

LEGEND

- EXISTING FIRE HYDRANT NEW FIRE HYDRANT PARKING SPACE COUNT LIGHT POLE - DOUBLE HEAD LIGHT POLE - SINGLE HEAD SURFACE MOUNTED LIGHT FIXTURE FLOOD LIGHT UP LIGHT, RE. TRAFFIC ARROW, PAINT WHITE PAINT CURB RED, 4 PAINT TEXT 'FIRE LANE NO PARKING'

SITE INFORMATION

LEGAL DESCRIPTION: TRACT 5D-1, JOURNAL CENTER, AS THE SAME IS SHOWN ON THE REPLAT OF JOURNAL CENTER AND A PORTION OF LOTS 30, 31, A, D 32, BLOCK 3 OF TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, AND A PORTION OF VACATED SAN MATEO BOULEVARD AND RANCHITOS AVENUE, FILED JUNE 30, 1983, MAP BOOK G21, FOLIO 126, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.

SITE DATA (OVERALL)

ZONE IF INDUSTRIAL PARK GROSS BUILDING AREA: BUILDING A (three story) = 84,631 GBA, BUILDING B (two story) = 22,454 GBA, TOTAL BUILDINGS = 107,085 GBA. RENTABLE BUILDING AREA: BUILDING A (three story) = 81,836 FRA, BUILDING B (two story) = 20,221 FRA, TOTAL BUILDINGS = 102,057 FRA. SITE AREA: 262,957 65F = 6.0366 ACRES. TOTAL SITE AREA: 262,957 65F. GROSS F.A.R. (GBA/site area): .07. RENTABLE F.A.R. (FRA/site area): .38.

SITE DATA (TRACT 5D-1A)

GROSS BUILDING AREA: BUILDING A (three story) = 84,631 GBA. RENTABLE BUILDING AREA: BUILDING A (three story) = 81,836 FRA. SITE AREA = 200,831 65F. GROSS F.A.R. (GBA/site area): 421. RENTABLE F.A.R. (FRA/site area): 402. PARKING PROVIDED: 380 SPACES (281 STANDARD + 99 COMPACT SPACES). RATIO = 4.74/1000 FRA.

SITE DATA (TRACT 5D-1B)

GROSS BUILDING AREA: BUILDING B (two story) = 22,454 GBA. RENTABLE BUILDING AREA: BUILDING B (two story) = 20,221 FRA. TOTAL SITE AREA = 62,321 65F. GROSS F.A.R. (GBA/site area): 360. RENTABLE F.A.R. (FRA/site area): 325. PARKING PROVIDED: 89 SPACES (75 STANDARD + 14 COMPACT SPACES). RATIO = 4.4/1000 FRA.

PARKING INFORMATION

OFFICES: NET RENTABLE SF/200 (1ST FL) AND 300 (2ND & 3RD FLS). BUILDING A: FIRST FLOOR: 24,048 SF/200 = 120, SECOND FLOOR: 28,238 SF/300 = 94, THIRD FLOOR: 24,552 SF/300 = 82, TOTAL = 314. BUILDING B: FIRST FLOOR: 8,621 SF/200 = 44, SECOND FLOOR: 11,602 SF/300 = 39, TOTAL = 83. TOTAL SPACES REQUIRED: 397 (INCLUDES 12 ACCESSIBLE SPACES WITH 4 VAN ACCESSIBLE). TOTAL SPACES PROVIDED: 466 (INCLUDES 12 ACCESSIBLE SPACES WITH 4 VAN ACCESSIBLE). COMPACT SPACES: 123, BICYCLE REQUIREMENTS: 397/20 = 20, BICYCLE SPACES PROVIDED = 20.

GENERAL NOTES

- 1. PARKING AREA SHALL BE DESIGNED TO CURRENT DPM STANDARDS. 2. PHASE I TO INCLUDE FULL BUILD-OUT OF OFFICE BUILDING A, ALL PARKING AND OFFICE BUILDING B AS A FUTURE PAD SITE. PHASE II TO INCLUDE FULL BUILD-OUT OF OFFICE BUILDING B. SEE SHEET L001 FOR LANDSCAPING OF PHASE I AND II. 3. PROVIDE LETTERING 'COMPACT' PAINTED IN SAFETY WHITE AT ALL COMPACT PARKING SPACES, TYPICAL. 4. ALL SIDEWALK SHALL BE CONSTRUCTED AS SUCH TO ENSURE THAT A SITE DISTANCE OF 400' IS MET ON JEFFERSON. KEYED NOTES: 1. SIDEWALK, CONCRETE. 2. PAVING, ASPHALT. 3. SPECIAL PAVING. 4. BICYCLE RACK PAINT (1:20 AUTOS). 5. CURB, 6" HIGH, CONCRETE. 6. TRANSFORMER. 7. SCREEN WALL, T4" HIGH, 2-COAT STUCCO SYSTEM OVER 8" CMU COLOR TO MATCH BUILDING, RE. A1/A091. 8. LANDSCAPE AREA, RE. L001. 9. HG RAMP. 10. CONTRACTOR TO COORDINATE REMOVAL AND RELOCATION OF IRRIGATION ENCLOSURE WITH LEECO. 11. CONCRETE CURB TO BE REMOVED. 12. MONUMENT SIGN. 13. PARKING CANOPY. 14. CITY WELL SITE EASEMENT TO BE VACATED BY PLAT. 15. PROPOSED LOT LINE. 16. TRASH COMPACTOR. 17. SIDEWALK TO MIDPOINT OF BRIDGE OVER SAN MATEO RIVER. 18. 10' PUE. 19. SIDEWALK TO MIDPOINT OF BRIDGE OVER SAN MATEO RIVER. 20. ROLLED AND COMPACTED CRUSHER FINE PATH, CONCRETE CURB AT TURF EDGE.

PROJECT NUMBER: 1004138 APPLICATION NUMBER: 05 DRB 00667

This plan is consistent with the specific Site Development plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of decision are satisfied.

Is an infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DPM plans with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

UTILITIES DEVELOPMENT DATE

PARKS AND RECREATION DEPARTMENT DATE

CITY ENGINEER PROJECT NO. 1004138 DATE 05/24/05

ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE

SOLID WASTE MANAGEMENT DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

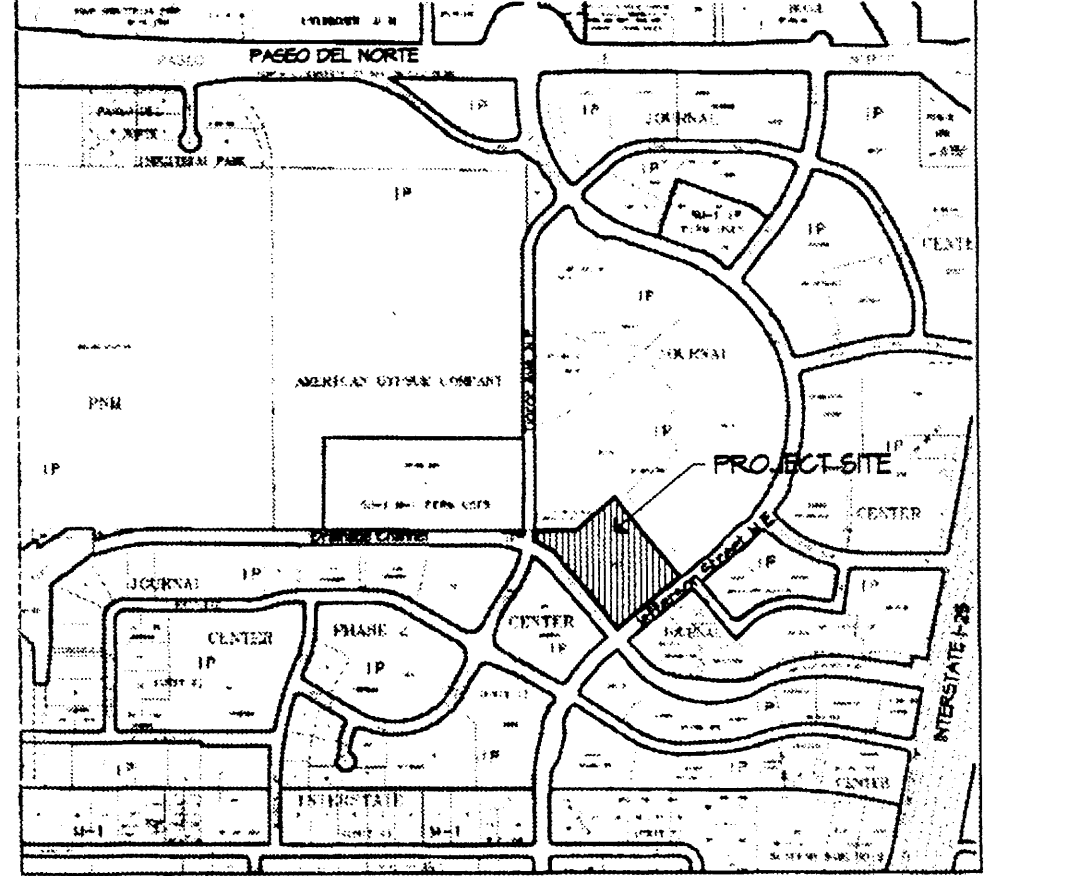
Environmental Health, if necessary

SITE DEVELOPMENT PLAN APPROVAL

THIS PLAN IS CONSISTENT WITH THE CONCEPTS OF THE ORIGINAL JOURNAL CENTER SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON AUGUST 16, 1980 (AX-74-13, 2-74-80-2) AND THE IF ZONE.

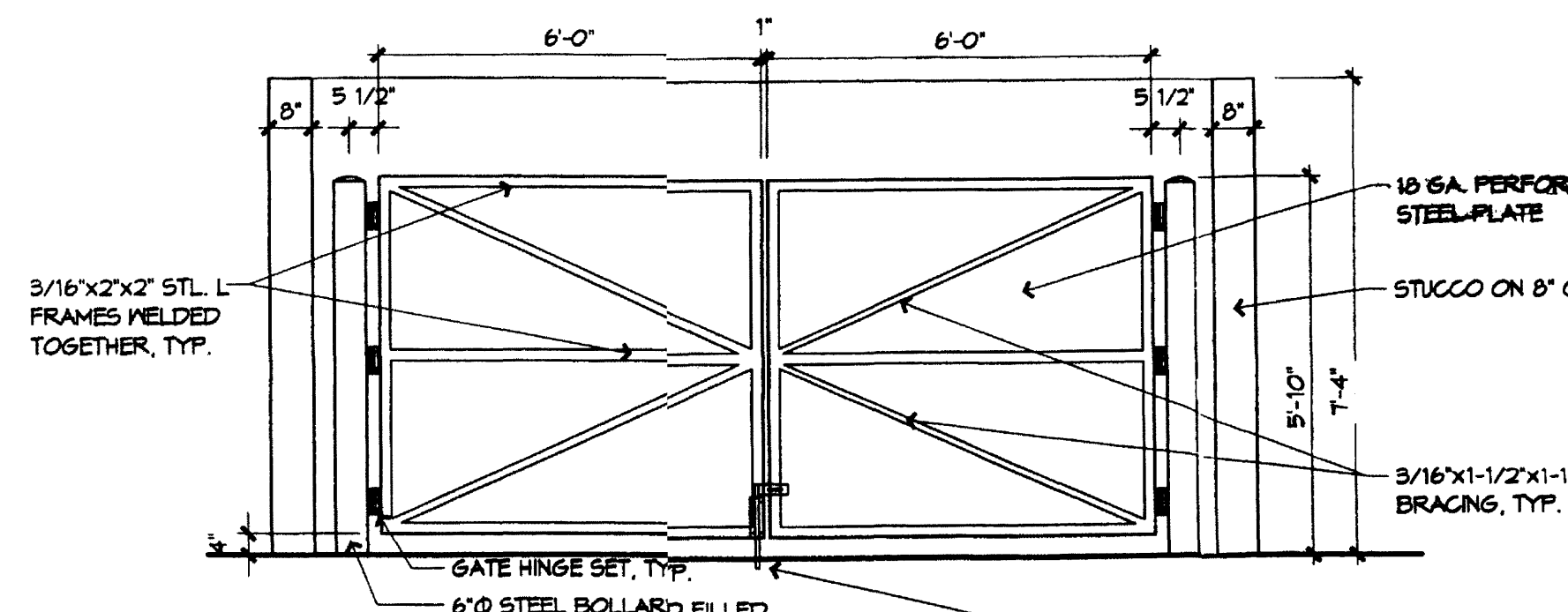
IT CONFORMS WITH THE COMMENTS RENDERED BY THE DEVELOPMENT REVIEW BOARD ON \_\_\_\_\_, 20\_\_\_\_ AS REFLECTED IN DRB \_\_\_\_\_.

PLANNING DIRECTOR DATE

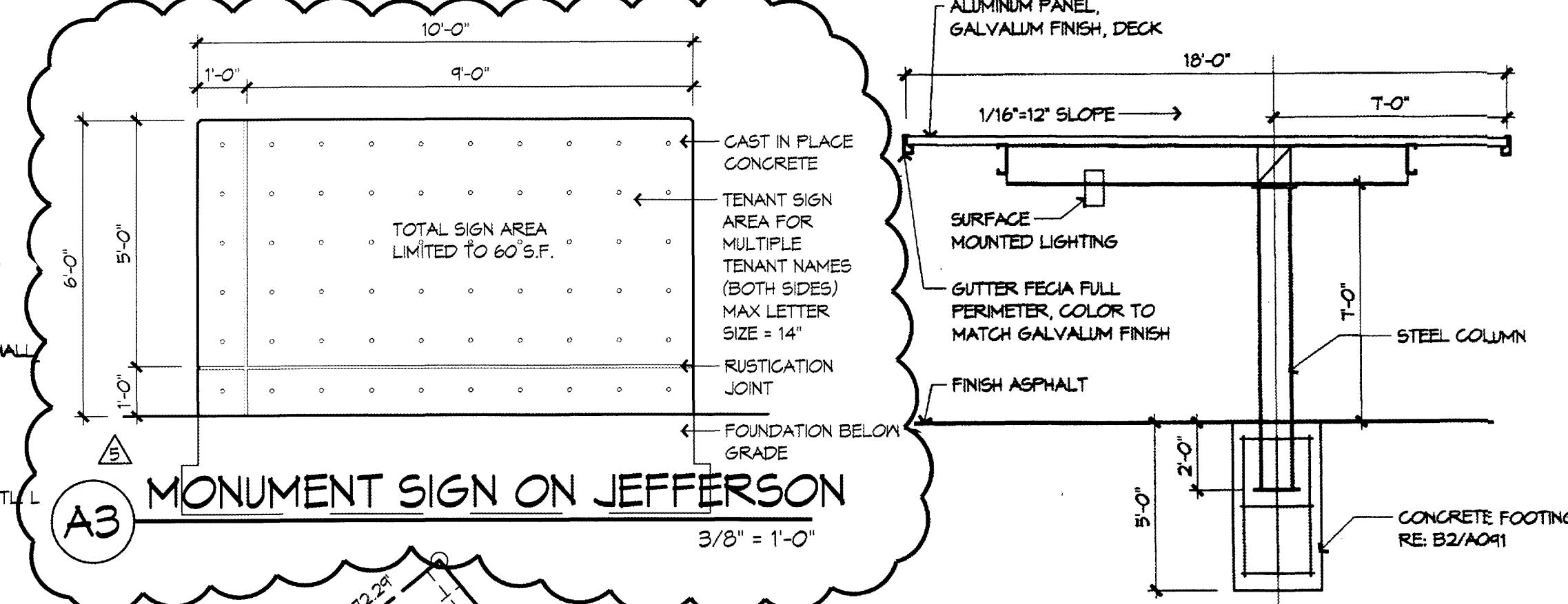


ZONE ATLAS MAP D-17

SHEET NO. A001 OF



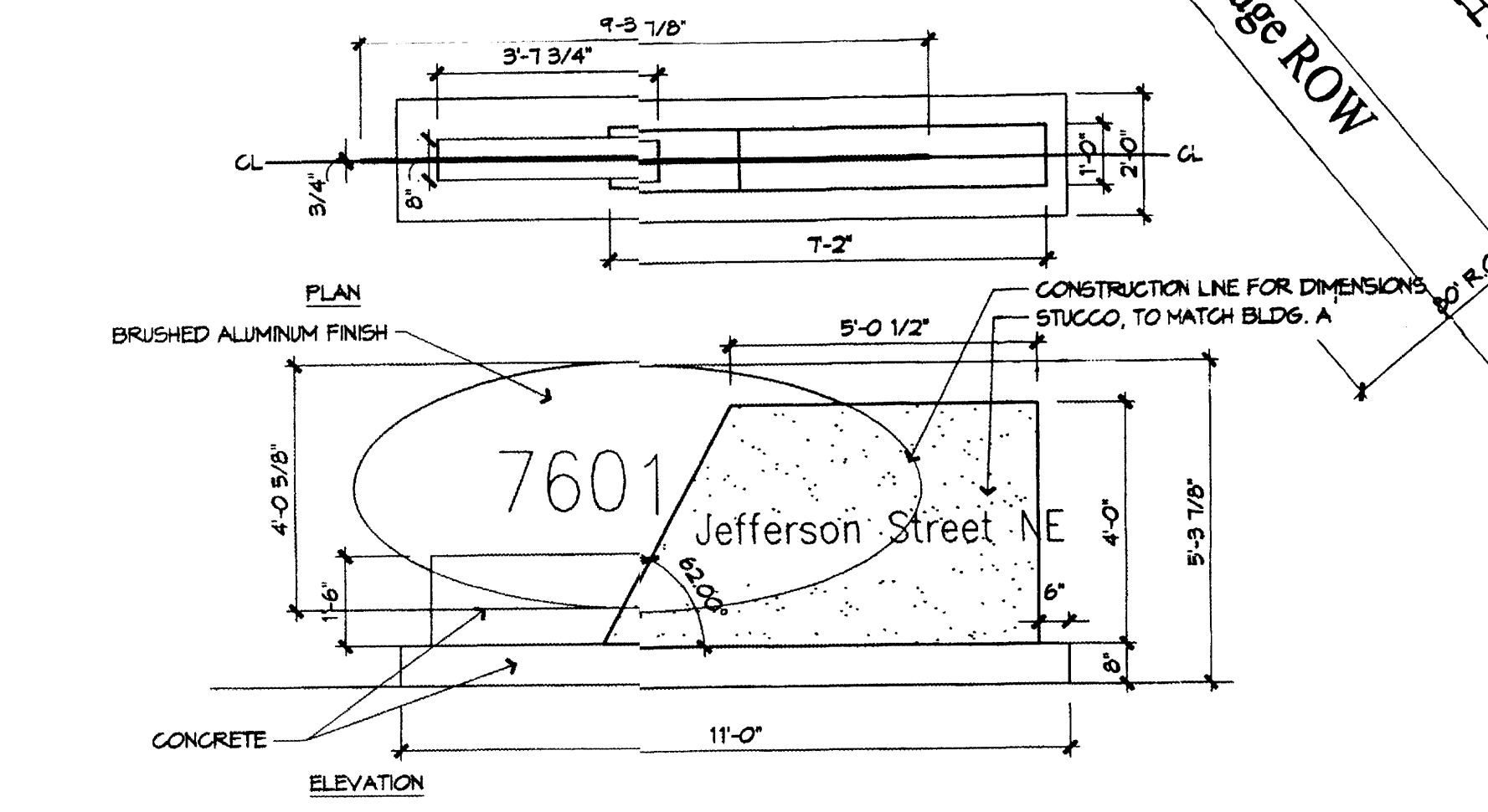
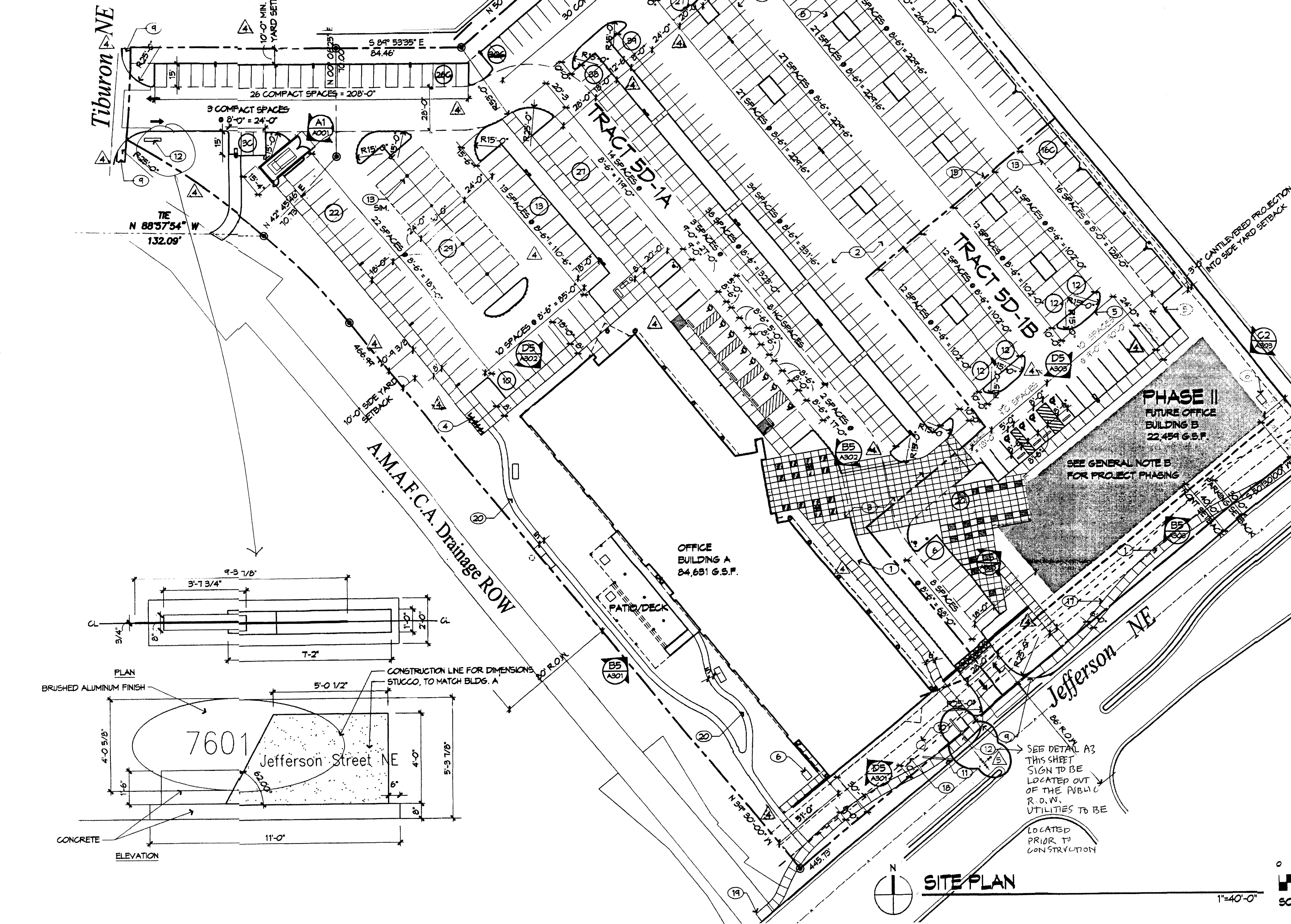
COMPACTOR ENCLOSURE ELEVATION



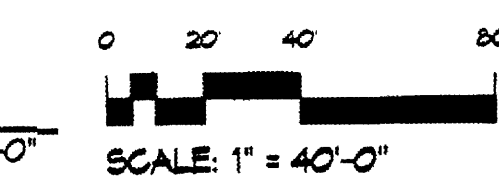
MONUMENT SIGN ON JEFFERSON



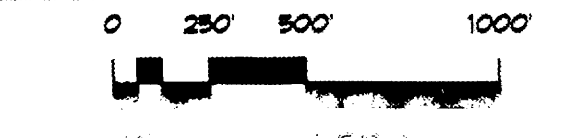
PARKING CANOPY



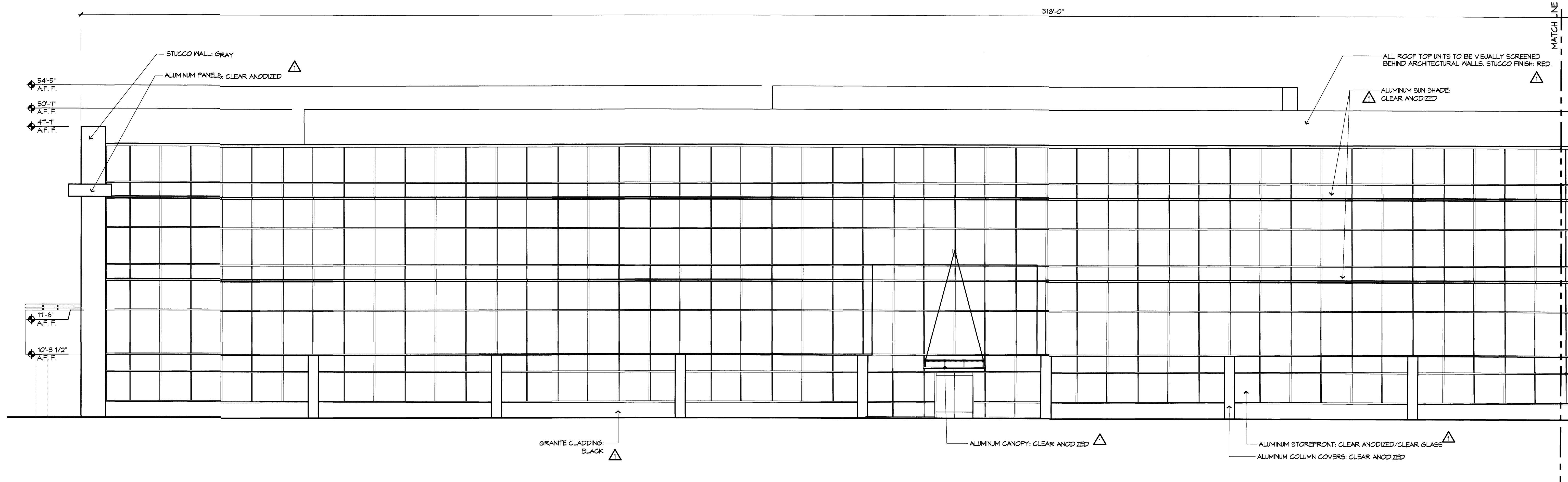
ELEVATION



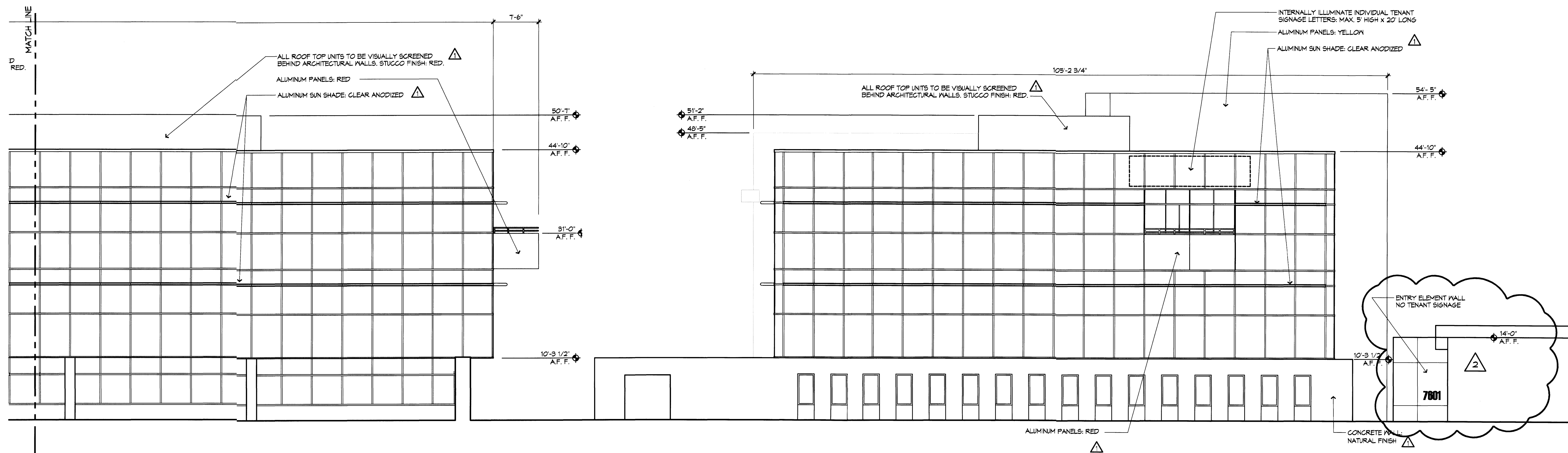
SCALE: 1" = 40'-0"



SCALE: 1" = 100'-0"



0 4 8 **B5** PARTIAL SOUTH ELEVATION  
1/8" = 1'-0"



0 4 8 **B5** PARTIAL SOUTH ELEVATION  
1/8" = 1'-0"

0 4 8 **D5** EAST ELEVATION  
1/8" = 1'-0"

**Journal Center Tract 5**

7601 Jefferson NE  
Albuquerque, New Mexico

REVISIONS

△	5/9/05	DRB COMMENTS
△	1/5/2010	SIGNAGE REVISIONS ADMIN. AMENDMENT
△		
△		

DRAWN BY

REVIEWED BY

DATE 9/20/05

PROJECT NO. 04196

DRAWING NAME

**ELEVATIONS  
OFFICE BLDG A**

**GENERAL NOTES**

1. PARKING AREAS SHALL BE DESIGNED TO CURRENT DPM STANDARDS.
2. PHASE I TO INCLUDE FULL BUILD-OUT OF OFFICE BUILDING A, ALL PARKING AND OFFICE BUILDING B AS A FUTURE PAD SITE. PHASE II TO INCLUDE FULL BUILD-OUT OF OFFICE BUILDING B. SEE SHEET L001 FOR LANDSCAPING OF PHASE I AND II.
3. PROVIDE LETTERING "COMPACT" PAINTED IN SAFETY WHITE AT ALL COMPACT PARKING SPACES, TYPICAL.
4. ALL SITEWORK SHALL BE CONSTRUCTED AS SUCH TO ENSURE THAT A SITE DISTANCE OF 400' IS MET ON JEFFERSON.

**KEYED NOTES**

1. SIDEWALK, CONCRETE
2. PAVING, ASPHALT
3. SPECIAL PAVING
4. BICYCLE RACK PAINT (1:20 AUTOS)
5. CURB, 6" HIGH, CONCRETE
6. TRANSFORMER
7. SCREEN MALL, T4" HIGH, 2-COAT STUCCO SYSTEM OVER 8" CMU COLOR TO MATCH BUILDING, RE: A1/A091
8. LANDSCAPE AREA, RE: L001
9. 4" RAMP
10. CONTRACTOR TO COORDINATE REMOVAL AND RELOCATION OF IRRIGATION ENCLOSURE WITH LEECO.
11. CONCRETE CURB TO BE REMOVED
12. MONUMENT SIGN
13. PARKING CANOPY
14. CITY WELL SITE EASEMENT TO BE VACATED BY PLAT.
15. PROPOSED LOT LINE
16. TRASH COMPACTOR
17. LANDSCAPING PUBLIC SIDEWALK ENCLOSURE
18. 10' PUE
19. SIDEWALK TO MIDPOINT OF BRIDGE OVER AMAFCA ROAD
20. ROLLED AND COMPACTED CRUSHER FINE PATH, CONCRETE CURB AT TURF EDGE

**LEGEND**

- EXISTING FIRE HYDRANT
- NEW FIRE HYDRANT
- PARKING SPACE COUNT
- LIGHT POLE - DOUBLE HEAD
- LIGHT POLE - SINGLE HEAD
- SURFACE MOUNTED LIGHT FIXTURE
- FLOOD LIGHT
- UP LIGHT, RE
- TRAFFIC ARROW PAINT WHITE
- PAINT CURB RED, 4" PAINT TEXT "FIRE LANE NO PARKING"

**SITE INFORMATION**

LEGAL DESCRIPTION:  
TRACT 5D-1, JOURNAL CENTER, AS THE SAME IS SHOWN ON THE REPLAT OF JOURNAL CENTER AND A PORTION OF LOTS 30, 31, A & 32, BLOCK 3 OF TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, AND A PORTION OF VACATED SAN MATEO BOULEVARD AND RANCHITOS AVENUE, FILED JUNE 30, 1983, 14 MAP BOOK C21, FOLIO 126, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.

**SITE DATA (OVERALL)**  
ZONE IP INDUSTRIAL PARK

GROSS BUILDING AREA:  
BUILDING A (three story) = 84,631 GBA  
BUILDING B (two story) = 22,454 GBA  
TOTAL BUILDINGS = 107,085 GBA

RENTABLE BUILDING AREA:  
BUILDING A (three story) = 81,836 FRA  
BUILDING B (two story) = 20,224 FRA  
TOTAL BUILDINGS = 102,061 FRA

**SITE DATA (TRACT 5D-1A)**

GROSS BUILDING AREA:  
BUILDING A (three story) = 84,631 GBA

RENTABLE BUILDING AREA:  
BUILDING A (three story) = 81,836 FRA

SITE AREA = 200,624 GSF  
GROSS F.A.R. (GBA/site area) = 421  
RENTABLE F.A.R. (FRA/site area) = 408

**SITE DATA (TRACT 5D-1B)**

GROSS BUILDING AREA:  
BUILDING B (two story) = 22,454 GBA

RENTABLE BUILDING AREA:  
BUILDING B (two story) = 20,224 FRA

TOTAL SITE AREA = 62,321 GSF  
GROSS F.A.R. (GBA/site area) = 360  
RENTABLE F.A.R. (FRA/site area) = 325

**PARKING INFORMATION**

OFFICES: NET RENTABLE SF/200 (1ST FL) AND 300 (2ND & 3RD FLS)

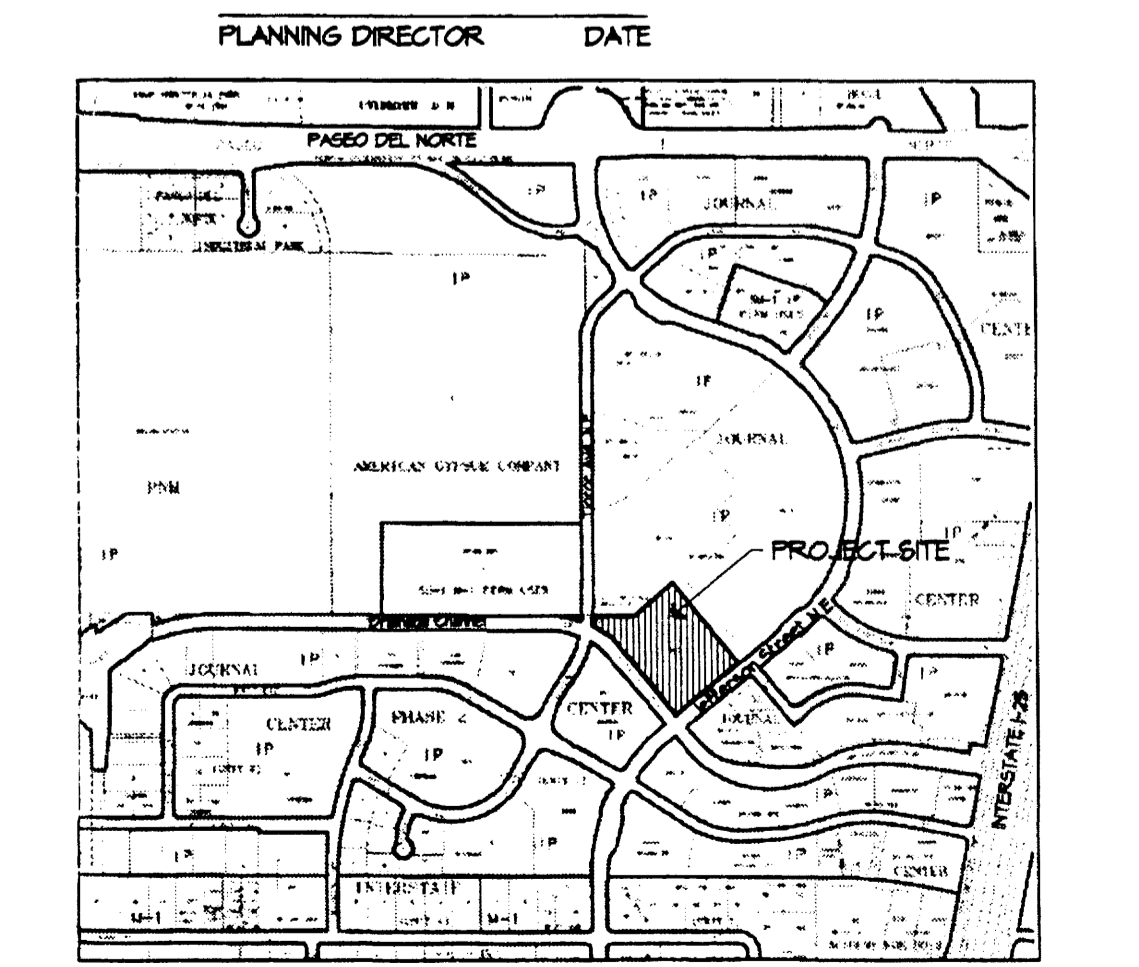
BUILDING A:  
FIRST FLOOR: 24,048 SF/200 = 120  
SECOND FLOOR: 26,238 SF/300 = 87  
THIRD FLOOR: 24,952 SF/300 = 83  
TOTAL = 314

BUILDING B:  
FIRST FLOOR: 8,621 SF/200 = 44  
SECOND FLOOR: 11,602 SF/300 = 39  
TOTAL = 83

TOTAL SPACES REQUIRED: 941 (INCLUDES 12 ACCESSIBLE SPACES WITH 4 VAN ACCESSIBLE)

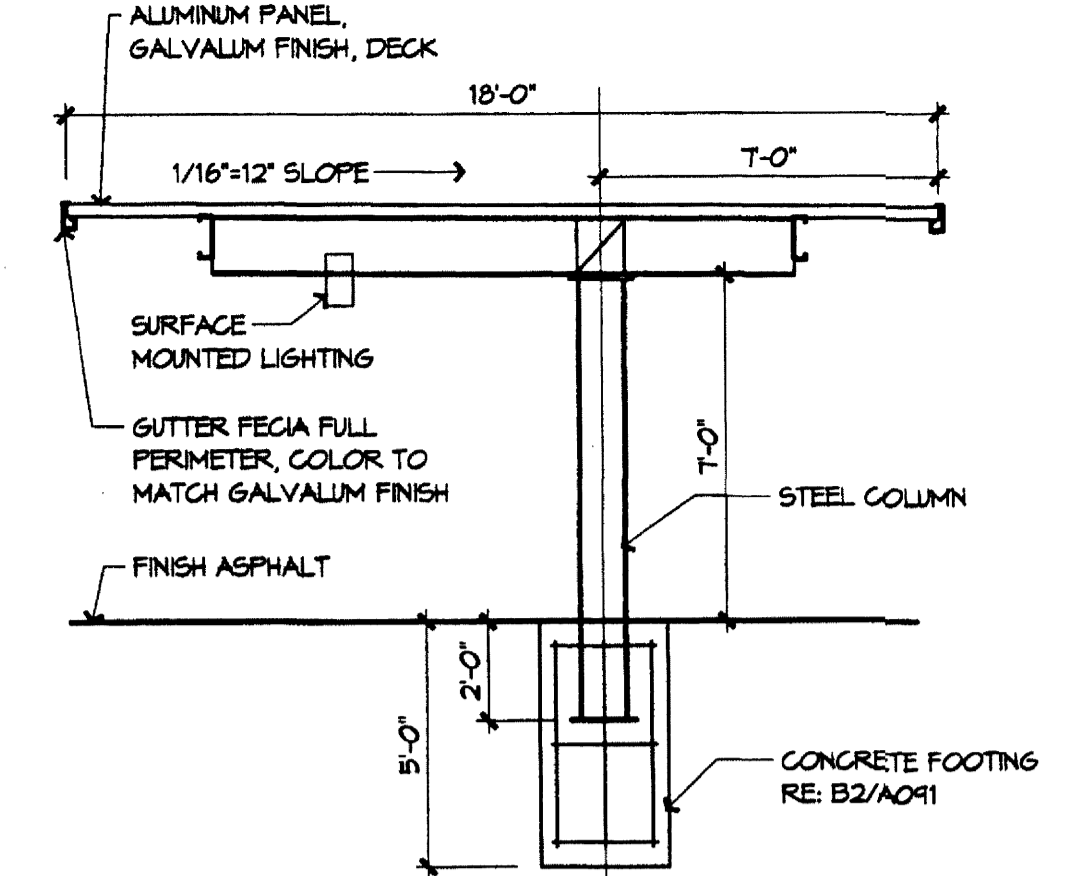
TOTAL SPACES PROVIDED: 1088 (INCLUDES 12 ACCESSIBLE SPACES WITH 4 VAN ACCESSIBLE)

COMPACT SPACES: 123  
BICYCLE REQUIREMENTS: 391/20 = 20  
BICYCLE SPACES PROVIDED = 20



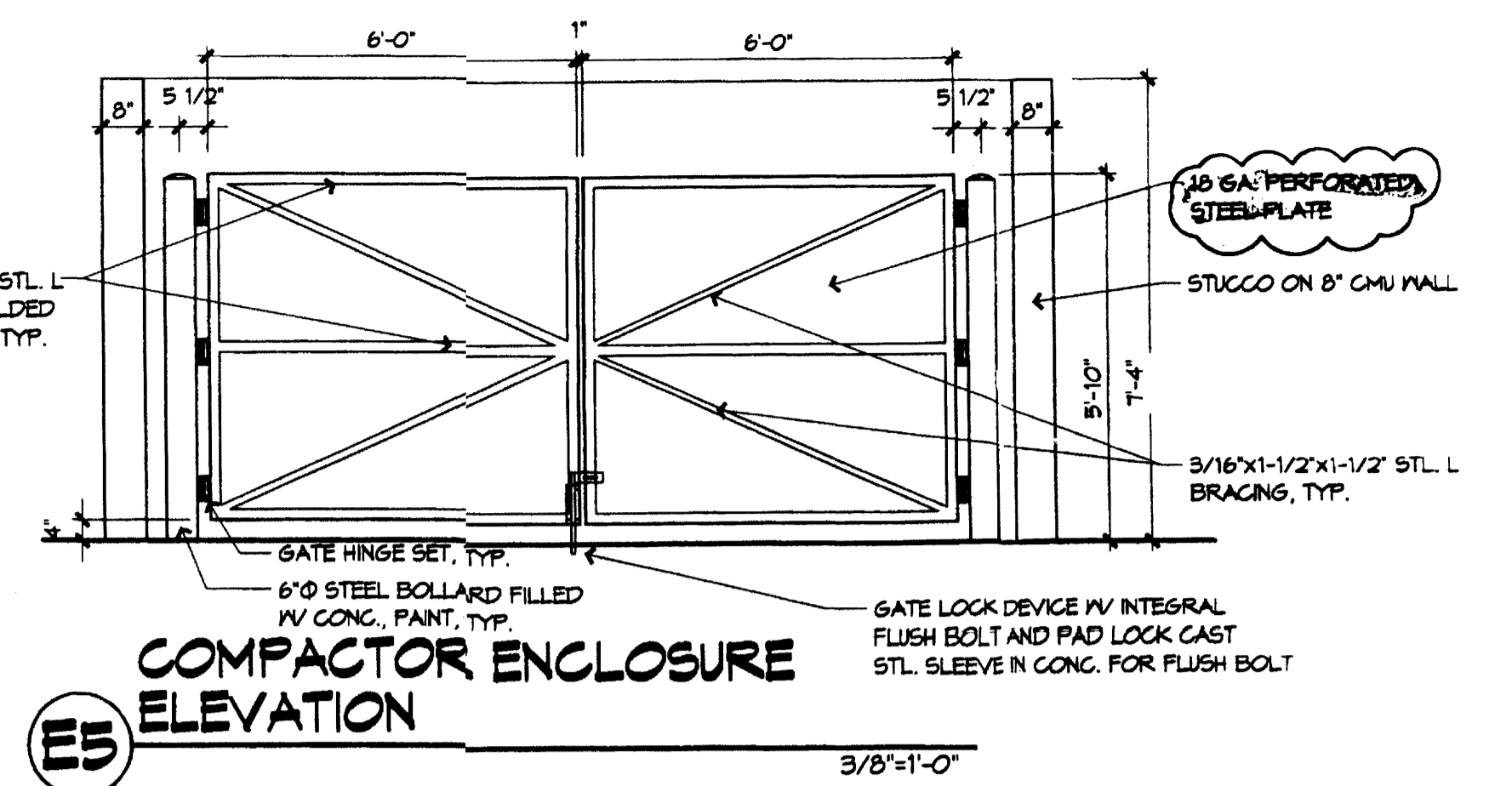
**ZONE ATLAS MAP**  
D-17

SCALE: 1" = 40'-0"

