

### Indexing Information

Section 26, Township 11 North, Range 4 East, N.M.P.M. as Projected into the Elena Gallegos Grant  
 Subdivision: The Legends at High Desert  
 Owners: Roy A. Rahning and Paula J. Rahning (Lot 45-A)  
 Rutledge Investment Company, Inc. and Las Ventanas NM, Inc.  
 (Tract 1-A)  
 UPC #102306219326331403 (Lot 45-A)  
 UPC #102306220127031401 (Tract 1-A)

### Treasurer's Certification

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC# 102306220127031401  
 PROPERTY OWNER OF RECORD:  
 Legends at High Desert LLC  
 BERNALILLO COUNTY TREASURER'S OFFICE:  
 JAL 07-17-2017

Plat for  
 Lot 45-A-1 and Tract 1-A-1  
 The Legends at High Desert  
 Being Comprised of Lot 45-A and Tract 1-A  
 The Legends a High Desert  
 City of Albuquerque  
 Bernalillo County, New Mexico  
 April 2014

### Legal Description

LOT FORTY-FIVE-A (45-A) AND TRACT ONE-A (1-A) OF THE LEGENDS AT HIGH DESERT SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "LOT 45-A AND TRACT 1-A, BEING A REPLAT OF LOT 45 AND TRACT 1, THE LEGENDS AT HIGH DESERT, ELENA GALLEGOS GRANT, PROJECTED SECTION 26, T.11N, R.4E, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 27, 2007, IN BOOK 2007C, PAGE 356, BEING DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHWESTERLY CORNER OF THE HEREIN DESCRIBED PARCEL, BEING A POINT ON THE EASTERLY RIGHT OF WAY OF MOJAVE ASTER WAY NE, WHENCE A TIE TO ACS MONUMENT "21-F23", BEARING S 34°26'39" W, A DISTANCE OF 3151.38 FEET;

THENCE, COINCIDING WITH SAID EASTERLY RIGHT OF WAY OF MOJAVE ASTER WAY NE, THE FOLLOWING TWO COURSES:

53.56 FEET, ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 116.41, A DELTA OF 26°21'44", A CHORD BEARING OF N 05°24'16" W, A DISTANCE OF 53.09 FEET, TO A POINT OF CURVATURE;

25.18 FEET, ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 83.50, A DELTA OF 17°16'29", A CHORD BEARING OF N 09°53'47" W, A DISTANCE OF 25.08 FEET, TO AN ANGLE POINT;

THENCE, LEAVING SAID EASTERLY RIGHT OF WAY OF MOJAVE ASTER WAY NE, N 73°28'48" E, A DISTANCE OF 43.10 FEET;

THENCE, S 16°31'12" E, A DISTANCE OF 2.00 FEET, TO AN ANGLE POINT;

THENCE, N 73°28'48" E, A DISTANCE OF 12.00 FEET, TO AN ANGLE POINT;

THENCE, S 16°31'12" E, A DISTANCE OF 2.00 FEET, TO AN ANGLE POINT;

THENCE, N 73°28'48" E, A DISTANCE OF 27.00 FEET, TO AN ANGLE POINT;

THENCE, S 61°32'40" E, A DISTANCE OF 4.24 FEET, TO AN ANGLE POINT;

THENCE, N 28°28'48" E, A DISTANCE OF 15.51 FEET, TO AN ANGLE POINT;

THENCE, N 16°31'12" W, A DISTANCE OF 39.03 FEET, TO AN ANGLE POINT;

THENCE, S 73°28'48" W, A DISTANCE OF 30.13 FEET, TO AN ANGLE POINT;

THENCE, N 16°31'12" W, A DISTANCE OF 2.00 FEET, TO AN ANGLE POINT;

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THENCE, 16.39 ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 21.55, A DELTA OF 43°35'46", A CHORD BEARING OF N 47°05'10" E, A DISTANCE OF 16.00 FEET, TO A POINT OF CURVATURE, ALSO BEING A POINT ON THE SOUTHERLY RIGHT OF WAY OF CLIFFBRUSH LANE NE;

### Legal Description (Continued)

THENCE, COINCIDING WITH THE SAID SOUTHERLY RIGHT OF WAY OF CLIFFBRUSH LANE NE, THE FOLLOWING TWO COURSES:

84.89 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 728.50, A DELTA OF 06°40'35", A CHORD BEARING OF N 65°34'14" E, A DISTANCE OF 84.84 FEET, TO AN ANGLE POINT;

N 62°13'57" E, A DISTANCE OF 66.32 FEET, TO A POINT OF CURVATURE;

THENCE, LEAVING SAID SOUTHERLY RIGHT OF WAY OF CLIFFBRUSH LANE NE, 30.28 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 19.50 FEET, A DELTA OF 88°58'39", A CHORD BEARING OF S 73°17'17" E, A DISTANCE OF 27.33 FEET, TO A POINT OF CURVATURE, BEING A POINT ON THE WESTERLY RIGHT OF WAY OF GHOST FLOWER TRAIL NE;

THENCE, COINCIDING WITH THE WESTERLY RIGHT OF WAY OF GHOST FLOWER TRAIL NE, 78.02 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 174.50, A DELTA OF 25°37'00", A CHORD BEARING OF S 16°00'00" E, A DISTANCE OF 77.37 FEET TO THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED PARCEL;

THENCE, LEAVING SAID WESTERLY RIGHT OF WAY OF GHOST FLOWER TRAIL NE, S 73°28'48" W, A DISTANCE OF 62.69 FEET, TO AN ANGLE POINT;

THENCE, S 16°31'12" E, A DISTANCE OF 2.00 FEET, TO AN ANGLE POINT;

THENCE, S 73°28'48" W, A DISTANCE OF 11.29 FEET, TO AN ANGLE POINT;

THENCE, N 61°31'12" W, A DISTANCE OF 2.83 FEET, TO AN ANGLE POINT;

THENCE, S 73°28'48" W, A DISTANCE OF 16.71 FEET, TO AN ANGLE POINT;

THENCE, S 28°28'48" W, A DISTANCE OF 9.90 FEET, TO AN ANGLE POINT;

THENCE, S 16°31'12" E, A DISTANCE OF 25.25 FEET, TO AN ANGLE POINT;

THENCE, S 28°28'48" W, A DISTANCE OF 36.41 FEET, TO AN ANGLE POINT;

THENCE, S 16°31'12" E, A DISTANCE OF 9.39 FEET, TO AN ANGLE POINT;

THENCE, S 73°28'48" W, A DISTANCE OF 34.11 FEET, TO AN ANGLE POINT;

THENCE, N 16°31'12" W, A DISTANCE OF 2.00 FEET, TO AN ANGLE POINT;

THENCE, S 73°28'48" W, A DISTANCE OF 12.00 FEET, TO AN ANGLE POINT;

THENCE, N 16°31'12" W, A DISTANCE OF 2.00 FEET, TO AN ANGLE POINT;

THENCE, S 73°28'48" W, A DISTANCE OF 41.68 FEET TO THE POINT OF BEGINNING, CONTAINING 0.4060 ACRES (17,686 SQ. FT.) MORE OR LESS.

### Subdivision Data

GROSS ACREAGE	.0.4060 ACRES
ZONE ATLAS PAGE NO.	E-23-Z
NUMBER OF EXISTING LOTS	.2
NUMBER OF LOTS CREATED	.2
MILES OF FULL WIDTH STREETS	.0.0 MILES
MILES OF HALF WIDTH STREETS	.0.00
RIGHT-OF-WAY DEDICATION TO THE CITY OF ALBUQUERQUE	.0.0 ACRES
DATE OF SURVEY	.APRIL 2014

### Purpose of Plat

- SUBDIVIDE AS SHOWN HEREON.
- VACATE PORTION OF EASEMENT SHOWN HEREON AS

### Notes

- FIELD SURVEY PERFORMED IN APRIL 2014.
- ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
- THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (NAD 83-GRID).
- LOT LINES BEING ELIMINATED SHOWN HEREON AS.....

### Approved and Accepted by:

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14 OF THE REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994.

Project Number 100439

Application Number Doc-70123

Plat approvals:

	5-22-14
PNM Electric Services	Date
	5/23/14
New Mexico Gas Company	Date
	5/22/14
Qwest Corporation d/b/a CenturyLink QC	Date
	5/23/14
Comcast	Date

City approvals:

	4/28/14
City Surveyor	Date
	05-21-14
Traffic Engineer	Date
	05/21/14
ABCWUA	Date
	5-21-14
Parks and Recreation Department	Date
	7-17-14
AMAFCA	Date
	5-21-14
City Engineer	Date
	7-17-14
DRB Chairperson, Planning Department	Date

### Surveyor's Certificate

"I, DAVID J. THOMPSON, A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE UTILITY COMPANIES OR OTHER INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF."

4/14/14  
 DAVID J. THOMPSON DATE  
 N.M.R.P.S. No. 12657

CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
 Phone (505) 896-3050 Fax (505) 891-0244



**Plat for**  
**Lot 45-A-1 and Tract 1-A-1**  
**The Legends at High Desert**  
 Being Comprised of Lot 45-A and Tract 1-A-1  
**The Legends a High Desert**  
 City of Albuquerque  
 Bernalillo County, New Mexico  
 April 2014

**Documents**

1. TITLE COMMITMENT PROVIDED BY STEWART TITLE, FILE NO. 01147-8073, EFFECTIVE DATE 12/10/2013.
2. TITLE COMMITMENT PROVIDED BY STEWART TITLE, FILE NO. 01147-11078, EFFECTIVE DATE 04/09/2014.
3. PLAT OF RECORD, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 27, 2007, IN BOOK 2007C, PAGE 356.
4. PLAT OF THE LEGENDS AT HIGH DESERT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MAY 11, 2006, IN BOOK 2006C, PAGE 149.

**Solar Collection Note**

PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

**Easement Notes**

- 1 EXISTING 10' P.U.E. (5/11/06, BK. 2006C, PG. 149)
- 2 EXISTING PRIVATE USE AND ENJOYMENT EASEMENT FOR INGRESS, EGRESS, GENERAL USE, LANDSCAPE AND MAINTENANCE PURPOSES FOR THE BENEFIT OF THE OWNER(S) OF THE ADJOINING LOTS TO BE RESERVED AND GRANTED PER THE GRANTOR'S INITIAL CONVEYANCE OF THE LOTS AS SHOWN ON PLAT FILED 5/11/06 IN BOOK 2006C, PAGE 149. EASEMENT WIDTH VARIES HAVING A MINIMUM WIDTH OF 3 FEET AND SHALL EXTEND TO THE BUILDING FACE UPON COMPLETION OF STRUCTURE.
- 3 EXISTING 3' X 3' WATER METER EASEMENT (P.U.E.) (5/11/06, BK. 2006C, PG. 149)
- 4 EXISTING 6' UNDERGROUND DRAINAGE EASEMENT (1/23/2008, DOCUMENT 2008006930)
- 5 EXISTING EASEMENT ACROSS TRACT 1-A-1 (12/27/07, BK. 2007C, PG. 356)
- 6 PORTION OF ORIGINAL TRACT 1-A PRIVATE LANDSCAPING EASEMENT VACATED WITH THE FILING OF THIS PLAT SHOWN HEREON AS

**Legend**

N 90°00'00" E MEASURED AND RECORD BEARING AND DISTANCES

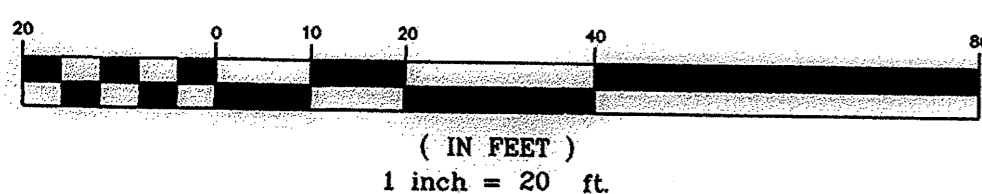
- FOUND REBAR MONUMENT MARKED AS INDICATED
- SET BATHEY MARKER "LS 14271"
- CENTERLINE MONUMENT
- ACS MONUMENT

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	16.39'	21.55'	43°35'46"	16.00'	N 47°05'10" E
C2	84.89'	728.50'	6°40'35"	84.84'	N 65°34'14" E
C3	30.28'	19.50'	88°58'39"	27.33'	S 73°17'17" E
C4	78.02'	174.50'	25°37'00"	77.37'	S 16°00'00" E
C5	28.36'	116.41'	13°57'31"	28.29'	N 00°47'50" E
C6	25.20'	116.41'	12°24'13"	25.15'	N 12°23'00" W
C7	25.18'	83.50'	17°16'29"	25.08'	N 09°53'47" W
C8	53.56'	116.41'	26°21'44"	53.09'	N 05°24'16" W
C9	8.37'	83.00'	5°46'49"	8.37'	N 01°41'01" E
C10	27.96'	108.00'	14°49'56"	27.88'	N 02°50'25" W
C11	13.30'	21.51'	35°25'41"	13.09'	N 07°27'40" E

LINE TABLE					
LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L1	66.32'	N 62°13'57" E	L20	4.24'	S 61°32'40" E
L2	2.00'	S 16°31'12" E	L21	15.51'	N 28°28'48" E
L3	11.29'	S 73°28'48" W	L22	39.03'	N 16°31'12" W
L4	2.83'	N 61°31'12" W	L23	30.13'	S 73°28'48" W
L5	16.71'	S 73°28'48" W	L24	2.00'	N 16°31'12" W
L6	9.90'	S 28°28'48" W	L25	12.00'	S 73°28'48" W
L7	25.25'	S 16°31'12" E	L26	2.00'	N 16°31'12" W
L8	36.41'	S 28°28'48" W	L27	39.41'	S 73°28'48" W
L9	9.39'	S 16°31'12" E	L28	14.81'	N 73°28'48" E
L10	34.11'	S 73°28'48" W	L29	13.52'	S 61°31'12" E
L11	2.00'	N 16°31'12" W	L30	17.38'	N 73°27'10" E
L12	12.00'	S 73°28'48" W	L31	15.73'	N 62°22'56" E
L13	2.00'	N 16°31'12" W	L32	6.52'	S 15°05'11" E
L14	41.68'	S 73°28'48" W	L33	13.45'	N 74°32'48" E
L15	43.10'	N 73°28'48" E	L34	9.70'	N 54°27'30" E
L16	2.00'	S 16°31'12" E	L35	9.09'	N 15°59'01" W
L17	12.00'	N 73°28'48" E	L36	14.99'	N 25°44'39" E
L18	2.00'	S 16°31'12" E	L37	32.96'	N 16°31'12" W
L19	27.00'	N 73°28'48" E			

ACS Monument "21-F23"  
 NAD 1983 CENTRAL ZONE  
 X=1566340.305  
 Y=1508149.360  
 Z=5986.225 (NAVD 1988)  
 G-G=0.999623805  
 Mapping Angle=00°08'33.51"

**GRAPHIC SCALE**



**CARTESIAN SURVEYS INC.**

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
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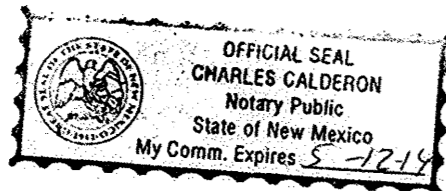
**Free Consent**

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND HEREBY. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

RAH \_\_\_\_\_ DATE 4/21/2014  
 ROY A. RAHNING  
 CO-OWNER OF TRACT 45-A

**Acknowledgment**

STATE OF NEW MEXICO }  
 COUNTY OF BERNALILLO } SS



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON  
4-21-14

BY: ROY A. RAHNING, CO-OWNER OF LOT 45-A

Charles Calderon \_\_\_\_\_ DATE 5-12-14  
 NOTARY PUBLIC MY COMMISSION EXPIRES

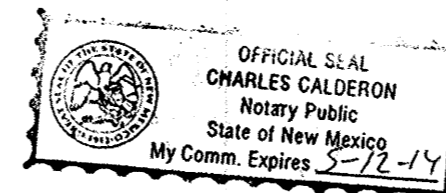
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SA \_\_\_\_\_ DATE 4/23/14  
 SCOTT ALLEN  
 PRESIDENT OF LAS VENTANAS NM, INC.  
 OWNER OF LOT 1-A

**Acknowledgment**

STATE OF NEW MEXICO }  
 COUNTY OF BERNALILLO } SS



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BY: SCOTT ALLEN, PRESIDENT OF LAS VENTANAS NM, INC.

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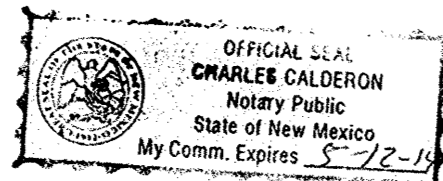
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Paula J. Rahning \_\_\_\_\_ DATE 4/21/14  
 PAULA J. RAHNING  
 CO-OWNER OF LOT 45-A

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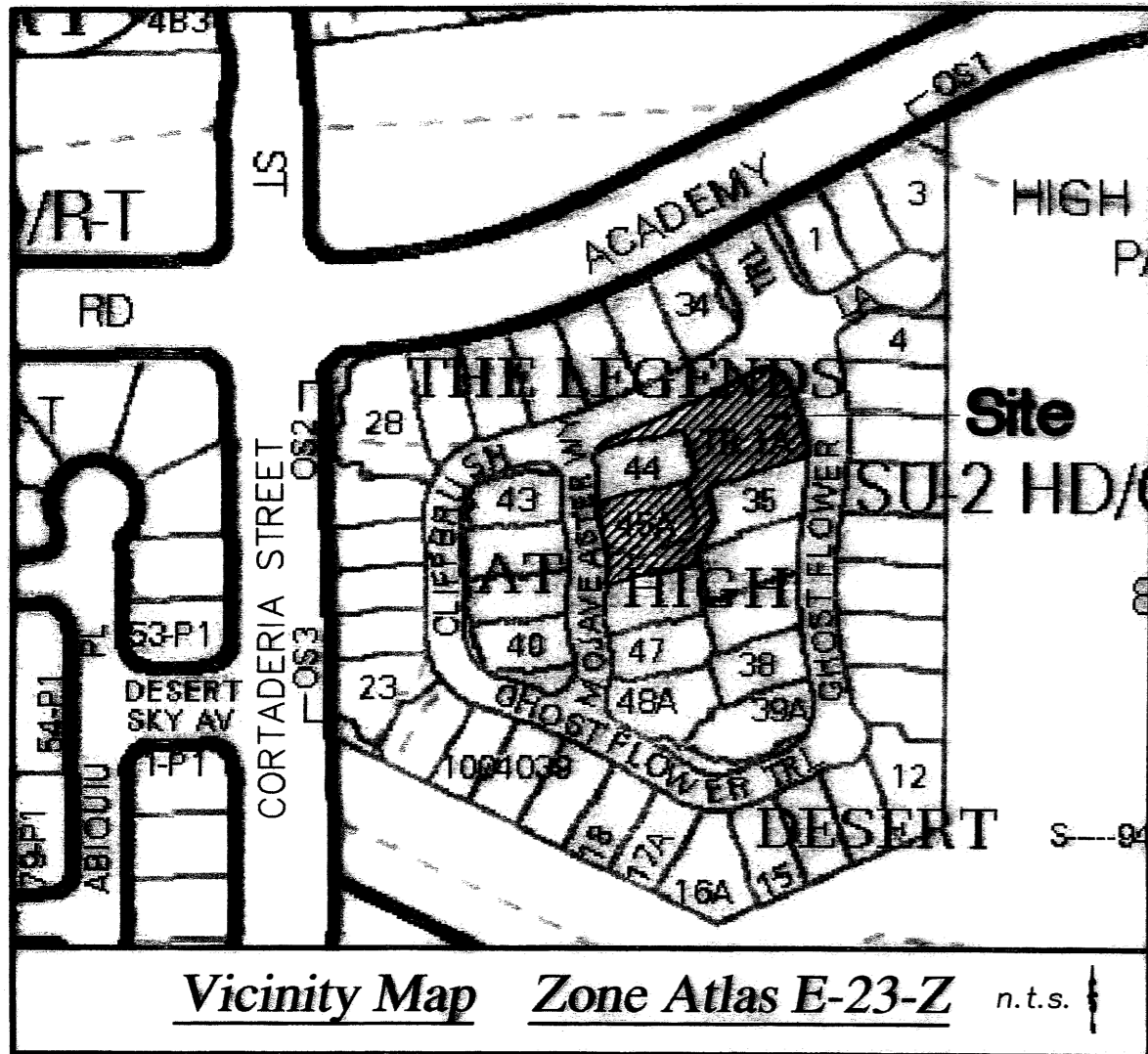
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Charles Calderon \_\_\_\_\_ DATE 5-12-14  
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DOC# 2014056485  
 07/17/2014 02:38 PM Page 3 of 3  
 CityPLAT R:\$25.00 8.2014C P. 0070 M. Toulous Olivere, Bernalillo, NM

**CARTESIAN SURVEYS INC.**

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
 Phone (505) 896-3050 Fax (505) 891-0244



**Indexing Information**

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 Rutledge Investment Company, Inc. and Las Ventanas NM, Inc. (Tract 1-A)  
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**Treasurer's Certification**

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 BERNALILLO COUNTY TREASURER'S OFFICE:

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**Bernalillo County, New Mexico**  
**April 2014**

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**Legal Description (Continued)**

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84.89 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 728.50, A DELTA OF 06°40'35", A CHORD BEARING OF N 65°34'14" E, A DISTANCE OF 84.84 FEET, TO AN ANGLE POINT;

N 62°13'57" E, A DISTANCE OF 66.32 FEET, TO A POINT OF CURVATURE;

THENCE, LEAVING SAID SOUTHERLY RIGHT OF WAY OF CLIFFBRUSH LANE NE, 30.28 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 19.50 FEET, A DELTA OF 88°58'39", A CHORD BEARING OF S 73°17'17" E, A DISTANCE OF 27.33 FEET, TO A POINT OF CURVATURE, BEING A POINT ON THE WESTERLY RIGHT OF WAY OF GHOST FLOWER TRAIL NE;

THENCE, COINCIDING WITH THE WESTERLY RIGHT OF WAY OF GHOST FLOWER TRAIL NE, 78.02 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 174.50, A DELTA OF 25°37'00", A CHORD BEARING OF S 16°00'00" E, A DISTANCE OF 77.37 FEET TO THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED PARCEL;

THENCE, LEAVING SAID WESTERLY RIGHT OF WAY OF GHOST FLOWER TRAIL NE, S 73°28'48" W, A DISTANCE OF 62.69 FEET, TO AN ANGLE POINT;

THENCE, S 16°31'12" E, A DISTANCE OF 2.00 FEET, TO AN ANGLE POINT;

THENCE, S 73°28'48" W, A DISTANCE OF 11.29 FEET, TO AN ANGLE POINT;

THENCE, N 61°31'12" W, A DISTANCE OF 2.83 FEET, TO AN ANGLE POINT;

THENCE, S 73°28'48" W, A DISTANCE OF 16.71 FEET, TO AN ANGLE POINT;

THENCE, S 28°28'48" W, A DISTANCE OF 9.90 FEET, TO AN ANGLE POINT;

THENCE, S 16°31'12" E, A DISTANCE OF 25.25 FEET, TO AN ANGLE POINT;

THENCE, S 28°28'48" W, A DISTANCE OF 36.41 FEET, TO AN ANGLE POINT;

THENCE, S 16°31'12" E, A DISTANCE OF 9.39 FEET, TO AN ANGLE POINT;

THENCE, S 73°28'48" W, A DISTANCE OF 34.11 FEET, TO AN ANGLE POINT;

THENCE, N 16°31'12" W, A DISTANCE OF 2.00 FEET, TO AN ANGLE POINT;

THENCE, S 73°28'48" W, A DISTANCE OF 12.00 FEET, TO AN ANGLE POINT;

THENCE, N 16°31'12" W, A DISTANCE OF 2.00 FEET, TO AN ANGLE POINT;

THENCE, S 73°28'48" W, A DISTANCE OF 41.68 FEET TO THE POINT OF BEGINNING, CONTAINING 0.4060 ACRES (17,686 SQ. FT.) MORE OR LESS.

**Subdivision Data**

GROSS ACREAGE. . . . . 0.4060 ACRES  
 ZONE ATLAS PAGE NO. . . . . E-23-Z  
 NUMBER OF EXISTING LOTS. . . . . 2  
 NUMBER OF LOTS CREATED. . . . . 2  
 MILES OF FULL WIDTH STREETS. . . . . 0.0 MILES  
 MILES OF HALF WIDTH STREETS. . . . . 0.00  
 RIGHT-OF-WAY DEDICATION TO THE CITY OF ALBUQUERQUE. . . . . 0.0 ACRES  
 DATE OF SURVEY. . . . . APRIL 2014

**Purpose of Plat**

1. SUBDIVIDE AS SHOWN HEREON.
2. VACATE PORTION OF EASEMENT SHOWN HEREON AS

**Notes**

1. FIELD SURVEY PERFORMED IN APRIL 2014.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (NAD 83-GRID).
4. LOT LINES BEING ELIMINATED SHOWN HEREON AS . . . . .

**PROJECT #: 1004039**  
**DATE: 5-7-14**  
**APP #: 14-70123(P&F)**

**Approved and Accepted by:**

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14 OF THE REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994.

Project Number \_\_\_\_\_

Application Number \_\_\_\_\_

**Plat approvals:**

PNM Electric Services	Date
New Mexico Gas Company	Date
Qwest Corporation d/b/a CenturyLink QC	Date
Comcast	Date
<b>City approvals:</b> <i>David P. Acosta</i> City Surveyor	4/28/14 Date
Traffic Engineer	Date
ABCWUA	Date
Parks and Recreation Department	Date
AMAFC	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

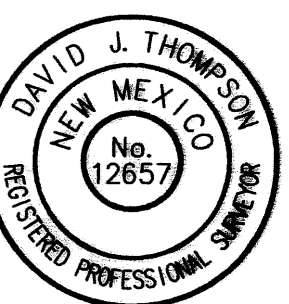
**Surveyor's Certificate**

"I, DAVID J. THOMPSON, A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE UTILITY COMPANIES OR OTHER INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF."

*David J. Thompson* 4/14/14  
 DAVID J. THOMPSON DATE  
 N.M.R.P.S. No. 12657

**CARTESIAN SURVEYS INC.**

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
 Phone (505) 896-3050 Fax (505) 891-0244



**Plat for  
Lot 45-A-1 and Tract 1-A-1  
The Legends at High Desert  
Being Comprised of Lot 45-A and Tract 1-A  
The Legends a High Desert  
City of Albuquerque  
Bernalillo County, New Mexico  
April 2014**

**Documents**

- TITLE COMMITMENT PROVIDED BY STEWART TITLE, FILE NO. 01147-8073, EFFECTIVE DATE 12/10/2013.
- TITLE COMMITMENT PROVIDED BY STEWART TITLE, FILE NO. 01147-11078, EFFECTIVE DATE 04/09/2014.
- PLAT OF RECORD, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 27, 2007, IN BOOK 2007C, PAGE 356.
- PLAT OF THE LEGENDS AT HIGH DESERT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MAY 11, 2006, IN BOOK 2006C, PAGE 149.

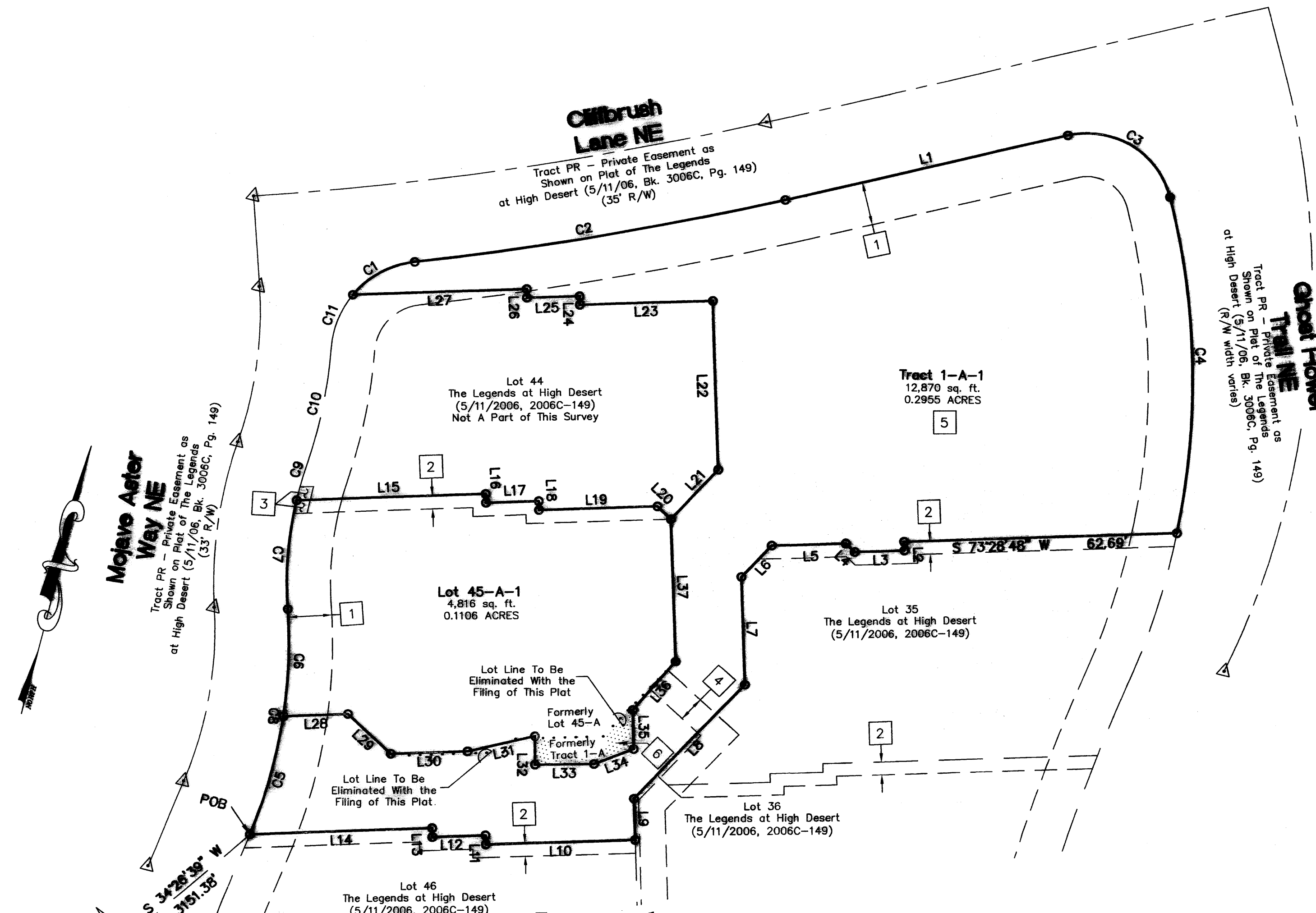
**Solar Collection Note**

PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

**Easement Notes**

- EXISTING 10' P.U.E. (5/11/06, BK. 2006C, PG. 149)
- EXISTING PRIVATE USE AND ENJOYMENT EASEMENT FOR INGRESS, EGRESS, GENERAL USE, LANDSCAPE AND MAINTENANCE PURPOSES FOR THE BENEFIT OF THE OWNER(S) OF THE ADJOINING LOTS TO BE RESERVED AND GRANTED PER THE GRANTOR'S INITIAL CONVEYANCE OF THE LOTS AS SHOWN ON PLAT FILED 5/11/06 IN BOOK 2006C, PAGE 149. EASEMENT WIDTH VARIES HAVING A MINIMUM WIDTH OF 3 FEET AND SHALL EXTEND TO THE BUILDING FACE UPON COMPLETION OF STRUCTURE.
- EXISTING 3' X 3' WATER METER EASEMENT (P.U.E.) (5/11/06, BK. 2006C, PG. 149)
- EXISTING 6' UNDERGROUND DRAINAGE EASEMENT (1/23/2008, DOCUMENT 2008006930)
- EXISTING EASEMENT ACROSS TRACT 1-A-1 (12/27/07, BK. 2007C, PG. 356)
- PORTION OF ORIGINAL TRACT 1-A PRIVATE LANDSCAPING EASEMENT VACATED WITH THE FILING OF THIS PLAT SHOWN HEREON AS



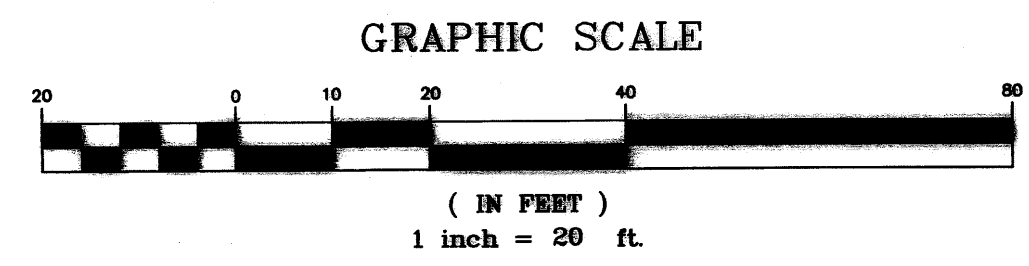
**Legend**

- N 90°00'00" E MEASURED AND RECORD BEARING AND DISTANCES**
- FOUND REBAR MONUMENT MARKED AS INDICATED
  - SET BATHEY MARKER "LS 14271"
  - CENTERLINE MONUMENT
  - ACS MONUMENT

ACS Monument " 21-F23 "  
NAD 1983 CENTRAL ZONE  
X=1566340.305  
Y=1508149.360  
Z=5986.225 (NAVD 1988)  
G-G=0.999623805  
Mapping Angle=00°08'33.51"

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	16.39'	21.55'	43°35'46"	16.00'	N 47°05'10" E
C2	84.89'	728.50'	6°40'35"	84.84'	N 65°34'14" E
C3	30.28'	19.50'	88°58'39"	27.33'	S 73°17'17" E
C4	78.02'	174.50'	25°37'00"	77.37'	S 16°00'00" E
C5	28.36'	116.41'	13°57'31"	28.29'	N 00°47'50" E
C6	25.20'	116.41'	12°24'13"	25.15'	N 12°23'00" W
C7	25.18'	83.50'	17°16'29"	25.08'	N 09°53'47" W
C8	53.56'	116.41'	26°21'44"	53.09'	N 05°24'16" W
C9	8.37'	83.00'	5°46'49"	8.37'	N 01°41'01" E
C10	27.96'	108.00'	14°49'56"	27.88'	N 02°50'25" W
C11	13.30'	21.51'	35°25'41"	13.09'	N 07°27'40" E

LINE TABLE					
LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L1	66.32'	N 62°13'57" E	L20	4.24'	S 61°32'40" E
L2	2.00'	S 16°31'12" E	L21	15.51'	N 28°28'48" E
L3	11.29'	S 73°28'48" W	L22	39.03'	N 16°31'12" W
L4	2.83'	N 61°31'12" W	L23	30.13'	S 73°28'48" W
L5	16.71'	S 73°28'48" W	L24	2.00'	N 16°31'12" W
L6	9.90'	S 28°28'48" W	L25	12.00'	S 73°28'48" W
L7	25.25'	S 16°31'12" E	L26	2.00'	N 16°31'12" W
L8	36.41'	S 28°28'48" W	L27	39.41'	S 73°28'48" W
L9	9.39'	S 16°31'12" E	L28	14.81'	N 73°28'48" E
L10	34.11'	S 73°28'48" W	L29	13.52'	S 61°31'12" E
L11	2.00'	N 16°31'12" W	L30	17.38'	N 73°27'10" E
L12	12.00'	S 73°28'48" W	L31	15.73'	N 62°22'56" E
L13	2.00'	N 16°31'12" W	L32	6.52'	S 15°05'11" E
L14	41.68'	S 73°28'48" W	L33	13.45'	N 74°32'48" E
L15	43.10'	N 73°28'48" E	L34	9.70'	N 54°27'30" E
L16	2.00'	S 16°31'12" E	L35	9.09'	N 15°59'01" W
L17	12.00'	N 73°28'48" E	L36	14.99'	N 25°44'39" E
L18	2.00'	S 16°31'12" E	L37	32.96'	N 16°31'12" W
L19	27.00'	N 73°28'48" E			



**CARTESIAN SURVEYS INC.**  
P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896-3050 Fax (505) 891-0244

**Plat for  
 Lot 45-A-1 and Tract 1-A-1  
 The Legends at High Desert  
 Being Comprised of Lot 45-A and Tract 1-A  
 The Legends a High Desert  
 City of Albuquerque  
 Bernalillo County, New Mexico  
 April 2014**

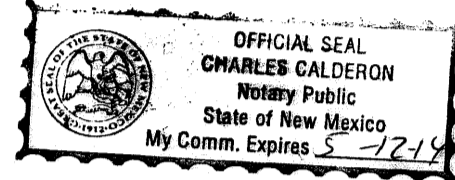
**Free Consent**

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND HEREBY. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

RAHNING 4/21/2014  
 ROY A. RAHNING DATE  
 CO-OWNER OF TRACT 45-A

**Acknowledgment**

STATE OF NEW MEXICO }  
 COUNTY OF BERNALILLO } SS



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON  
4-21-14

BY: ROY A. RAHNING, CO-OWNER OF LOT 45-A

Charles Calderon 5-12-14  
 NOTARY PUBLIC MY COMMISSION EXPIRES

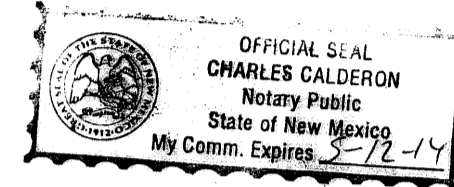
**Free Consent**

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND HEREBY. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SCOTT ALLEN 4/23/14  
 SCOTT ALLEN DATE  
 PRESIDENT OF LAS VENTANAS NM, INC.

