

VICINITY MAP No. F-15



LEGAL DESCRIPTION

LOTS LETTERED "A", "B" AND "C" OF THE RALPH L. DAY ADDITION, CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 20, 1976 IN VOLUME C11, FOLIO 147.

C1	C2	C3
R = 25.63'	R = 100.00'	R = 100.00'
D = 83.023°	D = 122.519°	D = 13.0119°
CB = 9.160355'16" W	CB = N 73°34'50" W	CB = S 73°34'50" E
CH = 33.14'	CH = 21.64'	CH = 22.68'
L = 36.23'	L = 21.68'	L = 22.73'

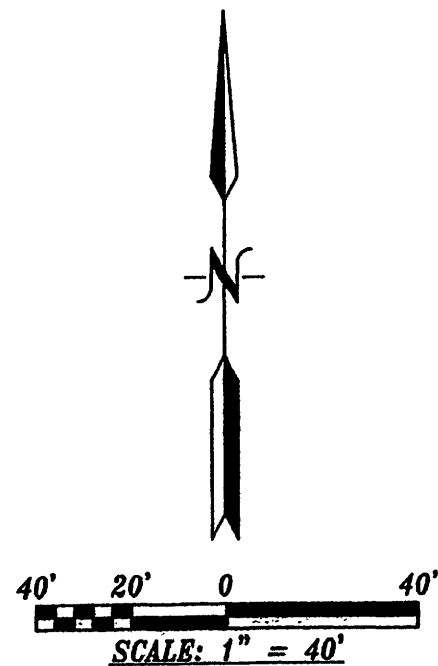
**PLAT OF
LOTS A-1, B-1 and C-1
RALPH L. DAY ADDITION**

WITHIN
SECTION 33, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M.
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MARCH, 2005

PROJECT NO. 1004089
APPLICATION NO. 05DRB00556

UTILITY APPROVALS:

Leand D. Munk	4-12-05
PNM ELECTRIC SERVICES	DATE
Leand D. Munk	4-12-05
PNM GAS SERVICES	DATE
Robert K. Lewis	4-15-05
QUEST TELECOMMUNICATIONS	DATE
Yvonne Dabun	4-12-05
COMCAST	DATE



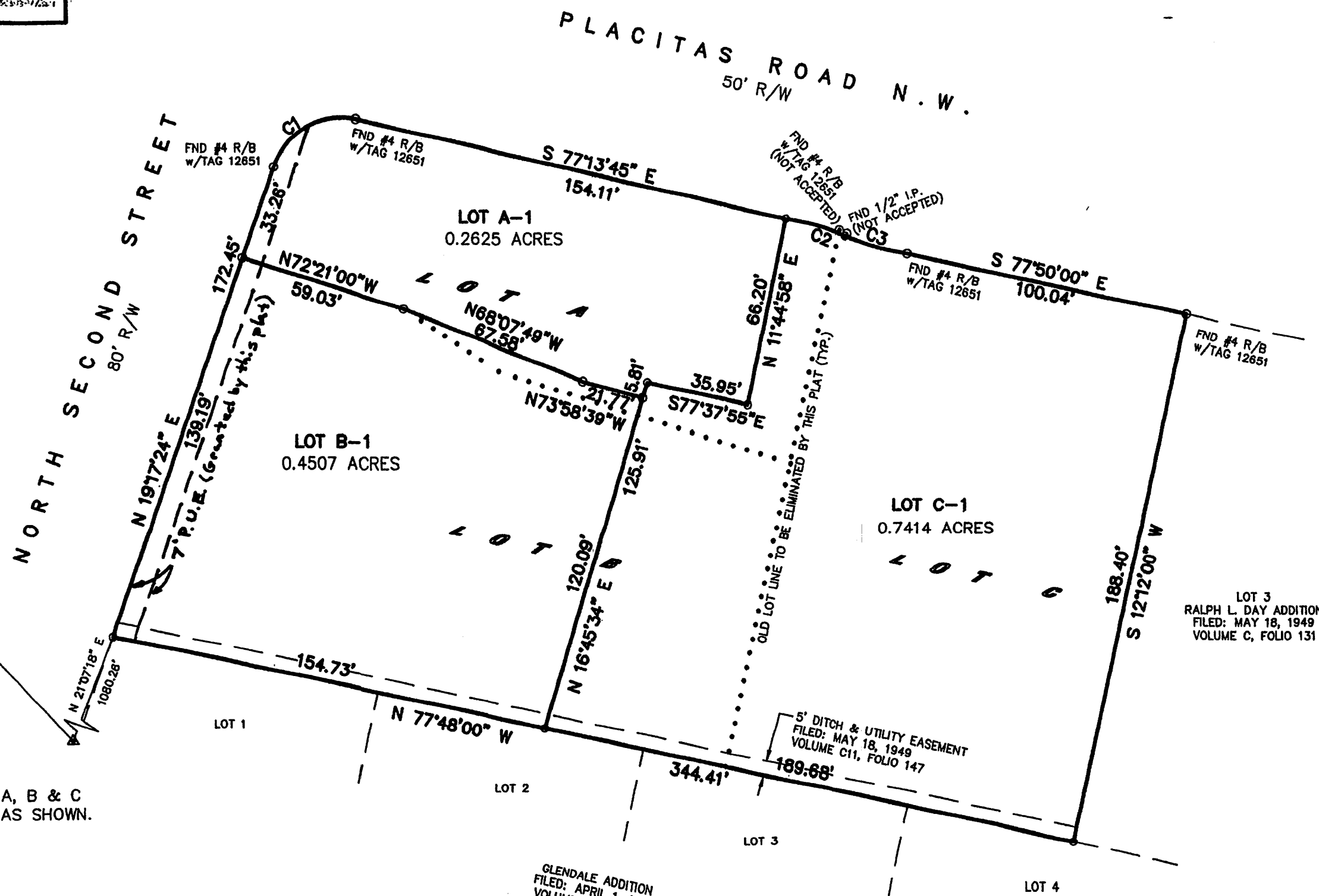
ACS STATION "NM47-8"
X=384,597.97
Y=1,505,845.86
GRD TO GRID=0.99967727
Δα = -00° 13' 20"
CENTRAL ZONE, NAD 1927

STATEMENT OF DECLARATION:

THE PURPOSE OF THIS PLAT IS TO RE-ALIGN LOTS A, B & C INTO THREE (3) LOTS AND GRANT ANY EASEMENTS AS SHOWN.

GENERAL NOTES:

- UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- TOTAL AREA OF PROPERTY: 1.4550 ACRES.
- TALOS LOG NO. 2005117614
- BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
- DISTANCES ARE GROUND, BEARINGS ARE GRID.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- DATE OF FIELD WORK: MARCH, 2005
- CURRENT ZONING: C-2



CITY APPROVALS:

[Signature]	3-30-05
CITY SURVEYOR	DATE
N/A	4/13/05
*REAL PROPERTY DIVISION (CONDITIONAL)	DATE
N/A	4/13/05
**ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
[Signature]	4-20-05
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
[Signature]	4-13-05
UTILITIES DEVELOPMENT	DATE
[Signature]	4-13-05
PARKS AND RECREATION DEPARTMENT	DATE
[Signature]	4/13/05
AMAFCA	DATE
[Signature]	4/13/05
CITY ENGINEER	DATE
[Signature]	4/13/05
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

FREE CONSENT

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Helen M. Burson 03-29-05
DATE

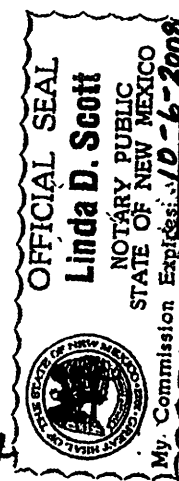
ACKNOWLEDGMENT

STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS 29th DAY OF March, 2005

BY: Chester and Helen M. Burson RLT
OWNERS NAME

MY COMMISSION EXPIRES: 10-06-2008 BY: Linda D. Scott
NOTARY PUBLIC



SURVEYORS CERTIFICATE:

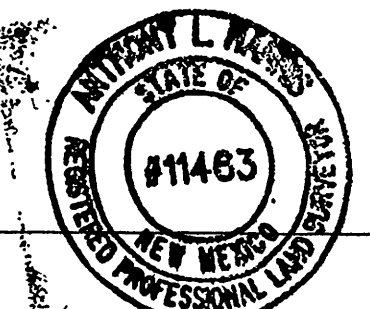
STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO, THIS 29th DAY OF March, 2005.

Anthony L. Harris
ANTHONY L. HARRIS, P.S. #11463

HARRIS SURVEYING, INC. PHONE: (505) 889-8056
2418-D MONROE STREET N.E. FAX: (505) 889-8646
ALBUQUERQUE, NEW MEXICO 87110



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UPC# See List
PROPERTY OWNER OF RECORD: Burson Chester & Helen
BERNALILLO CO. TREASURER'S OFFICE: Danny Vigneri 20Apr05



VICINITY MAP No. F-15



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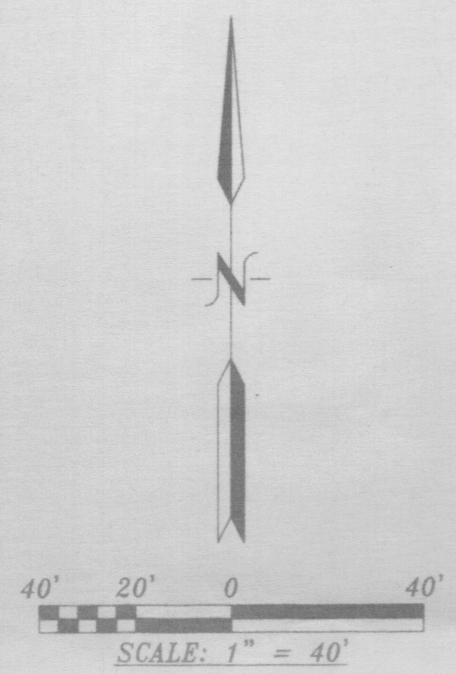
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**PRELIMINARY PLAT
APPROVED BY DRB
ON _____**

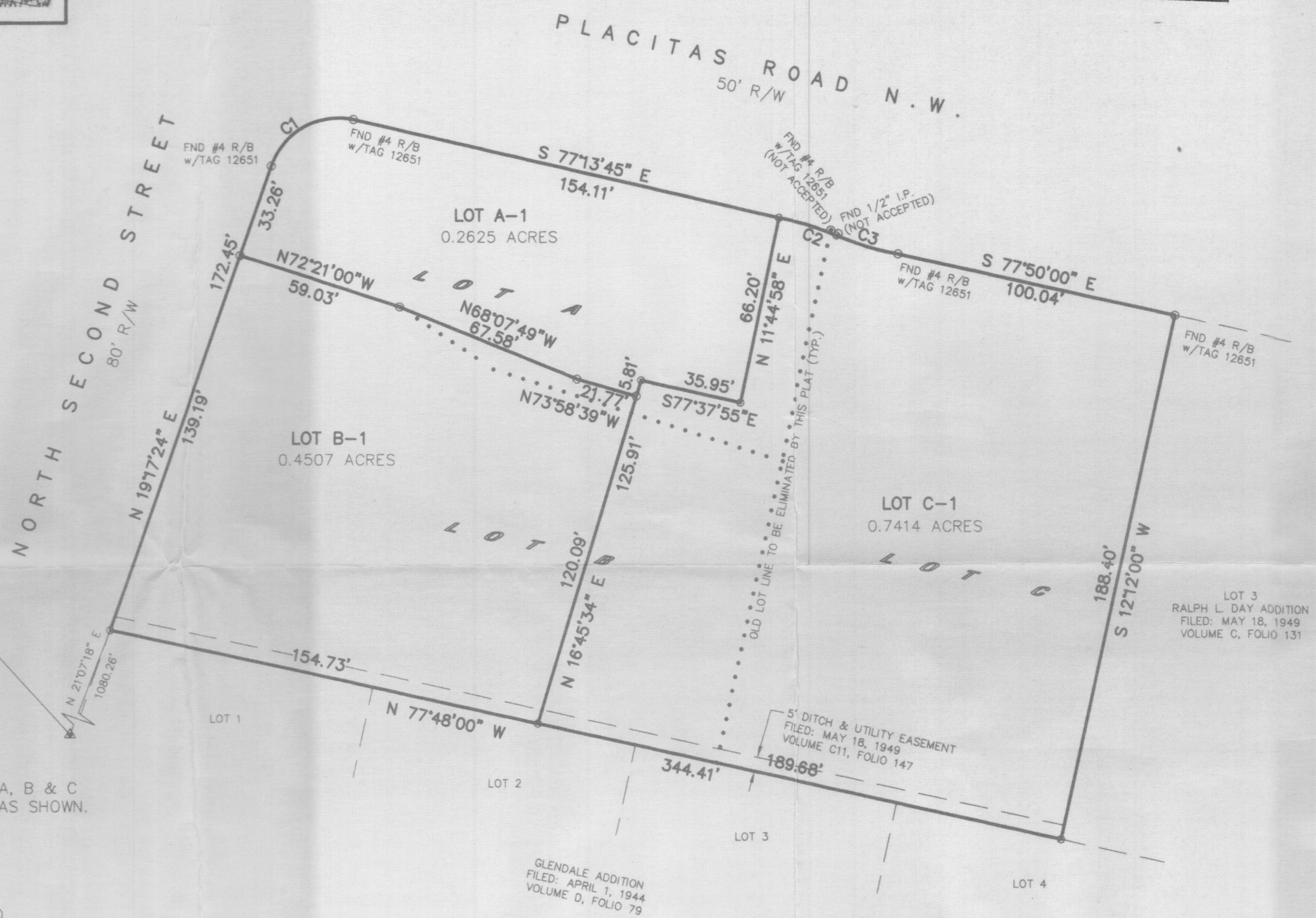
**PLAT OF
LOTS A-1, B-1 and C-1
RALPH L. DAY ADDITION**

SECTION 33, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M. **FINAL**
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MARCH, 2005

**PRELIMINARY PLAT
APPROVED BY DRB
ON 4-13-05**



ACS STATION "NM47-8"
X=384,597.97
Y=1,505,845.86
GRD TO GRID=0.99967727
Δα = -00° 13' 20"
CENTRAL ZONE, NAD 1927



UTILITY APPROVALS:

PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST	DATE
CITY SURVEYOR	DATE
AMAFCA	DATE

CITY APPROVALS:

<i>[Signature]</i>	3-30-05
CITY SURVEYOR	DATE
*REAL PROPERTY DIVISION (CONDITIONAL)	DATE
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AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

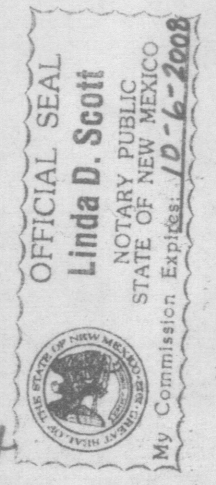
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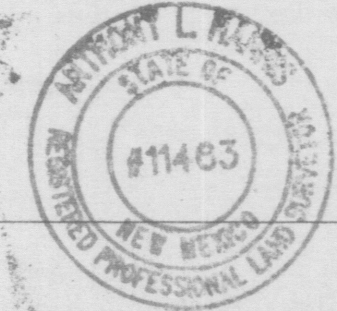
Helen M. Burson 03-29-05
DATE

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COUNTY OF BERNALILLO)
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BY: Chester and Helen M. Burson RL T
OWNERS NAME
MY COMMISSION EXPIRES: 10-06-2008 BY: *Linda D. Scott*
NOTARY PUBLIC
LINDA D. SCOTT

