

Coors Central Shopping Center

NWC of Central Ave. West and North Coors Road
Albuquerque, New Mexico

PROJECT: 1004095
DATE: 7-22-15
APP: 15-70248 (SAP)

OFF-STREET PARKING REQUIREMENTS

BUILDING	AREA	PARKING SPACES REQUIRED
A. SMITH'S SUPERMARKET	75,000 S.F.	375
B. FAMILY DOLLAR	9,000 S.F.	45
C. RETAIL SUITES C-1 THRU C-14	16,575 S.F.	83
D. FALLAS PAREDES CLOTHING	27,000 S.F.	135
E. RETAIL SUITES E-1 THRU E-11	20,000 S.F.	100
F-1. DION'S	5700 S.F.	50
L-1. TRACT A-1A-3-A	10,000 S.F. MAX	50
J. TRACT A-1A-3-B	20,000 S.F. MAX	100
K1. SELF STORAGE	16,000 S.F.	4 FOR OFFICE/ MANAGER
K2. SELF STORAGE	18,700 S.F.	
L-1. FREDDY'S STEAKBURGERS	3,450 S.F.	27
TOTAL BUILDING AREA	221,425 S.F.	969
TOTAL PARKING REQUIRED LESS 15% TRANSIT ROUTE AND SHELTER REDUCTION		824
TOTAL SPACES REQUIRED		824
TOTAL PARKING PROVIDED		842
PARKING SPACES OVER REQUIRED		18
HANDICAPPED SPACES REQUIRED		17
HANDICAPPED SPACES PROVIDED		23
BICYCLE SPACES REQUIRED		42
BICYCLE SPACES PROVIDED		47

PROJECT NUMBER: 1004095
APPLICATION NUMBER: 05 PRB 00976

Is an Infrastructure List required? Yes No
If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

[Signature] 6/2/05
Traffic/Engineering, Transportation Division Date

[Signature] 6/16/05
Utilities Development Date

[Signature] 6/16/05
Parks and Recreation Department Date

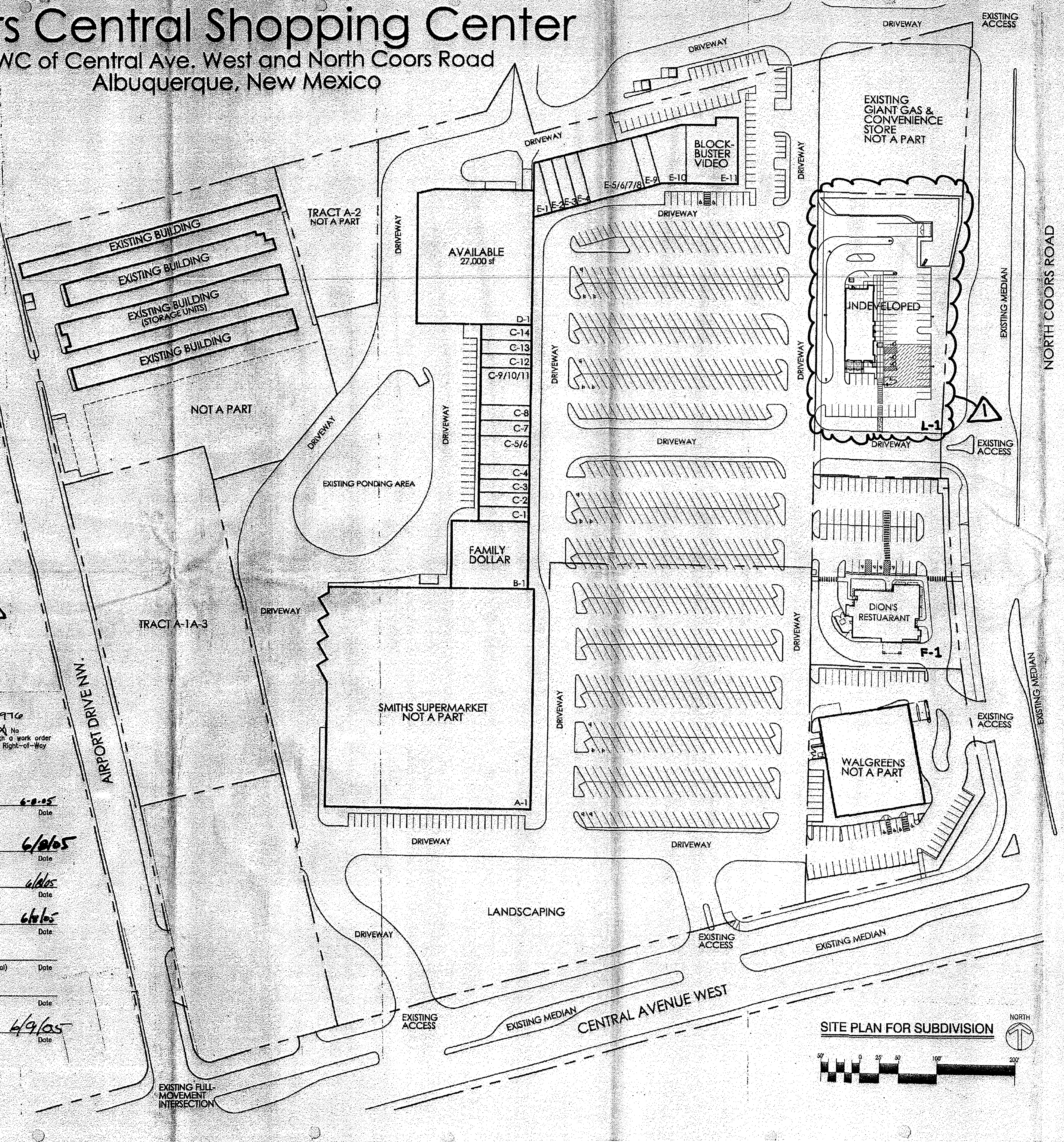
[Signature] 6/16/05
City Engineer Date

N/A
* Environmental Health Department (conditional) Date

N/A
Solid Waste Management Date

[Signature] 6/9/05
DRB Chairperson, Planning Department Date

* Environmental Health, if necessary



RETAIL ROSTER

A-1	SMITH'S SUPERMARKET
B-1	FAMILY DOLLAR
C-1	AMERICAN'S CASH EXPRESS
C-2	SUN LOAN COMPANY
C-3	STYLE AMERICA
C-4	SALLY BEAUTY SUPPLY
C-5/6	GAMESTOP
C-7	STATE FARM INSURANCE
C-8	METRO PCS
C-9/10/11	PREMIER HOME FURNISHINGS
C-12	CHINA CASA RESTAURANT
C-13	BEAUTY NAILS
C-14	OLD SCHOOL OF DRIVING
D-1	FALLAS PAREDES CLOTHING
E-1/2	ONE MAIN FINANCIAL
E-3	AVAILABLE
E-4	H&R BLOCK
E-5/6/7/8	ROUTE 66 CHILDRENS DENTISTRY
E-9	PIZZA HUT
E-10	T&S VAPORS
E-11	EL TACO TOTE
F-1	DION'S PIZZA
L-1	FREDDY'S STEAKBURGERS

*ROSTER LIST UPDATED THROUGH 6/15/2015
REVISD 6/15/15
RECONFIGURE D-1 TRACT POND FOR PAD SITE

- CONDITIONS:
1. SITE DEVELOPMENT PLANS MUST BE SUBMITTED TO THE ENVIRONMENTAL PLANNING COMMISSION.
 2. NO FREE STANDING SIGNS ARE ALLOWED ON THE PAD SITES
 3. WHERE FREE STANDING SIGNS ARE ALLOWED, MAXIMUM SIGN SIZE SHALL BE 75 SQUARE FEET. WHERE THERE ARE OVER 12 ACRES IN A DEVELOPMENT (MEANING A PREMISE OR AN AREA CONTROLLED BY A SHOPPING CENTER PLAN OR SITE DEVELOPMENT PLAN, WHICHEVER IS LARGER IF MORE THAN ONE APPLIES) A SECOND FREE STANDING SIGN IS PERMITTED ON ANY STREET FRONTAGE LONGER THAN 1500 LINEAL FEET.

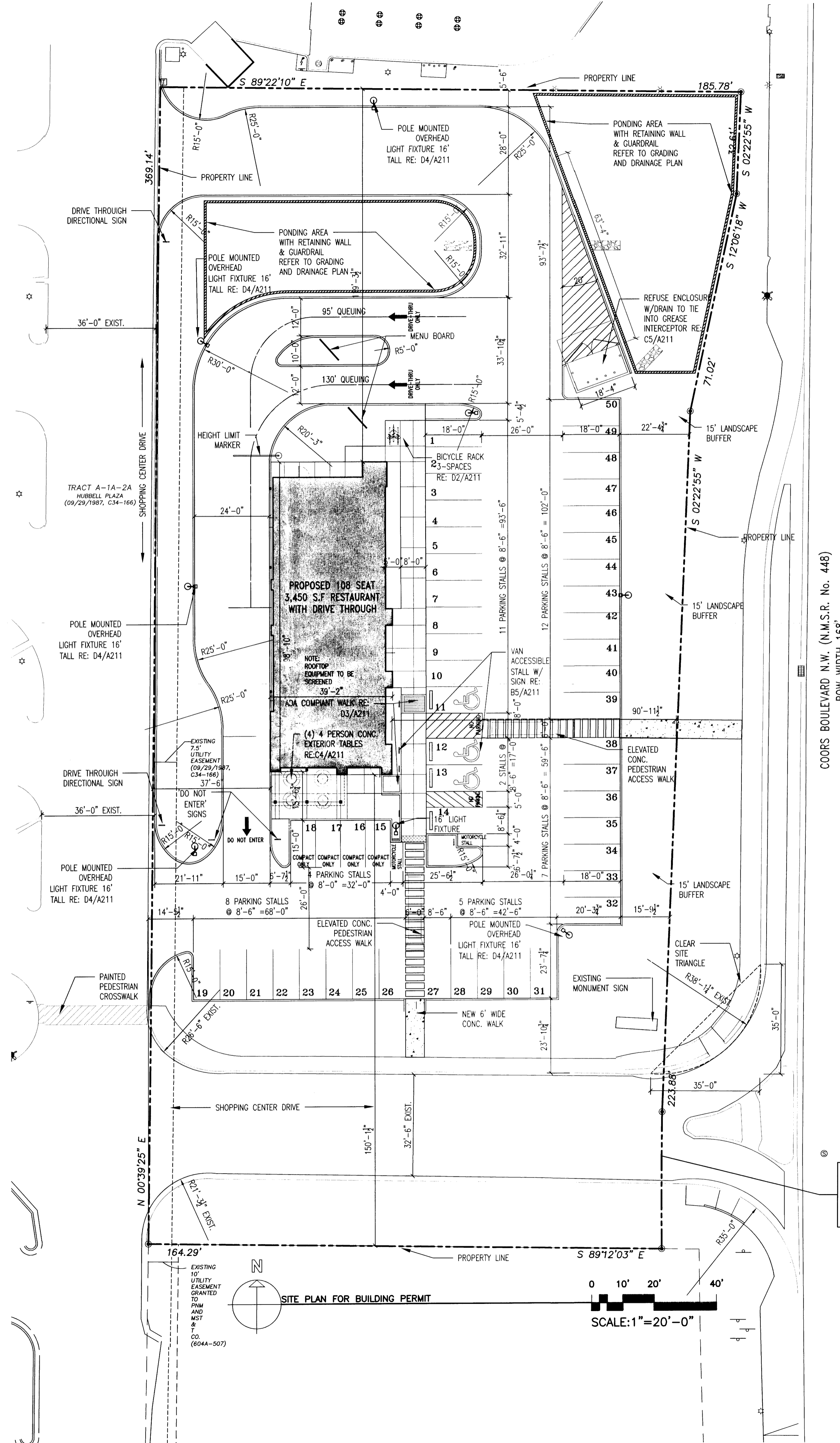
ADMINISTRATIVE
FILE # 100271
PROJECT 1004095
SITE PLAN FOR SUBDIVISION AMENDMENT TO RECONFIGURE C-1 + UPDATE PARKING QUANTITIES
6-18-2015
APPROVED BY DATE

ALEXANDER HARRISON ARCHITECT
8605 Mountain Road NE, Albuquerque, NM 87112, 299-6322
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proj: 501
file: PROJECT_DION'S/DION'S C & C
date: APR 5, 2005
revisions: May 27, 2005 - EPC changes

Dion's Restaurant
Coors & Central
Albuquerque, New Mexico

Site Plan for Subdivision sheet number
1
of 5 sheets



COORS BOULEVARD N.W. (N.M.S.R. No. 448)
ROW WIDTH 168'

A=115'02"
R=2000.00'
L=43.66'
CH=S 00°13'42" W
C=43.66'

SCALE: 1"=20'-0"

SITE PLAN FOR BUILDING PERMIT

ADA SITE NOTES

SIGNAGE (NMBC 1110.1 AND ANSI 502.7)

- A VERTICAL SIGN IS CENTERED AT THE HEAD OF EACH PARKING SPACE
- CHARACTERS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH. CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND, WITH EITHER LIGHT CHARACTERS ON A DARK BACKGROUND, OR DARK CHARACTERS ON A LIGHT BACKGROUND.
- SIGN DISPLAYS THE INTERNATIONAL SYMBOL OF ACCESSIBILITY (NOTE: THE INTERNATIONAL SYMBOL OF ACCESSIBILITY PROVIDES WHITE SYMBOLS AND LETTERS ON A BLUE BACKGROUND, HOWEVER, ANSI AND 2010 STANDARDS DO NOT SPECIFY COLORS FOR SIGNAGE)
- SIGNS TO BE WHITE BACKGROUND WITH A GREEN BORDER AND LEGEND (MUTCD SIGN # R7-8 AND R7-8A)
- SIGN MUST INCLUDE THE LANGUAGE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" (66-7-352.4C NMSA 1978, EFFECTIVE 7-01-2010). VAN ACCESSIBLE SIGNS ARE PROVIDED BELOW THE OTHER SIGN
- THE VAN SPACE SIGNAGE IS NEEDED TO ALERT VAN USERS TO THE PRESENCE OF THE WIDER AISLE, BUT THE SPACE IS NOT INTENDED TO BE RESTRICTED ONLY TO VANS. (2010 STANDARDS 502.5)
- IN PARKING LOTS THE BOTTOM OF THE SIGN IS 60" MINIMUM ABOVE THE GROUND OR PARKING SURFACE. (ANSI 502.7)
- ALONG THE PUBLIC RIGHTS-OF-WAY MUTCD REQUIRES THE BOTTOM OF THE MUTCD R7-8 SIGN TO BE 84" ABOVE THE GROUND.
- PARKING SPACE HAS A CLEARLY VISIBLE, BLUE, INTERNATIONAL SYMBOL OF ACCESSIBILITY PAINTED ON THE PAVEMENT AT REAR OF THE SPACE (66-1-4.1.E NMSA 1978) OR MUTCD RECOMMENDS A WHITE SYMBOL ON A BLUE BACKGROUND.
- PARKING SPACE LINES BE PAINTED BLUE
- ACCESS AISLE HAS BLUE, DIAGONAL STRIPING. (66-1-4.1.B NMSA 1978)
- ACCESS AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRES WOULD BE PLACED. (66-1-4.1.B NMSA 1978)
- IN THE PUBLIC RIGHTS-OF-WAY MUTCD RECOMMENDS WHITE STRIPING.

GENERAL NOTES

- WORK ORDER REQUIRED FOR WORK WITHIN PUBLIC RIGHT OF WAY WITH DRC APPROVED PLANS.
- WORK ON CENTRAL AVENUE MAY REQUIRE WORK ORDER OR SPECIAL BARRICADE PERMIT
- ALL COA ROW CURB AND GUTTER, SIDEWALK, RAMPS AND DRIVEPADS MUST BE IN GOOD CONDITION AND ADA ACCESSIBLE IF APPLICABLE. ANY ITEMS IN DISREPAIR MUST BE REMOVED AND REPLACED TO NEAREST CONTROL JOINT
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. THEREFORE SIGNS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA

WRITTEN PROJECT SUMMARY

The proposed project is single story drive through restaurant to be built in a single phase. The building will be approximately 3,450 square foot and the parking lot and associated features will be completed within this phase. The existing zoning is C2(SC). All elements of the site plan and building elevations comply with the design guidelines of sector 1 of the Coors Corridor Sector Development Plan.

NOTES:

- THE SITE PLAN SHALL COMPLY WITH THE GENERAL REGULATIONS OF THE ZONE CODE AND OF THE COORS CORRIDOR SECTOR DEVELOPMENT PLAN GENERAL REGULATIONS.
- MAINTENANCE OF THE OUTDOOR AMENITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- SITE LIGHTING SHALL NOT HAVE A LUMINANCE GREATER THAN 1000 LAMBARTS

PROJECT DATA

LEGAL DESCRIPTION:
TR D-1 (REPLAT OF TRS A THRU F HUBBELL PLAZA AND LT 1 OF TRC-27 AIRPORT UNIT TOWN OF ATRISCO GRANT) HUBBELL PLAZA CONT. 62,983 SQ FT M/L

ZONING: C-2 (SC)	EXTERIOR SEATING: 16 SEATS PROVIDED (36' LF)
AREAS: TRACT AREA: 62,983 SQ. FT. (1.45 ACRES) BUILDING FOOTPRINT: 3,450 SF F.A.R.: .055	PARKING REQUIREMENTS:
PROPOSED USE: DRIVE THROUGH RESTAURANT	PARKING REQUIRED (1 Per 4 SEATS) 27
	108 SEATS PROVIDED 50
	PARKING PROVIDED (1 VAN ACCESSIBLE) 3
	ADA PARKING PROVIDED (INCLUDES 1 VAN ACCESSIBLE) 3
	BICYCLE PARKING REQUIRED (1-20 AUTOS) 3
	BICYCLE PARKING PROVIDED 3
	MOTORCYCLE PARKING REQUIRED 2
	MOTORCYCLE PARKING PROVIDED 2

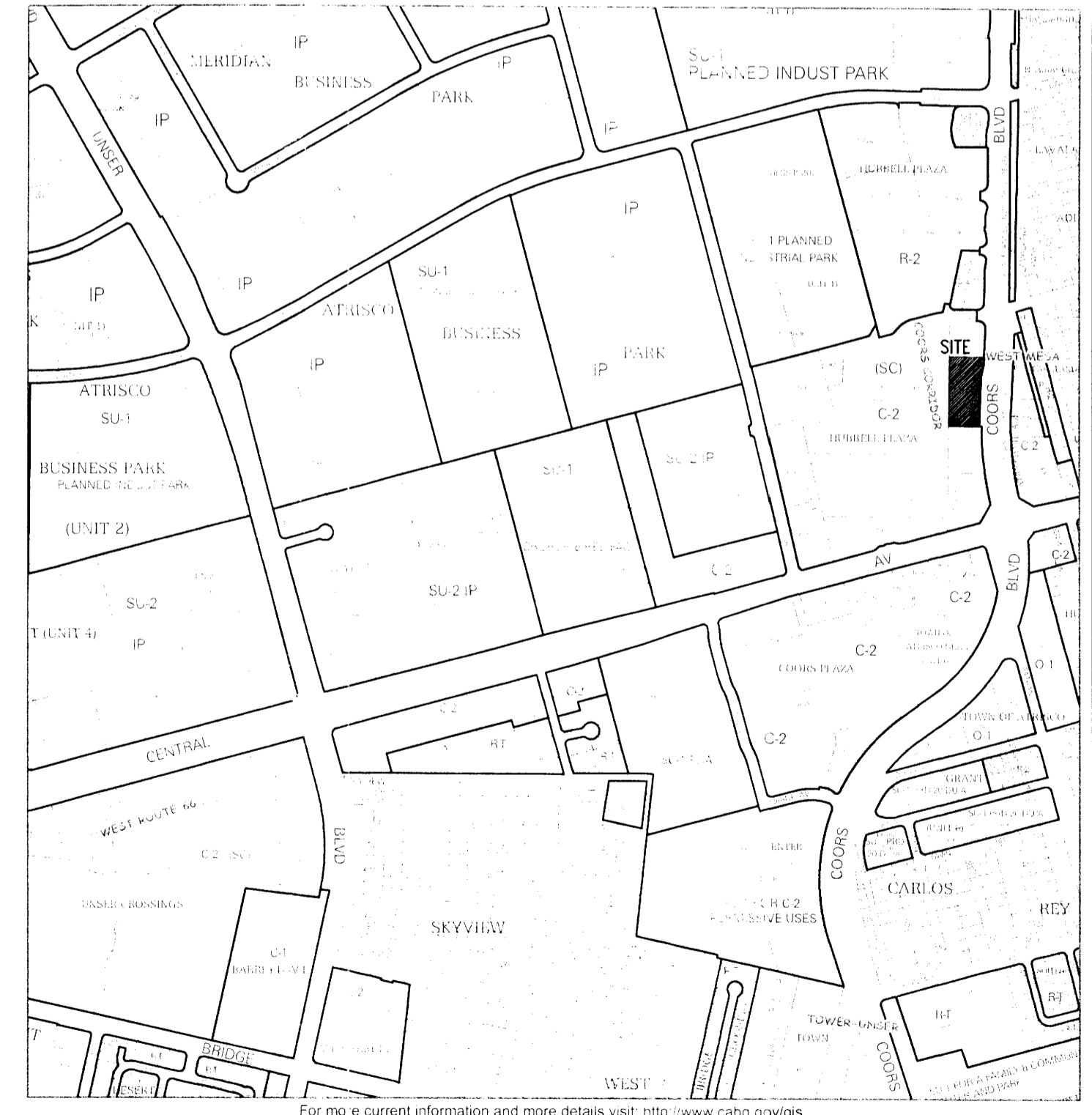
PROJECT NUMBER: _____
Application Number: _____

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



Zone Atlas Page: **K-10-Z**

Selected Symbols

SECTOR PLANS	Equipment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Topography Area	

Map amended through: 2/12/2010

Note: City Shading Represents Area Outside of the City Limits

peter butterfield

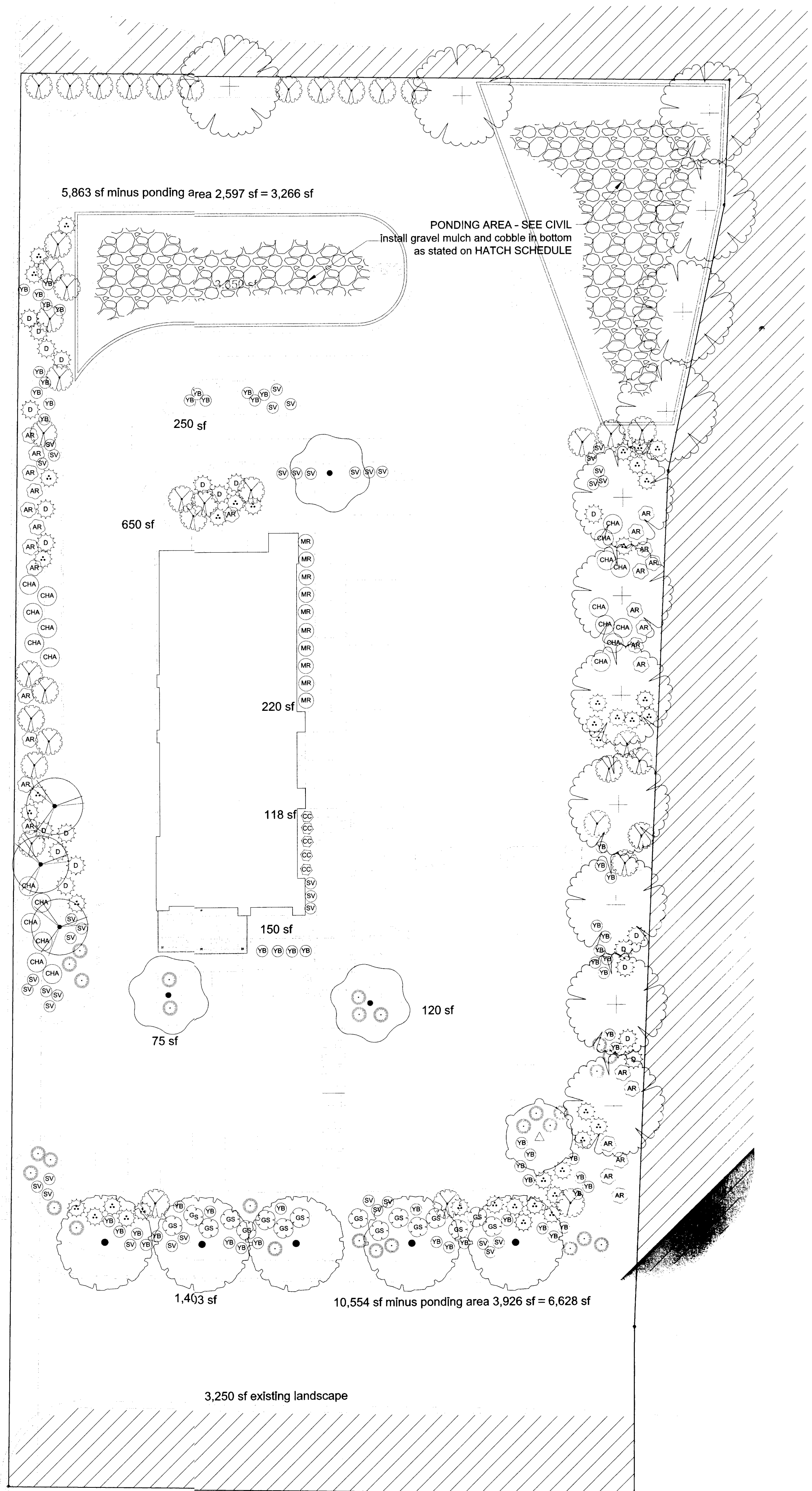
architect 13013 glenwood hills ct. ne
albuquerque nm 87111 (ph) 505 332 9923 (fax) 212 0901

DRAWING NAME
REVISIONS

PROJECT: 10041095
DATE: 7-22-15
APP: 15-70248(SBP)

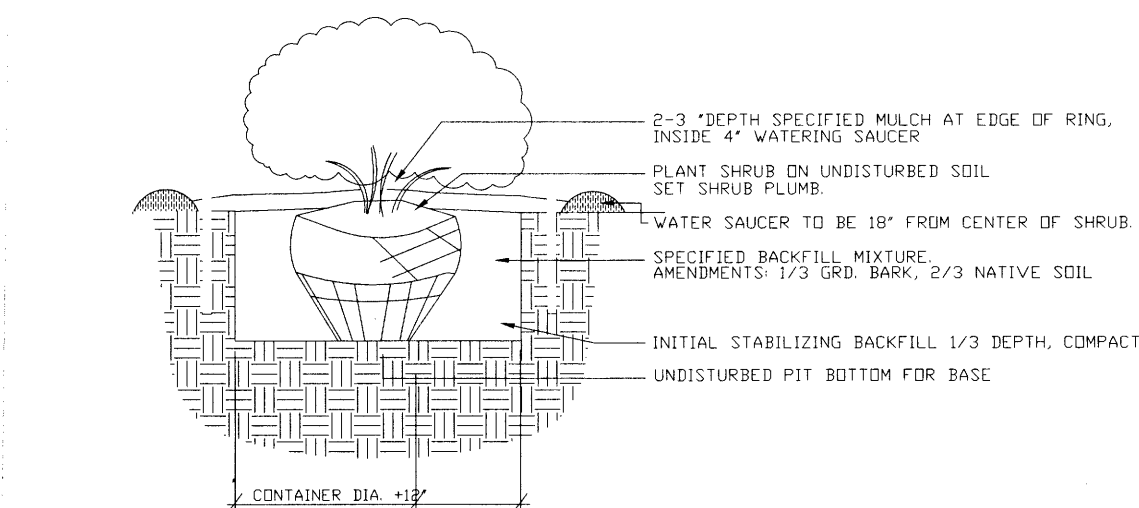
Freddy's Restaurant
Tract D-1 Hubbell Plaza
North Albuquerque Acres, Albuquerque NM

A001

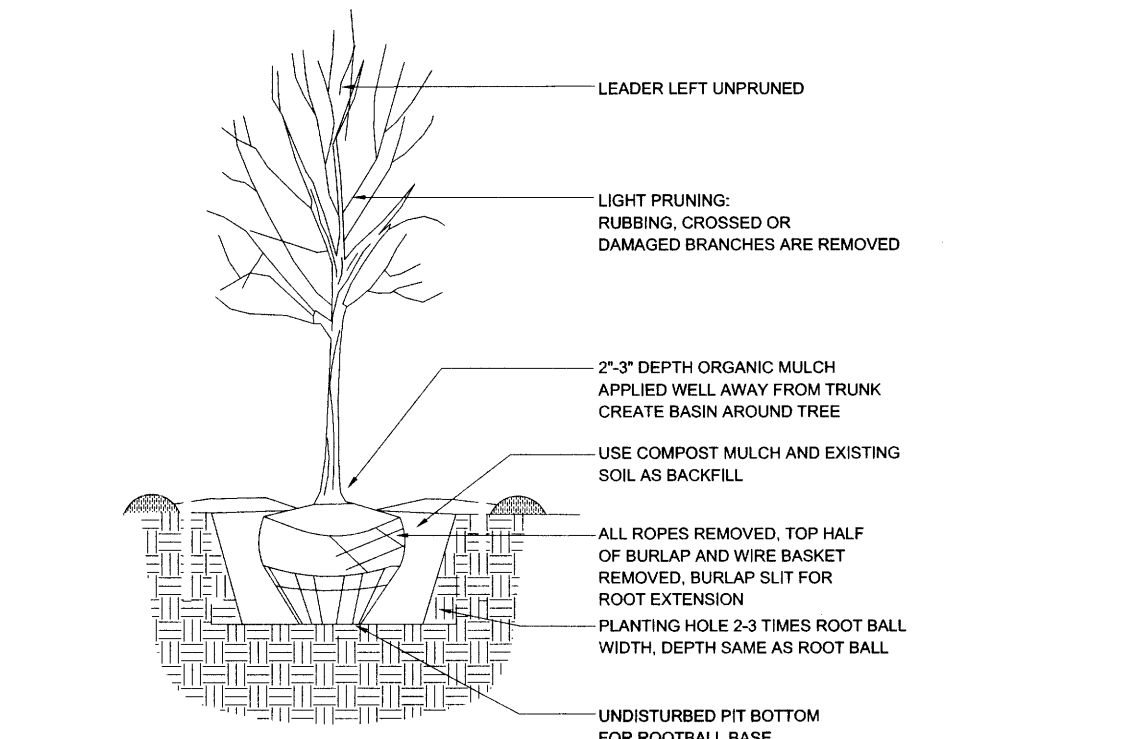


PLANT SCHEDULE

ORNAMENTAL TREES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER	COVERAGE
	1	Cercis reniformis / Oklahoma Red Bud	2" B&B	Medium	
	3	Chilopsis linearis / Desert Willow	15 gal	RW	
	3	Crataegus monogyna / One-seed Hawthorn	2" B&B	Medium	
SHADE TREES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER	COVERAGE
	5	Gleditsia triacanthos inermis / Thornless Honeylocust	2" B&B	Medium	
	13	Ulmus parviflora / Elm improved variety 'Allee'	2" B&B	Medium	
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER	COVERAGE
	29	Artemisia filifolia / Sand Sagebrush	1 gal	RW	35sf = 1,015sf
	39	Caesalpinia gilliesii / Yellow Bird of Paradise	5 gal	RW	40sf = 1,560sf
	5	Caryopteris x clandonensis / Blue Mist Spirea	5 gal	Low+	20 sf = 100sf
	21	Chrysothamnus nauseosus / Chamisa	1 gal	RW	30sf = 630sf
	41	Ephedra nevadensis / Mormon Tea	5 gal	RW	40sf = 1,640sf
	16	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal	Low+	30sf = 480sf
DESERT ACCENT	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER	COVERAGE
	21	Dasylirion wheeleri / Desert Sotol	5 gal	RW	35sf = 735sf
	58	Yucca baccata / Banana Yucca	5 gal	RW	30sf = 1,740sf
GROUNDCOVERS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER	COVERAGE
	28	Baccharis x 'Starn Thompson' / Starn Coyote Brush	5 gal	Low+	35sf = 980sf
	40	Santolina virens / Green Lavender Cotton	1 gal	Low+	15sf = 600sf
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER	COVERAGE
	10	Muhlenbergia rigens / Deer Grass	5 gal	Low+	25sf = 250sf
					total = 9,730sf



1 SHRUB PLANTING DETAIL N.T.S.



2 TREE PLANTING DETAIL N.T.S.

- GENERAL NOTES:**
1. MAINTENANCE OF THE LANDSCAPE AND IRRIGATION PROVIDED BY THE PROPERTY OWNER.
 2. PLANTS ARE SHOWN AT MATURITY.
 3. LANDSCAPE AREAS SHALL BE DEPRESSED TO PROVIDE POSITIVE DRAINAGE FOR SITE RUN OFF. SEE CIVIL DRAWINGS FOR DRAINAGE INFORMATION AND PLACEMENT OF CURB CUTS.
 4. THE LANDSCAPE PLAN IS DESIGNED TO MEET ALL CITY OF ALBUQUERQUE LANDSCAPE REQUIREMENTS.
 5. PLANT MATERIALS AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ACCEPTABLE IN 'CLEAR SIGHT' AREAS.
 6. COORDINATE WITH CIVIL FOR THE PLACEMENT OF CURB CUTS TO FACILITATE RUN OFF TOWARDS PLANTING AREAS. ADDITIONAL 2" - 4" COBBLE MAY BE PLACED AT THE CURB CUTS TO PREVENT GRAVEL DISPLACEMENT.
- PLANTING NOTES:**
1. A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS.
 2. A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE A HIGH WATER USE TURF.
 3. NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE.
 4. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WASTE WATER CONSERVATION, LANDSCAPE, AND WATER WASTE ORDINANCE.
 5. STREET TREES ARE PLACED AT A MAXIMUM OF 30 FEET ON CENTER.
 6. ALL LANDSCAPE AREAS SHALL BE COVERED WITH MULCH. USE GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC. WHERE MULCH IS ADJACENT TO THE CONCRETE, FINISH GRADE OF MULCH SHALL BE APPROXIMATELY 1/2" BELOW THE TOP OF CONCRETE.
 7. ALL PLANTINGS SHALL BE MAINTAINED NO HIGHER THAN 3' OF THE GROUND TO MAINTAIN ADEQUATE NATURAL SURVEILLANCE.

