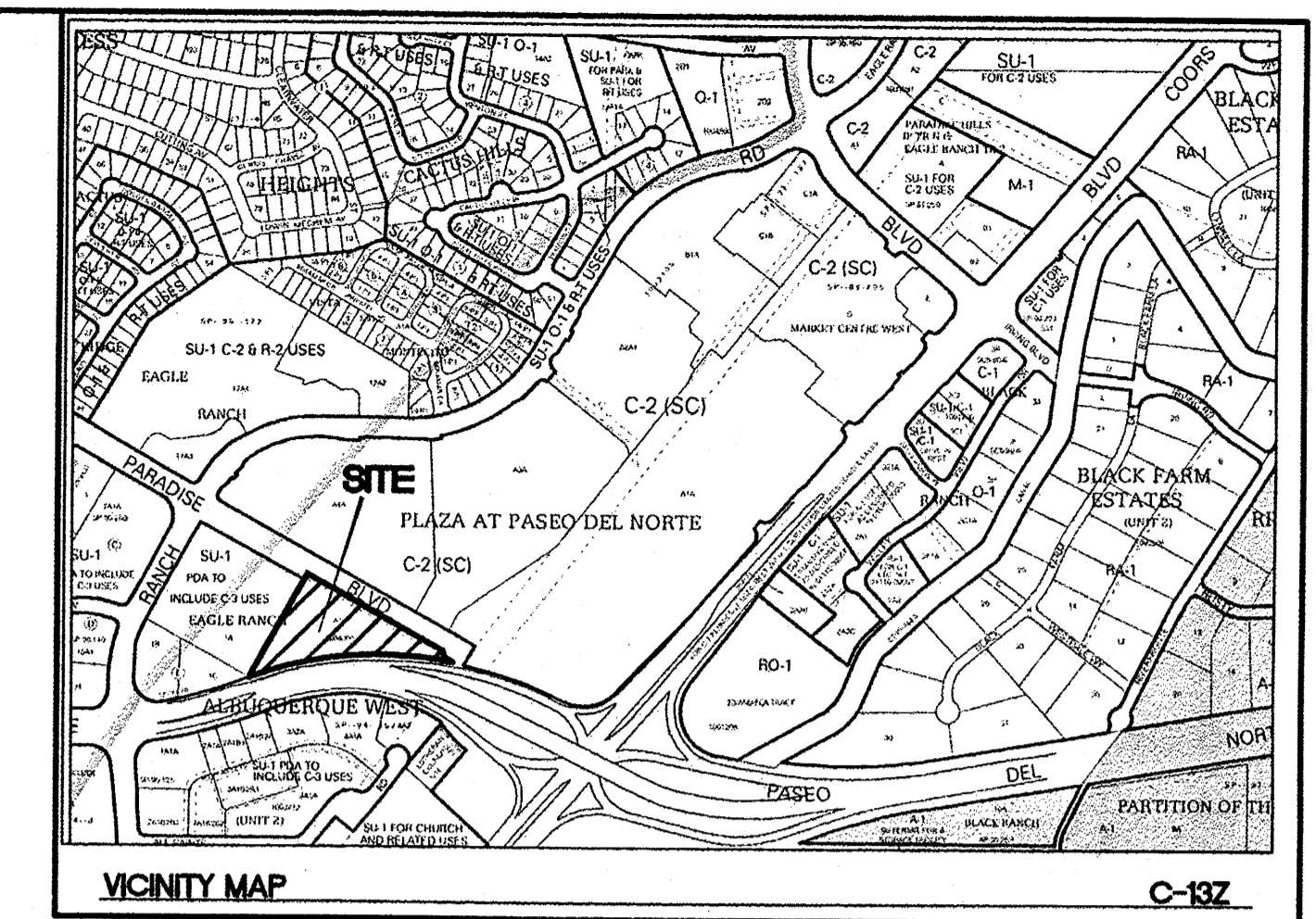
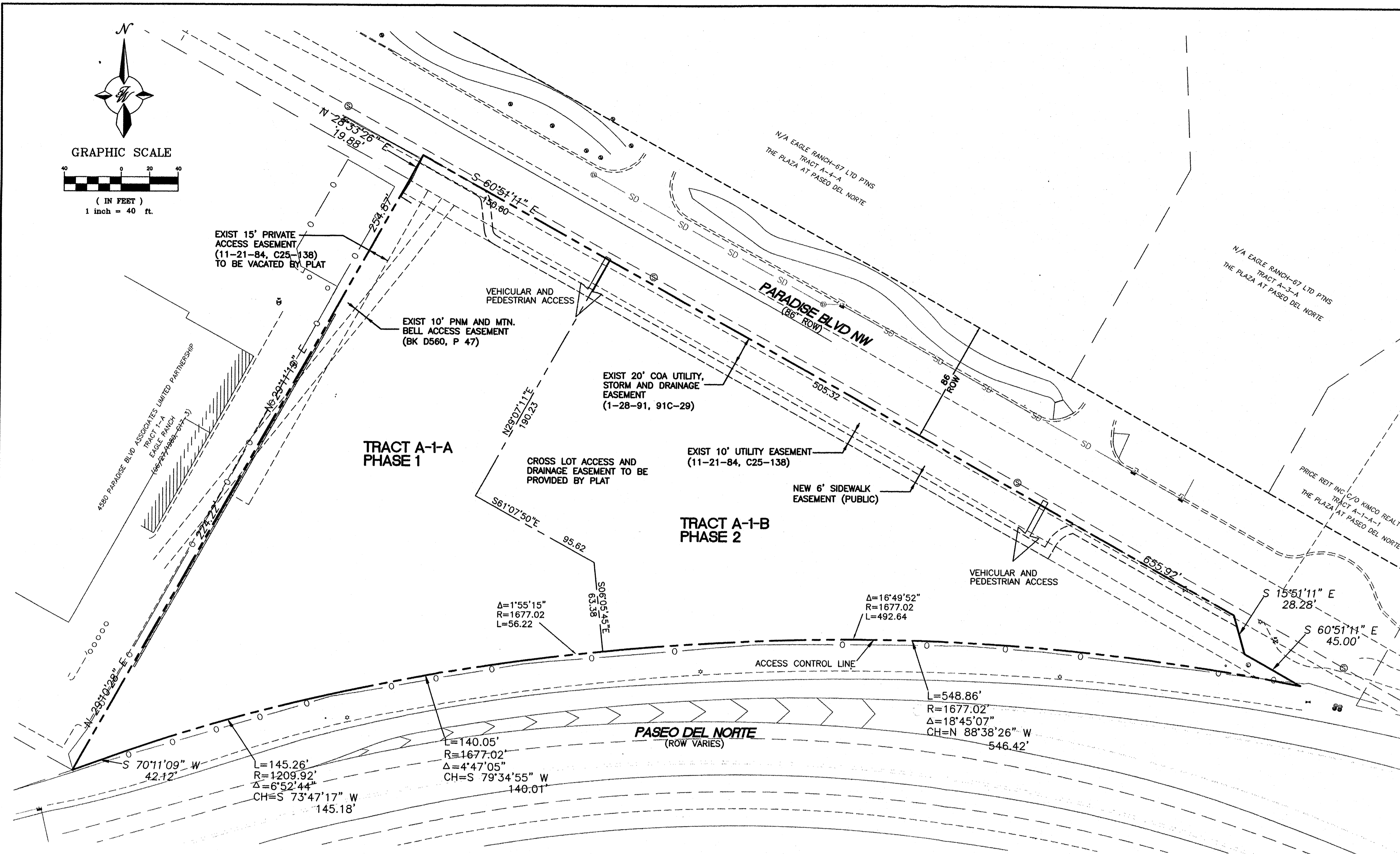
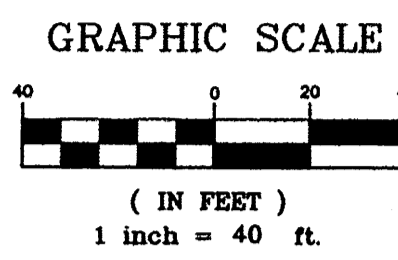
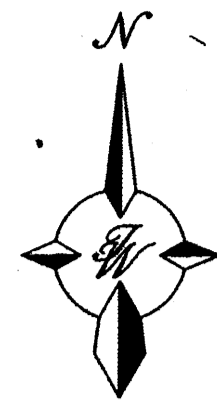


3 Side Elevation
1/4" = 1'-0"



2 Front Elevation
1/4" = 1'-0"

	ALBUQUERQUE SPORTING CENTER CONSTRUCTION DETAILS	DRAWN BY pm DATE 1-31-13 DRAWING 2012086-DET
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LEGAL DESCRIPTION
TRACT A1 ALBUQUERQUE WEST UNIT 2

NOTES:

- THE FOLLOWING USES ARE EXPRESSLY EXCLUDED WHETHER FIRST LISTED AS PERMISSIVE OR CONDITIONAL USES IN THE C-3 ZONE: TIRE RECAPPING OR RETREADING, CONTRACTORS YARD, EQUIPMENT RENTAL, BULK FUEL STORAGE OR SALES, AUTO DISMANTLING, OUTDOOR BUILDING MATERIAL STORAGE OR SALES UNLESS INCIDENTAL TO RETAIL SALES AND ADEQUATELY SCREENED.
- PURSUANT TO THE ANNEXATION ZONING AND SPECIAL USE OF PARAMETERS FOR THIS PROPERTY THE FOLLOWING MATTERS ARE DELEGATED TO THE DEVELOPMENT REVIEW BOARD FOR APPROVAL:
 - ALL PLATTING OR REPLATTING.
 - SITE DEVELOPMENT PLANS FOR BUILDING PERMITS PROVIDED THAT:
 - THE PROPOSED USES ARE EITHER RESIDENTIAL OR AMONG THOSE FIRST LISTED AS PERMISSIVE IN THE C-1 OR O-1 ZONES, AND;
 - STRUCTURES DO NOT EXCEED 2.5 STORIES IN HEIGHT, AND;
 - 15% OF THE PAVED PARKING AREAS ARE LANDSCAPED AND BUFFER LANDSCAPING IS IN ACCORDANCE WITH SECTION 40.J OF THE COMPREHENSIVE ZONING ORDINANCE;
 - THE F.A.R. DOES NOT EXCEED 0.50.
- PURSUANT TO THE ANNEXATION ZONING AND SPECIAL USE OF PARAMETERS FOR THIS PROPERTY, IF A SITE DEVELOPMENT PLAN FOR SUBDIVISION IS APPROVED BY THE E.P.C., ALL SUBSEQUENT SITE DEVELOPMENT PLANS FOR BUILDING PERMITS SHALL BE DELEGATED TO THE DEVELOPMENT REVIEW BOARD.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
- LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINE OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALL WITH TOP OF EQUIPMENT BELOW TO OF SCREEN WALL.
- PEDESTRIAN CROSSWALKS, INCLUDING PEDESTRIAN PATHWAYS AND DRIVE AISLE CROSSINGS SHALL BE CONSTRUCTED OF A MATERIAL OTHER THAN ASPHALT, SUCH AS TEXTURED (SCORED) COLORED CONCRETE
- 10' CLEARANCE SHALL BE PROVIDED FOR ALL GROUND MOUNTED PNM UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PROPOSES.
- CROSS LOT ACCESS AND DRAINAGE EASEMENTS SHALL BE PROVIDED ON THE PLAT TO EACH LOT.
- PHASE 2 WILL BE FUTURE DEVELOPMENT TO BE CONDUCTED AT A LATER DATE THAN PHASE 1.
- ALL ARCHITECTURAL DESIGN SHALL BE COMPATIBLE WITH THE PHASE 1 DEVELOPMENT ON TRACT A-1-A. IT SHALL BE SIMILAR IN COLOR AND MATERIAL TO THE FIRST BUILDING ON THE SITE AND HAVE A SIMILAR LEVEL OF ARTICULATION AND DETAIL. FUTURE BUILDINGS SHALL BE CONSISTENT WITH THE GENERAL BUILDING REGULATIONS 14-16-3-18.
- PRIOR TO INSTALLATION OF THE STREETSCAPE LANDSCAPING ALONG PARADISE BLVD, THE PROJECT MANAGER SHALL CONTACT MRCOG TO VERIFY THE STATUS OF THE PASEO DEL NORTE HIGH CAPACITY TRANSIT STUDY ALIGNMENT. IF PARADISE BLVD IS SELECTED, INSTALLATION OF STREETSCAPE MATERIALS MAY HAPPEN AS PART OF PHASE II DEVELOPMENT.

SITE DATA TRACT A-1-A

ZONING PROPOSED USAGE	SU-1 PDA TO INCLUDE C-3 USES COMMERCIAL/RETAIL/SHOOTING RANGE
LOT AREA:	PHASE 1 76196 SF (1.75 AC)
BUILDING AREA:	PHASE 1 15036 SF (TO BE BUILT) 6297 SF (FUTURE ADDITION)
FAR	0.279
BUILDING HEIGHT	26' MAXIMUM
SETBACKS	FRONT 11' (MINIMUM) SIDE 10' (MINIMUM) REAR 10' (MINIMUM)

SITE DATA TRACT A-1-B

ZONING PROPOSED USAGE	SU-1 PDA TO INCLUDE C-3 USES COMMERCIAL/RETAIL
LOT AREA:	PHASE 2 75571 SF (1.73 AC)
BUILDING AREA:	PHASE 2 2 BUILDINGS 7200 SF EA
FAR	0.190
BUILDING HEIGHT	26' MAXIMUM
SETBACKS	FRONT 11' (MINIMUM) SIDE 10' (MINIMUM) REAR 10' (MINIMUM)

TOTAL FAR FOR SITE IS 0.235

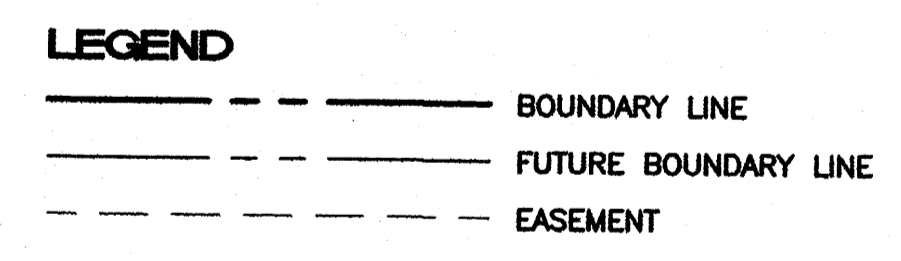
PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

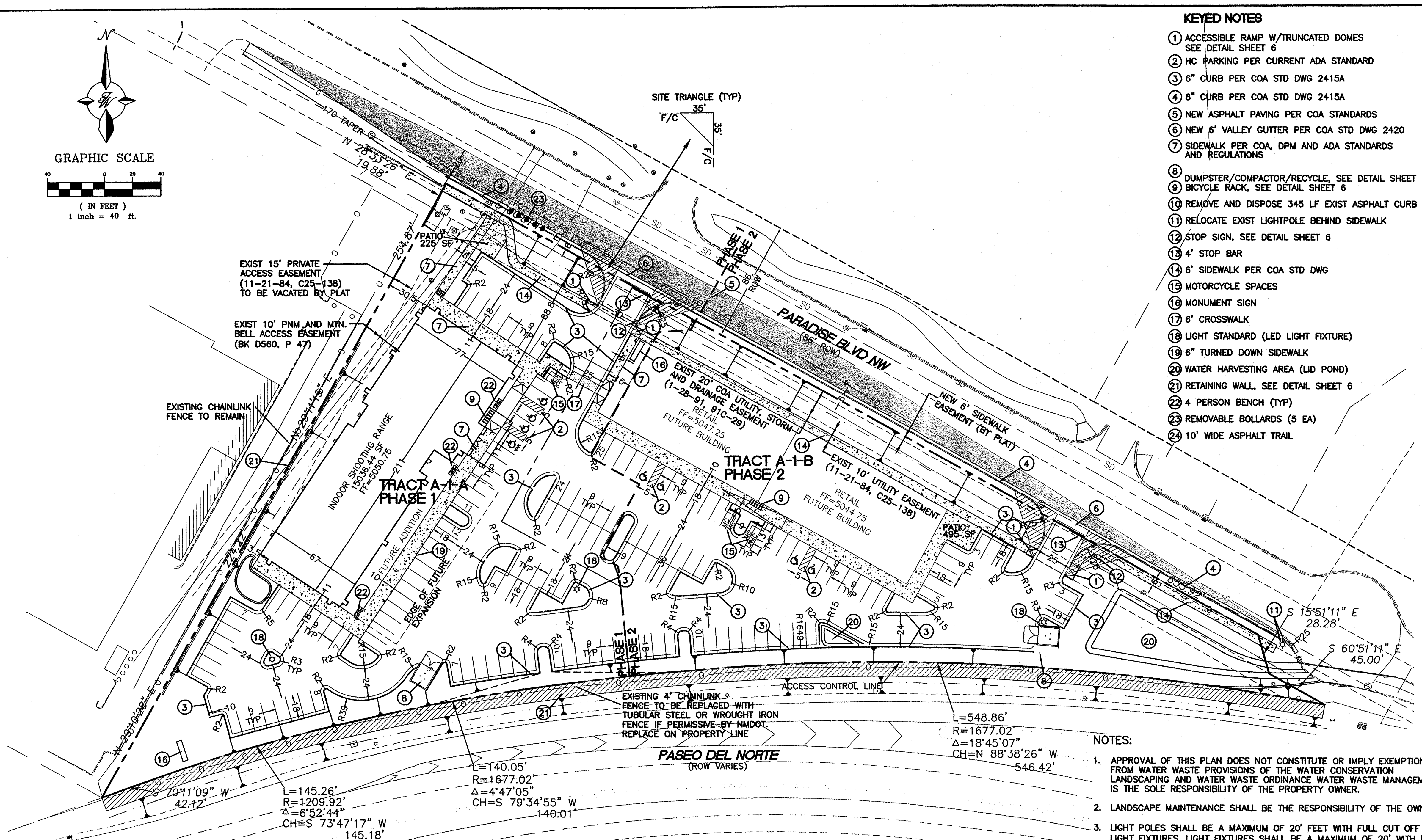
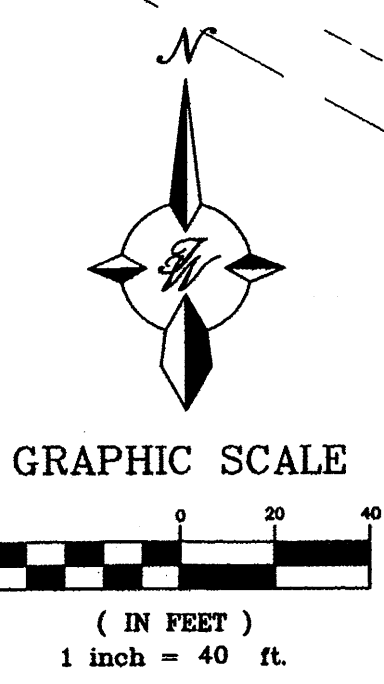
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	

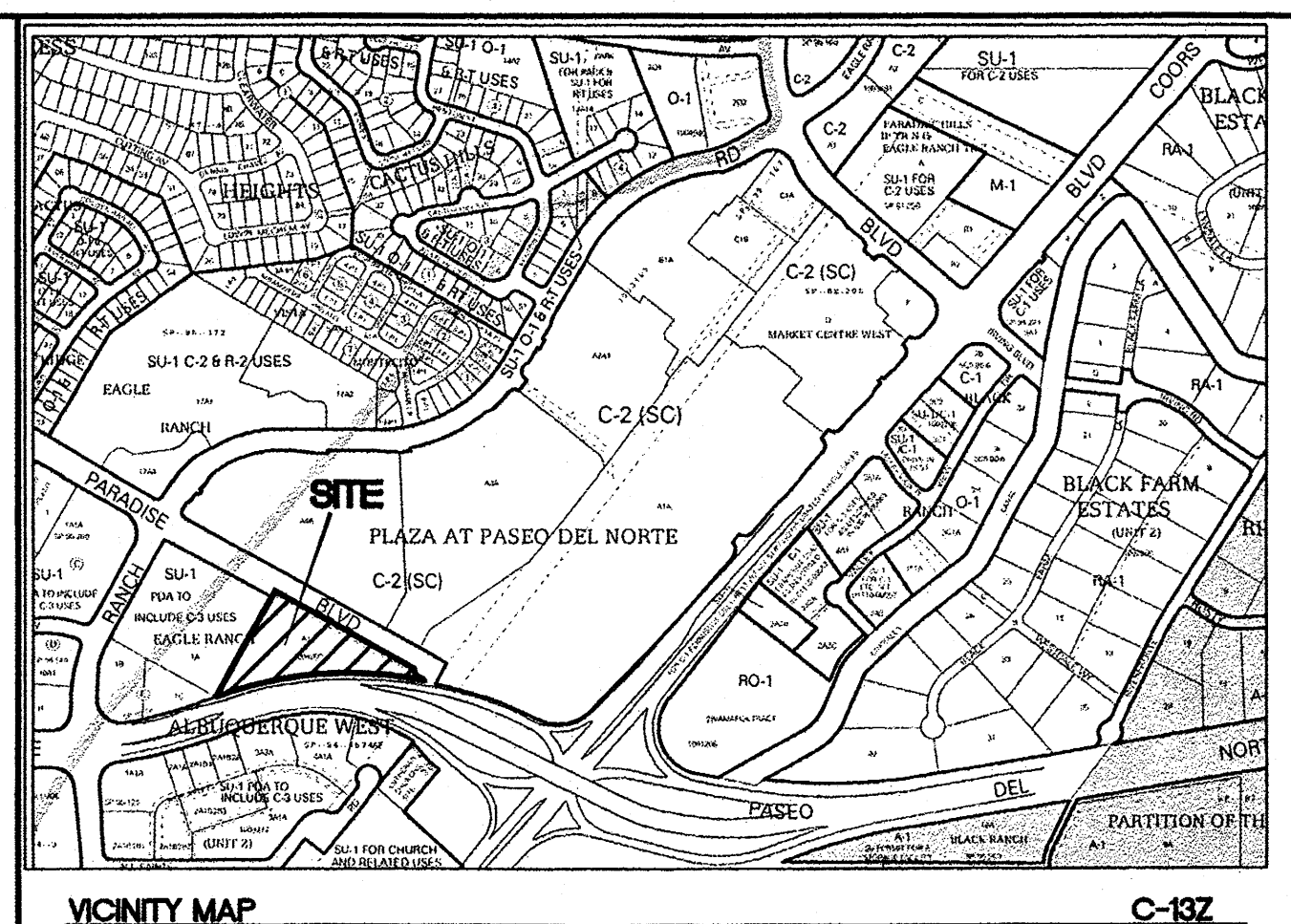


- INDEX TO DRAWINGS**
- SITE PLAN FOR SUBDIVISION
 - SITE PLAN FOR BUILDING PERMIT
 - LANDSCAPING PLAN
 - GRADING PLAN
 - MASTER UTILITY PLAN
 - BUILDING ELEVATIONS
 - A2.03 BUILDING ELEVATIONS
 - A2.04 BUILDING ELEVATIONS
 - CONSTRUCTION DETAILS
 - CONSTRUCTION DETAILS

	ALBUQUERQUE SPORTING CENTER SITE PLAN FOR SUBDIVISION	DRAWN BY pm DATE 1-31-13 DRAWING 2012086-SPE
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # 1 JOB # 2012086



- KEYED NOTES**
- ACCESSIBLE RAMP W/TRUNCATED DOMES SEE DETAIL SHEET 6
 - HC PARKING PER CURRENT ADA STANDARD
 - 6" CURB PER COA STD DWG 2415A
 - 8" CURB PER COA STD DWG 2415A
 - NEW ASPHALT PAVING PER COA STANDARDS
 - NEW 6" VALLEY GUTTER PER COA STD DWG 2420
 - SIDEWALK PER COA, DPM AND ADA STANDARDS AND REGULATIONS
 - DUMPSTER/COMPACTOR/RECYCLE. SEE DETAIL SHEET 7
 - BICYCLE RACK, SEE DETAIL SHEET 6
 - REMOVE AND DISPOSE 345 LF EXIST ASPHALT CURB
 - RELOCATE EXIST LIGHTPOLE BEHIND SIDEWALK
 - STOP SIGN, SEE DETAIL SHEET 6
 - 4' STOP BAR
 - 6' SIDEWALK PER COA STD DWG
 - MOTORCYCLE SPACES
 - MONUMENT SIGN
 - 6' CROSSWALK
 - LIGHT STANDARD (LED LIGHT FIXTURE)
 - 6" TURNED DOWN SIDEWALK
 - WATER HARVESTING AREA (LID POND)
 - RETAINING WALL, SEE DETAIL SHEET 6
 - 4 PERSON BENCH (TYP)
 - REMOVABLE BOLLARDS (5 EA)
 - 10' WIDE ASPHALT TRAIL



LEGAL DESCRIPTION
TRACT A1 ALBUQUERQUE WEST UNIT 2

- LEGEND**
- PROPOSED CURB & GUTTER
 - - - BOUNDARY LINE
 - - - FUTURE BOUNDARY LINE
 - - - EASEMENT
 - - - PROPOSED SIDEWALK
 - BICYCLE RACK
 - ☆ SITE LIGHTING
 - - - PROPERTY LINE
 - NEW PAVING PER COA STANDARDS
 - NEW ASPHALT TRAIL

SITE DATA TRACT A-1-A

ZONING PROPOSED USAGE	SU-1 PDA TO INCLUDE C-3 USES COMMERCIAL/RETAIL/SHOOTING RANGE
LOT AREA: PHASE 1	76196 SF (1.75 AC)
BUILDING AREA: PHASE 1	15036 SF (TO BE BUILT) 6297 SF (FUTURE ADDITION)
FAR	0.279
BUILDING HEIGHT	26' MAXIMUM
SETBACKS	FRONT 11' (MINIMUM) SIDE 10' (MINIMUM) REAR 10' (MINIMUM)

SITE DATA TRACT A-1-B

ZONING PROPOSED USAGE	SU-1 PDA TO INCLUDE C-3 USES COMMERCIAL/RETAIL
LOT AREA: PHASE 2	75571 SF (1.73 AC)
BUILDING AREA: PHASE 2	2 BUILDINGS 7200 EA
FAR	0.190
BUILDING HEIGHT	26' MAXIMUM
SETBACKS	FRONT 11' (MINIMUM) SIDE 10' (MINIMUM) REAR 10' (MINIMUM)

PARKING CALCULATIONS TRACT A-1-A

BUILDING AREA: PHASE 1	15036 SF	
PHASE 2	6297 (FUTURE ADDITION)	
PARKING REQUIRED PHASE 1	1/200 SF (3625 SF)	18 SPACES
PHASE 2	1/1000 SF (11411 SF)	11 SPACES
TOTAL		29 SPACES
PARKING PROVIDED PHASE 1		57 SPACES
ACCESSIBLE SPACES REQUIRED PHASE 1		3 SPACES
PHASE 2		4 SPACES (1 VAN ACCESSIBLE)
MOTORCYCLE SPACES REQUIRED PHASE 1		2 SPACES
PHASE 2		2 SPACES
BICYCLE SPACES REQUIRED PHASE 1		3 SPACES
PHASE 2		5 SPACES

PARKING CALCULATIONS TRACT A-1-B

BUILDING AREA PHASE 2	2 BUILDINGS 7200 SF EA	
PARKING REQUIRED PHASE 2	1/200 SF (14400 SF)	72 SPACES
PARKING PROVIDED PHASE 2		72 SPACES
ACCESSIBLE SPACES REQUIRED PHASE 2		3 SPACES
PHASE 2		4 SPACES (1 VAN ACCESSIBLE)
MOTORCYCLE SPACES REQUIRED PHASE 2		4 SPACES
PHASE 2		4 SPACES
BICYCLE SPACES REQUIRED PHASE 2		3 SPACES
PHASE 2		5 SPACES

- NOTES:**
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 - LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINE OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALL WITH TOP OF EQUIPMENT BELOW TO OF SCREEN WALL.
 - PEDESTRIAN CROSSWALKS, INCLUDING PEDESTRIAN PATHWAYS AND DRIVE AISLE CROSSINGS SHALL BE CONSTRUCTED OF A MATERIAL OTHER THAN ASPHALT, SUCH AS TEXTURED (SCORED) COLORED CONCRETE.
 - 10' CLEARANCE SHALL BE PROVIDED FOR ALL GROUND MOUNTED PNM UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PROPOSES.
 - CROSS ACCESS, PAVING AND DRAINAGE PROVIDED TO EACH LOT
 - PHASE 2 WILL BE FUTURE DEVELOPMENT TO BE CONDUCTED AT A LATER DATE THAN PHASE 1
 - ALL FUTURE DEVELOPMENT SHALL BE DELEGATED TO DRB
 - DELIVERY TRUCKS TO BE SU-30 PANEL TRUCKS
 - THE 10 FOOT SIDEWALK AND OTHER RELATED PEDESTRIAN FEATURES IN FRONT OF THE BUILDING SHALL BE RELOCATED IF THE BUILDING IS EXPANDED IN A FUTURE PHASE
 - ALL ARCHITECTURAL DESIGN SHALL BE COMPATIBLE WITH THE PHASE 1 DEVELOPMENT ON TRACT A-1-A. IT SHALL BE SIMILAR IN COLOR AND MATERIAL TO THE FIRST BUILDING ON THE SITE AND HAVE A SIMILAR LEVEL OF ARTICULATION AND DETAIL. FUTURE BUILDINGS SHALL BE CONSISTENT WITH THE GENERAL BUILDING REGULATIONS 14-16-3-18.
 - PHASE 1 CONSTRUCTION WILL INCLUDE THE SIDEWALK AND PARKING STALLS IN FRONT OF THE FUTURE ADDITION AREA.
 - SECURITY CAMERAS WILL BE PROVIDED TO COVER SURVEILLANCE OF ALL ACCESS POINTS, PARKING LOTS AND THE SIDES OF THE BUILDING.

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

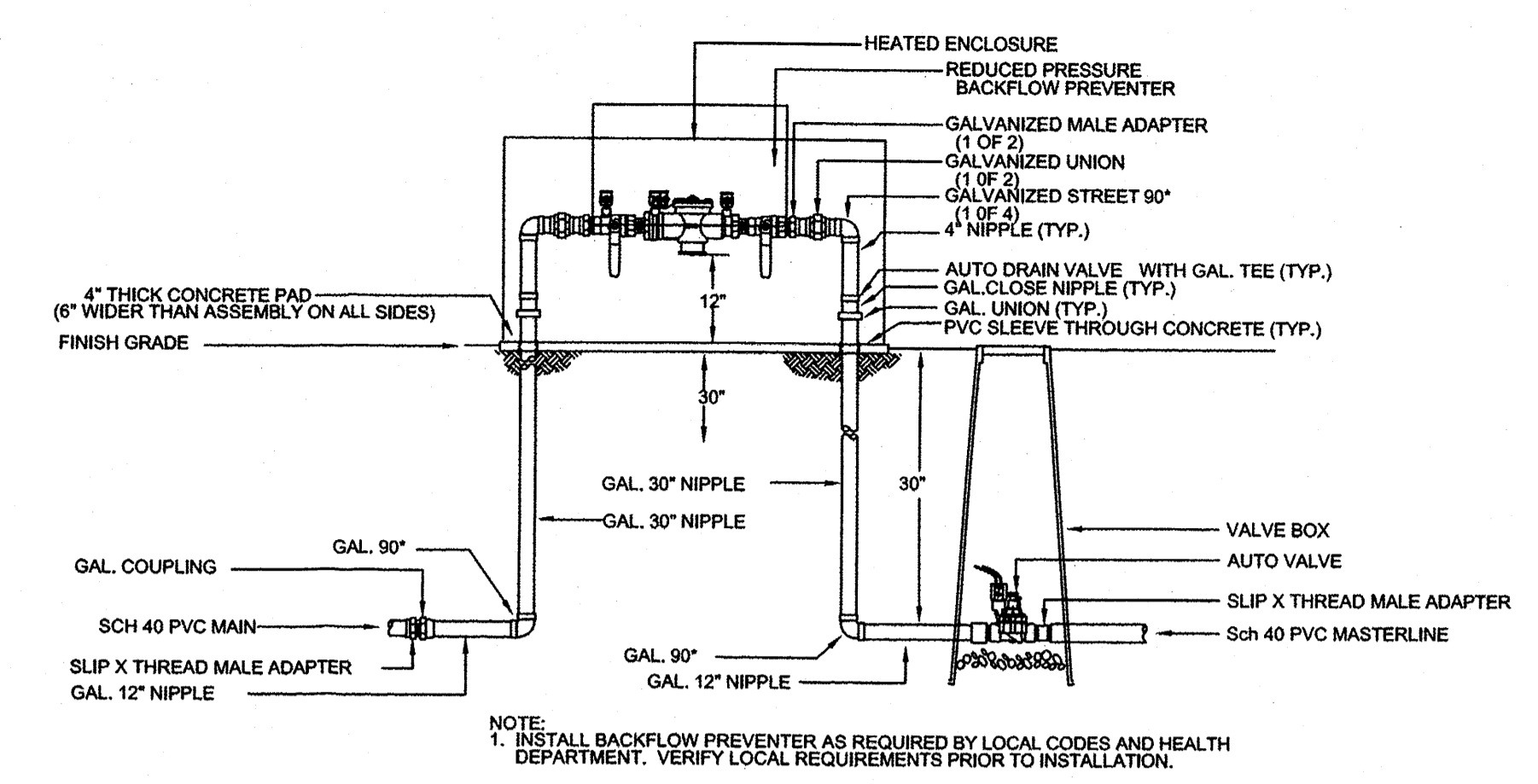
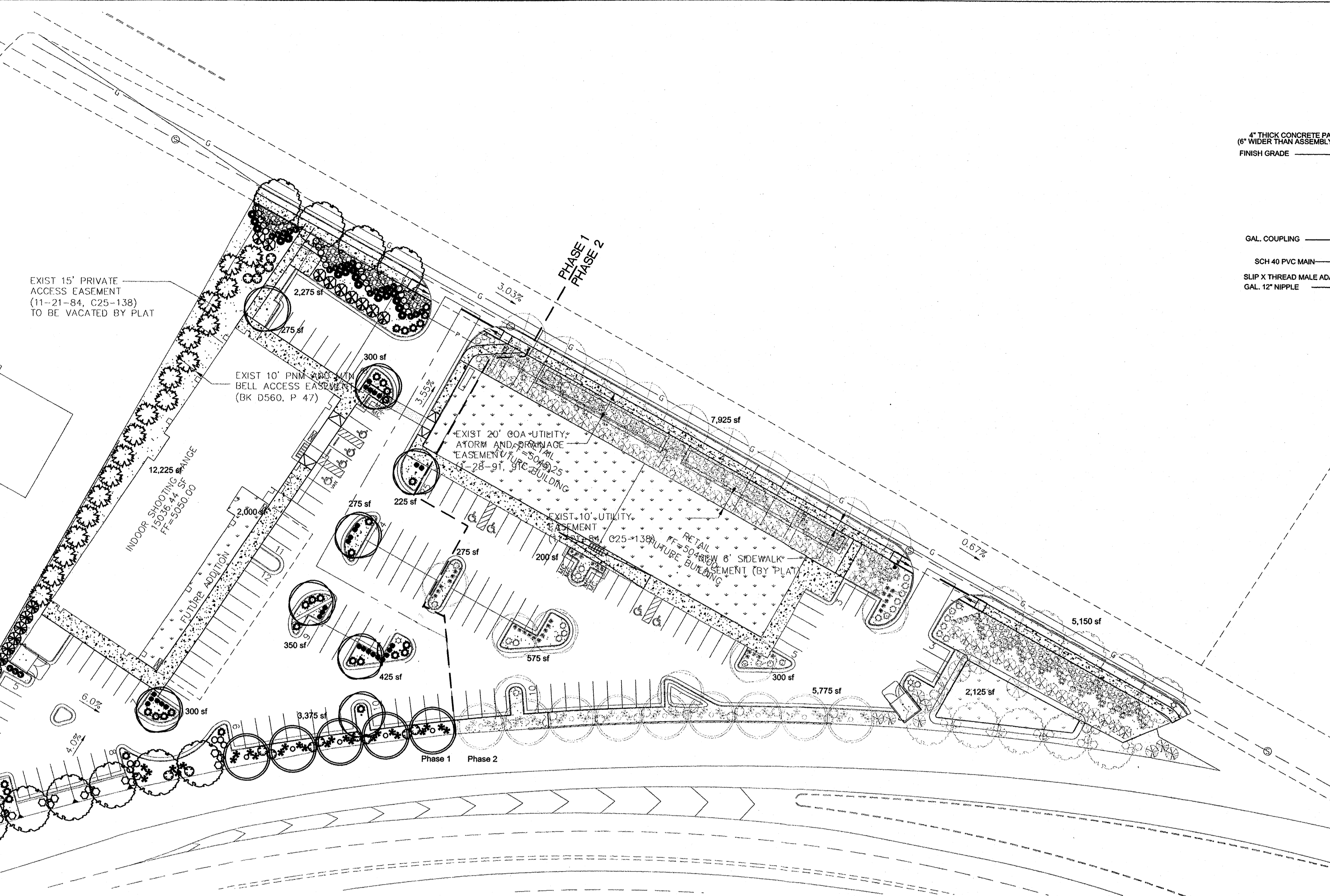
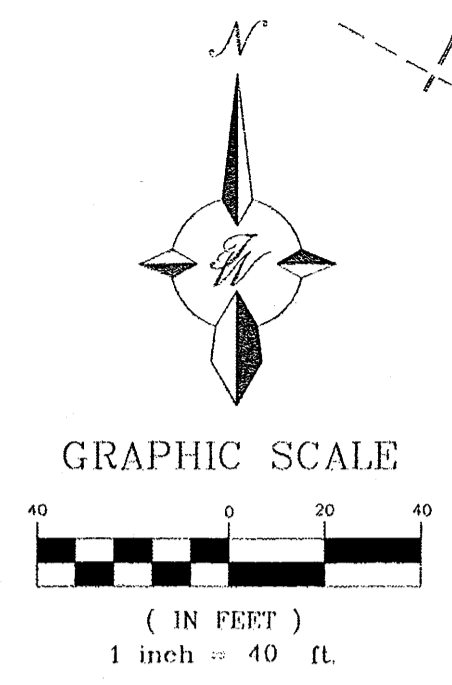
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Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

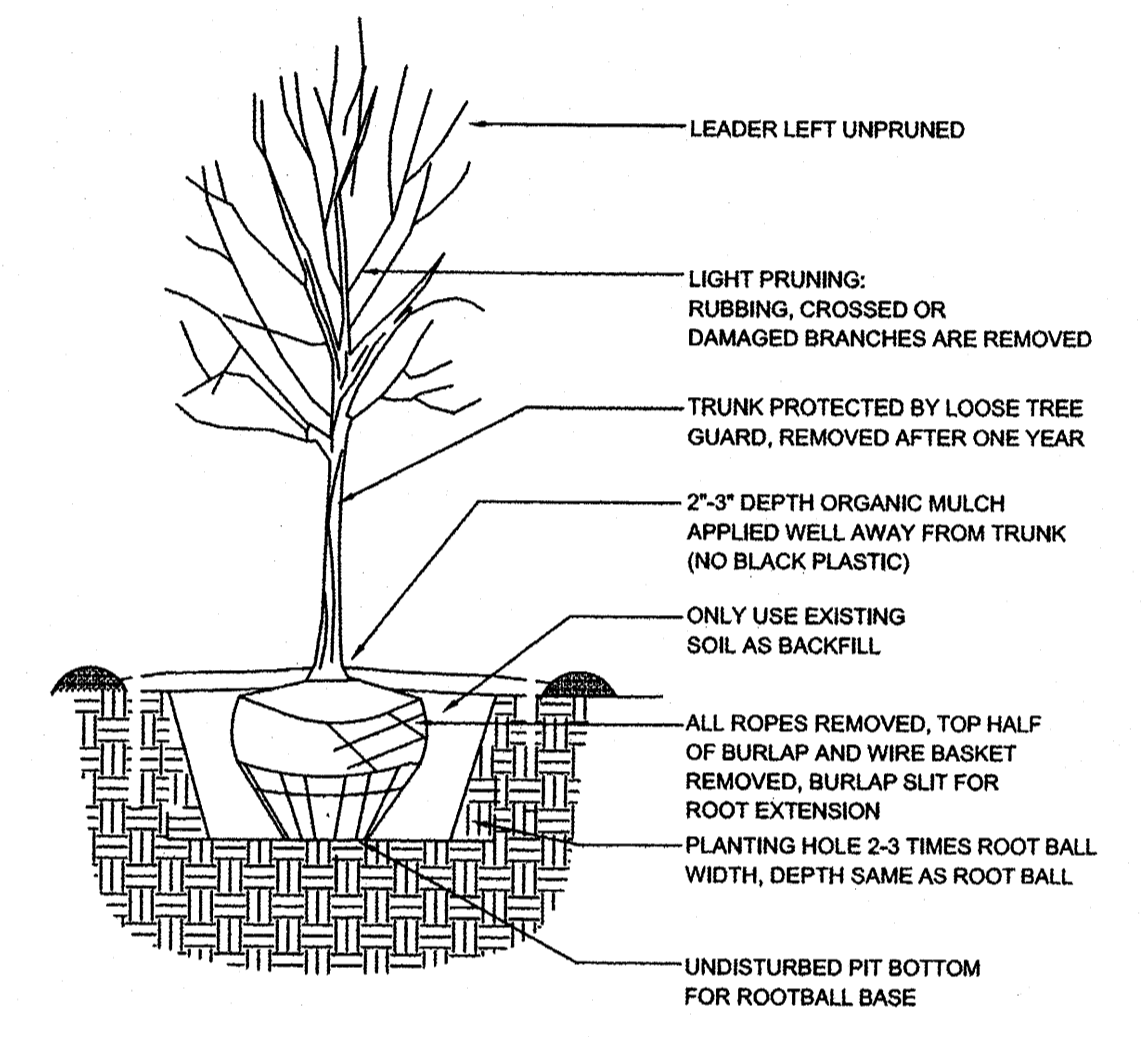
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
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Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	

	ALBUQUERQUE SPORTING CENTER SITE PLAN FOR BUILDING PERMIT	DRAWN BY pm DATE 1-31-13 DRAWING 2012086-SPE SHEET # 2 JOB # 2012086
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	



RP BACKFLOW/MASTER VALVE DETAIL



TREE PLANTING DETAIL

PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Mature Landscape Ht./Sp. Coverage	Water Use	Drip Emitters
10	Ph.1 Ph.2	Trees				
9	○	Gleditsia Honey Locust	2" Cal 50'/45'	Medium+	6-2 gph	
12	○	Pistacia Chinese Pistache	2" Cal 60'/60'	Medium	6-2 gph	
0	○	Platanus acerifolia Sycamore	2" Cal 70'/50'	High	6-2 gph	
5	○	Celtis occidentalis Hackberry	2" Cal 40'/40'	Medium	6-2 gph	
22	○	Juniperus monosperma One Seed Juniper	15-Gal 15'/15' 400 sf=8800 sf	RW	4-2 gph	
0	○	Vitex Chaste Tree	15-Gal 20'/20' 400 sf=1200 sf	Medium	6-2 gph	
16	○	Miscanthus Maiden Grass	5-Gal 5'/5' 25 sf=400 sf	Medium	2-2 gph	
29	○	Calamagrotis Karl Foerster Grass	5-Gal 3'/2' 10 sf=290 sf	Medium	2-2 gph	
34	○		10 sf=340 sf			

SITE DATA/PHASE 1

Qty.	Shrubs/Groundcovers	Size	Mature Landscape Ht./Sp. Coverage	Water Use	Drip Emitters
21	Ph.1 Ph.2				
76	Caryopteris Blue Mist	1-Gal 3'/3' 15 sf=315 sf	Medium	2-2 gph	
26	Hesperaloe parviflora Red Yucca	5-Gal 3'/4' 20 sf=520 sf	Low+	2-1 gph	
37		20 sf=740 sf			
35	Juniperus sabina 'Buffalo' Buffalo Juniper (female)	1-Gal 1'/5' 25 sf=875 sf	Low +	2-1 gph	
34		25 sf=850 sf			
26	Rhus aromatica Gro Low Sumac	1-Gal 2'/6' 36 sf=936 sf	Low+	2-1 gph	
68		36 sf=2448 sf			
21	Chamaebatia Fernbush	5-Gal 5'/6' 36 sf=756 sf	Low+	2-1 gph	
8		36 sf=288 sf			
9	Vauquelinia Rosewood	5-Gal 12'/10' 100 sf=900 sf	Medium+	2-2 gph	
54		100 sf=5400 sf			
21	Rhus trilobata 3 Leaf Sumac	1-Gal 6'/6' 36 sf=756 sf	Low	2-1 gph	
26		36 sf=936 sf			
24	Fallugia Apache Plume	1-Gal 6'/7' 49 sf=1176 sf	Low	2-1 gph	
15		49 sf=735 sf			
Total landscape coverage/Ph.1= 15,724 sf					
Total landscape coverage/Ph.2= 15,852 sf					
Total landscape coverage= 31,576 sf					

SITE DATA/PHASE 1&2

GROSS LOT AREA (3.47 ACRES)	151,667 SF	GROSS LOT AREA (3.47 ACRES)	151,667 SF
LESS BUILDING(S)	15,038 SF	LESS BUILDING(S)	25,129 SF
NET LOT AREA	136,629 SF	NET LOT AREA	126,538 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	20,494 SF	REQUIRED LANDSCAPE 15% OF NET LOT AREA	18,980 SF
PROPOSED LANDSCAPE PERCENT OF NET LOT AREA	22,023 SF 16 %	PROPOSED LANDSCAPE PERCENT OF NET LOT AREA	44,350 SF 35 %
HIGH WATER USE TURF MAX. 20% OF LANDSCAPE AREA	0 SF	HIGH WATER USE TURF MAX. 20% OF LANDSCAPE AREA	0 SF
PROPOSED HIGH WATER USE TURF PERCENT OF LANDSCAPE AREA	0 %	PROPOSED HIGH WATER USE TURF PERCENT OF LANDSCAPE AREA	0 %
REQUIRED STREET TREES 1 PER 30 L.F. OF STREET FRONTAGE PROVIDED STREET TREES	4	REQUIRED STREET TREES 1 PER 30 L.F. OF STREET FRONTAGE PROVIDED STREET TREES	46
REQUIRED PARKING LOT TREES 1 PER 10 SPACES PROVIDED PARKING LOT TREES	87	REQUIRED PARKING LOT TREES 1 PER 10 SPACES PROVIDED PARKING LOT TREES	15
REQUIRED LANDSCAPE COVERAGE 75% LIVE VEGETATIVE MATERIAL (22,023 SF PROPOSED LANDSCAPE X 75%)	16,518 SF MIN.	REQUIRED LANDSCAPE COVERAGE 75% LIVE VEGETATIVE MATERIAL (44,350 SF PROPOSED LANDSCAPE X 75%)	33,262 SF MIN.
NATIVE SEED AREA LIVE GROUND COVER PROVIDED GROUND COVER COVERAGE PERCENT OF REQUIRED LANDSCAPE AREAS	2,000 SF 15,724 SF 17,724 SF 80%	NATIVE SEED AREA LIVE GROUND COVER PROVIDED GROUND COVER COVERAGE PERCENT OF REQUIRED LANDSCAPE AREAS	4,125 SF 31,576 SF 35,701 SF 80%

NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
 PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
 THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH
 IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10
 LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC
 APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.
 NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE.
 STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.
 LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS 14-16-3-10.
 LANDSCAPE AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS AND PLANTINGS BETWEEN 3' AND 8' TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

MATERIALS LEGEND

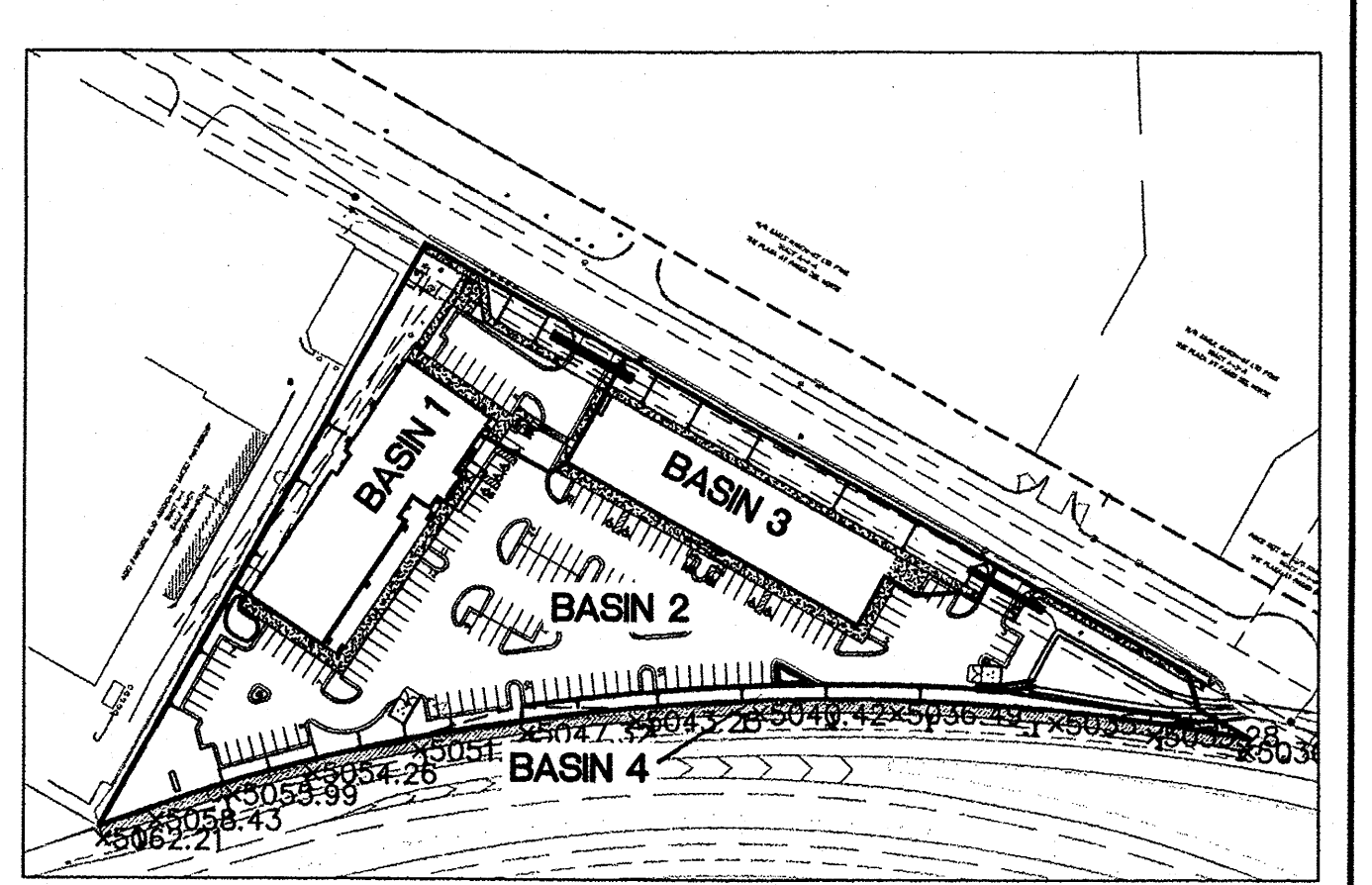
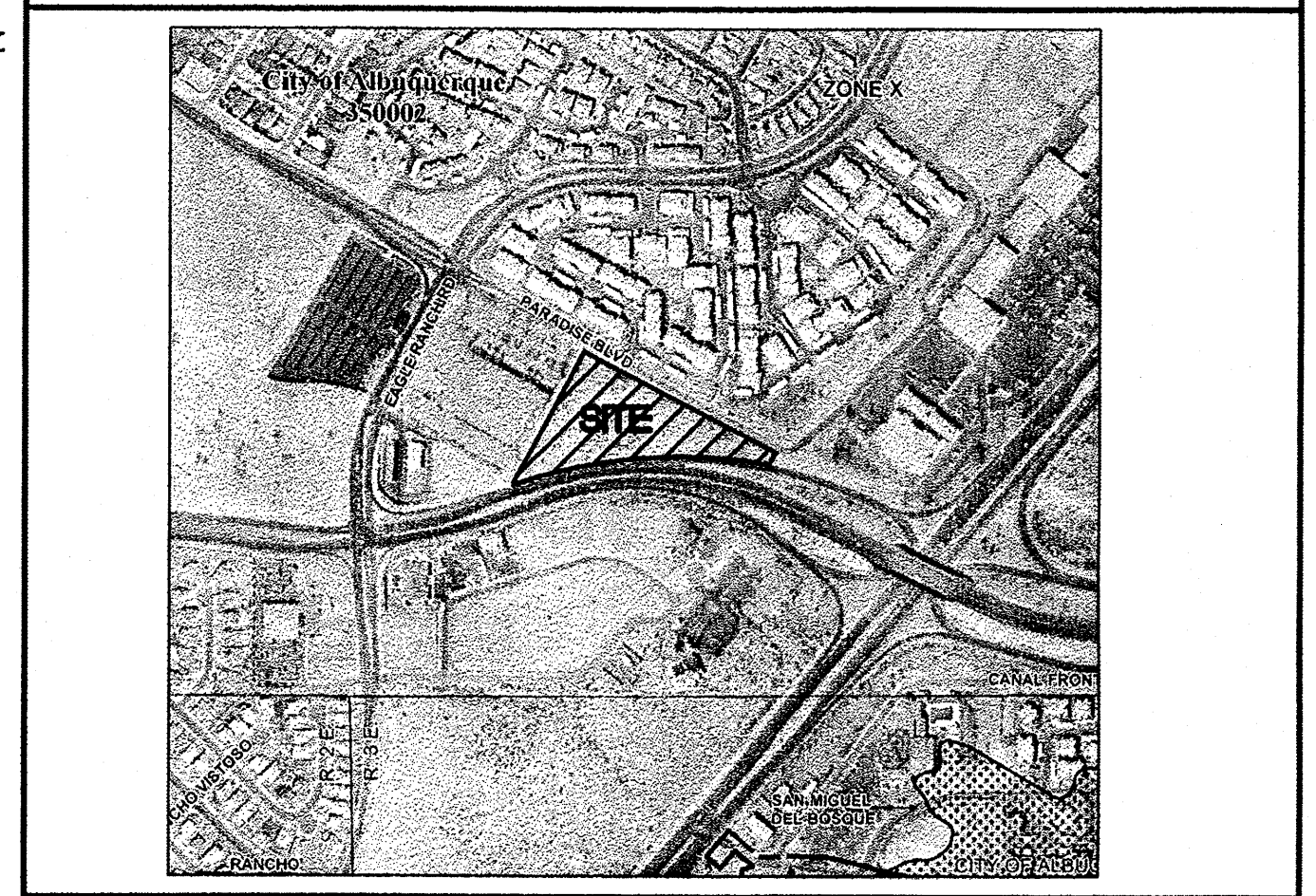
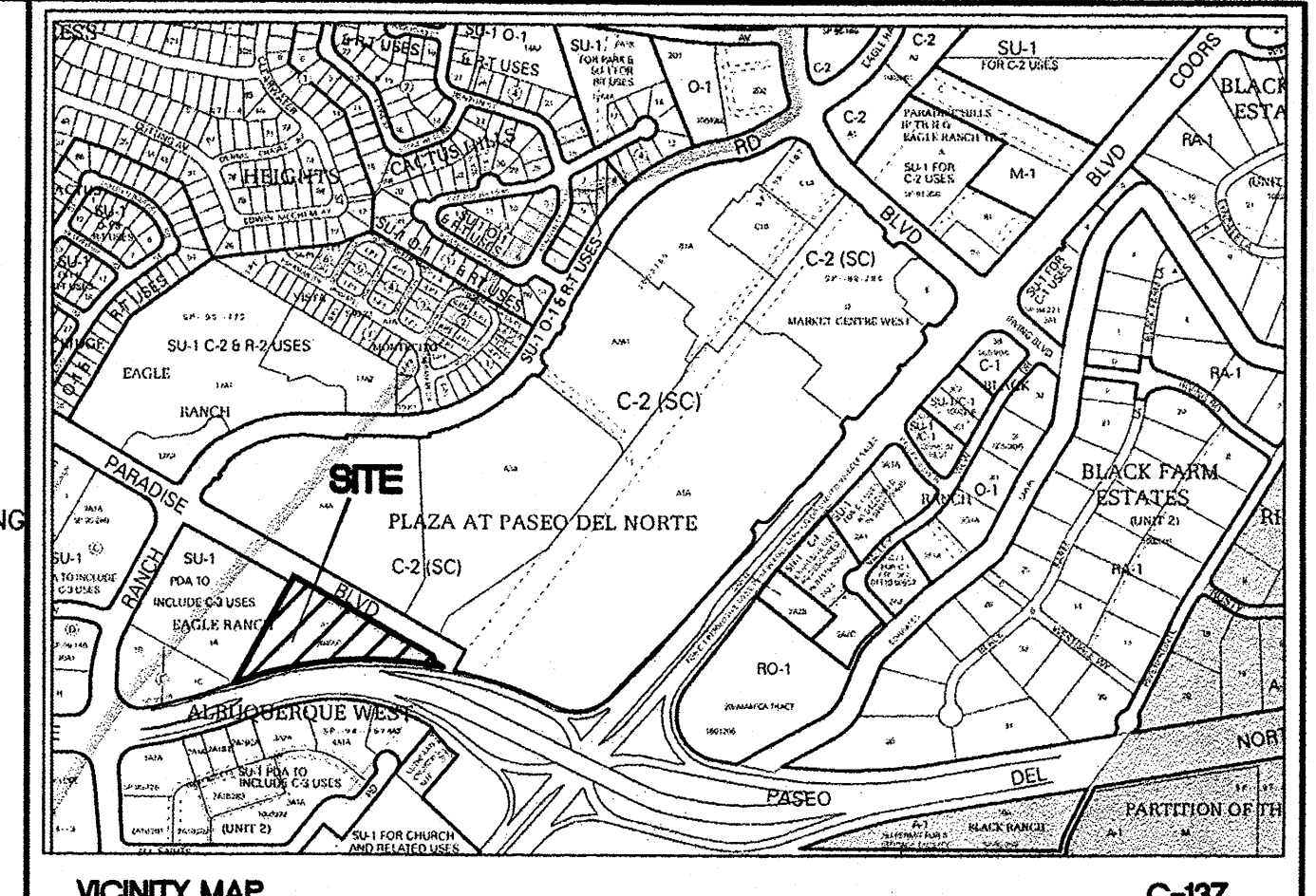
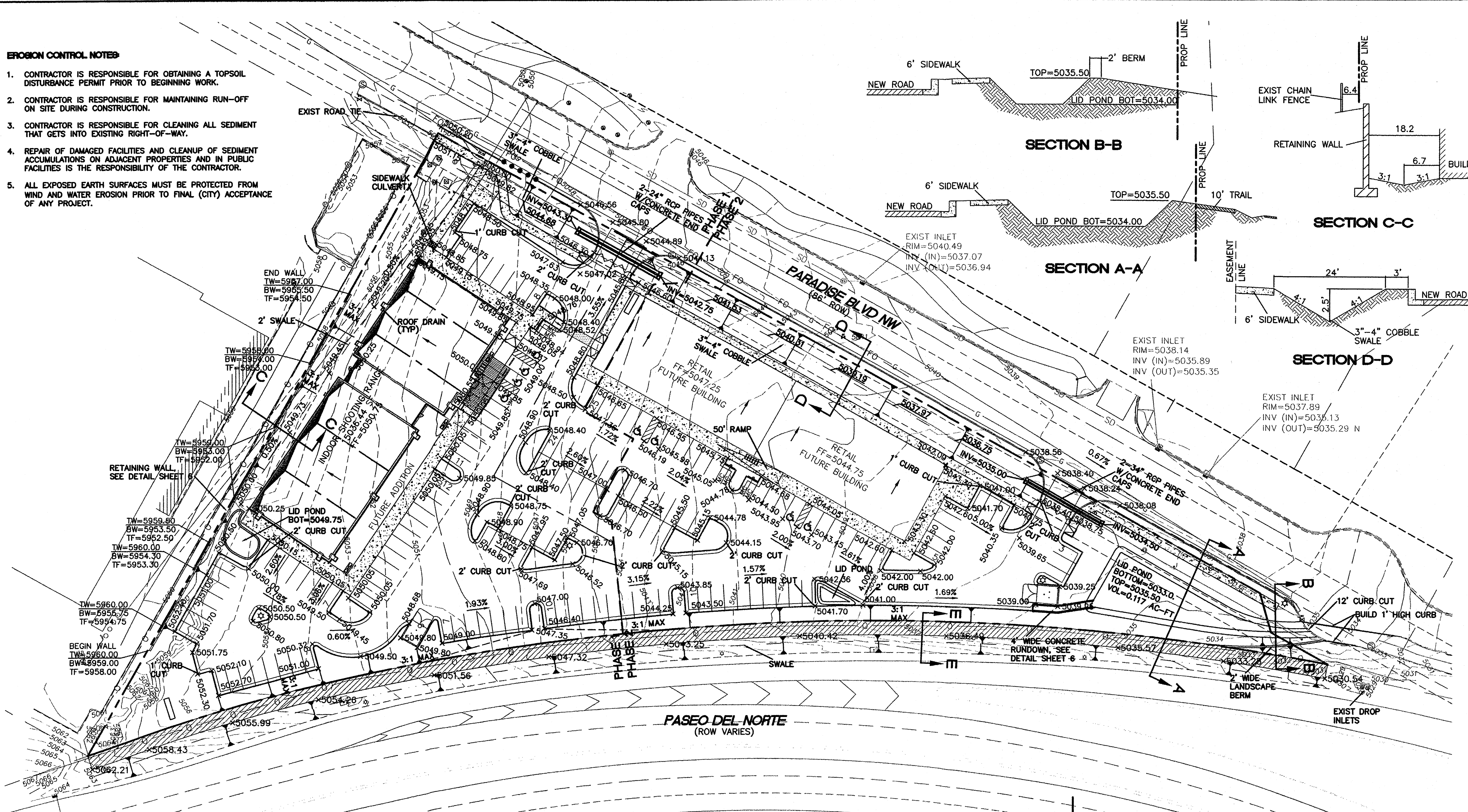
- BROWN CRUSHER FINES
- 2"-4" COBBLESTONE
- NATIVE GRASS SEED

growing better
Up
Heads
 LANDSCAPE CONTRACTORS
 P.O. BOX 10597
 Albuquerque, NM 87184
 505.898.9615
 505.898.2105 (fax)
 design@hulic.com
 www.headsuplandscape.com

ENGINEER'S SEAL	ALBUQUERQUE SPORTING CENTER	DRAWN BY pm
	LANDSCAPE PLAN FOR BUILDING PERMIT	DATE 1-30-13 3-25-13 DRAWING 2012086-SPE
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # 3
RONALD R. BOHANNAN P.E. #7868		JOB # 2012086

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



EXISTING DRAINAGE:
 THE SITE IS CURRENTLY VACANT AND DRAINS FROM THE WEST TO EAST. IT IS BOUND BY PASEO DEL NORTE ON THE SOUTH AND EAST, PARADISE BOULEVARD ON THE NORTH AND AN EXISTING BUILDING ON THE WEST AND CONTAINS APPROXIMATELY 3.48 ACRES. THE STORM WATER FROM THIS SITE FLOWS INTO PARADISE BOULEVARD AND CONTINUES EAST TO A POND LOCATED BEHIND THE MOVIE THEATER. FROM THERE THE WATER IS CONVEYED TO AN AMAFCA POND LOCATED ON THE EAST SIDE OF COORS BOULEVARD. THE SITE FALLS WITHIN THE NORTH COORS DRAINAGE MANAGEMENT PLAN MIDDLE AREA AND THE EXISTING AMAFCA POND IS SIZED TO ACCEPT DEVELOPED FLOWS FROM THIS SITE.