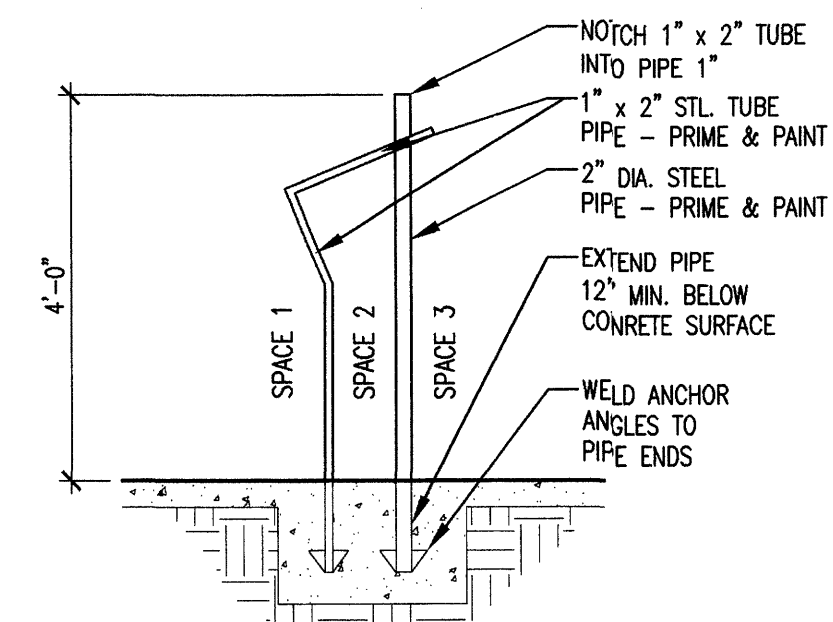


SURVEYORS CERTIFICATE:
STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)
I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

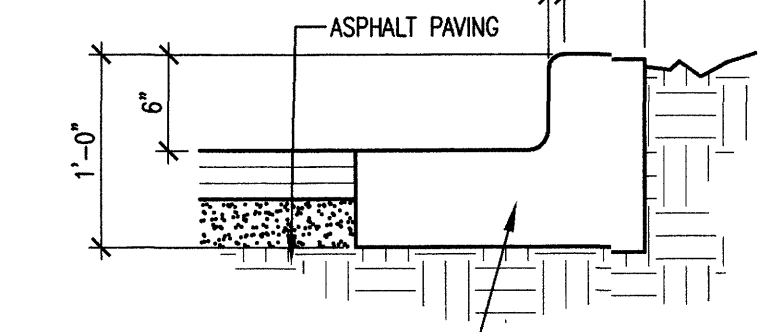
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Anthony L. Harris
ANTHONY L. HARRIS, P.S. # 11463
HARRIS SURVEYING, INC. PHONE: (505) 889-8056
2412-D MONROE STREET N.E. FAX: (505) 889-8645
ALBUQUERQUE, NEW MEXICO 87110



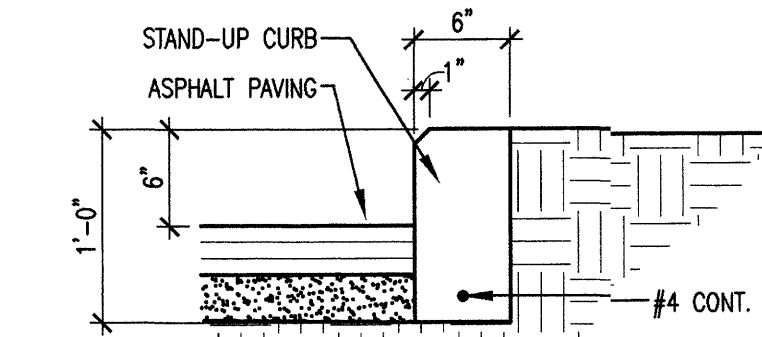
05-0400.dwg(Mar-05)
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC# _____
PROPERTY OWNER OF RECORD: _____
BERNALILLO CO. TREASURER'S OFFICE: _____



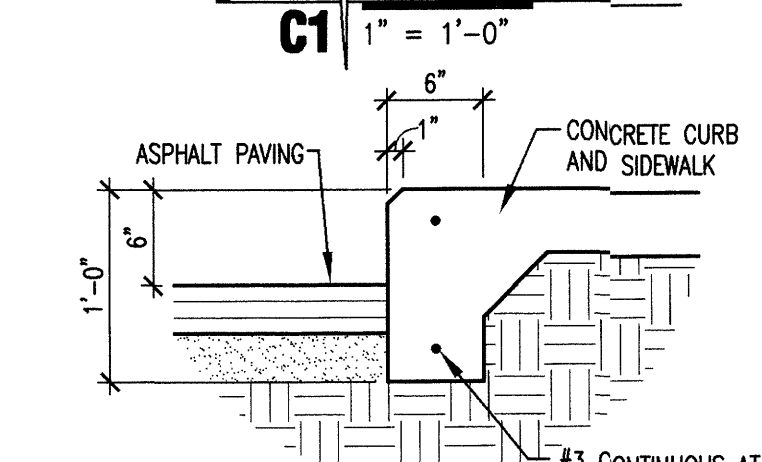
13 | Bike Rack
C1 | 1/2" = 1'-0"



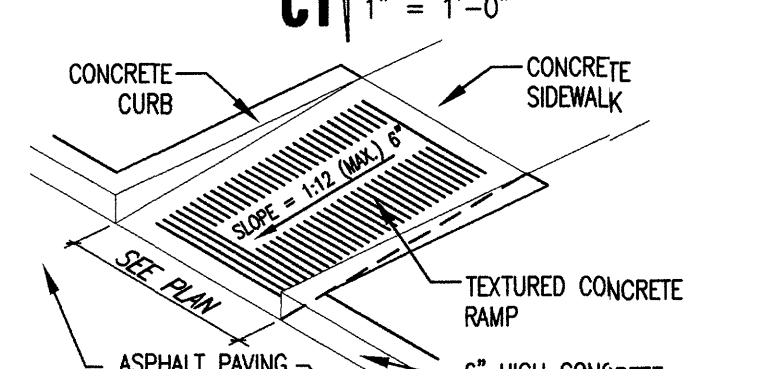
12 | Curb & Gutter
C1 | 1" = 1'-0"



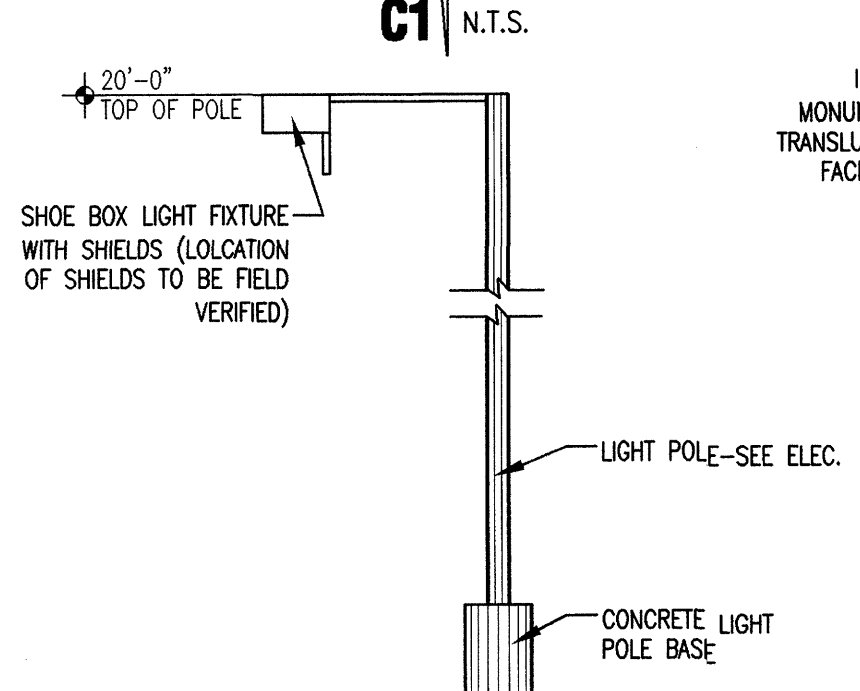
11 | Stand-up Curb
C1 | 1" = 1'-0"



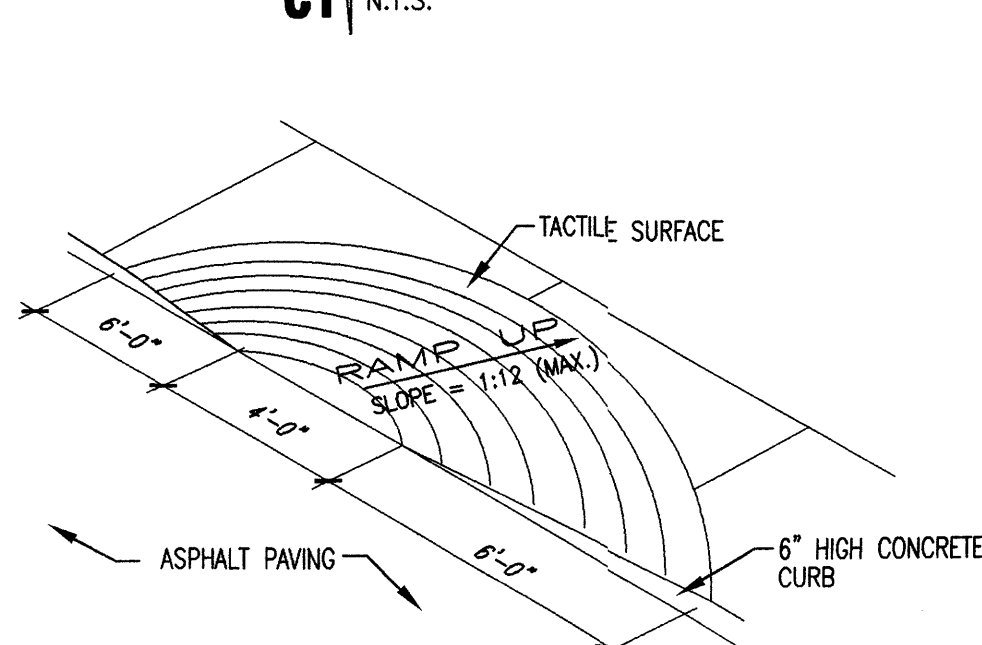
10 | Sidewalk Turn-Down
C1 | 1" = 1'-0"



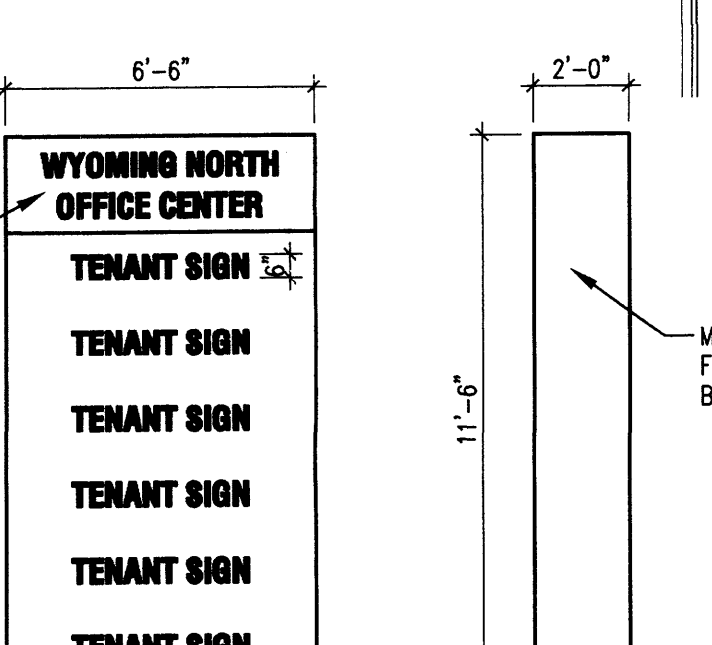
9 | H.C. Ramp
C1 | N.T.S.



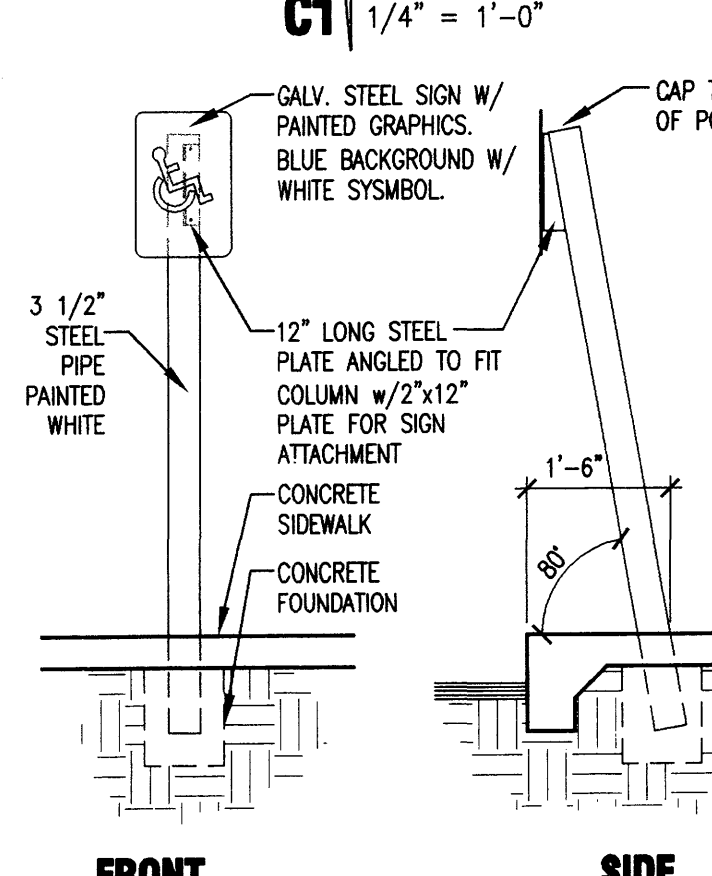
8 | Site Lighting Detail
C1 | N.T.S.



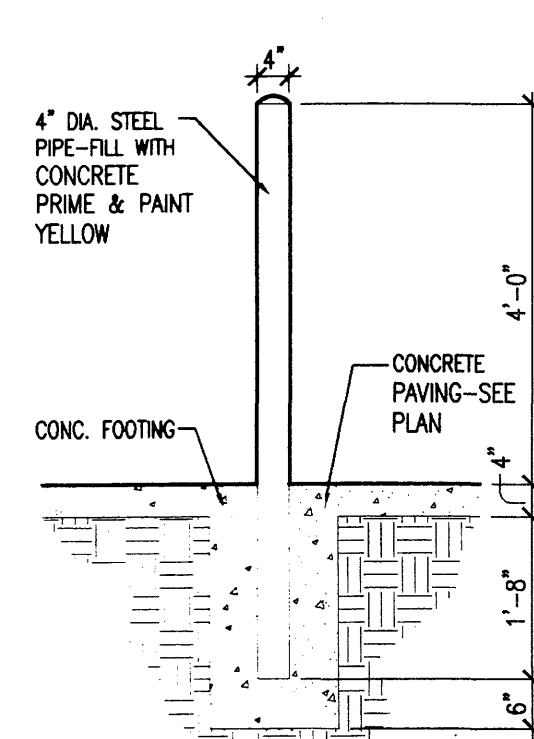
7 | H.C. Ramp
C1 | N.T.S.