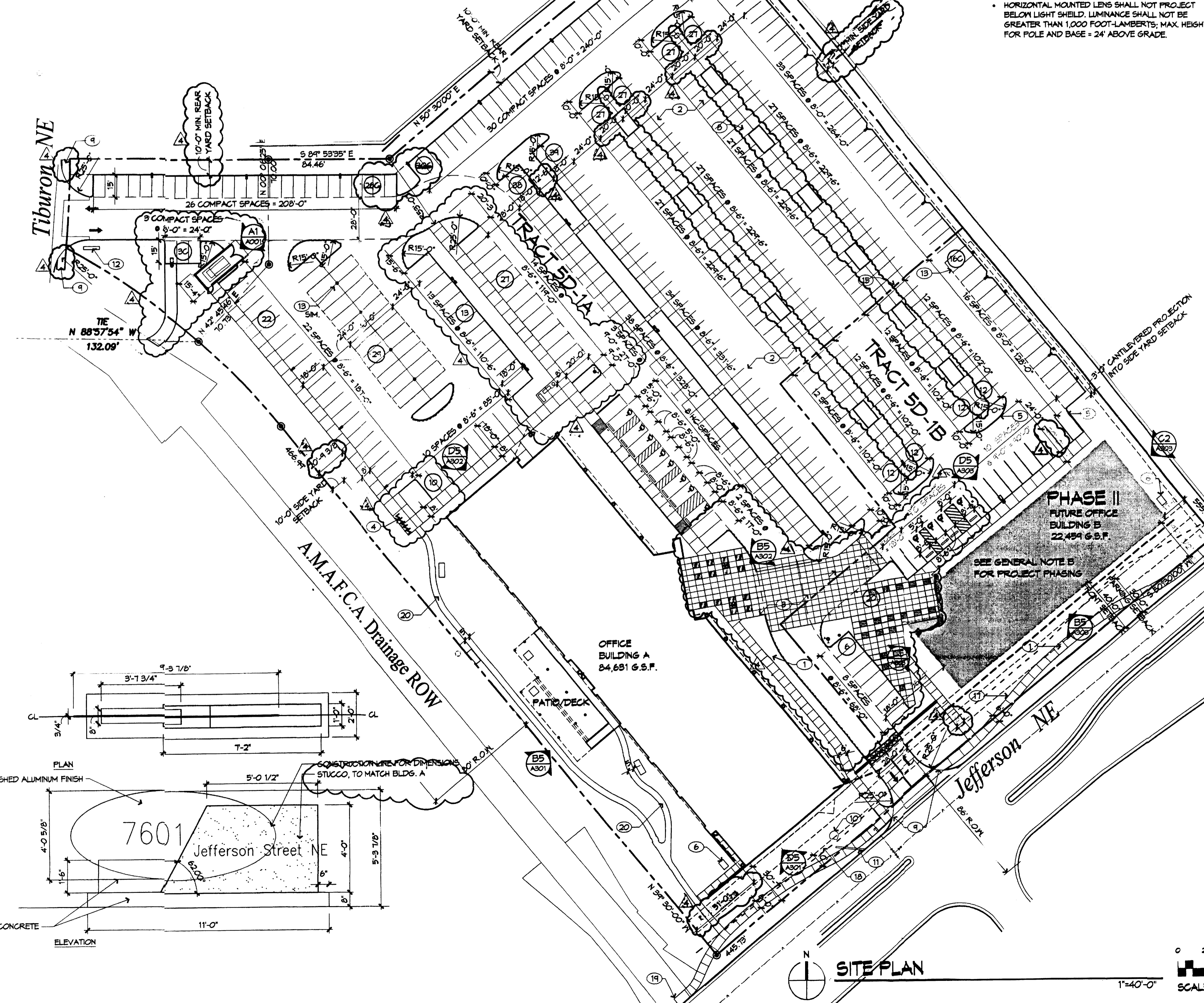


**A4 PARKING CANOPY**  
1/4" = 1'-0"

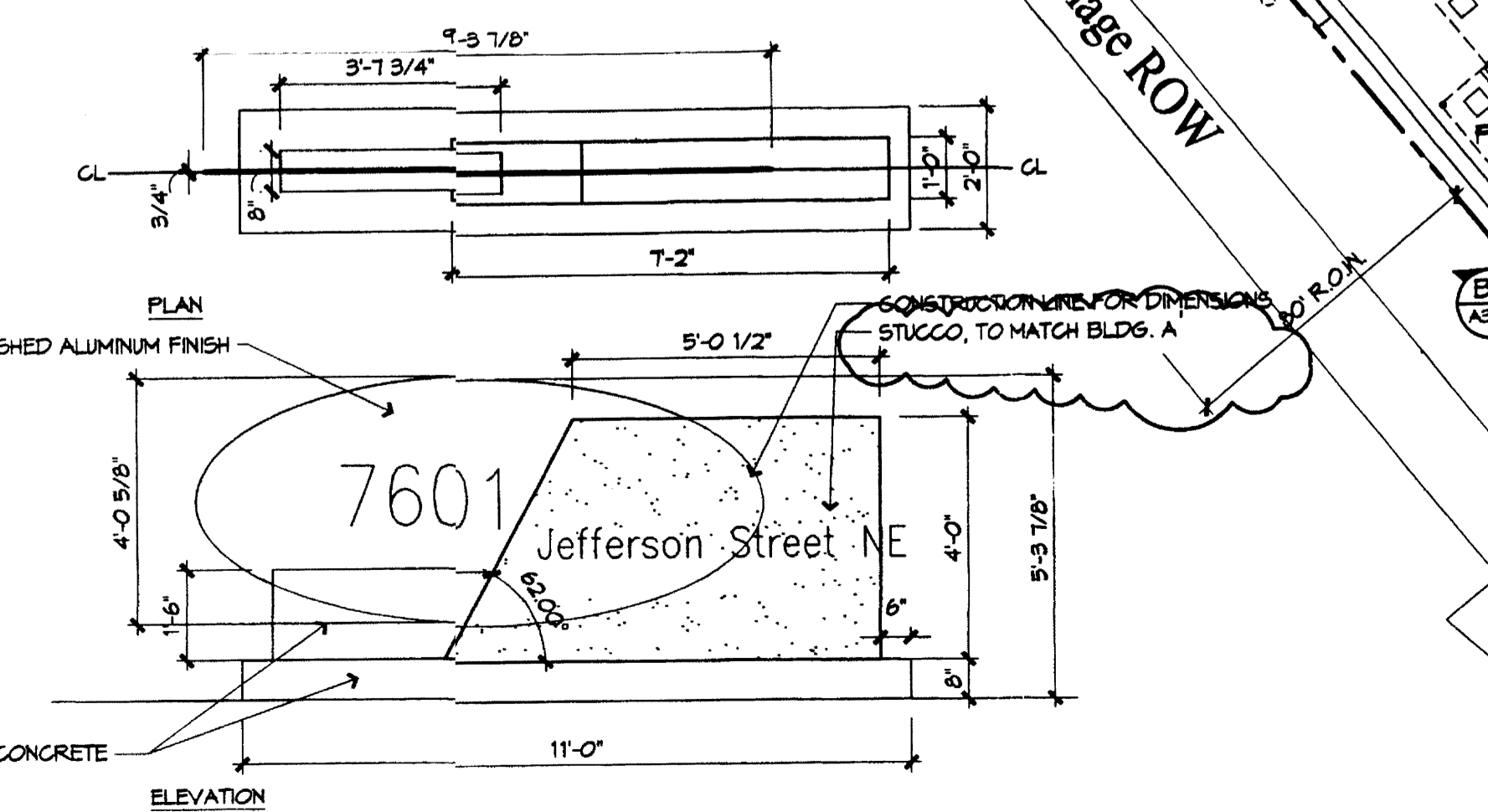
HORIZONTAL MOUNTED LENS SHALL NOT PROJECT BELOW LIGHT SHIELD. LUMINANCE SHALL NOT BE GREATER THAN 1000 FOOT-CANDELS; MAX HEIGHT FOR POLE AND BASE = 24' ABOVE GRADE.



**E5 COMPACT ENCLOSURE ELEVATION**  
3/8" = 1'-0"



**SITE PLAN**  
1" = 40'-0"



**ELEVATION**

**KEYED NOTES**

1. PROPERTY LINE
2. POTENTIAL COVERED PARKING
3. CURB CUT OPENINGS FOR PEDESTRIANS. SEE CIVIL C101
4. CONCRETE RAINDOWN. SEE CIVIL C101
5. STEEL EDGE. SEE C2/L002
6. LIMITS OF WORK
7. CONCRETE MONSTRIP-TURF SIDE ONLY. SEE C1/L002
8. 24" GRAVEL STRIP BETWEEN TURF AND CURB
9. WATER HARVESTING SWALE. SEE B3/L002
10. CURB CUT FOR WATER HARVESTING. SEE CIVIL C101

**PLANTING NOTES**

1. THE LANDSCAPE DESIGN AND PLANTING PALETTE REFLECT BOTH THE SITE'S SETTING-JOURNAL CENTER, AND THE SITE'S LARGER ENVIRONMENTAL CONTEXT-THE DESERT SOUTHWEST. THE PLANT PALETTE UTILIZES NATIVE AND ADAPTED PLANTS SUITABLE FOR ARID ENVIRONMENTS. THE GOAL IS TO CREATE A VISUALLY APPEALING AND COMFORTABLE SETTING FOR USERS OF THE SITE, WHILE EDUCATING USERS ABOUT THE USE OF NATIVE AND REGIONALLY ADAPTED PLANTS, AND WATER HARVESTING TECHNIQUES THAT SUPPLEMENT IRRIGATION. DROUGHT TOLERANT PLANTS COMPRISE A HIGH PERCENT OF THE LANDSCAPE COVERAGE.
2. EXISTING TREES AND TURF EXIST ON THE SITE ALONG BOTH JEFFERSON BOULEVARD AND THE ARROYO. THE LARGE CALIFORNIAN TREES ARE PRIMARILY COTTONWOODS WITH SOME PINES AND SEVERAL ASH. THE TURF IS A HIGH WATER USE BLEND. IT IS OUR INTENT TO PRESERVE EXISTING TREES AND TURF WHERE FEASIBLE AND TAKE ADVANTAGE OF THIS MATURE PLANT COVERAGE. CONTRACTOR SHALL PROTECT AND PRESERVE EXISTING PLANT MATERIAL DURING CONSTRUCTION. SEE SHEET LD100, TREE REMOVAL AND PROTECTION PLAN.
3. MAINTENANCE OF LANDSCAPING AND IRRIGATION SYSTEM FOR THE BUILDING SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

4. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.
5. USE OF HIGH WATER USE PLANT MATERIALS IS TO BE LIMITED. HIGH WATER USE TURF IS ONLY USED ALONG THE EXISTING ARROYO AND ALONG JEFFERSON BOULEVARD WHERE THERE IS EXISTING TURF.
6. MULCH: ALL PLANTING BEDS SHALL BE COVERED WITH MULCH IN ORDER TO MINIMIZE WEED GROWTH, ADD VISUAL INTEREST AND PROTECT SOIL MOISTURE. SEE LEGEND.

7. PASSIVE WATER HARVESTING FROM PAVED SURFACES AND ROOF RUNOFF WILL BE USED TO SUPPLEMENT IRRIGATION WHEREVER POSSIBLE. SEE B3/L002 FOR WATER HARVESTING DETAIL AND CIVIL DRAWINGS FOR THE LOCATION OF CURB CUTS IN WATER HARVESTING SWALES.

8. INTERIM LANDSCAPE: THE PLAN ILLUSTRATES LANDSCAPING AT PARTIAL BUILD OUT. THE INTERIM CONDITION WILL BE A BUILDING PAD IN PLACE OF BUILDING B. THE AREA WILL BE SEEDING AS SPECIFIED IN THE PLANT LEGEND AND IRRIGATED AS EFFICIENTLY AS POSSIBLE.

9. LANDSCAPE BEDS SHALL ACHIEVE MINIMUM 75% LIVE VEGETATIVE COVERAGE UPON PLANT MATURITY. NOTED PLANT QUANTITIES ARE APPROXIMATE.

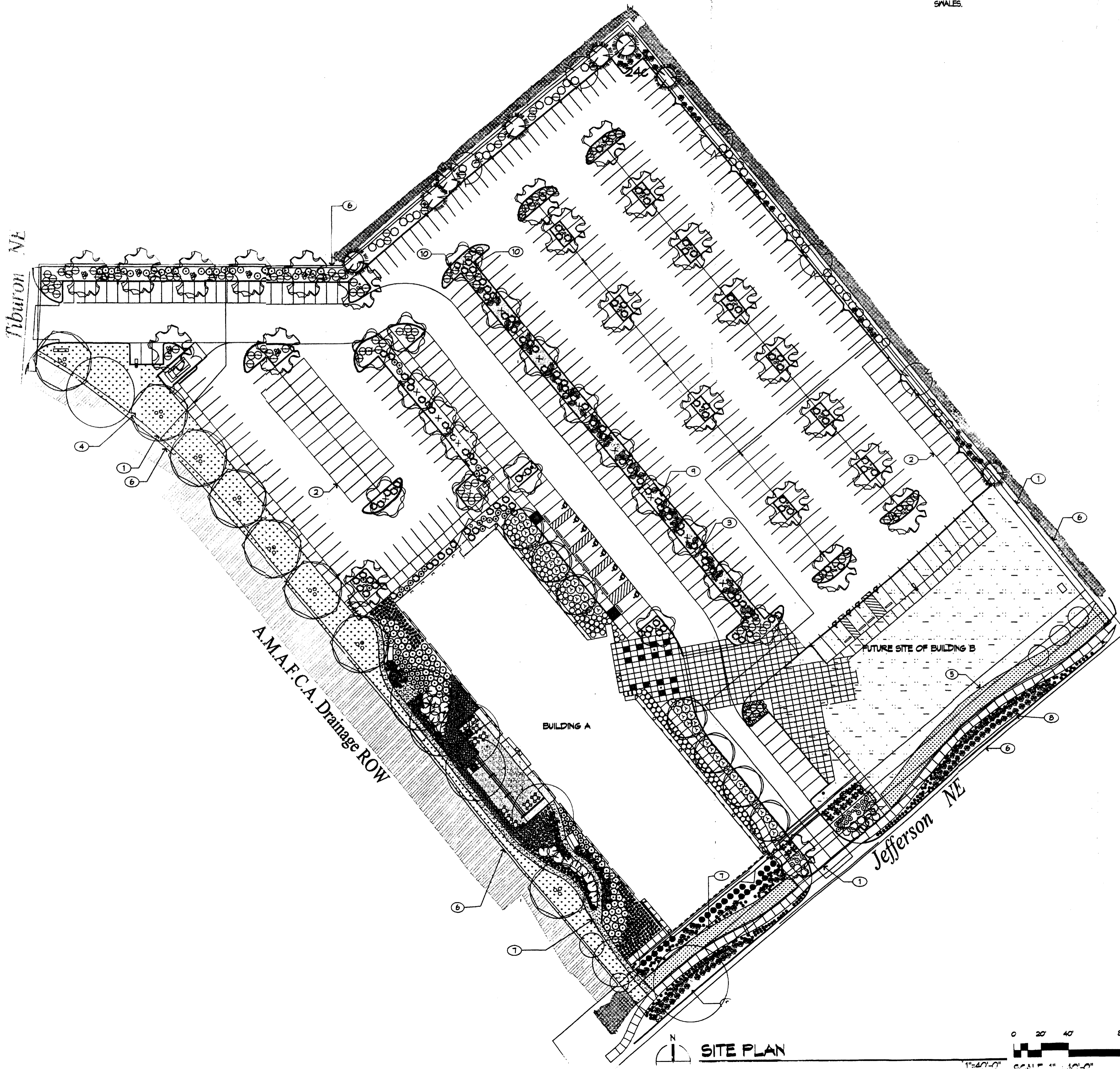
10. THE CONTRACTOR SHALL PROTECT AND PRESERVE THE EXISTING TREES BY INSTALLING TEMPORARY FENCING AT THE DRILLPIE OF THE TREES TO REMAIN. THE CONTRACTOR SHALL NOT ALLOW DUMPING, MATERIAL STORAGE OR VEHICLES WITHIN THE TEMPORARILY FENCED AREA. SEE SHEET LD100, TREE REMOVAL AND PROTECTION PLAN AND SPECIFICATIONS.

11. CONTRACTOR SHALL VERIFY PLANT COUNTS. THIS IS PROVIDED AS OWNER INFORMATION ONLY. IF QUANTITIES ON PLANT LIST DIFFER FROM PLANT QUANTITIES, PLANT QUANTITIES SHALL PREVAIL.

12. EXACT LOCATIONS OF PLANT MATERIALS SHALL BE APPROVED BY THE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION. ARCHITECT RESERVES THE RIGHT TO ADJUST PLANT TO EXACT LOCATION IN THE FIELD.

13. PLANTS SHALL BEAR SAME RELATION TO FINISHED GRADE AS IN ORIGINAL NURSERY CONDITION.
14. PROVIDE MATCHING FORMS AND SIZES FOR PLANT MATERIALS WITHIN EACH SPECIES AND SIZE DESIGNATED ON THE DRAWINGS.

15. SOIL BIOLOGY AMENDMENT SHALL BE APPLIED IN ALL LANDSCAPE AREAS, EXCEPT THE FUTURE SITE OF BUILDING B. SEE SPECIFICATION AND APPROXIMATE SQUARE FOOTAGE IN THE LEGEND.



**PLANTING LEGEND**

Trees		SYMBOL	QTY	SIZE/SF	COMMON NAME	Botanical name	Height	Width	Water requirements	Sheet/Detail
(Symbol)	26	24" BOX MULTI-TRUNK			PINK DAWN CHITALPA	Chitalpa x taskentensis 'Pink Dawn'	25.00	30.00	Medium Water Use	L002/B3, L002/A3, A1
(Symbol)	11	24" BOX MULTI-TRUNK			DESERT MALLOW	Chilopsis linearis	20.00	25.00	Low Water Use	L002/A3, A1, L002/B3
(Symbol)	5	25" CAL.			GOLDEN RAIN TREE	Koeleruteria paniculata	30.00	25.00	High Water Use	L002/A1
(Symbol)	9	6' HIGH			JAPANESE BLACK PINE 'MAJESTIC BEAUTY'	Pinus thunbergiana 'Majestic Beauty'	20.00	16.00	Medium Water Use	L002/A1
(Symbol)	8	25" CAL.			VALLEY COTTONWOOD	Populus fremontii var. wislizenii	35.00	40.00	High Water Use	L002/A2
(Symbol)	6	25" CAL.			RAYWOOD ASH	Fraxinus oxycarpa 'Raywood'	35.00	25.00	Medium Water Use	L002/A1
Ground Cover		(Symbol)	43	1 GAL	THOMPSON BROOM	Baccharis x Sterns' Thompson	2.00	6.00	Low Water Use	L002/A4
(Symbol)	106	1 GAL			MAIDEN GRASS	Miscanthus sinensis 'Gracillimus'	5.00	3.00	Medium Water Use	L002/A4
(Symbol)	11	1 GAL			REGAL MIST GRASS	Muhlenbergia capillaris 'Regal Mist'	9.50	3.00	Medium Water Use	L002/A4, B3
(Symbol)	130	1 GAL			DEER GRASS	Muhlenbergia rigens	3.00	4.00	Medium Water Use	L002/B1
(Symbol)	40	5 GAL			SEMI-PROSTATE ROSEMARY	Rosmarinus off. 'Collingwood Ingram'	2.00	4.00	Low Water Use	L002/B1
(Symbol)	286	1 GAL			WINECUPS	Gallithea involucrata	1.00	2.50	Low Water Use	L002/B2
(Symbol)	67	1 GAL			GUARA	Gaura lindheimeri	3.00	3.00	Medium Water Use	L002/B1
(Symbol)	242	1 GAL			BLUE AVENA GRASS	Helictotrichon sempervirens	3.00	2.00	Medium Water Use	L002/B1
(Symbol)	353	1 GAL			VARIEGATED MAIDEN GRASS	Miscanthus sinensis 'Variegatus'	5.00	2.50	Medium Water Use	L002/B1
(Symbol)	56	1 GAL			FOUNTAIN GRASS	Fernisetum alopecuroides	3.00	2.00	Medium Water Use	L002/A4
(Symbol)	500	2026 SF			Turf Grass: 80% tall fescue, 10% ryegrass, 10% bluegrass		Type: Rolls	High Water Use		
(Symbol)	SEED	12,116 SF			SUNNY LAWN BLEND (80% tall fescue, 10% ryegrass, 10% bluegrass)	CURTIS 4 CURTIS INC.	Rate: 10 lbs./1000 SF	High Water Use		
(Symbol)	SEED	2646 SF			NATIVE WONDER GRASS SEED (CURTIS 4 CURTIS INC. PULLANO ESTACADO MILD FLOWER)		Rate: 2 lbs./1000 SF	Medium Water Use		
Shrubs		(Symbol)	43	1 GAL	BLUE MIST SPIREA	Caryopteris x cladonensis 'Longwood Blue'	4.00	5.00	Medium Water Use	L002/B1
(Symbol)	54	1 GAL			BUFFALO JUNIPER	Juniperus sabina 'Buffalo'	1.00	6.00	Low Water Use	L002/A4
(Symbol)	15	1 GAL			PROVENCE LAVENDER	Lavandula angustifolia 'Provence'	3.00	3.00	Medium Water Use	L002/A4
(Symbol)	18	1 GAL			GRO-LON SUMAC	Rhus aromatica 'Gro-Lon'	3.00	6.00	Medium Water Use	L002/B1
(Symbol)	11	1 GAL			BUTTERFLY BUSH	Buddleia davidii 'Black Knight'	6.00	4.00	Medium Water Use	L002/A4
Accents/Succulents		(Symbol)	103	5 GAL	RED HESPERALOE	Hesperaloe parviflora	4.00	4.00	Low Water Use	L002/A4
(Symbol)	16	5 GAL			DESERT PRICKLY PEAR	Opuntia engelmannii	4.00	5.00	Low Water Use	L002/B1
(Symbol)	125	1 GAL			BEARGRASS	Nolina texana	3.00	3.00	Low Water Use	L002/A4
(Symbol)	22	5 GAL			GREEN DESERT SPOON	Dasylirion texanum	5.00	5.00	Low Water Use	L002/A4

Existing Plant Materials to Remain

(Symbol)	HEDGE	EXISTING OFF-SITE EVERGREEN HEDGE
(Symbol)	TREE	EXISTING TREE, SPECIES VARIES
(Symbol)	TURF	EXISTING TURF WITH MODIFIED IRRIGATION SYSTEM

**LANDSCAPE CALCULATIONS**

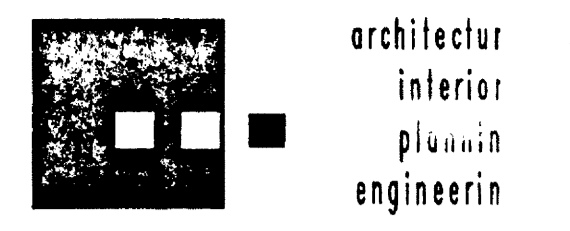
SITE AREA: 250,540 SF  
 BUILDING A PHASE 1: 28,238 SF  
 BUILDING B PHASE 2: 8,627 SF  
 BUILDING AREA: 36,865 SF  
 NET SITE AREA: 213,675 SF

REQUIRED LANDSCAPE AREA: 52,052 SF (15% OF NET SITE AREA)  
 PROVIDED LANDSCAPE AREA: 52,714 SF

TURF:  
 EXISTING AREA: 69,833 SF  
 PROPOSED AREA: 12,323 SF

**LEGEND**

- (Symbol) ROLLED AND COMPACTED CRUSHER FINES. SEE SPECIFICATIONS. 3" DEPTH. COLOR: MOUNTAIN ROSE. SEE SPECIFICATIONS.
  - (Symbol) 2"-4" COBBLE MULCH. COLOR: MOUNTAIN ROSE
  - (Symbol) 2" DEPTH CRUSHER FINES MULCH. COLOR: MOUNTAIN ROSE
  - (Symbol) CONCRETE AREA OF DECK
- SOIL BIOLOGY AMENDMENT. SEE SPECIFICATION. APPROXIMATELY 93,386 SF APPLY TO ALL LANDSCAPE AREAS EXCEPT FUTURE SITE OF BUILDING B.



**Dekker Perich Sabatini**

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 505 761-9700  
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 dps@dpsobq.com

ARCHITECT  
**ADMINISTRATIVE AMENDMENT**

ENGINEER

PROJECT  
**Journal Center Tract 5  
 Office Building A**  
 6801 Jefferson NE  
 Albuquerque, New Mexico 87109

REVISIONS

(Symbol)	9/20/05
(Symbol)	
(Symbol)	
(Symbol)	

DRAWN BY: YT  
 REVIEWED BY: MB  
 DATE: 9/20/05  
 PROJECT NO.: 04136  
 DRAWING NAME:

**LANDSCAPE PLAN**

**PRELIMINARY  
NOT FOR CONSTRUCTION**

**Journal Center Tract 5  
Office Building A  
7601 Jefferson NE  
Albuquerque, New Mexico**

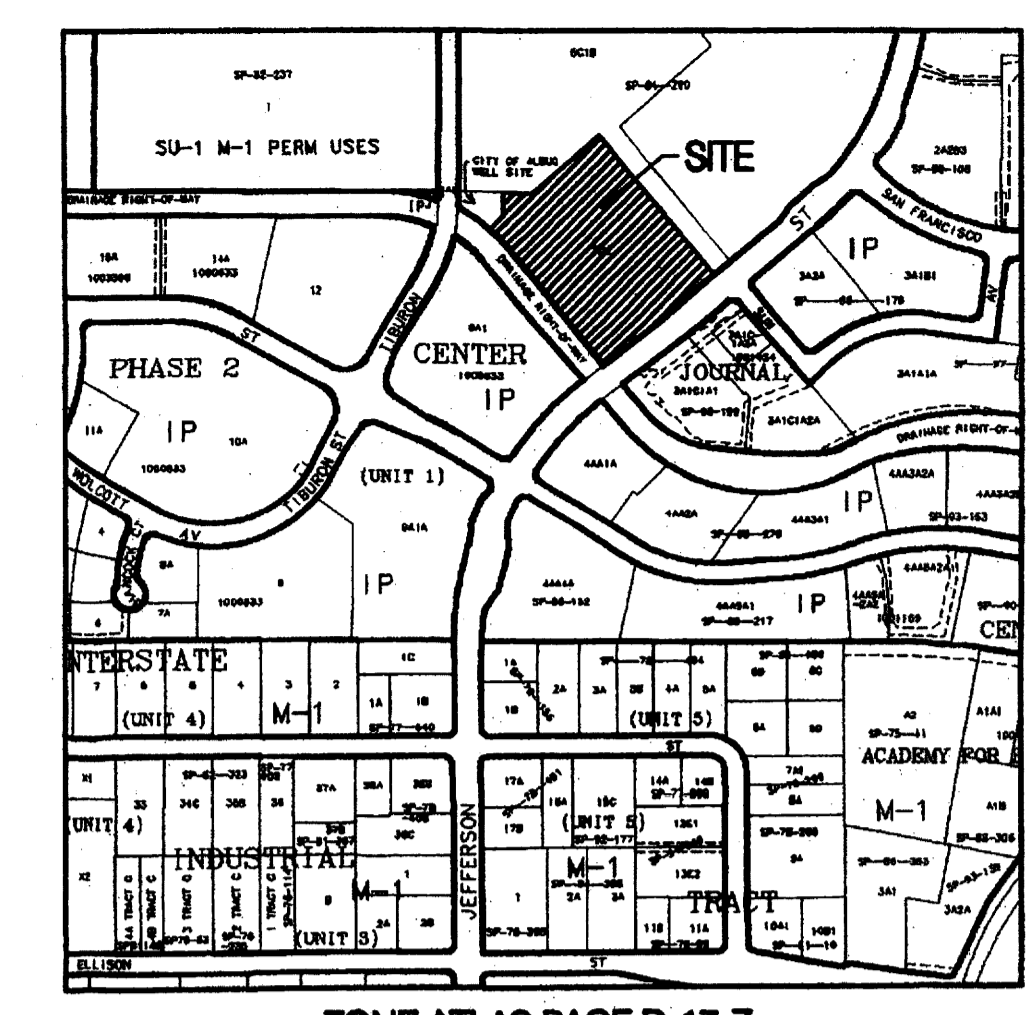
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DRAWN BY **GM**  
REVIEWED BY **JTM**  
DATE **04/12/05**

PROJECT NO.  
DRAWING NAME

**CONCEPTUAL  
GRADING &  
DRAINAGE PLAN**

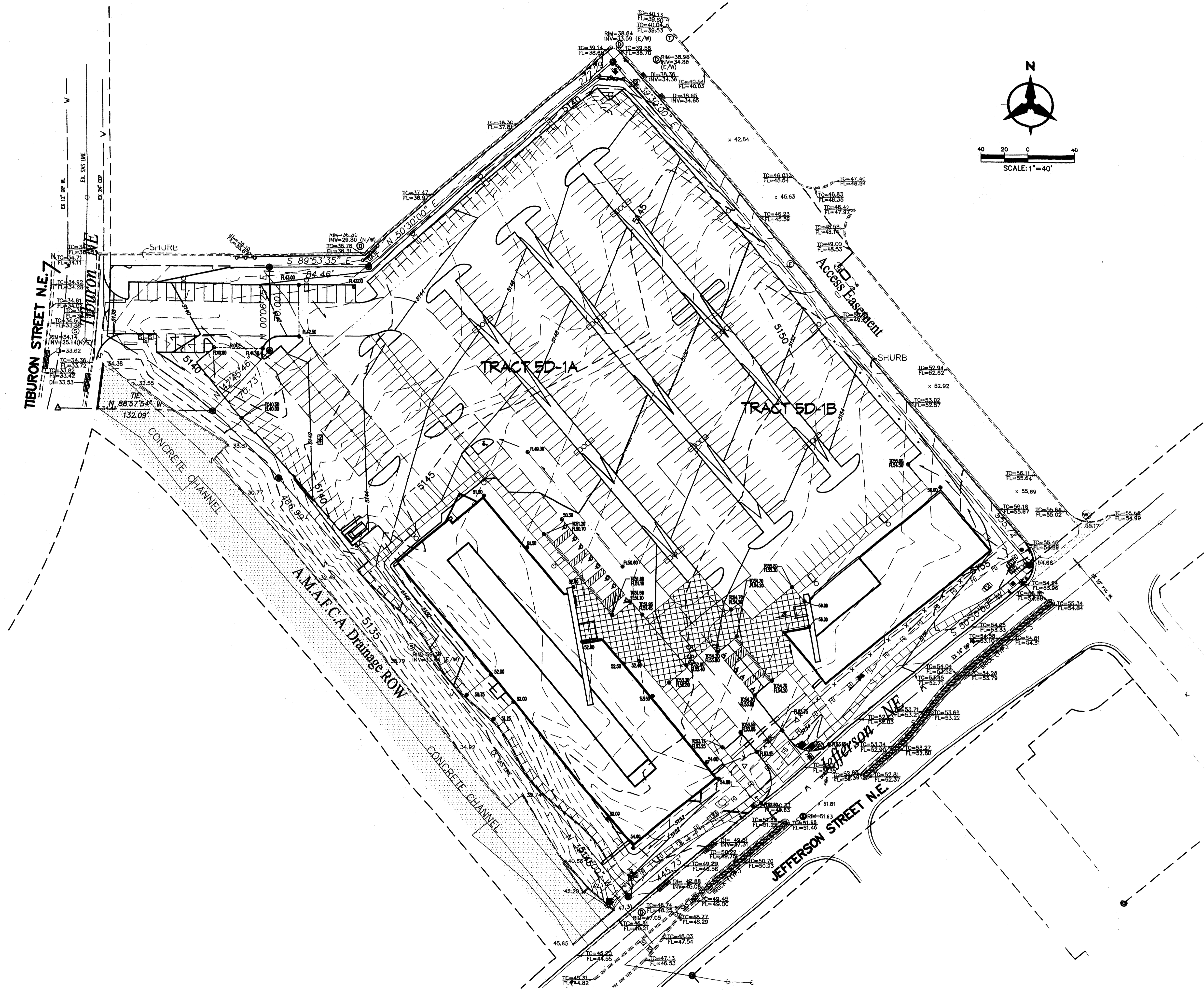
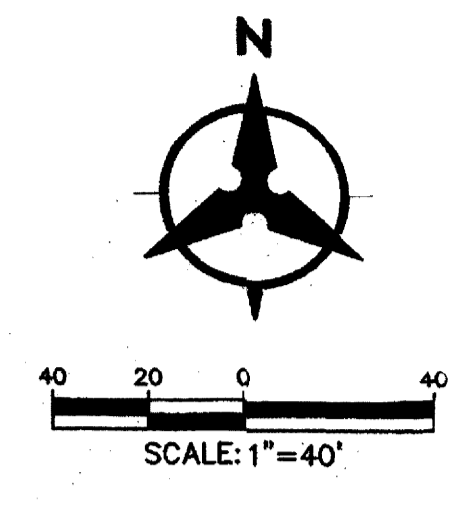
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OF



ZONE ATLAS PAGE D-17-Z

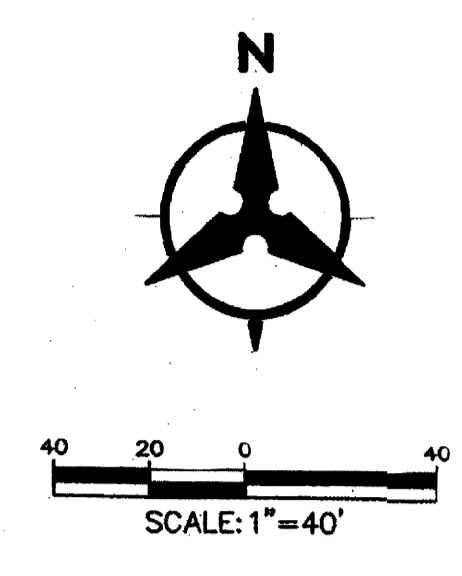
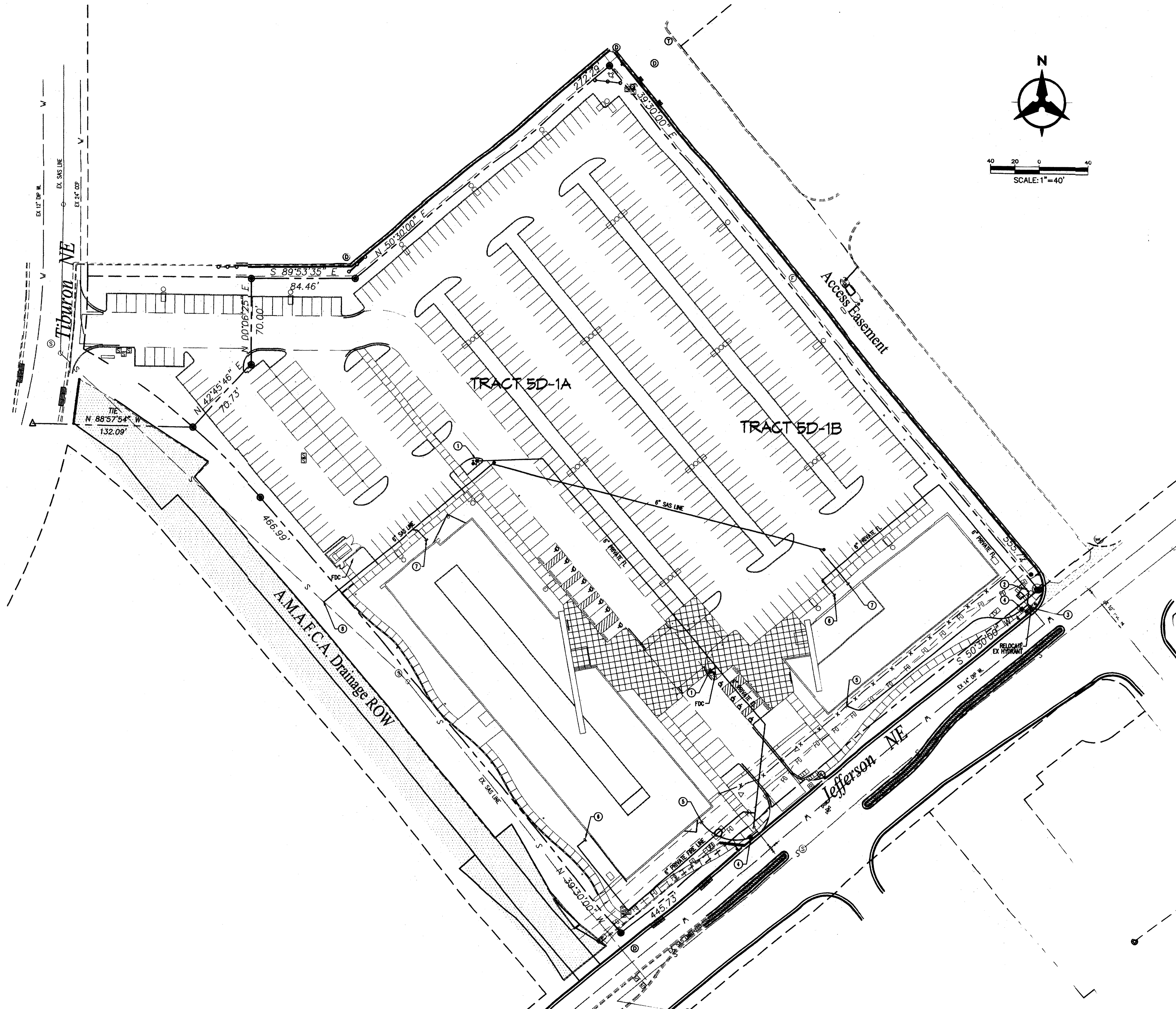
**BENCHMARK**

ACS Brass Cap stamped "1-25-14"  
.90 miles along East Frontage Road to NM State Hwy. 3 Office.  
Station set on top of concrete post flush with ground.  
Geographic Position (NAD 1927), in feet  
N.M. State Plane Coordinates (Central Zone)  
X=399,828.26, Y= 1,514,860.92  
Elevation= 5196.73 (NGVD29) in feet



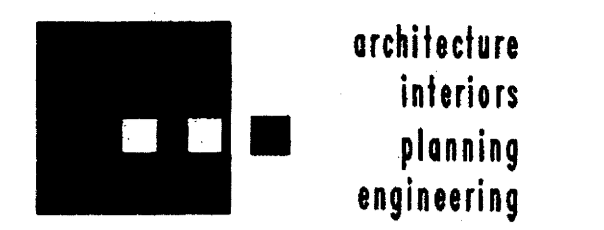
**Bohannon & Huston**  
Company 7600 Jefferson NE Albuquerque, NM 87109-4888  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

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May 08, 2005 - 11:20am



○ WATER & SANITARY SYSTEM KEYED NOTES

1. NEW PRIVATE FIRE HYDRANT
2. NEW GATE VALVE
3. RELOCATE EXISTING FIRE HYDRANT. CONNECT PROPOSED 6" PRIVATE FIRE LINE INTO EXISTING 6" WATER LINE.
4. NEW DOMESTIC WATER METER
5. STUB DOMESTIC WATERLINE TO WITHIN 5' OF BLDG.
6. STUB PRIVATE FIRE LINE TO WITH 5' OF BLDG.
7. STUB 6" SAS TO WITHIN 5' OF BLDG.
8. TIE NEW PRIVATE 6" SAS TO EXISTING PUBLIC 6" VOP SAS LINE



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ARCHITECT

**PRELIMINARY  
NOT FOR CONSTRUCTION**

ENGINEER

PROJECT

**Journal Center Tract 5  
Office Building A  
7601 Jefferson NE  
Albuquerque, New Mexico**

REVISIONS

- △
- △
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DRAWN BY **CM**

REVIEWED BY **JTM**

DATE **04/12/05**

PROJECT NO.

DRAWING NAME

**CONCEPTUAL  
UTILITY PLAN**

SHEET NO.