PROPOSED DRAINAGE:
 THE SITE IS DIVIDED UP INTO FOUR ON-SITE BASINS AND WILL CONTINUE TO FLOW TO THE EAST. STORM WATER WILL BE DIRECTED TO DRAIN THROUGH LANDSCAPE ISLANDS AND INTO LOW IMPACT DEVELOPMENT PONDS LOCATED THROUGHOUT THE SITE TO COMPLY WITH THE WATER HARVESTING REQUIREMENTS. EXCESS STORM WATER WILL CONTINUE TO FLOW TO THE EXISTING POND BEHIND THE MOVIE THEATER AT THE END OF PARADISE BOULEVARD AND EVENTUALLY DRAIN TO THE AMAFCA POND THAT IS SIZED TO ACCEPT THE DEVELOPED FLOWS FROM THIS SITE.
 BASIN 1 WILL DISCHARGE 3.04 CFS INTO PARADISE BLVD THROUGH THE WEST ENTRANCE. BASIN 2 WILL DISCHARGE 7.65 CFS AT THE END OF PARADISE BLVD THROUGH A LID POND AND A PROPOSED THREE FOOT CURB OPENING. BASIN 3 WILL DISCHARGE INTO PARADISE BLVD THROUGH LID PONDS AND THE EAST ENTRANCE. BASIN 4 WILL DRAIN INTO THE PASEO DEL NORTE DRAINAGE SWALE AND BE CONVEYED TO THE POND BY AN EXISTING DROP INLET.

THE SITE IS SET UP TO RETAIN THE "FIRST FLUSH" VOLUME WHICH TOTALS 0.094 AC-FT FOR THE SITE. A TOTAL OF 0.179 AC-FT OF PONDING IN THE LID PONDS IS PROVIDED.

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▭ BUILDING
- ▬ SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING SD MANHOLE
- EXISTING INLET
- EXISTING SAS MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER METER
- ⊙ EXISTING POWER POLE
- ⊙ EXISTING GAS VALVE
- - - EX. 2" GAS
- - - EX. 8" SAS
- - - EX. WL
- - - EX. RCP
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING STORM SEWER LINE
- WATER BLOCK
- FLOW DIRECTION

Weighted E Method

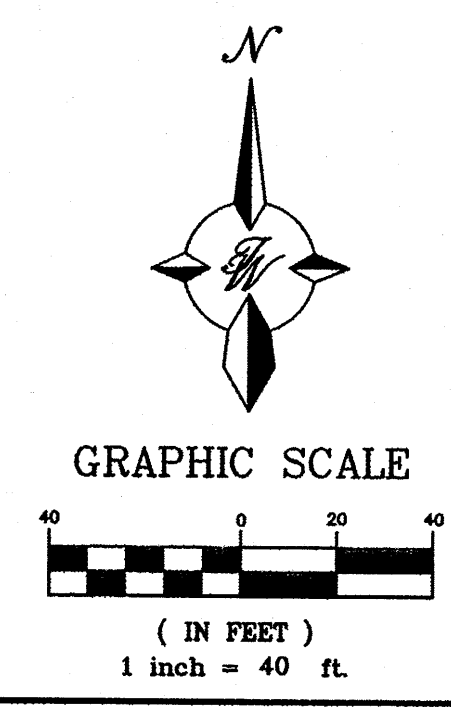
On-Site Basins		Treatment				100-Year			10-Year			
Basin	Area (sf)	Area (acres)	Treatment A %	Treatment B %	Treatment C %	Treatment D %	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
1	35,404	0.81	0%	27%	0.00	73%	1.819	0.110	3.04	0.965	0.065	1.88
2	85,938	1.97	0%	21%	0.00	79%	1.897	0.279	7.65	1.026	0.169	4.82
3	25,423	0.58	0%	32%	0.00	68%	1.554	0.076	2.11	0.914	0.044	1.29
4	5,115	0.12	0%	100%	0.00	0%	0.670	0.007	0.24	0.220	0.002	0.09

Equations:
 Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)
 Volume = Weighted D * Total Area
 Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Excess Precipitation, E (inches)			Peak Discharge (cfs/acre)		
Zone	100-Year	10-Year	Zone	100-Year	10-Year
Ea	0.44	0.08	Qa	1.29	0.24
Eb	0.67	0.22	Qb	2.03	0.76
Ec	0.99	0.44	Qc	2.87	1.49
Ed	1.97	1.24	Qd	4.37	2.89

First Flush Volume Calculations		
Basin	Impervious Area (Acre)	Volume Required (Ac-ft)
1	0.59	0.022
2	1.56	0.057
3	0.40	0.015
4	0.00	0.000

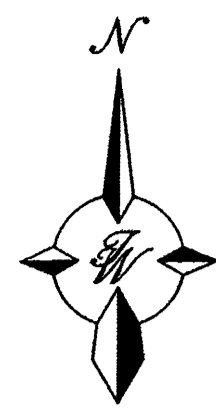
CAUTION:
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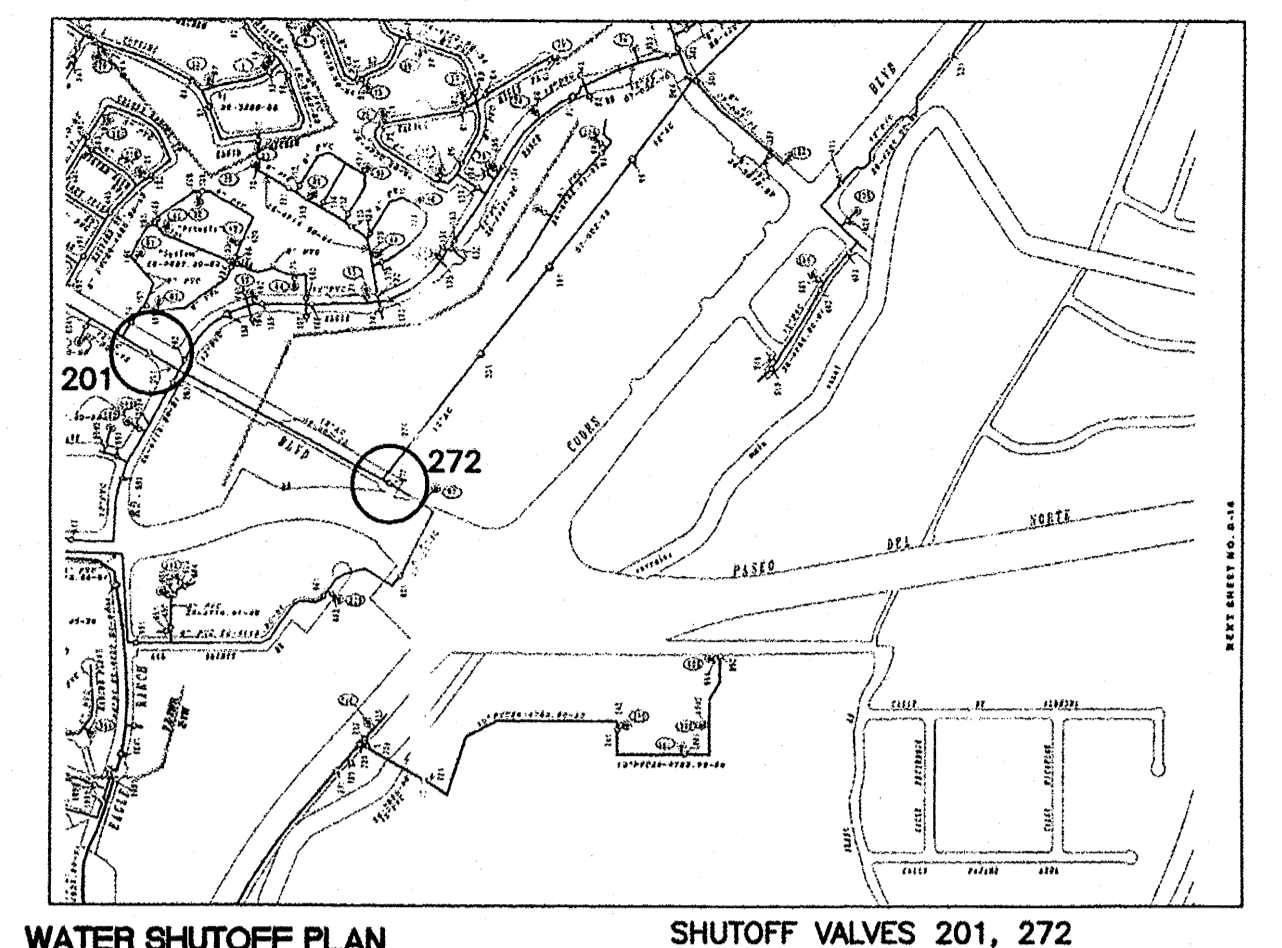
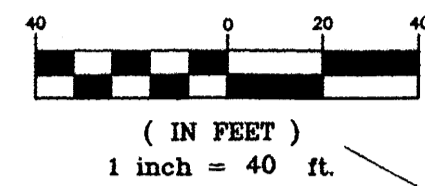
ENGINEER'S SEAL
 RONALD R. BOHANNAN
 P.E. #7868

ALBUQUERQUE SPORTING CENTER
GRADING AND DRAINAGE PLAN
 TIERRA WEST, LLC
 5571 MIDWAY PARK PL NE
 ALBUQUERQUE, NEW MEXICO 87109
 (505) 858-3100
 www.tierrawestllc.com

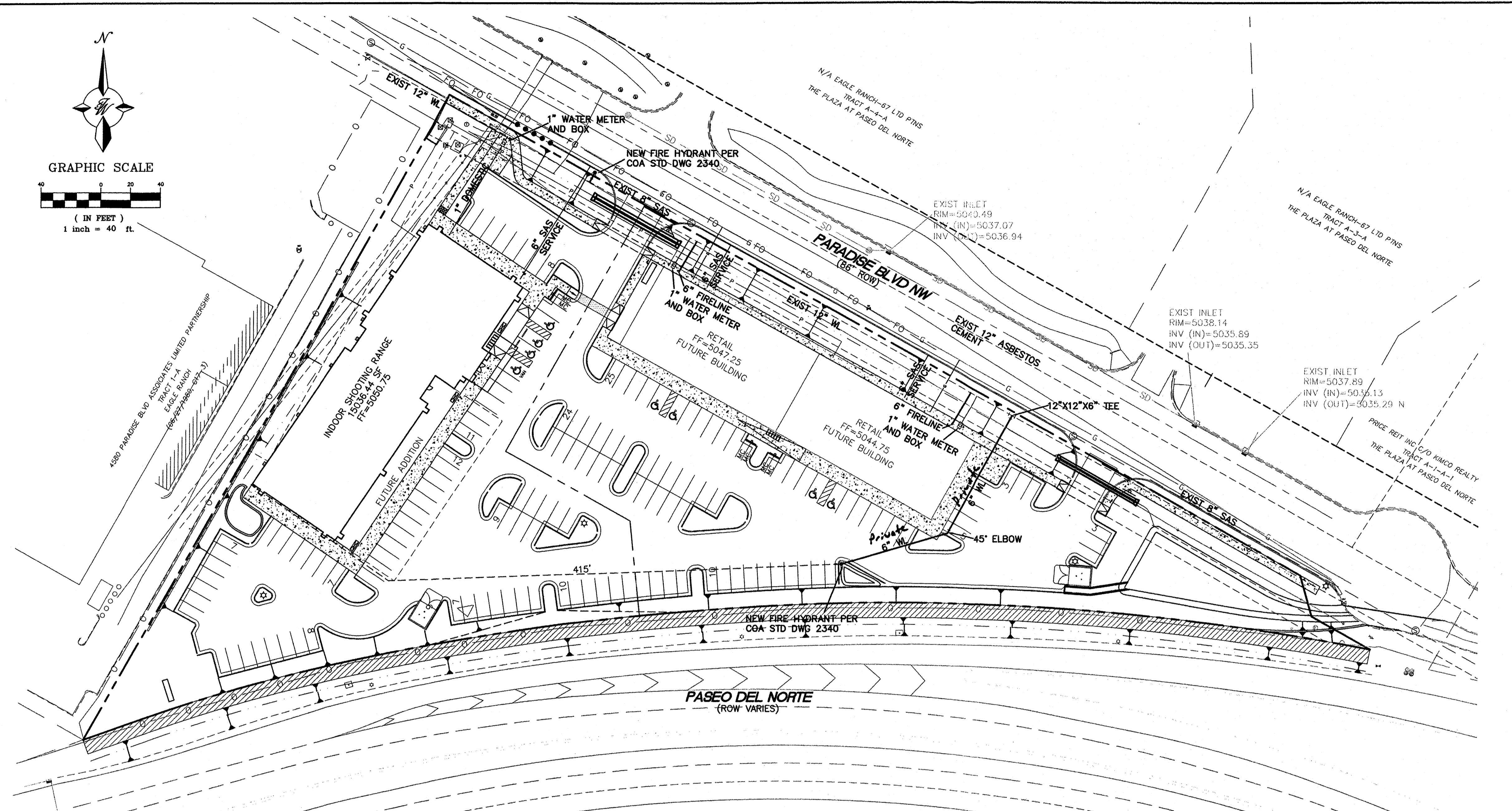
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 DATE: 1-31-13
 DRAWING: 2012086-GRE
 SHEET #: 4
 JOB #: 2012086



GRAPHIC SCALE



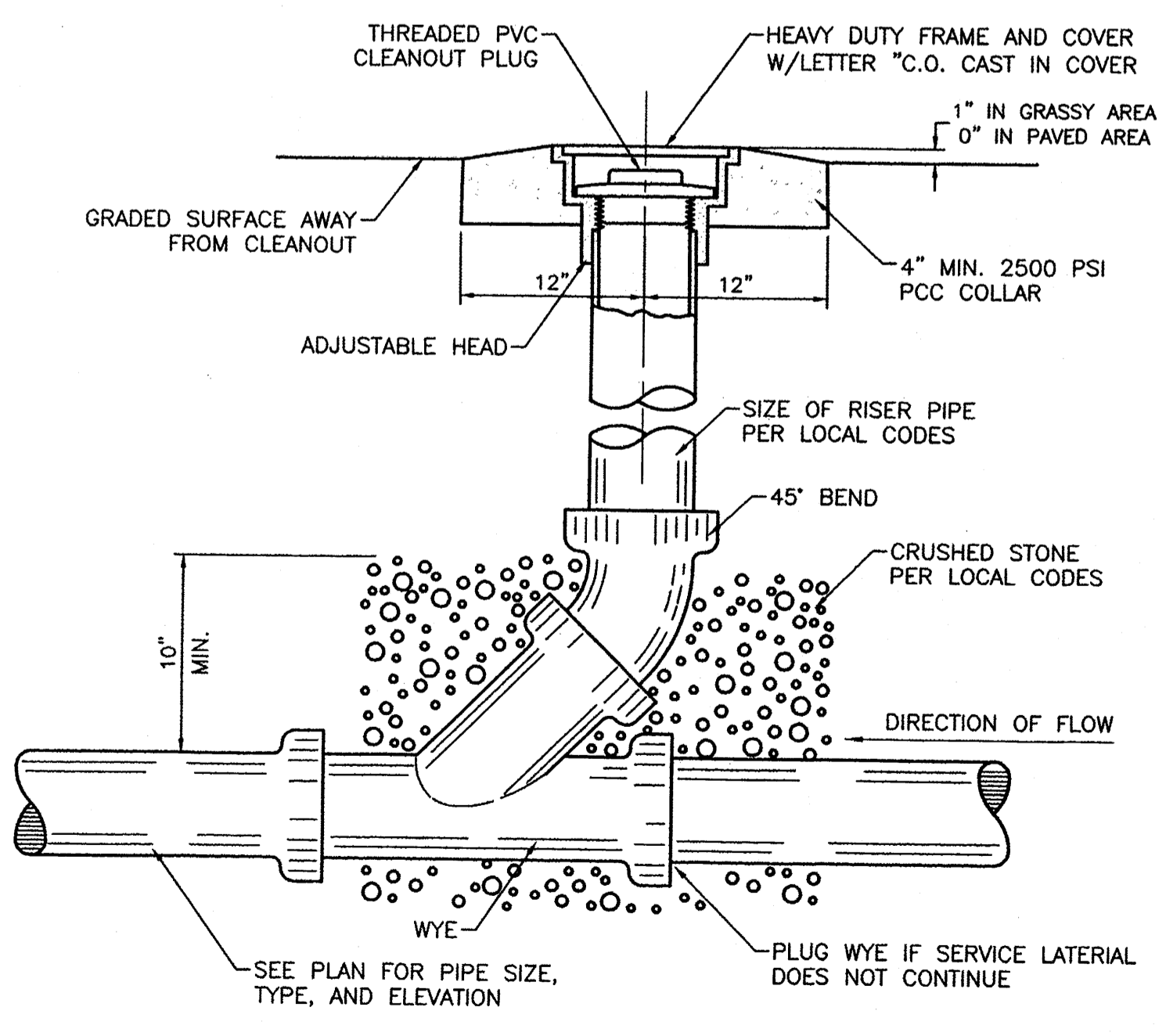
THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463729/](http://abcwua.org/content/view/full/463729/).



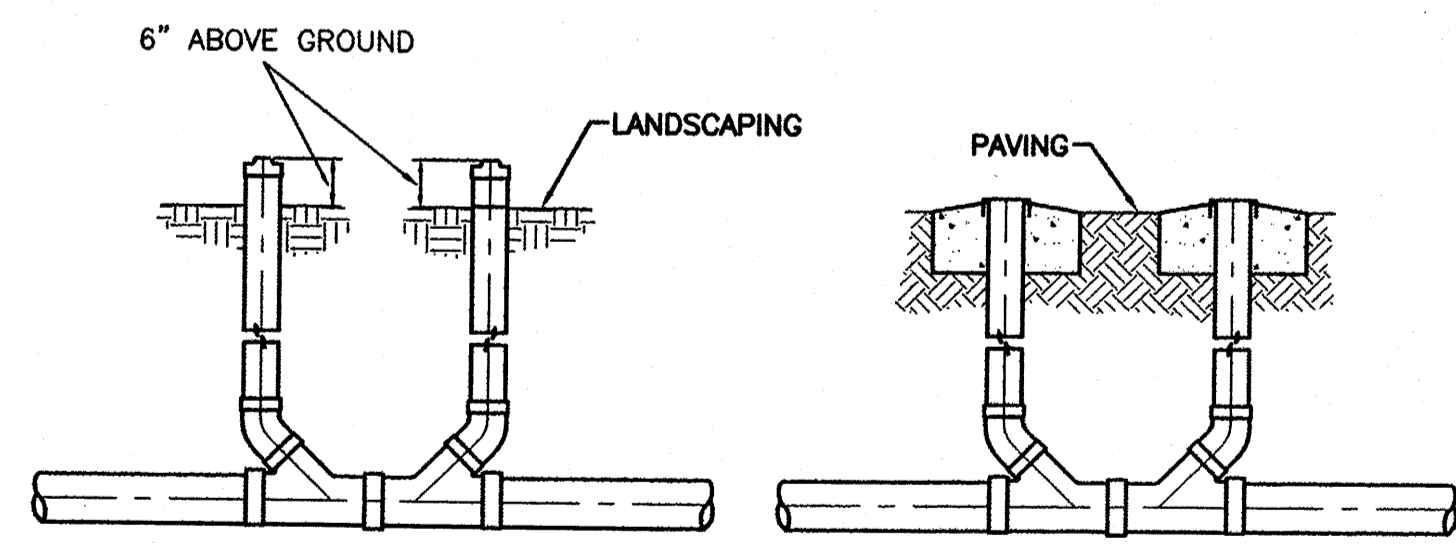
LEGEND	
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	BUILDING
	SIDEWALK
	EXISTING CURB & GUTTER
	36" SD STORM SEWER LINE
	8" SAS SANITARY SEWER LINE
	8" WL WATERLINE
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING INLET
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING GAS
	EX. 8" SAS EXISTING SANITARY SEWER LINE
	EX. WL EXISTING WATER LINE
	EX. SD EXISTING STORM SEWER LINE
	PROPOSED GAS
	PROPOSED POWER
	PROPOSED TELEPHONE

GENERAL UTILITY NOTES:

- ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
- CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
- ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
- FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
- ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
- PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
- PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
- SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
- ALL BUILDINGS - CONSTRUCTION TYPE IS II-B



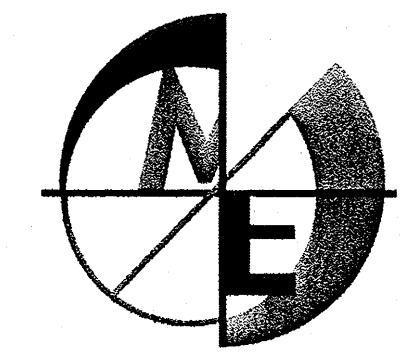
SANITARY SEWER CLEAN-OUT
NTS



SANITARY SEWER DOUBLE CLEAN-OUTS
NTS

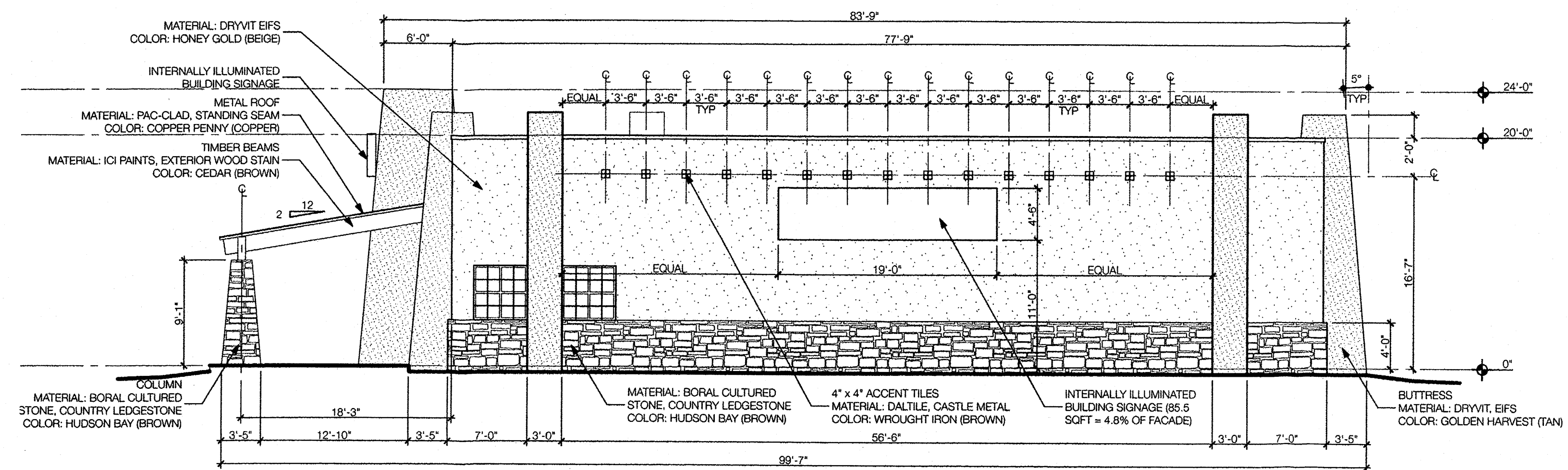
CAUTION:
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	ALBUQUERQUE SPORTING CENTER MASTER UTILITY PLAN	DRAWN BY pm DATE 1-31-13 DRAWING 2012086-MUE
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrewestllc.com	SHEET # 5 JOB # 2012086



MIND'S EYE ARCHITECTURE

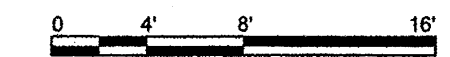
1950 Abbott Street, Suite 605
Charlotte, North Carolina 28203
Phone: 704.373.3101
Fax: 704.373.3103
www.mindseyearchitecture.net



03

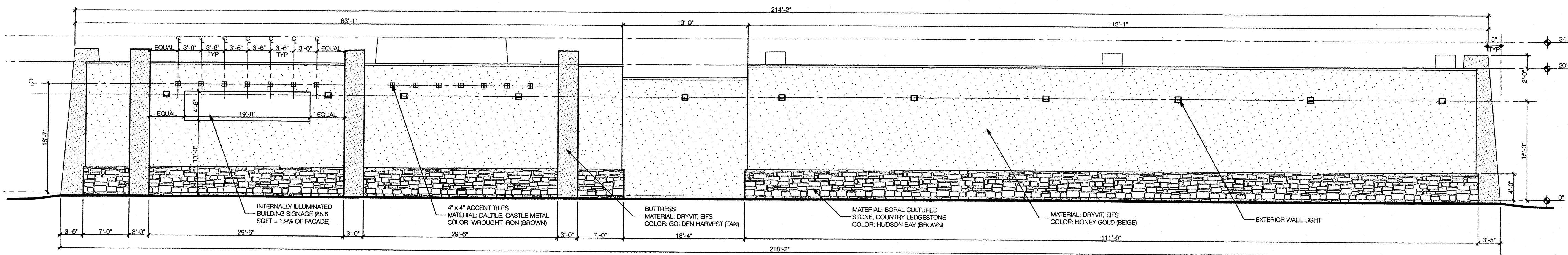
North Elevation

1/8" = 1'-0"



Albuquerque Sporting Center Albuquerque, New Mexico

ISSUE DATE: March 6, 2013
PROJECT STATUS: Design Development
PROJECT NUMBER: 13-002
REVISIONS:



01

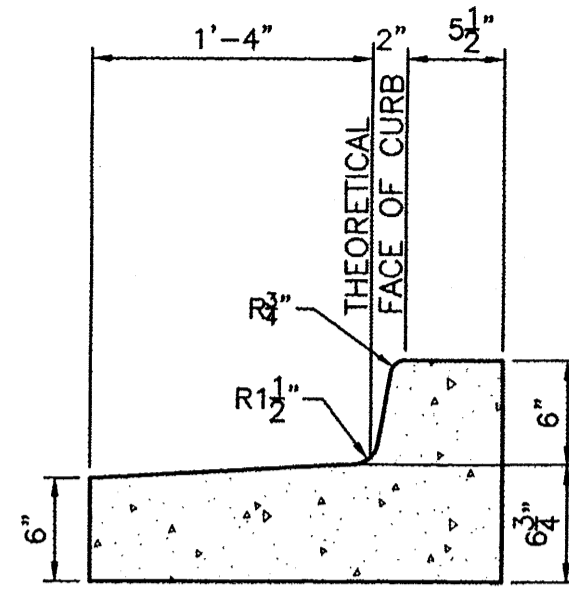
West Elevation

1/8" = 1'-0"

EXTERIOR ELEVATIONS

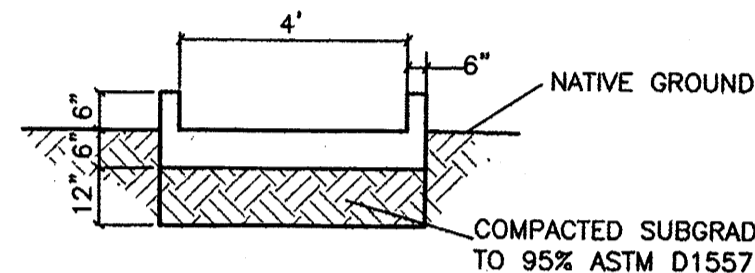
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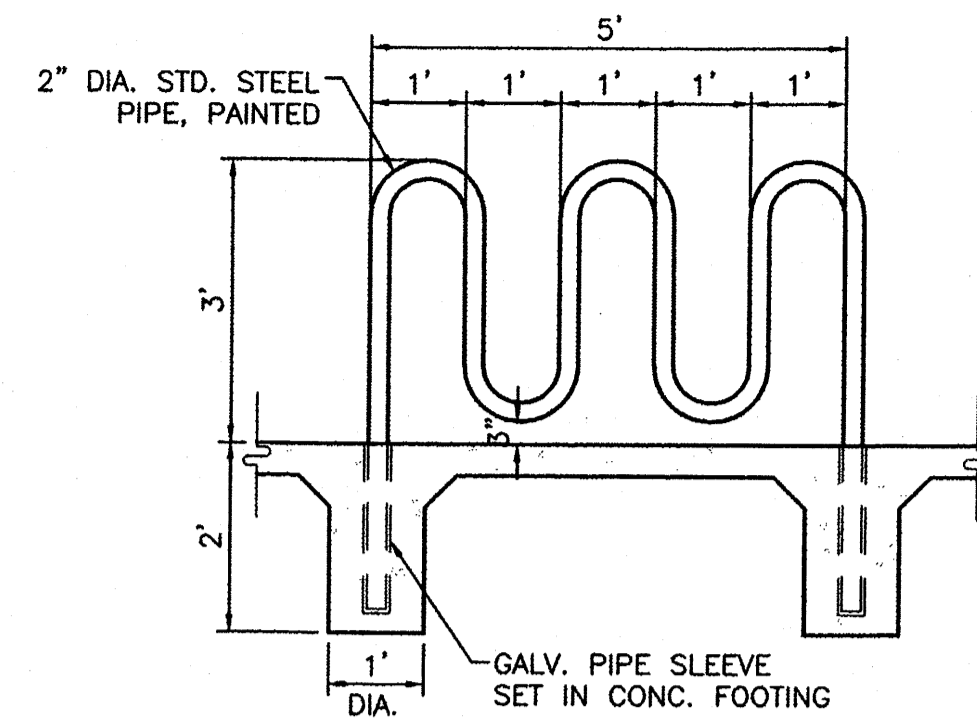


CURB GENERAL NOTES:
 1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
 2. PROVIDE CONTRACTION JTS. 12' MAX. SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120" BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS. SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
 3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
 4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

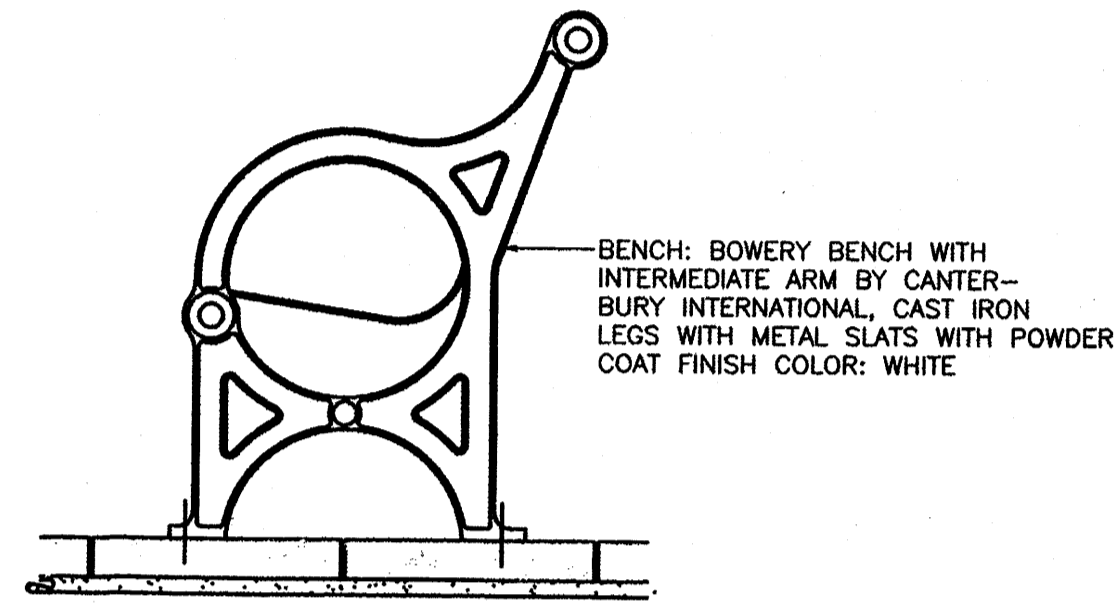
STANDARD CURB / GUTTER
NTS



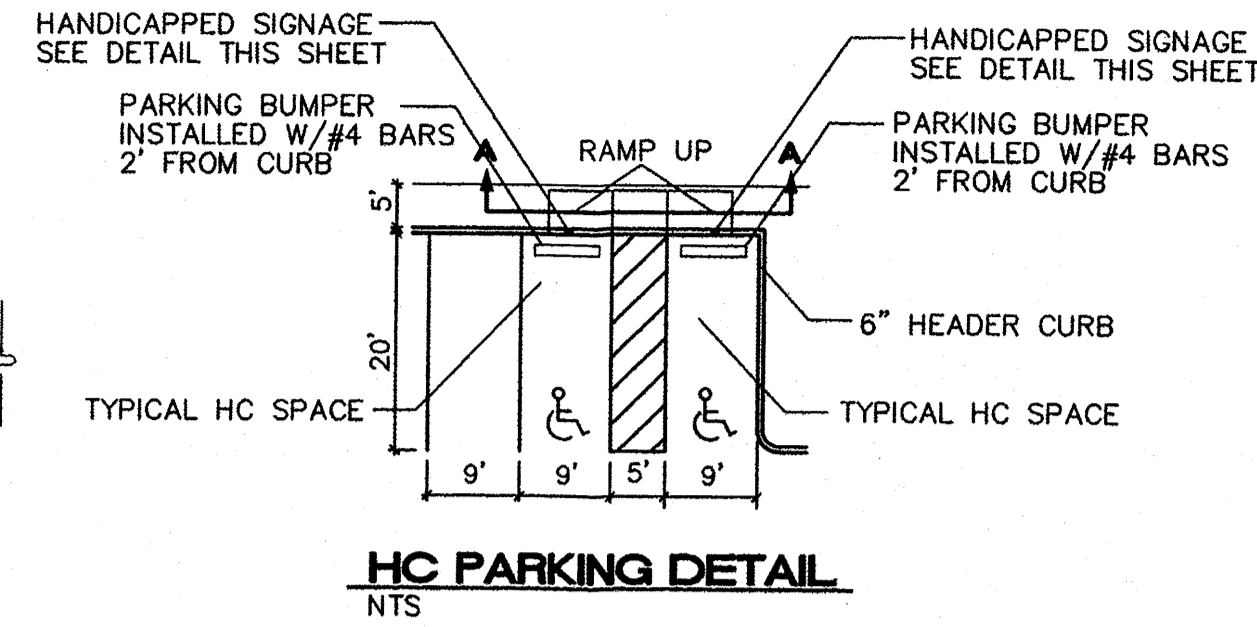
CONCRETE RUNDOWN DETAIL
NTS



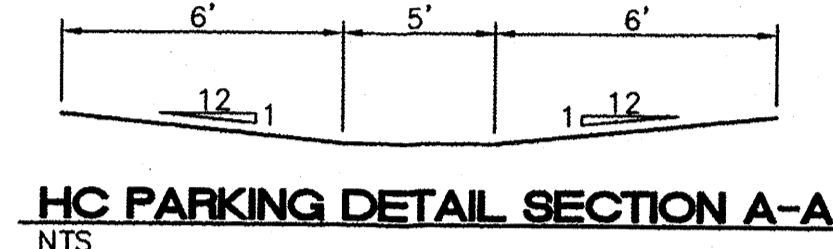
BIKE RACK DETAIL
NTS



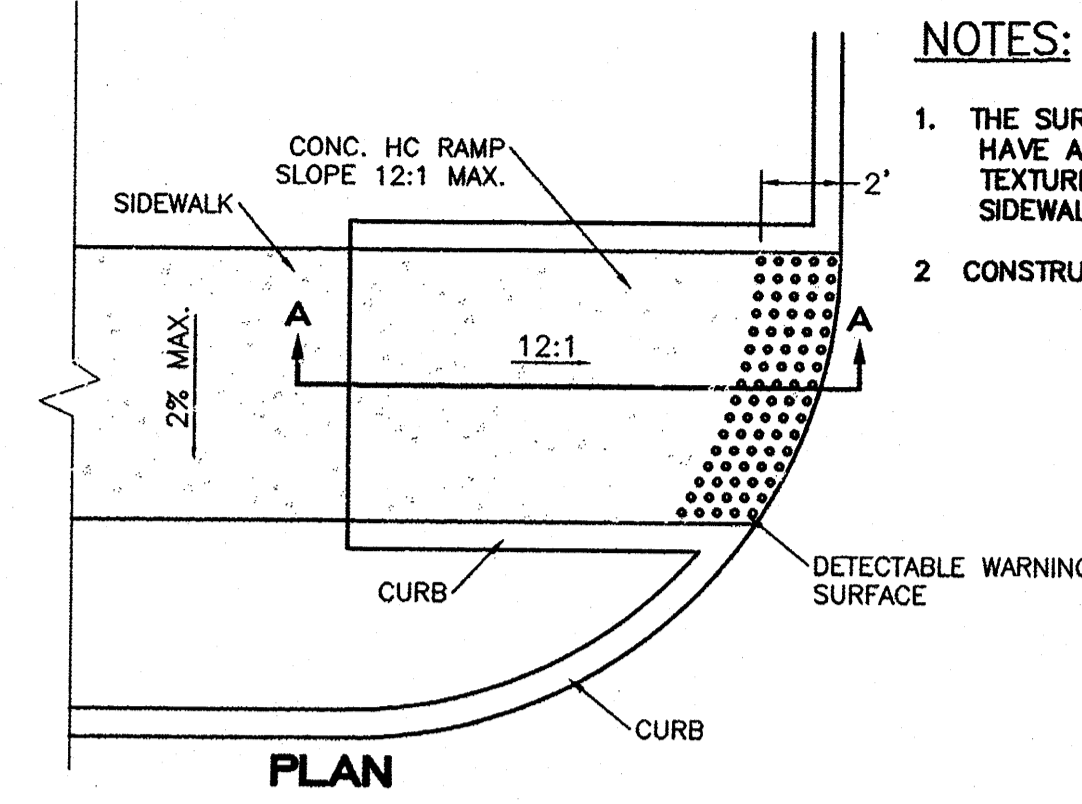
BENCH AND RECEPTACLE CONC. CONNECTION
NTS



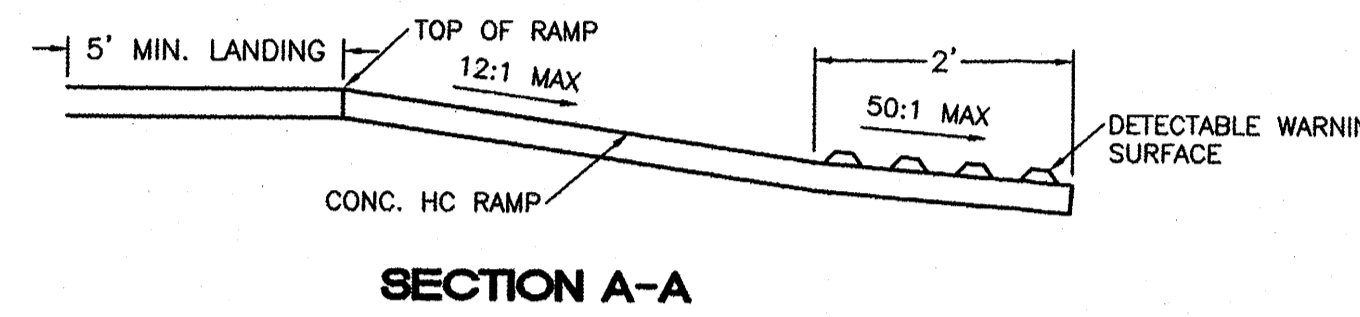
HC PARKING DETAIL
NTS



HC PARKING DETAIL SECTION A-A
NTS



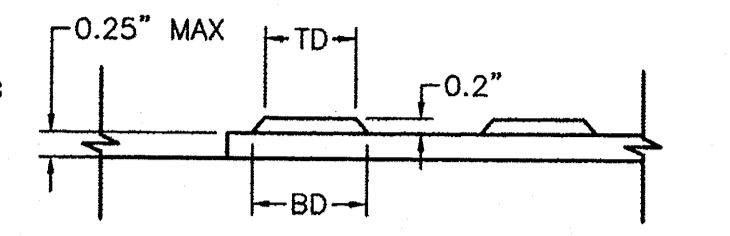
PLAN



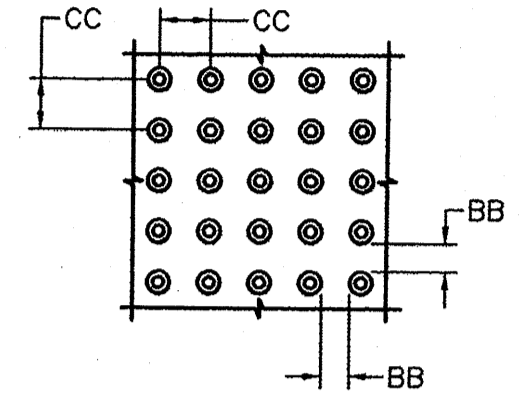
SECTION A-A

UNIDIRECTIONAL HC RAMP
NOT TO SCALE

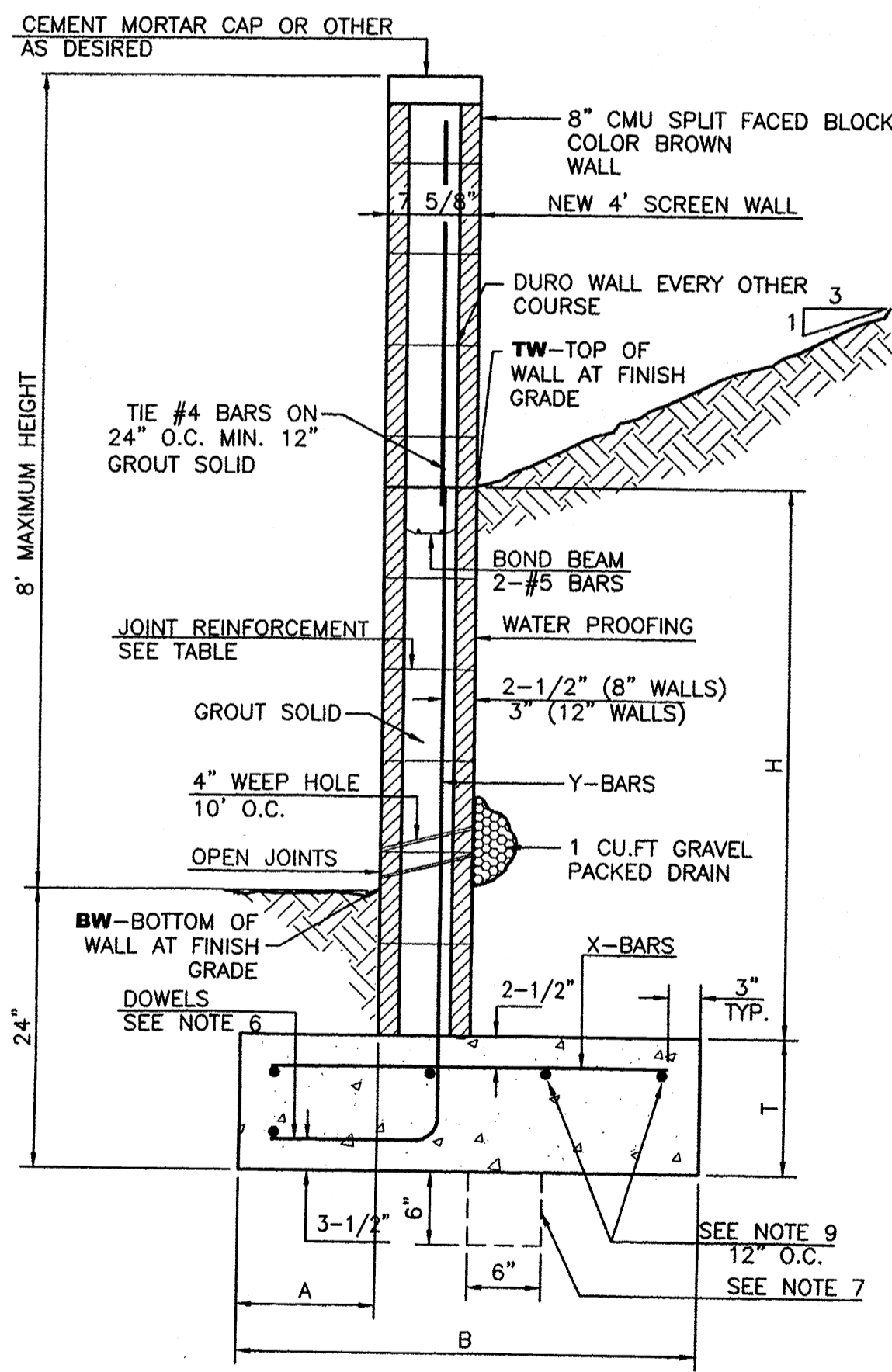
NOTES:
 1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
 2. CONSTRUCT PER A.D.A. STANDARDS.