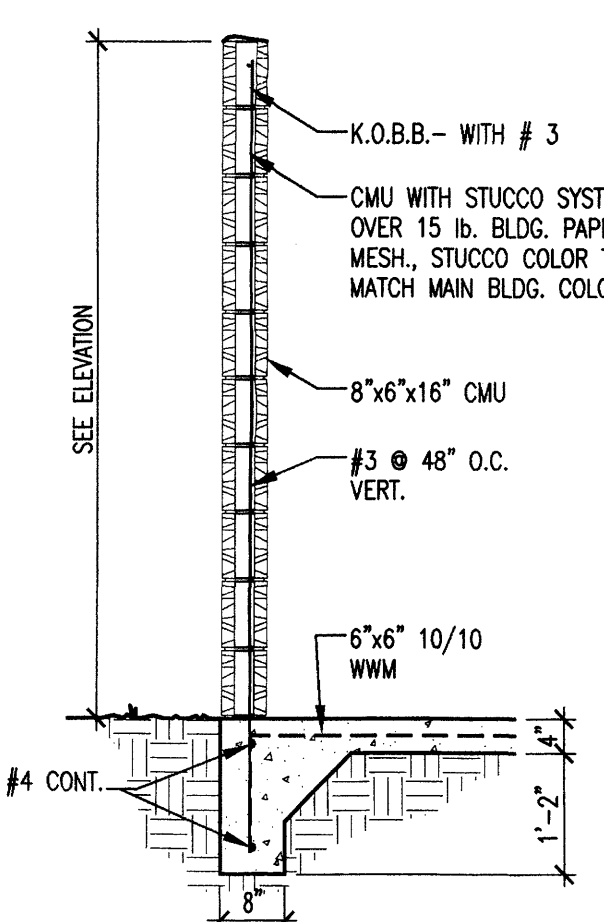
14 | Monument Sign
C1 | 1/4" = 1'-0"



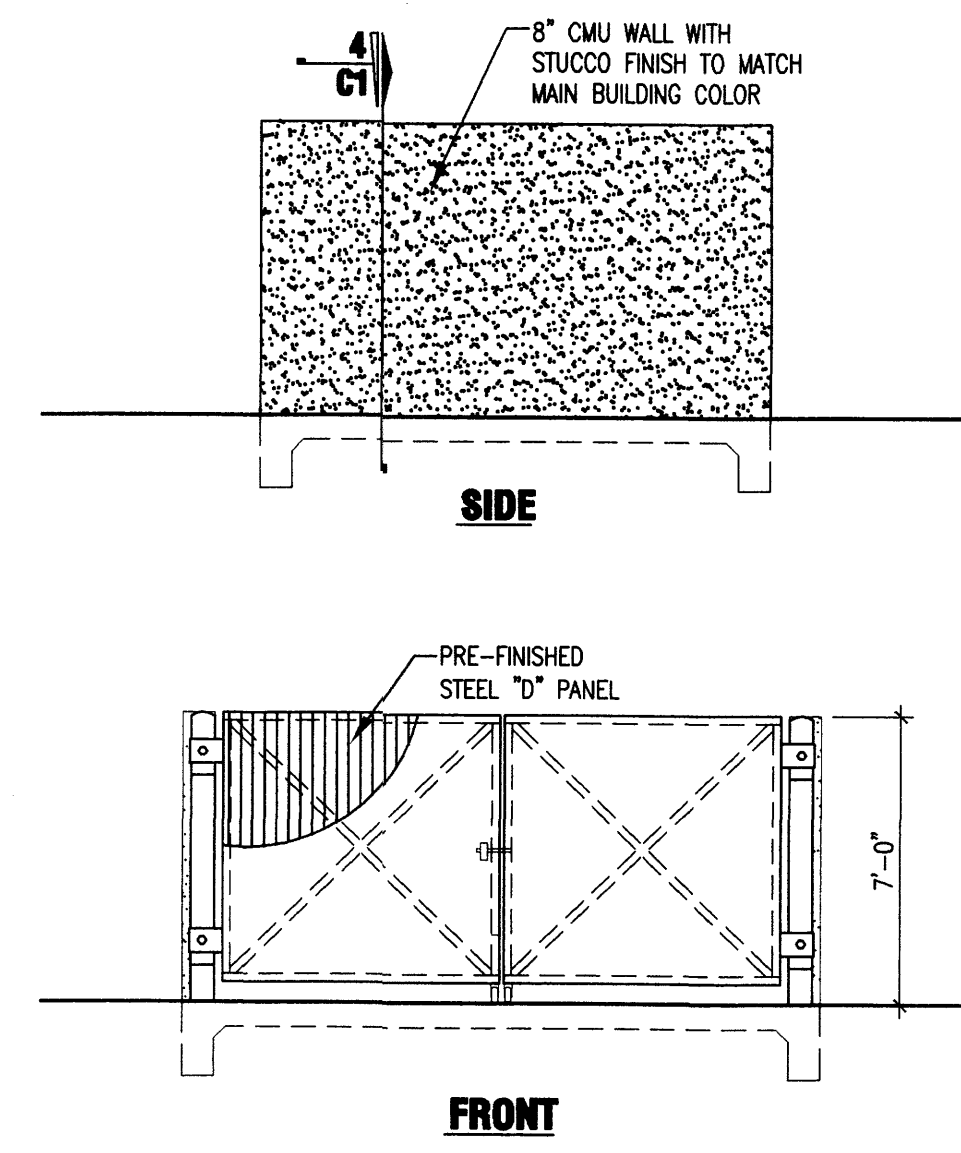
6 | H.C. Parking Sign
C1 | 1/2" = 1'-0"



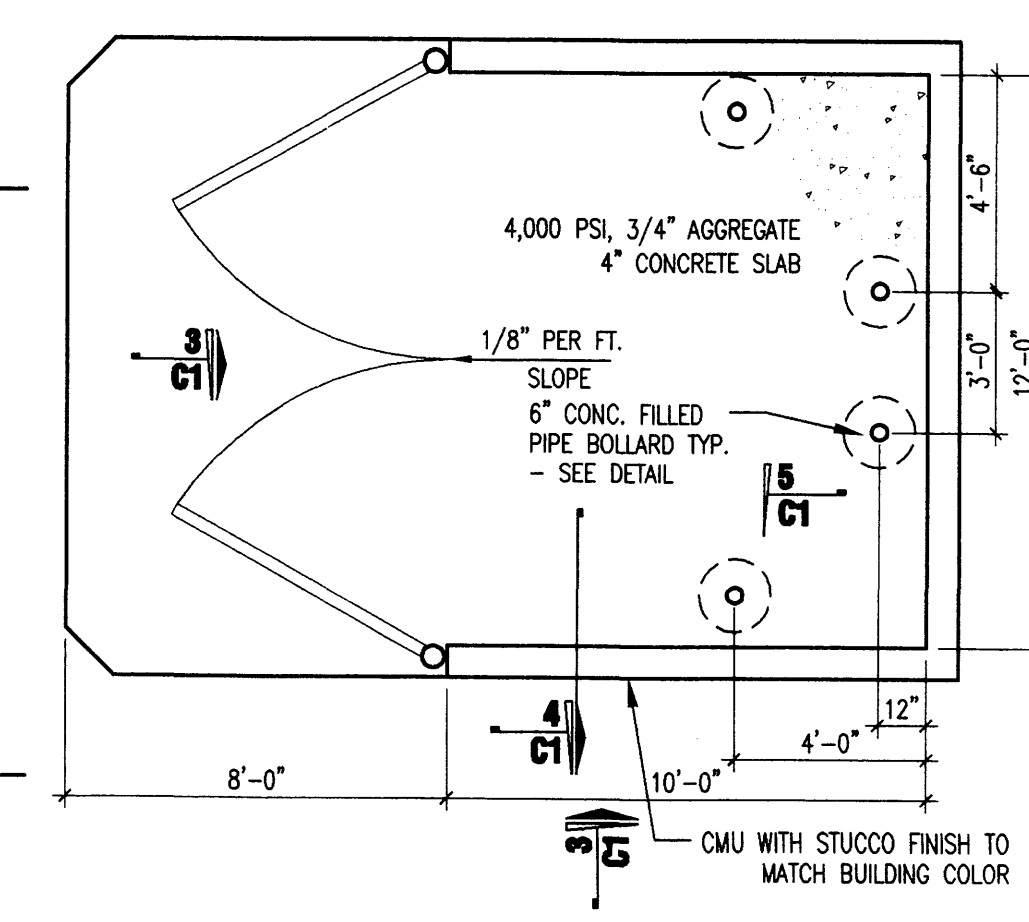
5 | Pipe Bollard
C1 | 1/2" = 1'-0"



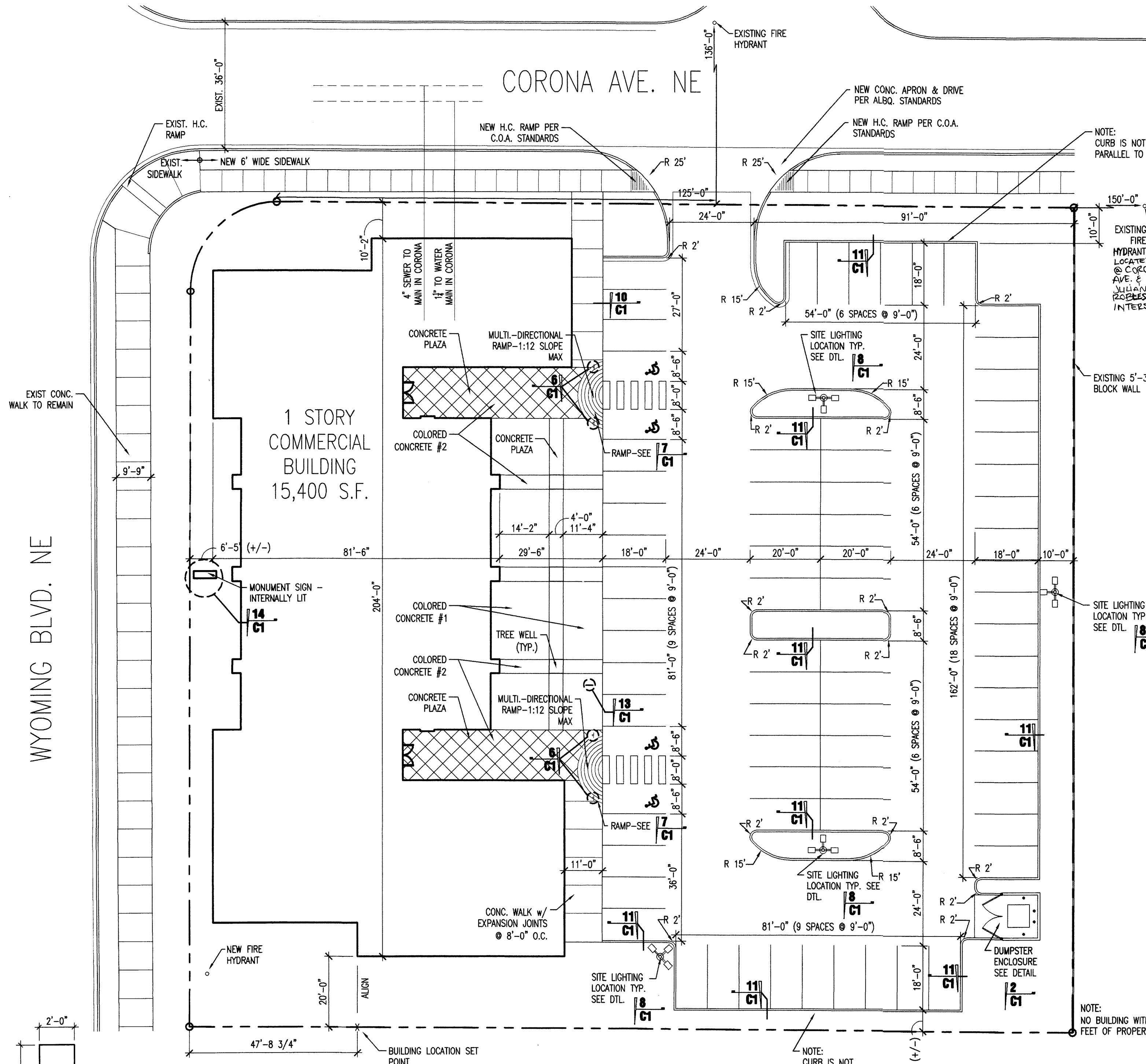
4 | Wall Detail
C1 | 1/2" = 1'-0"



3 | Wall Detail
C1 | 1/2" = 1'-0"



2 | Dumpster Enclosure
C1 | 1/4" = 1'-0"



1 | Site Plan
C1 | 1" = 20'-0"

PARKING REQUIREMENTS

BUILDING AREA:	15,400 S.F. @ 1:200 = 77 SP.
LESS 10% BUS DISCOUNT (WYOMING BLVD.):	70 SP.
PARKING PROVIDED:	= 77 SPACES
REQUIRED H.C. PARKING:	4 SPACES
H.C. PARKING PROVIDED:	4 SPACES
BICYCLE PARKING PROVIDED:	2 SPACES

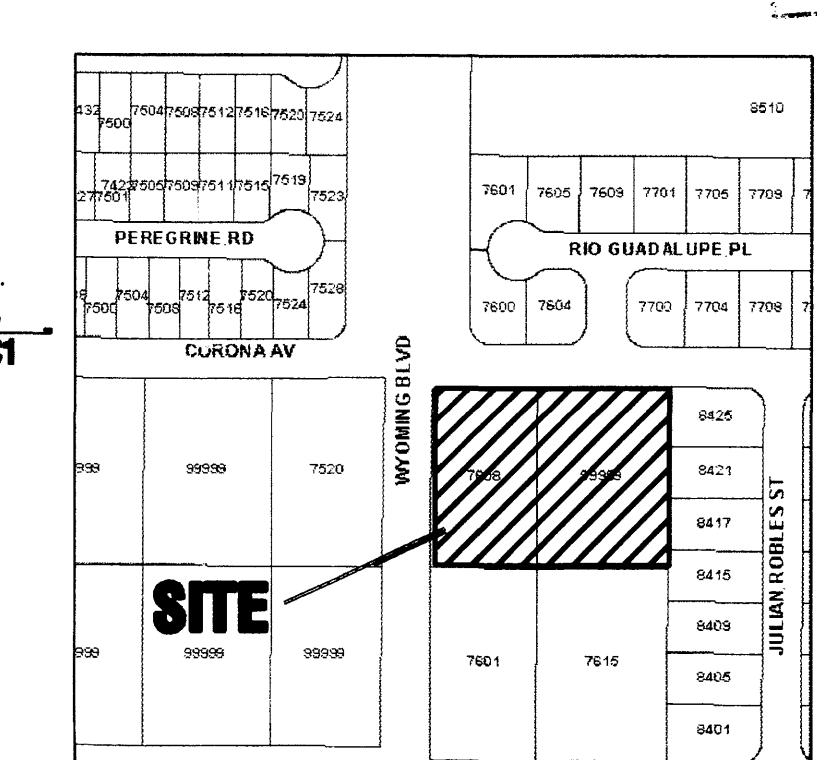
GENERAL NOTES

- VERIFY ALL EXISTING SITE UTILITY ROUTING AND NEW UTILITY CONNECTIONS WITH UTILITY PROVIDERS. ALL EXISTING STUD-OUTS TO BE USED AND TIED INTO NEW LINES FOR BUILDING.
- CURBS DIMENSIONED TO FACE OF CURB U.N.O.
- PATCH & REPAIR OR REPLACE EXISTING CURB & GUTTER ALONG STREET FRONTAGES AS NECESSARY IN COORDINATION WITH DRIVEWAY CONSTRUCTION

- DRIVE LANES & TRUCK DOCKING AREAS**
3" ASPHALT PAVING OVER 6" COMPACTED BASE COURSE
- CAR PARKING LOT PARKING AREA**
2" ASPHALT PAVING OVER 4" COMPACTED BASE COURSE

VERIFY ALL NEW DRIVEWAY REQUIREMENTS WITH CITY OF ALBUQUERQUE STANDARDS

VICINITY MAP



SIGNATURE BLOCK

PROJECT NUMBER	1004090
APPLICATION NUMBER	
Is an infrastructure list required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within public right-of-way or for construction of public improvements.	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE:
UTILITIES DEVELOPMENT	DATE:
PARKS AND RECREATION	DATE:
CITY ENGINEER	DATE:
ENVIRONMENTAL HEALTH DEPT. (if required)	DATE:
<i>Michael Holton</i> SOLID WASTE MANAGEMENT	4-12-05 DATE:
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE:

PROJECT DATA

LOCATION:	7608 Corona Ave. NE Albuquerque, NM
OWNER:	James P. & Jacklyn Hoekem
UPC NUMBER:	101906427319540432
LEGAL DESCRIPTION:	LOT 1, BLOCK 17, NORTH ALBUQUERQUE ACRES TR 2 UNIT 3

CURRENT ZONING:	R-D
ZONE ATLAS PAGE:	C19
APPLICABLE CODE:	2003 IBC
CONSTRUCTION TYPE:	V-B
OCCUPANCY GROUP:	B
LOT AREA:	58,536 S.F. (1.34 AC.)
TOTAL BUILDING AREA:	15,400 S.F.
NET LOT AREA:	43,136 S.F.
IMPERVIOUS AREA:	31,615 S.F.
% OF NET LOT AREA LANDSCAPED	26.7%
LANDSCAPE TO PAVED AREA RATIO	36.4%