**Acknowledgment**

STATE OF NEW MEXICO }  
 COUNTY OF BERNALILLO } SS



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON  
4-23-14

BY: SCOTT ALLEN, PRESIDENT OF LAS VENTANAS NM, INC.

Charles Calderon 5-12-14  
 NOTARY PUBLIC MY COMMISSION EXPIRES

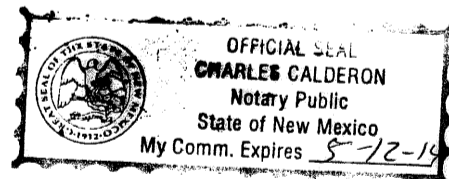
**Free Consent**

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND HEREBY. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

PAULA J. RAHNING 4/21/14  
 PAULA J. RAHNING DATE  
 CO-OWNER OF LOT 45-A

**Acknowledgment**

STATE OF NEW MEXICO }  
 COUNTY OF BERNALILLO } SS



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON  
4-21-14

BY: PAULA J. RAHNING, CO-OWNER OF LOT 45-A

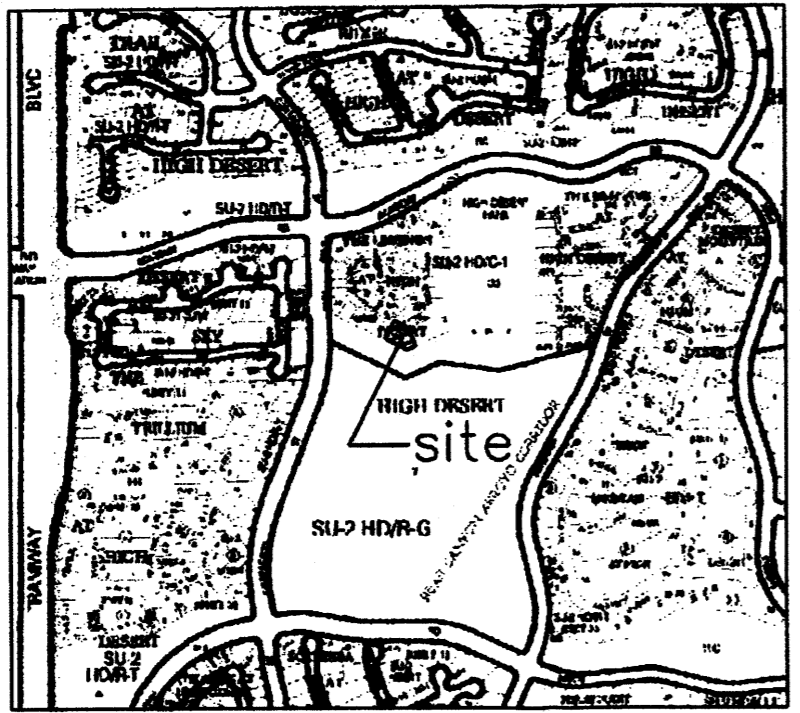
Charles Calderon 5-12-14  
 NOTARY PUBLIC MY COMMISSION EXPIRES

**CARTESIAN SURVEYS INC.**

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
 Phone (505) 896-3050 Fax (505) 891-0244

Lot 16-A & Lot 17-A  
 Being a Replat of  
 Lot 16 & Lot 17  
 The Legends at High Desert  
 Elena Gallegos Grant  
 Projected Section 26  
 T.11N., R.4E. N.M.P.M.  
 City of Albuquerque  
 Bernalillo County, New Mexico  
 April 2008

Vicinity Map  
 no scale



Zone Atlas Page Number E-23  
 Talas Log Number 2008173425

**SUBDIVISION DATA**

- Total gross acreage: 0.2343 acres
- Zoning: SU-2 HD/C-1 with conditional use for residential uses. All lots conform to the R-T zoning regulations as listed in the City of Albuquerque zoning code with exception as approved by the City of Albuquerque zoning hearing examiner on July 22, 2005.
- Total number of existing lots - 2. No additional lots are being created by this plat.
- Total mileage of streets created - 0.
- The basis of bearings for this survey is the New Mexico State Plane Grid, Central Zone.
- Measured bearings and distances are identical to record plat bearings and distances.
- Unless otherwise indicated all corners are set 1/2" rebar w/cap LS 6126.
- Date of field survey: March, 2008.
- Documents used in the preparation of this survey: Plat of The Legends at High Desert Subdivision, filed in the office of the County Clerk of Bernalillo County, New Mexico, on May 11, 2006, in Plat Book 2006C, page 149. Title Commitment issued by Commonwealth Land Title Insurance Company, File No. 6213000683 dated April 20, 2006. Warranty Deeds filed 1/30/2008, Doc. No. 2008009741 & Doc. No. 2008817607.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for the installation, maintenance, and service of overhead and underground electric lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.
- Qwest Telecommunications for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Comcast, Inc. for the installation, maintenance and service of such lines, cable and related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction or pools, decking, or any structures adjacent to, within, or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

**NOTE REGARDING INSTALLATION OF SOLAR COLLECTORS**

Section 14-14-4-7(B) "No property within the area of requested final action shall at any time be subject to a deed restriction, covenant or building agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for Subdivision."

**SURVEYOR'S CERTIFICATION**

I, Ronald A. Forstbauer, registered New Mexico Land Surveyor No. 6126, do hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance and the City Detailed Design Standards for surveying and meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico Board of Licensure for Professional Engineers and Professional Land Surveyors effective May 1, 2007 and shows easements of record as indicated on Title Commitment No. 6213000683, effective April 20, 2006 issued by Commonwealth Land Title Insurance Company, countersigned by LandAmerica Albuquerque Title, and that the information herein is true and correct to the best of my knowledge and belief.

Ronald A. Forstbauer  
 Date 5/13/08  
 N.M.P.S. No. 6126



**LEGAL DESCRIPTION**

Lots 16 and 17 as the same are shown and designated on the Plat of The Legends at High Desert, City of Albuquerque, Bernalillo County, New Mexico filed in the office of the County Clerk of Bernalillo County, New Mexico on May 11, 2006 in Volume 2006C, folio 149 as Document No. 2006068620.

**FREE CONSENT AND DEDICATION**

The platting of the land comprising Lots 16 and 17 as shown hereon and all easements shown hereon are with the free consent of and in accordance with the wishes and desires of the undersigned owners and proprietors thereof. Said owners do hereby grant all easements shown hereon, including the right of ingress and egress and the right to trim interfering trees. Said owners warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

**OWNERS LOT 16**

James R. McClintic  
 JAMES R. MCCLINTIC  
 Steve Abraham  
 STEVE ABRAHAM

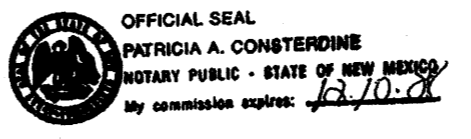
Joan Abraham  
 JOAN ABRAHAM  
 Michael Abraham  
 MICHAEL ABRAHAM

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) SS

This instrument was acknowledged before me on 3/12/08 2008, by James R. McClintic.

My Commission Expires: 12/10/08  
 Patricia A. Consterdine  
 Notary Public

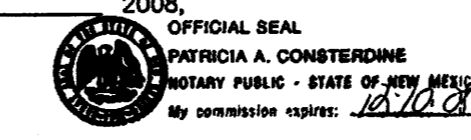


**ACKNOWLEDGMENT**

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) SS

This instrument was acknowledged before me on 5/12/08 2008, by Steve Abraham.

My Commission Expires: 12/10/08  
 Patricia A. Consterdine  
 Notary Public

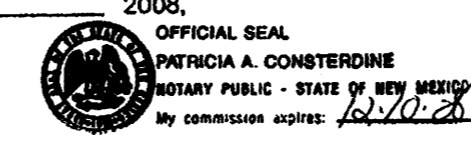


**ACKNOWLEDGMENT**

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) SS

This instrument was acknowledged before me on 3/12/08 2008, by Joan Abraham.

My Commission Expires: 12/10/08  
 Patricia A. Consterdine  
 Notary Public



**ACKNOWLEDGMENT**

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) SS

This instrument was acknowledged before me on 5/12/08 2008, by Michael Abraham.

My Commission Expires: 12/10/08  
 Patricia A. Consterdine  
 Notary Public



**OWNERS LOT 17**

THE LEGENDS AT HIGH DESERT, LLC A NEW MEXICO LIMITED LIABILITY COMPANY

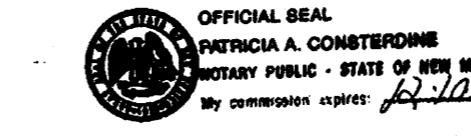
James R. McClintic  
 JAMES R. MCCLINTIC - MEMBER

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) SS

This instrument was acknowledged before me on 5/12/08 2008, by James R. McClintic.

My Commission Expires: 12/10/08  
 Patricia A. Consterdine  
 Notary Public



PROJECT NUMBER 1004039  
 Application Number 08-70234

The purpose of this plat is to reposition the internal lot lines between Lot 16 and Lot 17, and to grant a private use and enjoyment easement.

**PLAT APPROVAL**

**Utility Approvals:**

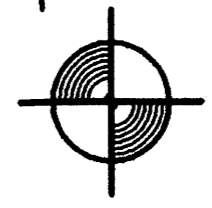
N/A	PNM ELECTRIC SERVICES	DATE
N/A	PNM GAS SERVICES	DATE
N/A	QWEST TELECOMMUNICATIONS	DATE
N/A	COMCAST, INC.	DATE

**City Approvals:**

5-14-08	CITY SURVEYOR	DATE
N/A	REAL PROPERTY DIVISION	DATE
N/A	ENVIRONMENTAL HEALTH DEPARTMENT	DATE
5/30/08	TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
5/28/08	ABCWUA	DATE
5/28/08	CHRISTINA SANDORAL PARKS & RECREATION DEPARTMENT	DATE
5/28/08	BRADLEY D. BINGHAM A.M.A.F.C.A.	DATE
5/28/08	BRADLEY D. BINGHAM CITY ENGINEER	DATE
5/29/08	JAL CLAY DRP CHAIRPERSON, PLANNING DEPARTMENT	DATE

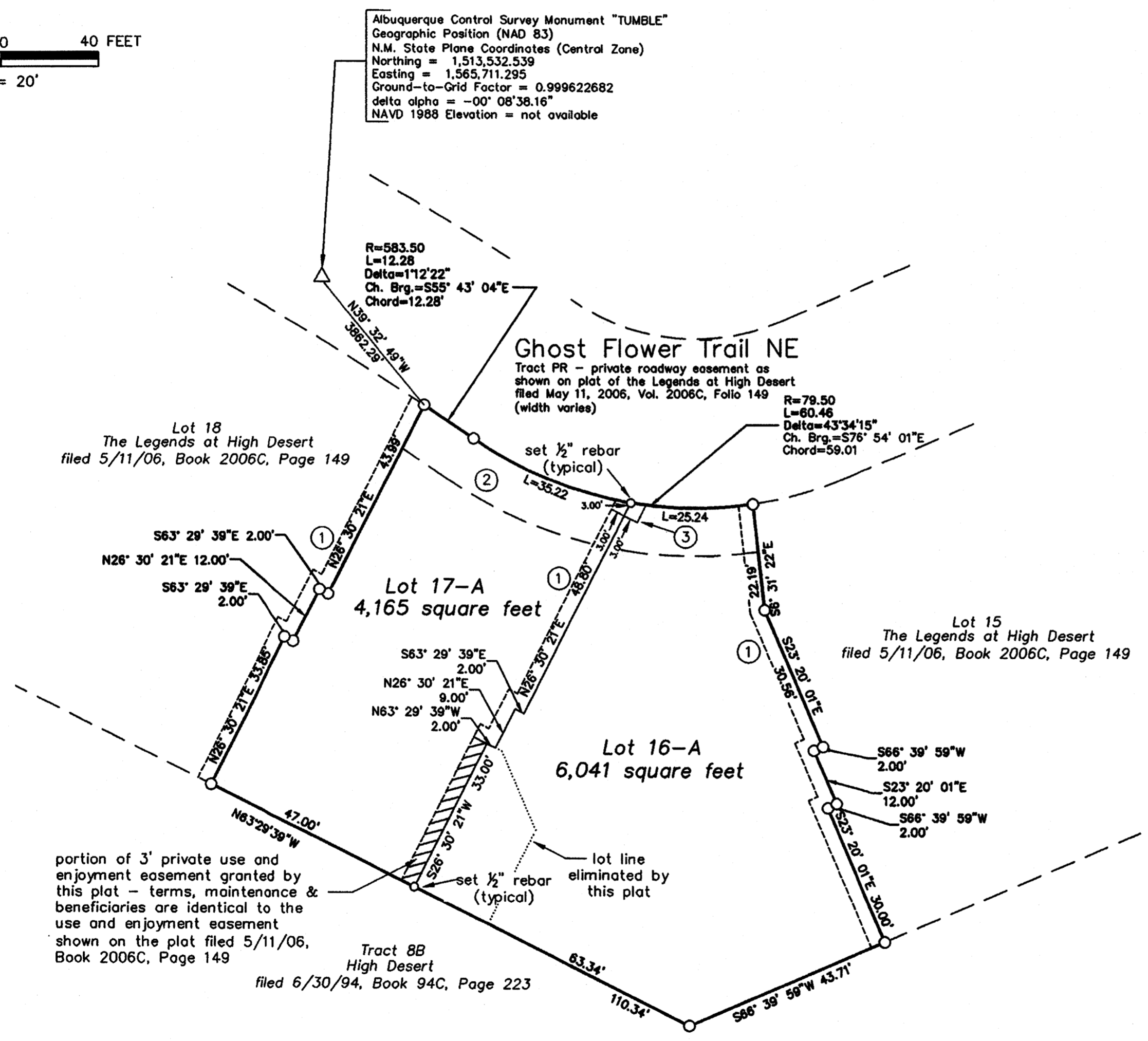
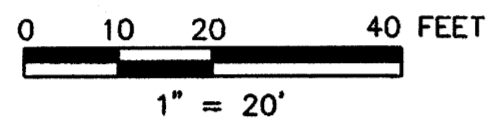
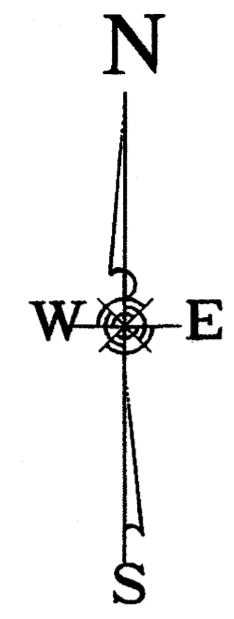
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
 UPC #: 102306219523131321  
 PROPERTY OWNER OF RECORD: RUIZ INVESTMENT COMPANY

BERNALILLO COUNTY TREASURER'S OFFICE:  
 6/2/08



Forstbauer Surveying, L.L.C.  
 4116 Lomas Boulevard NE  
 Albuquerque, New Mexico 87110  
 (505) 268-2112 Fax 268-2032

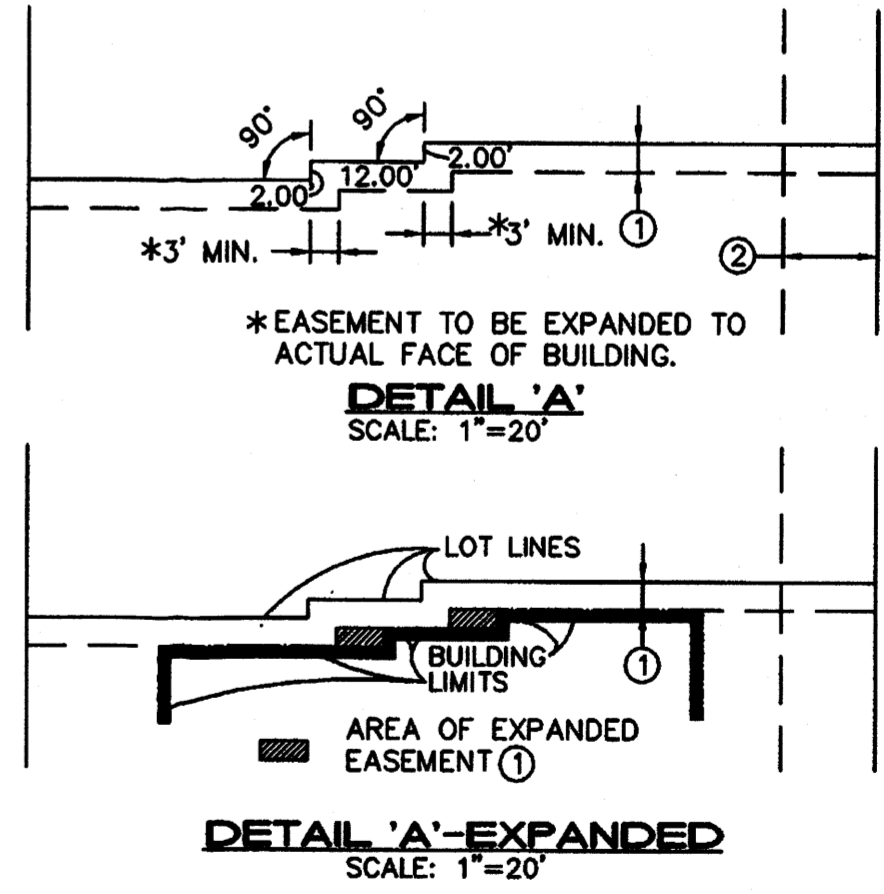
Lot 16-A & Lot 17-A  
 Being a Replat of  
 Lot 16 & Lot 17  
 The Legends at High Desert  
 Elena Gallegos Grant  
 Projected Section 26  
 T.11N., R.4E. N.M.P.M.  
 City of Albuquerque  
 Bernalillo County, New Mexico  
 April 2008



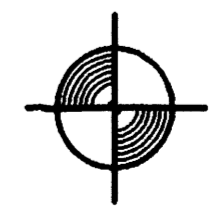
Easement Notes

- ① EXISTING 3' WIDE PRIVATE USE & ENJOYMENT EASEMENT FOR INGRESS, EGRESS, GENERAL USE, LANDSCAPE AND MAINTENANCE PURPOSES FOR THE BENEFIT OF THE OWNER(S) OF THE ADJOINING LOTS TO BE RESERVED AND GRANTED PER THE GRANTOR'S INITIAL CONVEYANCE OF THE LOTS AS SHOWN ON PLAT FILED 5/11/06 IN BOOK 2006C, PAGE 149. EASEMENT IS EXPANDED TO THE ADJACENT BUILDING TO FILL ANY VOID CREATED BY THE SHIFT OF ANY INDIVIDUAL BUILDING AWAY FROM SHOWN EASEMENT LINE. (SEE DETAIL A)
- ② EXISTING 10' PUBLIC UTILITY EASEMENT (P.U.E.) AS SHOWN ON PLAT FILED 5/11/06 IN BOOK 2006C, PAGE 149
- ③ EXISTING 3'x3' WATER METER EASEMENT AS SHOWN ON PLAT FILED 5/11/06 IN BOOK 2006C PAGE 149.

Easement Detail



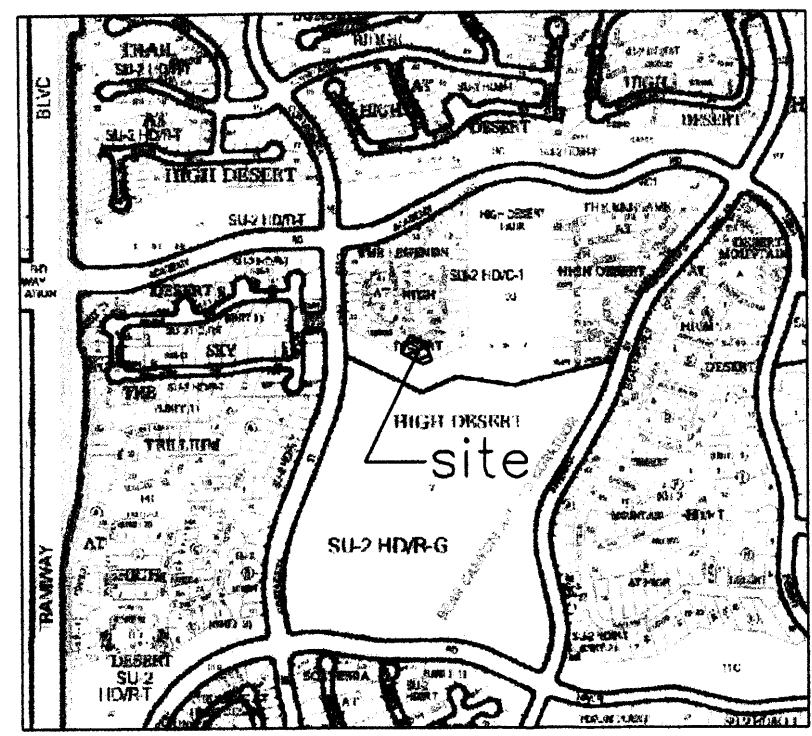
TRACT PR IS SUBJECT TO A PRIVATE ROADWAY EASEMENT AS SHOWN ON THE PLAT OF THE LEGENDS AT HIGH DESERT FILED MAY 11, 2006 IN VOLUME 2006C, FOLIO 149, AND SHALL BE OWNED & MAINTAINED BY THE HOMEOWNERS' ASSOCIATION OF HIGH DESERT.





Lot 16-A & Lot 17-A  
 Being a Replat of  
 Lot 16 & Lot 17  
 The Legends at High Desert  
 Elena Gallegos Grant  
 Projected Section 26  
 T.11N., R.4E. N.M.P.M.  
 City of Albuquerque  
 Bernalillo County, New Mexico  
 April 2008

Vicinity Map  
 no scale



Zone Atlas Page Number E-23  
 Talos Log Number 2008173425

**SUBDIVISION DATA**

- Total gross acreage: 0.2343 acres
- Zoning: SU-2 HD/C-1 with conditional use for residential uses. All lots conform to the R-T zoning regulations as listed in the City of Albuquerque zoning code with exception as approved by the City of Albuquerque zoning hearing examiner on July 22, 2005.
- Total number of existing lots - 2. No additional lots are being created by this plat.
- Total mileage of streets created - 0.
- The basis of bearings for this survey is the New Mexico State Plane Grid, Central Zone.
- Measured bearings and distances are identical to record plat bearings and distances.
- Unless otherwise indicated all corners are set 1/2" rebar w/cap LS 6126.
- Date of field survey: March, 2008.
- Documents used in the preparation of this survey: Plat of The Legends at High Desert Subdivision, filed in the office of the County Clerk of Bernalillo County, New Mexico, on May 11, 2006, in Plat Book 2006C, page 149. Title Commitment issued by Commonwealth Land Title Insurance Company, File No. 6213000683 dated April 20, 2006. Warranty Deeds filed 1/30/2008, Doc. No. 2008009741 & Doc. No. 2008817607.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for the installation, maintenance, and service of overhead and underground electric lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.
- Qwest Telecommunications for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Comcast, Inc. for the installation, maintenance and service of such lines, cable and related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction or pools, decking, or any structures adjacent to, within, or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

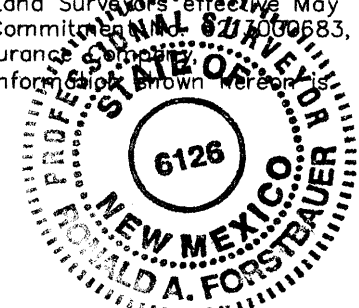
**NOTE REGARDING INSTALLATION OF SOLAR COLLECTORS**

Section 14-14-4-7(B) "No property within the area of requested final action shall at any time be subject to a deed restriction, covenant or building agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for Subdivision."

**SURVEYOR'S CERTIFICATION**

I, Ronald A. Forstbauer, registered New Mexico Land Surveyor No. 6126, do hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance and the City Detailed Design Standards for surveying and meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico Board of Licensure for Professional Engineers and Professional Land Surveyors effective May 1, 2007 and shows easements of record as indicated on Title Commitment No. 6213000683, effective April 20, 2006 issued by Commonwealth Land Title Insurance Company, countersigned by LandAmerica Albuquerque Title, and that the information shown hereon is true and correct to the best of my knowledge and belief.

Ronald A. Forstbauer  
 N.M.P.S. No. 6126



**LEGAL DESCRIPTION**

Lots 16 and 17 as the same are shown and designated on the Plat of The Legends at High Desert, City of Albuquerque, Bernalillo County, New Mexico filed in the office of the County Clerk of Bernalillo County, New Mexico on May 11, 2006 in Volume 2006C, folio 149 as Document No. 2006068620.

**FREE CONSENT AND DEDICATION**

The platting of the land comprising Lots 16 and 17 as shown hereon and all easements shown hereon are with the free consent of and in accordance with the wishes and desires of the undersigned owners and proprietors thereof. Said owners do hereby grant all easements shown hereon, including the right of ingress and egress and the right to trim interfering trees. Said owners warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

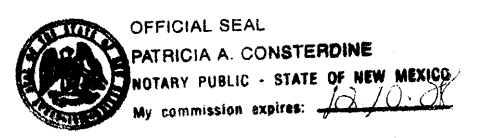
**OWNERS LOT 16**

James R. McClintic  
 STEVE ABRAHAM

Joan Abraham  
 MICHAEL ABRAHAM

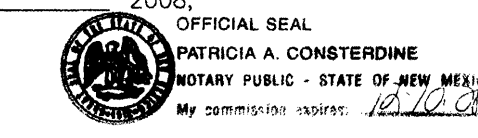
**ACKNOWLEDGMENT**

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO )  
 SS  
 This instrument was acknowledged before me on 5/12/08 2008,  
 by James R. McClintic.  
 My Commission Expires: 12/10/08  
 Patricia A. Consterdine  
 Notary Public



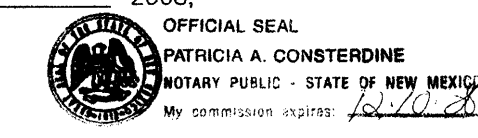
**ACKNOWLEDGMENT**

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO )  
 SS  
 This instrument was acknowledged before me on 5/12/08 2008,  
 by Steve Abraham.  
 My Commission Expires: 12-10-08  
 Patricia A. Consterdine  
 Notary Public



**ACKNOWLEDGMENT**

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO )  
 SS  
 This instrument was acknowledged before me on 5/12/08 2008,  
 by Joan Abraham.  
 My Commission Expires: 12-10-08  
 Patricia A. Consterdine  
 Notary Public



**ACKNOWLEDGMENT**

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO )  
 SS  
 This instrument was acknowledged before me on 5/12/08 2008,  
 by Michael Abraham.  
 My Commission Expires: 12-10-08  
 Patricia A. Consterdine  
 Notary Public



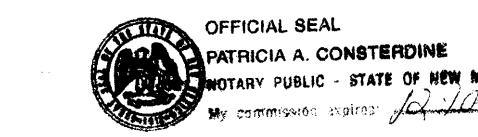
**OWNERS LOT 17**

THE LEGENDS AT HIGH DESERT, LLC A NEW MEXICO LIMITED LIABILITY COMPANY

James R. McClintic - MEMBER

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO )  
 SS  
 This instrument was acknowledged before me on 5/12/08 2008,  
 by James R. McClintic.  
 My Commission Expires: 12/10/08  
 Patricia A. Consterdine  
 Notary Public



PROJECT NUMBER \_\_\_\_\_  
 Application Number \_\_\_\_\_

The purpose of this plat is to reposition the internal lot lines between Lot 16 and Lot 17, and to grant a private use and enjoyment easement.