- IRRIGATION NOTES:**
1. ALL PLANTINGS TO BE WATERED BY AUTO DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER THE CITY OF ALBUQUERQUE STANDARD REQUIREMENTS.
 2. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 3. THE PIPE ROUTING, IF SHOWN ON THE PLAN, IS SCHEMATIC AND MAY REQUIRE FIELD ADJUSTMENTS TO AVOID INSTALLING PIPE WITHIN THE ROOT ZONE OF PLANTS.
 4. THE IRRIGATION SYSTEM SHALL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION SHALL CONSIST OF A WATER METER, BACKFLOW PREVENTER, AND MASTER VALVE.
 5. USE SIX 2 GPH DRIP EMITTERS PER EACH TREE WITH DEEP WATERING TUBES AND TWO 2 GPH EMITTERS PER EACH SHRUB/GROUNDCOVER.
 6. GENERAL CONTRACTOR TO COORDINATE WITH LANDSCAPE CONTRACTOR TO PLACE ALL IRRIGATION SLEEVES PRIOR INSTALLATION OF HARDSCAPE. IRRIGATION SLEEVES SHALL BE TWO SIZES LARGER THAN PIPE ENCLOSED.

SITE DATA:

LEGAL DESCRIPTION: TR D - 1 HUBBLE PLAZA
CITY OF ALBUQUERQUE

ZONING	.....C - 2 (SC)
TRACT AREA	.....62,983 sf
BUILDING FOOTPRINT	.....3,450 sf
NET LOT AREA	.....59,533 sf
minus existing landscape and drive	.....49,183 sf
REQUIRED LANDSCAPE (15% OF NET LOT AREA)	.....7,377 sf
PROPOSED LANDSCAPE	.....12,880 sf *
percent of NET LOT AREA	.....26 %
*minus fenced ponding areas 7,200 sf	
REQUIRED STREET TREES	.....16
provided at 30' o.c. spacing minimum	.....16
(along Coors Blvd NW and entry road)	
REQUIRED PARKING LOT TREES	.....5
1 tree per 10 spaces/140 parking spaces total	
provided parking lot trees	.....4
REQUIRED LANDSCAPE COVERAGE = 75%	
minimum of 75% of proposed landscape shall be comprised	
of live plant coverage; measured at full maturity	
tree canopy is not counted towards landscape coverage	
COVERAGE REQUIRED	.....9,660 sf
9,660 sf = 75% of 12,880 sf	
COVERAGE PROVIDED	.....9,730 sf
9,730 sf = 76% of 12,880 sf	

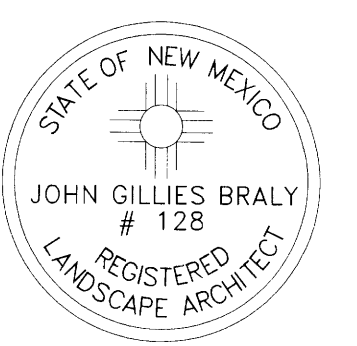
HATCH SCHEDULE

SYMBOL	DESCRIPTION
	2" - 4" GOLD COBBLE AT 4" DEPTH WITHOUT FILTER FABRIC (PONDING)
	1/2" - 1" GRAVEL AT 3" DEPTH OVER FILTER FABRIC
	EXISTING LANDSCAPE TO REMAIN

peter butterfield
architect 13013 glenwood hills ct. ne
albuquerque nm 87111 (ph) 505 532 9323 (fax) 212 0901

DRAWING NAME: LANDSCAPE PLAN 04-20-15

- REVISIONS
- 05-21-2015
 - 06-02-2015
 - 07-14-2015

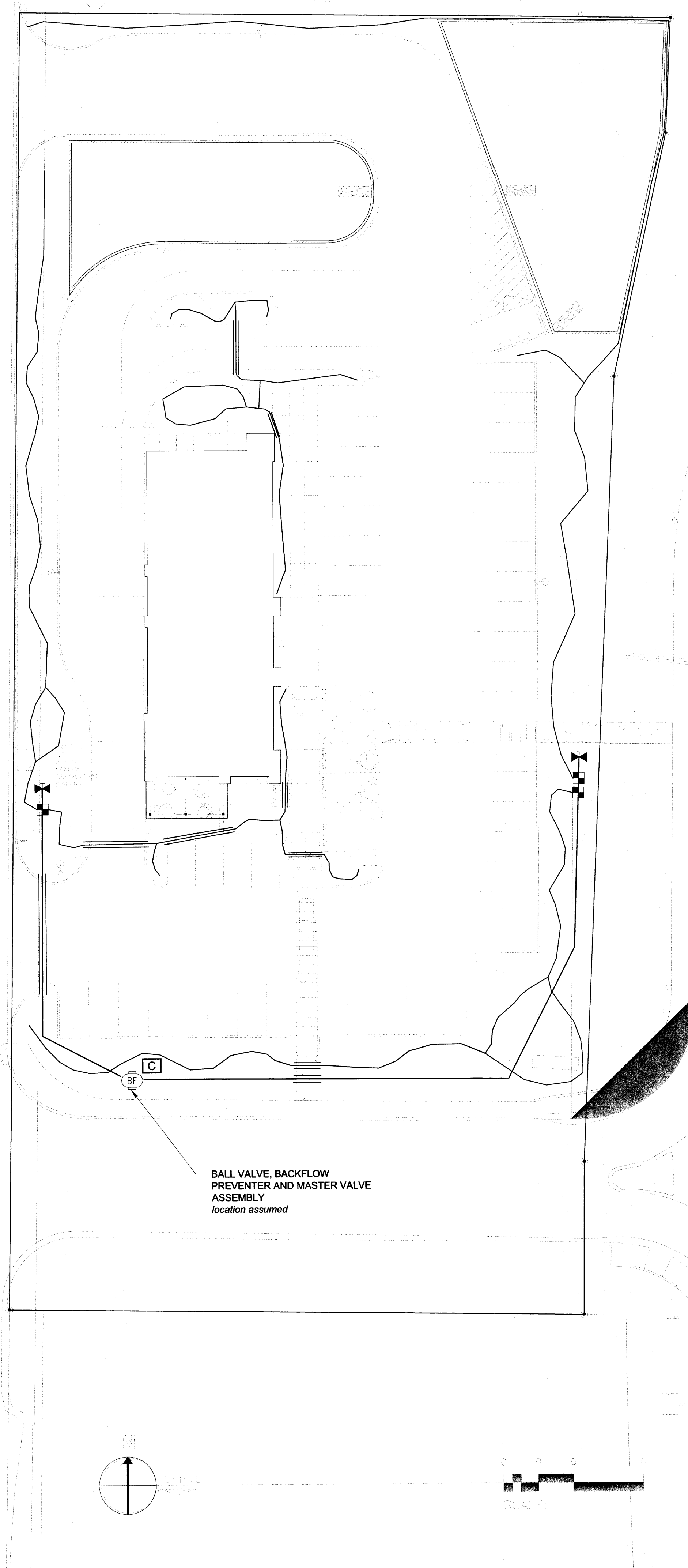


growing better
HeadsUp

Freddy's Restaurant
Coors Blvd NW Central Ave NW
Albuquerque, New Mexico

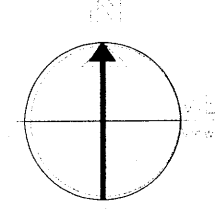
SHEET NO:

L001



TRACT 4-1A-26
 1600' x 1600'
 (20' x 20' GRID)

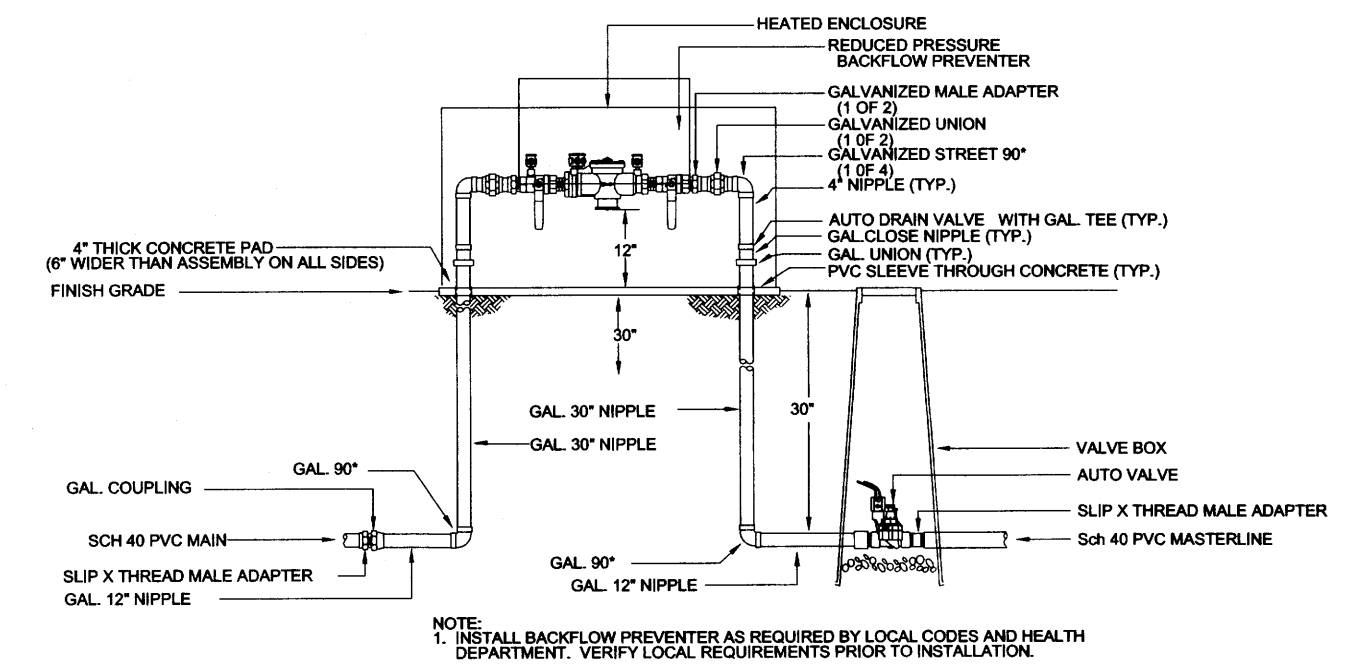
COORS BLVD NW (UNCL. No. 1142)
 100' WIDE



BALL VALVE, BACKFLOW
 PREVENTER AND MASTER VALVE
 ASSEMBLY
location assumed

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
■	Hunter ICV Drip Valve	3
■	Rain Bird 44-RC 1" Quick-Coupling Valve	-
⌵	Gate Valve / Isolation Valve Spears	2
⊖	Febco 825YA 1" Reduced Pressure Backflow Preventer	1
□	Hunter Pro C Outdoor Modular Controller with sensor	1
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
—	1" SCH40 PVC pipe	
—	3/4" Poly Drip Line end each run with a flush cap	
—	CL200 PVC sleeve two sizes larger than pipe enclosed	



1 RP BACKFLOW/MASTER VALVE DETAIL

GENERAL NOTES:

1. MAINTENANCE OF THE LANDSCAPE AND IRRIGATION PROVIDED BY THE PROPERTY OWNER.
2. PLANTS ARE SHOWN AT MATURITY.
3. LANDSCAPE AREAS SHALL BE DEPRESSED TO PROVIDE POSITIVE DRAINAGE FOR SITE RUN OFF. SEE CIVIL DRAWINGS FOR DRAINAGE INFORMATION AND PLACEMENT OF CURB CUTS.
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5. PLANT MATERIALS AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ACCEPTABLE IN 'CLEAR SIGHT' AREAS.
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PLANTING NOTES:

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2. A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE A HIGH WATER USE TURF.
3. NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE.
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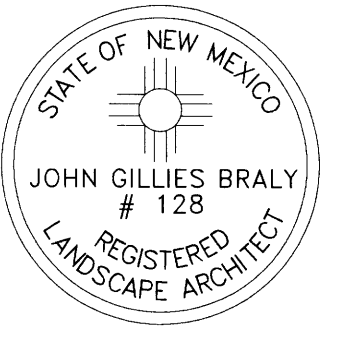
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3. THE PIPE ROUTING, IF SHOWN ON THE PLAN, IS SCHEMATIC AND MAY REQUIRE FIELD ADJUSTMENTS TO AVOID INSTALLING PIPE WITHIN THE ROOT ZONE OF PLANTS.
4. THE IRRIGATION SYSTEM SHALL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION SHALL CONSIST OF A WATER METER, BACKFLOW PREVENTER, AND MASTER VALVE.
5. USE SIX 2 GPH DRIP EMITTERS PER EACH TREE WITH DEEP WATERING TUBES AND TWO 2 GPH EMITTERS PER EACH SHRUB/GROUNDCOVER.
6. GENERAL CONTRACTOR TO COORDINATE WITH LANDSCAPE CONTRACTOR TO PLACE ALL IRRIGATION SLEEVES PRIOR INSTALLATION OF HARDSCAPE. IRRIGATION SLEEVES SHALL BE TWO SIZES LARGER THAN PIPE ENCLOSED.

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DRAWING NAME: LANDSCAPE PLAN 04-29-15

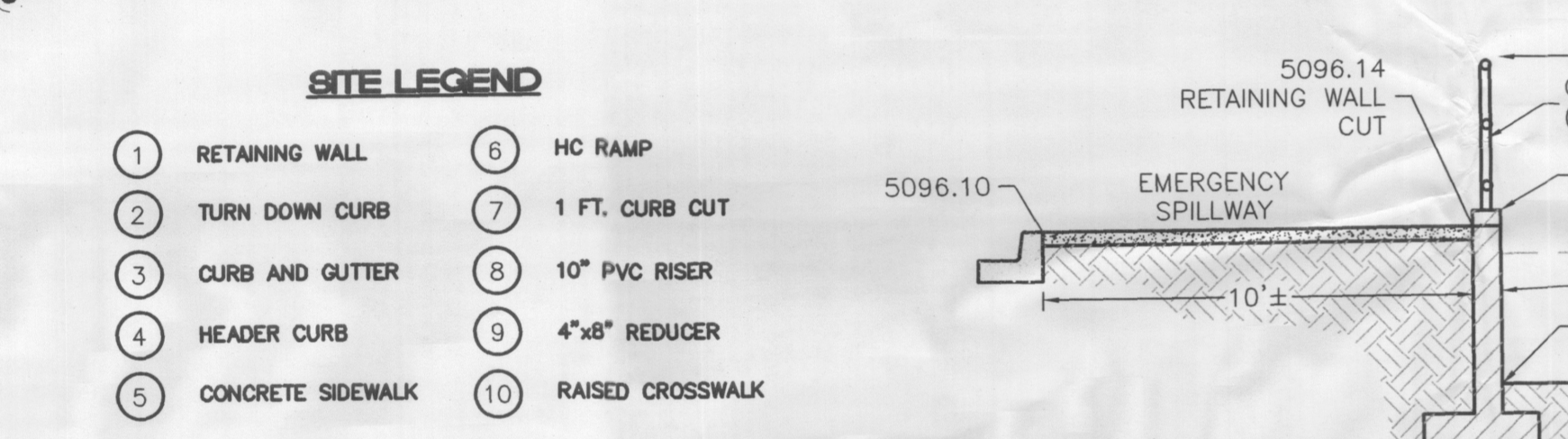
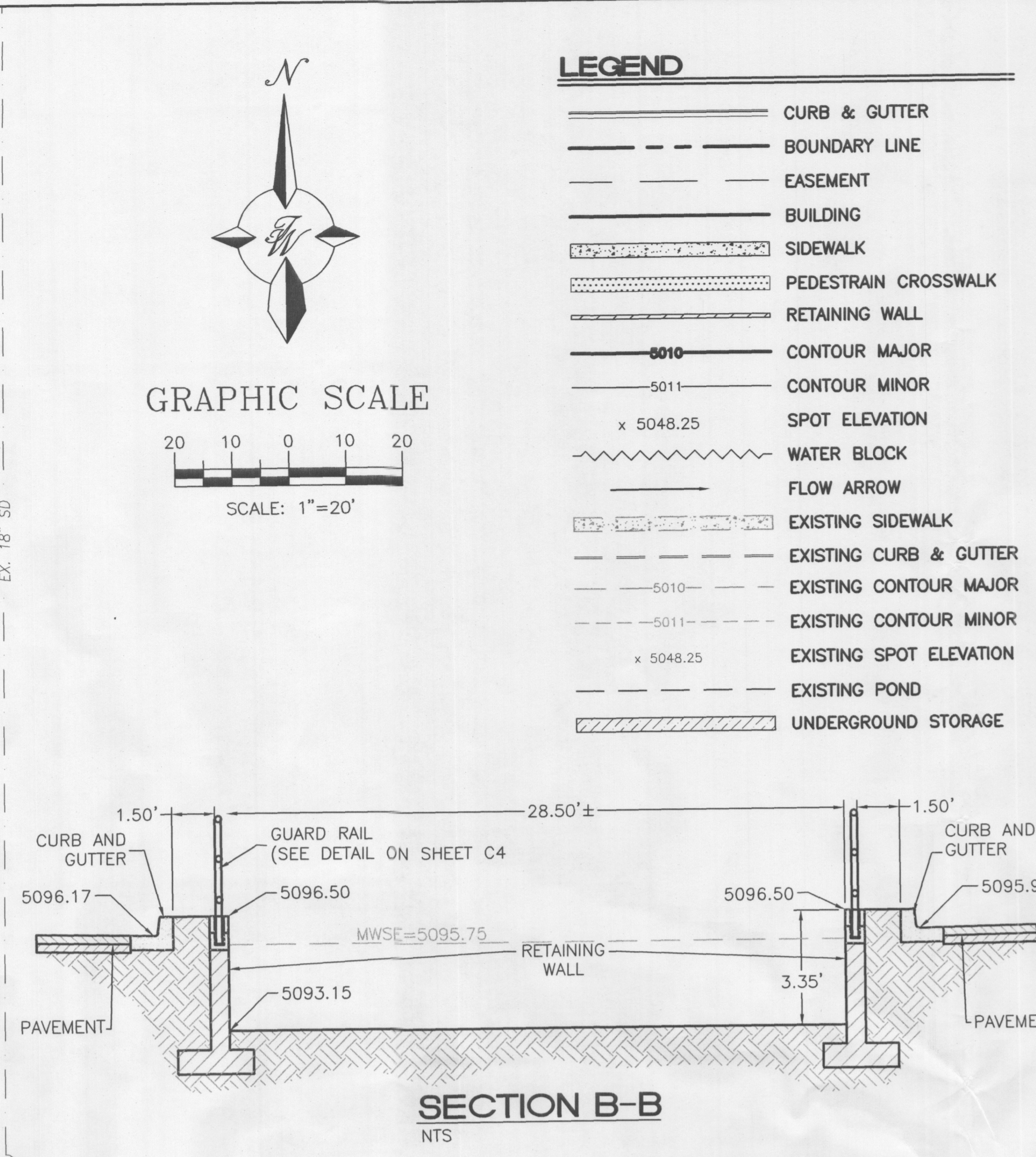
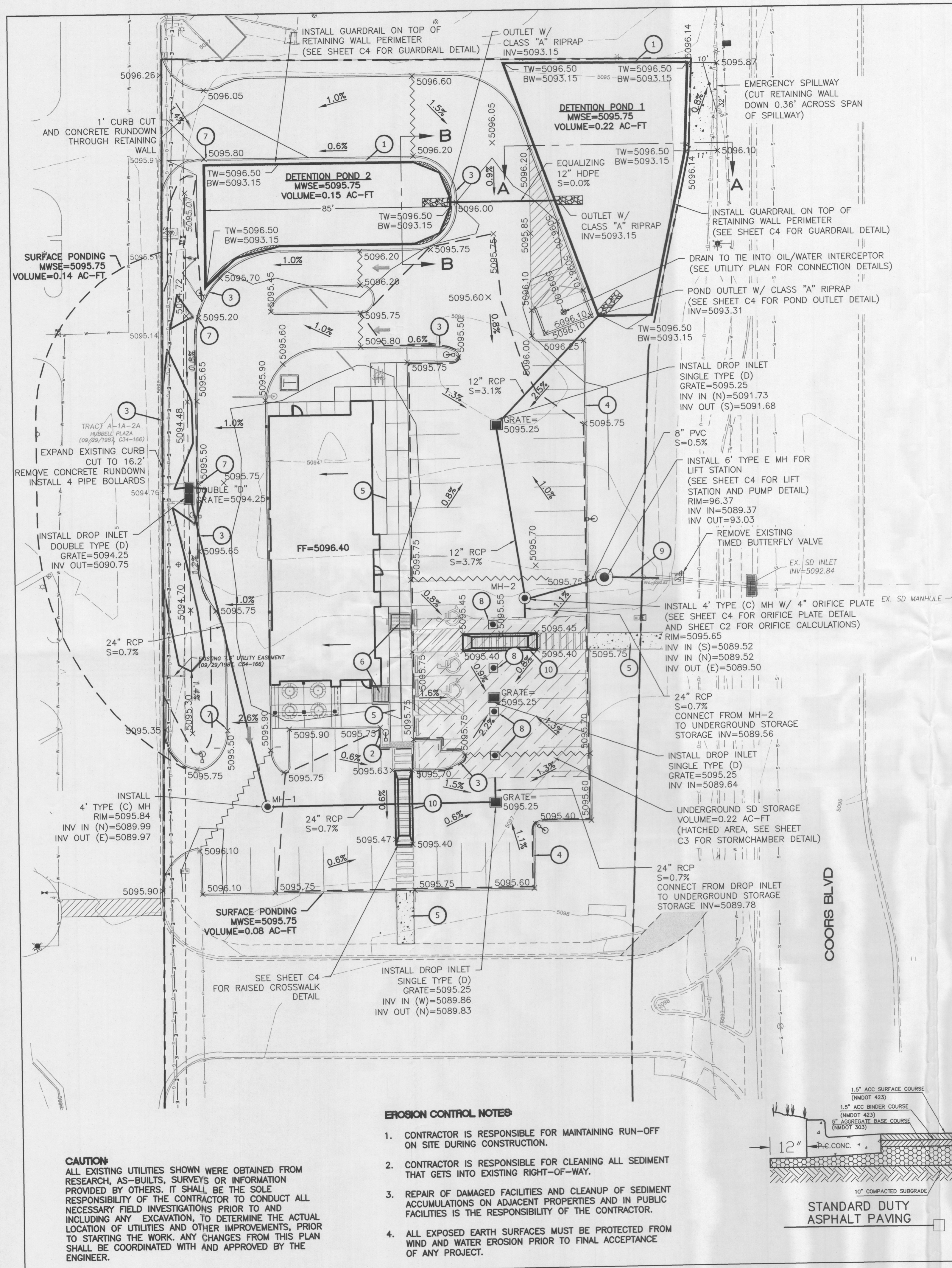
- REVISIONS
- △ 05-21-2015
 - △ 06-02-2015
 - △ 07-14-2015



growing
 better
HeadsUp

Freddy's Restaurant
 Coors Blvd NW Central Ave NW
 Albuquerque, New Mexico

SHEET NO. L002



Introduction
The purpose of this submittal is to provide a drainage management plan for the proposed Freddy's restaurant located near the intersection of Coors Blvd. and Central Ave. in Albuquerque, New Mexico. The site contains approximately 1.45 acres and located within the Hubbell Plaza Shopping Center. The site lies outside of any flood plains (FIRM Map 35001C0329H).

Existing Conditions
The site is part of an approved drainage plan titled "Coors & Central Shopping Center" (K10-D018). The location is tract D-1 within the Hubbell Plaza Shopping Center and is currently a detention pond for 5.4 acres of the shopping center. The site collects all flows from the 5.4 acres via surface flow through a concrete channel located on the west side of the site. The pond holds all flows for a minimum of 2 hours before being discharged through an 8-inch connecting pipe on the east side of the site. A delay timer is used to discharge the pond through the 8-inch pipe towards the back of a catch basin located on Coors Blvd. and into the street storm drain system. Per the approved drainage plan calculations, the pond is designed to hold 30,068 cubic feet of runoff and discharge to the Coors storm drain system at a rate of 1.08 cfs. Flows from the tract directly north are not directed towards the existing pond onsite, these flows are directed north and away from the subject site and have no impact on the drainage.

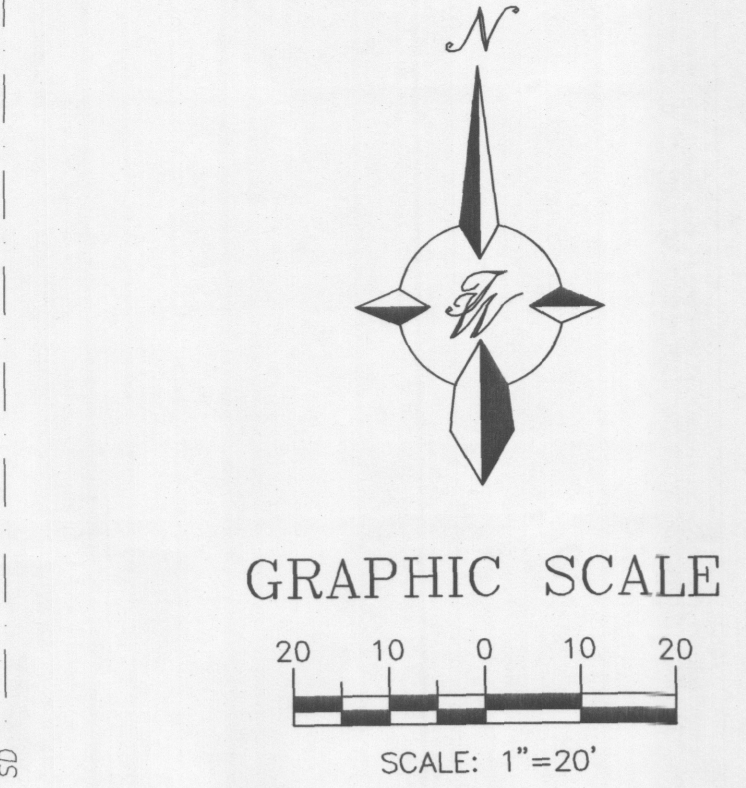
Proposed Conditions
The subject site will continue to collect all flows from the offsite area of the shopping center and detain in a subsurface system. Two detention ponds (Detention Pond 1 and Detention Pond 2) will act as a singular detention pond system with a 12-inch equalizing pipe connecting the two together. The offsite flows will drain via surface flow through the north driveway aisle and through a curb cut on the west side of the site where the existing concrete channel lies. The offsite flows through the 16 ft curb cut will be collected into a Double D drop inlet that is located in a bio swale on the western side of the site. The offsite flows through the north driveway will be collected in Detention Pond 2. All flows from the west side of the building and directly north of the building will be directed towards the bio swale and into the Double D drop inlet. All other flows from the site will be directed to three Single D drop inlets in the parking lot. The Double D inlet will interconnect via storm drain with the southern Single D inlet and underground storage system. The two detention ponds will interconnect via storm drain with the northernmost Single D inlet and the underground storage system.

As runoff volume increases and fills up the underground storage system completely, the interconnecting storm drains, drop inlets and two detention ponds will act as an equalizing system and allow runoff to be stored in both the detention ponds and on the surface of the parking lot and bio swale. During the 100-year 6-hour storm, the maximum water surface elevation for the detention system is 5095.75. This water surface elevation allows 6 inches of ponding depth in the parking lot and 18 inches of ponding in the bio swale and is below the elevation of the finished floor of the building (5096.40). A 4" cut in the retaining wall of the NE corner of Detention Pond 1 will act as an emergency overflow to Coors Blvd., assuring that the MWSE will never reach the finished floor elevation. The detention system will outflow through a 4" orifice plate located in MH-2 and will be sent to a Grindex pump system to outfall towards the existing catch basin on Coors.

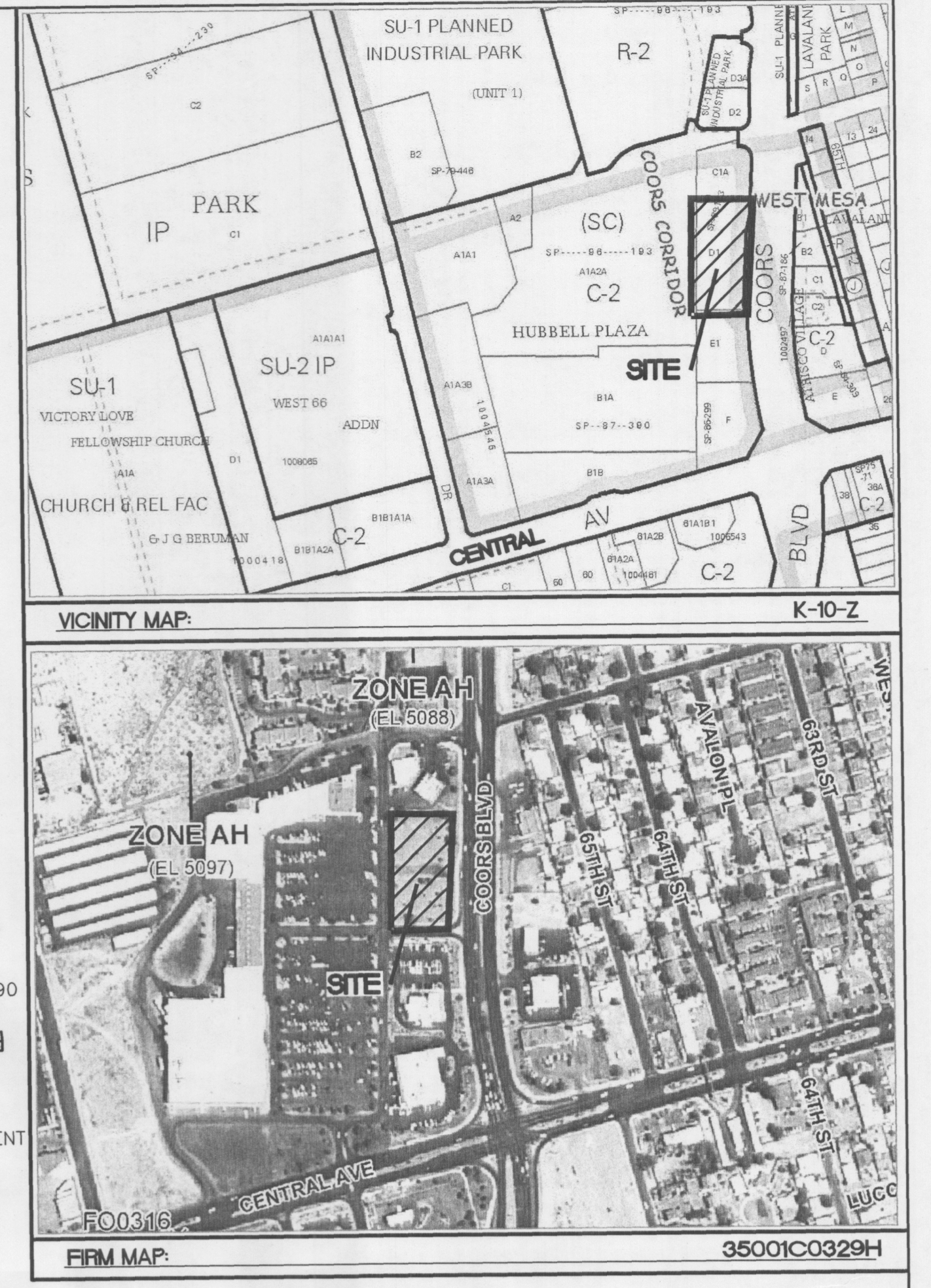
When the maximum water surface elevation is reached; the volume of the detention ponds is 0.37 ac-ft, volume of underground storage is 0.22 ac-ft, and the volume of surface ponding is 0.22 ac-ft. This gives a total storage volume of 0.81 ac-ft equivalent to the required 0.81 ac-ft of storage required for developed runoff. The orifice plate at MH-2 will control the outflow to the required discharge of 1.08 cfs. The detention ponds and underground storage system will capture sediment within the bottom of each respective area; the detention ponds' outlet will be raised 0.16 ft above the pond bottom to retain the first flush volume of the site.