ALLOWABLE FLOOR AREA:	15,750 S.F. (TABLE 503)
	If = 100 [(802 - 0.25) / 30]
	If = 100 [(1-0.25) / 1]
	If = 75% ALLOWABLE AREA INCREASE
	75% x 9,000sf = 6,750sf
	9,000sf + 6,750sf = 15,750sf
ACTUAL FLOOR AREA:	15,400 S.F.
EXITS REQ'D:	2
EXITS PROVIDED:	2
FIRE EXT. REQ'D:	5
OCCUPANT LOAD:	154
	15,400 S.F. / 100 = 154

3 PBP
PRELIMINARY PLAN
APPROVED BY DRB
ON 4/12/05

WYOMING NORTH OFFICE CENTER
7608 CORONA AVE. NE
ALBUQUERQUE NEW MEXICO

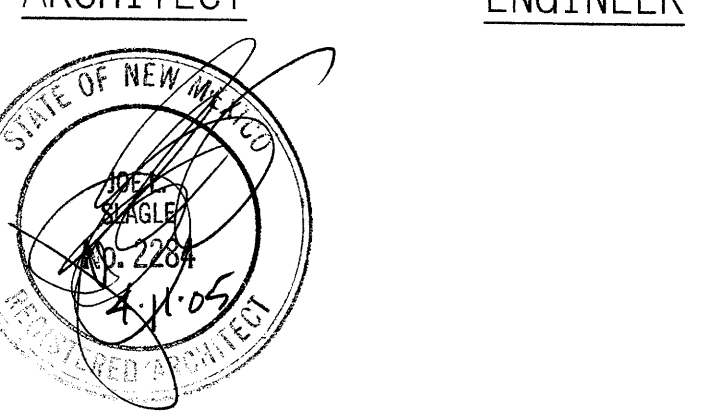
ARCHITECTS

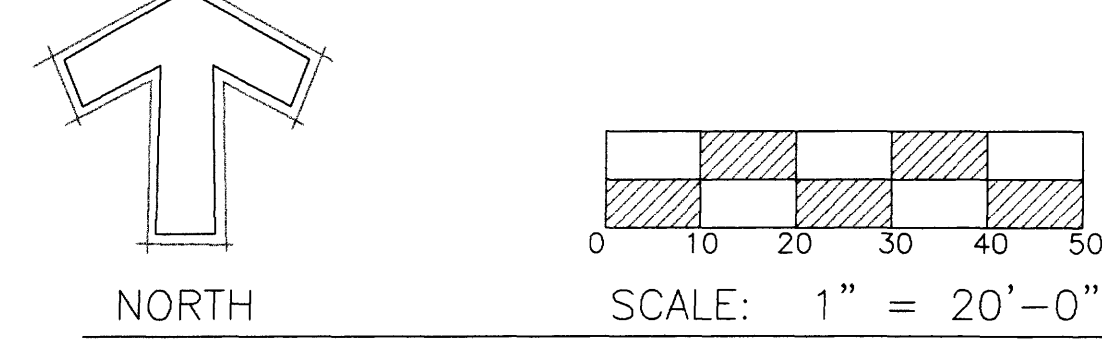
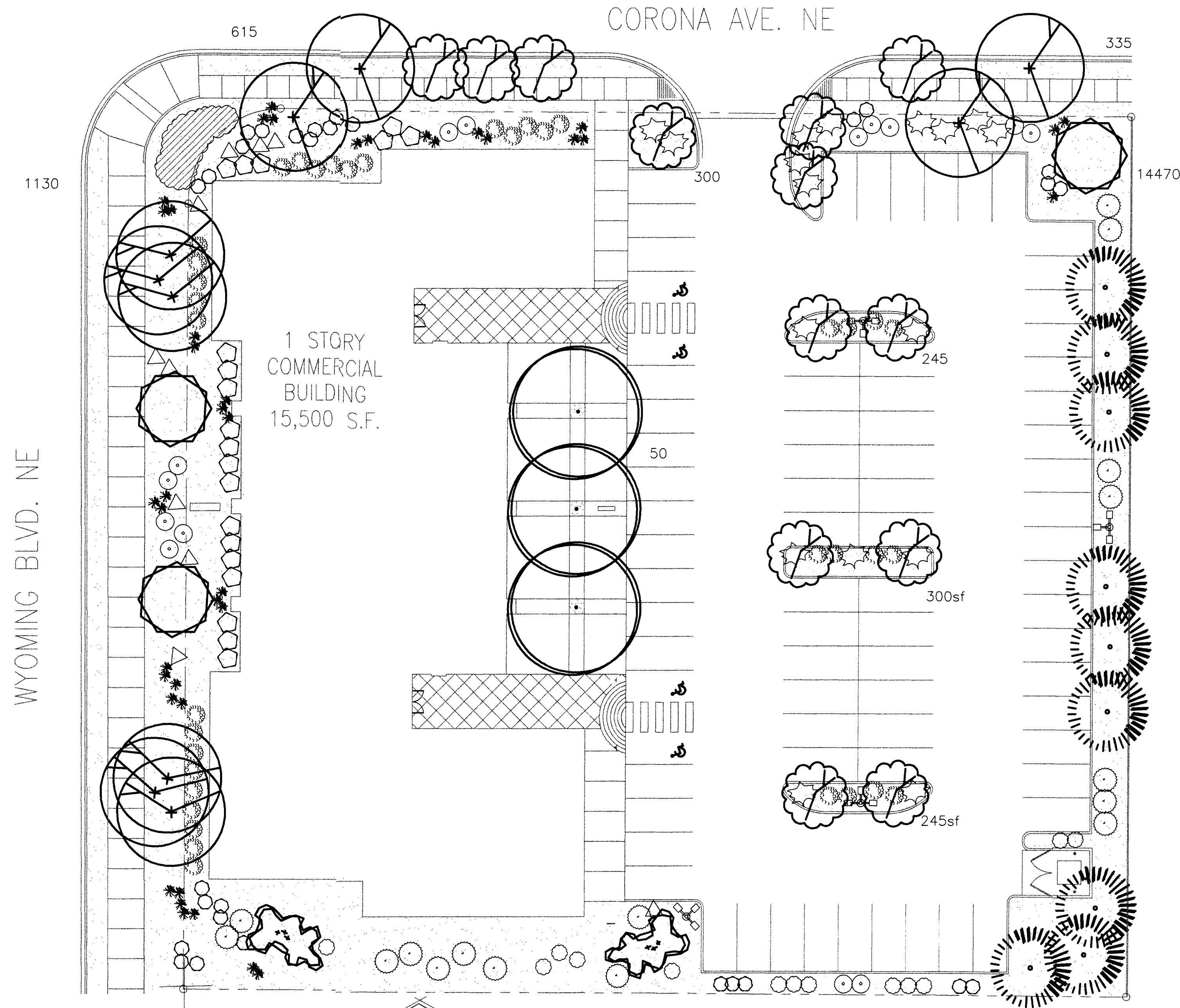
1600 rio grande nw
albuquerque
new mexico 87104
505 246 0870
fax 505 246 0437

ATD PLANS CHECKING OFFICE
024-3011
APPROVED/NOT APPROVED
Steven Wilkins 4/12/05
SIGNATURE & DATE

REVISIONS

ARCHITECT
ENGINEER





LANDSCAPE PLAN

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	58,334
TOTAL BUILDING AREA (sf)	15,500
NET LOT AREA (sf)	42,834
LANDSCAPE REQUIREMENT (%)	15
TOTAL LANDSCAPE REQUIRED (sf)	6,426
TOTAL LANDSCAPE PROVIDED (sf)	18,438

LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
10	2" cal	Raywood Ash <i>Fraxinus oxycarpa</i>	M+
3	2" cal	Shadmaster Honey Locust <i>Gleditsia triacanthos 'inermis'</i>	M
9	6 - 8'	Austrian Pine <i>Pinus nigra</i>	M
2	4 - 6'	Pinon <i>Pinus edulis</i>	M
3	2" cal	Desert Willow <i>Chilopsis linearis</i>	L
13	10-12'	Bradford Pear <i>Pyrus calleryana</i>	M
16	5 Gal	Wintergreen Barberry <i>Berberis julianae</i>	M
37	5 Gal	India Hawthorne <i>Raphiolepis indica</i>	M
17	5 Gal	Honeysuckle <i>Lonicera japonica</i>	M
9	5 Gal	Dwarf Butterfly Bush <i>Buddleia davidii nanhoensis</i>	M
38	5 Gal	Dwarf Feathertop <i>Pennisetum villosum</i>	M
28	5 Gal	Cherry Sage <i>Salvia greggii</i>	M
14	5 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	M
13	5 Gal	Turpentine Bush <i>Ericameria laricifolia</i>	L
16	5 Gal	Apache Plume <i>Fallugia paradoxa</i>	L
		Annual Color Bed /; Bark Mulch	

LANDSCAPE NOTES

Owner is responsible for maintenance of Irrigation System, Landscape Plantings, and Landscape Mulch. Landscape Plant material which dies shall be replaced by the owner no later than 60 days after notification.

Landscape shall be watered by a complete underground irrigation system operated by automatic timer. Trees shall have bubblers and shrubs shall have a minimum of 2 emitters per shrub. Trees and shrubs shall be zoned separately. Point of Connection for irrigation system shall be coordinated between the Landscape Contractor and the General Contractor of the project prior to construction.

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.

Prior to Construction, Landscape Contractor shall verify location of all Utility Lines. In case of a discrepancy between utilities indicated on plan and actual field verification, Contractor shall notify the Landscape Architect immediately before proceeding.

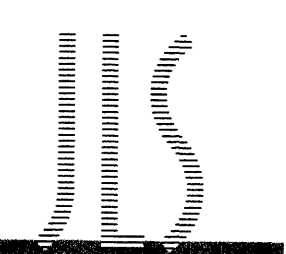
Any damage to utility lines resulting from the negligence of the abutting landowner, his agents or employees in the installation and maintenance of the landscaped area in the public right-of-way shall be the responsibility of such landowner. Any damage to utility lines resulting from the growth of plant materials which have been approved by the applicable public utility as part of a plan for landscaping on the public right-of-way, shall be the responsibility of such public utility. If a public utility disturbs a landscaped area in the public right-of-way, it shall make every reasonable effort to preserve the landscaping materials and return them to their prior location after utility work. If, nonetheless some plant materials die, it is the obligation of the abutting landowner to replace the plant materials.

Landscaping shall be installed according to the approved plan: Installation shall be completed within 60 days of the related building's occupancy.

Landscape areas in excess of 36 square feet shall be planted so as to achieve 75% Live Ground Cover at maturity.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.

WYOMING NORTH
OFFICE CENTER
7608 CORONA AVE. NE
ALBUQUERQUE NEW MEXICO



ARCHITECTS

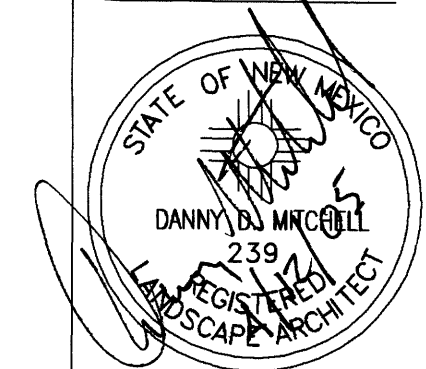
1600 rio grande nw
albuquerque
new mexico 87104
505 246 0870
fax 505 246 0437

Landscape Plan

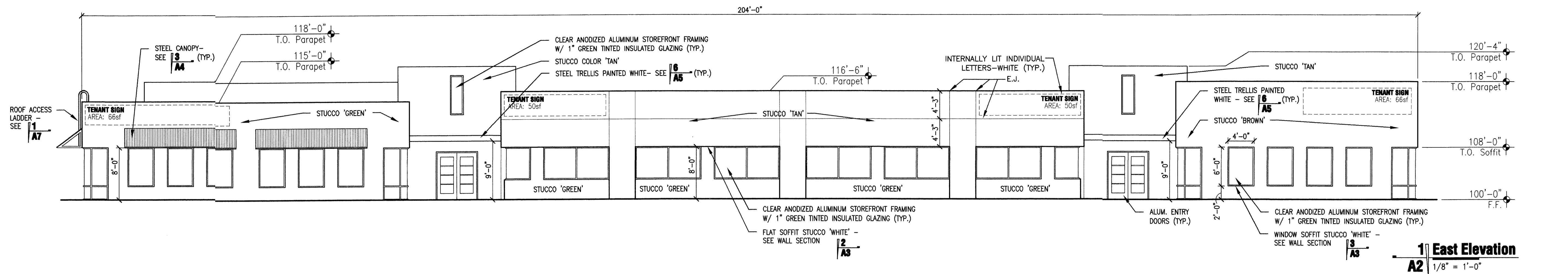
REVISIONS

LANDSCAPE ARCHITECT ENGINEER

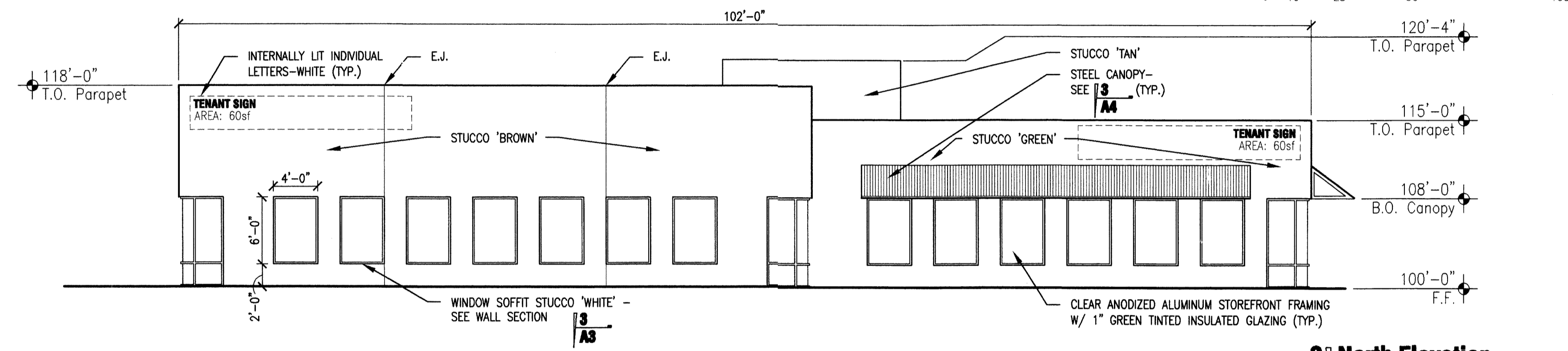
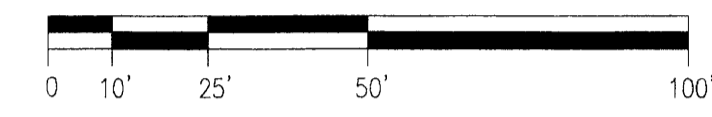
Mitchell Associates, LLC
Landscape Architect
7200 Wey Cross Ave. NW
Albuquerque, NM 87120
(505) 246-0870
danny@mitchellassociatesllc.com