**PLAT APPROVAL**

Utility Approvals:

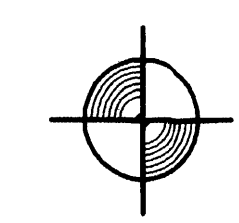
PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST, INC.	DATE

City Approvals:

<i>[Signature]</i>	5-14-08
CITY SURVEYOR	DATE
REAL PROPERTY DIVISION	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
ABCWJA	DATE
PARKS & RECREATION DEPARTMENT	DATE
A.M.A.F.C.A.	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

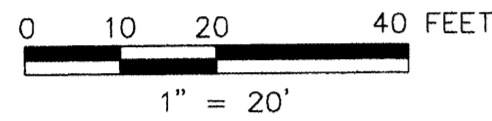
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
 UPC #: \_\_\_\_\_  
 PROPERTY OWNER OF RECORD: \_\_\_\_\_

BERNALILLO COUNTY TREASURER'S OFFICE:

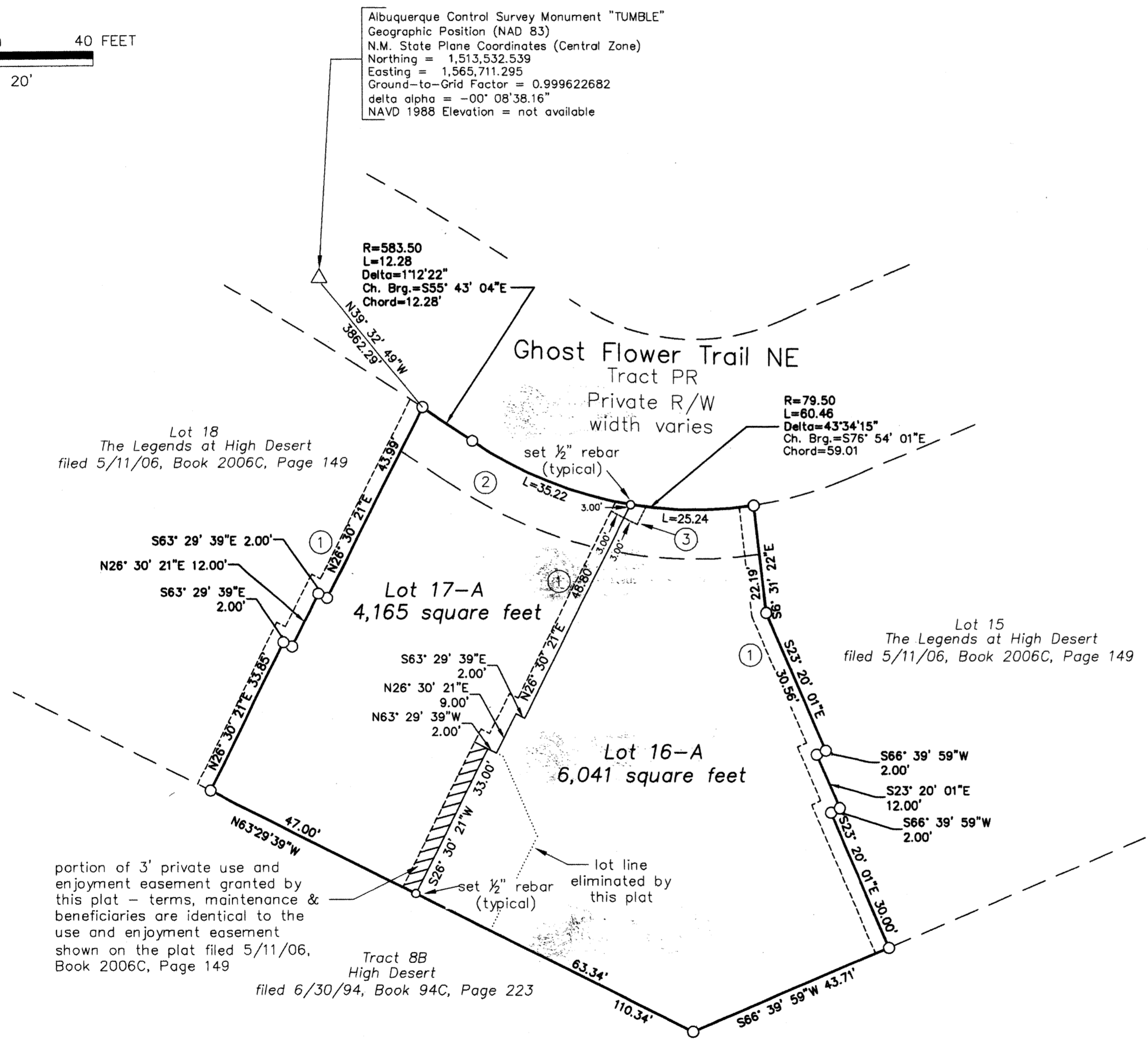


Forstbauer Surveying, L.L.C.  
 4116 Lomas Boulevard NE  
 Albuquerque, New Mexico 87110  
 (505) 268-2112 Fax 268-2032

Lot 16-A & Lot 17-A  
 Being a Replat of  
 Lot 16 & Lot 17  
 The Legends at High Desert  
 Elena Gallegos Grant  
 Projected Section 26  
 T.11N., R.4E. N.M.P.M.  
 City of Albuquerque  
 Bernalillo County, New Mexico  
 April 2008



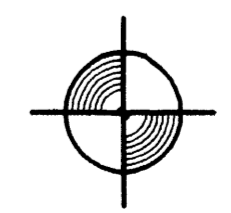
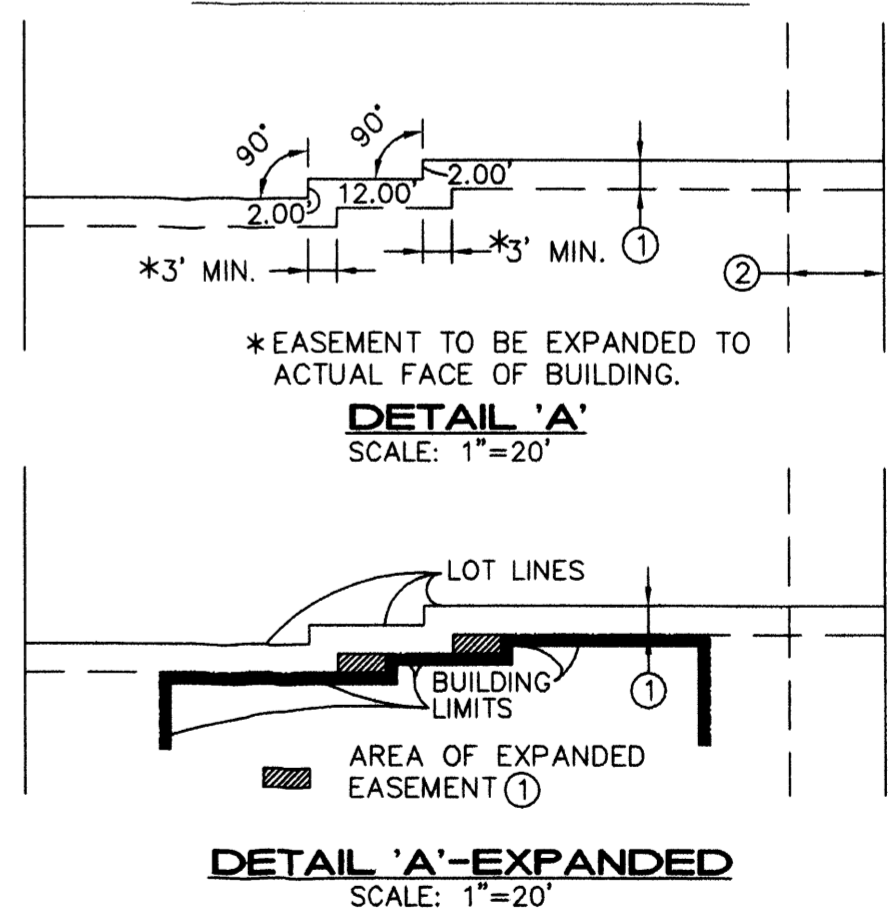
Albuquerque Control Survey Monument "TUMBLE"  
 Geographic Position (NAD 83)  
 N.M. State Plane Coordinates (Central Zone)  
 Northing = 1,513,532.539  
 Easting = 1,565,711.295  
 Ground-to-Grid Factor = 0.999622682  
 delta alpha = -00° 08' 38.16"  
 NAVD 1988 Elevation = not available



Easement Notes

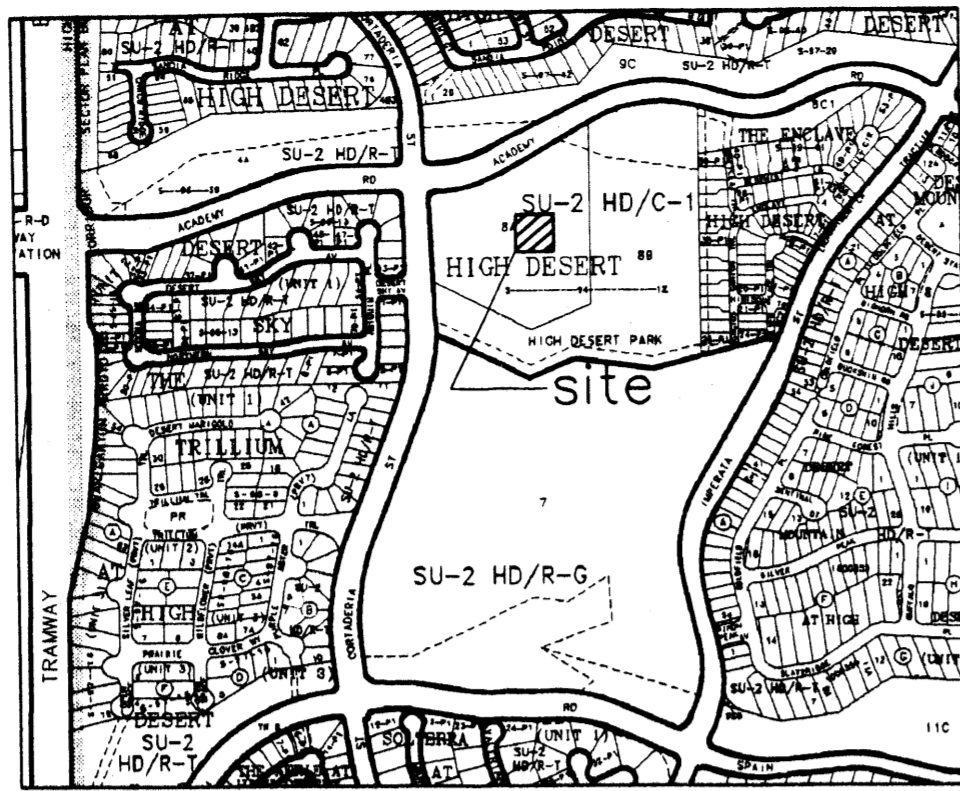
- ① EXISTING 3' WIDE PRIVATE USE & ENJOYMENT EASEMENT FOR INGRESS, EGRESS, GENERAL USE, LANDSCAPE AND MAINTENANCE PURPOSES FOR THE BENEFIT OF THE OWNER(S) OF THE ADJOINING LOTS TO BE RESERVED AND GRANTED PER THE GRANTOR'S INITIAL CONVEYANCE OF THE LOTS AS SHOWN ON PLAT FILED 5/11/06 IN BOOK 2006C, PAGE 149. EASEMENT IS EXPANDED TO THE ADJACENT BUILDING TO FILL ANY VOID CREATED BY THE SHIFT OF ANY INDIVIDUAL BUILDING AWAY FROM SHOWN EASEMENT LINE. (SEE DETAIL A)
- ② EXISTING 10' PUBLIC UTILITY EASEMENT (P.U.E.) AS SHOWN ON PLAT FILED 5/11/06 IN BOOK 2006C, PAGE 149
- ③ EXISTING 3'x3' WATER METER EASEMENT AS SHOWN ON PLAT FILED 5/11/06 IN BOOK 2006C PAGE 149.

Easement Detail



Forstbauer Surveying, L.L.C.  
 4116 Lomas Boulevard NE  
 Albuquerque, New Mexico 87110  
 (505) 268-2112 Fax 268-2032

Vicinity Map  
no scale



Zone Atlas Page Number E-23  
Talos Log Number 2007-441122

**SUBDIVISION DATA**

- Total gross acreage: 0.4060 acres
- Zoning: SU-2 HD/C-1 with conditional use for residential uses. All lots conform to the R-T zoning regulations as listed in the City of Albuquerque zoning code with exception as approved by the City of Albuquerque zoning hearing examiner on July 22, 2005.
- Total number of existing lots - 2. No additional lots are being created by this plat.
- Total mileage of streets created - 0.
- The basis of bearings for this survey is the New Mexico State Plane Grid, Central Zone.
- Measured bearings and distances are identical to record plotted bearings and distances.
- Unless otherwise indicated all corners are set 1/2" rebar w/cap LS 6126.
- Date of field survey: October, 2007.
- Documents used in the preparation of this survey: Plat of The Legends at High Desert Subdivision, filed in the office of the County Clerk of Bernalillo County, New Mexico, on May 11, 2006, in Plat Book 2006C, page 149. Title Commitment issued by Commonwealth Land Title Insurance Company, File No. 6213000683 dated April 20, 2006.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for the installation, maintenance, and service of overhead and underground electric lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.
- Qwest Telecommunications for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Comcast, Inc. for the installation, maintenance and service of such lines, cable and related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction or pools, decking, or any structures adjacent to, within, or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

**NOTE REGARDING INSTALLATION OF SOLAR COLLECTORS**

Section 14-14-4-7(B) "No property within the area of requested final action shall at any time be subject to a deed restriction, covenant or building agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for Subdivision."

**LEGAL DESCRIPTION**

Lot 45 and Tract 1 as the same is shown and designated on the Plat of The Legends at High Desert, City of Albuquerque, Bernalillo County, New Mexico filed in the office of the County Clerk of Bernalillo County, New Mexico on May 11, 2006 in Volume 2006C, folio 149 as Document No. 2006068620.

**FREE CONSENT AND DEDICATION**

The platting of the land comprising Lot 45-A & Tract 1-A as shown hereon and all easements shown hereon are with the free consent of and in accordance with the wishes and desires of the undersigned owners and proprietors thereof. Said owners do hereby grant all easements shown hereon, including the right of ingress and egress and the right to trim interfering trees. Said owners warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

**OWNER**

RUTLEDGE INVESTMENT COMPANY, INC.

KYLE R. RUTLEDGE, PRESIDENT

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO ) SS

This instrument was acknowledged before me on November 8 2007, by Kyle R. Rutledge, President of Rutledge Investment Company, a New Mexico Corporation, on behalf of said corporation.

My Commission Expires: 4/22/2011

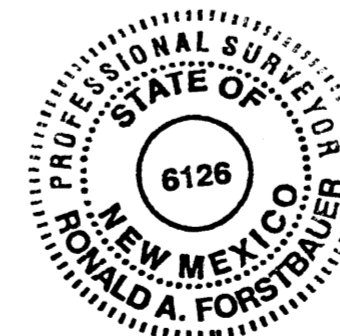
Ruth J. Lozano  
Notary Public



**SURVEYOR'S AFFIDAVIT**

I, Ronald A. Forstbauer, registered New Mexico Land Surveyor No. 6126, do hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance and the City Detailed Design Standards for surveying and meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico Board of Licensure for Professional Engineers and Professional Land Surveyors effective May 1, 2007 and shows easements of record as indicated on Title Commitment No. 6213000683, effective April 20, 2006 issued by Commonwealth Land Title Insurance Company, countersigned by LandAmerica Albuquerque Title, and that the information shown hereon is true and correct to the best of my knowledge and belief.

Ronald A. Forstbauer 11/09/07 Date  
Ronald A. Forstbauer  
N.M.P.S. No. 6126



THIS IS TO CERTIFY THAT TAXES AREA CURRENT AND PAID ON

UPC # Above Parcel

PROPERTY OWNER OF RECORD:

K Above Owners  
BERNALILLO COUNTY TREASURER'S OFFICE:

SA Oz 12/26/07

Lot 45-A & Tract 1-A  
Being a Replat of  
Lot 45 & Tract 1  
The Legends at High Desert  
Elena Gallegos Grant  
Projected Section 26  
T.11N., R.4E. N.M.P.M.  
City of Albuquerque  
Bernalillo County, New Mexico  
November 2007

PROJECT NUMBER 1004039  
Application Number 07DRB-7040 + 07DRB-70411

The purpose of this plat is to reposition the internal lot lines between Lot 45 and Tract 1 and to vacate a portion of a private landscaping easement.

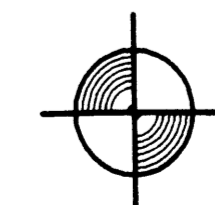
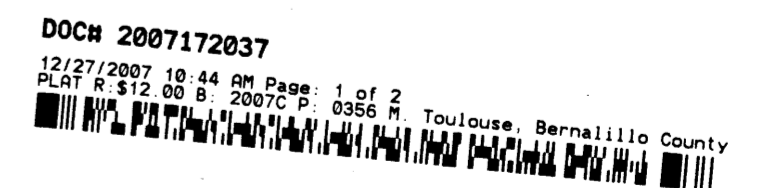
**PLAT APPROVAL**

Utility Approvals:

Charles R. B. 12/12/2007  
PNM ELECTRIC SERVICES DATE  
Justin A. P. 12/12/2007  
PNM GAS SERVICES DATE  
Donald H. H. 12/12/07  
QWEST TELECOMMUNICATIONS DATE  
Kenne Bonbon 12-7-07  
COMCAST, INC. DATE

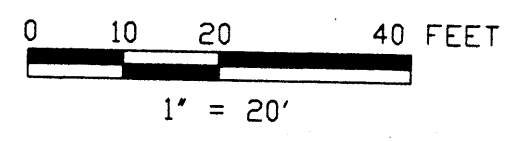
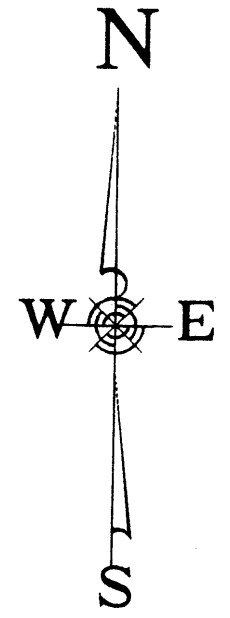
City Approvals:

[Signature] 11-9-07  
CITY SURVEYOR DATE  
REAL PROPERTY DIVISION DATE  
ENVIRONMENTAL HEALTH DEPARTMENT DATE  
TRAFFIC ENGINEERING TRANSPORTATION DIVISION DATE  
Roger A. Green 12-5-07  
ABCWJA DATE  
Bradley L. Bingham 12-5-07  
PARKS & RECREATION DEPARTMENT DATE  
AM.A.F.C.A. DATE  
Bradley L. Bingham 12-5-07  
CITY ENGINEER DATE  
[Signature] 12-27-07  
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

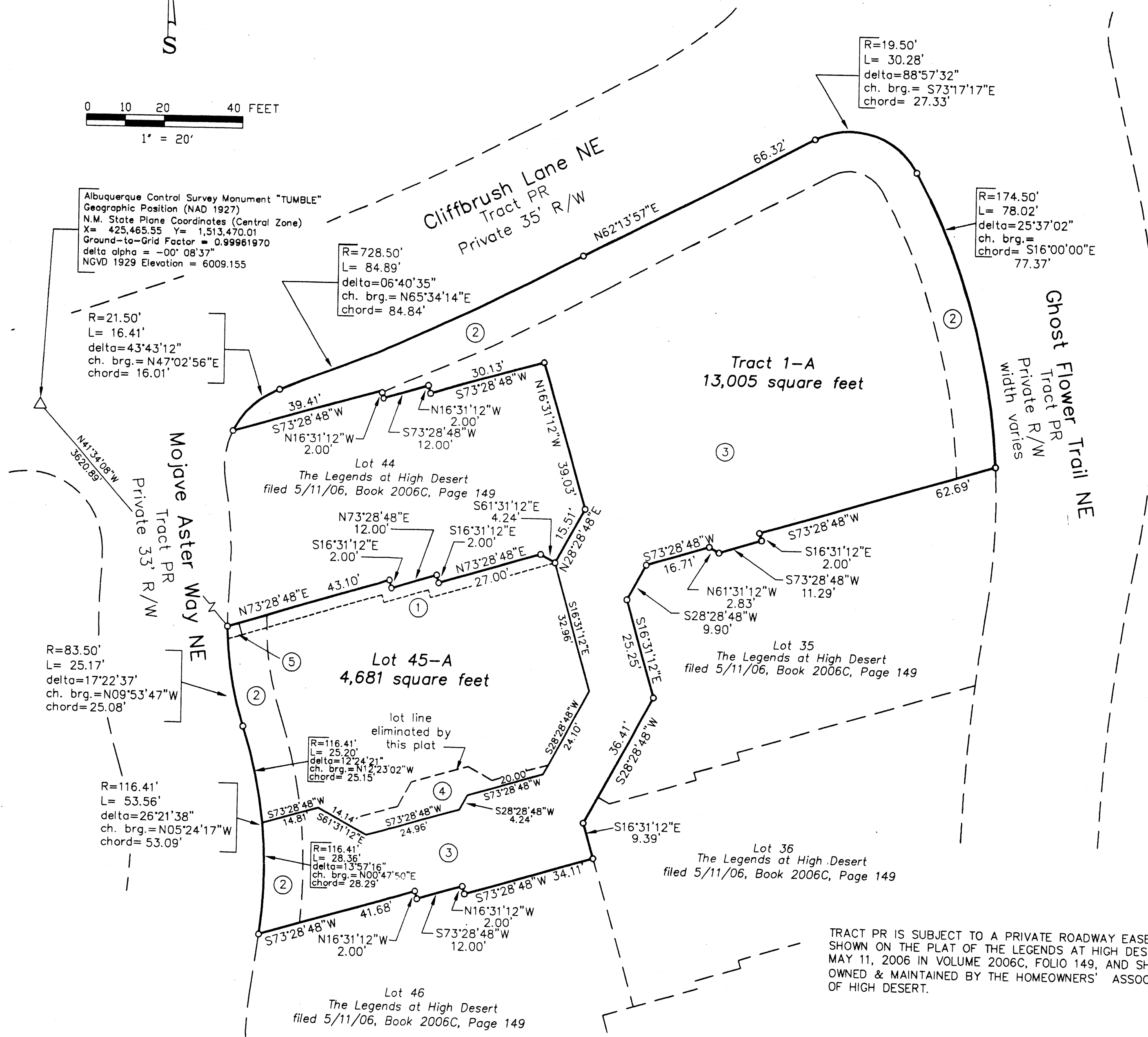


Forstbauer Surveying, L.L.C.  
4116 Lomas Boulevard NE  
Albuquerque, New Mexico 87110  
(505) 268-2112 Fax 268-2032

Lot 45-A & Tract 1-A  
 Being a Replat of  
 Lot 45 & Tract 1  
 The Legends at High Desert  
 Elena Gallegos Grant  
 Projected Section 26  
 T.11N., R.4E. N.M.P.M.  
 City of Albuquerque  
 Bernalillo County, New Mexico  
 November 2007



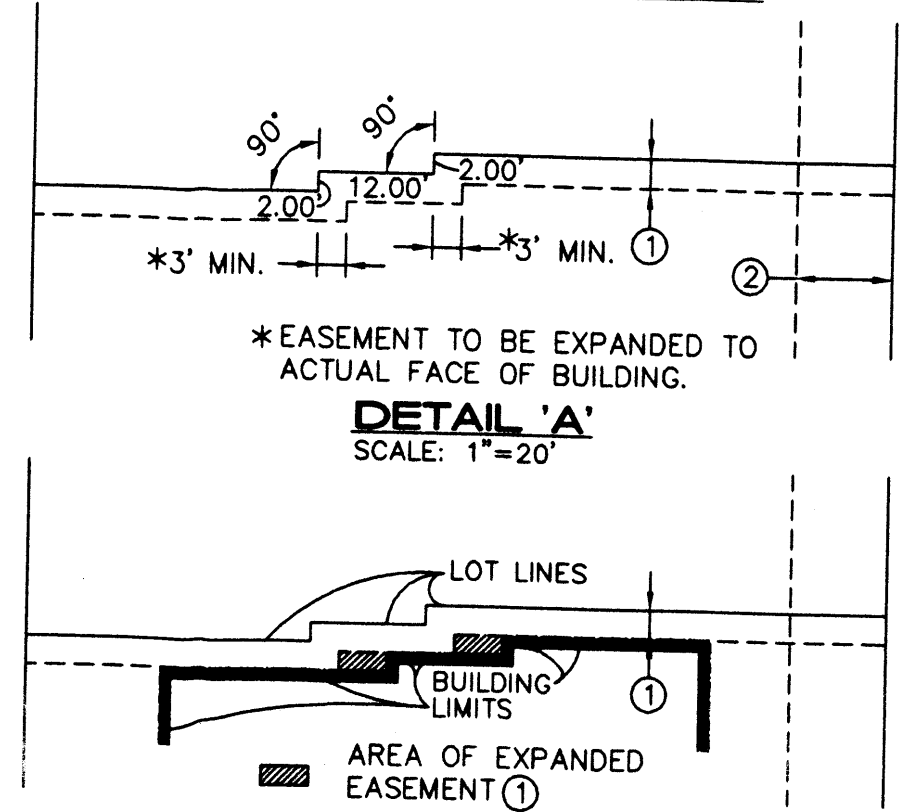
Albuquerque Control Survey Monument "TUMBLE"  
 Geographic Position (NAD 1927)  
 N.M. State Plane Coordinates (Central Zone)  
 X= 425,465.55 Y= 1,513,470.01  
 Ground-to-Grid Factor = 0.99961970  
 delta alpha = -00° 08' 37"  
 NGVD 1929 Elevation = 6009.155



**Easement Notes**

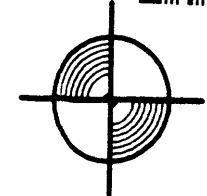
- ① EXISTING 3' WIDE PRIVATE USE & ENJOYMENT EASEMENT FOR INGRESS, EGRESS, GENERAL USE, LANDSCAPE AND MAINTENANCE PURPOSES FOR THE BENEFIT OF THE OWNER(S) OF THE ADJOINING LOTS TO BE RESERVED AND GRANTED PER THE GRANTOR'S INITIAL CONVEYANCE OF THE LOTS AS SHOWN ON PLAT FILED 5/11/06 IN BOOK 2006C, PAGE 149. EASEMENT IS EXPANDED TO THE ADJACENT BUILDING TO FILL ANY VOID CREATED BY THE SHIFT OF ANY INDIVIDUAL BUILDING AWAY FROM SHOWN EASEMENT LINE. (SEE DETAIL A)
- ② EXISTING 10' PUBLIC UTILITY EASEMENT (P.U.E.) AS SHOWN ON PLAT FILED 5/11/06 IN BOOK 2006C, PAGE 149
- ③ TRACT 1-A IS SUBJECT TO A PRIVATE LANDSCAPING EASEMENT GRANTED TO AND MAINTAINED BY THE HOMEOWNERS' ASSOCIATION OF THE LEGENDS AT HIGH DESERT SUBDIVISION AS SHOWN ON THE PLAT OF THE LEGENDS AT HIGH DESERT FILED ON MAY 11, 2006 IN VOLUME 2006C, FOLIO 149.
- ④ PORTION OF ORIGINAL TRACT 1 PRIVATE LANDSCAPING EASEMENT VACATED BY THIS PLAT.
- ⑤ EXISTING 3'x3' WATER METER EASEMENT AS SHOWN ON PLAT FILED 5/11/06 IN BOOK 2006C PAGE 149.

**Easement Detail**



TRACT PR IS SUBJECT TO A PRIVATE ROADWAY EASEMENT AS SHOWN ON THE PLAT OF THE LEGENDS AT HIGH DESERT FILED MAY 11, 2006 IN VOLUME 2006C, FOLIO 149, AND SHALL BE OWNED & MAINTAINED BY THE HOMEOWNERS' ASSOCIATION OF HIGH DESERT.

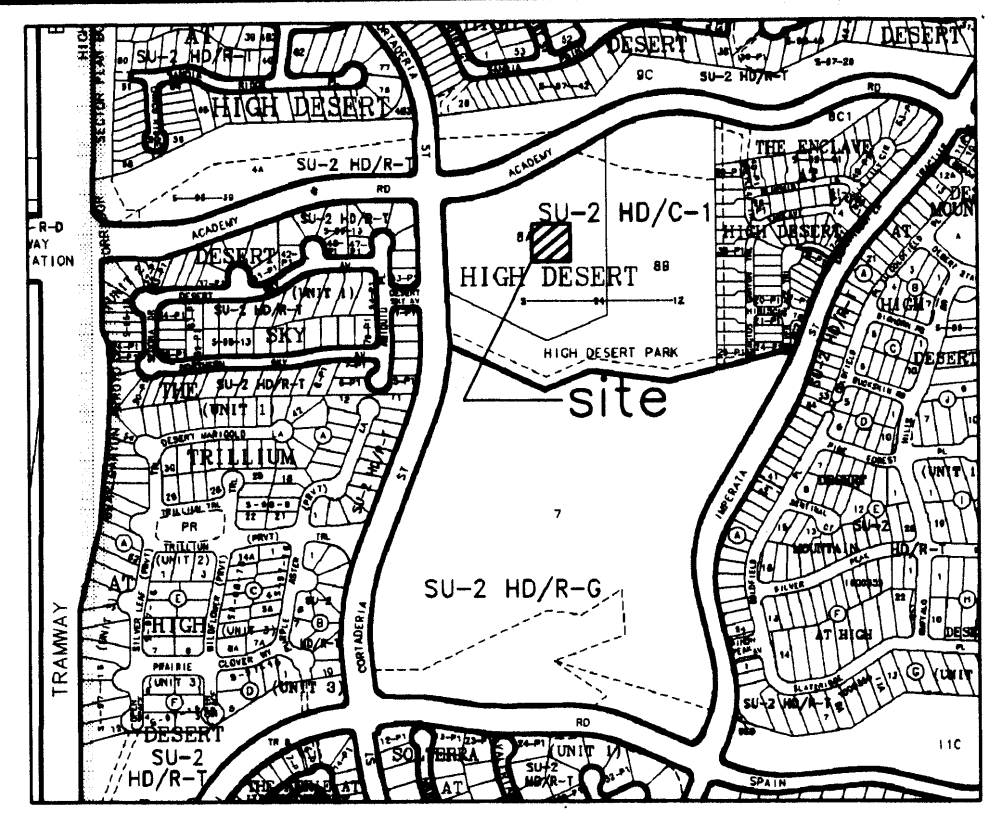
DOCH 2007172037  
 12/27/2007 10:44 AM Page: 2 of 2  
 PLAT R \$12.00 B: 2007C P: 0356 M, Toulouse, Bernalillo County



Forstbauer Surveying, L.L.C.  
 4116 Lomas Boulevard NE  
 Albuquerque, New Mexico 87110  
 (505) 268-2112 Fax 268-2032

Lot 45-A & Tract 1-A  
 Being a Replat of  
 Lot 45 & Tract 5  
 The Legends at High Desert  
 Elena Gallegos Grant  
 Projected Section 26  
 T.11N., R.4E. N.M.P.M.  
 City of Albuquerque  
 Bernalillo County, New Mexico  
 November 2007

Vicinity Map  
 no scale



Zone Atlas Page Number E-23  
 Talos Log Number 2007-441122

SUBDIVISION DATA

1. Total gross acreage: 0.4060 acres
2. Zoning: SU-2 HD/C-1 with conditional use for residential uses. All lots conform to the R-T zoning regulations as listed in the City of Albuquerque zoning code with exception as approved by the City of Albuquerque zoning hearing examiner on July 22, 2005.
3. Total number of existing lots - 2. No additional lots are being created by this plat.
4. Total mileage of streets created - 0.
5. The basis of bearings for this survey is the New Mexico State Plane Grid, Central Zone.
6. Measured bearings and distances are identical to record plotted bearings and distances.
7. Unless otherwise indicated all corners are set 1/2" rebar w/cap LS 6126.
8. Date of field survey: October, 2007.
9. Documents used in the preparation of this survey: Plat of The Legends at High Desert Subdivision, filed in the office of the County Clerk of Bernalillo County, New Mexico, on May 11, 2006, in Plat Book 2006C, page 149. Title Commitment issued by Commonwealth Land Title Insurance Company, File No. 6213000683 dated April 20, 2006.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. PNM Electric Services for the installation, maintenance, and service of overhead and underground electric lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.
3. Qwest Telecommunications for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast, Inc. for the installation, maintenance and service of such lines, cable and related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction or pools, decking, or any structures adjacent to, within, or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

NOTE REGARDING INSTALLATION OF SOLAR COLLECTORS

Section 14-14-4-7(B) "No property within the area of requested final action shall at any time be subject to a deed restriction, covenant or building agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for Subdivision."

LEGAL DESCRIPTION

Lot 45 and Tract 1 as the same is shown and designated on the Plat of The Legends at High Desert, City of Albuquerque, Bernalillo County, New Mexico filed in the office of the County Clerk of Bernalillo County, New Mexico on May 11, 2006 in Volume 2006C, folio 149 as Document No. 2006068620.

FREE CONSENT AND DEDICATION

The platting of the land comprising Lot 45-A & Tract 1-A as shown hereon and all easements shown hereon are with the free consent of and in accordance with the wishes and desires of the undersigned owners and proprietors thereof. Said owners do hereby grant all easements shown hereon, including the right of ingress and egress and the right to trim interfering trees. Said owners warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNER

RUTLEDGE INVESTMENT COMPANY, INC.

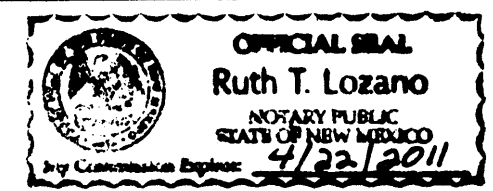
*[Signature]*  
 KYLE R. RUTLEDGE, PRESIDENT

ACKNOWLEDGMENT

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO )

This instrument was acknowledged before me on November 8  
 2007, by Kyle R. Rutledge, President of Rutledge Investment Company, a New Mexico Corporation, on behalf of said corporation.

My Commission Expires: 4/22/2011  
*Ruth T. Lozano*  
 Notary Public



SURVEYOR'S AFFIDAVIT

I, Ronald A. Forstbauer, registered New Mexico Land Surveyor No. 6126, do hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance and the City Detailed Design Standards for surveying and meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico Board of Licensure for Professional Engineers and Professional Land Surveyors effective May 1, 2007 and shows easements of record as indicated on Title Commitment No. 6213000683, effective April 20, 2006 issued by Commonwealth Land Title Insurance Company, countersigned by LandAmerica Albuquerque Title, and that the information shown hereon is true and correct to the best of my knowledge and belief.

*Ronald A. Forstbauer* 11/09/07 Date  
 Ronald A. Forstbauer  
 N.M.P.S. No. 6126



THIS IS TO CERTIFY THAT TAXES AREA CURRENT AND PAID ON

UPC # \_\_\_\_\_  
 PROPERTY OWNER OF RECORD: \_\_\_\_\_  
 BERNALILLO COUNTY TREASURER'S OFFICE: \_\_\_\_\_

PROJECT NUMBER \_\_\_\_\_  
 Application Number \_\_\_\_\_

The purpose of this plat is to reposition the internal lot lines between Lot 45 and Tract 1 and to vacate a portion of a private landscaping easement.