See sheet C2 for DPM calculations, Grate capacity, Pipe capacity, Orifice Calcs, and Basin Map
See sheet C3 for Underground Storm Chamber configuration and details
See sheet C4 for Pump Details and Site Details

- SITE LEGEND**
- 1 RETAINING WALL
 - 2 TURN DOWN CURB
 - 3 CURB AND GUTTER
 - 4 HEADER CURB
 - 5 CONCRETE SIDEWALK
 - 6 HC RAMP
 - 7 1 FT. CURB CUT
 - 8 10" PVC RISER
 - 9 4"x8" REDUCER
 - 10 RAISED CROSSWALK



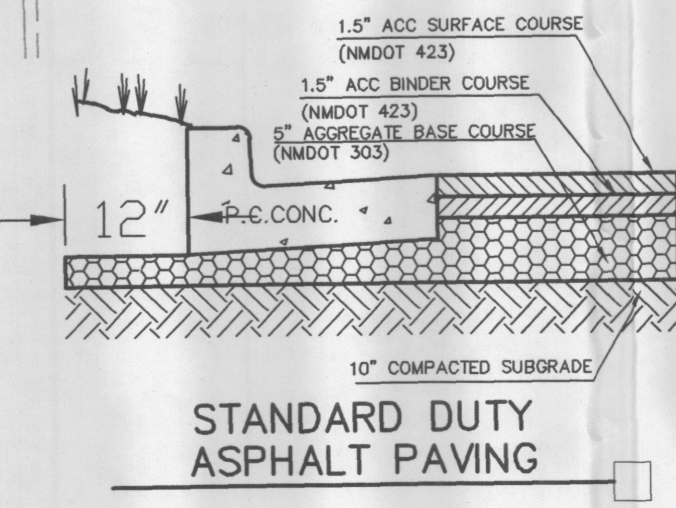
- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - - - EASEMENT
 - ▬ BUILDING
 - ▬ SIDEWALK
 - ▬ PEDESTRIAN CROSSWALK
 - ▬ RETAINING WALL
 - 5010 — CONTOUR MAJOR
 - 5011 — CONTOUR MINOR
 - x 5048.25 SPOT ELEVATION
 - ~ WATER BLOCK
 - FLOW ARROW
 - ▬ EXISTING SIDEWALK
 - 5010 --- EXISTING CONTOUR MAJOR
 - 5011 --- EXISTING CONTOUR MINOR
 - x 5048.25 EXISTING SPOT ELEVATION
 - ▬ EXISTING POND
 - ▬ UNDERGROUND STORAGE



EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
3. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
4. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

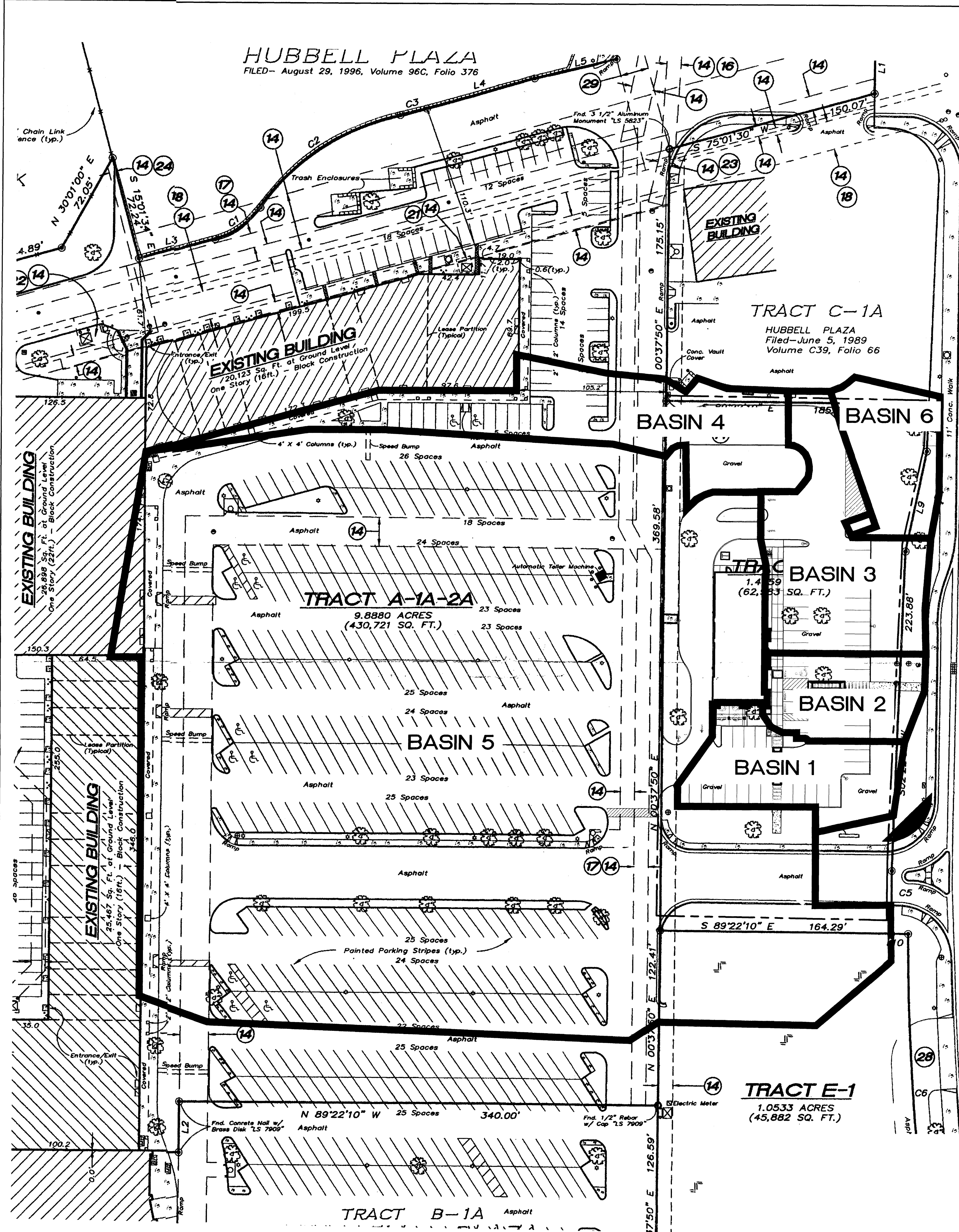


NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED. 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

ENGINEER'S SEAL	FREDDY'S AT COORS AND CENTRAL GRADING AND DRAINAGE PLAN	DRAWN BY DY
		DATE 7/07/15
RONALD R. BOHANNAN P.E. #7868	 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2015036-GRE
		SHEET # C1
		JOB # 2015036



DPM Weighted E Method (Zone 1)

Existing Conditions

Basin ID	Area (sf)	Area (acres)	Area (sq miles)	Basin Descriptions				100-Year, 6-Hr			10-Year, 6-Hr						
				Treatment A (%)	Treatment B (%)	Treatment C (%)	Treatment D (%)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs				
1	235,224.00	5.400	0.00844	0%	0.000	30%	1.620	0%	0.000	70%	3.780	1.580	0.711	19.81	0.934	0.420	12.16
Total	235,224.00	5.400	0.00844									0.711	19.81	0.934	0.420	12.16	

Proposed Conditions

Basin ID	Area (sf)	Area (acres)	Area (sq miles)	Basin Descriptions				100-Year, 6-Hr			10-Year, 6-Hr						
				Treatment A (%)	Treatment B (%)	Treatment C (%)	Treatment D (%)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs				
1	8,908.63	0.205	0.00032	0%	0.000	20%	0.041	0%	0.000	80%	0.164	1.710	0.029	0.80	1.036	0.018	0.50
2	6,297.83	0.145	0.00023	0%	0.000	15%	0.022	0%	0.000	85%	0.123	1.775	0.021	0.58	1.087	0.013	0.37
3	14,479.94	0.332	0.00052	0%	0.000	15%	0.050	0%	0.000	85%	0.283	1.775	0.049	1.34	1.087	0.030	0.85
4	17,152.37	0.394	0.00062	0%	0.000	40%	0.158	0%	0.000	60%	0.236	1.450	0.048	1.35	0.832	0.027	0.80
5	181,825.49	4.174	0.00652	0%	0.000	10%	0.417	0%	0.000	90%	3.757	1.840	0.640	17.26	1.138	0.396	11.17
6	6,559.74	0.151	0.00024	0%	0.000	0%	0.000	0%	0.000	100%	0.151	1.970	0.025	0.66	1.240	0.016	0.44
Total	235,224.00	5.400	0.00844									0.812	21.99	0.500	0.000	0.000	

Grate Capacity (Based On Orifice Equation)

Basin ID	Q Required (CFS)	Grate Type	Q Allow (CFS)	Result
1	0.8	Single D	7.12	Capacity OK
2	0.58	Single D	7.12	Capacity OK
3	1.34	Single D	7.12	Capacity OK
5	17.26	Double D	19.45	Capacity OK

Pipe Capacity (Based on Manning's Equation)

Invert ID	Q Required (CFS)	Pipe Size	Q Allow (CFS)	Result
Basin 5 Double D Grate	17.26	24" RCP @ 0.7%	20.94	Capacity OK
MH-1	17.26	24" RCP @ 0.7%	20.94	Capacity OK
Basin 1 Single D Grate	18.06	24" RCP @ 0.7%	20.94	Capacity OK
Basin 2 Underground				
Storage Outlet	18.64	24" RCP @ 0.7%	20.94	Capacity OK
Equalizing Pipe	1.35	12" HDPE @ 0%	5.48	Capacity OK
Basin 6 Pond Inlet	2.01	12" RCP @ 3.1%	6.93	Capacity OK
Basin 3 Single D Grate	4.7	12" RCP @ 3.7%	7.58	Capacity OK

MAXIMUM CAPACITY OF EQUALIZING 12" HDPE
 Orifice Equation: Q = CA sqrt(2gH)
 C = 0.6
 A = Orifice Area (0.785 ft²)
 G = 32.2 ft/s²
 H = Depth of water above center of orifice (2.1 ft)
 Q = Flow (cfs)
 Q = 0.6 * 0.785 * sqrt(2 * 32.2 * 2.1)
 Maximum Q = 5.48 cfs

CAPACITY OF SINGLE D GRATES
 L = 40" - 2(2" ends) - 7(1/2" middle bars) = 32 1/2" = 2.7083'
 W = 25" - 13(1/2" middle bars) = 18.5" = 1.54'
 Area = 2.7083' x 1.54' = 4.18 ft²
 Effective Area = 4.18 - 4.18 (0.5 clogging factor) = 2.09 ft² at the grate
 Orifice Equation: Q = CA sqrt(2gH)
 Q = 0.6 * 2.09 * sqrt(2 * 32.2 * 0.5)
 Q = 7.12 cfs

CAPACITY OF DOUBLE D GRATE
 L = 80" - 2(2" ends) - 14(1/2" middle bars) - 6" (center piece) = 63" = 5.25'
 W = 25" - 13(1/2" middle bars) = 18.5" = 1.54'
 Area = 5.25' x 1.54' = 8.09 ft²
 Effective Area = 8.09 - 8.09 (0.5 clogging factor) = 4.04 ft² at the grate
 Orifice Equation: Q = CA sqrt(2gH)
 Q = 0.6 * 4.04 * sqrt(2 * 32.2 * 1.0)
 Q = 19.45 cfs

MAXIMUM CAPACITY OF 24" RCP @ 0.7%
 Manning Equation: Q = (1.49/n)AR²(S)^(1/2)
 Q = Discharge
 n = Manning's roughness coefficient (0.013)
 A = Pipe area (3.14 ft²)
 R = Hydraulic Radius (0.58 ft)
 S = Pipe slope (0.007 ft/ft)
 Q = (1.49/0.013) * 3.14 * (0.58)²/2 * sqrt(0.007)
 Maximum Q = 20.94 cfs

MAXIMUM CAPACITY OF 12" RCP @ 3.1%
 Manning Equation: Q = (1.49/n)AR²(S)^(1/2)
 Q = Discharge
 n = Manning's roughness coefficient (0.013)
 A = Pipe area (0.785 ft²)
 R = Hydraulic Radius (0.29 ft)
 S = Pipe slope (0.031 ft/ft)
 Q = (1.49/0.013) * 0.785 * (0.29)²/3 * sqrt(0.031)
 Maximum Q = 6.93 cfs

MAXIMUM CAPACITY OF 12" RCP @ 3.7%
 Manning Equation: Q = (1.49/n)AR²(S)^(1/2)
 Q = Discharge
 n = Manning's roughness coefficient (0.013)
 A = Pipe area (0.785 ft²)
 R = Hydraulic Radius (0.29 ft)
 S = Pipe slope (0.037 ft/ft)
 Q = (1.49/0.013) * 0.785 * (0.29)²/3 * sqrt(0.037)
 Maximum Q = 7.58 cfs

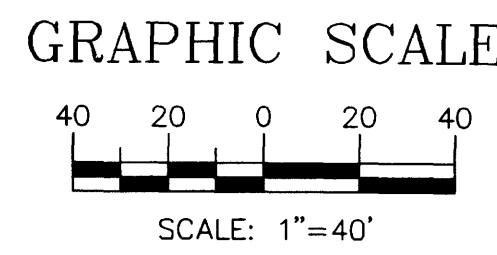
CURB CUT CAPACITY CALCULATIONS OFFSITE FLOWS FROM SHOPPING CENTER TO DOUBLE D INLET
 Use weir equation: Q = CL(H)³/2
 Q = discharge (16.77 cfs for offsite flows of Basin 5)
 C = coefficient of discharge (2.95)
 L = Length of curb cut
 H = Height of curb cut (0.5 ft)
 16.77 = 2.95 * L * (0.5)³/2
 16.77 = 1.04 * L
 L = 16.13 ft, minimum curb cut length

CURB CUT CAPACITY CALCULATIONS ONSITE FLOWS FROM WEST SIDE OF SITE TO DOUBLE D INLET
 Use weir equation: Q = CL(H)³/2
 Q = discharge (0.85 cfs for onsite flows of Basin 5)
 C = coefficient of discharge (2.95)
 L = Length of curb cut
 H = Height of curb cut (0.5 ft)
 0.85 = 2.95 * L * (0.5)³/2
 0.85 = 1.04 * L
 L = 0.82 ft, minimum curb cut length

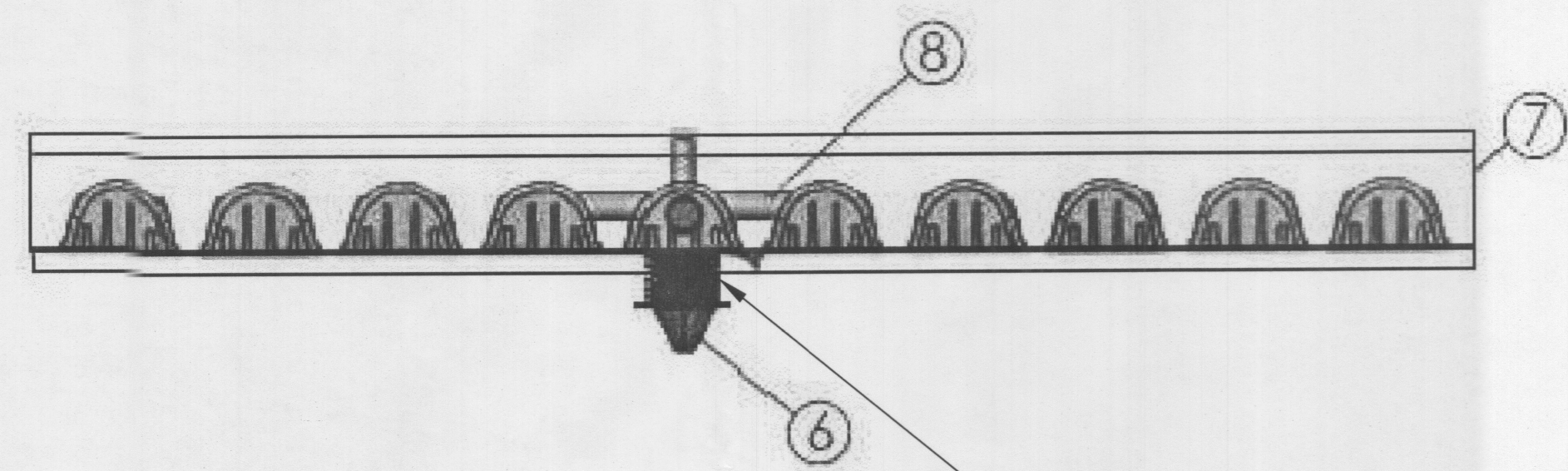
FIRST FLUSH VOLUME RETENTION
 Depth to be retained = 0.44" per city ordinance
 Initial abstractions = 0.1"
 Total depth = 0.44" - 0.1" = 0.34" = 0.02833 ft
 Total impervious area = 33156.97 ft²
 Total volume = 33156.97 * 0.02833 = 939.34 ft³
 Retain first flush in north detention pond:
 Pond Area = 6179 ft²
 Depth to retain = 939.34/6179 = 0.16 ft

STORMCHAMBER VOLUME CALCULATION
 Total storage volume required = 0.22 ac-ft
 Total # of chambers = 69
 Volume per chamber = 0.00172 ac-ft
 Volume inside chambers = 0.00172 * 69 = 0.11 ac-ft
 Area of chambers and surrounding stone = 0.076 ac
 Volume of chambers and surrounding stone = 0.076 * 6.33 = 0.48 ac-ft
 Volume of only surrounding stone = 0.48 - 0.11 = 0.37 ac-ft
 Volume of 30% voids in stone = 0.37 * 0.3 = 0.11 ac-ft
 Total storage of volume of Stormchamber system = 0.11 + 0.11 = 0.22 ac-ft

ORIFICE PLATE IN MANHOLE 2 CALCULATIONS
 Orifice Equation: Q = CA sqrt(2gH)
 C = 0.6
 A = Orifice Area (ft²)
 g = 32.2
 H = Depth of water above center of orifice (ft)
 Q = Flow (cfs)
 Q = CA sqrt(2gH)
 1.08 = 0.6 * A * sqrt(2 * 32.2 * 6.25)
 1.08 = 12.037 A
 A = 0.0897 ft²
 A = pi * r²
 0.0897 = pi * r²
 0.02855 = r²
 r = 0.169 ft
 r = 2"
 Use 4" dia. orifice plate



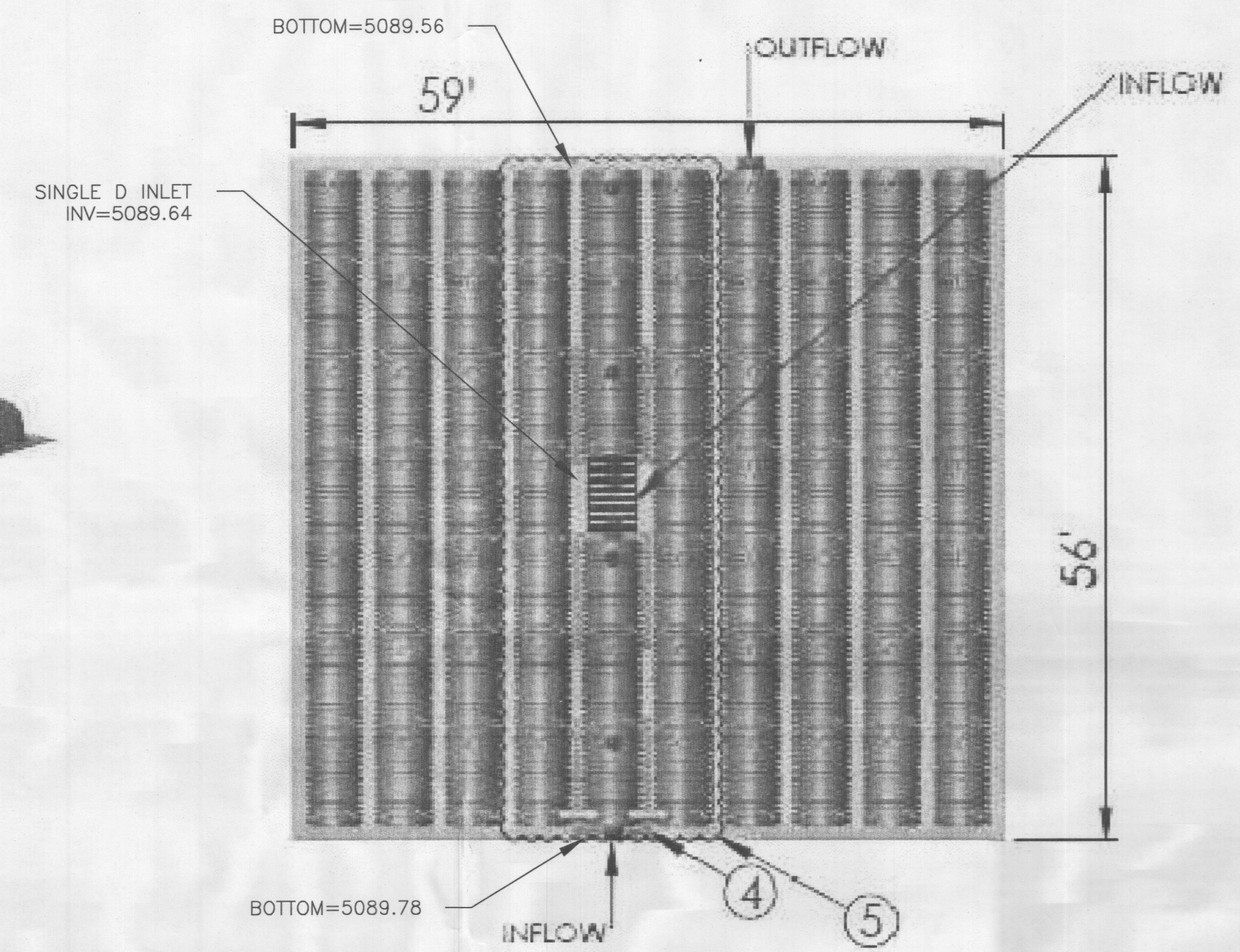
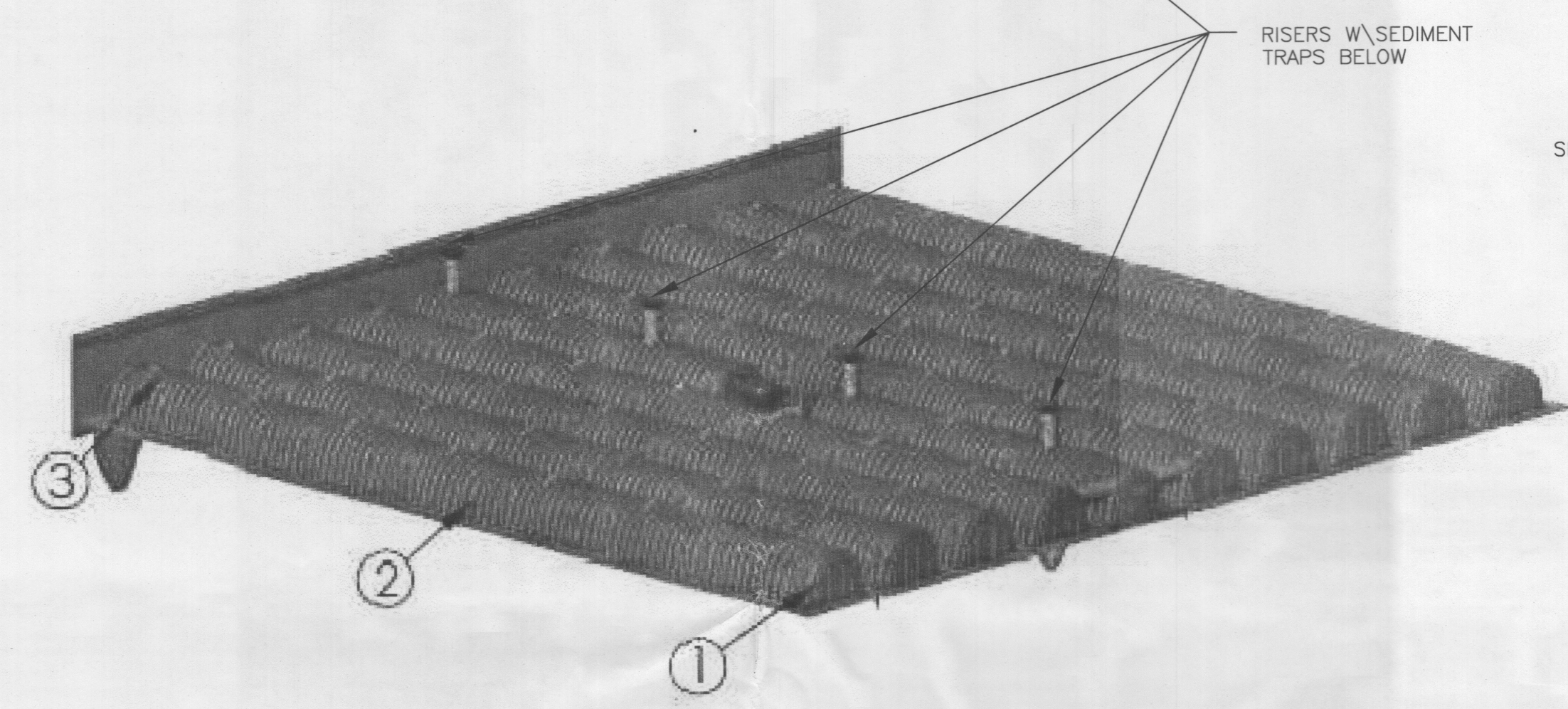
ENGINEER'S SEAL	FREDDY'S AT COORS AND CENTRAL BASIN MAP AND CALCULATIONS	DRAWN BY	BJF
		DATE	07/07/15
		2015036-GRB-DETAILS	
		SHEET #	C2
RONALD R. BOHANNAN P.E. #7660	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierawestllc.com	JOB #	2015036



ITEM NO.	STORMCHAMBER PROPOSED LAYOUT DESCRIPTION	QTY
1	START UNITS	11
2	MIDDLE UNITS	47
3	END UNITS	11
4	7X10' HEAVY DUTY NETTING (SUPPLIED)	3
5	LIGHTWEIGHTS STABILIZATION NETTING (INFLOW AND ADJACENT ROWS) (SUPPLIED)	1
6	10" PVC INSPECTION / CLEAN OUT RISER - (SUPPLIED BY OTHERS) W / FRAME AND LID AND SEDIMENTRAP (SUPPLIED)	4
7	4oz NON WOVEN STORMCHAMBER GEOTEXTILE FILTER FABRIC (SUPPLIED)	2
8	ROW CONNECTING 10" PVC (SUPPLIED BY OTHERS)	2

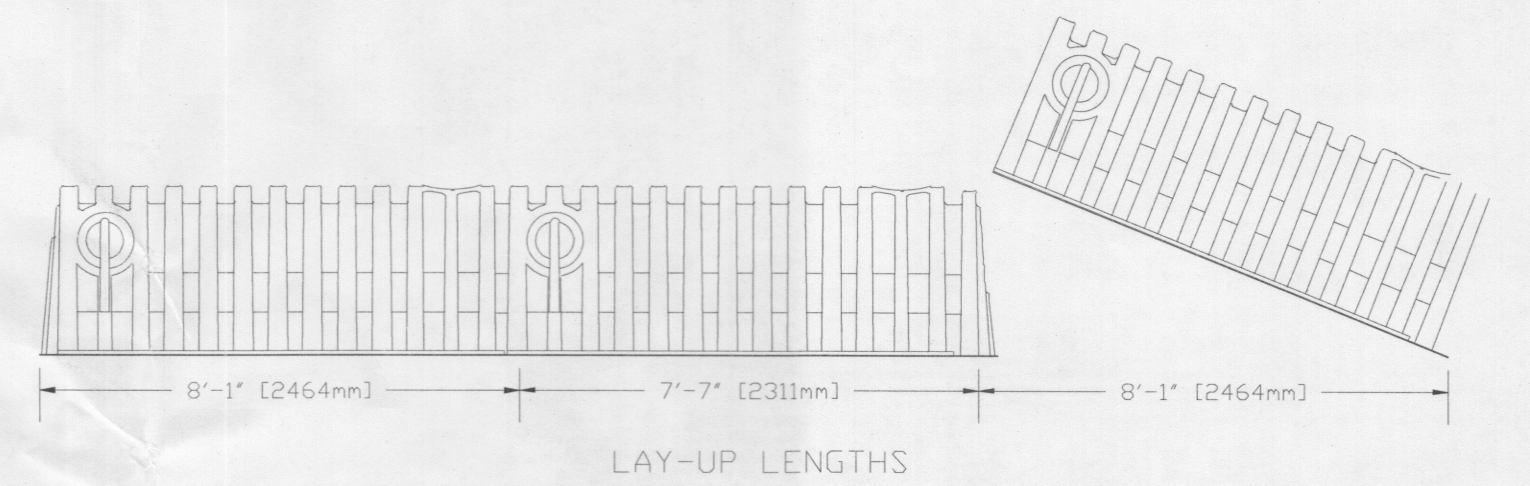
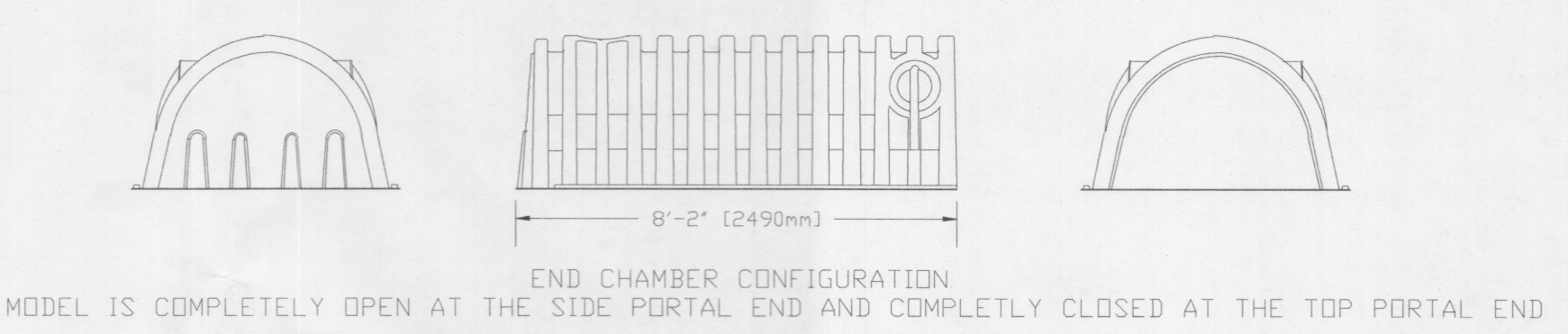
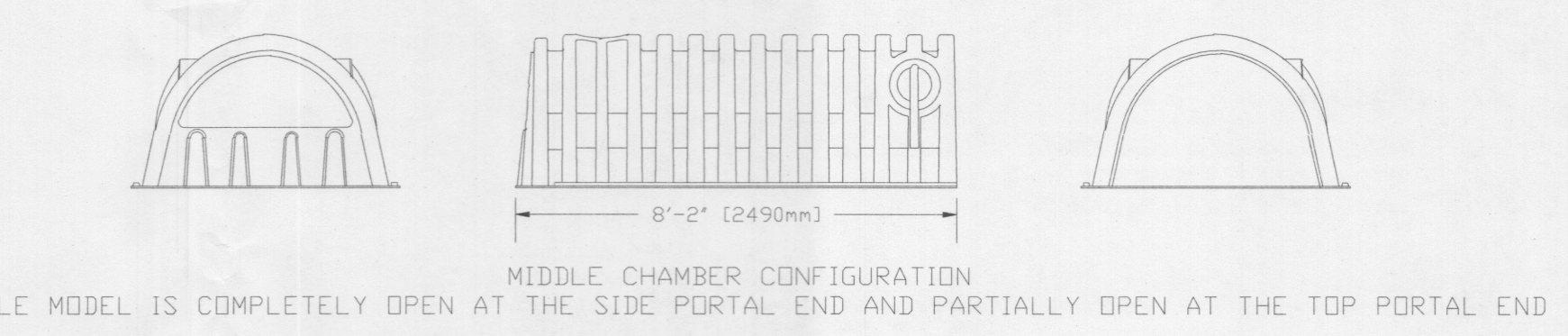
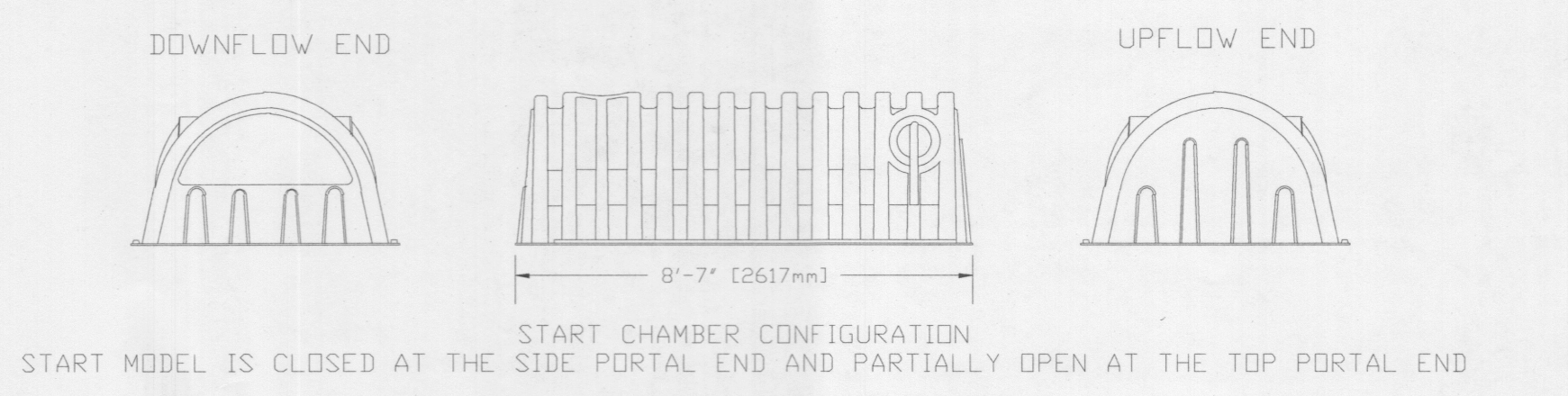
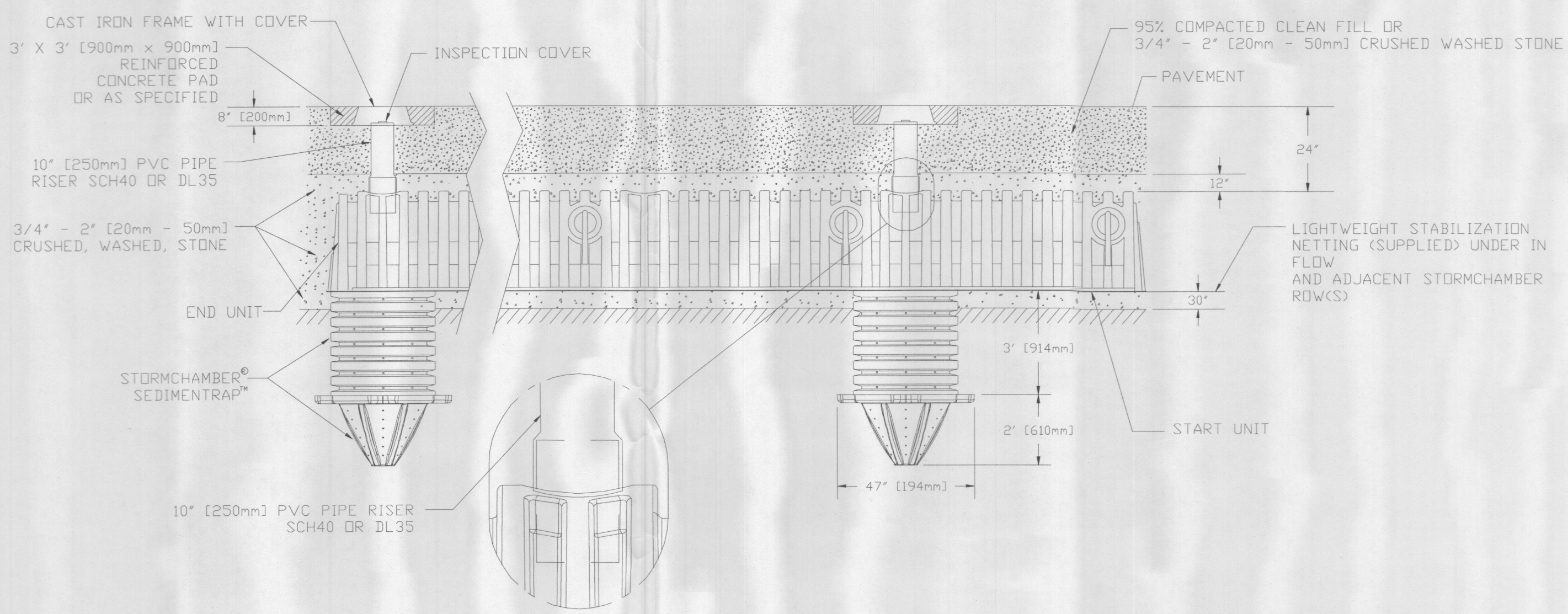
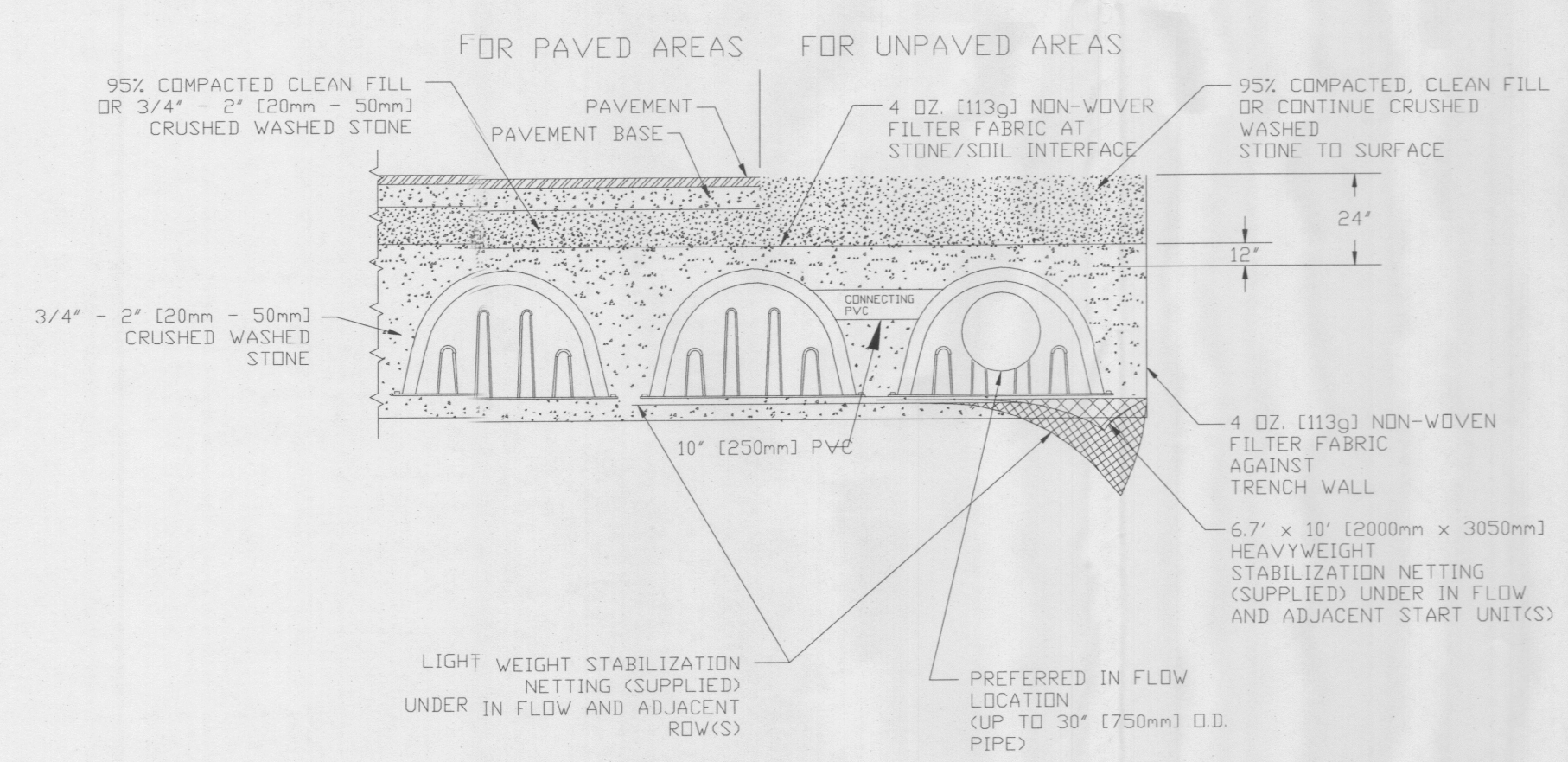
INSTALLED WITH 12" COVER STONE, 30" BASE STONE, 30% STONE VOID. INSTALLED SYSTEM VOLUME (PERIMETER STONE INCLUDED) = 9583 CF.