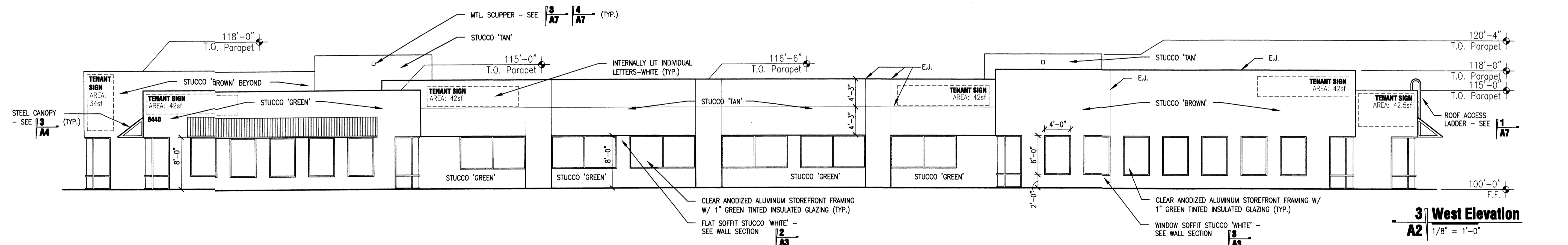
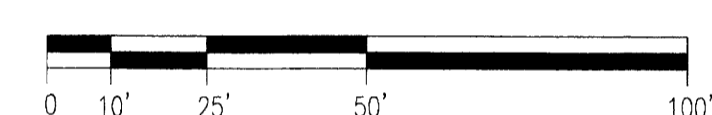
DATE 02/25/05 SHEET L1



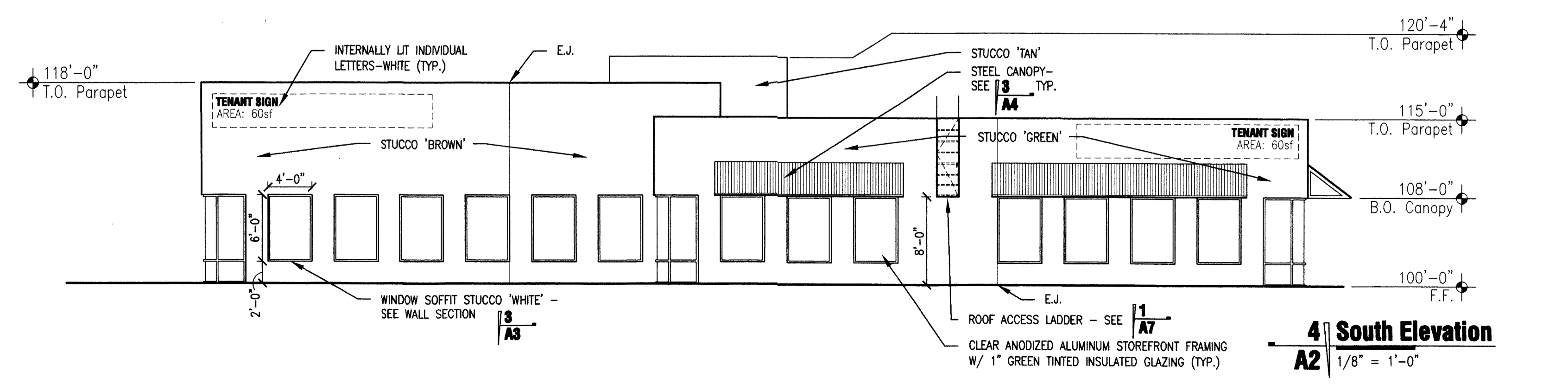
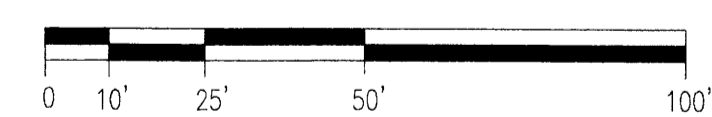
1 East Elevation
A2 1/8" = 1'-0"



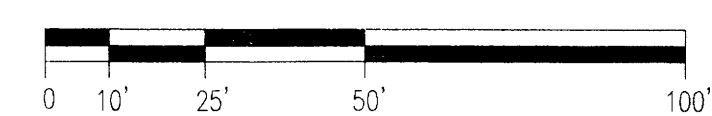
2 North Elevation
A2 1/8" = 1'-0"



3 West Elevation
A2 1/8" = 1'-0"



4 South Elevation
A2 1/8" = 1'-0"



**WYOMING NORTH
OFFICE CENTER**
7608 CORONA AVE. NE
ALBUQUERQUE NEW MEXICO



ARCHITECTS

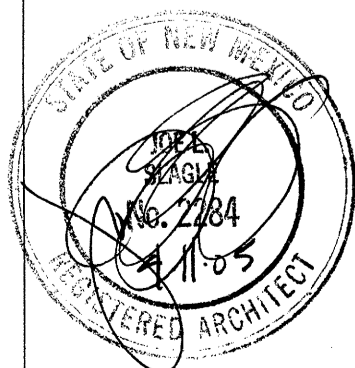
1600 RIO GRANDE NW
ALBUQUERQUE
NEW MEXICO 87104
505 246 0870
fax 505 246 0437

Elevations

REVISIONS

ARCHITECT

ENGINEER



DATE

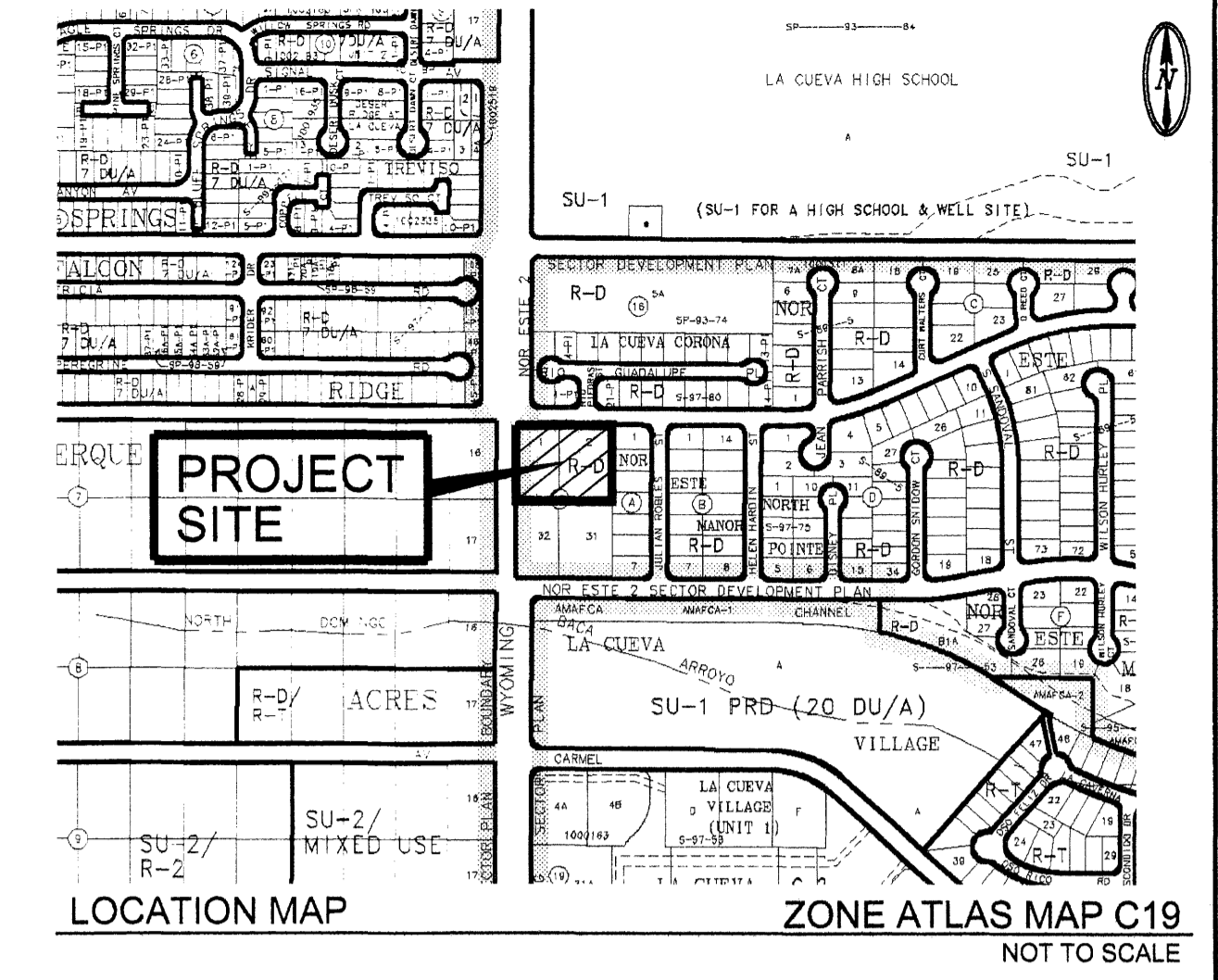
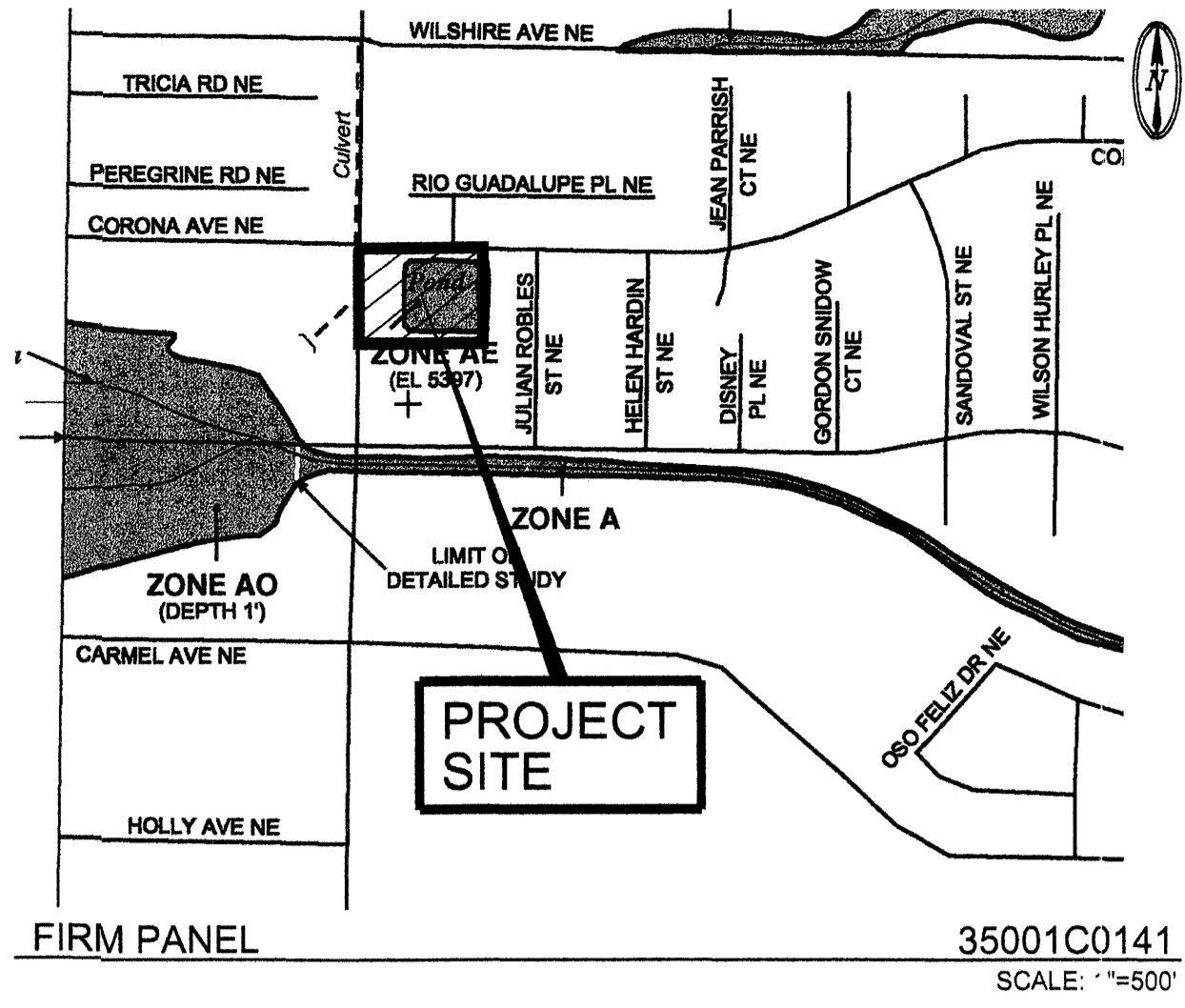
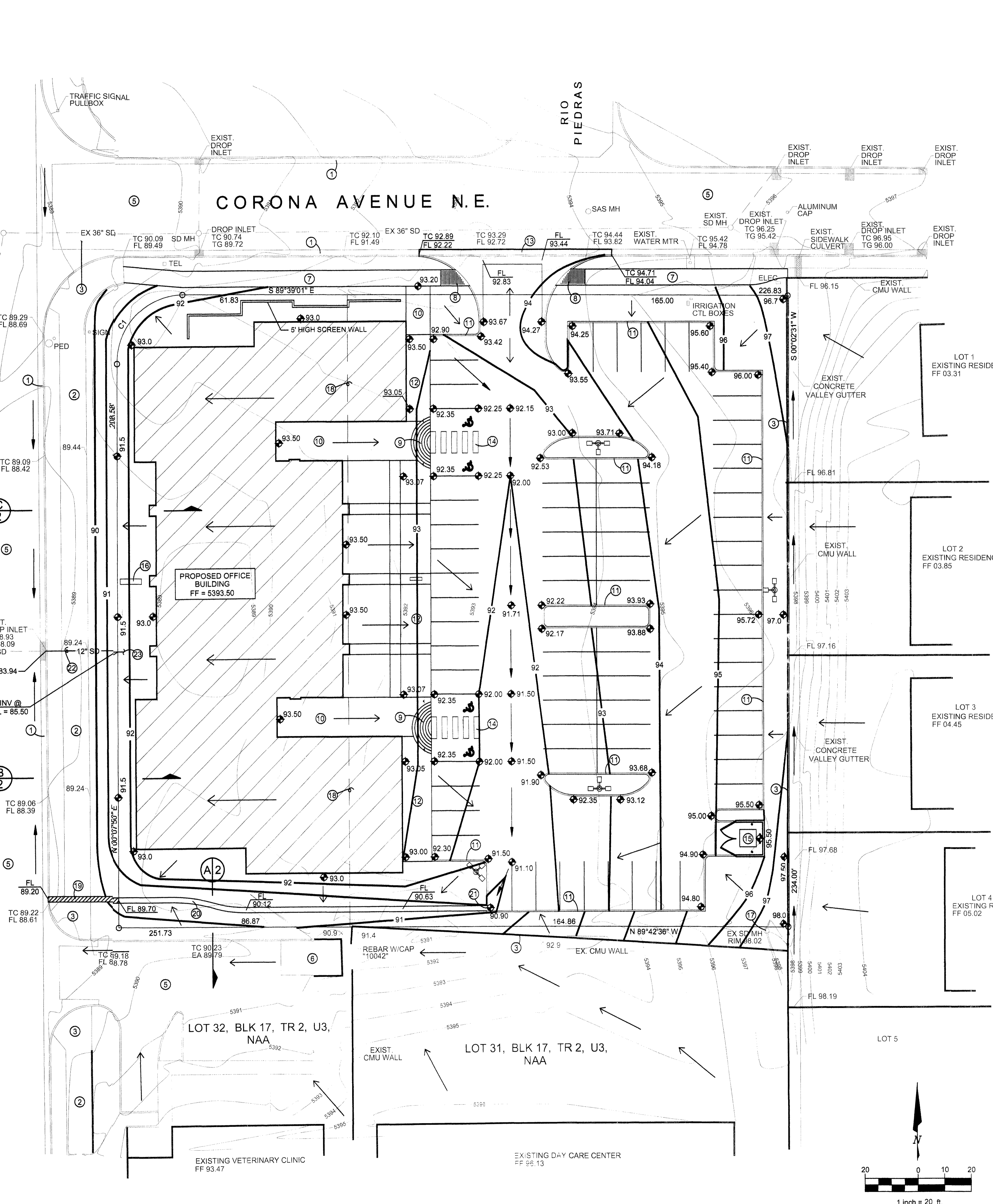
04-12-05

SHEET

A2

C1
 R = 25.00'
 D = 90°12'34"
 CB = S 43°58'19" W
 CH = 35.42'
 L = 39.36'

WYOMING BLVD. N.E.