DOMES SECTION
 BD - BASE DIAMETER 0.9" MIN
 TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



DOMES SPACING
 CC - CENTER TO CENTER SPACING 2.35"
 BB - BASE TO BASE SPACING 1.48" MIN



RETAINING WALL DETAIL
NTS

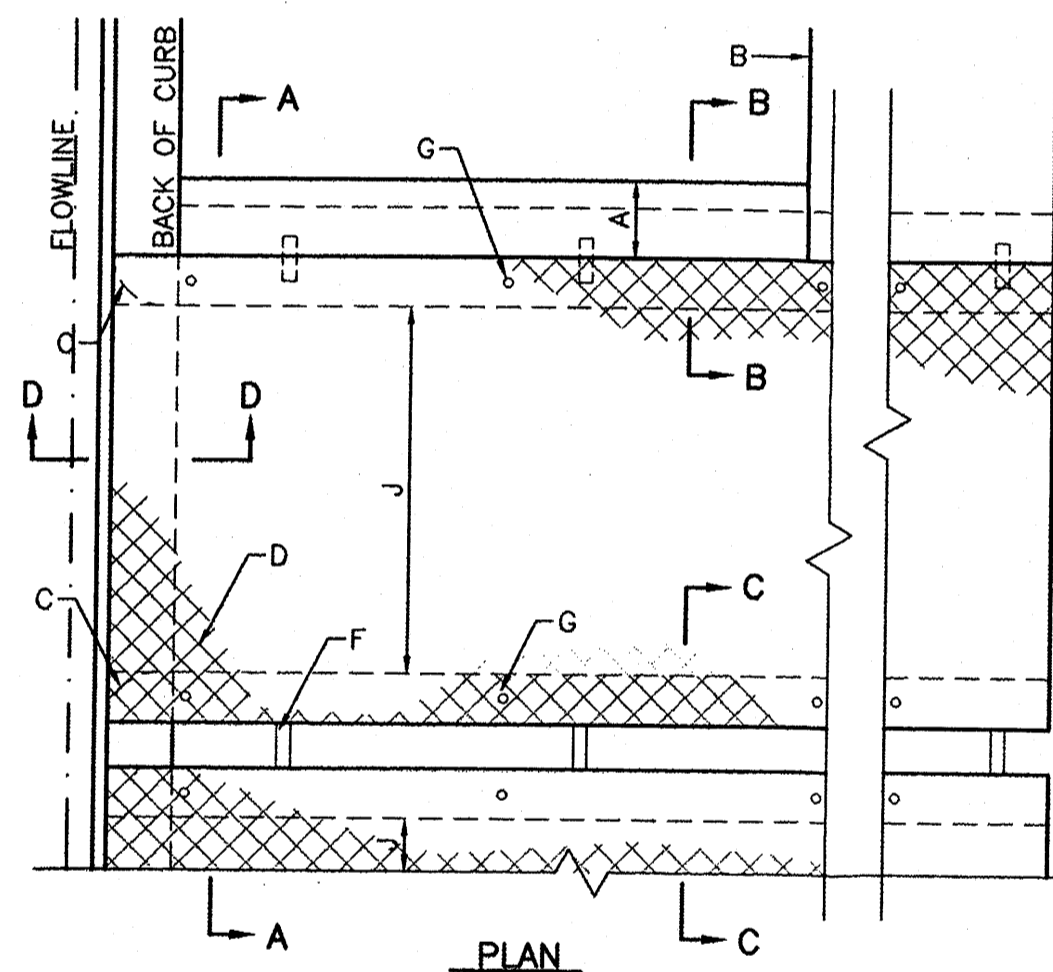
8 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @18" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

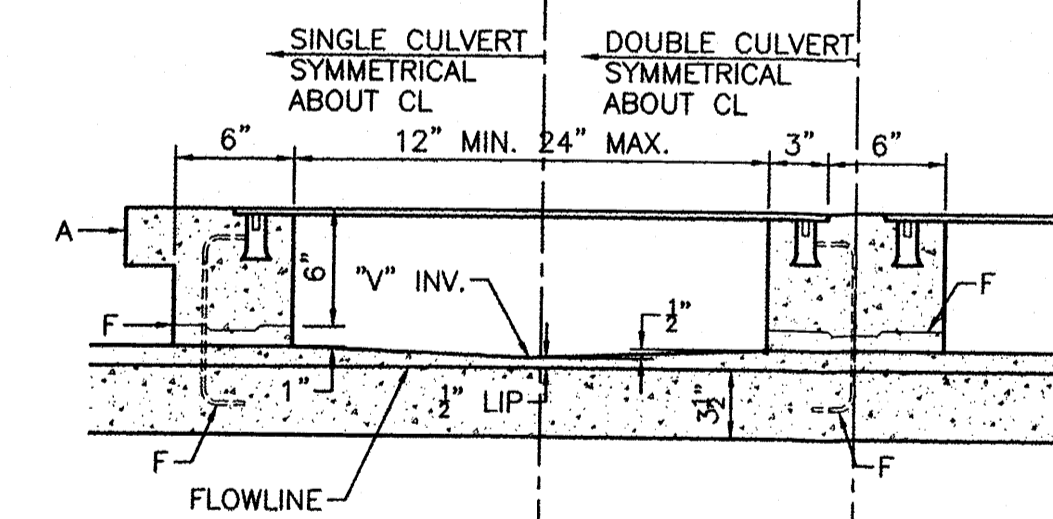
12 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

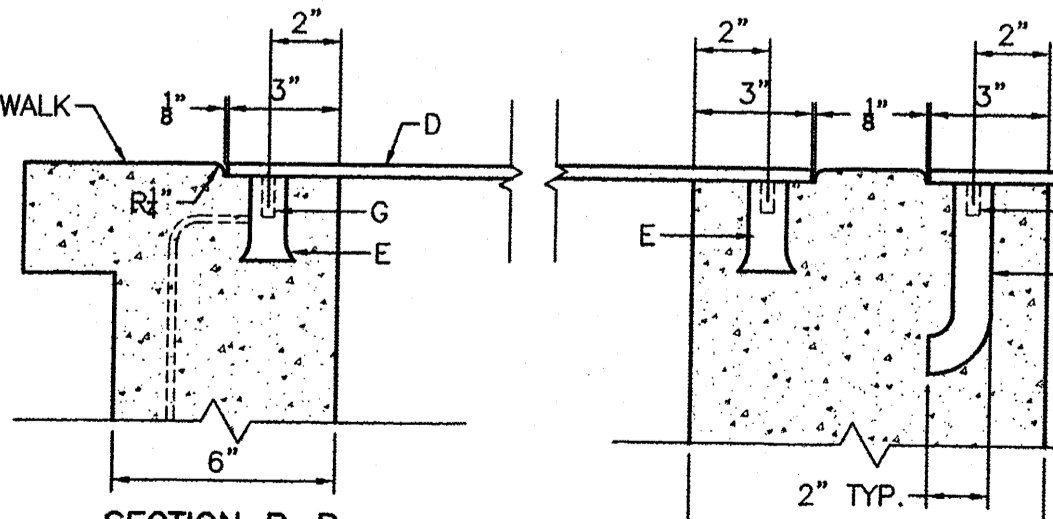
GENERAL NOTES:
 1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
 5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
 8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
 9. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



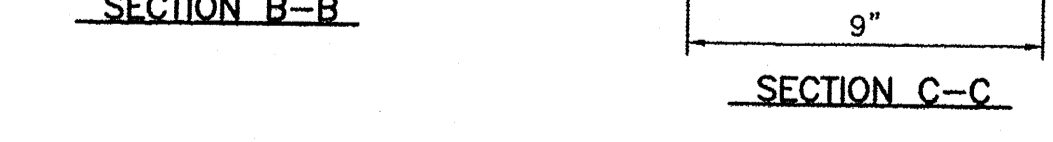
PLAN



SECTION A-A

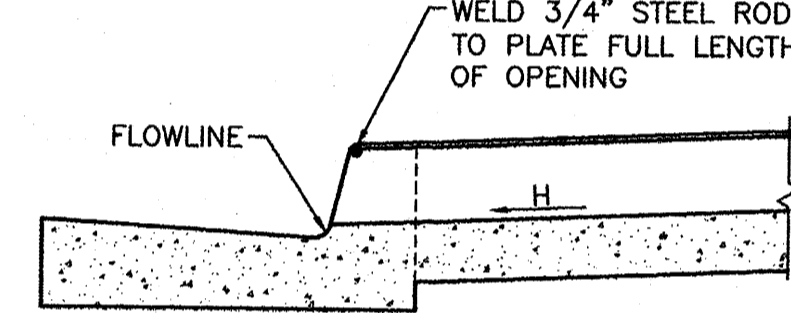


SECTION B-B

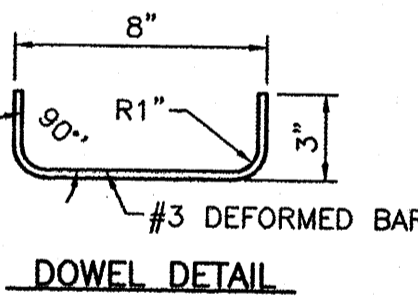


SECTION C-C

SIDEWALK CULVERT DETAIL
NTS



SECTION D-D



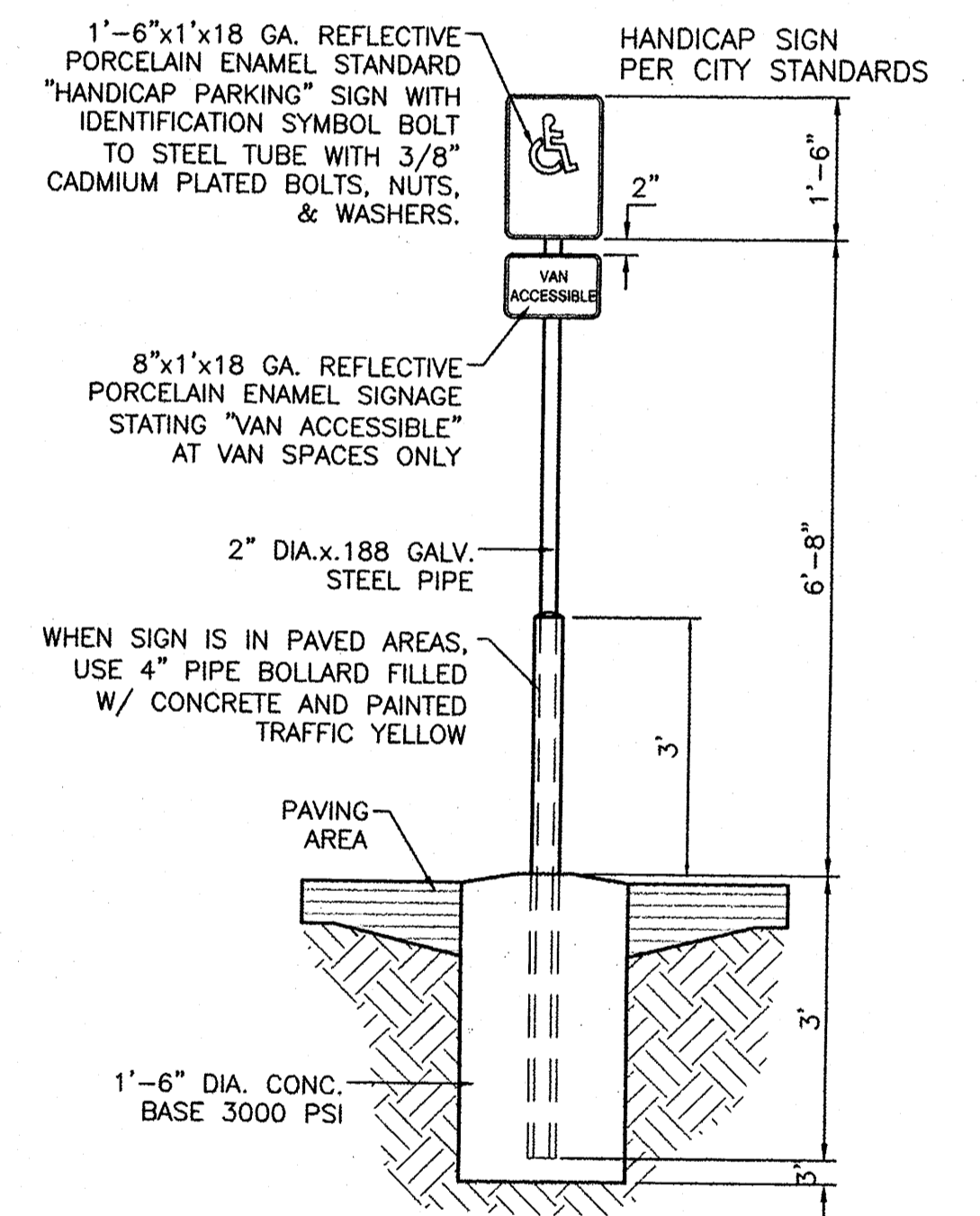
DOWEL DETAIL

GENERAL NOTES:

1. PLACING OF DRAIN THRU EX. SIDEWALK AND C&G REQUIRES THAT ENTIRE STONES BE REMOVED AND REPLACED AS DETAILED.
2. BOTTOM SLAB OF CULVERT SHALL BE POURED MONOLITHICALLY WITH NEW GUTTER
3. THE INVERT SHALL BE TROWELED TO PRODUCE A HARD POLISHED SURFACE OF MAX DENSITY AND SMOOTHNESS. INVERT SHALL BE V-SHAPED TO WITHIN 3" OF OUTLET, THEN WARPED TO PARALLEL FLOWLINE AT OUTLET.
4. ALL EXPOSED CONC. SURFACE SHALL MATCH GRADE. COLOR, FINISH AND SCORING OF ADJACENT CURB AND SIDEWALK
5. SIDEWALK REPLACED DURING CONSTRUCTION SHALL BE POURED MONOLITHICALLY WITH CULVERT WALLS.
6. IF ROD ANCHORS ARE USED, DRILL & TAP FOR F.H. MACHINE SCREW. ATTACH ANCHORS TO PLATE AND SECURE PLATE IN PLACE PRIOR TO POURING WALLS.
7. LENGTH OF EACH PLATE SHALL BE SUCH THAT THE WEIGHT WILL NOT EXCEED 300LBS. AND SHALL BE STRESS RELIEVED AFTER FABRICATION. CLEAN SURFACE OF PLATE AND FRAMING MEMBERS AND PAINT W/ONE SHOP COAT RED OXIDE AND TWO FINISH COATS ALUMINUM PAINT (AASHTO M 69)
8. THE CITY WILL NOT ASSUME RESPONSIBILITY FOR MAINTENANCE OF ANY SIDEWALK CULVERT INSTALLED BY OR FOR PRIVATE PROPERTY OWNERS

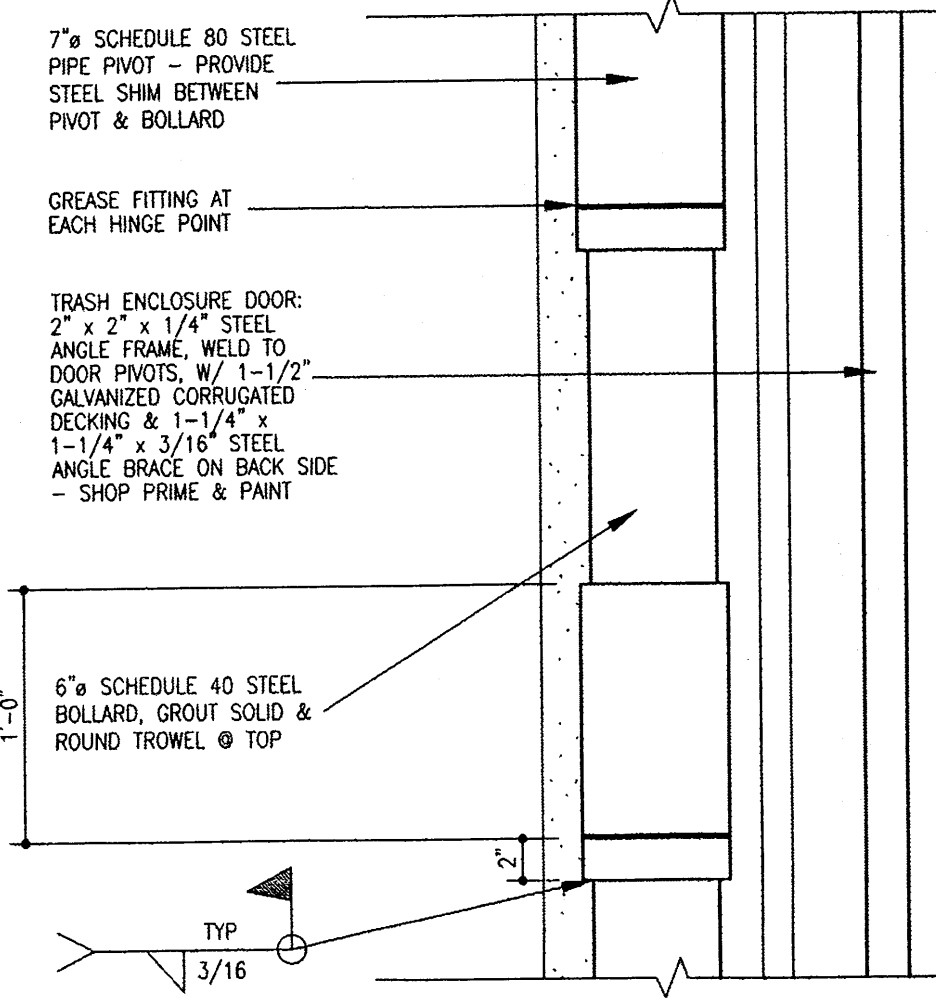
CONSTRUCTION NOTES:

- A. MATCH NEAREST CONTROL JOINT, INSTALL 1/2" EXPANSION JOINT
- B. EDGE OF SIDEWALK OR SETBACK
- C. 3" RADIUS
- D. 3/8" CHECKERED STEEL PLATE (PAINT PER NOTE 7, ABOVE)
- E. FOR SECURING PLATE USE 1"x5" S.S. ROD ANCHOR, "RED HEAD MULTI-SET II SRM-38 ANCHOR" OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S INSTRUCTIONS AT MAX. 24" O.C. A MIN. OF 2 PER SIDE AND ONE WITHIN 6" OF EACH OTHER
- F. CONSTRUCTION JOINT IS OPTIONAL. IF USED SPACE DOWELS AT 18" O.C. MAX. 1-1/2" MIN. FROM FACE OF CONC.
- G. 3/8" - 16x1-1/4" COUNTERSUNK, F.H. STAINLESS STEEL MACHINE SCREW.
- H. SLOPE 1/4" PER FT. MIN.
- J. DRAIN WIDTH PER PLAN (12" MIN, 24" MAX.)

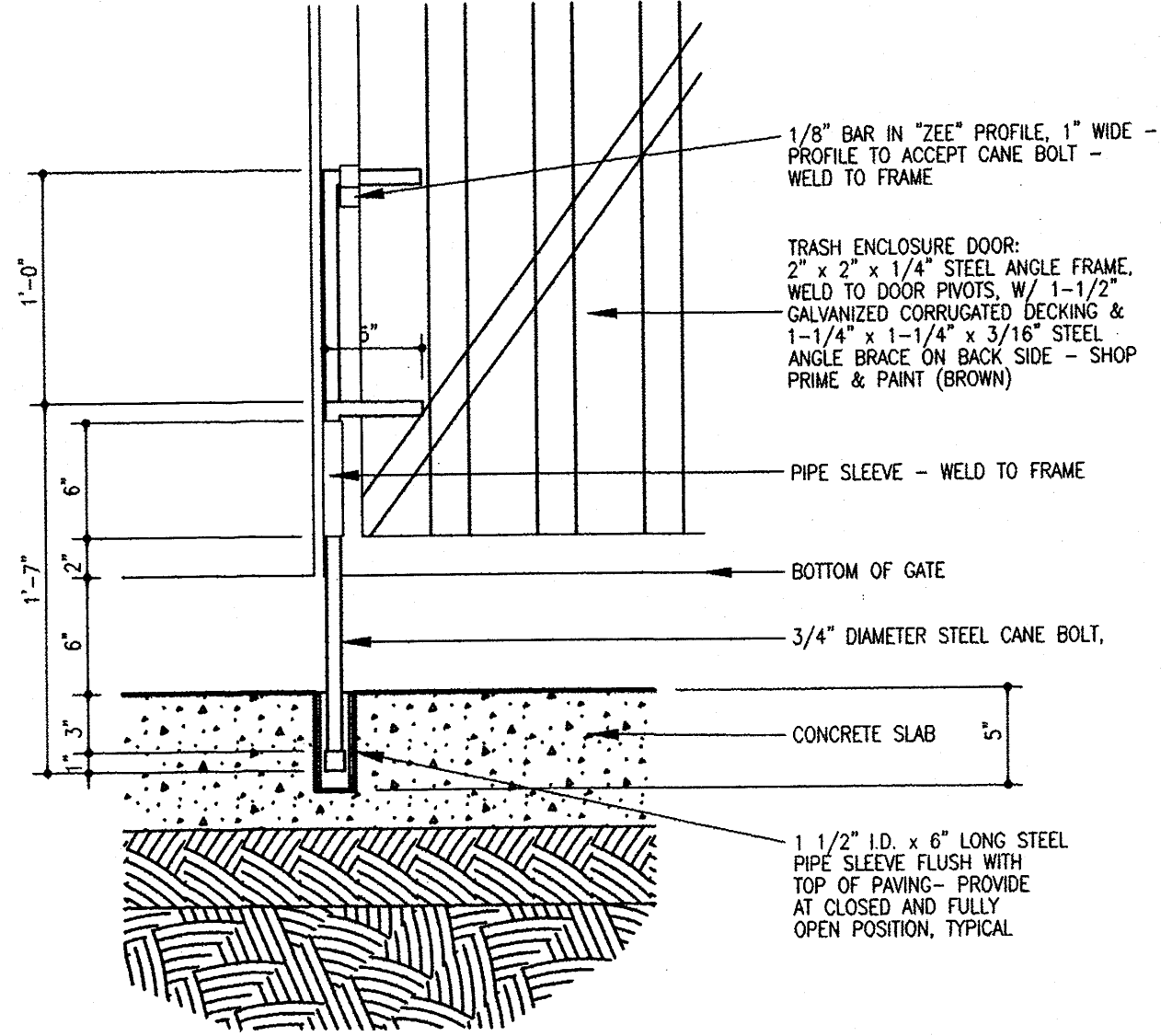


HANDICAP SIGN
NTS

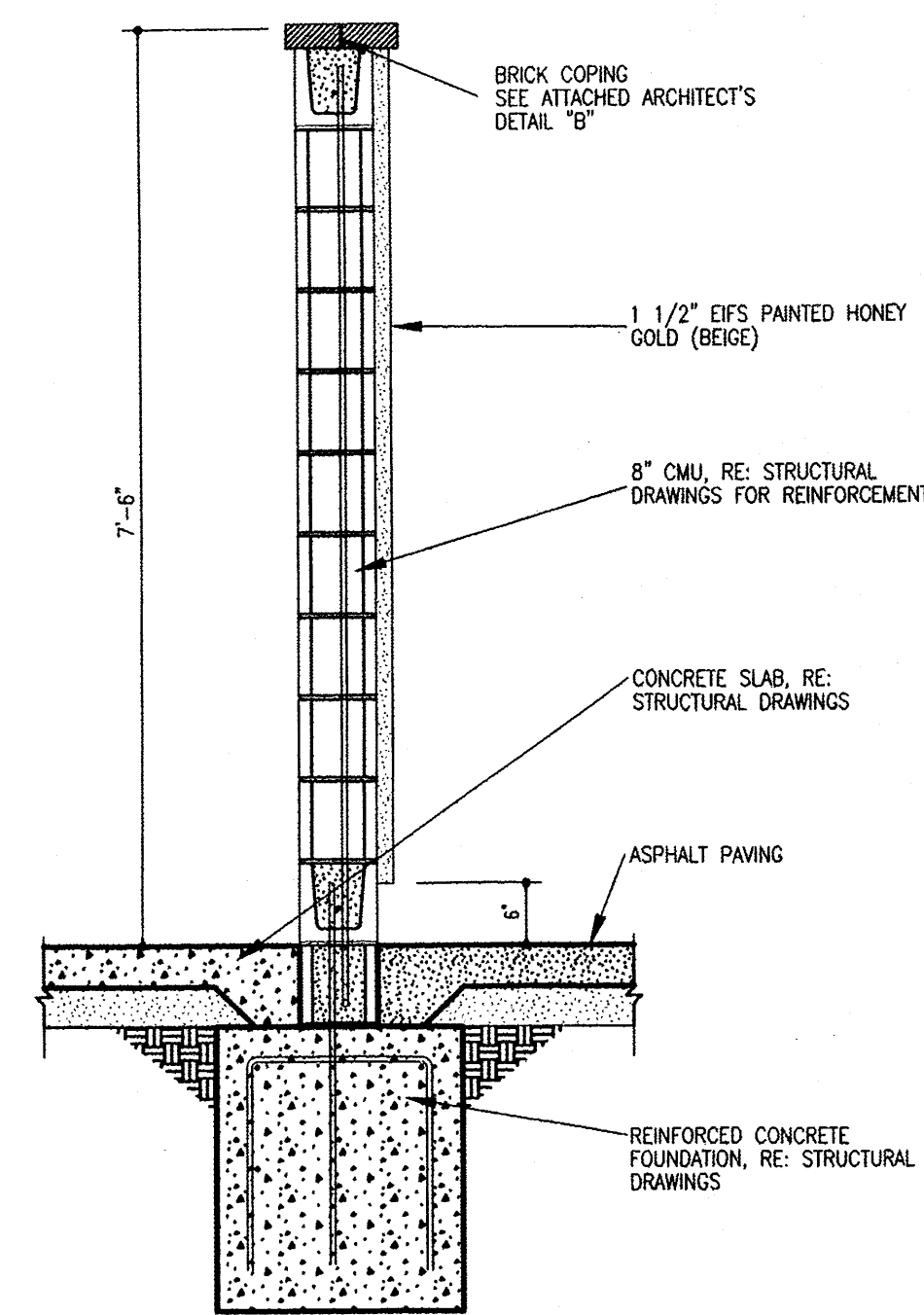
	ALBUQUERQUE SPORTING CENTER CONSTRUCTION DETAILS	DRAWN BY pm DATE 1-31-13 DRAWING 2012086-DET SHEET # 6
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	JOB # 2012086



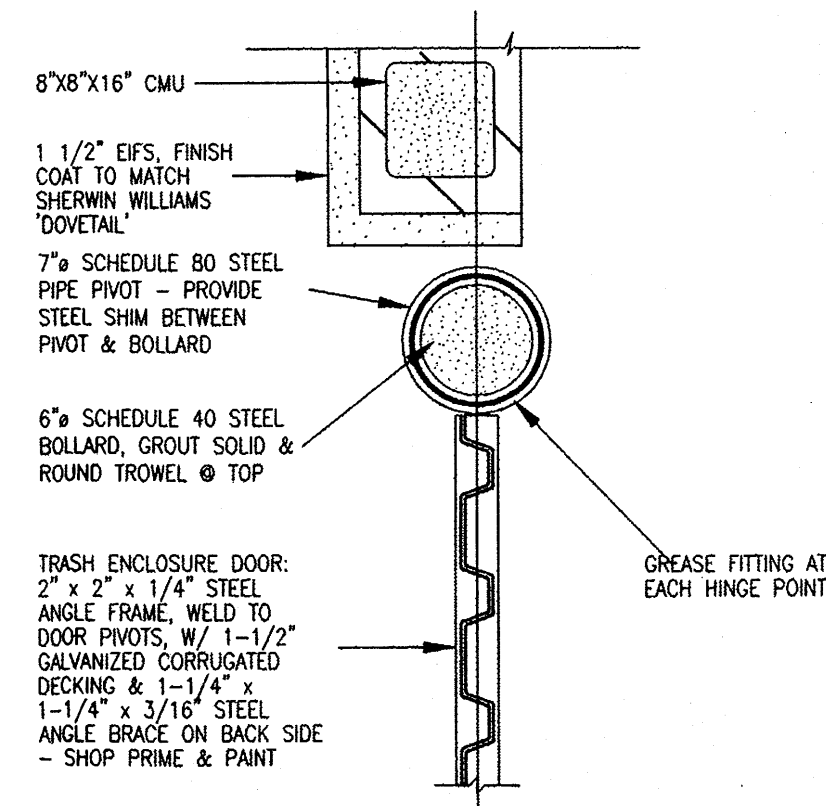
9 Dumpster Door Pivot
1 1/2" x 1 1/2"



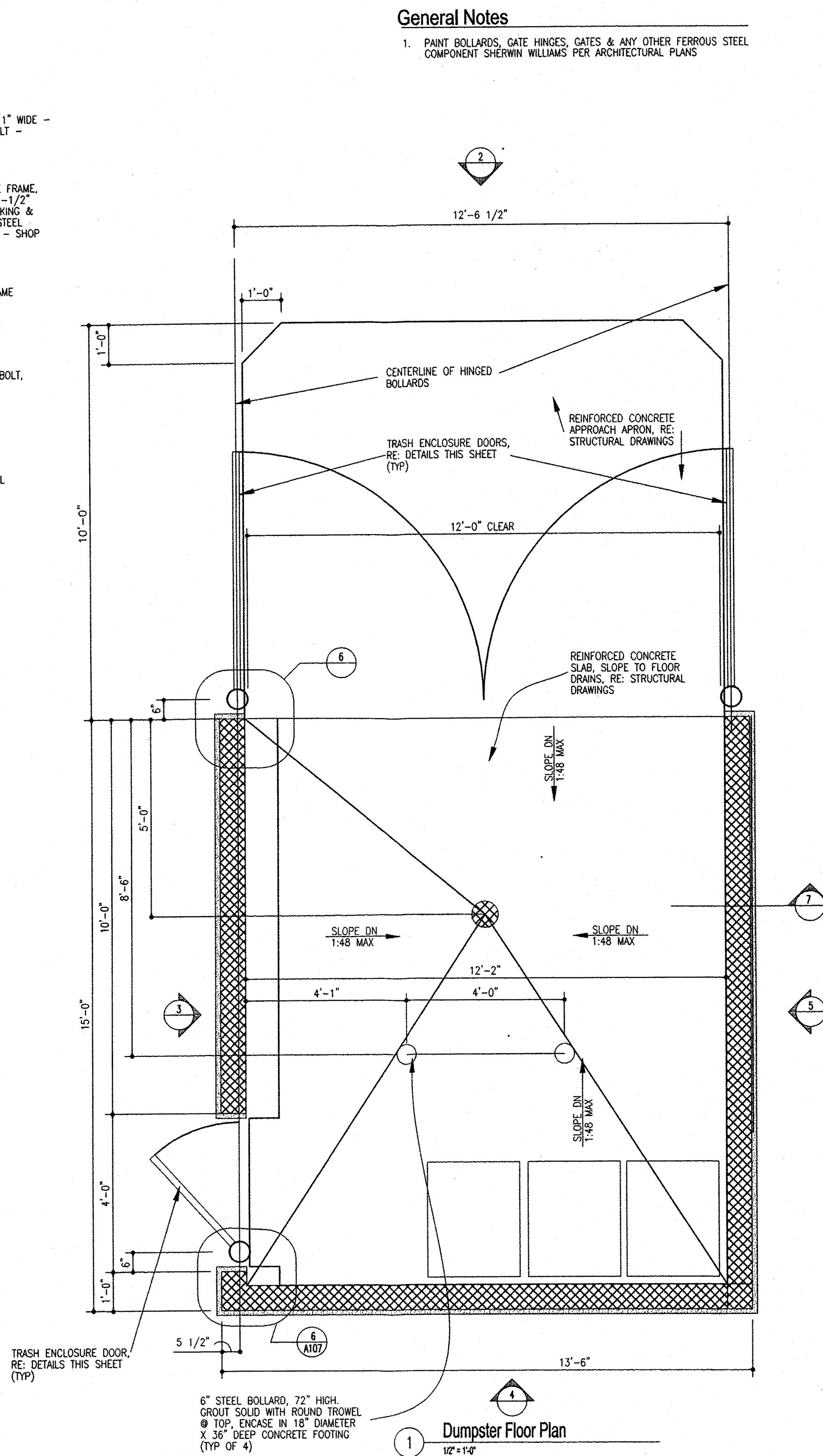
8 Cane Bolt Detail
1 1/2" x 1 1/2"



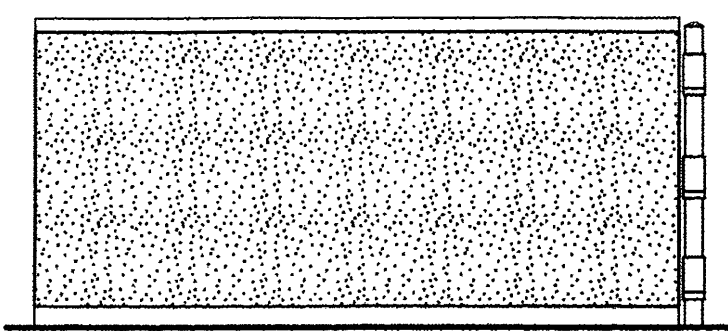
7 Wall Section
3/4\"/>



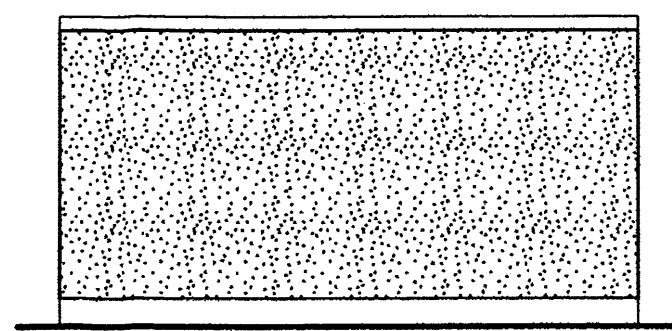
6 Plan Detail
1 1/2" x 1 1/2"



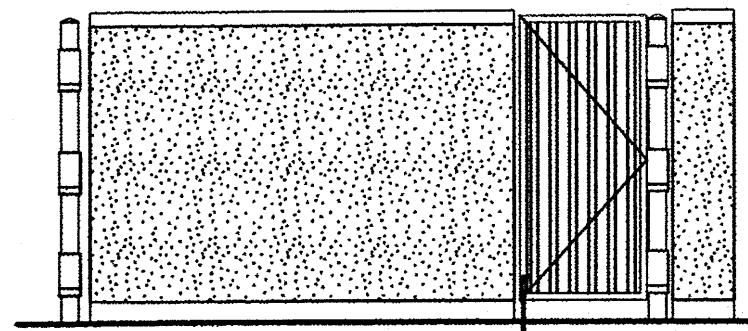
1 Dumpster Floor Plan
1 1/2" x 1 1/2"



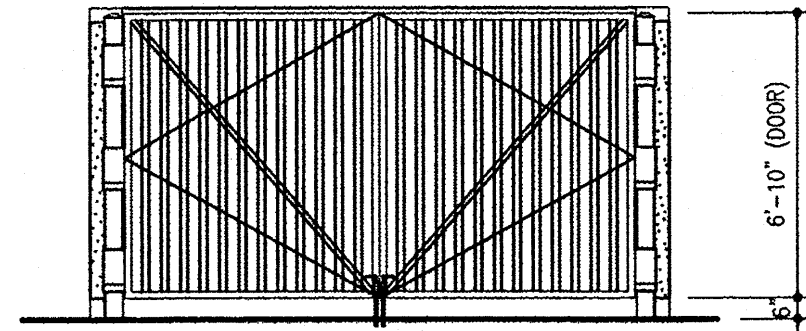
5 Side Elevation
1/4" x 1 1/2"



4 Back Elevation
1/4" x 1 1/2"



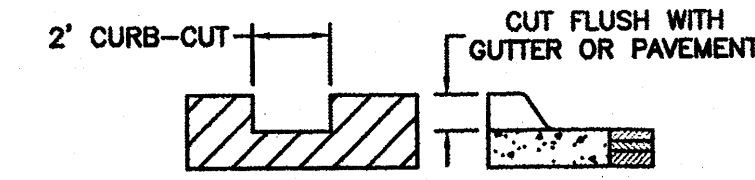
3 Side Elevation
1/4" x 1 1/2"



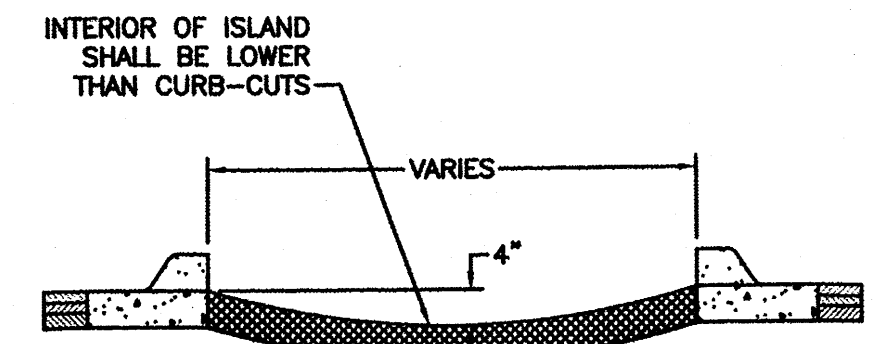
2 Front Elevation
1/4" x 1 1/2"

General Notes

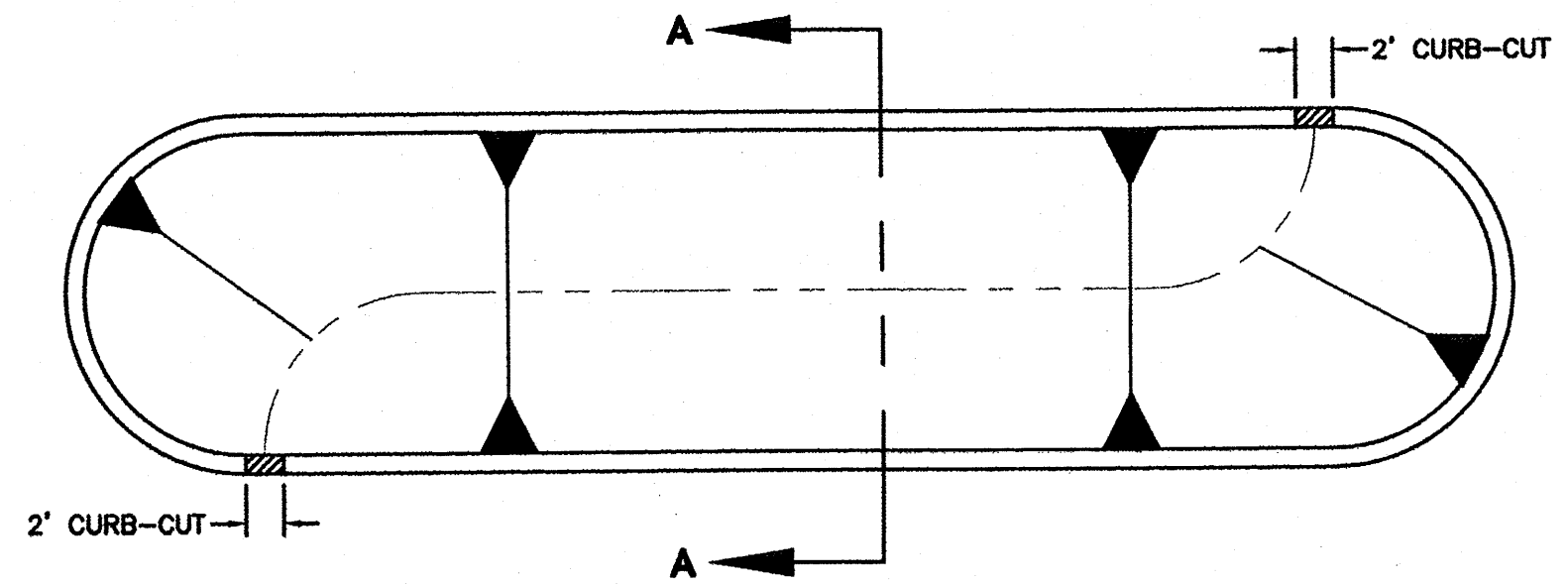
1. PAINT BOLLARDS, GATE HINGES, GATES & ANY OTHER FERROUS STEEL COMPONENT SHERWIN WILLIAMS PER ARCHITECTURAL PLANS



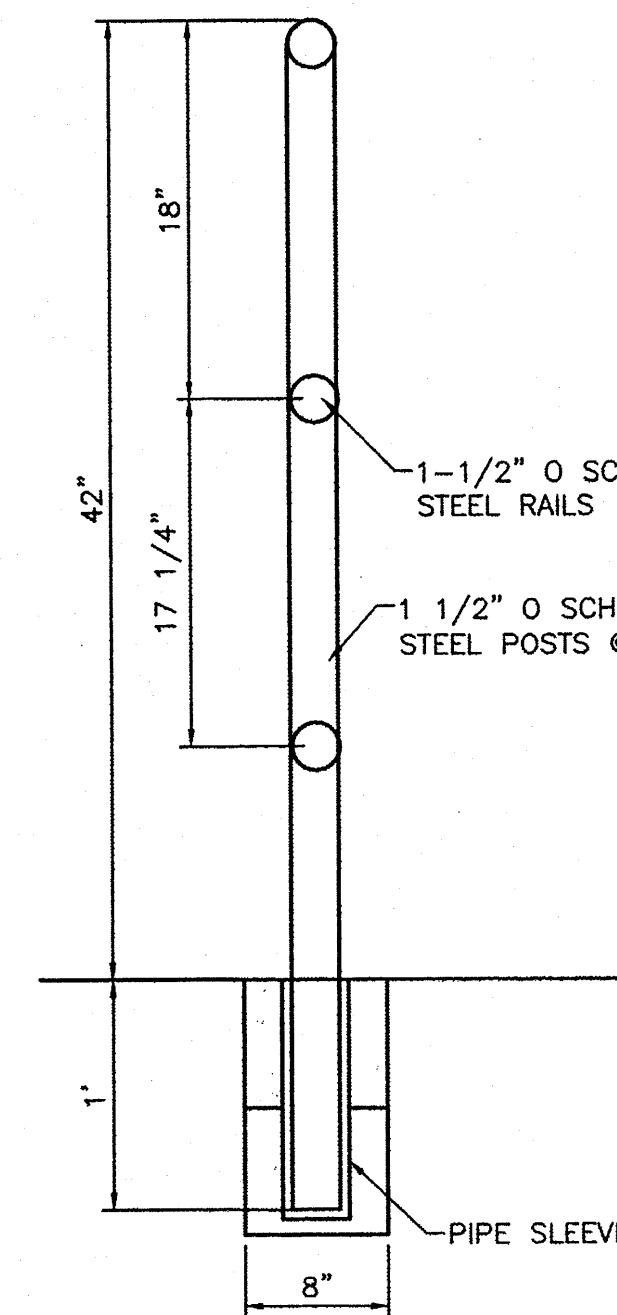
2' CURB-CUT
NTS



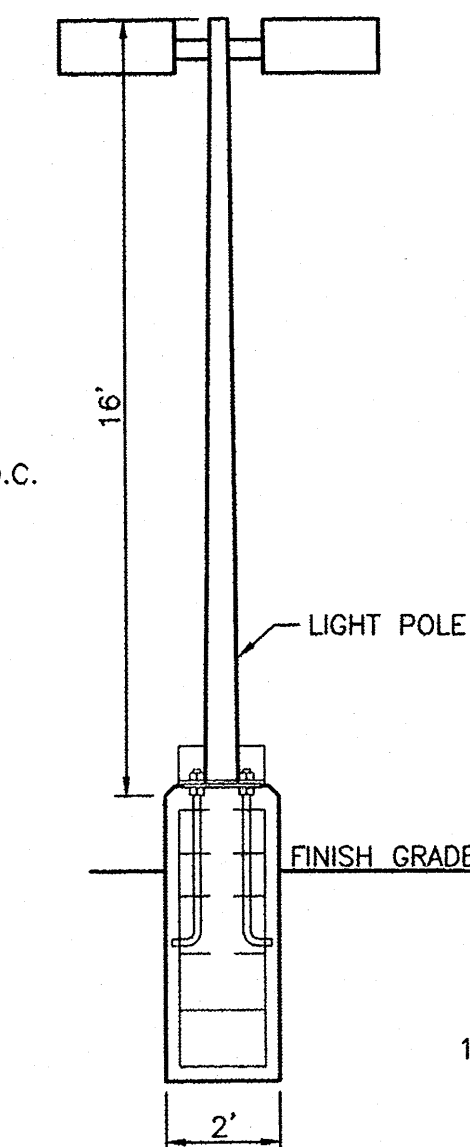
SECTION A-A
NTS



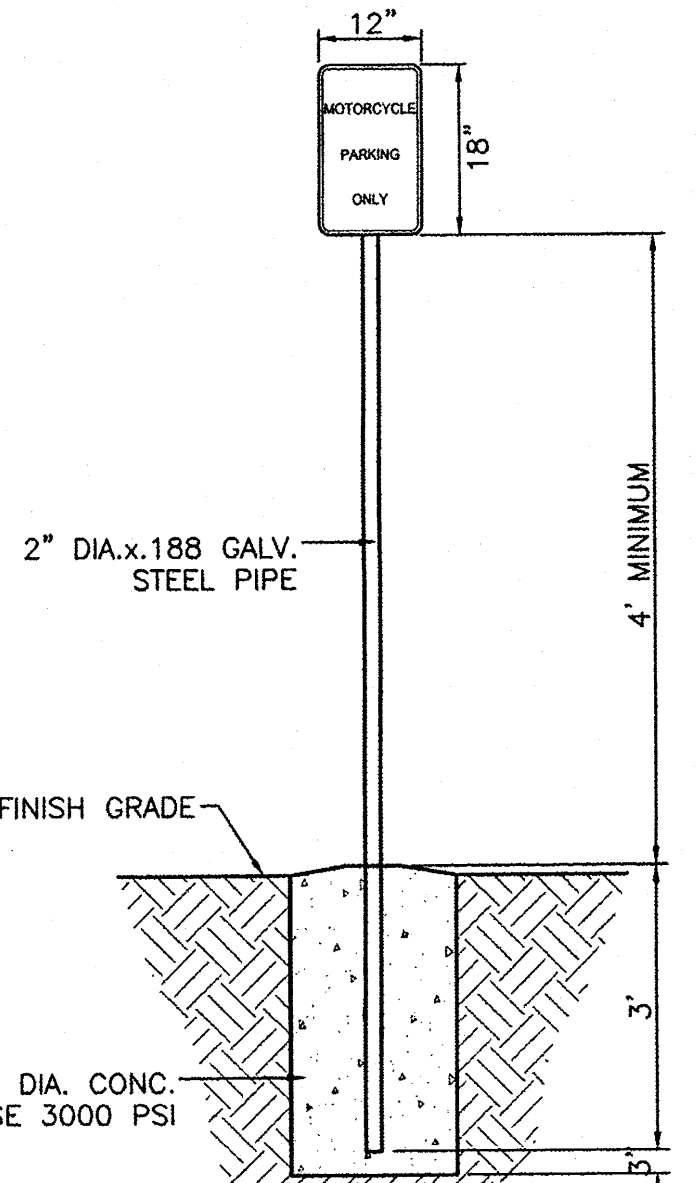
LANDSCAPE ISLAND WATER HARVESTING DETAIL
FOR REFERENCE ONLY - BUILD ISLAND GEOMETRY
PER SITE AND GRADING PLAN



GUARD RAIL DETAIL
NTS



LIGHT POLE DETAIL
NTS



MOTORCYCLE PARKING SIGN
NTS

	ALBUQUERQUE SPORTING CENTER CONSTRUCTION DETAILS	DRAWN BY pm DATE 1-31-13 DRAWING 2012086-DET
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # 7 JOB # 2012086

RECORDING STAMP

Plat of
Tracts A-1-A and A-1-B
Albuquerque West Unit 2
Albuquerque, Bernalillo County, New Mexico
March 2013

Project No. _____
Application No. 13DRB-
Utility Approvals

PNM	DATE
NEW MEXICO GAS COMPANY	DATE
QWEST CORPORATION D/B/A CENTURYLINK QC	DATE
COMCAST	DATE

City Approvals

Paul P. Acosta 3-26-13
CITY SURVEYOR DATE

TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT DATE

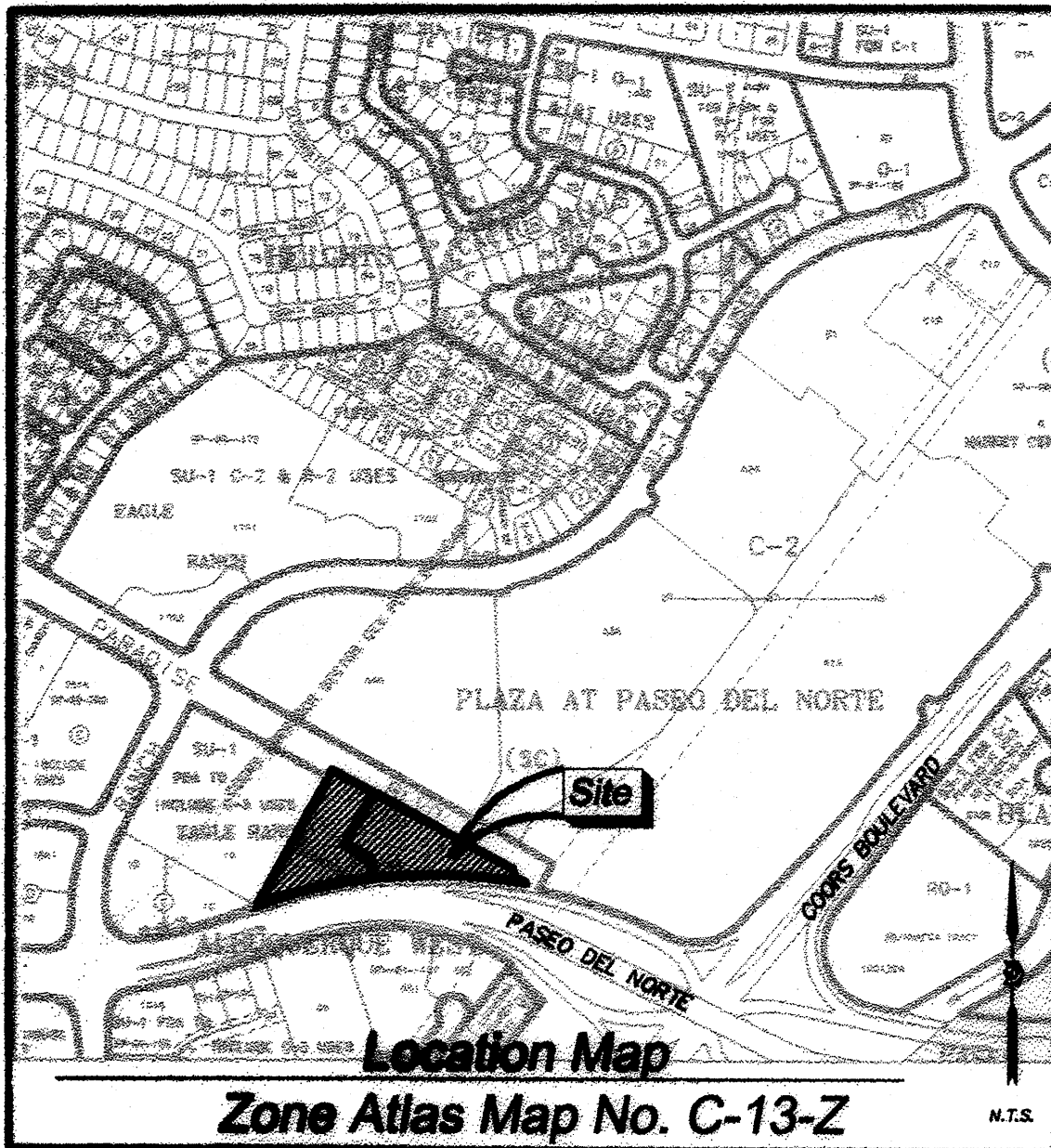
A.B.C.W.U.A. DATE

PARKS AND RECREATION DEPARTMENT DATE

AMAFCA DATE

CITY ENGINEER DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT



Legal Description

A TRACT OF LAND WITHIN THE TOWN OF ALAMEDA GRANT, PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO BEING ALL OF TRACT A-1, UNIT TWO, ALBUQUERQUE WEST AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 6, 2005, IN BOOK 2005C, PAGE 105 AND CONTAINING (151767 SQ. FT.) 3.4841 ACRES MORE OR LESS, NOW COMPRISING TRACTS A-1-A AND A-1-B, ALBUQUERQUE WEST UNIT 2.

Subdivision Data:

ZONING: SU-1 PDA TO INCLUDE C-3 USES
GROSS SUBDIVISION ACREAGE: 3.4841 ACRES±
ZONE ATLAS INDEX NO: C-13-Z
NO. OF TRACTS CREATED: 2
NO. OF LOTS CREATED: 0
MILES OF FULL-WIDTH STREETS CREATED: 0
DATE OF SURVEY: JANUARY 24 AND 25, 2013

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE THE EXISTING ONE TRACT INTO TWO NEW TRACTS, VACATE AN EASEMENT, AND GRANT EASEMENTS.

Notes:

1. BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
2. ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
3. THIS PROPERTY LIES WITHIN THE (TOWN OF ALAMEDA GRANT), (PROJECTED) SECTION 18, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN NOTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Easements

- THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.
- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
1. PNM (ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 2. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 3. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, REPAIR, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.
IN APPROVING THIS PLAT, QWEST CORPORATION D/B/A CENTURYLINK QC, PNM, AND NEW MEXICO GAS COMPANY DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

Sean Robinson 26 Mar 2013
DATE

TEXICO CONFERENCE ASSOCIATION
OF SEVENTH-DAY ADVENTISTS
A NEW MEXICO NON-PROFIT CORPORATION
SEAN ROBINSON, ASSOCIATION SECRETARY

Acknowledgment

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 24 DAY OF MARCH, 2013 BY SEAN ROBINSON, ASSOCIATION SECRETARY, TEXICO CONFERENCE ASSOCIATION OF SEVENTH-DAY ADVENTISTS, A NEW MEXICO NON-PROFIT CORPORATION

BY *James J. Bohannon* MY COMMISSION EXPIRES: 3.27.16
NOTARY PUBLIC

TREASURER CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 3/22/13
DATE

LARRY W. MEDRANO
M.P.S. No. 11993



PRECISION SURVEYS, INC.

OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109

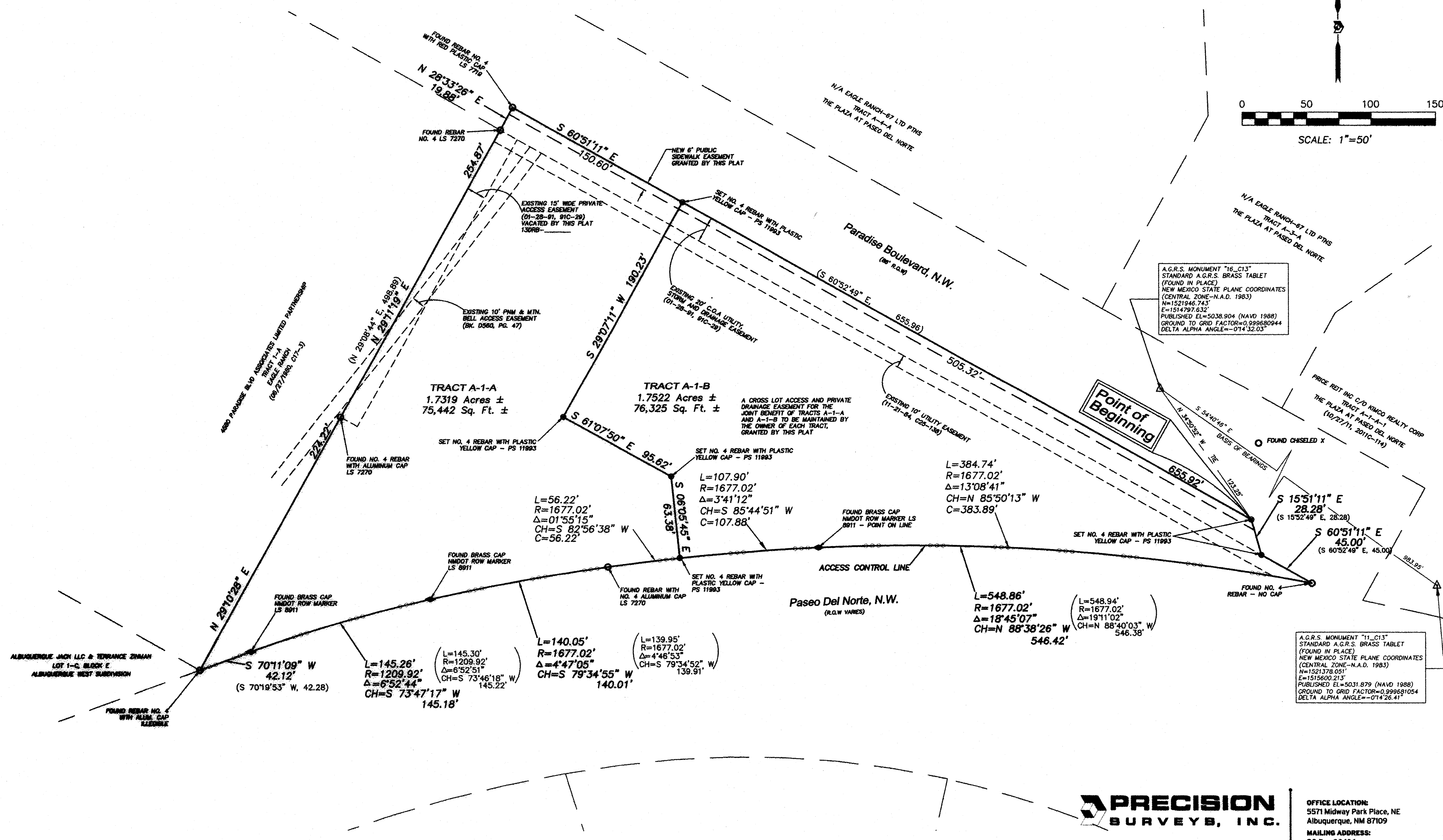
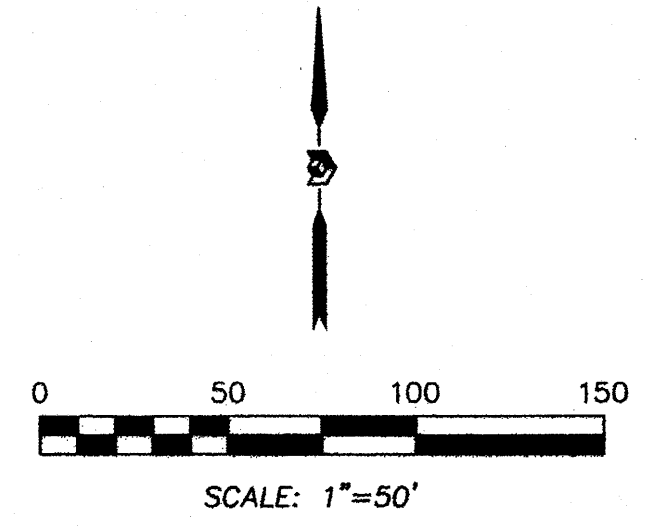
MAILING ADDRESS:
PO Box 90636
Albuquerque, NM 87199

866.442.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX

INDEXING INFORMATION FOR COUNTY CLERK
OWNER TEXICO CONFERENCE ASSOCIATION
SECTION 18, TOWNSHIP 11 N, RANGE 3 E,
SUBDIVISION ALBUQUERQUE WEST UNIT 2

RECORDING STAMP

Plat of
Tracts A-1-A and A-1-B
Albuquerque West Unit 2
Albuquerque, Bernalillo County, New Mexico
March 2013



A.G.R.S. MONUMENT "16_C13"
STANDARD A.G.R.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE--N.A.D. 1983)
N=1521946.743'
E=1514797.632'
PUBLISHED EL=5038.904 (NAVD 1988)
GROUND TO GRID FACTOR=0.999680944
DELTA ALPHA ANGLE=-074.32.03"

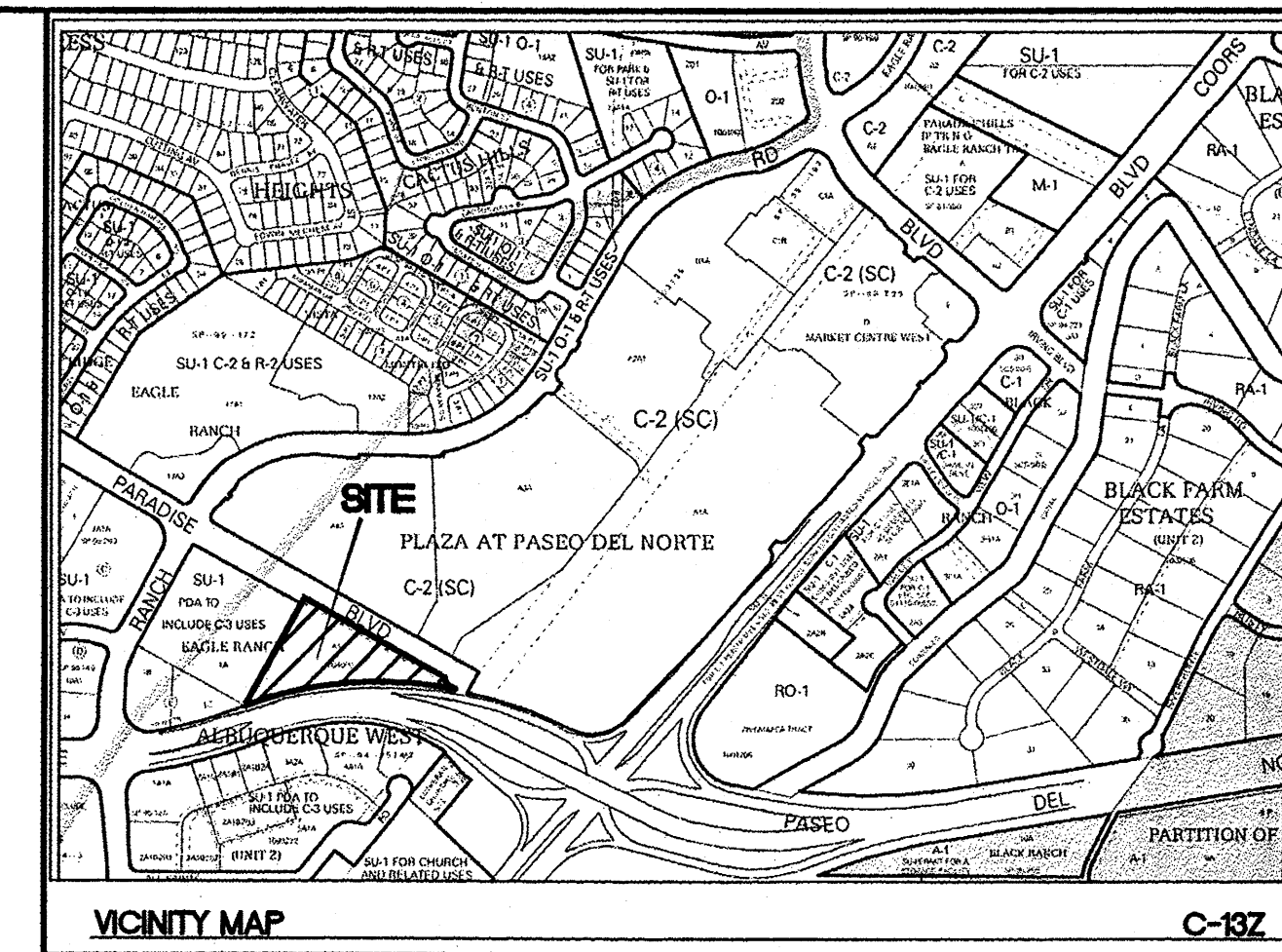
A.G.R.S. MONUMENT "11_C13"
STANDARD A.G.R.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE--N.A.D. 1983)
N=1521378.051'
E=1515800.213'
PUBLISHED EL=5031.879 (NAVD 1988)
GROUND TO GRID FACTOR=0.999681054
DELTA ALPHA ANGLE=-074.26.41"

PRECISION SURVEYS, INC.

OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
PO Box 90636
Albuquerque, NM 87199

866.442.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX

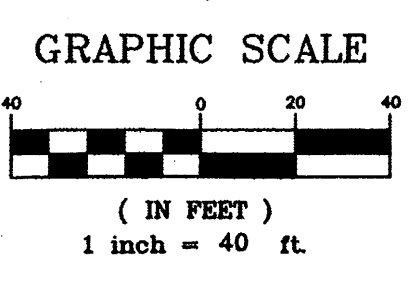
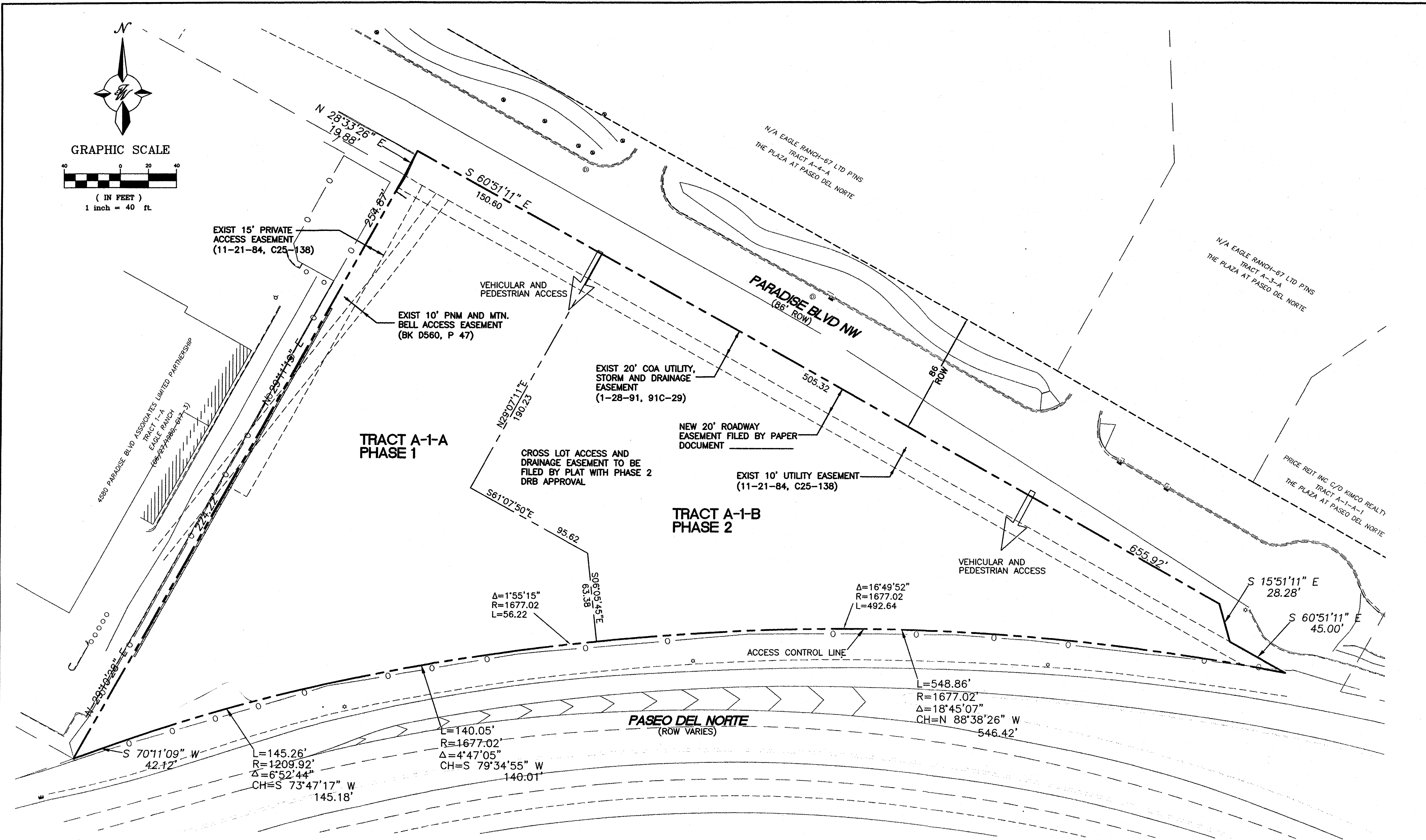
INDEXING INFORMATION FOR COUNTY CLERK
OWNER TEXICO CONFERENCE ASSOCIATION
SECTION 18, TOWNSHIP 11 N, RANGE 3 E,
SUBDIVISION ALBUQUERQUE WEST UNIT 2



LEGAL DESCRIPTION
TRACT A1 ALBUQUERQUE WEST UNIT 2

NOTES:

- THE FOLLOWING USES ARE EXPRESSLY EXCLUDED WHETHER FIRST LISTED AS PERMISSIVE OR CONDITIONAL USES IN THE C-3 ZONE: TIRE RECAPPING OR RETREADING, CONTRACTORS YARD, EQUIPMENT RENTAL, BULK FUEL STORAGE OR SALES, AUTO DISMANTLING, OUTDOOR BUILDING MATERIAL STORAGE OR SALES UNLESS INCIDENTAL TO RETAIL SALES AND ADEQUATELY SCREENED.
- PURSUANT TO THE ANNEXATION ZONING AND SPECIAL USE OF PARAMETERS FOR THIS PROPERTY THE FOLLOWING MATTERS ARE DELEGATED TO THE DEVELOPMENT REVIEW BOARD FOR APPROVAL:
 - ALL PLATTING OR REPLATTING.
 - SITE DEVELOPMENT PLANS FOR BUILDING PERMITS PROVIDED THAT:
 - THE PROPOSED USES ARE EITHER RESIDENTIAL OR AMONG THOSE FIRST LISTED AS PERMISSIVE IN THE C-1 OR O-1 ZONES, AND;
 - STRUCTURES DO NOT EXCEED 2.5 STORIES IN HEIGHT, AND;
 - 15% OF THE PAVED PARKING AREAS ARE LANDSCAPED AND BUFFER LANDSCAPING IS IN ACCORDANCE WITH SECTION 40.J OF THE COMPREHENSIVE ZONING ORDINANCE;
 - THE F.A.R. DOES NOT EXCEED 0.50.
- PURSUANT TO THE ANNEXATION ZONING AND SPECIAL USE OF PARAMETERS FOR THIS PROPERTY, IF A SITE DEVELOPMENT PLAN FOR SUBDIVISION IS APPROVED BY THE E.P.C., ALL SUBSEQUENT SITE DEVELOPMENT PLANS FOR BUILDING PERMITS SHALL BE DELEGATED TO THE DEVELOPMENT REVIEW BOARD.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
- LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINE OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALL WITH TOP OF EQUIPMENT BELOW TO OF SCREEN WALL.
- PEDESTRIAN CROSSWALKS, INCLUDING PEDESTRIAN PATHWAYS AND DRIVE AISLE CROSSINGS SHALL BE CONSTRUCTED OF A MATERIAL OTHER THAN ASPHALT, SUCH AS TEXTURED (SCORED) COLORED CONCRETE
- 10' CLEARANCE SHALL BE PROVIDED FOR ALL GROUND MOUNTED PNM UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PROPOSES.
- CROSS LOT ACCESS AND DRAINAGE EASEMENTS SHALL BE PROVIDED ON THE PLAT WHEN PHASE 2 IS APPROVED BY DRB.
- PHASE 2 WILL BE FUTURE DEVELOPMENT TO BE CONDUCTED AT A LATER DATE THAN PHASE 1.
- ALL ARCHITECTURAL DESIGN SHALL BE COMPATIBLE WITH THE PHASE 1 DEVELOPMENT ON TRACT A-1-A. IT SHALL BE SIMILAR IN COLOR AND MATERIAL TO THE FIRST BUILDING ON THE SITE AND HAVE A SIMILAR LEVEL OF ARTICULATION AND DETAIL. FUTURE BUILDINGS SHALL BE CONSISTENT WITH THE GENERAL BUILDING REGULATIONS 14-16-3-18.
- PRIOR TO INSTALLATION OF THE STREETSCAPE LANDSCAPING ALONG PARADISE BLVD, THE PROJECT MANAGER SHALL CONTACT MRCOG TO VERIFY THE STATUS OF THE PASEO DEL NORTE HUGH CAPACITY TRANSIT STUDY ALIGNMENT. IF PARADISE BLVD IS SELECTED, INSTALLATION OF STREETSCAPE MATERIALS MAY HAPPEN AS PART OF PHASE II DEVELOPMENT.



SITE DATA TRACT A-1-A

ZONING PROPOSED USAGE	SU-1 PDA TO INCLUDE C-3 USES COMMERCIAL/RETAIL/SHOOTING RANGE
LOT AREA:	PHASE 1 76196 SF (1.75 AC)
BUILDING AREA:	PHASE 1 15036 SF (TO BE BUILT) 6297 SF (FUTURE ADDITION)
FAR	0.279
BUILDING HEIGHT	26' MAXIMUM
SETBACKS	FRONT 11' (MINIMUM) SIDE 10' (MINIMUM) REAR 10' (MINIMUM)

SITE DATA TRACT A-1-B

ZONING PROPOSED USAGE	SU-1 PDA TO INCLUDE C-3 USES COMMERCIAL/RETAIL
LOT AREA:	PHASE 2 75571 SF (1.73 AC)
BUILDING AREA:	PHASE 2 2 BUILDINGS 7200 SF EA
FAR	0.190
BUILDING HEIGHT	26' MAXIMUM
SETBACKS	FRONT 11' (MINIMUM) SIDE 10' (MINIMUM) REAR 10' (MINIMUM)

TOTAL FAR FOR SITE IS 0.235

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

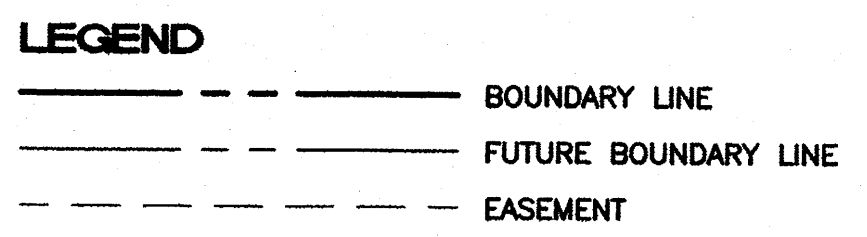
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

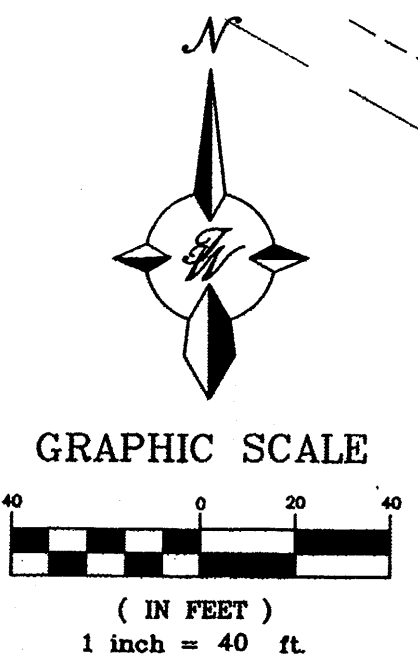
Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary



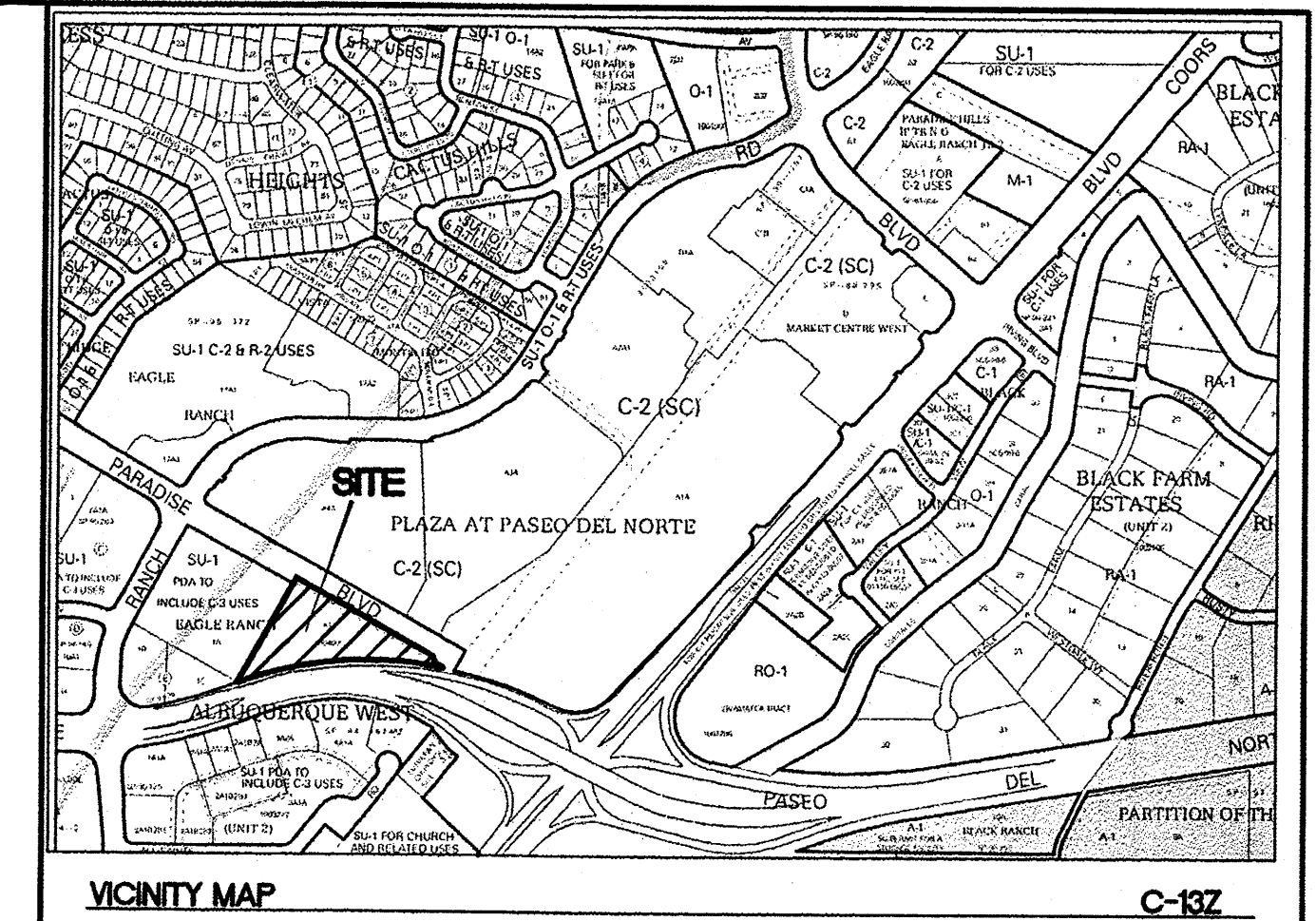
- INDEX TO DRAWINGS**
- SITE PLAN FOR SUBDIVISION
 - SITE PLAN FOR BUILDING PERMIT
 - INTERIM SITE PLAN FOR SUBDIVISION
 - LANDSCAPING PLAN
 - GRADING PLAN
 - INTERIM GRADING PLAN
 - MASTER UTILITY PLAN
 - BUILDING ELEVATIONS
 - BUILDING ELEVATIONS
 - CONSTRUCTION DETAILS
 - CONSTRUCTION DETAILS

	ALBUQUERQUE SPORTING CENTER	DRAWN BY pm
	SITE PLAN FOR SUBDIVISION	DATE 1-31-13
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 856-3100 www.tierrowestllc.com	DRAWING 2012086-SPE
RONALD R. BOHANNAN P.E. #7868	1	SHEET #
		JOB # 2012086



KEYED NOTES

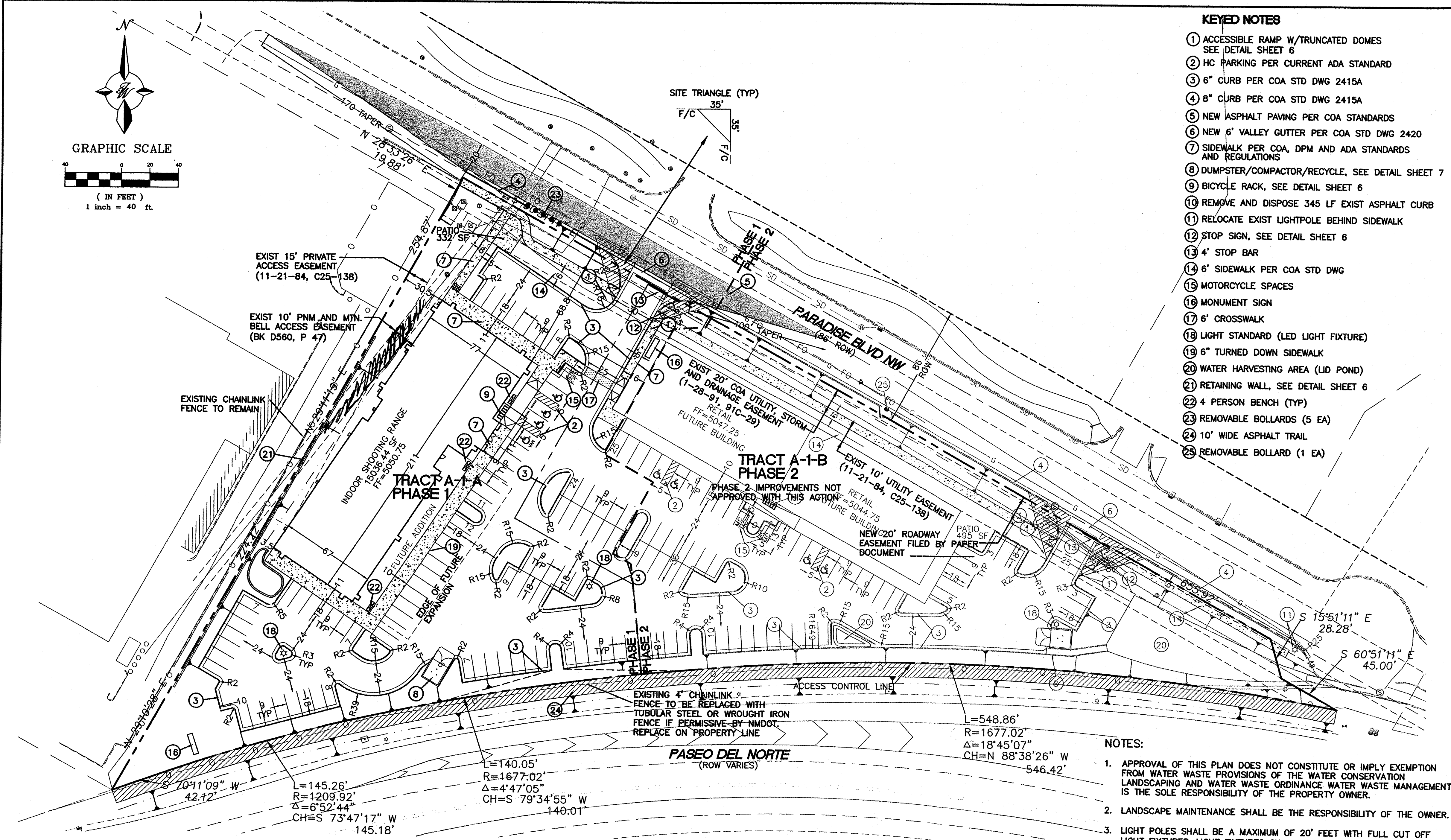
- ① ACCESSIBLE RAMP W/TRUNCATED DOMES SEE DETAIL SHEET 6
- ② HC PARKING PER CURRENT ADA STANDARD
- ③ 6" CURB PER COA STD DWG 2415A
- ④ 8" CURB PER COA STD DWG 2415A
- ⑤ NEW ASPHALT PAVING PER COA STANDARDS
- ⑥ NEW 6" VALLEY GUTTER PER COA STD DWG 2420
- ⑦ SIDEWALK PER COA, DPM AND ADA STANDARDS AND REGULATIONS
- ⑧ DUMPSTER/COMPACTOR/RECYCLE, SEE DETAIL SHEET 7
- ⑨ BICYCLE RACK, SEE DETAIL SHEET 6
- ⑩ REMOVE AND DISPOSE 345 LF EXIST ASPHALT CURB
- ⑪ RELOCATE EXIST LIGHTPOLE BEHIND SIDEWALK
- ⑫ STOP SIGN, SEE DETAIL SHEET 6
- ⑬ 4' STOP BAR
- ⑭ 6' SIDEWALK PER COA STD DWG
- ⑮ MOTORCYCLE SPACES
- ⑯ MONUMENT SIGN
- ⑰ 6' CROSSWALK
- ⑱ LIGHT STANDARD (LED LIGHT FIXTURE)
- ⑲ 6" TURNED DOWN SIDEWALK
- ⑳ WATER HARVESTING AREA (LID POND)
- ㉑ RETAINING WALL, SEE DETAIL SHEET 6
- ㉒ 4 PERSON BENCH (TYP)
- ㉓ REMOVABLE BOLLARDS (5 EA)
- ㉔ 10' WIDE ASPHALT TRAIL
- ㉕ REMOVABLE BOLLARD (1 EA)



LEGAL DESCRIPTION
TRACT A1 ALBUQUERQUE WEST UNIT 2

LEGEND

- PROPOSED CURB & GUTTER
- - - BOUNDARY LINE
- - - FUTURE BOUNDARY LINE
- - - EASEMENT
- - - PROPOSED SIDEWALK
- ⊞ BICYCLE RACK
- ☆ SITE LIGHTING
- - - PROPERTY LINE
- ▨ NEW PAVING PER COA STANDARDS
- ▨ NEW ASPHALT TRAIL



NOTES:

1. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
2. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
3. LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
4. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINE OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALL WITH TOP OF EQUIPMENT BELOW TO OF SCREEN WALL.
5. PEDESTRIAN CROSSWALKS, INCLUDING PEDESTRIAN PATHWAYS AND DRIVE AISLE CROSSINGS SHALL BE CONSTRUCTED OF A MATERIAL OTHER THAN ASPHALT, SUCH AS TEXTURED (SCORED) COLORED CONCRETE.
6. 10' CLEARANCE SHALL BE PROVIDED FOR ALL GROUND MOUNTED PNM UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PROPOSES.
7. CROSS ACCESS, PAVING AND DRAINAGE PROVIDED TO EACH LOT
8. PHASE 2 WILL BE FUTURE DEVELOPMENT TO BE CONDUCTED AT A LATER DATE THAN PHASE 1
9. ALL FUTURE DEVELOPMENT SHALL BE DELEGATED TO DRB
10. DELIVERY TRUCKS TO BE SU-30 PANEL TRUCKS
11. THE 10 FOOT SIDEWALK AND OTHER RELATED PEDESTRIAN FEATURES IN FRONT OF THE BUILDING SHALL BE RELOCATED IF THE BUILDING IS EXPANDED IN A FUTURE PHASE
12. ALL ARCHITECTURAL DESIGN SHALL BE COMPATIBLE WITH THE PHASE 1 DEVELOPMENT ON TRACT A-1-A. IT SHALL BE SIMILAR IN COLOR AND MATERIAL TO THE FIRST BUILDING ON THE SITE AND HAVE A SIMILAR LEVEL OF ARTICULATION AND DETAIL. FUTURE BUILDINGS SHALL BE CONSISTENT WITH THE GENERAL BUILDING REGULATIONS 14-16-3-18.
13. PHASE 1 CONSTRUCTION WILL INCLUDE THE SIDEWALK AND PARKING STALLS IN FRONT OF THE FUTURE ADDITION AREA.
14. SECURITY CAMERAS WILL BE PROVIDED TO COVER SURVEILLANCE OF ALL ACCESS POINTS, PARKING LOTS AND THE SIDES OF THE BUILDING.

SITE DATA TRACT A-1-A

ZONING PROPOSED USAGE	SU-1 PDA TO INCLUDE C-3 USES COMMERCIAL/RETAIL/SHOOTING RANGE
LOT AREA: PHASE 1	76196 SF (1.75 AC)
BUILDING AREA: PHASE 1	15036 SF (TO BE BUILT) 6297 SF (FUTURE ADDITION)
FAR	0.279
BUILDING HEIGHT	26' MAXIMUM
SETBACKS	FRONT 11' (MINIMUM) SIDE 10' (MINIMUM) REAR 10' (MINIMUM)

SITE DATA TRACT A-1-B

ZONING PROPOSED USAGE	SU-1 PDA TO INCLUDE C-3 USES COMMERCIAL/RETAIL
LOT AREA: PHASE 2	75571 SF (1.73 AC)
BUILDING AREA: PHASE 2	2 BUILDINGS 7200 EA
FAR	0.190
BUILDING HEIGHT	26' MAXIMUM
SETBACKS	FRONT 11' (MINIMUM) SIDE 10' (MINIMUM) REAR 10' (MINIMUM)

PARKING CALCULATIONS TRACT A-1-A

BUILDING AREA: PHASE 1	15036 SF	6297 (FUTURE ADDITION)
PARKING REQUIRED PHASE 1	1/200 SF (3625 SF)	18 SPACES
	1/1000 SF (11411 SF)	11 SPACES
TOTAL		39 SPACES
PARKING PROVIDED PHASE 1		57 SPACES
ACCESSIBLE SPACES REQUIRED PHASE 1		3 SPACES
PROVIDED PHASE 1		4 SPACES (1 VAN ACCESSIBLE)
MOTORCYCLE SPACES REQUIRED PHASE 1		2 SPACES
PROVIDED PHASE 1		2 SPACES
BICYCLE SPACES REQUIRED PHASE 1		3 SPACES
PROVIDED PHASE 1		5 SPACES

PARKING CALCULATIONS TRACT A-1-B

BUILDING AREA: PHASE 2	2 BUILDINGS 7200 SF EA	
PARKING REQUIRED PHASE 2	1/200 SF (14400 SF)	72 SPACES
PARKING PROVIDED PHASE 2		72 SPACES
ACCESSIBLE SPACES REQUIRED PHASE 2		3 SPACES
PROVIDED PHASE 2		4 SPACES (1 VAN ACCESSIBLE)
MOTORCYCLE SPACES REQUIRED PHASE 2		4 SPACES
PROVIDED PHASE 2		4 SPACES
BICYCLE SPACES REQUIRED PHASE 2		3 SPACES
PROVIDED PHASE 2		5 SPACES

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

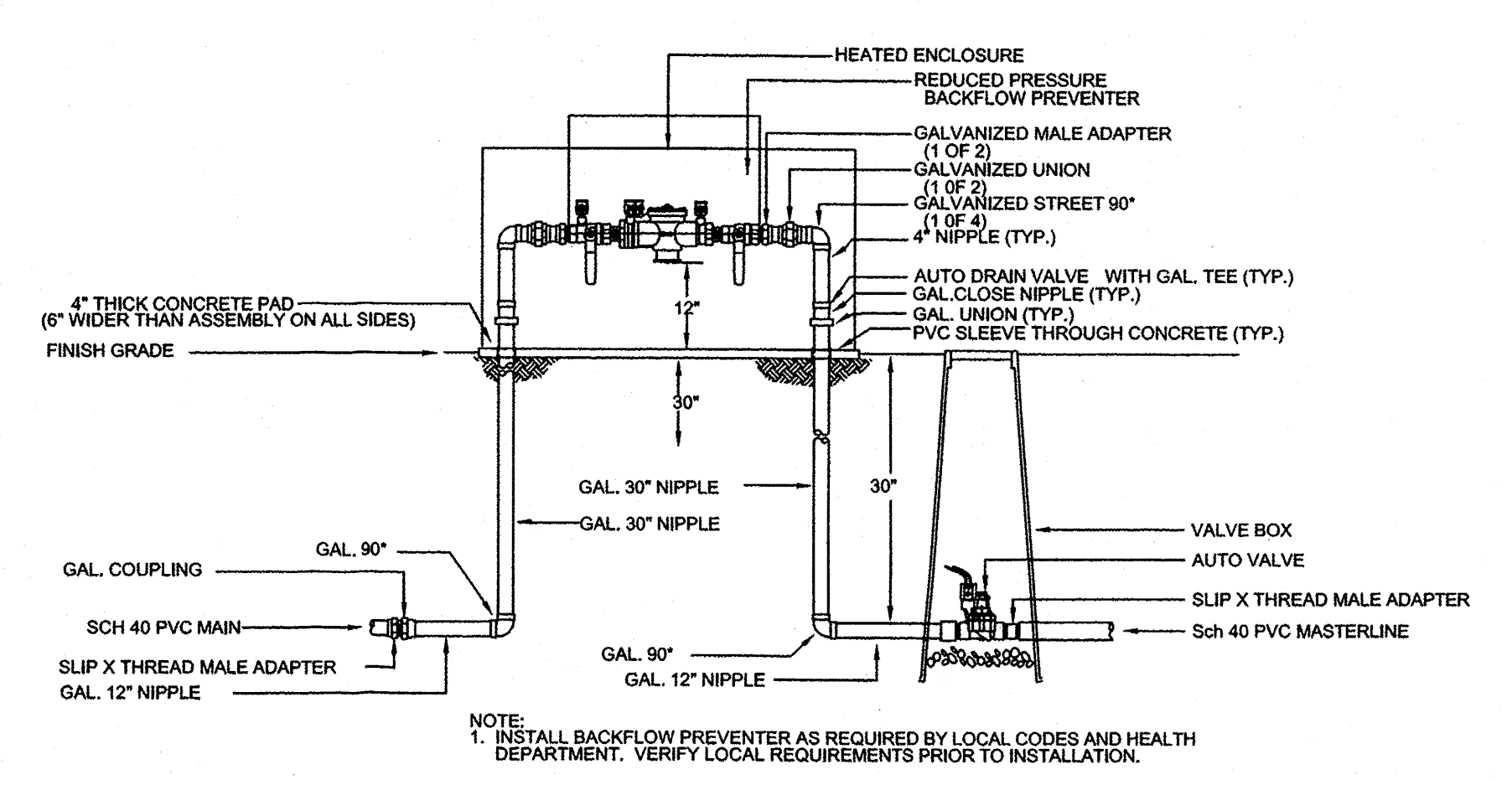
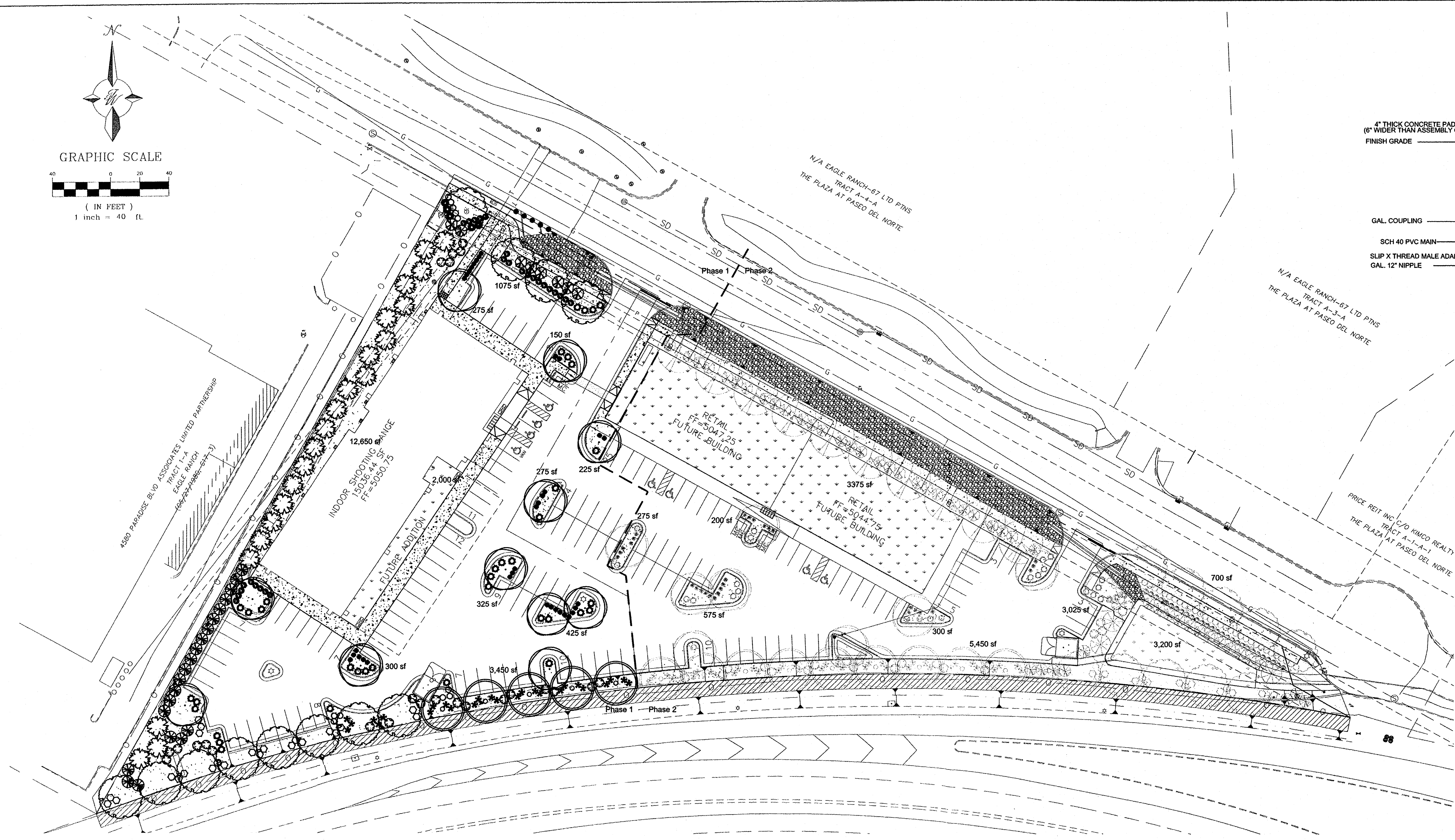
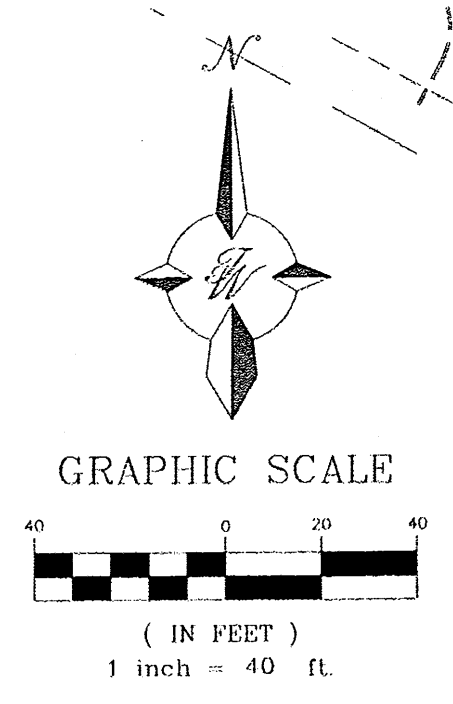
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

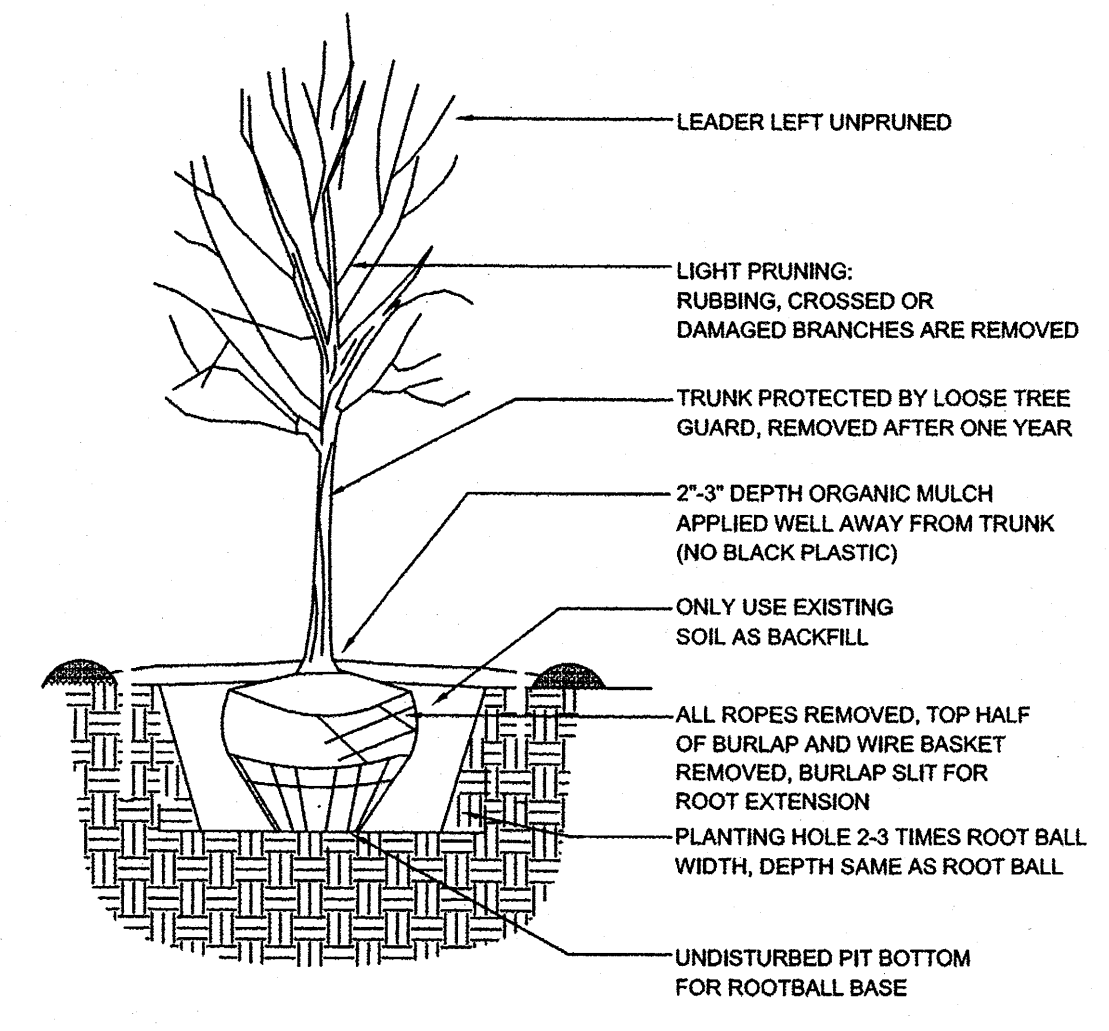
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	

	ALBUQUERQUE SPORTING CENTER SITE PLAN FOR BUILDING PERMIT	DRAWN BY pm DATE 1-31-13 DRAWING 2012086-SPE
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # 2 JOB # 2012086



RP BACKFLOW/MASTER VALVE DETAIL



TREE PLANTING DETAIL

PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Mature Landscape Ht./Sp. Coverage	Water Use	Drip Emitters
10	Ph.1 Ph.2	Gleditsia Honey Locust	2" Cal 50'/45'		Medium+	6-2 gph
12	Ph.1 Ph.2	Pistacia Chinese Pistache	2" Cal 60'/60'		Medium	6-2 gph
0	Ph.1 Ph.2	Platanus acerifolia Sycamore	2" Cal 70'/50'		High	6-2 gph
5	Ph.1 Ph.2	Celtis occidentalis Hackberry	2" Cal 40'/40'		Medium	6-2 gph
22	Ph.1 Ph.2	Juniperus monosperma One Seed Juniper	15-Gal 15'/15'	400 sf=8800 sf	RW	4-2 gph
0	Ph.1 Ph.2	Vitex Chaste Tree	15-Gal 20'/20'		Medium	6-2 gph
34	Ph.1 Ph.2	Grasses Miscanthus Maiden Grass Calamagrostis Karl Foerster Grass	5-Gal 5'/5' 5-Gal 3'/2'	25 sf=125 sf 10 sf=340 sf 10 sf=300 sf	Medium Medium	2-2 gph 2-2 gph

Qty.	Shrubs/Groundcovers	Size	Mature Landscape Ht./Sp. Coverage	Water Use	Drip Emitters
27	Caryopteris Blue Mist	1-Gal 3'/3'	15 sf=405 sf 15 sf=420 sf	Medium	2-2 gph
26	Hesperaloe parviflora Red Yucca	5-Gal 3'/4'	20 sf=520 sf 20 sf=740 sf	Low+	2-1 gph
37	Juniperus sabinia 'Buffalo' Buffalo Juniper (female)	1-Gal 1'/5'	25 sf=925 sf 25 sf=600 sf	Low +	2-2 gph
11	Rhus aromatica Gro Low Sumac	1-Gal 2'/6'	36 sf=396 sf 36 sf=1260 sf	Low+	2-2 gph
21	Chamaebatia Fembush	5-Gal 5'/6'	36 sf=756 sf 36 sf=288 sf	Low+	2-2 gph
8	Vauquelinia Rosewood	5-Gal 12'/10'	100 sf=800 sf 100 sf=4100 sf	Low+	2-2 gph
41	Rhus trilobata 3 Leaf Sumac	1-Gal 6'/6'	36 sf=864 sf 36 sf=828 sf	Low+	2-2 gph
23	Fallugia Apache Plume	1-Gal 6'/7'	49 sf=1127 sf 49 sf=735 sf	Low	2-1 gph
Landscape coverage/Ph.1= 15,058 sf Landscape coverage/Ph.2= 10,546 sf Total landscape coverage= 25,604 sf					

SITE DATA/PHASE 1

GROSS LOT AREA (3.47 ACRES)	151,667 SF
LESS BUILDING(S)	15,036 SF
NET LOT AREA	136,631 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	20,495 SF
PROPOSED LANDSCAPE PERCENT OF NET LOT AREA	19,150 SF / 14%
HIGH WATER USE TURF MAX. 20% OF LANDSCAPE AREA	0 SF
PROPOSED HIGH WATER USE TURF PERCENT OF LANDSCAPE AREA	0%
REQUIRED STREET TREES 1 PER 30 L.F. OF STREET FRONTAGE PROVIDED STREET TREES	4
REQUIRED PARKING LOT TREES 1 PER 10 SPACES	9
PROVIDED PARKING LOT TREES	9
REQUIRED LANDSCAPE COVERAGE 75% LIVE VEGETATIVE MATERIAL (19,150 SF PROPOSED LANDSCAPE X 75%)	14,363 SF MIN.
PROVIDED LIVE GROUNDCOVER COVERAGE PERCENT GROUNDCOVER COVERAGE OF REQUIRED LANDSCAPE AREAS	15,058 SF / 78%

SITE DATA/PHASE 1&2

GROSS LOT AREA (3.47 ACRES)	151,667 SF
LESS BUILDING(S)	25,129 SF
NET LOT AREA	126,538 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	18,980 SF
PROPOSED LANDSCAPE PERCENT OF NET LOT AREA	33,050 SF / 26%
HIGH WATER USE TURF MAX. 20% OF LANDSCAPE AREA	0 SF
PROPOSED HIGH WATER USE TURF PERCENT OF LANDSCAPE AREA	0%
REQUIRED STREET TREES 1 PER 30 L.F. OF STREET FRONTAGE PROVIDED STREET TREES	46
REQUIRED PARKING LOT TREES 1 PER 10 SPACES	15
PROVIDED PARKING LOT TREES	20
REQUIRED LANDSCAPE COVERAGE 75% LIVE VEGETATIVE MATERIAL (33,050 SF PROPOSED LANDSCAPE X 75%)	24,788 SF MIN.
NATIVE SEED AREA LIVE GROUNDCOVER PROVIDED GROUNDCOVER COVERAGE OF REQUIRED LANDSCAPE AREAS	3,200 SF / 25,604 SF / 28,804 SF / 87%

NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
 PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
 THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH
 IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10
 LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC
 APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.
 NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.
 STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.
 LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10.
 LANDSCAPE AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS AND PLANTINGS BETWEEN 3' AND 8' TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

MATERIALS LEGEND

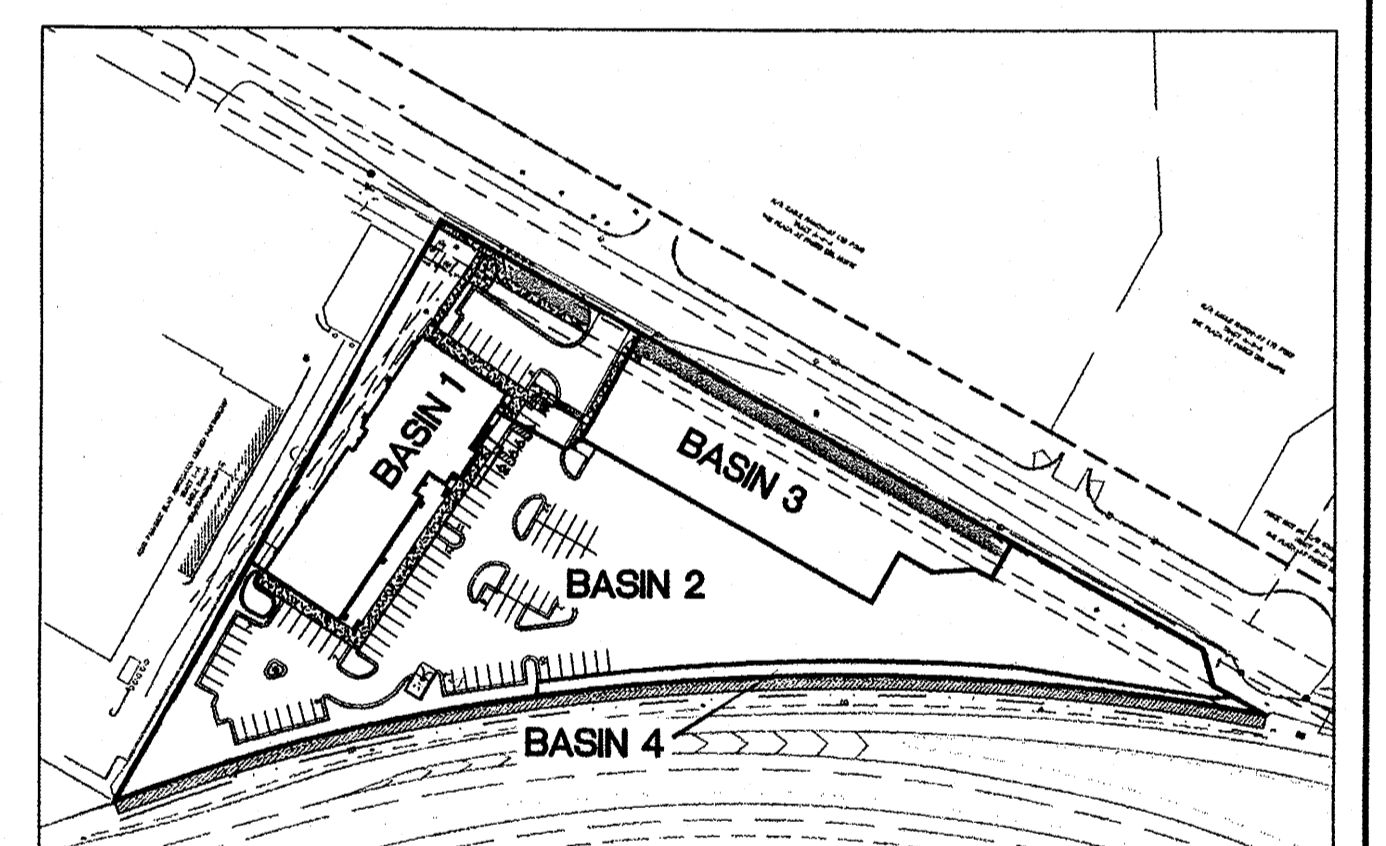
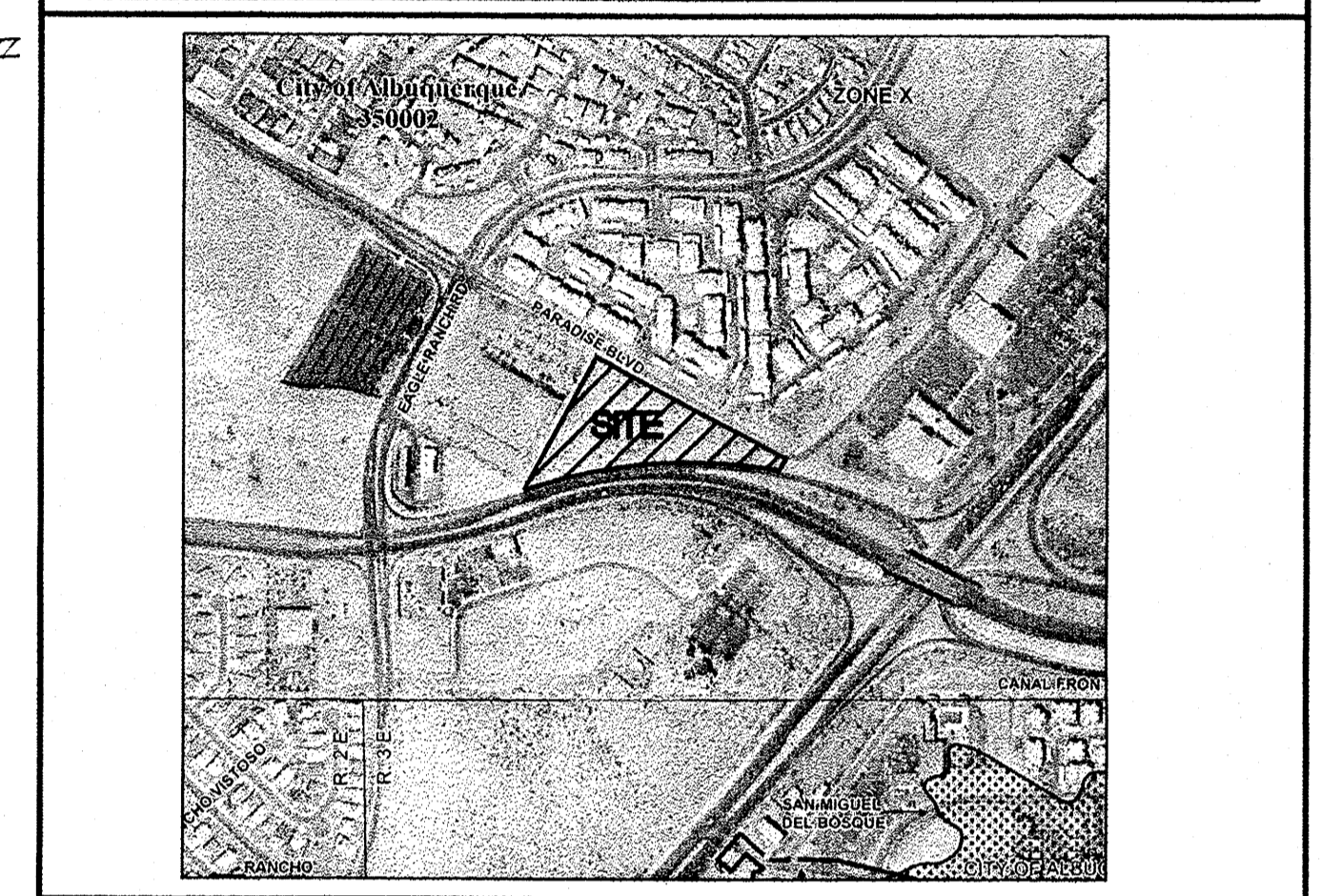
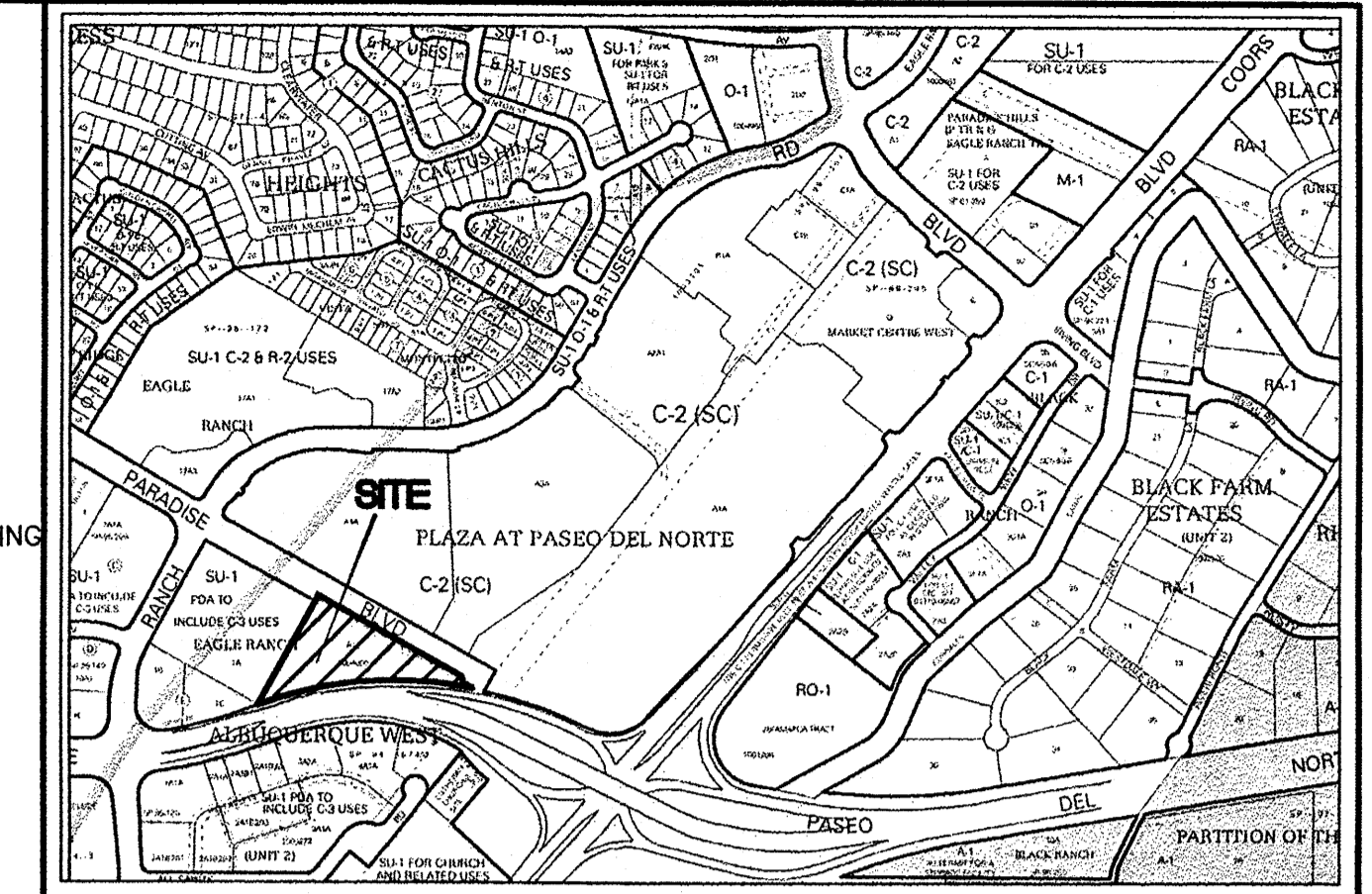
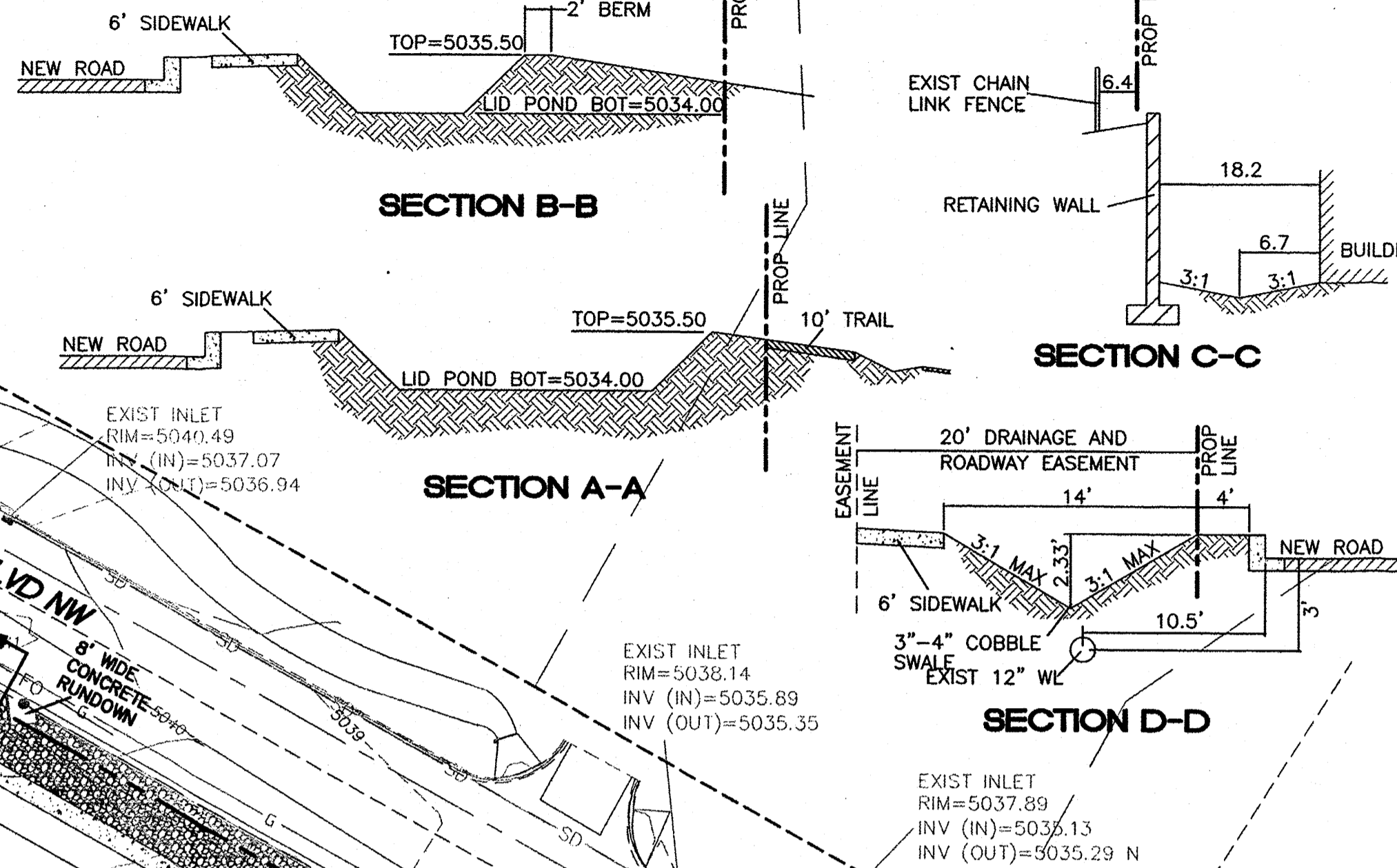
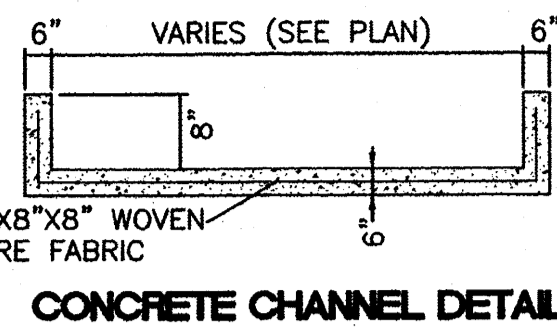
- 7/8" BROWN GRAVEL
- COBBLESTONE SWALE
- NATIVE GRASS SEED

growing better
Up Heads
LANDSCAPE CONTRACTORS
P.O. BOX 10597
Albuquerque, NM 87184
505.898.9615
505.898.2105 (fax)
design@hulc.com
www.headsuplandscape.com

ENGINEER'S SEAL	ALBUQUERQUE SPORTING CENTER	DRAWN BY pm
	LANDSCAPE PLAN FOR BUILDING PERMIT	DATE 1-30-13 4-25-13 DRAWING 2012086-SPE
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # 3
RONALD R. BOHANNAN P.E. #7868		JOB # 2012086

EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



EXISTING DRAINAGE

THE SITE IS CURRENTLY VACANT AND DRAINS FROM THE WEST TO EAST. IT IS BOUND BY PASEO DEL NORTE ON THE SOUTH AND EAST, PARADISE BOULEVARD ON THE NORTH AND AN EXISTING BUILDING ON THE WEST AND CONTAINS APPROXIMATELY 3.48 ACRES. THE STORM WATER FROM THIS SITE FLOWS INTO PARADISE BOULEVARD AND CONTINUES EAST TO A POND LOCATED BEHIND THE MOVIE THEATER. FROM THERE THE WATER IS CONVEYED TO AN AMAFCA POND LOCATED ON THE EAST SIDE OF COORS BOULEVARD. THE SITE FALLS WITHIN THE NORTH COORS DRAINAGE MANAGEMENT PLAN MIDDLE AREA AND THE EXISTING AMAFCA POND IS SIZED TO ACCEPT DEVELOPED FLOWS FROM THIS SITE.