TOTAL # OF CHAMBERS (START, MIDDLE, AND END UNITS) = 69

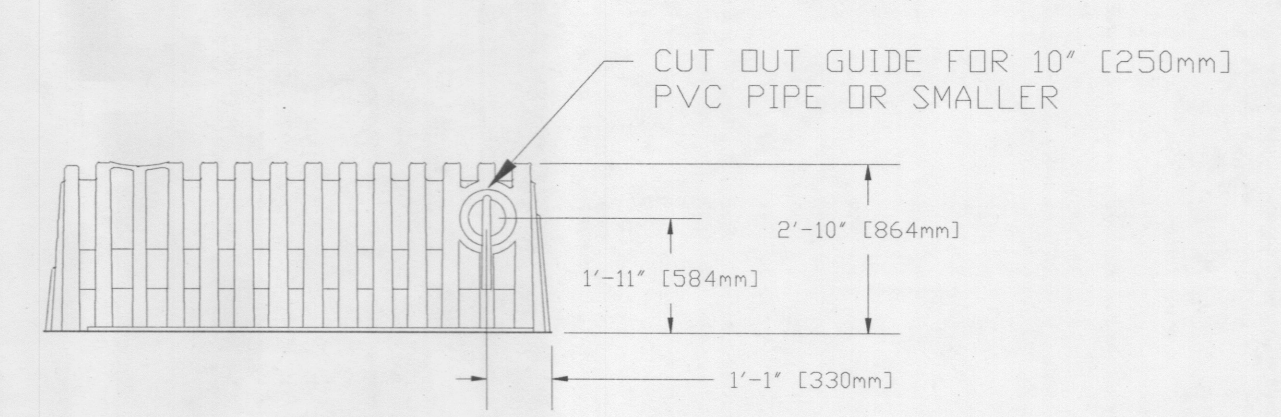
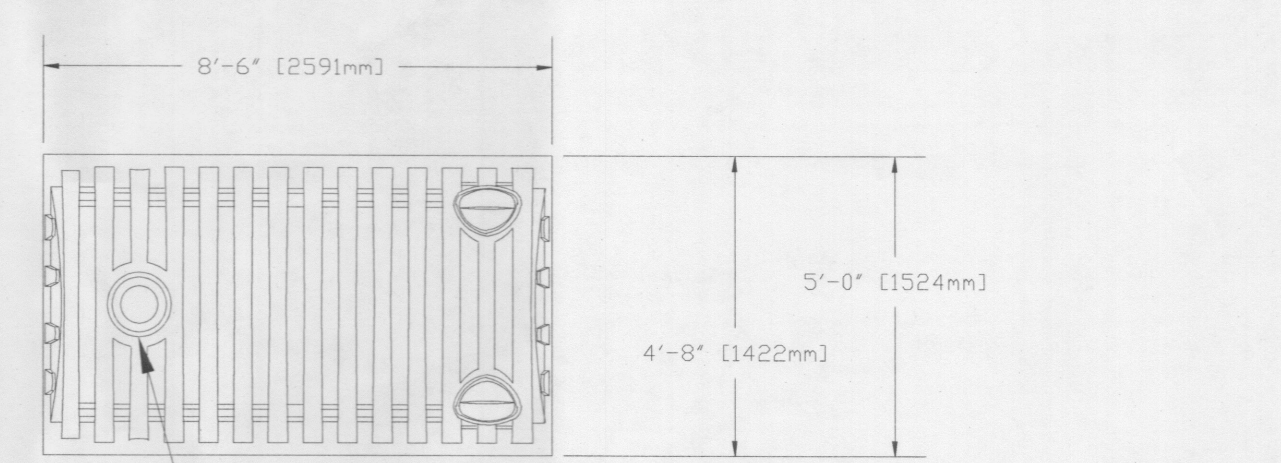


STORMCHAMBER® WITH SEDIMENTRAP™

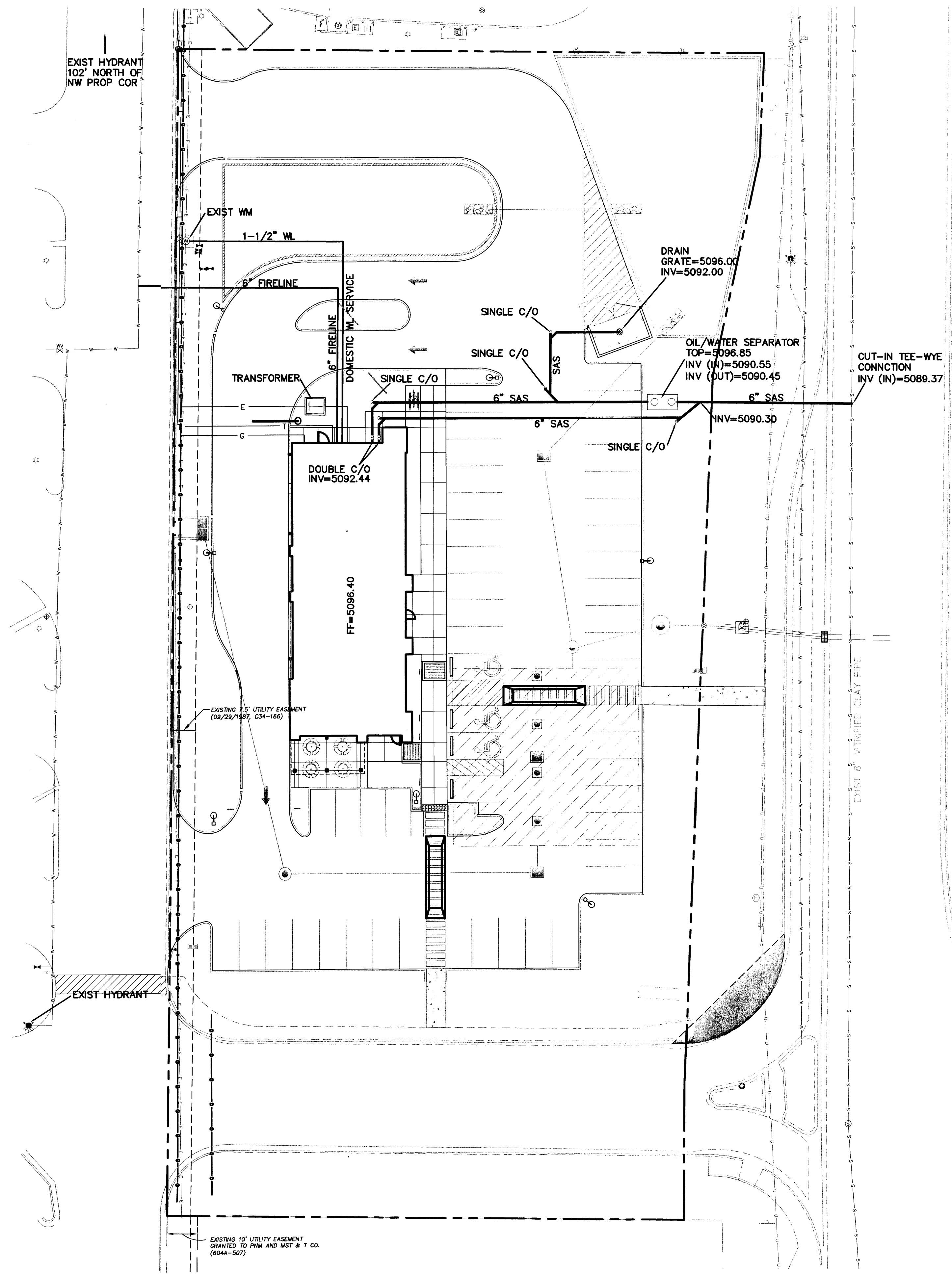
STORMCHAMBER® TYPICAL CROSS-SECTION INSTALLATION



NOTE: 1. Start chambers (closed at the side portal end) are placed at the inflow end of the rows.
2. Begin placements with Start chambers and end rows with End chambers.
3. Place first rib of next chamber in the row over last rib of previous chamber.



ENGINEER'S SEAL	FREDDY'S AT COORS AND CENTRAL	DRAWN BY B.J.F.
	STORMCHAMBER STORAGE SYSTEM	DATE 07/07/15
RONALD R. BOHANNAN P.E. #7858	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2015036-GRB-DETAILS
		SHEET # C3
		JOB # 2015036



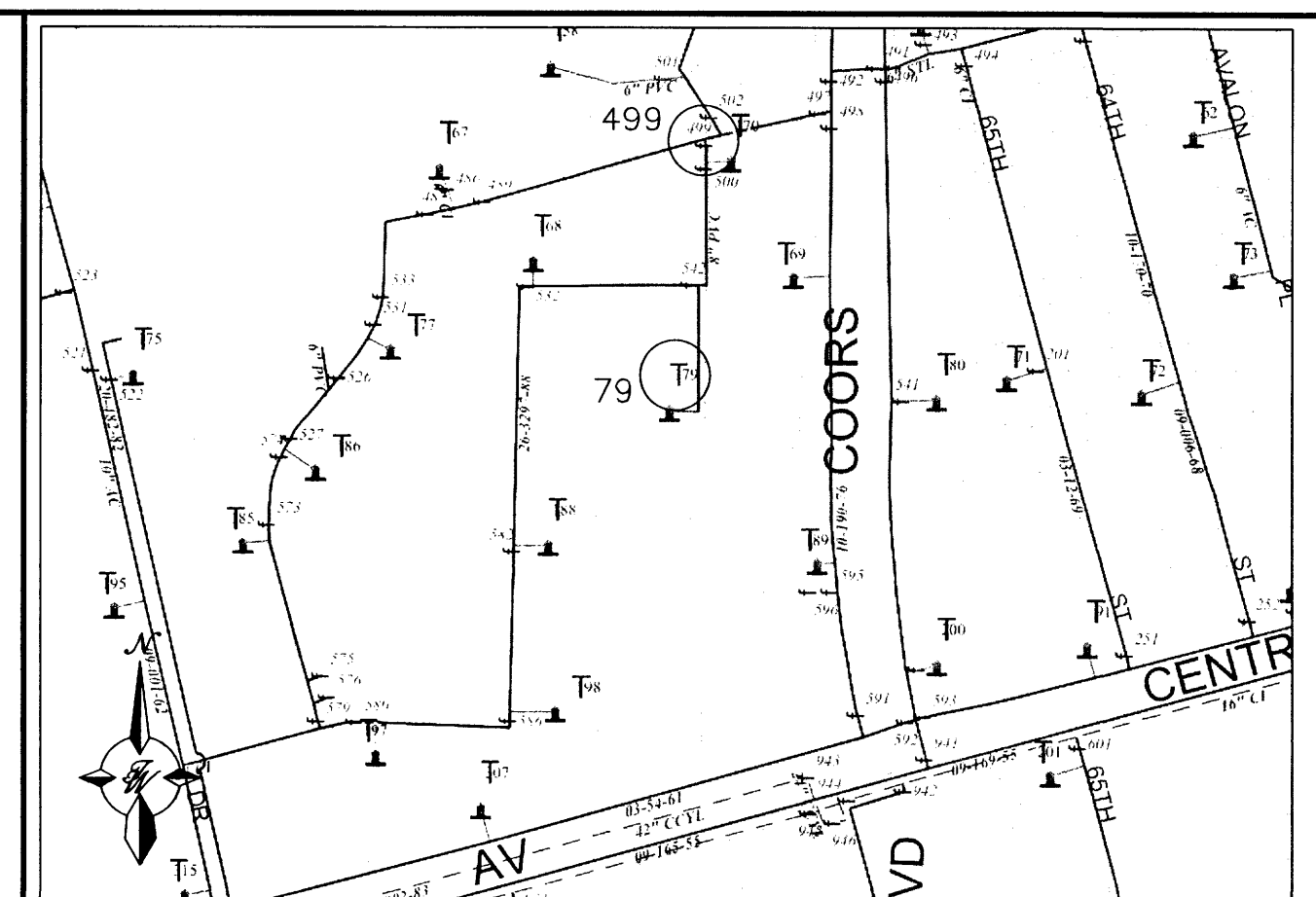
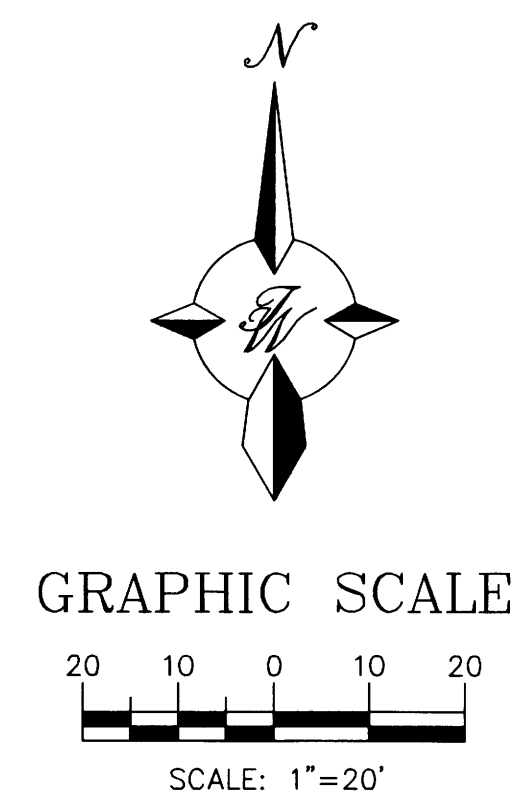
EXIST HYDRANT
102' NORTH OF
NW PROP COR

EXISTING 10' UTILITY EASEMENT
GRANTED TO PNM AND MST & T CO.
(6044-207)

GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. REFERENCE ARCHITECTURAL PLANS FOR LIGHTING POWER ROUTING.

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



WATER SHUT-OFF PLAN SHUT OFF VALVES 499 AND 79

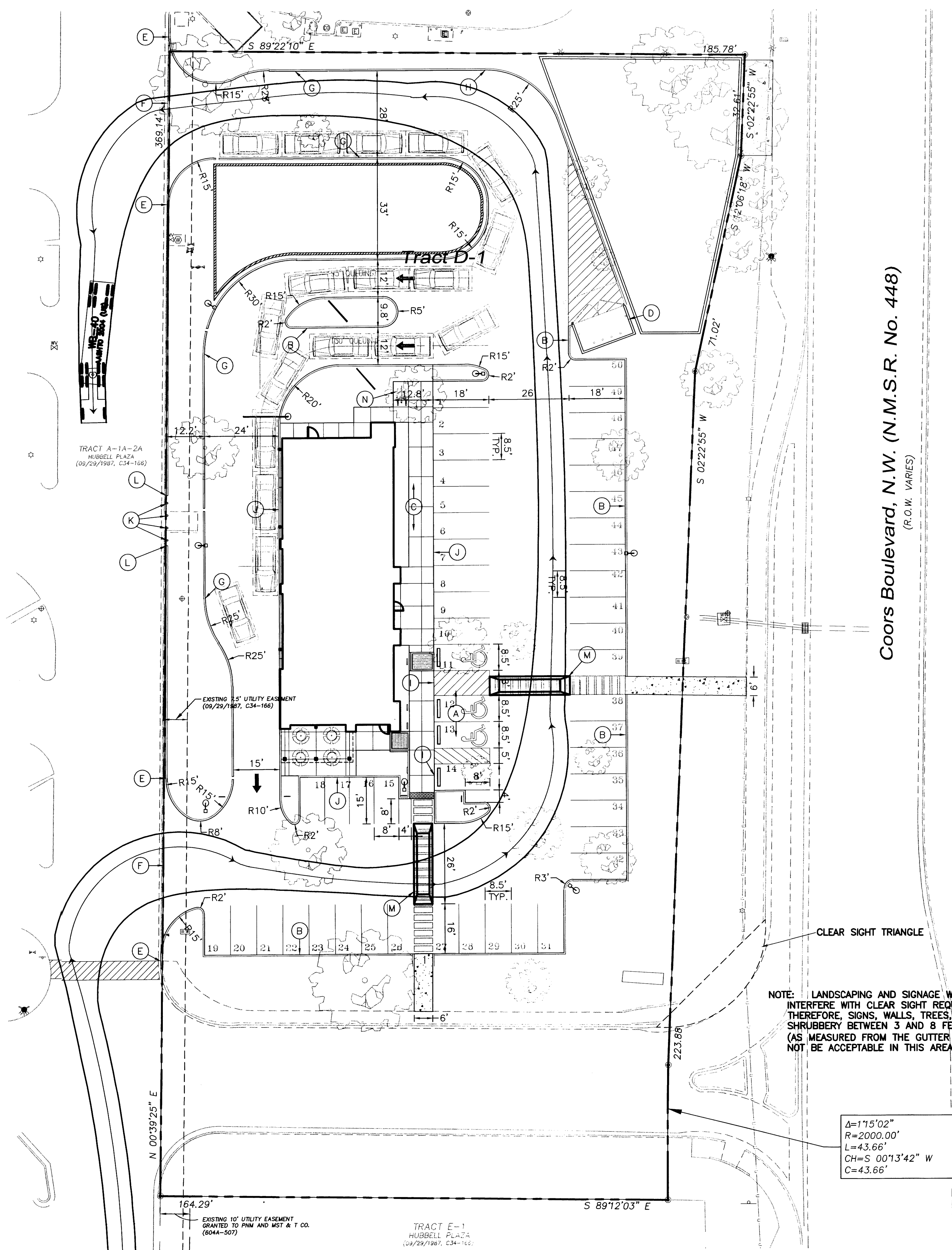
WATER SHUTOFF NOTES

THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF WELL COLLECTORS, TRANSMISSION LINES OR FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://WWW.ABRCWUA.ORG/WATER_SHUT_OFF_AND_TURN_ON_PROCEDURES.ASPX](http://www.abrcwua.org/water_shut_off_and_turn_on_procedures.aspx)

LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- BUILDING
- SIDEWALK
- - - EXISTING CURB & GUTTER
- - - RETAINING WALL
- 6" SAS — SANITARY SEWER LINE
- 6" WL — WATERLINE
- ⊙ EXISTING SAS MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER VALVE
- ⊙ EXISTING WATER METER
- ⊙ EXISTING POWER POLE
- ⊙ EXISTING GAS VALVE
- - - EXISTING UNDERGROUND UTILITIES
- - - EXISTING GAS
- - - EX. 8" SAS — EXISTING SANITARY SEWER LINE
- - - EX. 10" WL — EXISTING WATER LINE
- - - EX. 18" RCP — EXISTING STORM SEWER LINE
- E — PROPOSED ELECTRIC LINE
- G — PROPOSED GAS LINE
- T — PROPOSED TELEPHONE LINE

ENGINEER'S SEAL	FREDDY'S AT COORS AND CENTRAL	DRAWN BY DY
	CONCEPTUAL UTILITY PLAN	DATE 7-13-15
		2015036-MUE
		SHEET #
		C5
		JOB # 2015036
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierwestllc.com	



NOTES:

ZONING: C2 - COMMUNITY COMMERCIAL
 SETBACKS: FRONT = 10' MAX.
 REAR = 10' MIN.
 SIDE (CORNER) = 10' MAX.

SITE DATA

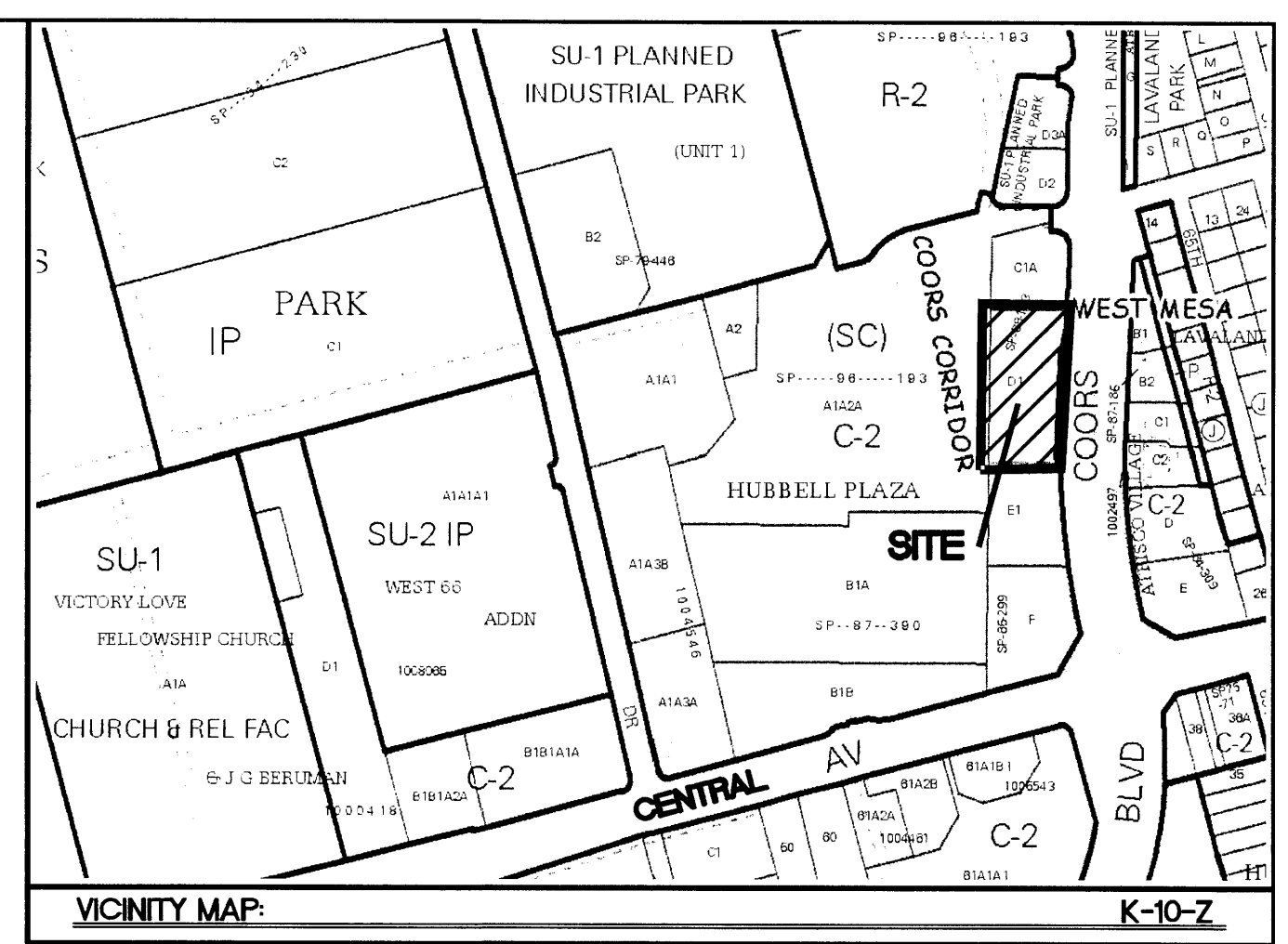
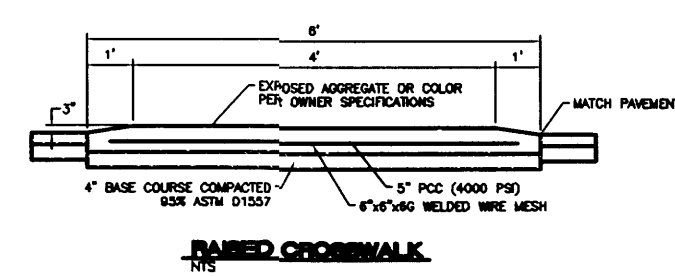
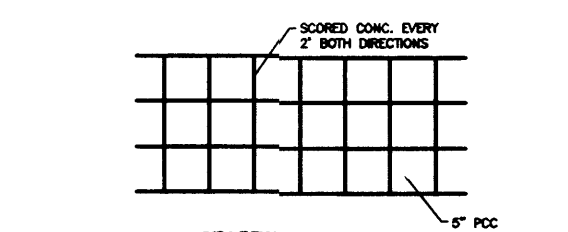
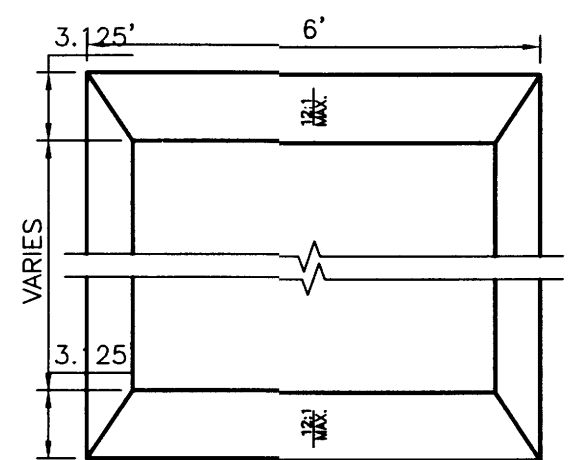
PROPOSED USAGE: RESTAURANT
 LOT AREA: 62,977 SF (1.44 ACRES)
 BUILDING AREA: 3449 SF
 PARKING REQUIRED: 27 SPACES (108 SEATS/1 SPACE PER 4 SEATS)
 PARKING PROVIDED: 50 SPACES
 HC PARKING REQUIRED: 3 SPACES
 HC PARKING PROVIDED: 3 SPACES
 1 SPACE VAN ACCESSIBLE
 MC PARKING REQUIRED: 2 SPACES
 MC PARKING PROVIDED: 2 SPACES
 BICYCLE PARKING REQUIRED: 3 SPACES
 BICYCLE PARKING PROVIDED: 3 SPACES
 LANDSCAPE AREA REQUIRED: 9,874 SF
 LANDSCAPE AREA PROVIDED: 9,915 SF

KEYED NOTE:

- (A) ACCESSIBLE PARKING PER ADA STANDARDS
- (B) 6" HEADER CURB PER COA STD DWG #2415B
- (C) CONCRETE SIDEWALK PER COA STD DWG #2430, SIZE PER PLAN
- (D) DUMPSTER ENCLOSURE, (SEE SHEET A211)
- (E) TIE NEW CURB INTO EXISTING
- (F) TIE NEW PAVEMENT INTO EXISTING
- (G) 6" STANDARD CURB & GUTTER PER COA STD DWG #2415A
- (H) 8" STANDARD CURB & GUTTER PER COA STD DWG #2415A
- (I) ZERO CURB
- (J) 6" TURN DOWN CURB PER COA STD DWG #2415A
- (K) PIPE BOLLARD
- (L) LIMITS OF PROPOSED 16.2 FT CURB CUT INTO EXISTING CURB
- (M) RAISED CONCRETE CROSSWALK
- (N) BIKE RACK

NOTE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.

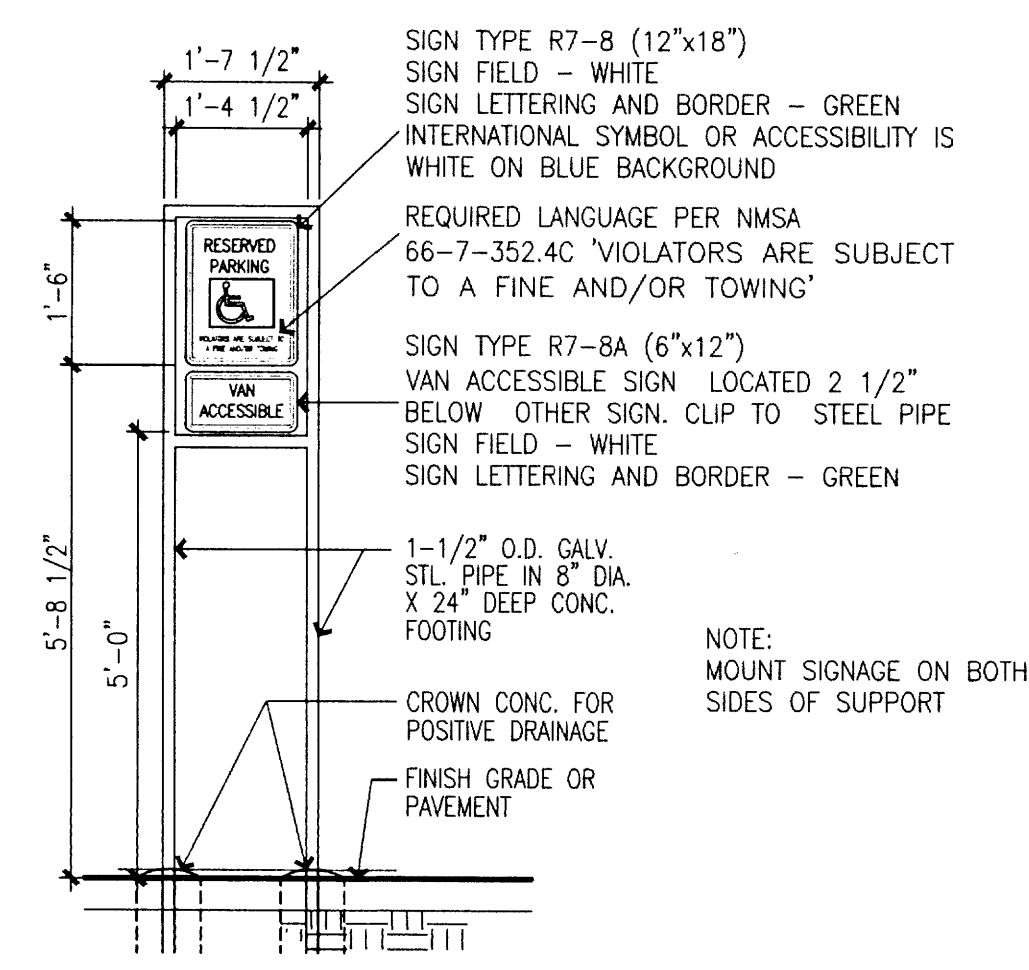
$\Delta = 115.02'$
 $R = 2000.00'$
 $L = 43.66'$
 $CH = S 0013'42" W$
 $C = 43.66'$



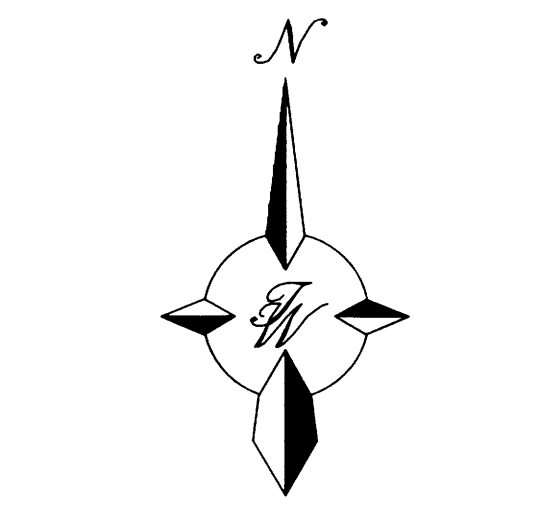
LEGAL DESCRIPTION
 TRACT D-1, HUBBELL PLAZA

LEGEND

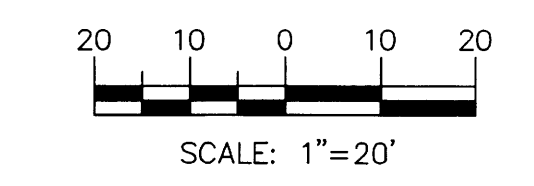
- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- ☼ STREET LIGHTS
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING STRIPING