DRAINAGE PLAN NOTES

- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
- BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
- This plan assumes more than 1.0 acre of land will be disturbed with each construction permit. A Storm Water Pollution Prevention Plan and Notice of Intent will be required.
- All spot elevations indicated on the plan are finished grade or top of pavement unless noted otherwise.

KEYED NOTES

- EXISTING STANDARD CURB & GUTTER
- EXISTING 10' SIDEWALK
- EXISTING HANDICAP RAMP
- EXISTING CMU WALL
- EXISTING ASPHALT PAVING
- EXISTING REFUSE ENCLOSURE
- NEW 6' SIDEWALK
- NEW UNI-DIRECTIONAL HANDICAP RAMP PER COA STD DWG
- NEW HANDICAP RAMP SEE DETAILS
- CONCRETE SIDEWALK
- NEW 6" CONCRETE CURB
- NEW TURN DOWN SIDEWALK
- REM & DISPOSED APPROX 75 LF EXIST CURB & GUTTER CONSTRUCT CONC VALLEY GUTTER PER STA STD DWG
- PROVIDE HANDICAP PARKING STRIPING AND SIGNAGE PER CODE
- NEW REFUSE ENCLOSURE
- MONUMENT SIGN
- ABANDONED STORM MANHOLE TO REMAIN
- LOT LINE TO BE ELIMINATED BY RE-PLAT
- CONSTRUCT 24" SW CULVERT PER COA STD DWG 2236
- CONSTRUCT CONCRETE CHANNEL
- PROVIDE 24" CURB BLOCKOUT
- CONSTRUCT 12" SD. CONNECT TO EXISTING INLET PER COA STD DWG 2237
- CONNECT STORM DRAIN TO ROOF DRAINAGE SYSTEM - SEE ROOF PLAN

LEGEND

- 02.5 X EXISTING SPOT ELEVATION
- 01.5 • PROPOSED SPOT ELEVATION
- ← DIRECTION OF FLOW
- DRAINAGE SWALE
- PROPOSED CONCRETE
- ▨ RIP-RAP ROCK
- 5860 — EXISTING CONTOUR
- 60 — PROPOSED CONTOUR
- PROPOSED SITE LIGHTING

PROPERTY ADDRESS
 7608 CORONA AVENUE NE
 ALBUQUERQUE, NM 87112

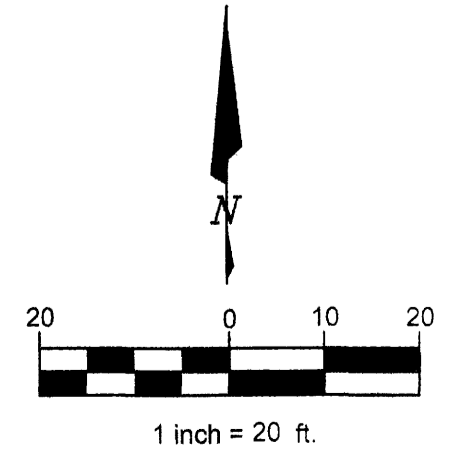
LEGAL DESCRIPTION
 PORTION OF LOT 1 & 2 BLK 17 TR 2 UNIT 3 NAA
 ALBUQUERQUE, NEW MEXICO

PROJECT BENCHMARK
 BENCH MARK: ACS 1 3/4" ALUMINUM DISK STAMPED
 "ACS BM 16-D19"
 ELEVATION = 5391.40

SURVEY
 BOUNDARY PROVIDED BY HARRIS SURVEYING
 TOPOGRAPHIC MAPPING BY BLI

**DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY
 NOTICE TO CONTRACTOR**

- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", 1988, THROUGH AMENDMENT NO. 7.
- THREE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL CONSTRUCTIONS SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



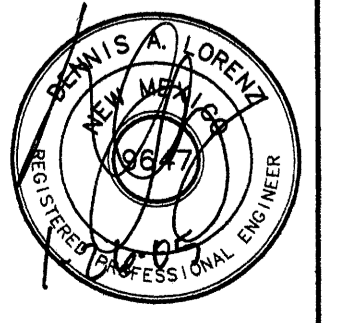
APPROVALS
 INSPECTOR _____ DATE _____

**WYOMING NORTH
 OFFICE CENTER**
 7608 CORONA AVE. NE
 ALBUQUERQUE NEW MEXICO

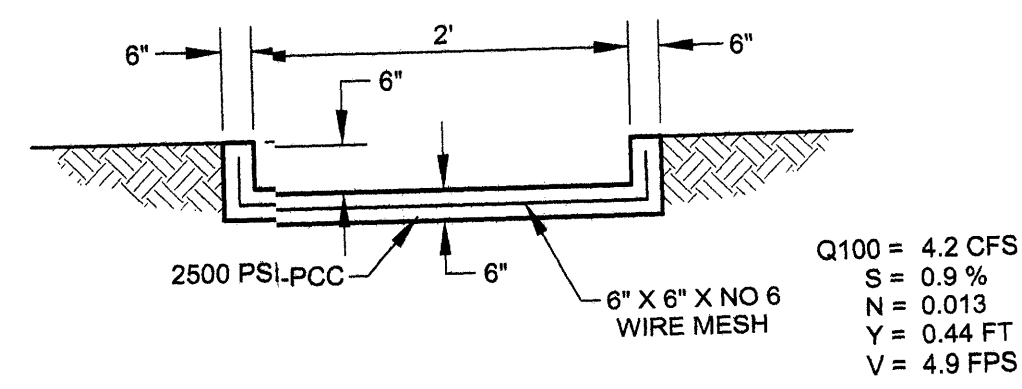
HARRIS ARCHITECTS
 1600 rio grande nw
 albuquerque
 new mexico 87104
 505 246 0870
 fax 505 246 0437

**GRADING AND
 DRAINAGE PLAN**
 REVISIONS

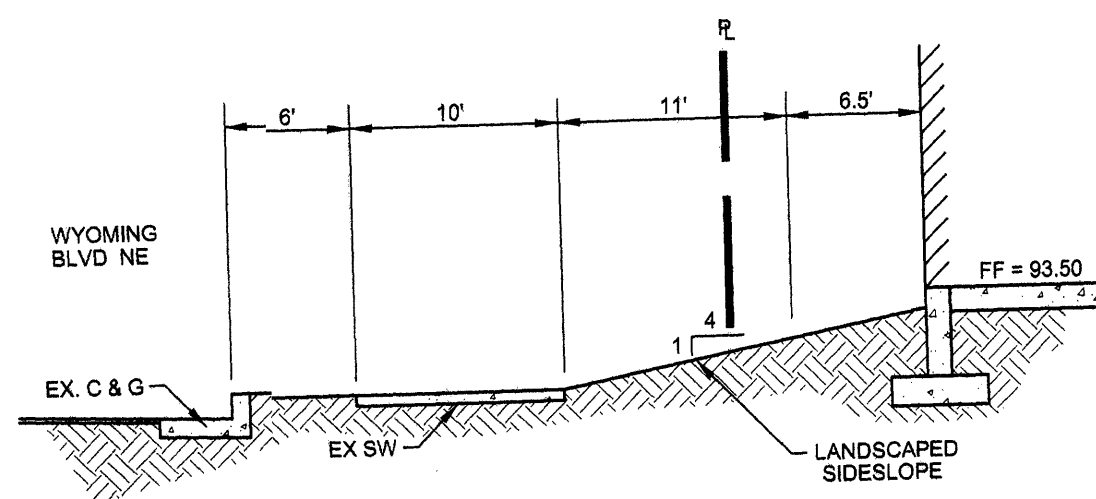
ARCHITECT ENGINEER
 DATE 01-24-05 SHEET 1 OF 2



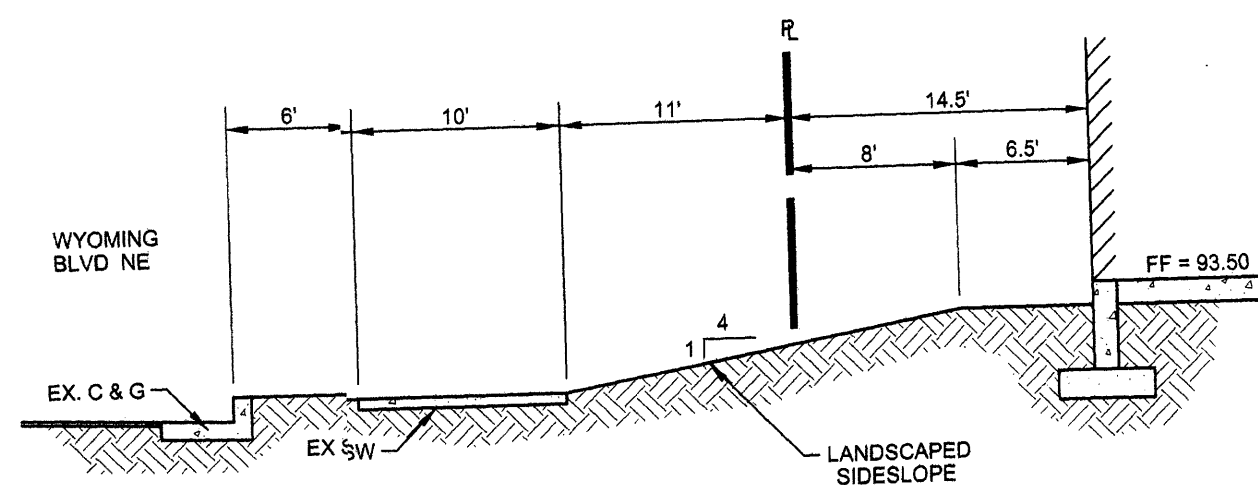
**BRASHER & LORENZ
 CONSULTING ENGINEERS**
 2201 San Pedro NE Building 1 Suite 1200
 Albuquerque, New Mexico 87110
 Ph: 505-888-6088 Fax: 505-888-6188



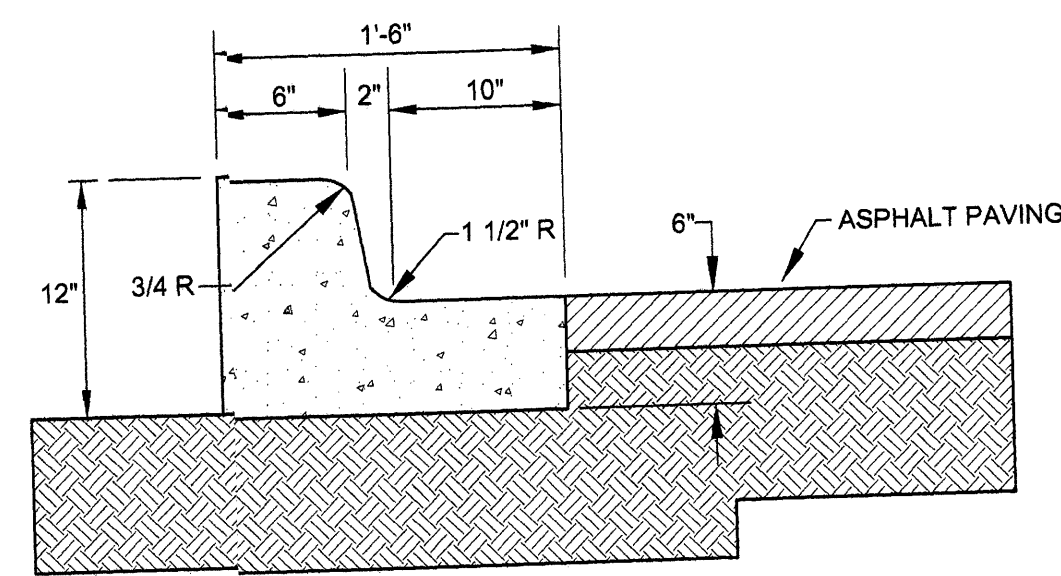
CHANNEL SECTION
NTS



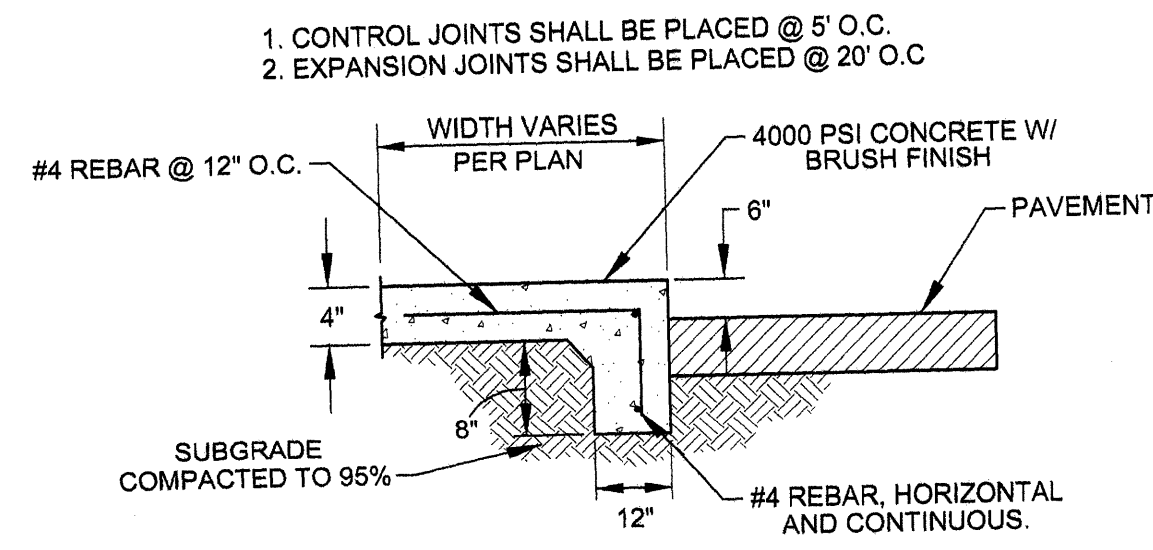
B
SCALE: 1" = 10'



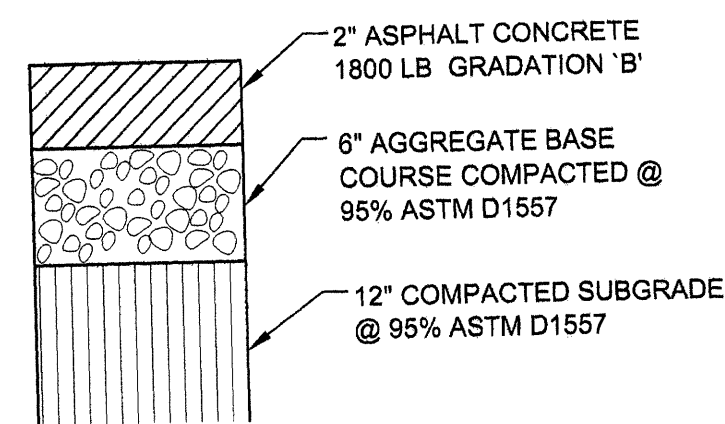
C
SCALE: 1" = 10'



6" CURB & GUTTER DETAIL
NTS



E
NTS



F
NTS

1. CONTROL JOINTS SHALL BE PLACED @ 5' O.C.
2. EXPANSION JOINTS SHALL BE PLACED @ 20' O.C.

INTRODUCTION

Pursuant to the Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Grading and Drainage Plan outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of the construction of Wyoming North Office Center, a 16,000 square foot office building. The subject site is located on Wyoming Boulevard NE at Corona Avenue NE, and is presently undeveloped. This plan is presented to provide drainage management criteria and construction detail to support building permit application.

EXISTING CONDITIONS

The project site is approximately 1.35-acres in size and is located on Wyoming Blvd NE, at Corona Ave NE. The property is particularly described as a Portion of Lot 1, and Lot 2, Block 17, Tract 2, Unit 3, North Albuquerque Acres. The site is bounded by Corona Avenue on the north, Wyoming Blvd on the west and developed properties on the east and south. Site topography generally slopes from east to west. All on-site runoff drains to Wyoming Boulevard where existing public storm drainage improvements convey all runoff to the existing Wyoming storm sewer that drains to the North Domingo Baca Channel. No off-site flows impact the site.