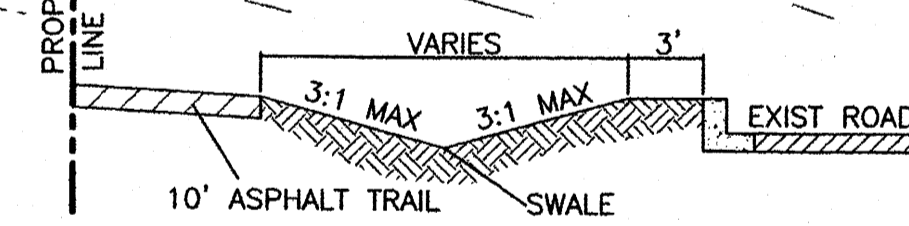
PROPOSED DRAINAGE

THE SITE IS DIVIDED UP INTO FOUR ON-SITE BASINS AND WILL CONTINUE TO FLOW TO THE EAST. STORM WATER WILL BE DIRECTED TO DRAIN THROUGH LANDSCAPE ISLANDS AND INTO LOW IMPACT DEVELOPMENT PONDS LOCATED THROUGHOUT THE SITE TO COMPLY WITH THE WATER HARVESTING REQUIREMENTS. EXCESS STORM WATER WILL CONTINUE TO FLOW TO THE EXISTING POND BEHIND THE MOVIE THEATER AT THE END OF PARADISE BOULEVARD AND EVENTUALLY DRAIN TO THE AMAFCA POND THAT IS SIZED TO ACCEPT THE DEVELOPED FLOWS FROM THIS SITE.

BASIN 1 WILL DISCHARGE 3.04 CFS INTO PARADISE BLVD THROUGH THE WEST ENTRANCE. BASIN 2 WILL DISCHARGE 7.65 CFS AT THE END OF PARADISE BLVD THROUGH A LID POND AND A PROPOSED THREE FOOT CURB OPENING. BASIN 3 WILL DISCHARGE INTO PARADISE BLVD THROUGH LID PONDS AND THE EAST ENTRANCE. BASIN 4 WILL DRAIN INTO THE PASEO DEL NORTE DRAINAGE SWALE AND BE CONVEYED TO THE POND BY AN EXISTING DROP INLET.

THE SITE IS SET UP TO RETAIN THE "FIRST FLUSH" VOLUME WHICH TOTALS 0.094 AC-FT FOR THE SITE. A TOTAL OF 0.179 AC-FT OF PONDING IN THE LID PONDS IS PROVIDED.

SECTION E-E



Weighted E Method

Basin	Area (sf)	Area (acres)	Treatment A				Treatment B				100-Year			10-Year		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
1	35,404	0.81	0%	0	27%	0.22	0%	0.00	73%	0.59	1.819	0.110	3.04	0.965	0.065	1.88
2	85,938	1.97	0%	0	21%	0.41	0%	0.00	79%	1.56	1.897	0.279	7.65	1.026	0.169	4.82
3	25,423	0.58	0%	0	32%	0.19	0%	0.00	68%	0.40	1.554	0.076	2.11	0.914	0.044	1.29
4	5,115	0.12	0%	0	100%	0.12	0%	0.00	0%	0.00	0.670	0.007	0.24	0.220	0.002	0.09

Equations:
Weighted E = Ea*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted E * Total Area
Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Zone	Excess Precipitation, E (inches)	
	100-Year	10-Year
Ea	0.44	0.08
Eb	0.67	0.22
Ec	0.99	0.44
Ed	1.97	1.24

Zone	Peak Discharge (cfs/acre)	
	100-Year	10-Year
Qa	1.29	0.24
Qb	2.03	0.76
Qc	2.87	1.49
Qd	4.37	2.89

First Flush Volume Calculations		
Basin	Impervious Area (Acre)	Volume Required (Ac-ft)
1	0.59	0.022
2	1.56	0.057
3	0.40	0.015
4	0.00	0.000

NOTICE TO CONTRACTORS

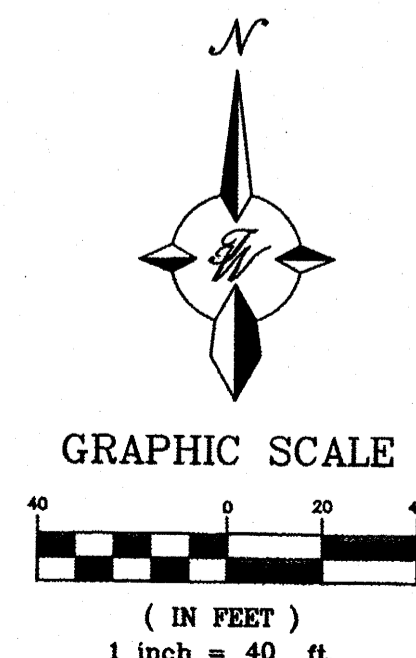
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- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

LEGEND

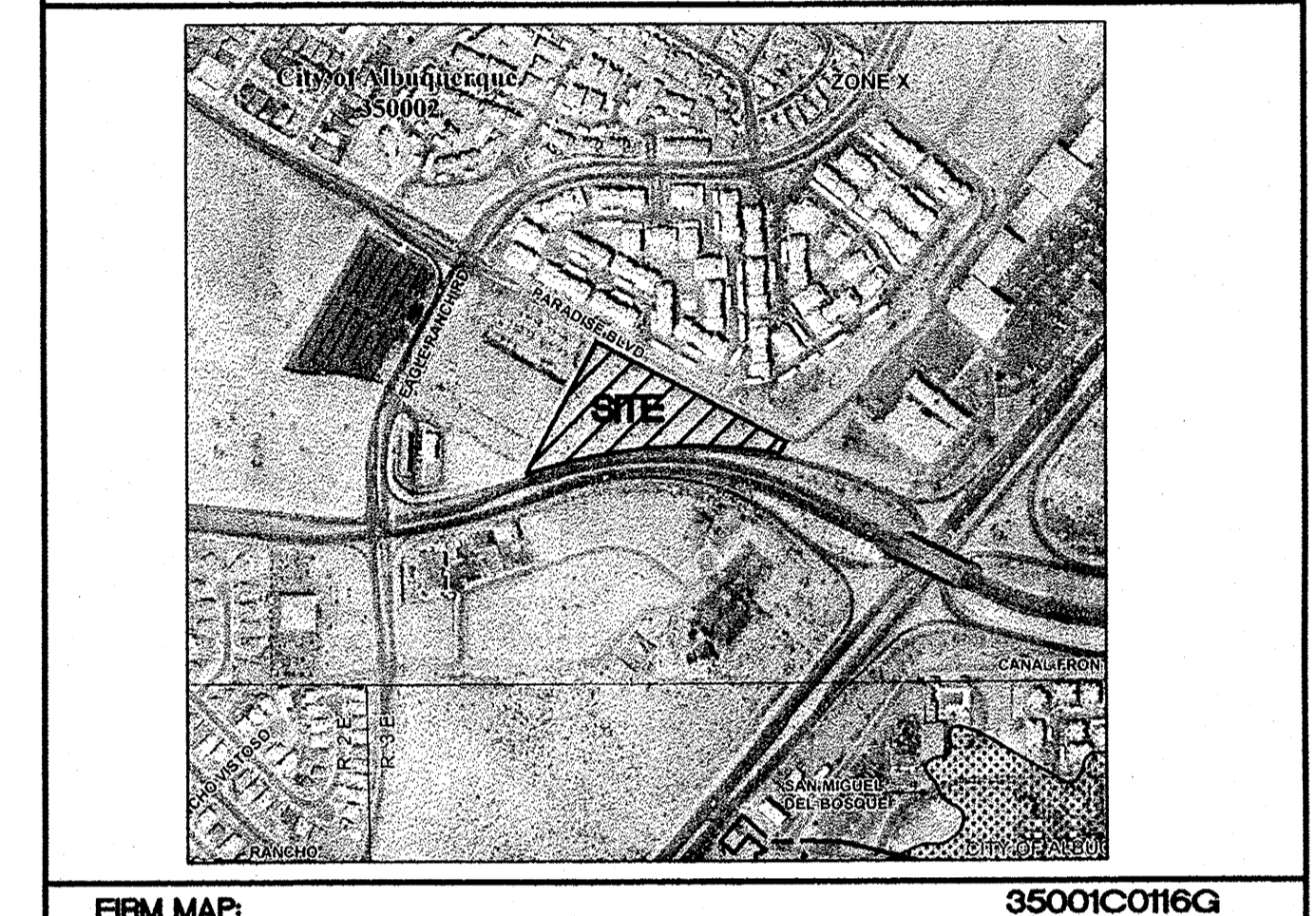
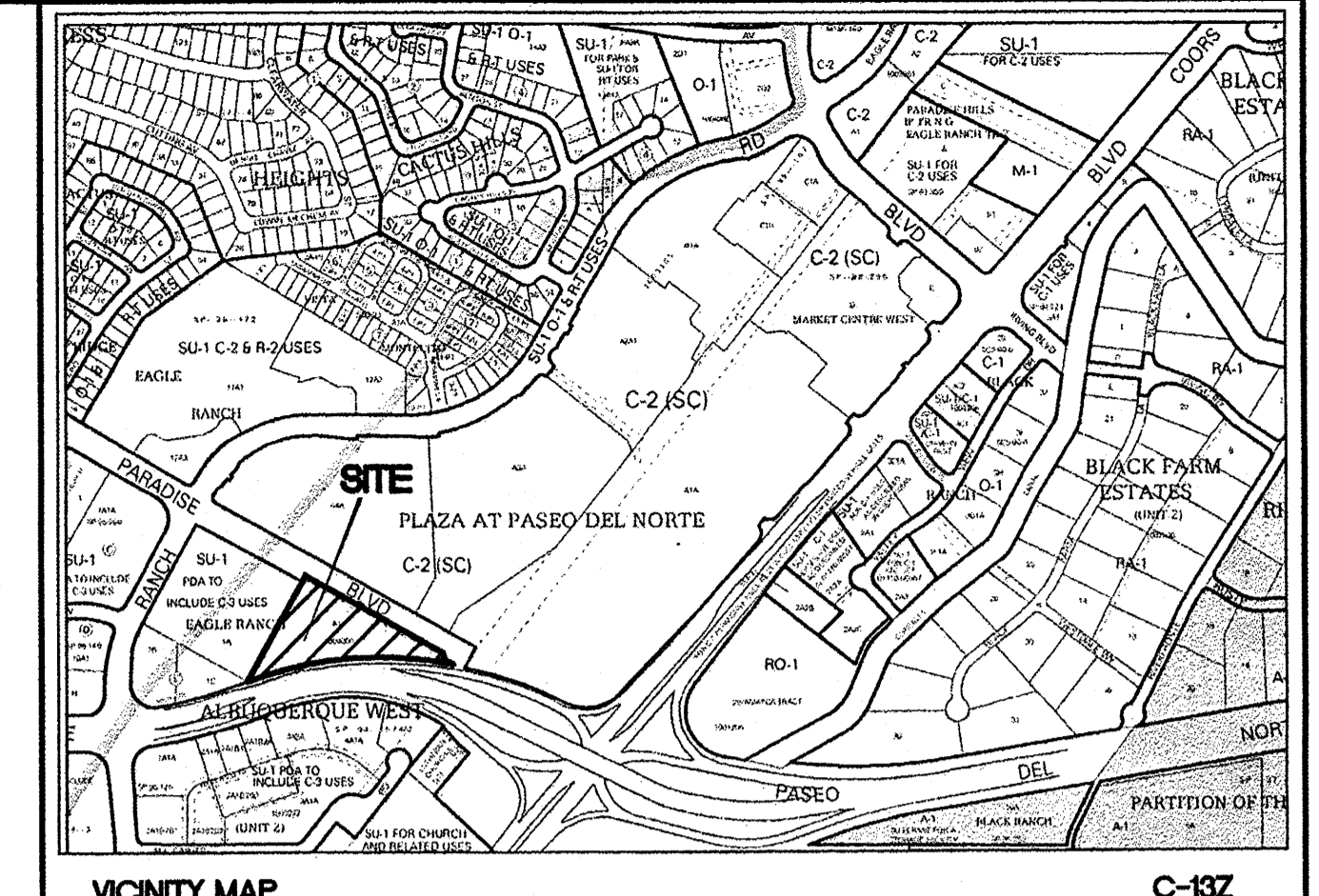
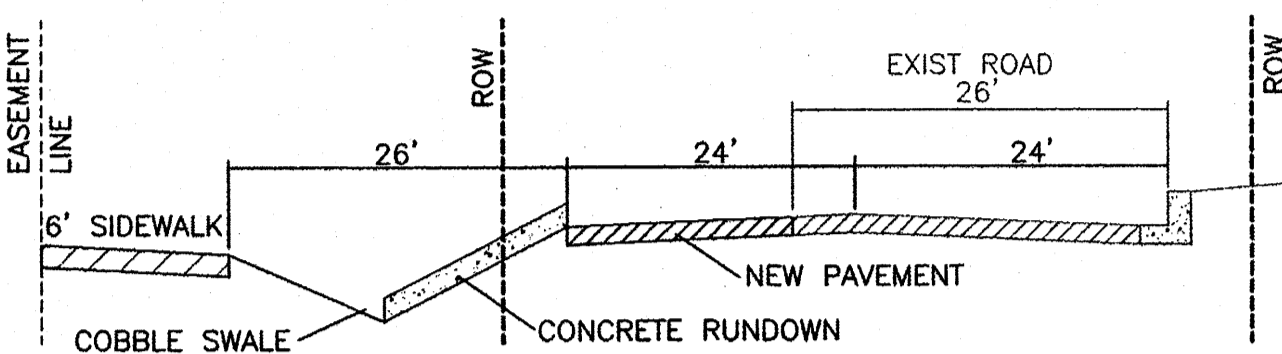
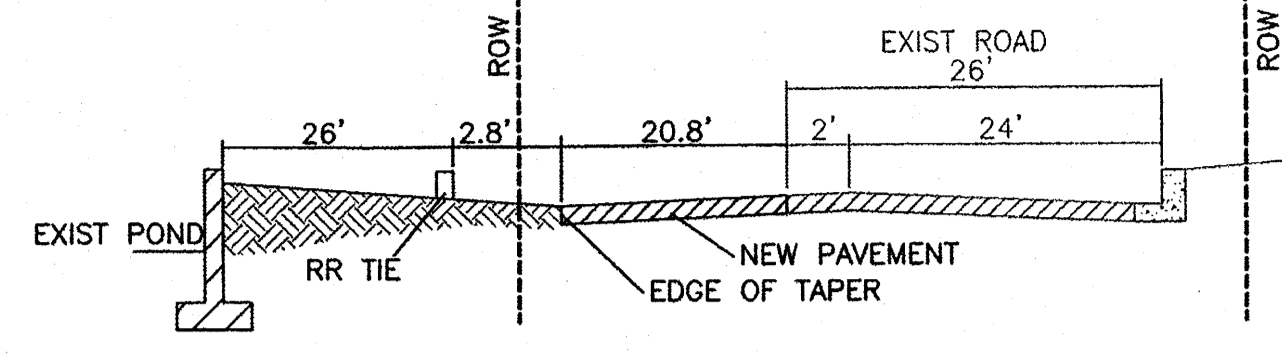
- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING SD MANHOLE
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- EXISTING SAS MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING POWER POLE
- EXISTING GAS VALVE
- EXISTING GAS
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING STORM SEWER LINE
- WATER BLOCK
- FLOW DIRECTION



	ALBUQUERQUE SPORTING CENTER GRADING AND DRAINAGE PLAN	DRAWN BY pm DATE 1-31-13 DRAWING 2012086-GRE
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrewestllc.com	SHEET # 4 JOB # 2012086

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



EXISTING DRAINAGE

THE SITE IS CURRENTLY VACANT AND DRAINS FROM THE WEST TO EAST. IT IS BOUND BY PASEO DEL NORTE ON THE SOUTH AND EAST, PARADISE BOULEVARD ON THE NORTH AND AN EXISTING BUILDING ON THE WEST AND CONTAINS APPROXIMATELY 3.48 ACRES. THE STORM WATER FROM THIS SITE FLOWS INTO PARADISE BOULEVARD AND CONTINUES EAST TO A POND LOCATED BEHIND THE MOVIE THEATER. FROM THERE THE WATER IS CONVEYED TO AN AMAFCA POND LOCATED ON THE EAST SIDE OF COORS BOULEVARD. THE SITE FALLS WITHIN THE NORTH COORS DRAINAGE MANAGEMENT PLAN MIDDLE AREA AND THE EXISTING AMAFCA POND IS SIZED TO ACCEPT DEVELOPED FLOWS FROM THIS SITE.

PROPOSED DRAINAGE

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Weighted E Method

Basin	Area (sf)	Area (acres)	Treatment A				Treatment B				Treatment C				Treatment D				Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)								
1	35,404	0.81	0%	0	27%	0.22	0%	0.00	73%	0.59	1.619	0.110	3.04	0.965	0.065	1.88								
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3	25,423	0.58	0%	0	32%	0.19	0%	0.00	68%	0.40	1.554	0.076	2.11	0.914	0.044	1.29								
4	5,115	0.12	0%	0	100%	0.12	0%	0.00	0%	0.00	0.670	0.007	0.24	0.220	0.002	0.09								

Equations:
 Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)
 Volume = Weighted E * Total Area
 Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Excess Precipitation, E (inches)			Peak Discharge (cfs/acre)		
Zone	100-Year	10-Year	Zone	100-Year	10-Year
E _a	0.44	0.08	Q _a	1.29	0.24
E _b	0.67	0.22	Q _b	2.03	0.76
E _c	0.99	0.44	Q _c	2.87	1.49
E _d	1.97	1.24	Q _d	4.37	2.89

First Flush Volume Calculations		
Basin	Impervious Area (Acre)	Volume Required (Ac-ft)
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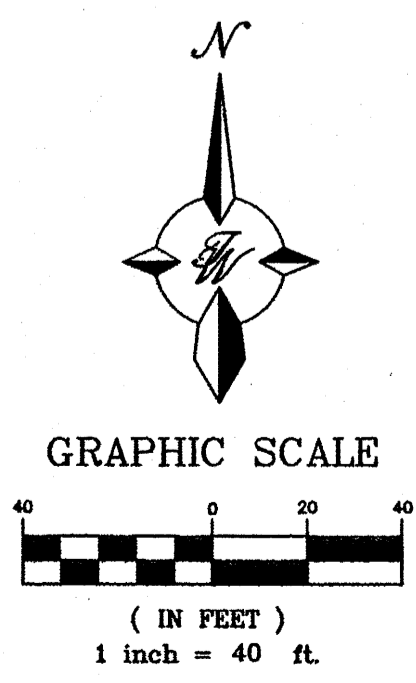
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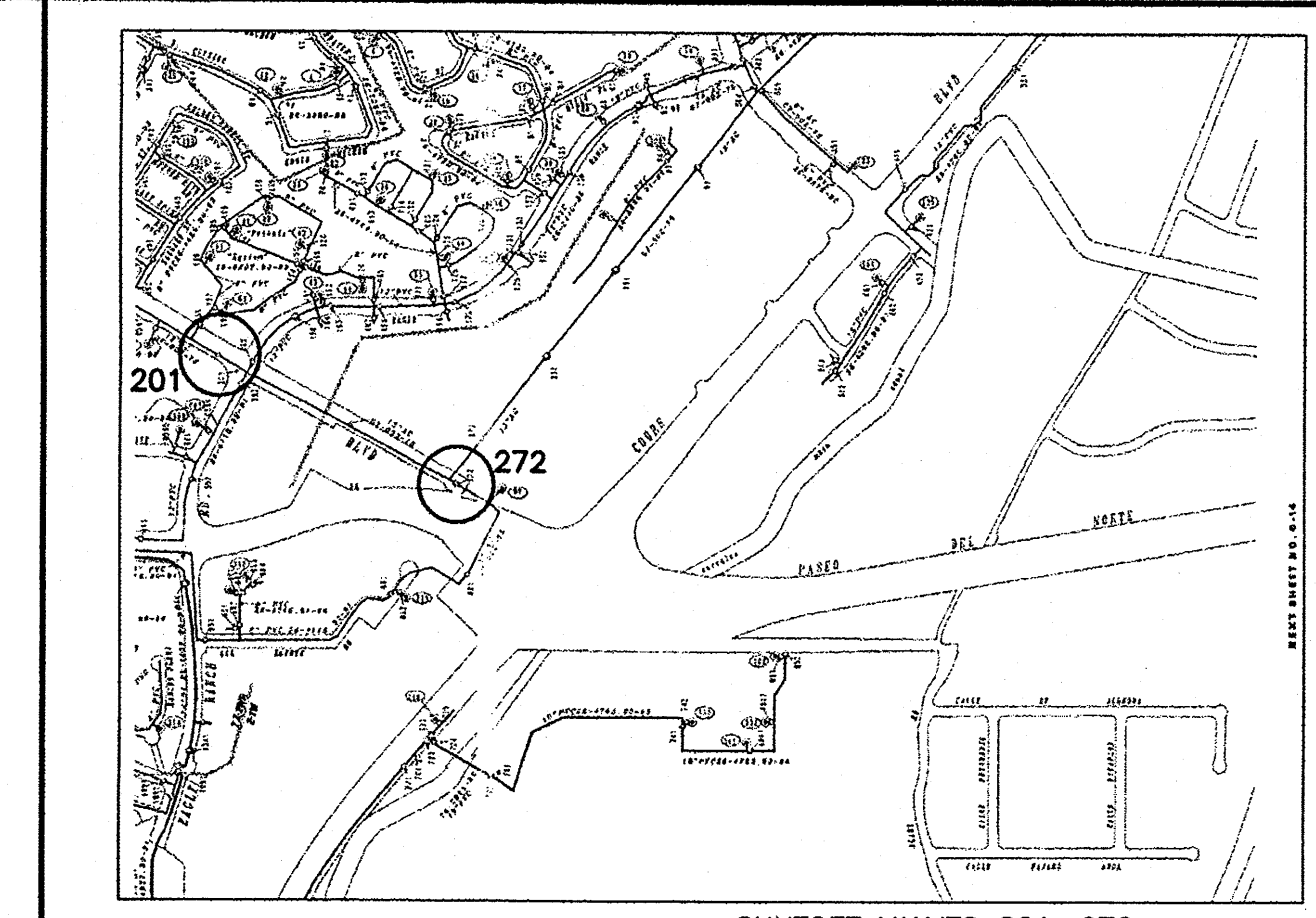
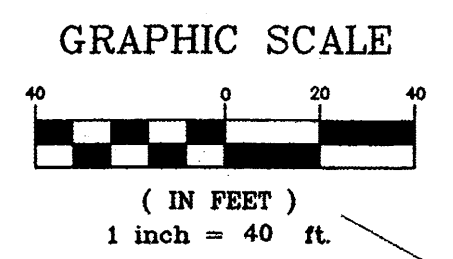
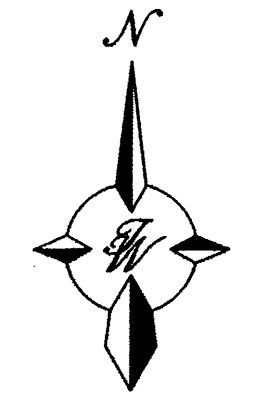
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LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING SD MANHOLE
- EXISTING INLET
- EXISTING SAS MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING POWER POLE
- EXISTING GAS VALVE
- EX. 2" GAS
- EX. 8" SAS
- EX. WL
- EX. RCP
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING STORM SEWER LINE
- WATER BLOCK
- FLOW DIRECTION

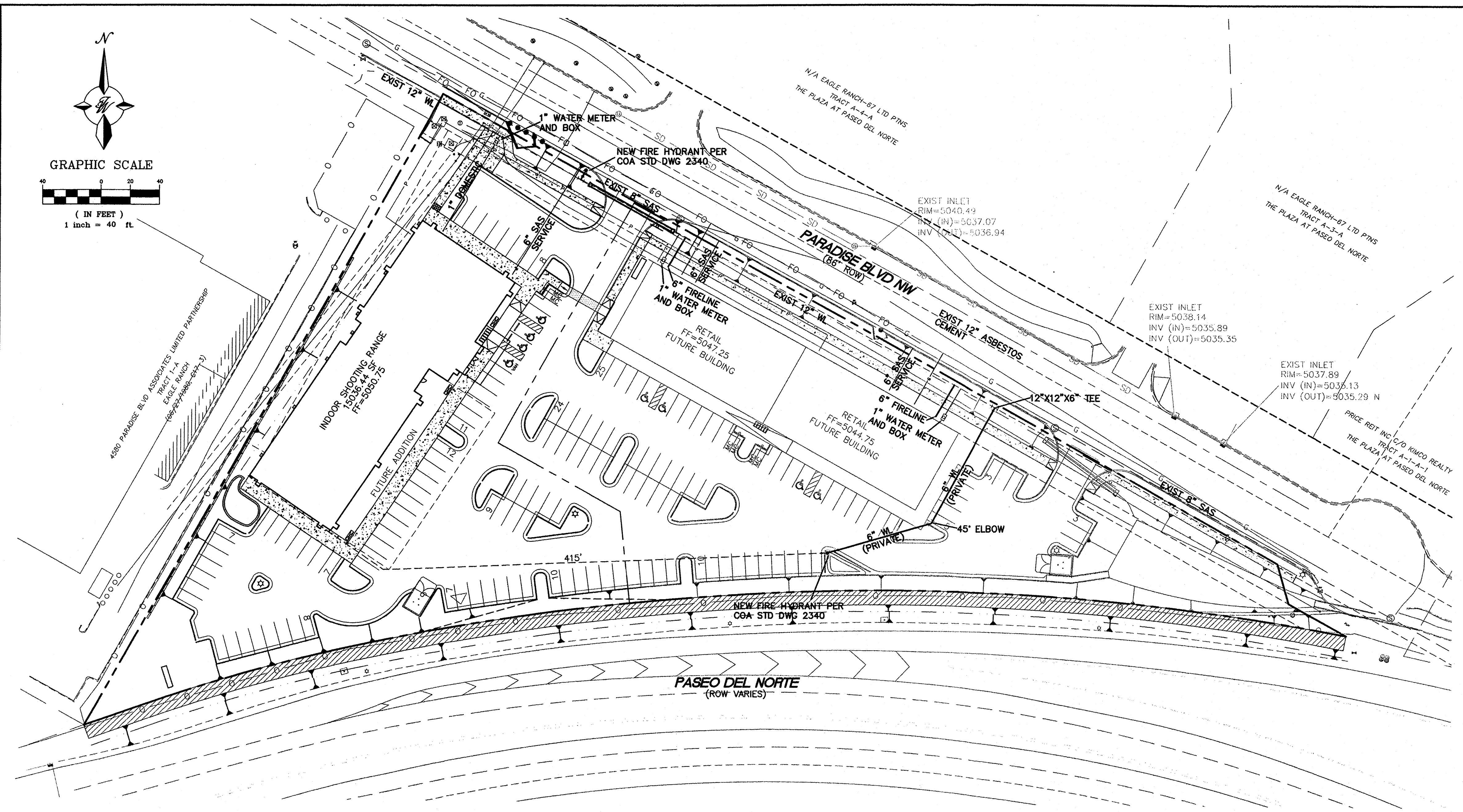


	ALBUQUERQUE SPORTING CENTER INTERIM GRADING AND DRAINAGE PLAN	DRAWN BY pm DATE 1-31-13 DRAWING 2012086-GRE SHEET # 4-A JOB # 2012086
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	



WATER SHUTOFF PLAN SHUTOFF VALVES 201, 272

THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463/729/](http://abcwua.org/content/view/full/463/729/).

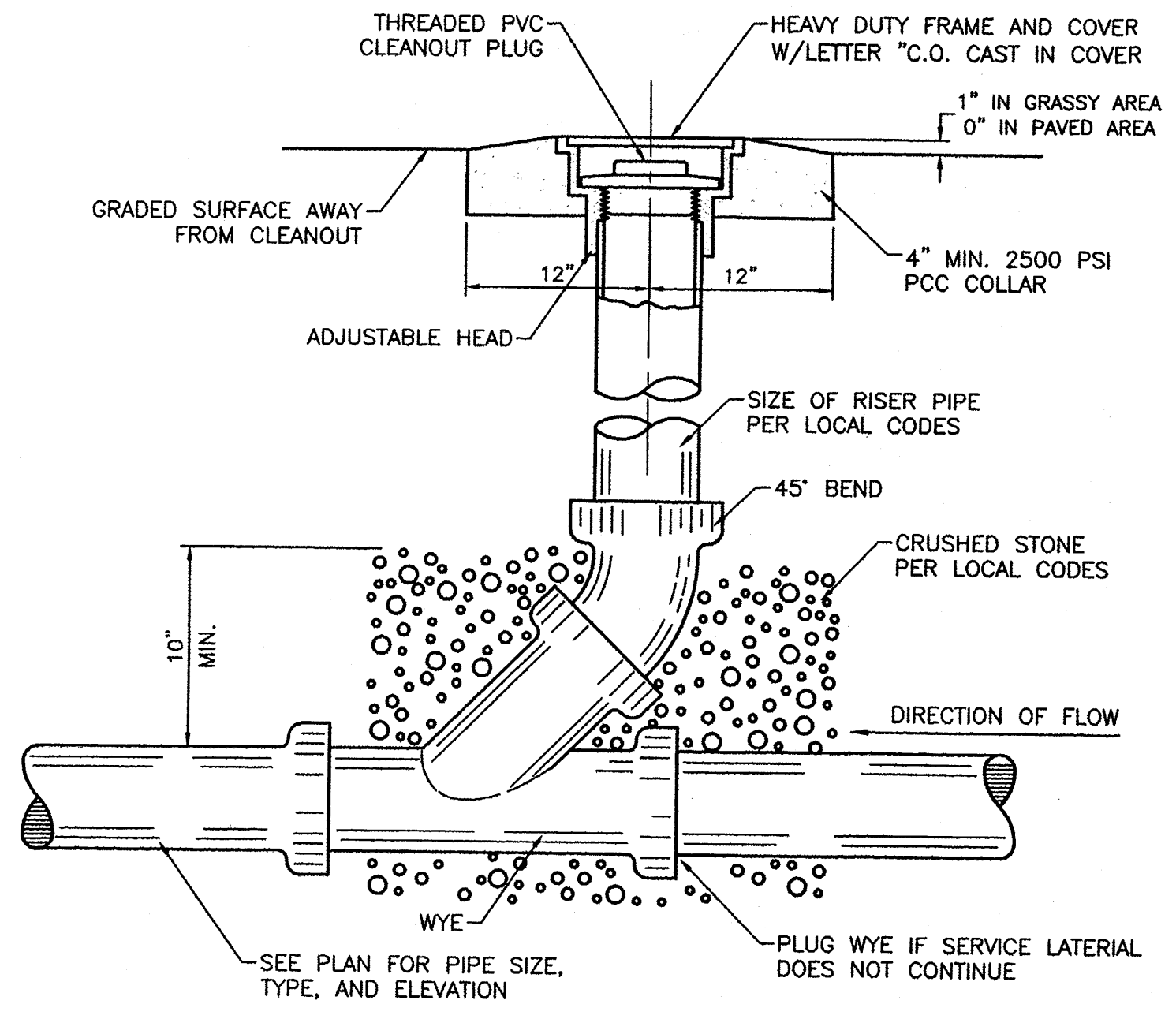


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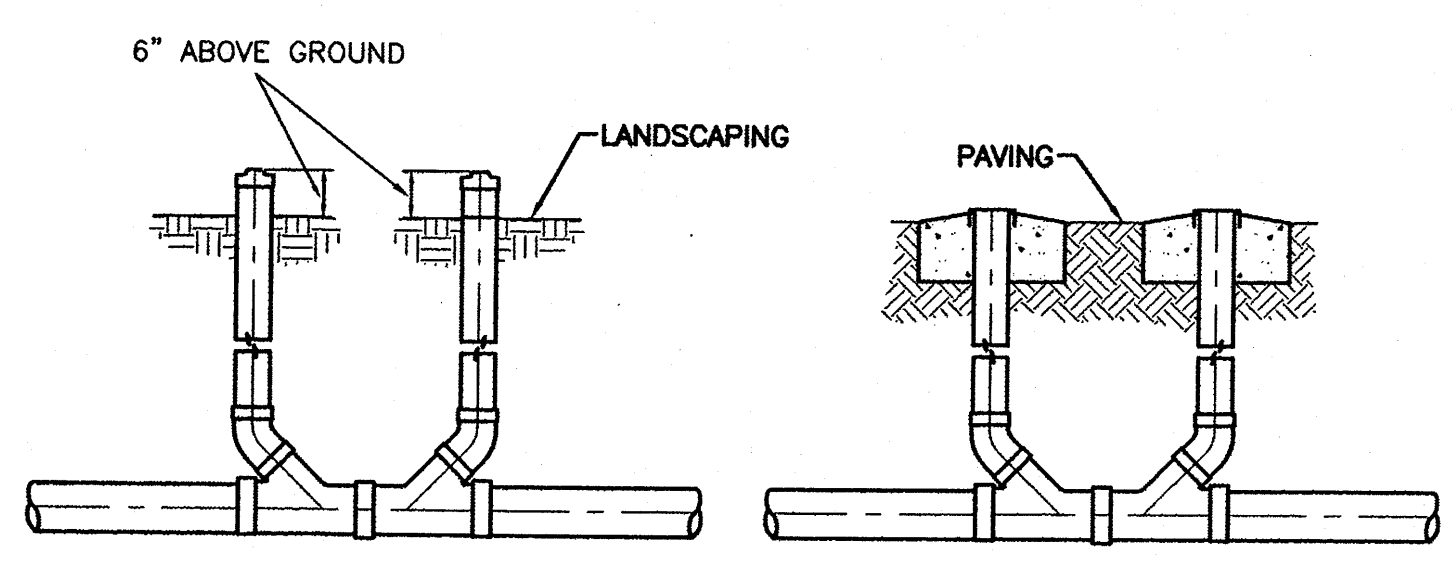
- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - BUILDING
- - - SIDEWALK
- - - EXISTING CURB & GUTTER
- - - 36" SD - STORM SEWER LINE
- - - 8" SAS - SANITARY SEWER LINE
- - - 8" WL - WATERLINE
- SINGLE CLEAN OUT
- ⊙ DOUBLE CLEAN OUT
- ⊙ EXISTING SD MANHOLE
- ⊙ EXISTING INLET
- ⊙ EXISTING SAS MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER METER
- ⊙ EXISTING POWER POLE
- ⊙ EXISTING GAS VALVE
- G — EXISTING GAS
- - - EX. 8" SAS - EXISTING SANITARY SEWER LINE
- - - EX. WL - EXISTING WATER LINE
- - - EX. SD - EXISTING STORM SEWER LINE
- G PROPOSED GAS
- P PROPOSED POWER
- T PROPOSED TELEPHONE

GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
13. ALL BUILDINGS - CONSTRUCTION TYPE IS II-B



SANITARY SEWER CLEAN-OUT
NTS

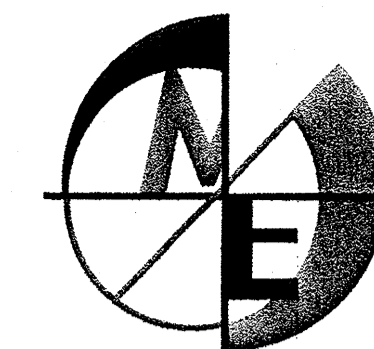


SANITARY SEWER DOUBLE CLEAN-OUTS
NTS

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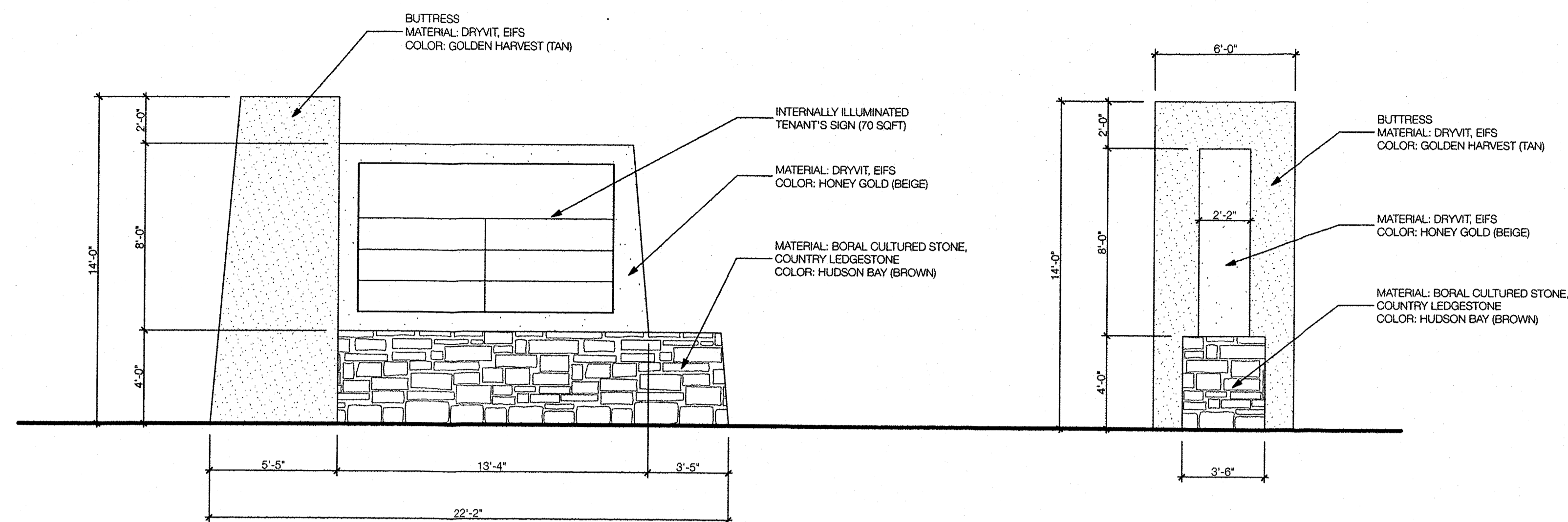
	ALBUQUERQUE SPORTING CENTER	DRAWN BY pm
	MASTER UTILITY PLAN	DATE 1-31-13
	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2012086-MUE
		SHEET # 5
RONALD R. BOHANNAN P.E. #7868		JOB # 2012086



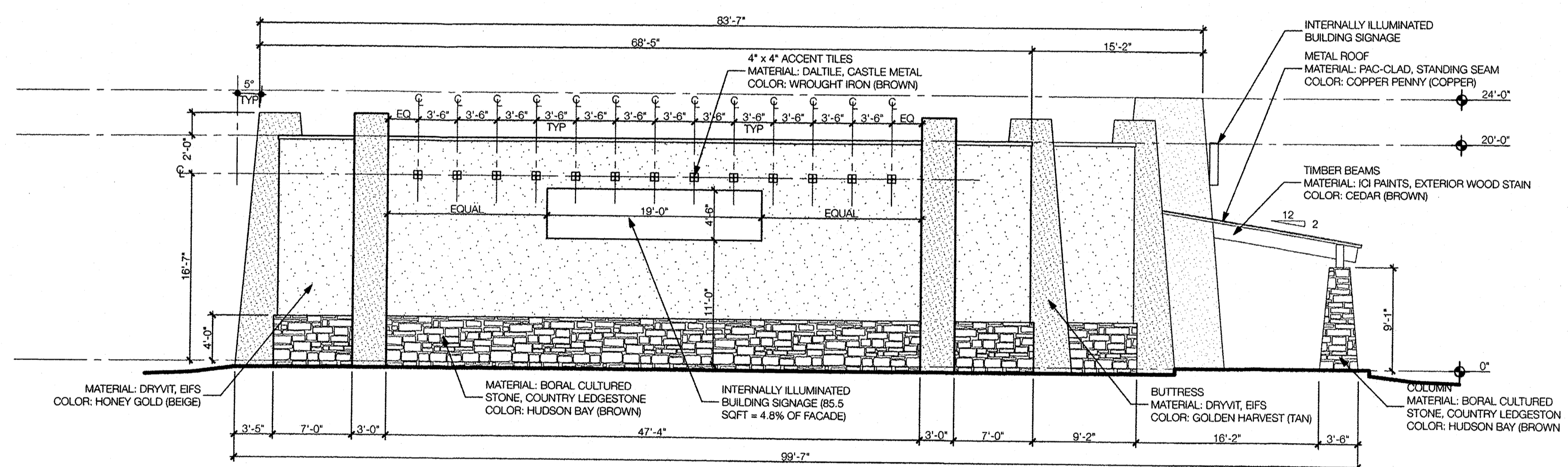
MIND'S EYE ARCHITECTURE

1950 Abbott Street, Suite 605
Charlotte, North Carolina 28203
Phone: 704.373.3101
Fax: 704.373.3103
www.mindseyearchitecture.net

A total of ten items of information allowed per premise frontage may be displayed on a combination of ground signs, wall signs, and projecting signs. Directional signs are not counted. An item of information means any of the following: a word, an abbreviation, a number, a symbol, or a geometric shape.



04 Signage 1/4" = 1'-0"



02 South Elevation 1/8" = 1'-0"

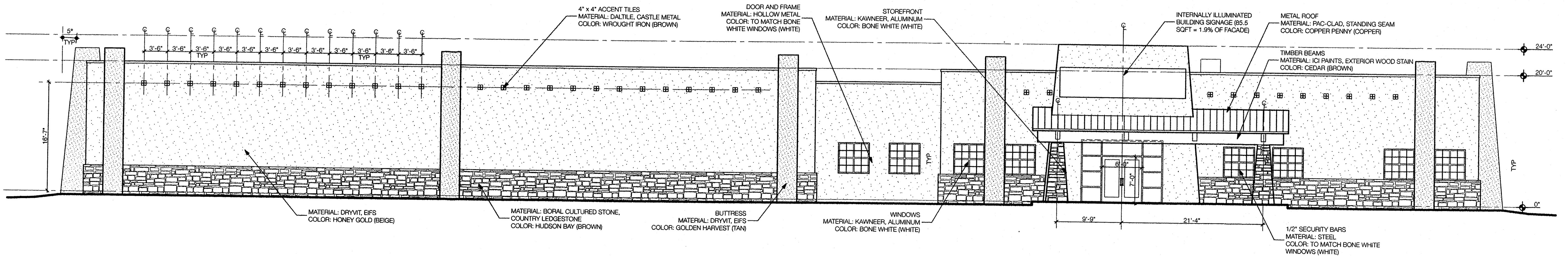


Albuquerque Sporting Center Albuquerque, New Mexico

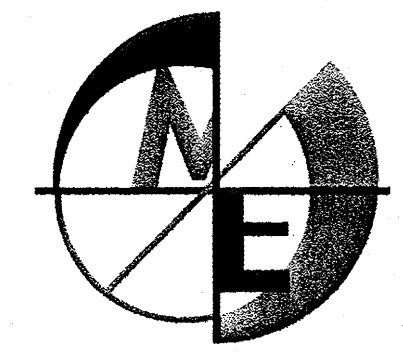
ISSUE DATE: March 6, 2013
PROJECT STATUS: Design Development
PROJECT NUMBER: 13-002
REVISIONS:

EXTERIOR ELEVATIONS

A2.01

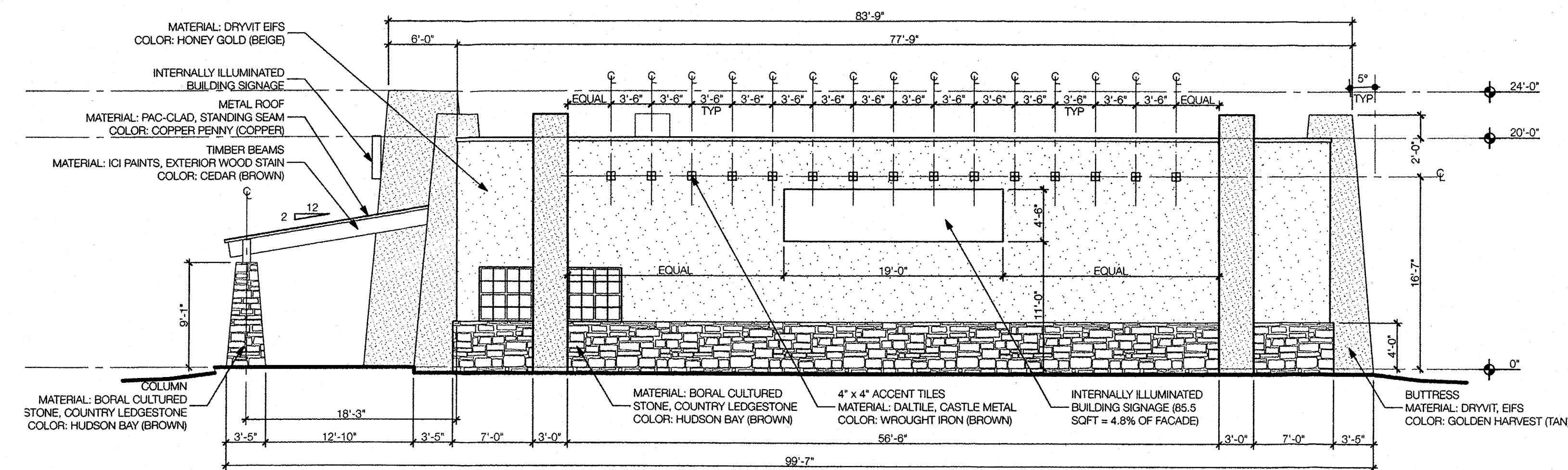


01 East Elevation 1/8" = 1'-0"

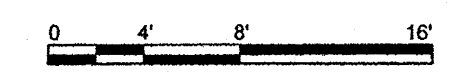


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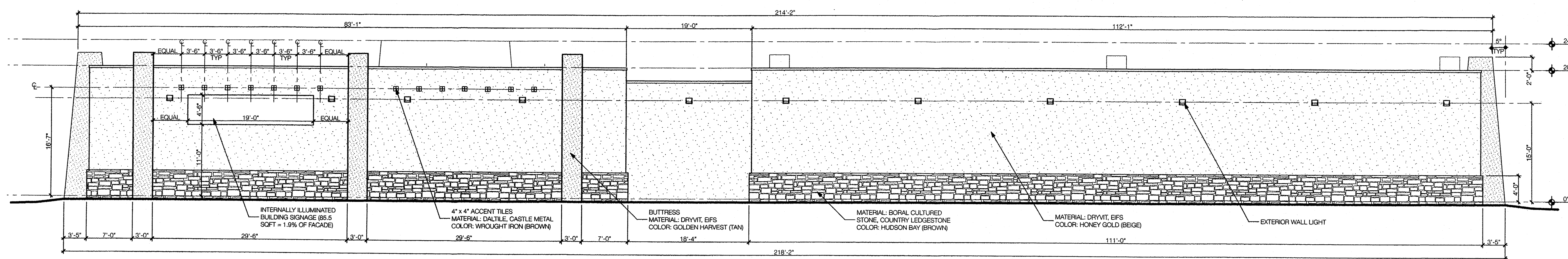


03 North Elevation 1/8" = 1'-0"



Albuquerque Sporting Center Albuquerque, New Mexico

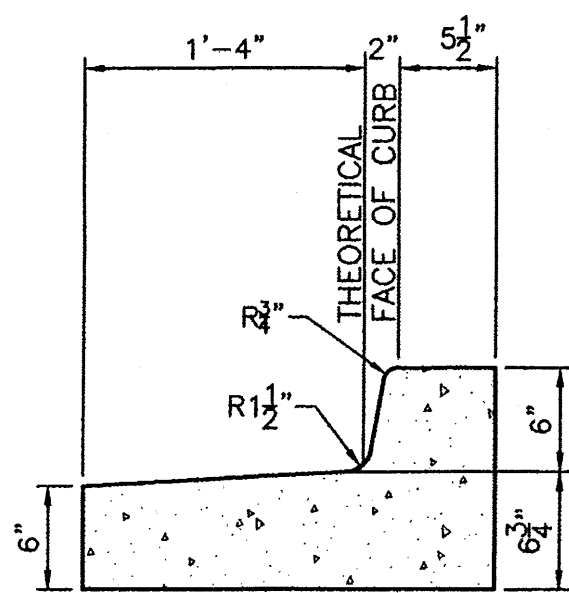
ISSUE DATE: March 6, 2013
PROJECT STATUS: Design Development
PROJECT NUMBER: 13-002
REVISIONS:



01 West Elevation 1/8" = 1'-0"

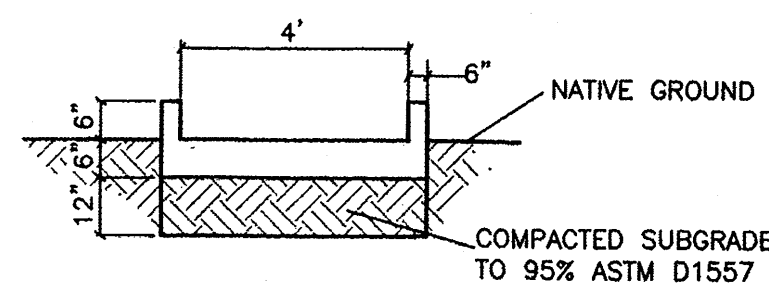
EXTERIOR ELEVATIONS

A2.02

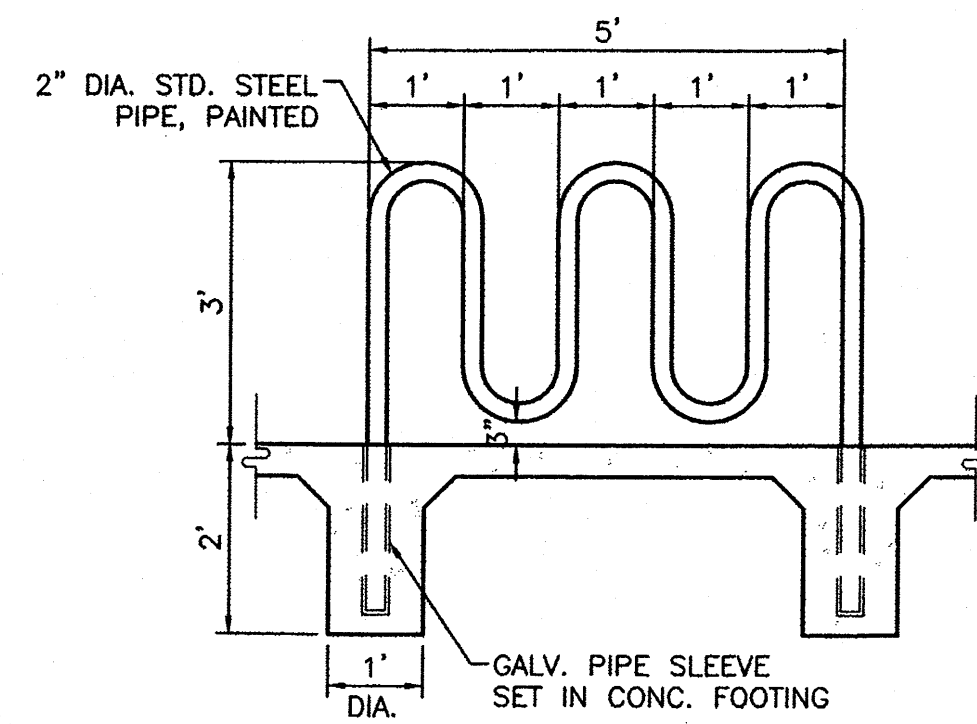


CURB GENERAL NOTES:
 1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
 2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS. SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
 3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIIUS EDGING TOOL.
 4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