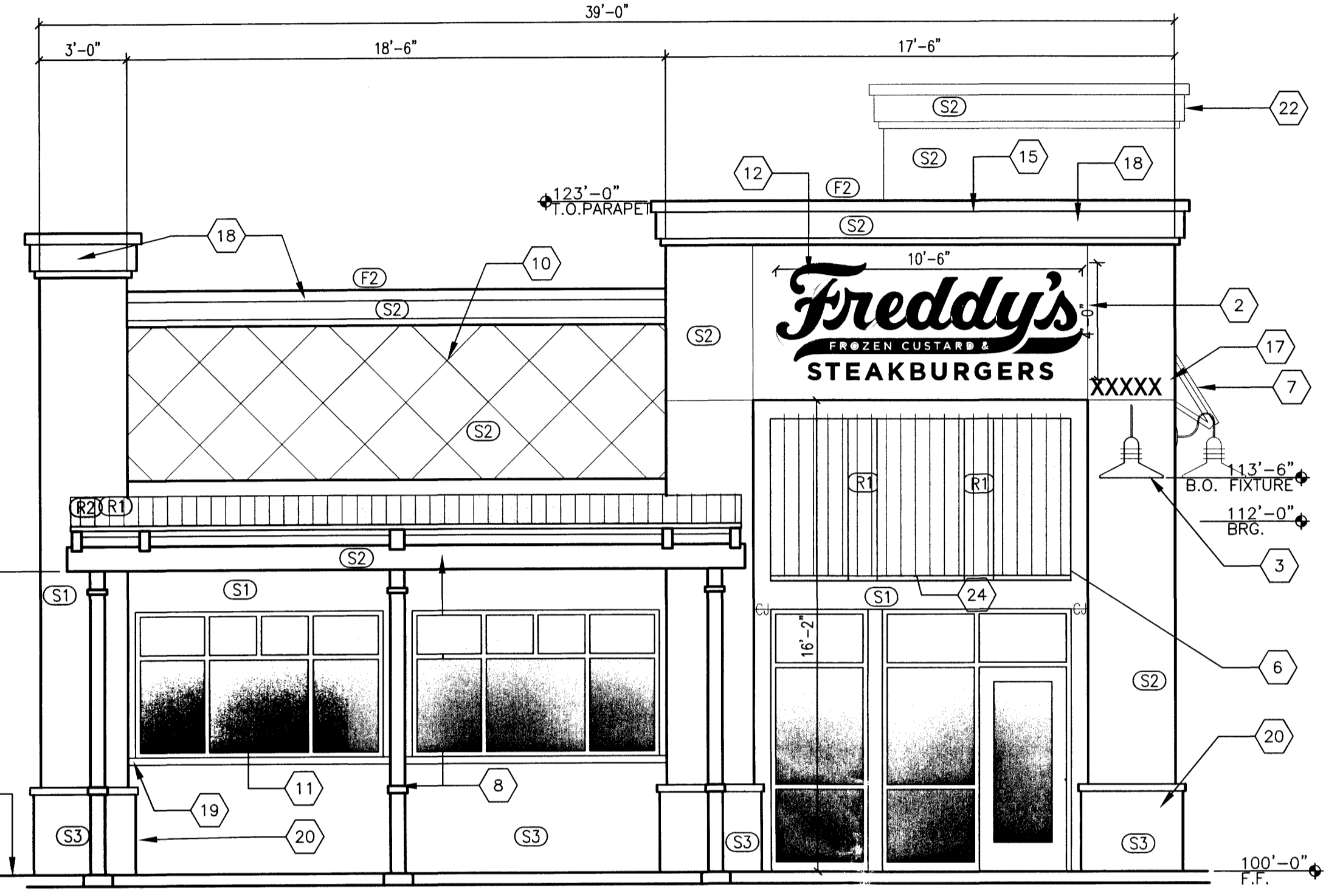
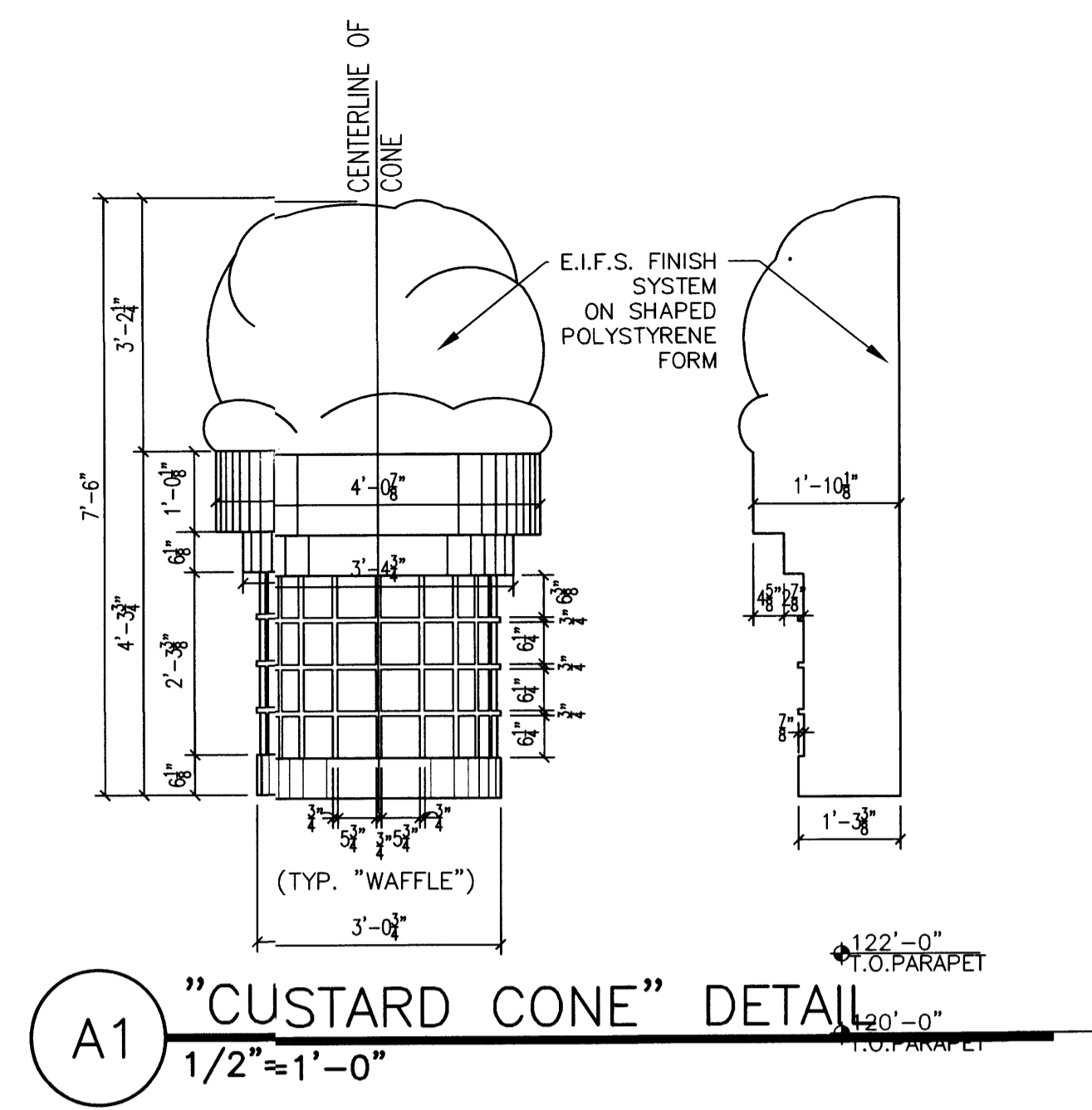
ADA VAN ACCESSIBLE SIGN
 1/2"=1'-0"



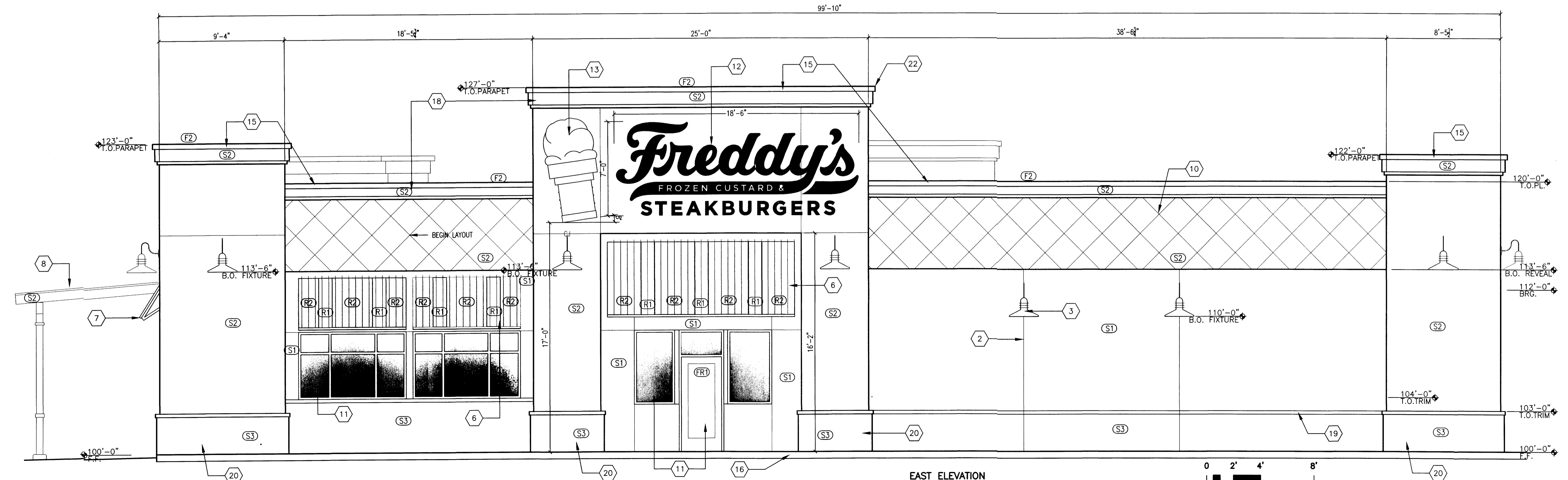
GRAPHIC SCALE



ENGINEER'S SEAL	FREDDY'S AT COORS AND CENTRAL	DRAWN BY DY
	TRAFFIC CIRCULATION LAYOUT	DATE 6/22/15
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2015036-TCL
		SHEET # C6 JOB # 2015036



SOUTH ELEVATION
 1/4"=1'-0"
 ALLOWABLE SIGNAGE CALCULATIONS:
 SOUTH ELEVATION 843 S.F. ELEVATION AREA X 12.5% = 105 SF ALLOWED
 SIGN AREA PROVIDED: 42 SQUARE FEET



EAST ELEVATION
 1/4"=1'-0"
 ALLOWABLE SIGNAGE CALCULATIONS:
 EAST ELEVATION 2218 S.F. ELEVATION AREA X 15% = 332 S.F. ALLOWED
 SIGN AREA PROVIDED: 129 SQUARE FEET

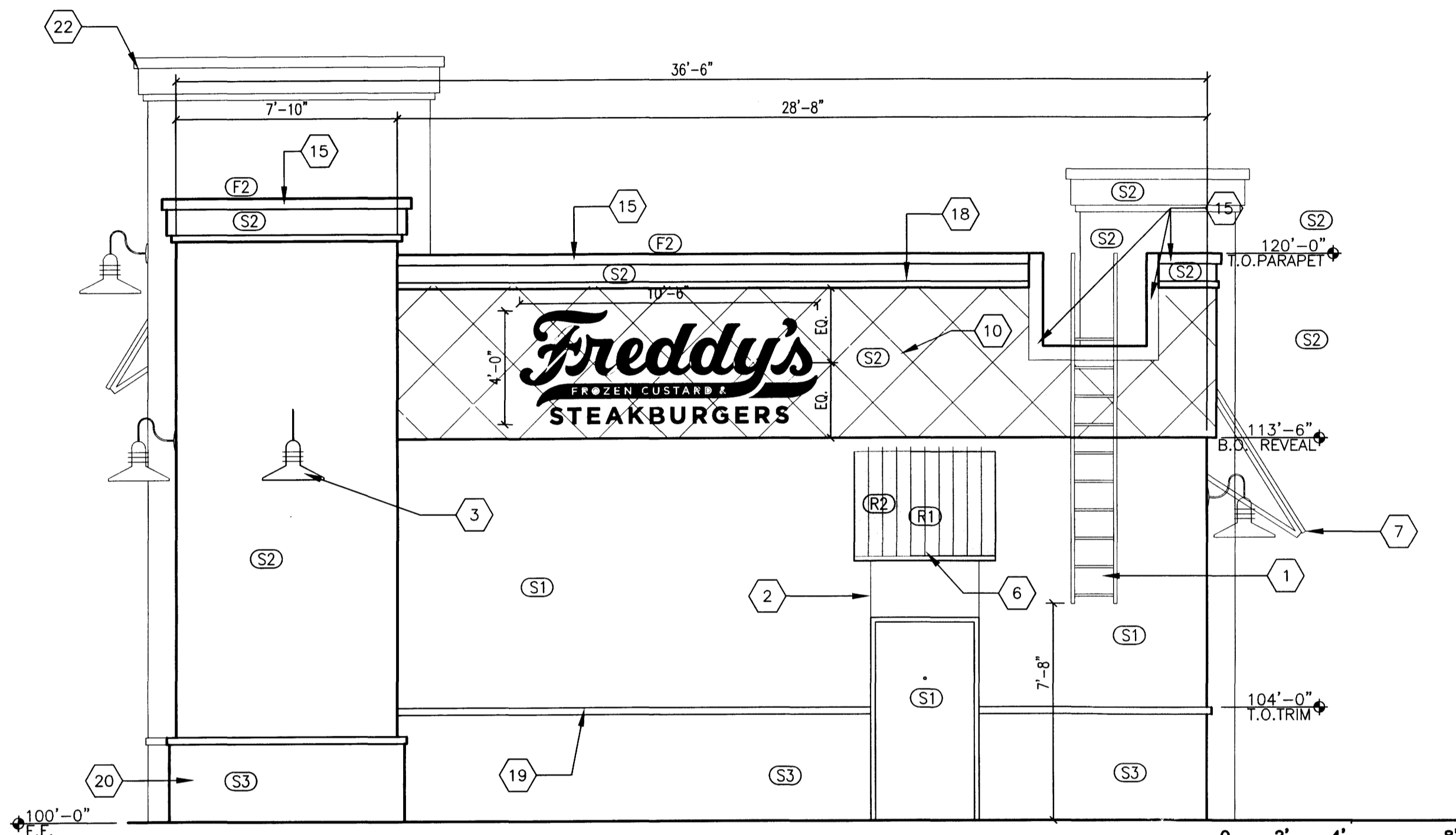
COLOR LEGEND				
MARK	MATERIAL	COLOR	MANUFACTURER & No.	COLOR NAME
(S1)	STUCCO FINISH	LIGHT TAN	SHERMAN WILLIAMS 6092	LIGHTWEIGHT BEIGE
NOTES:				
(S2)	STUCCO FINISH/TRELLIS	MEDIUM TAN	SHERMAN WILLIAMS 6094	SENSATIONAL SAND
NOTES: BIKE RACK, TRELIS, DUMPSTER ENCLOSURE/GATES				
(S3)	STUCCO FINISH	DARK TAN	SHERMAN WILLIAMS 6096	JUTE BROWN
NOTES:				
(FR)	DOOR/WINDOW FRAMES	ANODIZED ALUMINUM		
NOTES:				
(F2)	FASCIA/PARAPET	ANODIZED ALUMINUM		
NOTES:				
(T)	SOFFIT	ANODIZED ALUMINUM		
NOTES:				
(T2)	MISC. BLDG. TRIM	ANODIZED ALUMINUM		
NOTES:				
SHADE CANOPY ROOF (R1) KYNER 500 - BRITE WHITE (R2) KYNER 500 - AUTUMN RED				
NOTES: STANDING SEAM				
KEYED NOTES				
1. ROOF ACCESS LADDER 2. STUCCO CONTROL JOINT (CJ) 3. WALL MOUNTED LIGHT FIXTURE, PREFINISHED RED 4. METAL ROOF LEADER 5. OVERFLOW SCUPPER 6. SHADE CANOPY - STANDING SEAM METAL ROOF ON METAL FRAME 7. CANOPY STRUCTURE BEYOND 8. PAINTED STEEL TRELIS STRUCTURE WITH STANDING SEAM MTL ROOF 9. LINE OF GRADE 10. STUCCO REVEAL, 2'-0" O.C. 11. ALUMINUM STOREFRONT WINDOW/DOOR SYSTEM 12. TENANT SIGN, FLUSH MOUNTED, 5" DEEP CHANNEL LETTERS, CHERRY RED WITH 1" BLACK TRIM, BACK LIGHTED. 13. 3-DIMENSIONAL EIFS CONE DECORATION REFER A1/A111 14. DRIVE THROUGH WINDOW 15. PREFINISHED PARAPET COPING TO MATCH STUCCO 16. CONCRETE SIDEWALK 17. 12" TALL ADDRESS NUMBERS - DIRECT APPLIED AERIAL FONT 18. RIGID FOAM REVEAL WITH STUCCO FINISH 19. RIGID FOAM REVEAL AT BASE 20. FURRED BASE AT COLUMNS 21. RIGID FOAM REVEAL AT BASE 22. 27" TALL ENTRY PORTION OF BUILDING, REFER TO DETAILS A3 AND B3/A211 FOR ALLOWABLE SHADOW PROJECTION CALCULATIONS				



DRAWING NAME
 REVISIONS

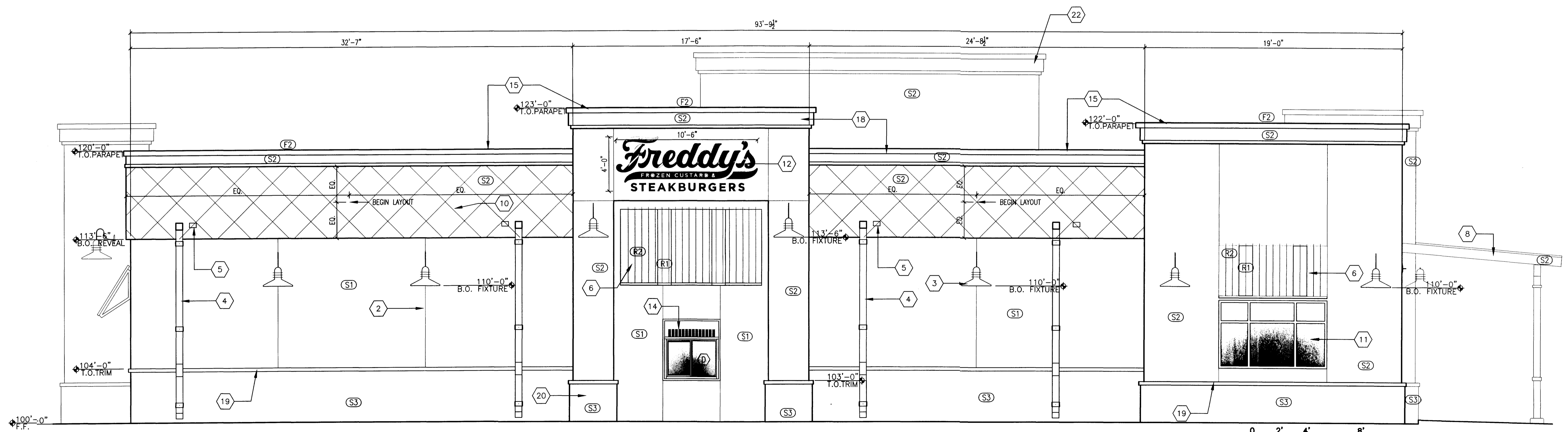
Freddy's Restaurant
 Tract D-1 Hubbell Plaza
 North Albuquerque Acres, Albuquerque NM
 A111

peter butterfield
 architect
 13013 glenwood hills ct. ne
 albuquerque nm 87111 (ph) 505 332 9323 (fax) 212 0901



NORTH ELEVATION

1/4"=1'-0"
 ALLOWABLE SIGNAGE CALCULATIONS:
 NORTH ELEVATION 750 S.F. ELEVATION AREA X 12.5% = 93.74 S.F. ALLOWED
 SIGN AREA PROVIDED: 42 SQUARE FEET



WEST ELEVATION

1/4"=1'-0"
 ALLOWABLE SIGNAGE CALCULATIONS:
 WEST ELEVATION 1972 S.F. ELEVATION AREA X 10% = 197 S.F. ALLOWED
 SIGN AREA PROVIDED: 42 SQUARE FEET

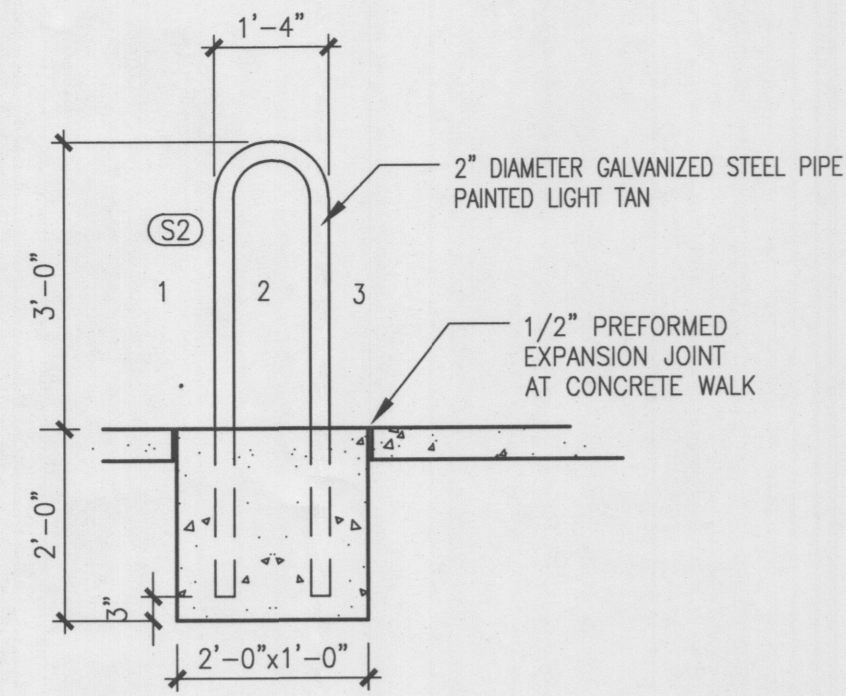
# COLOR LEGEND				
MARK	MATERIAL	COLOR	MANUFACTURER & No.	COLOR NAME
(S1)	STUCCO FINISH	LIGHT TAN	SHERMAN WILLIAMS 6092	LIGHTWEIGHT BEIGE
NOTES:				
(S2)	STUCCO FINISH/TRELLIS	MEDIUM TAN	SHERMAN WILLIAMS 6094	SENSATIONAL SAND
NOTES: BIKE RACK, TRELIS, DUMPSTER ENCLOSURE/GATES				
(S3)	STUCCO FINISH	DARK TAN	SHERMAN WILLIAMS 6096	JUTE BROWN
NOTES:				
(FR)	DOOR/WINDOW FRAMES	ANODIZED ALUMINUM		
NOTES:				
(F2)	FASCIA/PARAPET	ANODIZED ALUMINUM		
NOTES:				
(T1)	SOFFIT	ANODIZED ALUMINUM		
NOTES:				
(T2)	MISC. BLDG. TRIM	ANODIZED ALUMINUM		
NOTES:				
SHADE CANOPY ROOF	(R1)	KYNER 500 - BRITE WHITE	(R2)	KYNER 500 - AUTUMN RED
NOTES: STANDING SEAM				
KEYED NOTES				
<ol style="list-style-type: none"> 1. ROOF ACCESS LADDER 2. STUCCO CONTROL JOINT (CJ) 3. WALL MOUNTED LIGHT FIXTURE, PREFINISHED RED 4. METAL ROOF LEADER 5. OVERFLOW SCUPPER 6. SHADE CANOPY - STANDING SEAM METAL ROOF ON METAL FRAME 7. CANOPY STRUCTURE BEYOND 8. PAINTED STEEL TRELIS STRUCTURE WITH STANDING SEAM MITL ROOF 9. LINE OF GRADE 10. STUCCO REVEAL, 2'-0" O.C. 11. ALUMINUM STOREFRONT WINDOW/DOOR SYSTEM 12. TENANT SIGN, FLUSH MOUNTED, 5" DEEP CHANNEL LETTERS, CHERRY RED WITH 1" BLACK TRIM, BACK LIGHTED. 13. 3-DIMENSIONAL EPS CONE DECORATION REFER A1/A111 14. DRIVE THROUGH WINDOW 15. PREFINISHED PARAPET COPING TO MATCH STUCCO 16. CONCRETE SIDEWALK 17. 12" TALL ADDRESS NUMBERS - DIRECT APPLIED AERIAL FONT 18. RIGID FOAM REVEAL WITH STUCCO FINISH 19. RIGID FOAM REVEAL AT BASE 20. FURRED BASE AT COLUMNS 21. RIGID FOAM REVEAL AT BASE 22. 27" TALL ENTRY PORTION OF BUILDING, REFER TO DETAILS A3 AND B3/A211 FOR ALLOWABLE SHADOW PROJECTION CALCULATIONS 				

peter butterfield
 architect
 13013 glenwood hills ct. ne
 albuquerque nm 87111 (ph) 505 332 9323 (fax) 212 1901

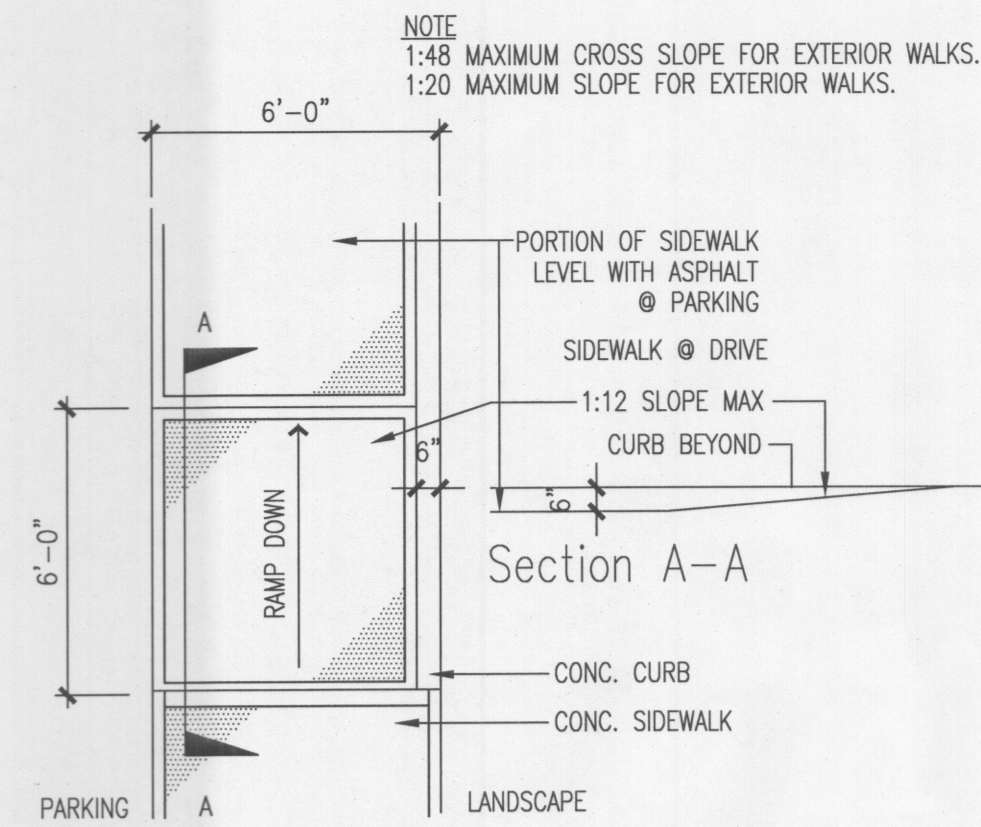


DRAWING NAME
 REVISIONS
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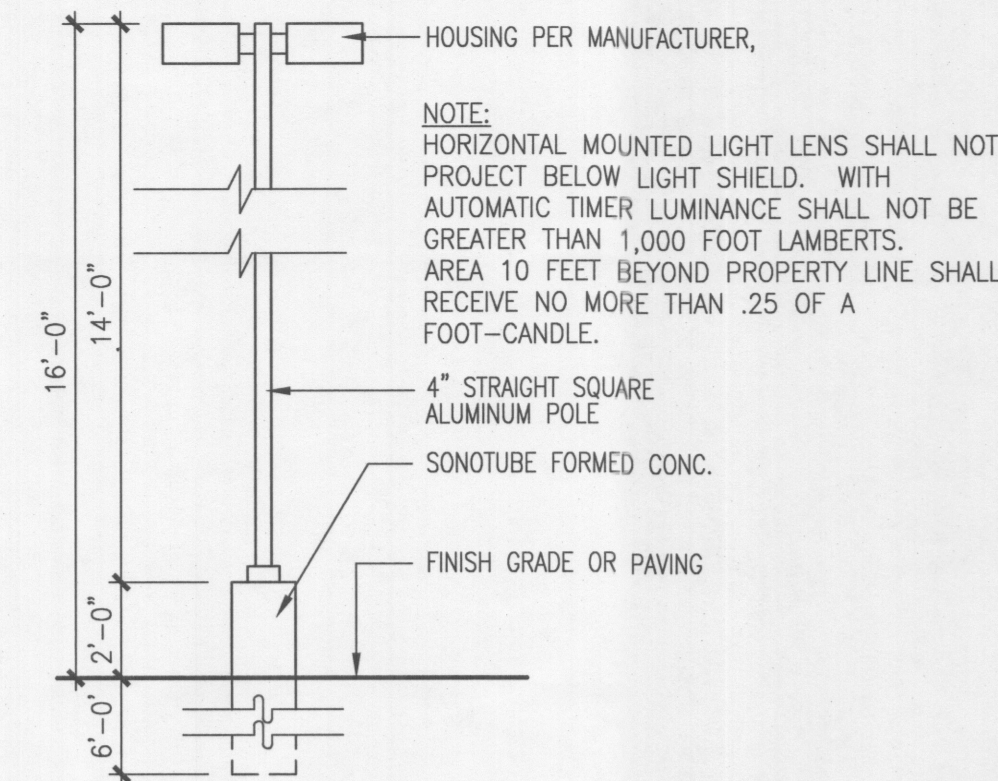
SHEET NO.
 Freddy's Restaurant
 Tract D-1 Hubbell Plaza
 North Albuquerque Acres, Albuquerque NM
 A112



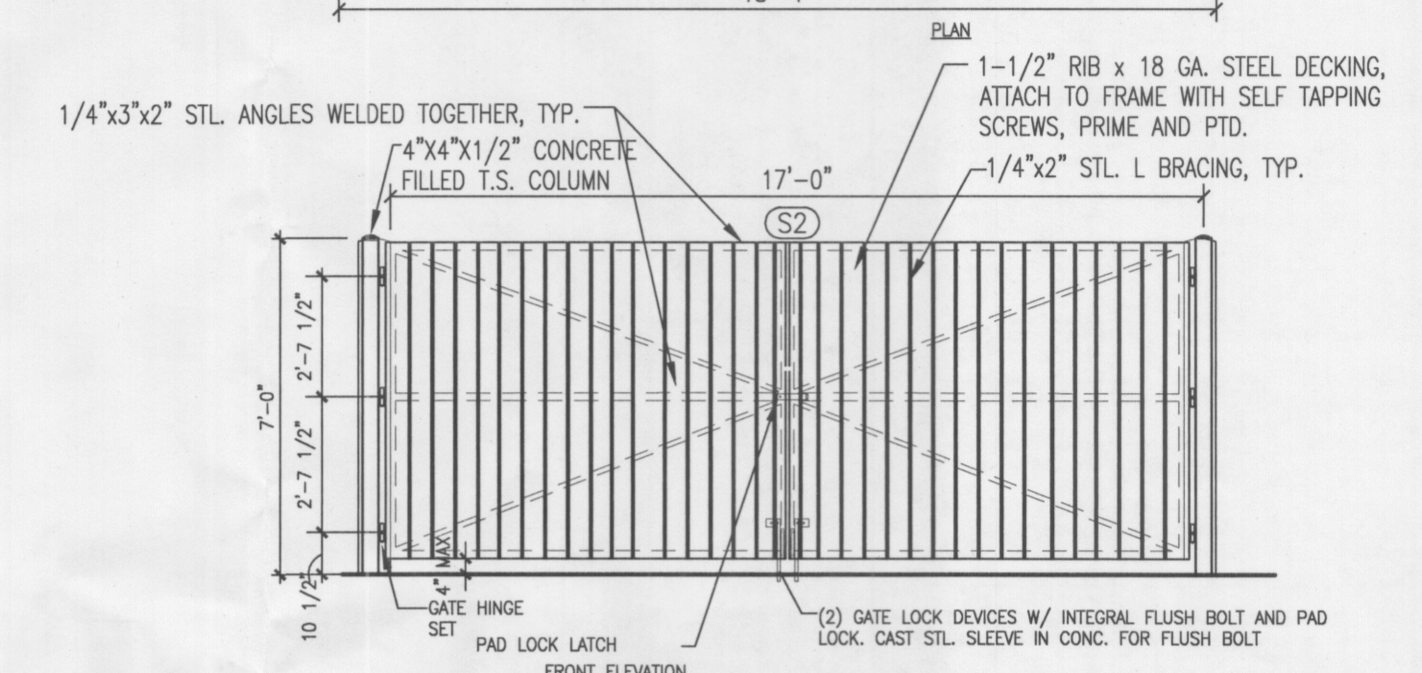
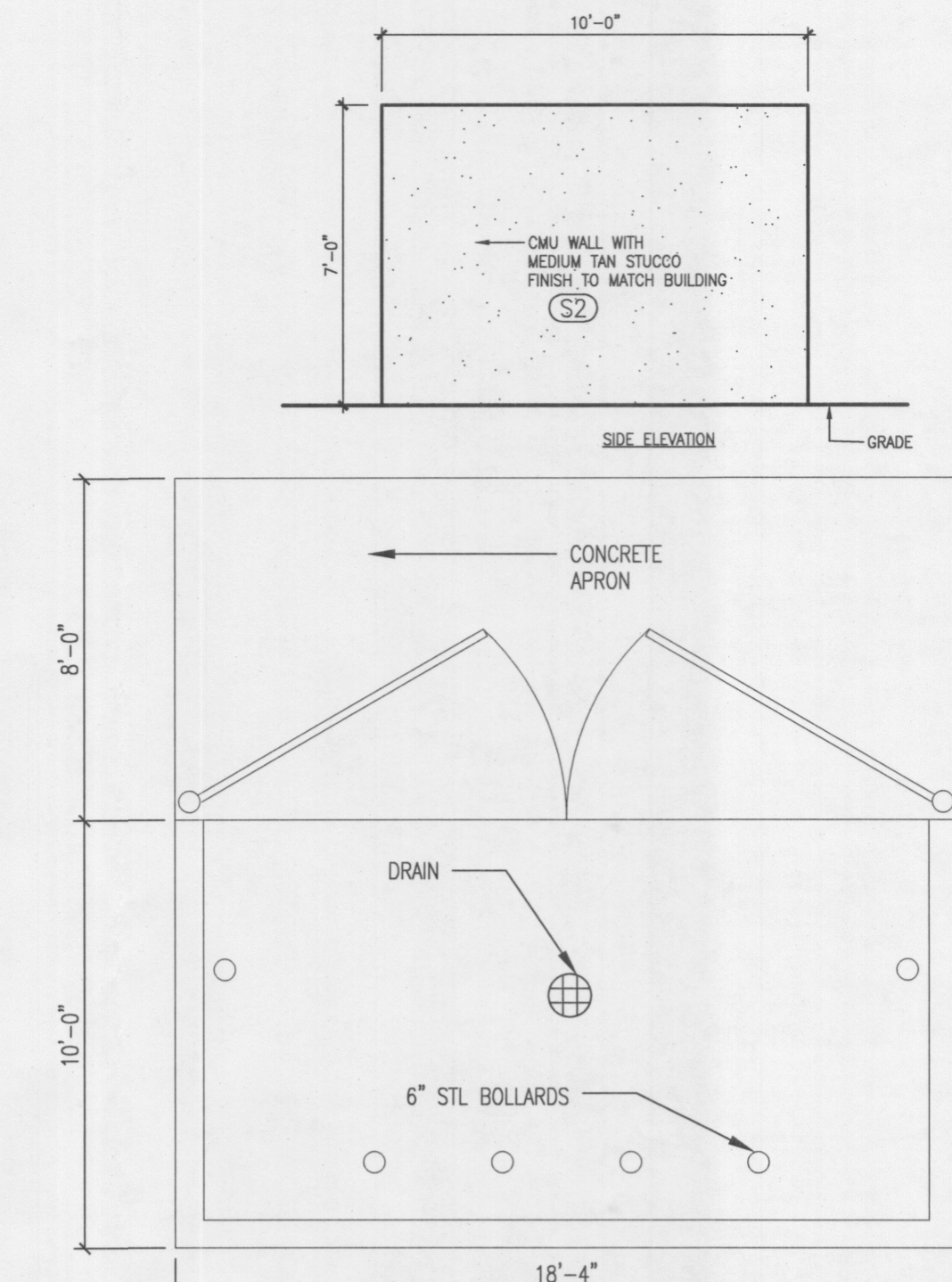
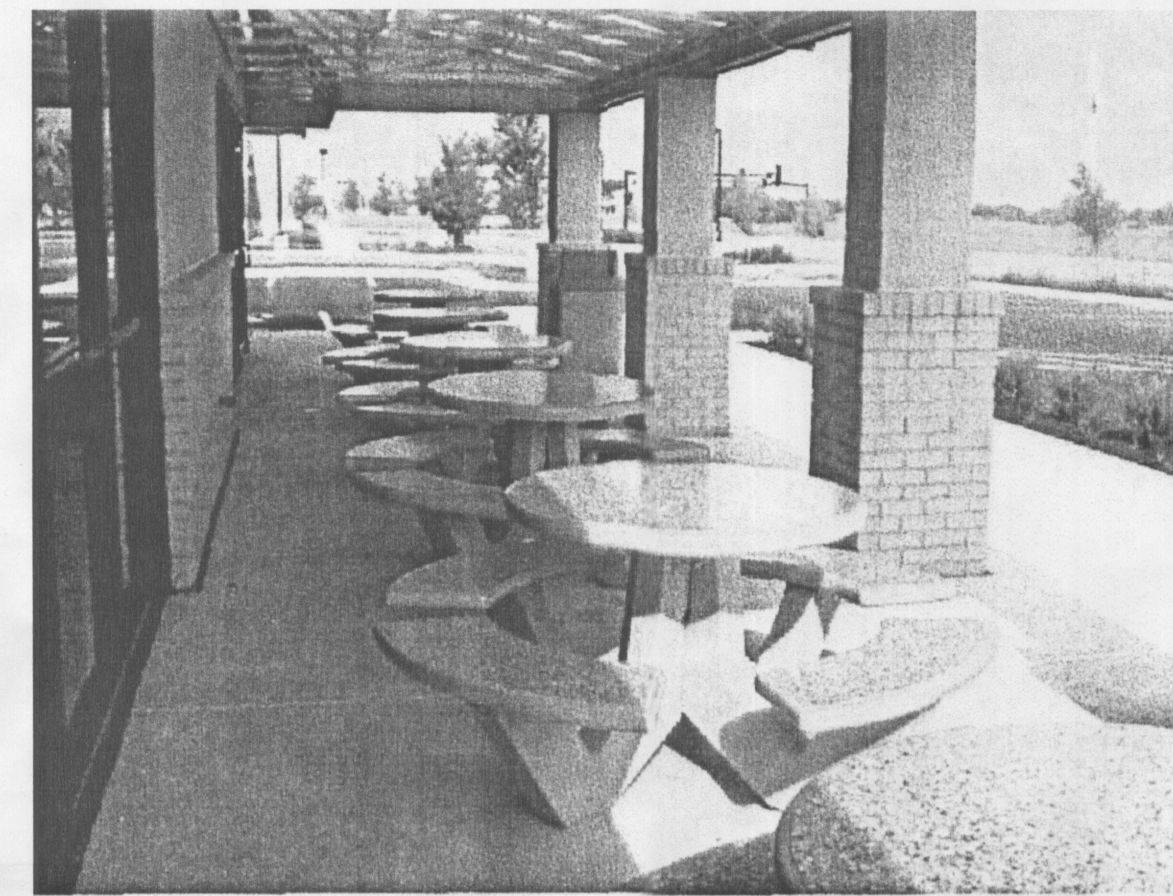
D2 BICYCLE RACK
1/2"=1'-0"