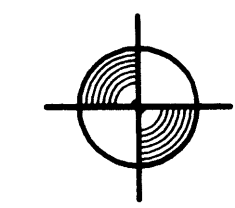
PLAT APPROVAL

Utility Approvals:

- PNM ELECTRIC SERVICES \_\_\_\_\_ DATE \_\_\_\_\_
- PNM GAS SERVICES \_\_\_\_\_ DATE \_\_\_\_\_
- QWEST TELECOMMUNICATIONS \_\_\_\_\_ DATE \_\_\_\_\_
- COMCAST, INC. \_\_\_\_\_ DATE \_\_\_\_\_

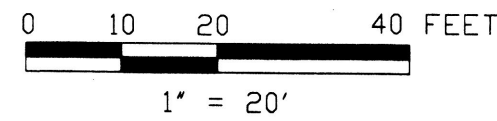
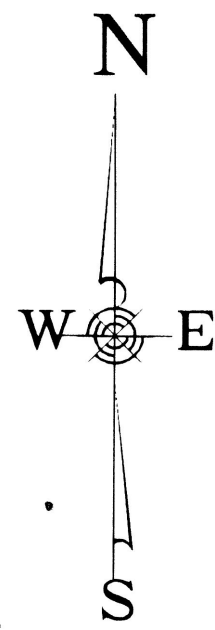
City Approvals: *[Signature]* 11-9-07  
 CITY SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_

- REAL PROPERTY DIVISION \_\_\_\_\_ DATE \_\_\_\_\_
- ENVIRONMENTAL HEALTH DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_
- TRAFFIC ENGINEERING, TRANSPORTATION DIVISION \_\_\_\_\_ DATE \_\_\_\_\_
- ABCWUA \_\_\_\_\_ DATE \_\_\_\_\_
- PARKS & RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_
- A.M.A.F.C.A. \_\_\_\_\_ DATE \_\_\_\_\_
- CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_
- DRB CHAIRPERSON, PLANNING DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_



Forstbauer Surveying, L.L.C.  
 4116 Lomas Boulevard NE  
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Lot 45-A & Tract 1-A  
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 Projected Section 26  
 T.11N., R.4E. N.M.P.M.  
 City of Albuquerque  
 Bernalillo County, New Mexico  
 November 2007



Albuquerque Control Survey Monument "TUMBLE"  
 Geographic Position (NAD 1927)  
 N.M. State Plane Coordinates (Central Zone)  
 X= 425,465.55 Y= 1,513,470.01  
 Ground-to-Grid Factor = 0.99961970  
 delta alpha = -00° 08' 37"  
 NGVD 1929 Elevation = 6009.155

R=21.50'  
 L= 16.41'  
 delta=43°43'12"  
 ch. brg.=N47°02'56"E  
 chord= 16.01'

R=728.50'  
 L= 84.89'  
 delta=06°40'35"  
 ch. brg.=N65°34'14"E  
 chord= 84.84'

R=19.50'  
 L= 30.28'  
 delta=88°57'32"  
 ch. brg.= S73°17'17"E  
 chord= 27.33'

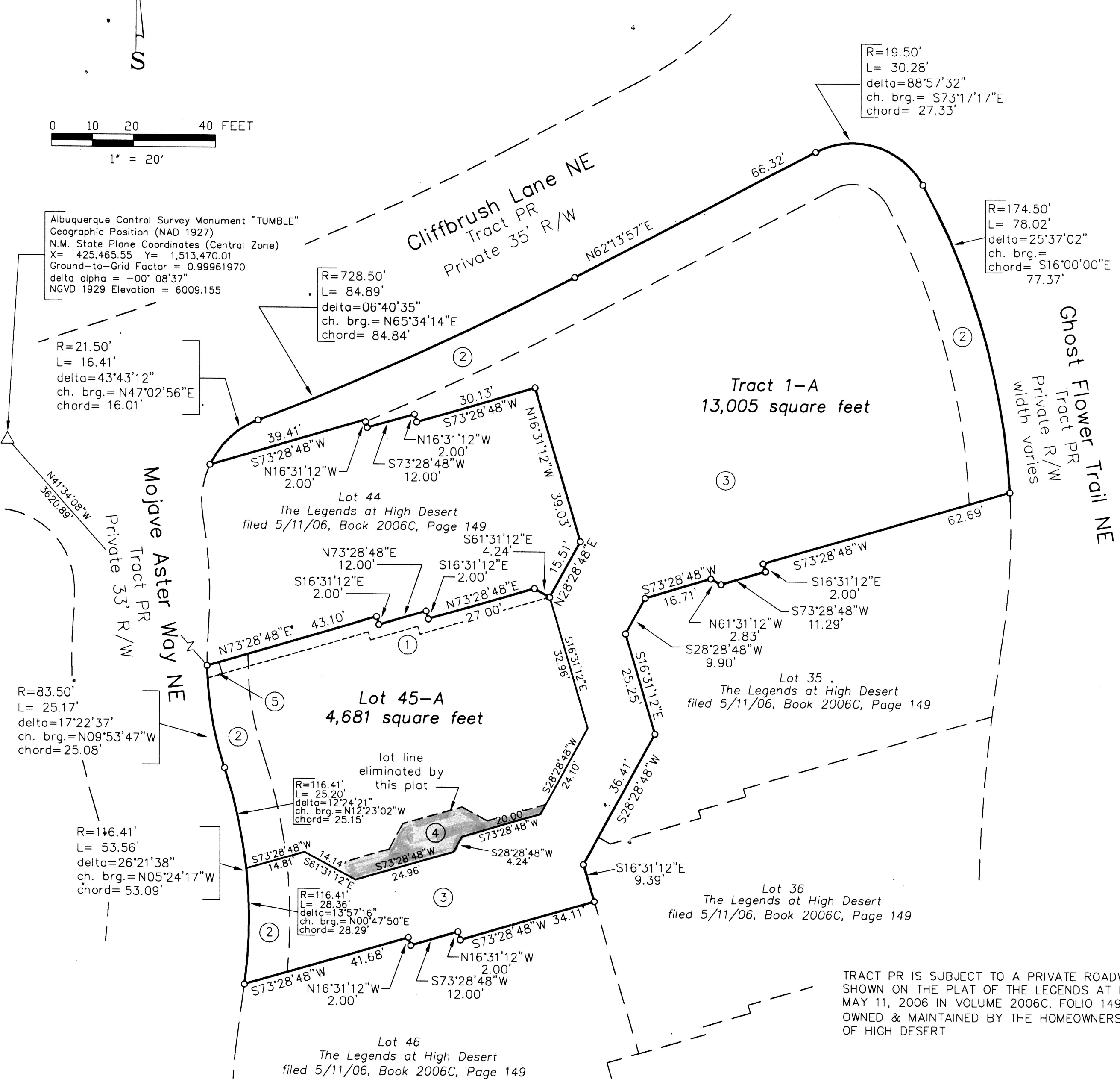
R=174.50'  
 L= 78.02'  
 delta=25°37'02"  
 ch. brg.= S16°00'00"E  
 chord= 77.37'

R=83.50'  
 L= 25.17'  
 delta=17°22'37"  
 ch. brg.=N09°53'47"W  
 chord= 25.08'

R=116.41'  
 L= 53.56'  
 delta=26°21'38"  
 ch. brg.=N05°24'17"W  
 chord= 53.09'

R=116.41'  
 L= 25.20'  
 delta=12°24'21"  
 ch. brg.=N12°23'02"W  
 chord= 25.15'

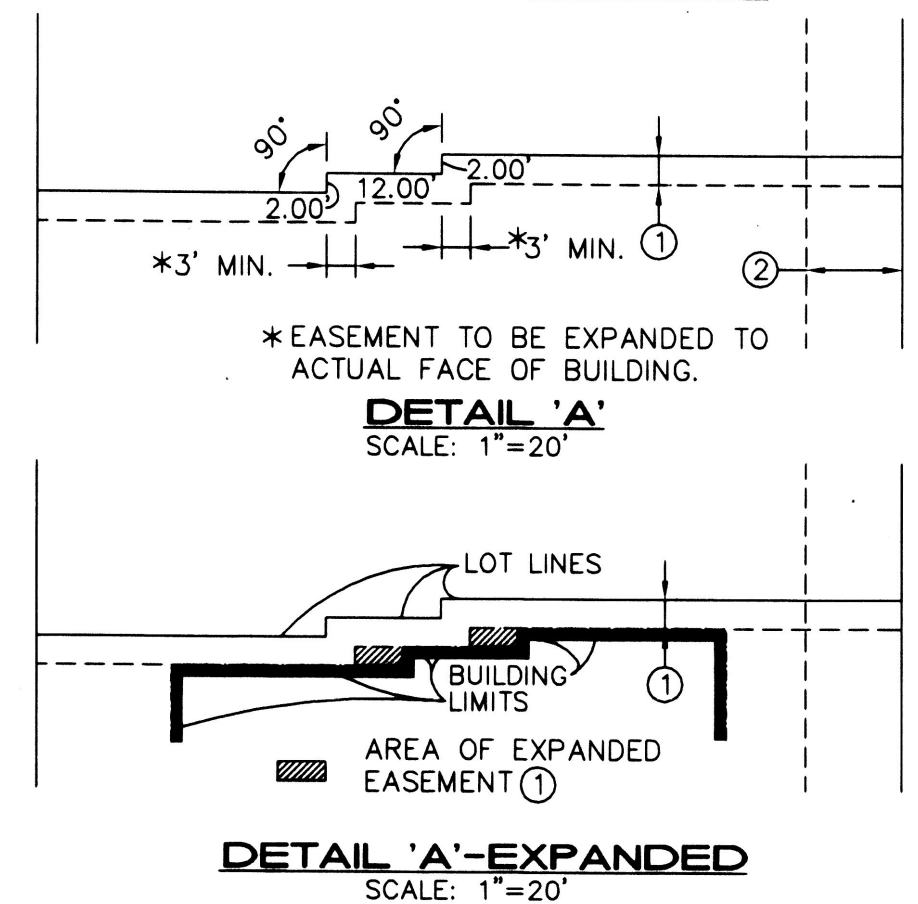
R=116.41'  
 L= 28.36'  
 delta=13°57'16"  
 ch. brg.=N00°47'50"E  
 chord= 28.29'



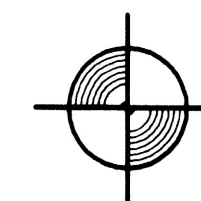
**Easement Notes**

- ① EXISTING 3' WIDE PRIVATE USE & ENJOYMENT EASEMENT FOR INGRESS, EGRESS, GENERAL USE, LANDSCAPE AND MAINTENANCE PURPOSES FOR THE BENEFIT OF THE OWNER(S) OF THE ADJOINING LOTS TO BE RESERVED AND GRANTED PER THE GRANTOR'S INITIAL CONVEYANCE OF THE LOTS AS SHOWN ON PLAT FILED 5/11/06 IN BOOK 2006C, PAGE 149. EASEMENT IS EXPANDED TO THE ADJACENT BUILDING TO FILL ANY VOID CREATED BY THE SHIFT OF ANY INDIVIDUAL BUILDING AWAY FROM SHOWN EASEMENT LINE. (SEE DETAIL A)
- ② EXISTING 10' PUBLIC UTILITY EASEMENT (P.U.E.) AS SHOWN ON PLAT FILED 5/11/06 IN BOOK 2006C, PAGE 149
- ③ TRACT 1-A IS SUBJECT TO A PRIVATE LANDSCAPING EASEMENT GRANTED TO AND MAINTAINED BY THE HOMEOWNERS' ASSOCIATION OF THE LEGENDS AT HIGH DESERT SUBDIVISION AS SHOWN ON THE PLAT OF THE LEGENDS AT HIGH DESERT FILED ON MAY 11, 2006 IN VOLUME 2006C, FOLIO 149.
- ④ PORTION OF ORIGINAL TRACT 1 PRIVATE LANDSCAPING EASEMENT VACATED BY THIS PLAT.
- ⑤ EXISTING 3'x3' WATER METER EASEMENT AS SHOWN ON PLAT FILED 5/11/06 IN BOOK 2006C PAGE 149.

**Easement Detail**



TRACT PR IS SUBJECT TO A PRIVATE ROADWAY EASEMENT AS SHOWN ON THE PLAT OF THE LEGENDS AT HIGH DESERT FILED MAY 11, 2006 IN VOLUME 2006C, FOLIO 149, AND SHALL BE OWNED & MAINTAINED BY THE HOMEOWNERS' ASSOCIATION OF HIGH DESERT.



Forstbauer Surveying, L.L.C.  
 4116 Lomas Boulevard NE  
 Albuquerque, New Mexico 87110  
 (505) 268-2112 Fax 268-2032

**KEYED NOTES:**

- ① 4'-5' SIDEWALK
- ② PEDESTRIAN PATH WITHIN LANDSCAPED AREAS

**ZONING AND CONDITIONAL USE NOTES:**

1. EXISTING ZONING: SU-2 HD/C-1  
\*CONDITIONAL USE FOR RESIDENTIAL (05ZHE-00449)
2. ALL LOTS SHALL CONFORM TO THE R-T ZONING REGULATIONS AS LISTED IN THE CITY OF ALBUQUERQUE ZONING CODE EXCEPT:
  - A. MINIMUM REAR YARD SETBACK OF 10 FEET.
  - B. MINIMUM FOR ONE SIDE YARD SETBACK IS 0 FEET. AN ADJACENT DWELLING UNIT WILL HAVE A MINIMUM SEPARATION OF 10 FEET. WHERE THERE IS NO ADJACENT UNIT, THE SIDE SETBACK SHALL BE 5' TO ROADWAY TRACT-OR PERIMETER BOUNDARY.
  - C. MINIMUM FRONT YARD SETBACK TO THE BUILDING IS 15 FEET AND TO THE CENTER OF THE GARAGE IS 20 FEET AS MEASURED TO EITHER THE BACK OF SIDEWALK OR BACK OF CURB.
3. BBQ AREAS WITH CHIMNEYS, SHADE STRUCTURES AND WALLS BUILT DURING THE ORIGINAL CONSTRUCTION OF THE HOUSE MAY BE PLACED WITHIN THE SETBACKS. THESE MUST BE APPROVED BY THE HIGH DESERT'S NEW CONSTRUCTION COMMITTEE ALONG WITH THE HOUSE PLANS PRIOR TO SUBMITTAL FOR CITY PERMIT.
4. AFTER THE COMPLETION OF THE HOUSE, PROPOSED NEW CONSTRUCTION OR MODIFICATIONS TO THE EXTERIOR OF THE HOME OR SITE MUST BE PROCESSED THROUGH THE HIGH DESERT RESIDENTIAL OWNER'S ASSOCIATION MODIFICATION COMMITTEE AS WELL AS THROUGH THE CITY FOR PERMITTING.
5. A VARIANCE TO CITY OF ALBUQUERQUE ZONING CODE OPEN SPACE REQUIREMENTS AS DESCRIBED IN SECTION 14-16-24 (d) WAS GRANTED TO ALLOW THE REQUIRED 8000 SF OF OPEN SPACE PER LOT TO BE PROVIDED OFF-SITE. (05ZHE-00480).
6. THE MINIMUM LOT AREAS AND WIDTHS ARE PER THE R-T ZONING (2200 SF AND 22 FEET FOR TOWNHOUSES AND 3600 SF AND 36 FEET FOR HOUSES).
7. SIDEWALKS ARE PROGRAMMED AS SHOWN. SIDEWALK WAIVERS SHALL BE REQUESTED FROM THE DEVELOPMENT REVIEW BOARD AT THE TIME OF PRELIMINARY PLAT SUBMITTAL.
8. ADDITIONAL VARIANCES THROUGH THE ZONING HEARING EXAMINER, CITY OF ALBUQUERQUE, WILL NOT BE ALLOWED.

**SITE PLAN**  
FOR  
**THE LEGENDS AT HIGH DESERT**

**TRACT 8A**  
**HIGH DESERT ALBUQUERQUE,**  
**NEW MEXICO**

**JULY 2005**

**GENERAL DATA:**

1. DEVELOPER: RUTLEDGE INVESTMENT COMPANY  
11000 SPAIN RD. NE  
ATTN: KYLE RUTLEDGE
2. ENGINEER: ISAACSON & ARFMAN, P.A.  
128 MONROE ST. NE  
ATTN: FRED ARFMAN
3. SURVEYOR: FORSTBAUER SURVEYING LLC  
4116 LOMAS BLVD. NE  
ATTN: RON FORSTBAUER

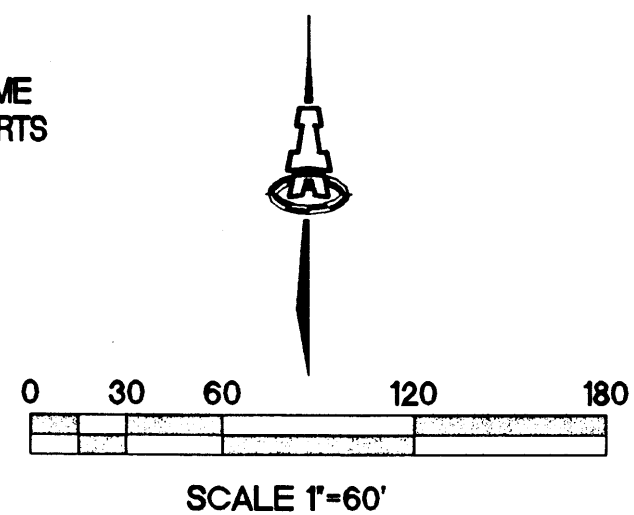
**SITE DATA:**

1. AREA = 7.2904 Ac.
2. LOT WIDTHS: 42'(\*) to 49'
3. AVG. LOT DEPTH: 90'
4. TOTAL NUMBER OF LOTS: 48
5. ALL STREETS ARE PLANNED AS PRIVATE WITH PUBLIC WATER AND SANITARY SEWER EASEMENTS.
6. PUBLIC SIDEWALKS SHALL BE PLACED ALONG ACADEMY ROAD AND CORTADERIA STREET.
7. LANDSCAPING ALONG ACADEMY ROAD AND CORTADERIA STREET SHALL BE THE RESPONSIBILITY OF HIGH DESERT.



*[Signature]*  
ZONING HEARING EXAMINER

7-22-05  
DATE



**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 Fax. 505-268-2632  
1454SPLAT.DWGjb 07.18.05

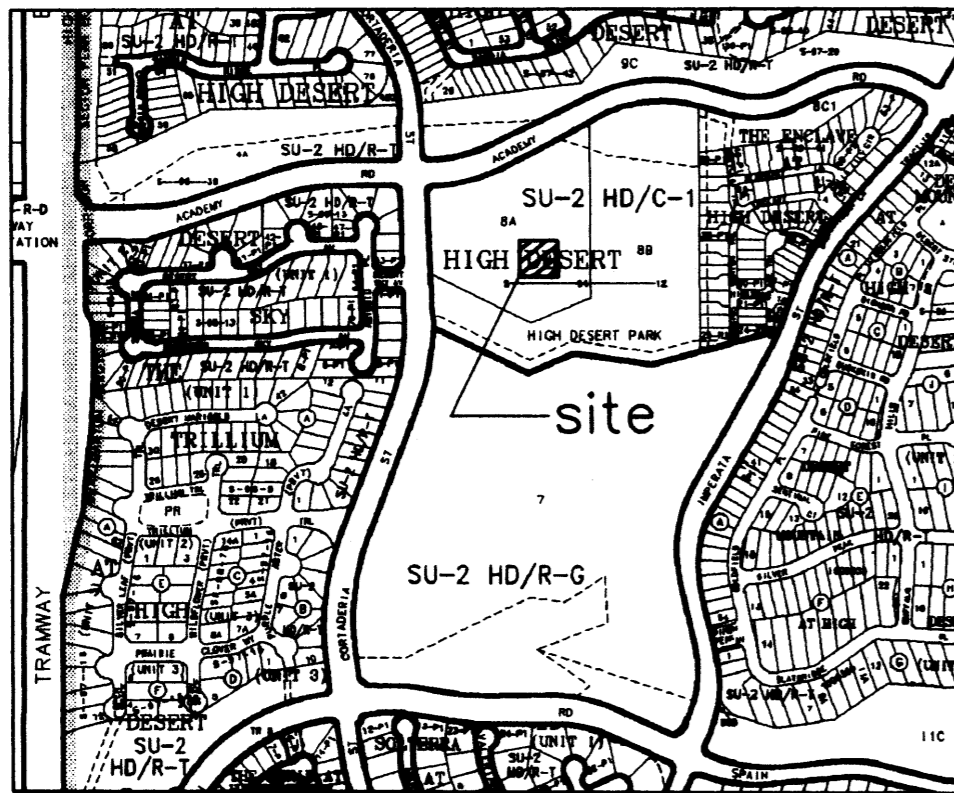
This design, calculations, and concepts are owned by and remain the property of Isaacson & Arfman, P.A. and no part thereof shall be utilized by any person, firm or corporation for any purpose whatsoever except with the written permission of Isaacson & Arfman, P.A. ©

**THE LEGENDS AT HIGH DESERT**  
**A 48 LOT SUBDIVISION**  
**RUTLEDGE INVESTMENT COMPANY**

<b>SITE PLAN</b>		<b>C1</b>
Checked By: FCA	Drawn By: BJB	
Date:	Job Number:	

M:\ACTIVE\LD4\1454\dwg\1454SPLAT.dwg, 7/22/2005 1:19:10 PM

Lots 39-A, 48-A & Tract 5-A  
 Being a Replat of  
 Lots 39, 48 & Tract 5  
 The Legends at High Desert  
 Elena Gallegos Grant  
 Projected Section 26  
 T.11N., R.4E. N.M.P.M.  
 City of Albuquerque  
 Bernalillo County, New Mexico  
 November 2006



2007025279  
 6666226  
 Page: 1 of 2  
 02/15/2007 02:17P  
 Bk-2007C Pg-40  
 Maggie Toulouse Bern. Co. PLAT R 12.00

Vicinity Map  
 no scale

Zone Atlas Page Number E-23  
 Talos Log Number 2006-482393

**SUBDIVISION DATA**

- Total gross acreage: 0.2872 acres
- Zoning: SU-2 HD/C-1 with conditional use for residential uses. All lots conform to the R-T zoning regulations as listed in the City of Albuquerque zoning code with exception as approved by the City of Albuquerque zoning hearing examiner on July 22, 2005.
- Total number of existing lots - 3. No additional lots are being created by this plat.
- Total mileage of streets created - 0.
- The basis of bearings for this survey is the New Mexico State Plane Grid, Central Zone.
- Measured bearings and distances are identical to record plat bearings and distances.
- Unless otherwise indicated all corners are set 1/2" rebar w/cap LS 6126.
- Date of field survey: November, 2006.
- Documents used in the preparation of this survey: Plat of The Legends at High Desert Subdivision, filed in the office of the County Clerk of Bernalillo County, New Mexico, on May 11, 2006, in Plat Book 2006C, page 149. Title Commitment issued by Commonwealth Land Title Insurance Company, File No. 6213000683 dated April 20, 2006.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for the installation, maintenance, and service of overhead and underground electric lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
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- Qwest Telecommunications for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Comcast, Inc. for the installation, maintenance and service of such lines, cable and related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction or pools, decking, or any structures adjacent to, within, or near easements shown on this plat.

PNM ELECTRIC SERVICES	DATE
NA	
PNM GAS SERVICES	DATE
NA	
QWEST TELECOMMUNICATIONS	DATE
NA	
COMCAST, INC.	DATE

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

**LEGAL DESCRIPTION**

Lots 39 and 48 and Tract 5 as the same is shown and designated on the Plat of The Legends at High Desert, City of Albuquerque, Bernalillo County, New Mexico filed in the office of the County Clerk of Bernalillo County, New Mexico on May 11, 2006 in Volume 2006C, folio 149 as Document No. 2006068620.

**FREE CONSENT AND DEDICATION**

The platting of the land comprising Lots 39-A, 48-A & Tract 5-A as shown hereon and all easements shown hereon are with the free consent of and in accordance with the wishes and desires of the undersigned owners and proprietors thereof. Said owners do hereby grant all easements shown hereon, including the right of ingress and egress and the right to trim interfering trees. Said owners warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

**OWNER**

RUTLEDGE INVESTMENT COMPANY, INC.

KYLE R. RUTLEDGE, PRESIDENT

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO }  
 COUNTY OF BERNALILLO } SS

This instrument was acknowledged before me on November 27 2006, by Kyle R. Rutledge, President of Rutledge Investment Company, a New Mexico Corporation, on behalf of said corporation.

My Commission Expires: 4/22/07

Ruth T. Lozano  
 Notary Public



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND  
 PAID ON UPC # 10230029125040203  
 PROPERTY OWNER OF RECORD

Rutledge Investment Company  
 BERNALILLO COUNTY TREASURER'S OFFICE

2-15-07

PROJECT NUMBER 1004039  
 Application Number 07 DRB-00091  
07 DRB-00092

The purpose of this plat is to reposition the internal lot lines of the three tracts and to vacate a portion of a private landscaping easement.

**APPROVED AND ACCEPTED BY:**

[Signature] 12-6-06  
 CITY SURVEYOR DATE

NA 02/13/07  
 REAL PROPERTY DIVISION DATE

NA 02/13/07  
 NEW MEXICO UTILITIES, INC. DATE

[Signature] 12-2-07  
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

William J. Pabst 2/7/07  
 WATER UTILITY DEPARTMENT DATE

Christina Sandoval 2/7/07  
 PARKS & RECREATION DEPARTMENT DATE

Bradley J. Bingham 2/7/07  
 A.M.A.F.C.A. DATE

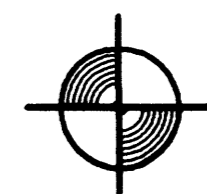
Bradley J. Bingham 2/7/07  
 CITY ENGINEER DATE

[Signature] 02/13/07  
 DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

**SURVEYOR'S AFFIDAVIT**

I, Ronald A. Forstbauer, registered New Mexico Land Surveyor No. 6126, do hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance and the City Detailed Design Standards for surveying and meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico Board of Registration for Professional Engineers and Professional Land Surveyors effective October 1, 2000 and shows easements of record as indicated on Title Commitment No. 6213000683, effective April 20, 2006 issued by Commonwealth Land Title Insurance Company, and the information shown hereon is true and correct to the best of my knowledge and belief.

[Signature] 11/16/06  
 Ronald A. Forstbauer Date  
 N.M.P.S. No. 6126



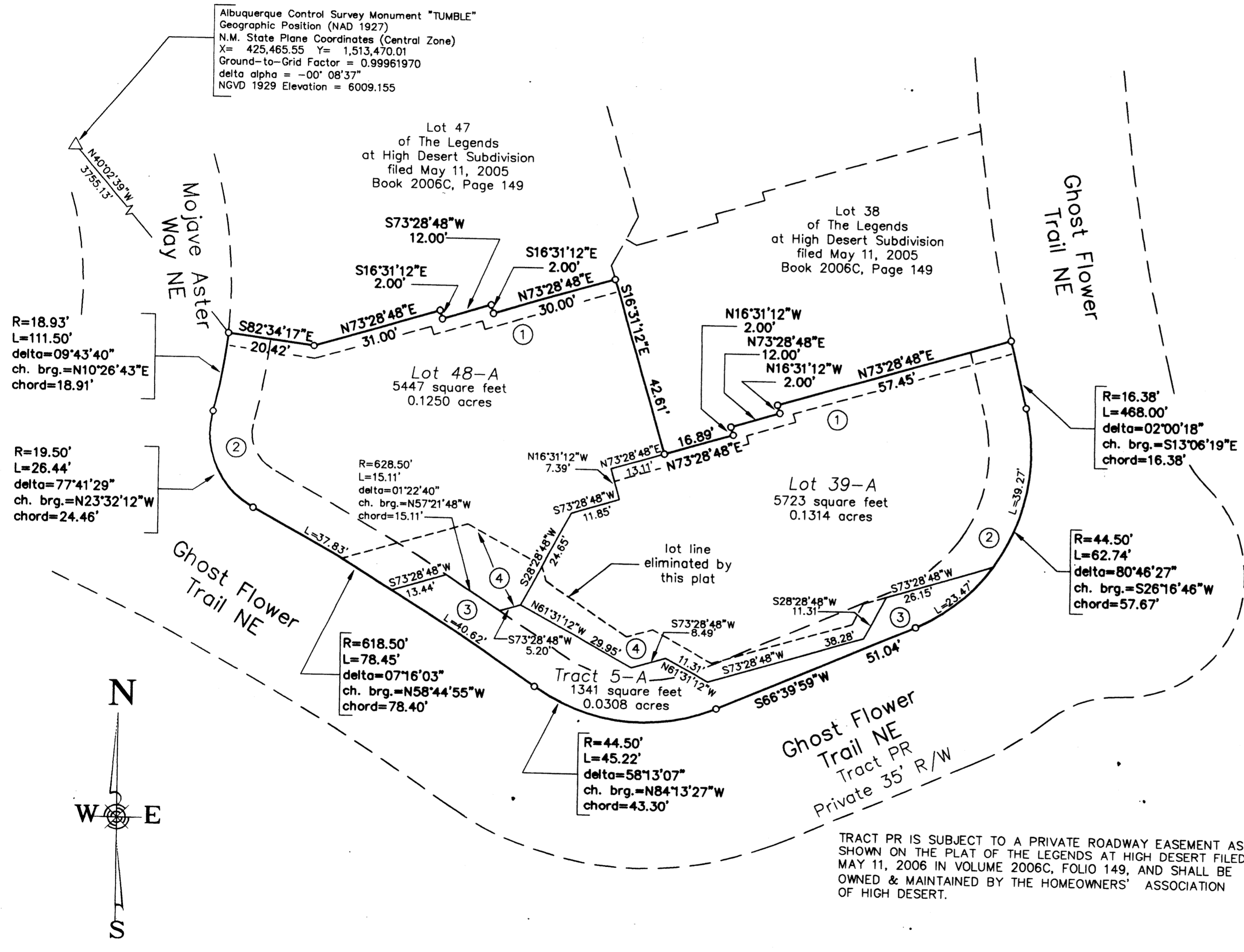
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2007025279  
 6688226  
 Page: 2 of 2  
 02/15/2007 02:17P  
 Bk-2007C Pg-48  
 Maggie Toulouse Bern. Co. PLAT R 12.00

Albuquerque Control Survey Monument "TUMBLE"  
 Geographic Position (NAD 1927)  
 N.M. State Plane Coordinates (Central Zone)  
 X= 425,465.55 Y= 1,513,470.01  
 Ground-to-Grid Factor = 0.99961970  
 delta alpha = -00° 08' 37"  
 NGVD 1929 Elevation = 6009.155



R=18.93'  
 L=111.50'  
 delta=09°43'40"  
 ch. brg.=N10°26'43"E  
 chord=18.91'

R=19.50'  
 L=26.44'  
 delta=77°41'29"  
 ch. brg.=N23°32'12"W  
 chord=24.46'

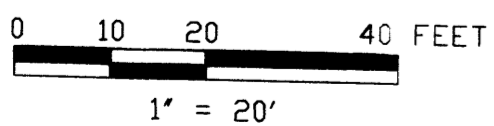
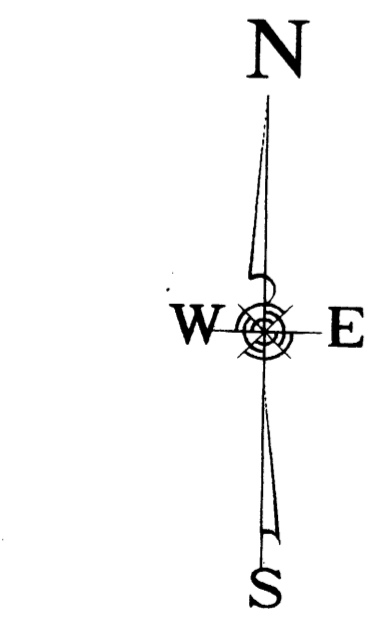
R=628.50'  
 L=15.11'  
 delta=01°22'40"  
 ch. brg.=N57°21'48"W  
 chord=15.11'

R=618.50'  
 L=78.45'  
 delta=07°16'03"  
 ch. brg.=N58°44'55"W  
 chord=78.40'

R=44.50'  
 L=45.22'  
 delta=58°13'07"  
 ch. brg.=N84°13'27"W  
 chord=43.30'

R=16.38'  
 L=468.00'  
 delta=02°00'18"  
 ch. brg.=S13°06'19"E  
 chord=16.38'

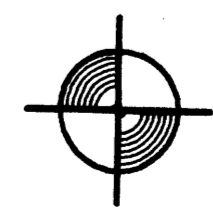
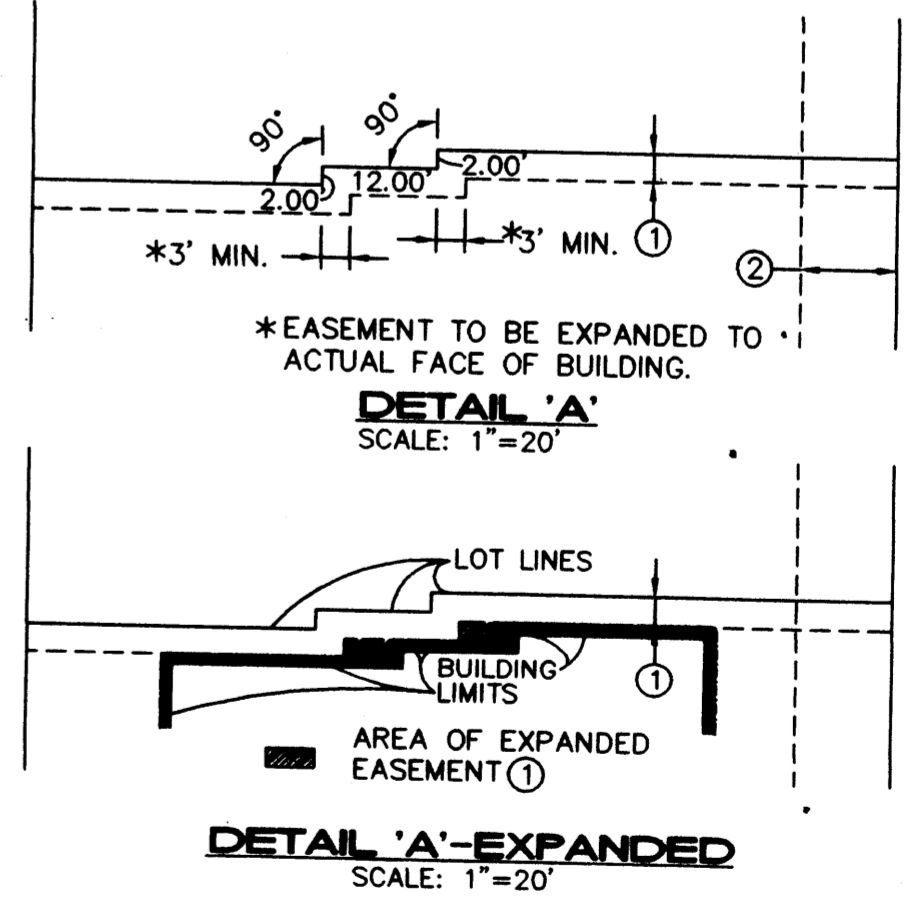
R=44.50'  
 L=62.74'  
 delta=80°46'27"  
 ch. brg.=S26°16'46"W  
 chord=57.67'



Easement Notes

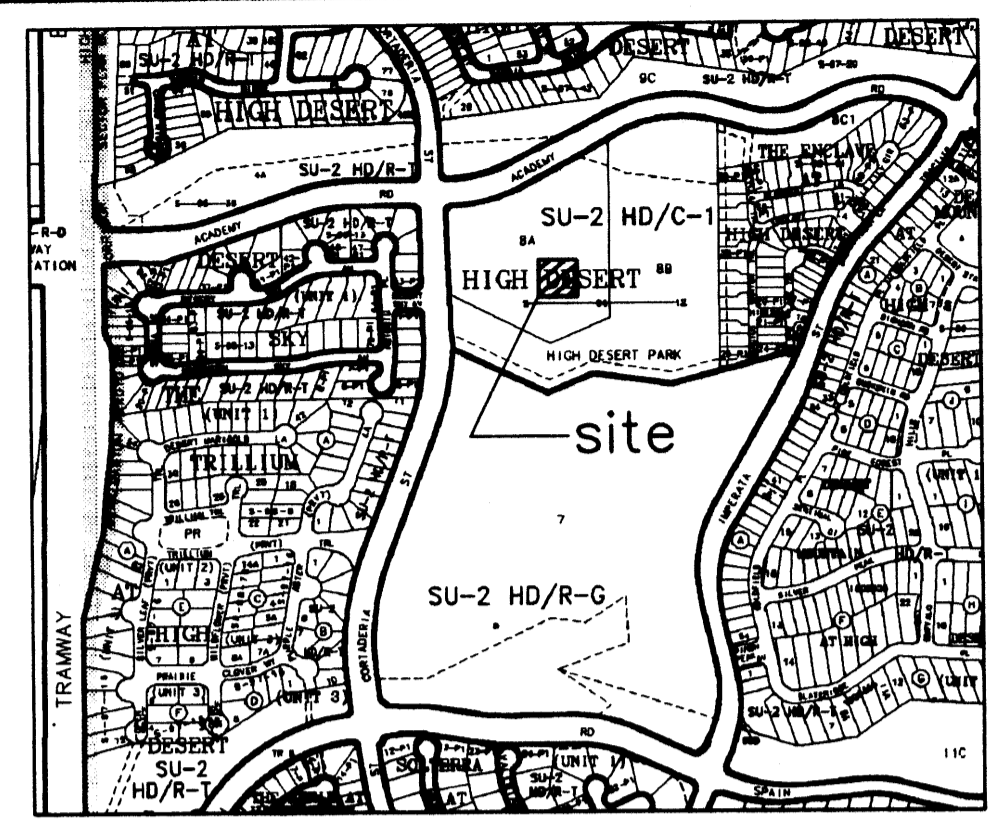
- ① 3' WIDE PRIVATE USE & ENJOYMENT EASEMENT FOR INGRESS, EGRESS, GENERAL USE, LANDSCAPE AND MAINTENANCE PURPOSES FOR THE BENEFIT OF THE OWNER(S) OF THE ADJOINING LOTS TO BE RESERVED AND GRANTED PER THE GRANTOR'S INITIAL CONVEYANCE OF THE LOTS AS SHOWN ON THIS PLAT. EASEMENT IS EXPANDED TO THE ADJACENT BUILDING TO FILL ANY VOID CREATED BY THE SHIFT OF ANY INDIVIDUAL BUILDING AWAY FROM SHOWN EASEMENT LINE. (SEE DETAIL A)
- ② 10' PUBLIC UTILITY EASEMENT (P.U.E.) GRANTED BY THIS PLAT.
- ③ TRACT 5-A IS SUBJECT TO A PRIVATE LANDSCAPING EASEMENT GRANTED TO AND MAINTAINED BY THE HOMEOWNERS' ASSOCIATION OF THE LEGENDS AT HIGH DESERT SUBDIVISION AS SHOWN ON THE PLAT OF THE LEGENDS AT HIGH DESERT FILED ON MAY 11, 2006 IN VOLUME 2006C, FOLIO 149.
- ④ PORTION OF ORIGINAL TRACT 5 PRIVATE LANDSCAPING EASEMENT VACATED BY THIS PLAT.