As shown by the attached FIRM Panel, this site is currently mapped as a Flood Hazard Zone, Zone AE, Depth 5337 MSLD. The mapped floodplain is a remnant of a community detention pond that was constructed for Nor Este Manor Subdivision in lieu of downstream improvements. With the recent construction of the Wyoming Boulevard Widening Project and associated storm drainage improvements, the pond was abandoned. The abandoned pond was later filled in by the Owner in accordance with an approved Grading and Drainage Plan and Storm Water Pollution Prevention Plan. Existing site improvements consist of silt fencing and a temporary sedimentation pond as recommended by the Storm Water Pollution Prevention Plan.

PROPOSED CONDITIONS

As shown by the Plan, the project consists of the construction of the Wyoming North Office Center. The Plan shows the elevations and detail necessary to construct the recommended improvements. Flow arrows give the direction of drainage flows and the project hydrology is tabulated for both existing and proposed conditions.

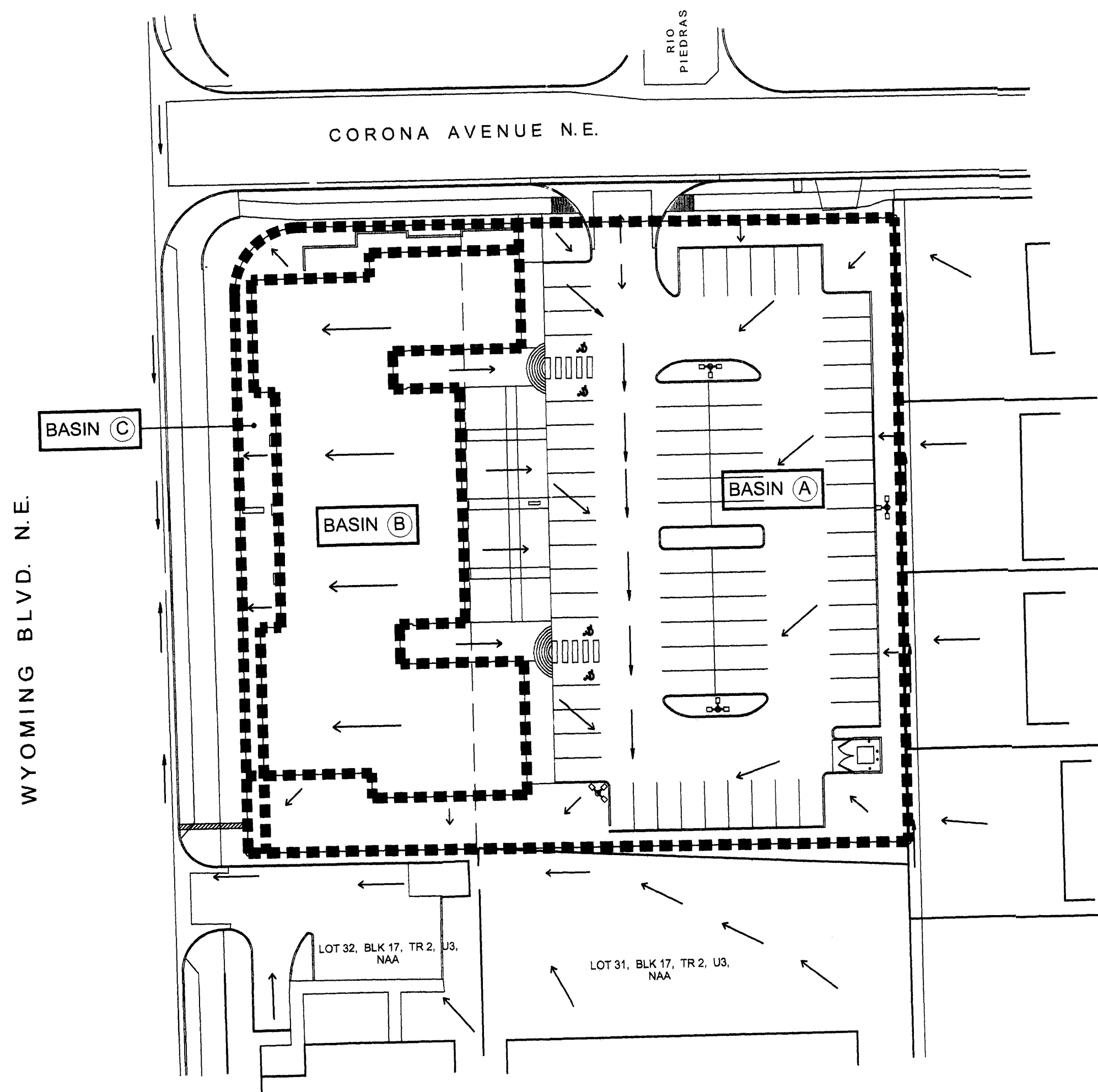
All on-site runoff will be managed by site improvements recommended by this Plan. The site is divided into 3 on-site drainage basins (See Sheet 1). Basin "A" represents the parking lot and pedestrian areas located east of the building that will drain around the south side of the building to Wyoming Boulevard through a sidewalk culvert. Basin "B" represents the building, which will drain by a roof drainage system connected to the existing drop inlet located in Wyoming Boulevard. Basin "C" represents portions of the site located north and west of the building that will sheet flow into Wyoming Boulevard.

EROSION CONTROL

Since the disturbed area is determined to be more than 1.0-acre a Storm Water Pollution Prevention Plan and Notice of Intent are required prior to construction. Erosion control improvements are to be made per the active Storm Water Pollution Prevention Plan managed by the Owner.

CALCULATIONS

Calculations are provided which define the 100-year/6 hour design storm falling with the project area under existing and proposed condition. Hydrology is per Section 22.2, Part A, DPM, Vol 2' updated July 1997.



ON-SITE DRAINAGE BASIN MAP
SCALE: 1" = 40'

HYDROLOGY - AHYMO								
Precipitation Zone 3		P360 = 2.60 in						
Basin	Basin	Land Treatment (acre)				Ew	V100	Q100
area (Ac)		A	B	C	D	(in)	(af)	(cfs)
Existing Conditions								
SITE	1.35	0	0	1.35	0	1.29	0.1451	4.7
Developed Conditions								
SITE	1.35	0.00	0.12	0.14	1.09	2.12	0.2372	6.3
A	0.91	0.00	0.09	0.10	0.72	2.10	0.1593	4.2
B	0.37	0.00	0.00	0.00	0.37	2.36	0.0728	1.9
C	0.07	0.00	0.03	0.04	0.00	0.88	0.0051	0.2

WYOMING NORTH OFFICE CENTER
7608 CORONA AVE. NE
ALBUQUERQUE NEW MEXICO

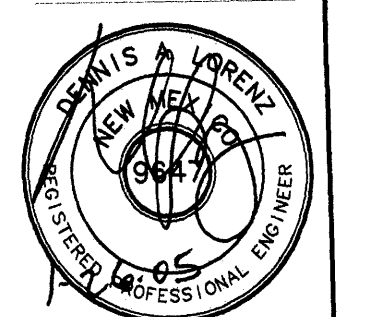
ARCHITECTS

1600 rio grande nw
albuquerque
new mexico 87104
505 246 0870
fax 505 246 0437

DETAILS

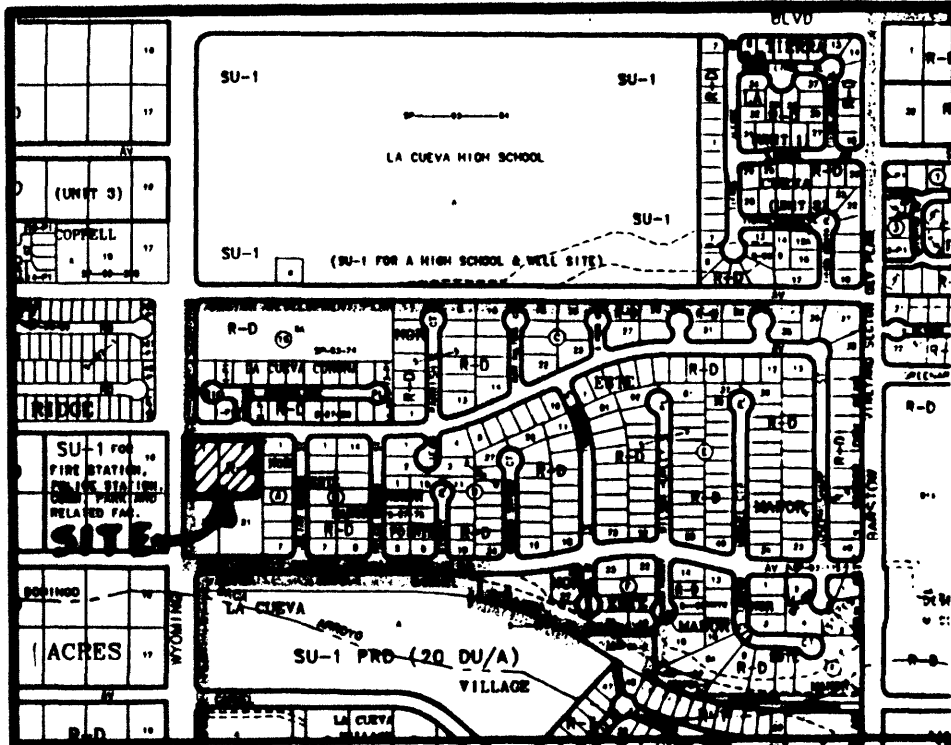
REVISIONS

ARCHITECT ENGINEER



BRASHER & LORENZ CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188

DATE SHEET
01-05-05 2 OF 2



VICINITY MAP No. C-19

LEGAL DESCRIPTION

A CERTAIN TRACT OF LAND BEING LOT NUMBERED TWO (2) AND THE REMAINING PORTION OF LOT NUMBERED ONE (1), (PART OF LOT 1 BEING DEDICATED TO THE CITY OF ALBUQUERQUE BY WARRANTY DEED FILED ON JUNE 6, 2003 BY DOCUMENT No. 2003097024) IN BLOCK NUMBERED SEVENTEEN (17), TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931 IN VOLUME D1, FOLIO 20, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT, BEING A POINT ON THE EASTERLY LINE OF WYOMING BOULEVARD, WHENCE CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT "HEAVEN" HAVING NEW MEXICO STATE PLANE COORDINATES OF (CENTRAL ZONE, NAD 1927) $x=407,051.31$ AND $y=1,518,737.03$ BEARS S. 17 deg. 04' 18" W., A DISTANCE OF 1998.59 FEET, RUNNING; THENCE N. 00 deg. 07' 50" E., ALONG THE EASTERLY LINE OF WYOMING BOULEVARD, A DISTANCE OF 208.62 FEET TO A POINT OF CURVE; THENCE 39.36 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 25.00 FEET AND A CHORD BEARING AND DISTANCE OF N. 43 deg. 58' 19" E., 35.42 FEET TO A POINT ON THE SOUTHERLY LINE OF CORONA AVENUE; THENCE S. 89 deg. 39' 01" E., ALONG THE SOUTHERLY LINE OF CORONA AVENUE, A DISTANCE OF 226.83 FEET TO THE NORTHEAST CORNER; THENCE S. 00 deg. 02' 31" W., A DISTANCE OF 234.00 FEET TO THE SOUTHWEST CORNER; THENCE N. 89 deg. 42' 36" W., A DISTANCE OF 251.73 FEET TO THE SOUTHWEST CORNER AND PLACE OF BEGINNING CONTAINING 1.3486 ACRES MORE OR LESS.



**PLAT OF
LOT 1-A
BLOCK 17
TRACT 2, UNIT 3
NORTH ALBUQUERQUE ACRES**

WITHIN
ELENA GALLEGOS GRANT
PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2005

PROJECT NUMBER: 1004090
APPLICATION NUMBER: 05 DRB 00557

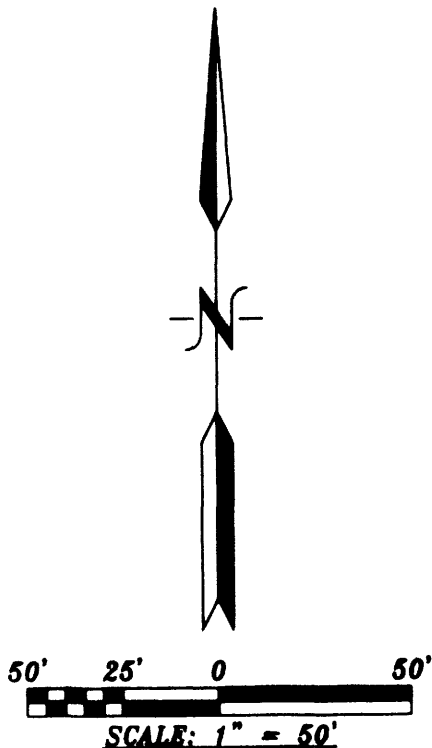
UTILITY APPROVALS:

<u>Leah G. Malt</u>	4-12-05
PNM ELECTRIC SERVICES	DATE
<u>Leah G. Malt</u>	4-12-05
PNM GAS SERVICES	DATE
<u>Robert P. Ramsey</u>	4-15-05
QUEST TELECOMMUNICATIONS	DATE
<u>James Barber</u>	4-12-05
COMPAST	DATE
N.A.	
<u>4/13/05</u>	DATE
NEW MEXICO UTILITIES	DATE

CITY APPROVALS:

<u>Theresa J. Hat</u>	3-16-05
CITY SURVEYOR	DATE
N.A.	
<u>4/13/05</u>	DATE
*REAL PROPERTY DIVISION (CONDITIONAL)	DATE
N.A.	
<u>4/13/05</u>	DATE
**ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
<u>4-13-05</u>	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
<u>Roger A. Khan</u>	4-13-05
UTILITIES DEVELOPMENT	DATE
<u>Christine Sandoval</u>	4/13/05
PARKS AND RECREATION DEPARTMENT	DATE
<u>Bradley L. Biker</u>	4/13/05
AMAFCA	DATE
<u>Bradley L. Biker</u>	4/13/05
CITY ENGINEER	DATE
<u>Sheran Watson</u>	4/13/05
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

CURVE DATA
C1
R = 25.00'
D = 90°12'34"
CB = N 43°58'19" E
CH = 35.42'
L = 39.36'

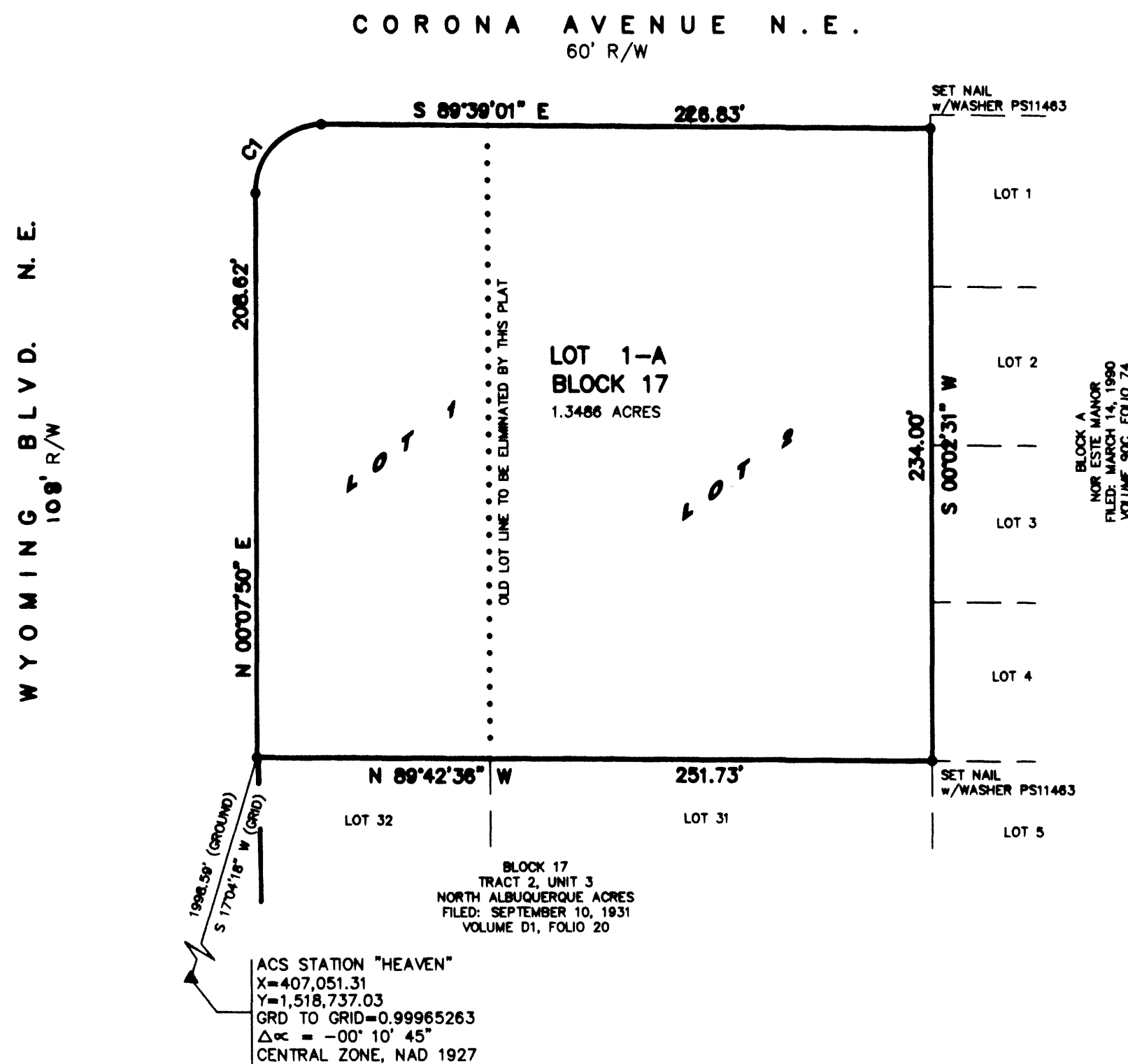


PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO COMBINE LOTS 1 AND 2 INTO ONE (1) LOT AND GRANT ANY EASEMENTS AS SHOWN.