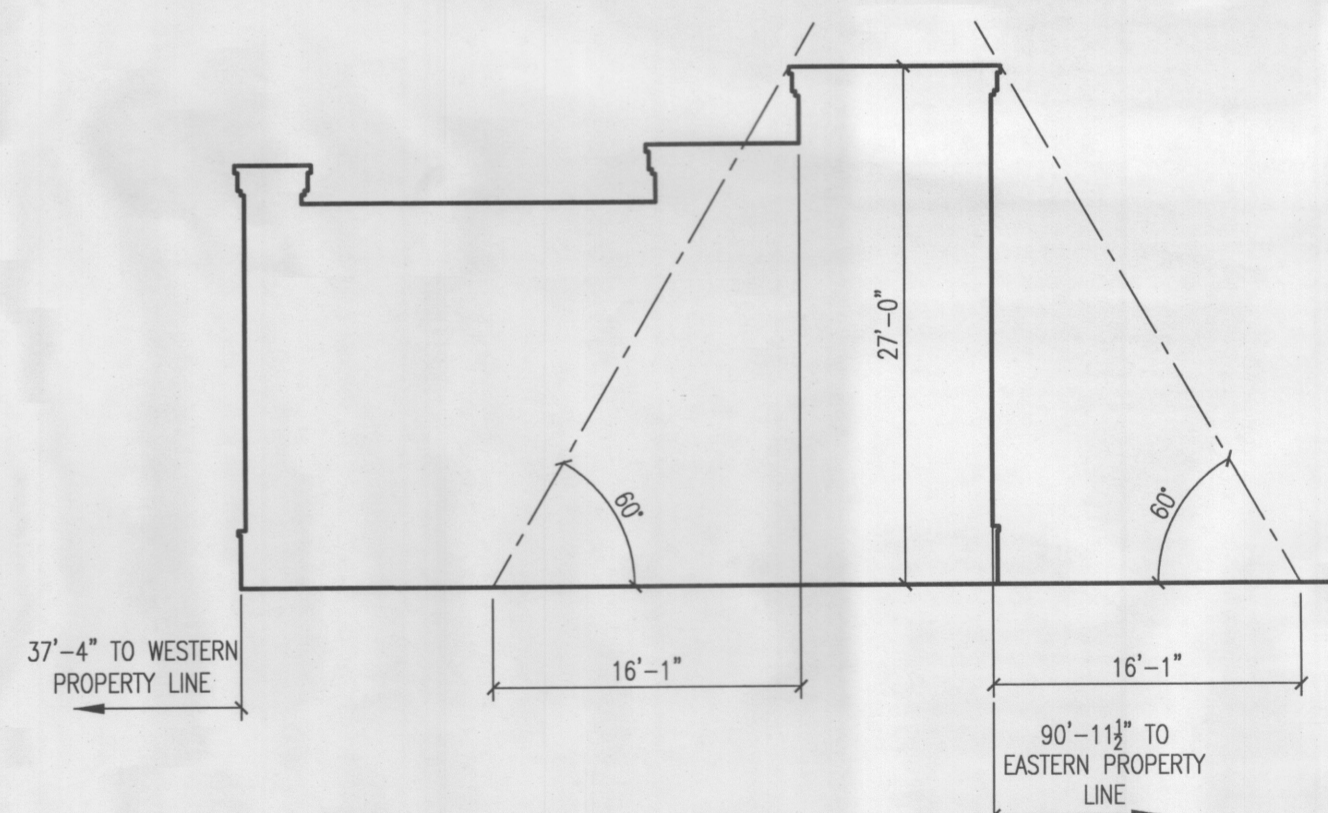
D3 RAMP @ SIDEWALK
1/4"=1'-0"



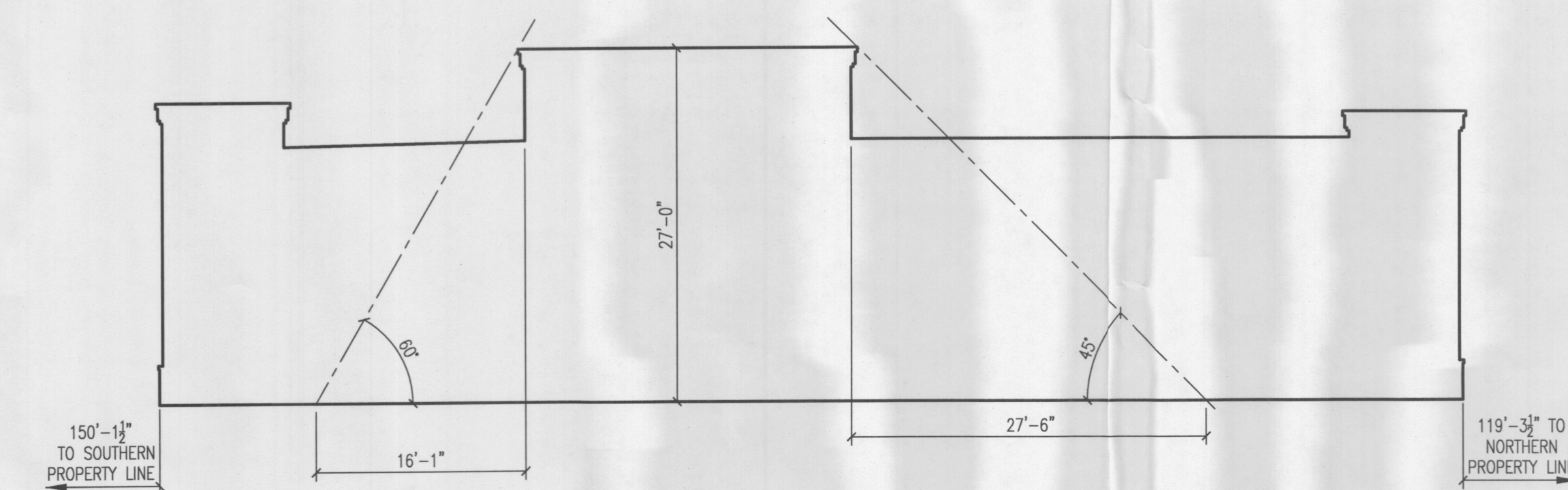
D4 LIGHT POLE DETAIL
1/4"=1'-0"



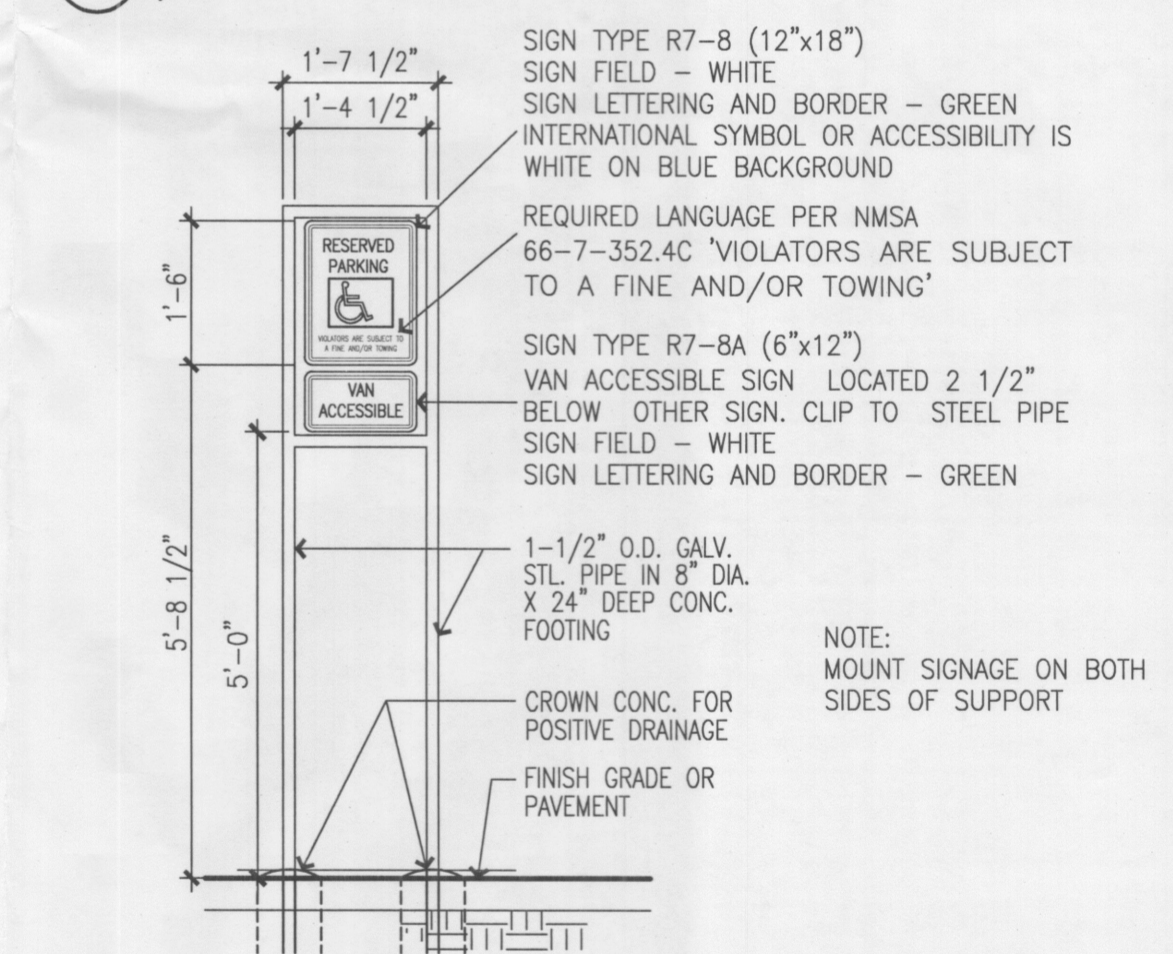
C5 REFUSE ENCLOSURE
3/8"=1'-0"



B3 PROJECTION STUDY EAST-WEST
1"=10'-0"



A3 PROJECTION STUDY NORTH-SOUTH
1"=10'-0"

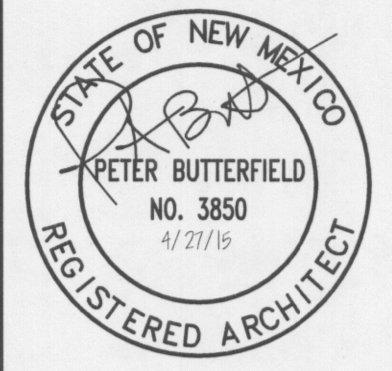


B5 ADA VAN ACCESSIBLE SIGN
1/2"=1'-0"

COLOR LEGEND				
MARK	MATERIAL	COLOR	MANUFACTURER & No.	COLOR NAME
(S1)	STUCCO FINISH	LIGHT TAN	SHERMAN WILLIAMS 6092	LIGHTWEIGHT BEIGE
NOTES:				
(S2)	STUCCO FINISH/TRELLIS	MEDIUM TAN	SHERMAN WILLIAMS 6094	SENSATIONAL SAND
NOTES: BIKE RACK, TRELLIS, DUMPSTER ENCLOSURE/GATES				
(S3)	STUCCO FINISH	DARK TAN	SHERMAN WILLIAMS 6096	JUTE BROWN
NOTES:				
(FR1)	DOOR/WINDOW FRAMES	ANODIZED ALUMINUM		
NOTES:				
(F2)	FASCIA/PARAPET	ANODIZED ALUMINUM		
NOTES:				
(T1)	SOFFIT	ANODIZED ALUMINUM		
NOTES:				
(T2)	MISC. BLDG. TRIM	ANODIZED ALUMINUM		
NOTES:				
SHADE CANOPY ROOF	(R1)	KYNER 500 - BRITTE WHITE	(R2)	KYNER 500 - AUTUMN RED
NOTES: STANDING SEAM				

peter butterfield

architect 13013 glenwood hills ct. ne
albuquerque nm 87111 (ph) 505 332 9323 (fax) 212 0901

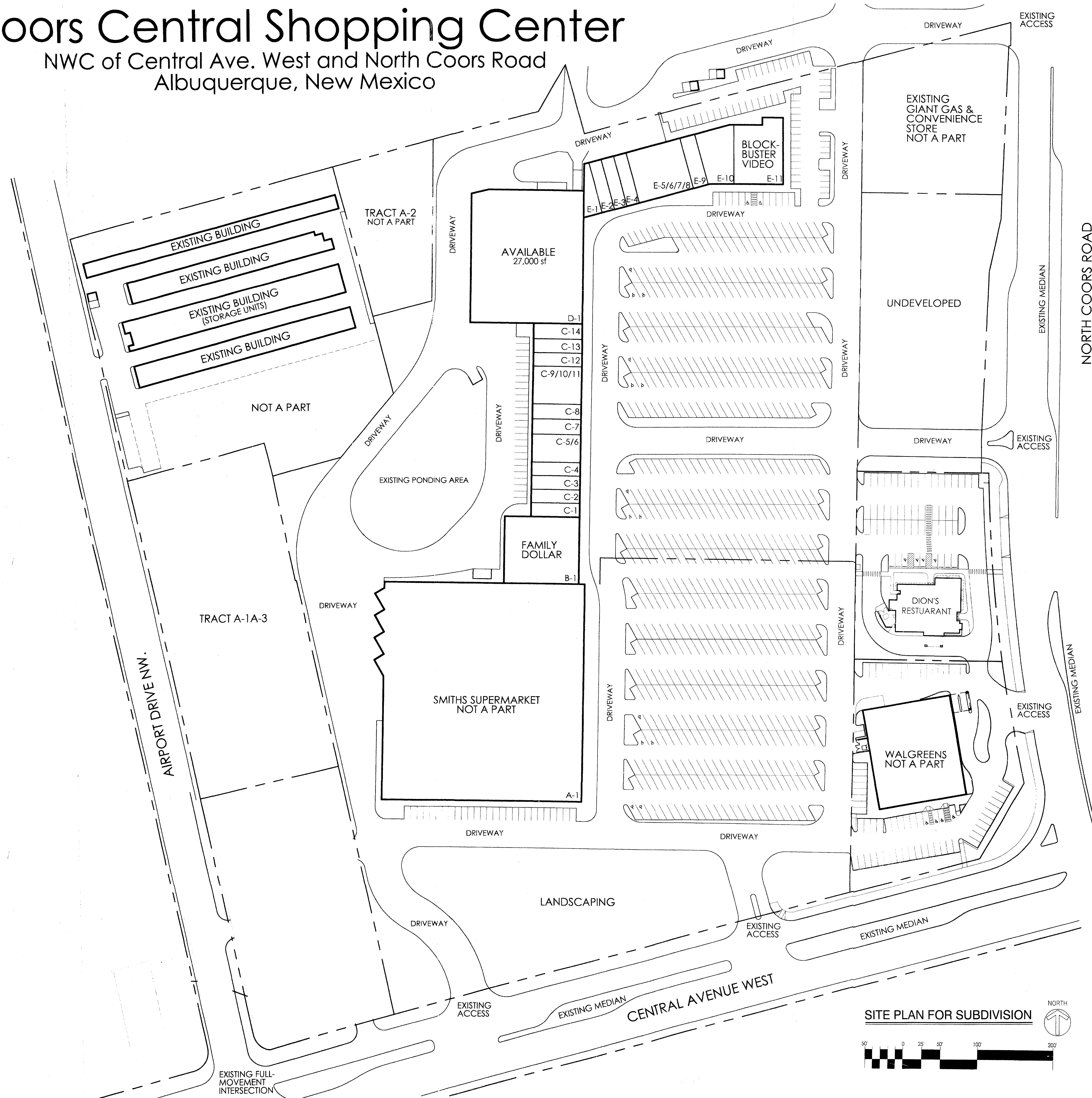


DRAWING NAME
REVISIONS

Freddy's Restaurant
Tract D-1 Hubbell Plaza
North Albuquerque Acres, Albuquerque NM

Coors Central Shopping Center

NWC of Central Ave. West and North Coors Road
Albuquerque, New Mexico

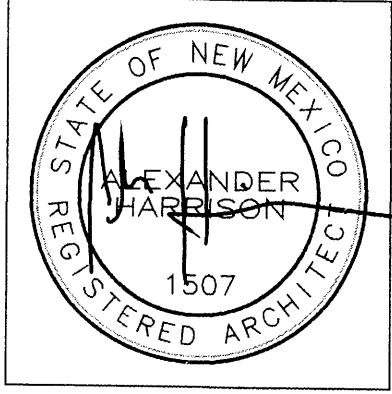


RETAIL ROSTER

A-1	SMITHS SUPERMARKET
B-1	FAMILY DOLLAR
C-1	AMERICANS CASH EXPRESS
C-2	SUN LOAN COMPANY
C-3	STYLE AMERICA
C-4	SALLY BEAUTY SUPPLY
C-5/6	AVAILABLE - 2340 SF.
C-7	FARMERS INSURANCE
C-8	MAIL-DEPOT
C-9/10/11	COLOR Tyme
C-12	AVAILABLE - 1170 SF.
C-13	BEAUTY NAILS
C-14	OLD SCHOOL OF DRIVING
D-1	AVAILABLE - 27,000 SF.
E-1/2	FIRST CHOICE COMMUNITY HEALTH CARE
E-3	CIGARETTES CHEAPER
E-4	H & R BLOCK
E-5/6/7/8	SMALL SMILES
E-9	PIZZA HUT
E-10	REX'S HAMBURGERS
E-11	BLOCKBUSTER VIDEO

SPS
PRELIMINARY PLAT
APPROVED BY DRB
ON 6/8/05

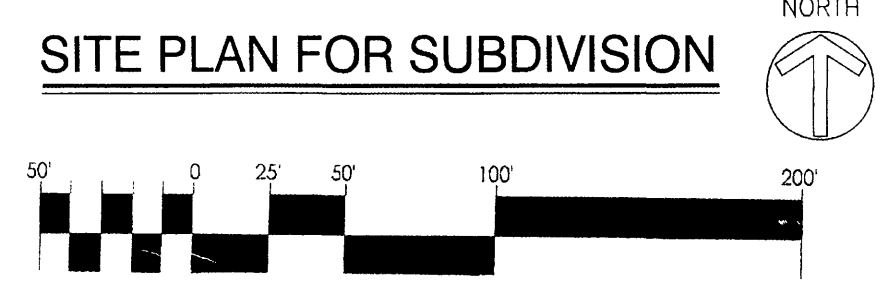
ALEXANDER HARRISON ARCHITECT
8605 Mountain Road NE, Albuquerque, NM 87112, 299-6322

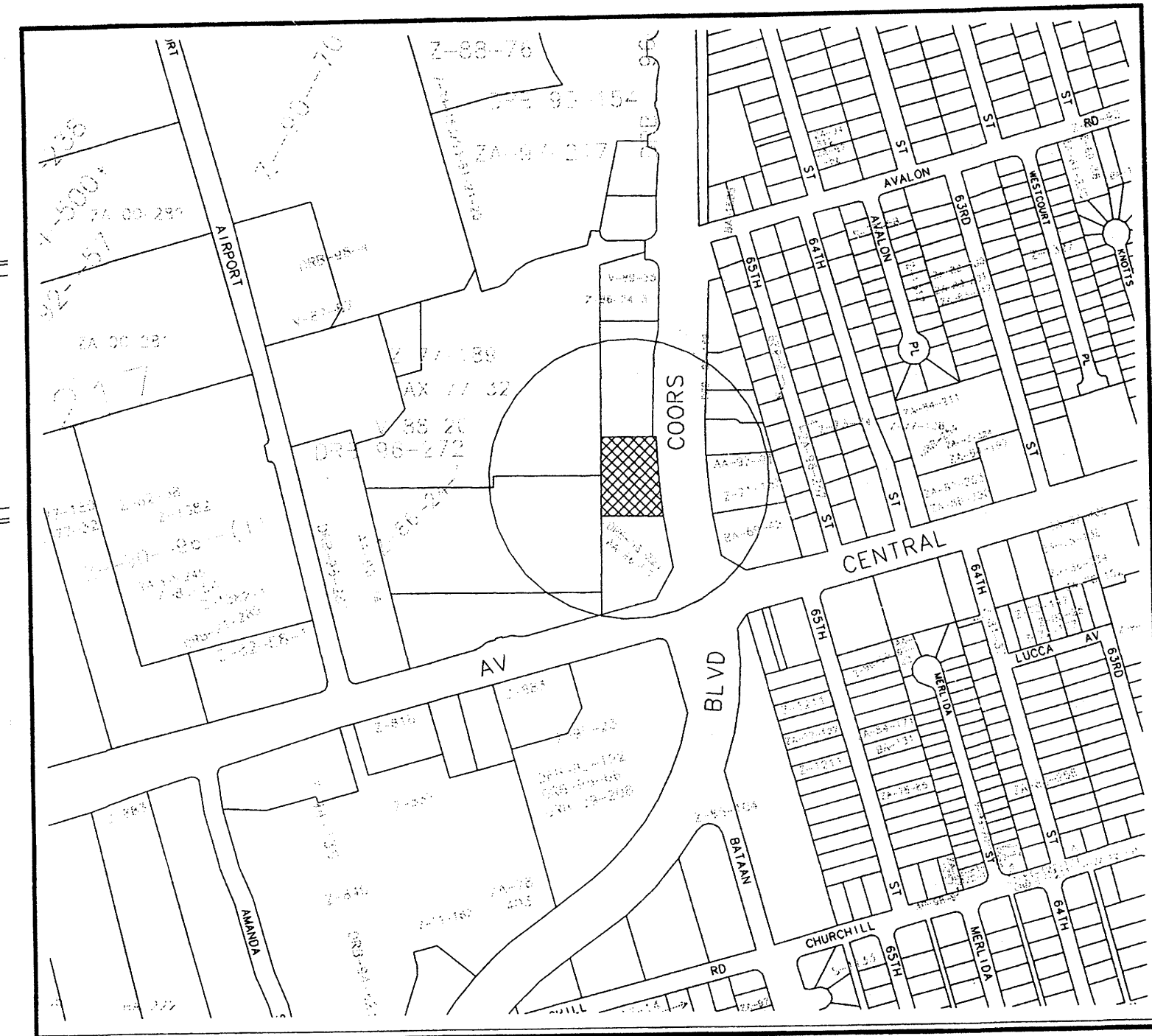
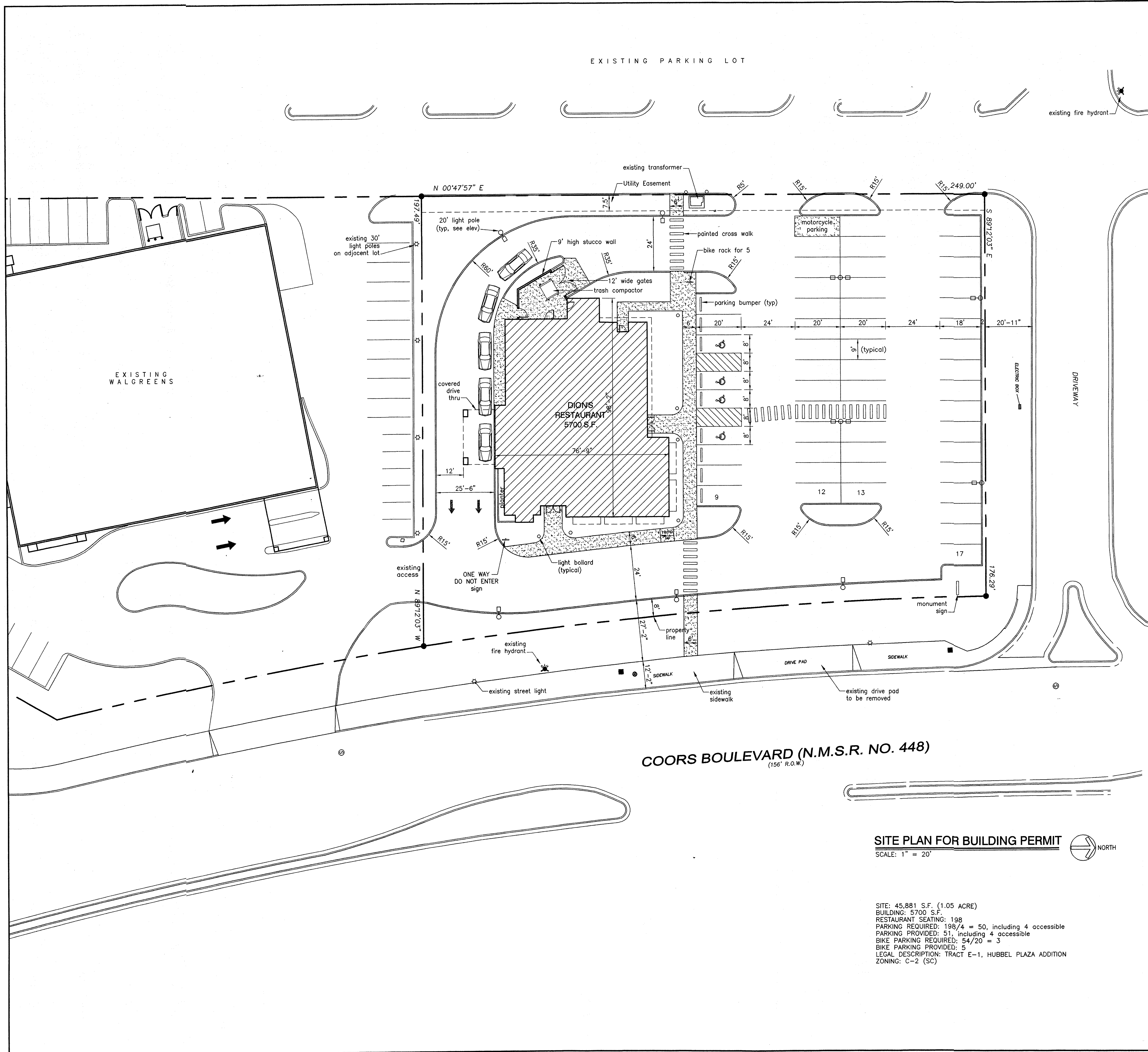


proj: 501
file: PROJECT\DION'S\DION'S C & C
date: APR 5, 2005
revisions: May 27, 2005 - EPC changes

Dion's Restaurant
Coors & Central
Albuquerque, New Mexico

Site Plan for Subdivision sheet number
1
of 5 sheets





VICINITY MAP
SCALE: 1" = 500'

COORS BOULEVARD (N.M.S.R. NO. 448)
(156' R.O.W.)