Easement Detail



Forstbauer Surveying, L.L.C.  
 4116 Lomas Boulevard NE  
 Albuquerque, New Mexico 87110  
 (505) 268-2112 Fax 268-2032

Lots 39-A, 48-A & Tract 5-A  
 Being a Replat of  
 Lots 39, 48 & Tract 5  
 The Legends at High Desert  
 Elena Gallegos Grant  
 Projected Section 26  
 T.11N., R.4E. N.M.P.M.  
 City of Albuquerque  
 Bernalillo County, New Mexico  
 November 2006 *Final*



Vicinity Map  
no scale

Zone Atlas Page Number E-23  
 Talos Log Number 2006-482393

**SUBDIVISION DATA**

- Total gross acreage: 0.2872 acres
- Zoning: SU-2 HD/C-1 with conditional use for residential uses. All lots conform to the R-T zoning regulations as listed in the City of Albuquerque zoning code with exception as approved by the City of Albuquerque zoning hearing examiner on July 22, 2005.
- Total number of existing lots - 3. No additional lots are being created by this plat.
- Total mileage of streets created - 0.
- The basis of bearings for this survey is the New Mexico State Plane Grid, Central Zone.
- Measured bearings and distances are identical to record platted bearings and distances.
- Unless otherwise indicated all corners are set 1/2" rebar w/cap LS 6126.
- Date of field survey: November, 2006.
- Documents used in the preparation of this survey: Plat of The Legends at High Desert Subdivision, filed in the office of the County Clerk of Bernalillo County, New Mexico, on May 11, 2006, in Plat Book 2006C, page 149. Title Commitment issued by Commonwealth Land Title Insurance Company, File No. 6213000683 dated April 20, 2006.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for the installation, maintenance, and service of overhead and underground electric lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.
- Qwest Telecommunications for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Comcast, Inc. for the installation, maintenance and service of such lines, cable and related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction or pools, decking, or any structures adjacent to, within, or near easements shown on this plat.

PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST, INC.	DATE

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

**LEGAL DESCRIPTION**

Lots 39 and 48 and Tract 5 as the same is shown and designated on the Plat of The Legends at High Desert, City of Albuquerque, Bernalillo County, New Mexico filed in the office of the County Clerk of Bernalillo County, New Mexico on May 11, 2006 in Volume 2006C, folio 149 as Document No. 2006068620.

**FREE CONSENT AND DEDICATION**

The platting of the land comprising Lots 39-A, 48-A & Tract 5-A as shown hereon and all easements shown hereon are with the free consent of and in accordance with the wishes and desires of the undersigned owners and proprietors thereof. Said owners do hereby grant all easements shown hereon, including the right of ingress and egress and the right to trim interfering trees. Said owners warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

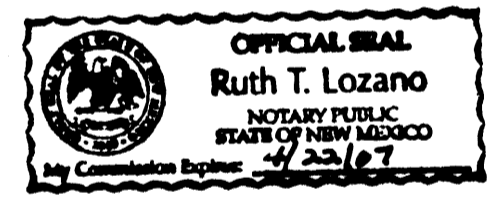
**OWNER**

RUTLEDGE INVESTMENT COMPANY, INC.

*[Signature]*  
 KYLE R. RUTLEDGE, PRESIDENT  
 11/27/06

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) SS



This instrument was acknowledged before me on November 27 2006, by Kyle R. Rutledge, President of Rutledge Investment Company, a New Mexico Corporation, on behalf of said corporation.

My Commission Expires: 4/22/07  
*Ruth T. Lozano*  
 Notary Public

PROJECT NUMBER \_\_\_\_\_  
 Application Number \_\_\_\_\_

**PRELIMINARY PLAT**  
**APPROVED BY DRB**  
*ON 02/07/07*

The purpose of this plat is to reposition the internal lot lines of the three tracts and to vacate a portion of a private landscaping easement.

APPROVED AND ACCEPTED BY:  
*[Signature]* 12-6-06  
 CITY SURVEYOR DATE

REAL PROPERTY DIVISION DATE

NEW MEXICO UTILITIES, INC. DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

WATER UTILITY DEPARTMENT DATE

PARKS & RECREATION DEPARTMENT DATE

A.M.A.F.C.A. DATE

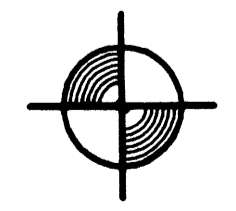
CITY ENGINEER DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

**SURVEYOR'S AFFIDAVIT**

I, Ronald A. Forstbauer, registered New Mexico Land Surveyor No. 6126, do hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance and the City Detailed Design Standards for surveying and meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico Board of Registration for Professional Engineers and Professional Land Surveyors effective October 1, 2000 and shows easements of record as indicated on Title Commitment No. 6213000683, effective April 20, 2006 issued by Commonwealth Land Title Insurance Company, ~~as designed by LandAmerica~~ Albuquerque Title, and that the information shown hereon is true and correct to the best of my knowledge and belief.

*[Signature]* 12/1/06  
 Ronald A. Forstbauer Date  
 N.M.P.S. No. 6126



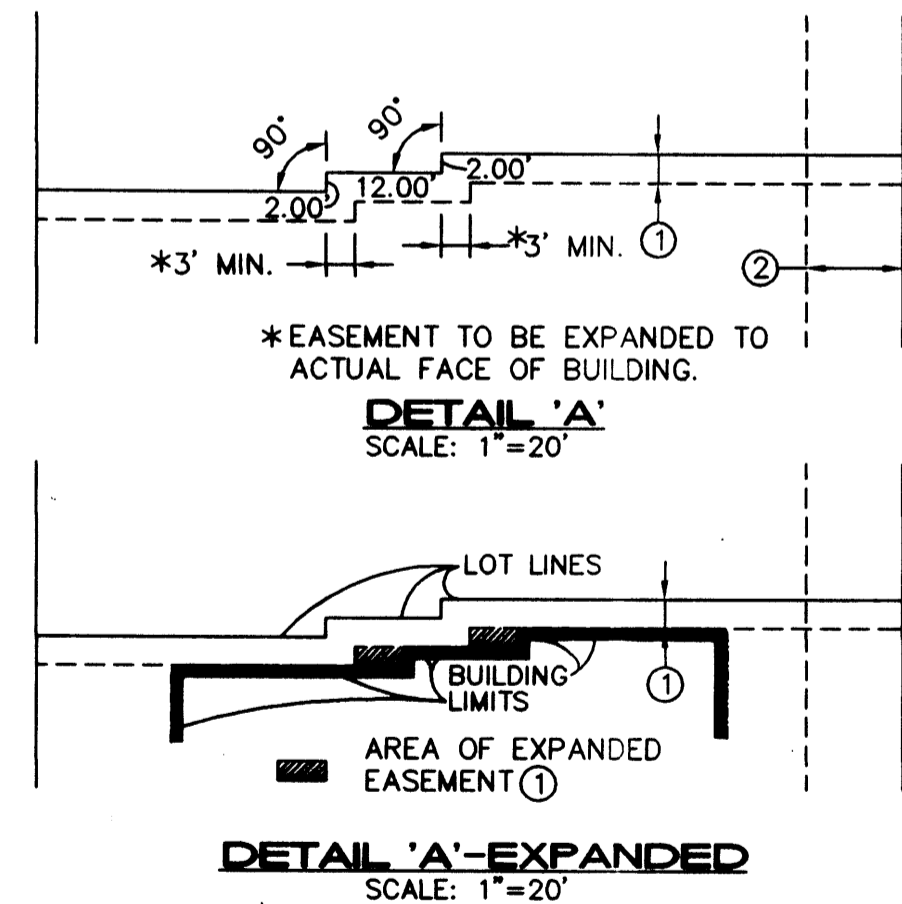
Forstbauer Surveying, L.L.C.  
 4116 Lomas Boulevard NE  
 Albuquerque, New Mexico 87110  
 (505) 268-2112 Fax 268-2032

**Lots 39-A, 48-A & Tract 5-A**  
 Being a Replat of  
 Lots 39, 48 & Tract 5  
**The Legends at High Desert**  
 Elena Gallegos Grant  
 Projected Section 26  
 T.11N., R.4E. N.M.P.M.  
 City of Albuquerque  
 Bernalillo County, New Mexico  
 November 2006

**Easement Notes**

- ① 3' WIDE PRIVATE USE & ENJOYMENT EASEMENT FOR INGRESS, EGRESS, GENERAL USE, LANDSCAPE AND MAINTENANCE PURPOSES FOR THE BENEFIT OF THE OWNER(S) OF THE ADJOINING LOTS TO BE RESERVED AND GRANTED PER THE GRANTOR'S INITIAL CONVEYANCE OF THE LOTS AS SHOWN ON THIS PLAT. EASEMENT IS EXPANDED TO THE ADJACENT BUILDING TO FILL ANY VOID CREATED BY THE SHIFT OF ANY INDIVIDUAL BUILDING AWAY FROM SHOWN EASEMENT LINE. (SEE DETAIL A)
  - ② 10' PUBLIC UTILITY EASEMENT (P.U.E.) GRANTED BY THIS PLAT.
  - ③ TRACT 5-A IS SUBJECT TO A PRIVATE LANDSCAPING EASEMENT GRANTED TO AND MAINTAINED BY THE HOMEOWNERS' ASSOCIATION OF THE LEGENDS AT HIGH DESERT SUBDIVISION AS SHOWN ON THE PLAT OF THE LEGENDS AT HIGH DESERT FILED ON MAY 11, 2006 IN VOLUME 2006C, FOLIO 149.
- PORTION OF ORIGINAL TRACT 5 PRIVATE LANDSCAPING EASEMENT VACATED BY THIS PLAT.

**Easement Detail**



Albuquerque Control Survey Monument "TUMBLE"  
 Geographic Position (NAD 1927)  
 N.M. State Plane Coordinates (Central Zone)  
 X= 425,465.55 Y= 1,513,470.01  
 Ground-to-Grid Factor = 0.99961970  
 delta alpha = -00° 08'37"  
 NGVD 1929 Elevation = 6009.155

Lot 47  
 of The Legends  
 at High Desert Subdivision  
 filed May 11, 2005  
 Book 2006C, Page 149

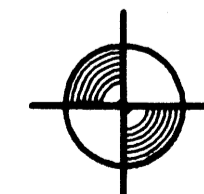
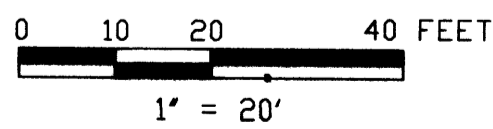
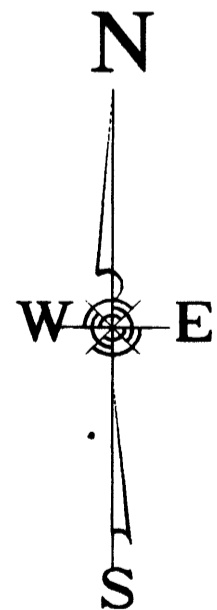
Lot 38  
 of The Legends  
 at High Desert Subdivision  
 filed May 11, 2005  
 Book 2006C, Page 149

Lot 48-A  
 5447 square feet  
 0.1250 acres

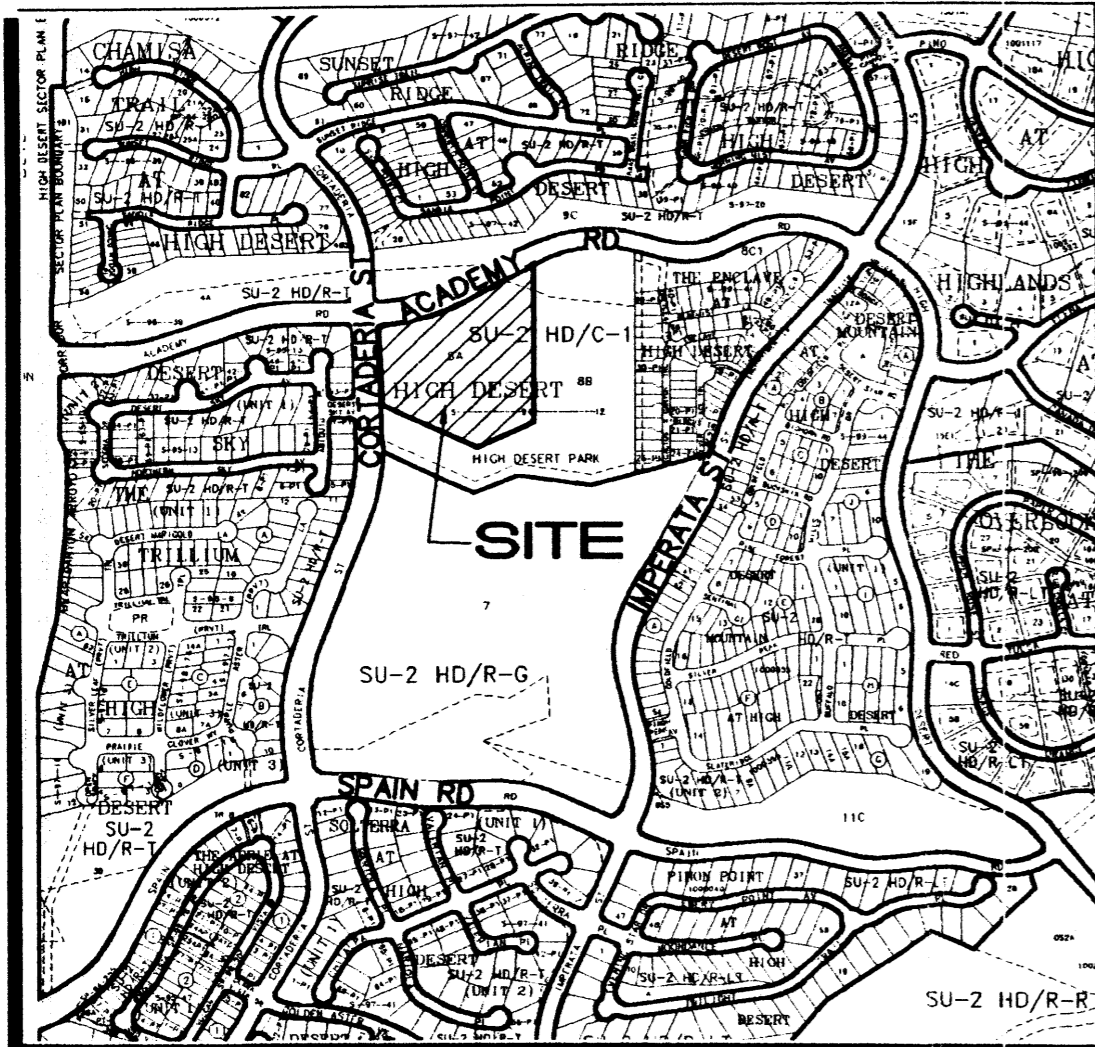
Lot 39-A  
 5723 square feet  
 0.1314 acres

Tract 5-A  
 1341 square feet  
 0.0308 acres

TRACT PR IS SUBJECT TO A PRIVATE ROADWAY EASEMENT AS SHOWN ON THE PLAT OF THE LEGENDS AT HIGH DESERT FILED MAY 11, 2006 IN VOLUME 2006C, FOLIO 149, AND SHALL BE OWNED & MAINTAINED BY THE HOMEOWNERS' ASSOCIATION OF HIGH DESERT.



Forstbauer Surveying, L.L.C.  
 4116 Lomas Boulevard NE  
 Albuquerque, New Mexico 87110  
 (505) 268-2112 Fax 268-2032



E-23 1"=750'

**VICINITY MAP**

**SUBDIVISION DATA / NOTES**

- Total Number of Existing Tracts: 1
- Total Number of Lots created: 48
- Total Number of Tracts created: 12
- Gross Subdivision Acreage: 7.2940 Ac.
- Total Mileage of Private Streets Created: 0.3481
- Bearings are New Mexico State Plane Grid Bearings (Central Zone NAD 27).
- Distances are ground distances.
- Field Survey performed in June, 2005.
- Title Report: Land America Albuquerque Title Company, File No. 6213000683
- City Standard Utility Note II:  
City of Albuquerque Water and Sanitary Sewer Service must be verified and coordinated with the Albuquerque Bernalillo County Water Utility Authority, City of Albuquerque.
- Centerline (in lieu of R/W) monumentation to be installed at all centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard four-inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monumentation", "Survey Marker", "Do Not Disturb", "PLS #6126".
- ZONING: SU-2 HD/C-1 with conditional use for residential uses. all lots shall conform to the R-T zoning regulations as listed in the City of Albuquerque zoning code with exception as approved by the City of Albuquerque zoning hearing examiner on July 22, 2005.
- Measured bearings and distances are identical to record.

**PUBLIC UTILITY EASEMENTS**

Public utility easements shown on this plat are granted for The common and joint use of:

- The Public Service Co. Of NM--Electric Services Division for the installation, maintenance, and service of underground/overhead electrical lines, communication lines, transformers, and any other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
- Qwest for the installation, maintenance and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide cable tv service.
- The Public Service Co. Of NM--Gas Services Division for the installation, maintenance, and service of such distribution and service lines and facilities reasonably necessary to provide gas service.

2006088620  
6456191  
Page: 1 of 5  
05/11/2006 09:53A  
Bk-2986C Pg-149

Mary Herrera Bern. Co. PLAT R 27.09



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND

PAID ON UPC # 02306219125630263  
PROPERTY OWNER OF RECORD:

High Desert Investment, Inc.  
BERNALILLO COUNTY TREASURER'S OFFICE  
F. J. ... 5-11-06

**Plat Of  
The Legends  
At High Desert Subdivision**  
Being a Replat of  
Tract 8A, High Desert  
within  
The Elena Gallegos Grant  
Projected Section 26, T.11N, R.4E, N.M.P.M.  
City Of Albuquerque  
Bernalillo County, New Mexico  
May 2006

**LEGAL DESCRIPTION**

Tract 8A as the same is shown and designated on the PLAT OF TRACTS 8A, 8B AND 8C HIGH DESERT, Albuquerque, New Mexico filed in the office of the County Clerk of Bernalillo County, New Mexico on June 30, 1994 in Volume 94C, folio 223 as Document No. 94083641.

**FREE CONSENT AND DEDICATION**

The subdivision shown hereon is with the free consent and in accordance with the desires of the undersigned Owner(s) and/or Proprietor(s) thereof and said Owner(s) and/or Proprietor(s) do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for overhead and/or buried distribution lines, conduits, and pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said Owner(s) and/or Proprietor(s) do hereby consent to all of the foregoing and said owners warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided, and do hereby certify that this subdivision is their free act and deed.

**OWNER**

RUTLEDGE INVESTMENT COMPANY, INC.

KYLE R. RUTLEDGE, PRESIDENT

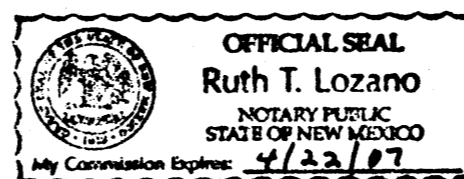
**ACKNOWLEDGMENT**

STATE OF NEW MEXICO } SS  
COUNTY OF BERNALILLO }

This instrument was acknowledged before me on May 1, 2006, by Kyle R. Rutledge, President of Rutledge Investment Company a New Mexico Corporation, on behalf of said corporation.

My Commission Expires: 4/22/07

Ruth T. Lozano  
Notary Public



**APPROVALS**

DRB PROJECT NO. 1004039  
APPLICATION NO. 05-01074 06 DRB-00606

**DISCLOSURE STATEMENT**

The purpose of this plat is to subdivide the subject tract into 48 residential lots, 11 private landscape tracts, and 1 private roadway tract, and to grant easements necessary to serve the residential development.

**Utility Approvals**

<u>Leah D. Marts</u>	5-5-06
PNM ELECTRIC SERVICES DIVISION	DATE
<u>Leah D. Marts</u>	5-5-06
PNM GAS SERVICES DIVISION	DATE
<u>Rui Crabtree</u>	5/9/06
QWEST	DATE
<u>John Bonin</u>	5-5-06
COMCAST	DATE
<u>[Signature]</u>	5-2-06
CITY SURVEYOR	DATE
N/A	
REAL PROPERTY DIVISION	DATE
N/A	
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
<u>[Signature]</u>	5-10-06
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
<u>Roger J. Hren</u>	5/10/06
CITY OF ALBUQUERQUE UTILITIES DIVISION	DATE
<u>Christine Sandoval</u>	5/10/06
PARKS AND RECREATION DEPARTMENT	DATE
<u>Bradley B. Bingham</u>	5/10/06
AMAFCA	DATE
<u>Bradley B. Bingham</u>	5/10/06
CITY ENGINEER	DATE
<u>[Signature]</u>	5/10/06
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

**SURVEYOR'S CERTIFICATION**

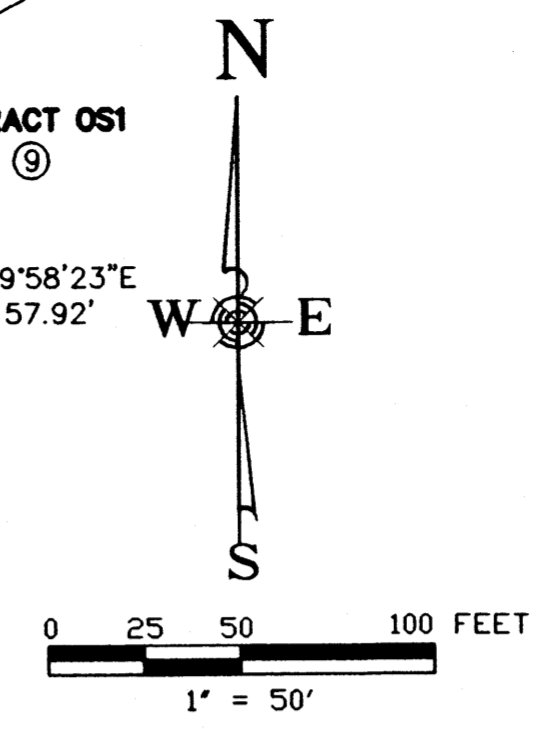
I, Ronald A. Forstbauer, registered New Mexico Land Surveyor No. 6126, do hereby certify that the plat shown hereon was prepared by me or under my direct supervision and surveys of the Albuquerque Subdivision Ordinance and the City Detailed Design Standards for surveying and meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico Board of Registration for Professional Engineers and Professional Land Surveyors effective October 1, 2000 and shows easements of record as indicated on Title Policy File No. 6213000683 issued by Land America Albuquerque Title Company, effective April 20, 2006, and that the information shown hereon is true and correct to the best of my knowledge and belief.

Ronald A. Forstbauer  
Ronald A. Forstbauer, P.S. No. 6126 Date 5/1/06

Forstbauer Surveying, L.L.C.  
4116 Lomas Boulevard NE  
Albuquerque, New Mexico 87110  
(505) 268-2112 Fax 268-2032

**EASEMENT GEOMETRY**  
**Plat Of**  
**The Legends**  
**At High Desert Subdivision**  
 Being a Replat of  
 Tract 8A, High Desert  
 within  
 The Elena Gallegos Grant  
 Projected Section 26, T.11N, R.4E, N.M.P.M.  
 City Of Albuquerque  
 Bernalillo County, New Mexico  
 May 2006

- LEGEND**
- SET 1/2" REBAR WITH CAP "LS 6126" (TYP.)
  - ▲ CENTERLINE MONUMENT



**REFERENCE NOTES:**

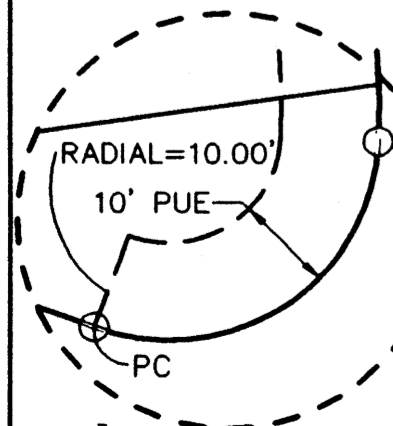
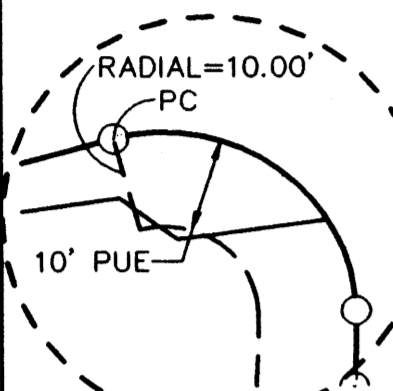
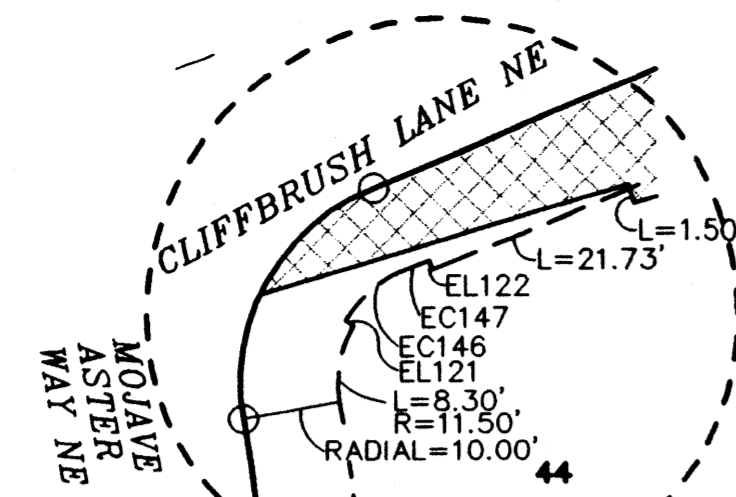
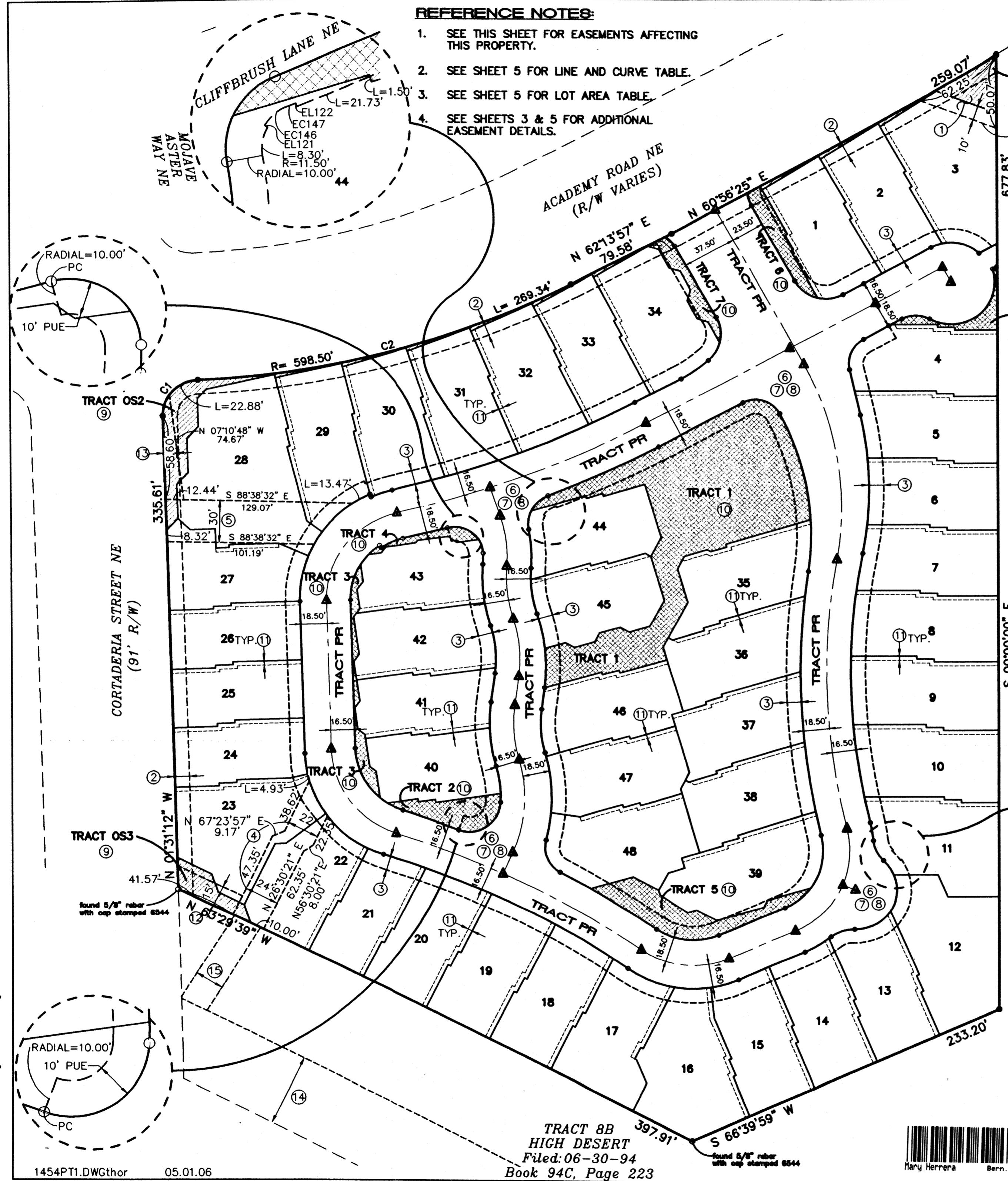
1. SEE THIS SHEET FOR EASEMENTS AFFECTING THIS PROPERTY.
2. SEE SHEET 5 FOR LINE AND CURVE TABLE.
3. SEE SHEET 5 FOR LOT AREA TABLE.
4. SEE SHEETS 3 & 5 FOR ADDITIONAL EASEMENT DETAILS.

**EASEMENT NOTES**

- ① EXISTING EASEMENT (BEAR TRIBUTARY) (11-19-93, Bks 93-33/Pgs 2021-2039) AND ON PLAT FILED 6/30/94, BOOK 94C, PAGE 223.
- ② EXISTING 10' PUBLIC UTILITY EASEMENT FILED 6/30/94, BOOK 94C, PAGE 223.
- ③ 10' PUBLIC UTILITY EASEMENT (P.U.E.) GRANTED BY THIS PLAT.
- ④ WATERLINE AND STORM DRAIN EASEMENT (WIDTH VARIES) GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
- ⑤ 30' STORM DRAIN, SANITARY SEWER LINE AND WATERLINE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
- ⑥ TRACT PR IS SUBJECT TO A PRIVATE ROADWAY EASEMENT GRANTED BY THIS PLAT, AND SHALL BE OWNED & MAINTAINED BY THE HOMEOWNERS' ASSOCIATION OF HIGH DESERT.
- ⑦ TRACT PR IS SUBJECT TO A PUBLIC WATER AND SANITARY SEWER EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT AND A BLANKET PUE FOR UTILITY CROSSINGS AND ALIGNMENTS AS NECESSARY.
- ⑧ TRACT PR IS SUBJECT TO A PUBLIC DRAINAGE EASEMENT AND ACCESS EASEMENT FOR EMERGENCY AND SERVICE VEHICLES GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT. TRACT PR IS COVERED BY A BLANKET PUBLIC UTILITY EASEMENT FOR UTILITY CROSSINGS GRANTED TO PNM ELECTRIC SERVICES DIVISION, PNM GAS SERVICES DIVISION, QWEST AND COMCAST BY THIS PLAT.
- ⑨ TRACTS OS1, OS2, OS3 ARE SUBJECT TO A PRIVATE LANDSCAPING EASEMENT GRANTED TO AND MAINTAINED BY HIGH DESERT INVESTMENT CORPORATION BY THIS PLAT.
- ⑩ TRACTS 1, 2, 3, 4, 5, 6, 7, & 8 ARE SUBJECT TO A PRIVATE LANDSCAPING EASEMENT GRANTED TO AND MAINTAINED BY THE HOMEOWNERS' ASSOCIATION OF THE LEGENDS AT HIGH DESERT SUBDIVISION BY THIS PLAT.
- ⑪ 3' WIDE PRIVATE USE & ENJOYMENT EASEMENT FOR INGRESS, EGRESS, GENERAL USE, LANDSCAPE AND MAINTENANCE PURPOSES FOR THE BENEFIT OF THE OWNER(S) OF THE ADJOINING LOTS TO BE RESERVED AND GRANTED PER THE GRANTOR'S INITIAL CONVEYANCE OF THE LOTS CREATED BY THE RECORDATION OF THIS PLAT. EASEMENT IS EXPANDED TO THE ADJACENT BUILDING TO FILL ANY VOID CREATED BY THE SHIFT OF ANY INDIVIDUAL BUILDING AWAY FROM SHOWN EASEMENT LINE.
- ⑫ 15' WATERLINE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
- ⑬ SANITARY SEWERLINE EASEMENT (WIDTH VARIES) GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
- ⑭ EXISTING 50' DRAINAGE EASEMENT AS SHOWN ON PLAT FILED 6/30/94, BOOK 94C, PAGE 223.
- ⑮ EXISTING 20' STORM DRAIN EASEMENT AS SHOWN ON PLAT FILED 04/25/06, BOOK A115, PAGE 8262.