GENERAL NOTES:

- UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- TOTAL AREA OF PROPERTY: 1.3486 ACRES.
- TALOS LOG NO. 2004124361
- BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
- DISTANCES ARE GROUND, BEARINGS ARE GRID.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- DATE OF FIELD WORK: DECEMBER, 2004
- CURRENT ZONING: R-D



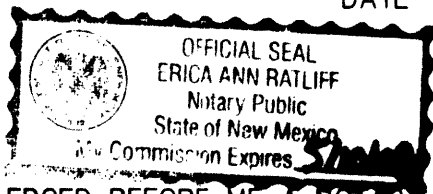
ACS STATION "HEAVEN"
X=407,051.31
Y=1,518,737.03
GRD TO GRID=-0.99965263
 $\Delta\alpha = -00^{\circ} 10' 45''$
CENTRAL ZONE, NAD 1927

FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED.

IN FEE SIMPLE James P. Hakeem 1-31-05
DATE

ACKNOWLEDGMENT
STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC

THIS 31st DAY OF January 2005

BY: James P. Hakeem
OWNERS NAME

MY COMMISSION EXPIRES: 3/31/08 BY: Erica Ann Ratliff
NOTARY PUBLIC

SURVEYORS CERTIFICATE:

STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

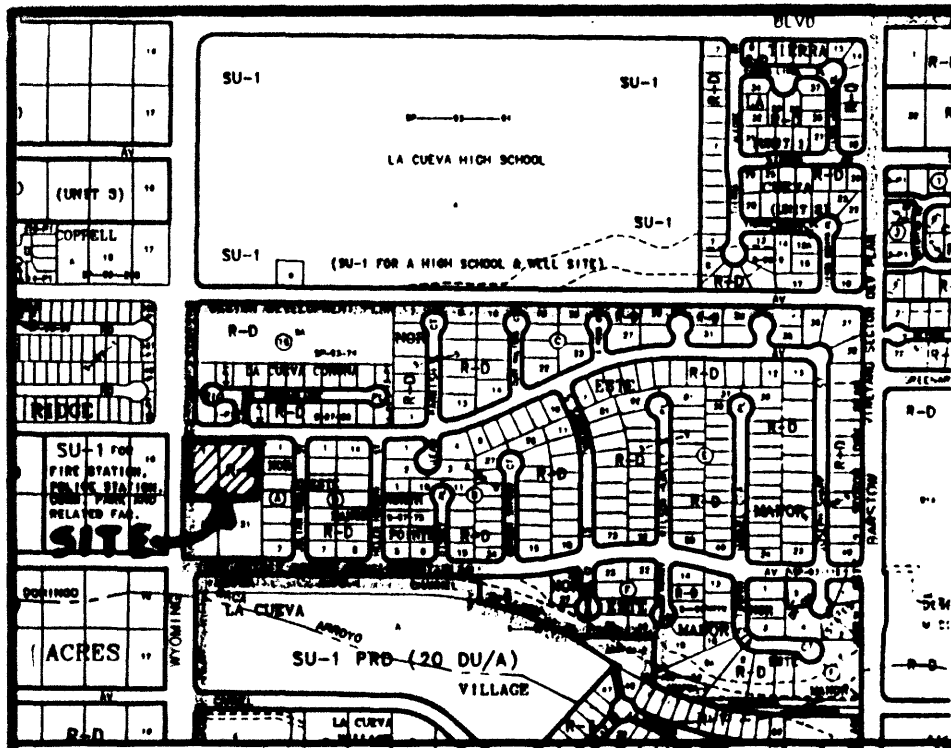
GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,
THIS 28th DAY OF January, 2005.

Anthony L. Harris
ANTHONY L. HARRIS, P.S. # 11463



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC# 1019069 273 195 4092, 1019069 286 195 4093

PROPERTY OWNER OF RECORD: Hakeem James P. & Jacklyn
BERNALILLO CO. TREASURER'S OFFICE: Bernadette Santhillone
4-18-05



VICINITY MAP No. C-19

LEGAL DESCRIPTION

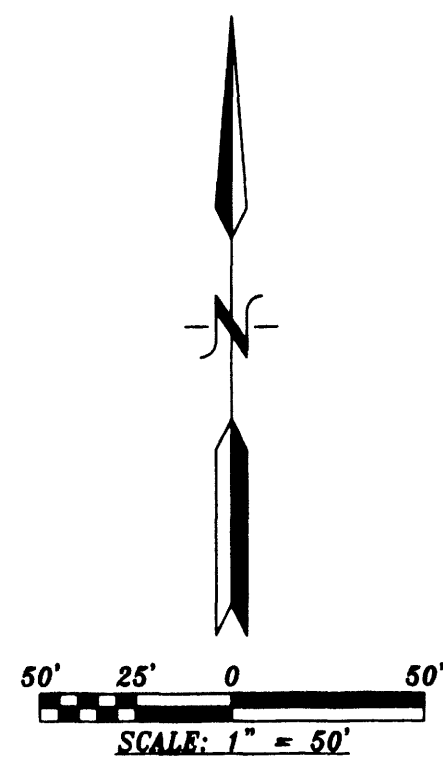
A CERTAIN TRACT OF LAND BEING LOT NUMBERED TWO (2) AND THE REMAINING PORTION OF LOT NUMBERED ONE (1), (PART OF LOT 1 BEING DEDICATED TO THE CITY OF ALBUQUERQUE BY WARRANTY DEED FILED ON JUNE 6, 2003 BY DOCUMENT No. 2003097024) IN BLOCK NUMBERED SEVENTEEN (17), TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931 IN VOLUME D1, FOLIO 20, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT, BEING A POINT ON THE EASTERLY LINE OF WYOMING BOULEVARD, WHENCE CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT "HEAVEN" HAVING NEW MEXICO STATE PLANE COORDINATES OF (CENTRAL ZONE, NAD 1927) x=407,051.31 AND y=1,518,737.03 BEARS S. 17 deg. 04' 18" W., A DISTANCE OF 1998.59 FEET, RUNNING;
 THENCE N. 00 deg. 07' 50" E., ALONG THE EASTERLY LINE OF WYOMING BOULEVARD, A DISTANCE OF 208.62 FEET TO A POINT OF CURVE;
 THENCE 39.36 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 25.00 FEET AND A CHORD BEARING AND DISTANCE OF N. 43 deg. 58' 19" E., 35.42 FEET TO A POINT ON THE SOUTHERLY LINE OF CORONA AVENUE;
 THENCE S. 89 deg. 39' 01" E., ALONG THE SOUTHERLY LINE OF CORONA AVENUE, A DISTANCE OF 226.83 FEET TO THE NORTHEAST CORNER;
 THENCE S. 00 deg. 02' 31" W., A DISTANCE OF 234.00 FEET TO THE SOUTHWEST CORNER;
 THENCE N. 89 deg. 42' 36" W., A DISTANCE OF 251.73 FEET TO THE SOUTHWEST CORNER AND PLACE OF BEGINNING CONTAINING 1.3486 ACRES MORE OR LESS.

**PLAT OF
 LOT 1-A
 BLOCK 17
 TRACT 2, UNIT 3
 NORTH ALBUQUERQUE ACRES**

WITHIN
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2005

FINAL
 APPROVED BY DRB
 ON 4/13/05

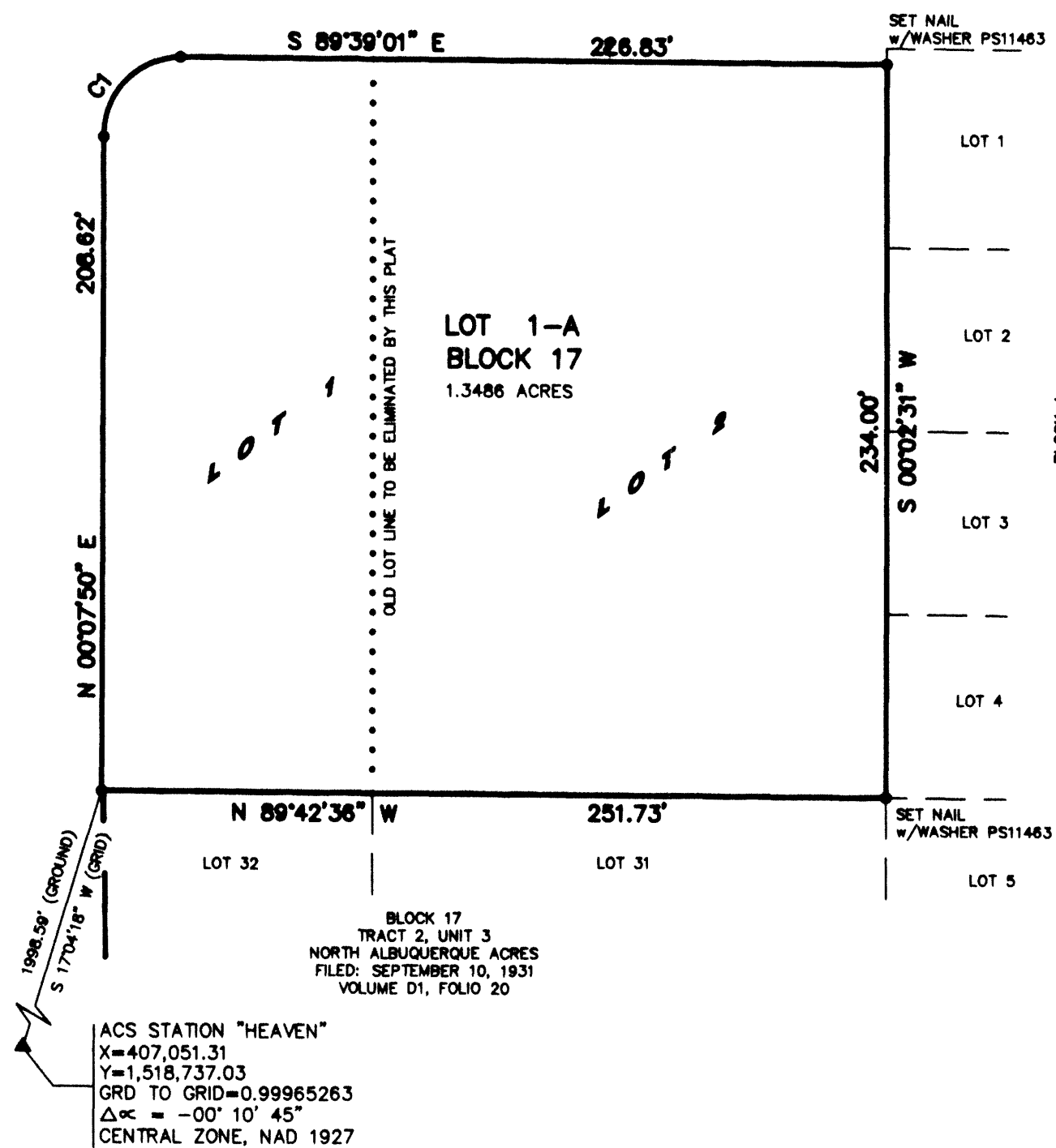
PROJECT NUMBER: _____	DATE _____
APPLICATION NUMBER: _____	DATE _____
UTILITY APPROVALS:	
PNM ELECTRIC SERVICES _____	DATE _____
PNM GAS SERVICES _____	DATE _____
QWEST TELECOMMUNICATIONS _____	DATE _____
COMCAST _____	DATE _____
NEW MEXICO UTILITIES _____	DATE _____
CITY APPROVALS:	
CITY SURVEYOR <i>[Signature]</i>	DATE 3-16-05
*REAL PROPERTY DIVISION (CONDITIONAL) _____	DATE _____
**ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) _____	DATE _____
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____	DATE _____
UTILITIES DEVELOPMENT _____	DATE _____
PARKS AND RECREATION DEPARTMENT _____	DATE _____
AMAFCA _____	DATE _____
CITY ENGINEER _____	DATE _____
DRB CHAIRPERSON, PLANNING DEPARTMENT _____	DATE _____



CURVE DATA
 C1
 R = 25.00'
 D = 90°12'34"
 CB = N 43°58'19" E
 CH = 35.42'
 L = 39.36'

WYOMING BLVD. N.E.
 108' R/W

CORONA AVENUE N.E.
 60' R/W



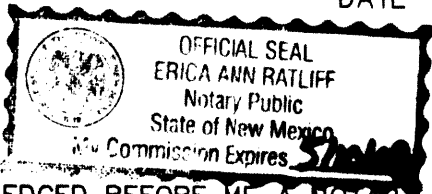
PURPOSE OF PLAT:
 THE PURPOSE OF THIS PLAT IS TO COMBINE LOTS 1 AND 2 INTO ONE (1) LOT AND GRANT ANY EASEMENTS AS SHOWN.

- GENERAL NOTES:**
- UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
 - THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
 - TOTAL AREA OF PROPERTY: 1.3486 ACRES.
 - TALOS LOG NO. 2004124361
 - BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
 - DISTANCES ARE GROUND, BEARINGS ARE GRID.
 - BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
 - DATE OF FIELD WORK: DECEMBER, 2004
 - CURRENT ZONING: R-D

FREE CONSENT
 THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED.

IN FEE SIMPLE *[Signature]* 1-31-05
 JAMES P. HAKEEM DATE

ACKNOWLEDGMENT
 STATE OF NEW MEXICO) S.S.
 COUNTY OF BERNALILLO)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS 31st DAY OF January, 2005
 BY: James P. Hakeem
 OWNERS NAME
 MY COMMISSION EXPIRES: 5/1/08 BY: Erica Ann Ratliff
 NOTARY PUBLIC



SURVEYORS CERTIFICATE:
 STATE OF NEW MEXICO) S.S.
 COUNTY OF BERNALILLO)
 I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.
 GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO, THIS 28th DAY OF January, 2005.
[Signature]
 ANTHONY L. HARRIS, P.S. # 11463
 HARRIS SURVEYING, INC. PHONE: (505) 889-8058
 4112-D GUNNAGE STREET N.E. ALBUQUERQUE, NEW MEXICO 87110 FAX: (505) 889-8645

04-2498.dwg(JAN-05)
 THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC# _____
 PROPERTY OWNER OF RECORD: _____
 BERNALILLO CO. TREASURER'S OFFICE: _____