SITE PLAN FOR BUILDING PERMIT
SCALE: 1" = 20'

SITE: 45,881 S.F. (1.05 ACRE)
BUILDING: 5700 S.F.
RESTAURANT SEATING: 198
PARKING REQUIRED: 198/4 = 50, including 4 accessible
PARKING PROVIDED: 51, including 4 accessible
BIKE PARKING PROVIDED: 54/20 = 3
BIKE PARKING PROVIDED: 5
LEGAL DESCRIPTION: TRACT E-1, HUBBEL PLAZA ADDITION
ZONING: C-2 (SC)

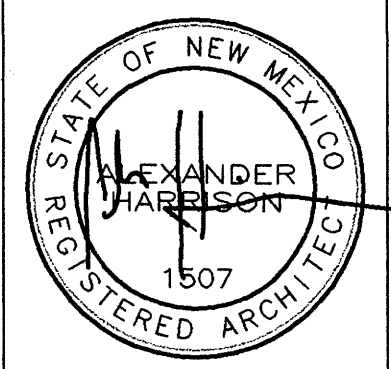
SPRP
PRELIMINARY PLAT
APPROVED BY DRB
ON 4/8/05

PROJECT NUMBER: 1004095
APPLICATION NUMBER:
Is an Infrastructure List required? () Yes () No
If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
<i>Michael Holton</i> Solid Waste Management	5-31-05 Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	

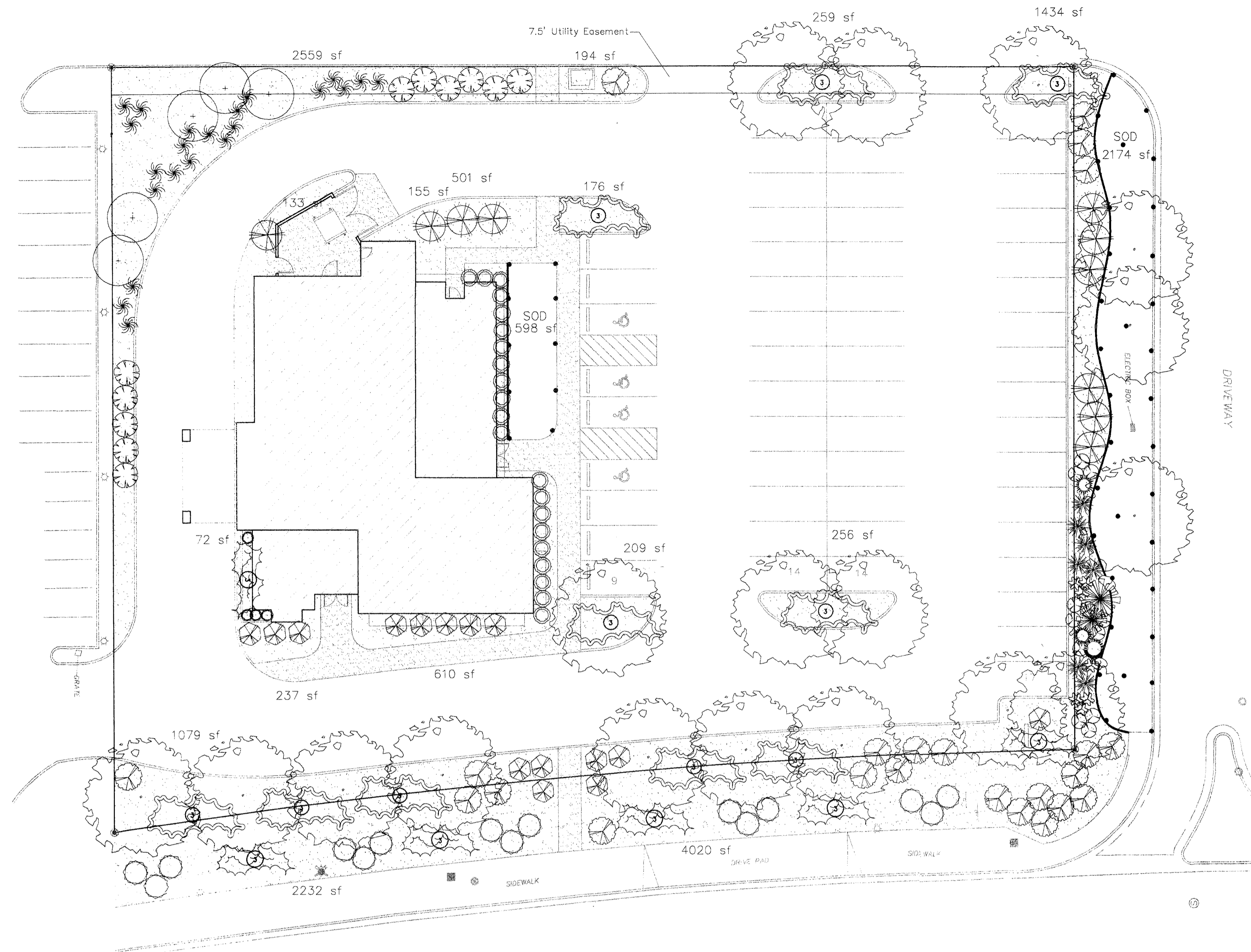
ALEXANDER HARRISON ARCHITECT
8605 Mountain Road NE, Albuquerque, NM 87112, 299-6322
ALL RIGHTS RESERVED, COPYRIGHT © 2005 BY ALEXANDER HARRISON



proj: 501
file: PROJECT\DION'S\DION'S C & C
date: APR 5, 2005
revisions: May 27, 2005 - EPC changes

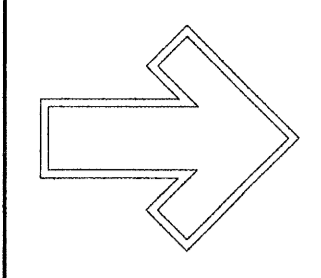
Dion's Restaurant
Coors & Central
Albuquerque, New Mexico

Site Plan for Building Permit sheet number
2
of 5 sheets



PLANT LEGEND

- ASH (H) OR HONEY LOCUST (M) 18
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal.
- NEW MEXICO OLIVE (M) 5
Quercus emoryana
15 Gal. 225sf
- PALM YUCCA (L) 2
- MUGO PINE (M) 1
Pinus mugo
5 Gal. 36sf
- SILVERBERRY (M) 10
Elaeagnus pungens
5 Gal. 100sf
- RED TIP PHOTINIA (M) 15
Photinia fraserii
5 Gal. 36sf
- RED YUCCA (L) 7
Hesperaloe parviflora
5 Gal. 9sf
- MAIDENGRASS (M) 22
Miscanthus sinensis
5 Gal. 16sf
- INDIAN HAWTHORN (M) 15
Raphiolepis indica
5 Gal. 36sf
- LANAS/ SCOTCH BROOM (M) 2
Cytisus scoparius/
Cenista hispanica
5 Gal. 9sf
- ROSEMARY (M) 21
Rosmarinus officinalis
2 Gal. 9sf
- LAVENDER (M) 4
Lavandula angustifolia
1 Gal. 9sf
- HALLS HONEYSUCKLE (M) 23
Japonica 'Halliana'
1 Gal. 44sf
Unstaked-Groundcover
- CHAMISA (L) 11
Chrysothamnus nauseosus
1 Gal. 23sf
- THREADGRASS (M) 7
Stipa tenuissima
1 Gal. 4sf
- WILDFLOWER 12
1 Gal. 4sf
- CREeping ROSEMARY (L) 18
Rosmarinus officinalis Prostrata
1 Gal. 36sf
Symbol indicates 3 plants
- GREYLEAF COTONEASTER (M) 30
Cotoneaster buxifolius
5 Gal. 81sf
Symbol indicates 3 plants
- COMMERCIAL-GRADE
STEEL EDGING
- OVERSIZED GRAVEL
& 3 BOULDERS
- SOD WITH POP UP SPRINKLER
- 3/4" GRAY GRAVEL
WITH FILTER FABRIC
TO MATCH NEIGHBORING
SITE



Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cnd@hiltoplandscaping.com

LANDSCAPE
ARCHITECT'S
SEAL

JAMES DE FLON
#0007

DIONS NO. 13
COORS AND CENTRAL
LANDSCAPE PLAN

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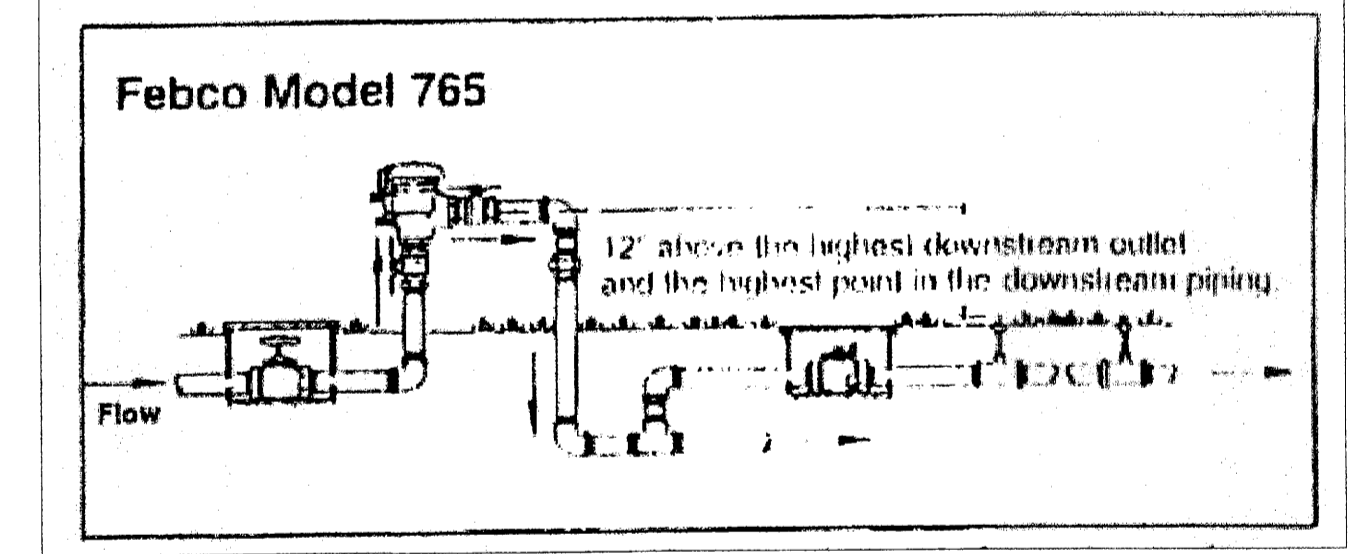
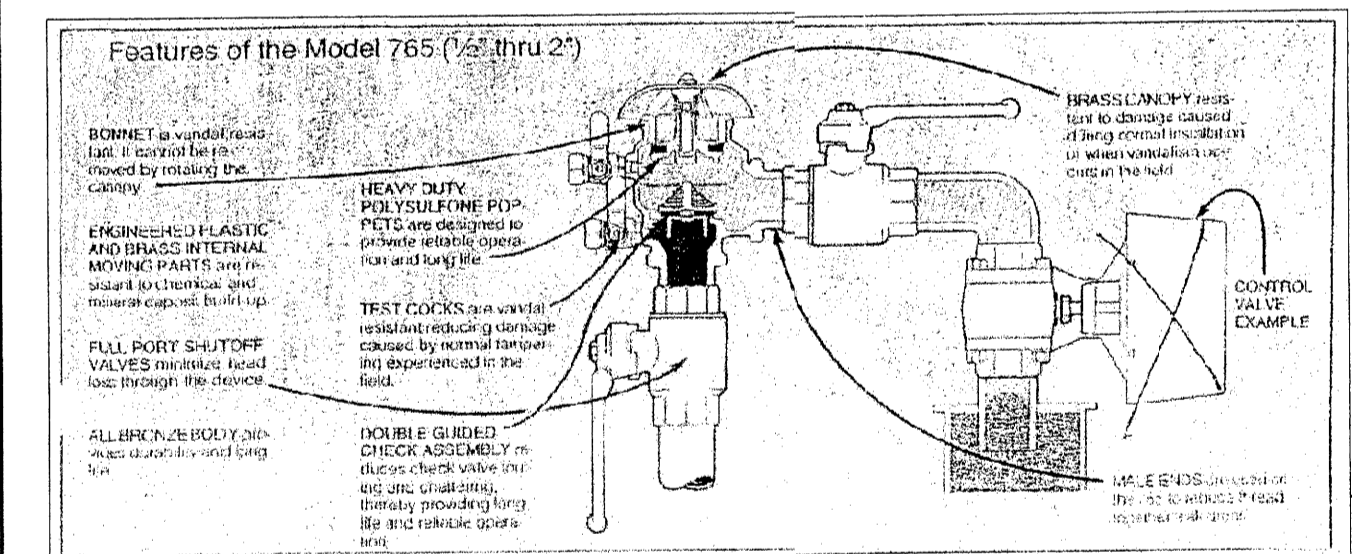


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REVISION #
1

DATE
4-5-05

SHEET #
3 OF 5



COORS BOULEVARD (N.M.S.R. NO. 448)
(156' R.O.W.)

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	45891	square feet
TOTAL BUILDINGS AREA	5975	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	39916	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	5987	square feet
TOTAL BED PROVIDED	14126	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	10594	square feet
TOTAL GROUNDCOVER PROVIDED	10636	square feet
TOTAL SOD AREA (max. 20% of landscape)	2750 (16%)	square feet
TOTAL LANDSCAPE PROVIDED	16876	square feet

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

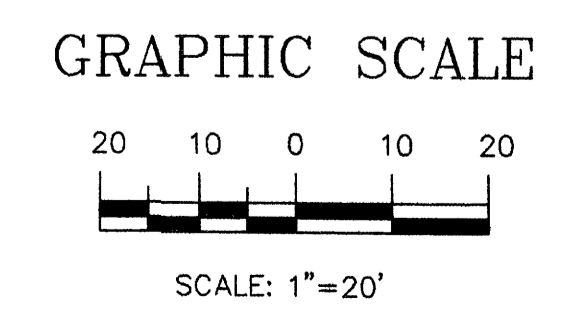
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

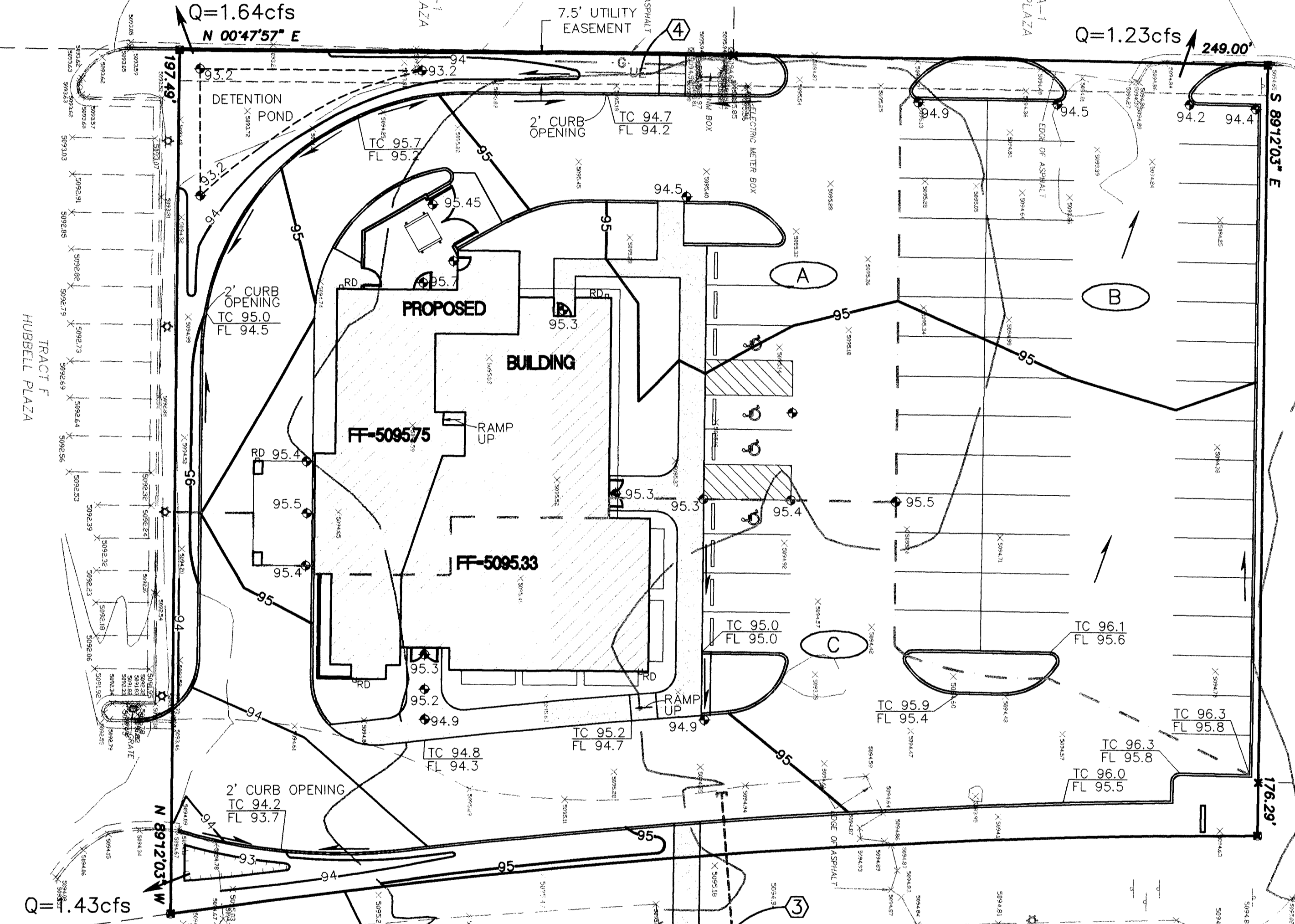
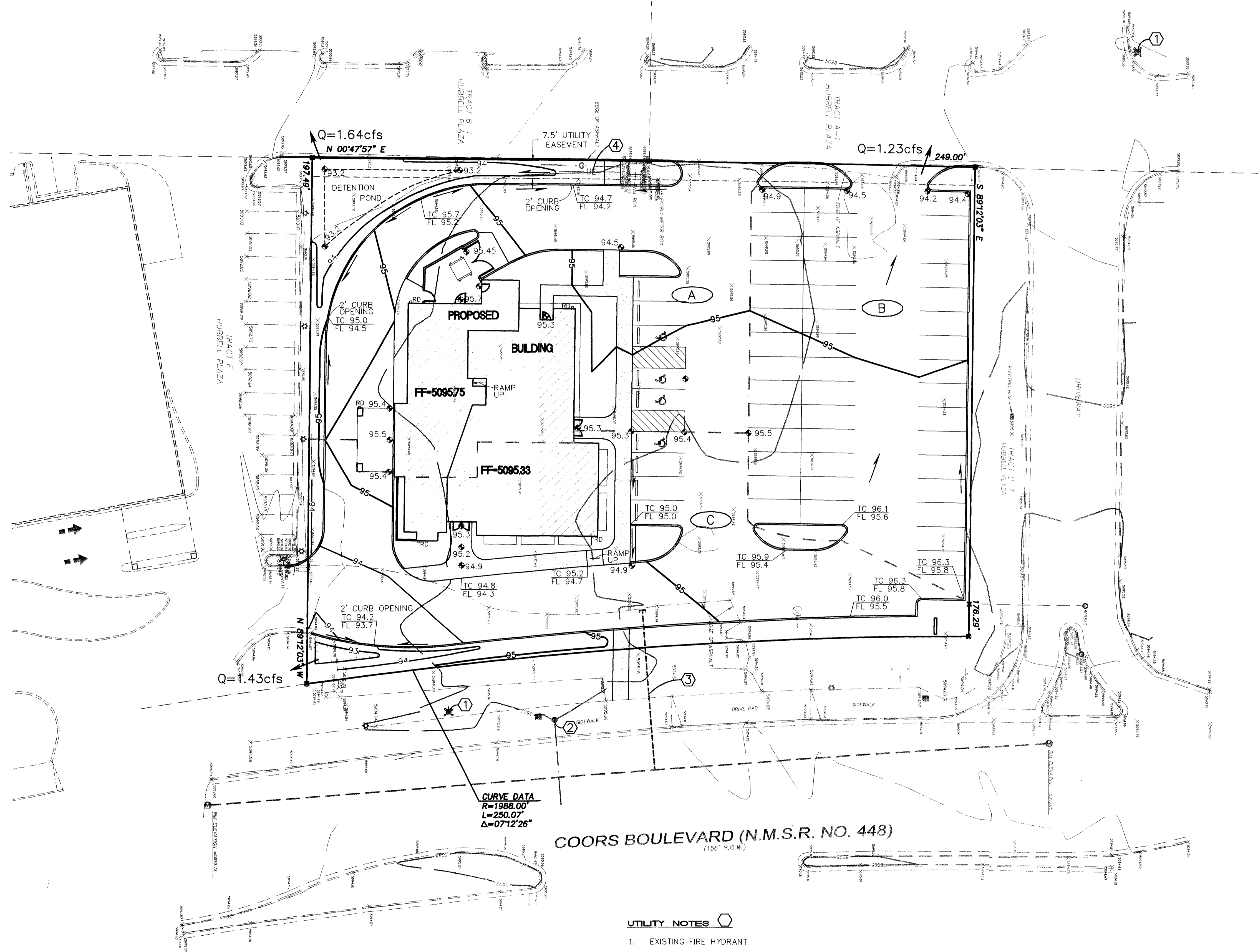
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.



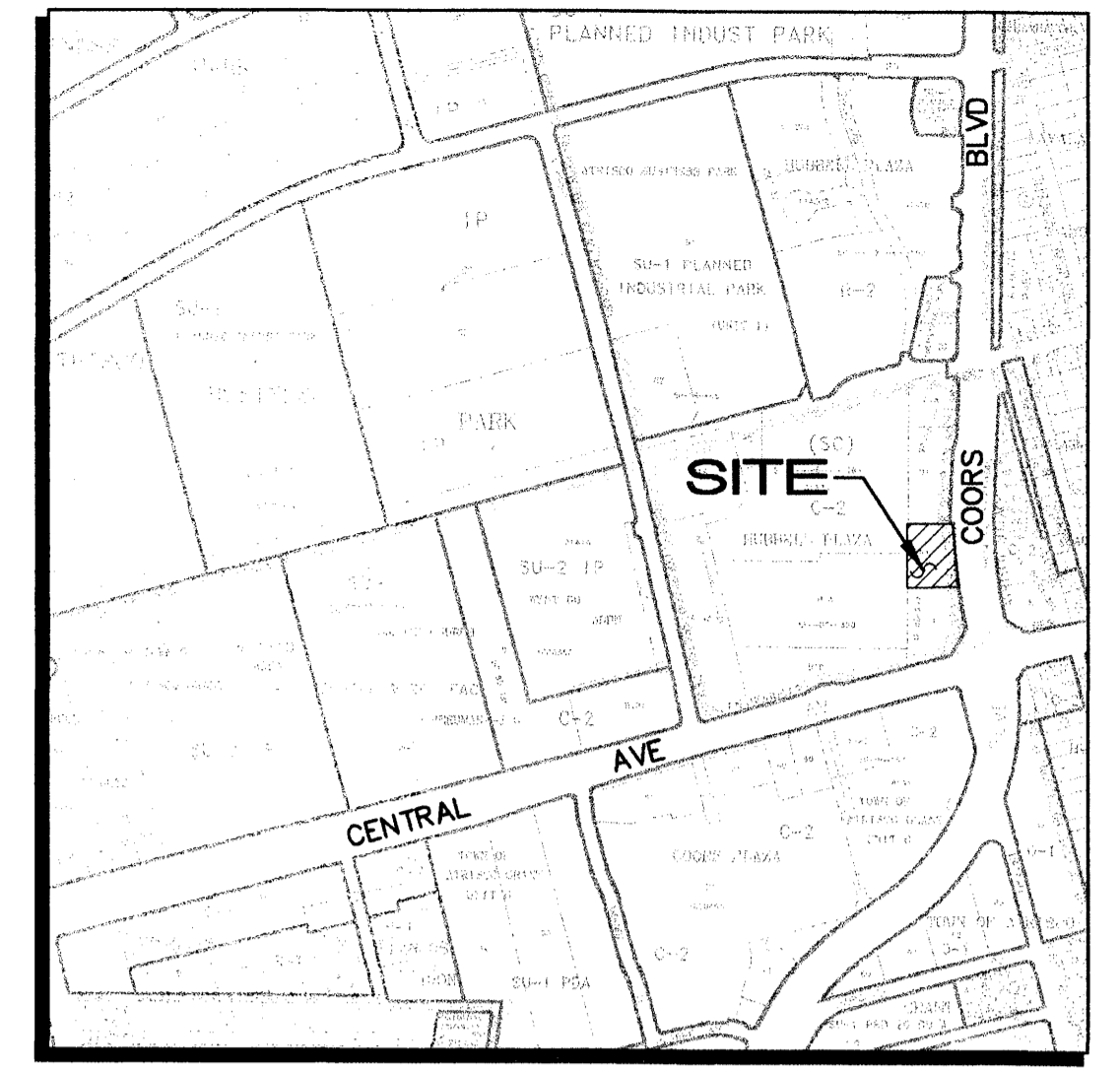
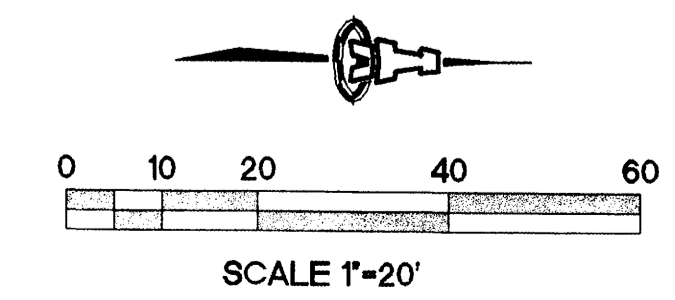


CURVE DATA
 R=1988.00'
 L=250.07'
 Δ=07°12'26"

COORS BOULEVARD (N.M.S.R. NO. 448)
 (156' R.O.W.)

UTILITY NOTES

- EXISTING FIRE HYDRANT
- EXISTING 1½" WATER SERVICE WITH METER BOX.
- EXISTING 6" SANITARY SEWER STUBOUT.
- GAS & ELECTRIC TO BE EXTENDED FROM FACILITIES WITHIN EASEMENT ALONG THE WEST SIDE OF THE TRACT.



K-10 VICINITY MAP 1"=750'±

LEGAL DESCRIPTION: TRACT E-1 HUBBEL PLAZA
AREA: 1.0533 ACRES (45, 881 SF)
FLOODPLAIN: FEMA FLOOD PANEL 329 (DATED 11/19/03) SHOWS THIS SITE IN ZONE "X" WHICH IS OUTSIDE THE 100-YEAR FLOODPLAIN.
HYDROLOGY: THE EXISTING SITE IS UNDEVELOPED, BUT HAS ASPHALT PAVING ALONG THE EAST SIDE. THE SITE IS FAIRLY FLAT WITH RUNOFF DISCHARGING TO THE WEST, SOUTH, & EAST SIDES.
PROPOSED DEVELOPMENT INCLUDES A 5,500 SF BUILDING WITH ASPHALT PARKING & LANDSCAPING.
EXISTING LAND CONDITIONS:
 92% B & 8% D
 PRECIPITATION ZONE: 1
 $Q_{100} = (0.97)(2.03) + (0.08)(4.37) = 2.3\text{cfs}$
PROPOSED CONDITIONS:
 LAND TREATMENT: 4% B, 11% C, & 85% D
 $Q_{100} = (0.04)(2.03) + (0.11)(2.87) + (0.90)(4.37) = 4.3\text{cfs}$

BASIN	Q (CFS)
A	1.64
B	1.23
C	1.43

BASINS A AND B BOTH DISCHARGE TO THE SHOPPING CENTER TO THE WEST. BASIN C DISCHARGES TO TRACT F TO THE SOUTH.

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- ◆ 95.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF-5095.33 FINISH FLOOR ELEVATION
- TC 91.9
FL 81.4 TOP OF CURB FLOWLINE ELEVATION
- RD ROOF DRAIN
- B DRAINAGE BASIN
- - - BASIN BOUNDARY

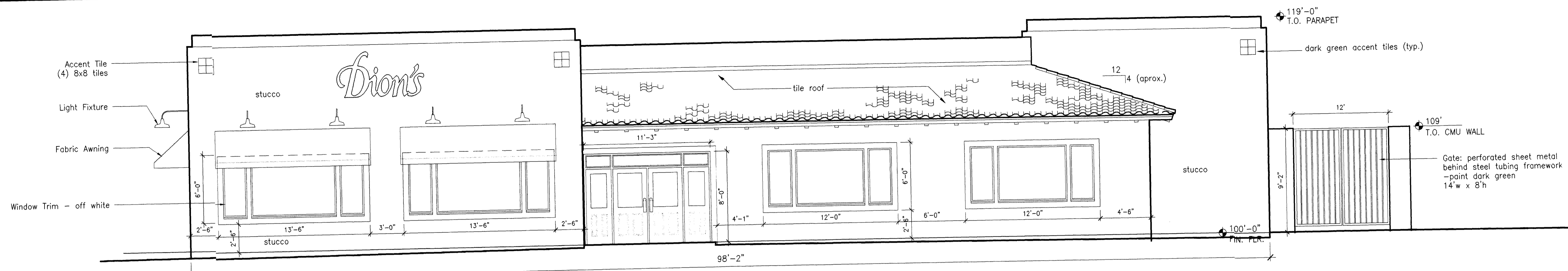
ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 Fax. 505-268-2632
 1449GRD.DWG

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**DION'S
 COORS + CENTRAL**

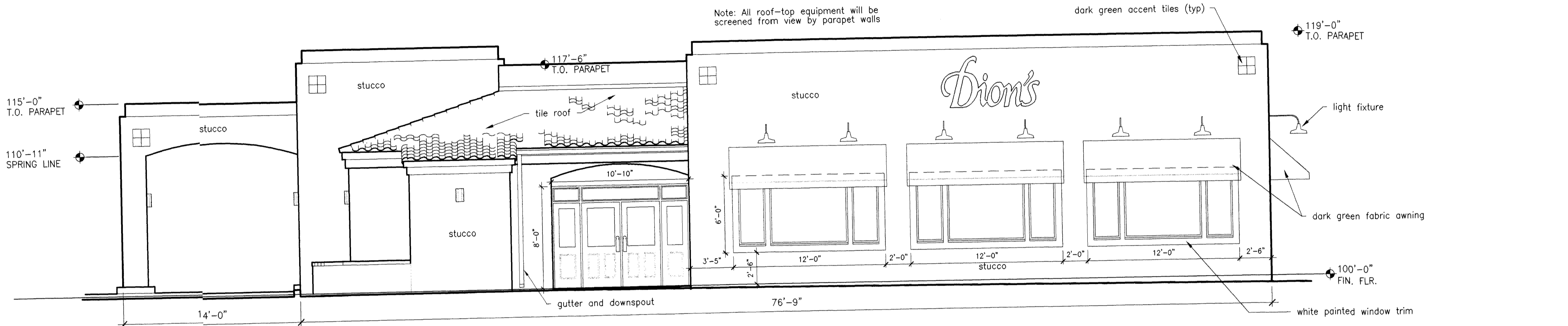
GRADING & UTILITY PLAN

Checked By: SMM	Drawn By: thor	No.:	Revision:	PAGE 34 of 5
Date:	Job Number: 1449			



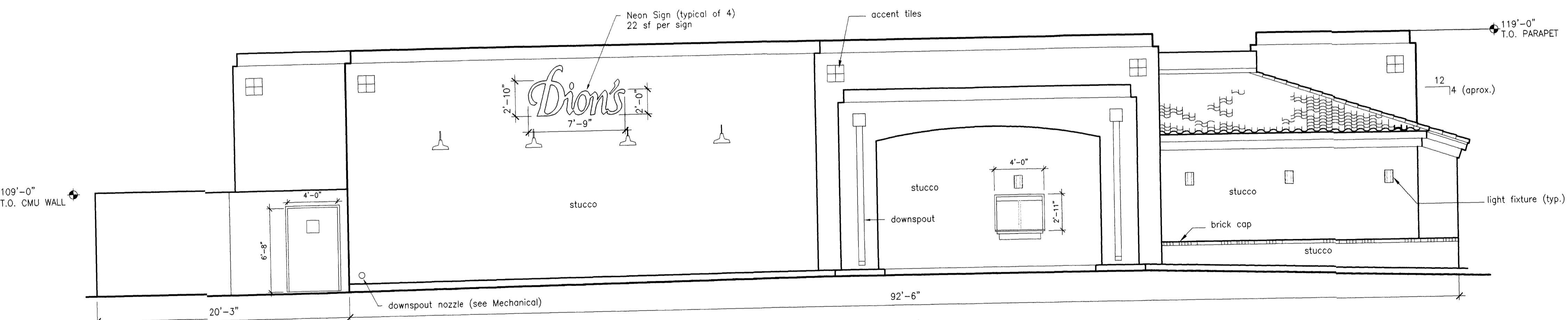
NORTH ELEVATION

SCALE: 3/16" = 1'-0"



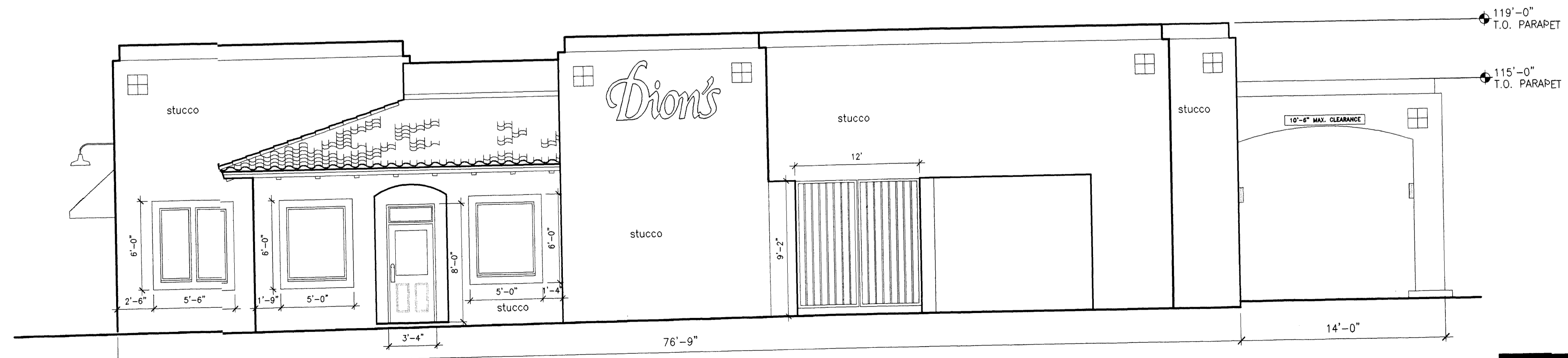
EAST ELEVATION

SCALE: 3/16" = 1'-0"



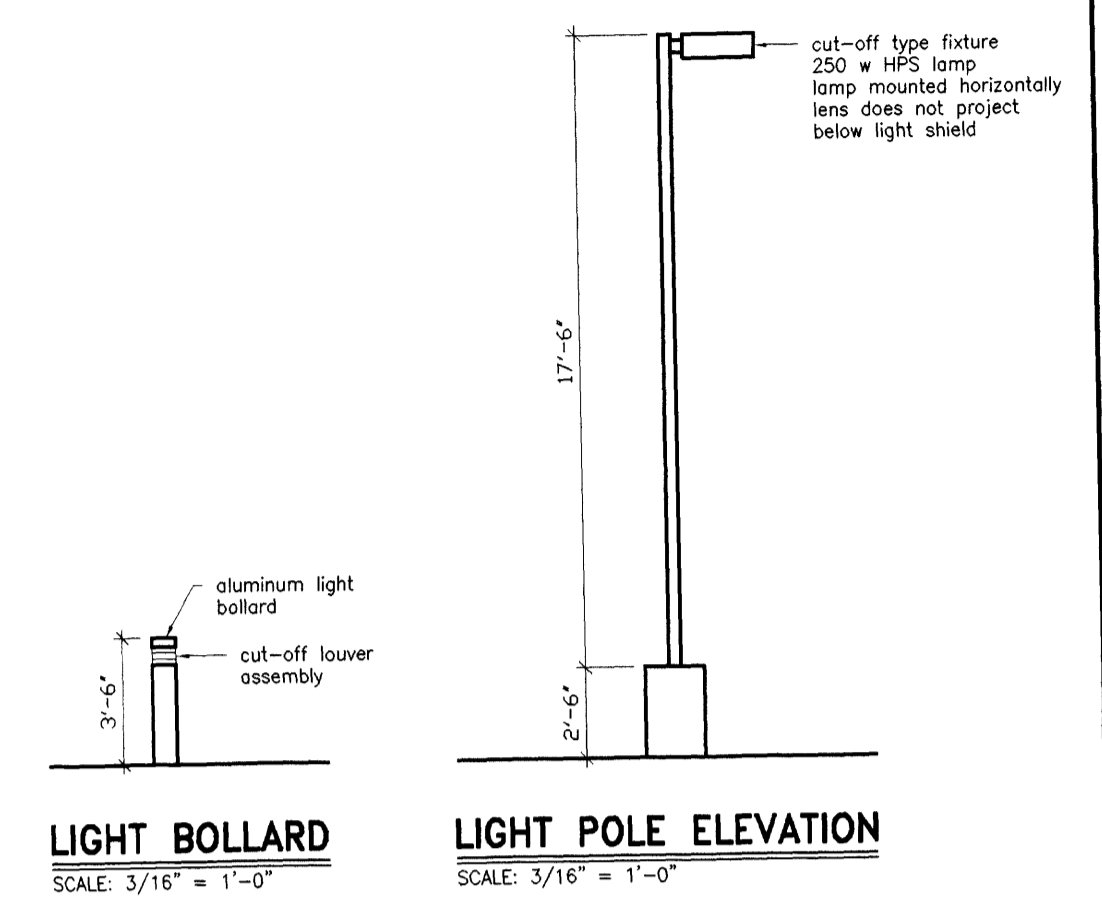
SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



WEST ELEVATION

SCALE: 3/16" = 1'-0"

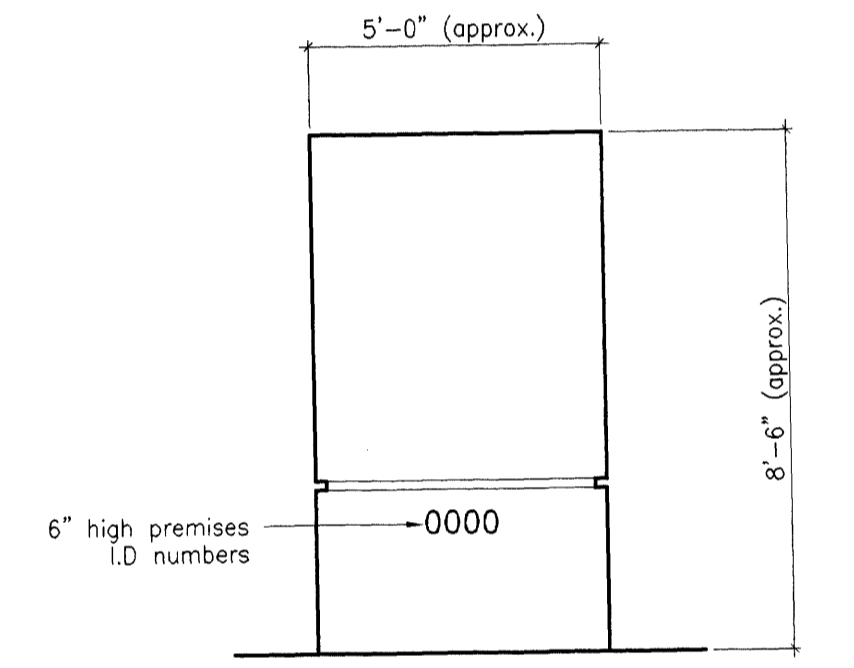


LIGHT BOLLARD

SCALE: 3/16" = 1'-0"

LIGHT POLE ELEVATION

SCALE: 3/16" = 1'-0"



MONUMENT SIGN

N.T.S.