TRACT 8B  
HIGH DESERT  
Filed: 06-30-94  
Book 94C, Page 223

SEE DETAIL SHEET 3



TRACT 8B  
HIGH DESERT  
Filed: 06-30-94  
Book 94C, Page 223

2006090620  
 6456191  
 Page: 4 of 5  
 85/11/2006 08:53A  
 Bk-2896C Pg-149

Mary Herrera Bern. Co. PLAT R 27.00

Forstbauer Surveying, L.L.C.  
 4116 Lomas Boulevard NE  
 Albuquerque, New Mexico 87110  
 (505) 268-2112 Fax 268-2032

**SHEET 4 OF 5**

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CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	25.00	39.08	24.80	35.21	S 43°14'53" W	89°31'48"
C2	598.50	269.34	136.99	267.07	N 75°07'28" E	25°47'03"
C3	18.00	9.32	4.77	9.22	N 43°53'51" W	29°40'32"
C4	24.00	9.71	4.92	9.64	S 17°28'15" W	23°10'40"
C5	25.00	39.13	24.86	35.26	S 73°54'14" E	89°41'18"
C6	25.00	34.05	20.28	31.48	N 09°57'37" E	78°02'25"
C7	28.50	36.10	20.93	33.73	N 82°46'23" W	72°34'25"
C8	30.50	72.96	77.55	58.77	N 51°04'41" E	137°03'35"
C9	19.50	19.97	10.96	19.11	N 88°43'33" W	58°40'04"
C10	19.50	25.22	14.72	23.50	S 24°15'59" W	74°08'53"
C11	19.50	30.28	18.15	27.33	N 73°17'17" W	88°57'32"
C12	232.50	98.19	49.84	97.46	N 00°41'03" W	24°11'47"
C13	174.50	114.99	59.67	112.92	N 09°55'50" W	37°45'22"
C14	433.00	192.88	98.08	191.28	S 01°20'48" E	25°31'18"
C15	488.00	188.32	95.45	187.05	S 02°34'48" E	23°03'18"
C16	21.50	15.91	8.34	15.54	S 26°18'15" E	42°23'09"
C17	28.50	69.05	75.84	53.36	N 21°34'25" E	138°48'29"
C18	25.00	17.54	9.15	17.18	S 71°12'57" W	40°11'28"
C19	75.00	94.44	54.84	88.32	S 37°35'38" E	72°08'54"
C22	21.50	40.47	29.50	34.75	N 58°40'08" E	107°50'18"
C23	19.50	26.44	15.70	24.46	S 23°32'12" E	77°41'29"
C24	116.41	53.56	27.28	53.09	N 05°24'17" W	28°21'38"
C25	83.00	33.55	17.01	33.32	S 07°00'18" E	23°08'35"
C26	108.00	27.96	14.08	27.88	N 02°50'25" W	14°48'51"
C27	21.50	29.71	17.78	27.40	S 29°18'35" W	79°08'52"
C28	19.50	35.33	24.88	30.69	N 53°28'08" W	103°49'08"
C29	44.50	17.07	8.64	16.97	S 68°10'22" W	21°58'58"
C30	46.50	46.04	25.11	44.18	S 28°50'41" W	56°43'46"
C31	81.50	96.51	54.82	90.97	S 32°24'14" W	67°50'52"
C32	893.00	180.73	90.88	180.22	N 89°41'53" E	14°55'53"
C33	3000.00	3.07	1.54	3.07	N 82°12'11" E	0°03'31"
C34	3000.00	64.59	32.30	64.59	N 81°33'25" E	1°14'01"
C35	206.50	142.33	74.12	139.53	N 08°18'50" W	39°29'29"
C36	449.50	192.52	97.76	191.05	S 01°50'17" E	24°32'22"
C37	83.00	88.82	53.59	81.64	N 26°18'48" E	80°48'27"
C38	83.00	84.01	35.08	81.30	S 84°13'27" E	58°13'07"
C39	600.00	189.40	95.49	188.61	N 84°09'28" W	18°05'10"
C40	63.00	78.82	45.50	73.78	S 37°21'38" E	71°40'52"
C41	63.00	86.52	51.84	79.88	S 37°49'19" W	78°41'02"
C42	710.00	185.03	93.04	184.50	N 89°41'53" E	14°55'53"
C43	63.00	40.40	20.92	39.71	N 04°15'53" E	36°44'42"
C44	63.00	48.41	25.47	47.23	N 44°39'07" E	44°01'45"
C45	600.00	79.07	39.59	79.01	N 89°25'33" W	7°33'02"
C46	600.00	110.33	55.32	110.17	N 80°22'58" W	10°32'09"
C47	93.00	65.89	34.39	64.52	N 04°03'13" E	40°35'31"
C48	93.00	38.99	19.78	38.70	S 04°14'00" E	24°01'05"
C49	93.00	41.37	21.03	41.03	N 04°58'08" W	25°29'17"
C50	99.50	38.70	19.80	38.48	S 06°34'07" E	22°17'15"
C51	91.50	38.51	18.50	38.26	N 06°31'16" W	22°31'33"
C52	710.00	87.51	33.78	87.48	N 74°28'24" E	5°28'53"
C53	710.00	117.52	58.89	117.38	N 68°58'27" E	9°29'00"
C54	616.50	40.78	20.39	40.75	N 71°18'25" W	3°47'18"
C55	46.50	12.27	6.17	12.24	S 65°38'22" E	15°07'23"
C56	76.50	5.99	3.00	5.99	N 00°30'24" E	4°29'09"
C57	46.50	6.34	3.17	6.33	S 54°10'28" E	7°48'28"
C58	109.50	27.77	13.96	27.89	S 08°58'42" E	14°31'42"
C59	76.50	19.37	9.74	19.32	N 08°59'22" W	14°30'22"
C60	109.50	18.14	9.09	18.12	S 03°01'51" W	9°29'23"
C61	76.50	4.05	2.03	4.05	N 08°15'28" E	3°02'12"
C62	116.00	17.32	8.68	17.30	S 13°28'08" E	8°33'17"
C63	76.50	29.98	15.18	29.79	N 08°29'12" W	22°27'05"
C64	19.50	10.26	5.25	10.14	N 18°35'48" W	30°08'28"
C65	74.31	7.99	4.00	7.98	N 01°31'28" E	6°09'27"
C66	116.00	27.80	13.97	27.74	S 02°17'29" E	13°43'57"
C67	46.50	8.82	4.42	8.80	S 37°22'40" W	10°51'52"
C68	19.50	25.08	14.61	23.38	N 68°30'22" W	73°40'38"
C69	46.50	39.56	21.07	38.38	S 25°53'42" E	48°44'59"
C70	46.50	27.16	13.98	26.78	S 15°12'46" W	33°27'56"
C71	21.50	16.41	8.63	16.01	S 47°02'56" W	43°43'12"
C72	21.50	13.30	6.67	13.09	S 07°28'00" W	35°28'41"
C73	83.00	8.38	4.19	8.37	S 01°41'01" W	9°48'58"
C74	81.50	0.17	0.08	0.17	S 01°27'41" E	0°07'03"
C75	81.50	33.48	16.98	33.24	S 10°21'54" W	23°32'07"
C76	81.50	19.88	9.99	19.83	S 29°07'19" W	13°58'42"
C77	81.50	42.96	22.00	42.49	S 51°13'10" W	30°13'00"
C78	79.50	15.04	7.54	15.01	S 71°44'45" W	10°50'09"

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C79	693.50	38.28	19.14	38.28	N 75°35'00" E	3°08'40"
C80	693.50	53.54	26.79	53.53	N 71°47'27" E	4°25'25"
C81	693.50	53.03	26.53	53.02	N 67°23'17" E	4°22'53"
C82	693.50	35.89	17.95	35.88	N 67°42'54" E	2°57'54"
C83	25.00	14.99	7.73	14.77	N 31°48'05" E	34°21'30"
C84	25.00	19.06	10.02	18.60	N 07°13'08" W	43°40'58"
C85	25.00	20.98	11.15	20.37	S 53°06'13" E	48°05'16"
C86	25.00	18.15	9.50	17.78	N 82°03'07" E	41°36'02"
C87	2983.50	18.23	8.11	18.23	N 61°05'46" E	0°18'42"
C88	28.50	8.36	4.21	8.33	S 88°20'54" W	16°48'59"
C89	28.50	27.73	15.08	26.65	N 74°21'54" W	55°45'28"
C90	3018.50	19.77	9.89	19.77	N 61°07'40" E	0°22'31"
C91	232.50	30.35	15.20	30.33	N 09°02'34" W	7°28'48"
C92	232.50	47.08	23.62	47.00	N 00°29'54" E	11°38'09"
C93	232.50	20.76	10.38	20.75	N 08°51'25" E	5°08'51"
C94	433.00	28.88	13.45	28.88	S 08°38'07" W	3°33'27"
C95	433.00	47.18	23.62	47.18	S 04°44'05" W	8°14'37"
C96	433.00	49.05	24.55	49.02	S 01°37'55" E	6°29'24"
C97	433.00	51.57	25.81	51.54	S 08°17'20" E	6°48'25"
C98	433.00	18.19	9.10	18.19	S 12°34'15" E	2°24'28"
C99	28.50	12.36	6.28	12.27	N 35°04'14" W	24°31'10"
C100	28.50	27.39	14.86	26.35	N 04°33'17" E	55°03'51"
C101	28.50	29.29	16.09	28.02	N 81°51'56" E	58°53'28"
C102	79.50	2.02	1.01	2.02	N 61°50'54" E	12°7'40"
C103	79.50	19.55	9.82	19.50	N 59°37'17" E	14°08'25"
C104	79.50	20.32	10.22	20.27	N 73°39'28" E	14°38'53"
C105	79.50	25.24	12.73	25.13	S 89°35'25" E	18°11'28"
C106	79.50	35.22	17.90	34.93	S 87°48'18" E	25°22'49"
C107	583.50	12.28	6.14	12.28	N 55°43'04" W	11°22'22"
C108	583.50	47.18	23.60	47.17	N 58°38'15" W	43°37'59"
C109	583.50	49.01	24.52	49.00	N 53°21'37" W	44°48'46"
C110	583.50	49.18	24.60	49.16	N 68°10'53" W	44°48'45"
C111	583.50	31.27	15.64	31.27	N 72°07'52" W	30°41'14"
C112	75.00	38.04	19.44	37.84	S 50°36'43" E	29°03'48"
C113	75.00	11.16	5.59	11.15	S 89°24'18" E	6°31'23"
C114	75.00	30.55	15.49	30.34	S 24°24'37" E	23°20'23"
C115	75.00	14.69	7.37	14.66	S 07°07'48" E	11°31'13"
C116	174.50	78.02	39.67	77.37	N 18°00'00" W	25°37'02"
C117	46.50	10.08	5.05	10.04	S 49°00'35" E	12°23'58"
C118	174.50	36.97	18.55	36.90	N 02°52'41" E	12°08'20"
C119	468.00	17.78	8.89	17.78	S 07°31'32" W	21°0'36"
C120	468.00	54.29	27.18	54.28	S 03°26'50" E	6°38'48"
C121	468.00	50.43	25.24	50.40	S 02°37'48" E	6°10'28"
C122	468.00	49.44	24.74	49.42	S 09°04'35" E	6°03'10"
C123	468.00	16.38	8.19	16.38	S 13°08'18" E	2°00'18"
C124	44.50	39.27	21.02	38.01	N 11°01'18" E	50°33'34"
C125	44.50	23.47	12.01	23.20	N 51°33'33" E	30°12'53"
C126	618.50	54.29	27.18	54.28	N 57°37'47" W	5°01'47"
C127	618.50	24.16	12.08	24.16	N 61°18'48" W	21°4'18"
C128	111.50	18.93	9.49	18.91	N 10°28'43" E	8°43'40"
C129	111.50	39.77	20.10	39.56	N 04°38'13" W	20°28'12"
C130	111.50	2.70	1.35	2.70	N 15°32'58" W	1°23'14"
C131	74.50	31.23	15.85	31.00	S 04°14'00" E	24°01'05"
C132	116.41	28.35	14.25	28.28	N 00°47'54" E	13°57'16"
C133	116.41	25.21	12.65	25.18	N 12°22'55" W	12°24'21"
C134	83.00	25.17	12.68	25.08	S 09°53'47" E	17°22'37"
C135	79.50	12.48	6.25	12.47	N 08°38'34" W	8°58'48"
C136	728.50	84.89	42.49	84.84	N 85°34'14" E	8°40'35"
C137	728.50	31.90	15.95	31.89	N 75°54'34" E	2°30'31"
C138	44.50	45.22	24.78	43.30	S 84°13'27" E	58°13'07"
C139	583.50	188.93	95.30	188.11	N 84°23'26" W	18°33'08"
C140	79.50	80.78	44.27	77.35	S 84°13'27" E	58°13'07"
C141	618.50	78.45	39.28	78.40	N 58°44'55" W	7°18'03"
C142	44.50	62.74	37.86	57.67	N 28°18'48" E	80°48'27"
C143	79.50	21.57	10.85	21.50	N 58°53'37" E	15°32'45"
C148	116.00	45.12	22.85	44.84	S 08°34'07" E	22°17'15"
C149	76.50	34.03	17.30	33.75	N 04°58'08" W	25°29'17"
C150	109.50	45.90	23.29	45.57	S 04°14'00" E	24°01'05"
C151	76.50	25.36	12.80	25.24	N 08°44'47" W	18°59'31"
C152	111.50	61.40	31.50	60.63	N 00°28'00" W	31°33'05"
C153	46.50	58.17	33.58	54.45	S 37°21'38" E	71°40'52"
C154	100.00	23.13	11.62	23.08	N 55°38'23" E	13°15'07"
EC144	12.50	0.33	0.17	0.33	S 46°44'12" E	1°31'13"
EC145	37.50	8.44	4.24	8.43	N 41°02'48" W	

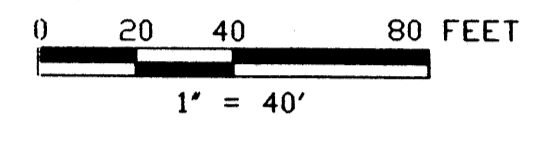
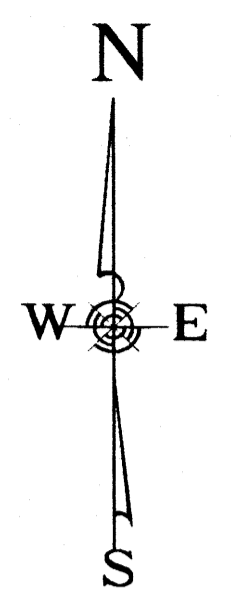
**LOT GEOMETRY**  
**Plat Of**  
**The Legends**  
**At High Desert Subdivision**

Being a Replat of  
 Tract 8A, High Desert  
 within  
 The Elena Gallegos Grant  
 Projected Section 26, T.11N, R.4E, N.M.P.M.  
 City Of Albuquerque  
 Bernalillo County, New Mexico  
 May 2006

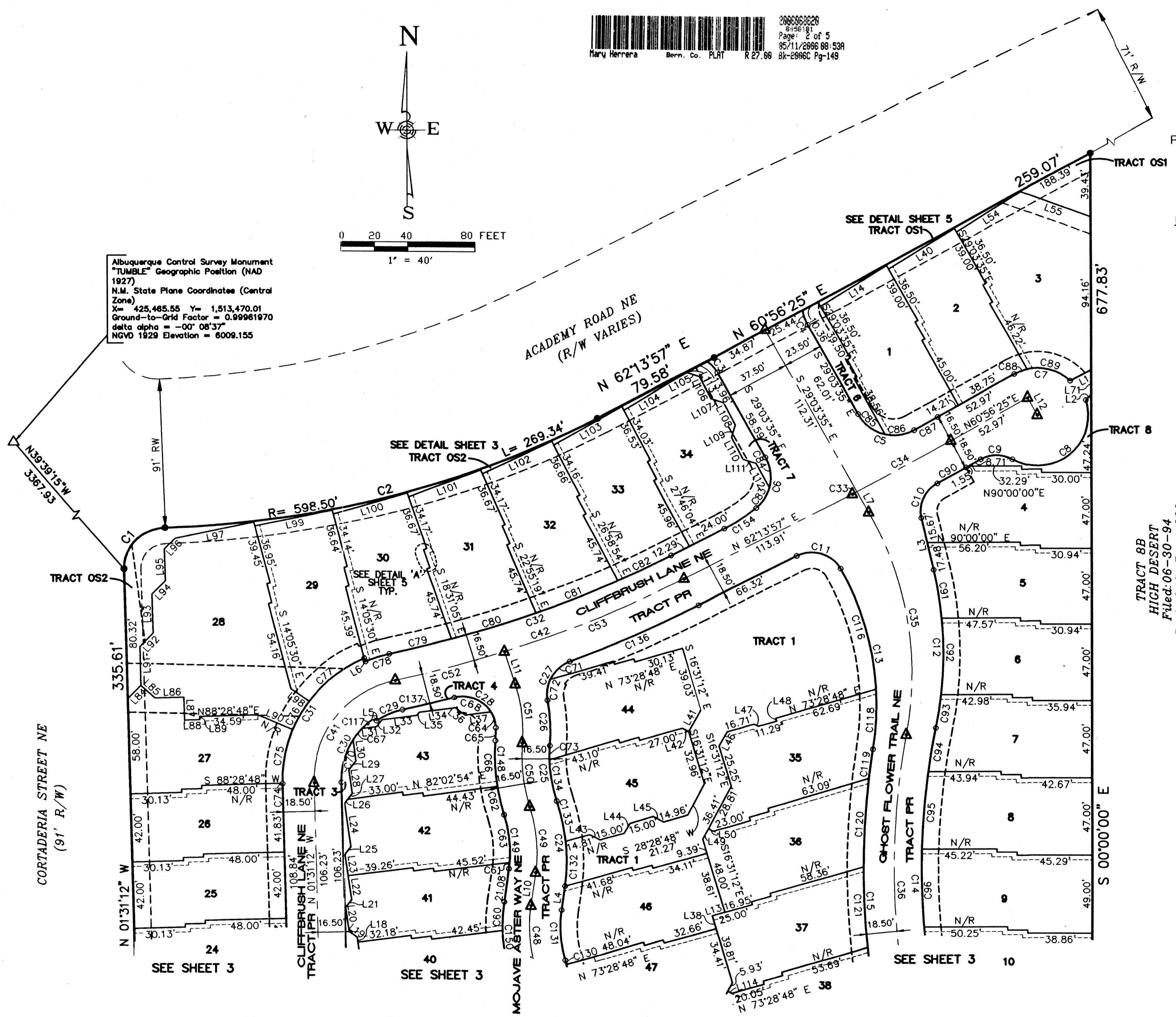
- REFERENCE NOTES:**
- SEE SHEET 4 FOR EASEMENTS AFFECTING THIS PROPERTY.
  - SEE SHEET 5 FOR LINE AND CURVE TABLE.
  - SEE SHEET 5 FOR LOT AREA TABLE.

- LEGEND**
- SET 1/2" REBAR WITH CAP "LS 6126" (TYP.)
  - ▲ CENTERLINE MONUMENT
  - N/R NON-RADIAL LINE

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 Page: 2 of 5  
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 BK-2886C Pg-149  
 Mary Herrera Bern. Co. PLAT R 27.88



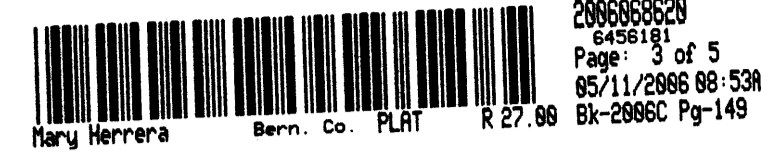
Albuquerque Control Survey Monument  
 "TUMBLE" Geographic Position (NAD 1927)  
 N.M. State Plane Coordinates (Central Zone)  
 X= 425,485.55 Y= 1,513,470.01  
 Ground-to-Grid Factor = 0.99961970  
 delta alpha = -00° 08' 37"  
 NGVD 1929 Elevation = 6009.155



TRACT 8B  
 HIGH DESERT  
 Filed: 06-30-94  
 Book 94C, Page 223

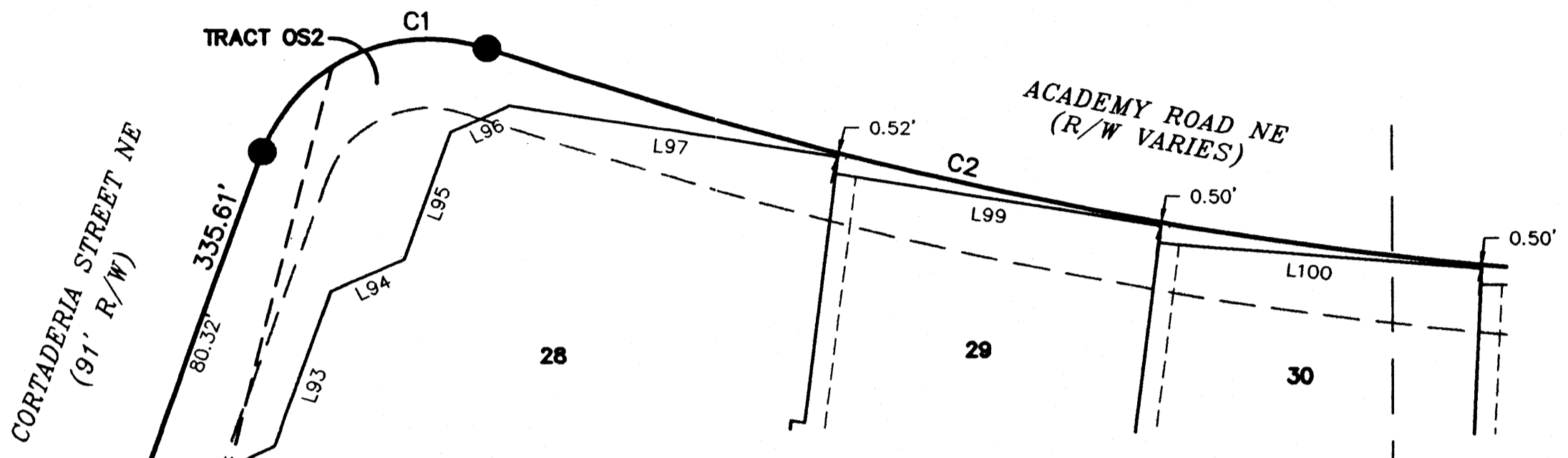
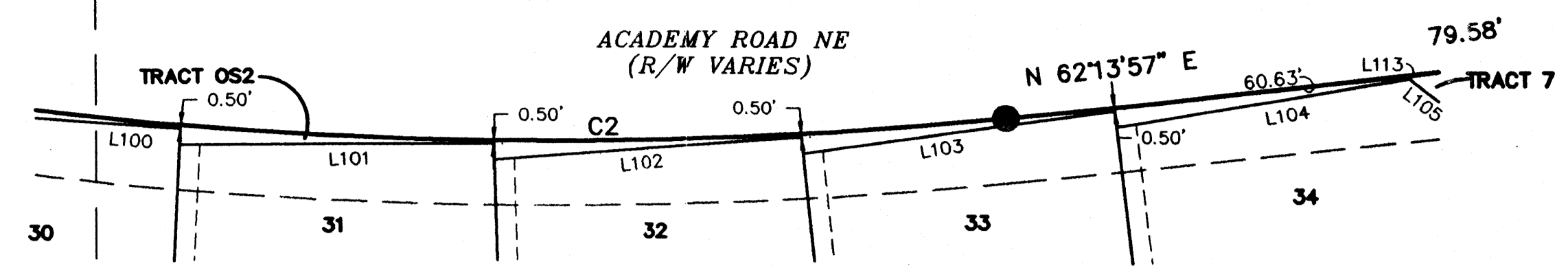
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**LOT GEOMETRY**  
**Plat Of**  
**The Legends**  
**At High Desert Subdivision**  
 Being a Replat of  
 Tract 8A, High Desert  
 within  
 The Elena Gallegos Grant  
 Projected Section 26, T.11N, R.4E, N.M.P.M.  
 City Of Albuquerque  
 Bernalillo County, New Mexico  
 May 2006

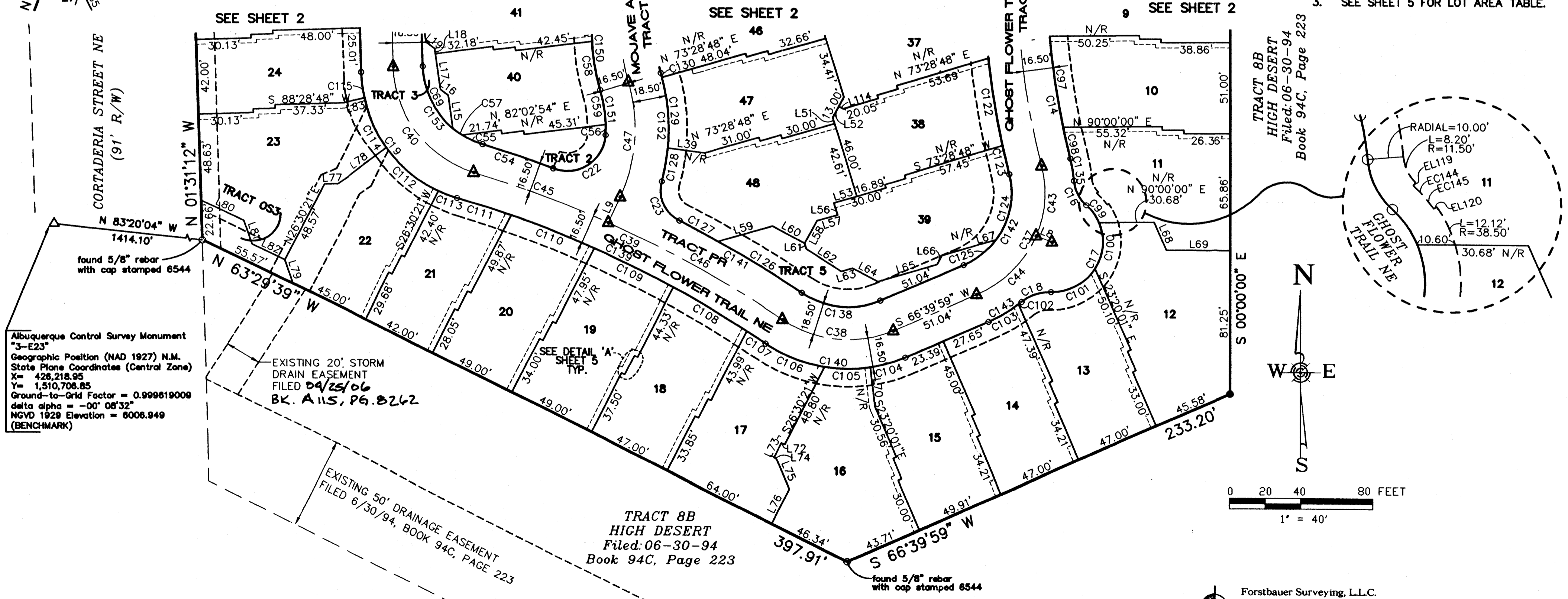


- LEGEND**
- SET 1/2" REBAR WITH CAP "LS 6126" (TYP.)
  - ▲ CENTERLINE MONUMENT
  - N/R NON-RADIAL LINE

- REFERENCE NOTES:**
1. SEE SHEET 4 FOR EASEMENTS AFFECTING THIS PROPERTY.
  2. SEE SHEET 5 FOR LINE AND CURVE TABLE.
  3. SEE SHEET 5 FOR LOT AREA TABLE.



**TRACT OS-2 DETAIL**  
 SCALE: 1"=20'



Albuquerque Control Survey Monument  
 "3-E23"  
 Geographic Position (NAD 1927) N.M.  
 State Plane Coordinates (Central Zone)  
 X= 426,218.95  
 Y= 1,510,706.85  
 Ground-to-Grid Factor = 0.999619009  
 delta alpha = -00° 08' 32"  
 NGVD 1929 Elevation = 6006.949  
 (BENCHMARK)

EXISTING 20' STORM  
 DRAIN EASEMENT  
 FILED 04/25/06  
 BK. A115, PG. 8262

EXISTING 50' DRAINAGE EASEMENT  
 FILED 6/30/94, BOOK 94C, PAGE 223

TRACT 8B  
 HIGH DESERT  
 Filed: 06-30-94  
 Book 94C, Page 223

found 5/8" rebar  
 with cap stamped 6544

Forstbauer Surveying, L.L.C.  
 4116 Lomas Boulevard NE  
 Albuquerque, New Mexico 87110  
 (505) 268-2112 Fax 268-2032

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**GENERAL DATA:**

1. DEVELOPER: RUTLEDGE INVESTMENT COMPANY  
11000 SPAIN RD. NE  
ATTN: KYLE RUTLEDGE
2. ENGINEER: ISAACSON & ARFMAN, P.A.  
128 MONROE ST. NE  
ATTN: FRED ARFMAN
3. SURVEYOR: FORSTBAUER SURVEYING LLC  
4116 LOMAS BLVD. NE  
ATTN: RON FORSTBAUER

SKETCH PLAT FOR  
**TRACT 8A**  
**HIGH DESERT**  
**ALBUQUERQUE,**  
**NEW MEXICO**  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

JUNE, 2005

**SITE DATA:**

1. AREA = 7.2904 Ac.
2. LOT WIDTHS: 42'(\*) to 49'
3. AVG. LOT DEPTH: 90'
4. TOTAL NUMBER OF LOTS: 48
5. ALL STREETS ARE PLANNED AS PRIVATE WITH PUBLIC WATER AND SANITARY SEWER EASEMENTS.

**ZONING AND CONDITIONAL USE NOTES:**

1. EXISTING ZONING: SU-2 HD/C-1  
\*CONDITIONAL USE FOR RESIDENTIAL (05ZHE-00449)
2. ALL LOTS SHALL CONFORM TO THE R-T ZONING REGULATIONS AS LISTED IN THE CITY OF ALBUQUERQUE ZONING CODE EXCEPT:  
A. MINIMUM REAR YARD SETBACK OF 10 FEET.  
B. MINIMUM FOR ONE SIDE YARD SETBACK IS 0 FEET AND THE OTHER WILL BE A MINIMUM OF 10 FEET.  
C. MINIMUM FRONT YARD SETBACK TO THE BUILDING IS 15 FEET AND 20 FEET TO THE GARAGE.
3. BBQ AREAS WITH CHIMNEYS, SHADE STRUCTURES AND WALLS BUILT DURING THE ORIGINAL CONSTRUCTION OF THE HOUSE MAY BE PLACED WITHIN THE SETBACKS. THESE MUST BE APPROVED BY THE HIGH DESERT'S NEW CONSTRUCTION COMMITTEE ALONG WITH THE HOUSE PLANS PRIOR TO SUBMITTAL FOR CITY PERMIT.
4. AFTER THE COMPLETION OF THE HOUSE, PROPOSED NEW CONSTRUCTION OR MODIFICATIONS TO THE EXTERIOR OF THE HOME OR SITE MUST BE PROCESSED THROUGH THE HIGH DESERT RESIDENTIAL OWNER'S ASSOCIATION MODIFICATION COMMITTEE AS WELL AS THROUGH THE CITY FOR PERMITTING.
5. A VARIANCE TO CITY OF ALBUQUERQUE ZONING CODE OPEN SPACE REQUIREMENTS AS DESCRIBED IN SECTION 14-16-24 (d) WAS GRANTED TO ALLOW THE REQUIRED 8000 SF OF OPEN SPACE PER LOT TO BE PROVIDED OFF-SITE. (05ZHE-00480).
6. THE MINIMUM LOT AREAS AND WIDTHS ARE PER THE R-T ZONING (2200 SF AND 22 FEET FOR TOWNHOUSES AND 3600 SF AND 36 FEET FOR HOUSES).

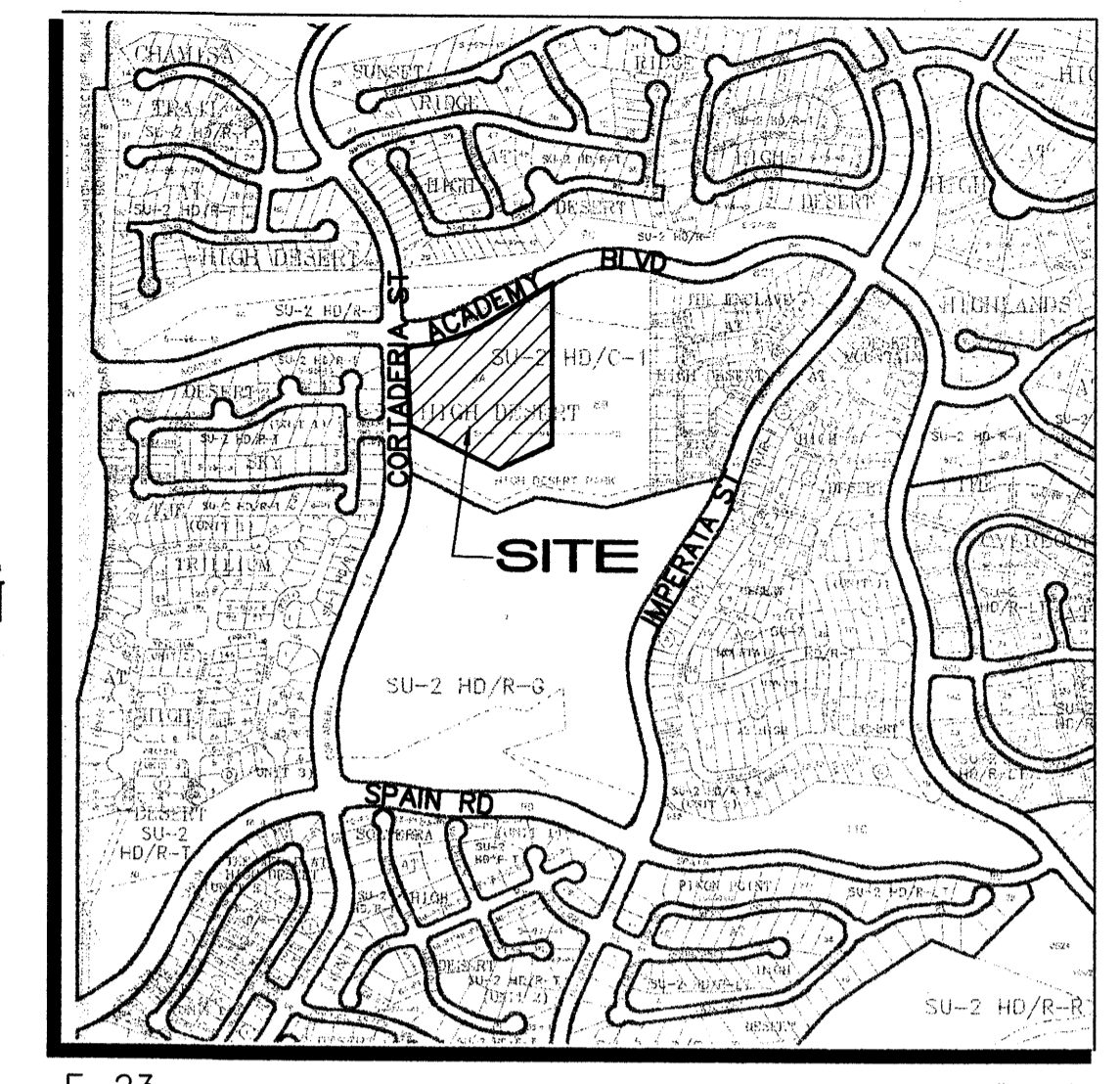
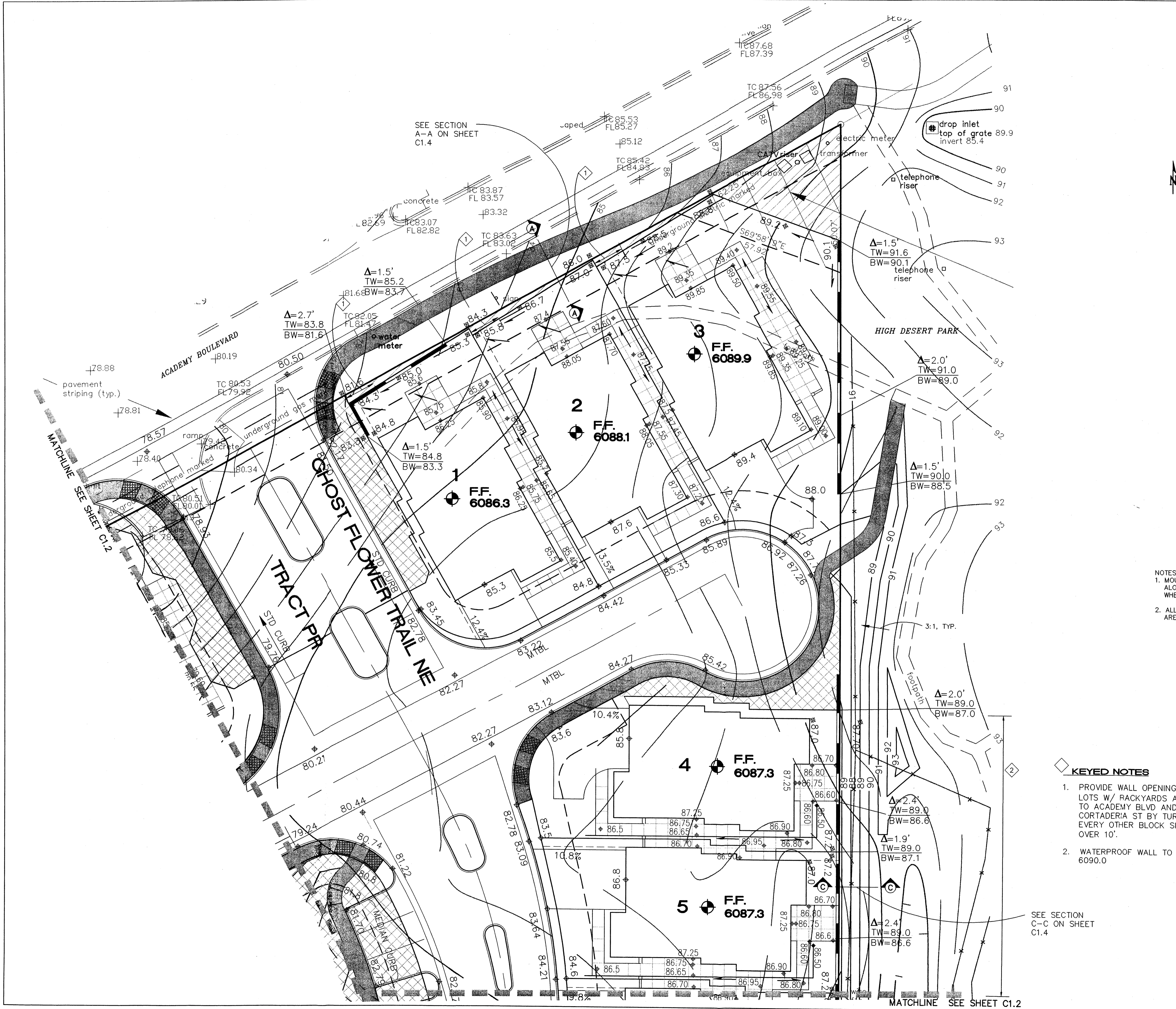
**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 Fax. 505-268-2632  
1454SPLAT.DWGrfh 06.28.05

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**THE LEGENDS AT HIGH DESERT**  
**A 48 LOT SUBDIVISION**  
**RUTLEDGE INVESTMENT COMPANY**

**SKETCH PLAT**

Checked By FCA	Drawn By BJB	No.	Revision C1
Date	Job Number		

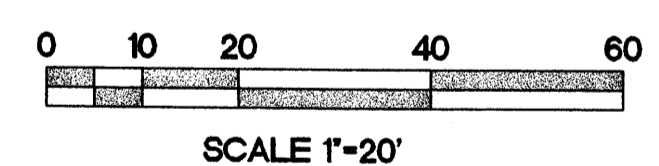


VICINITY MAP  
E-23 1"=750'

- LEGEND**
- EXISTING CONTOUR
  - - - PROPOSED CONTOUR
  - ◆ 78.3 PROPOSED ELEVATION
  - FLOW ARROW
  - FF. 6067.3 FINISH FLOOR ELEVATION
  - PROPOSED RETAINING WALL
  - TW= TOP OF RET. WALL ELEVATION
  - BW= BOTTOM OF RET. WALL
  - BACK YARD AREA DRAIN W/ DRAIN LINE
  - STORM DRAIN W/ MANHOLE
  - ▭ CATCH BASIN
  - ▭ STD CURB LIMITS OF STANDARD CURB (BOTH SIDES OF ENTRANCE TO ACADEMY AND AT INSIDE OF LOOP STREET WHERE THERE ARE NO LOTS FRONTING)

- NOTES:**
1. MOUNTABLE CURB ALONG SIDE OF STREET WHERE LOTS FRONT.
  2. ALL STREET GRADES ARE AT FLOWLINE

BENCHMARK:  
ACS MONUMENT 3-E23  
ELEV=6009.56 NAVD 88



- KEYED NOTES**
1. PROVIDE WALL OPENINGS FOR LOTS W/ RACKYARDS ADJACENT TO ACADEMY BLVD AND CORTADERIA ST BY TURNING EVERY OTHER BLOCK SIDEWAYS OVER 10'.
  2. WATERPROOF WALL TO ELEVATION 6090.0

SEE SECTION C-C ON SHEET C1.4

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph: 505-268-8828 Fax: 505-268-2632  
1454GRD.DWG onw 9/29/05

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**THE LEGENDS AT HIGH DESERT**  
Rutledge Investment Co.