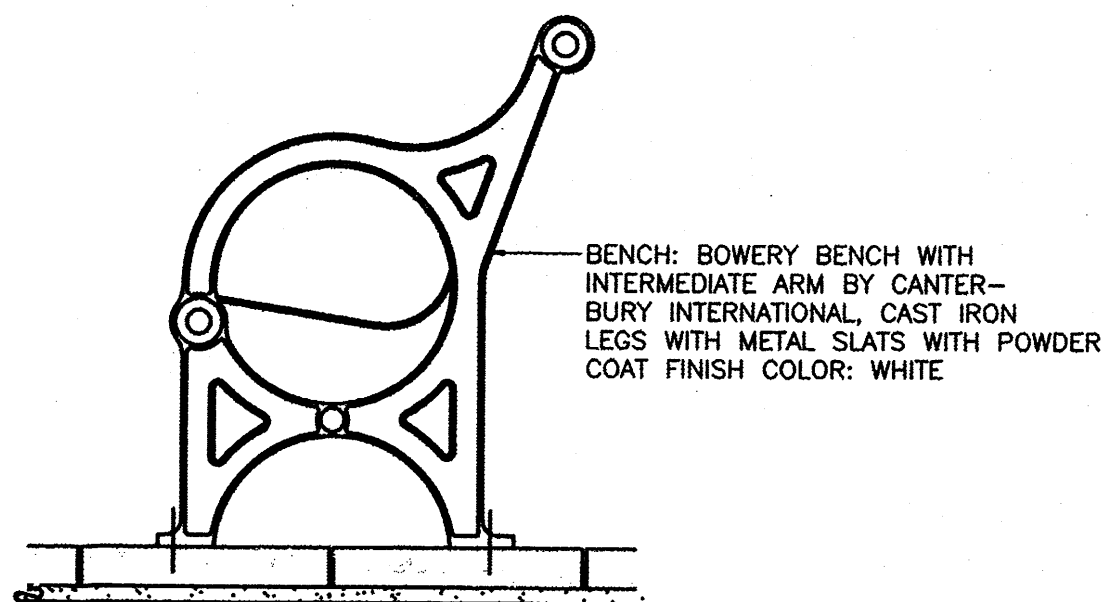
STANDARD CURB / GUTTER
NTS



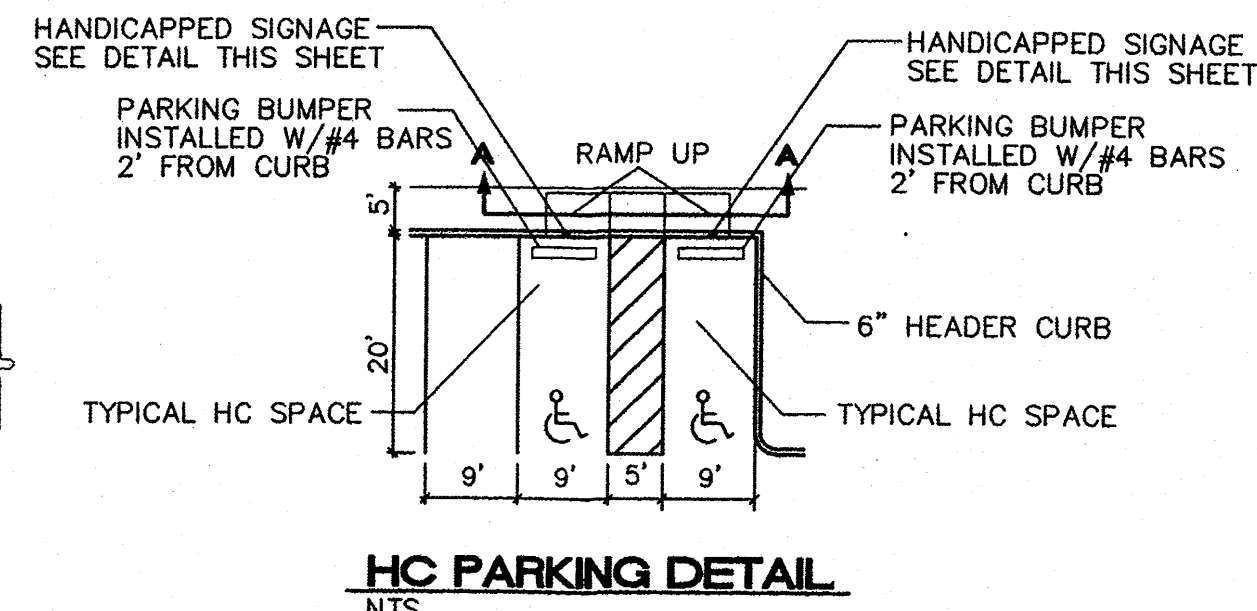
CONCRETE RUNDOWN DETAIL
NTS



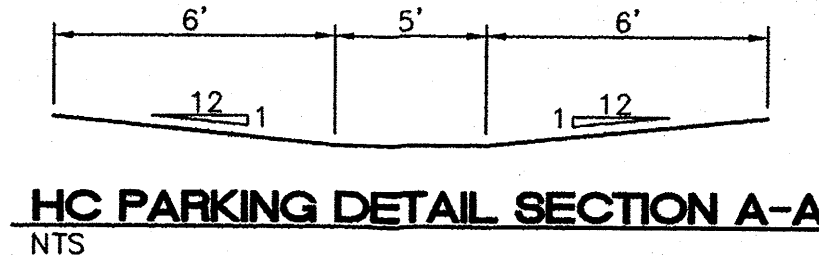
BIKE RACK DETAIL
NTS



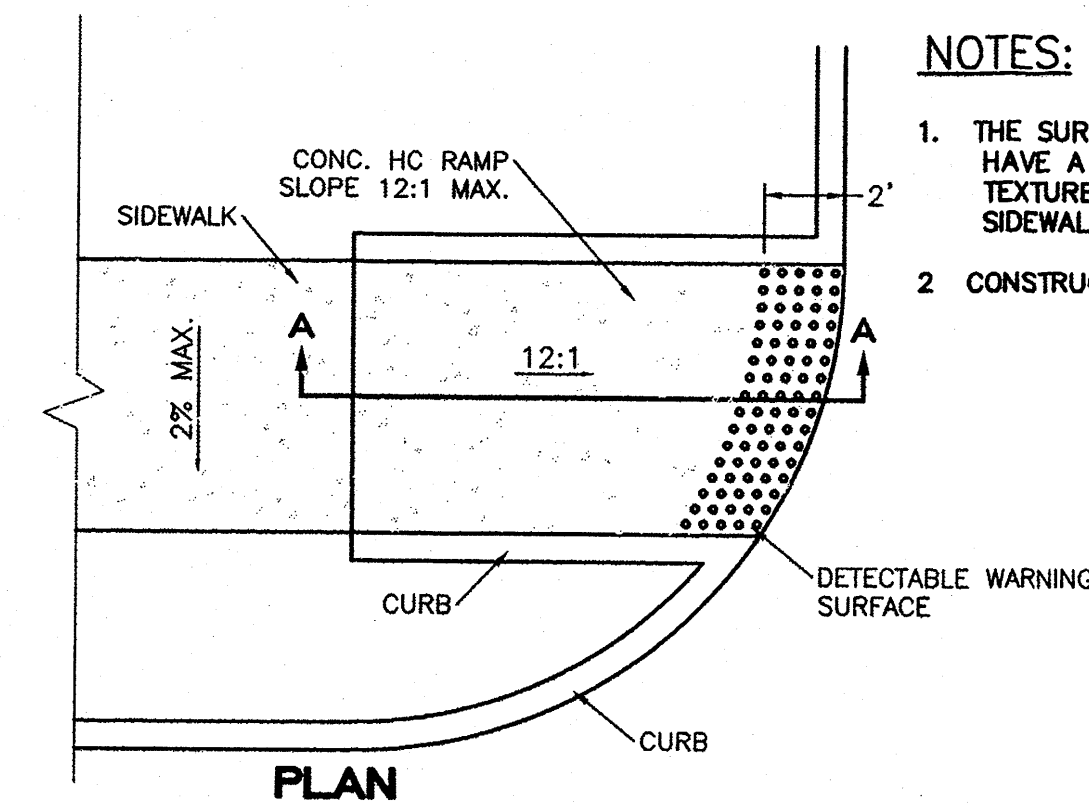
BENCH AND RECEPACLE CONC. CONNECTION
NTS



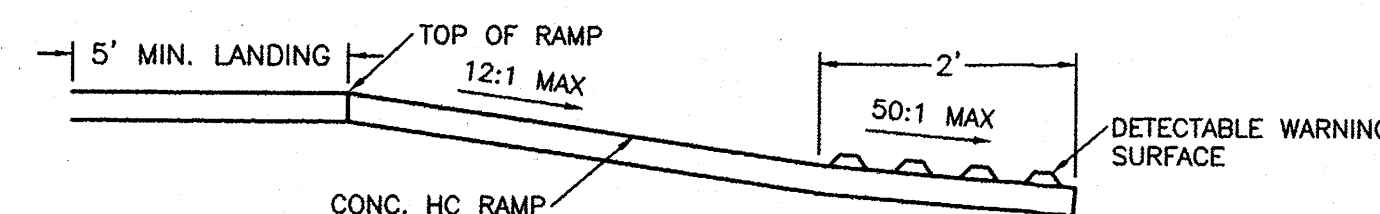
HC PARKING DETAIL
NTS



HC PARKING DETAIL SECTION A-A
NTS



PLAN

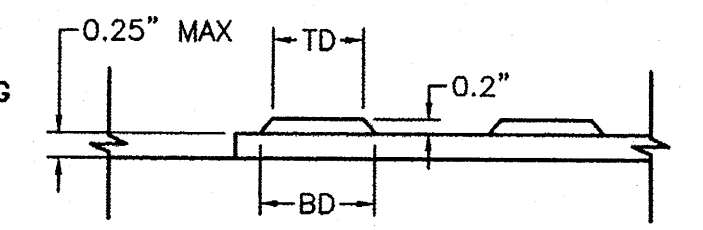


SECTION A-A

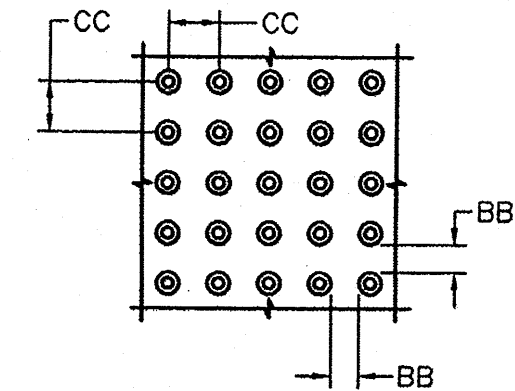
UNIDIRECTIONAL HC RAMP
NOT TO SCALE

NOTES:

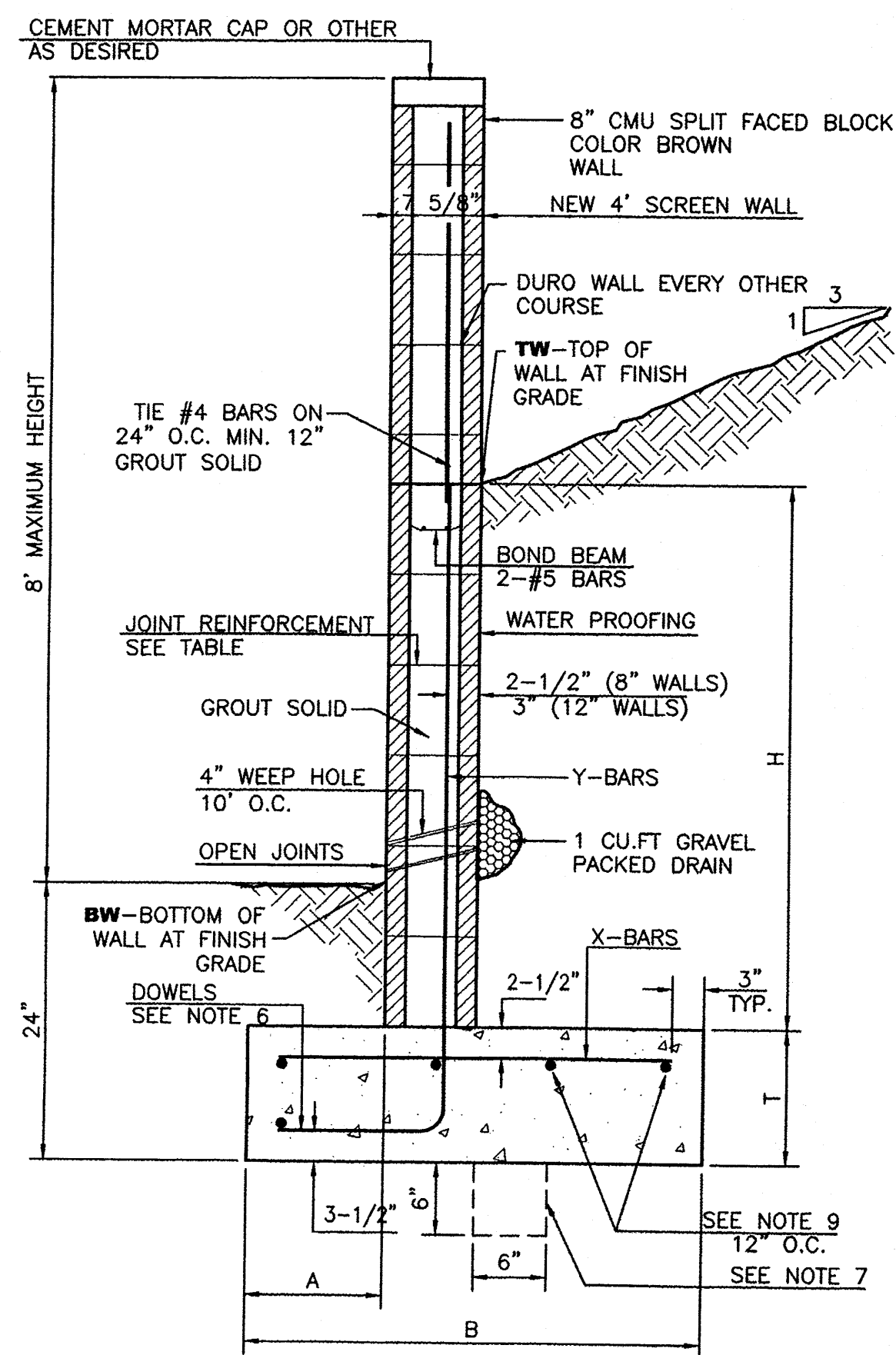
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. CONSTRUCT PER A.D.A. STANDARDS.



DOMES SECTION
 BD - BASE DIAMETER 0.9" MIN
 TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



DOMES SPACING
 CC - CENTER TO CENTER SPACING 2.35"
 BB - BASE TO BASE SPACING 1.48" MIN



RETAINING WALL DETAIL
NTS

8 INCH REINFORCED CONCRETE MASONRY WALL

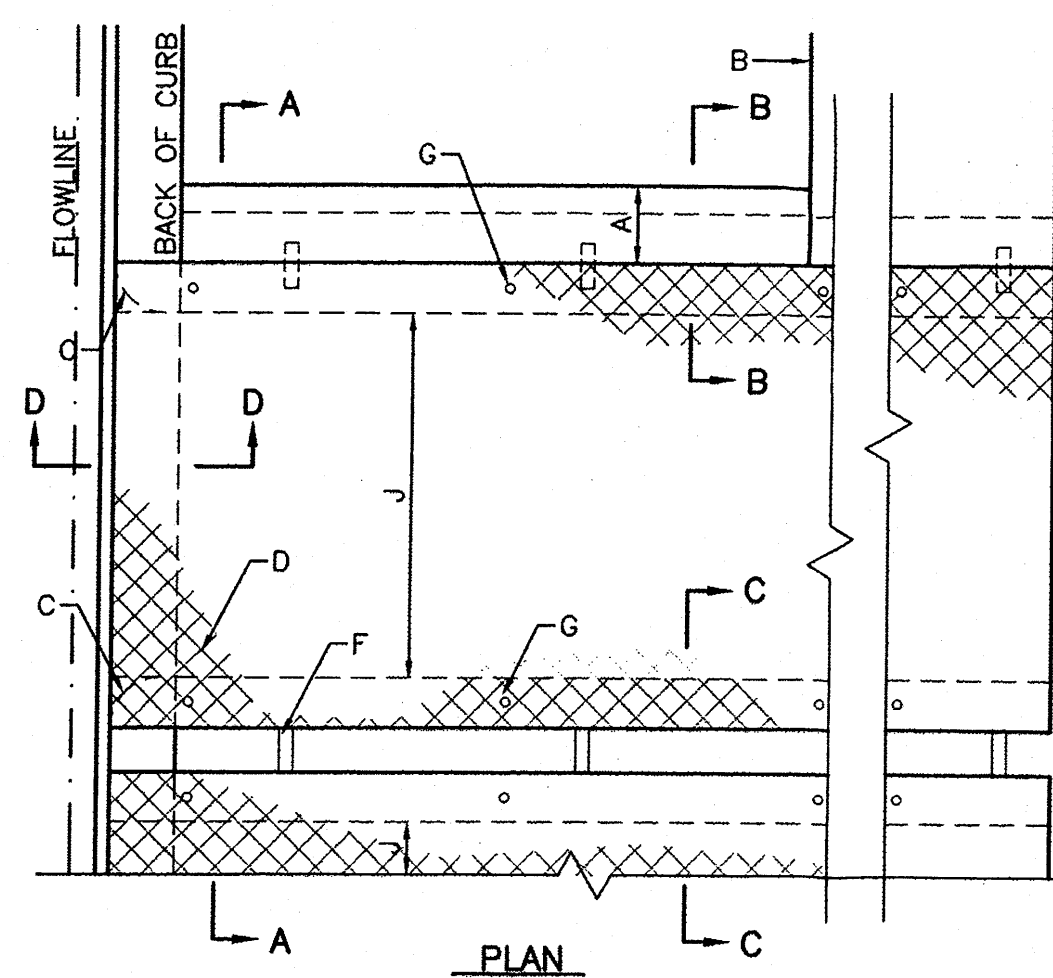
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

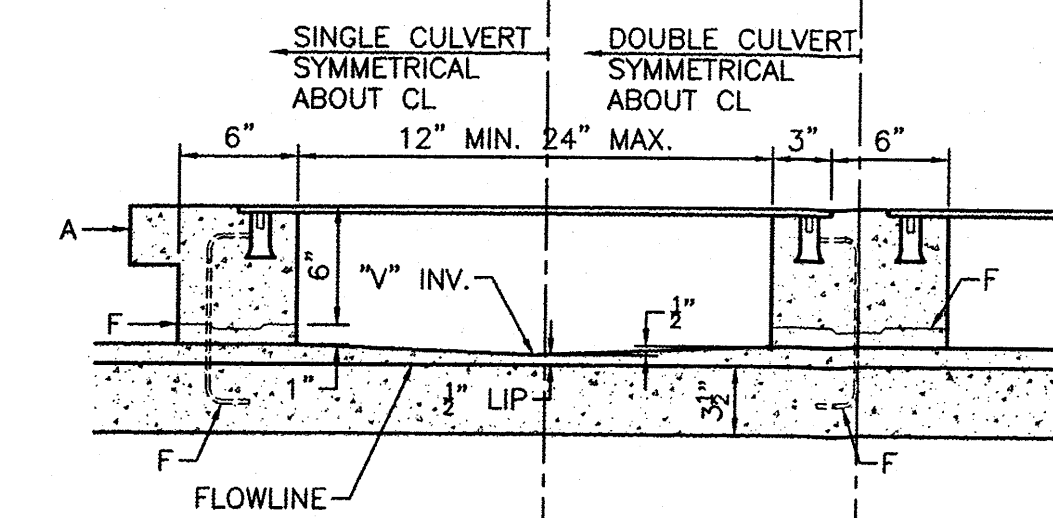
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#5 @18" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

GENERAL NOTES:

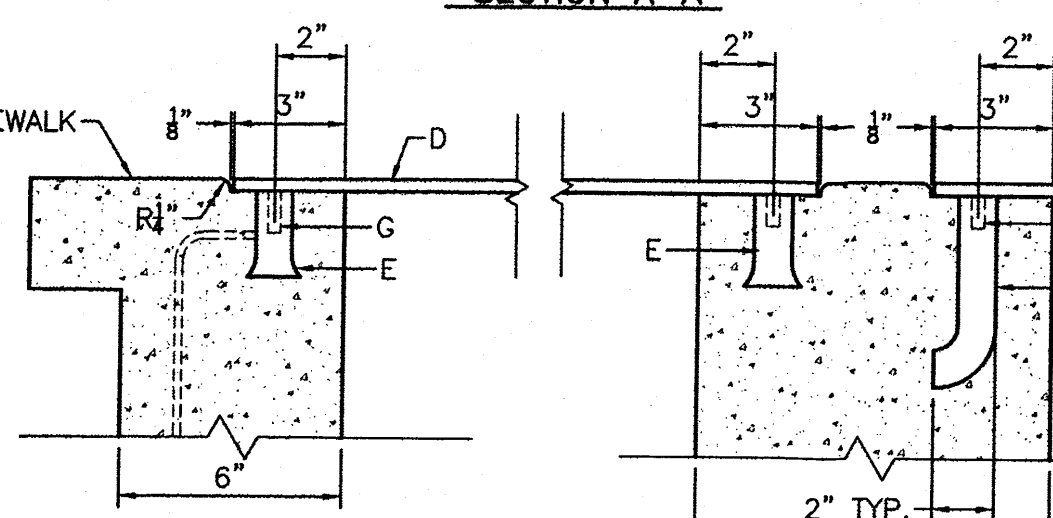
1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS. SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
9. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



PLAN



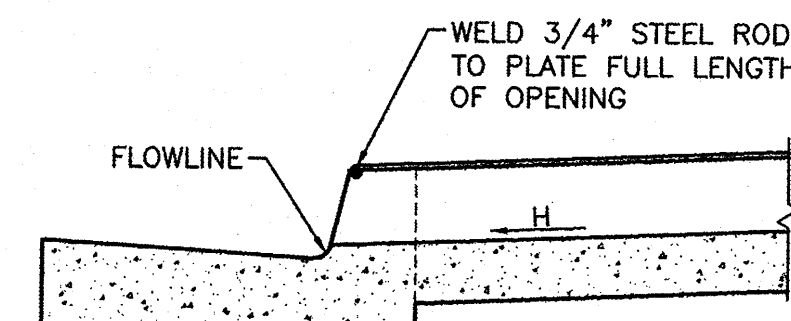
SECTION A-A



SECTION B-B

SECTION C-C

SIDEWALK CULVERT DETAIL
NTS



SECTION D-D

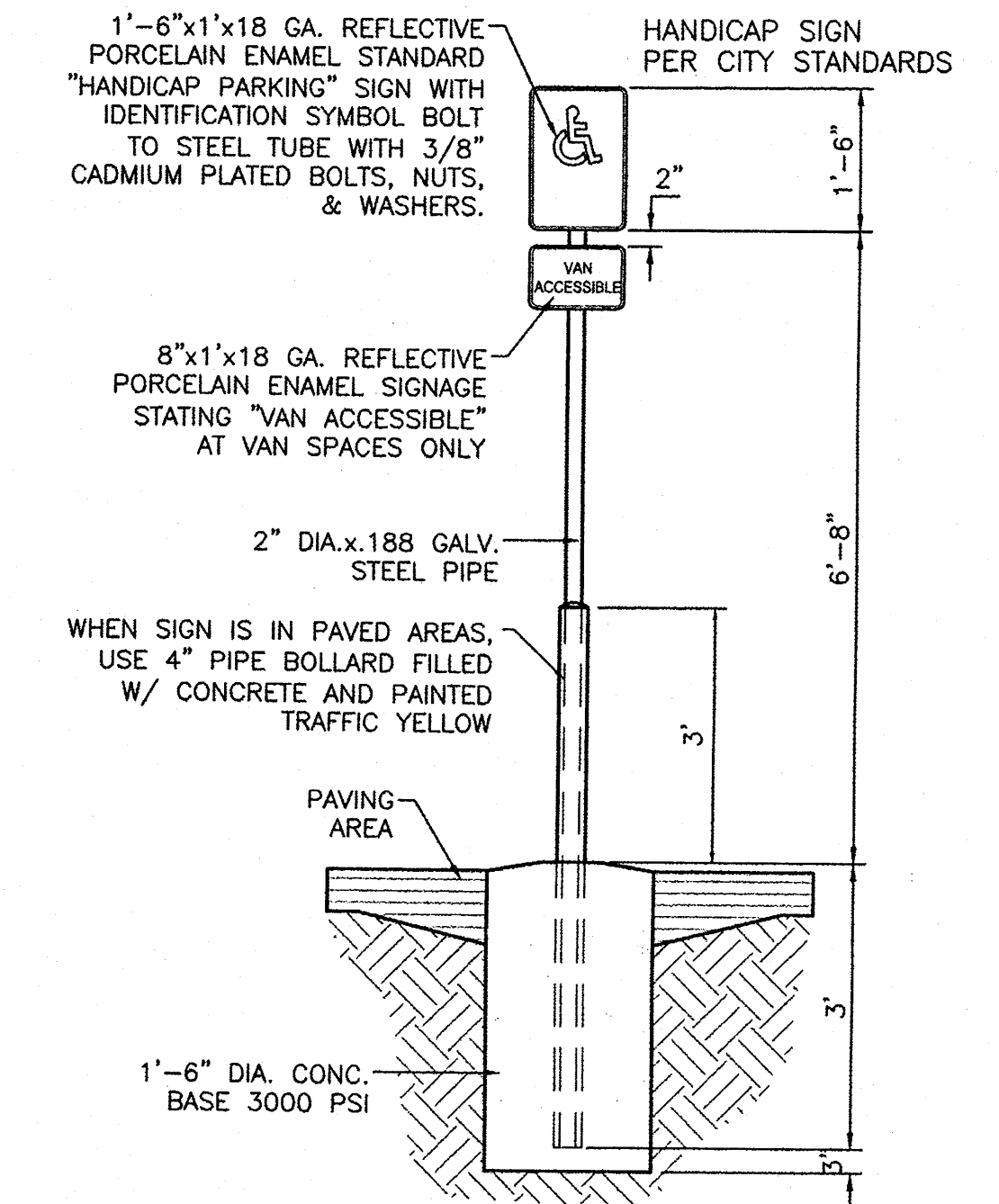
DOWEL DETAIL

GENERAL NOTES:

1. PLACING OF DRAIN THRU EX. SIDEWALK AND C&G REQUIRES THAT ENTIRE STONES BE REMOVED AND REPLACED AS DETAILED.
2. BOTTOM SLAB OF CULVERT SHALL BE POURED MONOLITHICALLY WITH NEW GUTTER.
3. THE INVERT SHALL BE TROWELED TO PRODUCE A HARD POLISHED SURFACE OF MAX DENSITY AND SMOOTHNESS. INVERT SHALL BE V-SHAPED TO WITHIN 3" OF OUTLET, THEN WARPED TO PARALLEL FLOWLINE AT OUTLET.
4. ALL EXPOSED CONC. SURFACE SHALL MATCH GRADE, COLOR, FINISH AND SCORING OF ADJACENT CURB AND SIDEWALK.
5. SIDEWALK REPLACED DURING CONSTRUCTION SHALL BE POURED MONOLITHICALLY WITH CULVERT WALLS.
6. IF ROD ANCHORS ARE USED, DRILL & TAP FOR F.H. MACHINE SCREW. ATTACH ANCHORS TO PLATE AND SECURE PLATE IN PLACE PRIOR TO POURING WALLS.
7. LENGTH OF EACH PLATE SHALL BE SUCH THAT THE WEIGHT WILL NOT EXCEED 300LBS, AND SHALL BE STRESS RELIEVED AFTER FABRICATION. CLEAN SURFACE OF PLATE AND FRAMING MEMBERS AND PAINT W/ONE SHOP COAT RED OXIDE AND TWO FINISH COATS ALUMINUM PAINT (AASHTO M 69)
8. THE CITY WILL NOT ASSUME RESPONSIBILITY FOR MAINTENANCE OF ANY SIDEWALK CULVERT INSTALLED BY OR FOR PRIVATE PROPERTY OWNERS

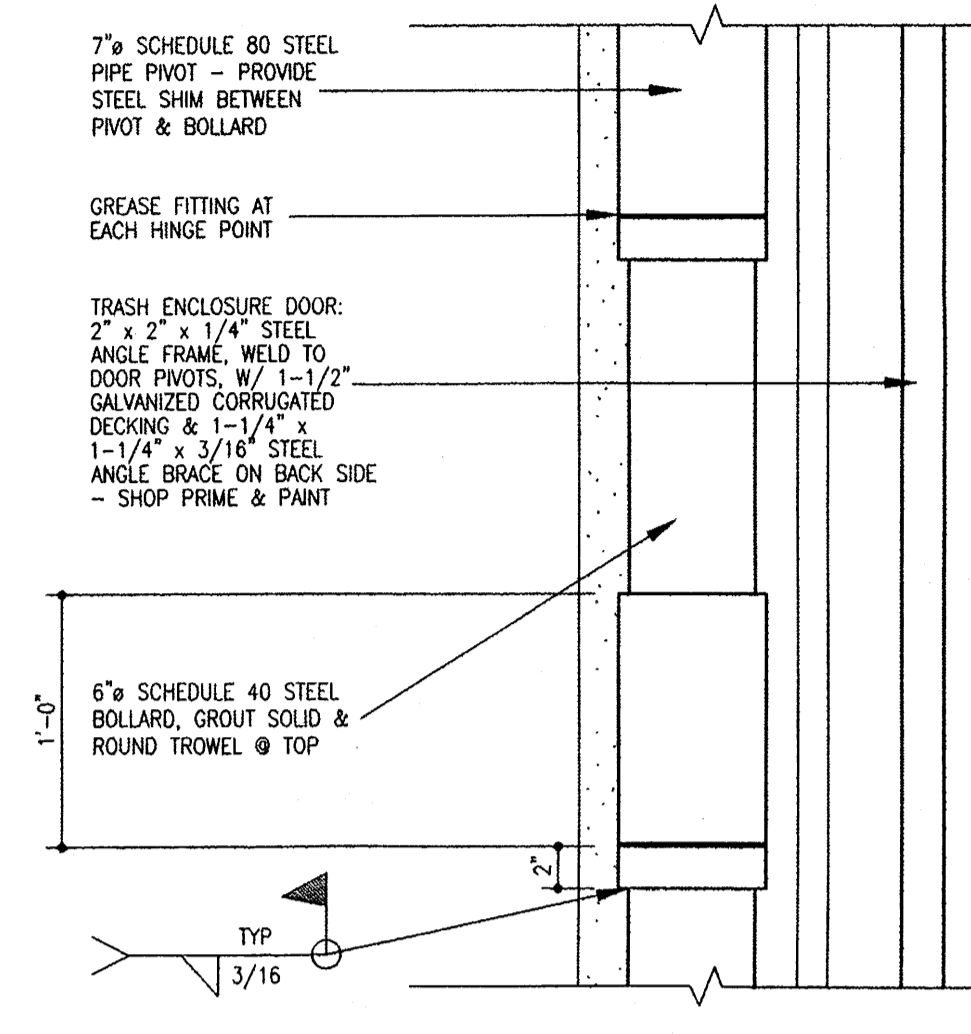
CONSTRUCTION NOTES:

- A. MATCH NEAREST CONTROL JOINT, INSTALL 1/2" EXPANSION JOINT
- B. EDGE OF SIDEWALK OR SETBACK
- C. 3" RADIUS
- D. 3/8" CHECKERED STEEL PLATE (PAINT PER NOTE 7, ABOVE)
- E. FOR SECURING PLATE USE 1"x5" S.S. ROD ANCHOR, "RED HEAD MULTI-SET II SRM-38 ANCHOR" OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S INSTRUCTIONS AT MAX. 24" O.C. A MIN. OF 2 PER SIDE AND ONE WITHIN 6" OF EACH OTHER
- F. CONSTRUCTION JOINT IS OPTIONAL. IF USED SPACE DOWELS AT 18" O.C. MAX. 1-1/2" MIN. FROM FACE OF CONC.
- G. 3/8" - 16x1-1/4" COUNTERSUNK, F.H. STAINLESS STEEL, MACHINE SCREW.
- H. SLOPE 1/4" PER FT. MIN.
- J. DRAIN WIDTH PER PLAN (12" MIN, 24" MAX.)

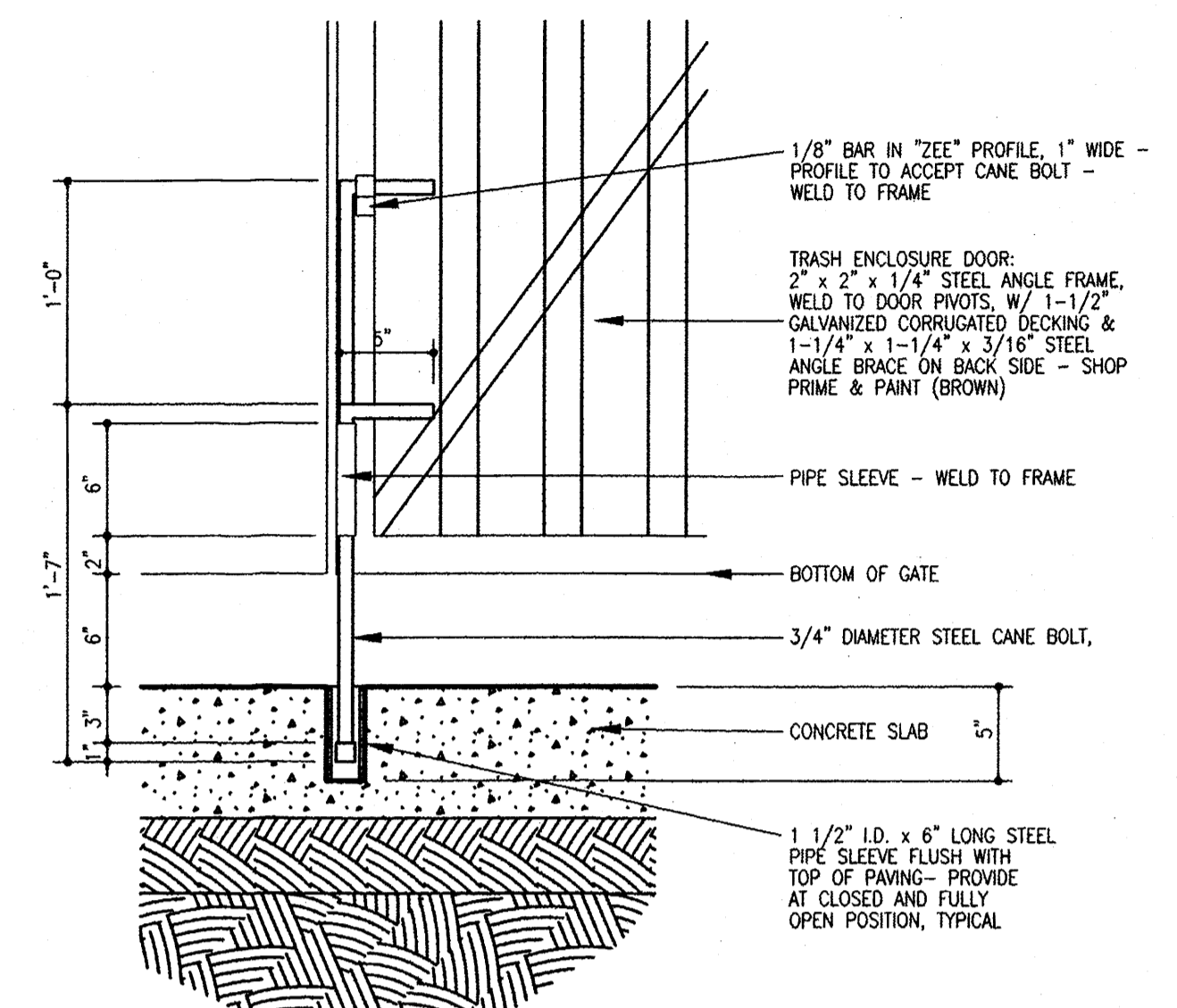


HANDICAP SIGN
NTS

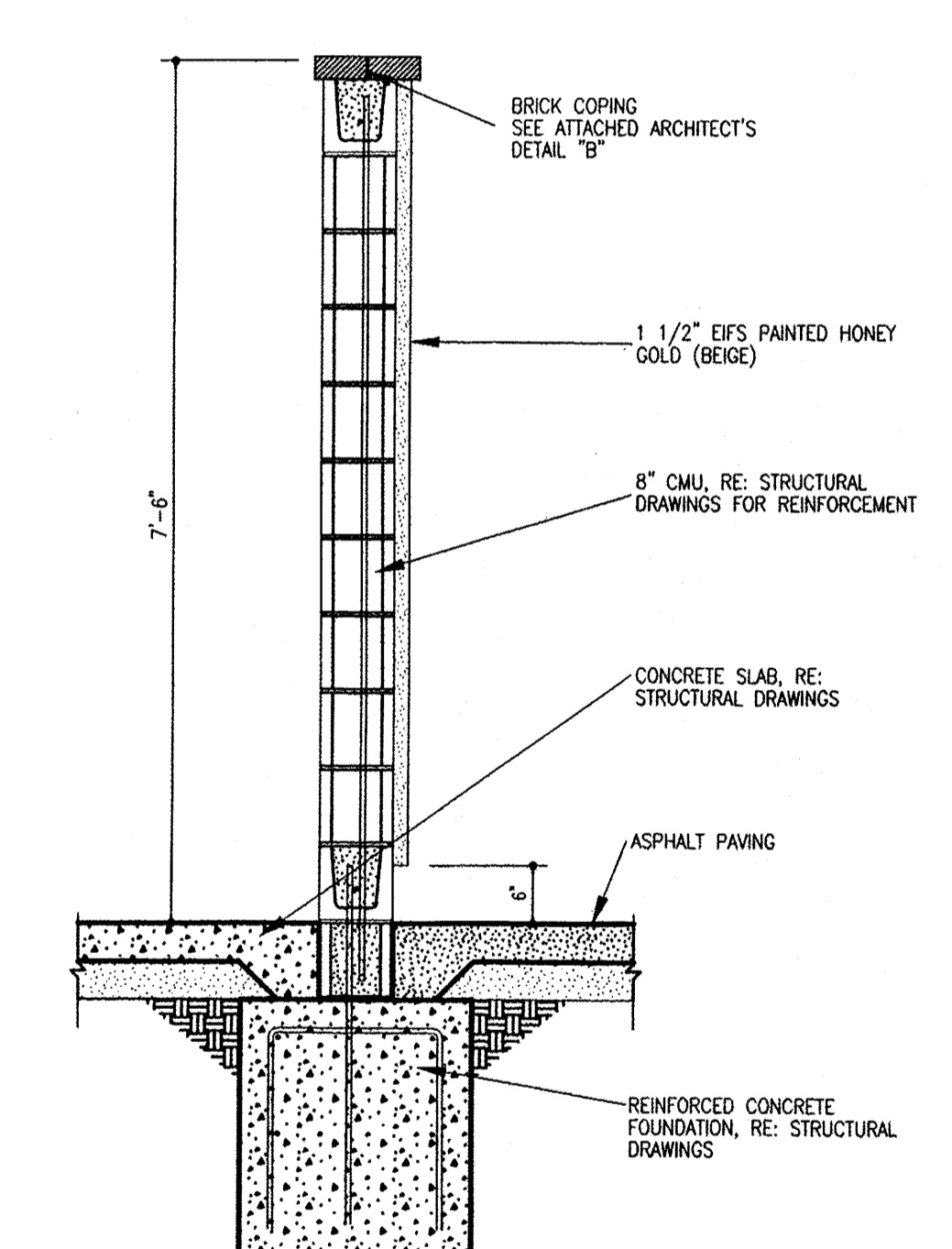
	ALBUQUERQUE SPORTING CENTER CONSTRUCTION DETAILS	DRAWN BY pmh DATE 1-31-13 DRAWING 2012086-DET
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # 6 JOB # 2012086



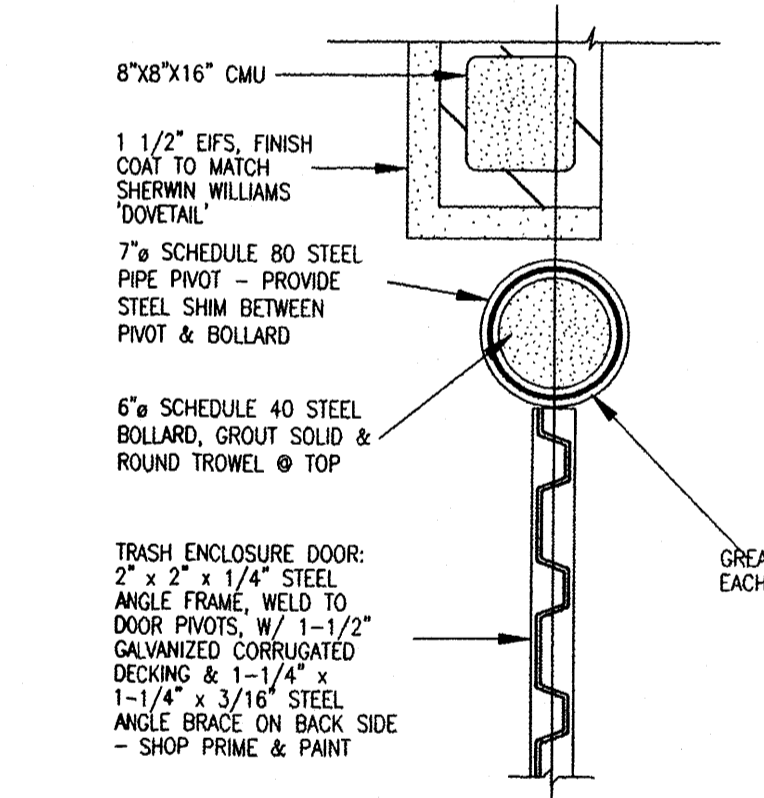
9 Dumpster Door Pivot
1/2" = 1'-0"



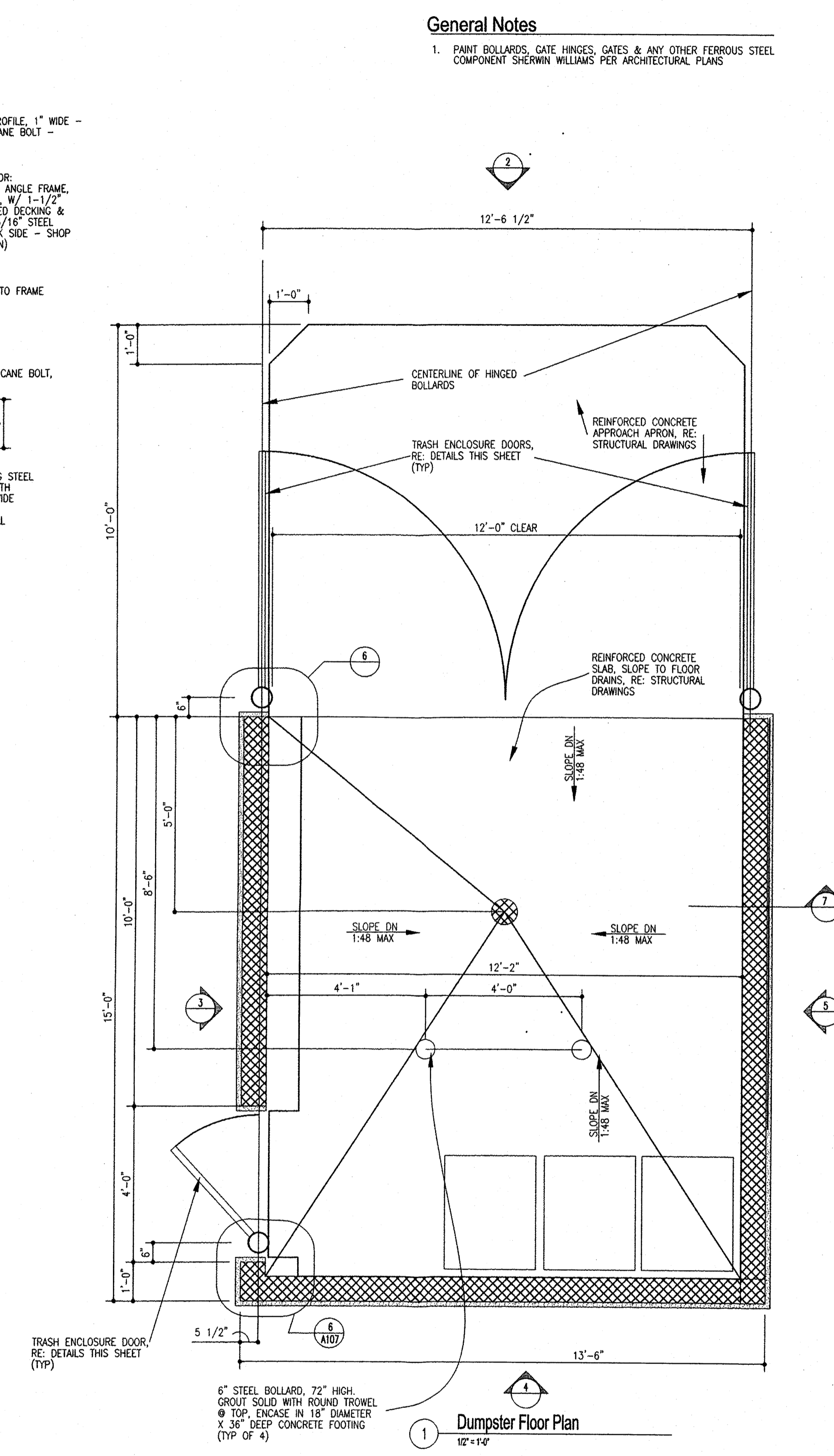
8 Cane Bolt Detail
1/2" = 1'-0"



7 Wall Section
3/4" = 1'-0"

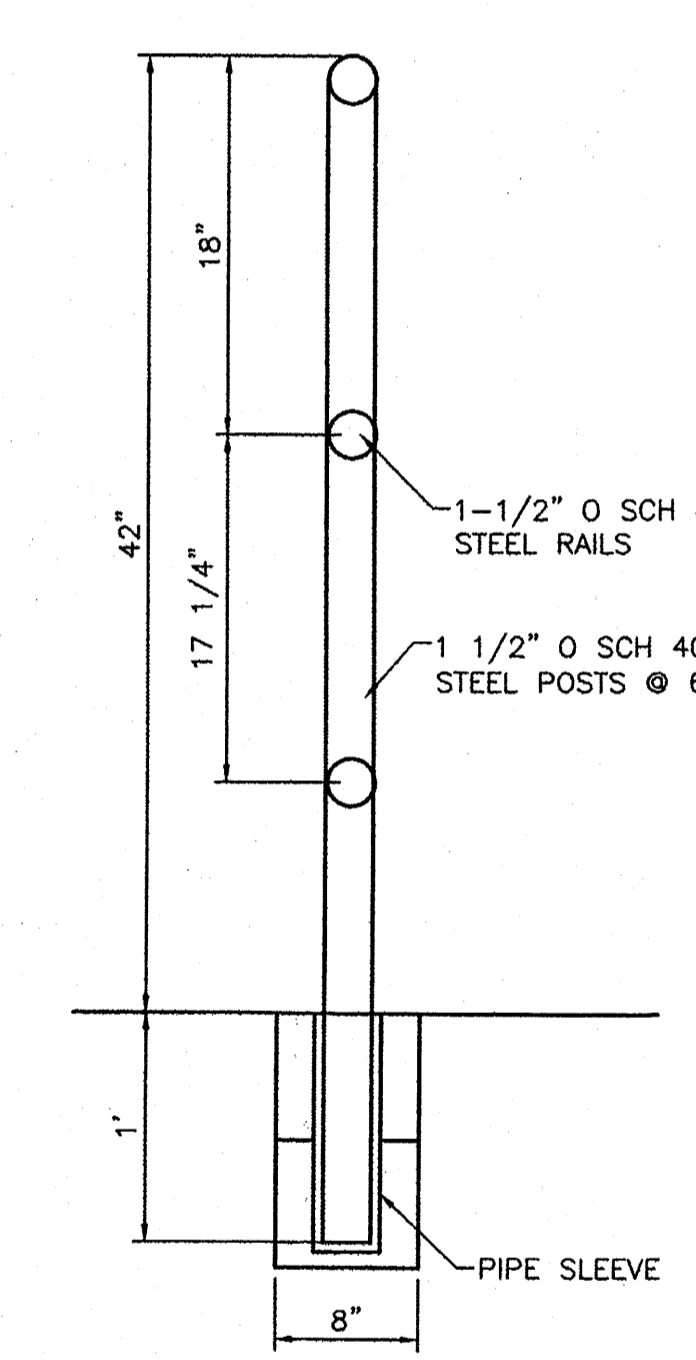
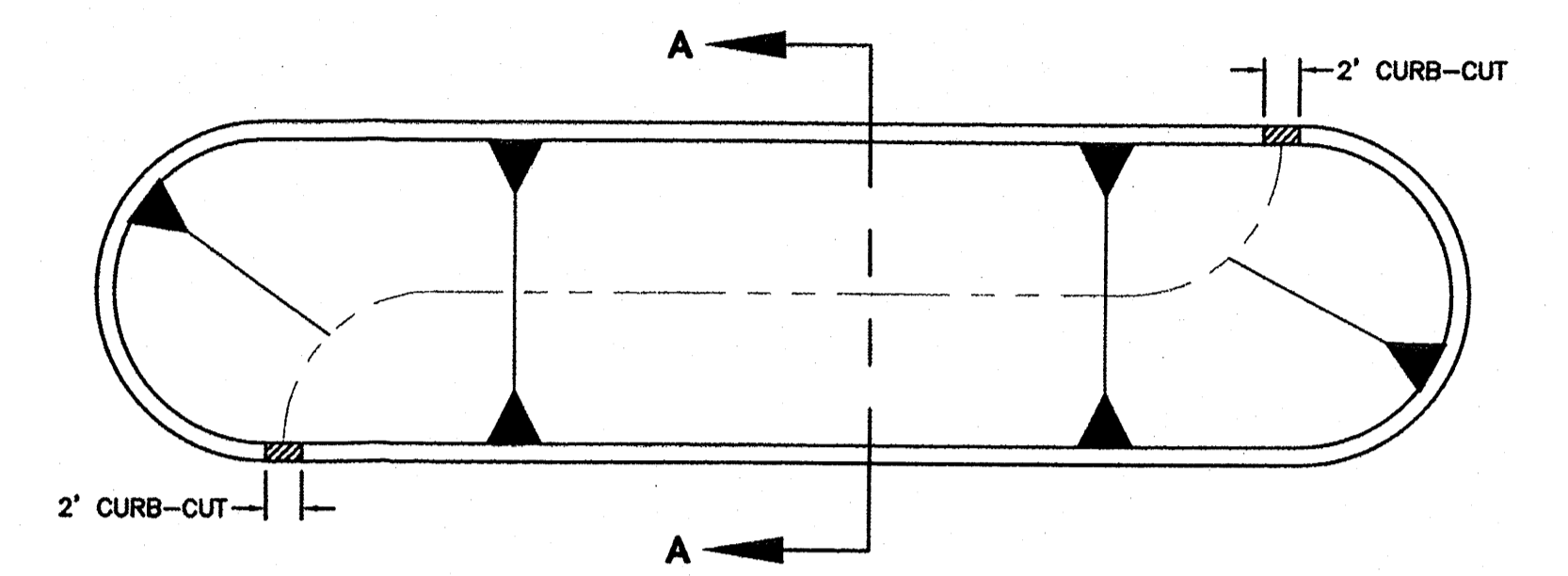
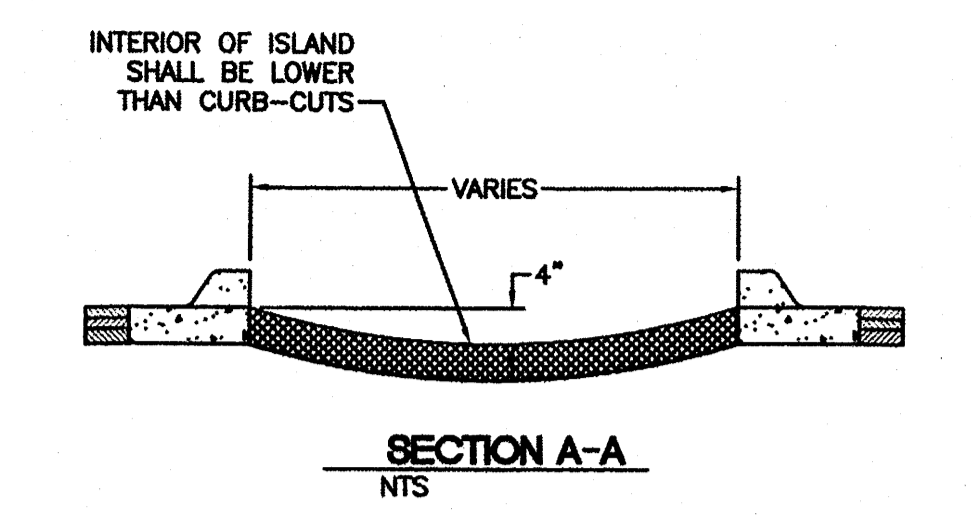
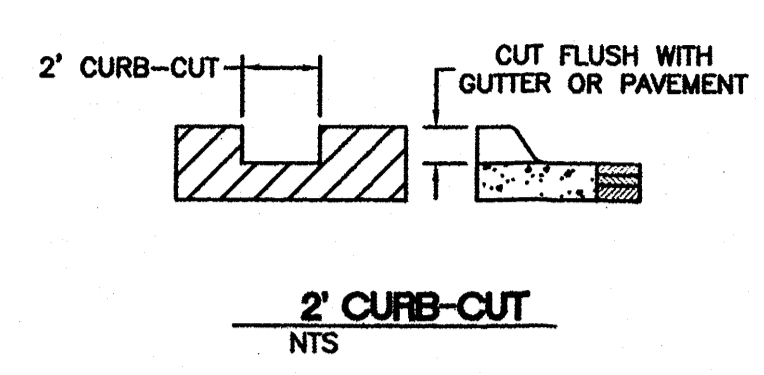


6 Plan Detail
1/2" = 1'-0"

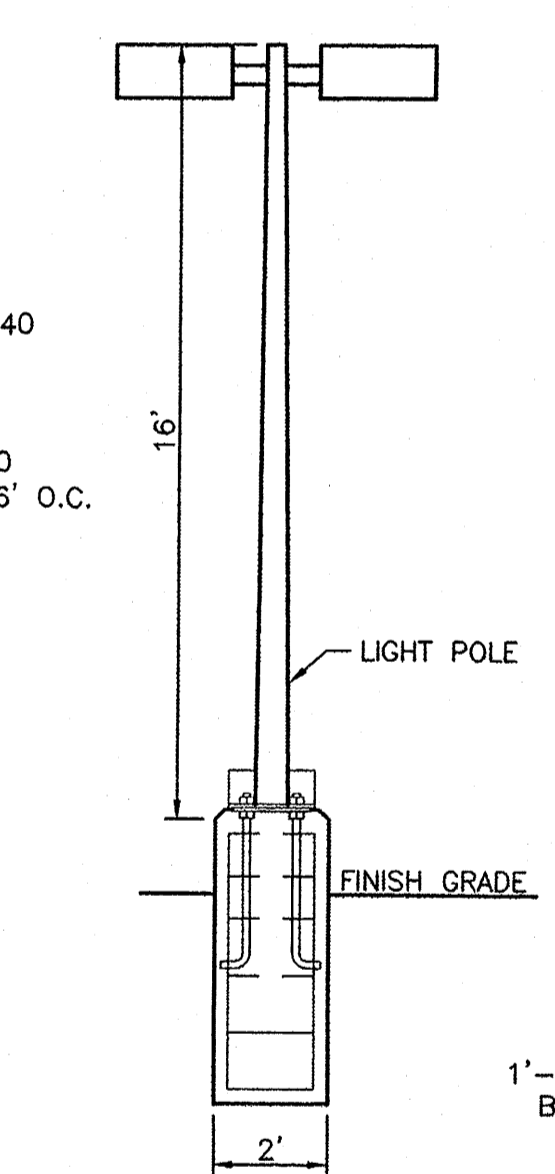


1 Dumpster Floor Plan
1/2" = 1'-0"

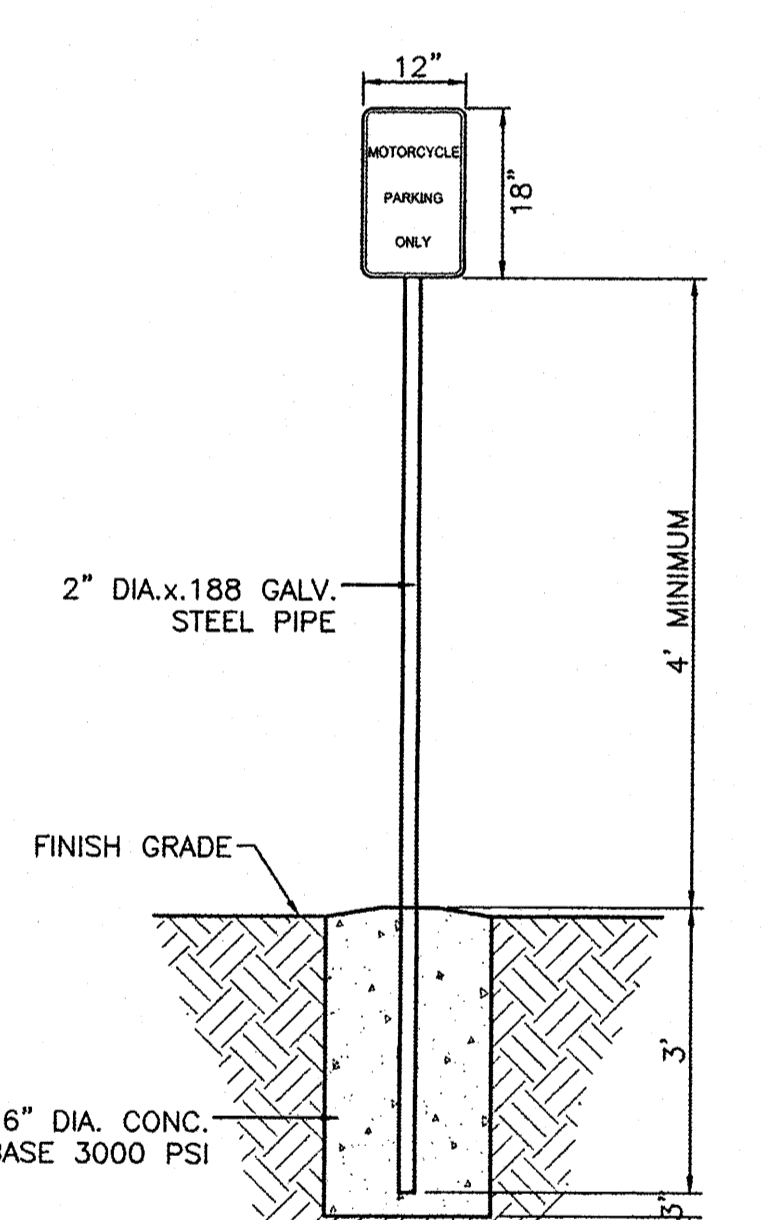
General Notes
1. PAINT BOLLARDS, GATE HINGES, GATES & ANY OTHER FERROUS STEEL COMPONENT SHERWIN WILLIAMS PER ARCHITECTURAL PLANS



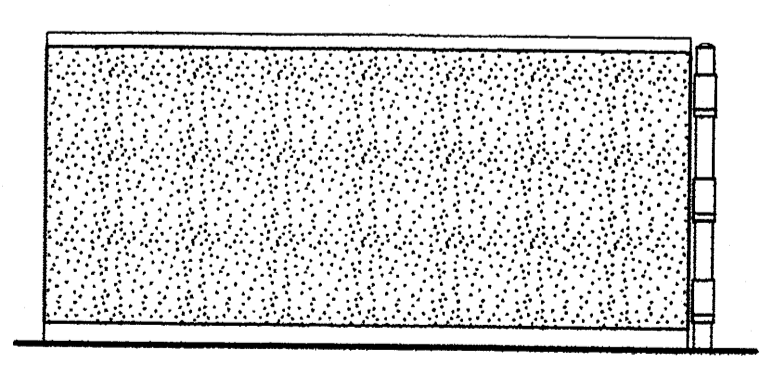
GUARD RAIL DETAIL
NTS



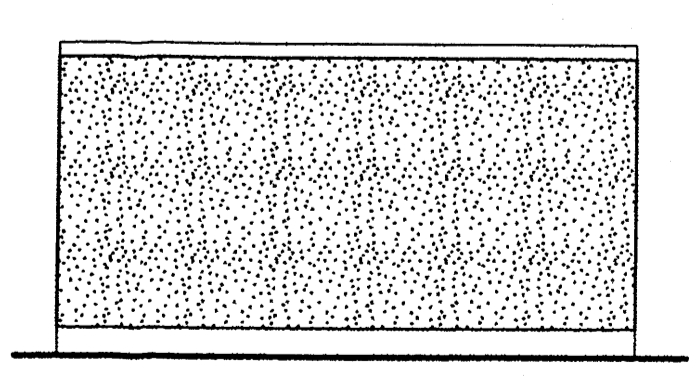
LIGHT POLE DETAIL
NTS



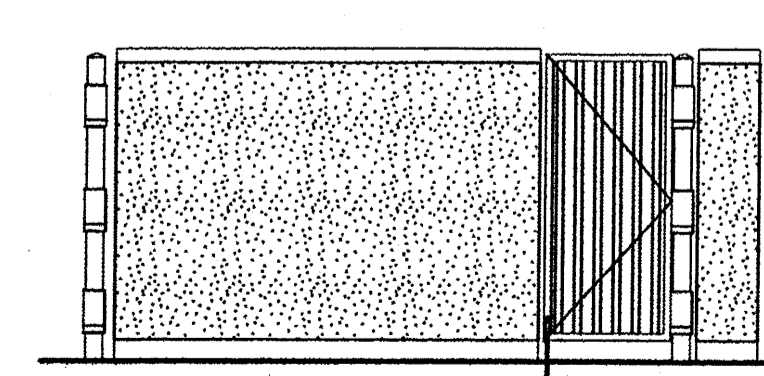
MOTORCYCLE PARKING SIGN
NTS



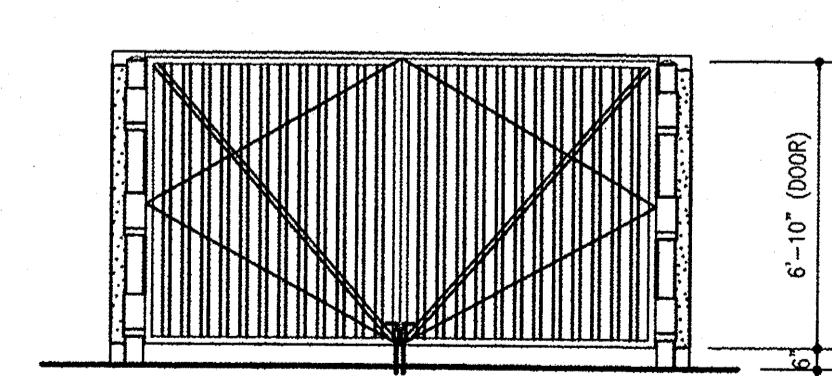
5 Side Elevation
1/4" = 1'-0"



4 Back Elevation
1/4" = 1'-0"

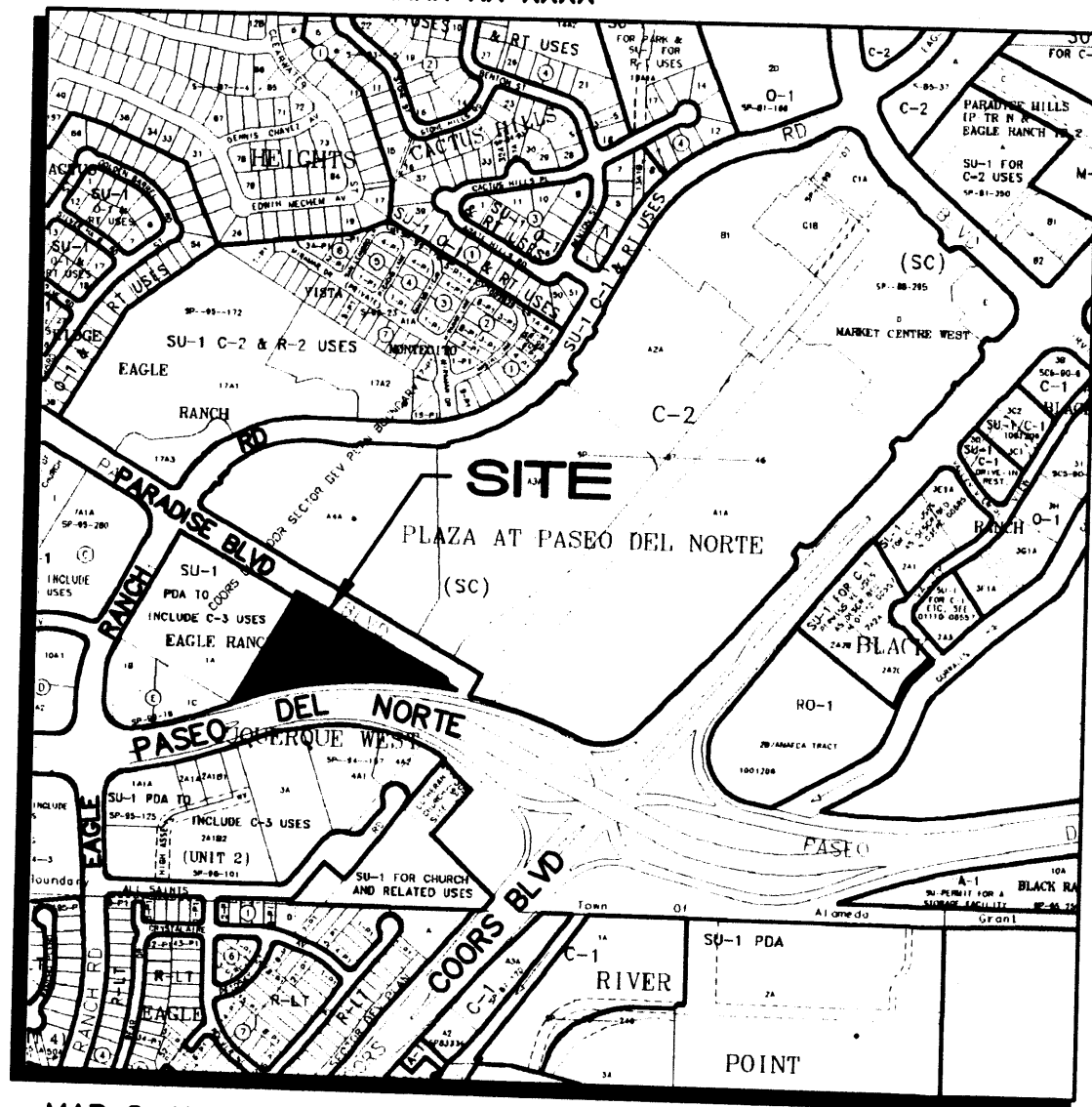


3 Side Elevation
1/4" = 1'-0"



2 Front Elevation
1/4" = 1'-0"

	ALBUQUERQUE SPORTING CENTER CONSTRUCTION DETAILS	DRAWN BY pm DATE 1-31-13 DRAWING 2012086-DET
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # 7 JOB # 2012086
RONALD R. BOHANNAN P.E. #7868		



MAP C-13-Z

VICINITY MAP

1" = 750' ±

SUBDIVISION DATA / NOTES

- Total Number of Existing Tracts: 2
- Total Number of Lots created: 0
- Total Number of Tracts created: 1
- Gross Subdivision Acreage: 3.4816 Ac.
- Total Mileage of Full Width Streets Created: 0
- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:
 "ALBUQUERQUE WEST",
 (11-21-84, C25-138)
 "ALBUQUERQUE WEST, UNIT TWO",
 (01-28-91, 91C-29)
 QUITCLAIM DEED
 (11-19-91, BK. 91-20, PGS. 5118-5119)
 records of Bernalillo County, New Mexico.
- Field Survey performed on February, 2005.
- Title Report: Land America Albuquerque Title file No. 249513td, effective date 01/26/05
- Address of Property: None provided.
- City of Albuquerque, New Mexico Zone: SU-1, PDA TO INCLUDE C-3 USES
- Flood Zone Designation: Zone X, as shown on Panel 116 of 825, Flood Insurance Rate Map, City of Albuquerque, Bernalillo County, New Mexico, dated September 20, 1996. (This Property does not lie within the 100 Year Flood Plain.)

ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBU., N.M. 87190
505-884-1990

LEGAL DESCRIPTION

A tract of land within the Town of Alameda Grant, Projected Section 18, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT A, UNIT TWO, ALBUQUERQUE WEST as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on January 28, 1991, in Book 91C, Page 29 together with a portion of Lot 3, Block 'E', ALBUQUERQUE WEST a subdivision in the Paradise Hills Development as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on November 21, 1984, in Volume C25, Folio 138 and further defined as TRACT A-2-3-NRW-2, as shown on QUITCLAIM DEED filed for record in the office of the County Clerk of Bernalillo County, New Mexico on November 19, 1991, in Book 91-20, Pages 5118-5119 and containing (151,660 s.f.) 3.4816 acres more or less.

DISCLOSURE STATEMENT

The intent of this plat is to eliminate common lot line and assemble both tracts into a single tract.

FREE CONSENT AND DEDICATION

The subdivision shown hereon is with the free consent and in accordance with the desires of the undersigned Owner(s) and/or Proprietor(s) thereof and said Owner(s) and/or Proprietor(s) do hereby consent to all of the foregoing and said owners warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided, and do hereby certify that this subdivision is their free act and deed.

OWNER

HIGH ASSETS LAND COMPANY, LTD
by: RJ SCHAEFER REALTY & INVESTMENT, INC.
A NEW MEXICO CORPORATION
its: GENERAL & MANAGING PARTNER

Robert J. Schaefer
ROBERT J. SCHAEFER
PRESIDENT

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)



This instrument was acknowledged before me on March 2, 2005, by Robert J. Schaefer, President of RJ Schaefer Realty & Investment, Inc., a New Mexico Corporation, being the General and Managing Partner of High Assets Land Company, Inc.

My Commission Expires: 4/22/07

Ruth T. Lozano
Notary Public

PLAT FOR TRACT A-1 ALBUQUERQUE WEST UNIT 2

BEING A REPLAT OF TRACT A, UNIT 2, ALBUQUERQUE WEST, UNIT ONE AND A PORTION OF LOT 3, BLOCK 'E' ALBUQUERQUE WEST CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

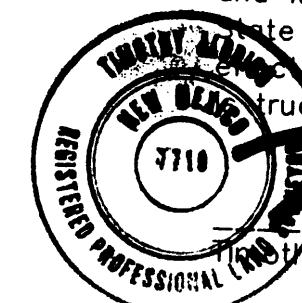
MARCH 2005
PRELIMINARY PLAT
APPROVED BY DRB
ONE/16/05

APPROVALS
DRB PROJECT NO.
APPLICATION NO.
Utility Approvals

PNM ELECTRIC SERVICES DIVISION	DATE
PNM GAS SERVICES DIVISION	DATE
QWEST	DATE
COMCAST	DATE
NEW MEXICO UTILITIES City Approvals <i>[Signature]</i> CITY SURVEYOR	DATE <u>3-7-05</u>
REAL PROPERTY DIVISION	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions effective December 25, 1991, February 2, 1994 and October 2000), and is true and correct to the best of my knowledge and belief".



[Signature]
Timothy Aldrich, P.S. No. 7719
Date 03-04-05

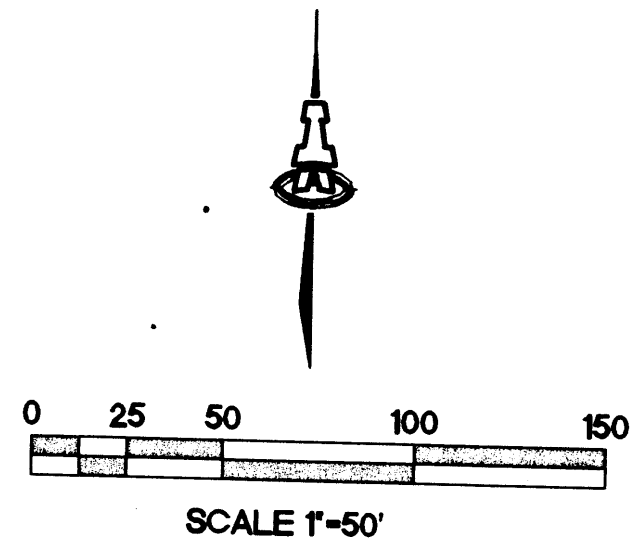
NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD LENGTH
C1	19°11'02" (18°44'50")	N 88°40'03" W (N 88°39'54" W)	277.06	1639.49 (1677.02)	548.94 (548.32)	546.38 (546.28)
C2	04°46'53" (04°47'09")	S 79°34'52" W (S 79°36'05" W)	70.02	1677.02	139.95 (140.08)	139.91 (140.04)
C3	06°52'51"	S 73°46'18" W (S 73°46'06" W)	72.74	1209.92	145.30	145.22 (145.21)

NUMBER	DIRECTION	DISTANCE
L3	S 15°52'49" E	28.28'
L4	S 60°52'49" E	45.00'
L5	S 70°19'53" W (S 70°19'40" W)	42.28'

PLAT FOR TRACT A-1 ALBUQUERQUE WEST UNIT 2

BEING A REPLAT OF
TRACT A, UNIT 2, ALBUQUERQUE WEST, UNIT ONE
AND A PORTION OF LOT 3, BLOCK 'E' ALBUQUERQUE WEST
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

MARCH 2005

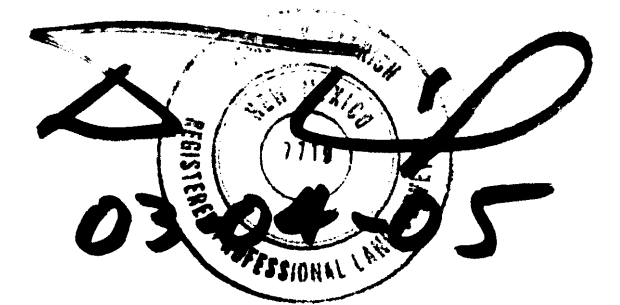
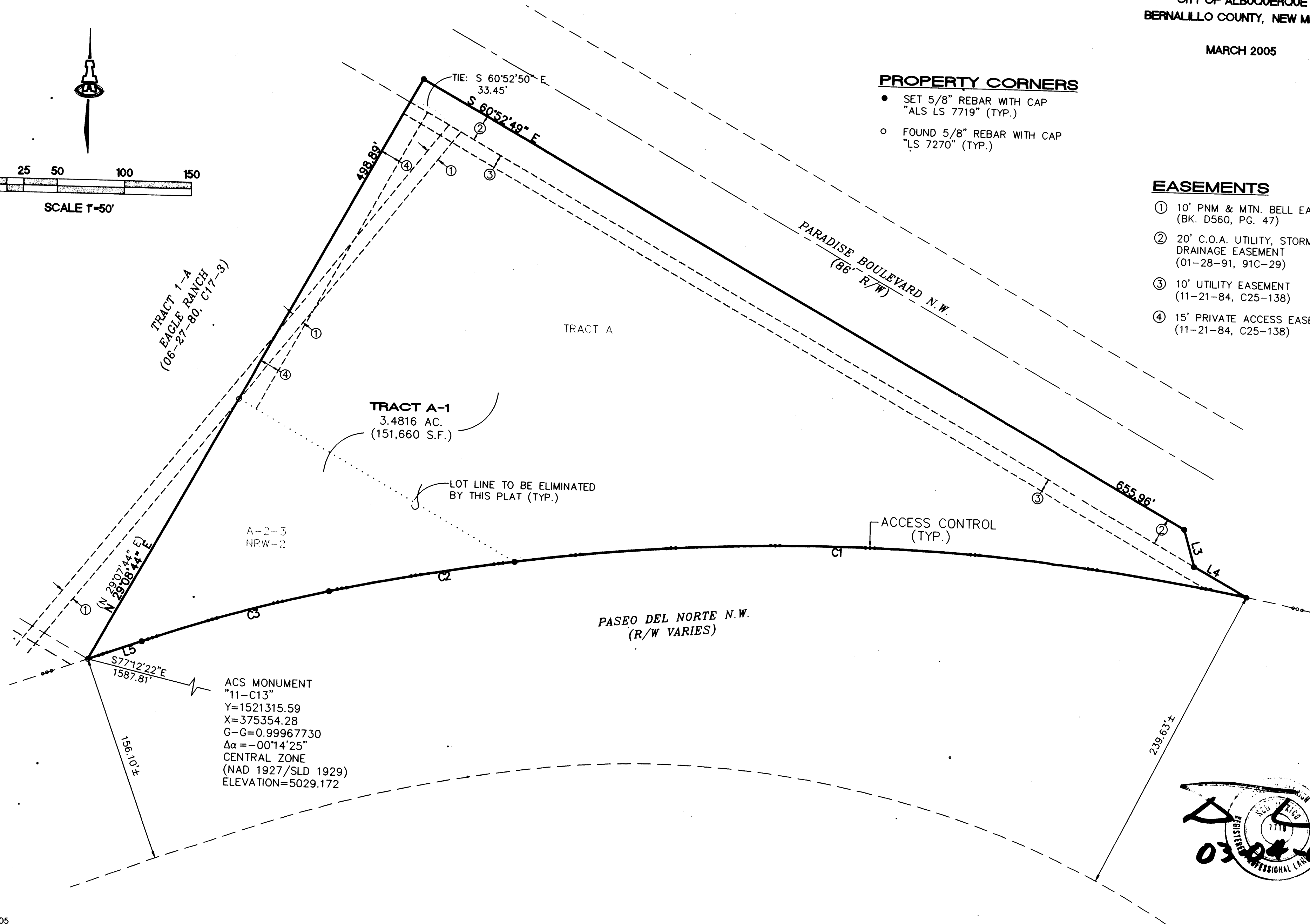


PROPERTY CORNERS

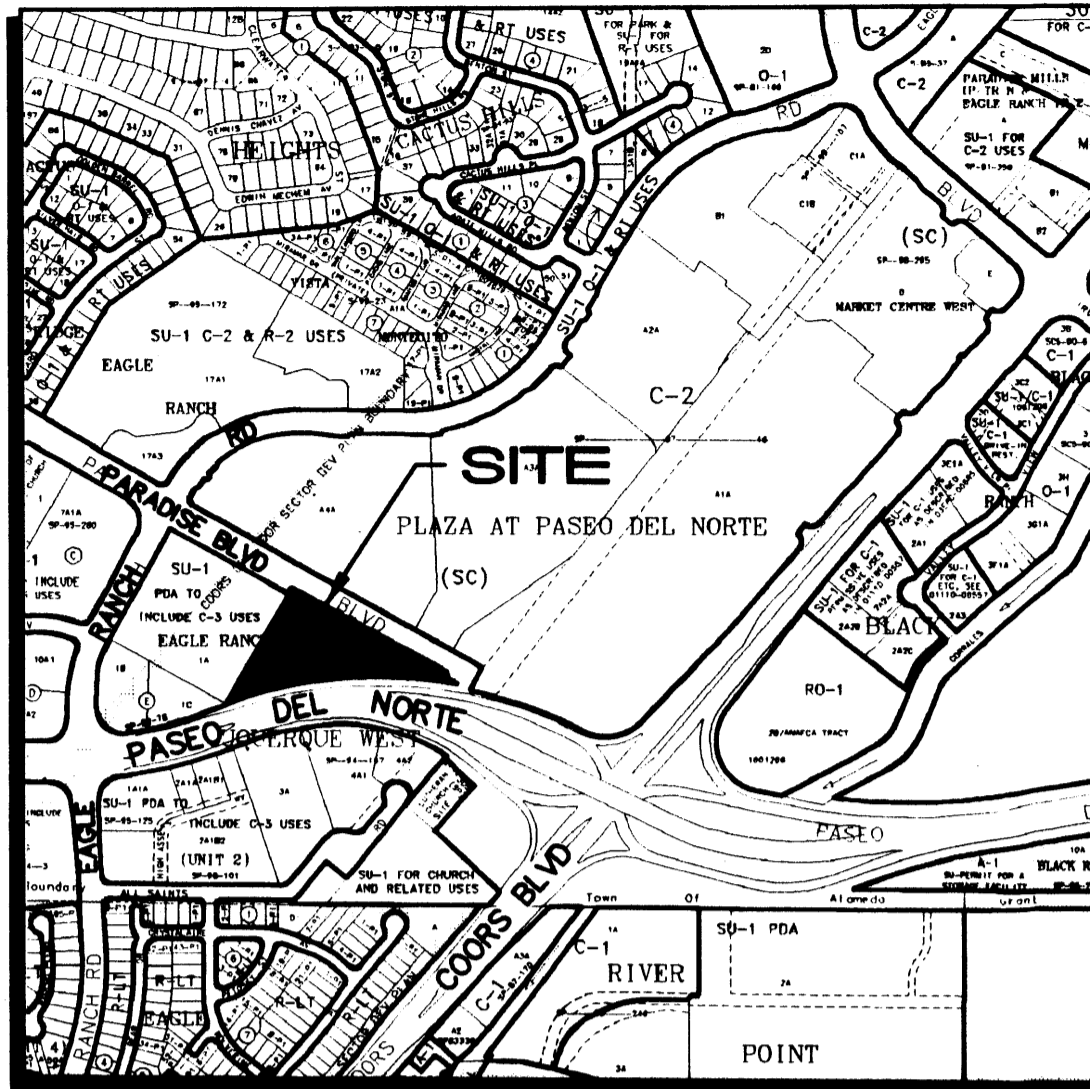
- SET 5/8" REBAR WITH CAP
"ALS LS 7719" (TYP.)
- FOUND 5/8" REBAR WITH CAP
"LS 7270" (TYP.)

EASEMENTS

- ① 10' PNM & MTN. BELL EASEMENT
(BK. D560, PG. 47)
- ② 20' C.O.A. UTILITY, STORM AND
DRAINAGE EASEMENT
(01-28-91, 91C-29)
- ③ 10' UTILITY EASEMENT
(11-21-84, C25-138)
- ④ 15' PRIVATE ACCESS EASEMENT
(11-21-84, C25-138)



TALOS LOG NO.: XXXX XX XXXX



MAP C-13-Z

1"=750'±

VICINITY MAP

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P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

1298PT2.DWGthor 03.01.05

LEGAL DESCRIPTION

A tract of land within the Town of Alameda Grant, Projected Section 18, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT A, UNIT TWO, ALBUQUERQUE WEST as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on January 28, 1991, in Book 91C, Page 29 together with a portion of Lot 3, Block 'E', ALBUQUERQUE WEST a subdivision in the Paradise Hills Development as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on November 21, 1984, in Volume C25, Folio 138 and further defined as TRACT A-2-3-NRW-2, as shown on QUITCLAIM DEED filed for record in the office of the County Clerk of Bernalillo County, New Mexico on November 19, 1991, in Book 91-20, Pages 5118-5119 and containing (151,660 s.f.) 3.4816 acres more or less.

DISCLOSURE STATEMENT

The intent of this plat is to eliminate common lot line and assemble both tracts into a single tract.

FREE CONSENT AND DEDICATION

The subdivision shown hereon is with the free consent and in accordance with the desires of the undersigned Owner(s) and/or Proprietor(s) thereof and said Owner(s) and/or Proprietor(s) do hereby consent to all of the foregoing and said owners warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided, and do hereby certify that this subdivision is their free act and deed.

1013 064 107 287 20304
1013 062 061 278 20303
High Assets Land Co & NM State Hwy Dept
COUNTY TREASURER'S OFFICE
Conchita Lucero 4/6/05

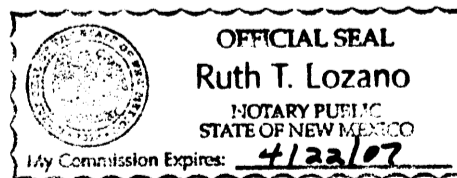
OWNER

HIGH ASSETS LAND COMPANY, LTD
by: RJ SCHAEFER REALTY & INVESTMENT, INC.
A NEW MEXICO CORPORATION
its: GENERAL & MANAGING PARTNER

Robert J. Schaefer
ROBERT J. SCHAEFER
PRESIDENT

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)



This instrument was acknowledged before me on March 2, 2005, by Robert J. Schaefer, President of RJ Schaefer Realty & Investment, Inc., a New Mexico Corporation, being the General and Managing Partner of High Assets Land Company, Inc.

My Commission Expires: 4/22/07

Ruth T. Lozano
Notary Public

2885947832
B243688
Page: 1 of 2
04/06/2005 02:18P
Bk-2885C Pg-165
Mary Herrera Bern. Co. PLAT R 12.00

PLAT
FOR
TRACT A-1
ALBUQUERQUE WEST UNIT 2

BEING A REPLAT OF
TRACT A, UNIT 2, ALBUQUERQUE WEST, UNIT ONE
AND A PORTION OF LOT 3, BLOCK 'E' ALBUQUERQUE WEST
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

MARCH 2005

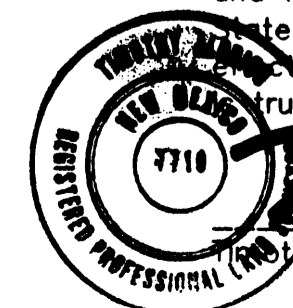
APPROVALS

DRB PROJECT NO. 1004650
APPLICATION NO. 05DRB-0388
Utility Approvals

PNM ELECTRIC SERVICES DIVISION	DATE
PNM GAS SERVICES DIVISION	DATE
QWEST	DATE
COMCAST	DATE
NEW MEXICO UTILITIES	3-31-05 DATE
CITY SURVEYOR	3-7-05 DATE
REAL PROPERTY DIVISION	3/16/05 DATE
ENVIRONMENTAL HEALTH DEPARTMENT	3/16/05 DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	3-30-05 DATE
UTILITIES DEVELOPMENT	3-16-05 DATE
PARKS AND RECREATION DEPARTMENT	3/16/05 DATE
AMAFCA	3/16/05 DATE
CITY ENGINEER	3/16/05 DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	3/16/05 DATE

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions effective December 25, 1991, February 2, 1994 and October 2000), and is true and correct to the best of my knowledge and belief."



Timothy Aldrich, P.S. No. 7710
DATE 03-04-05

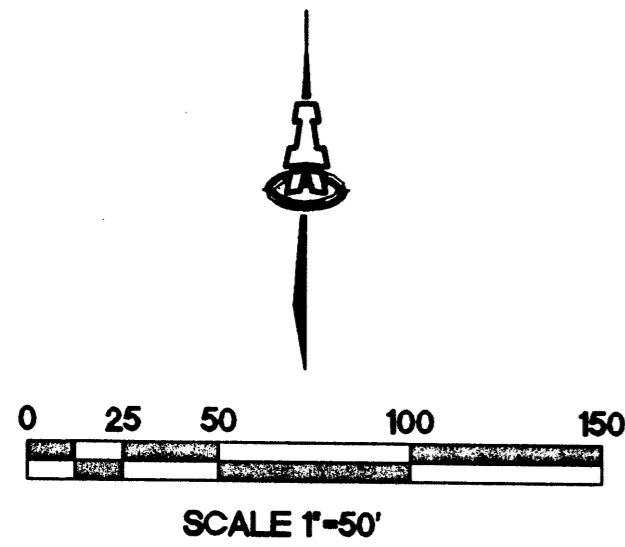
NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD LENGTH
C1	19°11'02" (18°44'50")	N 88°40'03" W (N 88°39'54" W)	277.06	1639.49 (1677.02)	548.94 (548.32)	546.38 (546.28)
C2	04°46'53" (04°47'09")	S 79°34'52" W (S 79°36'05" W)	70.02	1677.02	139.95 (140.08)	139.91 (140.04)
C3	06°52'51"	S 73°46'18" W (S 73°46'08" W)	72.74	1209.92	145.30	145.22 (145.21)

NUMBER	DIRECTION	DISTANCE
L3	S 15°52'49" E	28.28'
L4	S 60°52'49" E	45.00'
L5	S 70°19'53" W (S 70°19'40" W)	42.28'

PLAT FOR TRACT A-1 ALBUQUERQUE WEST UNIT 2

BEING A REPLAT OF
TRACT A, UNIT 2, ALBUQUERQUE WEST, UNIT ONE
AND A PORTION OF LOT 3, BLOCK 'E' ALBUQUERQUE WEST
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

MARCH 2005

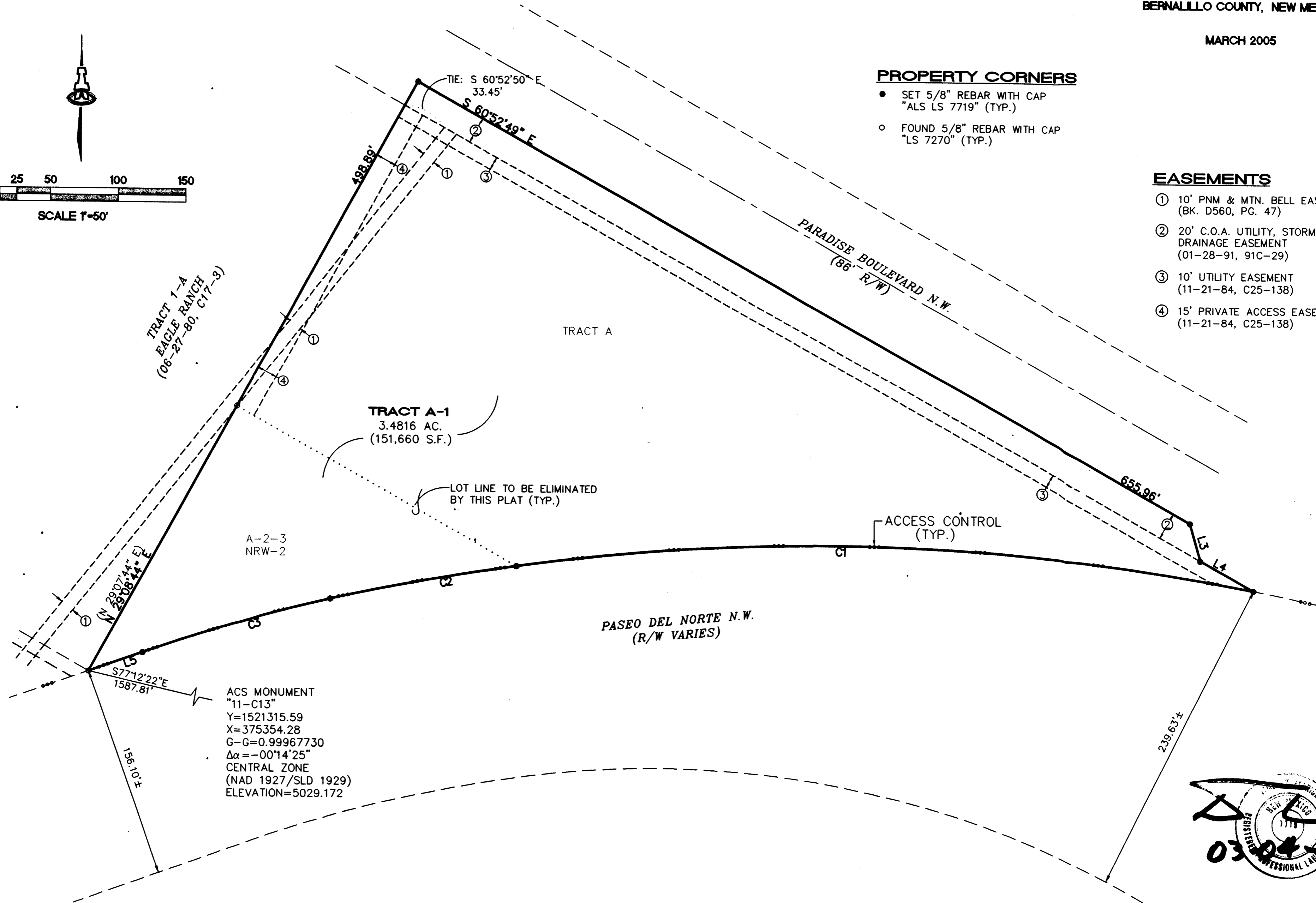


PROPERTY CORNERS

- SET 5/8" REBAR WITH CAP
"ALS LS 7719" (TYP.)
- FOUND 5/8" REBAR WITH CAP
"LS 7270" (TYP.)

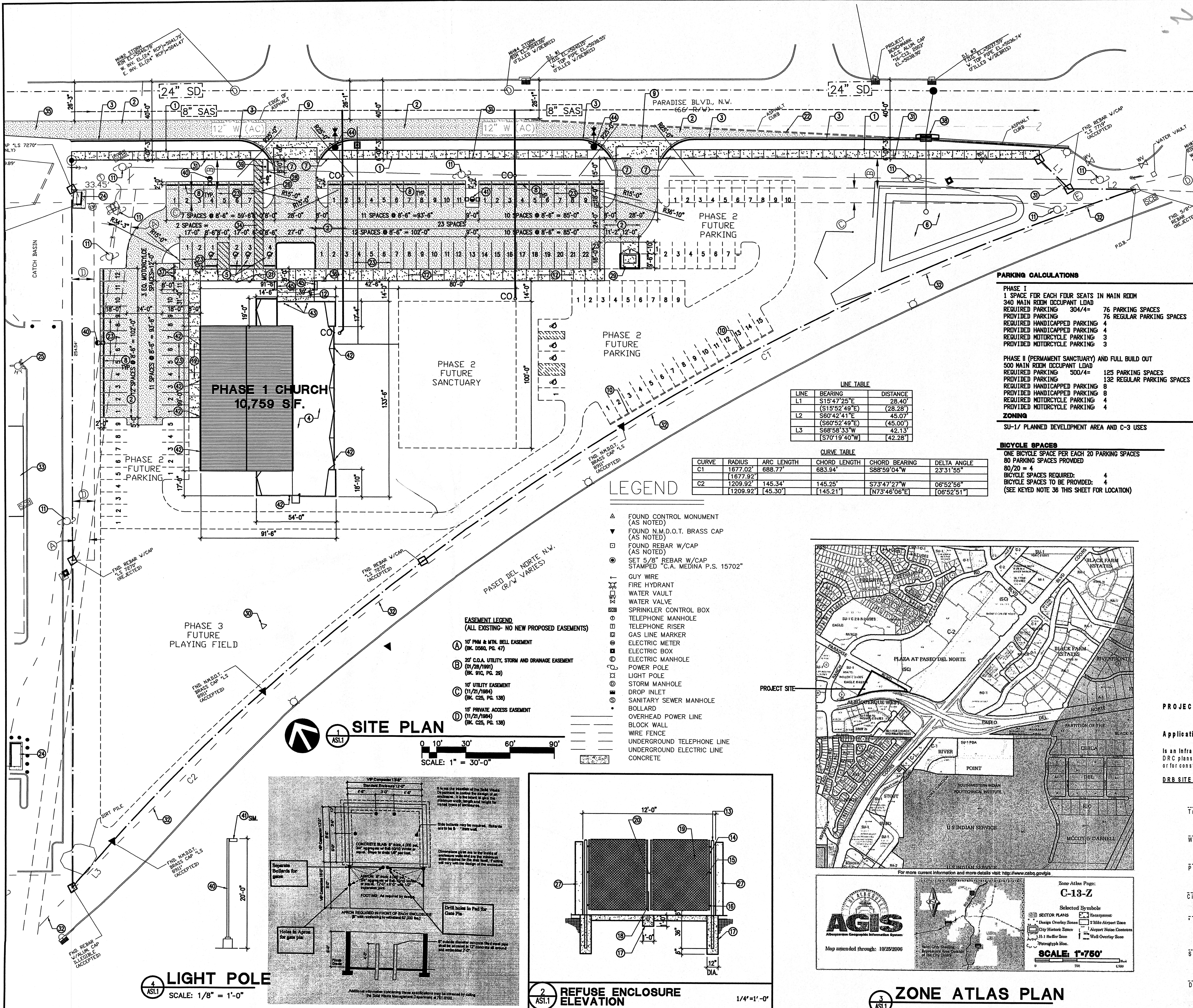
EASEMENTS

- ① 10' PNM & MTN. BELL EASEMENT
(BK. D560, PG. 47)
- ② 20' C.O.A. UTILITY, STORM AND
DRAINAGE EASEMENT
(01-28-91, 91C-29)
- ③ 10' UTILITY EASEMENT
(11-21-84, C25-138)
- ④ 15' PRIVATE ACCESS EASEMENT
(11-21-84, C25-138)



ACS MONUMENT
 "11-C13"
 Y=1521315.59
 X=375354.28
 G-G=0.99967730
 $\Delta\alpha = -00^{\circ}14'25''$
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5029.172

03/04/05
 PROFESSIONAL LAND SURVEYOR



GENERAL NOTES:

- THIS SITE PLAN IS FOR PHASE 1 ONLY. ANOTHER SITE PLAN WILL FOLLOW AT A FUTURE DATE WHEN PHASE 2 IS READY FOR DEVELOPMENT. (LIGHT DASHED LINES INDICATE FUTURE PHASE CONSTRUCTION)
- ROD/TOP MECHANICAL EQUIPMENT MUST BE SCREENED AS PER ZC 14-16-3-18.
- THE ALBUQUERQUE TRANSIT SYSTEM ROUTE 94 UNSER EXPRESS RUNS THROUGH EAGLE RANCH ROAD APPROXIMATELY 510' WEST OF CHURCH WEST PROPERTY LINE.

KEYED NOTES:

- NEW CONCRETE SIDEWALK PER WORK ORDER.
- NEW ASPHALT PAVING PER WORK ORDER.
- CONCRETE CURB AND GUTTER PER WORK ORDER.
- NEW CHURCH BUILDING (10,759 SF) FOR RELIGIOUS SERVICES.
- HANDICAP PARKING W/ PARKING BUMPER.
- RETENTION POND TO BE CONSTRUCTED IN PHASE I. SEE CIVIL DRAWINGS.
- HANDICAP RAMP PER WORK ORDER.
- CONCRETE PARKING BUMPER.
- NEW 24" CONCRETE VALLEY GUTTER PER WORK ORDER.
- PHASE 2 TO HAVE 36" SCREEN WALL.
- EXISTING POWER POLE.
- 4" CONCRETE PAVING. SCORE PATTERN AS SHOWN.
- 2 1/2" Ø GATE POST W/ POST CAP.
- 1 7/8" FRAME W/ (4) TRUSS RODS.
- 11 GA. CHAINLINK FENCE FABRIC W/ PRIVACY DECORATIVE METAL SLATS.
- 3 STANDARD HINGES.
- CONCRETE FOOTING.
- CANE BOLT.
- 3/8" TRUSS ROD.
- LATCH & LOCKING DEVICE.
- H.C. PARKING SIGN.
- DEMO EXISTING ASPHALT CURB PER WORK ORDER.
- NEW PAINTING STRIPING.
- EXISTING TRANSFORMER ON CONCRETE PAD.
- EXISTING FIRE HYDRANT ON ADJACENT PROPERTY TO REMAIN.
- PEDESTRIAN PATH - PAINTED STRIPES ON ASPHALT.
- STUCCO COLOR 1.
- 2-COAT STUCCO SYSTEM OVER 8" C.M.U. ACRYLIC, ELASTOMERIC COATING (FINE FINISH). DARK BROWN COLOR TO BE STO CORP. 01008 SUEDE 29.
- NEW SIGN (5 SF). SEE ELEVATION 5/A2.1.
- REFUSE ENCLOSURE (112 SF). 8" THICK, 7'-4" HIGH CMU WALLS WITH 2-COAT STUCCO SYSTEM COLOR 1 STO CORP. 01008 SUEDE 29 (FINE FINISH). SEE CITY REQUIREMENTS (PLAN, SECTION) THIS SHEET AND DETAIL 2/AS1.1.
- TEMPORARY CHURCH SIGN TO BE 4' X 8' IN A TRIANGULAR SHAPE LIFTED 6' OFF THE GROUND ON 3 4X4 POSTS.
- REMOVE AND DISPOSE OF EXISTING 4' HIGH WOOD FENCE.
- EXISTING 4' HIGH GALVANIZED CHAINLINK FENCE TO REMAIN (APPROXIMATELY 880' LONG).
- EXISTING GENERAL ELECTRIC BUILDING.
- DRIVE AISLE CROSSING - PAINTED STRIPES ON ASPHALT.
- NEW ASPHALT TAPER.
- BICYCLE RACK TO HOUSE 4 BICYCLES.
- MOTORCYCLE PARKING SIGN TO MEET COA REQUIREMENTS.
- NEW INLET. SEE CIVIL DRAWINGS.
- PROJECTOR LIGHT FIXTURE. LUMIERE HOLLYWOOD 1701 BY COOPER LIGHTING. LOCATE IN GROUND AND ROTATE FIXTURE AS REQUIRED SO THAT ONLY SIGN IS LIT WITH NO UP LIGHTING BEYOND EXTENTS OF SIGN.
- 20' HIGH POLE, 1 HEAD SITE LIGHTING. LUMARK HAMMER POLE/ FIXTURE PFH2253H20 (400W M.H. LIGHT) BY COOPER LIGHTING. SEE ELEVATION THIS SHEET 4/AS1.1.
- 20' HIGH POLE, 2 HEAD SITE LIGHTING. LUMARK HAMMER POLE/ FIXTURE PFH2253H20 (400W M.H. LIGHT) BY COOPER LIGHTING. SEE ELEVATION THIS SHEET 4/AS1.1, SIMILAR.
- WALL SCONCE MOUNTED AT 9' A.F.F. FAIL-SAFE HVY-505-120-BLK BY COOPER LIGHTING.
- RECESSED LIGHTING IN ENTRANCE ALCOVE CEILING (7'-6"A.F.F.).
- NEW FIRE HYDRANT.
- 6" BENCH TO SEAT 3 PEOPLE (24" PER PERSON).

PARKING CALCULATIONS

PHASE I
 1 SPACE FOR EACH FOUR SEATS IN MAIN ROOM
 340 MAIN ROOM OCCUPANT LOAD
 REQUIRED PARKING 304/4 = 76 PARKING SPACES
 PROVIDED PARKING 76 REGULAR PARKING SPACES
 REQUIRED HANDICAPPED PARKING 4
 PROVIDED HANDICAPPED PARKING 4
 REQUIRED MOTORCYCLE PARKING 3
 PROVIDED MOTORCYCLE PARKING 3

PHASE II (PERMANENT SANCTUARY) AND FULL BUILD OUT
 500 MAIN ROOM OCCUPANT LOAD
 REQUIRED PARKING 500/4 = 125 PARKING SPACES
 PROVIDED PARKING 132 REGULAR PARKING SPACES
 REQUIRED HANDICAPPED PARKING 4
 PROVIDED HANDICAPPED PARKING 8
 REQUIRED MOTORCYCLE PARKING 4
 PROVIDED MOTORCYCLE PARKING 4

ZONING

SU-1/ PLANNED DEVELOPMENT AREA AND C-3 USES

BICYCLE SPACES

ONE BICYCLE SPACE PER EACH 20 PARKING SPACES
 80 PARKING SPACES PROVIDED
 80/20 = 4
 BICYCLE SPACES REQUIRED: 4
 BICYCLE SPACES TO BE PROVIDED: 4
 (SEE KEYED NOTE 36 THIS SHEET FOR LOCATION)

LINE TABLE

LINE	BEARING	DISTANCE
L1	S15°47'25"E	28.40'
	(S15°52'49"E)	(28.28')
L2	S60°42'41"E	45.07'
	(S60°52'49"E)	(45.00')
L3	S68°58'33"W	42.13'
	(S70°19'40"W)	(42.28')

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	1677.02'	688.77'	683.94'	S88°58'04"W	23°31'55"
	1677.92'				
C2	1209.92'	145.34'	145.25'	S73°47'27"W	06°52'56"
	1209.92'	145.30'	145.21'	N73°46'06"E	06°52'51"

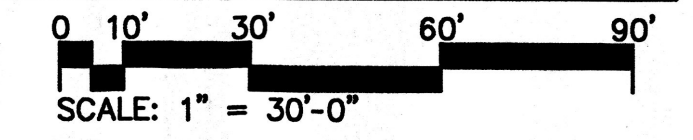
LEGEND

- ▲ FOUND CONTROL MONUMENT (AS NOTED)
- ▼ FOUND N.M.D.O.T. BRASS CAP (AS NOTED)
- FOUND REBAR W/CAP (AS NOTED)
- SET 5/8" REBAR W/CAP STAMPED "C.A. MEDINA P.S. 15702"
- GUY WIRE
- FIRE HYDRANT
- WATER VAULT
- WATER VALVE
- SPRINKLER CONTROL BOX
- TELEPHONE MANHOLE
- TELEPHONE RISER
- GAS LINE MARKER
- ELECTRIC METER
- ELECTRIC BOX
- ELECTRIC MANHOLE
- POWER POLE
- LIGHT POLE
- STORM MANHOLE
- DROP INLET
- SANITARY SEWER MANHOLE
- BOLLARD
- OVERHEAD POWER LINE
- BLOCK WALL
- WIRE FENCE
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND ELECTRIC LINE
- CONCRETE

EASEMENT LEGEND
 (ALL EXISTING- NO NEW PROPOSED EASEMENTS)

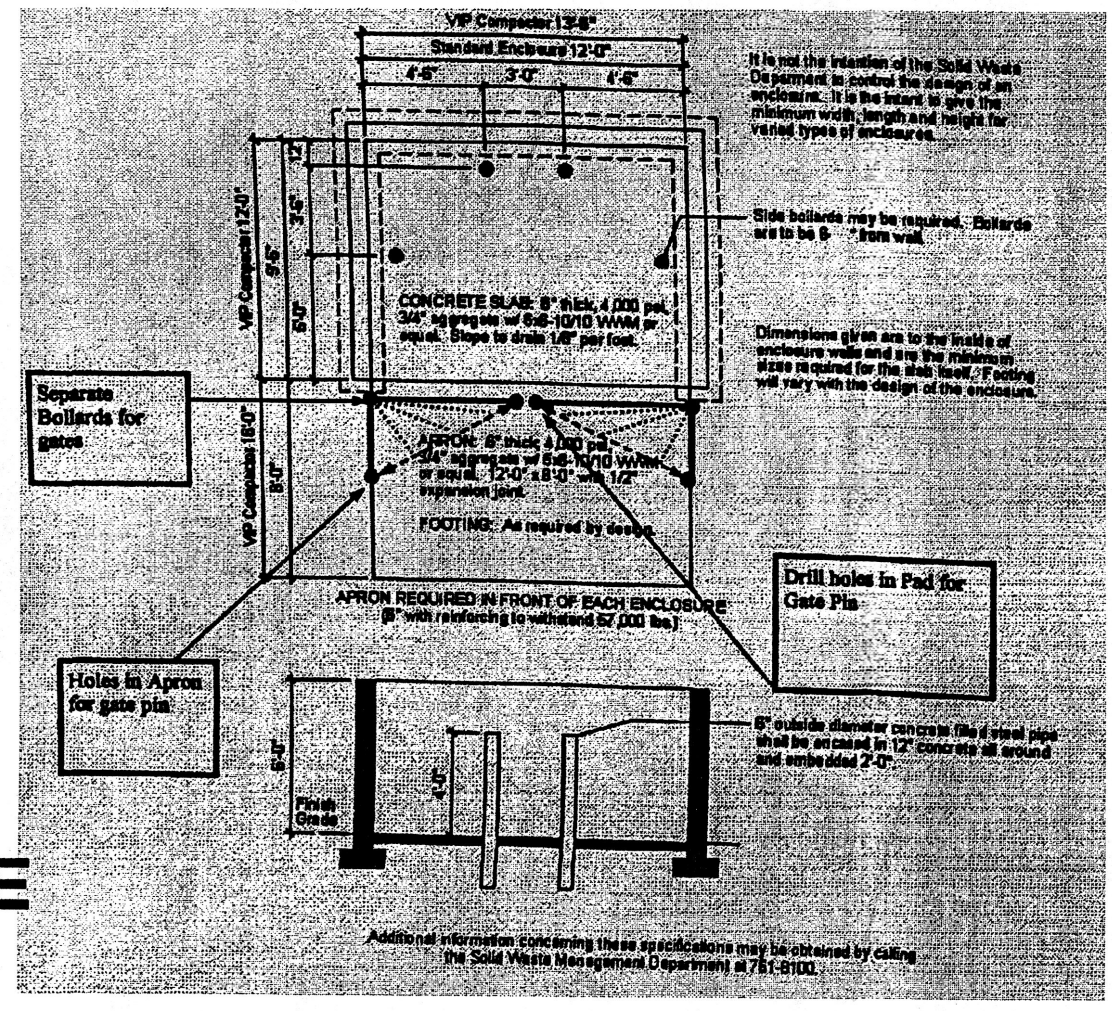
- A 10' P.M. & M.T. BELL EASEMENT (BK. D560, PG. 47)
- B 20' C.O.A. UTILITY, STORM AND DRAINAGE EASEMENT (01/28/1991) (BK. 91C, PG. 29)
- C 10' UTILITY EASEMENT (11/21/1984) (BK. C25, PG. 138)
- D 15' PRIVATE ACCESS EASEMENT (11/21/1984) (BK. C25, PG. 138)

SITE PLAN



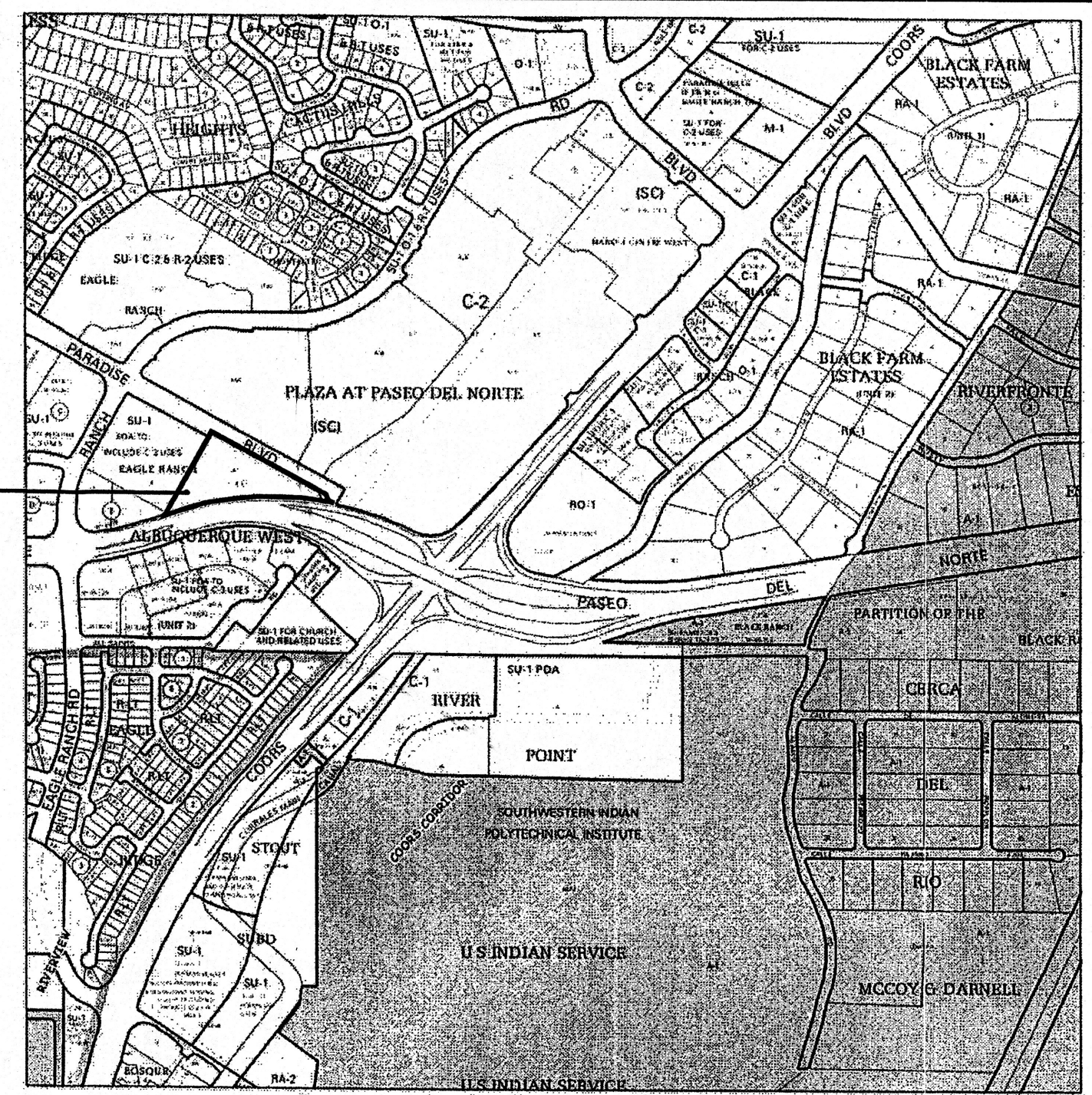
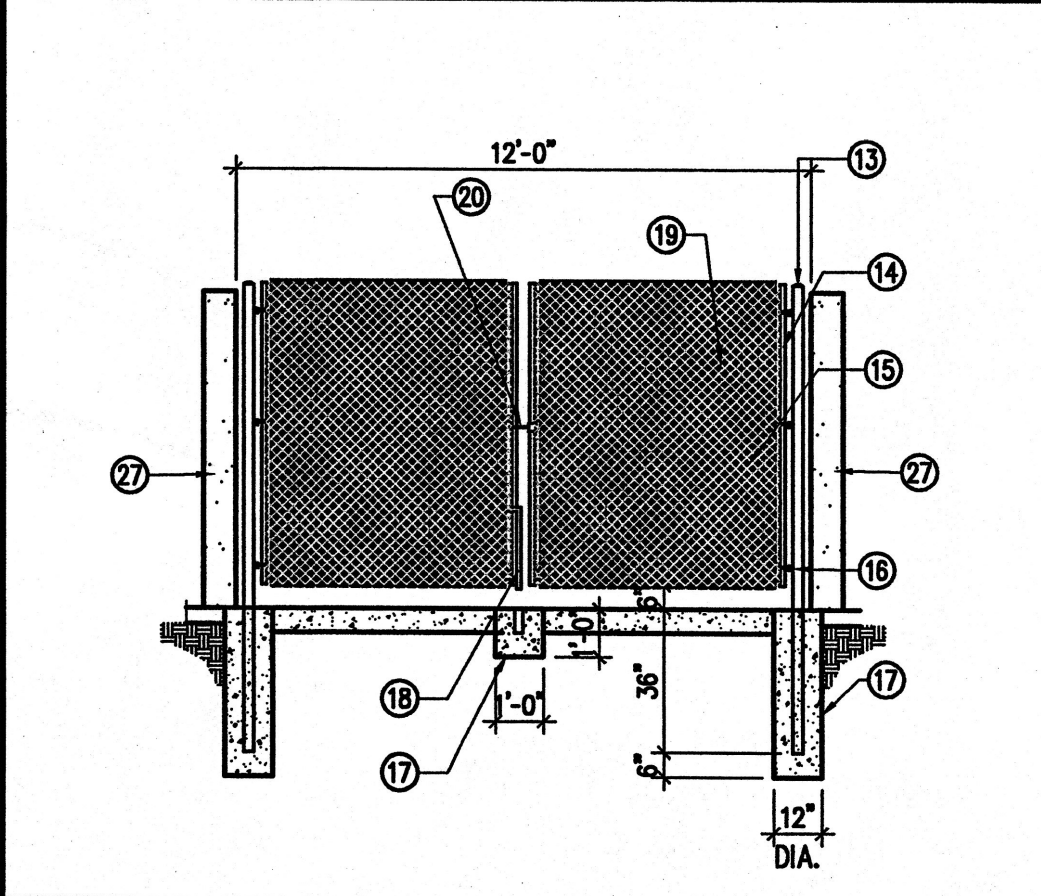
LIGHT POLE

SCALE: 1/8" = 1'-0"



REFUSE ENCLOSURE ELEVATION

SCALE: 1/4" = 1'-0"



AGIS
 Map amended through: 10/25/2006

Zone Atlas Page: **C-13-Z**

Selected Symbols:
 Design Overlay Zones, City Historic Zones, R-1 Buffer Zone, Encouragement, 2 Mile Airport Zone, Airport Noise Contours, Wall Overlay Zone

SCALE: 1" = 750'

DEVELOPMENT AREAS & CONSTRUCTION TYPE

PHASE	CONSTRUCTION TYPE	AREA
PHASE 1	NEW BUILDING	10,759 SF
	NEW CIRCULATION	13,126 SF
	NEW PARKING	12,321 SF
	NEW LANDSCAPE	21,331 SF
	TOTAL	57,537 SF
PHASE 2	SANCTUARY BUILDING	8,000 SF
	CIRCULATION	9,561 SF
	PARKING	14,689 SF
	LANDSCAPE	4,595 SF
TOTAL	36,845 SF	
PHASE 3	PLAYING FIELD	23,725 SF
	GRAND TOTAL	118,107 SF
CONSTRUCTION TYPE (CHAPTER 6)		VB

PROJECT NUMBER: _____

Application Number: _____

Is an Infrastructure List required? (X) Yes *about comments*
 DRB plans with a work order is required for any construction with a Public Use or for construction of public improvements. *are mer. comments from 6/13/07*

DRB SITE DEVELOPMENT PLAN APPROVAL: *Revised 2/2/07*

Traffic Engineering, Transportation Department Date _____
 Water Utility Department Date _____
 Parks and Recreation Department Date _____