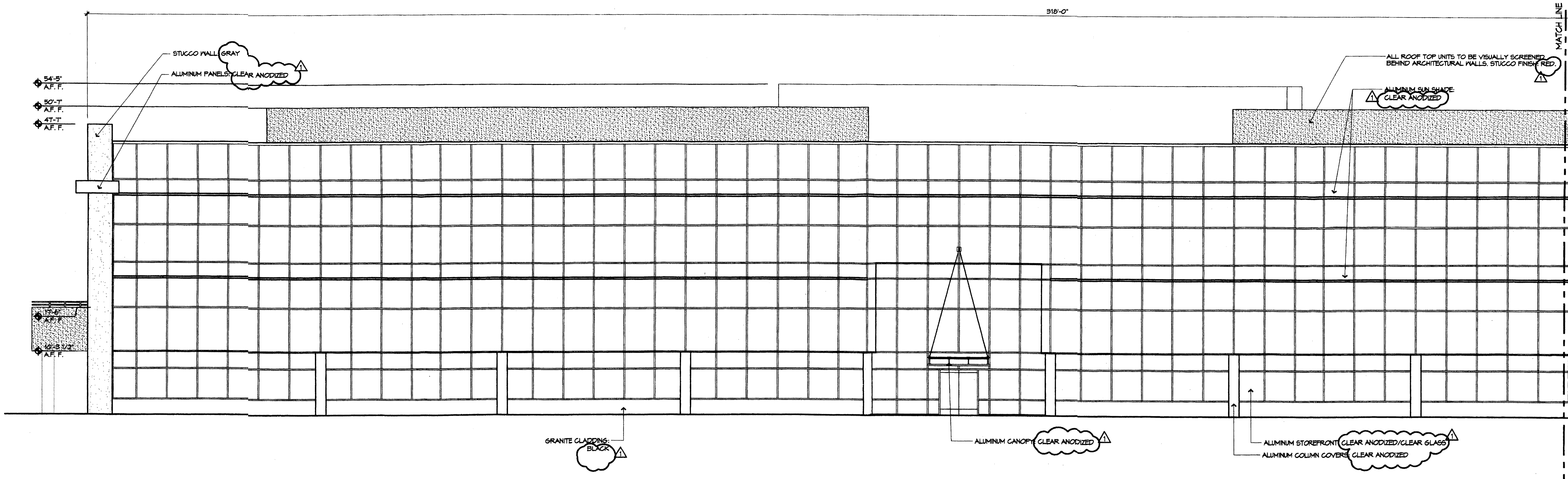
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OF

**Bohannon & Huston**  
 Courtyard | 7500 Jefferson St. NE | Albuquerque, NM 87109-4336  
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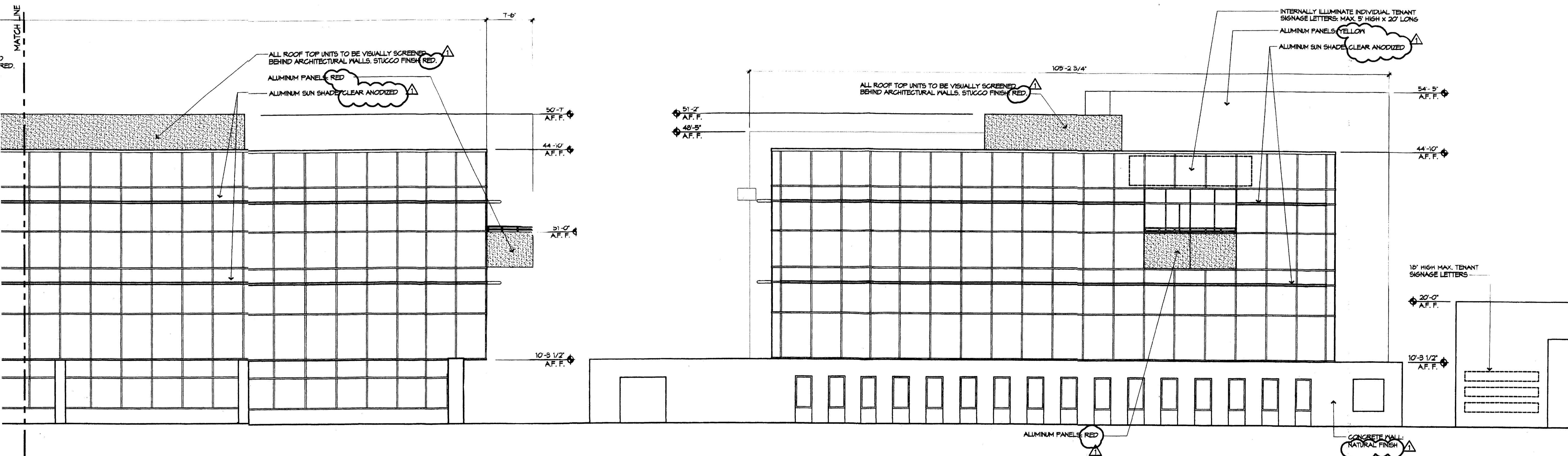
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REVISIONS	
△	5/4/05 DRB COMMENTS
△	
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△	

DRAWN BY	
REVIEWED BY	
DATE	5/4/05
PROJECT NO.	04126
DRAWING NAME	ELEVATIONS OFFICE BLDG A

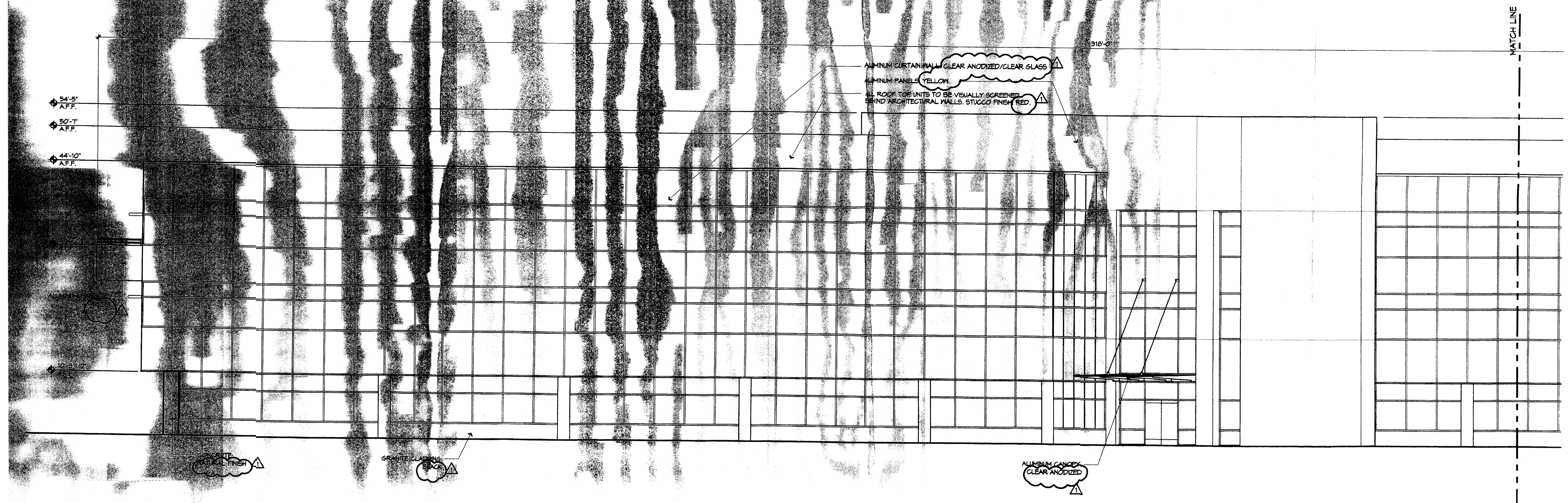


**B5 PARTIAL SOUTH ELEVATION**  
1/8" = 1'-0"

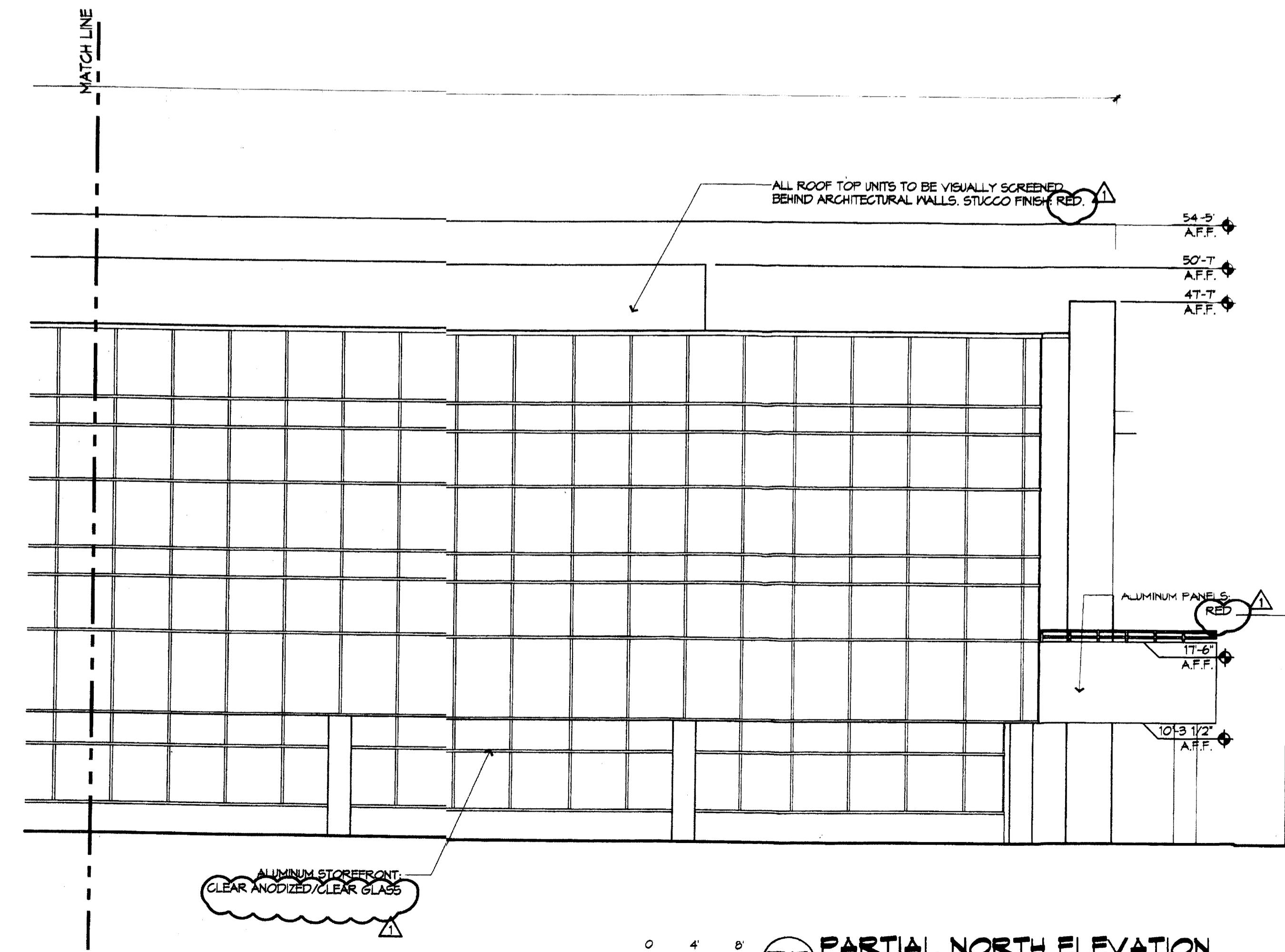


**D5 EAST ELEVATION**  
1/8" = 1'-0"

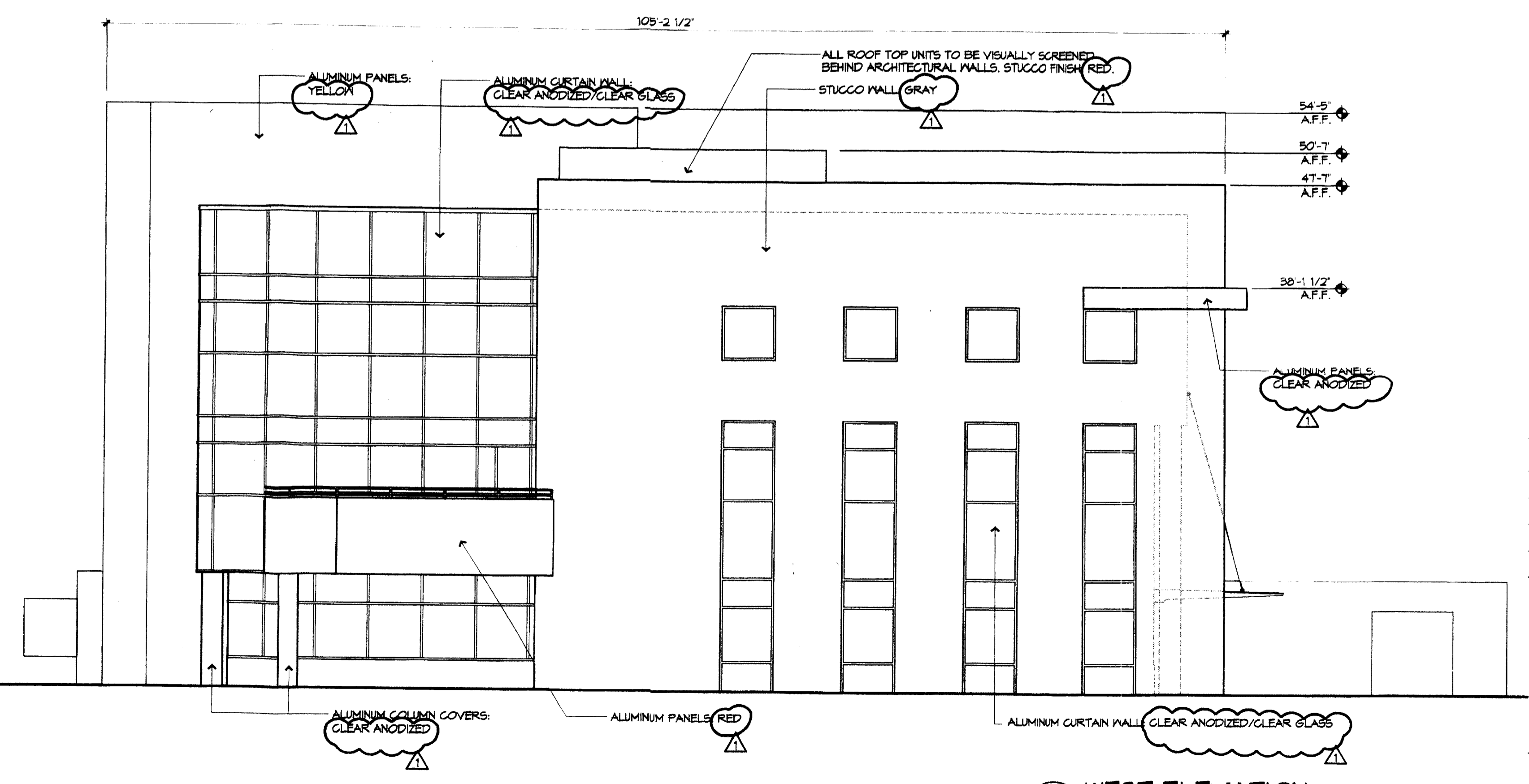
**B5 PARTIAL SOUTH ELEVATION**  
1/8" = 1'-0"



0 4 8 **B5** PARTIAL NORTH ELEVATION 1/8" = 1'-0"



0 4 8 **B5** PARTIAL NORTH ELEVATION 1/8" = 1'-0"



0 4 8 **D5** WEST ELEVATION 1/8" = 1'-0"

**Journal Center Tract 5**

7601 Jefferson NE  
Albuquerque, New Mexico

REVISIONS	DATE	DRB COMMENTS
△	5/4/05	
△		
△		

DRAWN BY  
REVIEWED BY  
DATE 5/4/05  
PROJECT NO. 04156  
DRAWING NAME

**ELEVATIONS  
OFFICE BLDG A**

SHEET NO.  
**A302**  
OF

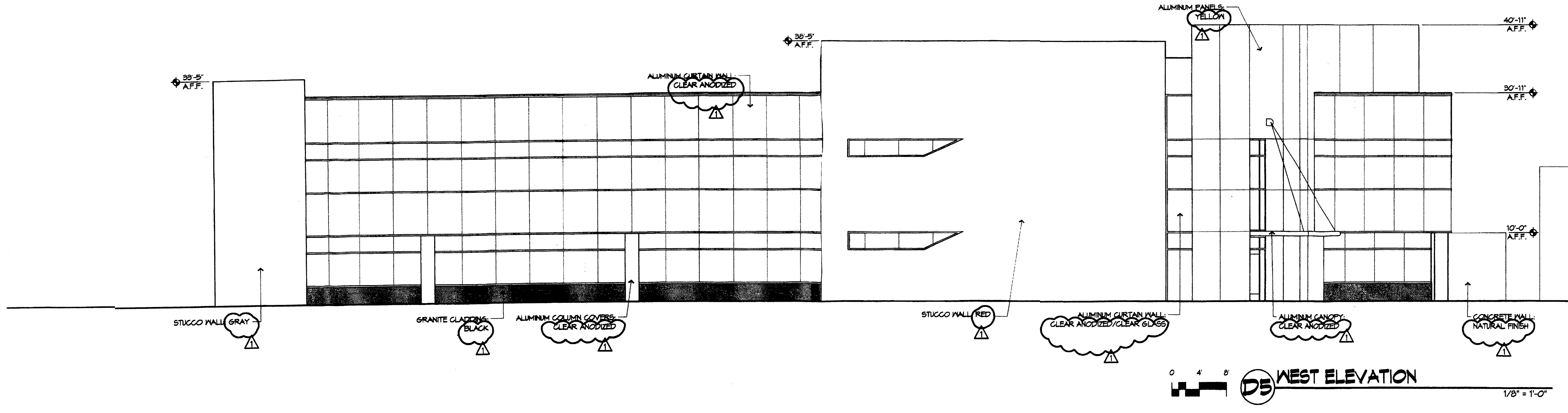
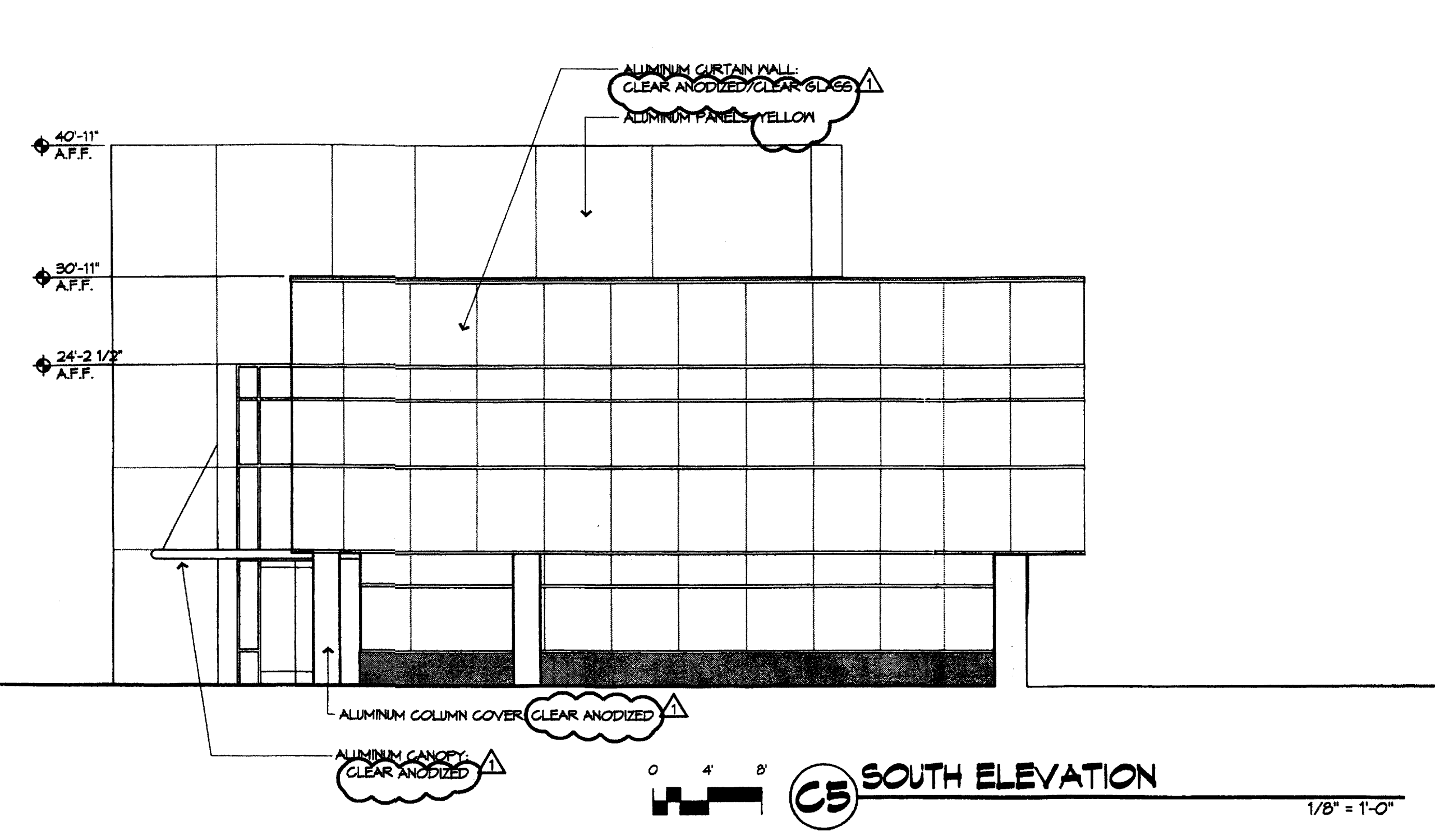
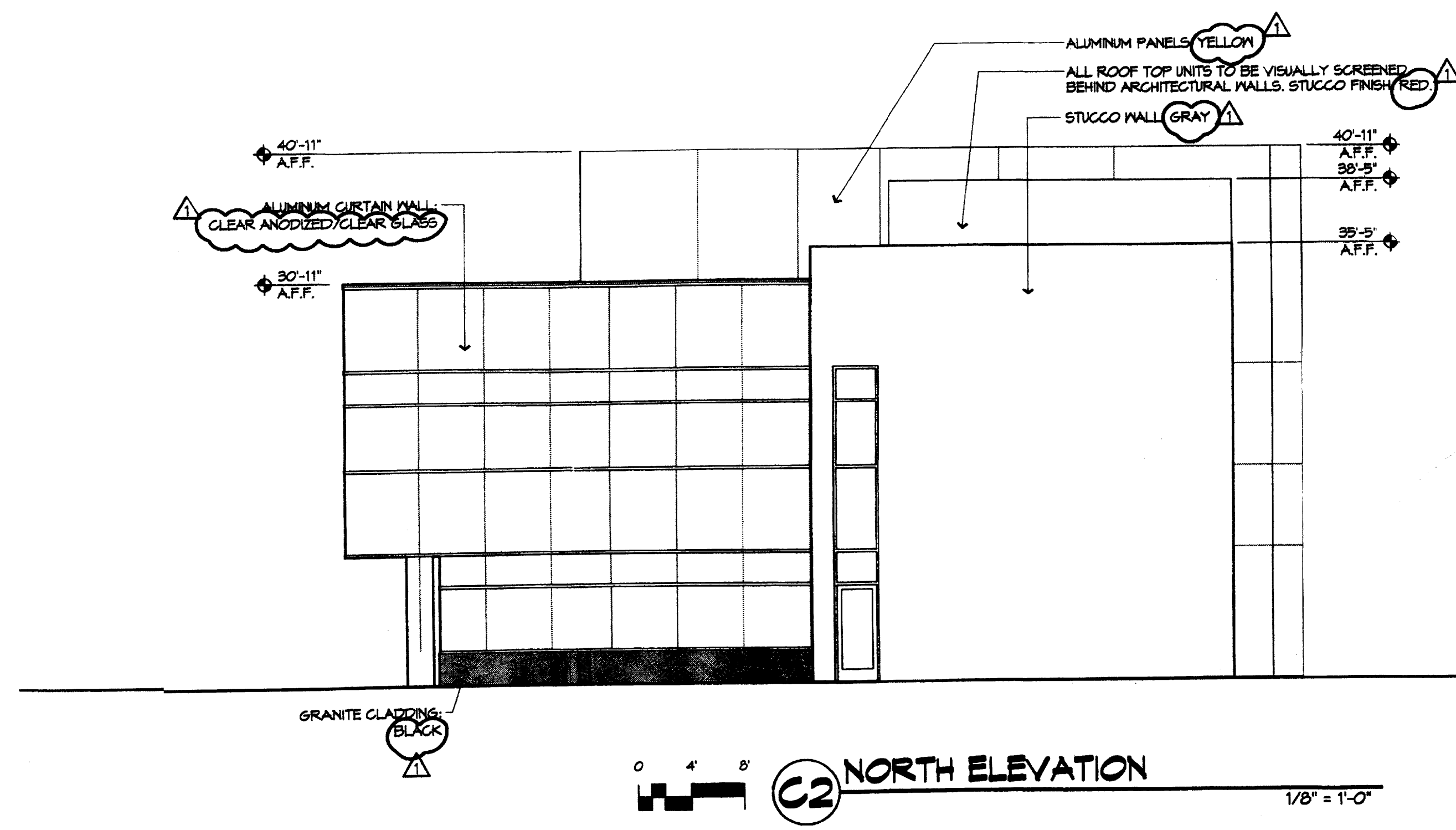
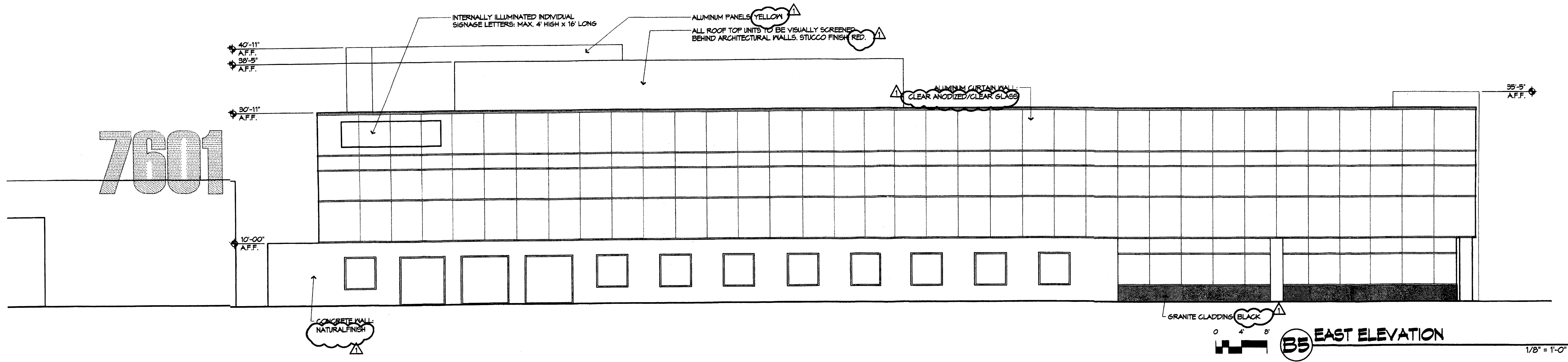


REVISIONS

▲	5/10/05	DRB COMMENTS
▲		
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DRAWN BY	MRM
REVIEWED BY	
DATE	5/9/05
PROJECT NO.	04186
DRAWING NAME	

**ELEVATIONS  
OFFICE BLDG B**



REVISIONS

4/19/05	REVISED TRACT LINES
5/06/05	DRB COMMENTS
05/11/05	ADDED SIDEWALK @ AMAFCA BRIDGE
09/20/05	SITE PLAN REVISIONS

DRAWN BY: MRM/SJT  
REVIEWED BY: CG  
DATE: 9/20/05  
PROJECT NO.: 04136  
DRAWING NAME:

**SITE PLAN  
FOR BLDG PERMIT**

- GENERAL NOTES**
- PARKING AREAS SHALL BE DESIGNED TO CURRENT DPM STANDARDS
  - PHASE I TO INCLUDE FULL BUILD-OUT OF OFFICE BUILDING A, ALL PARKING AND OFFICE BUILDING B AS A FUTURE PAD SITE. PHASE II TO INCLUDE FULL BUILD-OUT OF OFFICE BUILDING B. SEE SHEET L001 FOR LANDSCAPING OF PHASE I AND II.
  - PROVIDE LETTERING "COMPACT" PAINTED IN SAFETY WHITE AT ALL COMPACT PARKING SPACES. TYPICAL.
  - ALL SITEWORK WILL BE CONSTRUCTED AS SUCH TO ENSURE THAT A SITE DISTANCE OF 400' IS MET ON JEFFERSON.
- KEYED NOTES**
- SIDEWALK, CONCRETE
  - PAVING, ASPHALT
  - SPECIAL PAVING
  - BICYCLE RACK PAINT (1:20 AUTOS)
  - CURB, 6" HIGH, CONCRETE
  - TRANSFORMER
  - SCREEN WALL, T4" HIGH, 2-COAT STUCCO SYSTEM OVER 8" CMU COLOR TO MATCH BUILDING. RE: A1/A041
  - LANDSCAPE AREA, RE: L001
  - H/RAMP
  - CONTRACTOR TO COORDINATE REMOVAL AND RELOCATION OF IRRIGATION ENCLOSURE WITH LEECO.
  - CONCRETE CURB TO BE REMOVED
  - MONUMENT SIGN
  - PARKING CANOPY
  - CITY WELL SITE EASEMENT TO BE VACATED BY PLAT.
  - PROPOSED LOT LINE
  - TRASH COMPACTOR
  - LANDSCAPING (SEE SIDEWALK DOCUMENT)
  - 10' PUE
  - SIDEWALK TO MIDPOINT OF BRIDGE OVER AMAFCA ROW
  - ROLLED AND COMPACTED CRUSHER FINE PATH. CONCRETE CURB AT TURF EDGE

- LEGEND**
- EXISTING FIRE HYDRANT
  - NEW FIRE HYDRANT
  - PARKING SPACE COUNT
  - LIGHT POLE - DOUBLE HEAD
  - LIGHT POLE - SINGLE HEAD
  - SURFACE MOUNTED LIGHT FIXTURE
  - FLOOD LIGHT
  - UP LIGHT, RE
  - TRAFFIC ARROW, PAINT WHITE
  - PAINT CURB RED, 4" PAINT TEXT "FIRE LANE NO PARKING"

**SITE INFORMATION**

LEGAL DESCRIPTION: TRACT 5D-1, JOURNAL CENTER, AS THE SAME IS SHOWN ON THE REPLAT OF JOURNAL CENTER AND A PORTION OF LOTS 30 31, A 32, BLOCK 3 OF TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, AND A PORTION OF VACATED SAN MATEO BOULEVARD AND RANCHITOS AVENUE, FILED JUNE 30, 1983, 1:1 MAP BOOK G21, FOLIO 126, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.

**SITE DATA (OVERALL)**  
ZONE: IP INDUSTRIAL PARK

GROSS BUILDING AREA:  
BUILDING A (three story) = 84,631 GBA  
BUILDING B (two story) = 22,454 GBA  
TOTAL BUILDINGS = 107,085 GBA

RENTABLE BUILDING AREA:  
BUILDING A (three story) = 81,830 FRA  
BUILDING B (two story) = 20,221 FRA  
TOTAL BUILDINGS = 102,051 FRA

SITE AREA: 262,951 GSF = 6.0366 ACRES

TOTAL SITE AREA: 262,951 GSF  
GROSS F.A.R. (GBA/site area): .07  
RENTABLE F.A.R. (FRA/site area): .068

**SITE DATA (TRACT 5D-1A)**

GROSS BUILDING AREA:  
BUILDING A (three story) = 84,631 GBA

RENTABLE BUILDING AREA:  
BUILDING A (three story) = 81,830 FRA

SITE AREA = 200,634 GSF  
GROSS F.A.R. (GBA/site area): 421  
RENTABLE F.A.R. (FRA/site area): 408

PARKING PROVIDED: 388 SPACES  
(281 STANDARD + 107 COMPACT SPACES)  
RATIO = 4.74/1000 FRA

**SITE DATA (TRACT 5D-1B)**

GROSS BUILDING AREA:  
BUILDING B (two story) = 22,454 GBA

RENTABLE BUILDING AREA:  
BUILDING B (two story) = 20,221 FRA

TOTAL SITE AREA = 62,321 GSF  
GROSS F.A.R. (GBA/site area): 360  
RENTABLE F.A.R. (FRA/site area): 325

PARKING PROVIDED: 84 SPACES  
(79 STANDARD + 16 COMPACT SPACES)  
RATIO = 4.4/1000 FRA

**PARKING INFORMATION**

OFFICES: NET RENTABLE SF/200 (1ST FL) AND 300 (2ND & 3RD FLS)

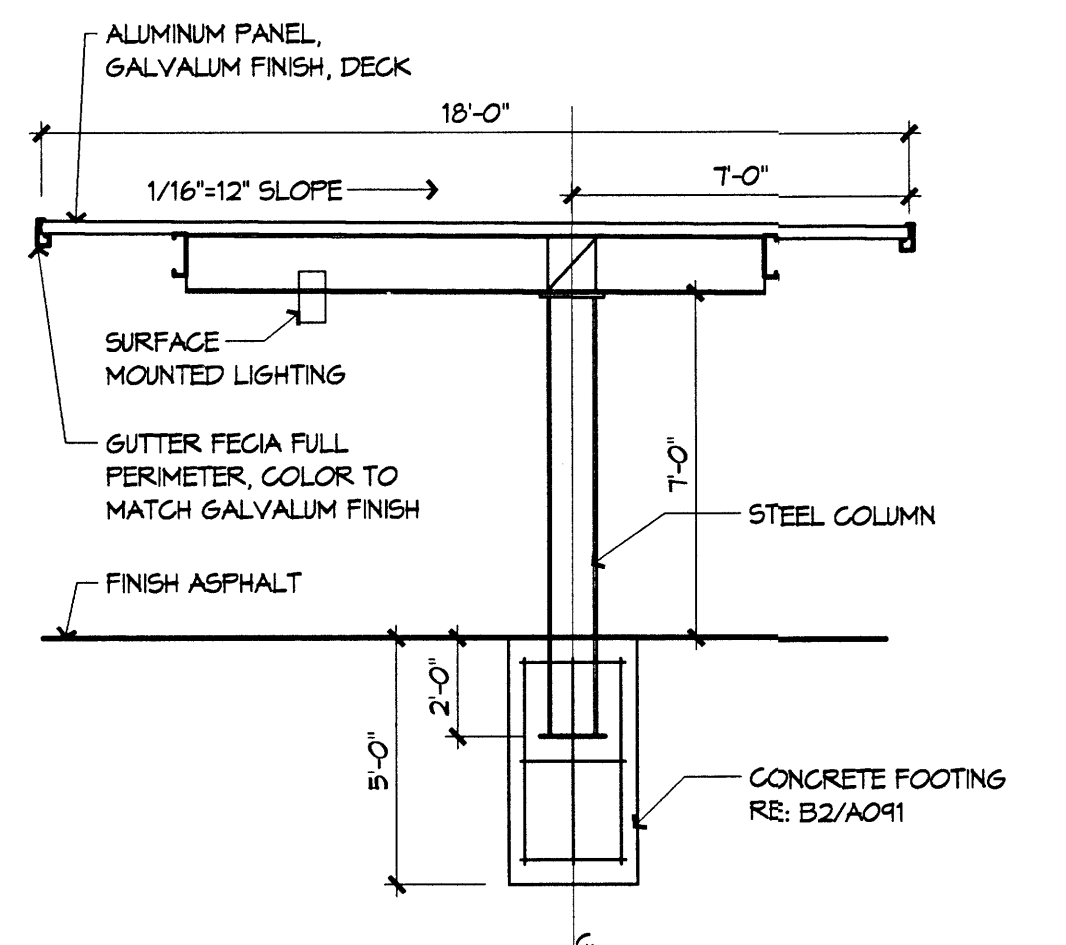
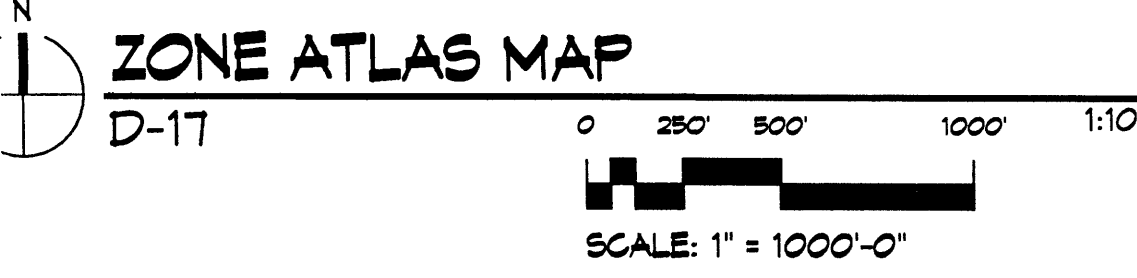
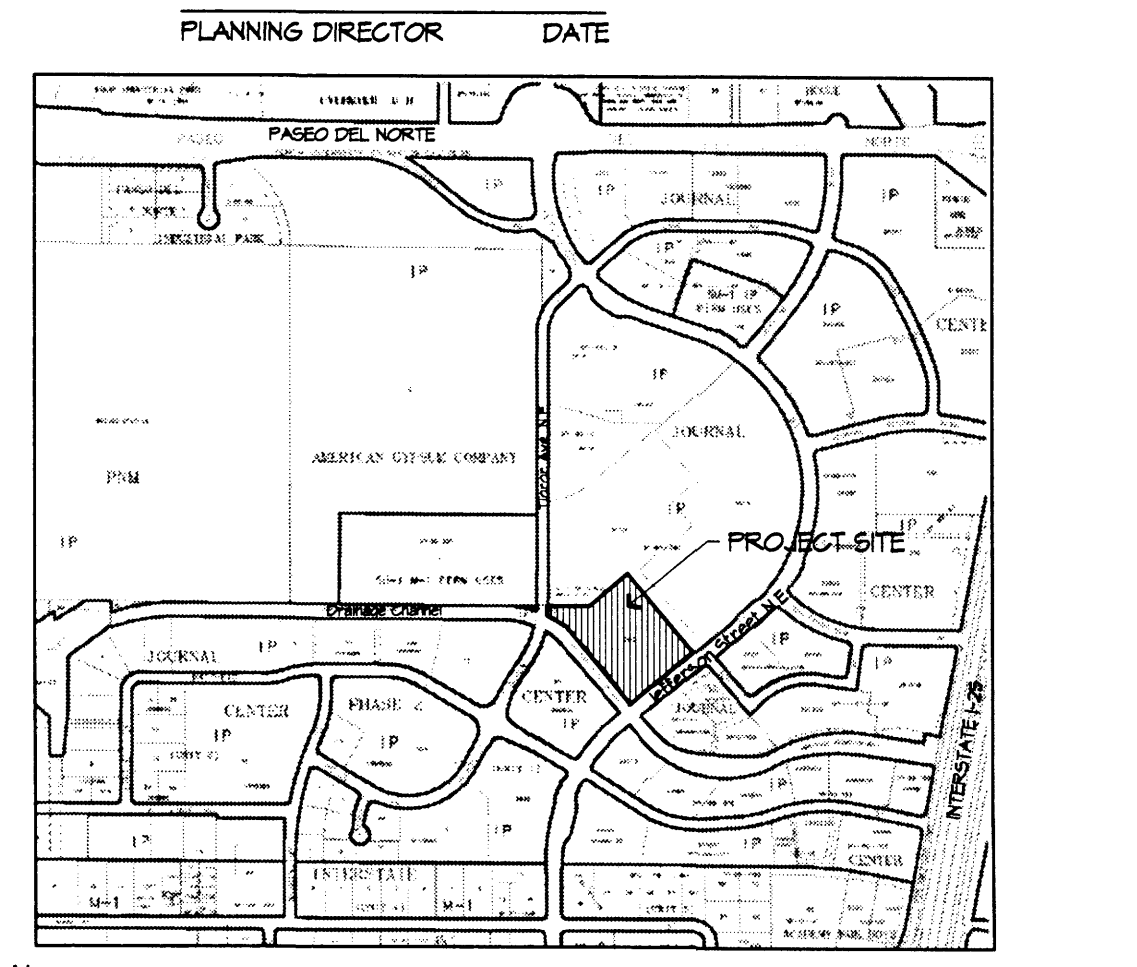
BUILDING A:  
FIRST FLOOR: 24,048 SF/200 = 120  
SECOND FLOOR: 28,238 SF/300 = 95  
THIRD FLOOR: 24,992 SF/300 = 83  
TOTAL = 314

BUILDING B:  
FIRST FLOOR: 8,621 SF/200 = 44  
SECOND FLOOR: 11,602 SF/300 = 39  
TOTAL = 83

TOTAL SPACES REQUIRED: 391  
(INCLUDES 12 ACCESSIBLE SPACES WITH 4 VAN ACCESSIBLE)

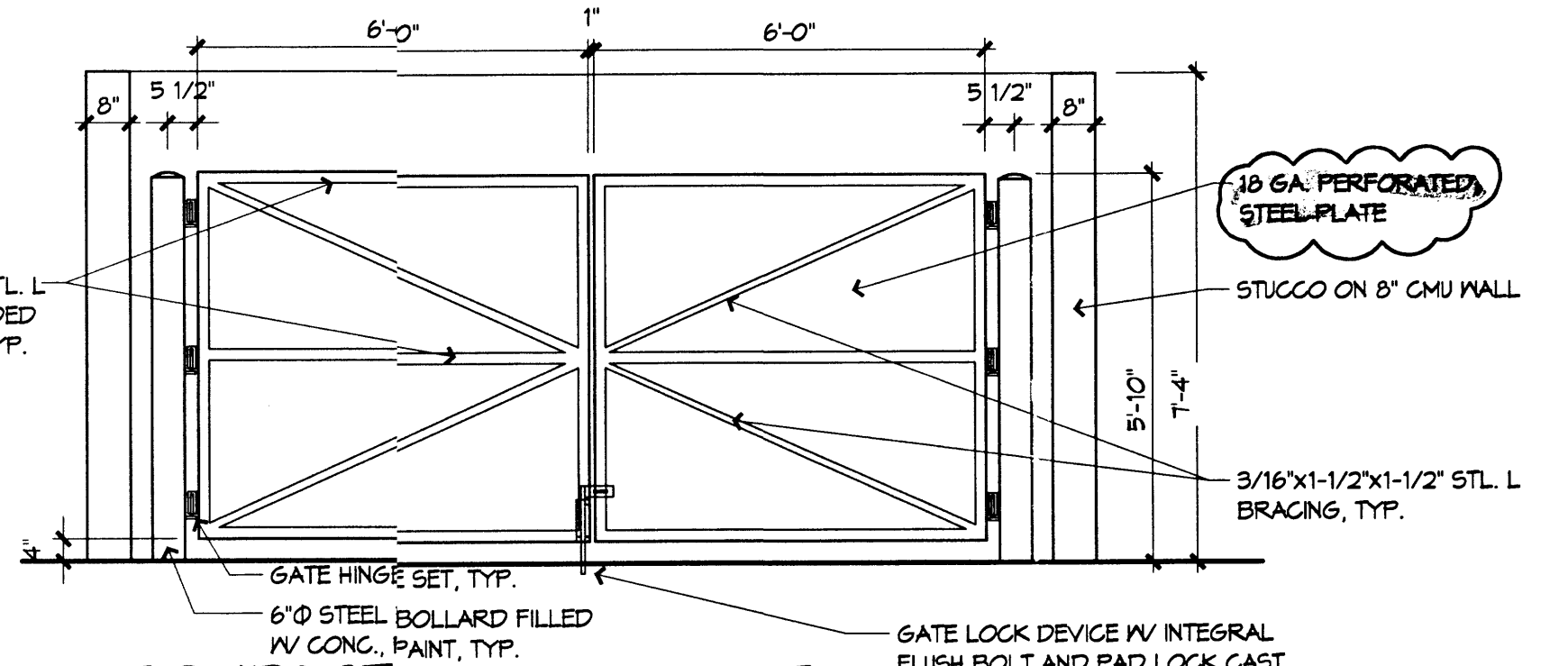
TOTAL SPACES PROVIDED: 488  
(INCLUDES 12 ACCESSIBLE SPACES WITH 4 VAN ACCESSIBLE)

COMPACT SPACES: 123  
BICYCLE REQUIREMENTS: 341/20 = 20  
BICYCLE SPACES PROVIDED = 20

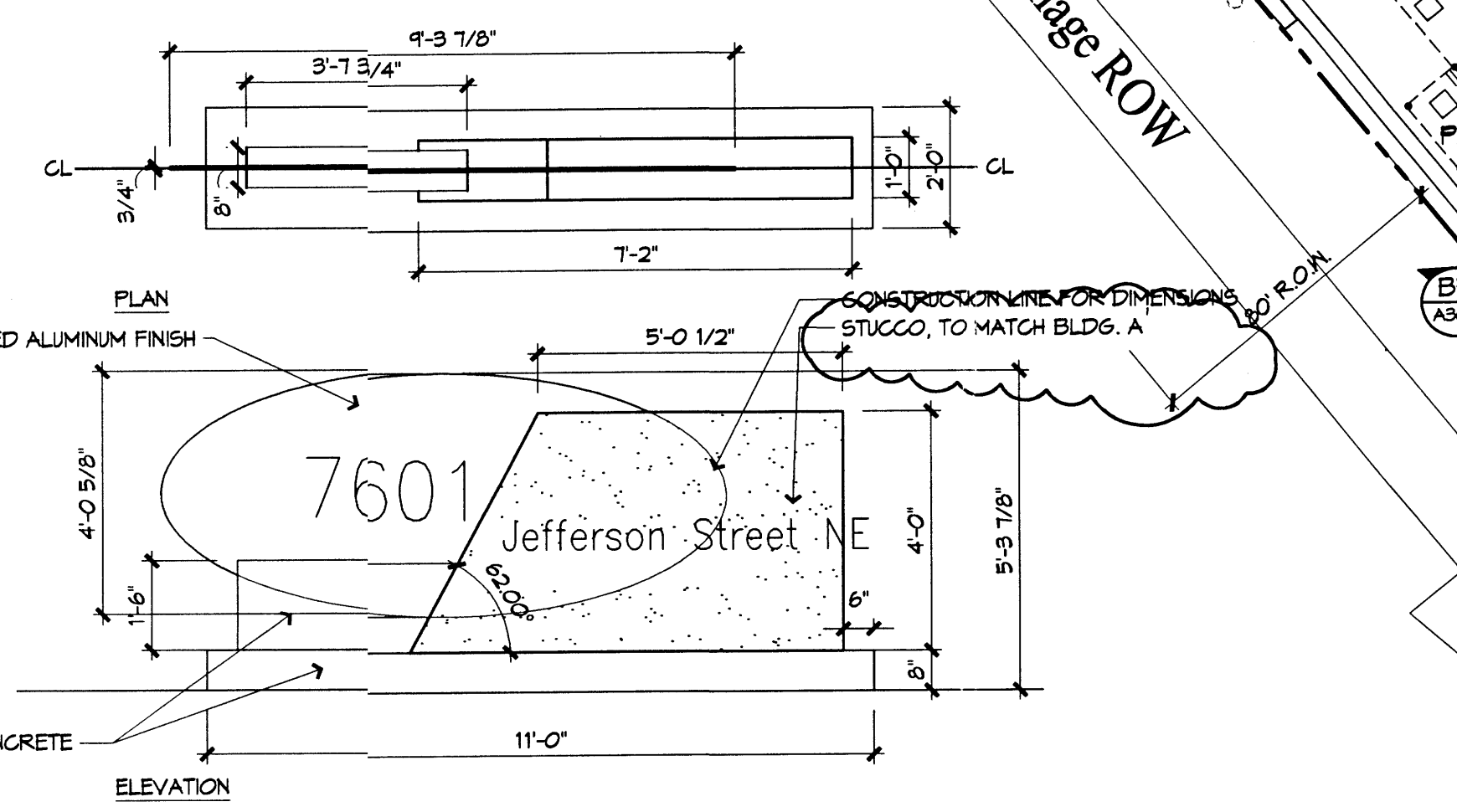
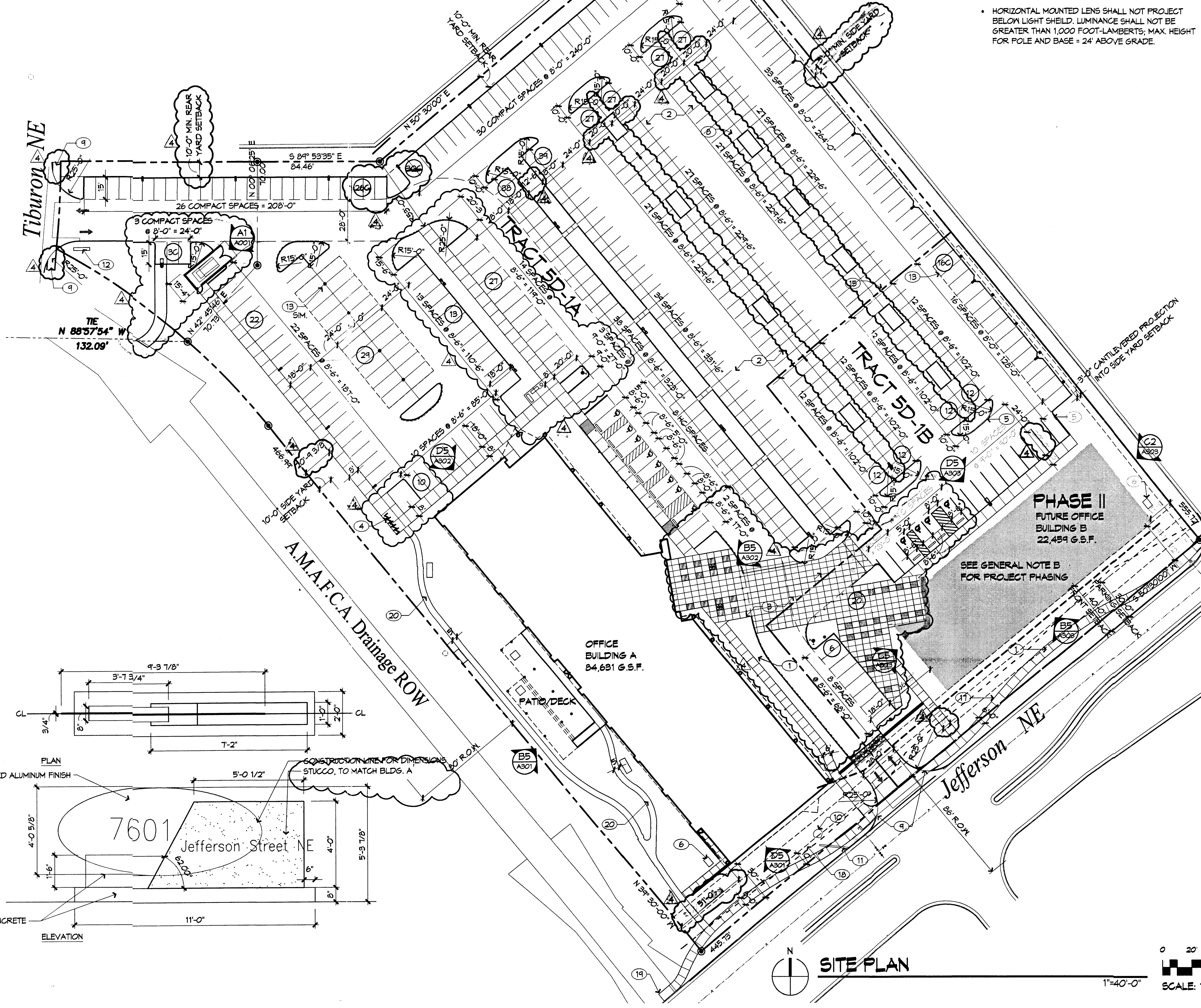


**A4 PARKING CANOPY**  
1/4" = 1'-0"

HORIZONTAL MOUNTED LENS SHALL NOT PROJECT BELOW LIGHT SHIELD. LUMINANCE SHALL NOT BE GREATER THAN 1,000 FOOT-LAMBERTS; MAX. HEIGHT FOR POLE AND BASE = 24' ABOVE GRADE.