**GRADING & DRAINAGE PLAN**

Checked By: FCA	Drawn By: ANW	No.	Revision	<b>C11</b>
Date:	Job Number: 1454			<b>SH. OF</b>

M:\ACTIVE\DL\1454\dwg\1454GRD.dwg, 9/29/2005 4:53:10 PM

ALTERNATE 1. STORM DRAIN CONNECTION AT EXISTING SD MANHOLE IN CORTADERIA.

ALTERNATE 2. STORM DRAIN CONNECTING AT EXISTING 42" SD STORM DRAIN STUB

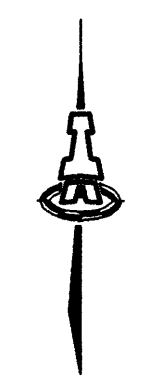
SEE SECTION A-A ON SHEET C1.4

MATCHLINE SEE SHEET C1.1

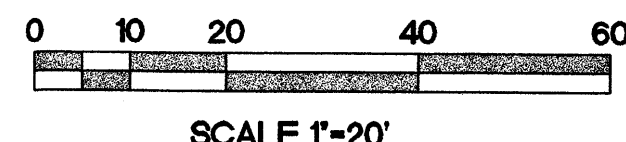
MATCHLINE SEE SHEET C1.3

**KEYED NOTES**

1. PROVIDE WALL OPENINGS FOR LOTS W/ BACKYARDS ADJACENT TO ACADEMY BLVD AND CORTADERIA ST BY TURNING EVERY OTHER BLOCK SIDEWAYS OVER 10'.
2. WATERPROOF WALL TO ELEVATION 6090.0
3. WATERPROOF WALL TO ELEVATION 6065.5 ALONG BACKYARDS OF LOTS 40-43



BENCHMARK:  
ACS MONUMENT 3-E23  
ELEV=6009.56 NAVD 88



- NOTES:
1. MOUNTABLE CURB ALONG SIDE OF STREET WHERE LOTS FRONT.
  2. ALL STREET GRADES ARE AT FLOWLINE

**LEGEND**

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED ELEVATION FLOW ARROW
- FINISH FLOOR ELEVATION **FF. 6067.3**
- PROPOSED RETAINING WALL
- TOP OF RET. WALL ELEVATION TW= and BOTTOM OF RET. WALL BW=
- BACK YARD AREA DRAIN W/ DRAIN LINE
- STORM DRAIN W/ MANHOLE
- CATCH BASIN
- LIMITS OF STANDARD CURB (BOTH SIDES OF ENTRANCE TO ACADEMY AND AT INSIDE OF LOOP STREET WHERE THERE ARE NO LOTS FRONTING)

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1454GRD.DWGonw 9/29/05

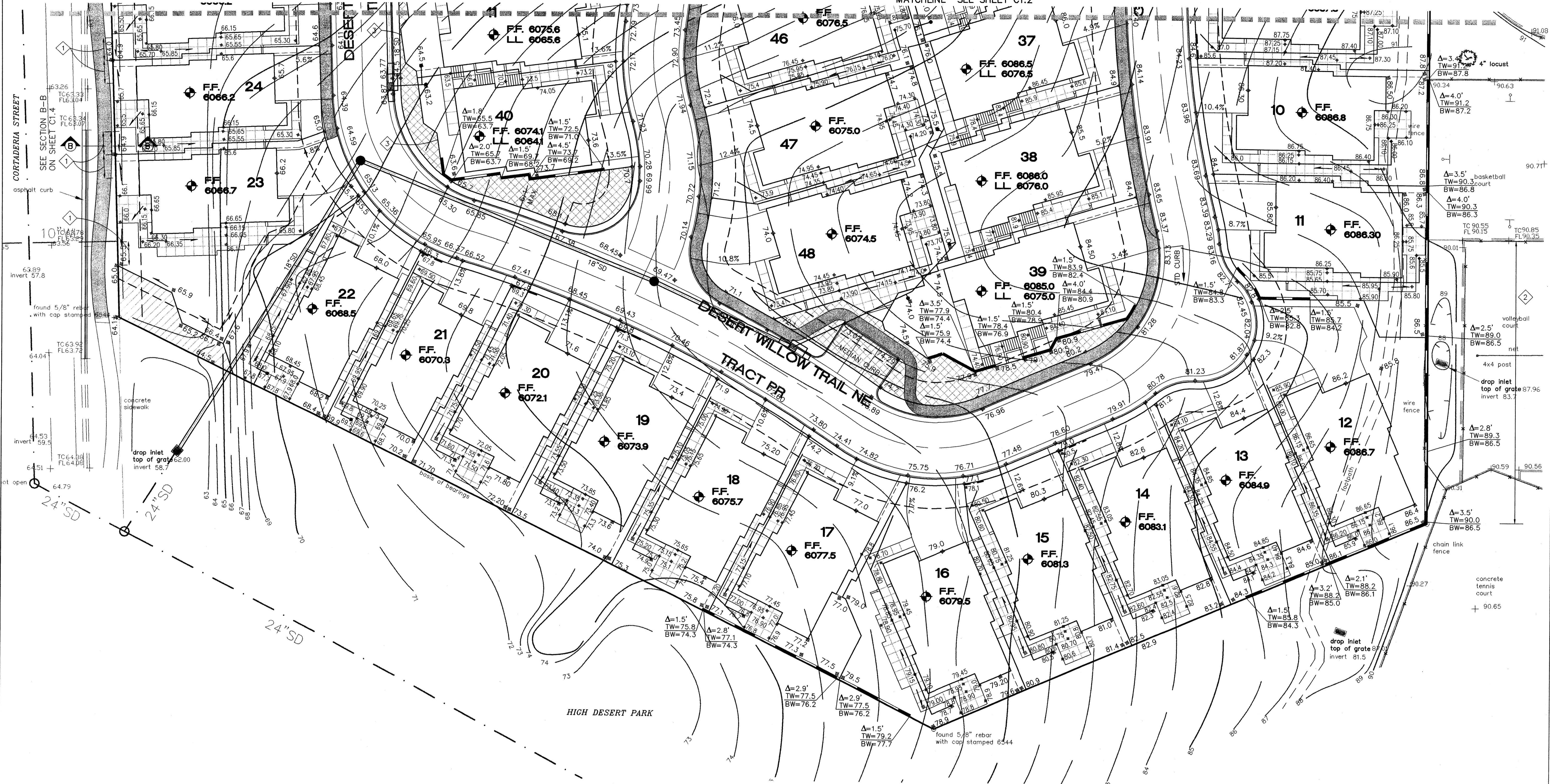
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**THE LEGENDS AT HIGH DESERT**  
Rutledge Investment Co.

**GRADING & DRAINAGE PLAN**

Checked By:	Drawn By:	No.	Revision:	
FCA	ANW			<b>C12</b>
Date:	Job Number:			<b>81 OF</b>
	1454			

MATCHLINE SEE SHEET C1.2

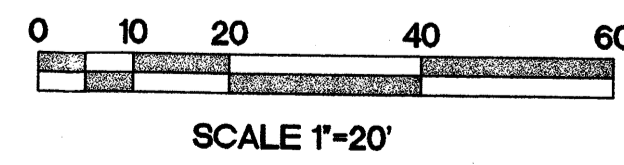


CORTADERIA STREET

SEE SECTION B-B ON SHEET C1.4  
asphalt curb  
invert 57.8  
found 5/8" rebar with cap stamped  
invert 59.5  
TC63.92 FL63.74  
TC64.88 FL64.06  
invert 64.79  
24" SD  
24" SD  
24" SD

- KEYED NOTES**
1. PROVIDE WALL OPENINGS FOR LOTS W/ BACKYARDS ADJACENT TO ACADEMY BLVD AND CORTADERIA ST BY TURNING EVERY OTHER BLOCK SIDEWAYS OVER 10'.
  2. WATERPROOF WALL TO ELEVATION 6090.0
  3. WATERPROOF WALL TO ELEVATION 6065.5 ALONG BACKYARDS OF LOTS 40-43

BENCHMARK:  
ACS MONUMENT 3-E23  
ELEV=6009.56 NAVD 88



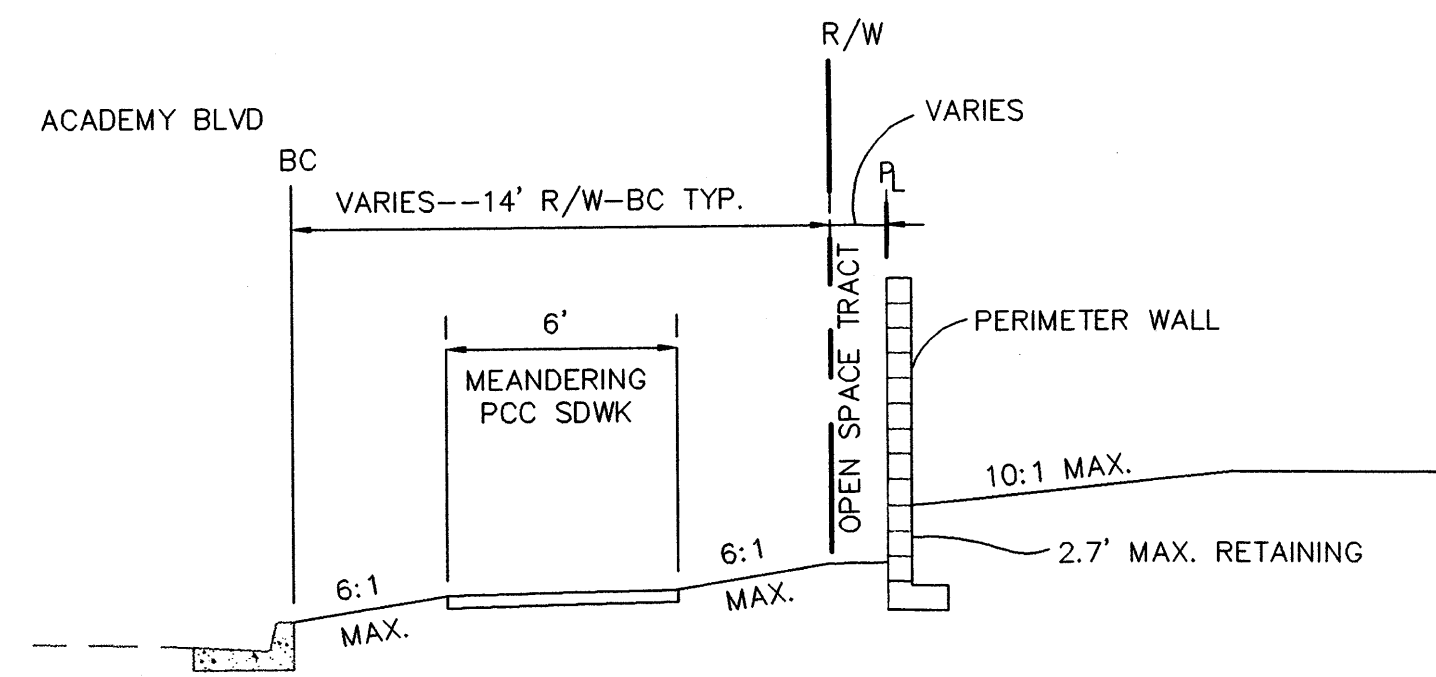
- LEGEND**
- EXISTING CONTOUR
  - PROPOSED CONTOUR
  - PROPOSED ELEVATION
  - FLOW ARROW
  - FF. 6067.3 FINISH FLOOR ELEVATION
  - PROPOSED RETAINING WALL
  - TW= TOP OF RET. WALL ELEVATION
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  - BACK YARD AREA DRAIN W/ DRAIN LINE
  - STORM DRAIN W/ MANHOLE
  - CATCH BASIN
  - STD CURB LIMITS OF STANDARD CURB (BOTH SIDES OF ENTRANCE TO ACADEMY AND AT INSIDE OF LOOP STREET WHERE THERE ARE NO LOTS FRONTING)

- NOTES:**
1. MOUNTABLE CURB ALONG SIDE OF STREET WHERE LOTS FRONT.
  2. ALL STREET GRADES ARE AT FLOWLINE

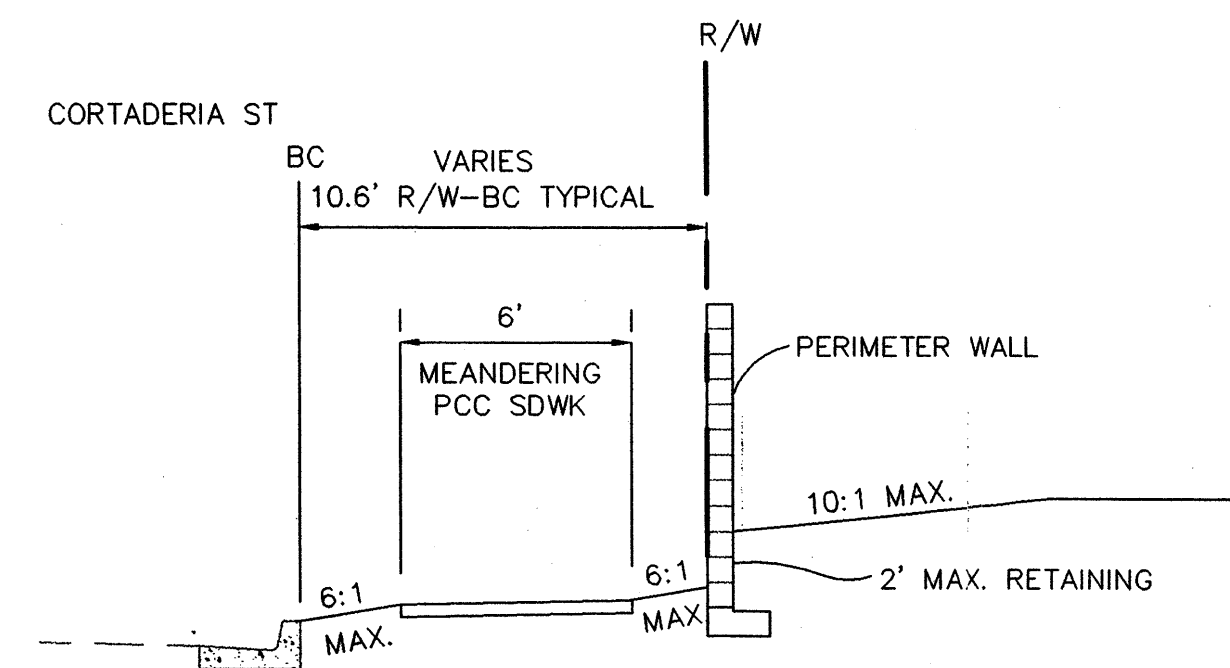
**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
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1454GRD.DWG 9/29/05

**THE LEGENDS AT HIGH DESERT**  
Rutledge Investment Co.  
**GRADING & DRAINAGE PLAN**

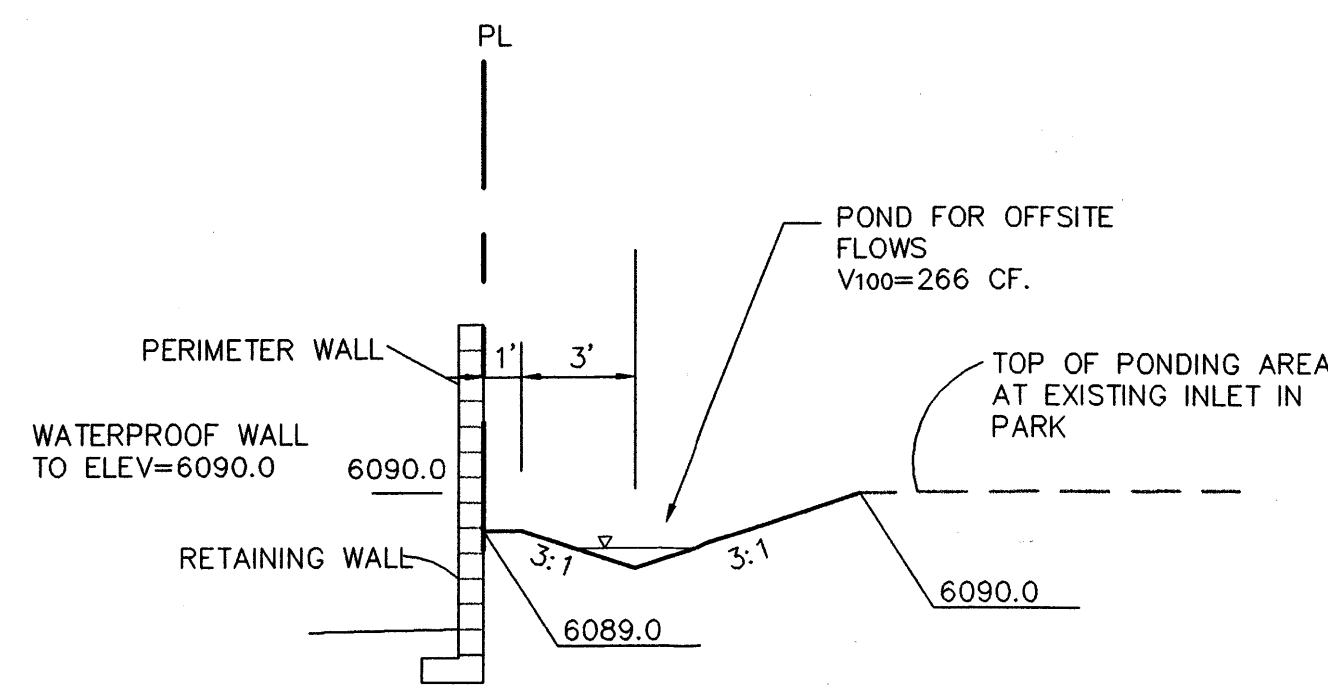
Checked By: FCA	Drawn By: ANW	No.	Revision:	<b>C13</b>
Date:	Job Number: 1454			<b>SI OF</b>



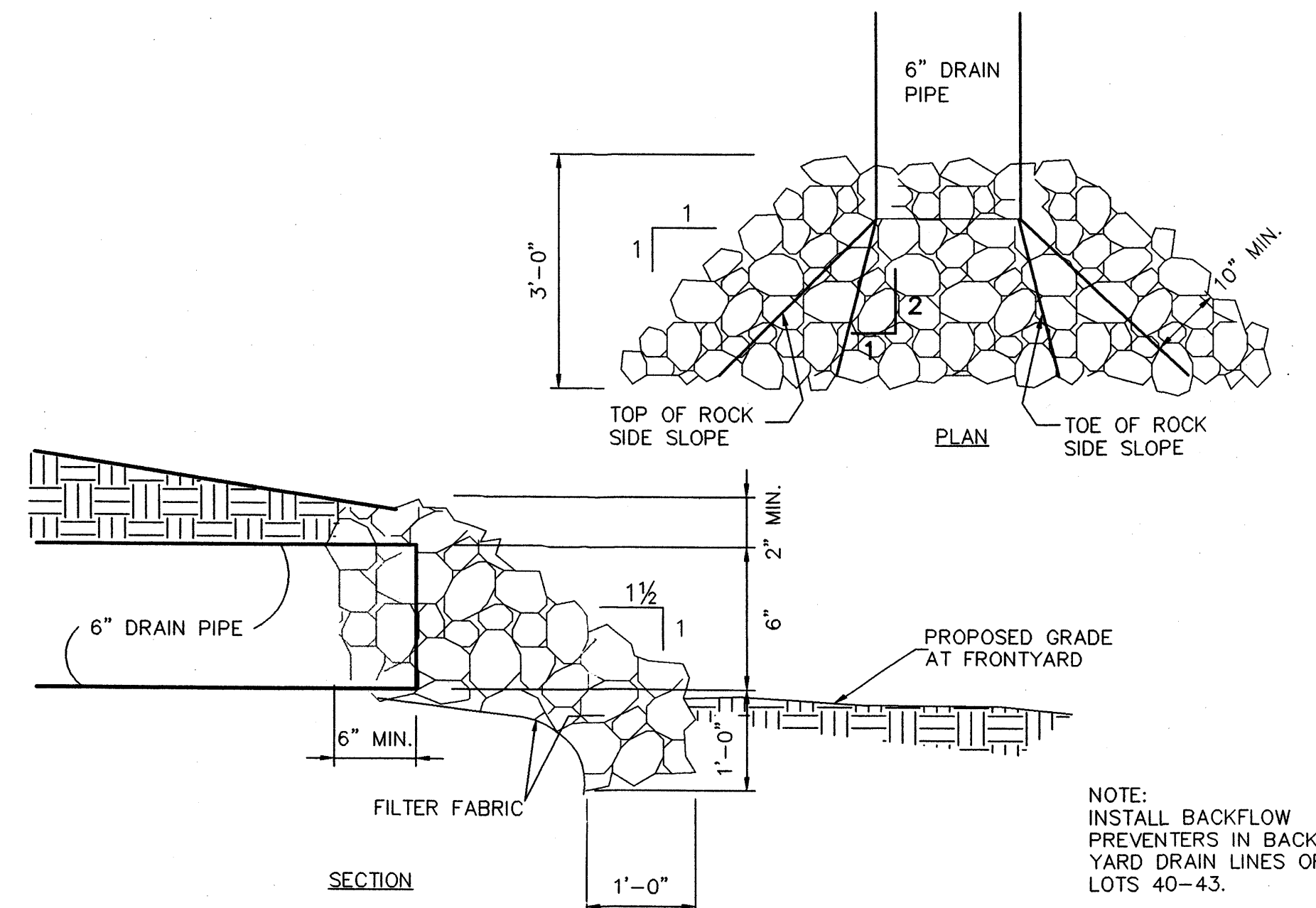
**SECTION A-A**  
1"=5'



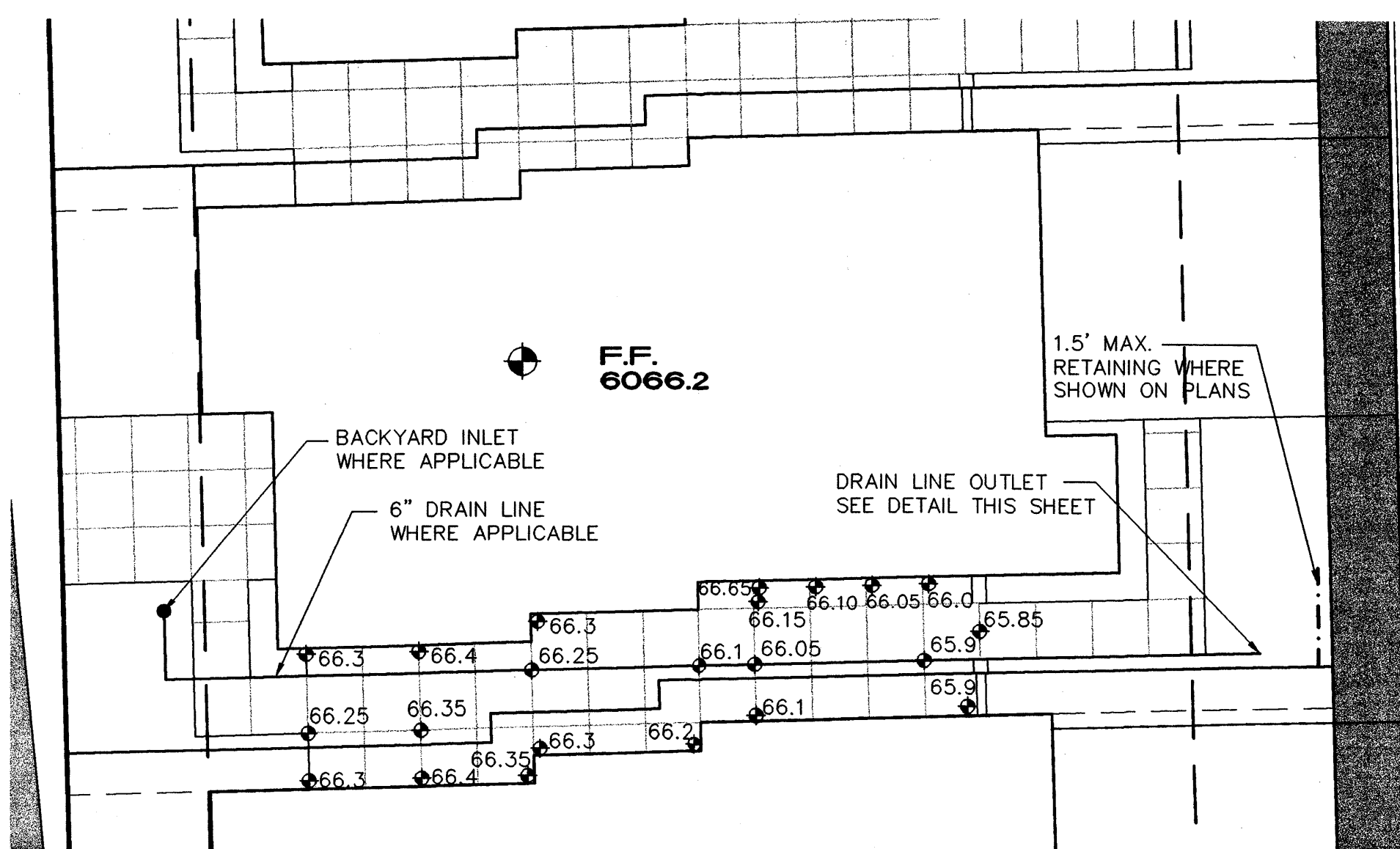
**SECTION B-B**  
1"=5'



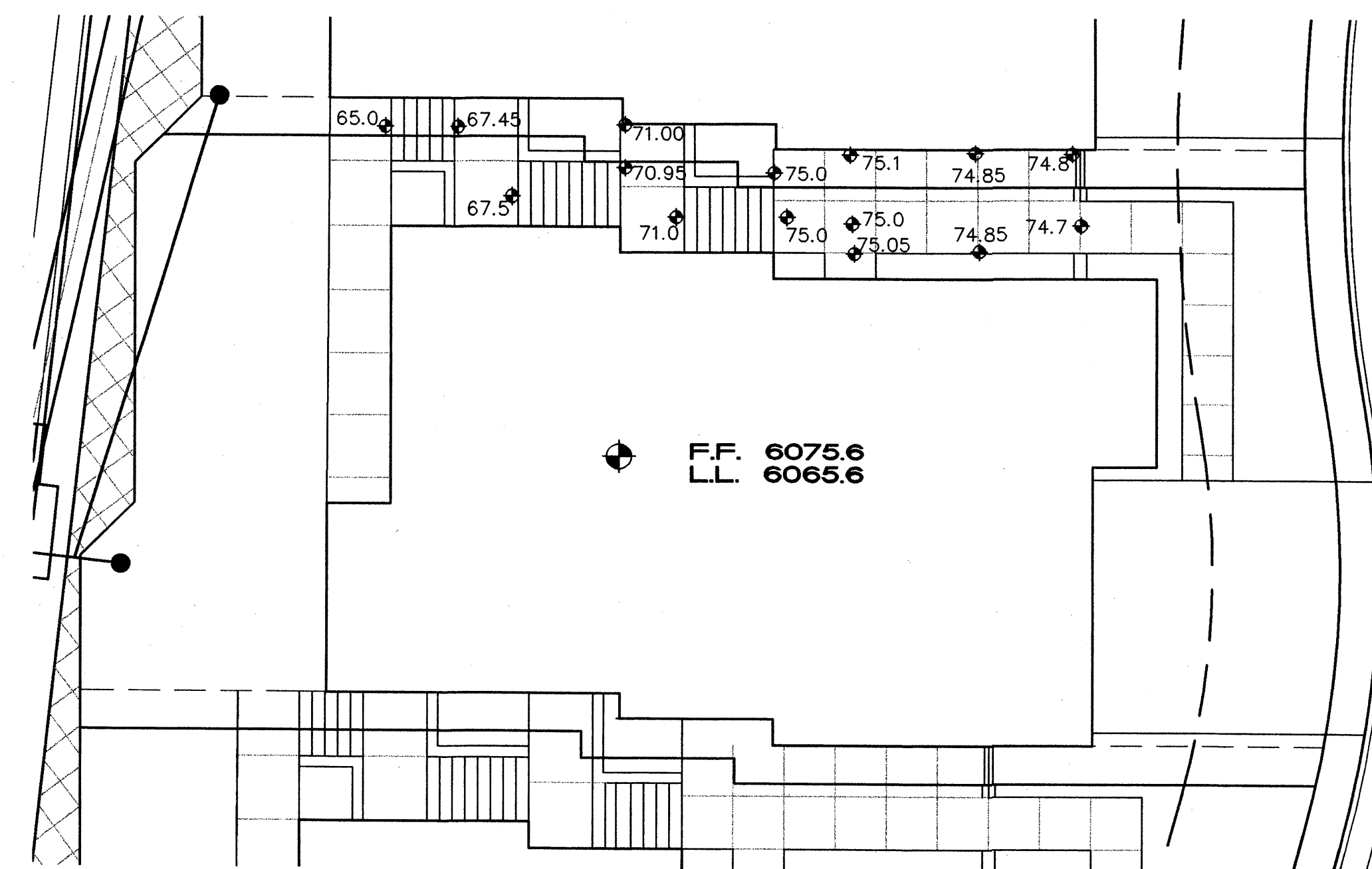
**SECTION C-C**  
1"=5'



**DRAIN LINE OUTLET DETAIL**  
NO SCALE



**TYPICAL GRADING BETWEEN ONE-LEVEL BUILDINGS**  
1"=10'



**TYPICAL GRADING BETWEEN TWO-LEVEL BUILDINGS**  
1"=10'

**GRADING NOTES:**

- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OFFSITE.
- ALL SUBGRADE AND FILL SHALL BE COMPACTED TO A MINIMUM OF 90% ASTM D-1557.
- EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
- CONFORM TO ELEVATIONS AND DIMENSIONS SHOWN ON PLANS WITHIN A TOLERANCE OF 0.3± FEET.
- SCARIFY AND COMPACT SUBGRADE FOR FILLS. PLACE FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH. MOISTEN AS NECESSARY TO PROVIDE OPTIMUM MOISTURE (±2%) CONTENT.
- UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCE, COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
- MAXIMUM SLOPES SHALL BE 3:1 MINIMUM SLOPES SHALL BE 1%.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. CONTRACTOR SHALL ALLOW TESTING SERVICE TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT NO ADDITIONAL EXPENSE.
- OWNER HAS ESTABLISHED SUBDIVISION BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING INCLUDING TRACT CORNERS. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS.
- OWNER WILL PROVIDE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND INSPECTION. CONTRACTOR SHALL COMPLY WITH THE BEST MANAGEMENT PRACTICES (BMP'S) AS SPECIFIED IN THE SWPPP, AND WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.