PRELIMINARY PLAN APPROVED BY DRB ON 6/27/07

MK	DATE	DESCRIPTION

NCA
 ARCHITECTS - PLANNERS - AIA

1306 RIO GRANDE BLVD NW
 ALBUQUERQUE, NM 87104
 505-255-6400 505-268-6954 FAX
 WWW.NCA-ARCHITECTS.COM

ARCHITECT

STATE OF NEW MEXICO
 ROBERT CALVANO
 NO. 10553
 REGISTERED ARCHITECT
 6-13-07

CONSULTANT

PROJECT TITLE

NORTH VALLEY ADVENTIST SEVENTH-DAY CHURCH

NEW MEXICO

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

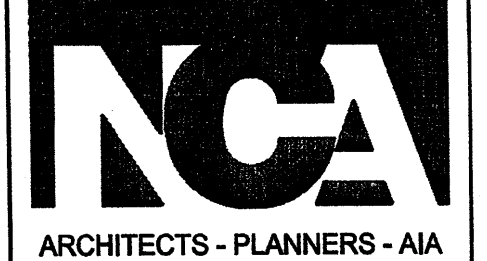
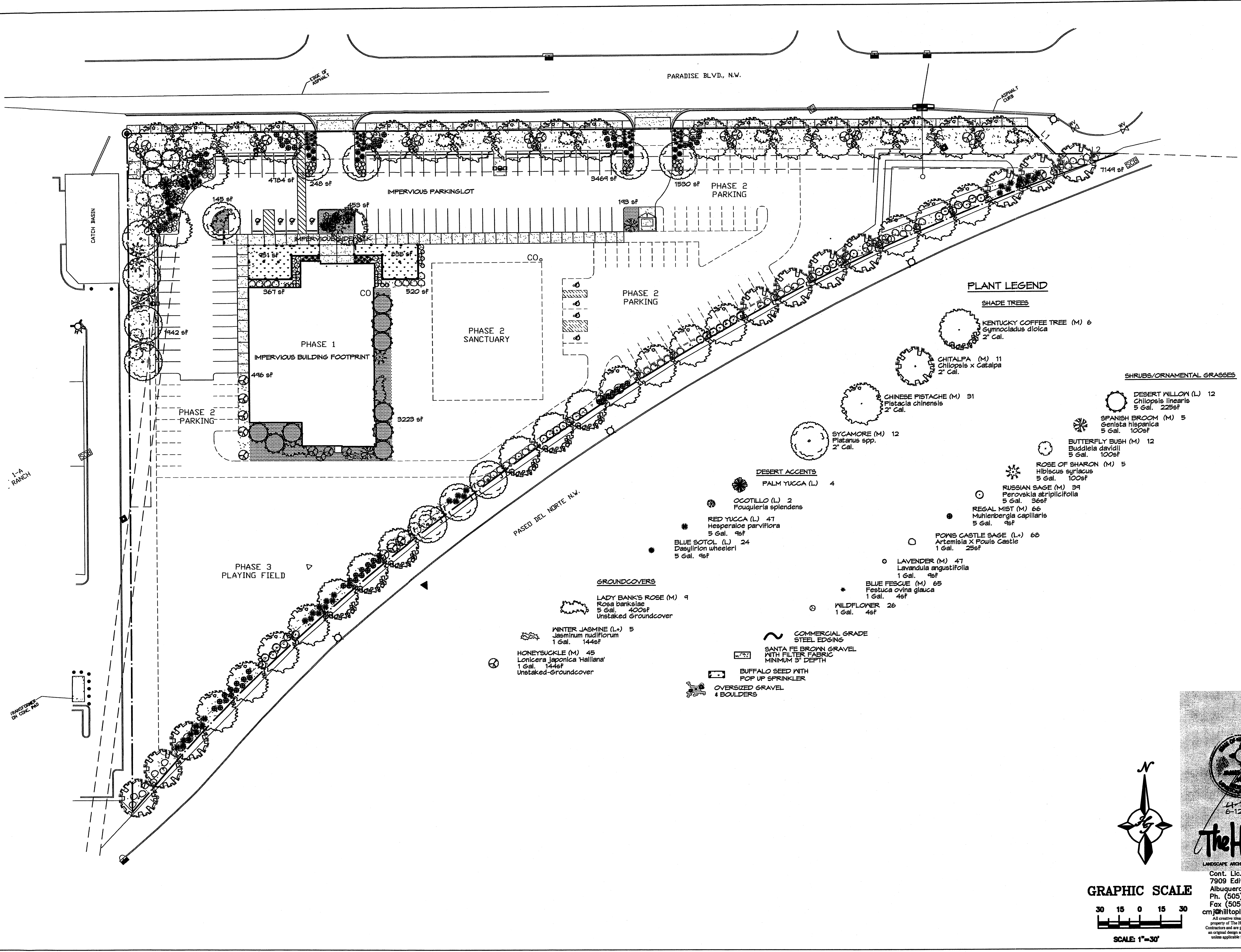
NORTH VALLEY ADVENTIST SEVENTH-DAY CHURCH

ALBUQUERQUE

REVISIONS

DATE DESCRIPTION
 DRAWN BY: CHECKED BY:
 WA DP
 JOB NUMBER:
 A07.06
 DATE:
 JUNE 12, 2007
 SHEET NO

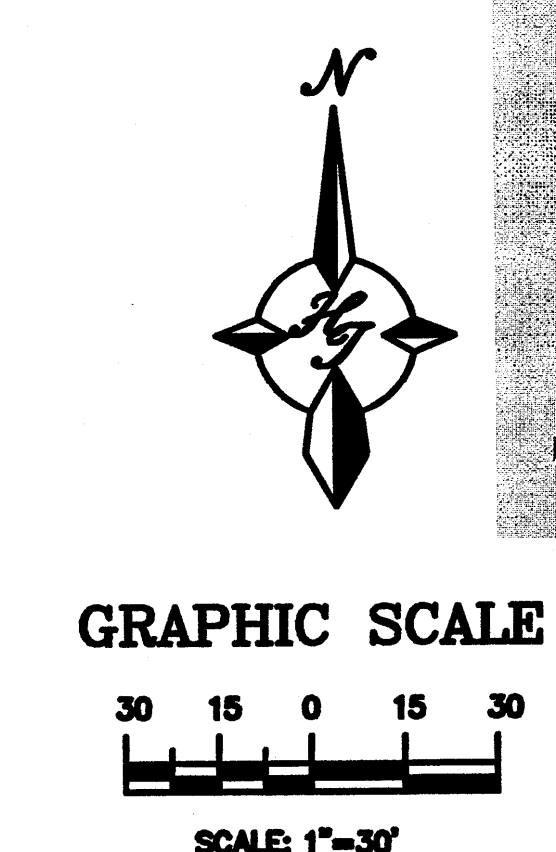
T:\Dwgs\COMMERCIAL\North Valley SDA Church\6-12-07\HT-LS-01.dwg, 6/12/2007 5:04:23 PM



1306 RIO GRANDE BLVD NW
ALBUQUERQUE, NM 87104
505-255-8400 505-268-8954 FAX

NEW MEXICO
ALBUQUERQUE
NORTH VALLEY ADVENTIST
SEVENTH-DAY CHURCH
LANDSCAPE PLAN

2	6-12-07	COMMENTS RMM
1	5-1-07	COM & SITE RMM
MK	DATE	DESCRIPTION
A07.06		
APRIL 6, 2007		
- 1 -		



LANDSCAPE ARCHITECTS & CONTRACTORS
 Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9690
 Fax (505) 898-7737
 cmj@hilltoplandscaping.com
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	151759	square feet
TOTAL BUILDINGS AREA	10759	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	141000	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	21150	square feet

BED PROVIDED EXCLUDING SOD	26492	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	19869	square feet
TOTAL GROUND COVER PROVIDED	20764 (10%)	square feet

TOTAL SOD AREA (max. 20% of landscape required)	1786 (8%)	square feet
--	-----------	-------------

TOTAL LANDSCAPE PROVIDED 28278 (20%) square feet

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

PARADISE BLVD	Required 18	Provided 18
PASEO DEL NORTE	Required 30	Provided 30

PARKING LOT TREE REQUIREMENTS

Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces (20 spaces in Phase 1)	Required 8	Provided 8
---	------------	------------

NOTE TO CLIENT:

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel to a minimum depth of 3" over Filter Fabric shall be placed in all pervious landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

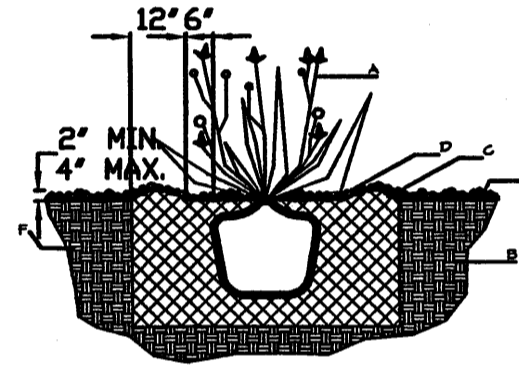
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



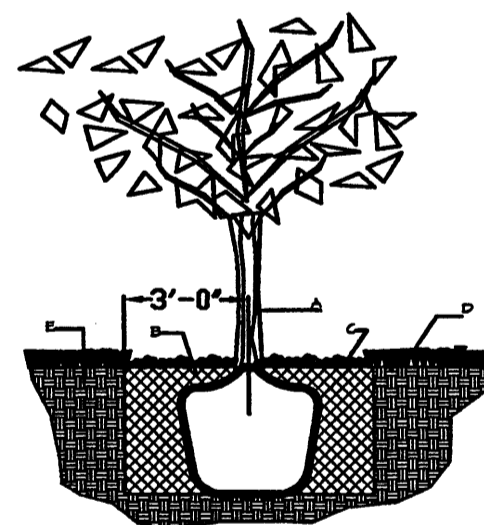
GENERAL NOTES:

1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

SHRUB PLANTING DETAIL NTS

CONSTRUCTION NOTES:

- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 4" DEPTH OF BARK MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.



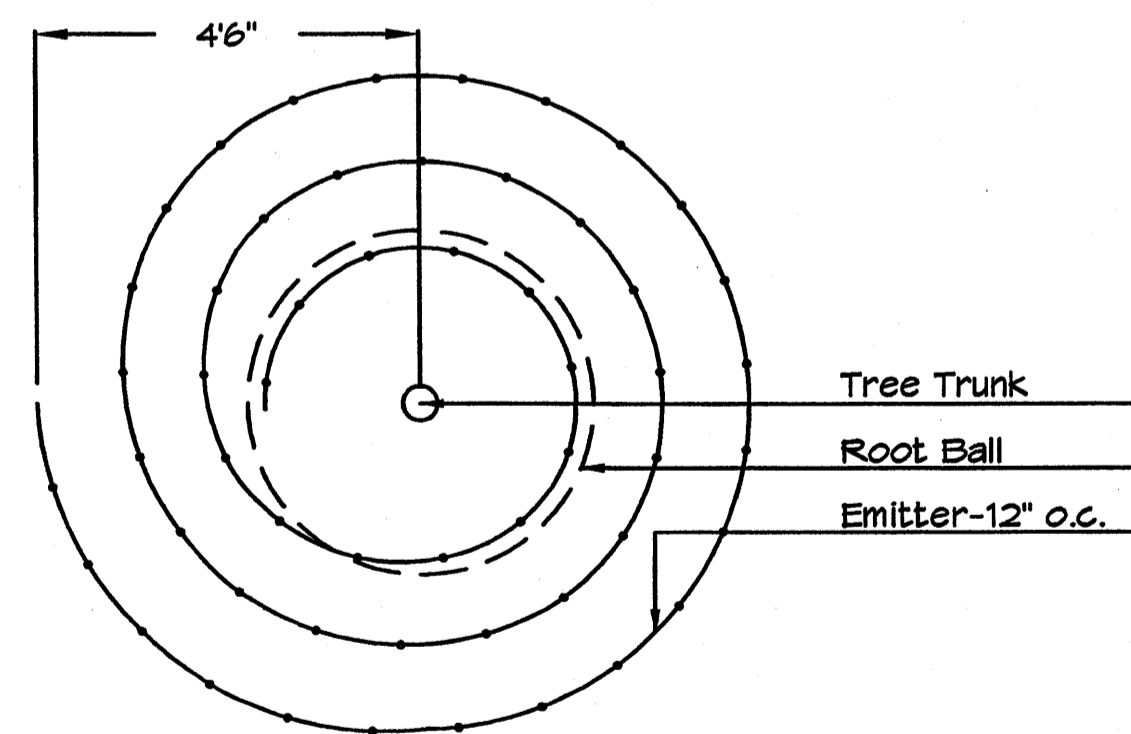
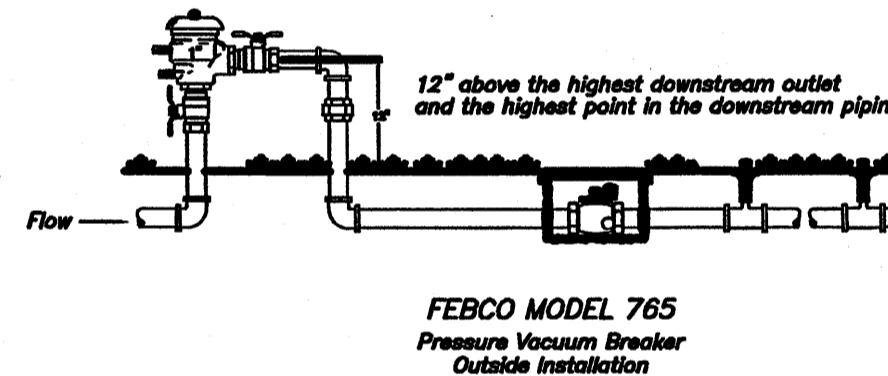
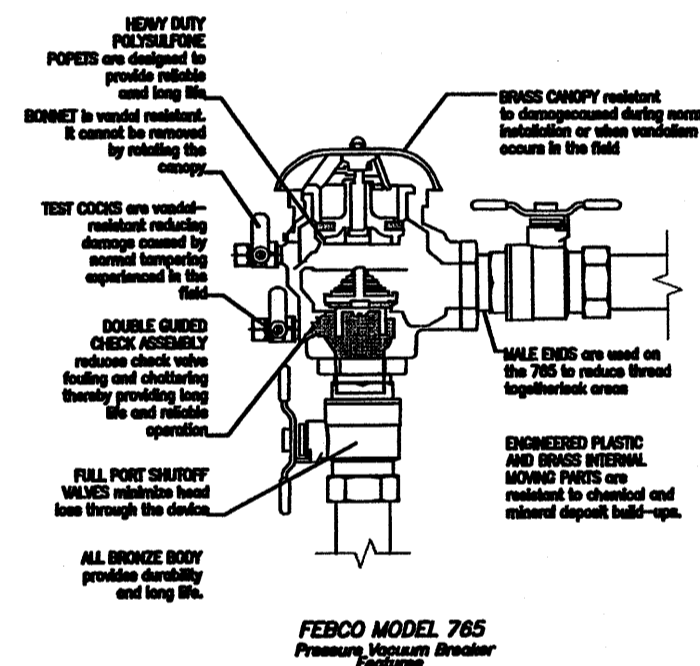
GENERAL NOTES:

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 4" DEPTH OF BARK MULCH.
- D. TURF AT FINISH GRADE.
- E. UNDISTURBED SOIL.

TREE PLANTING DETAIL NTS



Netafim Spiral Detail

NCA

ARCHITECTS - PLANNERS - AIA

1306 RIO GRANDE BLVD NW
ALBUQUERQUE, NM 87104
505-255-6400 505-268-6954 FAX

NEW MEXICO

NORTH VALLEY ADVENTIST
SEVENTH-DAY ADVENTIST
CHURCH

ALBUQUERQUE

2	6-12-07	COMMENTS RMM
1	5-1-07	COM & SITE RMM
MK	DATE	DESCRIPTION

A07.06

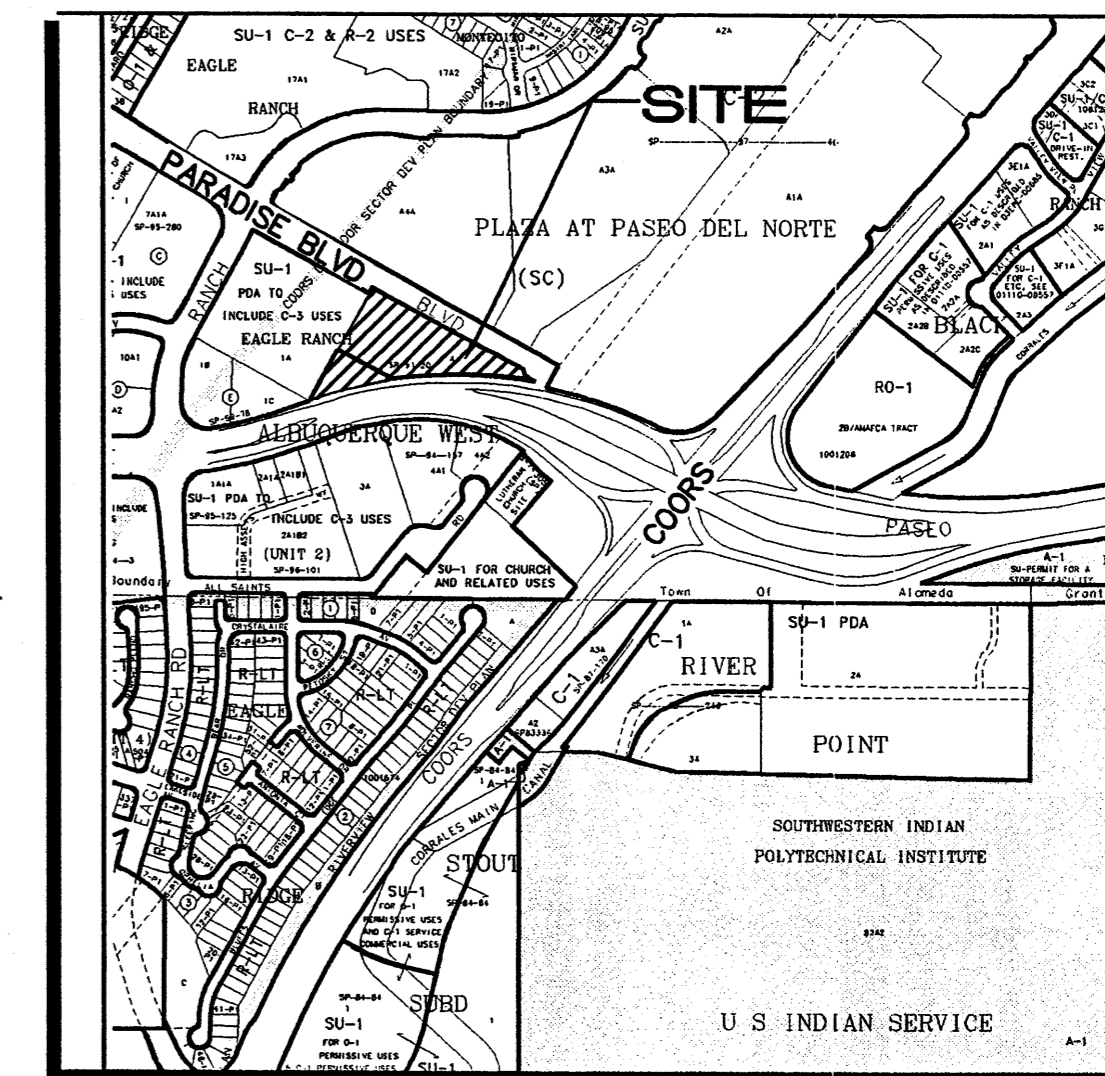
APRIL 6, 2007

L-2

The Hilltop

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C-13-Z 1"=750'

LEGAL DESCRIPTION: Tract A-1, Albuquerque West, Unit 2

AREA: 3.4839 Acres

SURVEYOR: Terra Land Surveys Dated: February 16, 2007

BENCHMARK: ACS Cap "16-C13 2003" set in north curb of Paradise Blvd. NW as shown. Elevation= 5038.90 (NAVD 88)

FLOODPLAIN: FEMA Panel 116 indicates the site is within zone 'X', an area determined to be outside the 500-year floodplain.

OFFSITE FLOW: The site currently accepts runoff from a small portion of the Paseo Del Norte R/W (unpaved area north of the road) and will continue to accept this flow after development.

Area = (880)(21) = 18,480 SF (0.42 Acres)
Land Treatment: 'A' Zone: 1
Offsite Q = (0.42)(1.29 cfs/ac) = 0.5 cfs

EXISTING CONDITIONS: The undeveloped site slopes down from west to east at 3-20 percent. Runoff enters the public R/W of Paradise Blvd. at its eastern end cul-de-sac.
Onsite Q = (3.4839)(1.29 cfs/ac) = 4.5 cfs

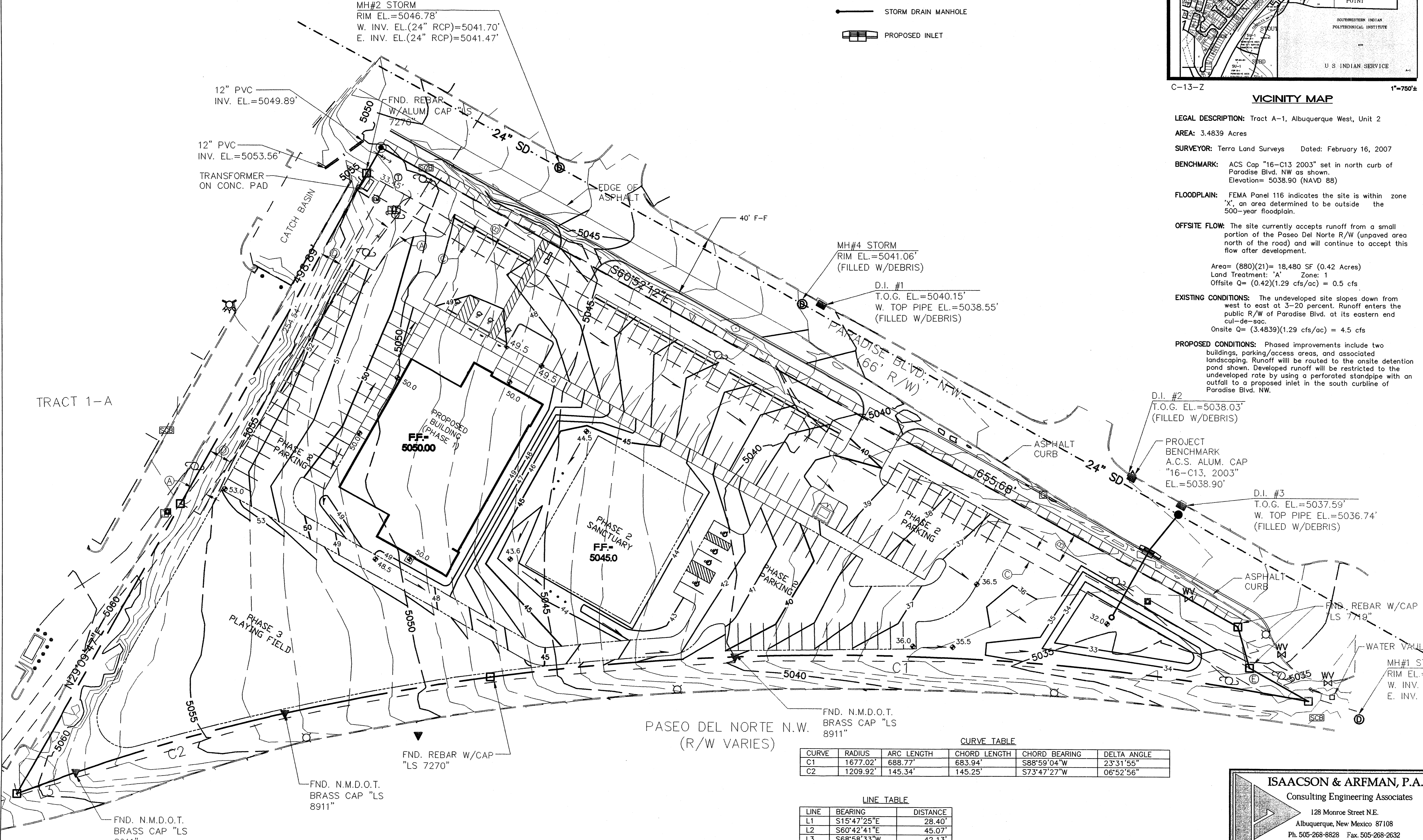
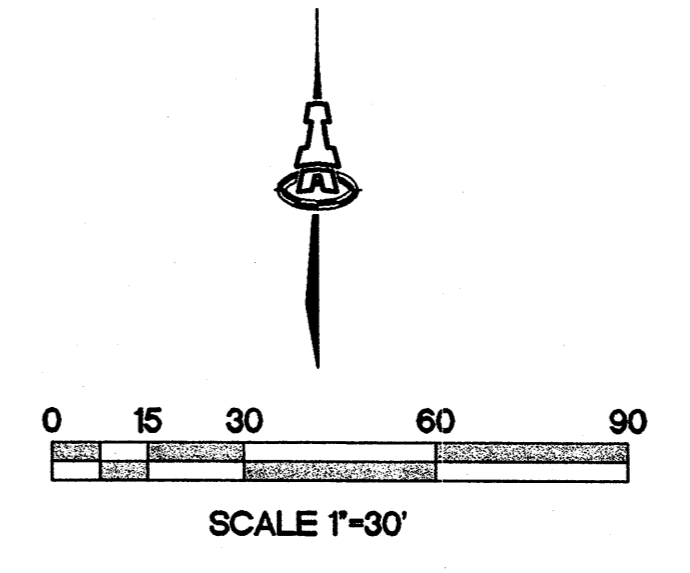
PROPOSED CONDITIONS: Phased improvements include two buildings, parking/access areas, and associated landscaping. Runoff will be routed to the onsite detention pond shown. Developed runoff will be restricted to the undeveloped rate by using a perforated standpipe with an outfall to a proposed inlet in the south curbline of Paradise Blvd. NW.

EXISTING EASEMENTS

- Ⓐ 10' PNM & MTN. BELL EASEMENT (BK. D560, PG. 47)
- Ⓑ 20' C.O.A. UTILITY, STORM AND DRAINAGE EASEMENT (01/28/1991) (BK. 91C, PG. 29)
- Ⓒ 10' UTILITY EASEMENT (11/21/1984) (BK. C25, PG. 138)
- Ⓓ 15' PRIVATE ACCESS EASEMENT (11/21/1984) (BK. C25, PG. 138)

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- ◆ 78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 5050.0 FINISH FLOOR ELEVATION
- INV=72.5 INVERT ELEVATION
- ⊙ STORM DRAIN MANHOLE
- ⊗ EXISTING LIGHT POLE
- STORM DRAIN MANHOLE
- ▭ PROPOSED INLET



PASEO DEL NORTE N.W.
(R/W VARIES)

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	1677.02'	688.77'	683.94'	S88°59'04"W	23°31'55"
C2	1209.92'	145.34'	145.25'	S73°47'27"W	06°52'56"

LINE TABLE

LINE	BEARING	DISTANCE
L1	S15°47'25"E	28.40'
L2	S60°42'41"E	45.07'
L3	S68°58'33"W	42.13'

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Consulting Engineering Associates
128 Monroe Street N.E.
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ARCHITECTS - PLANNERS - AIA

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ARCHITECT

CONSULTANT



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SEVENTH-DAY ADVENTIST
CHURCH

CONCEPTUAL UTILITY PLAN

ALBUQUERQUE

REVISIONS

MK DATE DESCRIPTION

DRAWN BY: CHECKED BY:

DLP SMM

JOB NUMBER:

A07.06

DATE:

JANUARY 2007

SHEET NO

3.2

KEYED NOTES

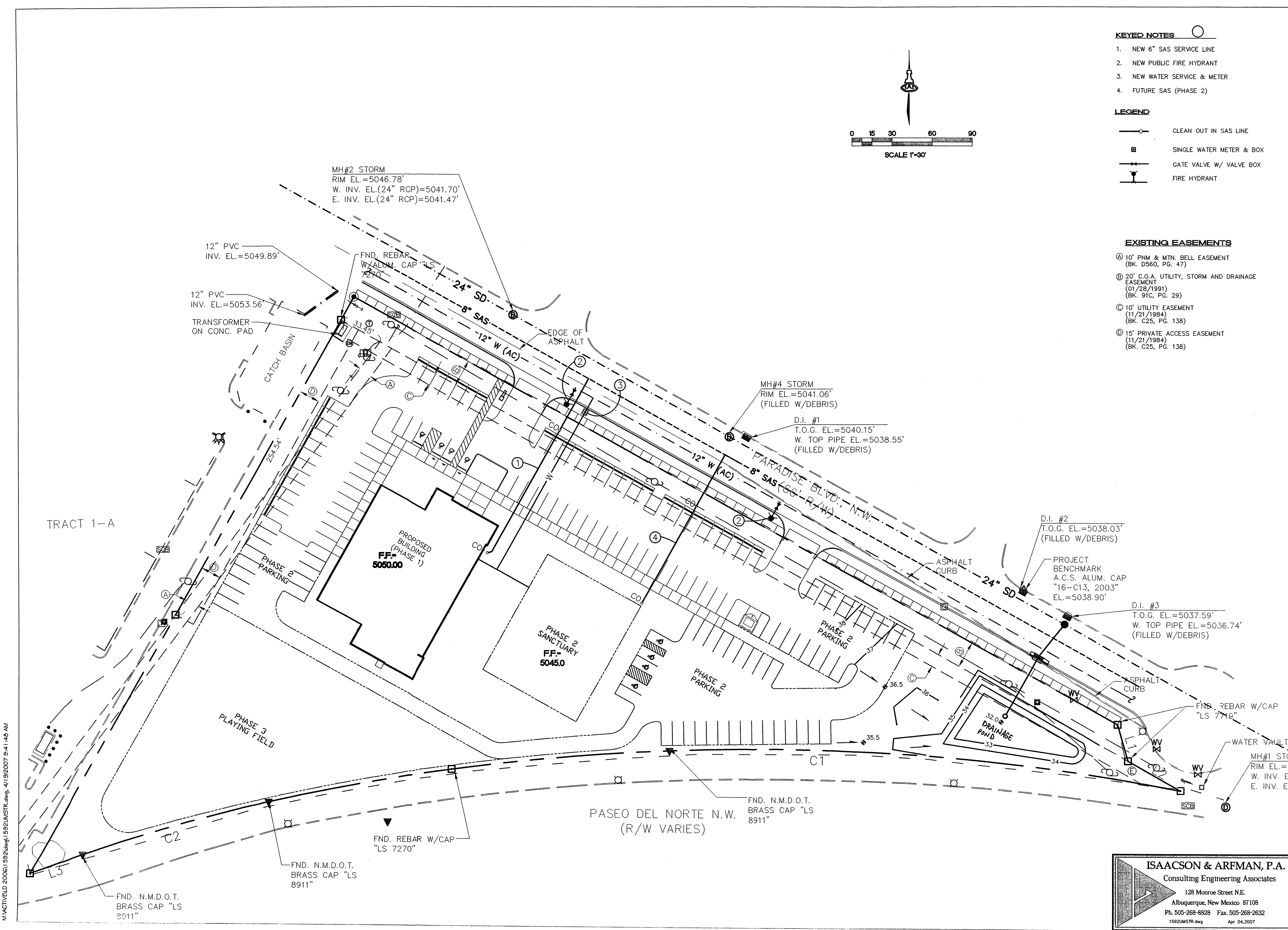
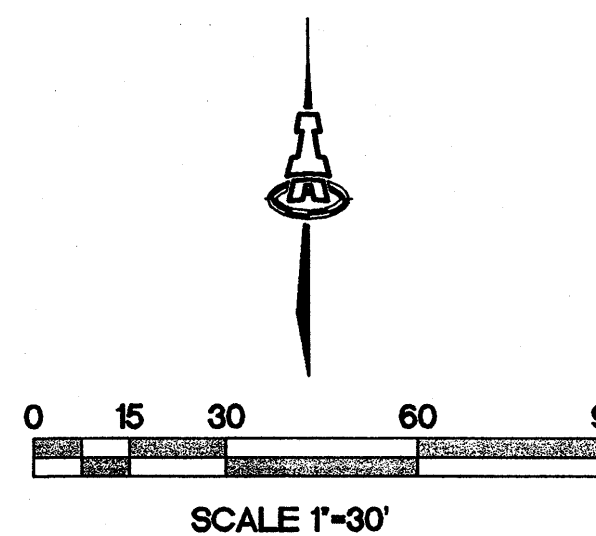
- 1. NEW 6" SAS SERVICE LINE
- 2. NEW PUBLIC FIRE HYDRANT
- 3. NEW WATER SERVICE & METER
- 4. FUTURE SAS (PHASE 2)

LEGEND

- CLEAN OUT IN SAS LINE
- SINGLE WATER METER & BOX
- GATE VALVE W/ VALVE BOX
- FIRE HYDRANT

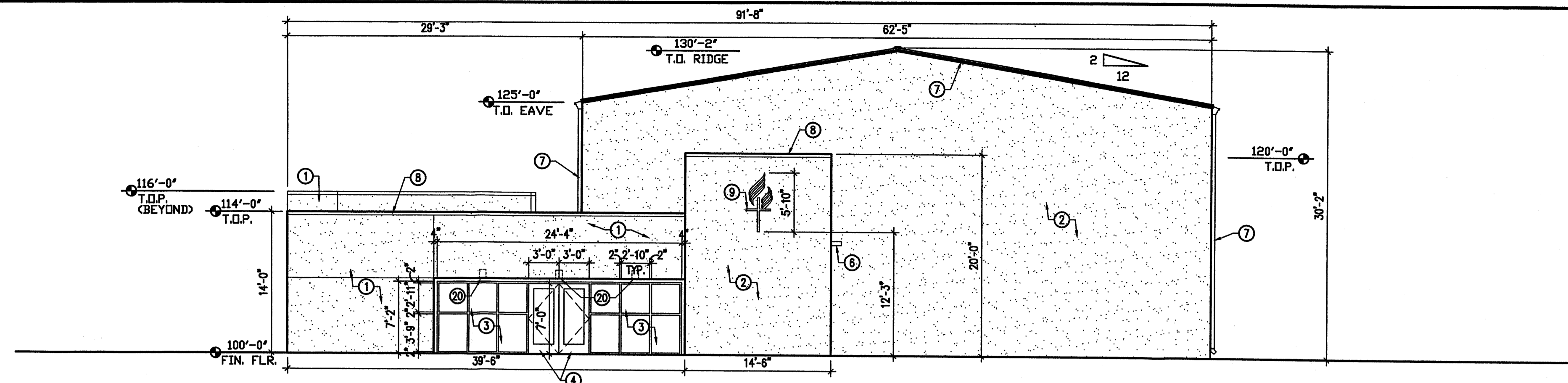
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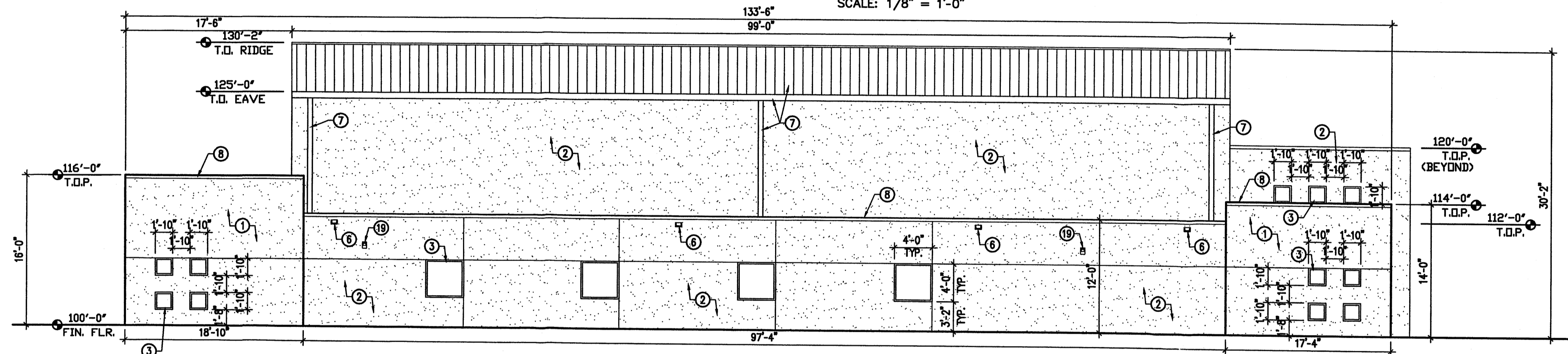


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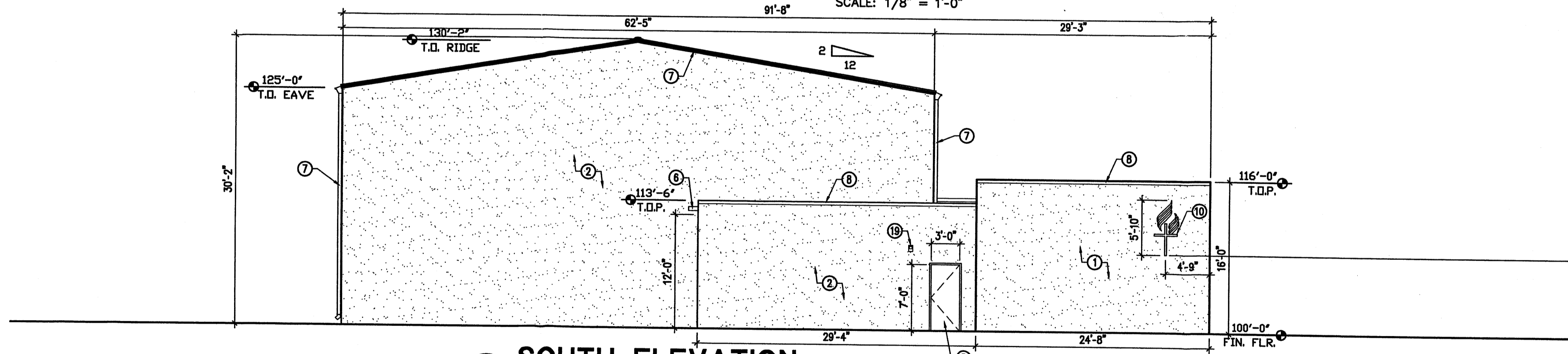
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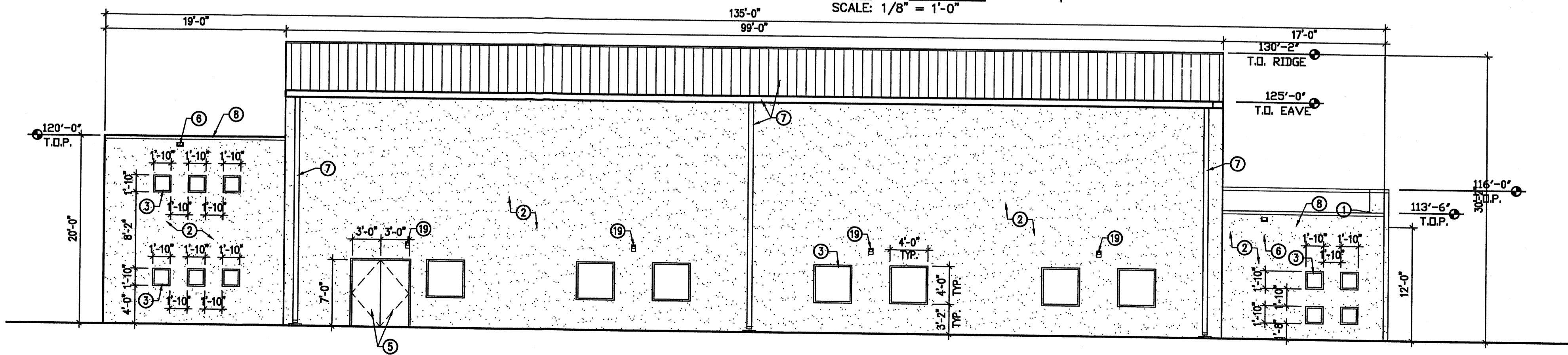
1 NORTH ELEVATION
A2.1



2 EAST ELEVATION
A2.1



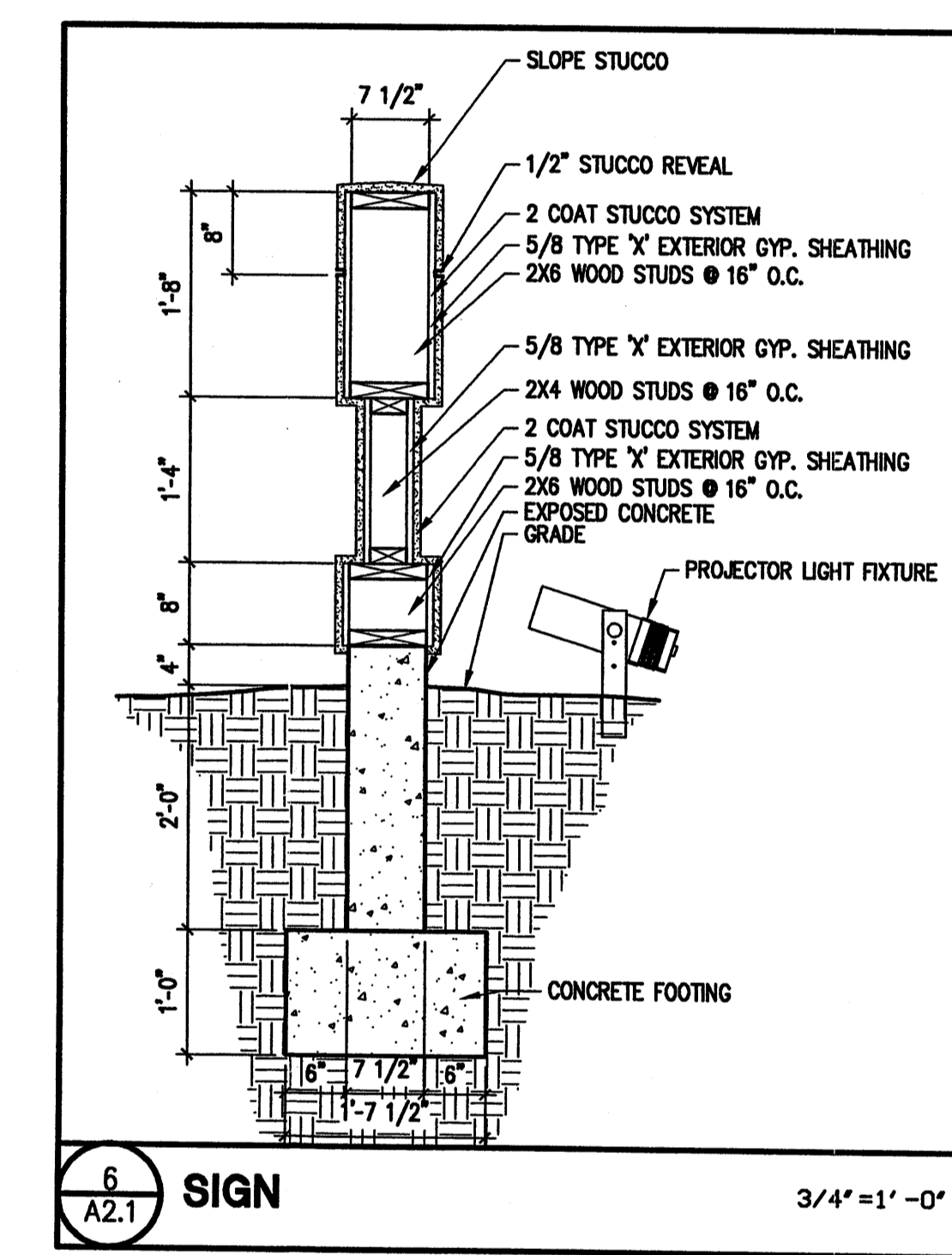
3 SOUTH ELEVATION
A2.1



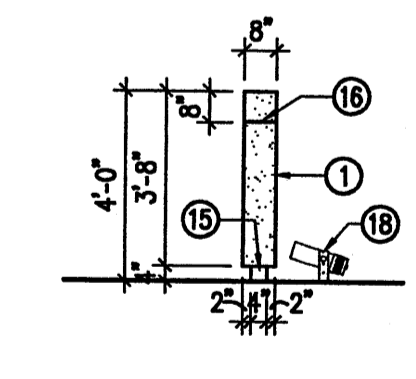
4 WEST ELEVATION
A2.1

KEYED NOTES:

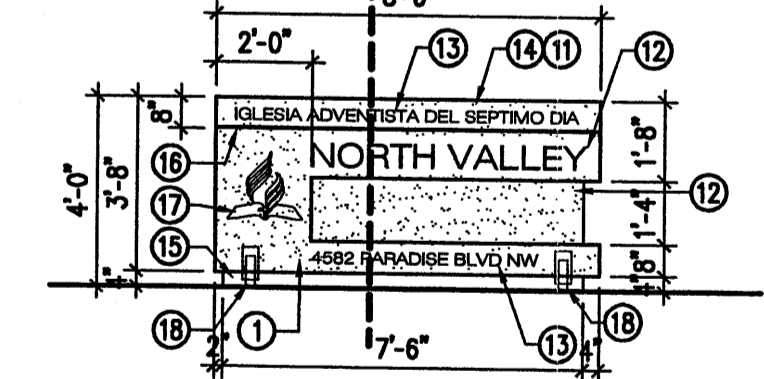
1. STUCCO COLOR 1.
2. COAT STUCCO SYSTEM. ACRYLIC, ELASTOMERIC COATING (FINE FINISH). DARK BROWN) COLOR TO BE STO CORP. 01006 SUEDE 28.
3. STUCCO COLOR 2.
4. COAT STUCCO SYSTEM. ACRYLIC, ELASTOMERIC COATING (FINE FINISH). (OFF WHITE) COLOR TO BE STO CORP. 01007 NAVAJO WHITE 64.
5. 30% TINTED INSULATED GLASS IN OFF WHITE ALUMINUM STOREFRONT FRAME.
6. 30% TINTED INSULATED GLASS IN OFF WHITE ALUMINUM DOOR. OFF WHITE HOLLOW METAL DOOR IN OFF WHITE HOLLOW METAL FRAME.
7. METAL SCUPPER, PAINT OFF WHITE.
8. VISIBLE METAL BUILDING COMPONENTS (ROOF, TRIM, GUTTERS, DOWNSPOUTS) ALL WITH MANUFACTURER FINISH TO MATCH STUCCO COLOR 2.
9. METAL COPING. PAINT TO MATCH STUCCO COLOR DIRECTLY BELOW.
10. METAL CROSS, PAINT TO MATCH STUCCO COLOR 1.
11. SIGN LOCATED AT WEST SIDE OF WEST PARKING ENTRY JUST SOUTH OF CURB RAMP. SEE NOTE 28 ON SITE PLAN SHEET AS.1.1 AND ELEVATION 5/A2.1 AND DETAIL 6/A2.1 THIS SHEET.
12. OFF WHITE 6" LETTERING.
13. OFF WHITE 3" LETTERING.
14. TOTAL SIGN FACE AREA IS 32 SQ. FT.
15. EXPOSED CONCRETE BASE.
16. 1/2" STUCCO REVEAL.
17. METAL ADVENTIST SYMBOL, PAINT TO MATCH STUCCO COLOR 2.
18. PROJECTOR LIGHT FIXTURE. LUMIERE HOLLYWOOD 1701 BY COOPER LIGHTING. LOCATE IN GROUND AND ROTATE FIXTURE AS REQUIRED SO THAT ONLY SIGN IS LIT WITH NO UPLIGHTING BEYOND EXTENTS OF SIGN.
19. WALL SCONCE MOUNTED AT 9' A.F.F. FAIL-SAFE HWV-505-120-BLK BY COOPER LIGHTING.
20. RECESSED LIGHTING IN ENTRANCE ALCOVE CEILING (7'-6" A.F.F.).



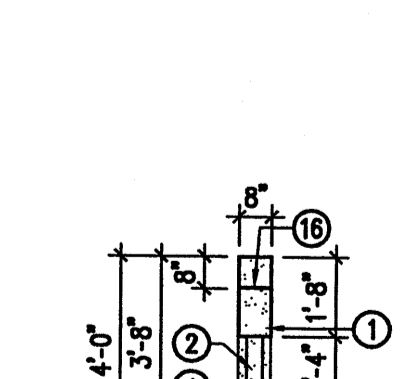
6 SIGN
A2.1



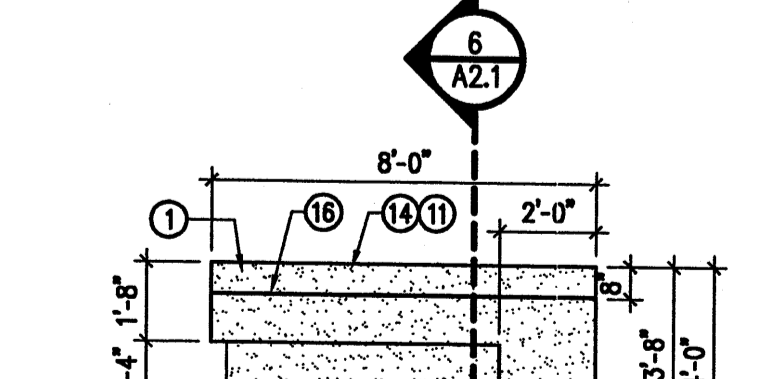
NORTH



WEST



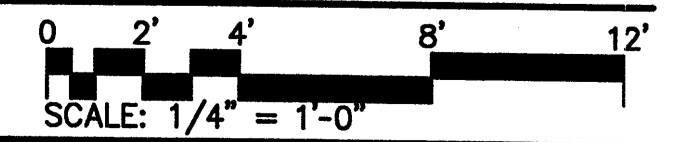
SOUTH



EAST

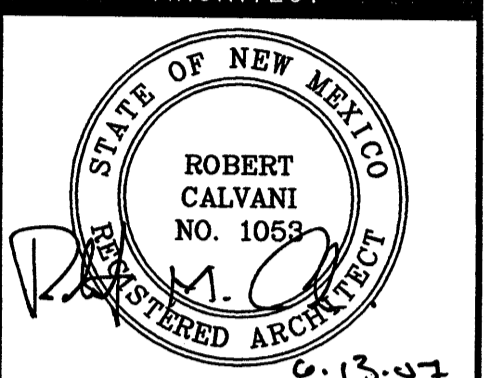
NOTE: SIGN LOCATED AT WEST SIDE OF WEST PARKING ENTRY JUST SOUTH OF CURB RAMP

5 SIGN ELEVATION
A2.1



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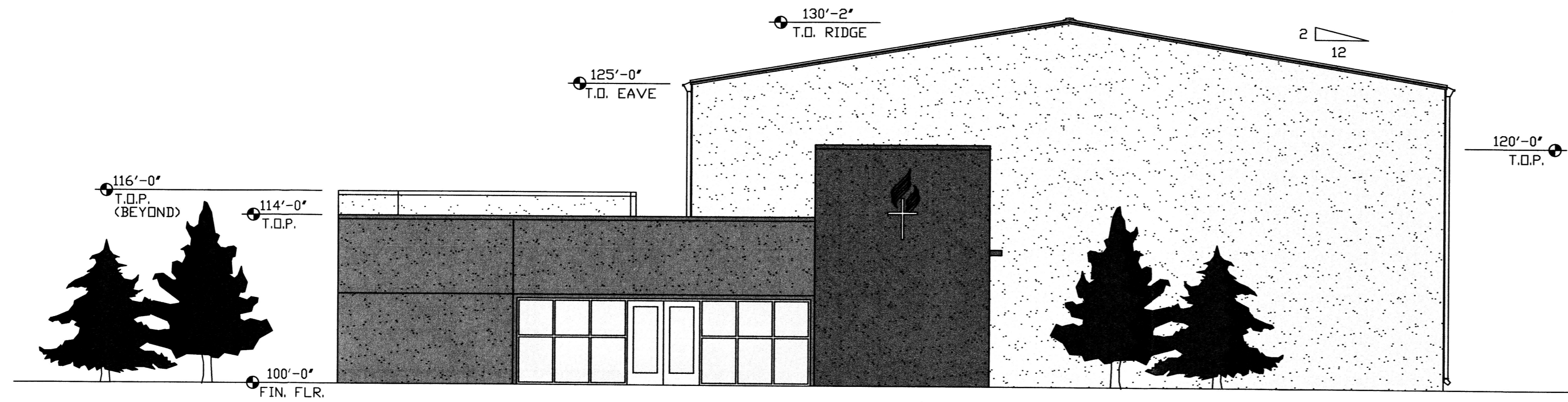
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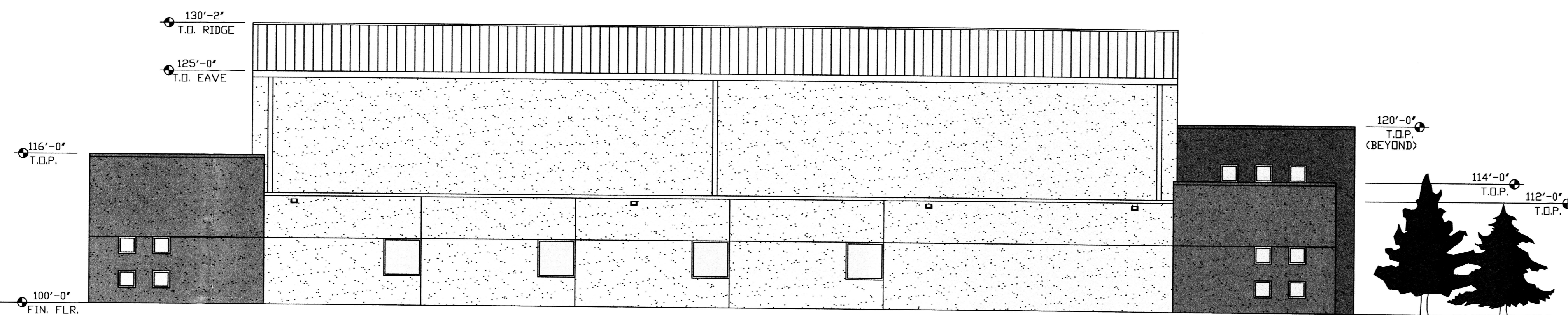
SHEET NO

4

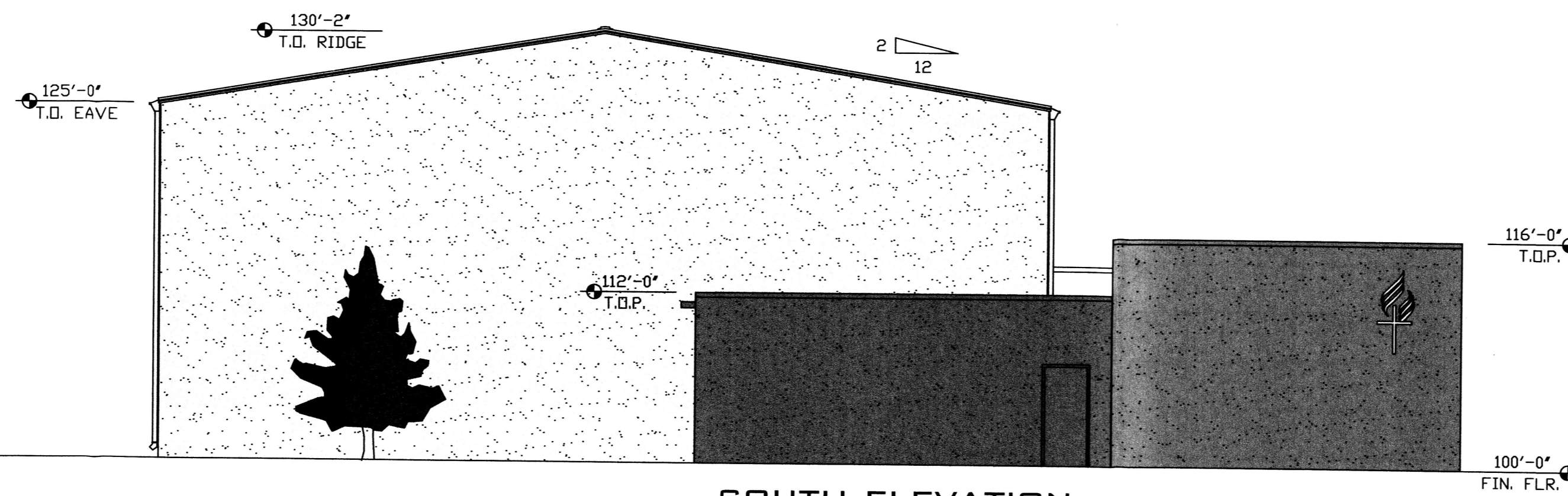
NORTH VALLEY SDA CHURCH
NCA ARCHITECTS
COLOR RENDERINGS FOR D.R.B.
 SCALE: 1/8" = 1'-0"



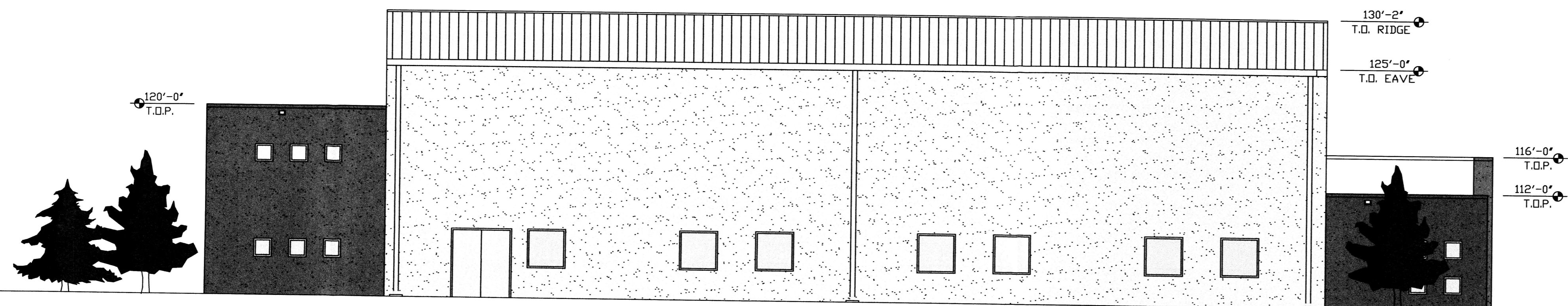
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



SIGN ELEVATION
 1/4" = 1'-0"