**E5 COMPACTOR ENCLOSURE ELEVATION**  
3/8" = 1'-0"



**ELEVATION**  
11'-0"

**KEYED NOTES**

- 1 PROPERTY LINE.
- 2 POTENTIAL COVERED PARKING.
- 3 CURB CUT OPENING FOR PEDESTRIANS. SEE CIVIL C101.
- 4 CONCRETE RUNDOWN. SEE CIVIL C101.
- 5 STEEL EDGE. SEE C2/L002.
- 6 LIMITS OF WORK.
- 7 CONCRETE MONSTRIP-TURF SIDE ONLY. SEE C1/L002.
- 8 24" GRAVEL STRIP BETWEEN TURF AND CURB.
- 9 WATER HARVESTING SHALE SEE B3/L002.
- 10 CURB CUT FOR WATER HARVESTING SEE CIVIL C101.

**PLANTING NOTES**

1. THE LANDSCAPE DESIGN AND PLANTING PALETTE REFLECT BOTH THE SITE'S SETTING-JOURNAL CENTER, AND THE SITE'S LARGER ENVIRONMENTAL CONTEXT-THE DESERT SOUTHWEST. THE PLANT PALETTE UTILIZES NATIVE AND ADAPTED PLANTS SUITABLE FOR ARID ENVIRONMENTS. THE GOAL IS TO CREATE A VISUALLY APPEALING AND COMFORTABLE SETTING FOR USERS OF THE SITE, WHILE EDUCATING USERS ABOUT THE USE OF NATIVE AND REGIONALLY ADAPTED PLANTS, AND WATER HARVESTING TECHNIQUES THAT SUPPLEMENT IRRIGATION. DROUGHT TOLERANT PLANTS COMPRISE A HIGH PERCENT OF THE LANDSCAPE COVERAGE.

2. EXISTING TREES AND TURF EXIST ON THE SITE ALONG BOTH JEFFERSON BOULEVARD AND THE ARROYO. THE LARGE CALIPER TREES ARE PRIMARILY COTTONWOODS WITH SOME PINES AND SEVERAL ASH. THE TURF IS A HIGH WATER USE BLEND. IT IS OUR INTENT TO PRESERVE EXISTING TREES AND TURF WHERE FEASIBLE AND TAKE ADVANTAGE OF THIS MATURE PLANT COVERAGE. CONTRACTOR SHALL PROTECT AND PRESERVE EXISTING PLANT MATERIAL DURING CONSTRUCTION. SEE SHEET LD100, TREE REMOVAL AND PROTECTION PLAN.

3. MAINTENANCE OF LANDSCAPING AND IRRIGATION SYSTEM FOR THE BUILDING SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

4. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.

5. USE OF HIGH WATER USE PLANT MATERIALS IS TO BE LIMITED. HIGH WATER USE TURF IS ONLY USED ALONG THE EXISTING ARROYO AND ALONG JEFFERSON BOULEVARD WHERE THERE IS EXISTING TURF.

6. MULCH: ALL PLANTING BEDS SHALL BE COVERED WITH MULCH IN ORDER TO MINIMIZE WEED GROWTH, ADD VISUAL INTEREST AND PROTECT SOIL MOISTURE. SEE LEGEND.

7. PASSIVE WATER HARVESTING FROM PAVED SURFACES AND ROOF RUNOFF WILL BE USED TO SUPPLEMENT IRRIGATION WHEREVER POSSIBLE. SEE B3/L002 FOR WATER HARVESTING DETAIL AND CIVIL DRAWINGS FOR THE LOCATION OF CURB CUTS IN WATER HARVESTING SNALES.

8. INTERIM LANDSCAPE: THE PLAN ILLUSTRATES LANDSCAPING AT PARTIAL BUILD OUT. THE INTERIM CONDITION WILL BE A BUILDING PAD IN PLACE OF BUILDING B. THE AREA WILL BE SEEDED AS SPECIFIED IN THE PLANT LEGEND AND IRRIGATED AS EFFICIENTLY AS POSSIBLE.

9. LANDSCAPE BEDS SHALL ACHIEVE MINIMUM 75% LIVE VEGETATIVE COVERAGE UPON PLANT MATURITY. NOTED PLANT QUANTITIES ARE APPROXIMATE.

10. THE CONTRACTOR SHALL PROTECT AND PRESERVE THE EXISTING TREES BY INSTALLING TEMPORARY FENCING AT THE DRIPLINE OF THE TREES TO REMAIN. THE CONTRACTOR SHALL NOT ALLOW DUMPING MATERIAL STORAGE OR VEHICLES WITHIN THE TEMPORARILY FENCED AREA. SEE SHEET LD100, TREE REMOVAL AND PROTECTION PLAN AND SPECIFICATIONS.

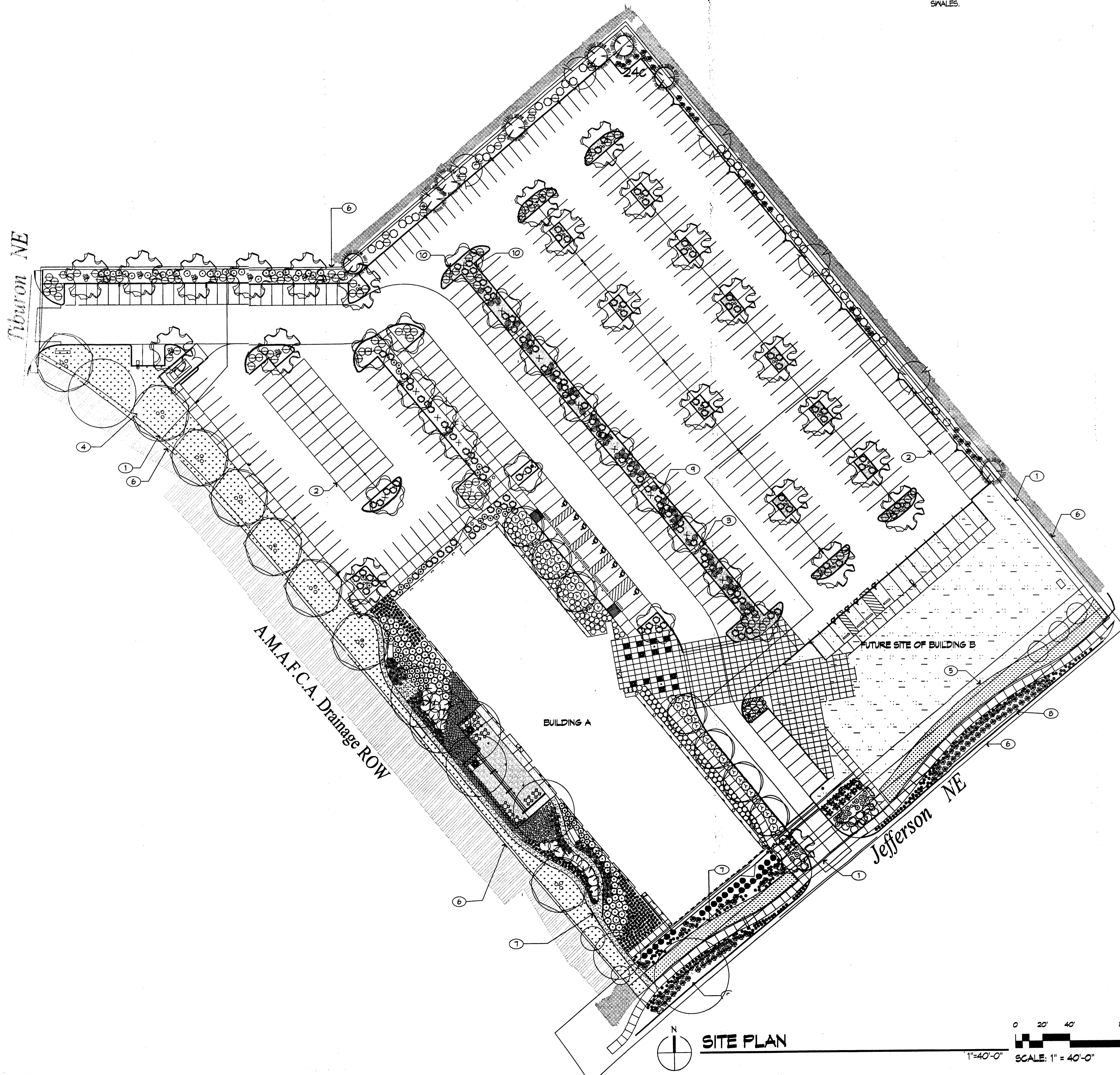
11. CONTRACTOR SHALL VERIFY PLANT COUNTS. THIS IS PROVIDED AS OWNER INFORMATION ONLY. IF QUANTITIES ON PLANT LIST DIFFER FROM PLAN QUANTITIES, PLAN QUANTITIES SHALL PREVAIL.

12. EXACT LOCATIONS OF PLANT MATERIALS SHALL BE APPROVED BY THE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION. ARCHITECT RESERVES THE RIGHT TO ADJUST PLANT TO EXACT LOCATION IN THE FIELD.

13. PLANTS SHALL BEAR SAME RELATION TO FINISHED GRADE AS IN ORIGINAL NURSERY CONDITION.

14. PROVIDE MATCHING FORMS AND SIZES FOR PLANT MATERIALS WITHIN EACH SPECIES AND SIZE DESIGNATED ON THE DRAWINGS.

15. SOIL BIOLOGY AMENDMENT SHALL BE APPLIED IN ALL LANDSCAPE AREAS, EXCEPT THE FUTURE SITE OF BUILDING B. SEE SPECIFICATION AND APPROXIMATE SQUARE FOOTAGE IN THE LEGEND.



**PLANTING LEGEND**

Trees									
SYMBOL	QTY	SIZE/SF	COMMON NAME	Botanical name	Height	Width	Water requirements	Sheet/Detail	
[Symbol]	26	24" BOX MULTI-TRUNK	PINK DAWN CHITALPA	Chitalpa X taskentensis 'Pink Dawn'	25.00	30.00	Medium Water Use	L002/B3, L002/A3, A1	
[Symbol]	17	24" BOX MULTI-TRUNK	DESERT WILLOW	Chilopsis linearis	20.00	25.00	Low Water Use	L002/A3, A1, L002/B3	
[Symbol]	5	2.5' GAL	GOLDEN RAIN TREE	Koeleruteria paniculata	30.00	25.00	High Water Use	L002/A1	
[Symbol]	9	6' HIGH	JAPANESE BLACK PINE MAJESTIC BEAUTY	Pinus thunbergiana 'Majestic Beauty'	20.00	16.00	Medium Water Use	L002/A1	
[Symbol]	8	2.5' GAL	VALLEY COTTONWOOD	Populus fremontii var. wislizenii	35.00	40.00	High Water Use	L002/A2	
[Symbol]	6	2.5' GAL	RAYWOOD ASH	Fraxinus oxycarpa 'Raywood'	35.00	25.00	Medium Water Use	L002/A1	
Ground Cover									
[Symbol]	43	1 GAL.	THOMPSON BROOM	Baccharis x 'Starns' Thompson	2.00	6.00	Low Water Use	L002/A4	
[Symbol]	106	1 GAL.	MAIDEN GRASS	Miscanthus sinensis 'Gracillimus'	5.00	3.00	Medium Water Use	L002/A4	
[Symbol]	17	1 GAL.	REGAL MIST GRASS	Muhlenbergia capillaris 'Regal Mist'	3.50	3.00	Medium Water Use	L002/A4, B3	
[Symbol]	130	1 GAL.	DEER GRASS	Muhlenbergia rigens	3.00	4.00	Medium Water Use	L002/B1	
[Symbol]	40	5 GAL.	SEMI-PROSTATE ROSEMARY	Rosmarinus off. 'Collingwood Ingram'	2.00	4.00	Low Water Use	L002/B1	
[Symbol]	286	1 GAL.	WINECUPS	Callitriche involucrata	1.00	2.50	Low Water Use	L002/B2	
[Symbol]	67	1 GAL.	GUARA	Gaura lindheimeri	3.00	3.00	Medium Water Use	L002/B1	
[Symbol]	242	1 GAL.	BLUE AVENA GRASS	Helictotrichon sempervirens	3.00	2.00	Medium Water Use	L002/B1	
[Symbol]	353	1 GAL.	VARIEGATED MAIDEN GRASS	Miscanthus sinensis 'Variegatus'	5.00	2.50	Medium Water Use	L002/B1	
[Symbol]	56	1 GAL.	FOUNTAIN GRASS	Fernisetum alopecuroides	3.00	2.00	Medium Water Use	L002/A4	
[Symbol]	SOD	2026 SF	Turf Grass: 80% tall fescue, 10% ryegrass, 10% bluegrass		Type: Rolls		High Water Use		
[Symbol]	SEED	12,116 SF	SUNNY LAVIN BLEND CURTIS & CURTIS INC. (80% tall fescue, 10% ryegrass, 10% bluegrass)		Rate: 10 lbs./1000 SF		High Water Use		
[Symbol]	SEED	2646 SF	NATIVE WONDER GRASS SEED CURTIS & CURTIS INC. WALLANO ESTACADO WILDFLOWER		Rate: 2 lbs./1000 SF		Medium Water Use		
Shrubs									
[Symbol]	43	1 GAL.	BLUE MIST SPIREA	Caryopteris X cladonensis 'Longwood Blue'	4.00	5.00	Medium Water Use	L002/B1	
[Symbol]	54	1 GAL.	BUFFALO JUNIPER	Juniperus sabinna 'Buffalo'	1.00	6.00	Low Water Use	L002/A4	
[Symbol]	15	1 GAL.	PROVENCE LAVENDER	Lavandula angustifolia 'Provence'	3.00	3.00	Medium Water Use	L002/A4	
[Symbol]	18	1 GAL.	GRO-LOW SUMAC	Rhus aromatica 'Gro-Low'	3.00	6.00	Medium Water Use	L002/B1	
[Symbol]	17	1 GAL.	BUTTERFLY BUSH	Buddleia davidii 'Black Knight'	6.00	4.00	Medium Water Use	L002/A4	
Accents/Succulents									
[Symbol]	103	5 GAL.	RED HESPERALOE	Hesperaloe parviflora	4.00	4.00	Low Water Use	L002/A4	
[Symbol]	16	5 GAL.	DESERT PRICKLY PEAR	Opuntia engelmannii	4.00	5.00	Low Water Use	L002/B1	
[Symbol]	125	1 GAL.	BEARGRASS	Nolina texana	3.00	3.00	Low Water Use	L002/A4	
[Symbol]	22	5 GAL.	GREEN DESERT SPOON	Dasylirion texanum	5.00	5.00	Low Water Use	L002/A4	

Existing Plant Materials to Remain

[Symbol]	HEDGE	EXISTING OFF-SITE EVERGREEN HEDGE
[Symbol]	TREE	EXISTING TREE, SPECIES VARIES
[Symbol]	TURF	EXISTING TURF WITH MODIFIED IRRIGATION SYSTEM

**LANDSCAPE CALCULATIONS**

SITE AREA: 250,540 SF  
 BUILDING A PHASE 1: 28,238 SF  
 BUILDING B PHASE 2: 8,627 SF  
 BUILDING AREA: 36,865 SF  
 NET SITE AREA: 211,675 SF  
 REQUIRED LANDSCAPE AREA: 32,052 SF (15% OF NET SITE AREA)  
 PROVIDED LANDSCAPE AREA: 52,714 SF  
 TURF:  
 EXISTING AREA: 63,933 SF  
 PROPOSED AREA: 12,329 SF

**LEGEND**

- [Symbol] ROLLED AND COMPACTED CRUSHER FINES. SEE SPECIFICATIONS. 3" DEPTH. COLOR: MOUNTAIN ROSE. SEE SPECIFICATIONS.
- [Symbol] 2"-4" COBBLE MULCH. COLOR: MOUNTAIN ROSE
- [Symbol] 2" DEPTH CRUSHER FINES MULCH. COLOR: MOUNTAIN ROSE
- [Symbol] CONCRETE AREA OF DECK
- SOIL BIOLOGY AMENDMENT. SEE SPECIFICATION. APPROXIMATELY 53,386SF APPLY TO ALL LANDSCAPE AREAS EXCEPT FUTURE SITE OF BUILDING B.

architect  
interior  
planning  
engineering

**Dekker Perich Sabatini**

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505 761-9700  
fax 761-4222  
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ARCHITECT

**ADMINISTRATIVE AMENDMENT**

ENGINEER

PROJECT

**Journal Center Tract 5  
Office Building A**  
7601 Jefferson NE  
Albuquerque, New Mexico 87109

REVISIONS

△	9/20/05
△	
△	
△	

DRAWN BY: YT  
 REVIEWED BY: MB  
 DATE: 9/20/05  
 PROJECT NO.: 04196  
 DRAWING NAME: LANDSCAPE PLAN

**GENERAL NOTES**

- A. PARKING AREA SHALL BE DESIGNED & BUILT TO CURRENT DFM STANDARDS
  - B. PHASE I TO INCLUDE FULL BUILD-OUT OF OFFICE BUILDING A, ALL PARKING AND OFFICE BUILDING B AS A FUTURE PAD SITE. PHASE II TO INCLUDE FULL BUILD-OUT OF OFFICE BUILDING B. SEE SHEET L001 FOR LANDSCAPING OF PHASE II.
  - C. PROVIDE LETTERING "COMPACT" PAINTED IN SAFETY WHITE AT ALL COMPACT PARKING SPACES, TYPICAL.
  - D. ALL SITEWORK WILL BE CONSTRUCTED AS SUCH TO ENSURE THAT A SITE DISTANCE OF 400' IS MET ON JEFFERSON.
- KEYED NOTES**
1. SIDEWALK, CONCRETE
  2. PAVING, ASPHALT
  3. SPECIAL PAVING
  4. BICYCLE RACK PAINT (120 AUTOS)
  5. CURB, 6" HIGH, CONCRETE
  6. TRANSFORMER
  7. SCREEN WALL, T4" HIGH, 2-COAT STUCCO SYSTEM OVER 8" CMU COLOR TO MATCH BUILDING, RE: A1/A091
  8. LANDSCAPE AREA, RE: L001
  9. HG RAMP
  10. CONTRACTOR TO COORDINATE REMOVAL AND RELOCATION OF IRRIGATION ENCLOSURE WITH LECCO.
  11. CONCRETE CURB TO BE REMOVED
  12. MONUMENT SIGN
  13. PARKING CANOPY
  14. CITY WELL SITE EASEMENT TO BE VACATED BY FLAT.
  15. PROPOSED LOT LINE
  16. TRASH COMPACTOR
  17. MEANDERING PUBLIC SIDEWALK EASEMENT.
  18. 10' PUE
  19. SIDEWALK TO MIDDLEPOINT OF BRIDGE OVER AMAFECA ROW

**LEGEND**

- EXISTING FIRE HYDRANT
- NEW FIRE HYDRANT
- PARKING SPACE COUNT
- LIGHT POLE - DOUBLE HEAD
- LIGHT POLE - SINGLE HEAD
- SURFACE MOUNTED LIGHT FIXTURE
- FLOOD LIGHT
- UP LIGHT, RE.
- TRAFFIC ARROW, PAINT WHITE
- PAINT CURB RED, & PAINT TEXT "FIRE LANE NO PARKING"

**SITE INFORMATION**

LEGAL DESCRIPTION:  
TRACT 5D-1, JOURNAL CENTER, AS THE SAME IS SHOWN ON THE REPLAT OF JOURNAL CENTER AND A PORTION OF LOTS 30,31, AND 32, BLOCK 9 OF TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, AND A PORTION OF VACATED SAN MATEO BOULEVARD AND RANCHITOS AVENUE, FILED JUNE 30, 1983, IN MAP BOOK C21, FOLIO 126, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.

**SITE DATA (OVERALL)**  
ZONE IP INDUSTRIAL PARK

**GROSS BUILDING AREA:**  
BUILDING A (three story) = 84,631 GBA  
BUILDING B (two story) = 22,454 GBA  
TOTAL BUILDINGS = 107,085 GBA

**RENTABLE BUILDING AREA:**  
BUILDING A (three story) = 81,838 FRA  
BUILDING B (two story) = 20,224 FRA  
TOTAL BUILDINGS = 102,062 FRA

**SITE AREA:** 262,451 GSF = 6.0366 ACRES

**TOTAL SITE AREA:** 262,451 GSF  
**GROSS F.A.R. (GBA/site area):** .401  
**RENTABLE F.A.R. (FRA/site area):** .388

**SITE DATA (TRACT 5D-1A)**  
**GROSS BUILDING AREA:** BUILDING A (three story) = 84,631 GBA  
**RENTABLE BUILDING AREA:** BUILDING A (three story) = 81,838 FRA

**SITE AREA:** 200,630 GSF  
**GROSS F.A.R. (GBA/site area):** .421  
**RENTABLE F.A.R. (FRA/site area):** .408

**PARKING PROVIDED:** 388 SPACES  
(281 STANDARD + 107 COMPACT SPACES)  
**RATIO =** 4.74/1000 FRA

**SITE DATA (TRACT 5D-1B)**  
**GROSS BUILDING AREA:** BUILDING B (two story) = 22,454 GBA  
**RENTABLE BUILDING AREA:** BUILDING B (two story) = 20,224 FRA

**TOTAL SITE AREA:** 62,321 GSF  
**GROSS F.A.R. (GBA/site area):** .360  
**RENTABLE F.A.R. (FRA/site area):** .325

**PARKING PROVIDED:** 84 SPACES  
(78 STANDARD + 6 COMPACT SPACES)  
**RATIO =** 4.4/1000 FRA

**PARKING INFORMATION**  
OFFICES: NET RENTABLE SF/200 (1ST FL) AND 300 (2ND & 3RD FLS)

**BUILDING A:**  
FIRST FLOOR: 24,048 SF/200 = 120  
SECOND FLOOR: 28,236 SF/300 = 94  
THIRD FLOOR: 24,552 SF/300 = 82  
TOTAL = 314

**BUILDING B:**  
FIRST FLOOR: 9,621 SF/200 = 48  
SECOND FLOOR: 11,602 SF/300 = 39  
TOTAL = 87

TOTAL SPACES REQUIRED: 391  
(INCLUDES 12 ACCESSIBLE SPACES WITH 4 VAN ACCESSIBLE)

TOTAL SPACES PROVIDED: 471  
(INCLUDES 12 ACCESSIBLE SPACES WITH 4 VAN ACCESSIBLE)

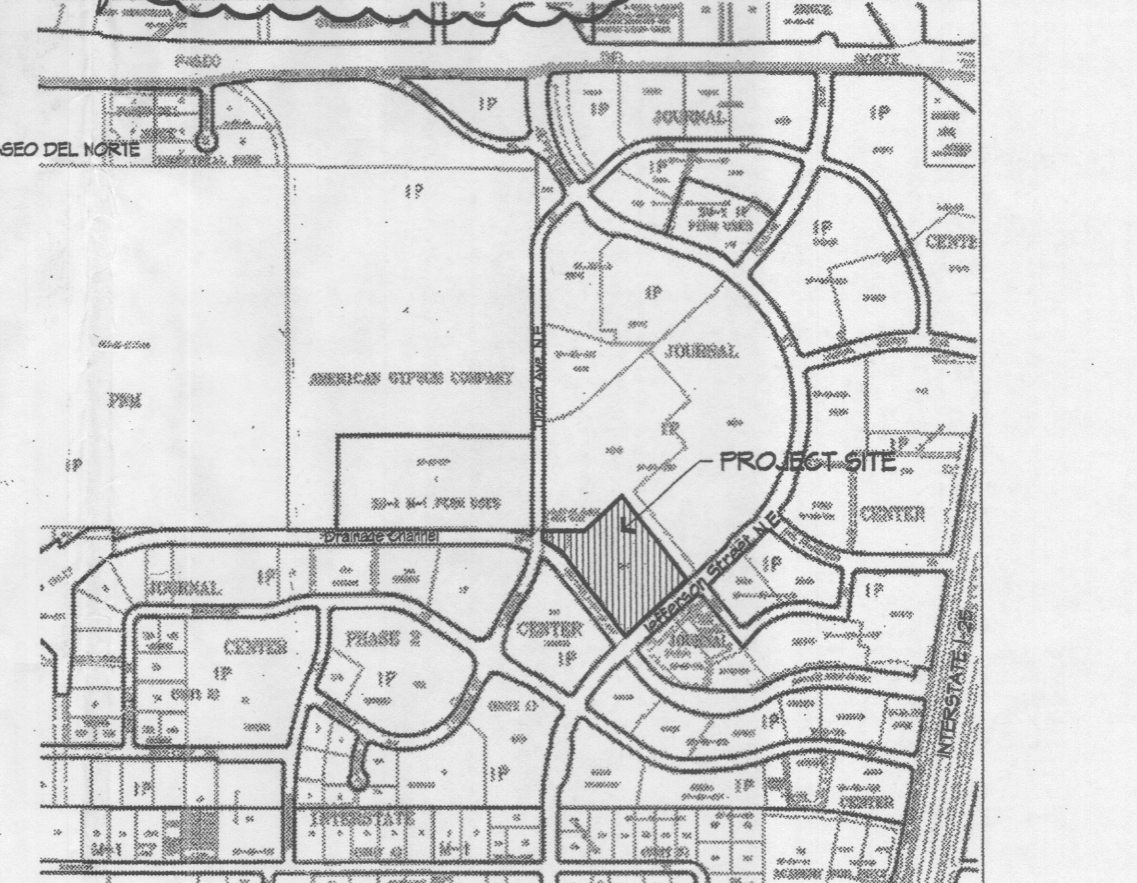
COMPACT SPACES: 123  
BICYCLE REQUIREMENTS: 391/20 = 20  
BICYCLE SPACES PROVIDED = 20

AFD PLANS CHECKING OFFICE  
924-3611  
APPROVED/DISAPPROVED  
HYDRANT(S) ONLY  
5-9-05  
SIGNATURE & DATE

**SITE DEVELOPMENT PLAN APPROVAL**  
THIS PLAN IS CONSISTENT WITH THE CONCEPTS OF THE ORIGINAL JOURNAL CENTER SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON AUGUST 16, 1980 (AX-14-13, Z-74-80-2) AND THE IP ZONE.

IT CONFORMS WITH THE COMMENTS RENDERED BY THE DEVELOPMENT REVIEW BOARD ON 5/10/05 AS REFLECTED IN DRB 05 0001

5/10/05  
PLANNING DIRECTOR DATE

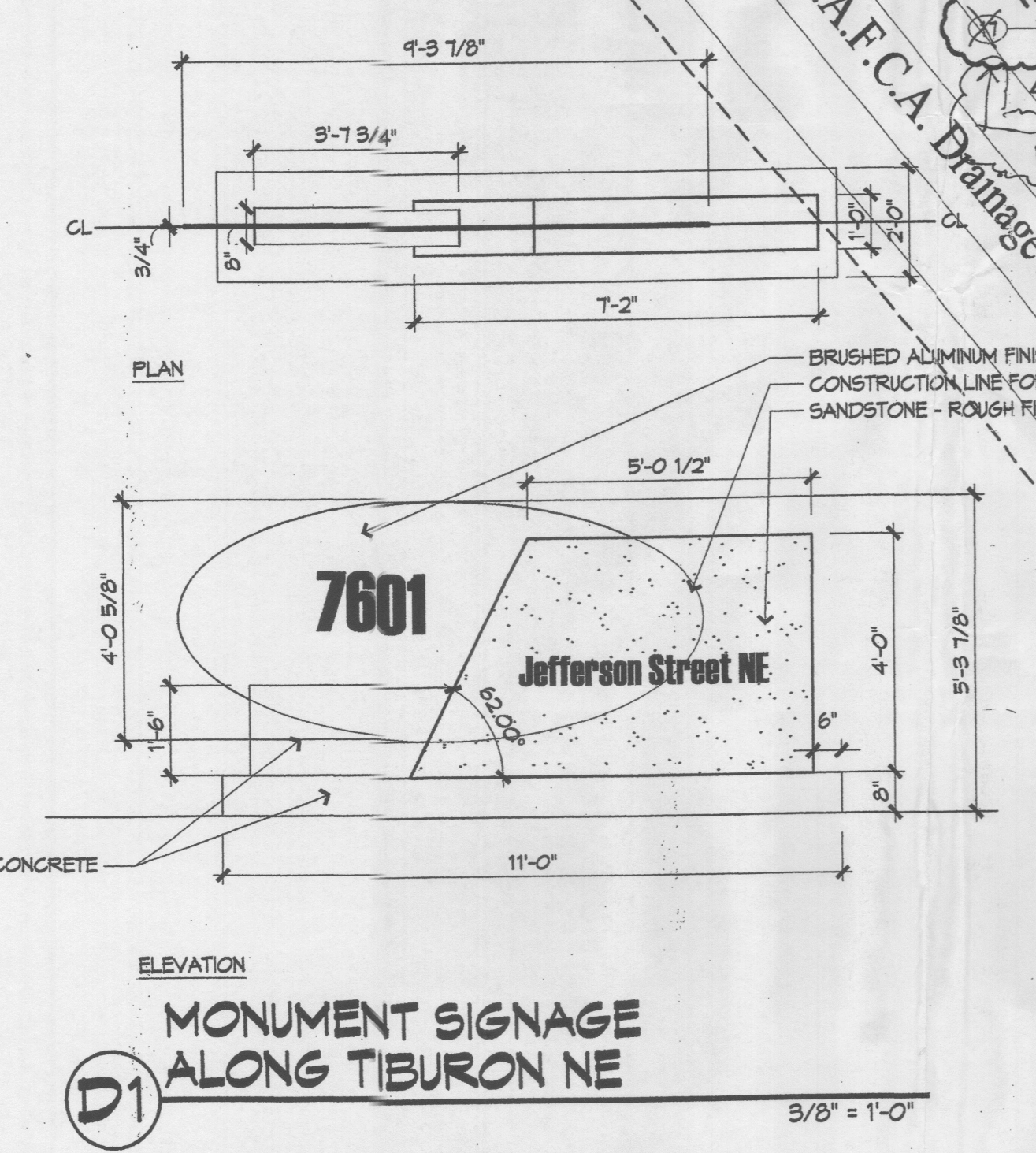
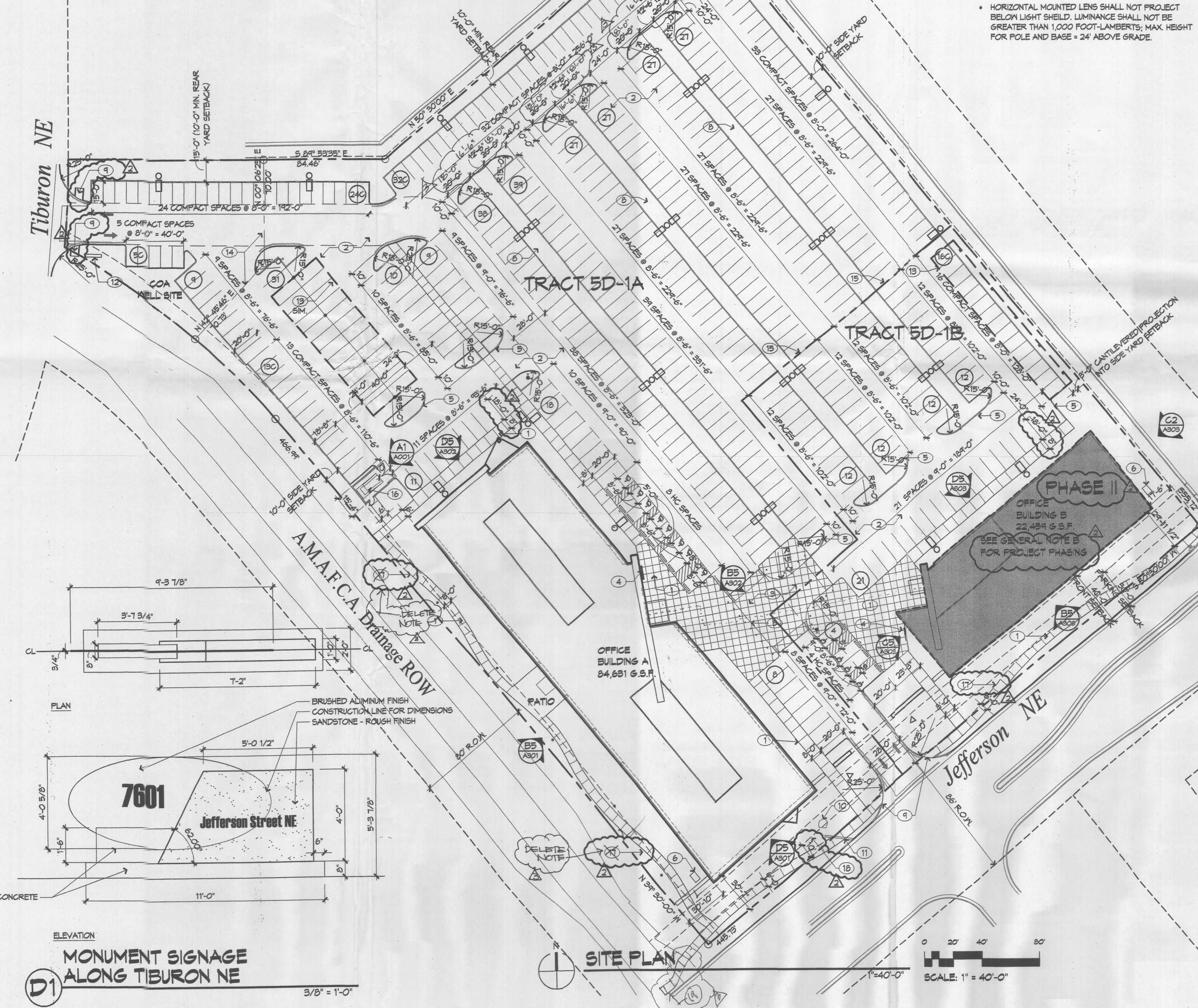
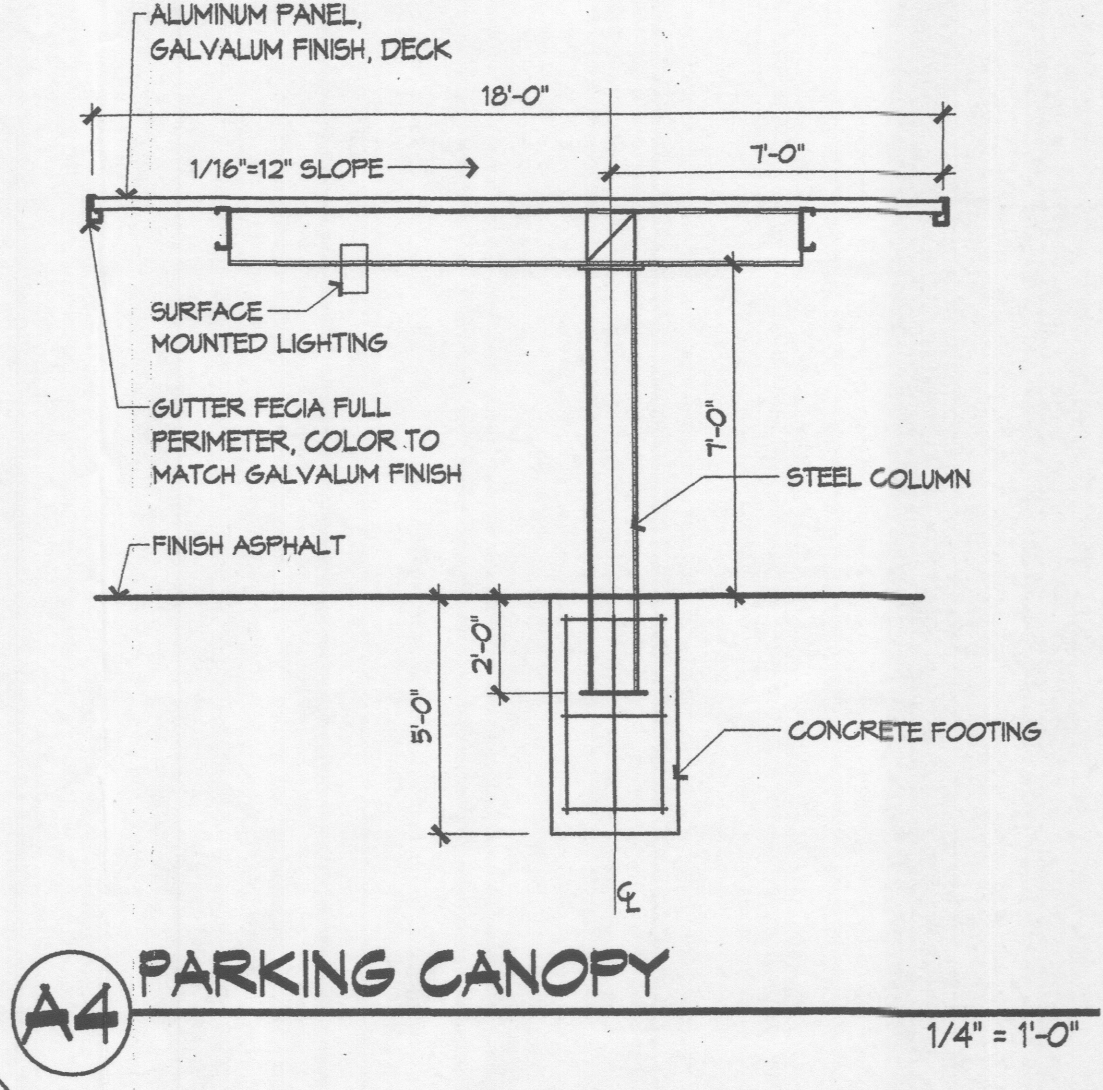
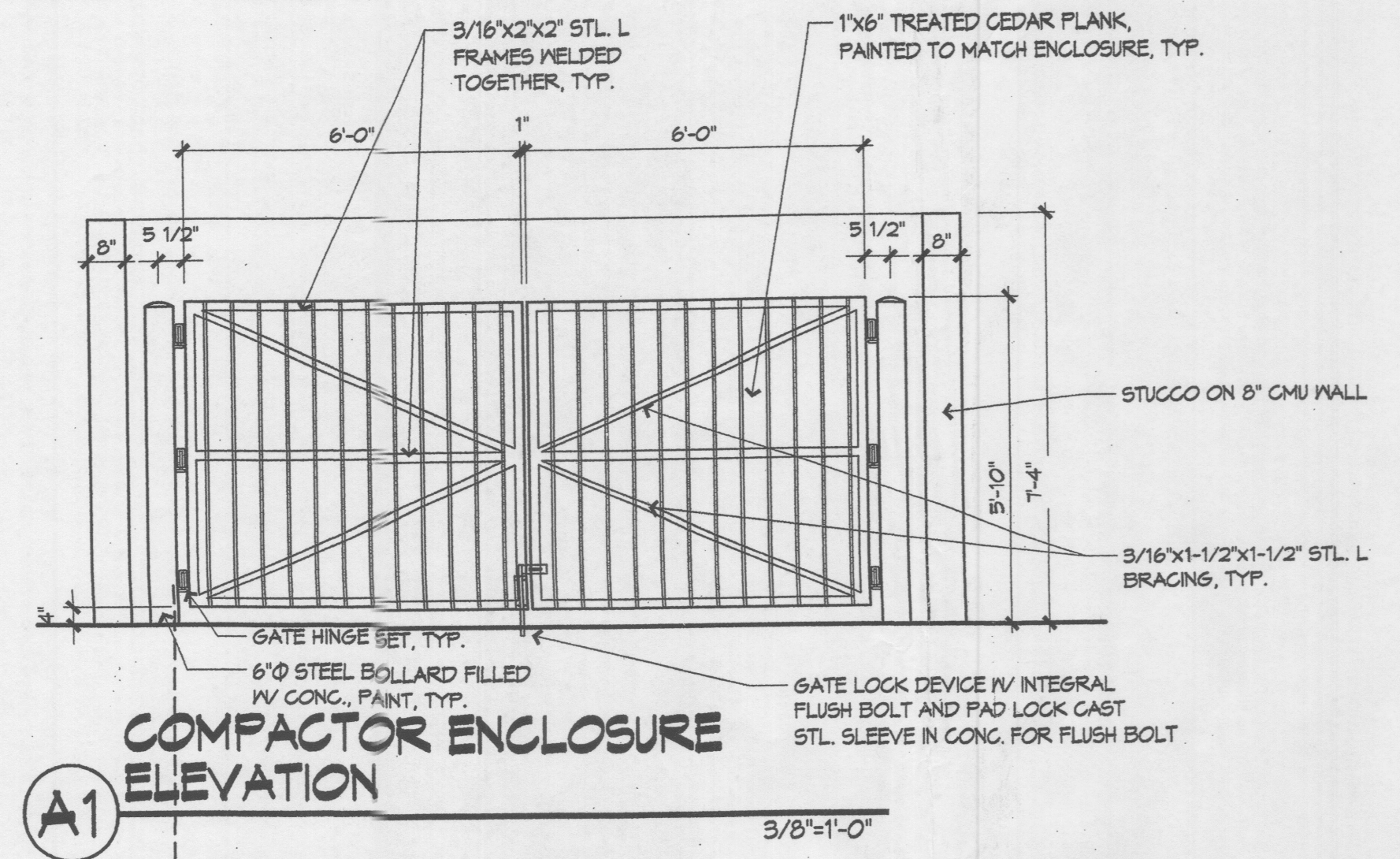


**REVISIONS**

4/14/05	REVISED TRACT LINES
5/06/05	DRB COMMENTS
5/17/05	ADDED SIDEWALK @ AMAFECA BRIDGE, CHANGED PARKING MEDIAN WIDTHS, DELETED NOTE 17 @ AMAFECA ROW

**DRAWN BY:** MRM/SJT  
**REVIEWED BY:** CG  
**DATE:** 5/9/05  
**PROJECT NO.:** 04186  
**DRAWING NAME:**

**SITE PLAN FOR BLDG PERMIT**



**PLANTING NOTES**

1. THE LANDSCAPE DESIGN AND PLANTING PALETTE REFLECT THE SITE'S SETTING, AS PART OF JOURNAL CENTER, WHILE ALSO REFLECTING THE SITE'S ENVIRONMENTAL CONTEXT, THROUGH THE USE OF NATIVE AND ADAPTED PLANTS SUITABLE FOR ARID ENVIRONMENTS. THE GOAL IS TO CREATE A VISUALLY APPEALING AND COMFORTABLE SETTING FOR USERS OF THE SITE, WHILE EDUCATING USERS ABOUT THE USE OF NATIVE AND REGIONALLY ADAPTED PLANTS, AND WATER HARVESTING TO SUPPLEMENT IRRIGATION. DROUGHT TOLERANT PLANTS COMPRISE A HIGH PERCENT OF THE LANDSCAPE COVERAGE.

2. EXISTING PLANT MATERIAL: EXISTING TREES AND TURF EXIST ON THE SITE ALONG BOTH JEFFERSON BOULEVARD AND THE ARROYO. THE LARGE CALIFORNIA TREES ARE PRIMARILY COTTONWOODS WITH SOME PINES AND SEVERAL REDBUDS. THE TURF IS A HIGH WATER USE BLEND. IT IS OUR INTENT TO PRESERVE EXISTING TREES AND TURF WHERE FEASIBLE AND TAKE ADVANTAGE OF THIS MATURE PLANT COVERAGE. HOWEVER, IT IS ANTICIPATED THAT SOME PLANT MATERIAL WILL NEED TO BE REMOVED TO ACCOMMODATE THE DEVELOPMENT PROGRAM.

3. INSTALLATION AND MAINTENANCE OF LANDSCAPING AND IRRIGATION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

4. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.

5. THE USE OF HIGH WATER USE PLANT MATERIALS SHALL BE LIMITED. HIGH WATER USE TURF IS ONLY USED ALONG THE EXISTING ARROYO WHERE THERE IS EXISTING TURF.

6. MINIMUM INSTALLATION SIZES FOR PLANT MATERIAL VARY BY SPECIES. SEE PLANT LEGEND.

7. LANDSCAPE AREAS SHALL BE COVERED WITH 2" DEPTH OF CRUSHER FINE GRAVEL MULCH. COLOR: TAN OR BROWN.

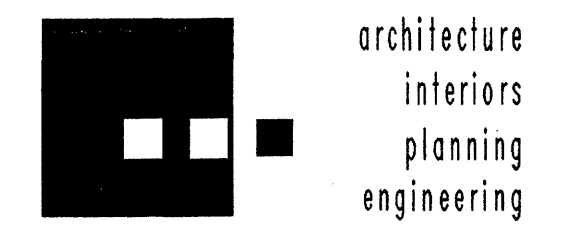
8. IRRIGATION: AUTOMATED DRIP IRRIGATION SHALL BE PROVIDED TO TREES, SHRUBS, ACCENTS, AND GROUNDCOVERS. TURF SHALL RECEIVE SPRAY IRRIGATION.