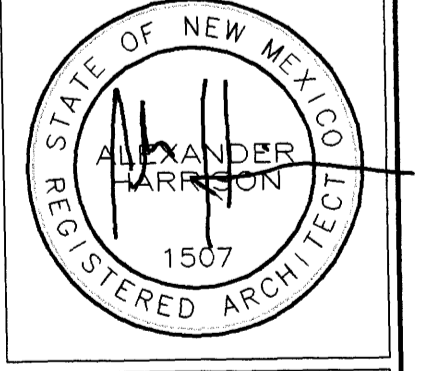
FINISHES & COLORS

- All stucco is Casa #827 (light tan) by El Rey Stucco
- All roof tile is Rio Grande Blend #1132, Santa Fe Mission Series by Lifetile
- All accent tiles are dark green
- All fabric awnings are dark green with white leaf pattern graphic (no text)
- Accent brick is "Bonfire" (terra cotta) by Summit Brick
- Signs are red neon in white, open channel letters
- Wood trim around windows is painted white
- Light fixtures are white and terra-cota
- Doors are natural oak
- Metal gates are painted dark green

ALEXANDER HARRISON ARCHITECT

8605 Mountain Road NE, Albuquerque, NM 87112, 299-6322

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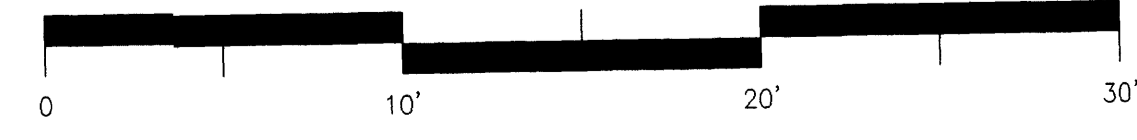


proj: 501
file: PROJECT\DION'S\DION'S C & C

date: APR 5, 2005
revisions: May 27, 2005 - EPC changes

Dion's Restaurant
Coors & Central
Albuquerque, New Mexico

sheet number
5
of 5 sheets

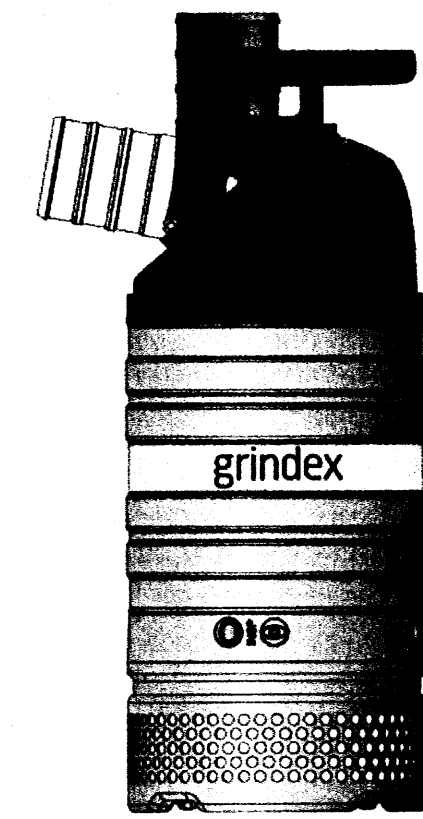


No: PD603181-INT | Revision 0 2014.02 | 60 Hz

8103.181

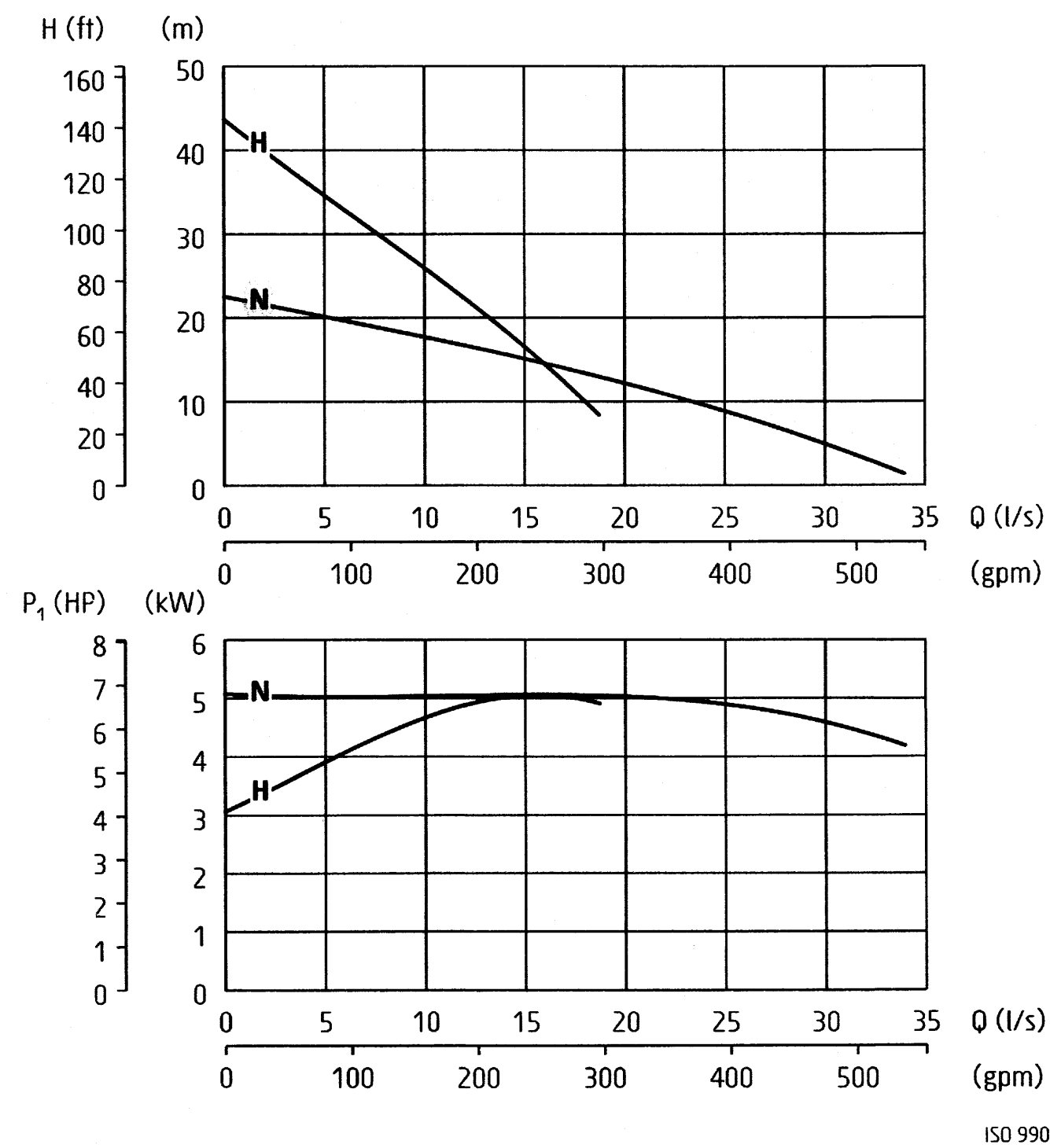
Minor

Electrical submersible drainage pump



60 Hz	N	H
Discharge connection	3"	3"
Rated power P ₂ [kW/HP]	4.4 / 6.0	4.4 / 6.0
Max. power consumption P ₁ [kW]	5.2	5.2
Shaft speed [r.p.m.]	3480	3480
Rated current at 230V	15 A	15 A
Rated current at 460V	7.1 A	7.1 A
Rated current at 575V	5.5 A	5.5 A
Solids passage [mm/inch]	10 / 0.39	10 / 0.39
Height [mm/inch]	768 / 30 1/4	768 / 30 1/4
Diameter [mm/inch]	286 / 11 1/4	286 / 11 1/4
Weight [kg/lbs]	50 / 110	50 / 110

Other voltages on request



Pump types

N: normal pressure
H: high pressure

Classification

Electrical submersible drainage pump
Protection class: IP 68

Electrical motor

Squirrel cage induction motor, insulation class: H (IEC 85)

Motor protection

Phase sequence control, phase failure guard, temperature guard with thermal contacts in the stator opening temperature 140°C (284°F) (= SMART system), air valve

Cable - SubCab

4G2,5mm², length 20 m or 14AWG/4, length 53 ft

Limitations

Max. submersion depth: 20 m (66 ft)
Max. liquid temperature: 40 °C (104 °F)
Allowed pH range: 5 - 8
Maximum liquid density: 1100 kg/m³ (68 lbs/ft³)

Shaft seals

Cartridge seal: pre-assembled double mechanical seal running in an oil compartment
Material lower seal: *silicon carbide - silicon carbide*
Material upper seal: *tungsten carbide - aluminium oxide*

Bearings

Ball bearings with C3 clearance

Discharge connection

3-4" hose, ISO-G or NPT

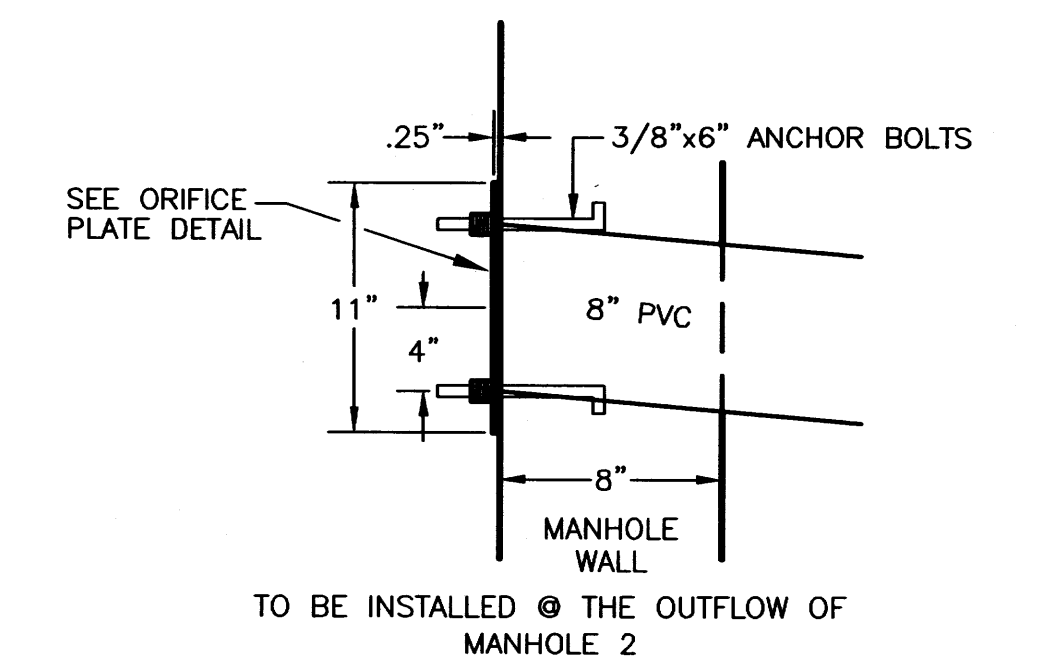
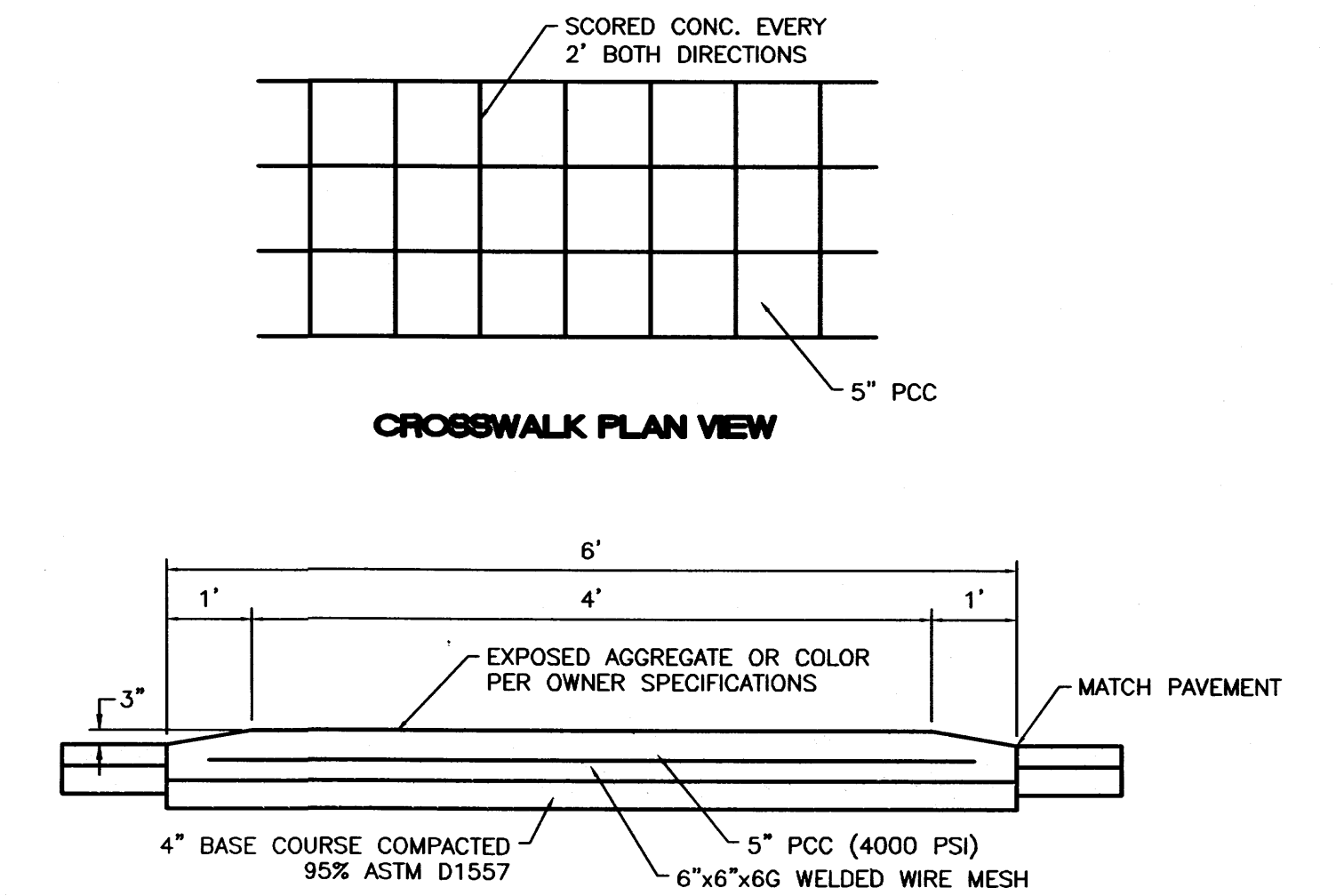
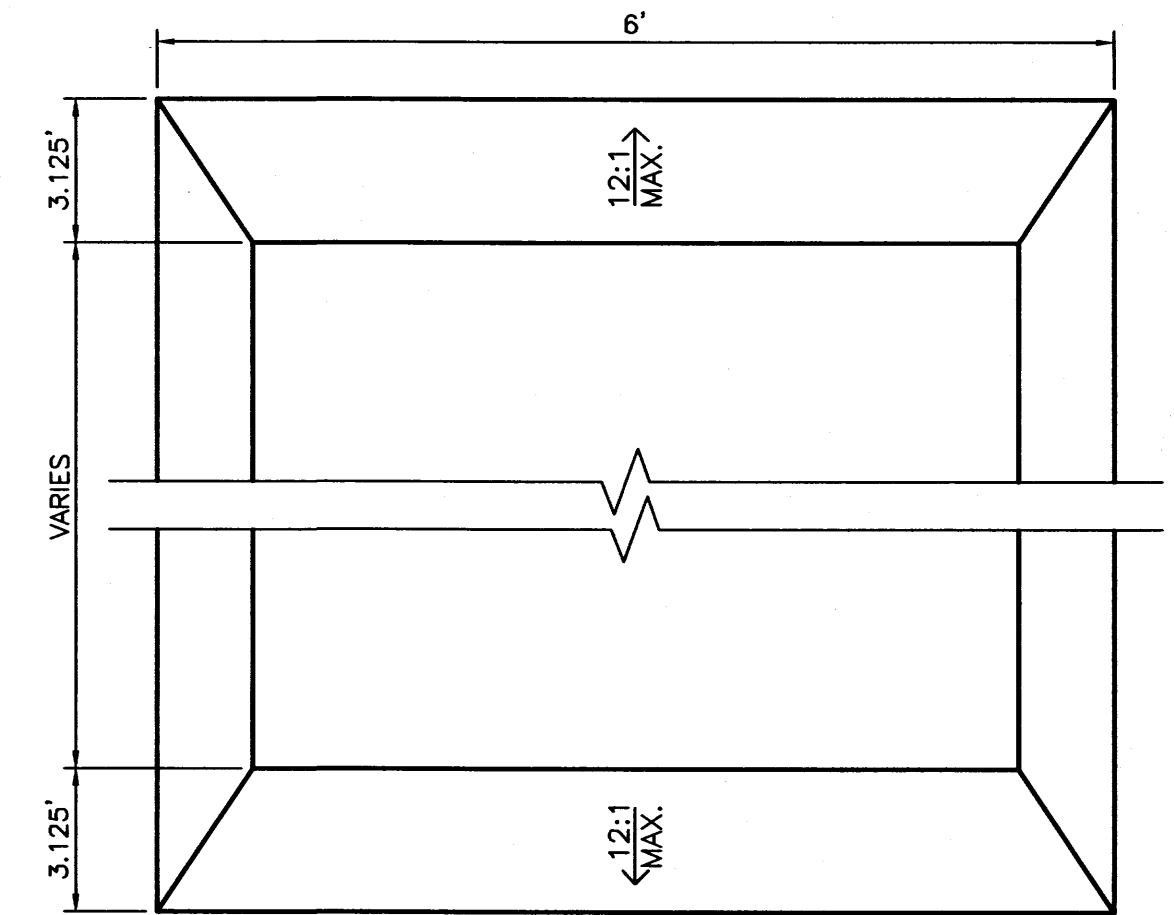
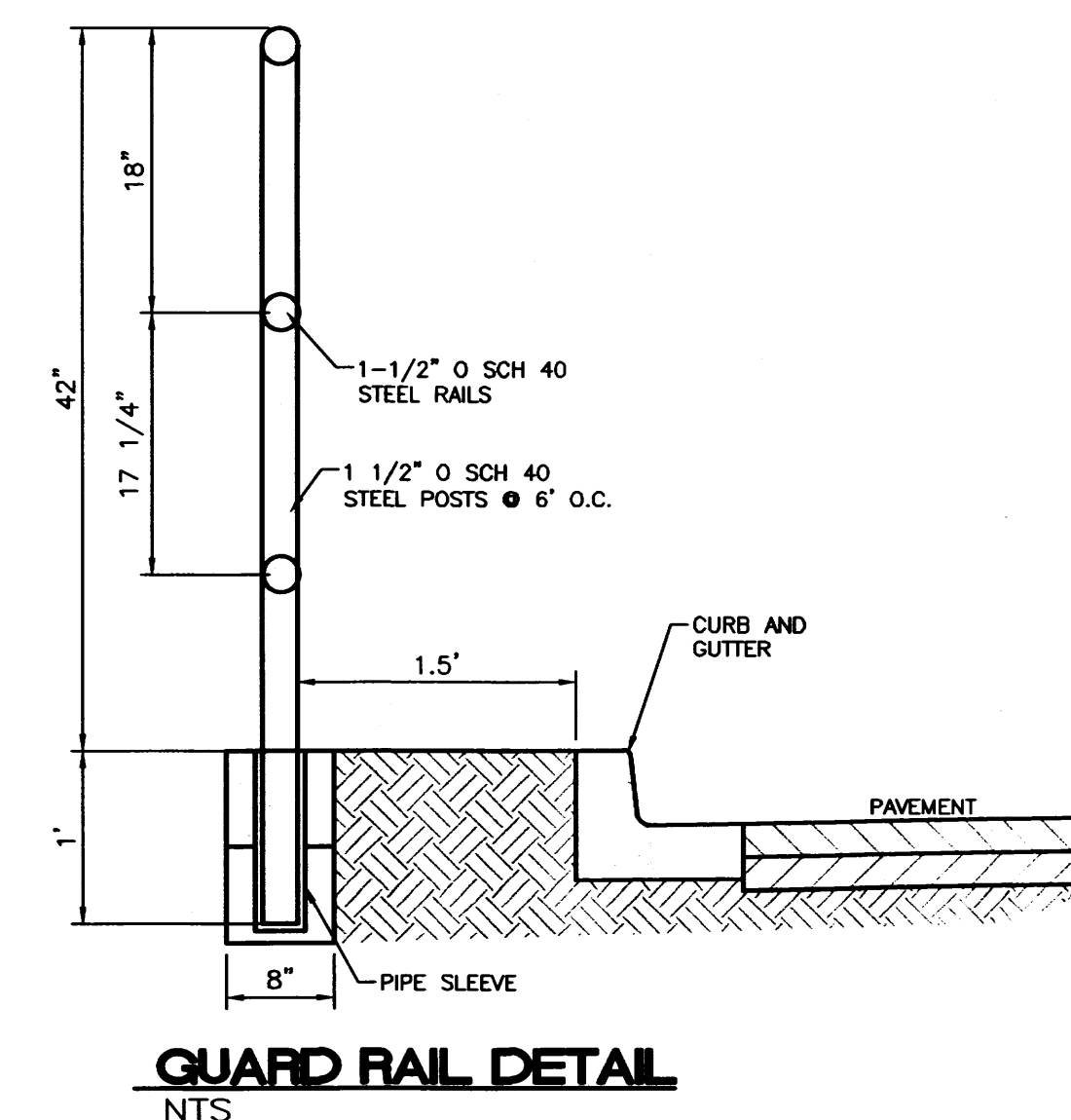
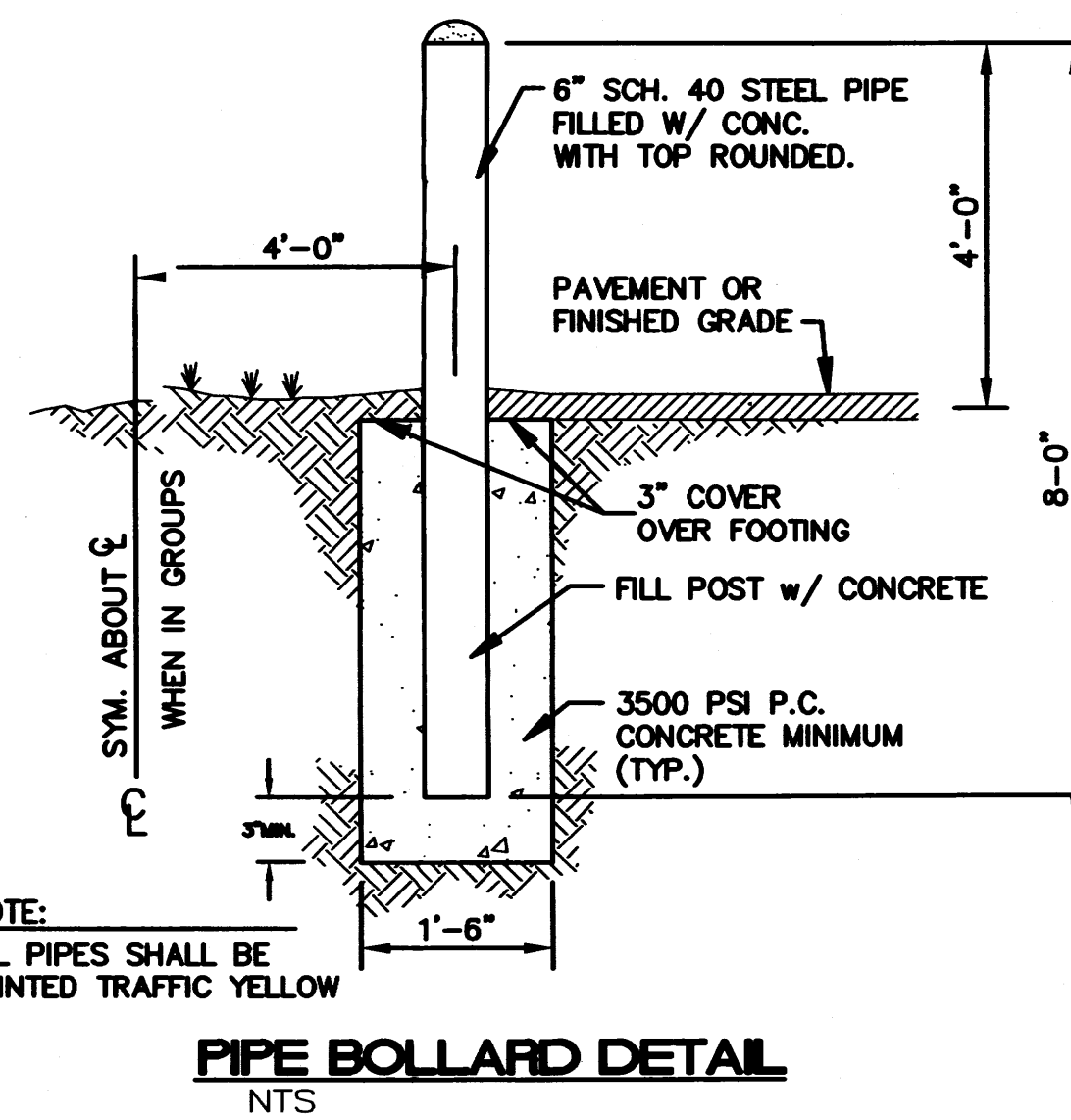
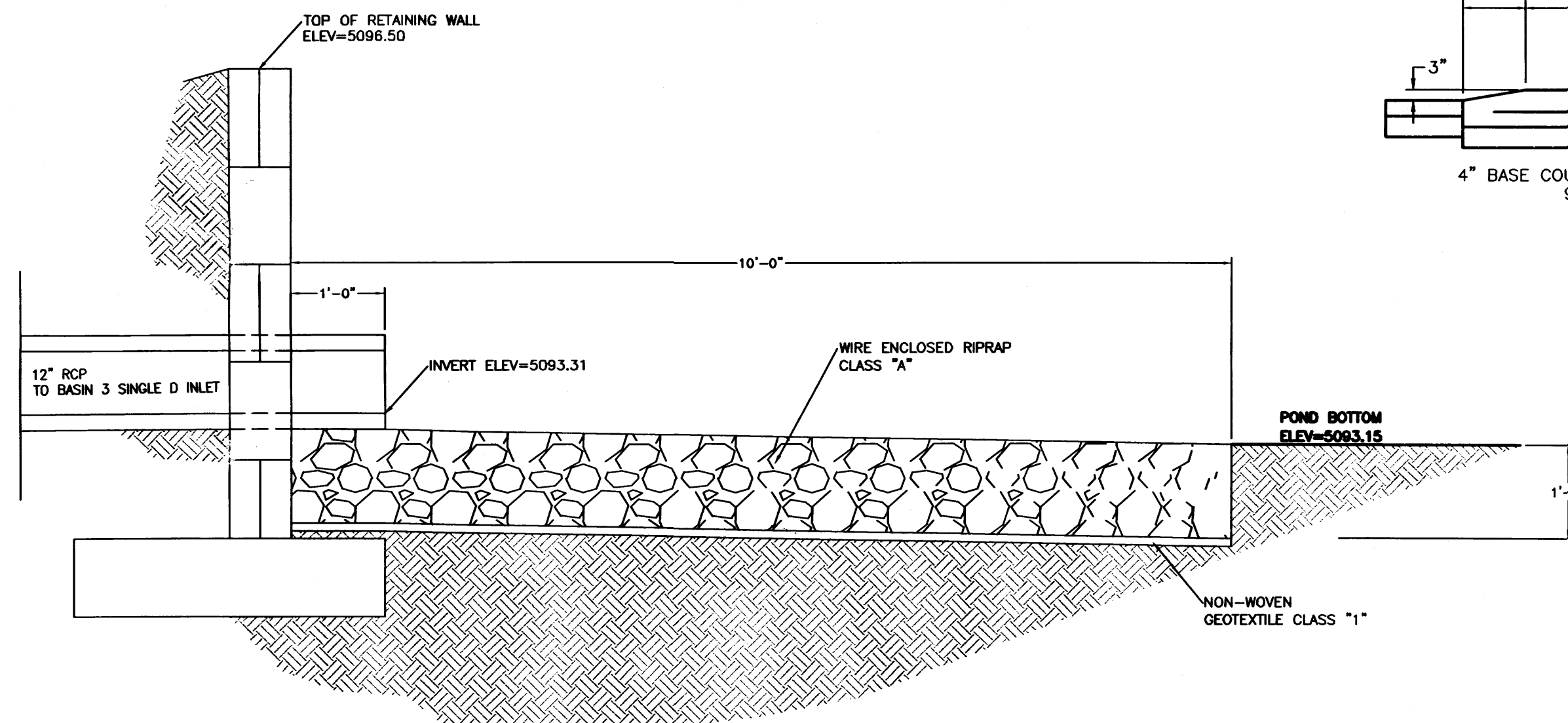
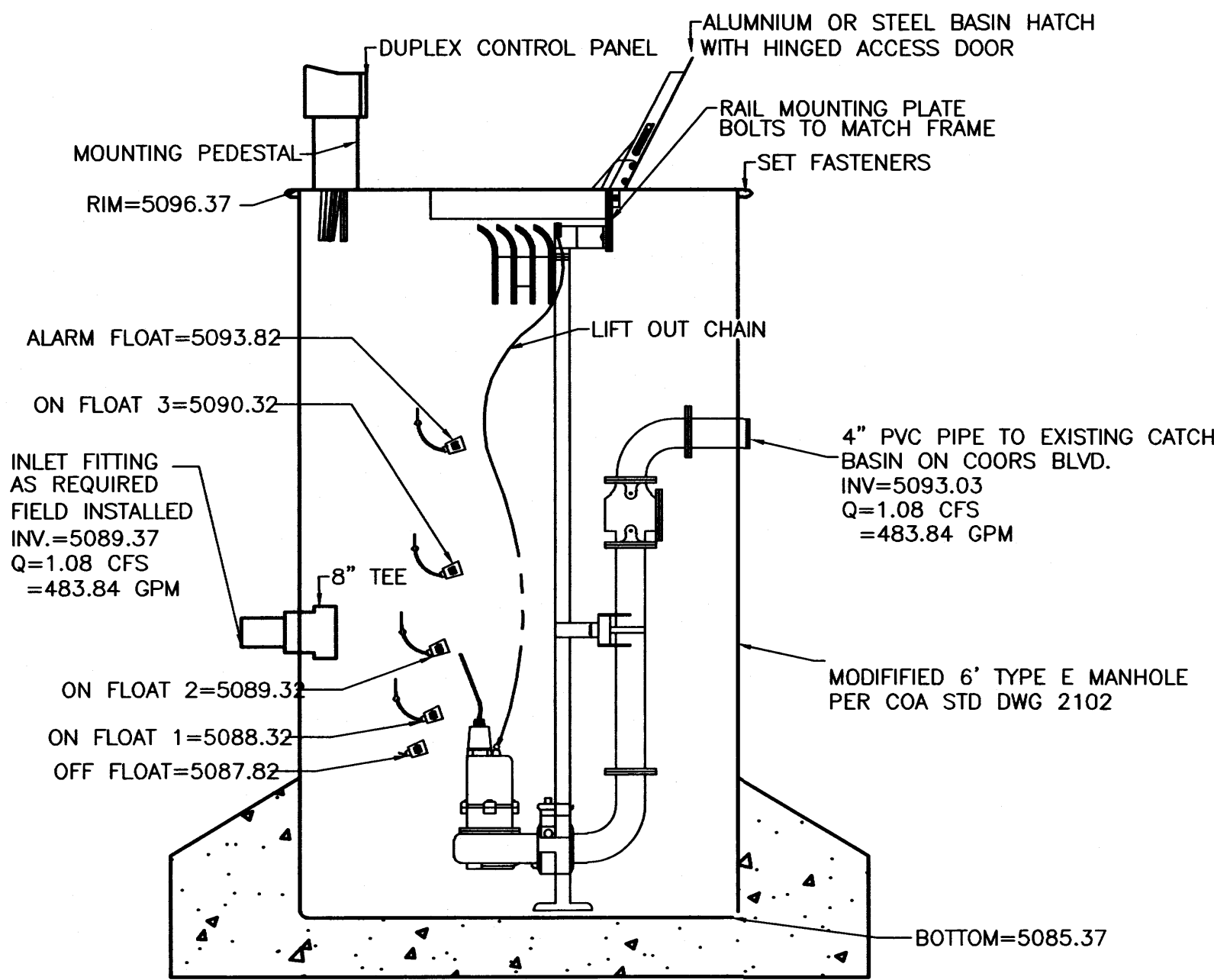
Materials

Casted parts: *Aluminium*
Outer casing: *Stainless steel*
Motor shaft: *Stainless steel*
Impeller and suction cover: *Hard-Iron™*
Diffusers: *Nitrile rubber*
Screws and nuts: *Stainless steel*
O-rings: *Nitrile rubber*

Accessories

Level regulator
Zinc anodes
Tandem connection
Low suction collar
Pump raft

GRINDEX PUMP DETAIL
NTS



ENGINEER'S SEAL	FREDDY'S AT COORS AND CENTRAL	DRAWN BY BJF
	PUMP AND DETAIL SHEET	DATE 7/07/15
		2015036-GRB-DETAILS
		SHEET # C4
		JOB # 2015036

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