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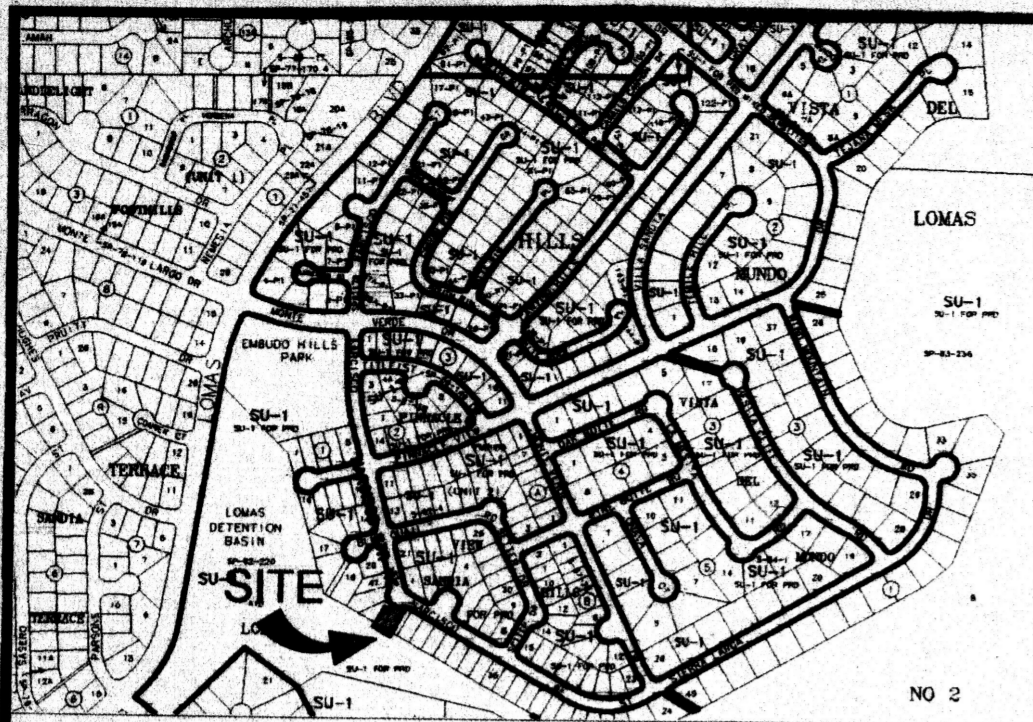
	<b>ISACSON &amp; ARFMAN, P.A.</b>	
	Consulting Engineering Associates	
128 Monroe Street N.E.		
Albuquerque, New Mexico 87108		
Ph: 505-268-8828 Fax: 505-268-2632		
1454GRD.DWG 9/29/05		

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**THE LEGENDS AT HIGH DESERT**  
Rutledge Investment Co.

**GRADING DETAILS**

Checked By:	Drawn By:	No.	Revision	<b>C14</b>
FCA	ANW			
Date:	Job Number:			
	1454			<b>SH OF</b>



**LOCATION MAP NOT TO SCALE**  
**LEGAL DESCRIPTION**

A CERTAIN TRACT OF LAND WITHIN SECTION 14, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO, COMPRISING LOT 44, SANDIA HILLS, A SUBDIVISION OF A TRACT OF LAND IN BERNALILLO COUNTY, NEW MEXICO, AS SAME IS SHOWN AND DESIGNATED ON THE MAP OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 17, 1993, VOLUME 93-C, FOLIO 42, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF THE TRACT HEREIN DESCRIBED, WHENCE THE ACS MONUMENT DANNY RESET BEARS S 20°22'46" E, A DISTANCE OF 424.32 FEET;

THENCE N 60°14'11" W, A DISTANCE OF 66.50 FEET, TO THE SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED;

THENCE, N 29°51'43"E, A DISTANCE OF 89.99 FEET, TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF NARCISCO STREET N.E., SAME POINT BEING NORTHWEST CORNER OF THE TRACT HEREIN DESCRIBED;

THENCE, ALONG A CURVE WITH RADIUS OF 45.00 FEET, ARC OF 31.92 FEET, CHORD OF 31.25 FEET AND CHORD BEARING OF S 84°33'29" E, TO A POINT OF REVERSED CURVE;

THENCE, ALONG A CURVE WITH RADIUS OF 25.00 FEET, ARC OF 19.38 FEET, CHORD OF 18.90 FEET AND CHORD BEARING OF S 82°26'39" E, TO A POINT OF TANGENCY;

THENCE, ALONG SAID RIGHT-OF-WAY LINE, S 60°14'11"E, A DISTANCE OF 20.37 FEET, TO A POINT;

THENCE, DEPARTING FROM SAID RIGHT-OF-WAY LINE, S 29°45'49"W, A DISTANCE OF 110.00 FEET, TO THE POINT OF BEGINNING.

NOW COMPRISING LOT 44-A, SANDIA HILLS SUBDIVISION.

CONTAINING 0.1566 ACRE, MORE OR LESS.

**DISCLOSURE STATEMENT**

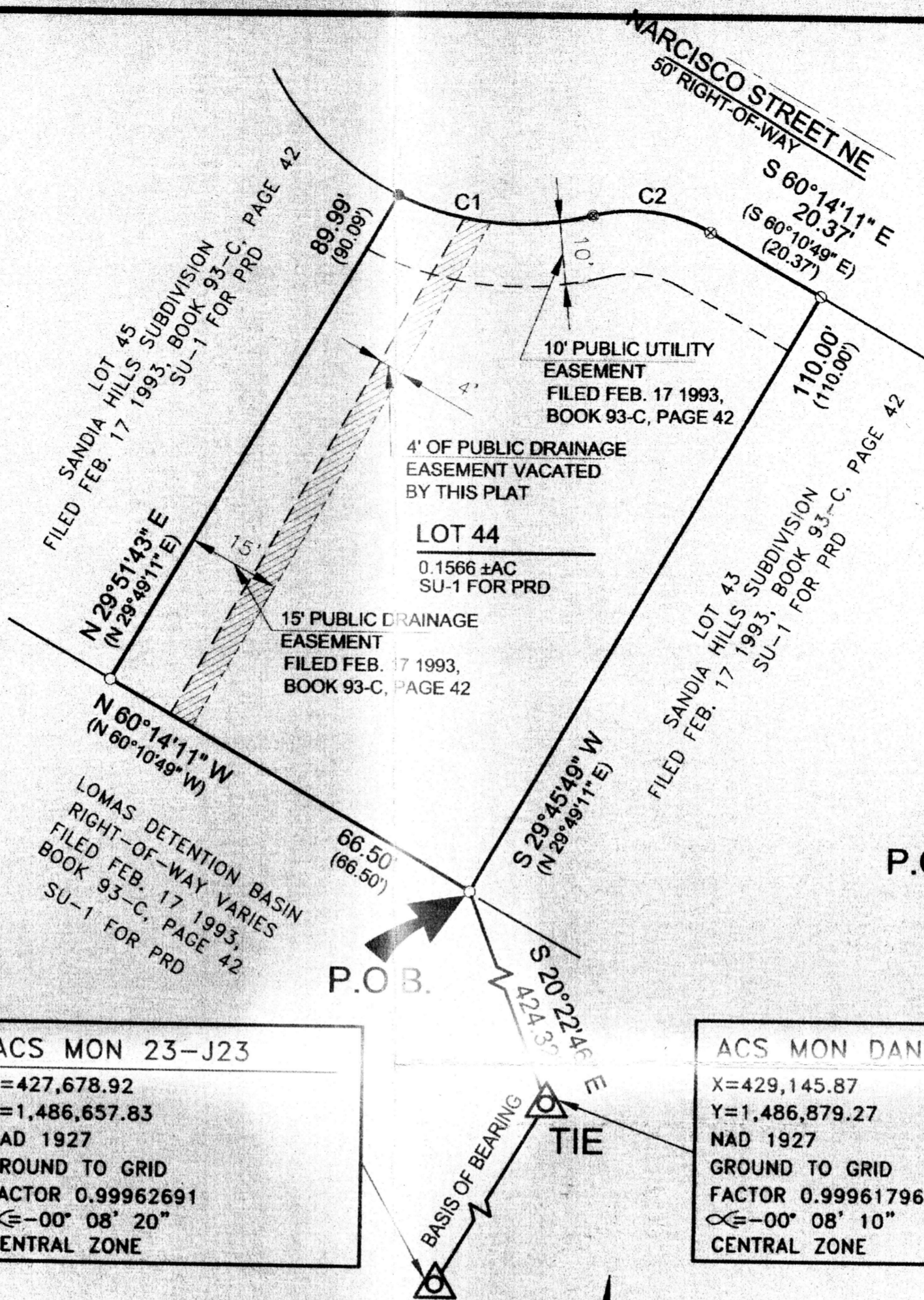
THE PURPOSE OF THIS PLAT IS TO VACATE 4 FEET OF EXISTING PUBLIC DRAINAGE EASEMENT.

**SUBDIVISION DATA**

1. Plat Case No's	Project #
2. Zone Atlas No.	J-23-Z
3. Gross Subdivision Acreage	0.1566 ACRE ±
4. Original Number of Lots	1
5. Number of Lots Created	1
6. TALOS LOG	2004340263
7. Miles of full width street created	0.00 MILE±
8. Area dedicated to the City of Albuquerque	0.0000 ACRES ±

**NOTES:**

- BEARINGS ARE STATE PLANE GRID BEARINGS.
- BEARINGS AND DISTANCES IN PARENTHESES ARE RECORD. ALL OTHERS ARE FIELD.
- REFERENCES:
  - CORRECTED PLAT OF SANDIA HILLS SUBDIVISION, FILED FEBRUARY 17, 1993, BOOK 93-C, PAGE 42.



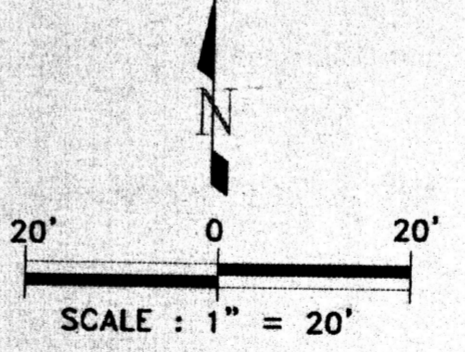
**CURVE DATA:**

<b>C1</b>	R=45.00' (R=45.00')
	L=31.92' (L=32.02')
	T=25.01'
	CH=31.25'
	S 84°33'29" E
	D=40°38'20" (D=40°46'12")
<b>C2</b>	R=25.00' (R=425.00')
	L=19.38' (L=32.02')
	T=10.23'
	CH=18.90'
	S 82°26'39" E
	D=44°24'55" (D=44°24'55")

- LEGEND**
- FOUND # REBAR NO CAP
  - SET PK NAIL IN WALL W/TAG "PLS 12447"
  - ⊙ SET "V" IN SIDEWALK
  - ⊗ SET "X" IN SIDEWALK
  - ⊗ SET "X" IN DRIVEWAY
- P.O.B. POINT OF BEGINNING

ACS MON 23-J23
X=427,678.92
Y=1,486,657.83
NAD 1927
GROUND TO GRID
FACTOR 0.99962691
⊙E-00° 08' 20"
CENTRAL ZONE

ACS MON DANNY RESET
X=429,145.87
Y=1,486,879.27
NAD 1927
GROUND TO GRID
FACTOR 0.99961796
⊙E-00° 08' 10"
CENTRAL ZONE



**OWNERS' STATEMENT OF CONSENT**

THE PLATTING HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS, AND SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

*Miguel Sherman* 10-27-04  
MIGUEL SHERMAN DATE

*Teresa K. Sherman* 10/27/04  
TERESA K. SHERMAN DATE

**ACKNOWLEDGEMENT**

STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO) S S

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 29<sup>th</sup> DAY OF October, 2004 BY MIGUEL SHERMAN AND TERESA K. SHERMAN

*Richard Allen Kinastatt*  
NOTARY PUBLIC  
MY COMMISSION EXPIRES 02/14/07

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #: 102 305 828 006 040 712

PROPERTY OWNERS OF RECORD: MIGUEL SHERMAN AND TERESA K. SHERMAN

BERNALILLO COUNTY TREASURER'S OFFICE:

1183 NARCISCO STR. NE  
INDEXING INFORMATION FOR COUNTY OF BERNALILLO  
SECTION 14, RANGE 4 EAST, TOWNSHIP 10 NORTH  
OWNERS: MIGUEL AND TERESA K. SHERMAN  
SUBDIVISION: SANDIA HILLS

**PLAT OF LOT 44-A**  
OF  
**SANDIA HILLS SUBDIVISION**

CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
AUGUST 2004

PROJECT NUMBER \_\_\_\_\_  
Application Number \_\_\_\_\_

**PLAT APPROVAL:**

UTILITY APPROVALS:

PNM ELECTRIC SERVICES	Date
PNM GAS SERVICES	Date
QWEST TELECOMMUNICATIONS	Date
COMCAST	Date
NEW MEXICO UTILITIES	Date

CITY APPROVALS:

*[Signature]* 11-1-04  
CITY SURVEYOR Date

TRAFFIC ENGINEER, TRANSPORTATION DEPT. Date

UTILITIES DEVELOPMENT

PARKS AND RECREATION DEPARTMENT Date

A.M.A.F.C.A. Date

CITY ENGINEER Date

DRB CHAIRPERSON, PLANNING DEPARTMENT Date

PNM AND ELECTRIC GAS SERVICES:  
In approving this plat, PNM Electric and Gas Services (PNM) did not conduct a title search of the properties shown hereon. Consequently, PNM does not waive nor release easement or easement rights to which it may be entitled.

**SURVEYOR'S CERTIFICATION:**

I, JOHN L. MIERS, A DULY QUALIFIED LAND SURVEYOR REGISTERED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF A SURVEY CONDUCTED UNDER MY SUPERVISION; THAT SAID PLAT SHOWS ACCURATE DIMENSIONS AND LAND AREAS, ALL EASEMENTS OF PUBLIC RECORD OR MADE KNOWN TO ME BY THE LAND OWNER, UTILITY COMPANIES OR AGENCIES EXPRESSING AN INTEREST; THAT THIS SURVEY MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE; THAT THE SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND THAT THE SURVEY IS TRUE AND CORRECT.



*[Signature]* 8-18-04  
JOHN L. MIERS, NMPLS 12447 DATE

**RHOMBUS P.A., INC.**  
FACILITIES ENGINEERS • ENVIRONMENTAL CONSULTANTS

e-mail: rhombus@nmis.com  
web site: www.RHOMBUSPA.COM

2620 San Mateo NE Suite B Albuquerque, NM 87110  
TEL. (505) 881-8690 FAX (505) 881-8696

PRELIMINARY PLAT FOR  
**THE LEGENDS AT HIGH DESERT SUBDIVISION**  
 BEING A REPLAT OF TRACT 8A  
 WITHIN THE ELENA GALLEGOS GRANT  
 PROJECTED SECTION 26, T. 11 N., R. 4 E., NMPM,  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 SEPTEMBER 2005

**PRELIMINARY PLAT APPROVED BY DRB**  
 ON 11-02-05

**LEGAL DESCRIPTION**  
 A certain tract of land situate within the Elena Gallegos Grant, within projected Section 26, Township 11 North, Range 4 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, Said tract being and comprising all of Tract 8A of the PLAT OF TRACTS 8A, 8B AND 8C HIGH DESERT, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 30, 1994 in Volume 94C, folio 223 as Document No. 94083641.

**BENCHMARK**  
 USCGS Brass Tablet stamped "TUMBLE"  
 Geographic Position (NAD 1927)  
 N.M. State Plane Coordinates (Central Zone)  
 X = 425,465.55 Y = 1,513,470.01  
 Ground-to-Grid Factor = 0.9996197  
 ΔC = -00°08'37"  
 NGVD 1929 Elevation = 6009.155

**SITE DATA**

- TOTAL LAND AREA = 7.2940 ACRES.
- NUMBER OF EXISTING TRACTS IS 1.
- NUMBER OF PROPOSED RESIDENTIAL LOTS IS 48.
- CURRENT ZONING: R-D.
- ALL STREETS ARE PRIVATE AND HAVE EASEMENT AND PAVING WIDTHS PER COA APPROVAL. (GATED COMMUNITY)
- CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICES TO THIS DEVELOPMENT MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.

**NOTES**

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS ● WILL BE MARKED BY A NO. 5 IRON REBAR WITH PLASTIC CAP STAMPED "PLS #7719".
- ALL STREET CENTERLINE POINTS SHOWN THUS Δ WILL BE MARKED BY A 4" ALUMINUM DISK STAMPED "CENTERLINE MONUMENT, PLS #7719".
- BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NMSP GRID BEARINGS.
- DISTANCES WILL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION. THERE SHALL BE A MINIMUM OF 2,400 SQUARE FEET OF OPEN SPACE PROVIDED FOR EACH LOT WITHIN THE SUBDIVISION.

**APPROVED FOR MONUMENTATION AND STREET NAMES**

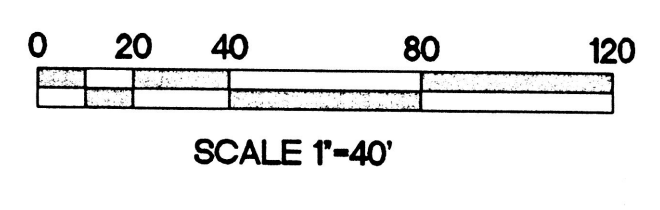
*W. B. Jant* 9/30/05  
 CITY SURVEYOR DATE

**OWNERSHIP**

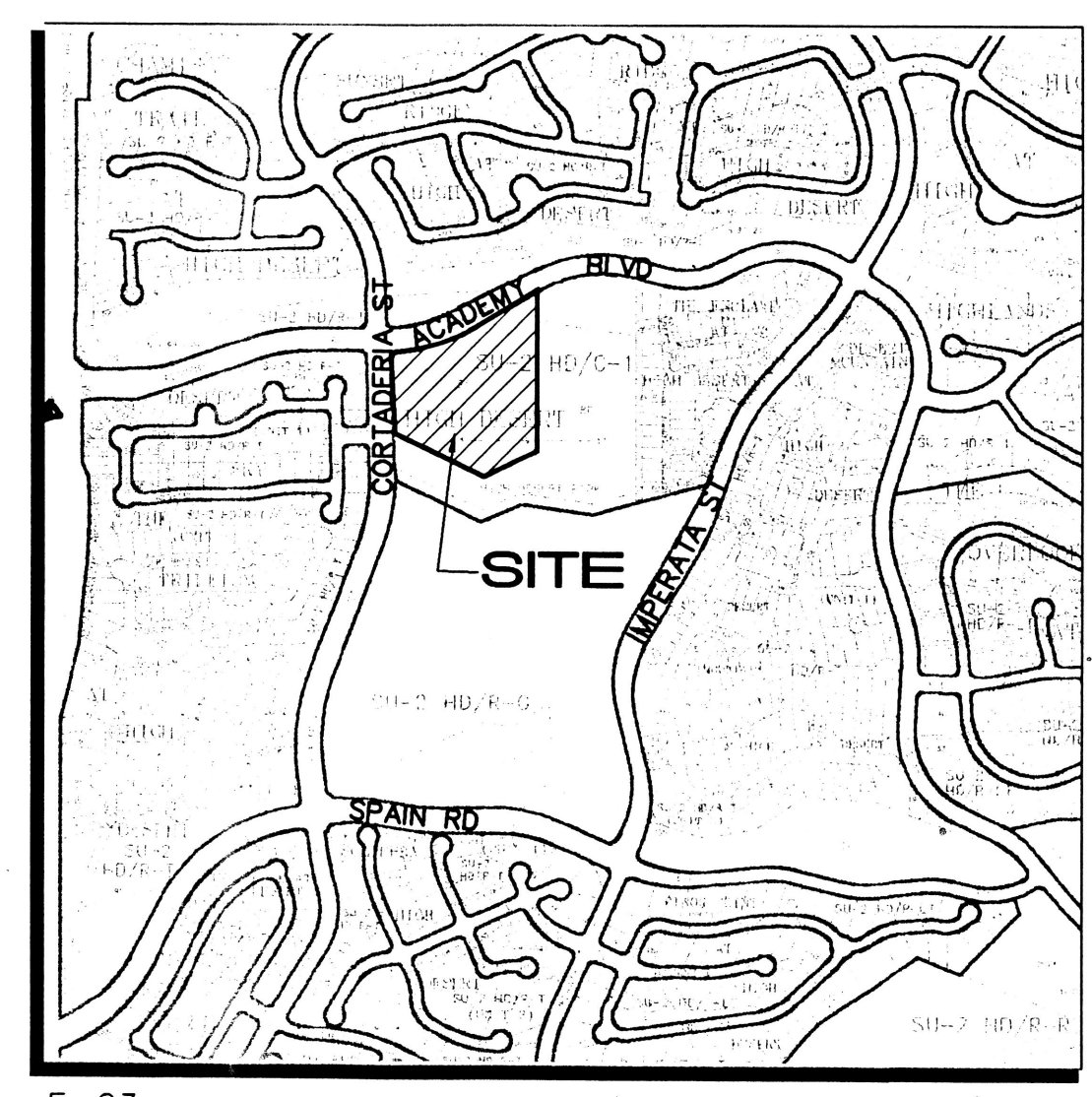
*J. McClintic* 9-29-05  
 THE LEGENDS AT HIGH DESERT, LLC. DATE  
 JIM MCCLINTIC, MEMBER

**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph. 505-268-8828 Fax. 505-268-2632  
 1454PLM.DWGthor 09.29.05

CURVE	RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING	DELTA
C1	25.00'	39.07'	24.80'	35.21'	N43°14'53"E	89°32'11"
C2	598.50'	269.33'	136.99'	267.07'	N75°07'28"E	25°47'02"

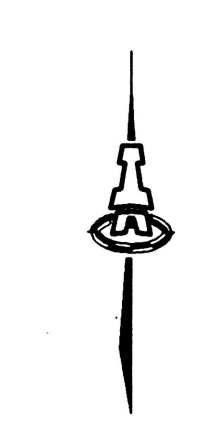


- LEGEND**
- FOUND 5/8" REBAR WITH CAP STAMPED 6544
  - SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP.)
  - PROPERTY LINE
  - - - ADJOINING PROPERTY LINE
  - △ CENTERLINE MONUMENT



**VICINITY MAP**  
 E-23 1"=750'±

USCGS Brass Tablet stamped "TUMBLE"  
 Geographic Position (NAD 1927)  
 N.M. State Plane Coordinates (Central Zone)  
 X = 425,465.55 Y = 1,513,470.01  
 Ground-to-Grid Factor = 0.9996197  
 ΔC = -00°08'37"  
 NGVD 1929 Elevation = 6009.155

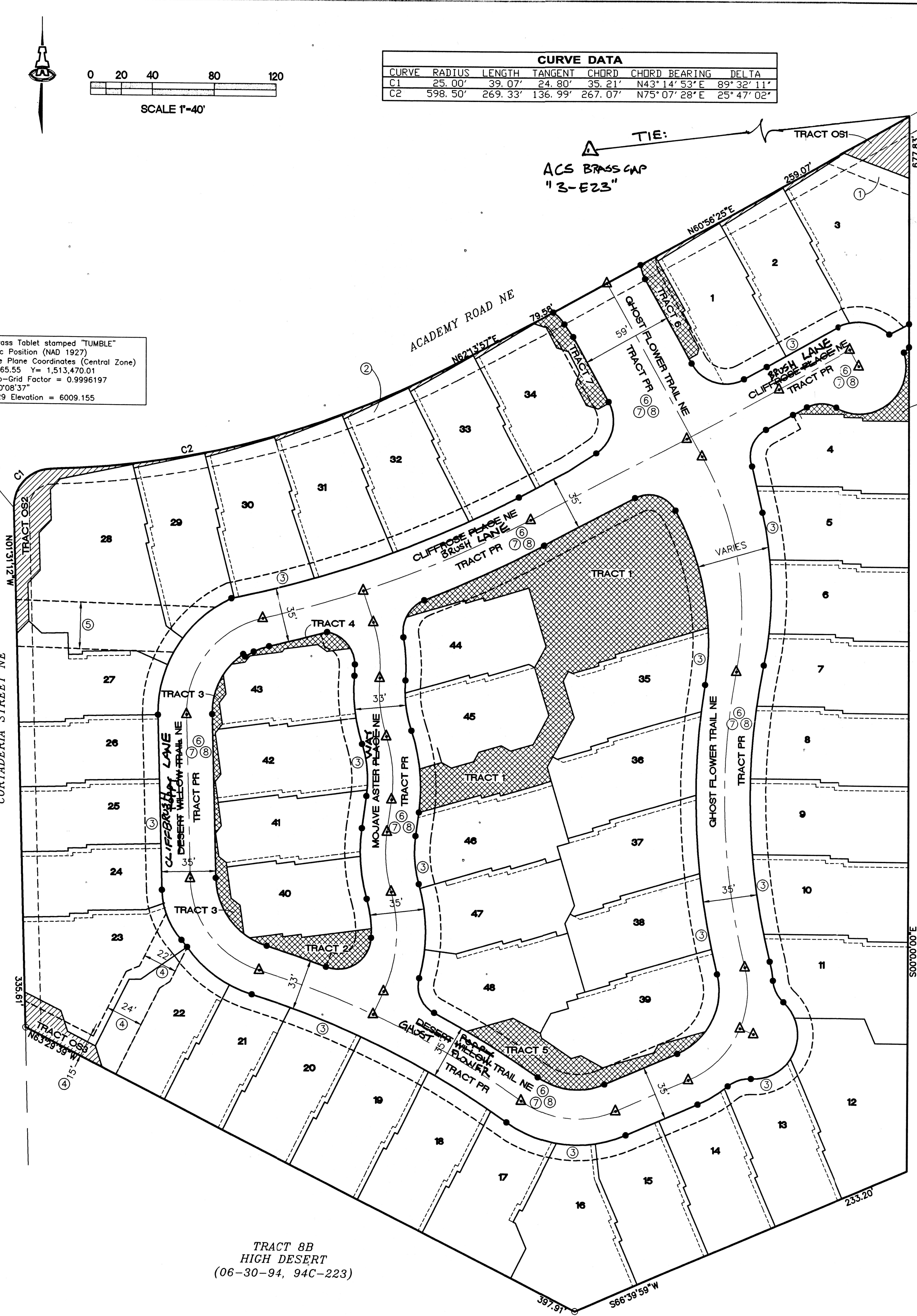
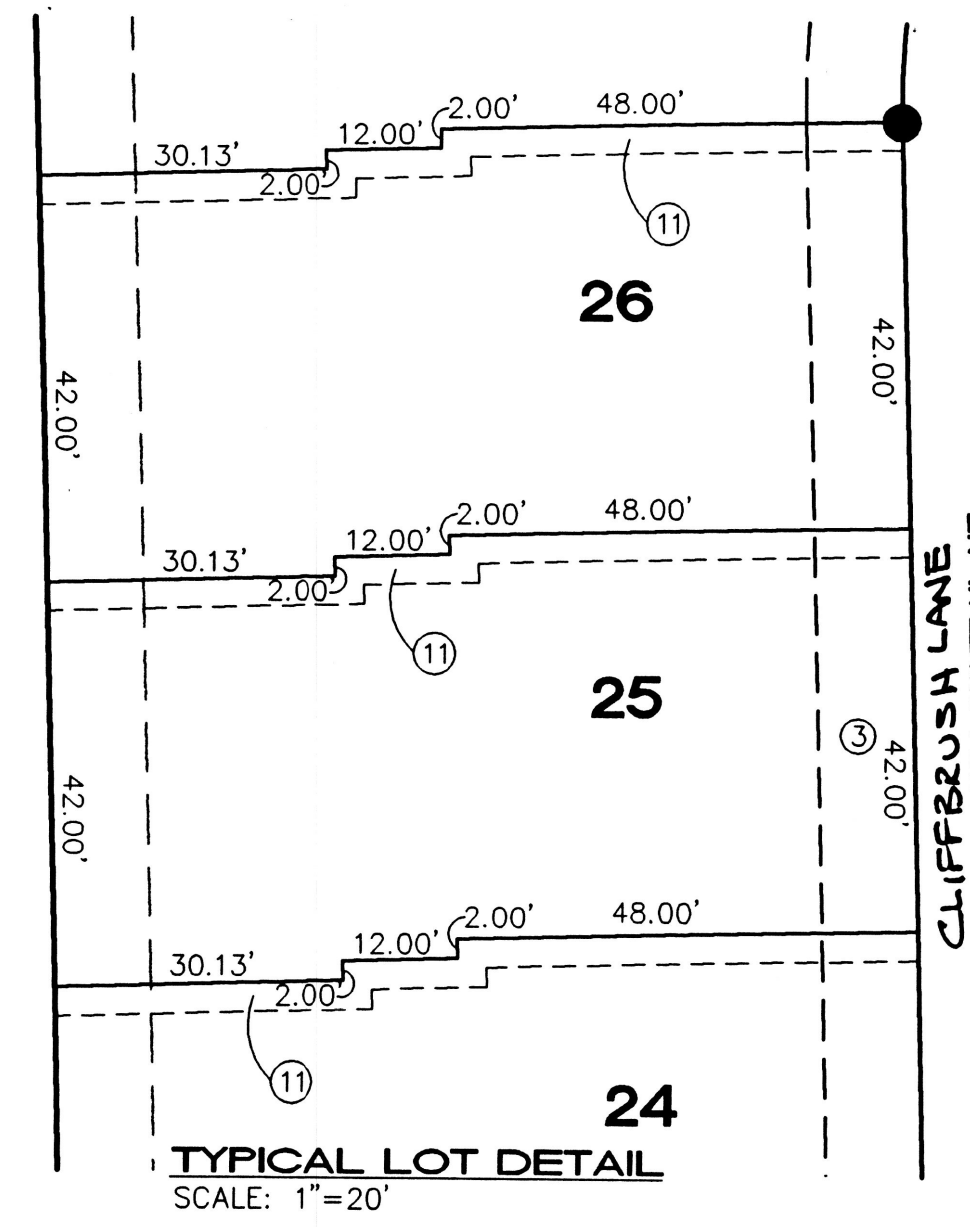


**ZONING AND CONDITIONAL USE NOTES**

- EXISTING ZONING: SU-2 HD/C-1  
 \*CONDITIONAL USE FOR RESIDENTIAL (05ZHE-00449)
- ALL LOTS SHALL CONFORM TO THE R-T ZONING REGULATIONS AS LISTED IN THE CITY OF ALBUQUERQUE ZONING CODE EXCEPT:  
 A. MINIMUM REAR YARD SETBACK OF 10 FEET.  
 B. MINIMUM FOR ONE SIDE YARD SETBACK IS 0 FEET. AN ADJACENT DWELLING UNIT WILL HAVE A MINIMUM SEPARATION OF 10 FEET (AS MEASURED PERPENDICULAR). WHERE THERE IS NO ADJACENT UNIT, THE SIDE SETBACK SHALL BE 5' TO ROADWAY TRACT OR PERIMETER BOUNDARY.  
 C. MINIMUM FRONT YARD SETBACK TO THE BUILDING IS 15 FEET AND TO THE CENTER OF THE GARAGE IS 20 FEET AS MEASURED TO EITHER THE BACK OF SIDEWALK OR BACK OF CURB.
- BBO AREAS WITH CHIMNEYS, SHADE STRUCTURES AND WALLS BUILT DURING THE ORIGINAL CONSTRUCTION OF THE HOUSE MAY BE PLACED WITHIN THE SETBACKS. THESE MUST BE APPROVED BY THE HIGH DESERT'S NEW CONSTRUCTION COMMITTEE ALONG WITH THE HOUSE PLANS PRIOR TO SUBMITTAL FOR CITY PERMIT.
- AFTER THE COMPLETION OF THE HOUSE, PROPOSED NEW CONSTRUCTION OR MODIFICATIONS TO THE EXTERIOR OF THE HOME OR SITE MUST BE PROCESSED THROUGH THE HIGH DESERT RESIDENTIAL OWNER'S ASSOCIATION MODIFICATION COMMITTEE AS WELL AS THROUGH THE CITY FOR PERMITTING.
- A VARIANCE TO CITY OF ALBUQUERQUE ZONING CODE OPEN SPACE REQUIREMENTS AS DESCRIBED IN SECTION 14-16-24 (d) WAS GRANTED TO ALLOW THE REQUIRED 8000 SF OF OPEN SPACE PER LOT TO BE PROVIDED OFF-SITE. (05ZHE-00480).
- THE MINIMUM LOT AREAS AND WIDTHS ARE PER THE R-T ZONING (2200 SF AND 22 FEET FOR TOWNHOUSES AND 3600 SF AND 36 FEET FOR HOUSES).
- SIDEWALKS ARE PROGRAMMED AS SHOWN. SIDEWALK WAIVERS SHALL BE REQUESTED FROM THE DEVELOPMENT REVIEW BOARD AT THE TIME OF PRELIMINARY PLAT SUBMITTAL.
- ADDITIONAL VARIANCES THROUGH THE ZONING HEARING EXAMINER, CITY OF ALBUQUERQUE, WILL NOT BE ALLOWED.

**EASEMENT NOTES**

- EXISTING EASEMENT (BEAR TRIBUTARY) (11-19-93, Bks 93-33/Pgs 2021-2039)
- EXISTING 10' PUBLIC UTILITY EASEMENT
- 10' PUBLIC UTILITY EASEMENT (P.U.E.) TO BE GRANTED BY FINAL PLAT.
- WATERLINE AND STORM DRAIN EASEMENT (WIDTH VARIES) TO BE GRANTED BY FINAL PLAT.
- 30' STORM DRAIN EASEMENT TO BE GRANTED BY FINAL PLAT.
- TRACT PR SHALL BE COVERED BY A PRIVATE ROADWAY EASEMENT, AND SHALL BE OWNED & MAINTAINED BY THE HOMEOWNERS' ASSOCIATION OF HIGH DESERT.
- TRACT PR SHALL BE COVERED BY A PUBLIC WATER & SANITARY SEWER EASEMENT TO BE GRANTED TO ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY BY FINAL PLAT.
- TRACT PR SHALL BE COVERED BY A PUBLIC DRAINAGE AND EMERGENCY ACCESS EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE BY FINAL PLAT.
- TRACTS OS1, OS2, OS3 SHALL BE COVERED BY A PRIVATE LANDSCAPING EASEMENT GRANTED TO AND MAINTAINED BY HIGH DESERT INVESTMENT CORPORATION.
- TRACTS 1, 2, 3, 4, 5, 6, 7, & 8 SHALL BE COVERED BY A PRIVATE LANDSCAPING EASEMENT GRANTED TO AND MAINTAINED BY THE HOMEOWNERS' ASSOCIATION OF HIGH DESERT.
- 3' WIDE PRIVATE ACCESS EASEMENT FOR INGRESS, EGRESS, GENERAL USE, LANDSCAPE AND MAINTENANCE PURPOSES FOR THE BENEFIT OF THE OWNER(S) OF THE ADJOINING LOTS TO BE RESERVED AND GRANTED PER THE GRANTOR'S INITIAL CONVEYANCE OF THE LOTS CREATED BY THE RECORDATION OF THIS PLAT.



TRACT 8B  
 HIGH DESERT  
 (06-30-94, 94C-223)

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