9. PASSIVE WATER HARVESTING FROM PAVED SURFACES AND ROOF RUNOFF WILL BE USED TO SUPPLEMENT IRRIGATION WHEREVER POSSIBLE.

10. WATER USE DESCRIPTIONS REFLECT MINIMUM WATER USE REQUIREMENTS FOR THE SPECIES. "ADAPTABLE" (A) INDICATES THAT THE PLANT CAN THRIVE IN VARYING MOISTURE CONDITIONS SUCH AS DETENTION BASINS WHERE THERE MAY BE PERIODIC INUNDATION.

11. INTERIM LANDSCAPE: THE PLAN ILLUSTRATES LANDSCAPING AT FULL BUILD OUT, WHICH INCLUDES A SECOND BUILDING ON THE SITE. THE INTERIM CONDITION WILL BE A BUILDING PAD IN PLACE OF BUILDING B. THE BUILDING PAD WILL BE USED IN THE INTERIM AS A MULTI-PURPOSE LAWN SPACE. THE AREA WILL BE SEEDED WITH A BUFFALOGRASS/BLUE GRAMA SEED BLEND AND IRRIGATED.

12. LANDSCAPE BEDS SHALL ACHIEVE MINIMUM 75% LIVE VEGETATIVE COVERAGE UPON PLANT MATURITY. NOTED PLANT QUANTITIES ARE APPROXIMATE. THE PLANTING PLAN ILLUSTRATES MOST ACCURATELY THE AMOUNT AND LOCATION OF PLANT MATERIAL.



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ARCHITECT

**DRB SUBMITTAL**

ENGINEER

PROJECT

**Journal Center Tract 5**

7601 Jefferson NE  
Albuquerque, New Mexico

REVISIONS

- △
- △
- △
- △

DRAWN BY MB

REVIEWED BY

DATE 5/9/05

PROJECT NO. 04186

DRAWING NAME

**LANDSCAPE PLAN**

SHEET NO.

**LO01**  
OF

**PLANTING LEGEND**

SYMBOL	APPROX. SIZE QTY.	COMMON NAME	Botanical name	Height	Width	Water requirements
	24 24" BOX MULTI-TRUNK	CHITALPA	Chitalpa x taskentensis	25.00	30.00	Medium Water Use
	22 24" BOX MULTI-TRUNK	DESERT WILLOW	Chilopsis linearis	20.00	25.00	Low Water Use
	5 25" GAL.	GOLDEN RAIN TREE	Koeleria paniculata	35.00	25.00	Heavy Water Use
	11 6' HIGH	JAPANESE BLACK PINE	Pinus thunbergiana	20.00	16.00	Medium Water Use
	10 25" GAL.	LANGELEAF COTTONWOOD	Populus acuminata	35.00	40.00	Heavy Water Use
	7 25" GAL.	RAYWOOD ASH	Fraxinus oxycarpa 'Raywood'	35.00	25.00	Medium Water Use

SYMBOL	QTY.	COMMON NAME	Botanical name	Height	Width	Water requirements
	6 1 GAL.	GAURA	Gaura lindheimeri 'Whirling Butterflies'	3.00	2.50	Drought Tolerant
	85 1 GAL.	THOMPSON BROOM	Baccharis x Stans	2.00	6.00	Low Water Use
	44 1 GAL.	ANSELITA DAISY	Hymenoxis acutilis	1.00	1.00	Low Water Use
	83 1 GAL.	MAIDEN GRASS	Miscanthus sinensis	8.00	5.00	Medium Water Use
	150 1 GAL.	REGAL MIST GRASS	Muhlenbergia capillaris 'Regal Mist'	3.50	3.00	Medium Water Use
	175 1 GAL.	DEER GRASS	Muhlenbergia rigens	3.00	4.00	Medium Water Use
	20 5 GAL.	SEMI-PROSTATE ROSEMARY	Rosmarinus off. 'Collingwood Ingram'	2.00	4.00	Low Water Use
	18 1 GAL.	TRAILING GERMANDER	Teucrium chamaedrys 'Prostratum'	0.50	2.00	Medium Water Use
	2026 SF	SUNNY LAWN BLEND (80% tall fescue, 10% ryegrass, 10% bluegrass)	CURTIS & CURTIS INC.	Rate: 10 lbs./1000 SF		High Water Use
	NA 1200 SF	NATIVE POWDER (50% Blue Grama, 50% Buffalograss)	CURTIS & CURTIS INC.	Rate: 2 lbs./1000 SF		Medium Water Use

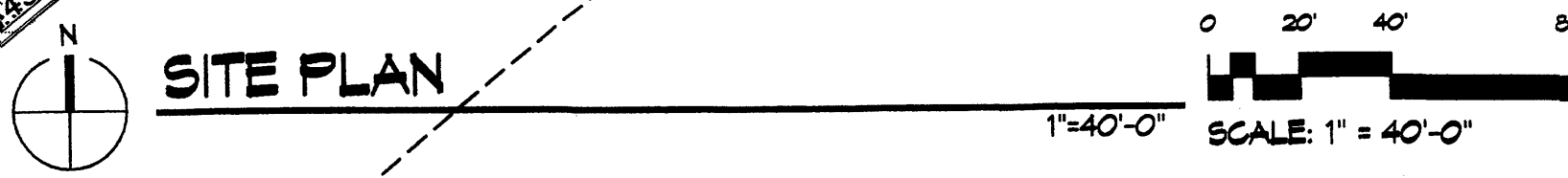
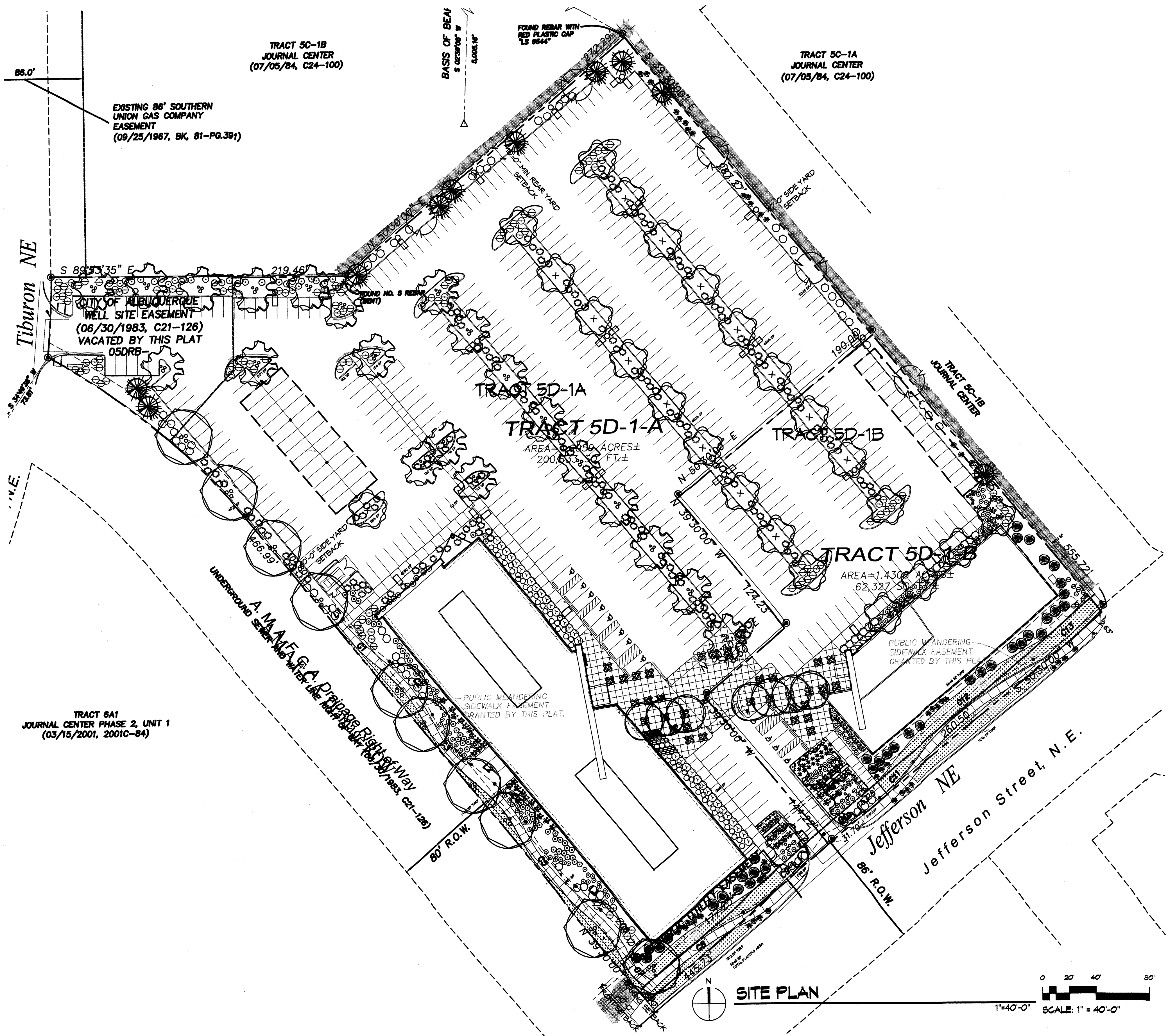
SYMBOL	QTY.	COMMON NAME	Botanical name	Height	Width	Water requirements
	9 1 GAL.	BLUEBEARD	Caryopteris x clandonensis	5.00	5.00	Medium Water Use
	37 5 GAL.	SILVERBERRY	Elaeagnus pungens	6.00	8.00	Drought Tolerant
	30 1 GAL.	BUFFALO JUNIPER	Juniperus sabina 'Buffalo'	1.00	6.00	Drought Tolerant
	160 1 GAL.	PROVENCE LAVENDER	Lavendula angustifolia 'Provence'	3.00	3.00	Medium Water Use
	38 1 GAL.	BUTTERFLY BUSH	Buddleia davidii 'Black Knight'	6.00	5.00	Medium Water Use

SYMBOL	QTY.	COMMON NAME	Botanical name	Height	Width	Water requirements
	28 5 GAL.	GOLDEN-FLOWERED AGAVE	Agave chrysantha	3.00	3.00	Drought Tolerant
	135 5 GAL.	RED HESPERALOE	Hesperaloe parviflora	4.00	4.00	Drought Tolerant
	70 5 GAL.	DESERT PRICKLY PEAR	Opuntia engelmannii	4.00	5.00	Low Water Use
	95 5 GAL.	BEARGRASS	Nolina texana	3.00	3.00	Low Water Use

SYMBOL	DESCRIPTION
	EXISTING PLANT MATERIALS TO REMAIN: HEDGE
	EXISTING PLANT MATERIALS TO REMAIN: TREE
	OFF-SITE PYRACANTHA EVERGREEN HEDGE

**LANDSCAPE CALCULATIONS**

SITE AREA: 250,540 SF  
BUILDING AREA: 120,371 SF  
NET SITE AREA: 130,169 SF  
  
REQUIRED LANDSCAPE AREA: 19,526 SF (15% OF NET SITE AREA)  
PROVIDED LANDSCAPE AREA: 59,386 SF  
  
ALLOWABLE HIGH WATER USE TURF: 10,671 SF  
PROVIDED HIGH WATER USE TURF: 7,874 SF



**SITE PLAN**

TRACT 6A1  
JOURNAL CENTER PHASE 2, UNIT 1  
(03/15/2001, 2001C-84)

TRACT 5C-1B  
JOURNAL CENTER  
(07/05/84, C24-100)

TRACT 5C-1A  
JOURNAL CENTER  
(07/05/84, C24-100)

TRACT 5D-1A

TRACT 5D-1-A  
AREA = 1.430 ACRES ±  
200,833 SF ±

TRACT 5D-1B

TRACT 5D-1-C  
AREA = 1.430 ACRES ±  
62,327 SF ±

TRACT 5D-1-D

TRACT 5D-1-E

TRACT 5D-1-F

TRACT 5D-1-G

TRACT 5D-1-H

TRACT 5D-1-I

TRACT 5D-1-J

TRACT 5D-1-K

TRACT 5D-1-L

TRACT 5D-1-M

TRACT 5D-1-N

TRACT 5D-1-O

TRACT 5D-1-P

TRACT 5D-1-Q

TRACT 5D-1-R

TRACT 5D-1-S

TRACT 5D-1-T

TRACT 5D-1-U

TRACT 5D-1-V

TRACT 5D-1-W

TRACT 5D-1-X

TRACT 5D-1-Y

TRACT 5D-1-Z

Small vertical text at the bottom left corner.

**PRELIMINARY  
NOT FOR CONSTRUCTION**

**Journal Center Tract 5  
Office Building A  
7601 Jefferson NE  
Albuquerque, New Mexico**

REVISIONS

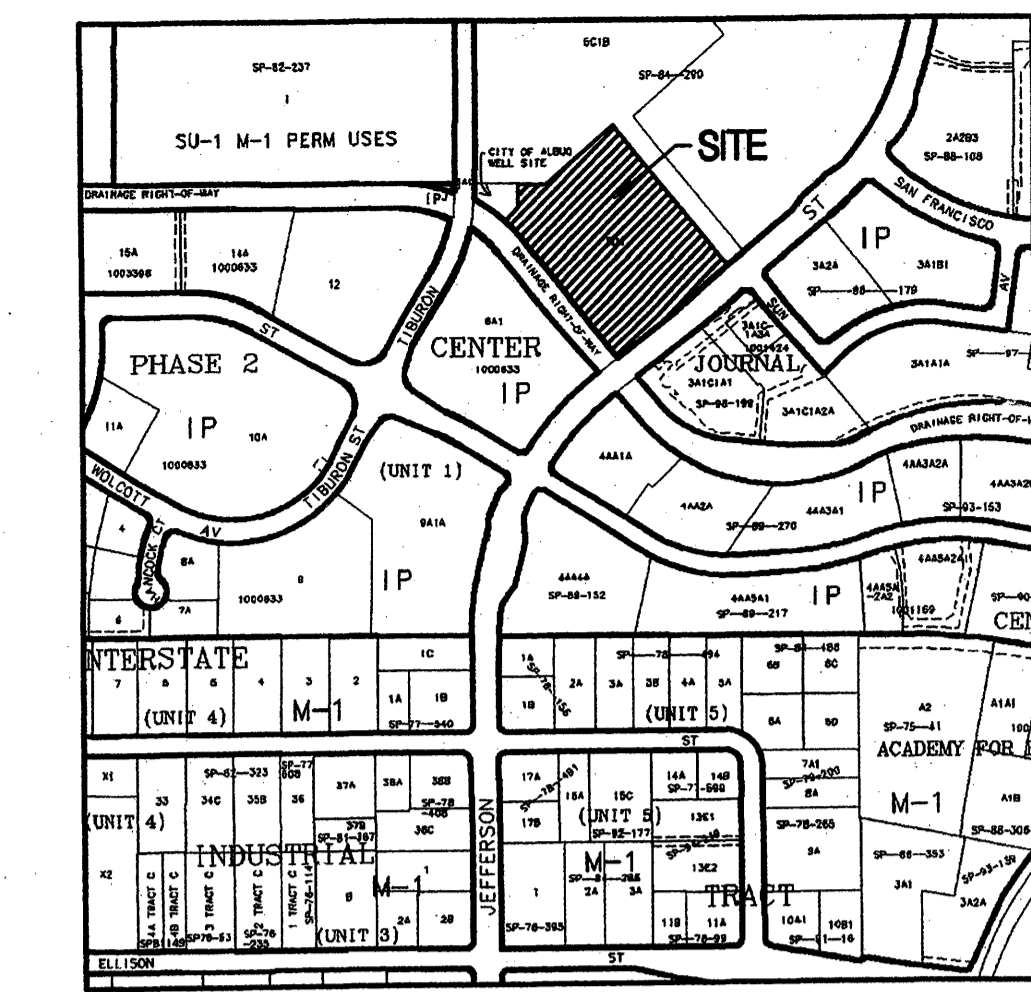
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DRAWN BY	GM
REVIEWED BY	JTW
DATE	04/12/05
PROJECT NO.	
DRAWING NAME	

**CONCEPTUAL  
GRADING &  
DRAINAGE PLAN**

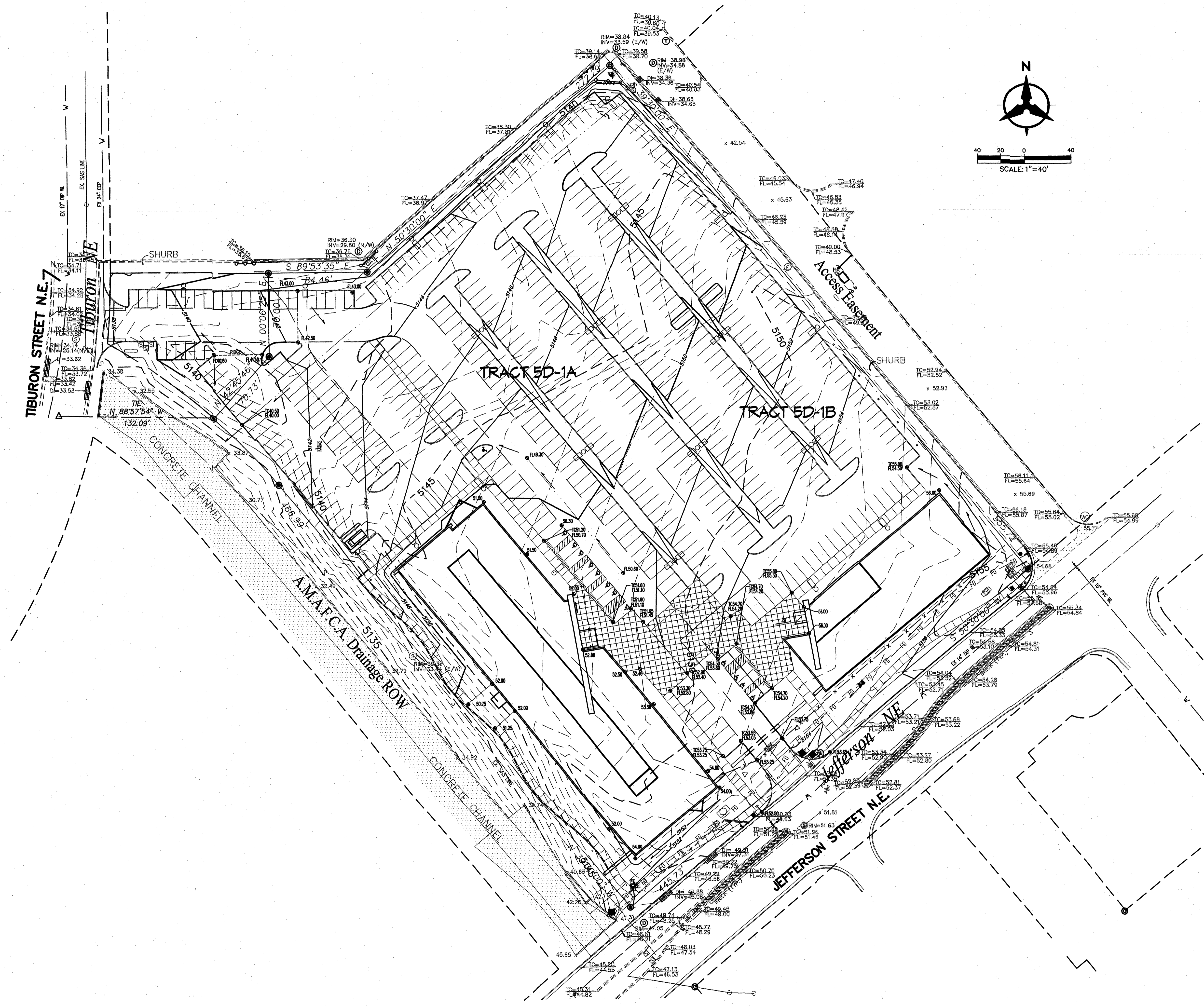
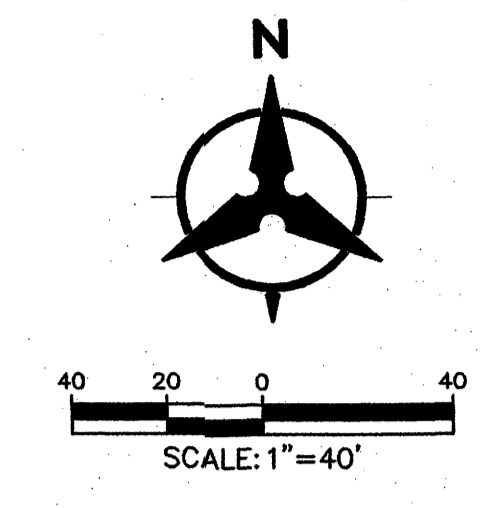
SHEET NO.

**C101**  
OF

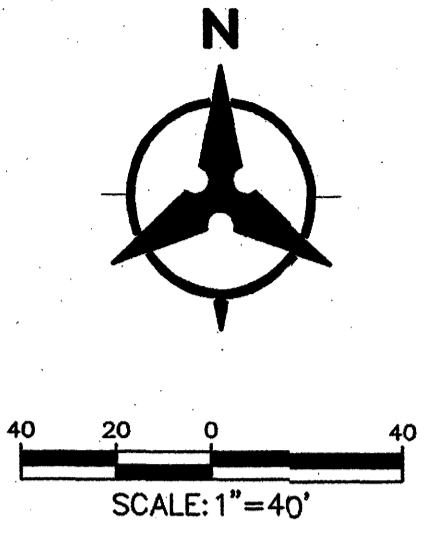
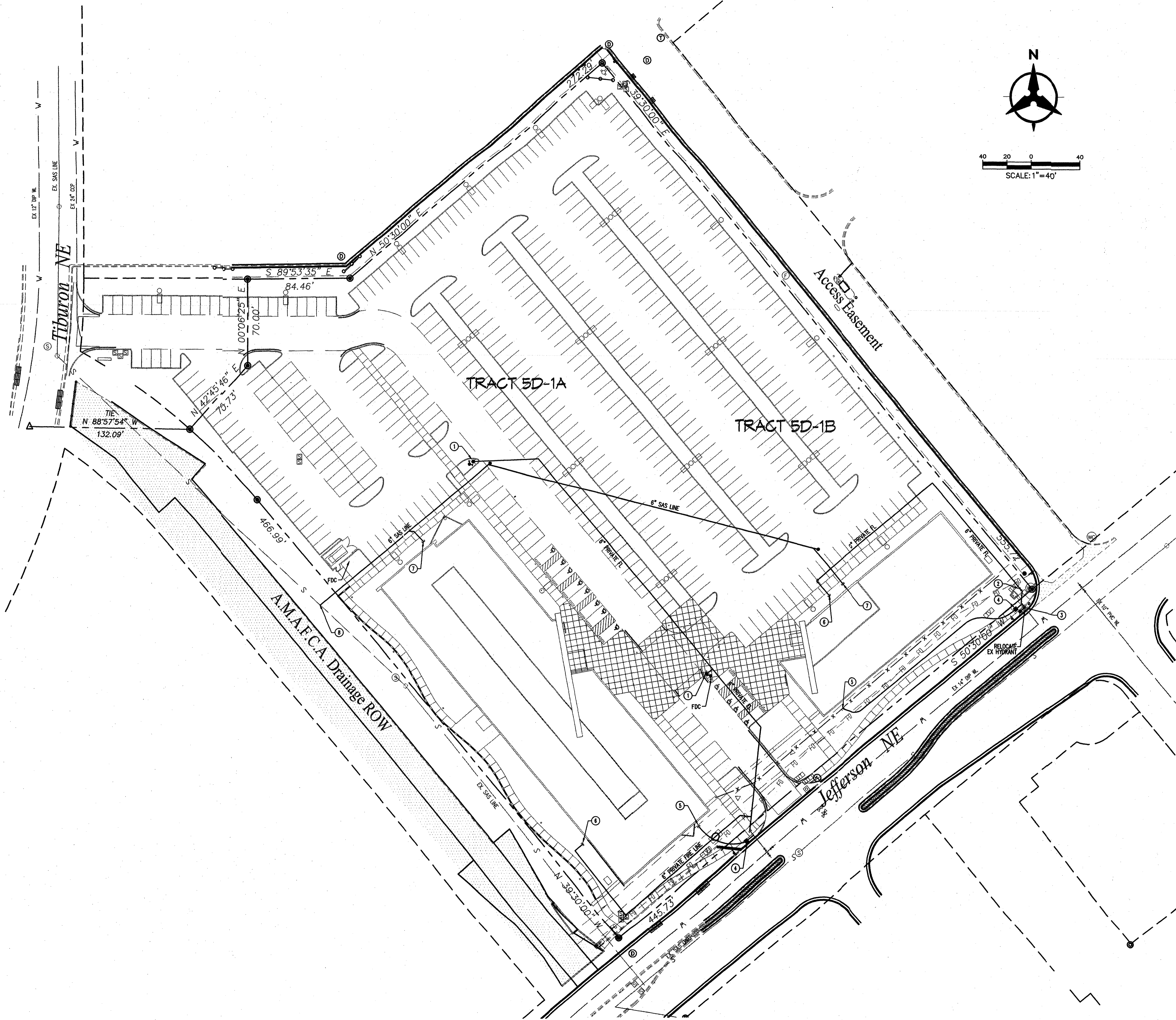


**BENCHMARK**

ACS Brass Cap stamped "1-25-14"  
.90 miles along East Frontage Road to NM State Hwy. 3 Office.  
Station set on top of concrete post flush with ground.  
Geographic Position (NAD 1927), in feet  
N.M. State Plane Coordinates (Central Zone)  
X=399,828.26, Y= 1,514,860.92  
Elevation= 5196.73 (NGVD29) in feet

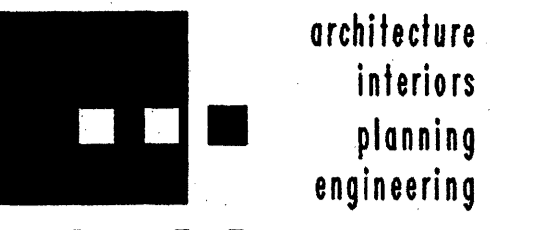


**Bohannon & Huston**  
Consulting 7000 Jefferson St. NE Albuquerque, NM 87109-4000  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



○ WATER & SANITARY SYSTEM KEYED NOTES

1. NEW PRIVATE FIRE HYDRANT
2. NEW GATE VALVE
3. RELOCATE EXISTING FIRE HYDRANT. CONNECT PROPOSED 6" PRIVATE FIRE LINE INTO EXISTING 6" WATER LINE.
4. NEW DOMESTIC WATER METER
5. STUB DOMESTIC WATERLINE TO WITHIN 5' OF BLDG.
6. STUB PRIVATE FIRE LINE TO WITH 5' OF BLDG.
7. STUB 6" SAS TO WITHIN 5' OF BLDG.
8. TIE NEW PRIVATE 6" SAS TO EXISTING PUBLIC 8" VCP SAS LINE



**Dekker  
Perich  
Sabatini**

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ARCHITECT

**PRELIMINARY  
NOT FOR CONSTRUCTION**

ENGINEER

PROJECT

**Journal Center Tract 5  
Office Building A  
7601 Jefferson NE  
Albuquerque, New Mexico**

REVISIONS

- △
- △
- △
- △

DRAWN BY CW  
REVIEWED BY JTM  
DATE 04/12/05  
PROJECT NO.  
DRAWING NAME

**CONCEPTUAL  
UTILITY PLAN**

SHEET NO.

**C102**  
OF

**Bohannon ▲ Huston**  
 Courtyard | 7500 Jefferson St. NE | Albuquerque, NM 87109-4335  
 ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGIES

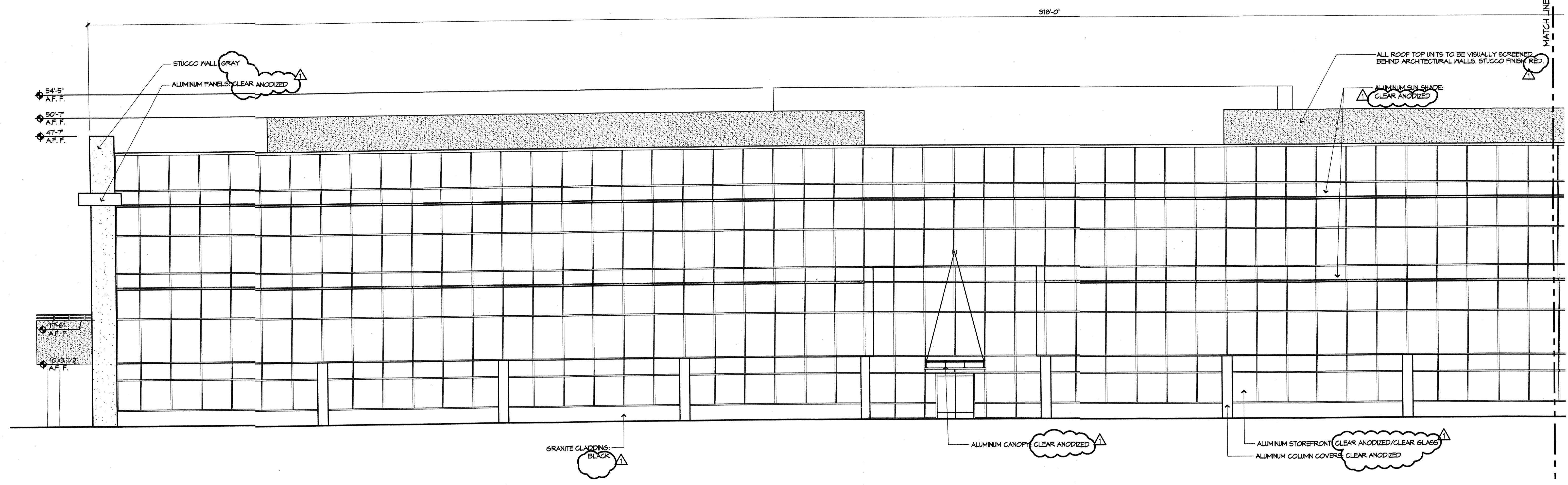
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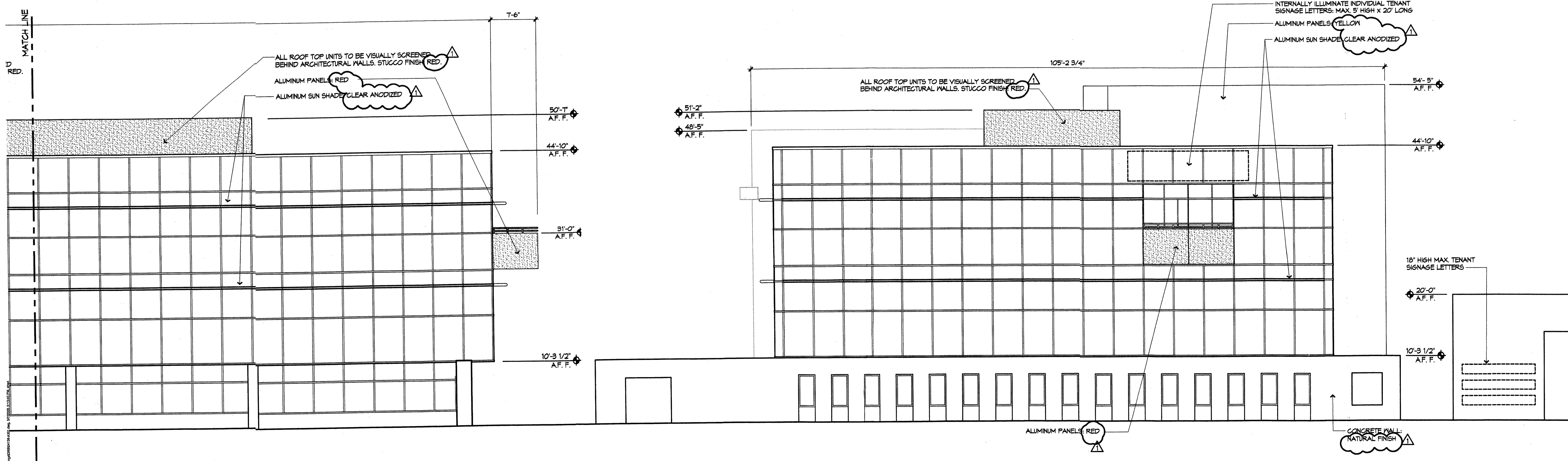
DRB  
SUBMITTAL

ENGINEER

PROJECT



0 4 8 **B5** PARTIAL SOUTH ELEVATION  
1/8" = 1'-0"



0 4 8 **B5** PARTIAL SOUTH ELEVATION  
1/8" = 1'-0"

0 4 8 **D5** EAST ELEVATION  
1/8" = 1'-0"

Journal Center Tract 5

7601 Jefferson NE  
Albuquerque, New Mexico

REVISIONS

△	5/4/05	DRB COMMENTS
△		
△		
△		

DRAWN BY  
REVIEWED BY  
DATE 5/4/05  
PROJECT NO. 04196  
DRAWING NAME

ELEVATIONS  
OFFICE BLDG A

SHEET NO.  
**A301**  
OF



ARCHITECT

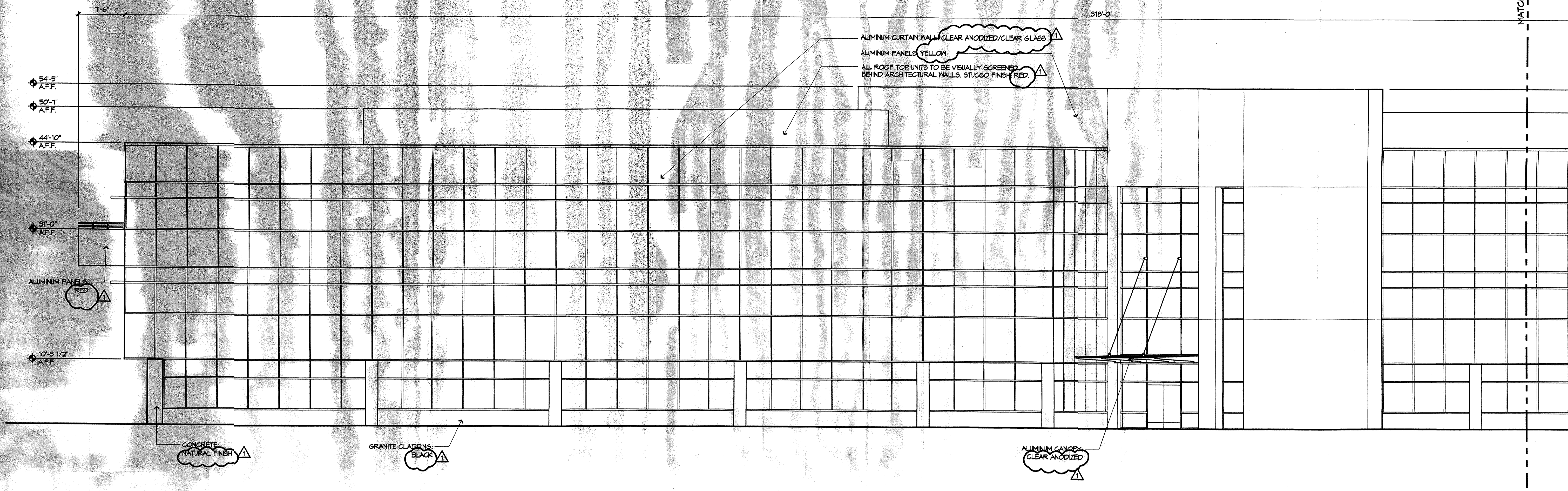
DRB  
**SUBMITTAL**

ENGINEER

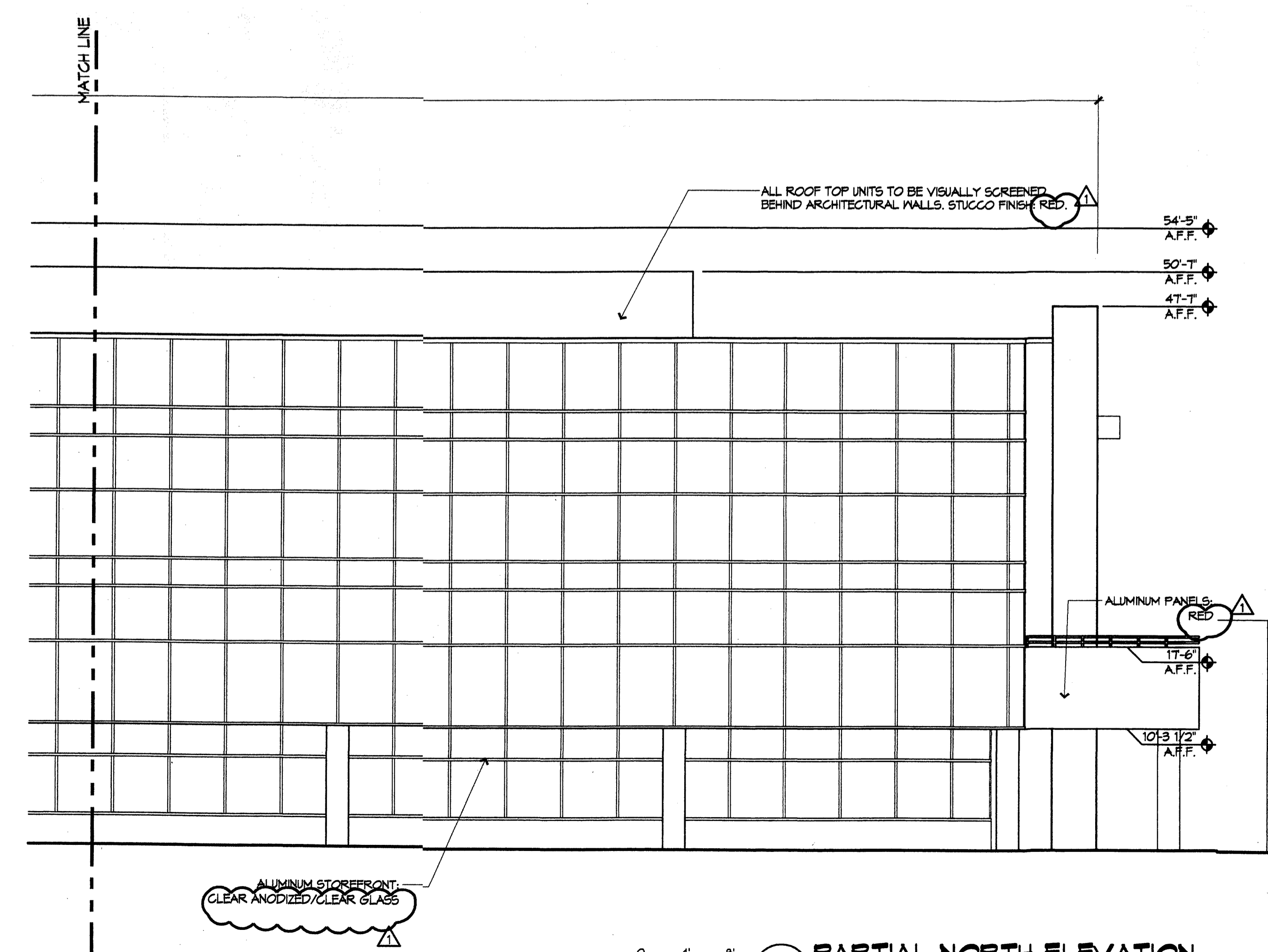
PROJECT

**Journal Center Tract 5**

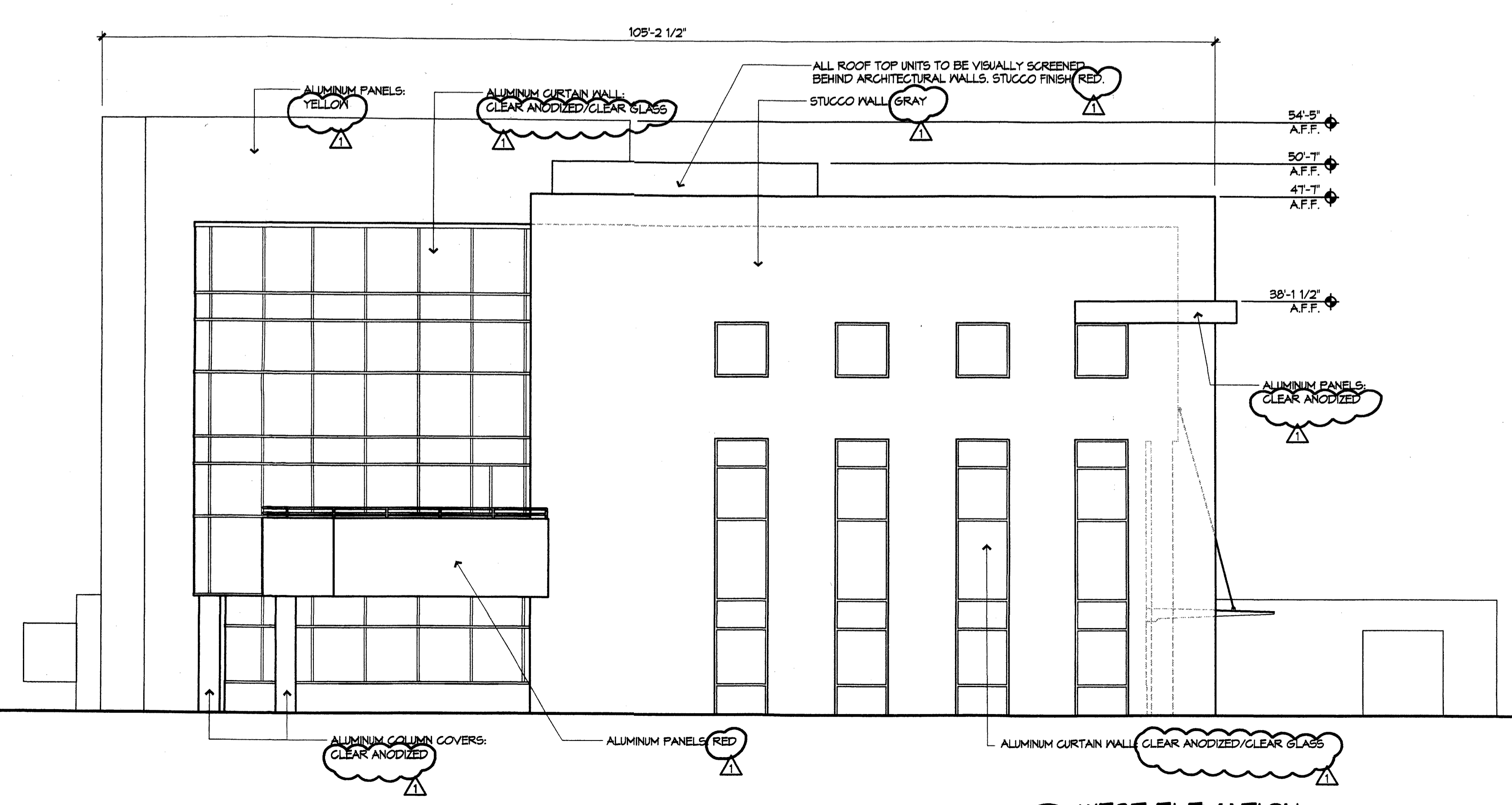
7601 Jefferson NE  
Albuquerque, New Mexico



0 4 8' **B5** PARTIAL NORTH ELEVATION  
1/8" = 1'-0"



0 4 8' **B5** PARTIAL NORTH ELEVATION  
1/8" = 1'-0"



0 4 8' **D5** WEST ELEVATION  
1/8" = 1'-0"

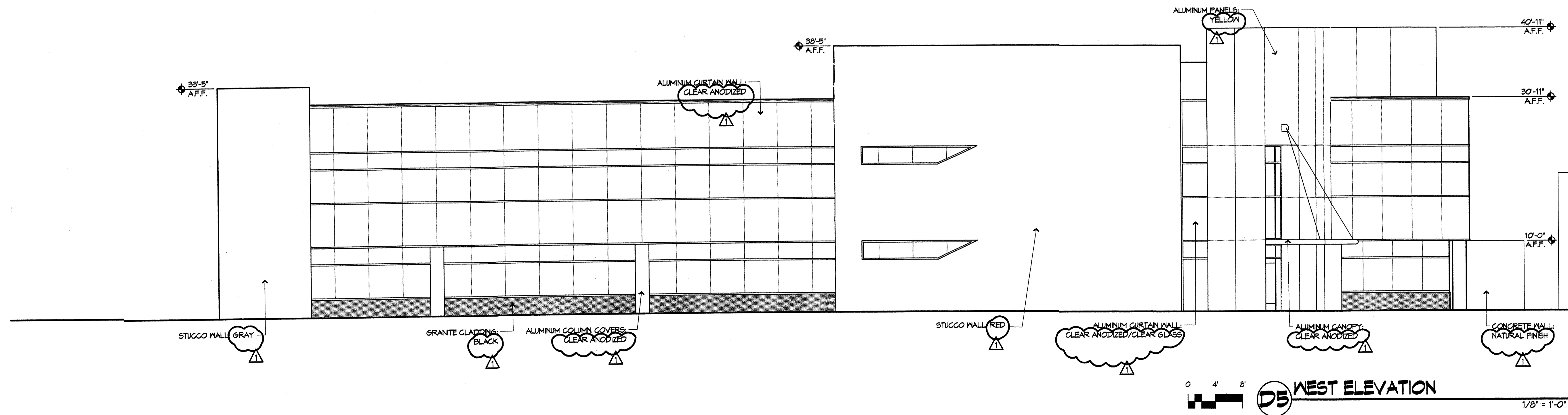
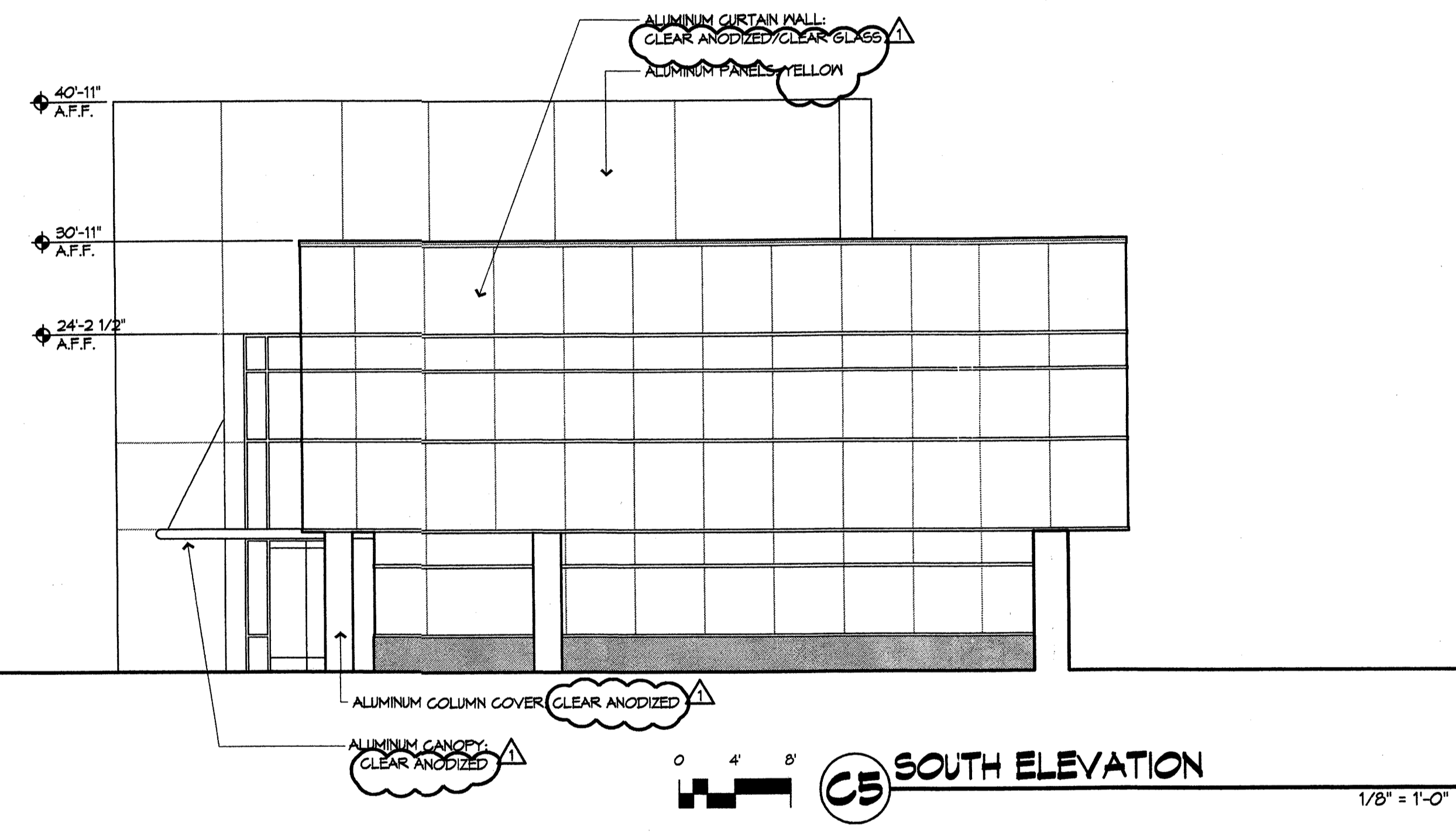
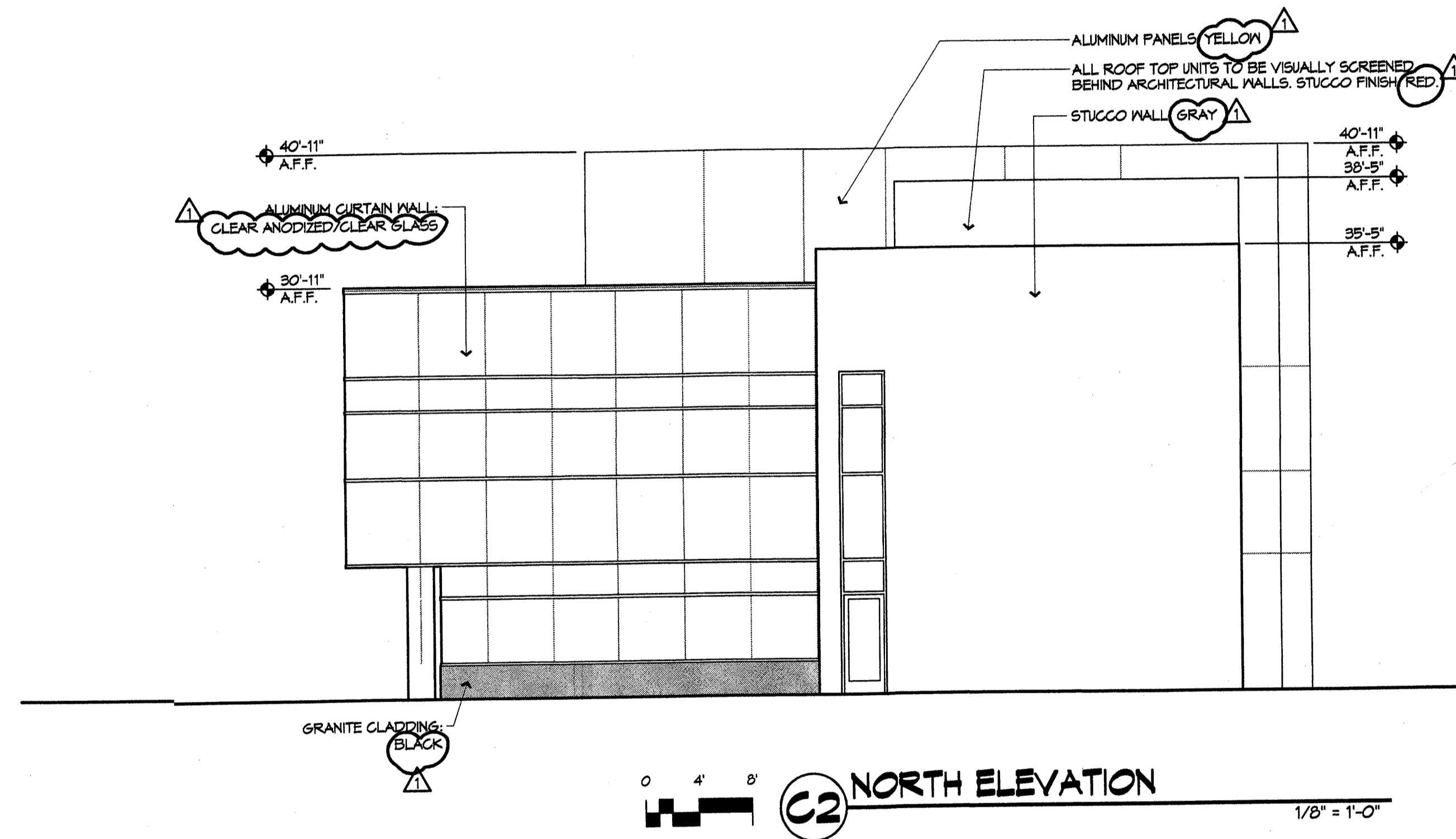
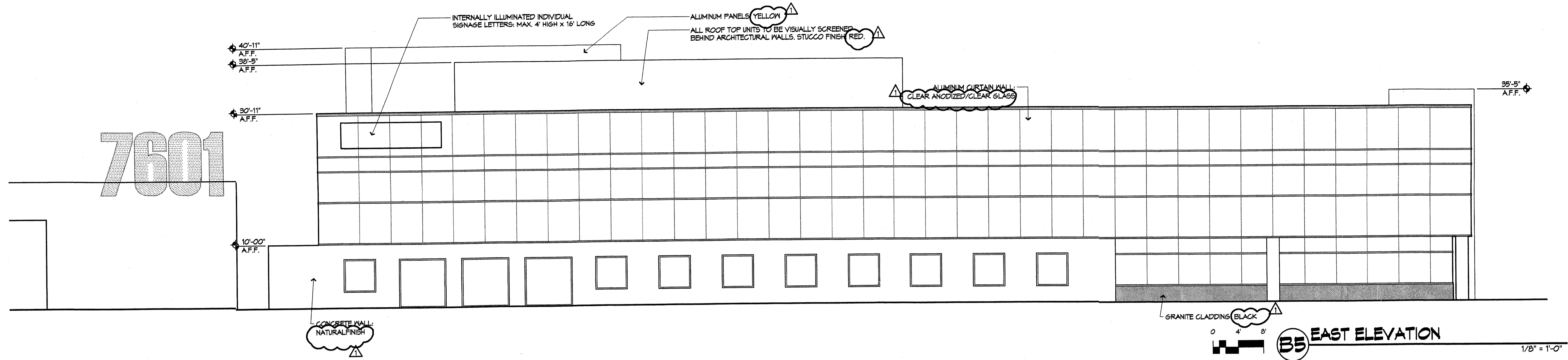
REVISIONS	
△	5/4/05 DRB COMMENTS
△	
△	
△	

DRAWN BY  
REVIEWED BY  
DATE 5/4/05  
PROJECT NO. 04186  
DRAWING NAME

**ELEVATIONS  
OFFICE BLDG A**

SHEET NO.  
**A302**  
OF

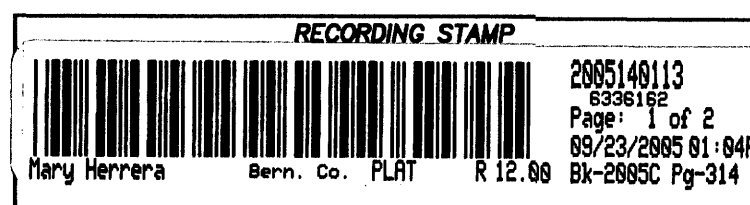
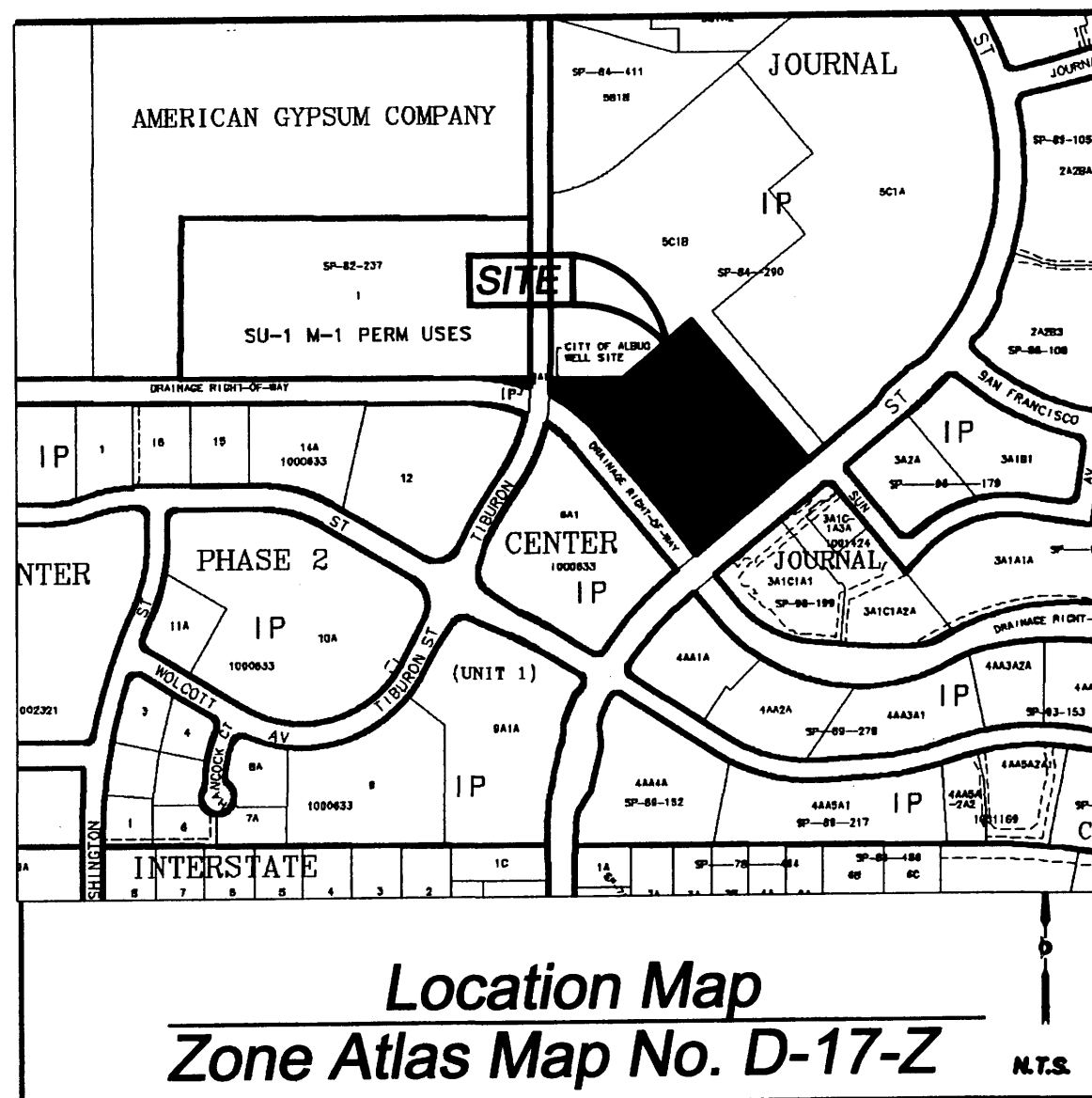
**Journal Center Tract 5**  
**7601 Jefferson NE**  
**Albuquerque, New Mexico**



REVISIONS	
△	5/09/05 DRB COMMENTS
△	
△	
△	

DRAWN BY	MIRM
REVIEWED BY	
DATE	5/9/05
PROJECT NO.	04186
DRAWING NAME	

**ELEVATIONS  
OFFICE BLDG B**



Plat of  
 Tracts 5D-1-A and 5D-1-B  
**Journal Center**  
 Albuquerque, Bernalillo County, New Mexico  
 April 2005

### Legal Description

TRACT 5D-1, JOURNAL CENTER, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT OF JOURNAL CENTER FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 30, 1983, IN MAP BOOK C21, FOLIO 126, TOGETHER WITH AN EXISTING CITY WELL EASEMENT AS SHOWN ON PREVIOUSLY REFERENCED PLAT, LYING, SITUATE, AND COMPRISING A PORTION OF JOURNAL CENTER, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 25, 1980, IN MAP BOOK C16, FOLIO 85. CONTAINING AREA=6.0367 ACRES (262,959 SQUARE FEET±) MORE OR LESS, NOW COMPRISING TRACTS 5D-1-A AND 5D-1-B.

Project No. 1004138

Application No. 05DRB-00667

### Utility Approvals

<i>Leon D. Marts</i>	5-18-05
PNM ELECTRIC SERVICES	DATE
<i>Leon D. Marts</i>	5-18-05
PNM GAS SERVICES	DATE
<i>Robert J. Marts</i>	9/6/05
QUEST TELECOMMUNICATIONS	DATE
<i>Robert J. Marts</i>	5-23-05
COMCAST	DATE

### City Approvals

<i>T.H. Lang</i>	5-10-05
CITY SURVEYOR	DATE
<i>T.H. Lang</i>	9-14-05
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE
<i>Roger Lee</i>	9-14-05
UTILITY DEVELOPMENT	DATE
<i>Christina Sandoval</i>	5/18/05
PARKS AND RECREATION DEPARTMENT	DATE
<i>Bradley J. Bingham</i>	5/18/05
AMAFCA	DATE
<i>Bradley J. Bingham</i>	5/18/05
CITY ENGINEER	DATE
<i>D. Madsen</i>	5/18/05
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

### Subdivision Data:

GROSS SUBDIVISION ACREAGE: 6.0367 ACRES±  
 ZONE ATLAS INDEX NO: D-17-Z  
 NO. OF TRACTS CREATED: 2  
 NO. OF LOTS CREATED: 0  
 MILES OF FULL-WIDTH STREETS CREATED: 0  
 DATE OF SURVEY: FEBRUARY 8, 2005

### Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING ONE TRACT INTO TWO NEW TRACTS, GRANT AN EASEMENT, AND VACATE THE EXISTING CITY WELL EASEMENT.

### Notes:

- MISC. DATA: ZONING IP
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 25, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 200514028

### Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
  - PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
  - QUEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
  - COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

### Free Consent

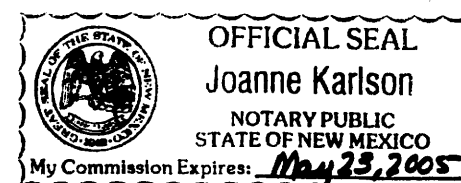
THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

*T.H. Lang*  
 T.H. LANG  
 PRESIDENT  
 JOURNAL CENTER CORPORATION  
 A DELAWARE CORPORATION  
 DATE 05-03-05

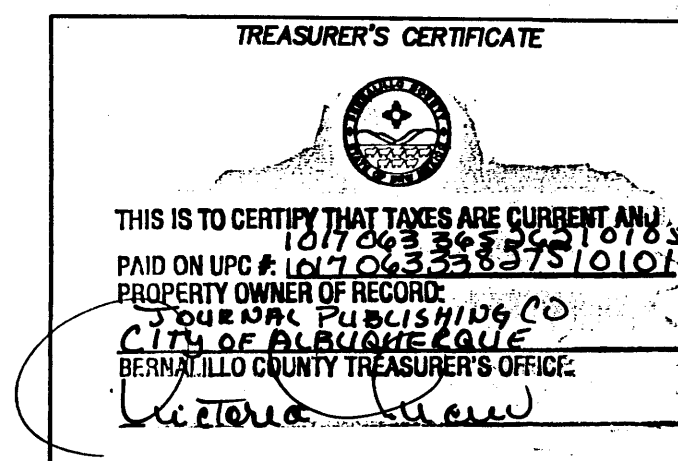
### Acknowledgment

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) SS



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 3rd DAY OF May, 2005 BY  
 T.H. LANG, PRESIDENT, JOURNAL CENTER CORPORATION, A DELAWARE CORPORATION.

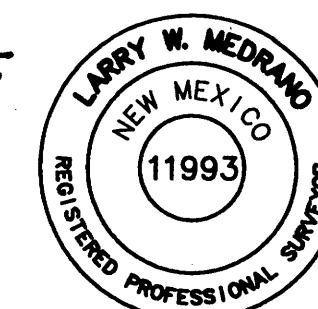
BY *Joanne Karlson* MY COMMISSION EXPIRES: May 23, 2005  
 NOTARY PUBLIC



### Surveyor's Certificate

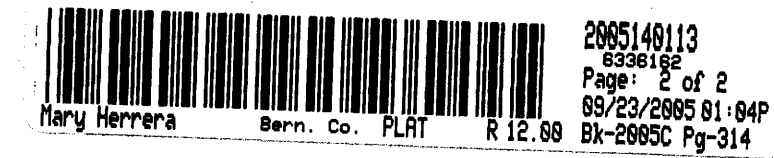
I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

*Larry W. Medrano*  
 LARRY W. MEDRANO  
 N.M.P.S. No. 11993  
 DATE 4/29/05



8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

Plat of  
**Tracts 5D-1-A and 5D-1-B**  
**Journal Center**  
 Albuquerque, Bernalillo County, New Mexico  
 April 2005

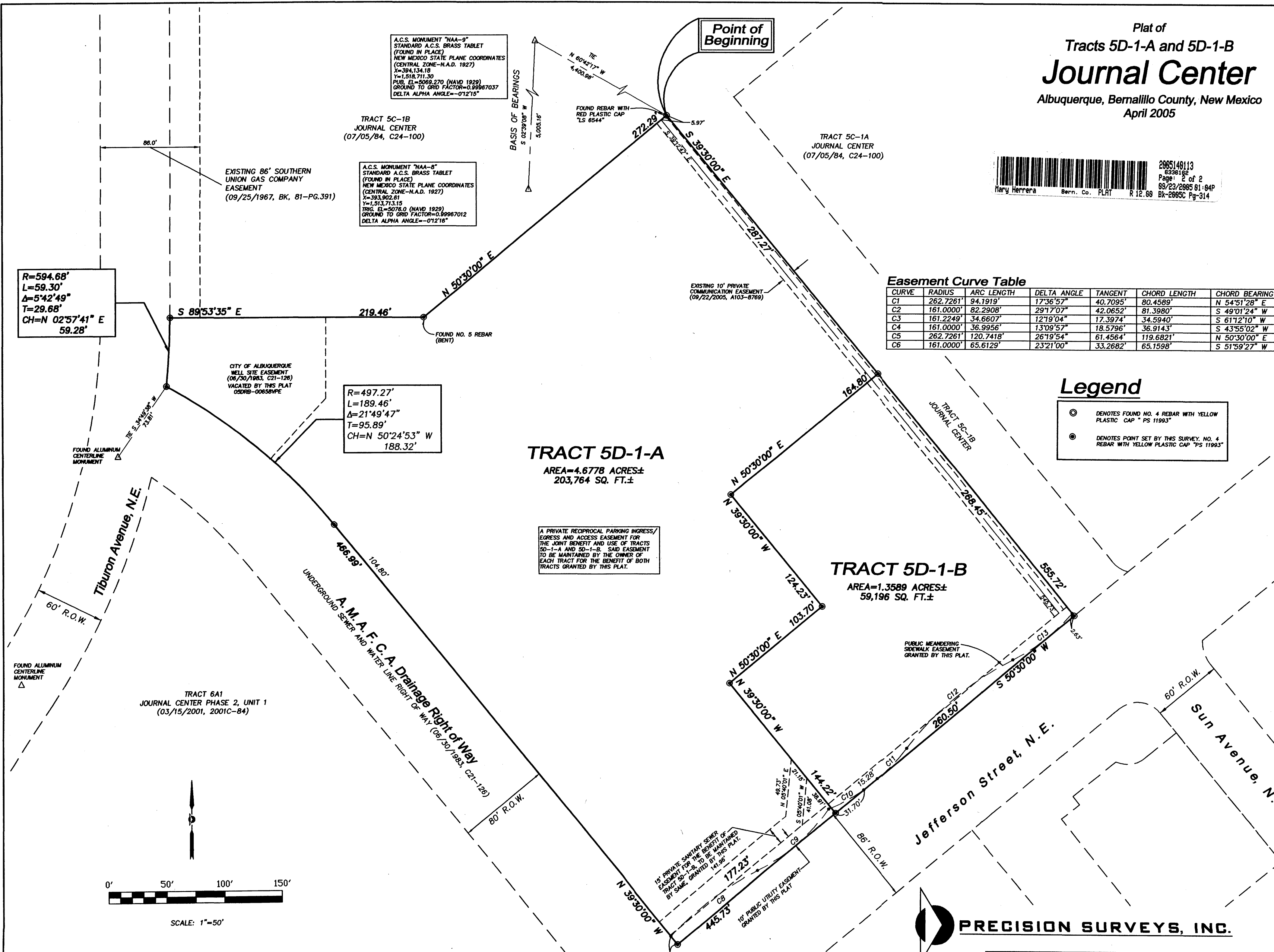


**Easement Curve Table**

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	262.7261'	94.1919'	17°36'57"	40.7095'	80.4589'	N 54°51'28" E
C2	161.0000'	82.2908'	29°17'07"	42.0652'	81.3980'	S 49°01'24" W
C3	161.2249'	34.6607'	12°19'04"	17.3974'	34.5940'	S 61°12'10" W
C4	161.0000'	36.9956'	13°09'57"	18.5796'	36.9143'	S 43°55'02" W
C5	262.7261'	120.7418'	26°19'54"	61.4564'	119.6821'	N 50°30'00" E
C6	161.0000'	65.6129'	23°21'00"	33.2682'	65.1598'	S 51°59'27" W

**Legend**

- ⊙ DENOTES FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP \* PS 11993\*
- ⊙ DENOTES POINT SET BY THIS SURVEY, NO. 4 REBAR WITH YELLOW PLASTIC CAP \* PS 11993\*



**TRACT 5D-1-A**  
 AREA=4.6778 ACRES±  
 203,764 SQ. FT.±

**TRACT 5D-1-B**  
 AREA=1.3589 ACRES±  
 59,196 SQ. FT.±

A PRIVATE RECIPROCAL PARKING INGRESS, EGRESS AND ACCESS EASEMENT FOR THE JOINT BENEFIT AND USE OF TRACTS 5D-1-A AND 5D-1-B. SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH TRACT FOR THE BENEFIT OF BOTH TRACTS GRANTED BY THIS PLAT.

PUBLIC MEANDERING SIDEWALK EASEMENT GRANTED BY THIS PLAT.

15' PRIVATE SANITARY SEWER EASEMENT FOR THE BENEFIT OF TRACT 5D-1-B TO BE MAINTAINED BY SAME, GRANTED BY THIS PLAT.

10' PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT.

R=594.68'  
 L=59.30'  
 Δ=5°42'49"  
 T=29.68'  
 CH=N 02°57'41" E  
 59.28'

R=497.27'  
 L=189.46'  
 Δ=21°49'47"  
 T=95.89'  
 CH=N 50°24'53" W  
 188.32'

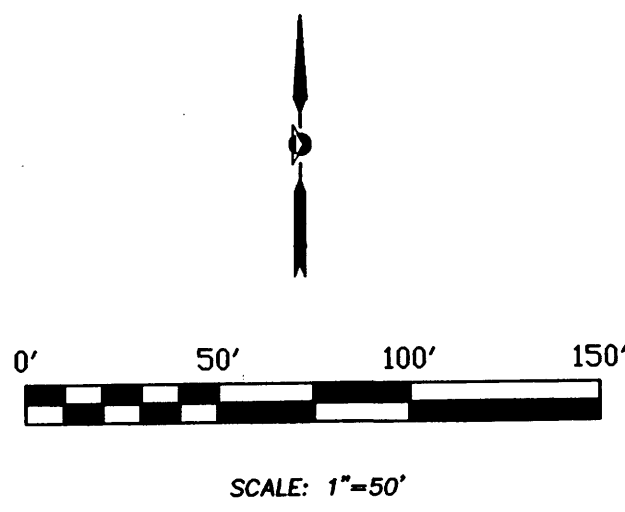
A.C.S. MONUMENT "NAA-9"  
 STANDARD A.C.S. BRASS TABLE  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1927)  
 X=394,134.18  
 Y=1,518,711.30  
 PUB. EL.=5068.270 (NAVD 1929)  
 GROUND TO GRID FACTOR=0.99967037  
 DELTA ALPHA ANGLE=-0°12'15"

A.C.S. MONUMENT "NAA-8"  
 STANDARD A.C.S. BRASS TABLE  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1927)  
 X=393,902.81  
 Y=1,513,713.15  
 TRIG. EL.=5078.0 (NAVD 1929)  
 GROUND TO GRID FACTOR=0.99967012  
 DELTA ALPHA ANGLE=-0°12'18"

TRACT 5C-1B  
 JOURNAL CENTER  
 (07/05/84, C24-100)

TRACT 5C-1A  
 JOURNAL CENTER  
 (07/05/84, C24-100)

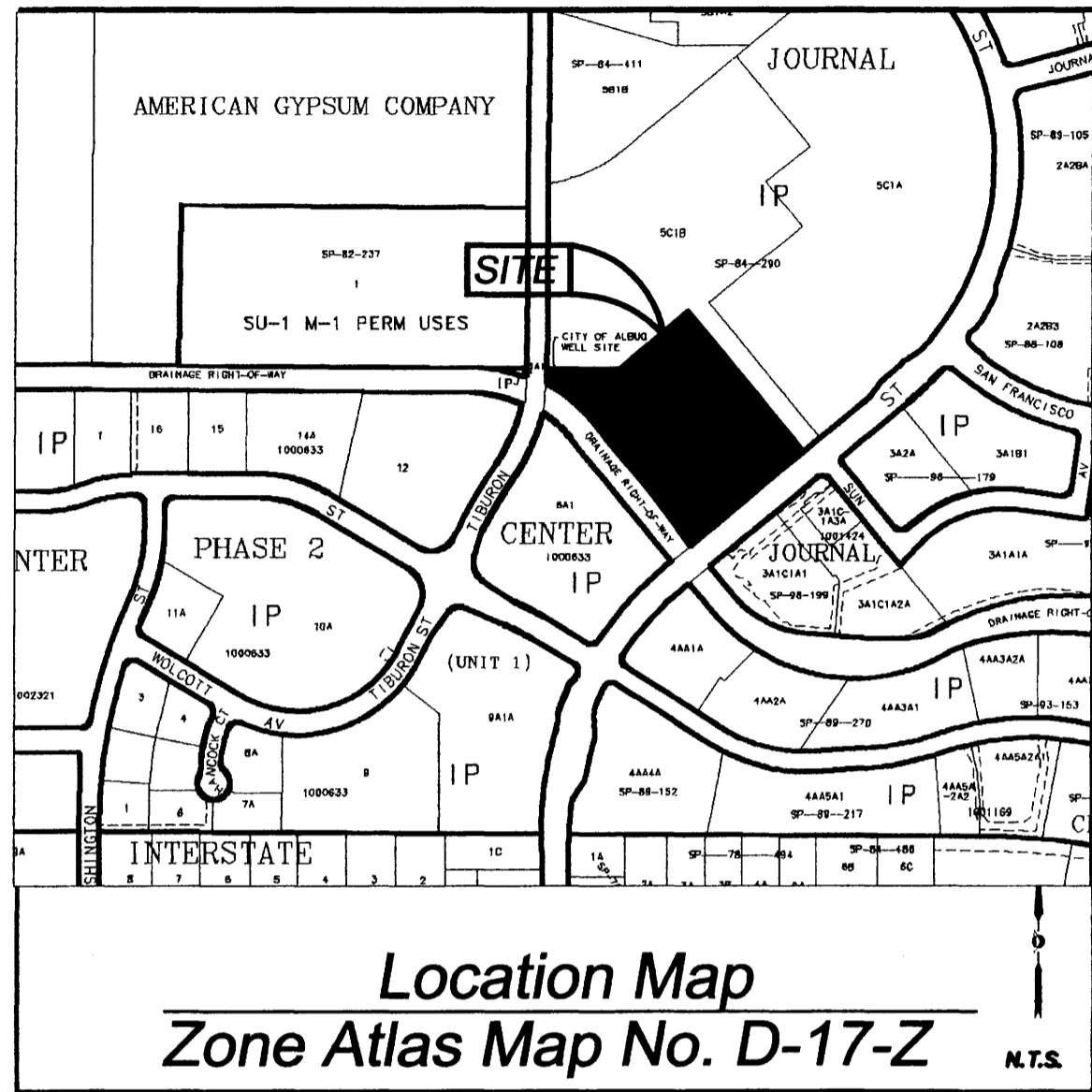
TRACT 6A1  
 JOURNAL CENTER PHASE 2, UNIT 1  
 (03/15/2001, 2001C-84)



**PRECISION SURVEYS, INC.**

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

G:\Picta\2005\057324P.DWG, 9/23/2005 10:09:15 AM



**Legal Description**

TRACT 5D-1, JOURNAL CENTER, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT OF JOURNAL CENTER FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 30, 1983, IN MAP BOOK C21, FOLIO 126, TOGETHER WITH AN EXISTING CITY WELL EASEMENT AS SHOWN ON PREVIOUSLY REFERENCED PLAT, LYING, SITUATE, AND COMPRISING A PORTION OF JOURNAL CENTER, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 25, 1980, IN MAP BOOK C16, FOLIO 85, CONTAINING AREA=6.0367 ACRES (262,959 SQUARE FEET±) MORE OR LESS, NOW COMPRISING TRACTS 5D-1-A AND 5D-1-B.

RECORDING STAMP

Plat of  
Tracts 5D-1-A and 5D-1-B  
**Journal Center**  
Albuquerque, Bernalillo County, New Mexico  
April 2005

*FINAL*  
**PRELIMINARY PLAT**  
**APPROVED BY DRB**  
ON \_\_\_\_\_

Project No. \_\_\_\_\_  
Application No. \_\_\_\_\_  
Utility Approvals \_\_\_\_\_

PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST	DATE
<b>City Approvals</b>	
<i>[Signature]</i> CITY SURVEYOR	5/10/05 DATE
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE
UTILITY DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

**Subdivision Data:**

GROSS SUBDIVISION ACREAGE: 6.0367 ACRES±  
ZONE ATLAS INDEX NO: D-17-Z  
NO. OF TRACTS CREATED: 2  
NO. OF LOTS CREATED: 0  
MILES OF FULL-WIDTH STREETS CREATED: 0  
DATE OF SURVEY: FEBRUARY 8, 2005

**Disclosure Statement:**

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING ONE TRACT INTO TWO NEW TRACTS, GRANT AN EASEMENT, AND VACATE THE EXISTING CITY WELL EASEMENT.

**Notes:**

- MISC. DATA: ZONING IP
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 25, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2005154028

**Easements**

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.  
PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:  
1. PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.  
2. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.  
3. QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.  
4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.  
INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRICAL TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.  
IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

**Free Consent**

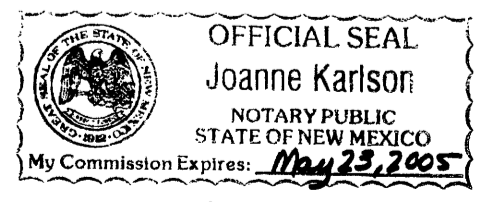
THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

*[Signature]*  
T.H. LANG  
PRESIDENT  
JOURNAL CENTER CORPORATION  
A DELAWARE CORPORATION  
DATE 05-03-05

**Acknowledgment**

STATE OF NEW MEXICO ) SS  
COUNTY OF BERNALILLO )  
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 3rd DAY OF May, 2005 BY  
T.H. LANG PRESIDENT, JOURNAL CENTER CORPORATION, A DELAWARE CORPORATION.  
*[Signature]*  
BY \_\_\_\_\_ MY COMMISSION EXPIRES: May 23, 2005  
NOTARY PUBLIC



TREASURER'S CERTIFICATE

**Surveyor's Certificate**

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

*[Signature]*  
LARRY W. MEDRANO  
N.M.P.S. No. 11993  
DATE 5/10/05



**PRECISION SURVEYS, INC.**

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

Plat of  
**Tracts 5D-1-A and 5D-1-B**  
**Journal Center**  
 Albuquerque, Bernalillo County, New Mexico  
 April 2005

**Easement Line Table**

LINE	BEARING	DISTANCE
L1	S 50°30'00" W	5.4012'
L2	N 49°14'07" W	22.9844'
L3	N 48°50'25" W	24.4491'

**Easement Curve Table**

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	385.0000'	45.7982'	06°48'57"	22.9261'	45.7712'	N 47°55'47" W
C2	110.0000'	52.1210'	27°08'54"	26.5593'	51.6348'	S 37°45'48" E
C3	110.0000'	48.0851'	25°02'46"	24.4329'	47.7032'	N 36°42'44" W
C4	95.0000'	36.8686'	22°14'09"	18.6692'	36.6377'	S 38°07'03" E
C5	158.0000'	60.2291'	21°50'28"	30.4846'	59.8651'	N 37°55'12" W
C6	100.0000'	41.9608'	24°02'30"	21.2937'	41.6536'	S 36°49'10" E
C7	35.0000'	22.8495'	37°24'18"	11.8486'	22.4458'	N 43°30'04" W
C8	262.7261'	80.7767'	17°36'57"	40.7095'	80.4589'	N 54°51'28" E
C9	161.0000'	82.2908'	29°17'07"	42.0652'	81.3980'	S 49°01'24" W
C10	161.2249'	34.6607'	12°19'04"	17.3974'	34.5940'	S 61°12'10" W
C11	161.0000'	36.9956'	13°09'57"	18.5796'	36.9143'	S 43°55'02" W
C12	262.7261'	120.7418'	26°19'54"	61.4564'	119.6821'	N 50°30'00" E
C13	161.0000'	65.6129'	23°21'00"	33.2682'	65.1598'	S 51°59'27" W

**Legend**

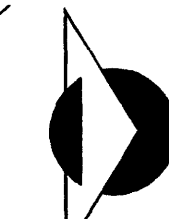
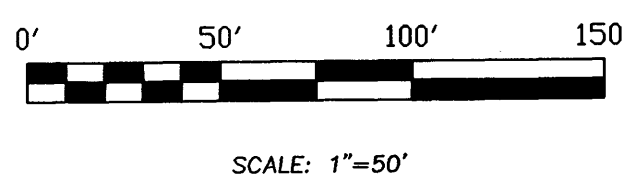
- ⊙ DENOTES FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993"
- ⊙ DENOTES POINT SET BY THIS SURVEY, NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993"

**TRACT 5D-1-A**  
 AREA=4.6059 ACRES±  
 200,633 SQ. FT.±

**TRACT 5D-1-B**  
 AREA=1.4308 ACRES±  
 62,327 SQ. FT.±

R=594.68'  
 L=59.30'  
 Δ=5°42'49"  
 T=29.68'  
 CH=N 02°57'41" E  
 59.28'

R=497.27'  
 L=189.46'  
 Δ=21°49'47"  
 T=95.89'  
 CH=N 50°24'53" W  
 188.32'



**PRECISION SURVEYS, INC.**

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

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C17-581-117

80 67205

C17-581-117

REPLAT OF  
 LOTS 1, 2, 31 & 32, A PORTION OF LOTS 3, 4 & 30, BLOCK 2 & LOTS 1 & 2,  
 A PORTION OF LOTS 3, 30-32, BLOCK 3 & LOT 1, PORTION OF LOT 2, BLOCK 4 OF  
 TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES  
 (FILED: MARCH 17, 1937)  
 AND  
 JOURNAL CENTER  
 (FILED: FEBRUARY 29, 1980)  
**JOURNAL CENTER**  
 ALBUQUERQUE, NEW MEXICO  
 SCALE: 1" = 200' MARCH 1980

DESCRIPTION

A certain tract of land situate in the Elena Grant in projected Sections 22, 23 and 24, T11N, R3E, N.M.P.M., Bernalillo County, New Mexico, comprising the JOURNAL CENTER, filed in the office of the County Clerk, Bernalillo County, New Mexico on February 29, 1980, Lot 1, 32 and a westerly portion of Lots 2 and 31, Block 4, Lot 1 and a portion of Lots 2, 31 and 32, Block 5, Tract A - Unit A, NORTH ALBUQUERQUE ACRES, filed in the office of the County Clerk, Bernalillo County, New Mexico on March 17, 1937, and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone) and ground distances as follows:

BEGINNING at the westerly point of the tract, said point being a westerly corner of said Journal Center on the easterly right-of-way line of the A.M.A.F.C.A. North Diversion Channel, whence the N.G.S. Triangulation Station Monument 'REEVES' (New Mexico State Plane Grid Coordinates: X=393890.55, Y=1516528.81) bears N66°01'23"W, 282.91 feet and from said beginning point leaving said easterly right-of-way line of the A.M.A.F.C.A. North Diversion Channel and running thence along the northerly right-of-way line of the A.M.A.F.C.A. slitting basin and the northerly boundary of said Journal Center.

S89°30'41"E, 29.15 feet to a point; thence, S10°59'21"E, 52.84 feet to a point; thence, S70°00'39"W, 20.00 feet to a point on a curve; thence, 246.02 feet along the arc of a curve to the left having a radius of 325.00 feet and a chord bearing S41°40'30"E, 240.19 feet to a point on the curve; thence leaving said northerly right-of-way line of the A.M.A.F.C.A. slitting basin; N00°08'49"E, 234.54 feet to a point; thence, S89°30'41"E, 1813.65 feet to a point; thence, S89°31'50"E, 1331.53 feet to a point, said point being a point on the westerly right-of-way line of an 86' Southern Union Gas Company including Road Easements, filed in the office of the County Clerk, Bernalillo County, New Mexico on September 25, 1967; thence leaving said northerly boundary of the Journal Center and continuing along said westerly right-of-way line, N00°06'25"E, 1451.24 feet to a point of curvature; thence, 134.20 feet along the arc of a curve to the right having a radius of 295.01 feet and a chord bearing N13°08'19"E, 133.04 feet to a point, said point being a point on the westerly boundary of said Journal Center; thence continuing along the westerly boundary of said Journal Center, N00°06'25"E, 514.25 feet to a point on a curve; thence leaving said westerly boundary of Journal Center, 225.57 feet along the arc of a curve to the right having a radius of 843.00 feet and a chord bearing N07°33'31"W, 224.90 feet to a point of tangency, said point being a point on the westerly right-of-way line of said 86' Southern Union Gas Company Easement; thence continuing along said westerly right-of-way line, N00°06'25"E, 101.73 feet to a point of curvature; thence leaving said westerly right-of-way line, 39.15 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord bearing N44°45'02"W, 35.27 feet to a point of tangency, said point being a point on the southerly right-of-way line of Los Angeles Drive; thence continuing along said southerly right-of-way line, S89°36'30"E, 2155.72 feet to a point, said point being also a point on the northerly boundary of said Journal Center; thence continuing along said southerly right-of-way line of Los Angeles Drive and said northerly boundary of Journal Center, N88°28'12"E, 1.80 feet to a point, said point being a point on the westerly right-of-way line of San Mateo Boulevard; thence leaving said southerly right-of-way line of Los Angeles Drive and said northerly boundary of Journal Center and continuing along said westerly right-of-way line of San Mateo Boulevard and easterly boundary of said Journal Center, S00°01'32"W, 492.24 feet to a point, said point being a point on the centerline of Palomas Avenue; thence leaving said westerly right-of-way line of San Mateo Boulevard and continuing along said centerline of Palomas Avenue, S89°58'28"E, 522.04 feet to a point, said point being a point on the westerly right-of-way line of Interstate 25; thence leaving said centerline of Palomas Avenue and continuing along said westerly right-of-way line of Interstate 25, S10°43'37"W, 931.89 feet to a point; thence leaving said westerly right-of-way line of Interstate 25, N89°58'28"W, 348.99 feet to a point, said point being a point on the westerly right-of-way line of San Mateo Boulevard; thence continuing along said westerly right-of-way line, S00°01'32"W, 132.12 feet to a point, said point being a point on the centerline of Ranchitos Avenue, also a point on the easterly boundary of said Journal Center, thence leaving said westerly right-of-way line of San Mateo Boulevard and continuing along said centerline of Ranchitos Avenue and said easterly boundary of Journal Center, S89°58'28"E, 324.03 feet to a point, said point being a point on the westerly right-of-way line of Interstate 25; thence leaving said centerline of Ranchitos Avenue and continuing along said westerly right-of-way line of Interstate 25, S10°43'37"W, 2437.95 feet to a point being the southeast corner of said Journal Center, also the northeast corner of Academy for Boys, filed in the office of the County Clerk, Bernalillo County, New Mexico on February 21, 1975; thence leaving said westerly right-of-way line of Interstate 25 and continuing along the southerly boundary of said Journal Center and northerly boundary of said Academy for Boys, N79°16'19"W, 251.11 feet to a point of curvature; thence, 363.51 feet along the arc of a curve to the left having a radius of 2000.00 feet and a chord bearing N84°28'44"W, 363.01 feet to a point of tangency; thence, N89°41'09"W, 4732.79 feet to a point, said point being the southwest corner of said Journal Center and the northwest corner of Interstate Tract, Unit IV, filed in the office of the County Clerk, Bernalillo County, New Mexico, on May 7, 1979, being also the northwest corner of Lot 17 of said Interstate Industrial Tract, Unit IV, and also a point on the easterly right-of-way line of the A.M.A.F.C.A. North Diversion Channel; thence leaving the northerly boundary of said Interstate Industrial Tract, Unit IV and of said Lot 17, and continuing along the westerly boundary of said Journal Center and easterly right-of-way line of said A.M.A.F.C.A. North Diversion Channel, N00°00'39"E, 1425.83 feet to the point and place of beginning.

Tract contains 312.0129 acres, more or less.

DEDICATION

The subdivision of the land hereon described is with free consent and in accordance with the desires of the undersigned owner and proprietor thereof, and said owner and proprietor does hereby dedicate the public rights-of-way shown hereon, together with all easements shown on this plat. Power and communication easements are reserved where shown by dashed lines, as noted, including the right of ingress and egress and the right to trim interfering trees. Any drainage right-of-ways shown hereon are also right-of-ways for underground sewer and water lines.

JOURNAL PUBLISHING COMPANY

BY: T.H. Lang  
 T.H. Lang, President  
 STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) ss

On this 29th day of APRIL, 1980, the foregoing instrument was acknowledged before me by T.H. Lang, President, Journal Publishing Company, a corporation, on behalf of said corporation.  
 My commission expires: Nov. 6, 1980  
Sharon J. Brodeur  
 Notary Public.

ALBUQUERQUE ACADEMY, INC.  
 BY: Leland Sedberry, Jr.  
 Leland Sedberry, President  
 Board of Trustees

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) ss  
 On this 30th day of April, 1980, the foregoing instrument was acknowledged before me by Leland Sedberry, President, Board of Trustees, Albuquerque Academy, Inc., a New Mexico non-profit corporation, on behalf of said corporation.  
 My commission expires: 4-20-81  
Sharon L. Gralow  
 Notary Public.

AMERICAN GYPSUM COMPANY  
 (formerly A.G.C., Inc.)  
 BY: T.G. Gayok Exec. Vice Pres.  
 STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) ss

On this 16 day of June, 1980, the foregoing instrument was acknowledged before me by \_\_\_\_\_ of American Gypsum Company, a corporation, on behalf of said corporation.  
 My commission expires: December 12, 1983  
Billie Day  
 Notary Public.

LUMBER INC.  
 BY: R.L. Wickens  
 R.L. Wickens, President

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) ss  
 On this 20th day of June, 1980, the foregoing instrument was acknowledged before me by R.L. Wickens, Pres. of Lumber Inc., a corporation, on behalf of said corporation.  
 My commission expires: 6-19-83  
John Chicaud  
 Notary Public.

APPROVALS

- Tom Hagen by G. Blustein 8 NOV 1980 SP 80-378  
 Planning Director, City of Albuquerque, NM Date
- Richard E. Leonard 11/18/80  
 AMAFCA Date
- Richard S. Allen 11/18/80  
 City Engineer, City of Albuquerque, NM Date
- Robert A. Farnsworth 8/26/80  
 Traffic Engineer, City of Albuquerque, NM Date
- James C. Coffey 7/4/80  
 Director of Parks & Recreation, City of Albuquerque, NM Date
- John Monte-Carlson 9/2/80  
 Chief Surveyor, City of Albuquerque, NM Date
- Archie L. Cuyler 8-28-80  
 Mountain States Telephone & Telegraph Co. Date
- Kaplan P. Markin 9-8-80  
 Public Service Company of New Mexico Date
- Billie Day 8-26-80  
 Gas Company of New Mexico Date
- O. Valverde 8-26-80  
 Property Management Date
- Valita R. Schumir 10-12-80  
 Water Resources, City of Albuquerque Date

NOTES:

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Record bearings or distances are shown in parenthesis.
4. Number 5 rebar with plastic survey cap stamped PE & LS 2455 were set on corners designated by a small solid circle.
5. Zone Atlas D-17.
6. Mileage of streets created = 2.61 miles.

I, under the laws of New Mexico, certify that I am a Land Surveyor and that this plat was prepared by me or under my supervision and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance and shows all easements of record and is true and accurate to the best of my knowledge and belief.

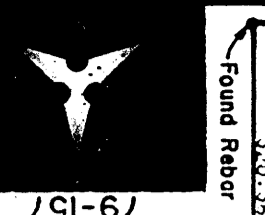
A. Dwalin Weaver  
 A. Dwalin Weaver  
 N.M.P.L.S. No. 6544

C17-135(1)

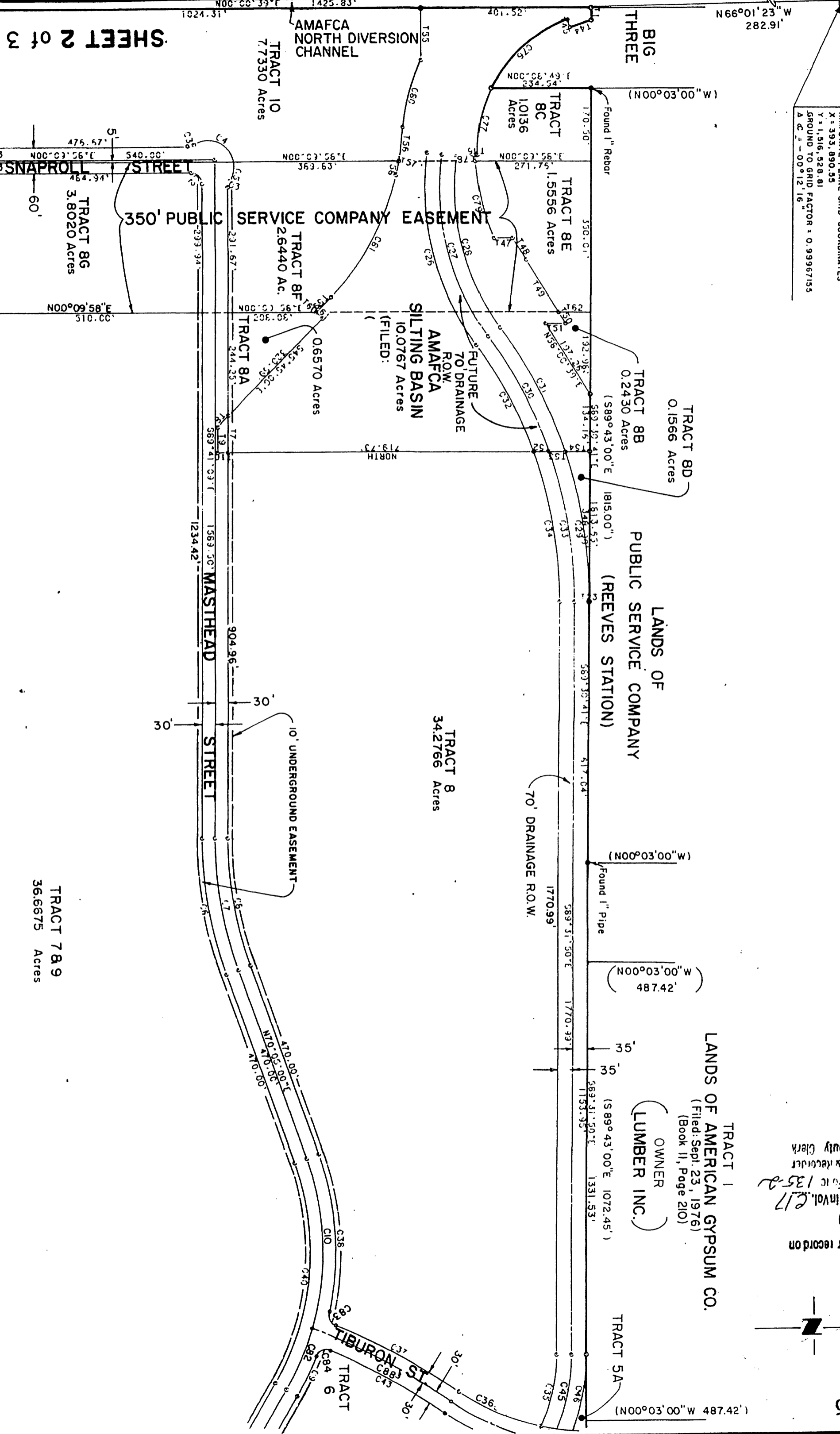
C17-135(1)

C17-135(2)

C17-135(2)



79-157



NGS TRIANGULATION STA. "REVES"  
 ELEV. 7,807.27  
 N.M. STATE PLANE GRID COORDINATES  
 X = 993,890.55  
 Y = 11,516,528.81  
 GROUND TO GRID FACTOR = 0.99967155  
 A.C. = -00°12'16"

TRACT	ACRES	AREA	PERCENTAGE
C1	10.24	102.4	100.0
C2	10.24	102.4	100.0
C3	10.24	102.4	100.0
C4	10.24	102.4	100.0
C5	10.24	102.4	100.0
C6	10.24	102.4	100.0
C7	10.24	102.4	100.0
C8	10.24	102.4	100.0
C9	10.24	102.4	100.0
C10	10.24	102.4	100.0
C11	10.24	102.4	100.0
C12	10.24	102.4	100.0
C13	10.24	102.4	100.0
C14	10.24	102.4	100.0
C15	10.24	102.4	100.0
C16	10.24	102.4	100.0
C17	10.24	102.4	100.0
C18	10.24	102.4	100.0
C19	10.24	102.4	100.0
C20	10.24	102.4	100.0
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C26	10.24	102.4	100.0
C27	10.24	102.4	100.0
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C38	10.24	102.4	100.0
C39	10.24	102.4	100.0
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C59	10.24	102.4	100.0
C60	10.24	102.4	100.0
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C86	10.24	102.4	100.0
C87	10.24	102.4	100.0
C88	10.24	102.4	100.0
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C91	10.24	102.4	100.0
C92	10.24	102.4	100.0
C93	10.24	102.4	100.0
C94	10.24	102.4	100.0
C95	10.24	102.4	100.0
C96	10.24	102.4	100.0
C97	10.24	102.4	100.0
C98	10.24	102.4	100.0
C99	10.24	102.4	100.0
C100	10.24	102.4	100.0

REPLAT OF  
 LOTS 1, 2, 31 & 32, A PORTION OF LOTS 3, 4 & 30, BLOCK 2 & LOTS 1 & 2,  
 TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES  
 (FILED: MARCH 17, 1937)  
 AND  
 JOURNAL CENTER  
 (FILED: FEBRUARY 29, 1980)  
 JOURNAL CENTER  
 ALBUQUERQUE, NEW MEXICO  
 SCALE: 1" = 200'  
 MARCH 1980

Found Reduc  
 320.56  
 17  
 16  
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 14  
 13A-1  
 12A-1  
 11A  
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 3  
 2  
 1A  
 1C  
 1B

TRACT 7 & 9  
 36,667.5 Acres

TRACT 8G  
 3,802.0 Acres

TRACT 8F  
 2,644.0 Ac.

TRACT 8A  
 0,657.0 Acres

TRACT 8B  
 2,243.0 Acres

TRACT 8C  
 1,556.6 Acres

TRACT 8D  
 0,156.6 Acres

TRACT 8  
 34,276.6 Acres

INTERSTATE INDUSTRIAL TRACT  
 UNIT IV

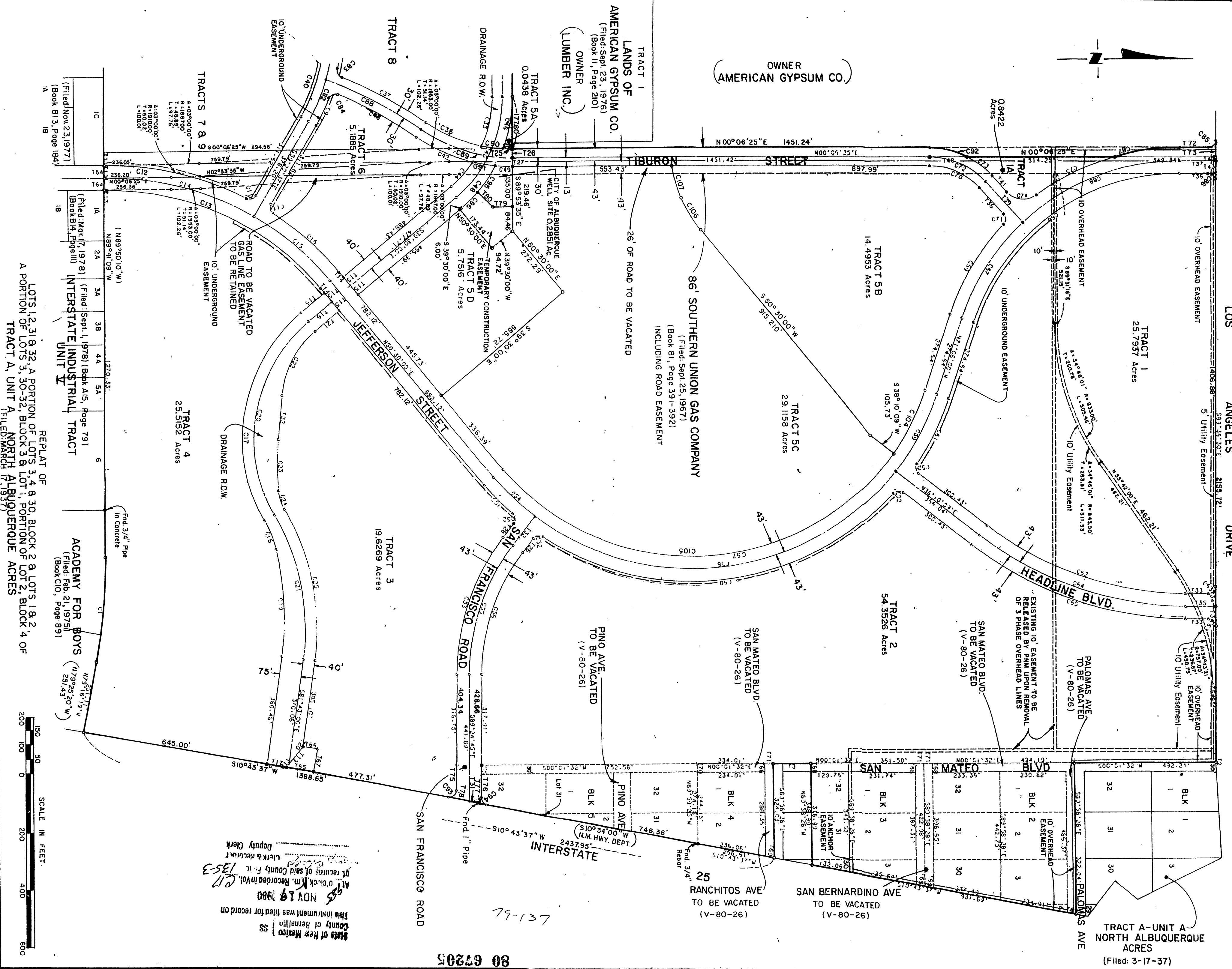
LANDS OF AMERICAN GYPSUM CO.  
 (Filed: Sept. 23, 1976)  
 (Book II, Page 210)

LANDS OF AMERICAN GYPSUM CO.  
 (Filed: Sept. 23, 1976)  
 (Book II, Page 210)

C17-135(2)

C17-135(2)





LOS ANGELES DRIVE

OWNER  
(AMERICAN GYPSUM CO.)

TRACT 1  
LANDS OF  
AMERICAN GYPSUM CO.  
(Filed: Sept. 23, 1976)  
(Book II, Page 210)  
OWNER  
(LUMBER INC.)

86' SOUTHERN UNION GAS COMPANY  
(Filed: Sept. 25, 1967)  
(Book 81, Page 391-392)  
INCLUDING ROAD EASEMENT

TRACTS 7 & 8  
5.1885 Acres

TRACT 6  
5.1885 Acres

TRACT 5A  
0.0438 Acres

TRACT 5D  
5.7516 Acres

TRACT 5B  
14.4953 Acres

TRACT 5C  
29.1158 Acres

TRACT 5D  
5.7516 Acres

TRACT 4  
25.5162 Acres

TRACT 3  
19.6269 Acres

TRACT 2  
54.3526 Acres

TRACT 1  
25.7937 Acres

TRACT A-UNIT A  
NORTH ALBUQUERQUE ACRES  
(Filed: 3-17-37)

ACADEMY FOR BOYS  
(Filed: Feb. 21, 1975)  
(Book C10, Page 89)

INTERSTATE INDUSTRIAL TRACT  
UNIT IV  
(Filed: March 17, 1978)  
(Book A15, Page 79)

REPLAT OF  
LOTS 1, 2, 3, 4, 8, 32, A PORTION OF LOTS 3, 4 & 30, BLOCK 2 & LOTS 1 & 2, OF  
A PORTION OF LOTS 3, 30-32, BLOCK 3 & LOT 1, PORTION OF LOT 2, BLOCK 4 OF  
TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES  
(Filed: MARCH 17, 1937)

10' UNDERGROUND EASEMENT

10' OVERHEAD EASEMENT

10' UTILITY EASEMENT

ROAD TO BE VACATED  
GAS LINE EASEMENT  
TO BE RETAINED

DRAINAGE R.O.W.

10' UNDERGROUND EASEMENT

10' OVERHEAD EASEMENT

10' UTILITY EASEMENT

EXISTING 10' EASEMENT TO BE  
RELEASED BY P.M.U. UPON REMOVAL  
OF 3 PHASE OVERHEAD LINES

PALOMAS AVE  
TO BE VACATED  
(V-80-26)

SAN MATEO BLVD.  
TO BE VACATED  
(V-80-26)

SAN MATEO BLVD.  
TO BE VACATED  
(V-80-26)

SAN BERNARDINO AVE  
TO BE VACATED  
(V-80-26)

RANCHITOS AVE  
TO BE VACATED  
(V-80-26)

PINO AVE.  
TO BE VACATED  
(V-80-26)

SAN FRANCISCO ROAD  
TO BE VACATED  
(V-80-26)

10' UNDERGROUND EASEMENT

10' OVERHEAD EASEMENT

10' UTILITY EASEMENT

10' UNDERGROUND EASEMENT

10' OVERHEAD EASEMENT

10' UTILITY EASEMENT

10' UNDERGROUND EASEMENT

10' OVERHEAD EASEMENT

10' UTILITY EASEMENT

10' UNDERGROUND EASEMENT

10' OVERHEAD EASEMENT

10' UTILITY EASEMENT

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10' UNDERGROUND EASEMENT

10' OVERHEAD EASEMENT

10' UTILITY EASEMENT

10' UNDERGROUND EASEMENT

10' OVERHEAD EASEMENT

10' UTILITY EASEMENT

10' UNDERGROUND EASEMENT

10' OVERHEAD EASEMENT

10' UTILITY EASEMENT

10' UNDERGROUND EASEMENT

10' OVERHEAD EASEMENT

10' UTILITY EASEMENT

10' UNDERGROUND EASEMENT

10' OVERHEAD EASEMENT

10' UTILITY EASEMENT

10' UNDERGROUND EASEMENT

JOURNAL CENTER  
(FILED: FEBRUARY 29, 1980)  
ALBUQUERQUE, NEW MEXICO  
SCALE: 1" = 200'

SHEET 3 of 3

79-157

State of New Mexico  
County of Bernalillo  
This instrument was filed for record on  
NOV 19 1980  
At 10:00 A.M. Recorded in Vol. 135-3  
of records of said County. F. L.  
Lick & Reuter  
Deputy Clerk

80 67205

ARCHITECT

**DRB  
SUBMITTAL**

**PRELIMINARY PLAT**  
APPROVED BY DRB  
ON 5/18/05

**GENERAL NOTES**

- A. PARKING AREA SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS
- B. PHASE I TO INCLUDE FULL BUILD-OUT OF OFFICE BUILDING A, ALL PARKING AND OFFICE BUILDING B AS A FUTURE PAD SITE. PHASE II TO INCLUDE FULL BUILD-OUT OF OFFICE BUILDING B. SEE SHEET L001 FOR LANDSCAPING OF PHASE II AND III.
- C. PROVIDE LETTERING "COMPACT" PAINTED IN SAFETY WHITE AT ALL COMPACT PARKING SPACES, TYPICAL.
- D. ALL SITEWORK WILL BE CONSTRUCTED AS SUCH TO ENSURE THAT A SITE DISTANCE OF 400' IS MET ON JEFFERSON.

**KEYED NOTES**

1. SIDEWALK, CONCRETE
2. PAVING, ASPHALT
3. SPECIAL PAVING
4. BICYCLE RACK PAINT (1:20 AUTOS)
5. CURB, 6" HIGH, CONCRETE
6. TRANSFORMER
7. SCREEN WALL, 74" HIGH, 2-COAT STUCCO SYSTEM OVER 8" CMU ENCLOSURE WITH LEICO.
8. LANDSCAPE AREA, RE. L001
9. HC RAMP
10. CONTRACTOR TO COORDINATE REMOVAL AND RELOCATION OF IRRIGATION ENCLOSURE WITH LEICO.
11. CONCRETE CURB TO BE REMOVED
12. MONUMENT SIGN
13. PARKING CANOPY
14. CITY WELL SITE EASEMENT TO BE VACATED BY PLAT
15. PROPOSED LOT LINE
16. TRASH COMPACTOR
17. MEANDERING PUBLIC SIDEWALK EASEMENT, 18' 10" PUE

**LEGEND**

- EXISTING FIRE HYDRANT
- NEW FIRE HYDRANT
- (XX) PARKING SPACE COUNT
- LIGHT POLE - DOUBLE HEAD
- LIGHT POLE - SINGLE HEAD
- ⊕ SURFACE MOUNTED LIGHT FIXTURE
- ▽ FLOOD LIGHT
- UP LIGHT, RE.
- ↑ TRAFFIC ARROW, PAINT WHITE
- PAINT CURB, RED, 4" PAINT TEXT "FIRE LANE NO PARKING"

**SITE INFORMATION**

LEGAL DESCRIPTION: TRACT 5D-1, JOURNAL CENTER, AS THE SAME IS SHOWN ON THE REPLAT OF JOURNAL CENTER AND A PORTION OF LOTS 30, 31, AND 32, BLOCK 3 OF TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, AND A PORTION OF VACATED SAN MATEO BOULEVARD AND RANCHITOS AVENUE, FILED JUNE 30, 1983, IN MAP BOOK C21, FOLIO 126, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.

**SITE DATA (OVERALL)**  
ZONE IF INDUSTRIAL PARK

GROSS BUILDING AREA:  
BUILDING A (three story) = 84,631 GBA  
BUILDING B (two story) = 22,454 GBA  
TOTAL BUILDINGS = 107,085 GBA

RENTABLE BUILDING AREA:  
BUILDING A (three story) = 81,838 FRA  
BUILDING B (two story) = 20,224 FRA  
TOTAL BUILDINGS = 102,062 FRA

SITE AREA: 262,451 GSF = 6.0366 ACRES

TOTAL SITE AREA: 262,451 GSF  
GROSS F.A.R. (GBA/site area): .401  
RENTABLE F.A.R. (FRA/site area): .388

**SITE DATA (TRACT 5D-1A)**  
GROSS BUILDING AREA:  
BUILDING A (three story) = 84,631 GBA  
RENTABLE BUILDING AREA:  
BUILDING A (three story) = 81,838 FRA  
SITE AREA = 200,630 GSF  
GROSS F.A.R. (GBA/site area): .421  
RENTABLE F.A.R. (FRA/site area): .408

PARKING PROVIDED: 388 SPACES  
(281 STANDARD + 107 COMPACT SPACES)  
RATIO = 4.14/1000 FRA

**SITE DATA (TRACT 5D-1B)**  
GROSS BUILDING AREA:  
BUILDING B (two story) = 22,454 GBA  
RENTABLE BUILDING AREA:  
BUILDING B (two story) = 20,224 FRA  
TOTAL SITE AREA = 62,321 GSF  
GROSS F.A.R. (GBA/site area): .360  
RENTABLE F.A.R. (FRA/site area): .325

PARKING PROVIDED: 84 SPACES  
(73 STANDARD + 16 COMPACT SPACES)  
RATIO = 4.41/1000 FRA

**PARKING INFORMATION**

OFFICES: NET RENTABLE SF/200 (1ST FL) AND 300 (2ND & 3RD FL)

BUILDING A:  
FIRST FLOOR: 24,048 SF/200 = 120  
SECOND FLOOR: 28,238 SF/300 = 95  
THIRD FLOOR: 24,552 SF/300 = 81  
TOTAL = 314

BUILDING B:  
FIRST FLOOR: 8,621 SF/200 = 44  
SECOND FLOOR: 11,602 SF/300 = 39  
TOTAL = 83

TOTAL SPACES REQUIRED: 397  
(INCLUDES 12 ACCESSIBLE SPACES WITH 4 VAN ACCESSIBLE)

TOTAL SPACES PROVIDED: 471  
(INCLUDES 12 ACCESSIBLE SPACES WITH 4 VAN ACCESSIBLE)

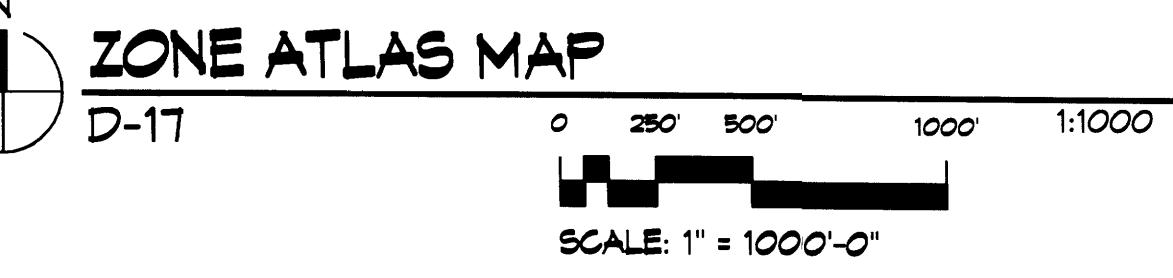
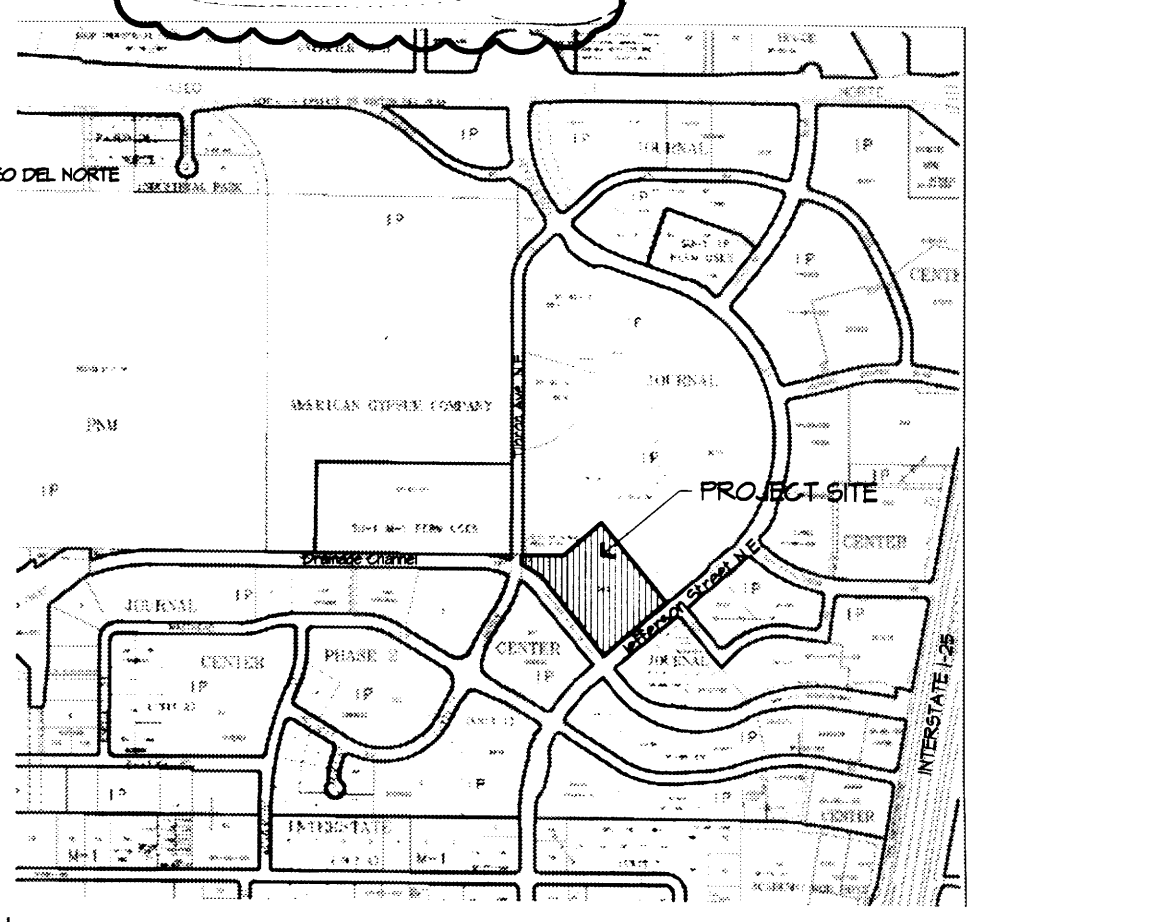
COMPACT SPACES: 123  
BICYCLE REQUIREMENTS: 397/20 = 20  
BICYCLE SPACES PROVIDED = 20

PROJECT	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	
UTILITIES DEVELOPMENT	
PARKS AND RECREATION DEPARTMENT	
CITY ENGINEER	
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	
SOLID WASTE MANAGEMENT	5-9-05
DRB CHAIRPERSON, PLANNING DEPARTMENT	

**SITE DEVELOPMENT PLAN APPROVAL**

THIS PLAN IS CONSISTENT WITH THE CONCEPTS OF THE ORIGINAL JOURNAL CENTER SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON AUGUST 16, 1980 (AX-79-13, Z-74-80-2) AND THE IP ZONE. IT CONFORMS WITH THE COMMENTS RENDERED BY THE DEVELOPMENT REVIEW BOARD ON 5/19/05 AS REFLECTED IN DRB 05-000621.

*Michael Holton*  
PLANNING DIRECTOR DATE

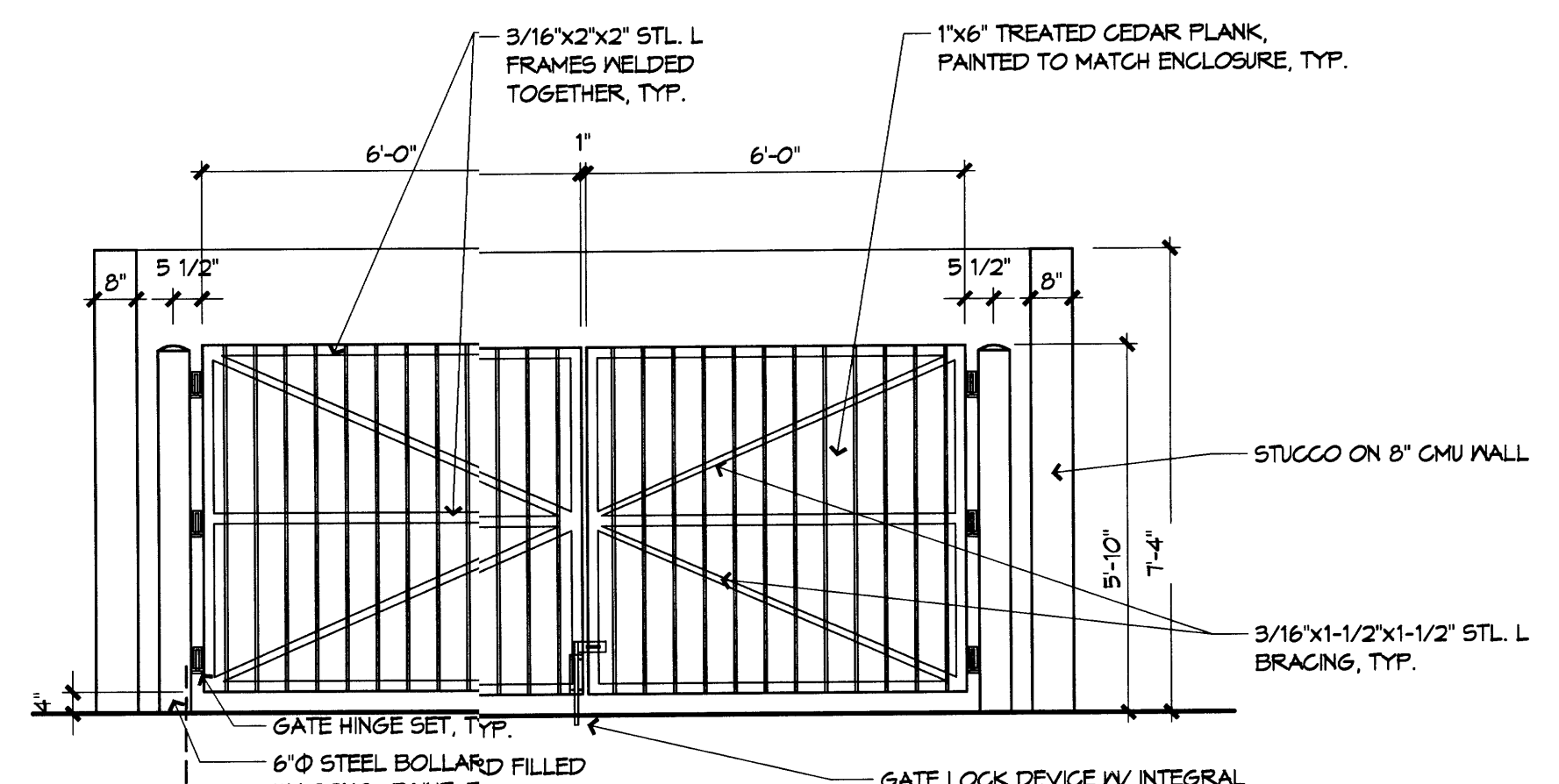


**REVISIONS**

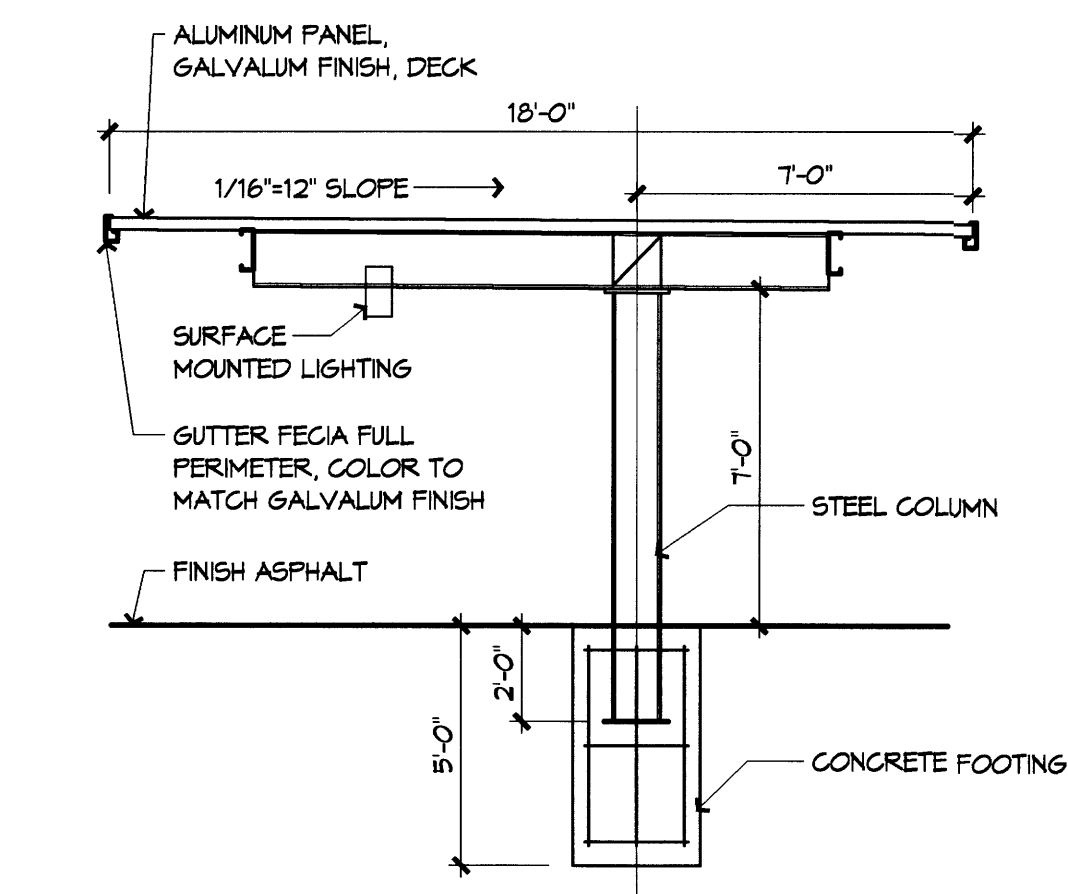
- ▲ 4/19/05 REVISED TRACT LINES
- ▲ 5/06/05 DRB Comments

**DRAWN BY** MRM/BJT  
**REVIEWED BY** CG  
**DATE** 5/4/05  
**PROJECT NO.** 04186  
**DRAWING NAME** SITE PLAN FOR BLDG PERMIT

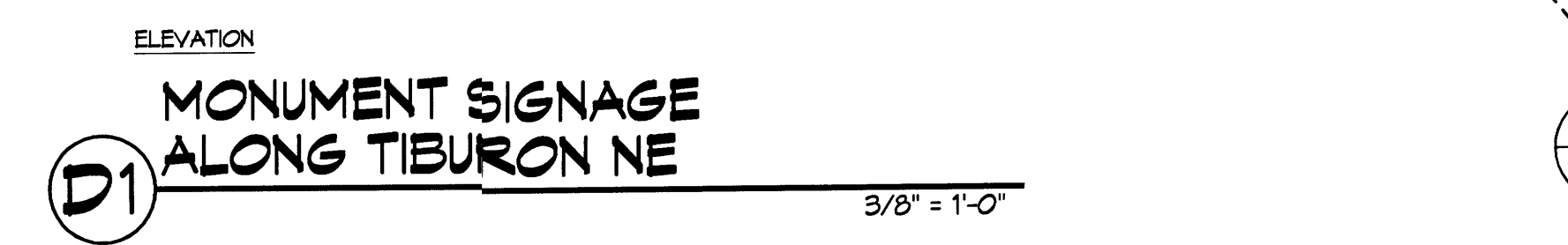
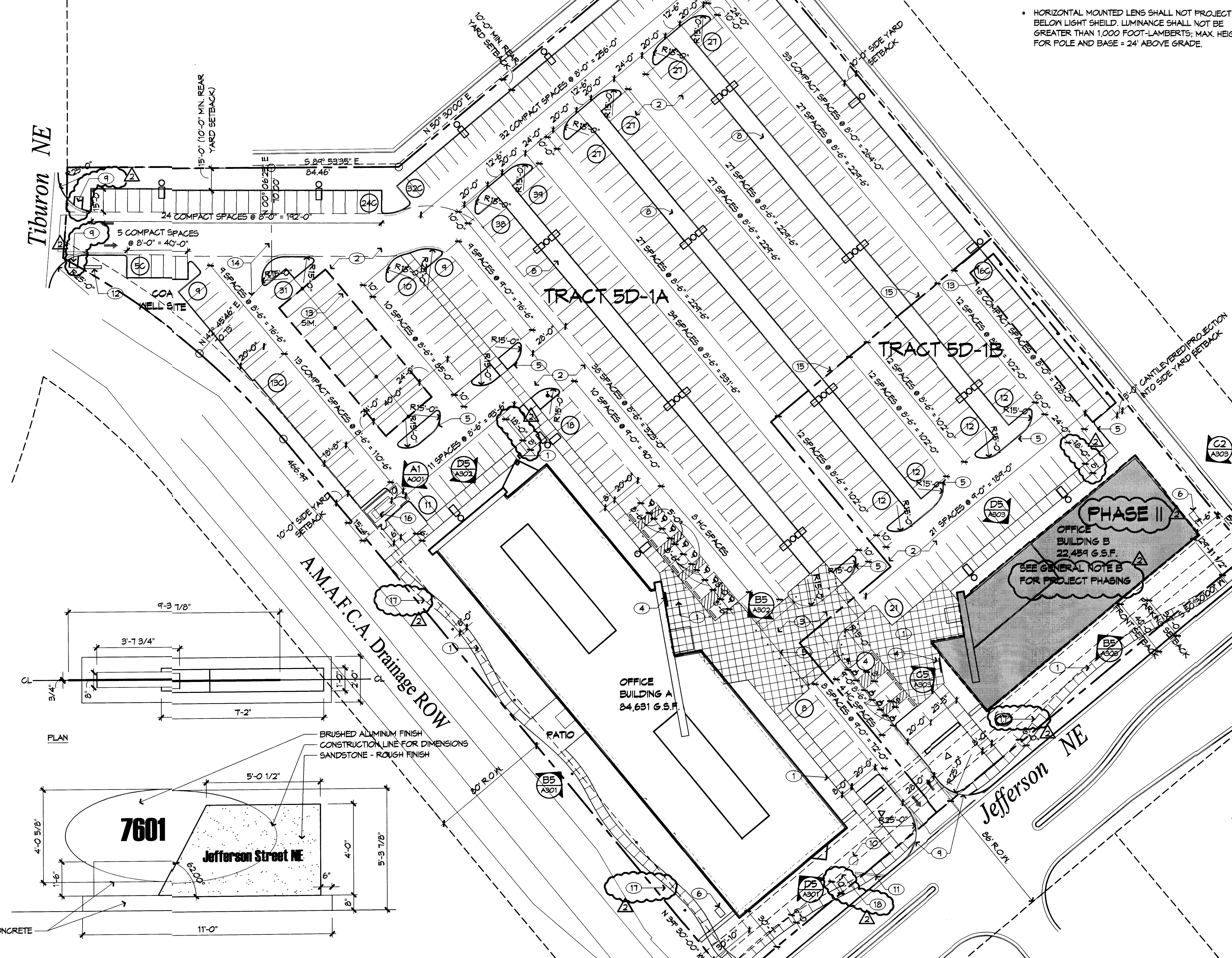
**SHEET NO.** A001 OF



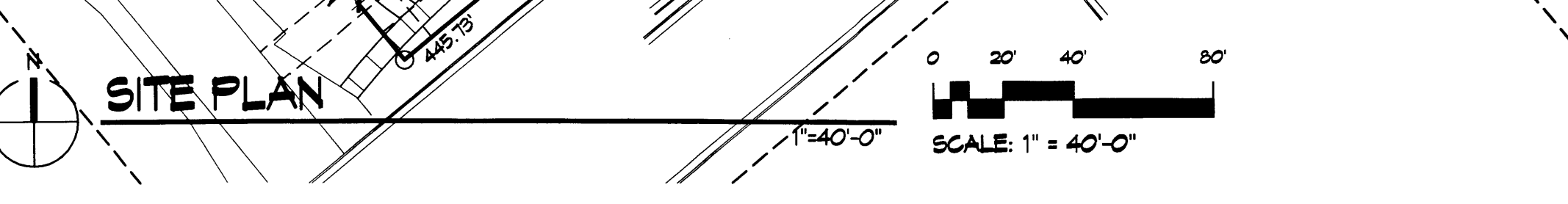
**A1 COMPACTOR ENCLOSURE ELEVATION**  
3/8" = 1'-0"



**A4 PARKING CANOPY**  
1/4" = 1'-0"



**D1 MONUMENT SIGNAGE ALONG TIBURON NE**  
3/8" = 1'-0"



WFO PLANS CHECKING OFFICE  
924-3011  
APPROVED/DISAPPROVED  
HYDRANT(S) ONLY  
*Signature*  
SIGNATURE & DATE

5/18/05 Journal Center Tract 5D-1A-1B.dwg, 5/18/05 10:03 AM

**PLANTING NOTES**

1. THE LANDSCAPE DESIGN AND PLANTING PALETTE REFLECT THE SITE'S SETTING, AS PART OF JOURNAL CENTER, WHILE ALSO REFLECTING THE SITE'S ENVIRONMENTAL CONTEXT, THROUGH THE USE OF NATIVE AND ADAPTED PLANTS SUITABLE FOR ARID ENVIRONMENTS. THE GOAL IS TO CREATE A VISUALLY APPEALING AND COMFORTABLE SETTING FOR USERS OF THE SITE, WHILE EDUCATING USERS ABOUT THE USE OF NATIVE AND REGIONALLY ADAPTED PLANTS, AND WATER HARVESTING TO SUPPLEMENT IRRIGATION. DROUGHT TOLERANT PLANTS COMPRISE A HIGH PERCENT OF THE LANDSCAPE COVERAGE.

2. EXISTING PLANT MATERIAL: EXISTING TREES AND TURF EXIST ON THE SITE ALONG BOTH JEFFERSON BOULEVARD AND THE ARROYO. THE LARGE CALIPER TREES ARE PRIMARILY COTTONWOODS WITH SOME PINES AND SEVERAL REDBUDS. THE TURF IS A HIGH WATER USE BLEND. IT IS OUR INTENT TO PRESERVE EXISTING TREES AND TURF WHERE FEASIBLE AND TAKE ADVANTAGE OF THIS MATURE PLANT COVERAGE, HOWEVER, IT IS ANTICIPATED THAT SOME PLANT MATERIAL WILL NEED TO BE REMOVED TO ACCOMMODATE THE DEVELOPMENT PROGRAM.

3. INSTALLATION AND MAINTENANCE OF LANDSCAPING AND IRRIGATION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

4. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.

5. THE USE OF HIGH WATER USE PLANT MATERIALS SHALL BE LIMITED. HIGH WATER USE TURF IS ONLY USED ALONG THE EXISTING ARROYO WHERE THERE IS EXISTING TURF.

6. MINIMUM INSTALLATION SIZES FOR PLANT MATERIAL VARY BY SPECIES. SEE PLANT LEGEND.

7. LANDSCAPE AREAS SHALL BE COVERED WITH 2" DEPTH OF CRUSHER FINE GRAVEL MULCH. COLOR: TAN OR BROWN.

8. IRRIGATION: AUTOMATED DRIP IRRIGATION SHALL BE PROVIDED TO TREES, SHRUBS, ACCENTS, AND GROUNDCOVERS. TURF SHALL RECEIVE SPRAY IRRIGATION.

9. PASSIVE WATER HARVESTING FROM PAVED SURFACES AND ROOF RUNOFF WILL BE USED TO SUPPLEMENT IRRIGATION WHEREVER POSSIBLE.

10. WATER USE DESCRIPTIONS REFLECT MINIMUM WATER USE REQUIREMENTS FOR THE SPECIES. "ADAPTABLE" (A) INDICATES THAT THE PLANT CAN THRIVE IN VARYING MOISTURE CONDITIONS SUCH AS DETENTION BASINS WHERE THERE MAY BE PERIODIC INUNDATION.

11. INTERIM LANDSCAPE: THE PLAN ILLUSTRATES LANDSCAPING AT FULL BUILD OUT, WHICH INCLUDES A SECOND BUILDING ON THE SITE. THE INTERIM CONDITION WILL BE A BUILDING PAD IN PLACE OF BUILDING B. THE BUILDING PAD WILL BE USED IN THE INTERIM AS A MULTI-PURPOSE LAWN SPACE. THE AREA WILL BE SEEDDED WITH A BUFFALOGRASS/BLUE GRAMA SEED BLEND AND IRRIGATED.

12. LANDSCAPE BEDS SHALL ACHIEVE MINIMUM 75% LIVE VEGETATIVE COVERAGE UPON PLANT MATURITY. NOTED PLANT QUANTITIES ARE APPROXIMATE. THE PLANTING PLAN ILLUSTRATES MOST ACCURATELY THE AMOUNT AND LOCATION OF PLANT MATERIAL.

**PLANTING LEGEND**

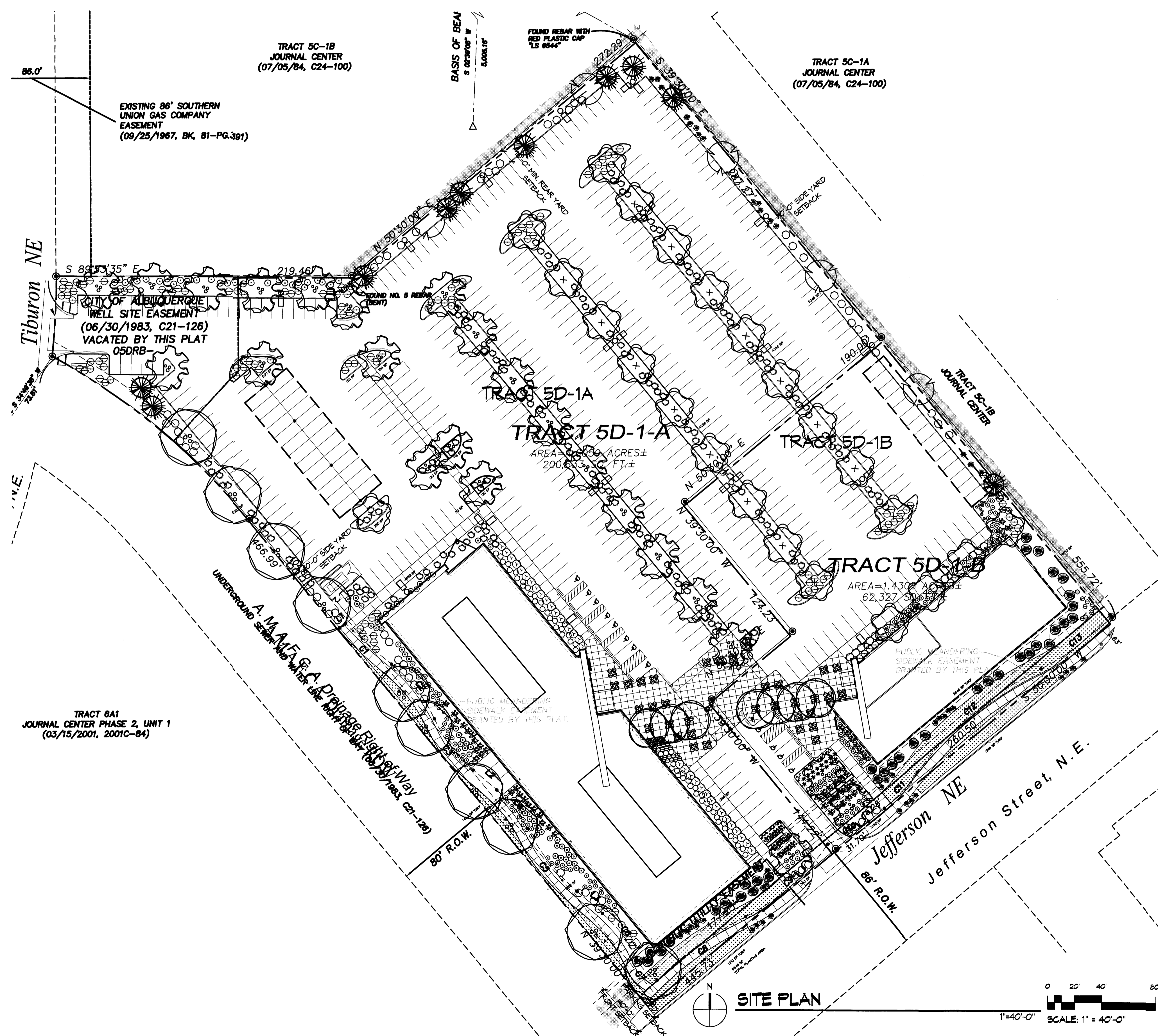
Trees	SYMBOL	APPROX. QTY.	SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
		24	24" BOX, MULTI TRUNK	GHITALPA	Chitalpa X taskentensis	25.00	30.00	Medium Water Use
		22	24" BOX, MULTI TRUNK	DESERT WILLOW	Chilopsis linearis	20.00	25.00	Low Water Use
		5	2.5' CAL.	GOLDEN RANTRREE	Koeleruteria paniculata	35.00	25.00	Heavy Water Use
		11	6' HIGH	JAPANESE BLACK PINE	Pinus thunbergiana	20.00	16.00	Medium Water Use
		10	2.5' CAL.	LANGELEAF COTTONWOOD	Populus acuminata	35.00	40.00	Heavy Water Use
		7	2.5' CAL.	RAYWOOD ASH	Fraxinus oxycarpa 'Raywood'	35.00	25.00	Medium Water Use
Ground Cover								
		6	1 GAL.	GAURA	Gaura lindheimeri 'Whirling Butterflies'	3.00	2.50	Drought Tolerant
		85	1 GAL.	THOMPSON BROOM	Baccharis x Stans	2.00	6.00	Low Water Use
		44	1 GAL.	ANGELITA DASY	Hymenoxis acutis	1.00	1.00	Low Water Use
		89	1 GAL.	MAIDEN GRASS	Miscanthus sinensis	8.00	5.00	Medium Water Use
		150	1 GAL.	REGAL MIST GRASS	Muhlenbergia capillaris 'Regal Mist'	3.50	3.00	Medium Water Use
		175	1 GAL.	DEER GRASS	Muhlenbergia rigens	3.00	4.00	Medium Water Use
		28	5 GAL.	SEMI-FROSTED ROSEMARY	Rosmarinus off. 'Collingwood Ingram'	2.00	4.00	Low Water Use
		18	1 GAL.	TRAILING GERMANDER	Teucrium chamaedrys 'Prostratum'	0.50	2.00	Medium Water Use
		2026	SF	SUNNY LAWN BLEND	CURTIS 4 CURTIS INC. (80% tall fescue, 10% ryegrass, 10% bluegrass)	Rate: 10 lbs./1000 SF		High Water Use
		NA	1200	NATIVE WONDER	CURTIS 4 CURTIS INC. (50% Blue Grama, 50% Buffalograss)	Rate: 2 lbs./1000 SF		Medium Water Use
Shrubs								
		9	1 GAL.	BLUEBEARD	Caryopteris X cladonensis	5.00	5.00	Medium Water Use
		37	5 GAL.	SILVERBERRY	Elaeagnus pungens	6.00	8.00	Drought Tolerant
		30	1 GAL.	BUFFALO JUNIPER	Juniperus sabina 'Buffalo'	1.00	6.00	Drought Tolerant
		160	1 GAL.	PROVENCE LAVENDER	lavendula angustifolia 'Provence'	3.00	3.00	Medium Water Use
		38	1 GAL.	BUTTERFLY BUSH	Buddleia davidii 'Black Knight'	6.00	5.00	Medium Water Use
Accents/Succulents								
		25	5 GAL.	GOLDEN-FLOWERED AGAVE	Agave chrysantha	3.00	3.00	Drought Tolerant
		175	5 GAL.	RED HESPERALOE	Hesperaloe parviflora	4.00	4.00	Drought Tolerant
		5	5 GAL.	DESERT PRICKLY PEAR	Opuntia engelmannii	4.00	5.00	Low Water Use
		55	5 GAL.	BEARGRASS	Nolina Texana	3.00	3.00	Low Water Use

Existing Plant Materials to Remain

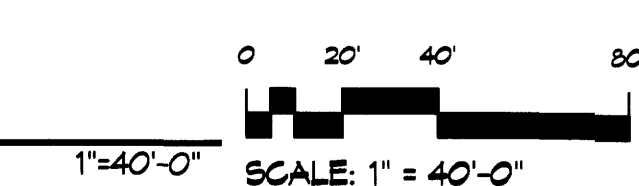
	HEDGE	OFF-SITE PYRACANTHA EVERGREEN HEDGE
	TREE	

**LANDSCAPE  
CALCULATIONS**

SITE AREA: 250,540 SF  
BUILDING AREA: 120,311 SF  
NET SITE AREA: 130,164 SF  
REQUIRED LANDSCAPE AREA: 19,526 SF (15% OF NET SITE AREA)  
PROVIDED LANDSCAPE AREA: 53,386 SF  
ALLOWABLE HIGH WATER USE TURF: 10,671 SF  
PROVIDED HIGH WATER USE TURF: 7,814 SF



**SITE PLAN**



Small vertical text on the left margin.

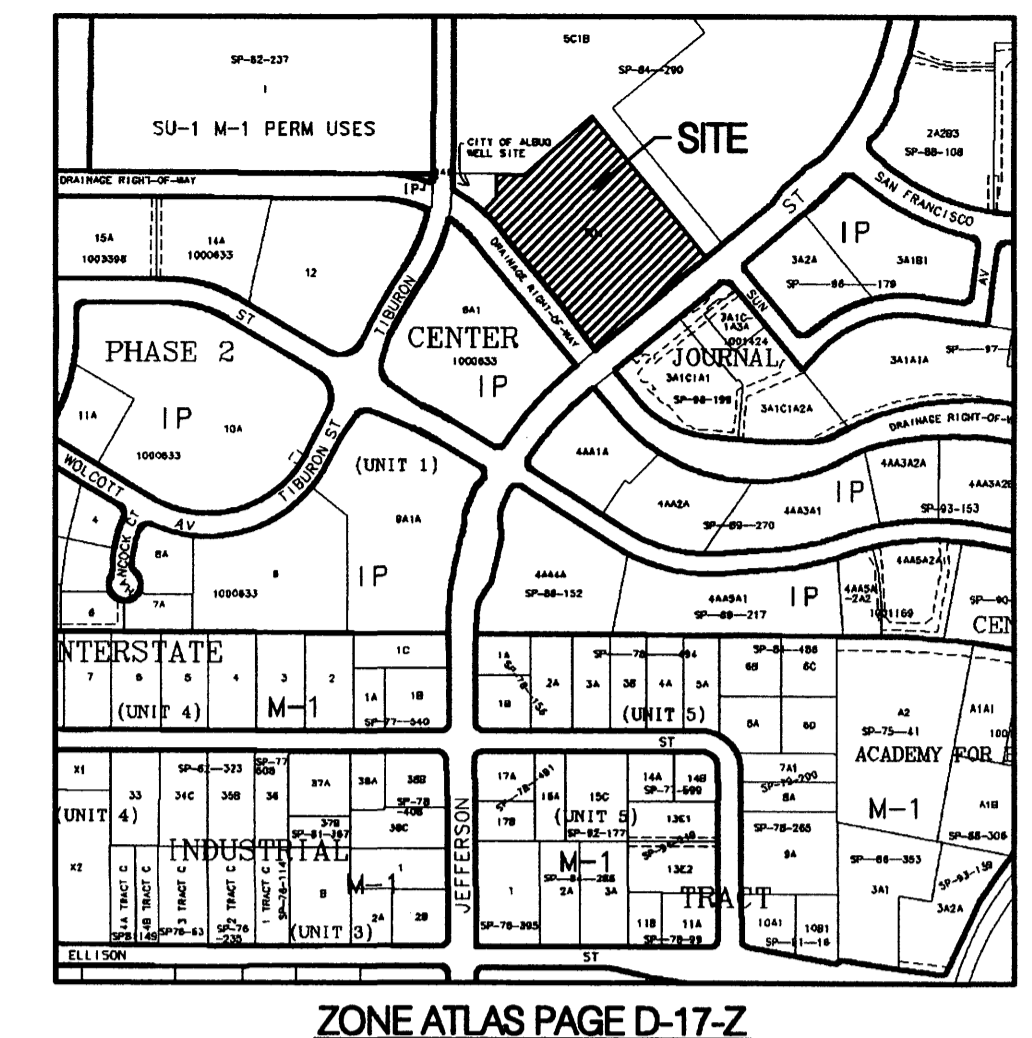
**PRELIMINARY  
NOT FOR CONSTRUCTION**

**Journal Center Tract 5  
Office Building A  
7601 Jefferson NE  
Albuquerque, New Mexico**

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DRAWN BY: CM  
REVIEWED BY: JTM  
DATE: 04/12/05  
PROJECT NO.  
DRAWING NAME

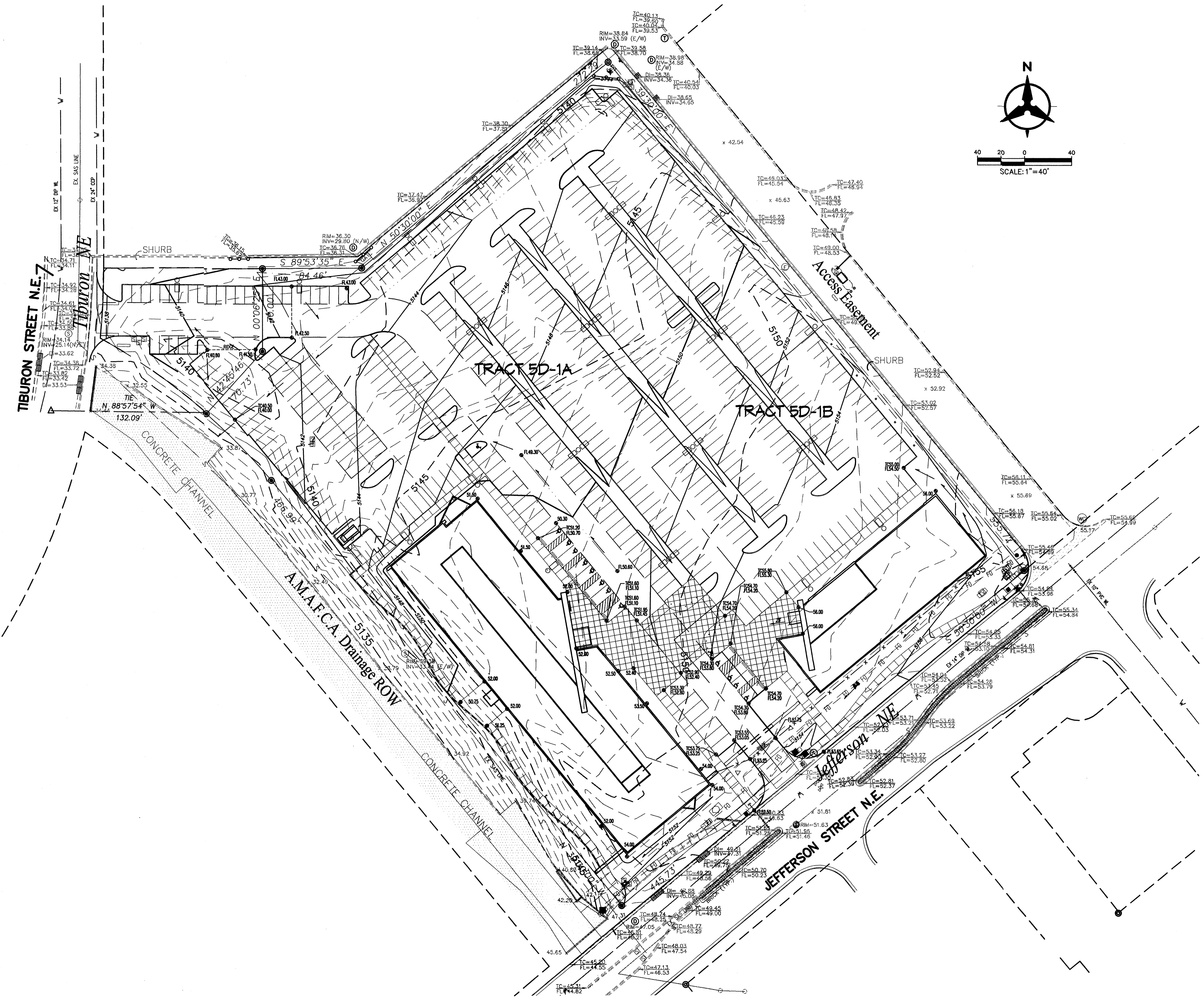
**CONCEPTUAL  
GRADING &  
DRAINAGE PLAN**

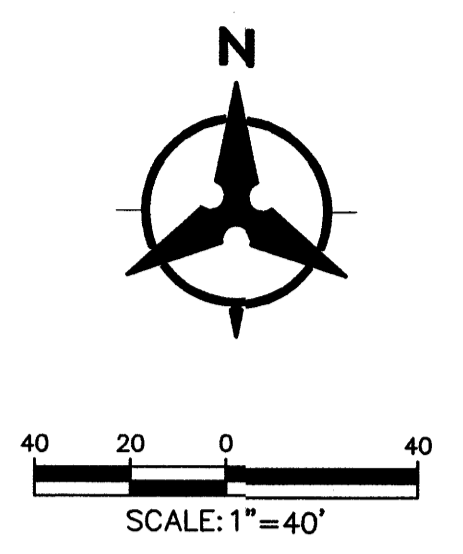
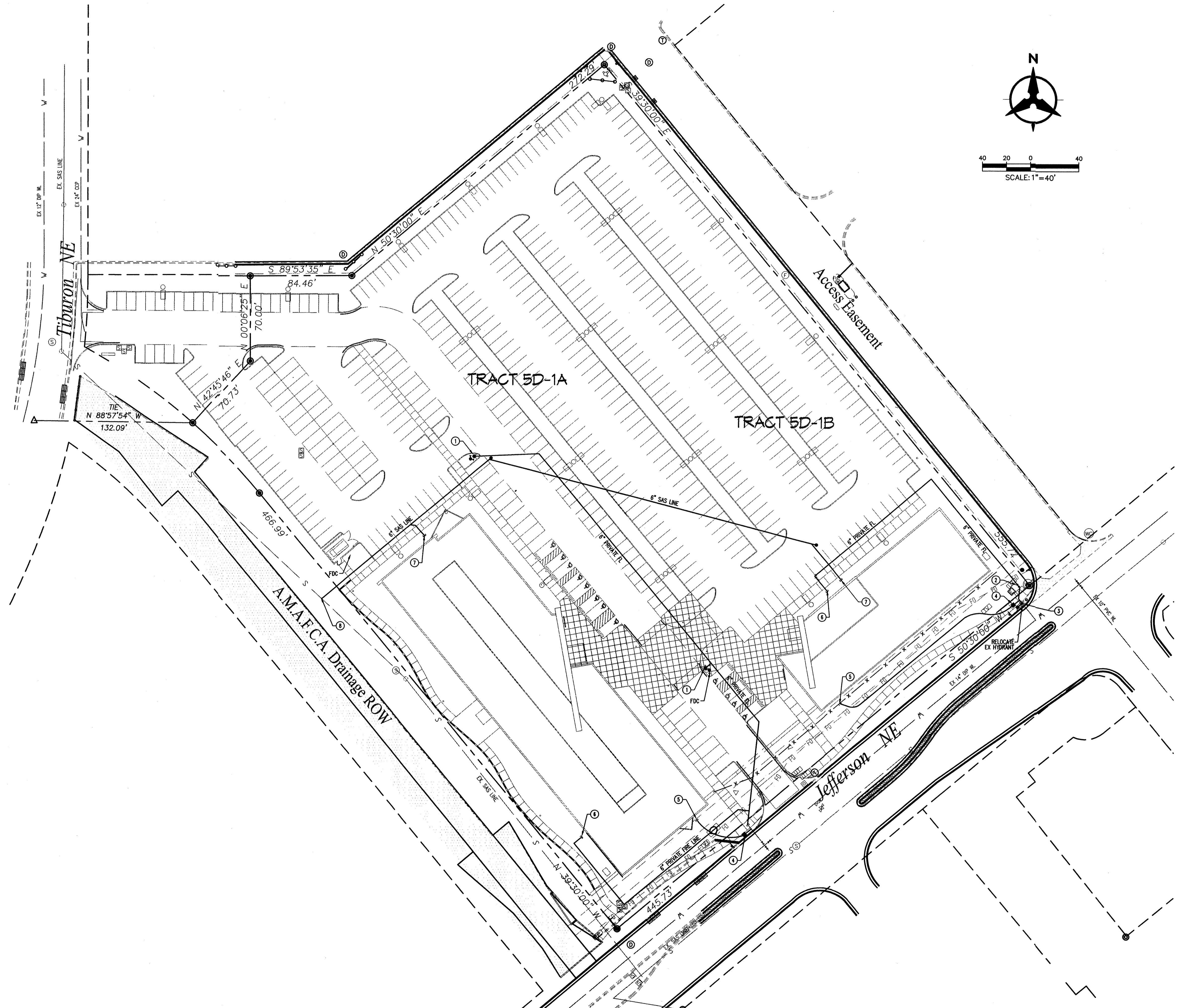


**BENCHMARK**

ACS Brass Cap stamped "1-25-14"  
.90 miles along East Frontage Road to NM State Hwy. 3 Office.  
Station set on top of concrete post flush with ground.  
Geographic Position (NAD 1927), in feet  
N.M. State Plane Coordinates (Central Zone)  
X=399,828.26, Y= 1,514,860.92  
Elevation= 5196.73 (NGVD29) in feet

**Bohannon & Huston**  
Consulting 7000 Jefferson St. NE Albuquerque, NM 87109-0005  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES





○ WATER & SANITARY SYSTEM KEYED NOTES

1. NEW PRIVATE FIRE HYDRANT
2. NEW GATE VALVE
3. RELOCATE EXISTING FIRE HYDRANT. CONNECT PROPOSED 6" PRIVATE FIRE LINE INTO EXISTING 6" WATER LINE.
4. NEW DOMESTIC WATER METER
5. STUB DOMESTIC WATERLINE TO WITHIN 5' OF BLDG.
6. STUB PRIVATE FIRE LINE TO WITH 5' OF BLDG.
7. STUB 6" SAS TO WITHIN 5' OF BLDG.
8. TIE NEW PRIVATE 6" SAS TO EXISTING PUBLIC 8" VCP SAS LINE

architecture  
interiors  
planning  
engineering

# Dekker Perich Sabatini

6801 Jefferson NE  
Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsabq.com

ARCHITECT

**PRELIMINARY**  
NOT FOR CONSTRUCTION

ENGINEER

PROJECT

**Journal Center Tract 5  
Office Building A**  
7601 Jefferson NE  
Albuquerque, New Mexico

REVISIONS

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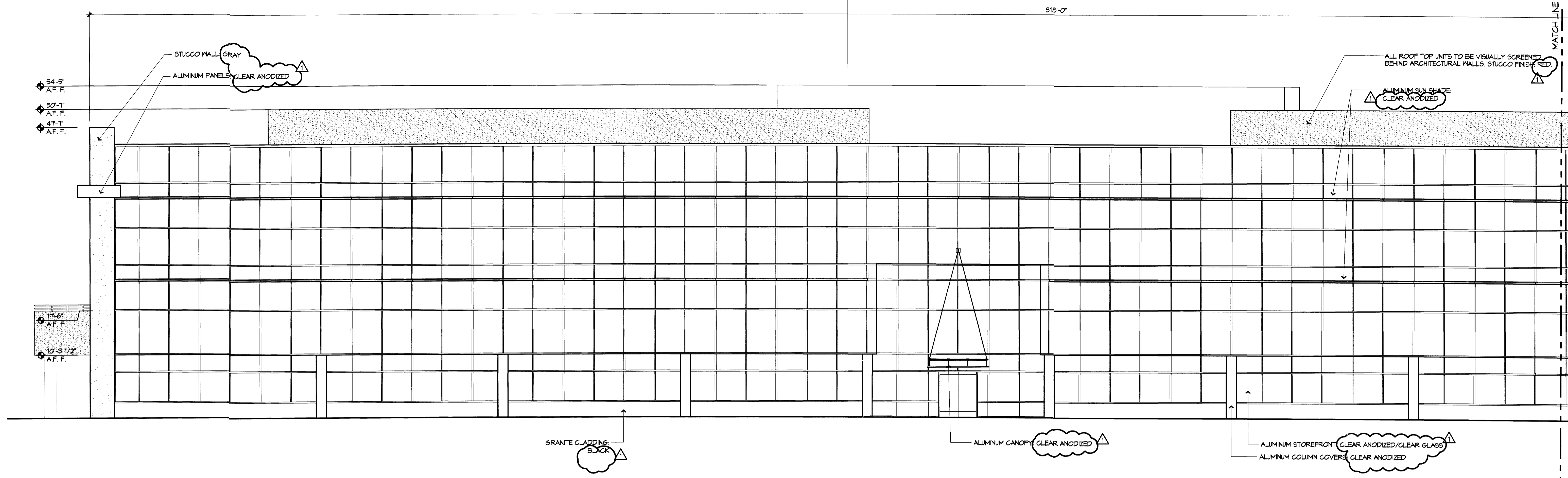
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DATE: 04/12/05  
PROJECT NO.  
DRAWING NAME

CONCEPTUAL  
UTILITY PLAN

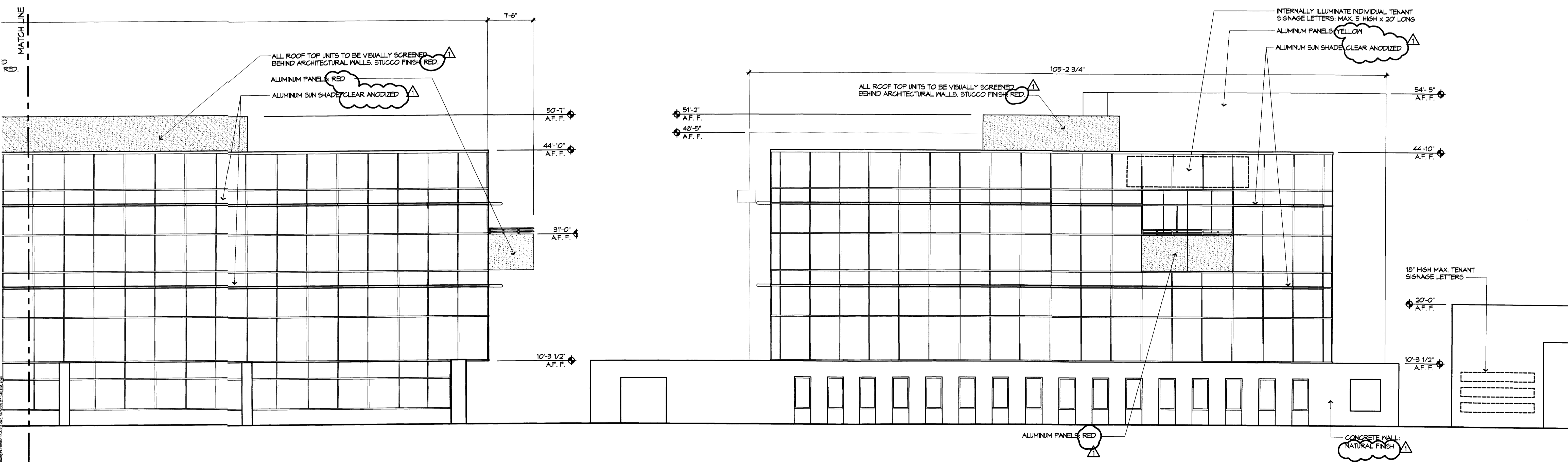
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**C102**  
OF

**Bohannon & Huston**  
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



0 4 8 **B5** PARTIAL SOUTH ELEVATION  
1/8" = 1'-0"



0 4 8 **B5** PARTIAL SOUTH ELEVATION  
1/8" = 1'-0"

0 4 8 **D5** EAST ELEVATION  
1/8" = 1'-0"

**Journal Center Tract 5**  
7601 Jefferson NE  
Albuquerque, New Mexico

REVISIONS

DATE	DRB COMMENTS
5/4/05	

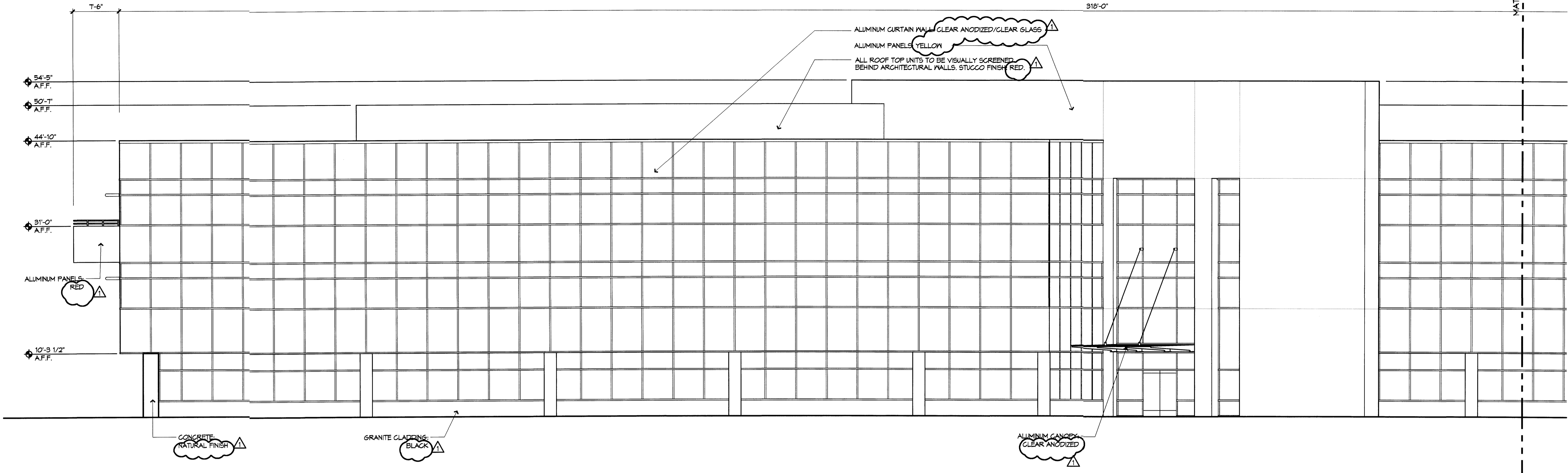
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REVIEWED BY  
DATE 5/4/05  
PROJECT NO. 04136  
DRAWING NAME

**ELEVATIONS  
OFFICE BLDG A**

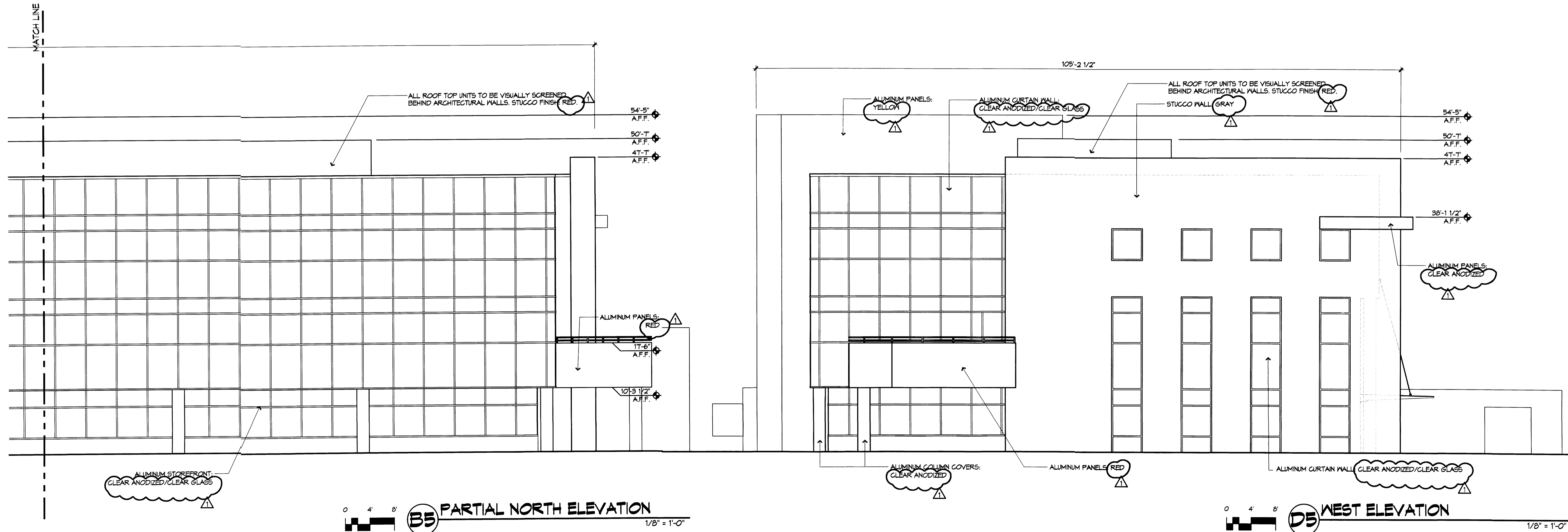
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**A301**  
OF

**Journal Center Tract 5**

7601 Jefferson NE  
Albuquerque, New Mexico



0 4 8 **B5** PARTIAL NORTH ELEVATION 1/8" = 1'-0"



0 4 8 **B5** PARTIAL NORTH ELEVATION 1/8" = 1'-0"

0 4 8 **D5** WEST ELEVATION 1/8" = 1'-0"

REVISIONS

△	5/4/05	DRB COMMENTS
△		
△		
△		

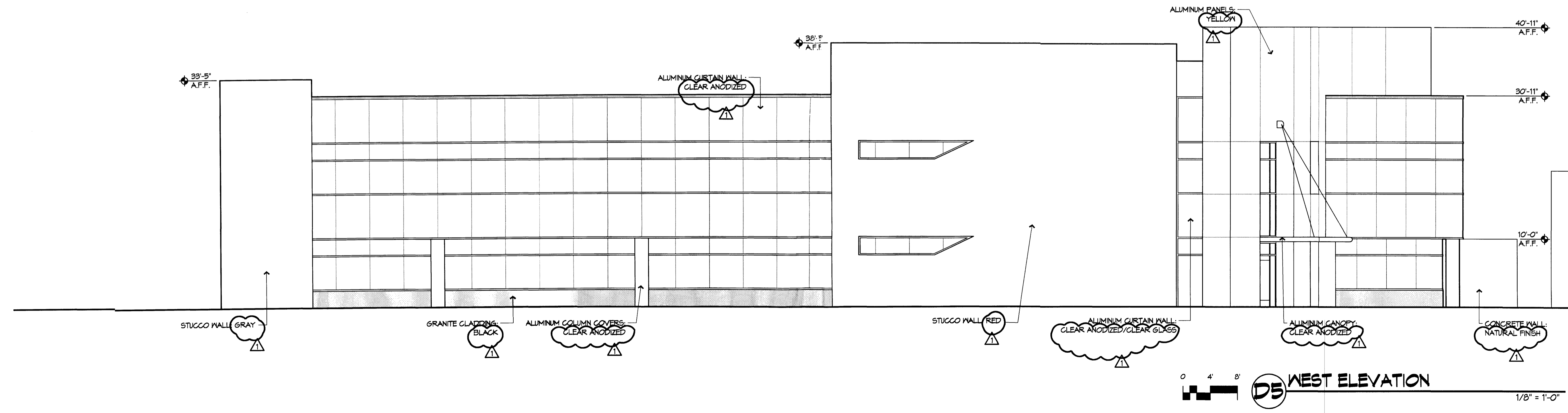
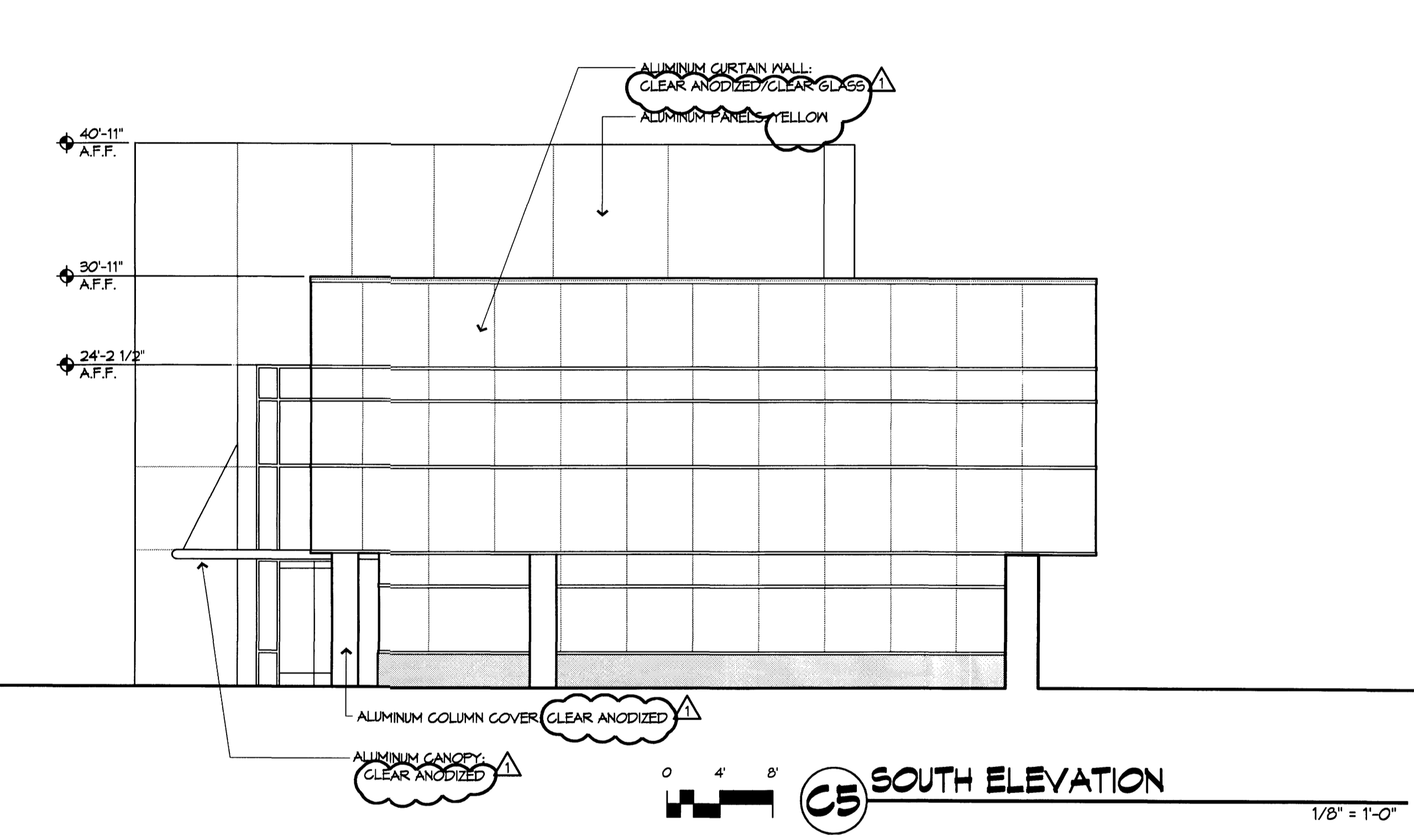
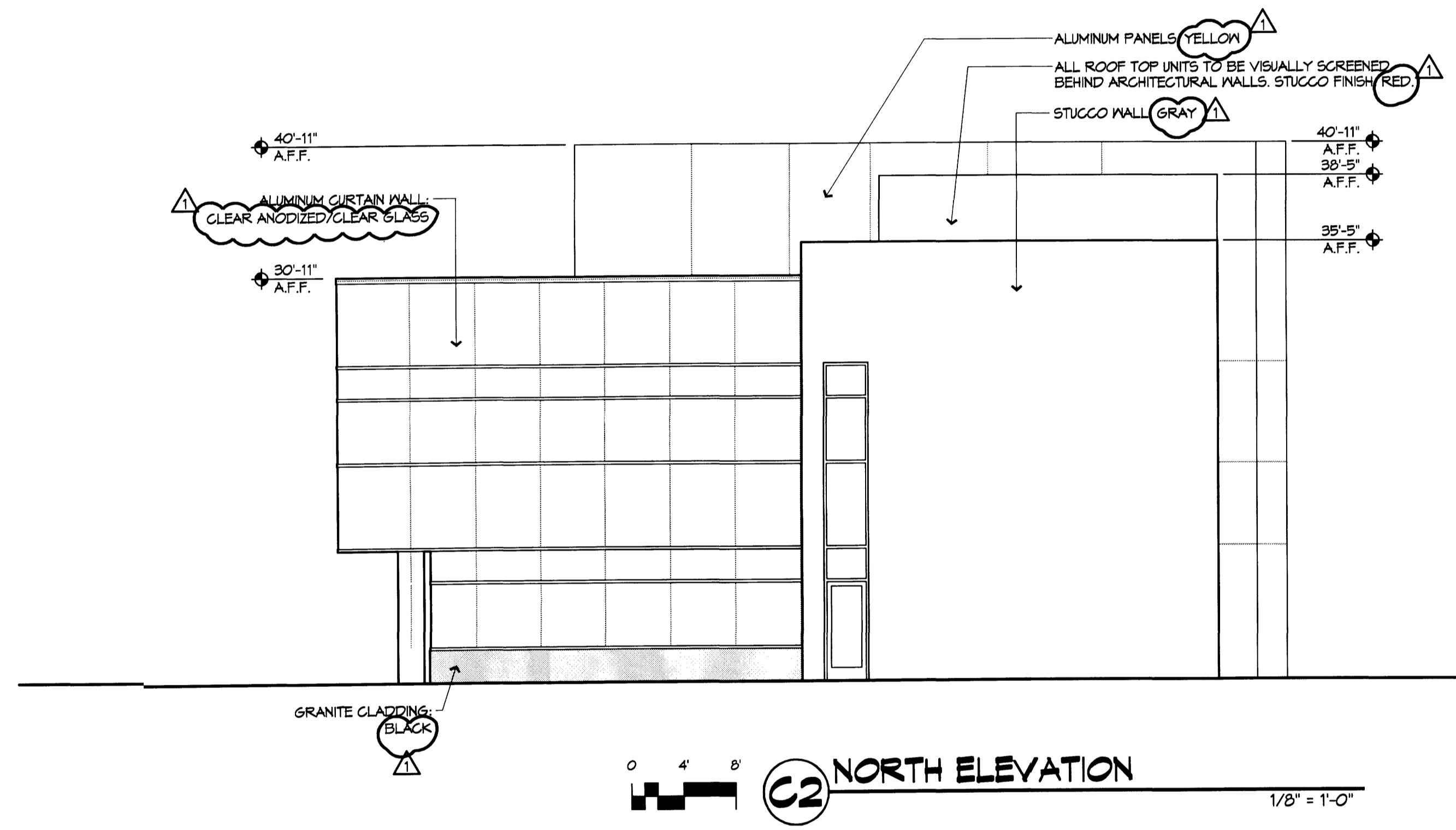
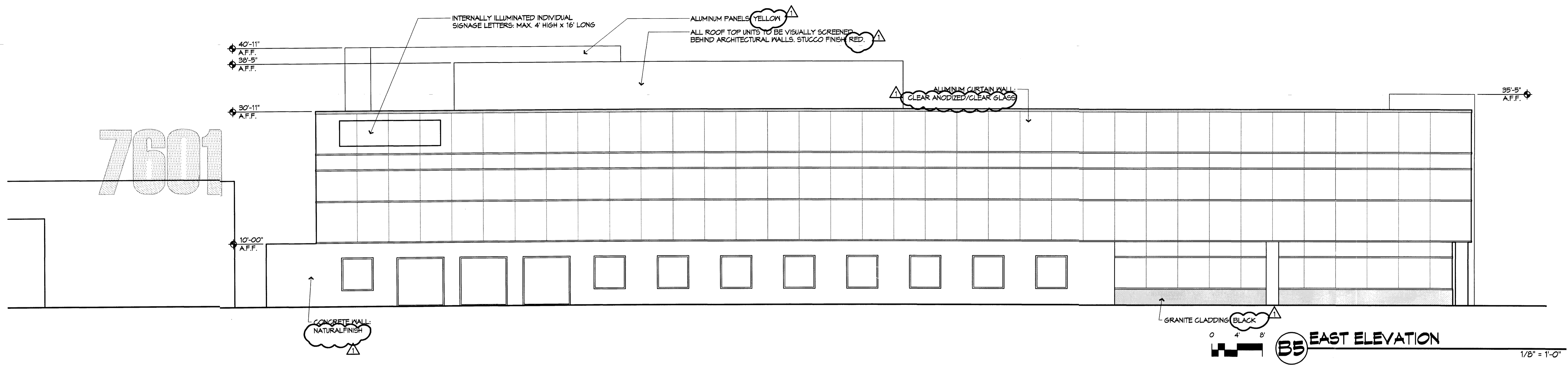
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REVIEWED BY \_\_\_\_\_  
DATE 5/4/05  
PROJECT NO. 04186  
DRAWING NAME

**ELEVATIONS  
OFFICE BLDG A**

REVISIONS	
△	5/09/05 DRB COMMENTS
△	
△	
△	

DRAWN BY	MRM
REVIEWED BY	
DATE	5/19/05
PROJECT NO.	04186
DRAWING NAME	

**ELEVATIONS  
OFFICE BLDG B**



5/19/05 10:42 AM C:\p04\04186\04186.dwg